



**DOWNTOWN (N 27TH STREET) URBAN RENEWAL DISTRICT
N27URD**

Tax Increment Financing Fund Application

APPLICANT INFORMATION

Name: Kibler & Kirch
Address: 104 North Broadway, Suite 201
City/State/Zip: Billings, Montana 59101
Phone: 406.446.2226

E-mail: info@kiblerandkirch.com

If the applicant is not an individual doing business under his/her own name, the applicant has the status indicated below and is organized or operating under the laws of:

A corporation/LLC: A non-profit or charitable institution or corporation A partnership: Other:
Known as:

Date of Organization: October 1990

PROJECT INFORMATION

Building Address: 2807 1st Avenue N. State: Montana ZIP Code: 59101
City: Billings
Legal Description: STAPLETON BUILDING, S03, T01 S, R26 E

Property Owner (if property is not owned by the Applicant, list leasehold interests and attach evidentiary materials)

Property Owner (name or entity): Stapleton Property Investments
Property Owner Contact Name: Richard McComish Contact Phone: 406.672.5307

Lessor's Address: 104 North Broadway, Suite 201 State: Montana ZIP Code: 59101
City: Billings

PROJECT ARCHITECTURAL FIRM

Firm Name: 2 North Architects
Address: [Redacted]
Representative: Dennis Deppmeier
Phone: 406.855.1529 E-mail: blueboy@bresnan.net

PROJECT CONTRACTOR (OR PARTY RESPONSIBLE FOR CONSTRUCTION)

Name/Representative: Yellowstone Basin Construction (YBC)
Address: 3970 Avenue D, Suite A, Billings, Montana 59101
Phone: 406.969.5444 E-mail: jake@ybconstruction.com

PROJECT FINANCIAL LENDING INSTITUTION (leave blank if not applicable)

Name/Representative:
Address:
Phone: E-mail:

PROJECT INFORMATION

Description of Project

See attached

Attach a narrative explanation and any other design information. Use this section to pitch your project and explain how it will eliminate blight and/or benefit the public.

Rehabilitation Plans:

Attach schematic design drawings and/or completed construction document plans - including site, landscaping, and other engineering design information.

Project Schedule:

Attach a timeline or schedule through completion.

To receive maximum funding all applications must be submitted to the DBP and approved by the CITY prior to the start of the relevant phase of construction.

PROJECT FINANCING

Please complete Sources of Funds detail and summarize below.

Applicant Equity

Cash Invested	\$ <u>816,838</u>
Land & Buildings	\$ <u>N/A</u>
Other (Specify) _____	\$ <u>N/A</u>
Subtotal	\$ <u>816,838</u>

If land & building value is more than the State of Montana valuation, a current appraisal must be submitted (within 3 years).

Lender Commitments (Attach evidence i.e. Letters of Credit or other documentation)

Lender	Loan Amount	Interest Term	Payment/Period
<u>N/A</u>	\$ _____	_____% ____yrs	\$ _____/Month
_____	\$ _____	_____% ____yrs	\$ _____/Month
Total Loan Amount			\$ _____

TIF Request

Eligible Improvements

A&E Services / Permits / Insurance	\$ <u>54,622</u>
Demo / Disposal	\$ <u>27,965</u>
Structural Framing / Millwork / Casework	\$ <u>250,395</u>
Sprinklers / HVAC / Electrical	\$ <u>98,243</u>
Drywall / Taping	\$ <u>19,376</u>
Glass / Storefront / Signage / Awning	\$ <u>28,080</u>
Subtotal of TIF Funds Requested	\$ <u>478,681</u>

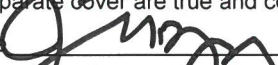
Sources of Funds Summary (Post totals from above)

Applicant Equity	\$ <u>816,838</u>
Lender Commitments	\$ <u>N/A</u>
TIF Funds Request	\$ <u>143,927</u>
Other Funds (Specify) _____	\$ <u>N/A</u>
Total Project Cost	\$ <u>861,838</u>

To receive maximum funding all applications must be submitted to the DBP and approved by the CITY prior to the start of the relevant phase of construction.

CERTIFICATION

I (we), Jeremiah Young (please print), the APPLICANT, certify that the statements and estimates within this Application as well as any and all documentation submitted as attachments to this Application or under separate cover are true and correct to the best of my (our) knowledge and belief.

Signature  Signature _____

Title Owner/ Creative Director Title _____

Address 1744 Songbird Drive Address _____

Billings, Montana 59101 _____

Date 10/15/2020 Date _____

URD TIF GRANT PROGRAMS – Governing Body: City of Billings, City Council

To receive maximum funding all applications must be submitted to the DBP and approved by the CITY prior to the start of the relevant phase of construction.

KIBLER & KIRCH

October 15th, 2020

Re: Description of Project, Rehabilitation Plans, and Project Schedule

Dear Partnership,

We are pleased to request your assistance relocating our retail store of more than 30 years to Downtown Billings--into the historic Stapleton Building--to make the best possible use of the adjacent space to our thriving interior design studio and our art gallery, Stapleton Gallery. While we have worked to rehabilitate the building over the course of many years and add other quality businesses, the enclosed plan is a fresh rethink of a retail store--capturing and making the most of a completely under-utilized, abandoned space. Our plan, in short, is to work within the architectural spirit of the building and create a completely unique, metropolitan retail store of nearly 6000 square feet.

The enclosed plans show our intent to occupy a long-vacant, ground floor storefront between Rocket's and Le Fournil. Inside that small (and difficult to use) footprint, we will recreate the building's original stairway to exacting detail, install an elevator shrouded by decorative ironwork, and connect two floors via a large opening. By creating access to this amazing 2nd floor space, we will make one of the most architecturally interesting spaces in Billings, Montana. Likewise, we will add vibrancy and life to the street level--both for pedestrians and for traffic on 1st Avenue North--installing lights, signage, awnings, and new storefront elements.

We have done a thoughtful analysis of our customers and how to serve them best--as well as the significant legwork of designing and submitting our plans for city approval. Best estimates for our buildout and completion are 5 to 6 months. We are ready to start immediately and plan to open in late Spring 2021.

If our past experience of drawing customers to our Red Lodge location from a large geographical area holds true as we make a new store here, we anticipate adding significantly to the retail foot traffic of Downtown. Our store will be a world-class destination and shopping experience. It will bolster our professional design services--thereby creating well-paying retail *and* professional jobs. Other retail stores and restaurants will benefit from the visitors we bring. The Stapleton Building was once an epicenter of shopping and we hope to bring something of that back.

This sizable, private investment will generate a healthy increase in the tax value of the Stapleton Building--one of the most important turn-of-the-century structures in Downtown. It will also add richness to the fabric of our community. Kibler & Kirch has a long history of great design and quality home furnishings. We hope that you will help us create opportunities for growth. We are passionate and dedicated to the history of Downtown and about enriching our surroundings. Please consider helping us create something very special for Billings.

Thank you for your help--

A handwritten signature in black ink, appearing to read "J. Young". The signature is fluid and cursive, with the first letter "J" being particularly large and stylized.

Jeremiah Young
Owner/Creative Director, Kibler & Kirch



ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	FTNG FOOTING	RD ROOF DRAIN
ABV ABOVE	GA GAUGE OR GAGE	RECY RECYCLE(D)
A/C AIR CONDITIONING	GALV GALVANIZED	REF REFERENCE
ACT ACOUSTICAL CEILING TILE	GYP GYPSUM BOARD	REFRIG REFRIGERATOR OR REFRIGERATION
AD AREA DRAIN	GC GENERAL CONTRACTOR	REINF REINFORCE
ADDL ADDITIONAL	GL GLASS, GLAZING	REQD REQUIRED
ADJ ADJUSTABLE	GWB GYPSUM WALL BOARD	RM ROOM
AFF ABOVE FINISH FLOOR	GYP GYPSUM	RO ROUGH OPENING
ALT ALTERNATE	HC HANDICAP	ROW RIGHT OF WAY
ALUM ALUMINUM	HDR HEADER	S SOUTH
ARCH ARCHITECT (URAL)	HDW HARDWARE	SC SOLID CORE
AWN AWNING	HLLW HOLLOW METAL	SCHED SCHEDULE
B BOTOM OF BOARD	HORIZ HORIZONTAL	SECT SECTION
BLDG BUILDING	HR HOUR	SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL
BLKG BLOCKING	HT HEIGHT	SGL SINGLE
BM BEAM OR BENCHMARK	HTD HEATED	SHT SHEET
BRG BEARING	HVAC HEATING/VENTILATION & AIR CONDITIONING	SIM SIMILAR
BTWN BETWEEN	ID INSIDE DIAMETER	SPECS SPECIFICATIONS
BUR BUILT UP ROOF	INFO INFORMATION	SOD SLAB ON DECK
CAB CABINET	ISO ISOCYANURATE	SOG SLAB ON GRADE
CL CONTROL JOINT	INSUL INSULATE / INSULATED / INSULATION	SOH SAME OPPOSITE HAND
CLG CEILING	INT INTERIOR	SS STAINLESS STEEL
CMU CONCRETE MASONRY UNIT	INV INVERT	ST STONE TILE
CO CLEAN OUT	JT JOINT	STND STANDARD
COL COLUMN	KIT KITCHEN	STL STEEL
CONC CONCRETE	L LONG / LENGTH	STRUCT STRUCTURAL
CONT CONTINUOUS	LAM LAMINATE(D)	TEMP TEMPERED
CONST CONSTRUCTION	LAV LAVATORY	THK THICK
CG CORNERGUARD	LF LINEAR FEET	THRESH THRESHOLD
CPT CARPET	LP LOW POINT	T.O. TOP OF
CMT CASEMENT	LT LIGHT	TOBM TOP OF BEAM
CT CERAMIC TILE	MAS MASONRY	T.O.P. TOP OF PLATE
DF DEEP	MATL MATERIAL	T.O.S. TOP OF STEEL
DR DRINKING FOUNTAIN	MAX MAXIMUM	T/ TOP OF
BH DOUBLE HUNG	MECH MECHANIC(AL)	T&G TONGUE AND GROOVE
DIM(S) DIMENSIONS	MEZZ MEZZANINE	TEL TELEPHONE
DISP DISPENSER	MFR MANUFACTURER	THK THICK
DN DOWN	MH MANHOLE	TRANS TRANSON
DR DOOR	MIN MINIMUM	TV TELEVISION
DS DOWNSPOUT	MISC MISCELLANEOUS	TYP TYPICAL
DTL DETAIL	MNT MASONRY OPENING	UL UNDERWRITERS LABORATORY
DWG DRAWING	MTL METAL	UNO UNLESS NOTED OTHERWISE
EA EACH	N NORTH	VB VINYL BASE
EC EXISTING COLUMN	NIC NOT IN CONTRACT	VCT VINYL COMPOSITION TILE
ELEC EXPANSION JOINT	NOM NOMINAL	VERT VERTICAL
ELEVTDN ELECTRICAL	NTS NOT TO SCALE	VEST VESTIBULE
ELEVTDN ELEVATOR	OC ON CENTER	VIF VERIFY IN FIELD
ELEVTDN ELEVATOR	OD OUTSIDE DIAMETER OR OVERFLOW DRAIN	VP VENER PLASTER
EQ EQUAL	OPNG OPENING	VR VAPOR RETARDER
EQUIP EQUIPMENT	OPP OPPOSITE	VT VINYL TILE
EWC ELECTRIC WATER COOLER	OVHD OVERHEAD	WVC VINYL WALL TILE
EXH EXHAUST	PL PLATE	W WIDE OR WEST
EXIST EXISTING	PLAM PLASTIC LAMINATE	WI WITH
EXP EXPANSION OR EXPOSED	PLYWD PLYWOOD	WC WATER CLOSET
EXT EXTERIOR	PNL PANEL	WD WOOD
FACP FIRE ALARM CONTROL PANEL	PNT PAINT	WDW WINDOW
FD FLOOR DRAIN	POLY POLYESTER OR POLYOLEFIN	WGW WALL GUARD
FIRE EXTINGUISHER	PSF POUNDS PER SQUARE FOOT	WH WATER HEATER
FIRE EXTINGUISHER CABINET	PSI POUNDS PER SQUARE INCH	W/IN WITHIN
FIN FINISH	PT PRESSURE TREATED OR POINT	WO/W WITHOUT
FIXT FIXTURE	PVMT PAVEMENT	WP WATERPROOF
LR FLOOR	QTR QUARTER	WR WATER RESISTANT
FND FOUNDATION	QTY QUANTITY	WT WEIGHT
FR FRAME	R RADIUS	WWF WELDED WIRE FABRIC
FT FEET/FOOT OR FIRE TREATED	RA RETURN AIR	# NUMBER OR POUND
	RB RUBBER BASE	@ AT



KIBLER & KIRCH

104 NORTH BROADWAY
BILLINGS, MONTANA

INFORMATIONAL DRAWINGS COVER SHEET

ARCHITECTURAL DRAWINGS

STRUCTURAL DRAWINGS

MEP DRAWINGS

- D2.1 MAIN LEVEL DEMOLITION FLOOR PLAN
- D2.2 SECOND LEVEL DEMOLITION FLOOR PLAN
- D7.1 MAIN LEVEL DEMOLITION REFLECTED CEILING PLAN
- D7.2 SECOND LEVEL DEMOLITION REFLECTED CEILING PLAN
- A2.1 MAIN LEVEL FLOOR PLAN
- A2.2 SECOND LEVEL FLOOR PLAN
- A3.1 ENLARGED FLOOR PLANS
- A4.1 PARTIAL SOUTH EXTERIOR ELEVATION
- A5.1 SECTIONS
- A5.2 SECTIONS
- A6.1 INTERIOR ELEVATIONS
- A6.2 INTERIOR ELEVATIONS
- A6.3 INTERIOR ELEVATIONS
- A6.4 INTERIOR ELEVATIONS
- A6.5 INTERIOR ELEVATIONS
- A6.6 INTERIOR ELEVATIONS
- A6.7 INTERIOR ELEVATIONS
- A6.8 DETAILS
- A6.9 DETAILS
- A6.10 DETAILS
- A7.1 MAIN LEVEL REFLECTED CEILING PLAN
- A7.2 SECOND LEVEL REFLECTED CEILING PLAN
- A9.1 SCHEDULES

- S1.0 FRAMING PLANS
- S2.0 FRAMING SECTIONS
- S3.0 STRUCTURAL NOTES

- M1.1 MECHANICAL HVAC PLAN
- E1.0 ELECTRICAL SPEC & SCHEDULES
- E1.1 ELECTRICAL LIGHTING PLAN
- E2.1 ELECTRICAL POWER PLAN

PROJECT TEAM:

OWNER

KIBLER & KIRCH
104 NORTH BROADWAY
BILLINGS, MT 59101
p. 406.446.2226
c. 406.690.7602

ARCHITECT

2NORTH
128 CLARK AVENUE
BILLINGS, MT 59101
p. 406.254.7328
c. 406.855-1529

STRUCTURAL

KRIVONEN STRUCTURAL ENGINEERS
1004 DIVISION STREET
BILLINGS, MT 59101
p. 406.259.1184
c. 406.671.2704

MECH./ELEC.

SIMPLICITY Ced, LLC
P.O. BOX 51272
BILLINGS, MT 59105
p. 406.254.7157
c. 406.861.1205

PROJECT SUMMARY:

THE PROJECT CONSISTS OF AN INTERIOR REMODEL TO A PORTION OF THE MAIN AND SECOND LEVELS OF THE HISTORIC STAPLETON BUILDING, LOCATED AT 104 NORTH BROADWAY, BILLINGS, MONTANA INTO A FURNITURE RETAIL STORE. THE REMODEL WILL ADD A CONNECTING COMMUNICATING STAIR BETWEEN THE MAIN AND SECOND LEVELS, AND A NEW MATERIAL LIFT. THE WORK WILL INCLUDE MINOR FACADE IMPROVEMENTS TO THE STOREFRONT ALONG FIRST AVENUE NORTH TO ENHANCE THE PRIMARY ENTRANCE TO THE NEW RETAIL SPACE. THE OCCUPANCY CLASSIFICATIONS FOR BOTH LEVELS REMAIN AS B OCCUPANCIES THE WORK CONSTITUTES A CHANGE OF USE. THE EXISTING BUILDING IS FULLY SPRINKLED.

THE STAPLETON BUILDING CONSTRUCTION CLASSIFICATION IS ASSUMED TO BE TYPE III-B CONSTRUCTION.

CODE SUMMARY: 2018 INTERNATIONAL BUILDING CODE

REMODEL FLOOR AREAS:
MAIN LEVEL: 652 S.F.
SECOND LEVEL: 5,122 S.F.

OCCUPANCY AND USE DESIGNATION: MERCANTILE GROUP M

OCCUPANT LOAD (FACTOR PER TABLE 1004.5): 1 PERSON/60 S.F.
1 PERSON/300 S.F. (STORAGE, STOCK, SHIPPING)

MAIN LEVEL: 9 PERSONS
SECOND LEVEL: 76 PERSONS
TOTAL: 85 PERSONS

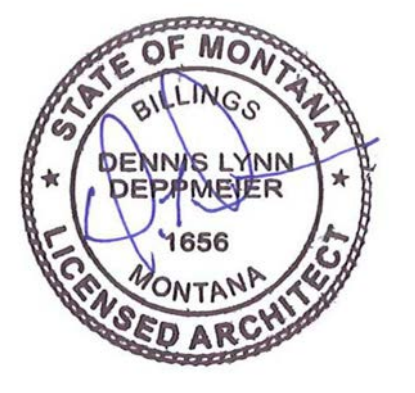
NUMBER OF EXITS REQUIRED:
MAIN LEVEL: >49 OCCUPANT LOAD: ONLY 1 EXIT REQUIRED (2 PROVIDED) OK
SECOND LEVEL: <49 OCCUPANT LOAD: 2 EXITS REQUIRED (2 PROVIDED) OK

REQUIRED EXIT CAPACITY BASED UPON OCCUPANT LOAD:
MAIN LEVEL: 9 X 2 = 18' REQUIRED (72" PROVIDED) OK
SECOND LEVEL: 76 X 2 = 152' REQUIRED (72" PROVIDED) OK

SECOND LEVEL EXIT SEPARATION: MAXIMUM DIAGONAL DIMENSION IS 144'-6 1/2" (1,734.75")
1,734.75" X 3/4 = 578" REQUIRED (979" PROVIDED) OK

GENERAL PROJECT NOTES:

1. DRAWINGS CONTAINED WITHIN THESE DOCUMENTS ARE ABBREVIATED IN NATURE. CONTRACTOR IS EXPECTED TO USE QUALITY, ACCEPTABLE STANDARD CONSTRUCTION PRACTICES & TECHNIQUES.
2. CONTRACTOR TO SUBMIT SHOP DRAWINGS, PRODUCT & FIXTURE EXAMPLES / LITERATURE, MATERIALS SAMPLES & FINISH SAMPLES TO THE ARCHITECT FOR WRITTEN CONFIRMATION OF APPROVAL BEFORE ORDERING / INSTALLATION. ALTERNATIVES ARE ACCEPTABLE ON ARCHITECTS APPROVAL.
3. DO NOT SCALE FROM DRAWINGS. IF A DIMENSION DOES NOT EXIST OR IS IN ERROR, CONTACT THE ARCHITECT IMMEDIATELY FOR WRITTEN CLARIFICATION.
4. CONTRACTOR(S) SHALL GUARANTEE THEIR WORK FOR A PERIOD OF NO LESS THAN ONE YEAR FROM THE DATE SUBSTANTIAL COMPLETION. CONTRACTOR(S) SHALL REPLACE ALL DEFECTIVE PARTS & SUPPLIES AT THEIR COST.
5. CONTRACTOR SHALL SUPPLY ALL PARTS, MATERIALS & LABOR ASSOCIATED WITH COMPLETING THIS PROJECT, UNLESS OTHERWISE NOTED.



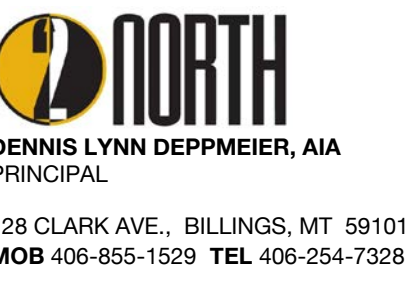
COVER SHEET

THE STAPLETON BUILDING
BILLINGS, MONTANA

DRAWING PROJECT OWNER

JEREMIAH YOUNG

PROJECT # 19002
ISSUE DATE 9/21/2020
REVISIONS



blueboy@bresnan.net

COVER



STATE OF MONTANA
 DENNIS LYNN DEPPMEIER
 1656
 MONTANA
 LICENSED ARCHITECT

DRAWING
 PROJECT
 OWNER

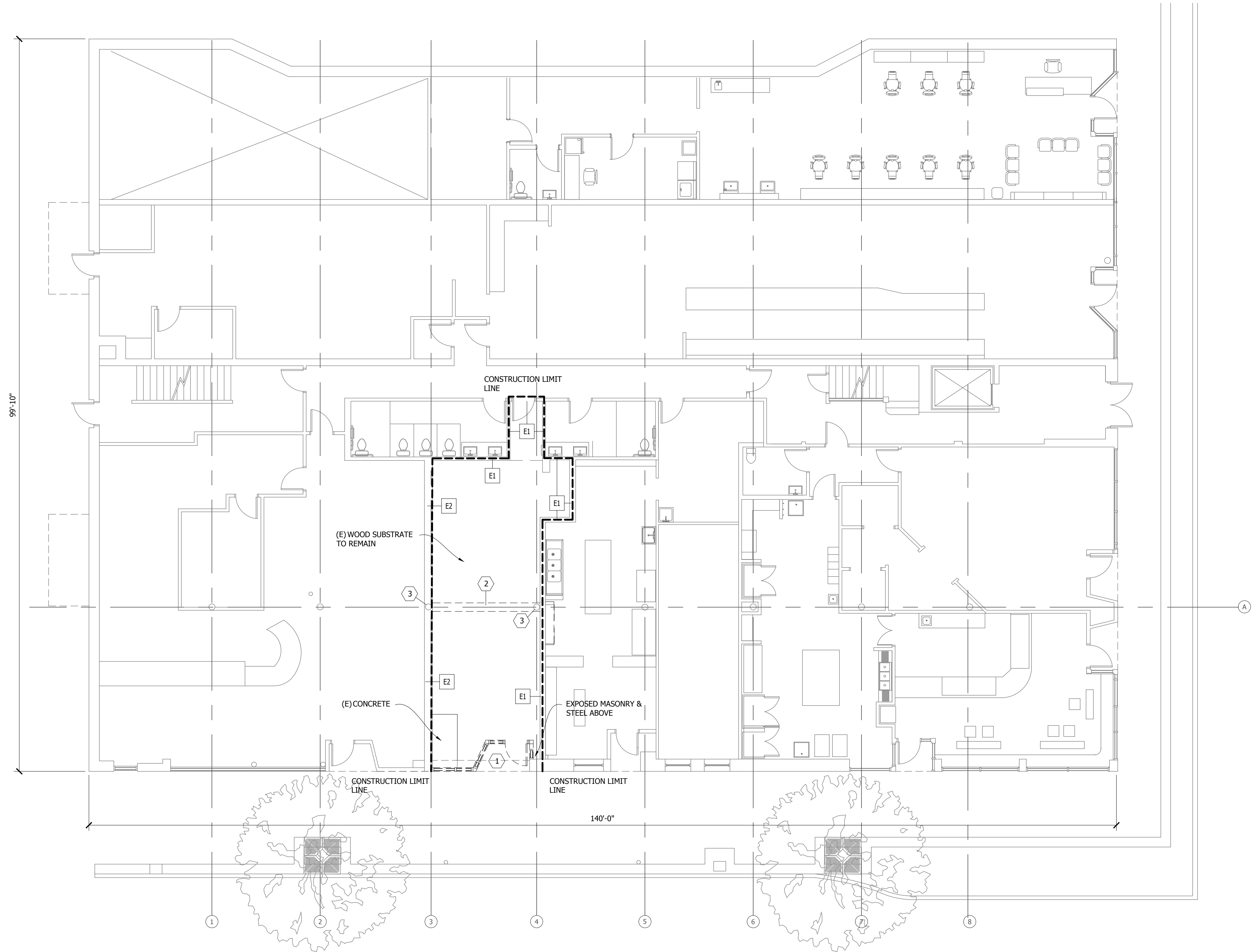
PROJECT NO
 ISSUE DATE
 REVISIONS

19002
 9/21/2020

NORTH
 DENNIS LYNN DEPPMEIER, AIA
 PRINCIPAL
 128 CLARK AVE., BILLINGS, MT 59101
 MOB 406-855-1529 TEL 406-254-7328

blueboy@bresnan.net

D2.1



PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN

GENERAL NOTES

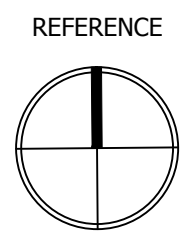
- CONTRACTOR SHALL DEMOLISH ALL EXISTING WORK AS REQUIRED TO ACCOMMODATE NEW WORK SHOWN IN THESE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE DEMOLITION.
- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
- CONTRACTOR TO COORDINATE ALL DEMOLITION REQUIRED TO ACCOMMODATE NEW MECHANICAL/ELECTRICAL / FIRE PROTECTION SYSTEM REQUIREMENTS.
- REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
- PREPARE WOOD FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISHES.

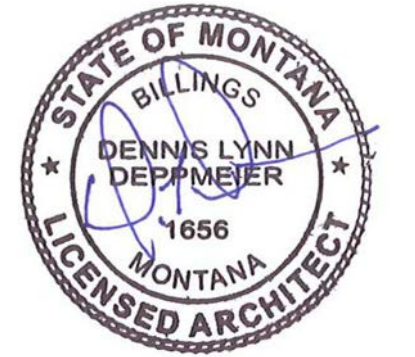
DEMOLITION PLAN LEGEND

SYMBOL	DESCRIPTION
MAIN LEVEL DEMOLITION FLOOR PLAN NOTES	
	REMOVE (E) STOREFRONT BELOW THE TRANSOM
	REMOVE (E) PLASTER BOX BEAM WRAP AND STEEL SHELF ANGLE ABOVE FOR NEW STAIR OPENING
	(E) STEEL COLUMN TO REMAIN

EXISTING WALL TYPE LEGEND

RATING	SIDE 1 FRAMING	SIDE 2 FRAMING	(E) GYP. BD.
E1	NONE	2X4 WOOD STUD	OPEN FRAMING
E2	NONE	2X8 WOOD STUD	OPEN FRAMING





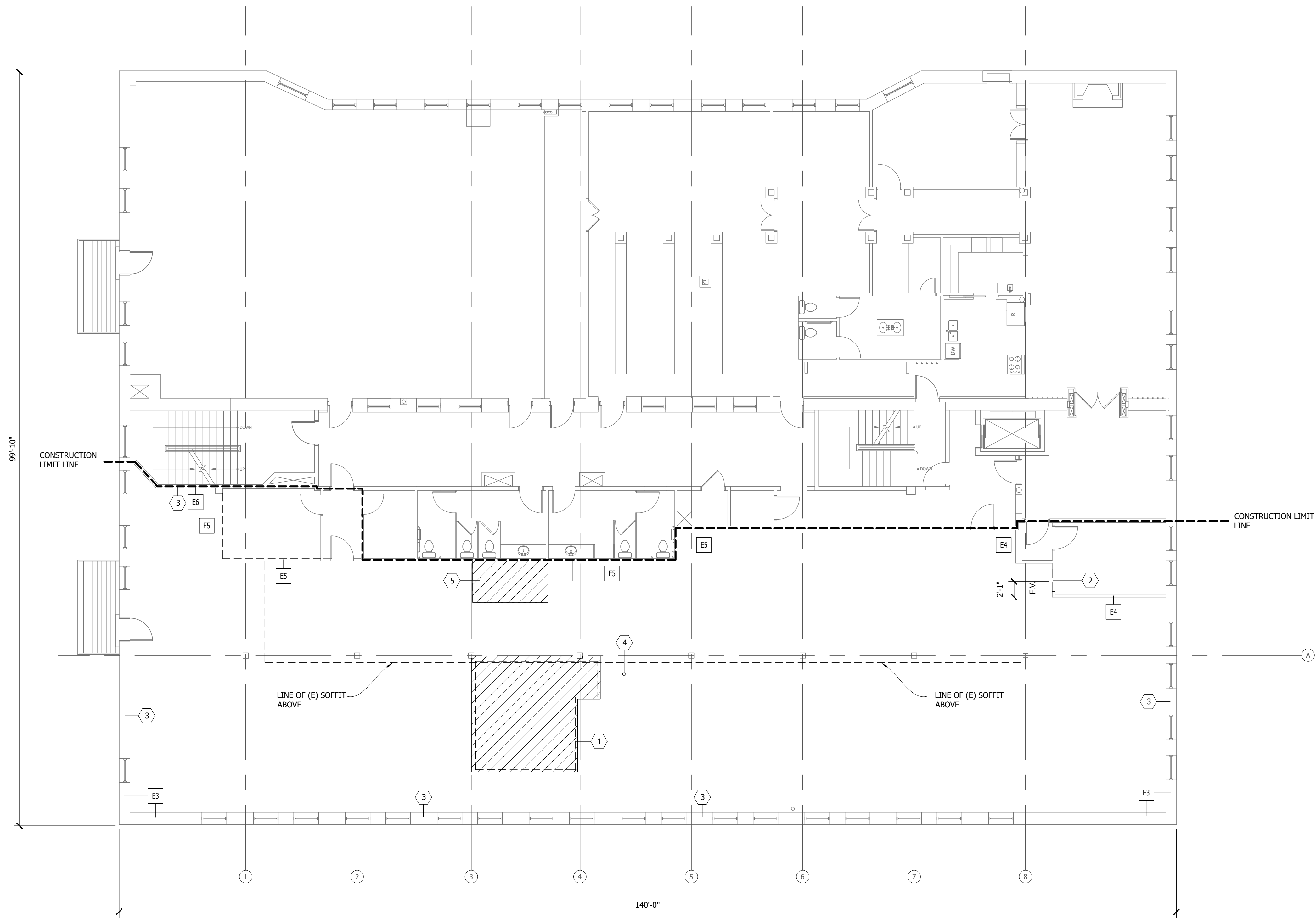
SECOND LEVEL DEMOLITION FLOOR PLAN
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

DRAWING
 PROJECT
 OWNER

PROJECT NO 19002
 ISSUE DATE 9/21/2020
 REVISIONS

NORTH
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PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN

GENERAL NOTES

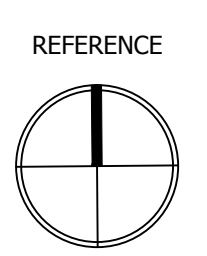
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- PREPARE WOOD FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISHES.

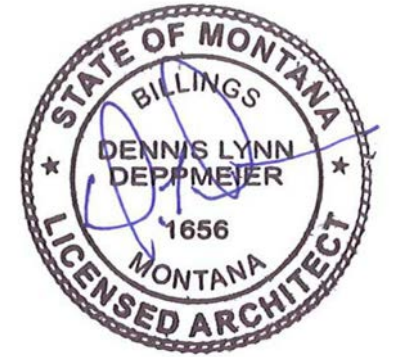
DEMOLITION PLAN LEGEND

SYMBOL	DESCRIPTION
SECOND LEVEL DEMOLITION FLOOR PLAN NOTES	
	REMOVE (E) FLOOR ASSEMBLY TO ACCOMMODATE NEW ARCHITECTURAL STAIR ASSEMBLY. FIELD VERIFY OVERCUT DIMENSIONS FOR NEW STRUCTURE TO SUPPORT THE FLOOR FRAME.
	REMOVE (E) WALL FOR NEW DOOR R.O.
	REMOVE 6" OF (E) GYP. BD. AT FLOOR BASE TO PROVIDE ACCESS FOR (N) ELECTRICAL ROUGH-IN.
	(E) FIRE SPRINKLER RISER TO BE RELOCATED.
	REMOVE (E) FLOOR ASSEMBLY TO ACCOMMODATE NEW MATERIAL LIFT. FIELD VERIFY OVERCUT DIMENSIONS FOR NEW STRUCTURE TO SUPPORT THE FLOOR FRAME.

EXISTING WALL TYPE LEGEND

RATING	SIDE 1 FRAMING	SIDE 2 FRAMING	BUILDING EXTERIOR
	NONE	NONE	MASONRY (E) GYP. BD.
	NONE	NONE	(E) GYP. BD. 3 5/8" METAL STUD 1/2" OSB
	NONE	NONE	(E) GYP. BD. 3 5/8" METAL STUD OPEN FRAMING
	NONE	NONE	(E) GYP. BD. 3 5/8" METAL STUD (E) GYP. BD.





THE STAPLETON BUILDING
BILLINGS, MONTANA

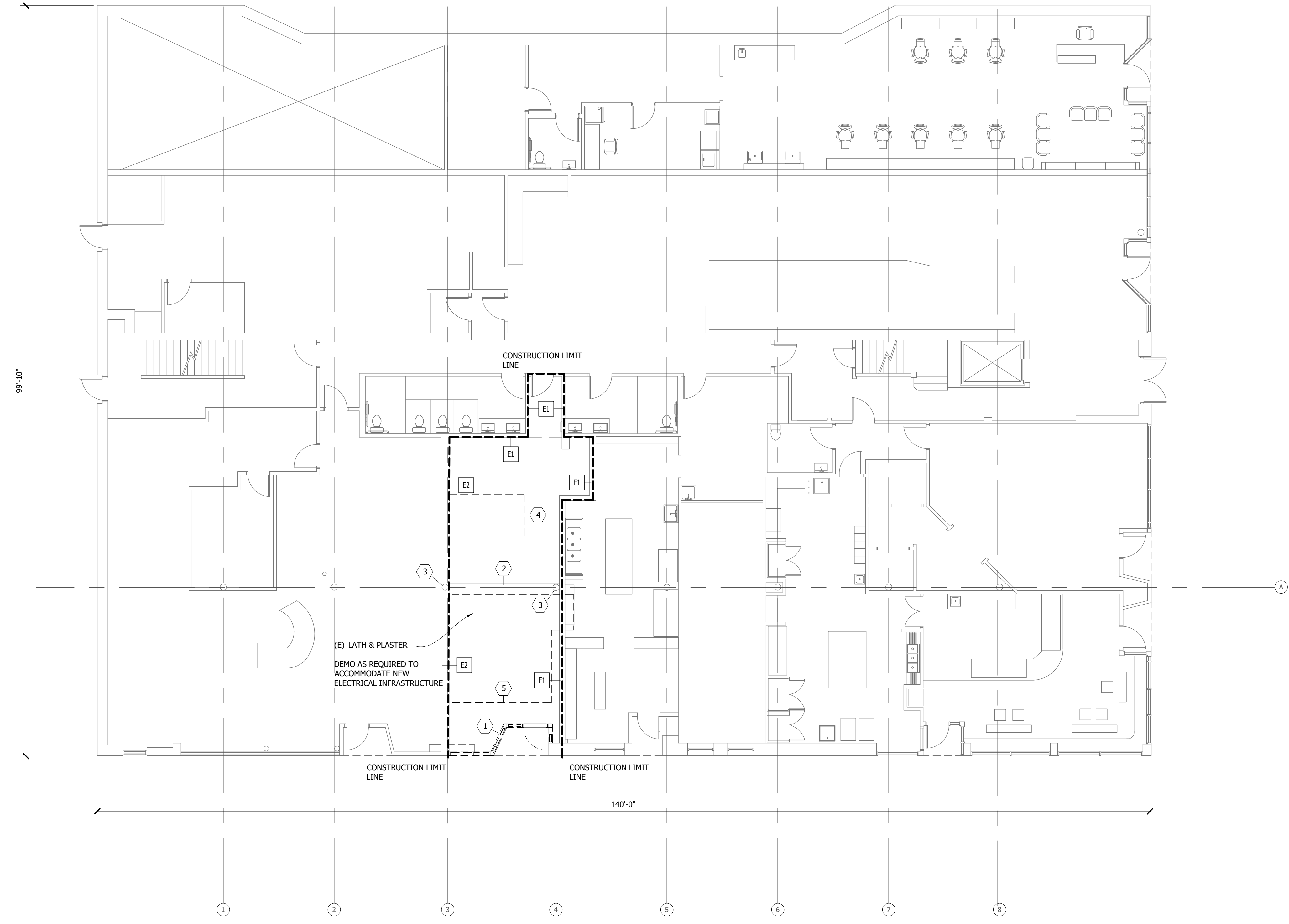
JEREMIAH YOUNG
OWNER

DRAWING: MAIN LEVEL DEMOLITION REFLECTED CEILING PLAN
PROJECT: THE STAPLETON BUILDING
OWNER: JEREMIAH YOUNG

PROJECT NO: 19002
ISSUE DATE: 9/21/2020
REVISIONS:

NORTH
DENNIS LYNN DEPPMEIER, AIA
PRINCIPAL
128 CLARK AVE., BILLINGS, MT 59101
MOB 406-855-1529 TEL 406-254-7328

blueboy@bresnan.net



PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN
	NEW WALL CONSTRUCTION REFERENCE WALL TYPES LEGEND

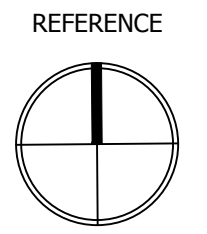
GENERAL NOTES

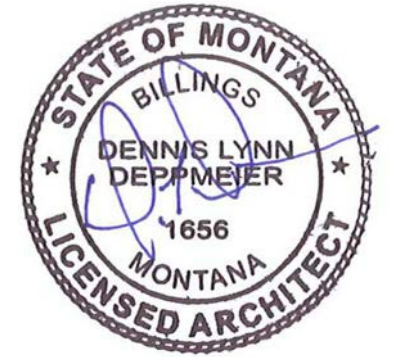
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- REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
- THE (E) CEILING IS LATH & PLASTER. THE PLASTER APPEARS TO HAVE LOST KEYING AND IS LIKELY LOOSE IN SOME AREAS. PROTECT THE PLASTER FROM FALLING.

DEMOLITION PLAN LEGEND

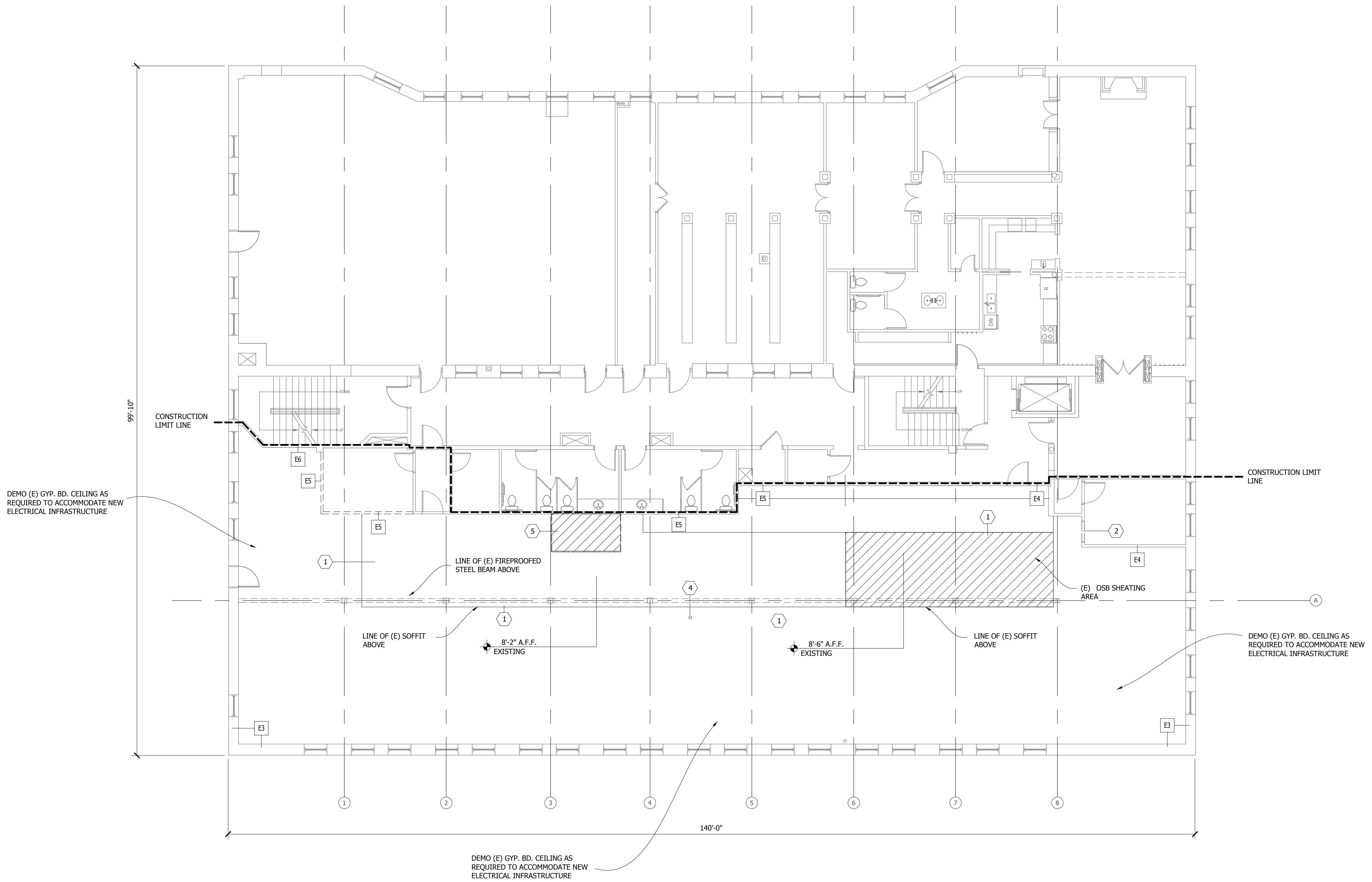
SYMBOL	DESCRIPTION
MAIN LEVEL DEMOLITION REFLECTED CEILING PLAN NOTES	
	REMOVE (E) STOREFRONT BELOW THE TRANSOM.
	REMOVE (E) PLASTER BOX BEAM WRAP AND STEEL SHELF ANGLE ABOVE FOR NEW STAIR OPENING. SEE DETAIL 3/A6.9.
	(E) STEEL COLUMN TO REMAIN.
	REMOVE (E) CEILING ASSEMBLY TO ACCOMMODATE NEW MATERIAL LIFT. FIELD VERIFY OVERCUT DIMENSIONS FOR NEW STRUCTURE TO SUPPORT THE FLOOR FRAME.
	REMOVE (E) CEILING ASSEMBLY TO ACCOMMODATE NEW STAIR. FIELD VERIFY OVERCUT DIMENSIONS FOR NEW STRUCTURE TO SUPPORT THE FLOOR FRAME.

EXISTING WALL TYPE LEGEND			
	RATING	SIDE 1	SIDE 2
	NONE	FRAMING	FRAMING
		NOTES:	NOTES:
	NONE	FRAMING	FRAMING
		NOTES:	NOTES:





SECOND LEVEL DEMOLITION REFLECTED CEILING PLAN
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 OWNER: JEREMIAH YOUNG



PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN

GENERAL NOTES

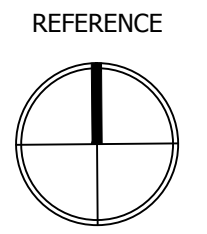
- CONTRACTOR SHALL DEMOLISH ALL EXISTING WORK AS REQUIRED TO ACCOMMODATE NEW WORK SHOWN IN THESE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE DEMOLITION.
- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
- CONTRACTOR TO COORDINATE ALL DEMOLITION REQUIRED TO ACCOMMODATE NEW MECHANICAL/ELECTRICAL / FIRE PROTECTION SYSTEM REQUIREMENTS.
- REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
- THE (E) SOFFIT IS 2X WOOD FRAMED CONSTRUCTION WITH OSB SHEATHING AS INDICATED BY THE NOTED HATCH ON DRAWINGS.
- THE (E) CEILING HAS 5/8" TYPE X GYP. BD. THROUGHOUT TO UNDERSIDE OF STRUCTURE.

DEMOLITION PLAN LEGEND

SYMBOL	DESCRIPTION
SECOND LEVEL DEMOLITION REFLECTED CEILING PLAN NOTES	
	REMOVE ENTIRE (E) WOOD SOFFIT FRAME TO U.S. OF STRUCTURE.
	REMOVE (E) WALL FOR NEW DOOR R.O.
	NOT USED.
	(E) FIRE SPRINKLER RISER TO BE RELOCATED.
	MODIFY (E) CEILING ASSEMBLY TO ACCOMMODATE NEW MATERIAL LIFT. FIELD VERIFY OVERCLUT DIMENSIONS FOR NEW STRUCTURE TO SUPPORT THE FLOOR FRAME.

EXISTING WALL TYPE LEGEND

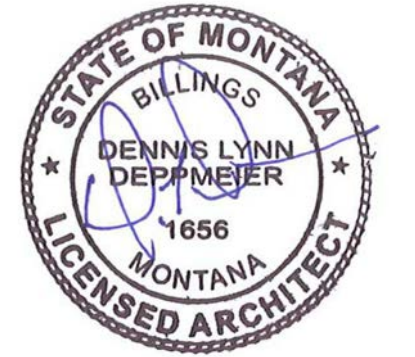
RATING	SIDE 1 FRAMING	SIDE 2 FRAMING	BUILDING EXTERIOR
	NONE	NONE	MASONRY (E) GYP. BD.
	NONE	3 5/8" METAL STUD 1/2" OSB	(E) GYP. BD.
	NONE	3 5/8" METAL STUD OPEN FRAMING	(E) GYP. BD.
	NONE	3 5/8" METAL STUD	(E) GYP. BD.



PROJECT NO: 19002
 ISSUE DATE: 9/21/2020
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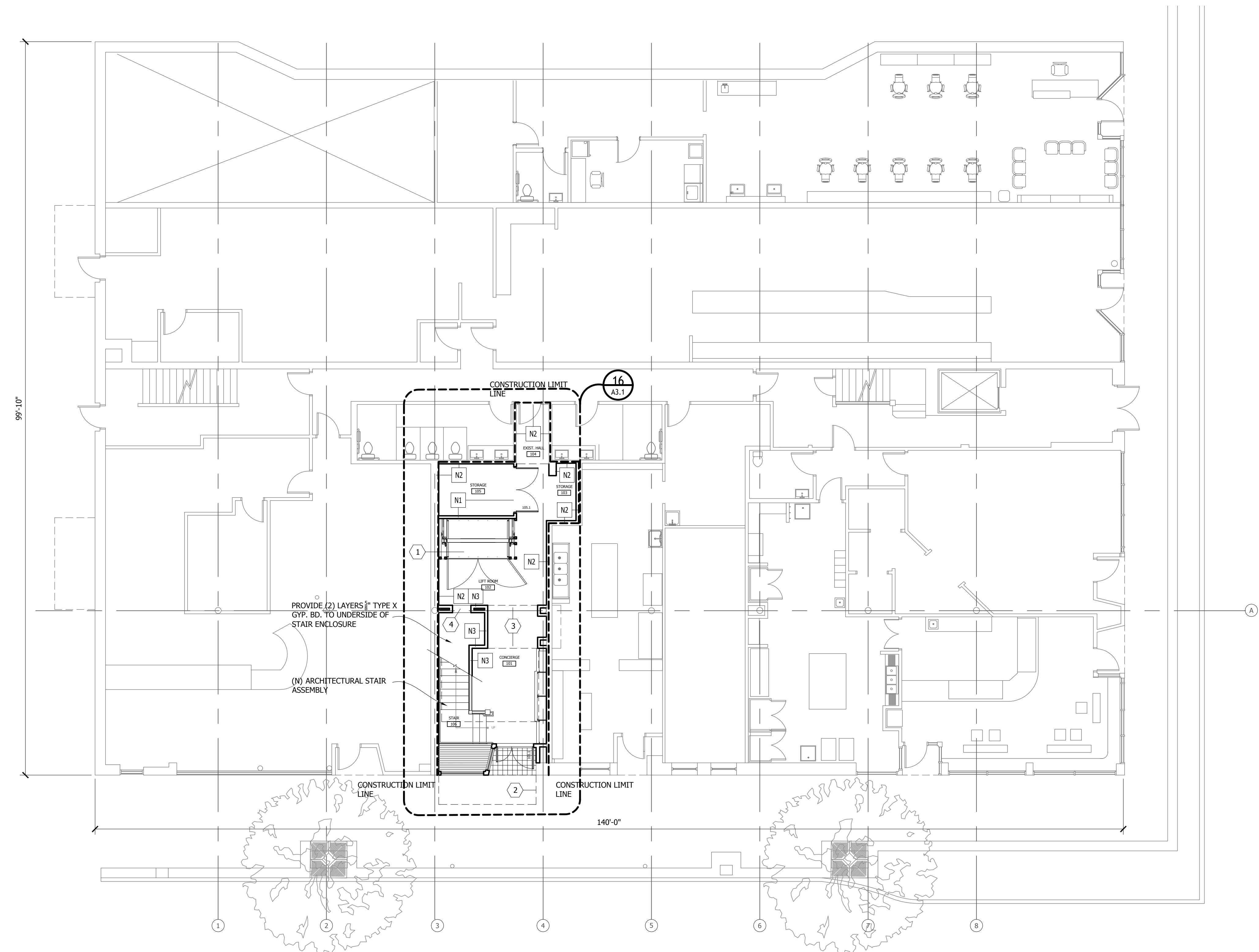
STATE OF MONTANA
 DENNIS LYNN DEPPMEIER
 1656
 MONTANA
 LICENSED ARCHITECT

MAIN LEVEL FLOOR PLAN
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 OWNER: JEREMIAH YOUNG

PROJECT NO: 19002
 ISSUE DATE: 9/21/2020
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PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN
	NEW WALL CONSTRUCTION REFERENCE WALL TYPES LEGEND

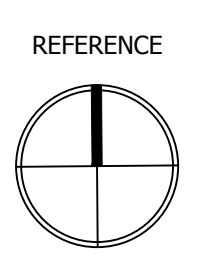
GENERAL NOTES

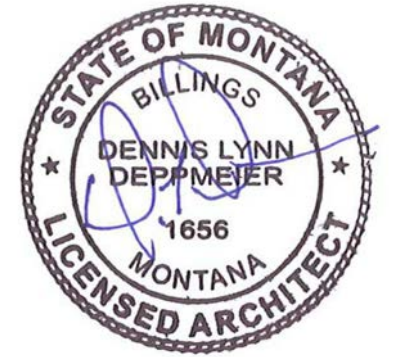
- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
- PREPARE WOOD FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISHES.
- PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
MAIN LEVEL NOTES	
①	(N) MATERIAL LIFT
②	LINE OF (N) AWNING ABOVE BY OWNER
③	LINE OF (N) ARCHITECTURAL STAIR ASSEMBLY ABOVE
④	24"W X 36"H ACCESS PANEL FOR (N) MECHICAL. EQUIP. MATCH WALL PANEL FINISH

NEW WALL TYPE LEGEND			
N1	RATING	SIDE 1	5/8" TYPE X GYP. BD.
		FRAMING	2X4 WOOD STUD
N2	RATING	SIDE 1	(E) GYP. BD.
		FRAMING	(E) FRAMING
N3	RATING	SIDE 1	5/8" TYPE X GYP. BD.
		FRAMING	2X4 WOOD STUD
N3	RATING	SIDE 2	1/2" OSB
		NOTES:	PROVIDE SOUND BATT INSULATION





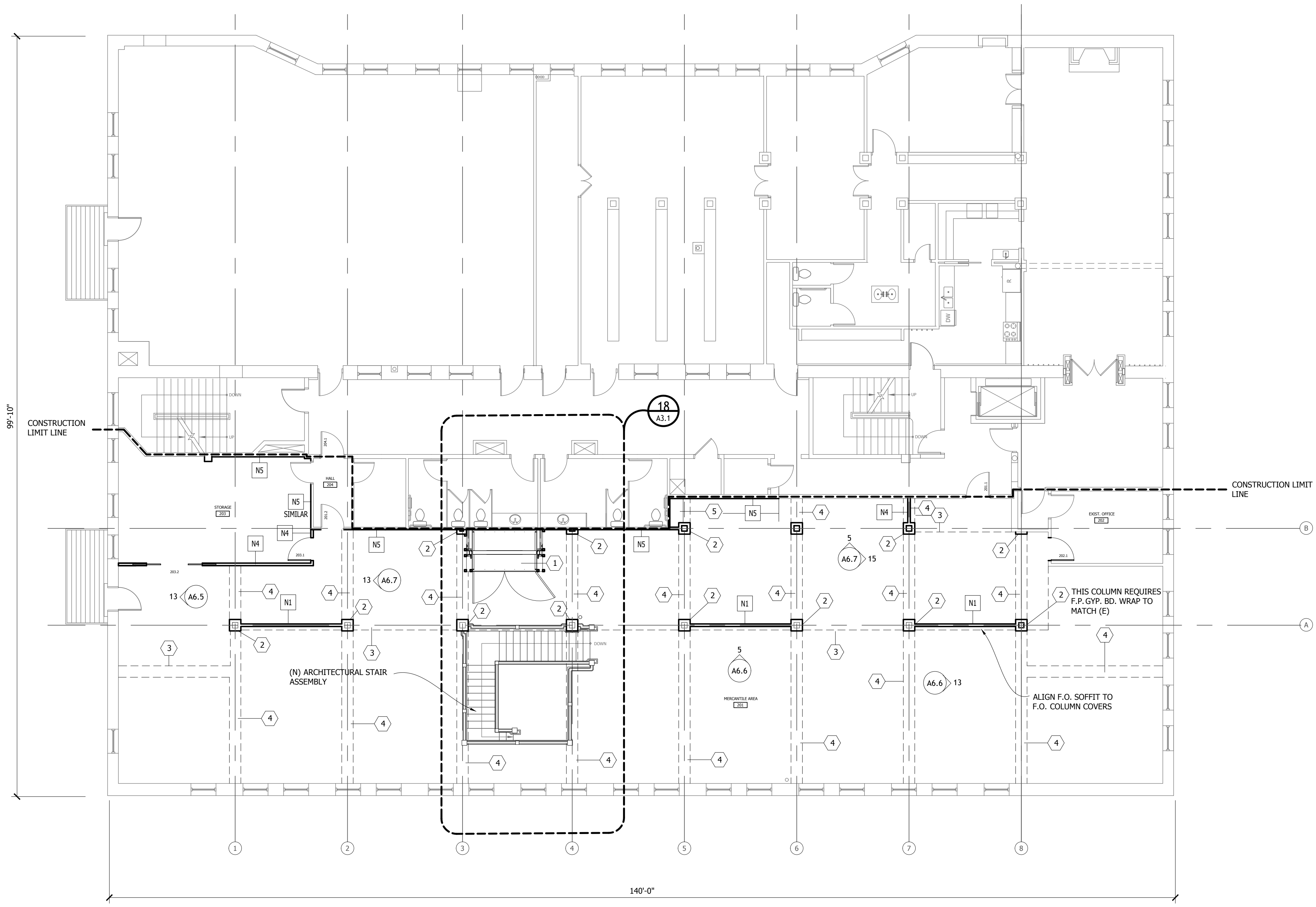
SECOND LEVEL FLOOR PLAN
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

DRAWING
 PROJECT
 OWNER

PROJECT NO 19002
 ISSUE DATE 9/21/2020
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PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN
	NEW WALL CONSTRUCTION REFERENCE WALL TYPES LEGEND

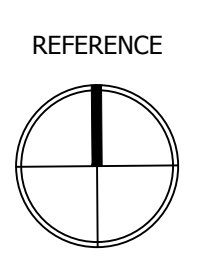
GENERAL NOTES

- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
- PREPARE WOOD FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISHES.
- PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
- ALL (E) COLUMNS HAVE REQUIRED F.P. GYP. BD WRAP EXCEPT WHERE INDICATED.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
SECOND LEVEL NOTES	
①	(N) MATERIAL LIFT
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	LINE OF SOFFIT ABOVE
④	LINE OF (N) WD-1 BOX BEAMS ABOVE
⑤	(N) ARCHITECTURAL CASEWORK

NEW WALL TYPE LEGEND			
N1	RATING	SIDE 1	5/8" TYPE X GYP. BD.
	NONE	FRAMING	2X4 WOOD STUD
		SIDE 2	5/8" TYPE X GYP. BD.
NOTES:			
N2	RATING	SIDE 1	(E) GYP. BD.
	NONE	FRAMING	(E) FRAMING
		SIDE 2	5/8" TYPE X GYP. BD.
NOTES: PROVIDE SOUND BATT INSULATION			
N3	RATING	SIDE 1	5/8" TYPE X GYP. BD.
	NONE	FRAMING	2X4 WOOD STUD
		SIDE 2	1/2" OSB
NOTES: PROVIDE SOUND BATT INSULATION			
N4	RATING	SIDE 1	1/2" OSB
	NONE	FRAMING	2X4 WOOD STUD
		SIDE 2	1/2" OSB
NOTES:			
N5	RATING	SIDE 1	(E) GYP. BD.
	NONE	FRAMING	(E) FRAMING
		SIDE 2	1/2" OSB
NOTES:			





PARTIAL SOUTH EXTERIOR ELEVATION
THE STAPLETON BUILDING
BILLINGS, MONTANA
JEREMIAH YOUNG

DRAWING
PROJECT
OWNER

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SECTIONS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 PROJECT
 DRAWING
 OWNER
 JEREMIAH YOUNG

PROJECT # 19002
 ISSUE DATE 9/21/2020
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A5.1

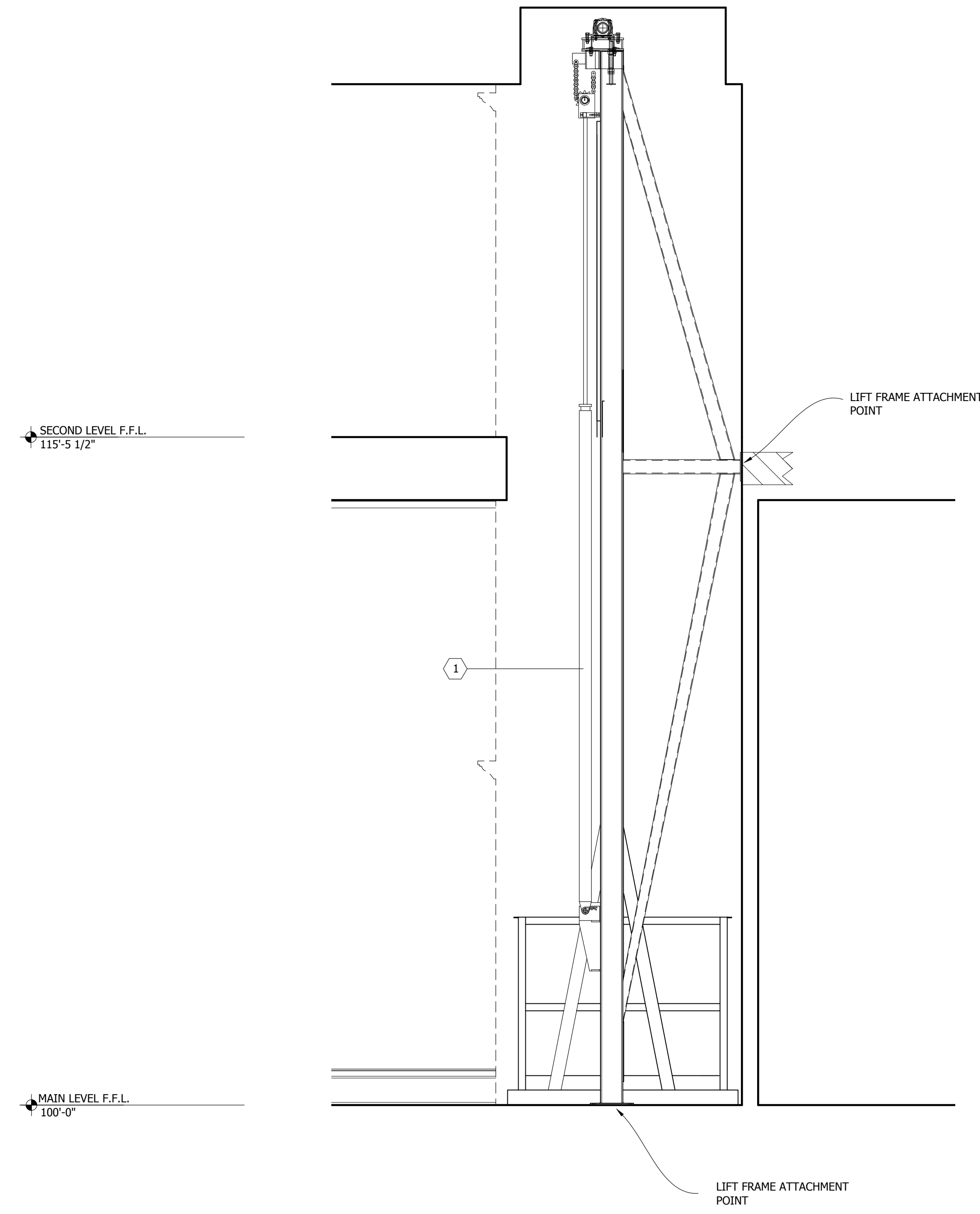
GENERAL NOTES

1. REFERENCE STRUCTURAL DRAWINGS FOR FLOOR FRAMING MODIFICATIONS AT MATERIAL LIFT OPENINGS
2. REFERENCE ELECTRICAL DRAWINGS FOR MATERIAL LIFT REQUIREMENTS
3. REFERENCE MECHANICAL DRAWINGS FOR MATERIAL LIFT REQUIREMENTS IF REQUIRED

MATERIAL LIFT SPECIFICATION (VERTICAL RECIPROCATING CONVEYOR) ASSEMBLY
 SERIES 21 VRC MANUFACTURED BY PFLOW INDUSTRIES, INC
 6720 N. TELUTONIA AVE.
 MILWAUKEE, WI 53209
 (P) 414-352-9000
 (F) 414-352-9002
 EMAIL: INFO@PFLOW.COM
 CAPACITY: 2,500 LBS
 SPEED: 24 FPM
 VERTICAL TRAVEL: 185 1/2" W/ 2 OPERATING LEVELS (FIELD VERIFY)
 SUBMIT SHOP DRAWINGS & PRODUCT SPECIFICATIONS FOR APPROVAL BY ARCHITECT

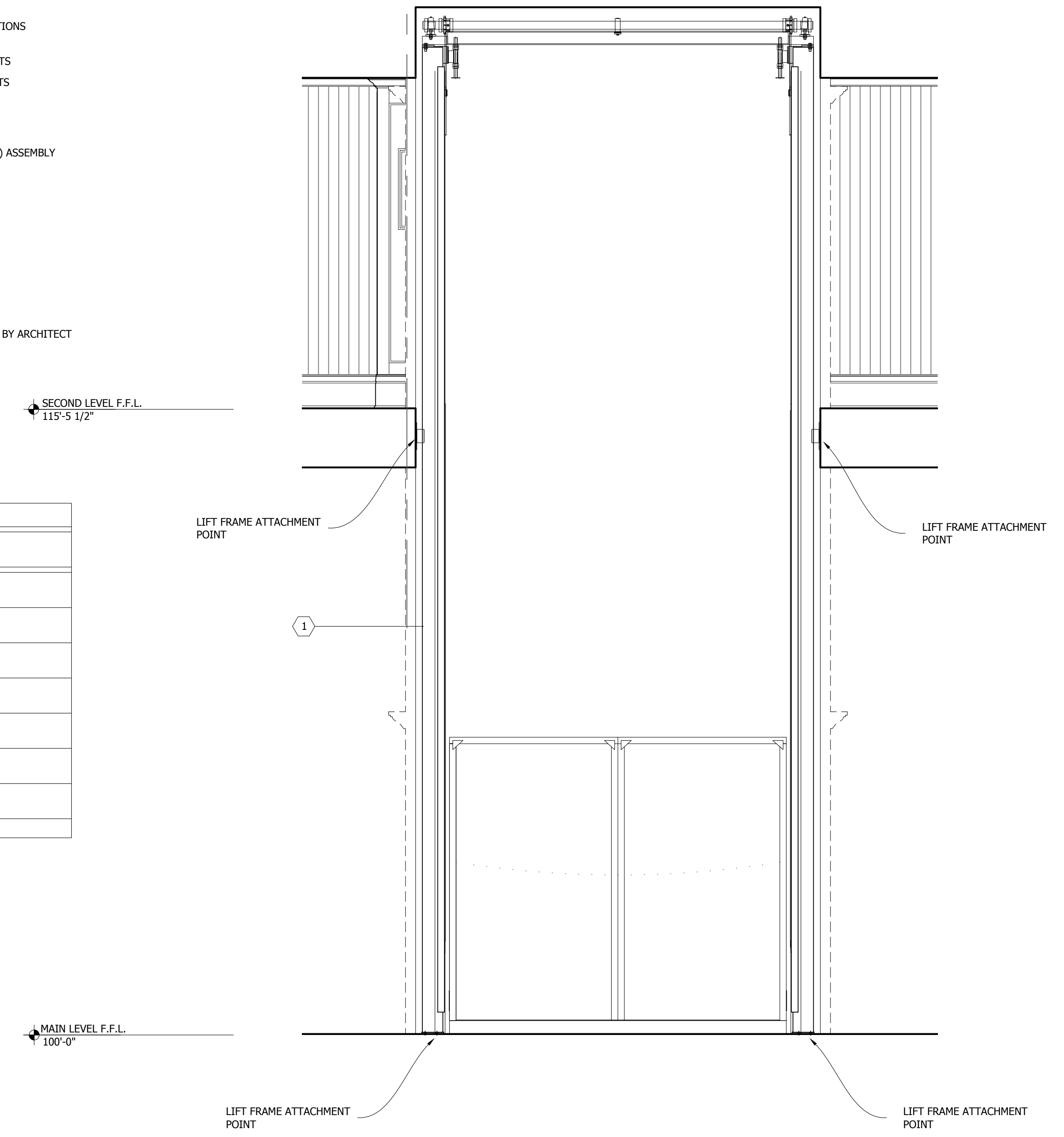
REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
	SECTION NOTES
①	(N) MATERIAL LIFT



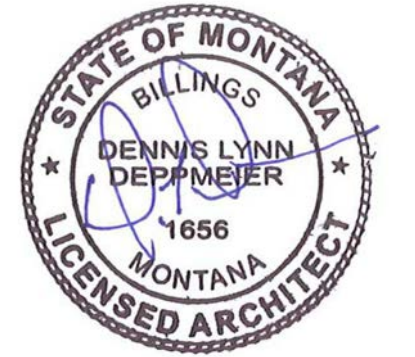
13 MATERIAL LIFT SECTION
A2.1 : A5.1

1/2" = 1' - 0"



15 MATERIAL LIFT SECTION
A2.1 : A5.1

1/2" = 1' - 0"



SECTIONS
DRAWING

THE STAPLETON BUILDING
BILLINGS, MONTANA

PROJECT

OWNER
JEREMIAH YOUNG

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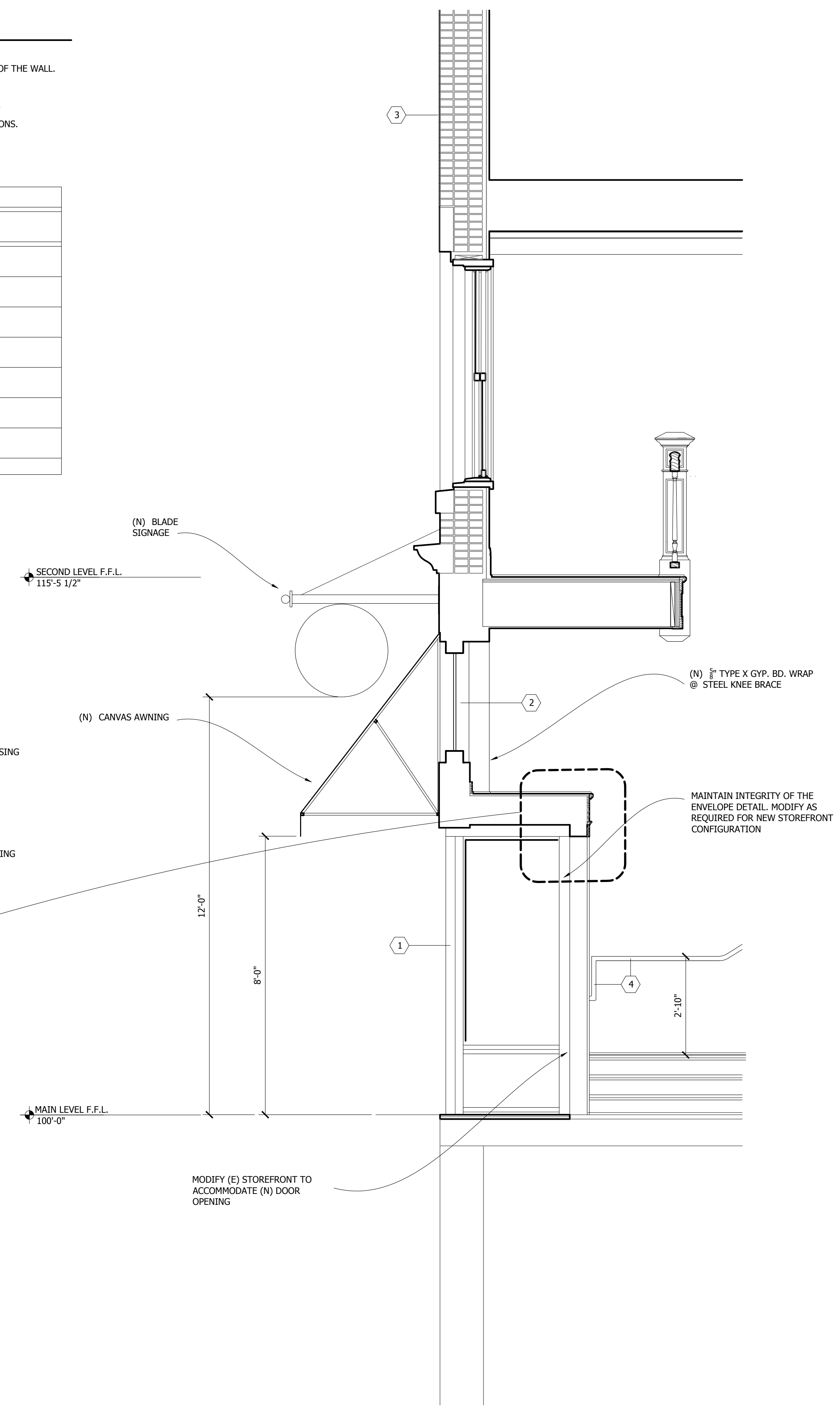
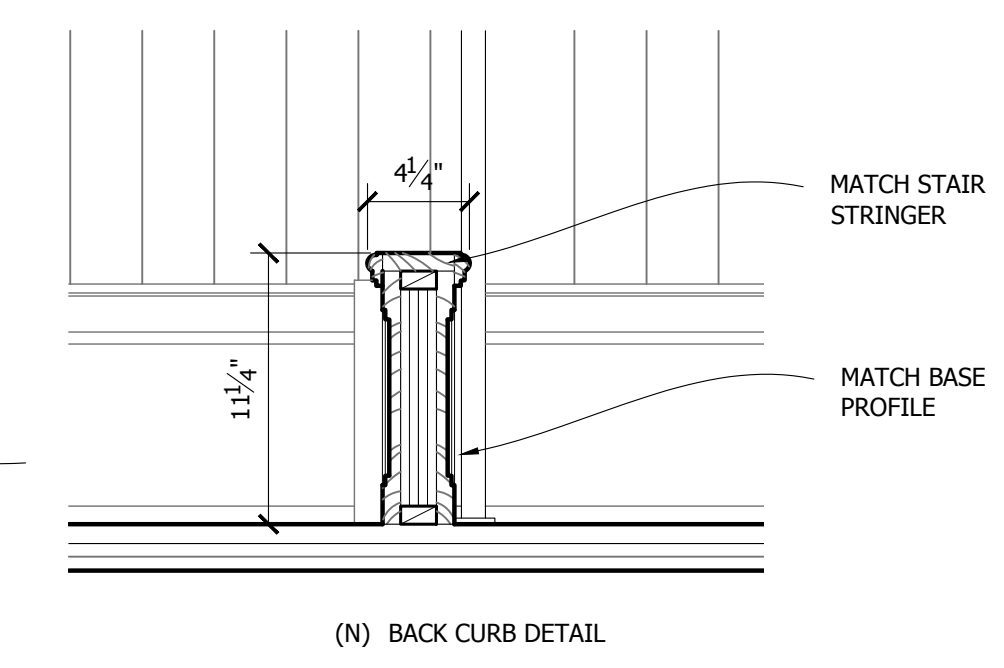
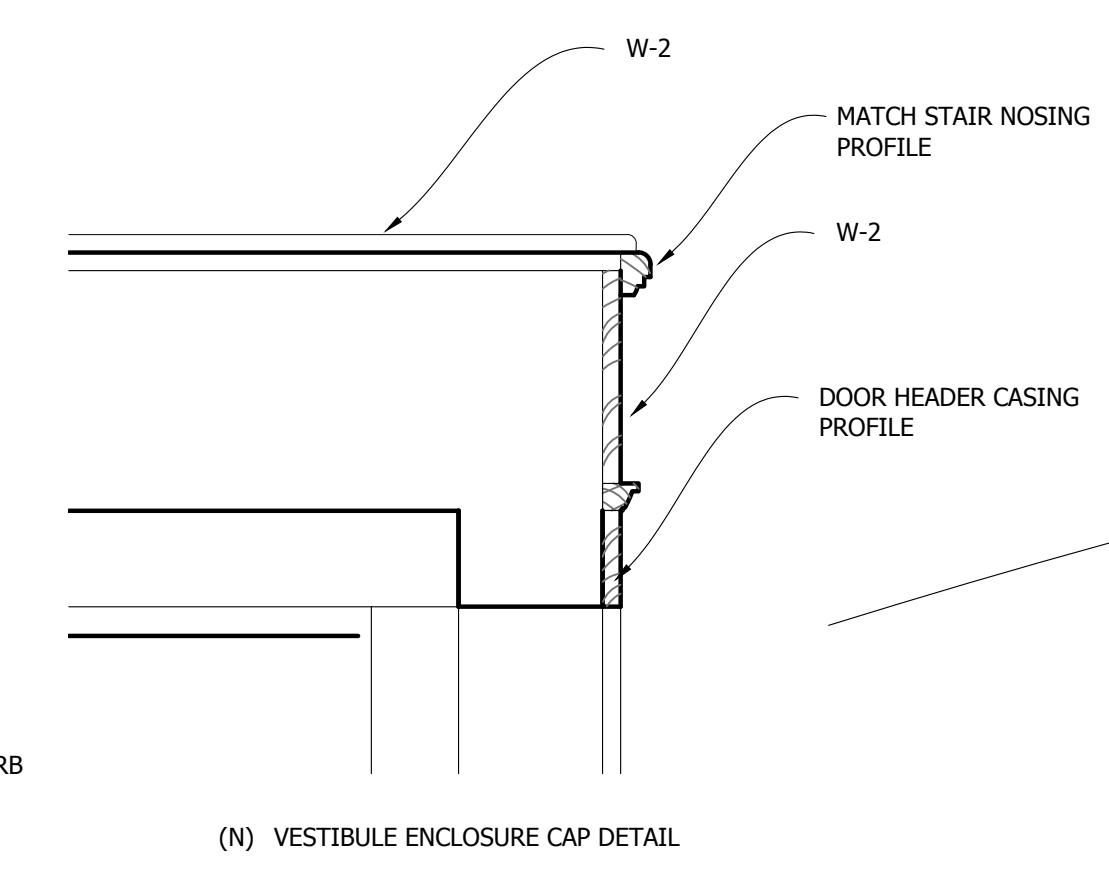
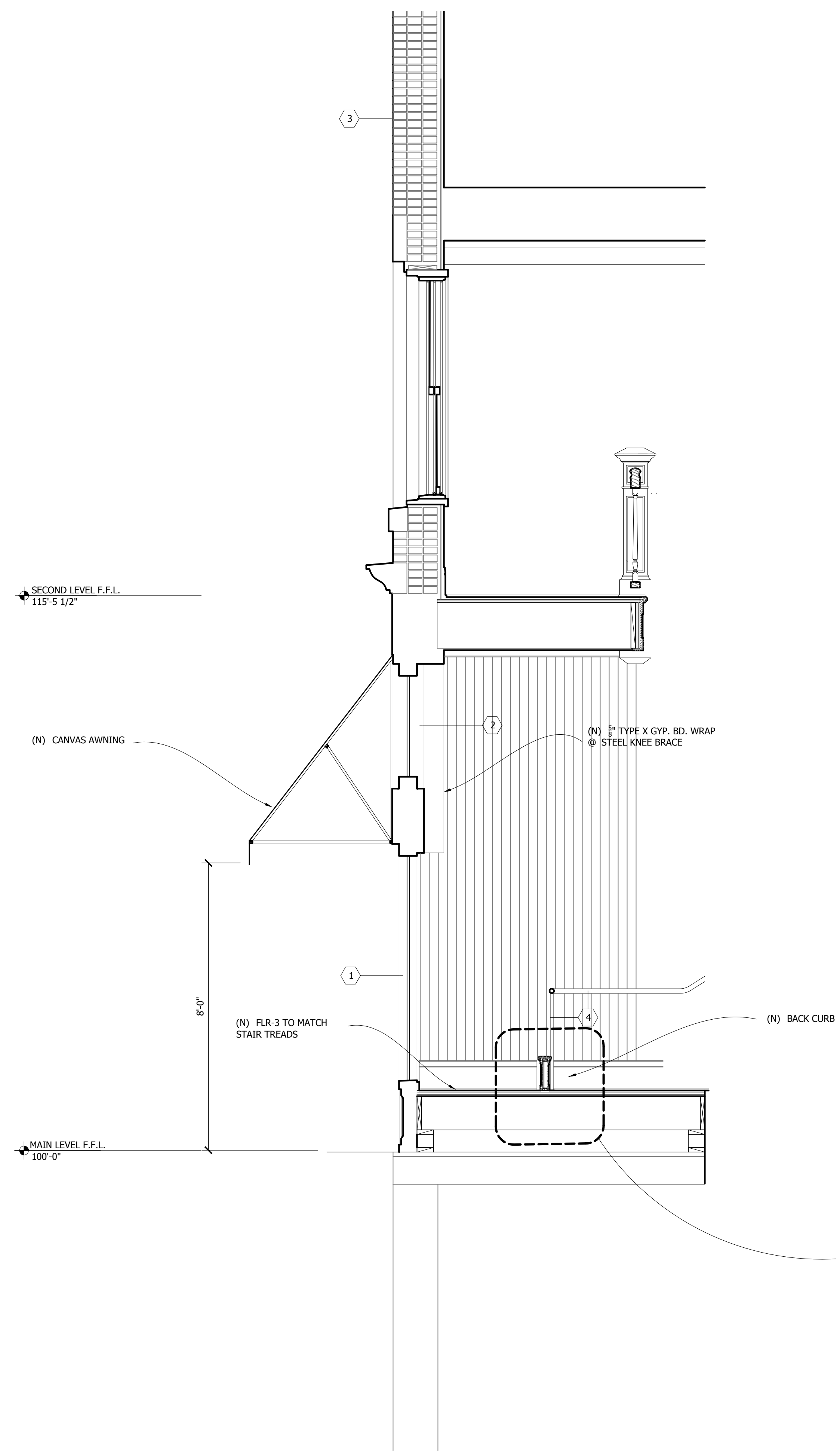
A5.2

GENERAL NOTES

1. ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
2. PREPARE WOOD FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISHES.
3. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
4. REFERENCE STRUCTURAL DRAWINGS FOR FLOOR FRAMING MODIFICATIONS.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
SECTION NOTES	
①	(N) ALUMINUM STOREFRONT SYSTEM W/ RAISED PANEL TO MATCH (E)
②	(E) TRANSOM GLASS ASSEMBLY TO REMAIN
③	(E) LOAD BEARING MASONRY WALL ASSEMBLY
④	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY - PRIME & PAINT



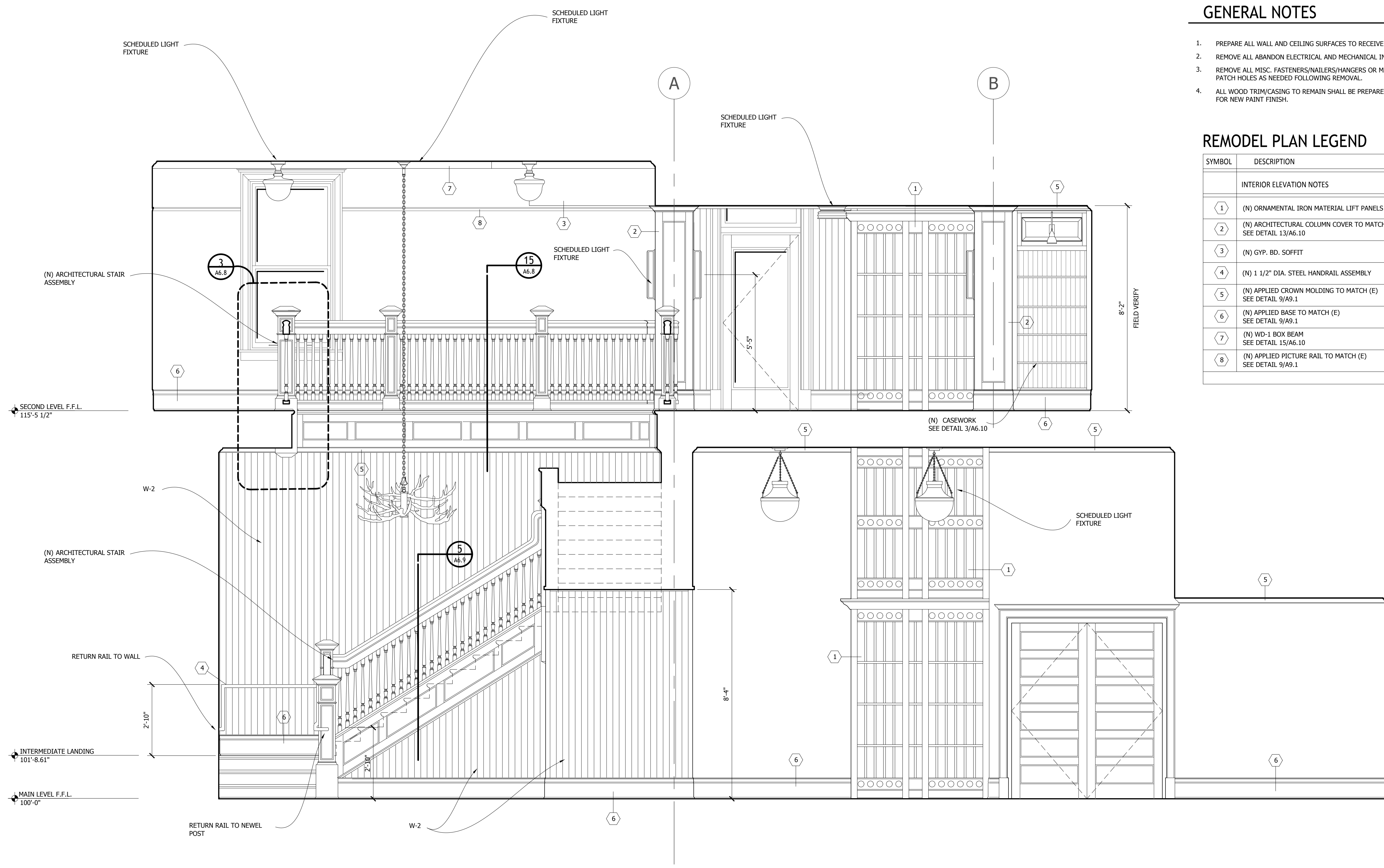


GENERAL NOTES

1. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW PAINT FINISH.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
1	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
2	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
3	(N) GYP. BD. SOFFIT
4	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY
5	(N) APPLIED CROWN MOULDING TO MATCH (E) SEE DETAIL 9/A9.1
6	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1
7	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
8	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1



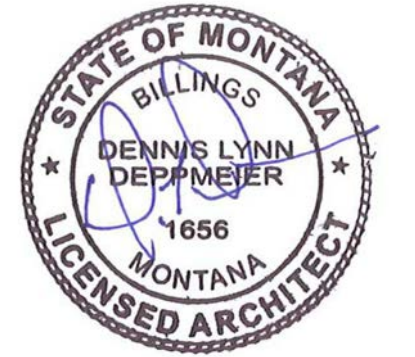
INTERIOR ELEVATIONS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

DRAWING
 PROJECT
 OWNER

PROJECT NO 19002
 ISSUE DATE 9/21/2020
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INTERIOR ELEVATIONS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

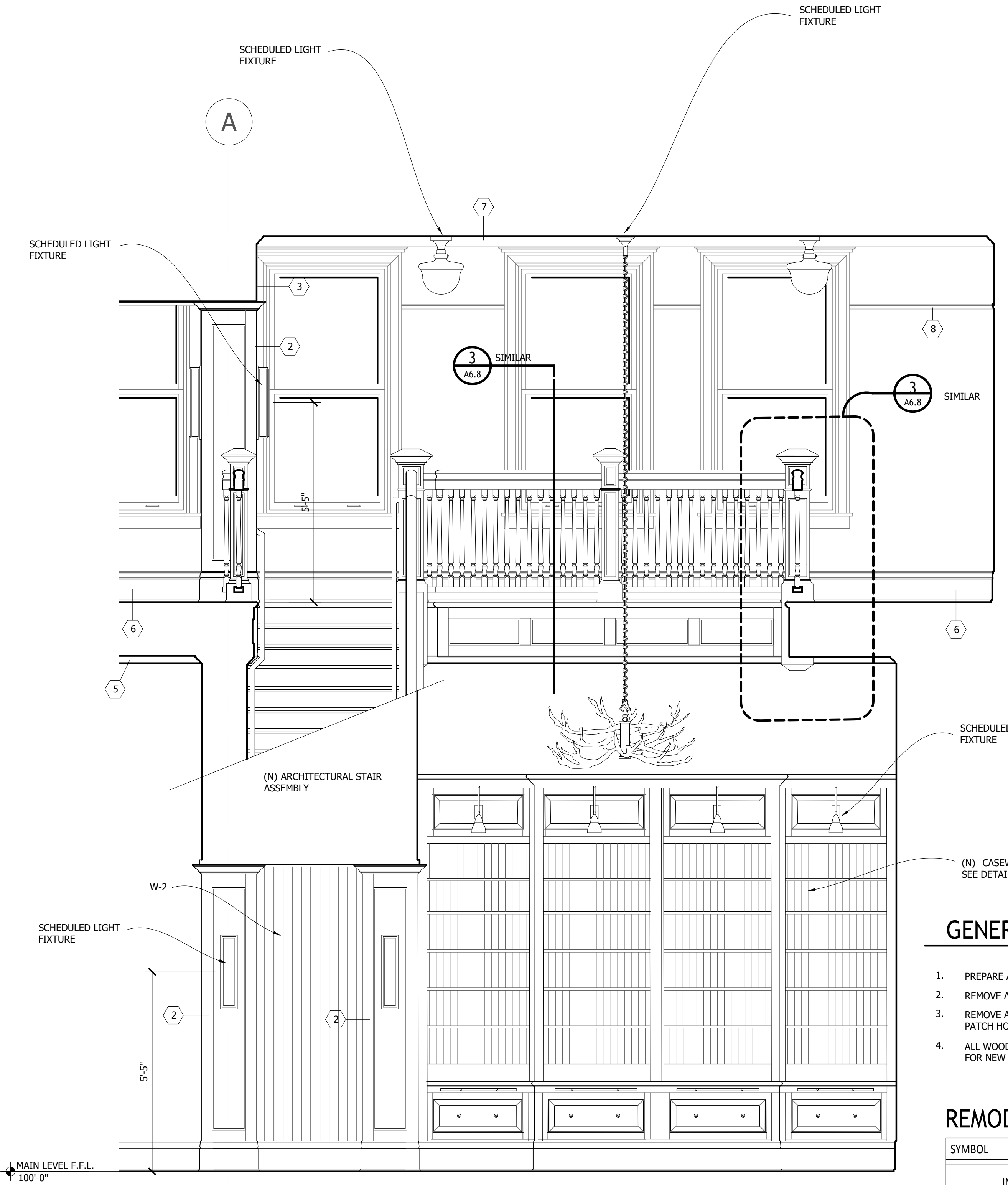
DRAWING PROJECT OWNER

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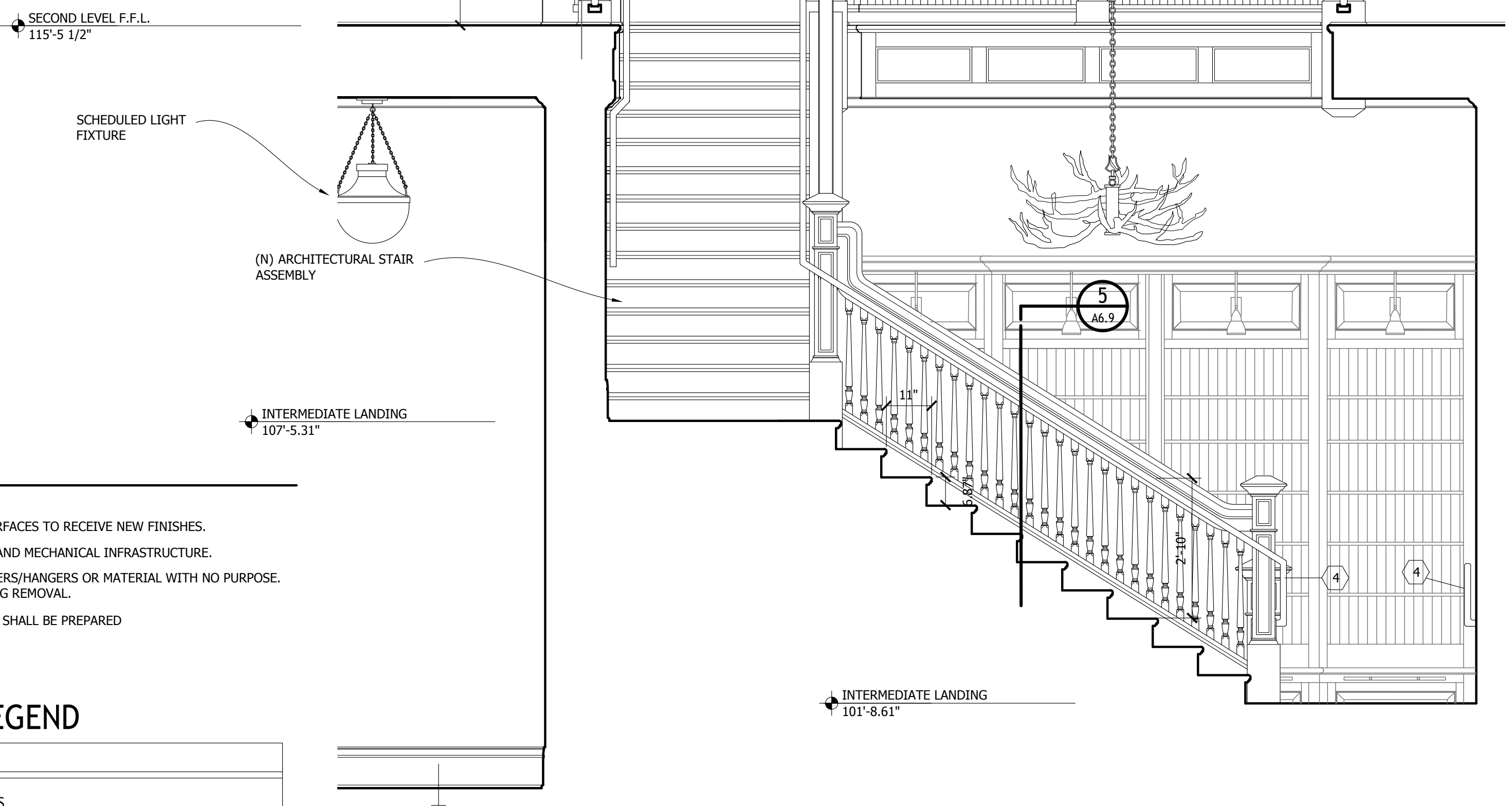
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A6.3



13 INTERIOR ELEVATION
 A3.1 : A6.3 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

1/2" = 1' - 0"



15 INTERIOR ELEVATION
 A3.1 : A6.3 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

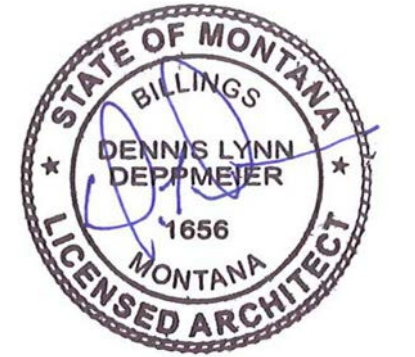
1/2" = 1' - 0"

GENERAL NOTES

1. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW PAINT FINISH.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
1	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
2	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
3	(N) GYP. BD. SOFFIT
4	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY
5	(N) APPLIED CROWN MOLDING TO MATCH (E) SEE DETAIL 9/A9.1
6	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1
7	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
8	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1

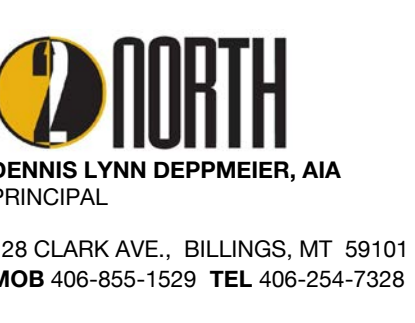


THE STAPLETON BUILDING
BILLINGS, MONTANA

PROJECT OWNER
JEREMIAH YOUNG

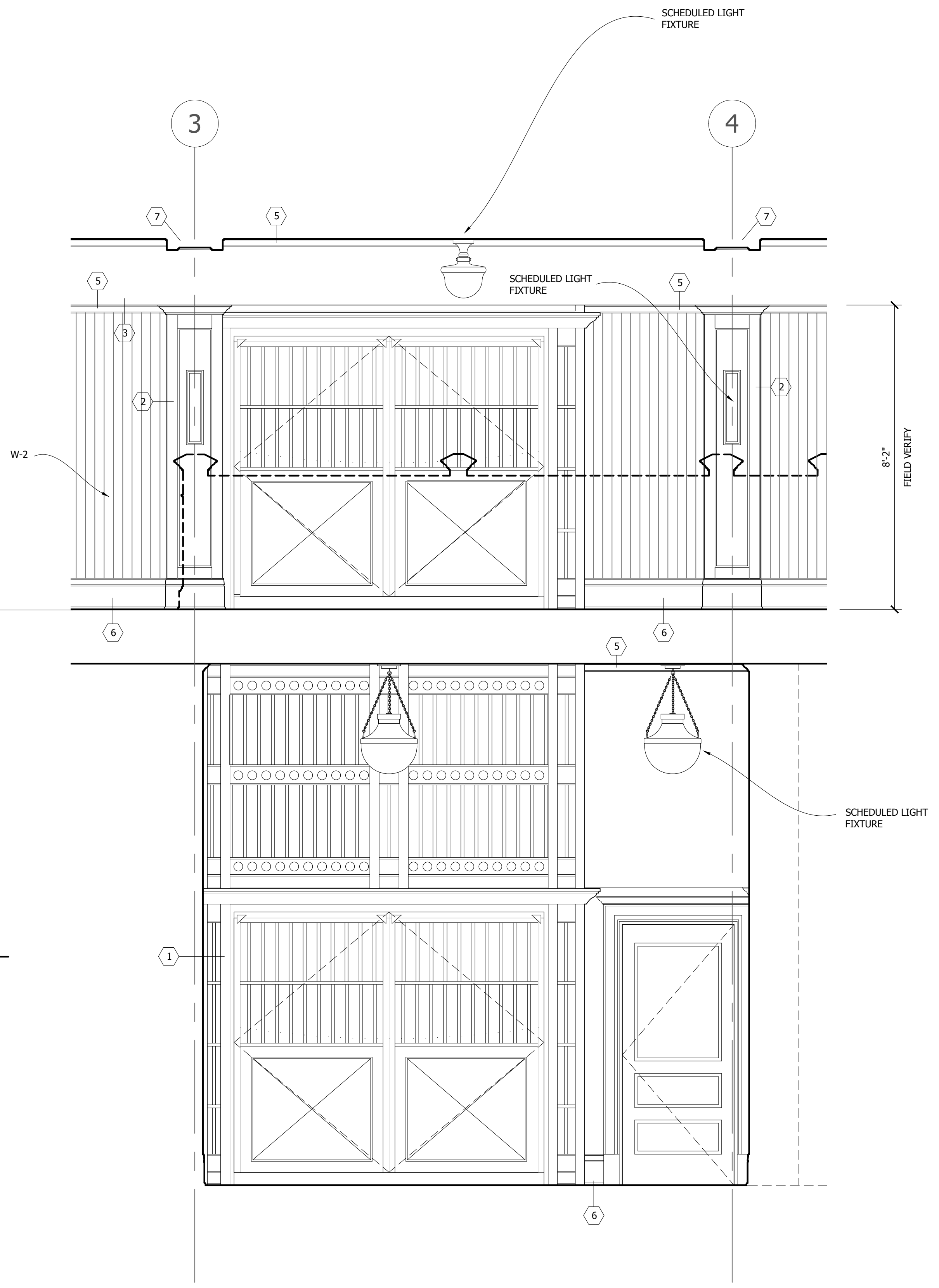
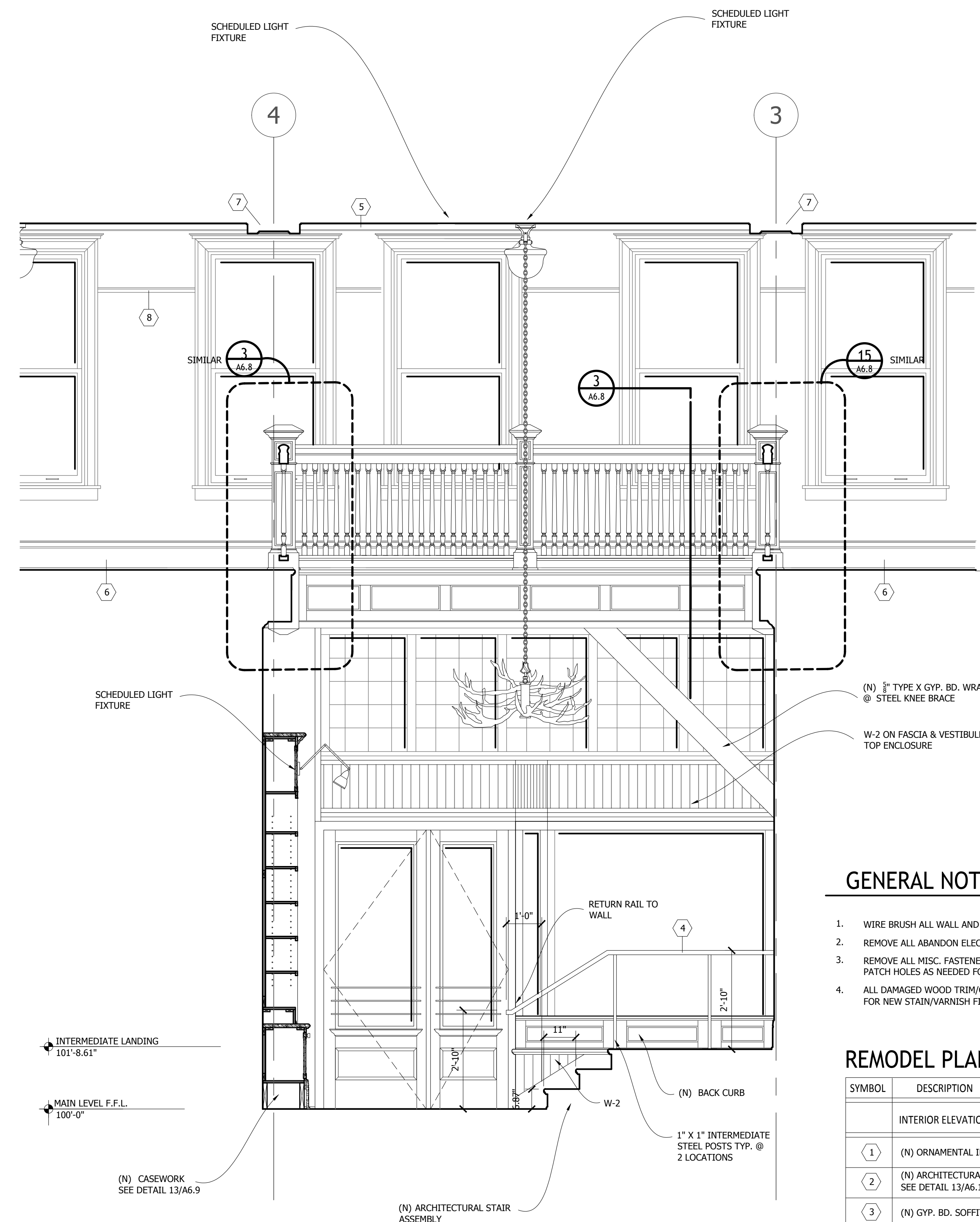
INTERIOR ELEVATIONS
DRAWING

PROJECT NO. 19002
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REVISIONS



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A6.4

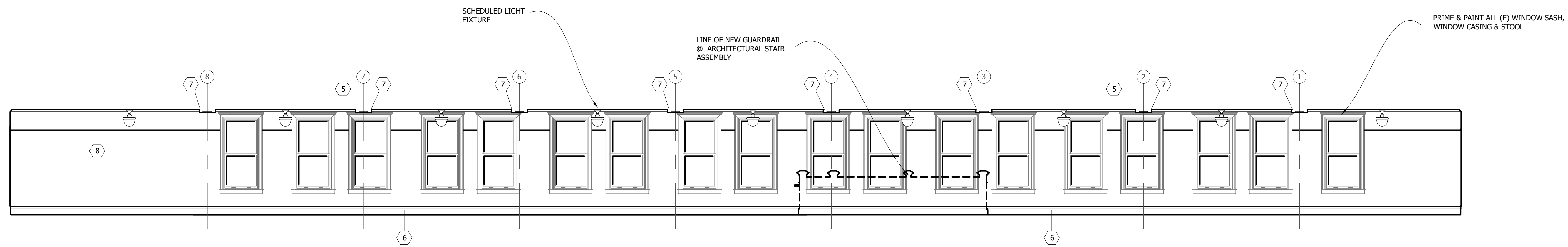
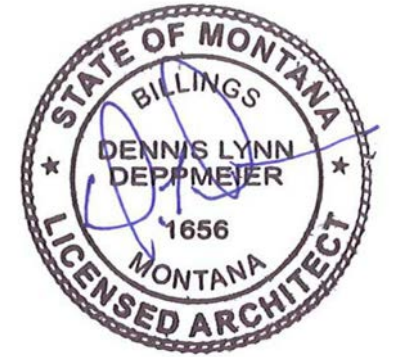


GENERAL NOTES

1. WIRE BRUSH ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL DAMAGED WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW STAIN/VARNISH FINISH.

REMODEL PLAN LEGEND

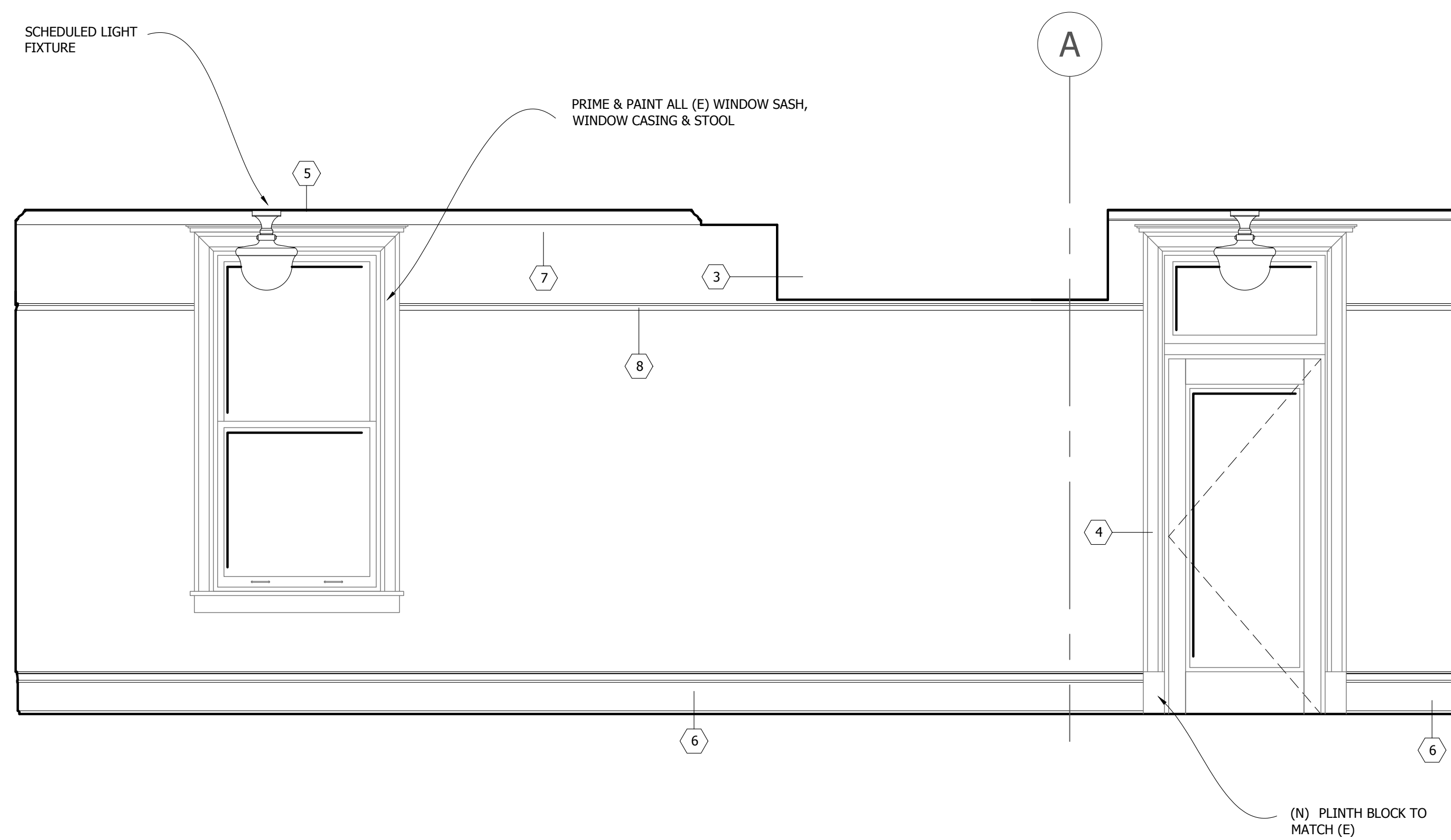
SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
①	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	(N) GYP. BD. SOFFIT
④	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY
⑤	(N) APPLIED CROWN MOLDING TO MATCH (E) SEE DETAIL 9/A9.1
⑥	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1
⑦	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
⑧	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1



5 INTERIOR ELEVATION

A2.2 : A6.5 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

3/16" = 1' - 0"



13 INTERIOR ELEVATION

A2.2 : A6.5 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

1/2" = 1' - 0"

GENERAL NOTES

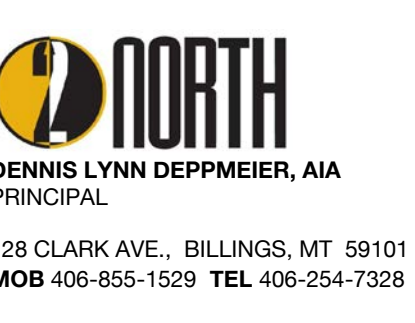
1. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW PAINT FINISH.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
①	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	(N) GYP. BD. SOFFIT
④	(N) APPLIED CASING AND DOOR CAP MOULDING TO MATCH (E) SEE DETAIL 9/A9.1
⑤	(N) APPLIED CROWN MOULDING TO MATCH (E) SEE DETAIL 9/A9.1
⑥	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1
⑦	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
⑧	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1

INTERIOR ELEVATIONS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 PROJECT
 JEREMIAH YOUNG
 OWNER

PROJECT # 19002
 ISSUE DATE 9/21/2020
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A6.5



INTERIOR ELEVATIONS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

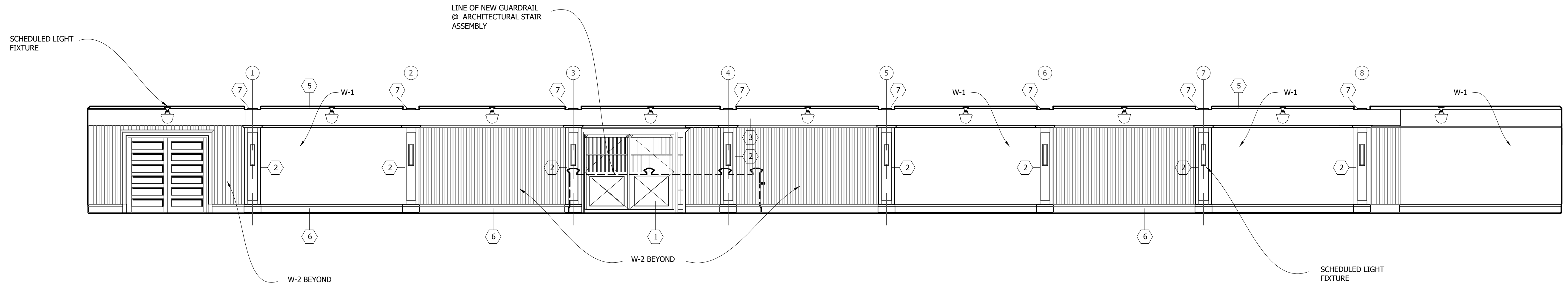
DRAWING
 PROJECT
 OWNER

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 ISSUE DATE 9/21/2020
 REVISIONS

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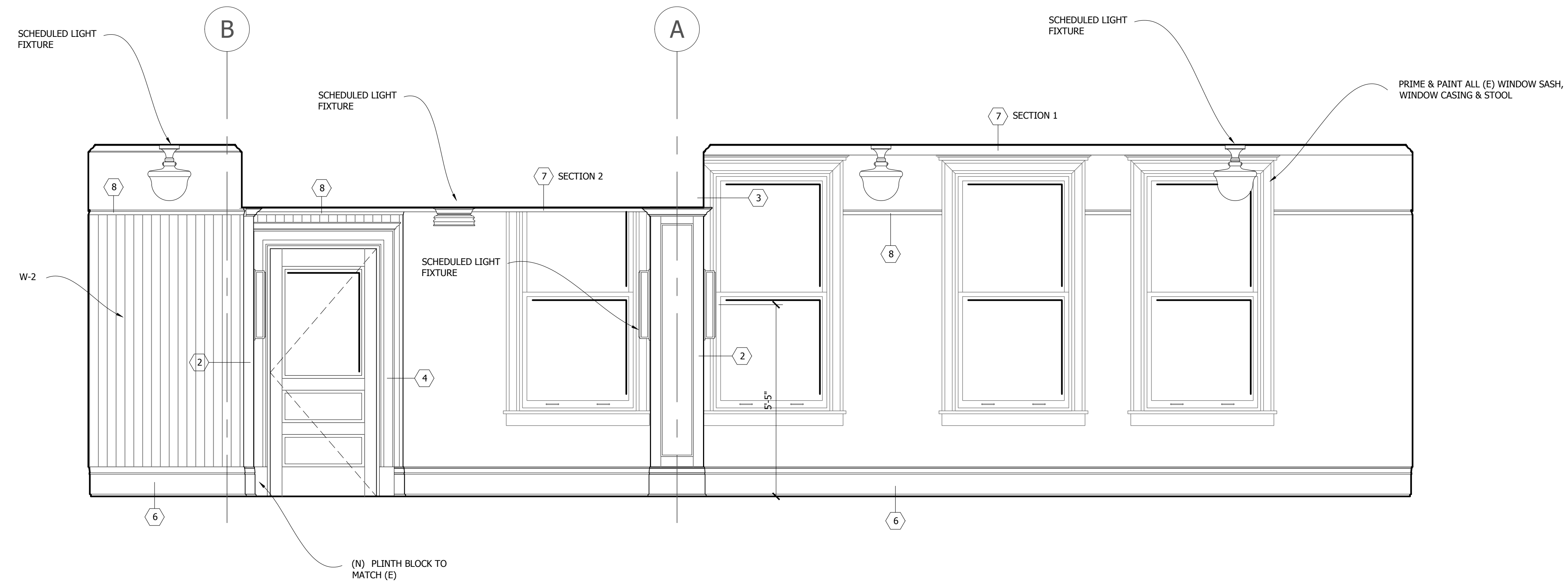
A6.6



5 INTERIOR ELEVATION

A2.2 : A6.6 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

3/32" = 1' - 0"



GENERAL NOTES

1. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW PAINT FINISH.

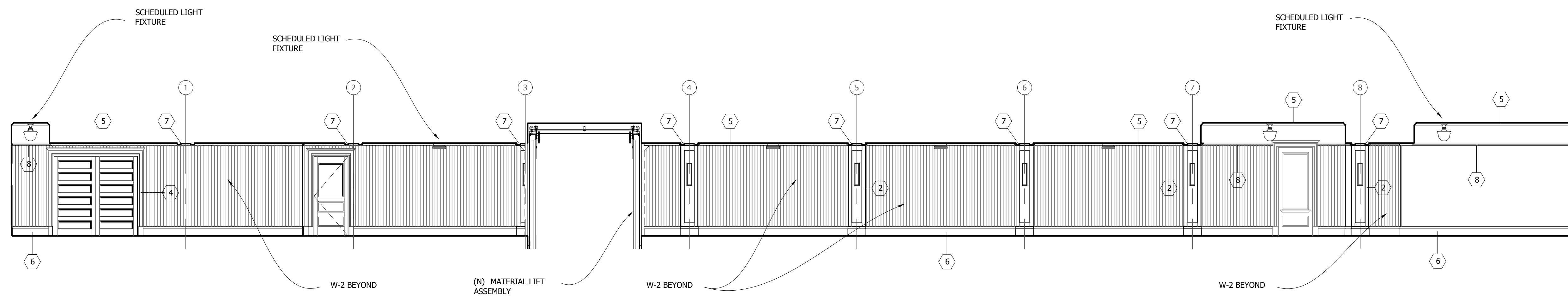
REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
1	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
2	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
3	(N) GYP. BD. SOFFIT
4	(N) APPLIED CASING AND DOOR CAP MOULDING TO MATCH (E) SEE DETAIL 9/A9.1
5	(N) APPLIED CROWN MOULDING TO MATCH (E) SEE DETAIL 9/A9.1
6	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1
7	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
8	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1

13 INTERIOR ELEVATION

A2.2 : A6.6 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

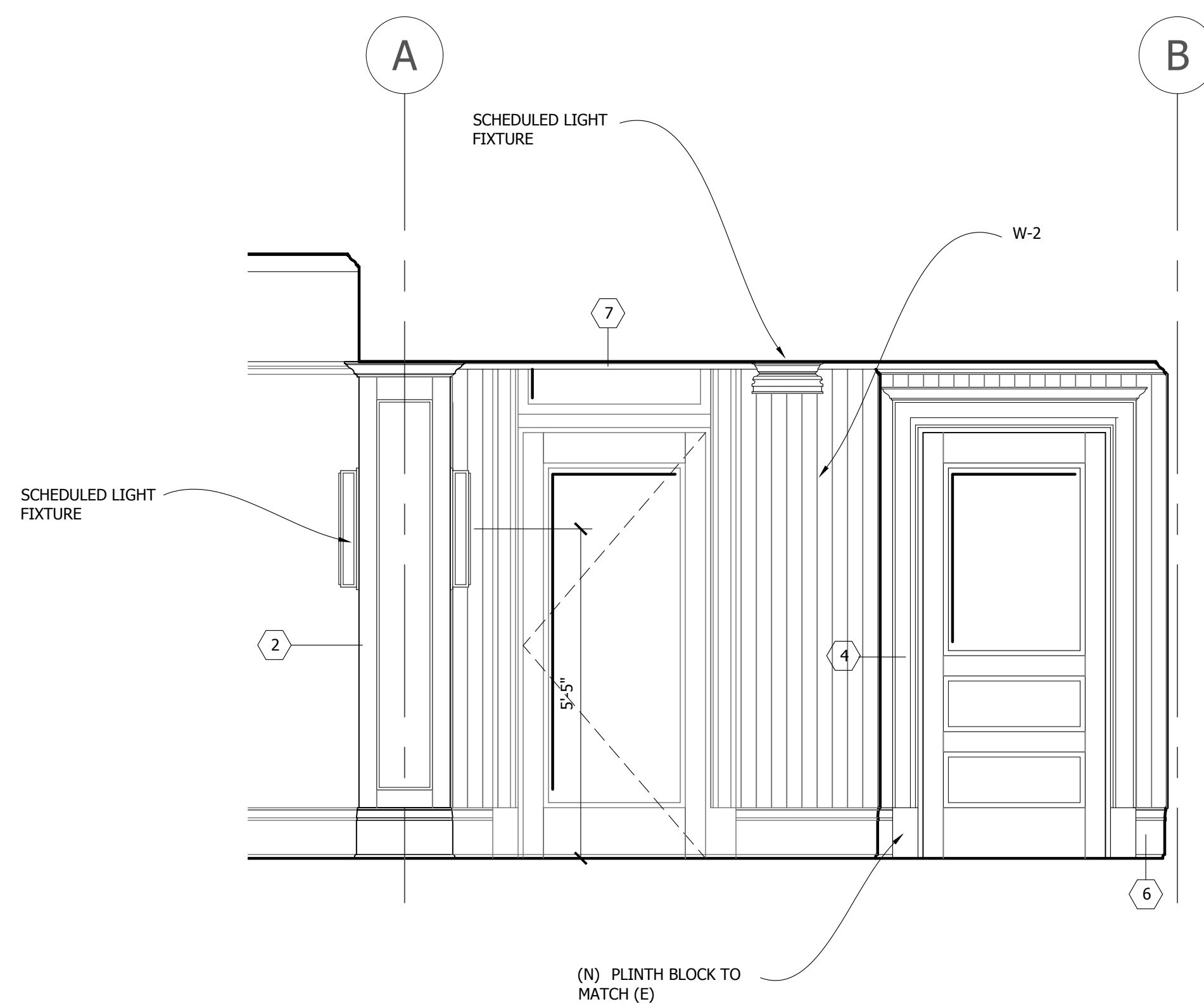
1/2" = 1' - 0"



5 INTERIOR ELEVATION

A2.2 : A6.7 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

3/32" = 1' - 0"

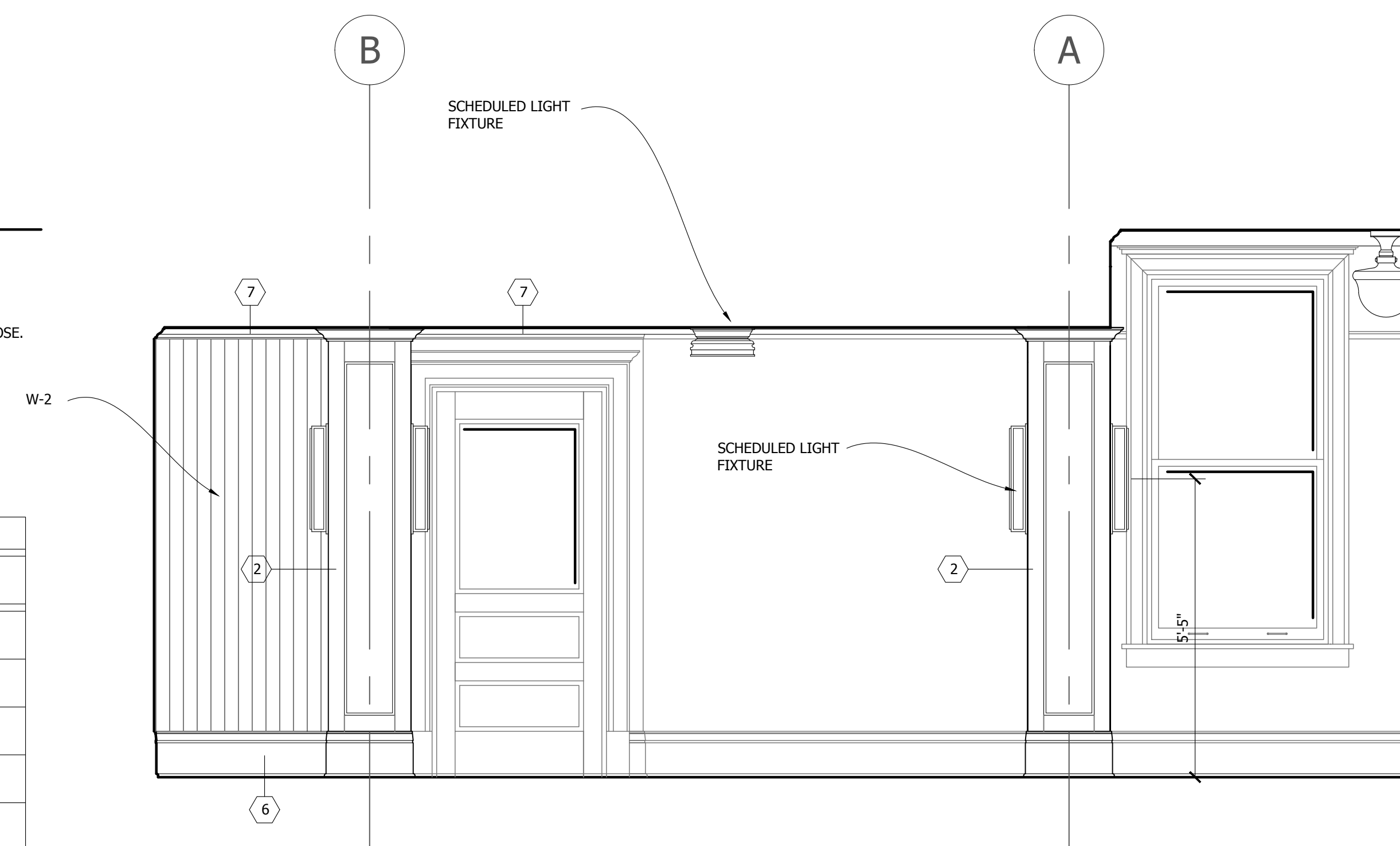


GENERAL NOTES

1. PREPARE ALL WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE ALL ABANDON ELECTRICAL AND MECHANICAL INFRASTRUCTURE.
3. REMOVE ALL MISC. FASTENERS/NAILERS/HANGERS OR MATERIAL WITH NO PURPOSE. PATCH HOLES AS NEEDED FOLLOWING REMOVAL.
4. ALL WOOD TRIM/CASING TO REMAIN SHALL BE PREPARED FOR NEW PAINT FINISH.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
INTERIOR ELEVATION NOTES	
1	(N) ORNAMENTAL IRON MATERIAL LIFT PANELS & CORNICE
2	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
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7	(N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
8	(N) APPLIED PICTURE RAIL TO MATCH (E) SEE DETAIL 9/A9.1



13 INTERIOR ELEVATION

A2.2 : A6.7 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

1/2" = 1' - 0"

15 INTERIOR ELEVATION

A2.2 : A6.7 REFERENCE SHEET A9.1 FOR FINISH SCHEDULE

1/2" = 1' - 0"

INTERIOR ELEVATIONS
THE STAPLETON BUILDING
BILLINGS, MONTANA
JEREMIAH YOUNG

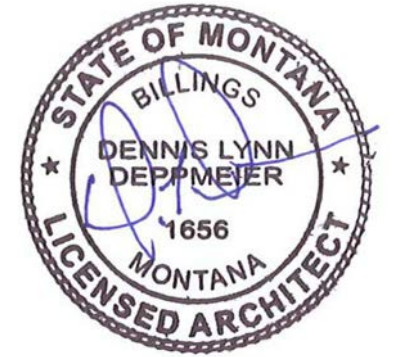
DRAWING
PROJECT
OWNER

PROJECT NO 19002
ISSUE DATE 9/21/2020
REVISIONS

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A6.7



DETAILS
 DRAWING
 PROJECT
 OWNER
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

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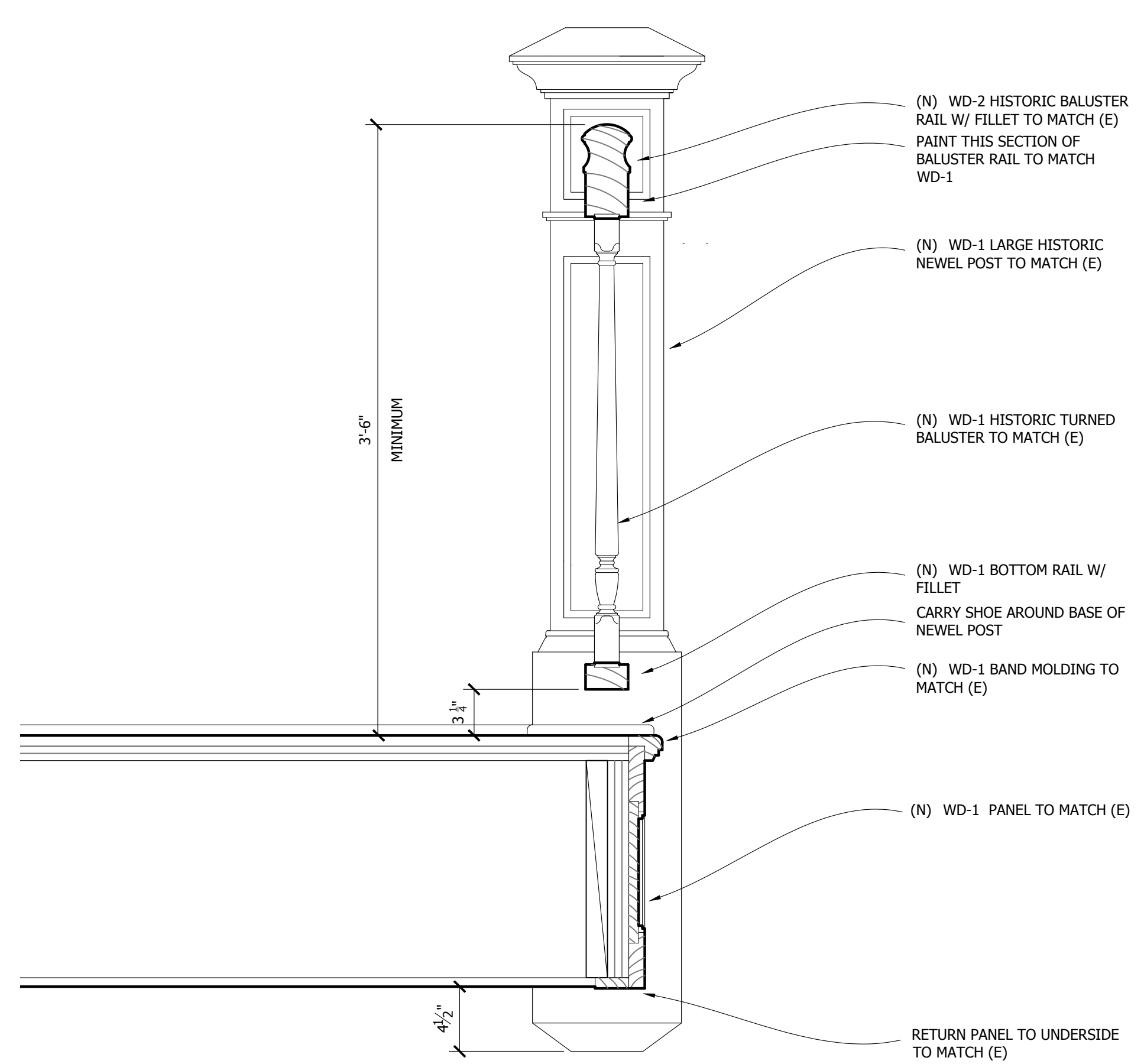
A6.8

GENERAL NOTES

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REMODEL PLAN LEGEND

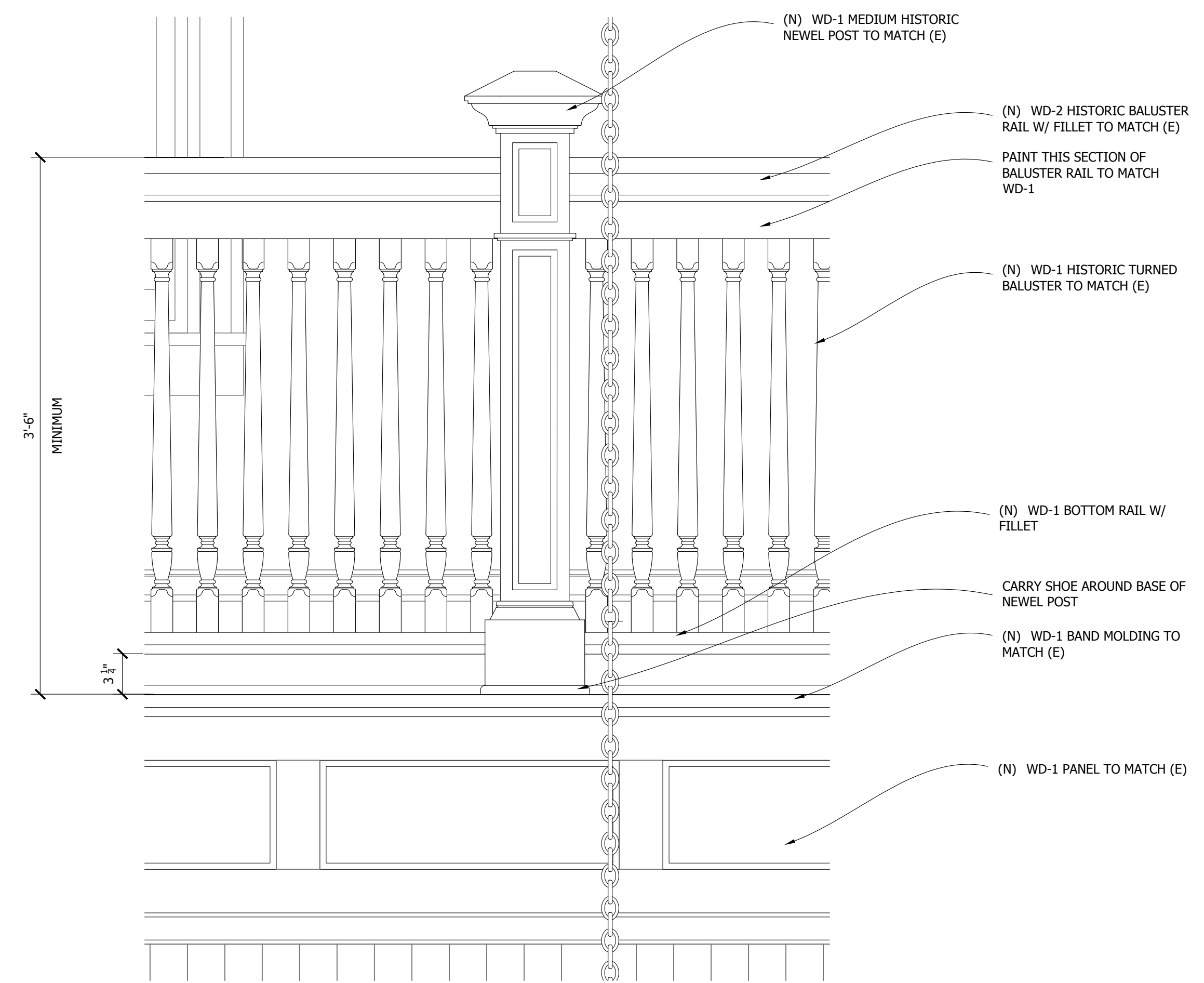
SYMBOL	DESCRIPTION
DETAIL NOTES	
①	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY



3 GUARDRAIL SECTION TYP. @ CORNER NEWEL POST

A6.1 : A6.8

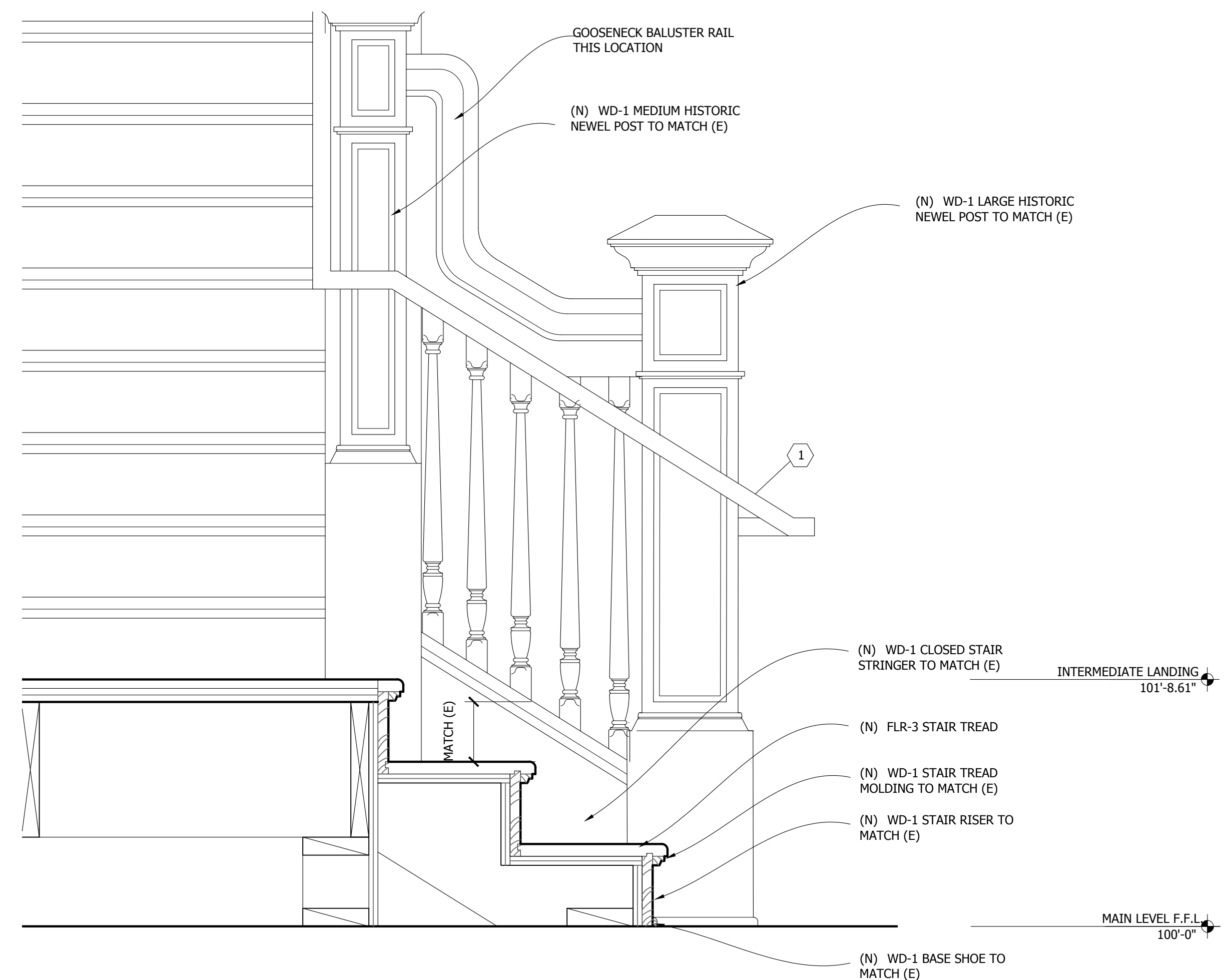
1 1/2" = 1' - 0"



5 GUARDRAIL ELEVATION TYP. @ INTERMEDIATE NEWEL POST

VARIOUS : A6.8

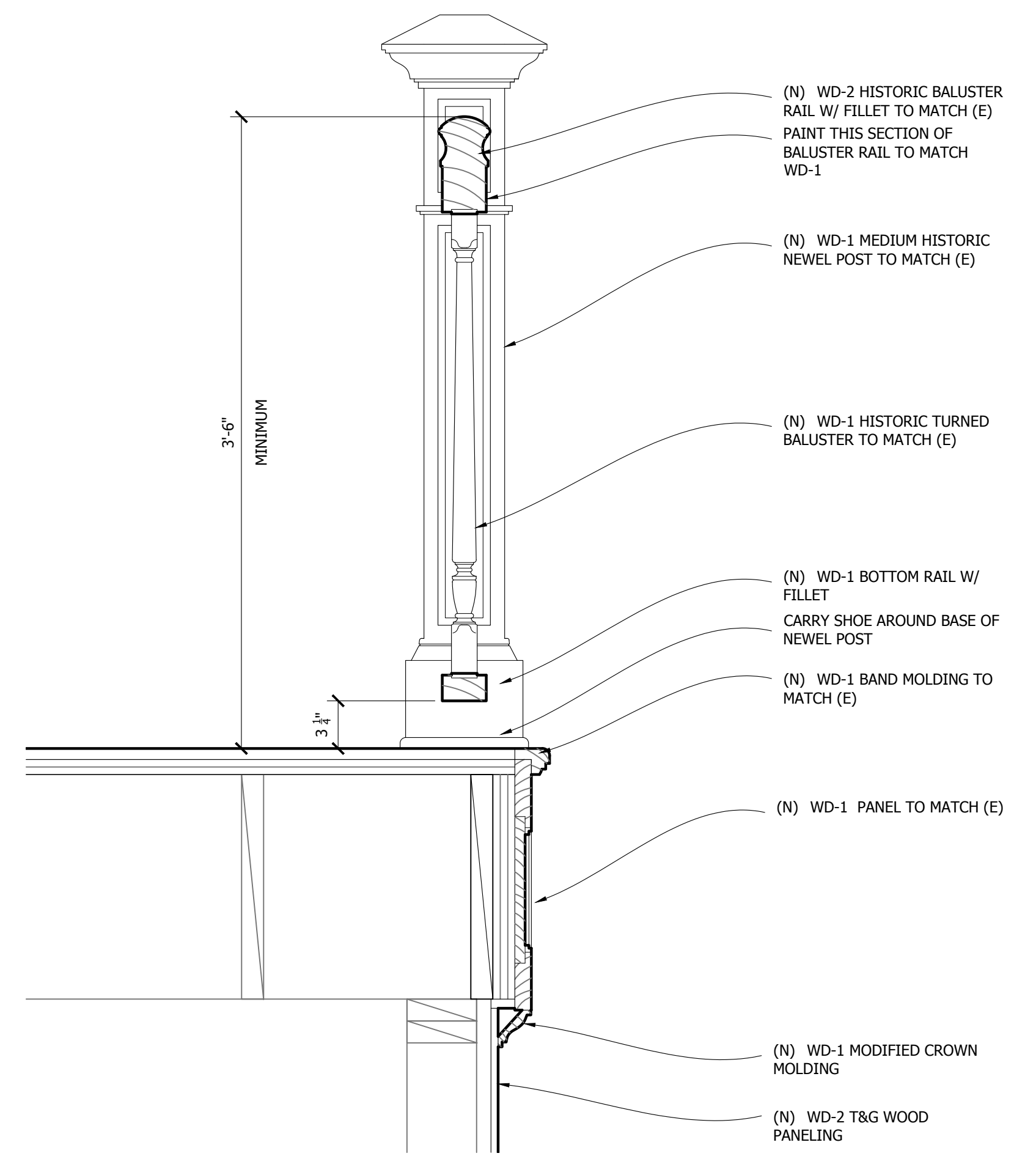
1 1/2" = 1' - 0"



13 STAIR SECTION

A6.2 : A6.8

1 1/2" = 1' - 0"



15 GUARDRAIL SECTION TYP. @ INTERMEDIATE NEWEL POST

VARIOUS : A6.8

1 1/2" = 1' - 0"

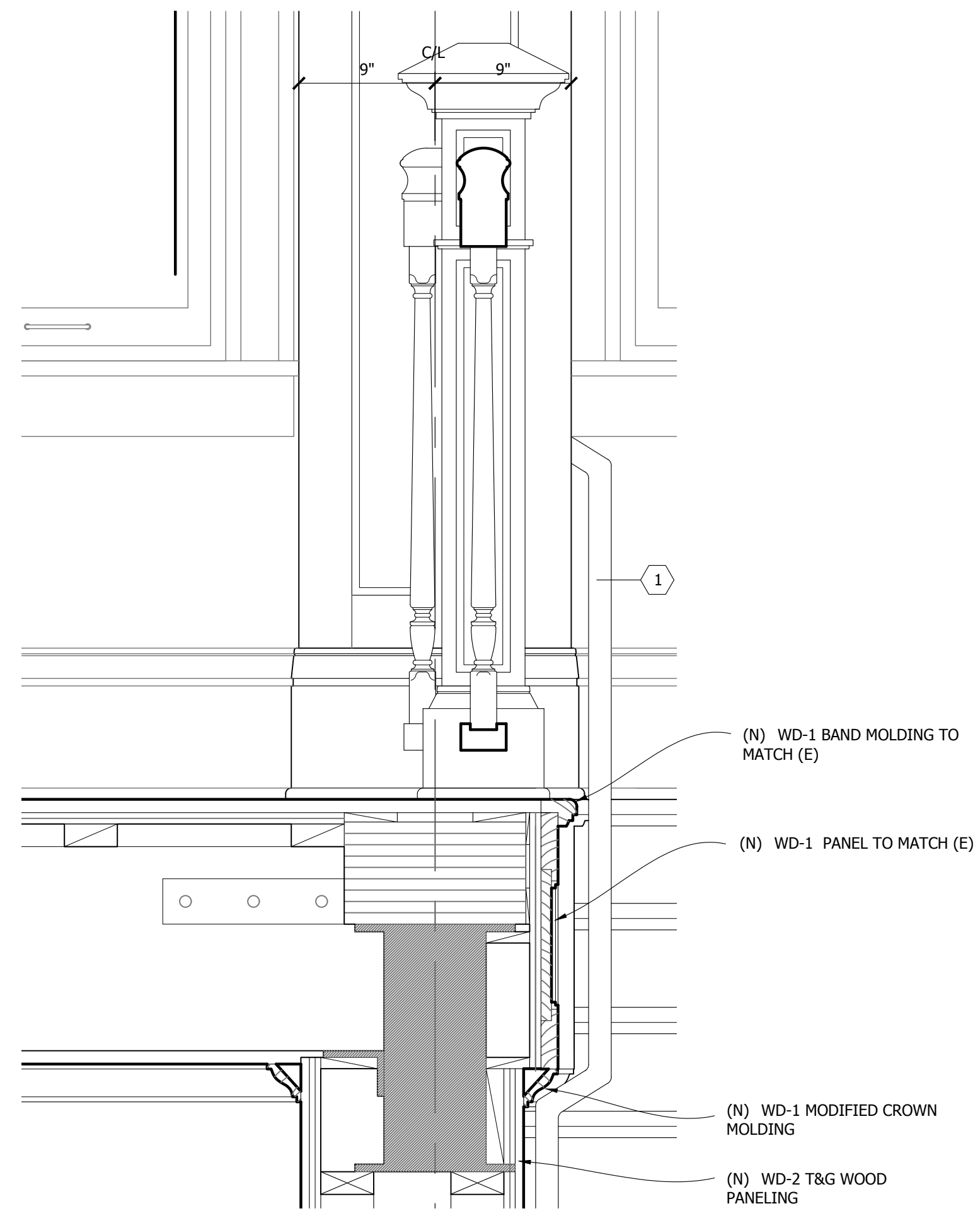


DETAILS
THE STAPLETON BUILDING
 BILLINGS, MONTANA
 PROJECT
 OWNER
 JEREMIAH YOUNG

PROJECT NO 19002
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A6.9

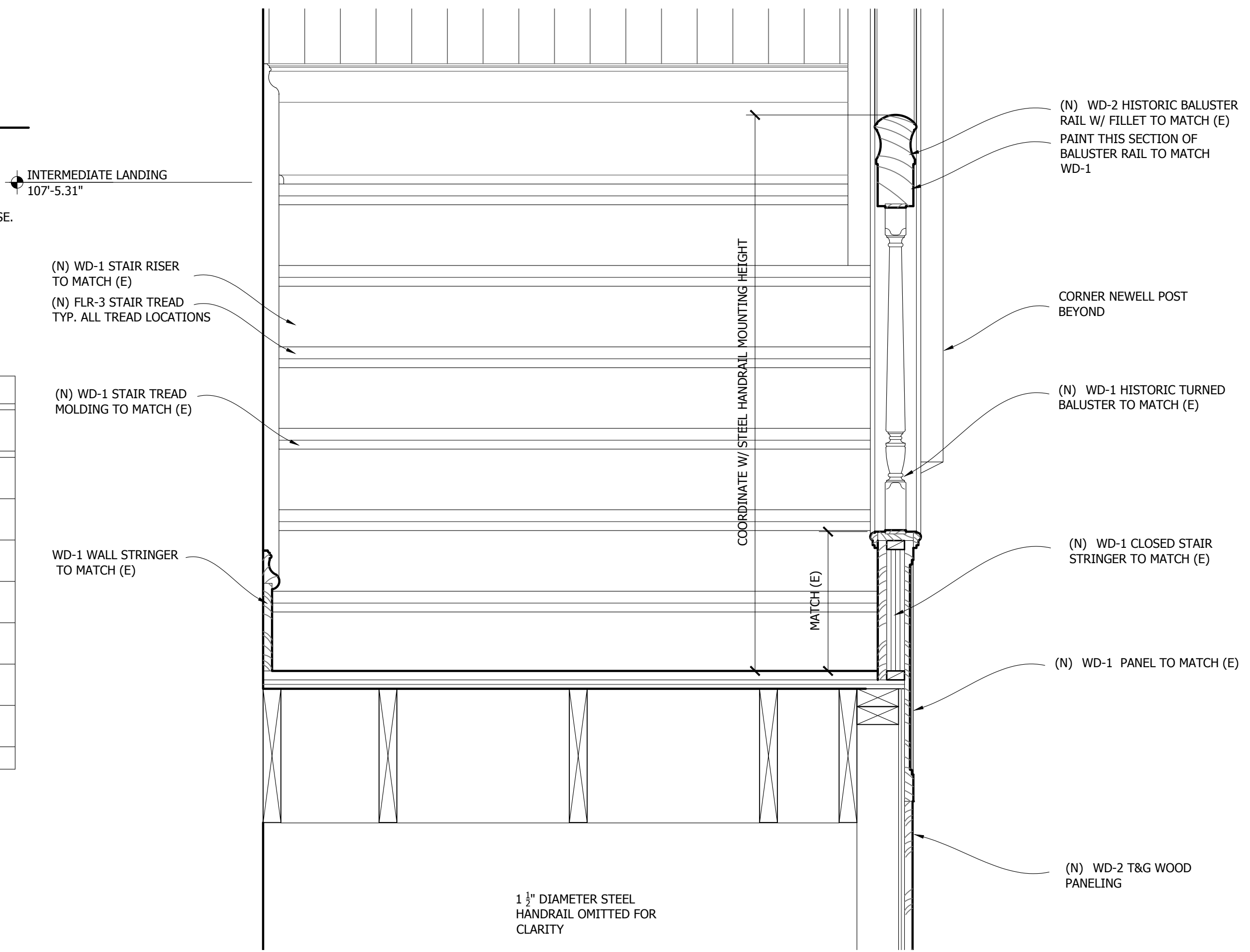


GENERAL NOTES

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REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
DETAIL NOTES	
①	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1



3 (E) BEAM SECTION TYP. @ COLUMN COVER AT GRID A

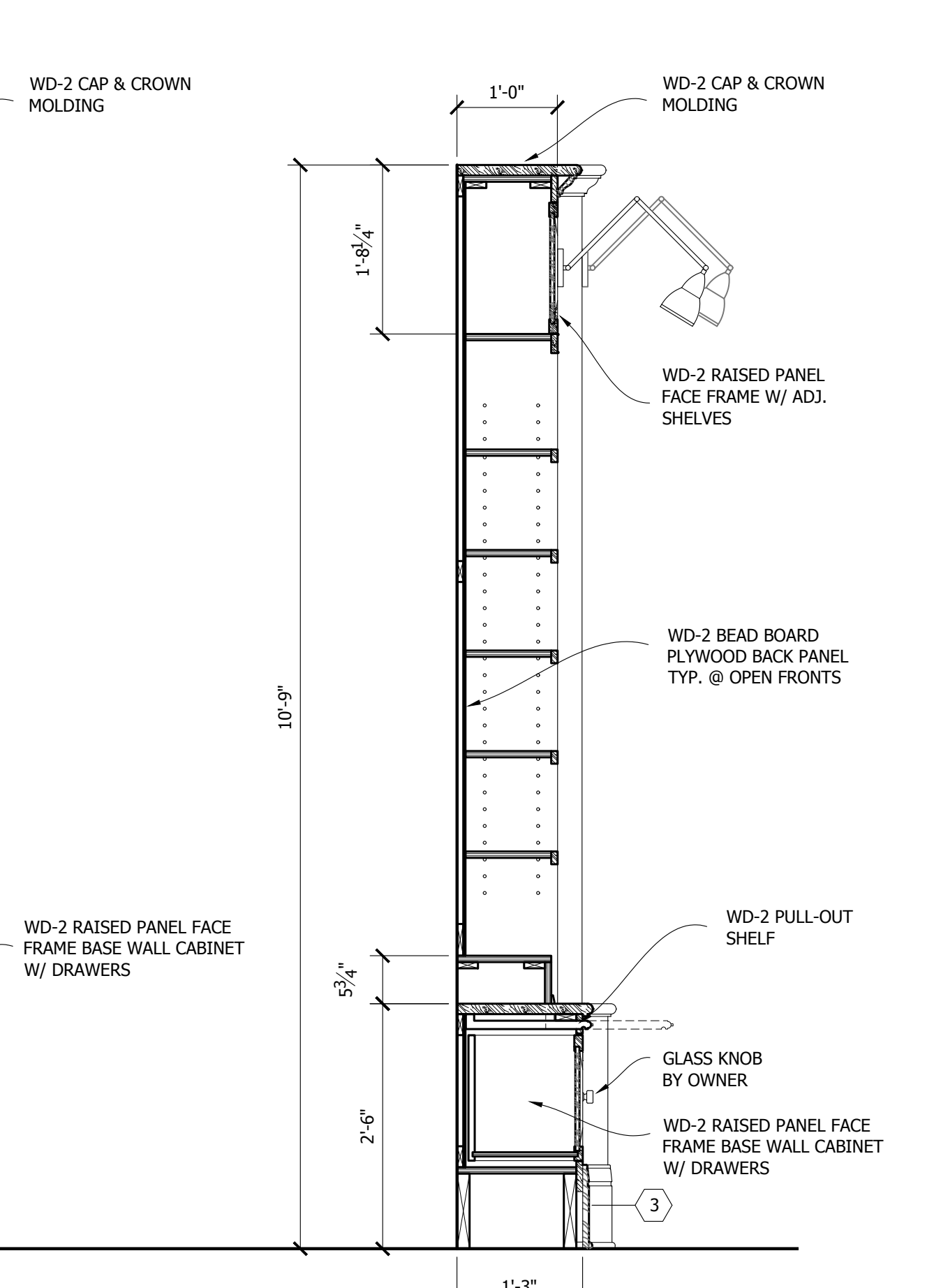
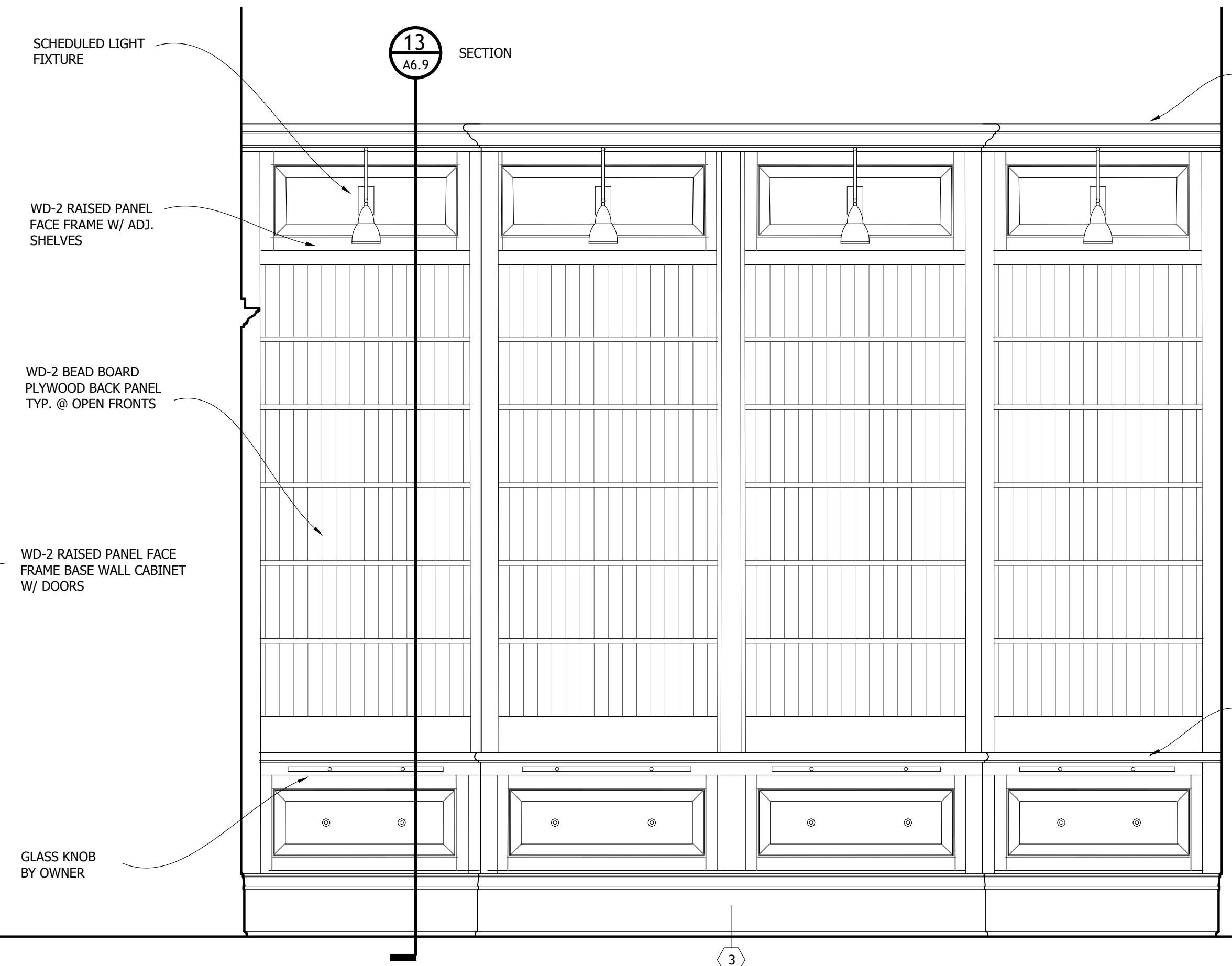
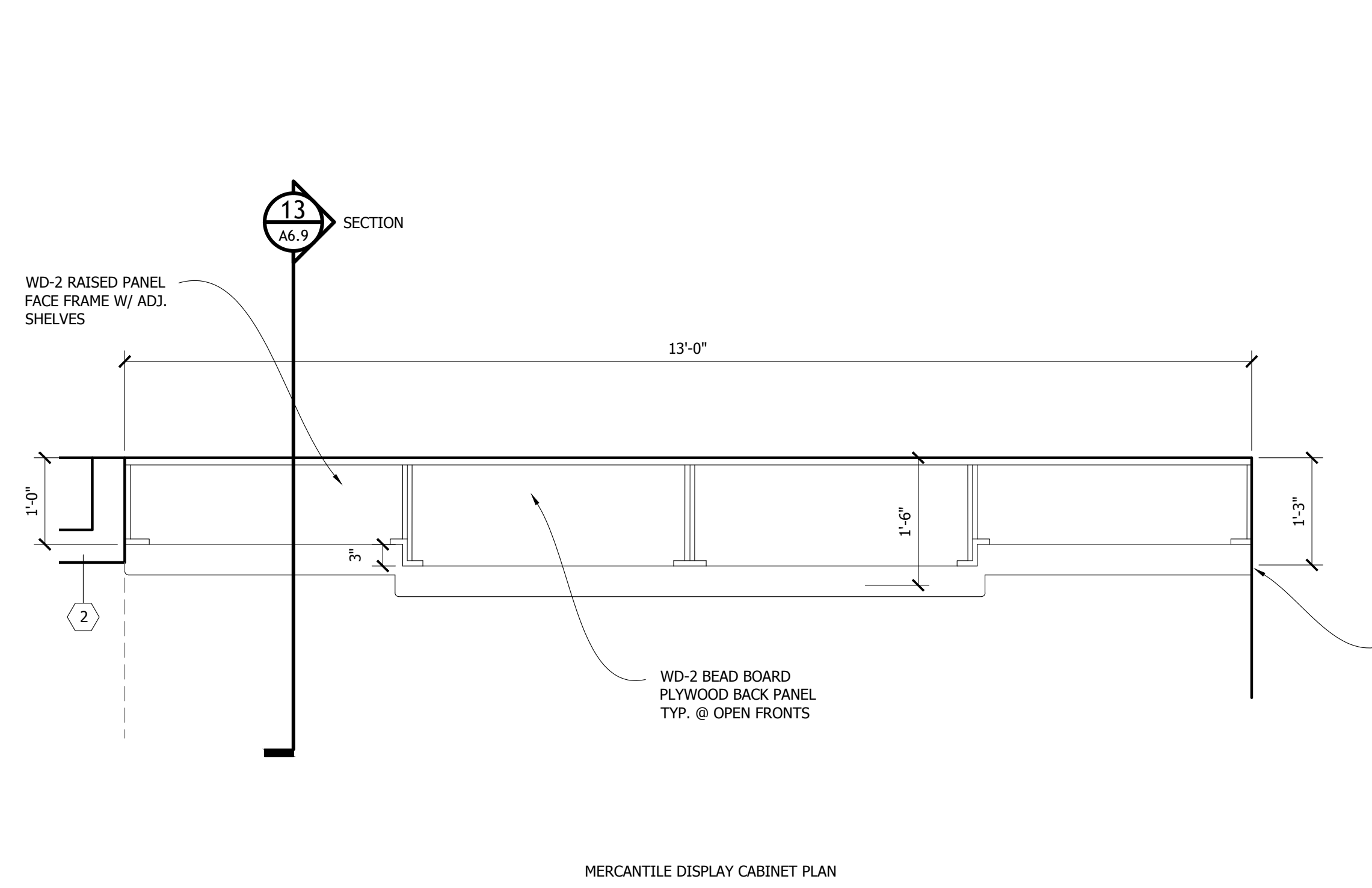
A6.2 : A6.9

1 1/2" = 1' - 0"

5 TYP. HANDRAIL SECTION @ STAIR

VARIOUS : A6.9

1 1/2" = 1' - 0"



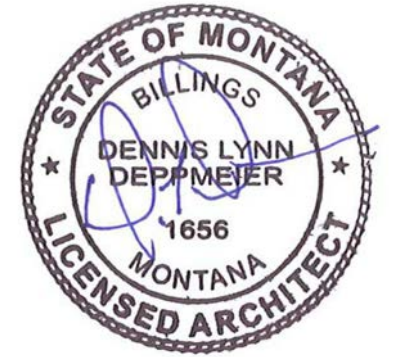
13 CASEWORK DETAILS

A3.1 : A6.9

MERCANTILE DISPLAY CABINET FRONT ELEVATION

MERCANTILE DISPLAY CABINET SECTION

3/4" = 1' - 0"

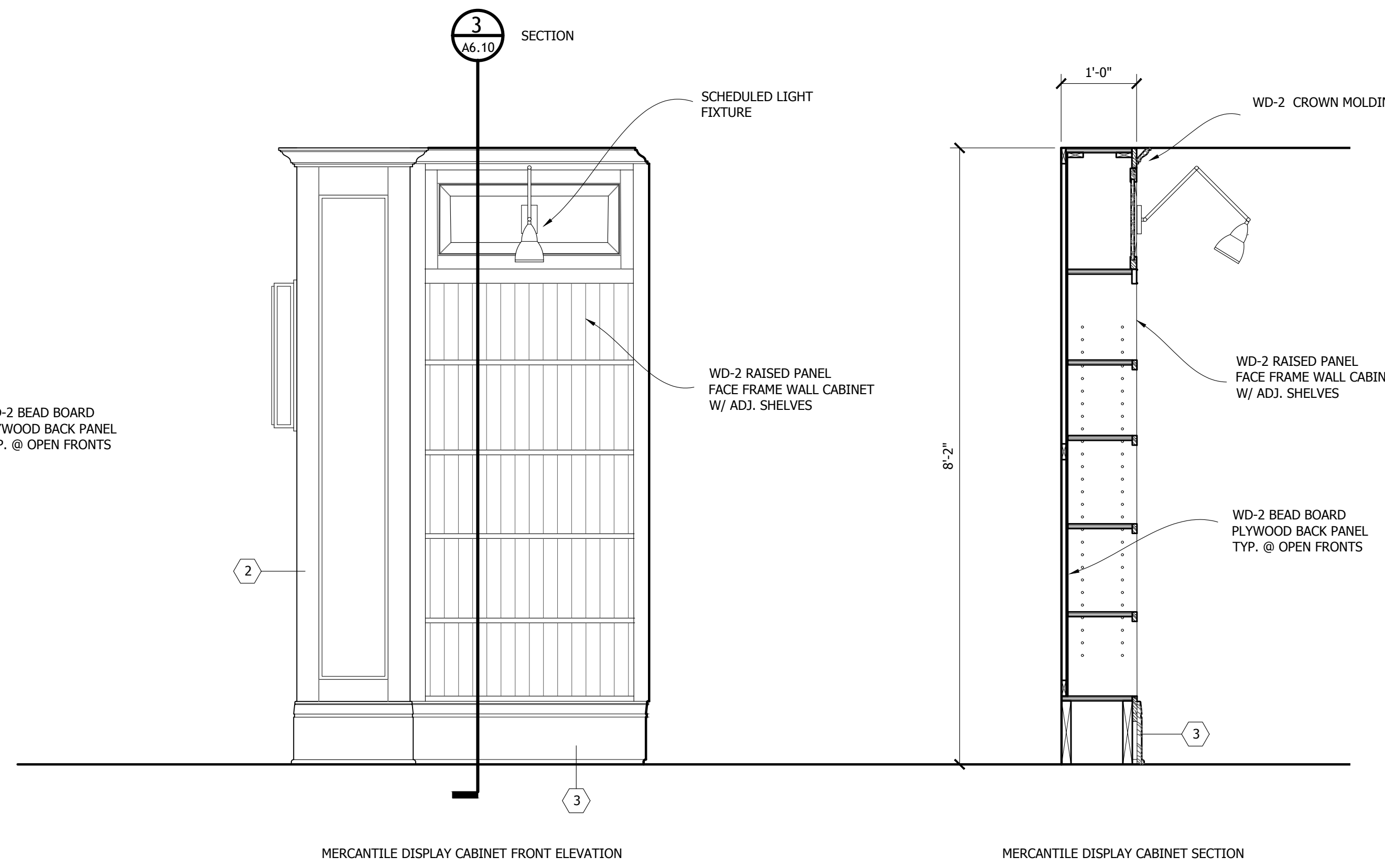
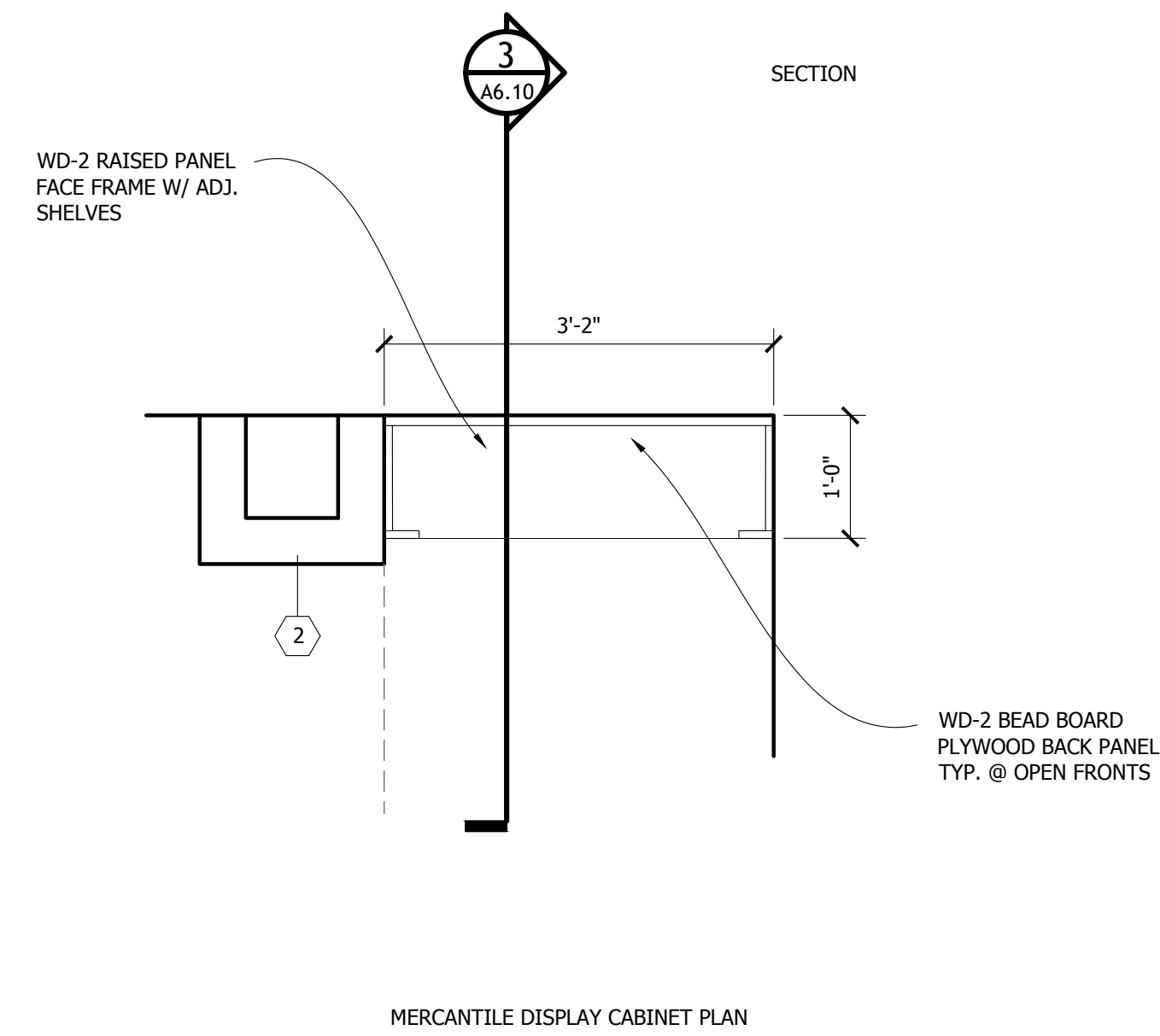


GENERAL NOTES

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REMODEL PLAN LEGEND

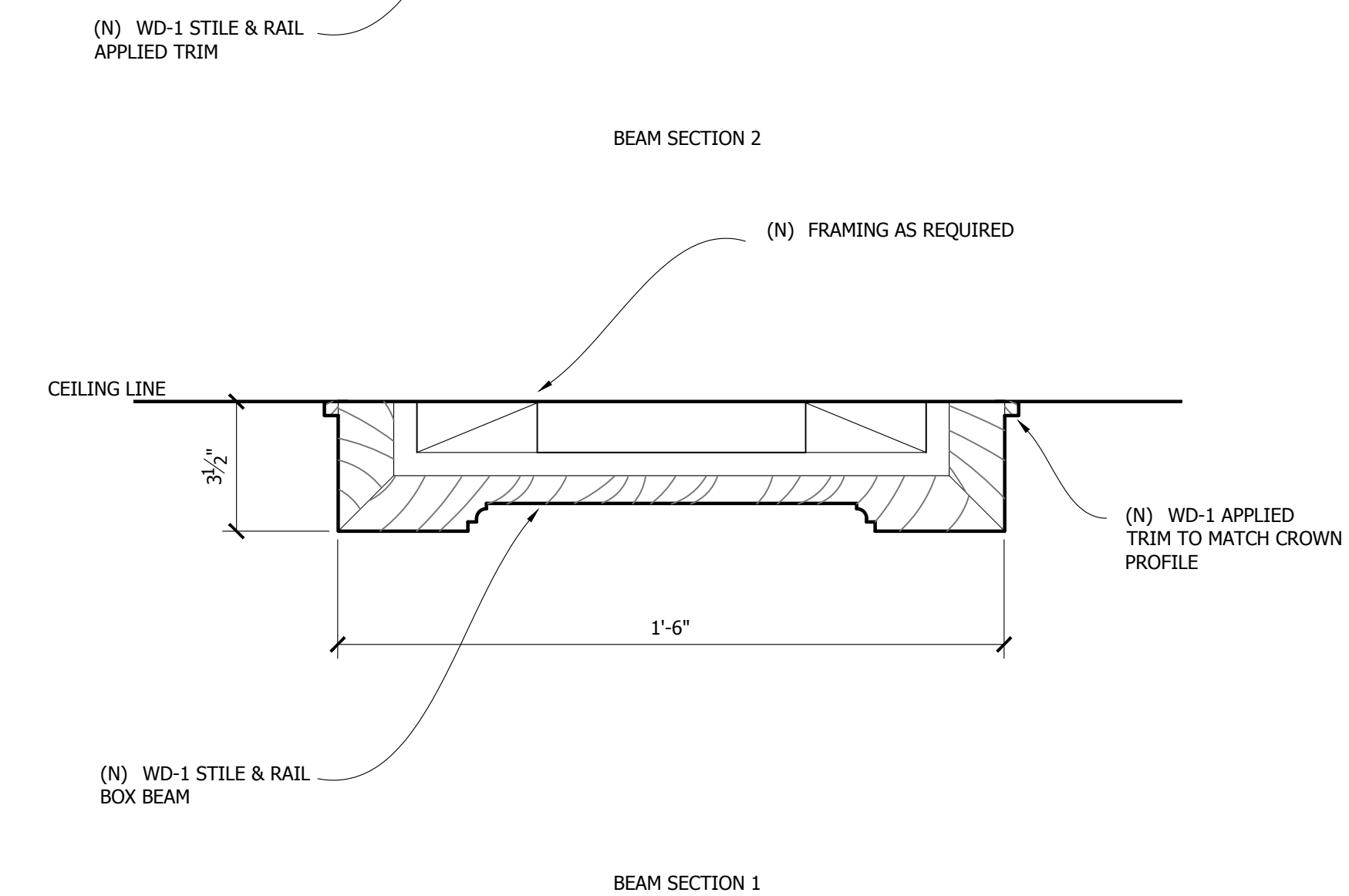
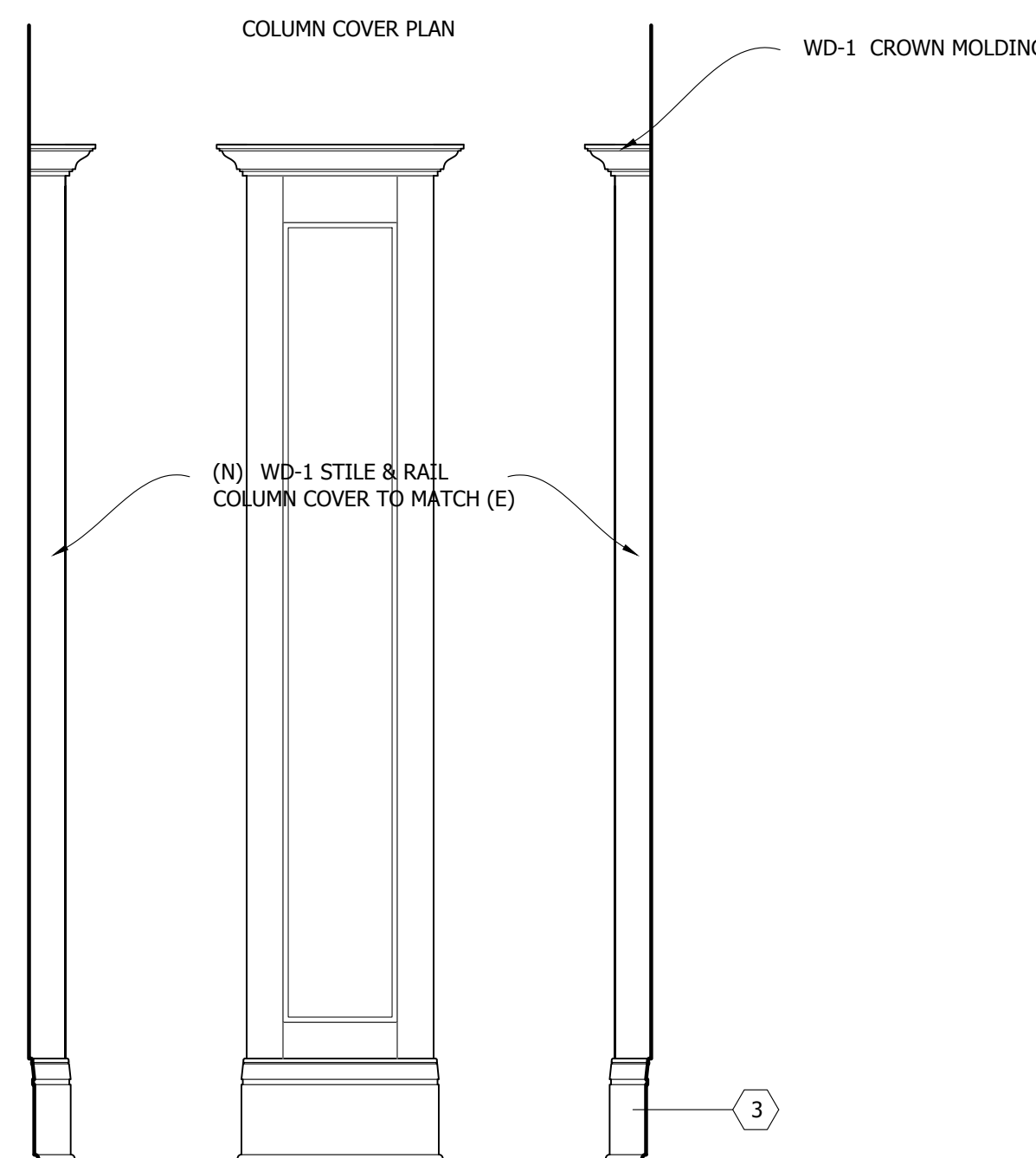
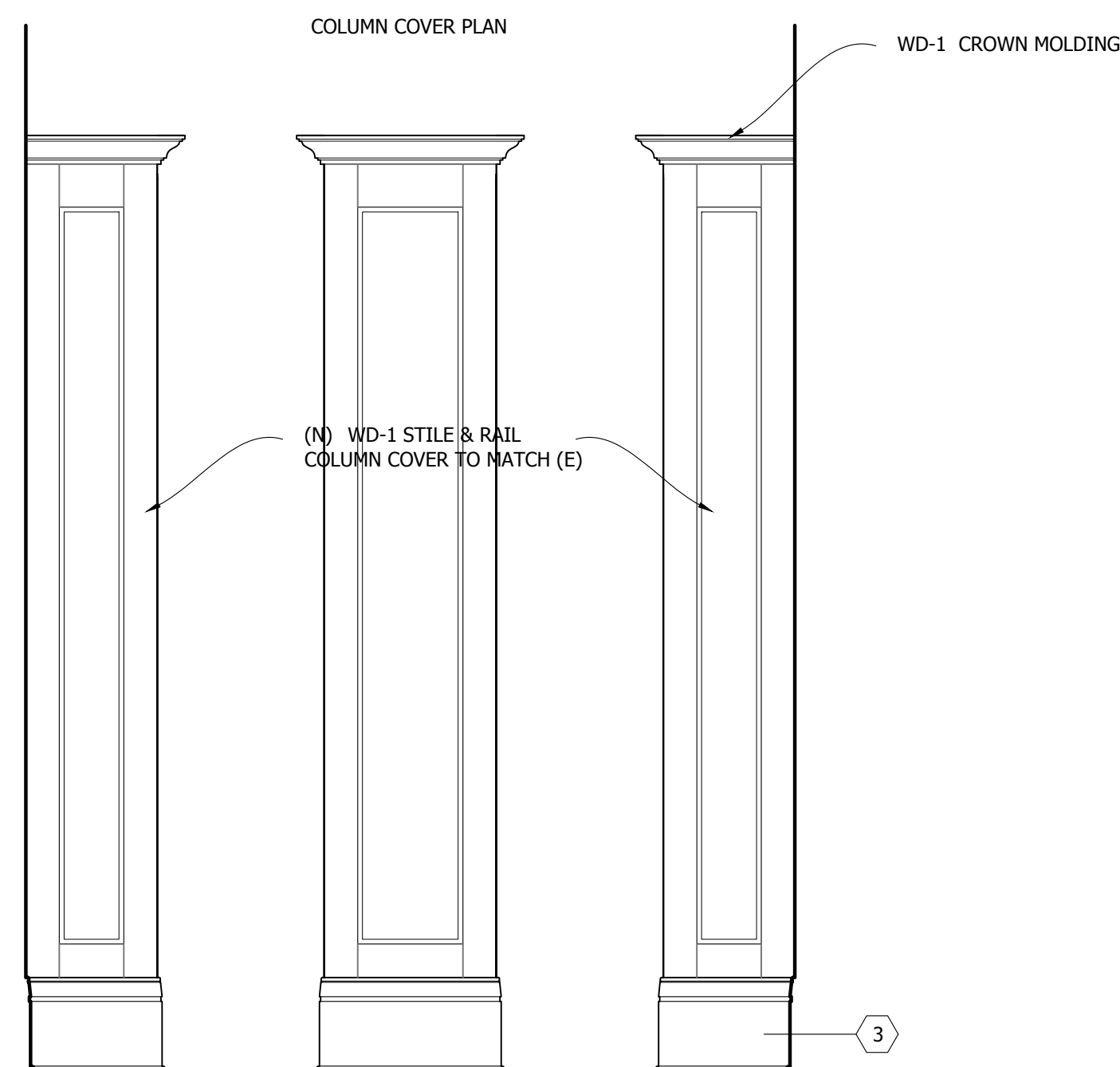
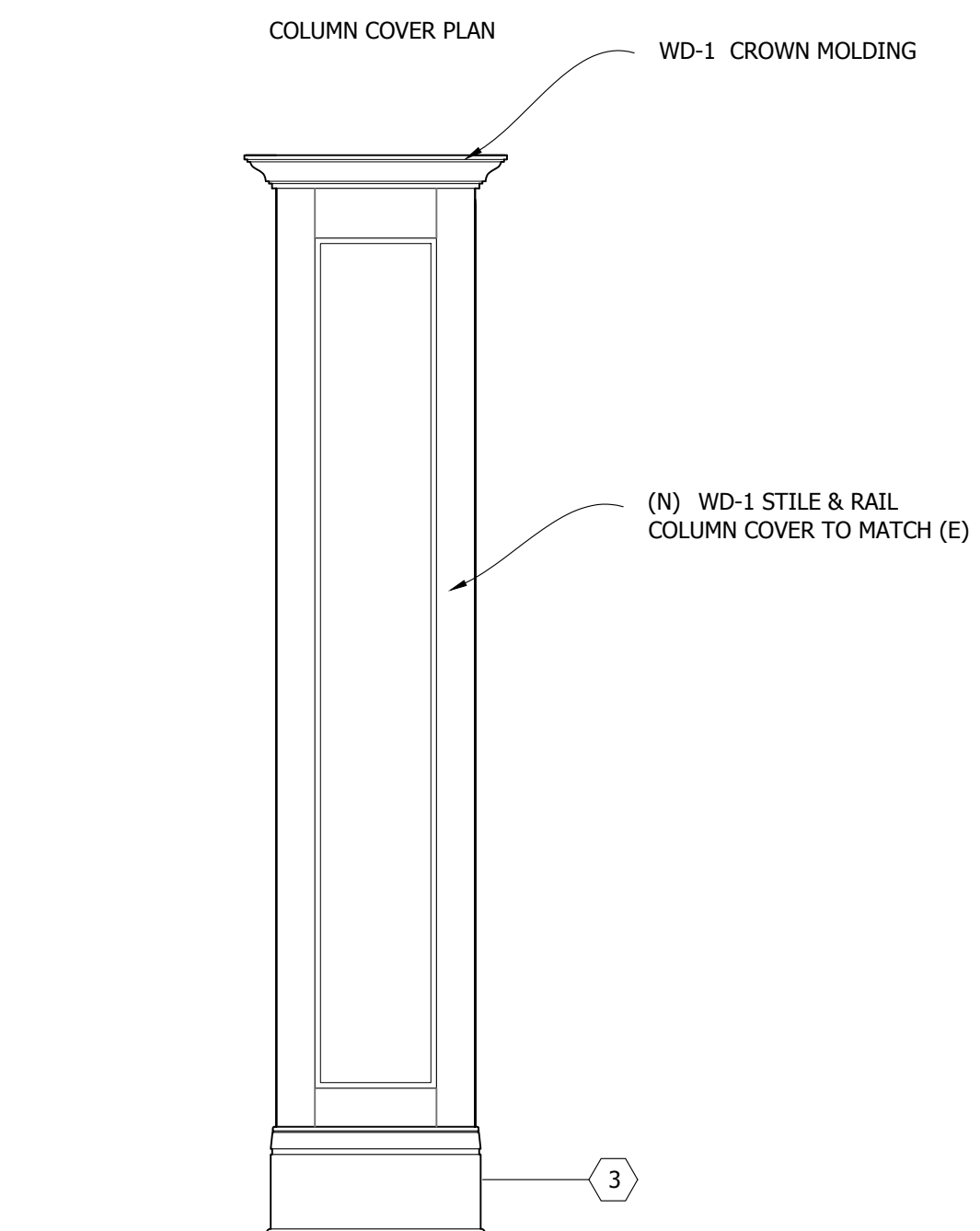
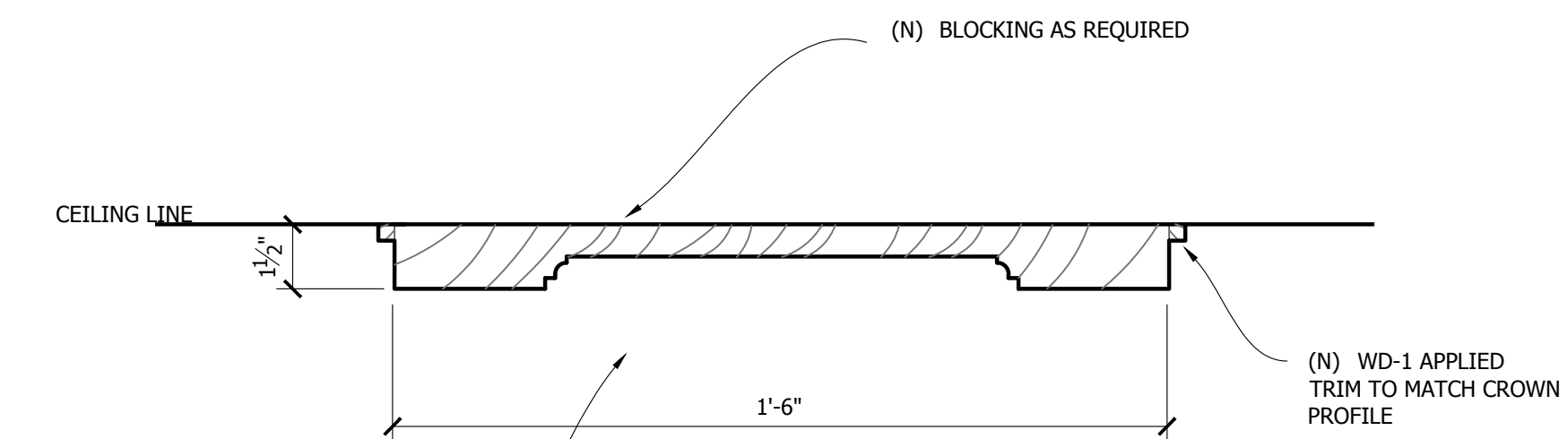
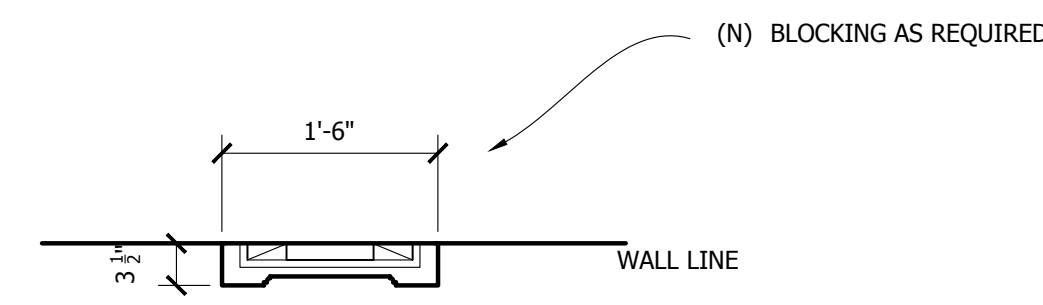
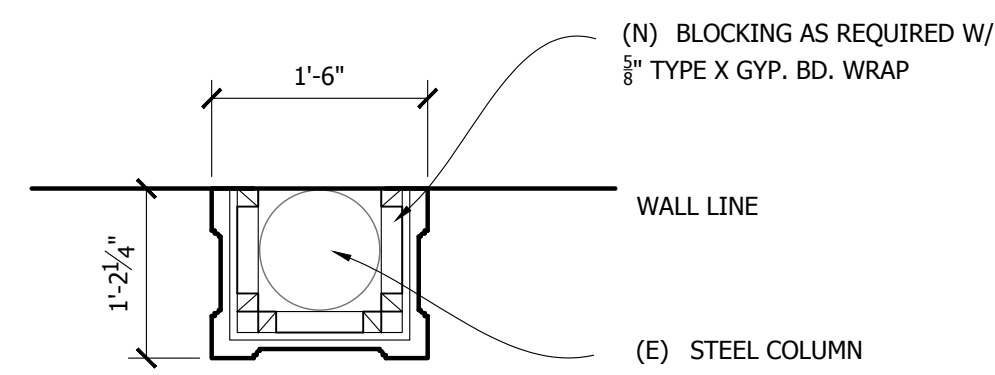
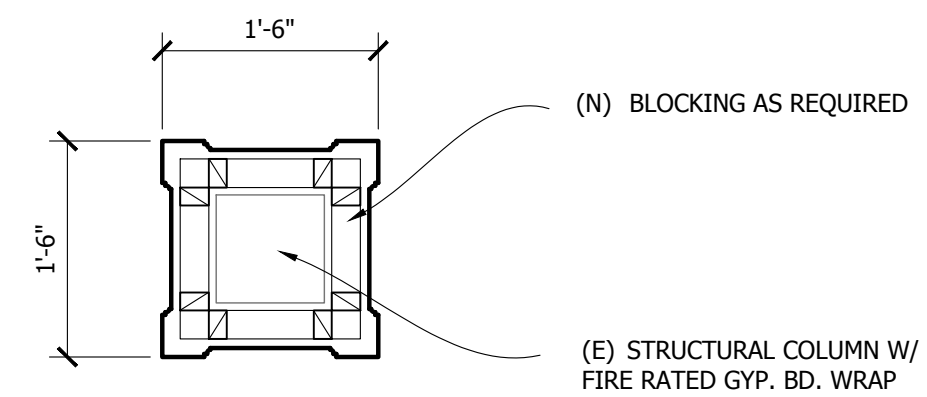
SYMBOL	DESCRIPTION
DETAIL NOTES	
①	(N) 1 1/2" DIA. STEEL HANDRAIL ASSEMBLY
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	(N) APPLIED BASE TO MATCH (E) SEE DETAIL 9/A9.1



3 CASEWORK DETAILS

A2.2 : A6.10

3/4" = 1' - 0"



COLUMN COVER ELEVATION (ALL FOUR SIDES)

COLUMN COVER ELEVATIONS

COLUMN COVER ELEVATIONS

BEAM SECTION 1

13 TYP. COLUMN COVER DETAILS

VARIOUS : A6.10

3/4" = 1' - 0"

15 TYP. CEILING BEAM DETAILS

VARIOUS : A6.10

3" = 1' - 0"

DETAILS
DRAWING PROJECT OWNER

THE STAPLETON BUILDING
BILLINGS, MONTANA

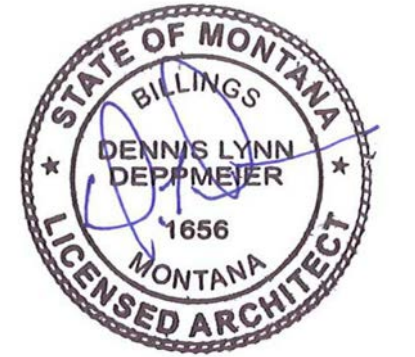
JEREMIAH YOUNG

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A6.10



MAIN LEVEL REFLECTED CEILING PLAN

THE STAPLETON BUILDING
BILLINGS, MONTANA

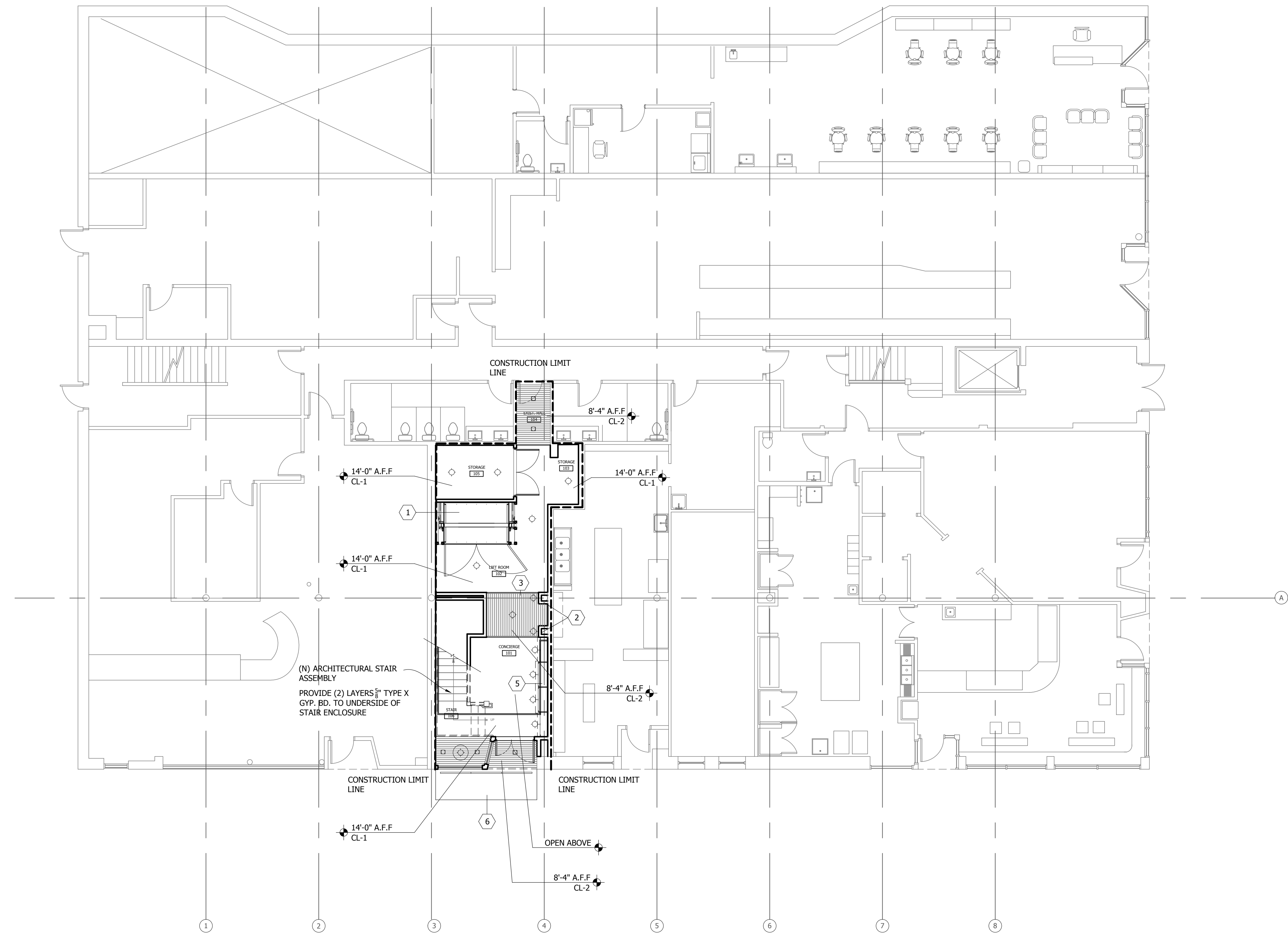
PROJECT OWNER
JEREMIAH YOUNG

DRAWING PROJECT OWNER

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PLAN LEGEND

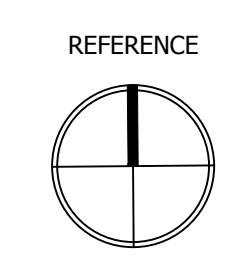
SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN
	NEW WALL CONSTRUCTION REFERENCE WALL TYPES LEGEND

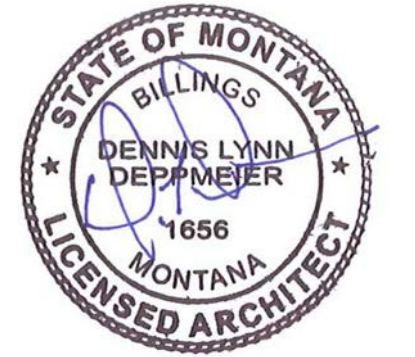
GENERAL NOTES

- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
- PREPARE ALL CEILING SURFACES TO RECEIVE NEW FINISHES.

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
MAIN LEVEL REFLECTED CEILING PLAN NOTES	
①	(N) MATERIAL LIFT
②	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
③	LINE OF SOFFIT
④	LINE OF (N) WD-1 BOX BEAM SEE DETAIL 15/A6.10
⑤	(N) ARCHITECTURAL CASEWORK
⑥	LINE OF (N) AWNING ABOVE BY OWNER





THE STAPLETON BUILDING
BILLINGS, MONTANA

JEREMIAH YOUNG

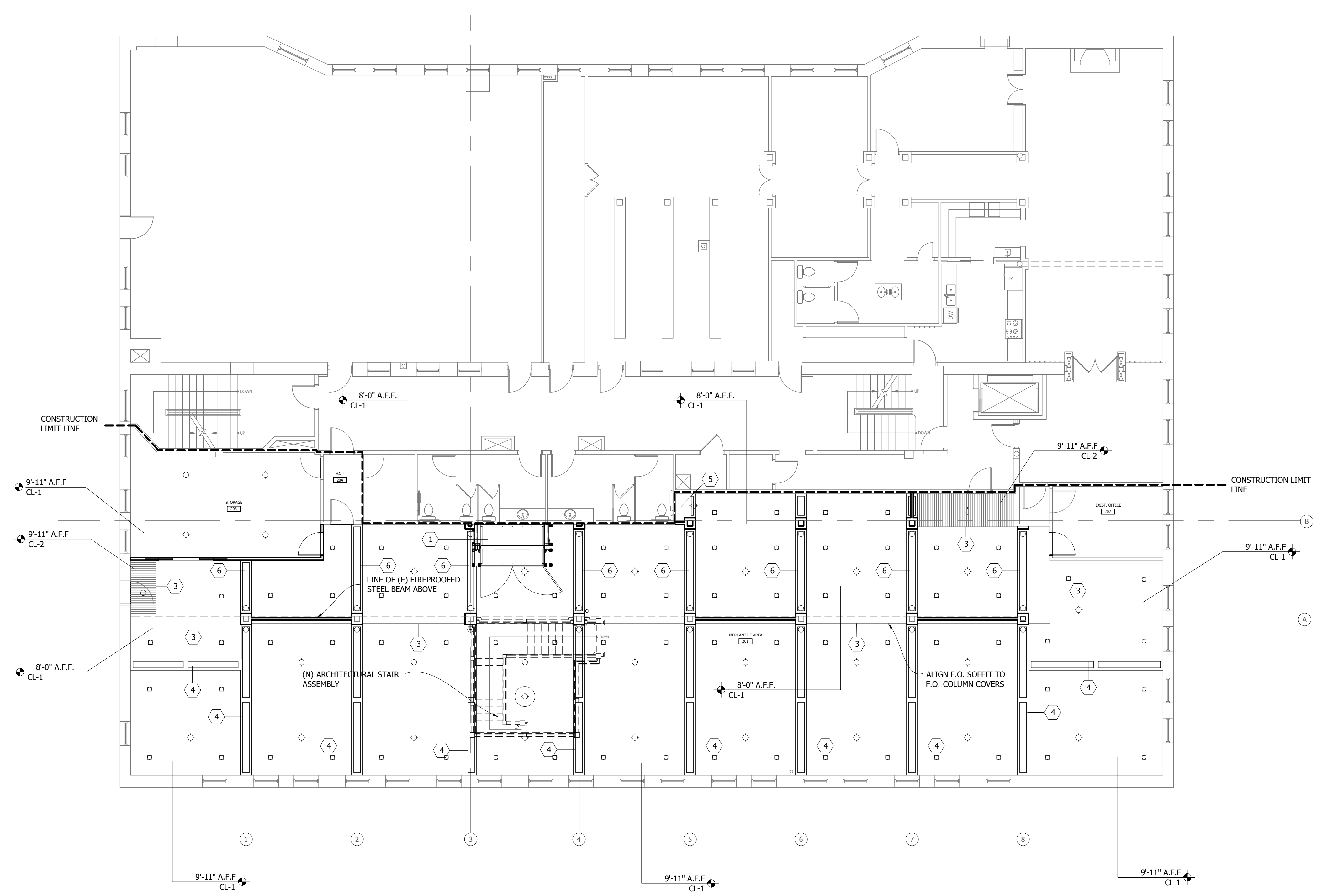
DRAWING SECOND LEVEL REFLECTED CEILING PLAN

PROJECT THE STAPLETON BUILDING
OWNER JEREMIAH YOUNG

PROJECT NO 19002
ISSUE DATE 9/21/2020
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PLAN LEGEND

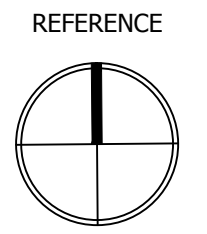
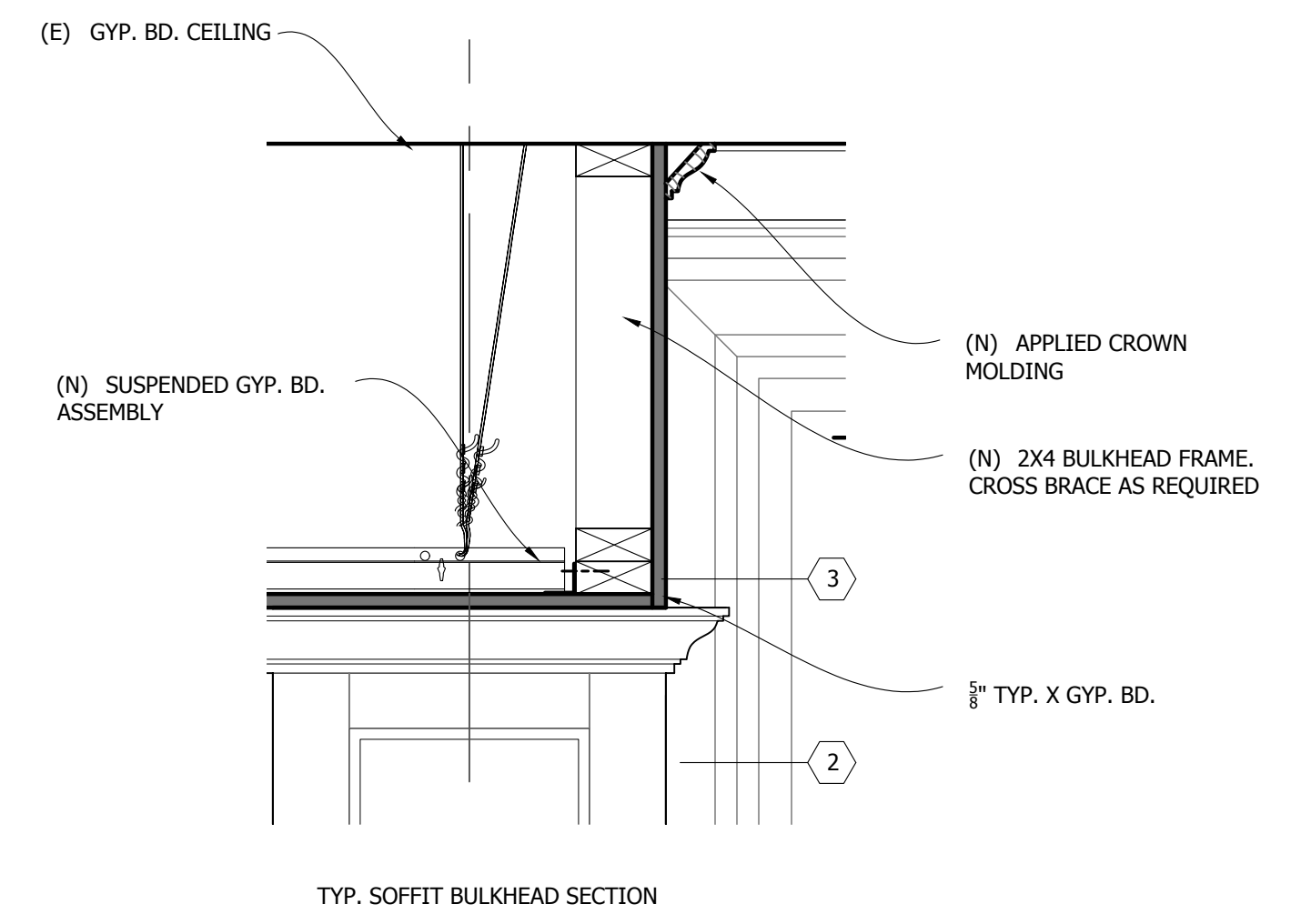
SYMBOL	DESCRIPTION
	EXISTING WALLS & BUILDING ELEMENTS TO REMAIN
	EXISTING WALLS & BUILDING ELEMENTS TO BE DEMOLISHED
	EXISTING RATED WALL ASSEMBLY TO REMAIN
	NEW WALL CONSTRUCTION REFERENCE WALL TYPES LEGEND

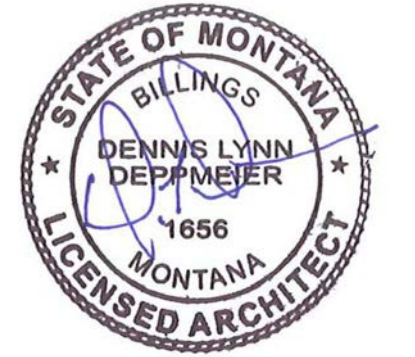
GENERAL NOTES

- ALL (E) WALLS ARE WOOD FRAMING AND OPEN TO THE REMODEL SIDE OF THE WALL.
 - PREPARE ALL CEILING SURFACES TO RECEIVE NEW FINISHES.
- SUSPENDED GYP. CEILING SPECIFICATION
CEILING SYSTEM SHALL COMPLY WITH 2018 IBC. THE DESIGN IS BASED UPON UL#G527 ASSEMBLY
CROSS CHANNEL SPACING: 16" O.C.
CROSS TEE SPACING: 48" O.C.
#8 GALV. WIRE SPACING 36" O.C. MAX
PROVIDE LATERAL CROSS BRACING WIRE AS REQUIRED BY CODE

REMODEL PLAN LEGEND

SYMBOL	DESCRIPTION
SECOND LEVEL REFLECTED CEILING PLAN NOTES	
1	(N) MATERIAL LIFT
2	(N) ARCHITECTURAL COLUMN COVER TO MATCH (E) SEE DETAIL 13/A6.10
3	LINE OF SOFFIT
4	LINE OF (N) WD-1 BOX BEAM SECTION 1 SEE DETAIL 15/A6.10
5	(N) ARCHITECTURAL CASEWORK
6	LINE OF (N) WD-1 BOX BEAM SECTION 2 SEE DETAIL 15/A6.10





FINISH LEGEND

FLOOR	FLR-1 FLR-2 FLR-3	DALTILE 1X1 CERAMIC MOSAIC TILE TO MATCH (E) PATTERN BY OWNER. INCLUDE TILE INSTALLATION IN CONTRACT. CARPET & INSTALLATION BY OWNER RIFT CUT NARROW BOARD WHITE OAK HARDWOOD T&G FLOORING & SOLID WOOD STAIR TREADS. STAIN AND VARNISH TO MATCH WD-2
BASE	B-1	WD-1 NEW WOOD BASE & SHOE TO MATCH (E)
WALL	W-1 W-2	PAINTED GYP. BD. TO MATCH (E) FINISH STANDARD WD-1 T & G PANELING
WOODS	WD-1 WD-2	PAINT GRADE POPLAR OR SIMILAR OAK TO MATCH (E) GRADE & CUT. STAIN & VARNISH TO MATCH (E)
CEILING	CL-1 CL-2	PAINTED GYP. BD. TO MATCH (E) FINISH STANDARD WD-1 T & G PANELING

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR		WALLS				CEILING			REMARKS
		MAT.	BASE	NORTH	EAST	SOUTH	WEST	MAT.	HEIGHT	NOTES	
MAIN LEVEL											
101	CONCIERGE	FLR-1	B-1	W-2	W-1	W-2	W-2	OPEN			
102	LIFT ROOM	FLR-1	B-1	W-1	W-1	W-2	W-1	CL-1	14'-0"		
103	STORAGE	FLR-1	B-1	W-1	W-1	W-1	OPEN	CL-1	14'-0"		
104	EXIST. HALL	FLR-1	B-1	W-1	W-1	OPEN	W-1	CL-2	8'-4"		
105	STORAGE	FLR-1	B-1	W-1	W-1	W-1	W-1	CL-1	14'-0"		
106	STAIR	FLR-3	B-1	W-2	OPEN	OPEN	W-2	CL-1	OPEN		
SECOND LEVEL											
201	MERCANTILE AREA	FLR-2	B-1	REFERENCE INTERIOR ELEVATIONS				CL-1/CL-2	8'-0"/9'-11"		
202	EXIST. OFFICE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	PATCH & REPAIR	EXISTING	9'-11"		
203	STORAGE	FLR-2	B-1	W-1/W-2	W-1/W-2	W-1/W-2	W-1/W-2	CL-1	9'-11"		RUN W-2 TO 8'-0" MAX LENGTH W/ CAP TO MATCH (E)
204	HALL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	9'-11"		

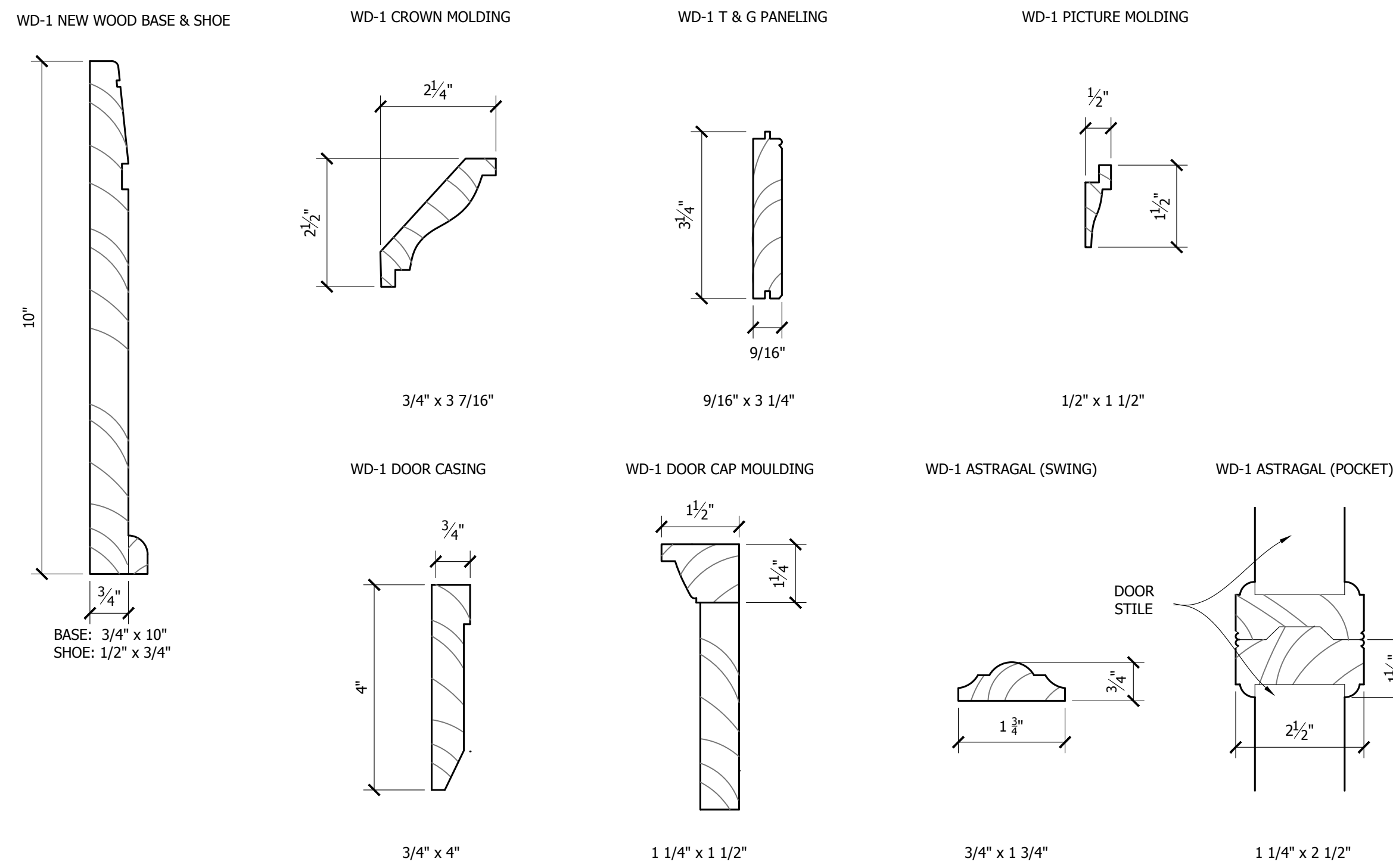
PAINT COLOR SCHEDULE

NOTES TO CONTRACTOR:

- REFER TO THE INTERIOR ELEVATION SHEETS FOR DETAILED FINISH LOCATIONS.
- NOTATION EXAMPLE: W-1(3)
W-1 - INDICATES WALL FINISH
(3) - INDICATES PAINT COLOR
(1)PT-1 SPECIFICATION & COLORS TO MATCH (E)

9/A9.1 WOOD TRIM PROFILES TO MATCH EXISTING (REPRESENTATIVE EXAMPLES)

MOST STANDING & RUNNING TRIM HAS BEEN PRODUCED AND IS STORED ON SITE. CONTRACTOR TO INVENTORY (E) MATERIAL AGAINST PROJECT REQUIREMENTS.

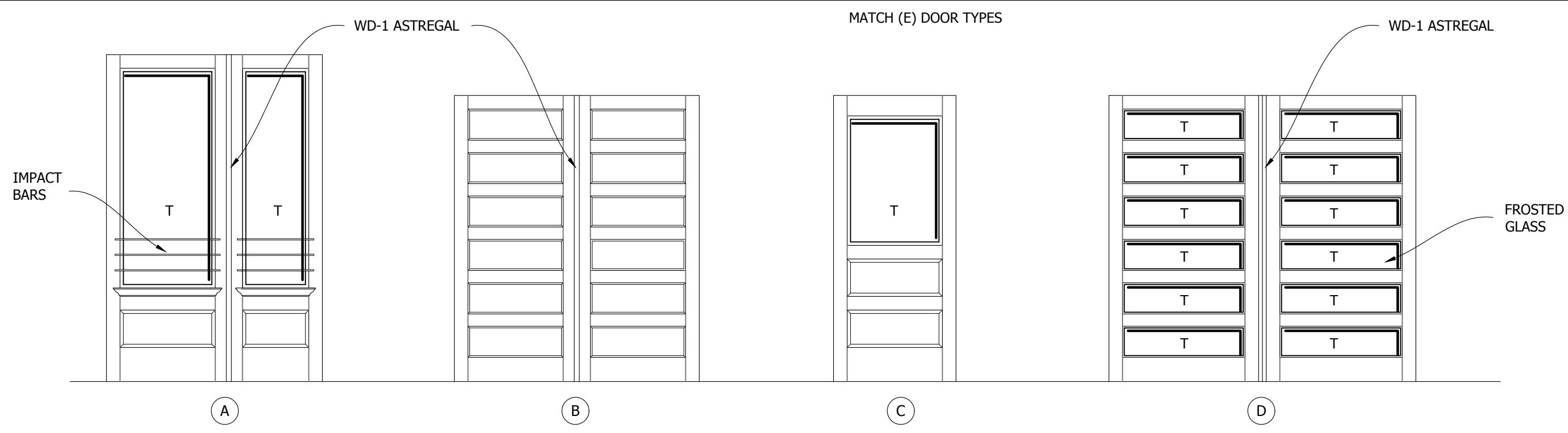


DOOR SCHEDULE

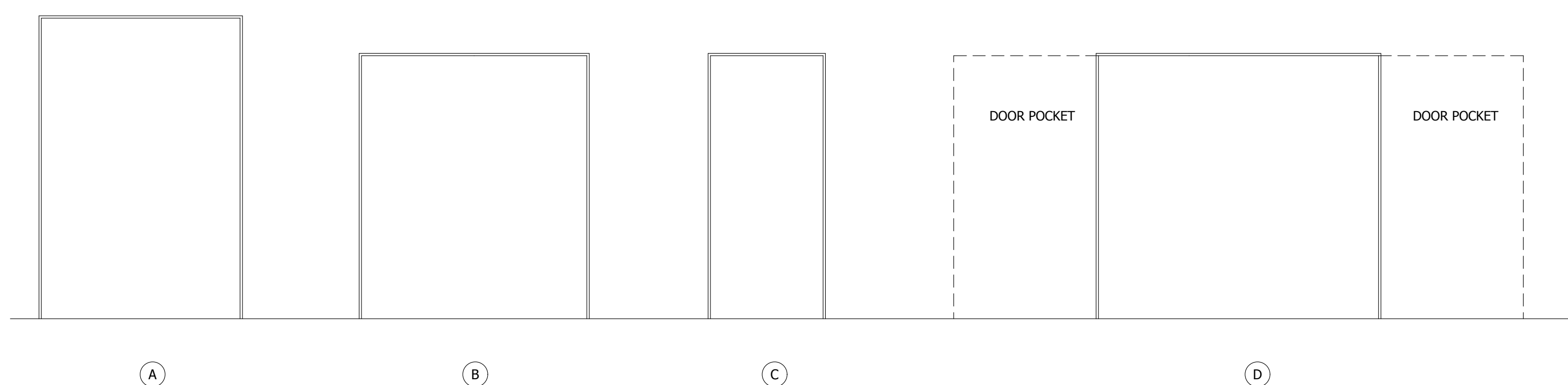
DESIGNATION	NOMINAL SIZE			DOOR			FRAME			HARDWARE GROUP	REMARKS
	W	H	T	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH		
MAIN LEVEL											
101.1	PAIR 5'-0"	8'-0"	2 1/4"	A	WD-1	PAINT	A	WD-1	PAINT	1	TEMPERED THERMAL INSULATED GLASS VIEW PANEL
105.1	PAIR 6'-0"	7'-0"	1 3/4"	B	WD-1	PAINT	B	WD-1	PAINT	2	
SECOND LEVEL											
201.1	3'-0"	7'-0"	1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	6	(E) DOOR, FRAME, & HARDWARE TO REMAIN (REMOVE MORTISED PRIVACY SET)
201.2	3'-0"	7'-0"	1 3/4"	C	WD-1	PAINT	EXISTING	EXISTING	EXISTING	5	FRAME TO REMAIN
202.1	3'-0"	7'-0"	1 3/4"	C	WD-1	PAINT	C	WD-1	PAINT	3	TEMPERED GLASS VIEW PANEL
203.1	3'-0"	7'-0"	1 3/4"	C	WD-1	PAINT	C	WD-1	PAINT	3	TEMPERED GLASS VIEW PANEL
203.2	PAIR 7'-4"	7'-0"	1 3/4"	D	WD-1	PAINT	D	WD-1	PAINT	4	POCKET DOORS W/ TEMPERED GLASS PANELS
204.1	3'-0"	7'-0"	1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	6	(E) DOOR, FRAME, & HARDWARE TO REMAIN (REMOVE MORTISED PRIVACY SET)

T - TEMPERED SAFETY GLASS

DOOR TYPES



DOOR FRAMES



DOOR HARDWARE GROUP NO. 1

DOOR NUMBER: 001.1

PAIR RAISED PANEL EXTERIOR DOORS
EACH PAIR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1		ENTRANCE SET	US10B	BY OWNER
8		4" BALL BEARING HINGES	US10B	BY OWNER
2		FLUSH BOLTS	US10B	MATCH (E)
2		FLOOR STOPS W/ HOOK & EYE	US10B	BY OWNER
1		DOOR CLOSER	US10B	MATCH (E)
6		IMPACT BARS	US10B	BY OWNER

DOOR HARDWARE GROUP NO. 2

DOOR NUMBER: 105.1

PAIR RAISED PANEL INTERIOR DOORS
EACH PAIR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1		STOREROOM SET	US10B	BY OWNER
6		4" BALL BEARING HINGES	US10B	BY OWNER
2		FLUSH BOLTS	US10B	MATCH (E)
2		FLOOR STOPS W/ HOOK & EYE	US10B	BY OWNER
1		DOOR CLOSER	US10B	MATCH (E)

DOOR HARDWARE GROUP NO. 3 (MATCH EXISTING)

DOOR NUMBER: 202.1, 203.1

SINGLE RAISED PANEL INTERIOR DOOR W/ TEMPERED VIEW PANEL
EACH DOOR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1		PASSAGE SET	US10B	BY OWNER
3		4" BALL BEARING HINGES	US10B	BY OWNER
1		FLOOR STOPS W/ HOOK & EYE	US10B	BY OWNER
1		DOOR CLOSER	US10B	MATCH (E)

DOOR HARDWARE GROUP NO. 4

DOOR NUMBER: 203.2

PAIR RAISED PANEL INTERIOR POCKET DOORS W/ TEMPERED VIEW PANELS
EACH PAIR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1	940.80.400	HAWA TRACK	US10B	HAFFLE
1	940.81.009	HAWA ROLLERS	US10B	HAFFLE
1	940.41.130	HAWA BOTTOM TRACK	US10B	HAFFLE

DOOR HARDWARE GROUP NO. 5

DOOR NUMBER: 201.2

SINGLE RAISED PANEL INTERIOR DOOR W/ TEMPERED VIEW PANEL
EACH DOOR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1	ED3600	MORTISE CROSSBAR EXIT DEVICE	US10B	CW
1	T33M55ET	CLASSROOM TRIM W/ CYLINDER	US10B	CW
3		4" BALL BEARING HINGES	US10B	BY OWNER
1		FLOOR STOPS W/ HOOK & EYE	US10B	BY OWNER
1		DOOR CLOSER	US10B	MATCH (E)

DOOR HARDWARE GROUP NO. 6

DOOR NUMBER: 201.1, 204.1

EXISTING INTERIOR DOOR
EACH DOOR TO HAVE:

QTY	PART #	DESCRIPTION	FINISH	VENDOR
1	ED3600	MORTISE CROSSBAR EXIT DEVICE	US10B	CW
1	T33M55ET	CLASSROOM TRIM W/ CYLINDER	US10B	CW

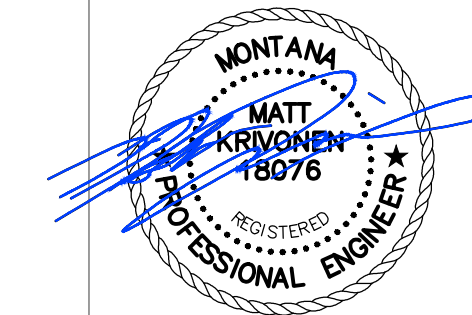
SCHEDULES
 DRAWING
 PROJECT
 OWNER
 THE STAPLETON BUILDING
 BILLINGS, MONTANA
 JEREMIAH YOUNG

PROJECT NO 19002
 ISSUE DATE 9/21/2020
 REVISIONS

DENNIS LYNN DEPPMEIER, AIA
 PRINCIPAL
 128 CLARK AVE., BILLINGS, MT 59101
 MOB 406-855-1529 TEL 406-254-7328

blueboy@bresnan.net

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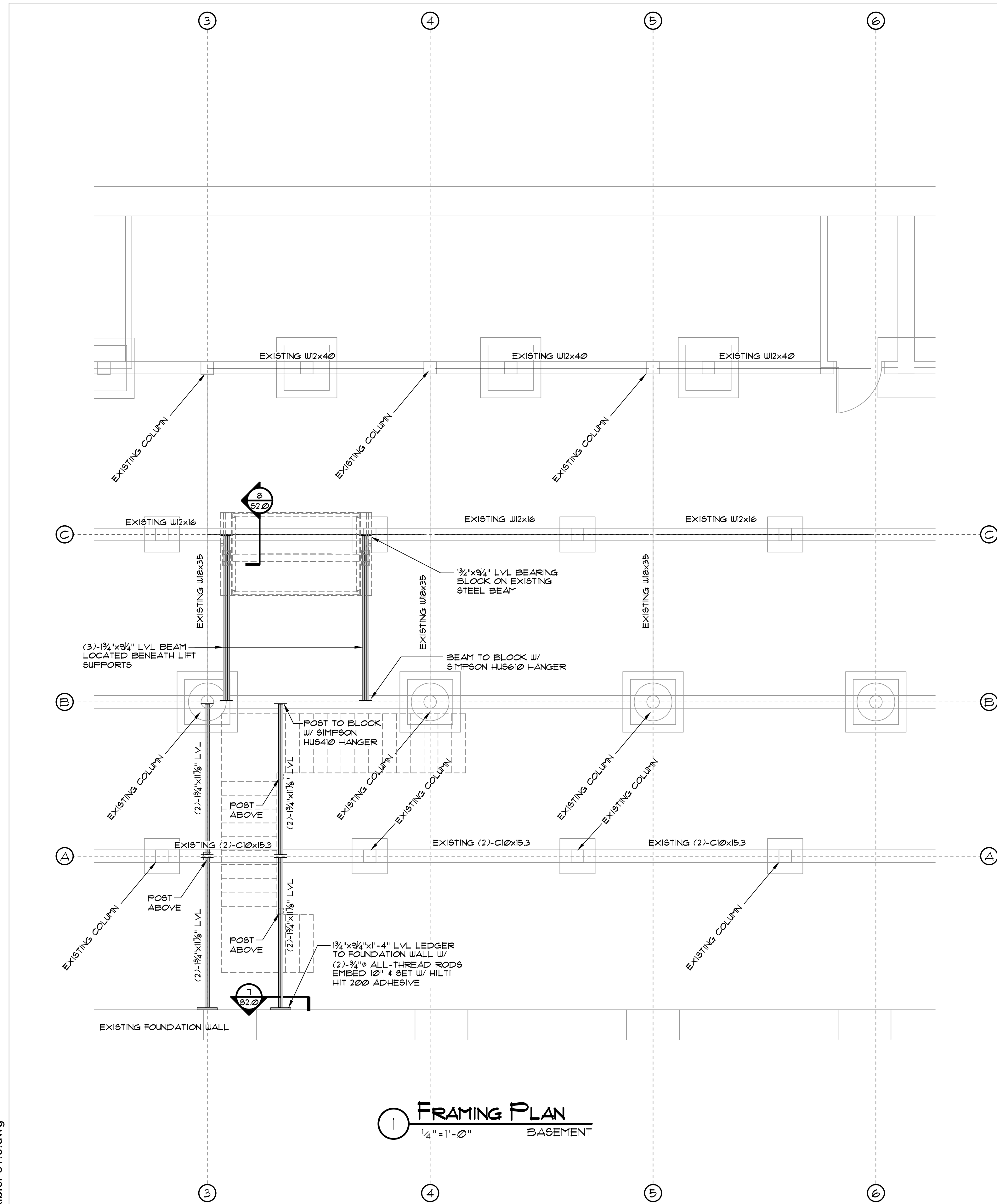


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Framing Plans

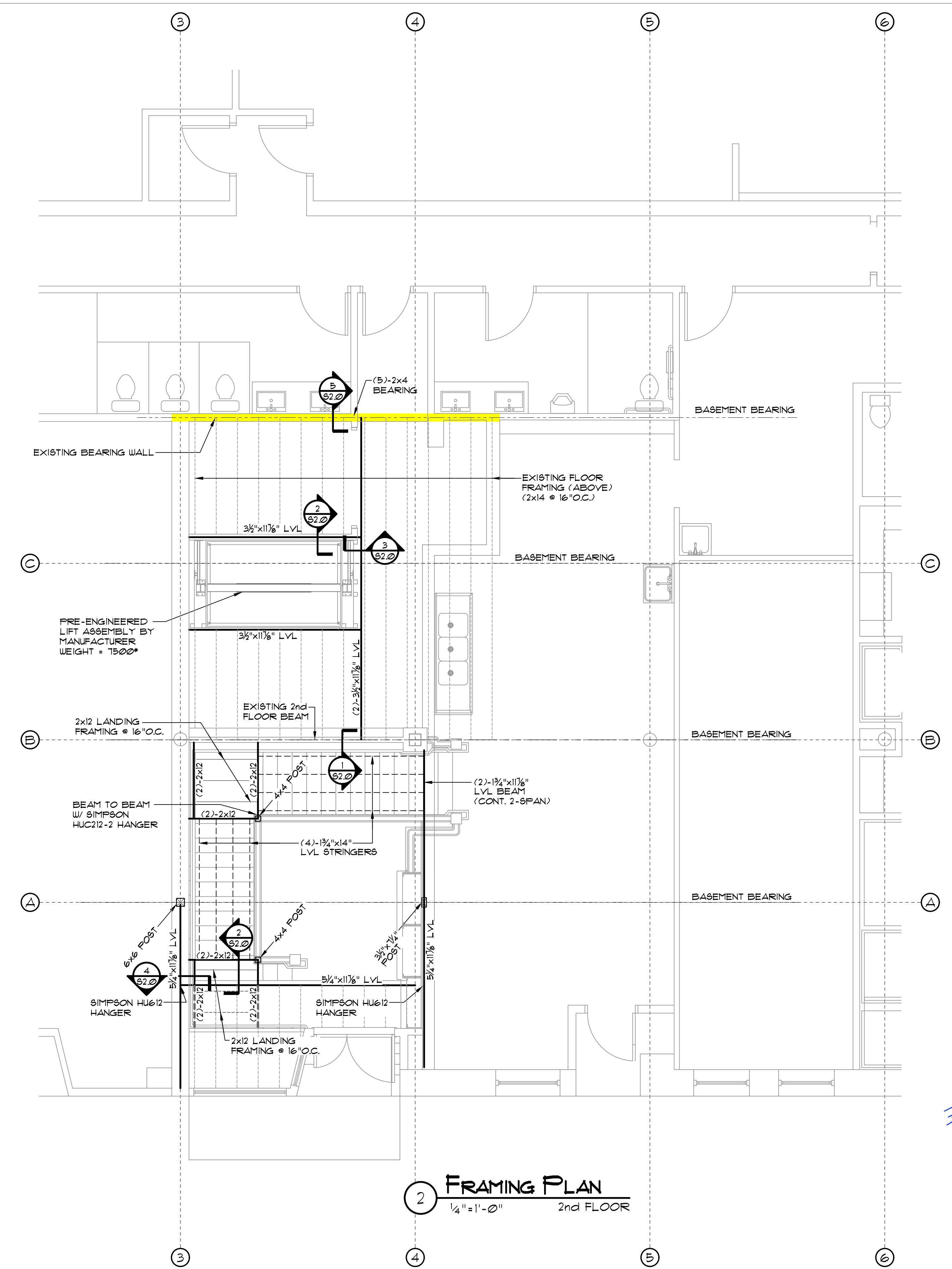
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ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 9.21.2020
JOB NUMBER: 8363

SHEET:
S1.0

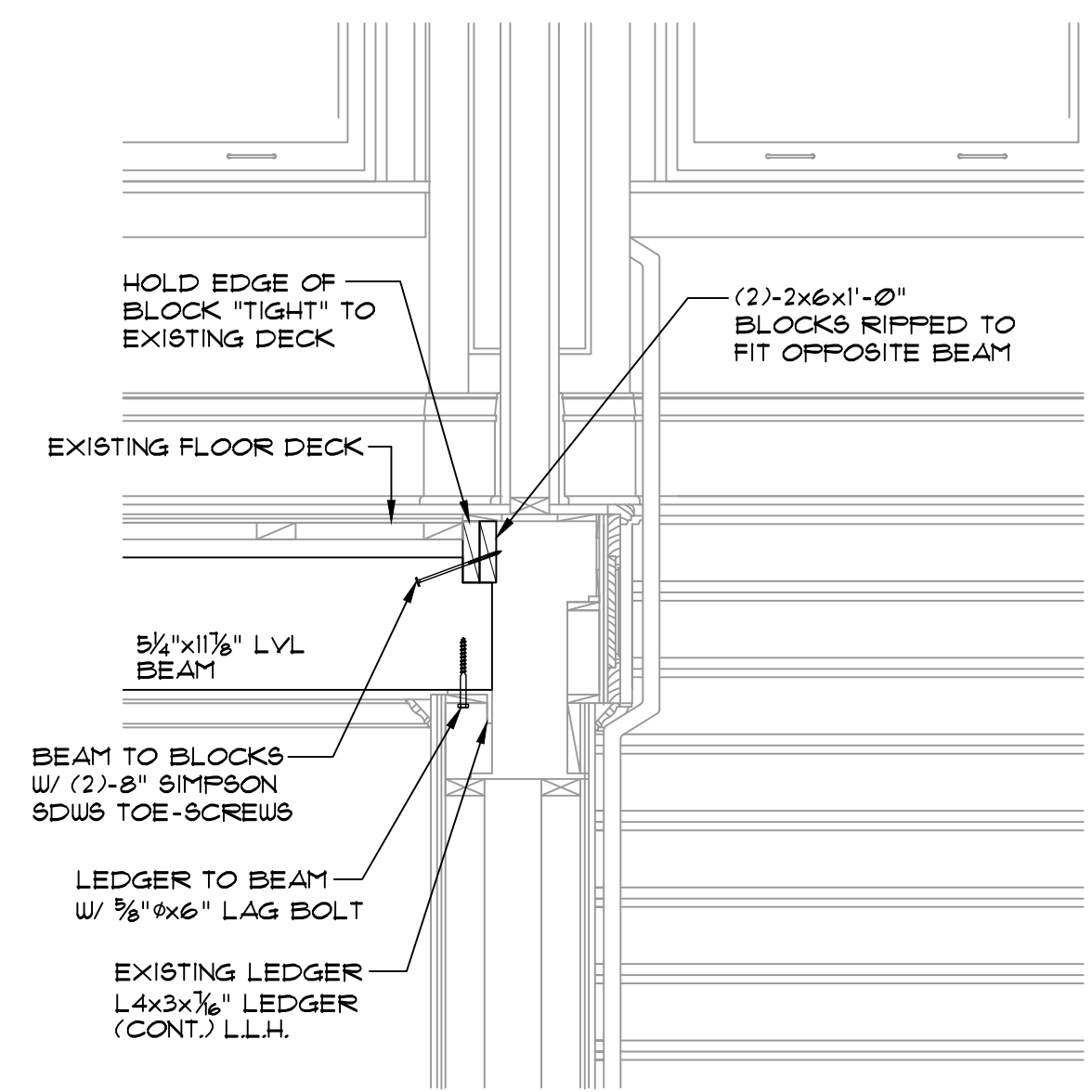
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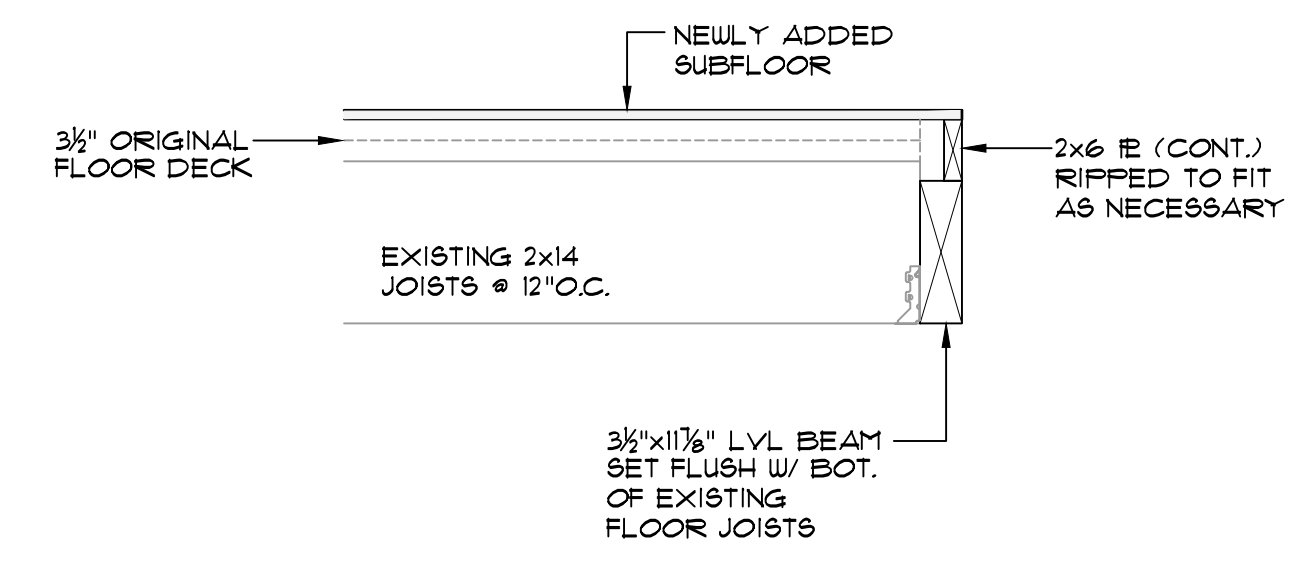
1 FRAMING PLAN
1/4" = 1'-0" BASEMENT



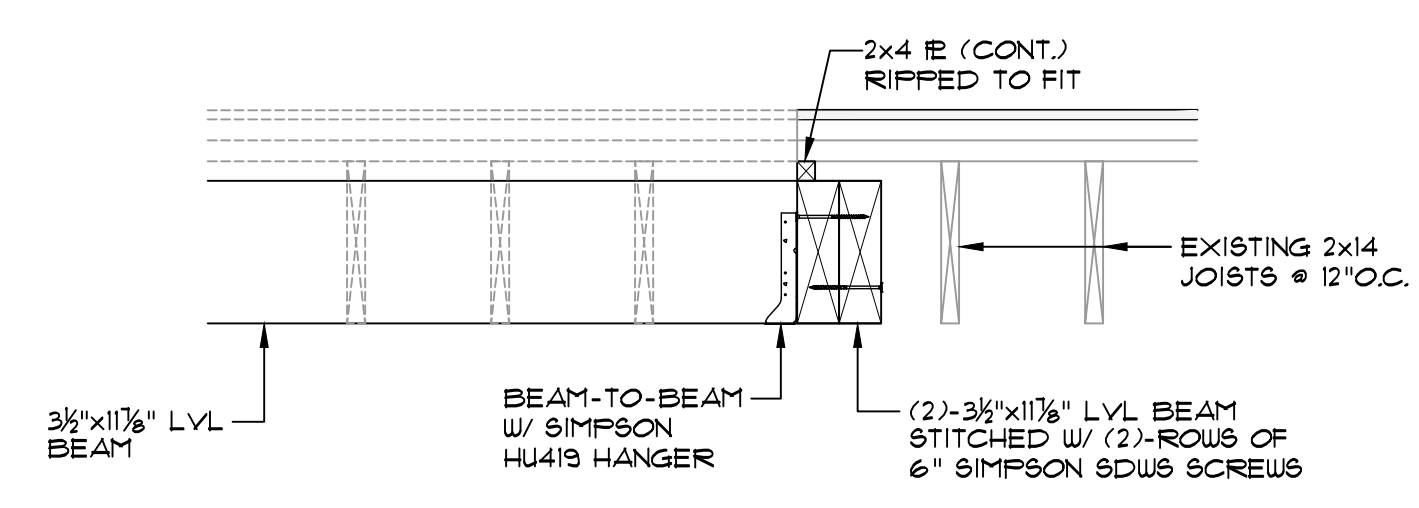
2 FRAMING PLAN
1/4" = 1'-0" 2nd FLOOR



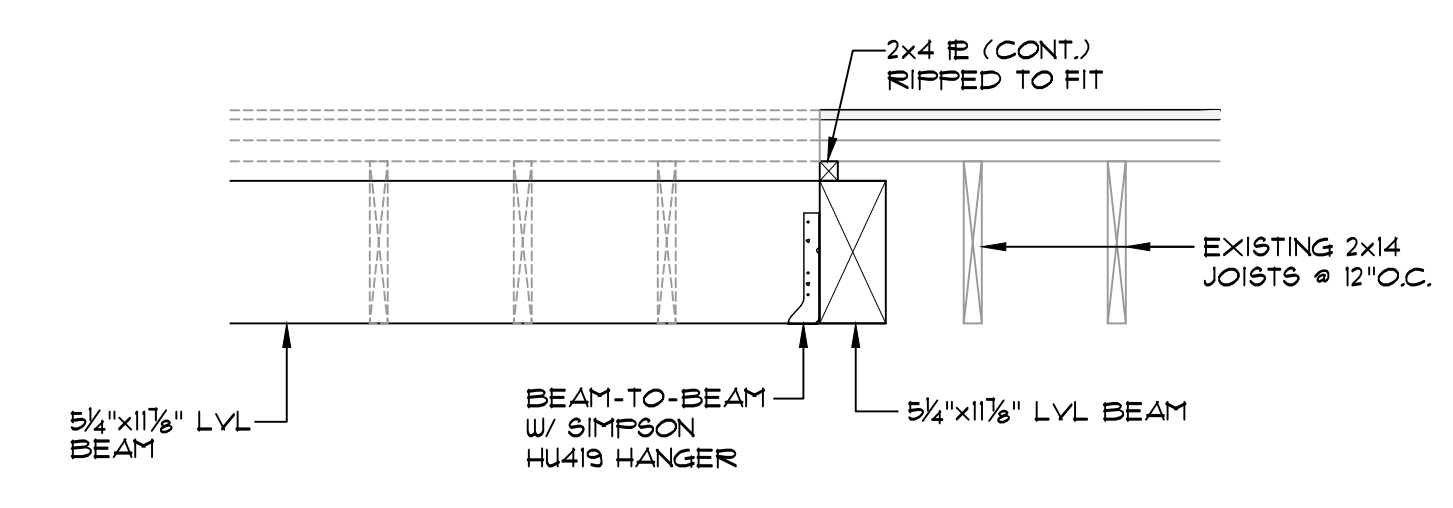
1 SECTION
3/4" = 1'-0"



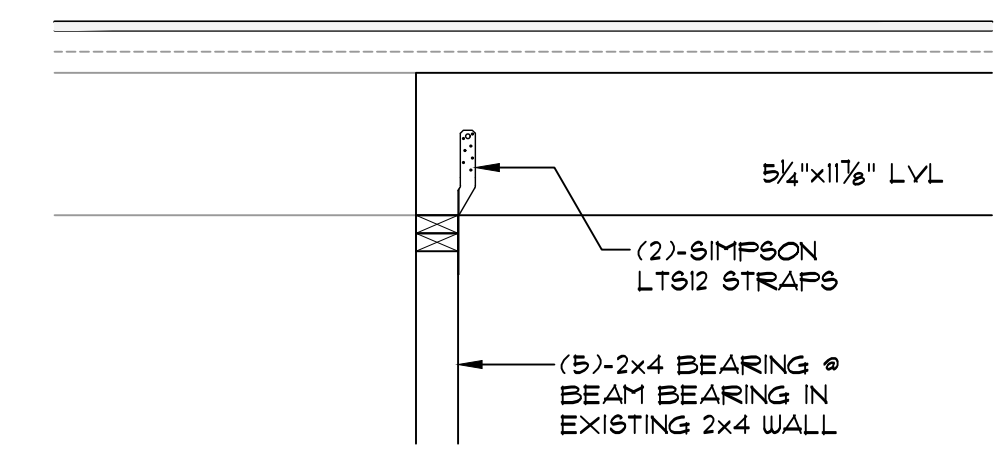
2 SECTION
3/4" = 1'-0"



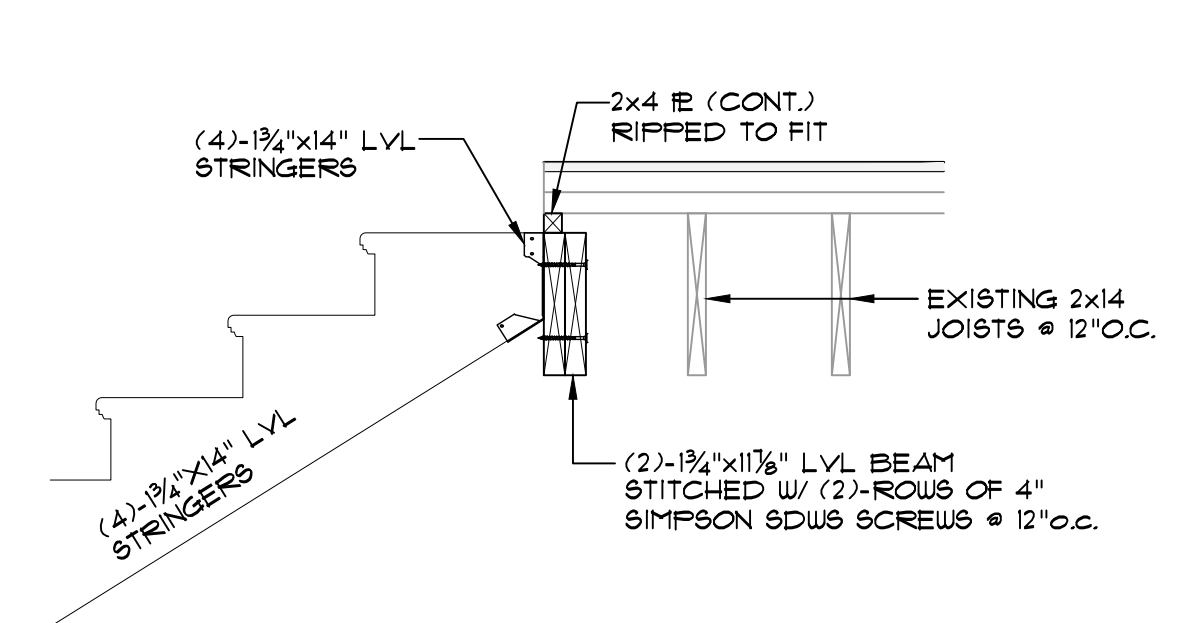
3 SECTION
3/4" = 1'-0"



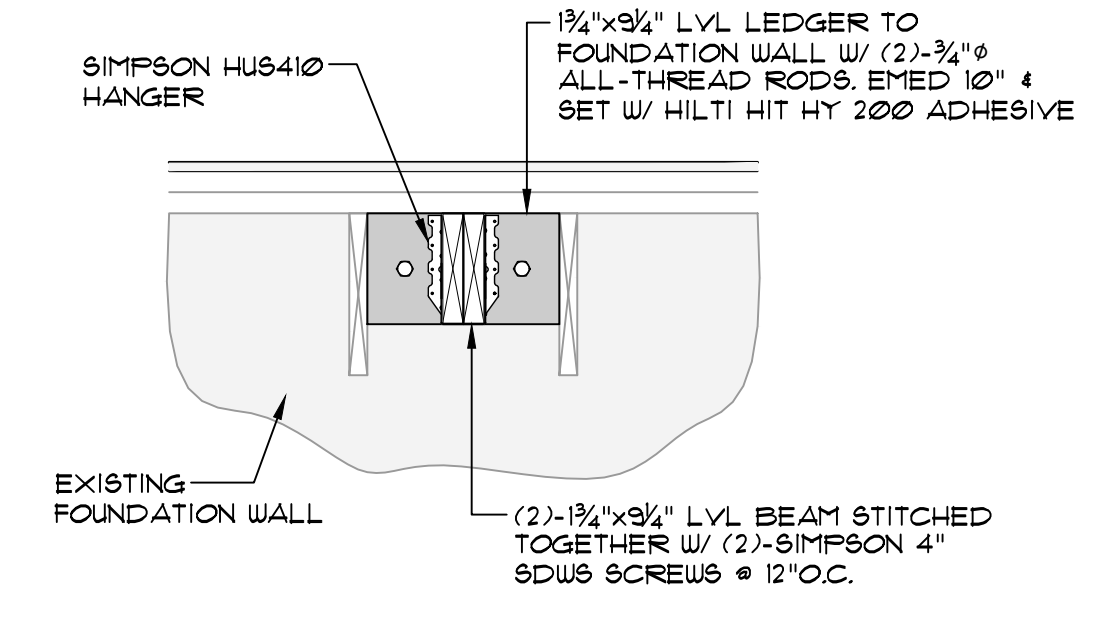
4 SECTION
3/4" = 1'-0"



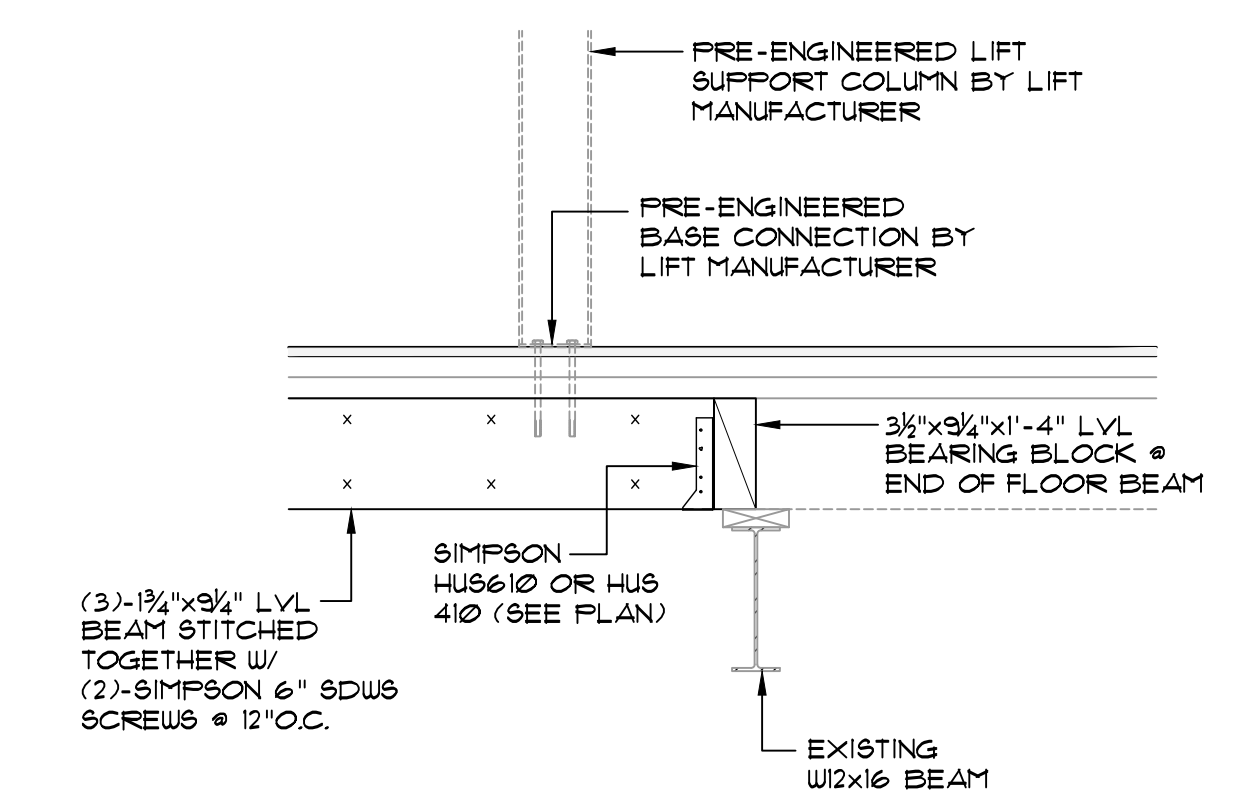
5 SECTION
3/4" = 1'-0"



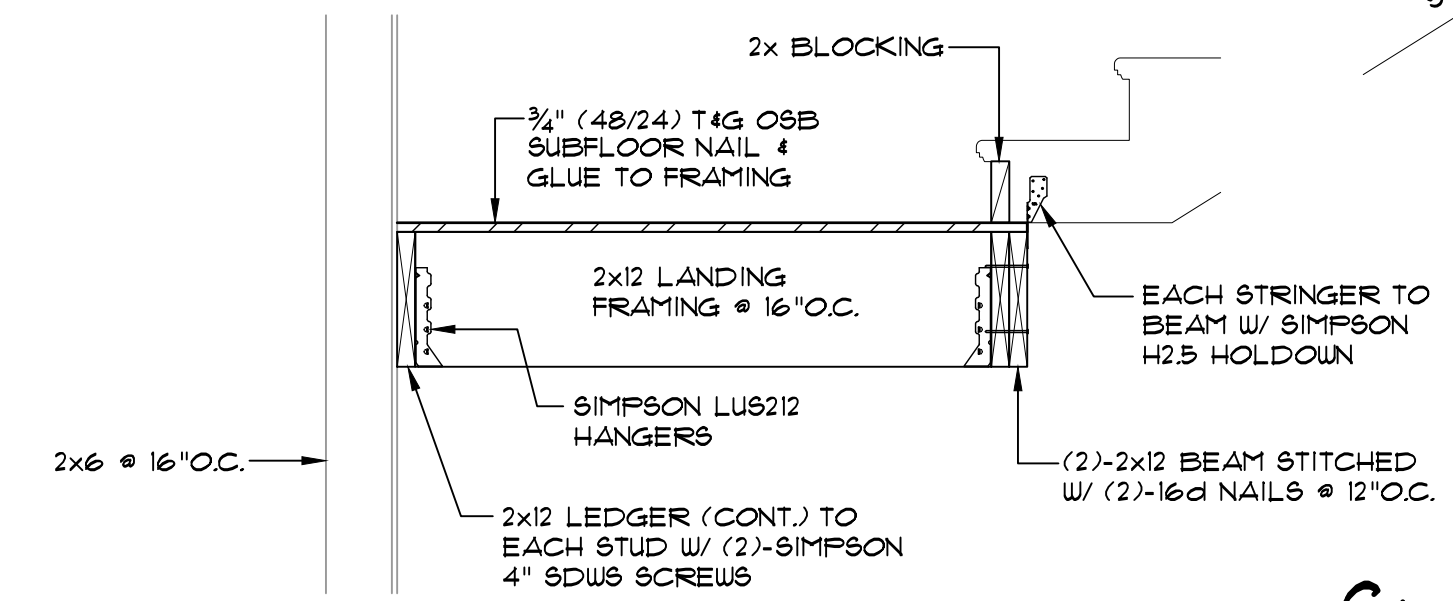
6 SECTION
3/4" = 1'-0"



7 SECTION
3/4" = 1'-0"



8 SECTION
3/4" = 1'-0"

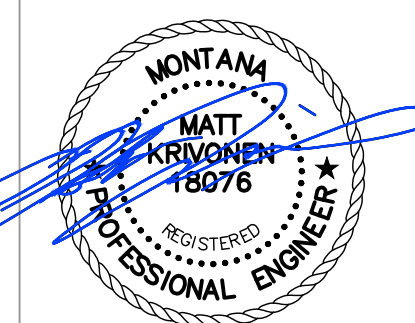


9 SECTION
3/4" = 1'-0"

9/18/20 8363-kibler-s2.0.dwg

printed scale: 1/4" = 1'-0"

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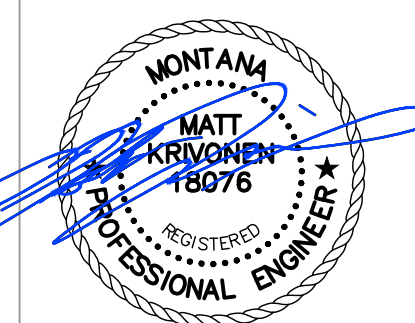
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Details & Sections
CADD DRAFTER: TB
ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 9.21.2020
JOB NUMBER: 8363
SHEET:

S2.0

STRUCTURAL NOTES

GOVERNING CODES	GENERAL NOTES	WOOD FRAMING																																		
<p>INTERNATIONAL BUILDING CODE, 2018 EDITION AMERICAN INSTITUTE OF STEEL CONSTRUCTION, 9TH EDITION AMERICAN CONCRETE INSTITUTE, 318-14 AMERICAN SOCIETY OF CIVIL ENGINEERS, 7-16 AMERICAN WELDING SOCIETY D1.1 (U.O.N.)</p> <p style="text-align: center;">DESIGN CRITERIA</p> <p>SEISMIC: DESIGN CATEGORY "A": $I_e=1.0$, $S_s=0.12$, $S_1=0.052$ RESISTIVE SYSTEM=WOOD SHEATHING SEISMIC DESIGN FACTORS: $S_{MS}=0.09$, $S_{M1}=0.12$, $S_{M5}=0.13$, $S_{D1}=0.083$, $R=6$, $C_e=0.022$ SIMPLIFIED BASE SHEAR METHOD: LIVE LOAD FACTOR = 1 FLOOR LOAD: 100 PSF (LIVE) FOUNDATION: ASSUMED BEARING ON MATERIAL SPECIFIED W/ ASSOCIATED CAPACITY IN GEOTECHNICAL REPORT</p> <p style="text-align: center;">SPECIAL INSPECTION</p> <p>STATEMENT OF SPECIAL INSPECTIONS:</p> <ul style="list-style-type: none"> - SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17) - THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICE FOR APPROVAL. SPECIAL INSPECTORS FOR THIS PROJECT INCLUDE: <p>POST-INSTALLED ANCHORS: POST-INSTALLED ANCHOR INSTALLATION TO BE PERFORMED BY "TERRACON ENGINEERING" PER IBC 2018 REQUIREMENTS.</p> <p>CONCRETE REINFORCING: VERIFICATION OF CONCRETE REINFORCING SIZE, MATERIAL, AND LOCATION TO BE CONDUCTED BY "RIMROCK ENGINEERING" PER IBC 2018 REQUIREMENTS.</p>	<ul style="list-style-type: none"> - CONTRACTOR SHALL COORDINATE OPENINGS & IMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH APPROPRIATE TRADE. - ALL SHOP DRAWINGS OF ALL STRUCTURAL COMPONENTS SHALL BE REVIEWED BY ARCHITECT / ENGINEER PRIOR TO FABRICATION. - STRUCTURAL COMPONENTS SHALL BE TEMPORARILY BRACED IN A MANNER TO RESIST EARTHQUAKE, WIND, SNOW, & LATERAL EARTH LOADS OF COMBINATION THEREOF UNTIL PLYWOOD ROOF DIAPHRAGM, PLYWOOD SHEATHED SHEAR WALLS, or FLOOR FRAMING ARE IN PLACE & SECURED PROPERLY. - ANY PROFESSIONAL THIRD PARTY REVIEW TO BE APPROVED BY "KRIVONEN STRUCTURAL ENGINEERS" PRIOR TO REVIEW. - THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS FROM ALL OTHER DISCIPLINES. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK. - THE STRUCTURAL DRAWINGS HERE-IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERCT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK & CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY, & INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. - THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCE OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. - THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ENGINEER. - LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THESE LOADINGS ARE SPECIFIED IN THE "DESIGN CRITERIA" PORTION OF THESE NOTES. DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE. - SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL. THE ENGINEER'S REVIEW IS TO BE FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK, AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR THE ERRORS & OMISSIONS ASSOCIATED WITH THE PREPARATION OF THE SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC. 	<p style="text-align: center;">WOOD FRAMING</p> <ul style="list-style-type: none"> - ALL WOOD FRAMING MATERIALS SHALL BE SURFACE DRIED WITH A MAXIMUM OF 9% MOISTURE CONTENT. - ALL LUMBER FLOOR OR ROOF FRAMING SHALL BE BRACED AT MIDSPAN AND NO MORE THAN 8'-0" CENTERS WITH FULL DEPTH BLOCKING. - ALL FRAMING EXPOSED TO THE WEATHER OR EXPOSED TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVES ASSOCIATION SPECIFICATIONS. - BOLT HOLES SHALL BE CAREFULLY DRILLED NOT MORE THAN 1/8" LARGER THAN THE BOLT DIAMETER. BOLTED CONNECTIONS SHALL BE SNUGGED TIGHT BY NOT TO THE EXTENT OF CRUSHING THE WOOD UNDER WASHERS. - WOOD MEMBERS SHALL BE BOLTED WITH A307 HOT DIPPED GALVANIZED BOLTS. <p>WOOD STUD WALLS:</p> <ul style="list-style-type: none"> - PROVIDE FULL DEPTH BLOCKING AT MIDHEIGHT ALL INTERIOR BEARINGS STUD WALLS - PROVIDE 2x BLOCKING AT SHEATHING PANEL JOINTS IN SHEAR WALLS. - BEARING WALLS TO HAVE DOUBLE (CONT.) 2x6 TOP PLATES W/ STAGGERED SPLICES UNLESS NOTED OTHERWISE. - BOTTOM WALL PLATES OR VERTICAL STUDS IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. - PROVIDE 2x6 @ 16"O.C. VERTICAL FRAMING @ ALL BEARING & EXTERIOR WALLS UNLESS NOTED OTHERWISE. <p>PLYWOOD AND OSB SHEATHING:</p> <ul style="list-style-type: none"> - ALL PLYWOOD AND OSB CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS. - INSTALL PLYWOOD OR OSB PANELS WITH THE LONG DIMENSION OF THE PANELS ACROSS THE SUPPORTS AND WITH THE PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/4" SPACING BETWEEN PANEL ENDS & EDGES UNLESS OTHERWISE RECOMMENDED BY PANEL MANUFACTURER. - PROVIDE 2x BLOCKING AT UNSUPPORTED PANEL EDGES AS FOLLOWS: ROOF AND FLOORS = AT AREAS INDICATED ON PLANS. WALLS = ALL EXTERIOR WALLS AND INTERIOR WALLS AS SHOWN ON PLANS. <p>MATERIALS:</p> <p>DIMENSIONAL FRAMING: LUMBER - #1 HEM FIR: $F_b = 975$ PSI, $F_v = 150$ PSI, $E = 1.5x10^6$ PSI 2x4 FRAMING-#1 HEM FIR (CONSTRUCTION GRADE): $F_b = 925$ PSI, $F_v = 135$ PSI, $E = 1.5x10^6$ PSI LVL BEAMS: 1 3/4" = $F_v = 285$ PSI, $F_b = 2800$ PSI, $E = 2.0x10^6$ PSI 3/2" or WIDER = $F_v = 285$ PSI, $F_b = 3100$ PSI, $E = 2.0x10^6$ PSI GLU-LAM BEAMS (V8 ORIENTATION): $F_v = 265$ PSI, $F_b = 2400$ PSI, $E = 1.8x10^6$ PSI POSTS: HEM FIR #1</p> <p>NAILING SCHEDULE:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">CONNECTION</th> <th style="text-align: center;">ATTACHMENT</th> </tr> </thead> <tbody> <tr> <td>JOIST TO SILL OR GIRDER, TOENAIL</td> <td style="text-align: right;">(3)-10d</td> </tr> <tr> <td>BRIDGING TO JOIST, TOENAIL EACH END.....</td> <td style="text-align: right;">(2)-10d</td> </tr> <tr> <td>SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL.....</td> <td style="text-align: right;">(3)-10d TOENAILS</td> </tr> <tr> <td>TOP PLATE TO STUD, END NAIL.....</td> <td style="text-align: right;">(2)-16d</td> </tr> <tr> <td>STUD TO SOLE PLATE.....</td> <td style="text-align: right;">(4)-8d TOENAIL or (2)-16d</td> </tr> <tr> <td>DOUBLE STUDS, FACE NAIL.....</td> <td style="text-align: right;">16d @ 24"O.C.</td> </tr> <tr> <td>DOUBLE TOP PLATES, FACE NAIL.....</td> <td style="text-align: right;">16d @ 16"O.C.</td> </tr> <tr> <td>BUILT-UP STUD PACKS.....</td> <td style="text-align: right;">20d @ 6"O.C.</td> </tr> <tr> <td>TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL.....</td> <td style="text-align: right;">(2)-16d</td> </tr> <tr> <td>CONTINUOUS HEADER, TWO PIECES.....</td> <td style="text-align: right;">16d @ 15"O.C.</td> </tr> <tr> <td>ROOF JOISTS TO PLATE, TOENAIL.....</td> <td style="text-align: right;">(3)-10d</td> </tr> <tr> <td>CONTINUOUS HEADER TO STUD, TOENAIL.....</td> <td style="text-align: right;">(4)-10d</td> </tr> <tr> <td>ROOF JOISTS, LAPS OVER PARTITIONS, FACE NAIL.....</td> <td style="text-align: right;">(3)-10d</td> </tr> <tr> <td>ROOF JOISTS TO PARALLEL RAFTERS, FACE NAIL.....</td> <td style="text-align: right;">(3)-16d</td> </tr> <tr> <td>BUILT-UP CORNER STUDS.....</td> <td style="text-align: right;">20d @ 24"O.C.</td> </tr> <tr> <td>BUILT-UP CORNER BEAMS.....</td> <td style="text-align: right;">20d @ 32"O.C.</td> </tr> </tbody> </table>	CONNECTION	ATTACHMENT	JOIST TO SILL OR GIRDER, TOENAIL	(3)-10d	BRIDGING TO JOIST, TOENAIL EACH END.....	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SHEET DESCRIPTION:
Structural Notes

CADD DRAFTER: TB
ENGINEER: MK
SCALE: 1/4" = 1'-0"
DATE: 9.21.2020
JOB NUMBER: 8363

SHEET: **S3.0**

GRILLES, REGISTERS, & DIFFUSERS							
GRD TAG	MANUFACTURER & MODEL OR EQUAL BY TITUS, PRICE, CARNES, NALOR, METALARE, TUTTLE & BAILEY	SERVICE	MOUNTING	FINISH / COLOR	VOLUME DAMPER	PLAN SIZE	NOTES
S1	KREUGER 1900 18 1 15	SUPPLY	WALL	WHITE	45° TAKE-OFF DETAIL	#SLOTS=LENGTH/CFM	NOTE 2
S2	KREUGER 1900 18 1 20	SUPPLY	WALL	WHITE	45° TAKE-OFF DETAIL	#SLOTS=LENGTH/CFM	NOTE 2
S3	KREUGER S480	SUPPLY	WOOD RISER	VERIFY W/OWNER	--	NECK/CFM	
R1	STEELCREST RETURN AIR GRILLE	RETURN	GYP CLG	VERIFY W/OWNER	OBD	NECK/CFM	NOTE 3
R2	STEELCREST RETURN AIR GRILLE	RETURN	WOOD PANELING	VERIFY W/OWNER	--	NECK/CFM	NOTE 3
R3	STEELCREST RETURN AIR GRILLE	RETURN	WALL	WHITE	OBD	NECK/CFM	NOTE 3

1. VERIFY FINISH, COLOR AND/OR CLG TYPE PRIOR TO ORDERING.
 2. PROVIDE CONCEALED MOUNTING, END CAPS, REMOVE BLADES FROM LINEAR SLOTS.
 3. PLATINUM SERIES, FINAL PATTERN SELECTION & FINISH BY OWNER.

ELECTRIC HEATER									
ITEM	TYPE	CAP. KW	V/Ø	CFM	EAT °F	AIR LAT °F	MANUFACTURER & MODEL NO. OR EQUAL BY DAYTON, BERKO, REDD-I	NOTES	CONTROLS
ECH-1	CABINET HEATER	4.0	208/1	250	65	123	QMARK CU935 04 201 BT 1R	1	2

1. MOUNT ON END, SUMMER SWITCH, DISCONNECT SWITCH, DUCT COLLAR INLET/OUTLET.
 2. REMOTE 24V THERMOSTAT WITH FAN CONTROL.

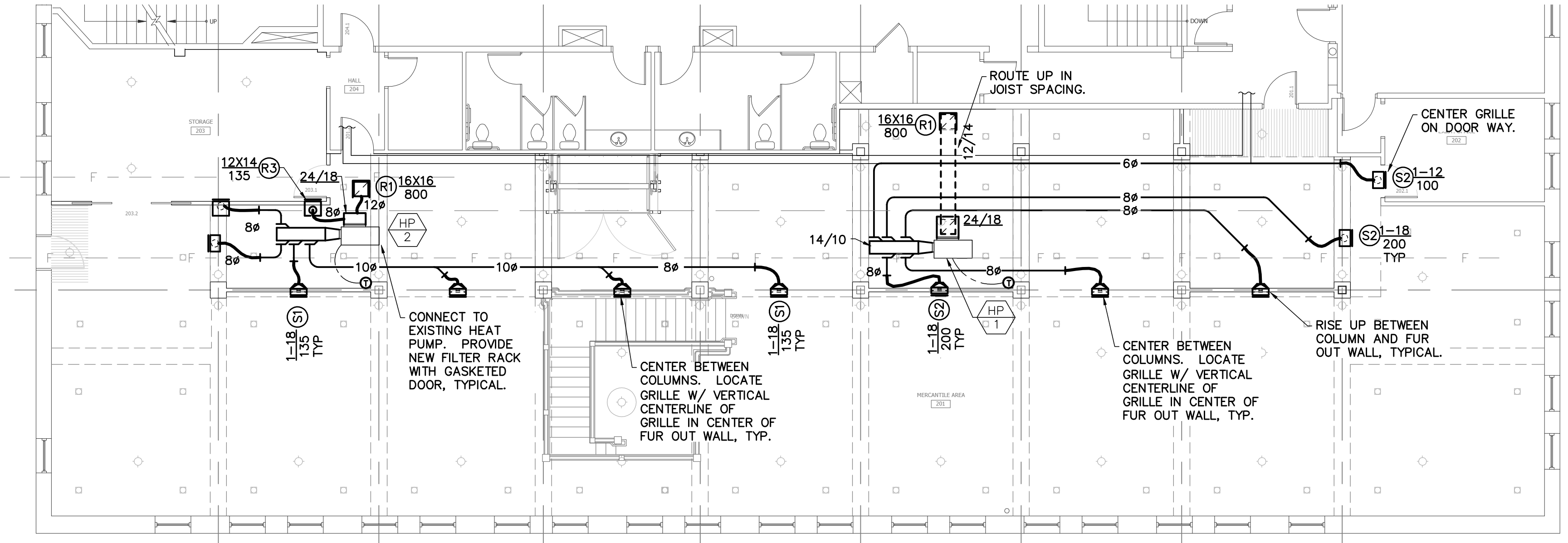
OUTSIDE AIR JUSTIFICATION										
ROOM CHARACTERISTICS	NAME	AREA SQFT	NATURAL VENTILATION		MECHANICAL VENTILATION (OSA)			EXHAUST		
			OPERABLE OPENINGS REQ'D	PROVIDED	Vbz CFM	VOZ CFM	ACTUAL CFM	CFM REQ'D MAX	MIN	CFM PROVIDED
RETAIL SPACE		4546	181.8	258.2	--	--	--	--	--	--
BREAK RM		231	9.2	31.1	--	--	--	--	--	--
ENTRY		449	18.0	20.0	--	--	--	--	--	--
EX OFFICE		139	5.6	20.7	--	--	--	--	--	--

GENERAL CONDITIONS:

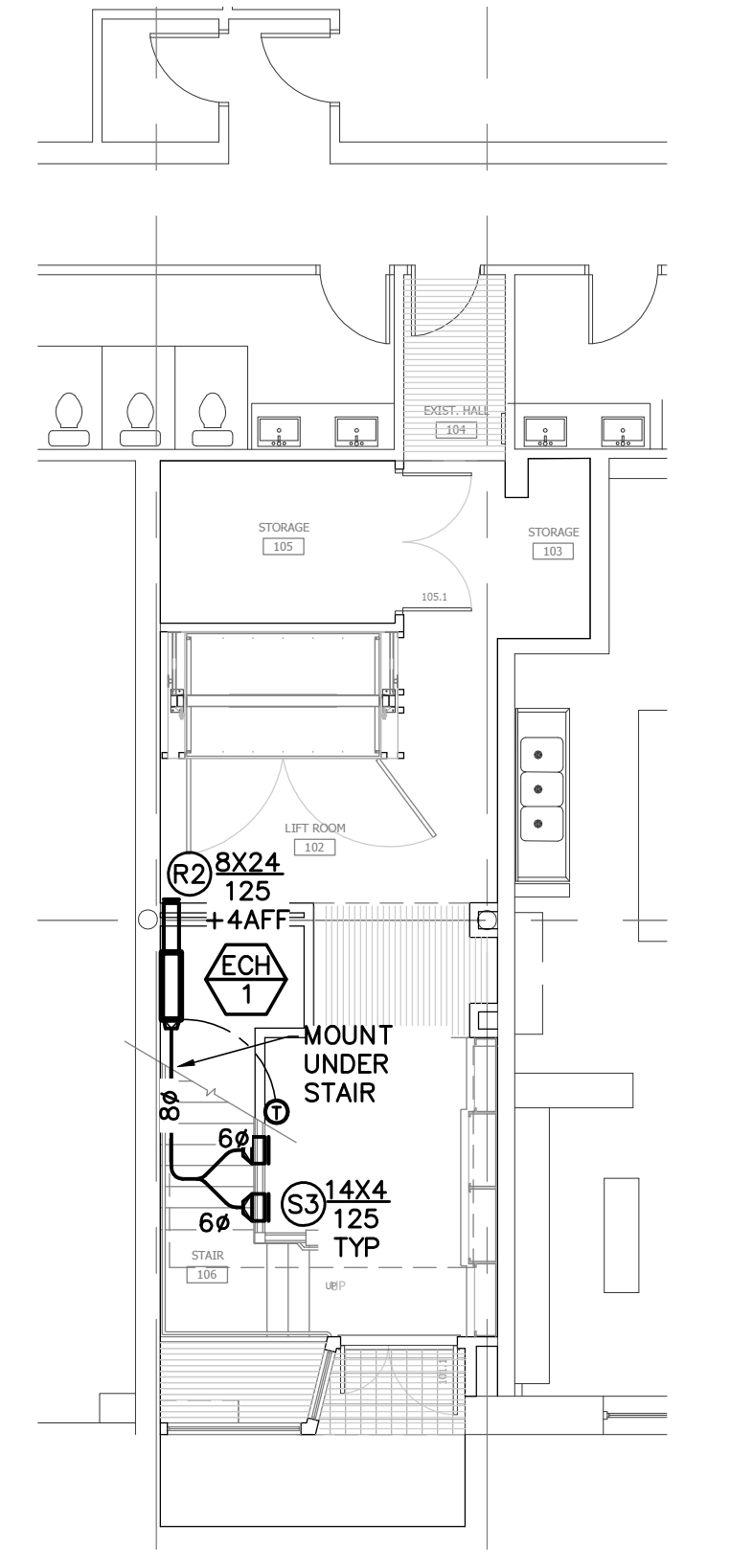
DESIGN CONDITIONS:
 PROJECT ALTITUDE: 8600' ALL EQUIPMENT MUST BE SELECTED WITH ALTITUDE CORRECTING AS NECESSARY.
 CITY OF BILLINGS

MECHANICAL & ELECTRICAL DESIGN:
 SIMPLICITY CONSULTING, ENGINEERING, & DESIGN
 CORY HASBAM, PE
 406.254.7157
 chasbam@simplicityeed.com

ELECTRICAL SUBCONSULTANT:
 NO. 10753-0001
 KAREN VANCE
 507.340.5337
 k.vance@grd.com



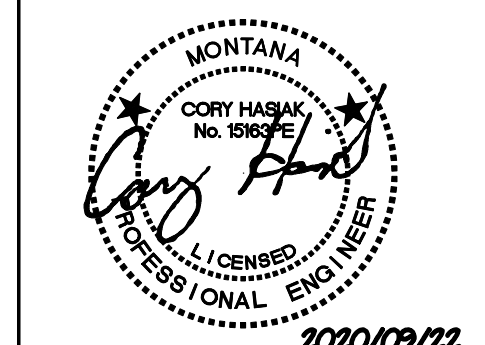
1
M1.1
MECHANICAL SECOND LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'



2
M1.1
MECHANICAL MAIN LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'

MECHANICAL DRAWING NOTES:

- LINED SHEETMETAL DUCTWORK DENOTED XX/XX AND DUCT WRAP INSULATED DUCTWORK IS DENOTED XX/XX.
- ROUTE ALL CONTROL WIRING CONCEALED IN WALLS OR PROVIDE EMT & J-BOXES IF EXPOSED.
- INSTALL THERMOSTATS TO ADA REQUIREMENTS.
- SEAL ALL SUPPLY, RETURN AND EXHAUST DUCTWORK PER SMACNA CLASS A REQUIREMENTS.
- INSTALL AND SUPPORT DUCTWORK PER SMACNA STANDARDS.
- ALL DUCTWORK IS 26 GA G-90 GALVANIZED SHEETMETAL UNLESS NOTED OTHERWISE.
- BALANCE AIR SYSTEMS TO +10% OR - 5% OF SHOWN AIRFLOW.
- ALL WORK SHALL BE PERFORMED BY OR DIRECTLY SUPERVISED BY AN EXPERIENCED AND SKILLED CRAFTSMAN IN THE TRADE. ALL WORK SHALL BE NEAT, CLEAN AND PROFESSIONAL LOOKING. UNSATISFACTORY INSTALLATION IDENTIFIED BY OWNER, GC OR DESIGN TEAM SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITHOUT IMPACT TO THE CONSTRUCTION SCHEDULE.
- WORK SHALL BE PERFORMED BY A LICENSED, INSURED AND BONDED CONTRACTOR IN MONTANA AND CITY OF BILLINGS.
- THE CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE DESIGN TEAM THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, INSURANCE, BONDS, ETC. NECESSARY FOR PROPER COMPLETION OF THE WORK.
- THE CONTRACTORS SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE. COORDINATE EQUIPMENT WARRANTIES AS NECESSARY TO SATISFY SPECIFICATION REQUIREMENTS FOR THE WARRANTY PERIOD.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
- WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- UNLESS OTHERWISE NOTED, MECHANICAL / PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.
- COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENTS OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT CALLED OUT BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- BRANCH DUCTS TO GRD'S SHALL BE SAME SIZE AS NECK OF GRD.
- NEW EQUIPMENT IS DENOTED BY XX-# SEE SCHEDULES, & DETAILS. MANUFACTURER & MODEL NUMBERS LISTED IN SCHEDULES & NOTES DEFINE PERFORMANCE, PHYSICAL AND QUALITY REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ANY CHANGES TO EQUIPMENT LISTED MEET OR EXCEED THOSE REQUIREMENTS PRIOR TO SUBMITTING INFORMATION APPROVAL BY GC & OWNER FOR ALTERNATE EQUIPMENT AND DEVICES.
- SPACE TEMPERATURE SENSORS/STATS SHALL BE MOUNTED TO MEET ADA MOUNTING HEIGHT.
- AN INDEPENDENT TESTING AND BALANCING AGENCY SHALL BE ENGAGED TO TEST AND BALANCE THE AIRSIDE. THE CONTRACTOR SHALL PLACE ALL SYSTEMS AND EQUIPMENT INTO FULL OPERATION FOR TESTING AND BALANCING.
- WORKMANSHIP SHALL COMPLY WITH THE CURRENT CODES AND ALL OTHER LOCAL CODES AND ORDINANCES.
- DIMENSIONS SHOWN ON DRAWINGS FOR DUCTWORK ARE SHEET METAL DIMENSIONS. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- COORDINATE WORK WITH OTHER TRADES. COORDINATE ALL EQUIPMENT WITH CONTROL SYSTEM FOR A COMPLETE OPERABLE SYSTEM.
- PATCH ALL CUTTING OR DRILLING OF FINISHED WALLS, CEILINGS, OR FLOORS.
- CONTRACTOR SHALL INSTALL ANY BALANCING DEVICE NECESSARY TO ACHIEVE PROPER ADJUSTING AND BALANCING OF MECHANICAL SYSTEMS.
- USE PRE-MANUFACTURED HARDWARE CLIPS & HANGERS FOR USING ROOF TRUSSES OR FLOOR JOISTS TO SUPPORT MECHANICAL EQUIPMENT.
- PROVIDE AND INSTALL ALL INCIDENTAL ITEMS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM. EQUIPMENT, MOTORS, ETC., TO BE LOCATED AND INSTALLED AS SHOWN ON THE PLAN. DEVIATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY THE GC.
- INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- PROVIDE CUTSHEETS, SUBMITTAL DATA, & IOM DOCUMENTATION TO OWNER AT SUBSTANTIAL COMPLETION.
- PERFORM WORK IN ACCORDANCE WITH GOOD COMMERCIAL PRACTICE. THE GOOD APPEARANCE OF THE FINISHED WORK SHALL BE OF EQUAL IMPORTANCE WITH ITS MECHANICAL EFFICIENCY. DESIGN TEAM / OWNER MAY REJECT WORK IF WORKMANSHIP AND APPEARANCE ARE NOT SATISFACTORY.
- BE RESPONSIBLE FOR AND COORDINATE THE WORK OF ALL SUBCONTRACTORS WORKING UNDER MECHANICAL CONTRACTOR.
- CONFER AND COOPERATE WITH OTHER TRADES AND COORDINATE THE WORK IN PROPER RELATION WITH THEIRS. COORDINATE CEILING CAVITY SPACE CAREFULLY WITH OTHER TRADES.
- PROPERLY LOCATE ANCHORS, CHASES, RECESSES AND OPENINGS REQUIRED FOR THE PROPER INSTALLATION OF THE WORK. ARRANGE WITH THE PROPER CONTRACTORS FOR THE BUILDING OF ANCHORS, ETC. AND FOR LEAVING REQUIRED CHASES, RECESSES AND OPENINGS.
- OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN PIPES AND DUCTS SHALL BE MADE AS REQUIRED. MAINTAIN PROPER HEAD ROOM AND PITCH OF SLOPING PIPES WHETHER OR NOT INDICATED ON THE DRAWINGS. FURNISH AND INSTALL ALL DUCTWORK FITTINGS, TRAPS, AIR VENTS, SANITARY VENTS, ETC., AS REQUIRED TO AFFECT THESE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION.



2020/09/22
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PROJECT NAME: STAPLETON BUILDING KIBLER & KURCH RETAIL TI 101 BROADWAY	LOCATION: BILLINGS, MONTANA	CHECKED CH	DESIGNED CH	DRAFTED CH
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DWG	REVISION	DATE
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PROJECT NUMBER
2020.41.0031

DATE
2020/09/22

DRAWING TITLE
MECHANICAL
HVAC PLAN

DRAWING NUMBER
M1.1
DWG. 1 OF 1

ELECTRICAL SPECIFICATIONS:

- 26.00.00 GENERAL: 1. ALL WORK SHALL BE PERFORMED BY OR DIRECTLY SUPERVISED BY AN EXPERIENCED AND SKILLED CRAFTSMAN IN THE TRADE. ALL WORK SHALL BE NEAT, CLEAN AND PROFESSIONAL LOOKING. UNSATISFACTORY INSTALLATION IDENTIFIED BY OWNER, GC SHALL REPLACE AT THE CONTRACTOR'S EXPENSE WITHOUT IMPACT TO THE CONSTRUCTION SCHEDULE. 2. VISIT THE SITE BEFORE SUBMITTING BID AS NO EXTRAS WILL BE ALLOWED FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS. 3. INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. 4. INSTALL EQUIPMENT TO ALLOW SERVICE CLEARANCES AS SUGGESTED BY THE MANUFACTURERS. 5. FURNISH ALL LABOR AND MATERIALS AND PERFORM ALL OPERATIONS NECESSARY FOR THE INSTALLATION OF COMPLETE AND OPERATING ELECTRICAL SYSTEMS SUBJECT TO THE CONDITIONS OF THE CONTRACT. PROVIDE SATISFACTORY OPERATION OF ALL EQUIPMENT AND CONTROLS TO THE ARCHITECT/ENGINEER UPON REQUEST. 6. OCCUPANT DEVICES SHALL BE MOUNTED TO MEET ADA MOUNTING HEIGHT. 7. WORKMANSHIP SHALL COMPLY WITH THE CURRENT CODES AND ALL OTHER LOCAL CODES AND ORDINANCES. 8. STORAGE OF MATERIAL: STORE ALL MATERIALS PROVIDE ON PROJECT PROTECTED FROM THE ENVIRONMENT. STORE MATERIALS OFF OF FINISHED GRADE OR FLOOR. PROVIDE CRIBBING, SHELVING OR STORAGE CONTAINERS AS NECESSARY. PROVIDE PIPE AND DUCT CAPS FOR ALL STORED, STAGED AND HUNG MATERIALS. 9. THESE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO CONVEY THE SCOPE OF WORK AND INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, CONDUITS AND APPROXIMATE SIZES AND LOCATIONS OF EQUIPMENT AND OUTLETS AND SHALL NOT BE SCALED. FOLLOW THESE DRAWINGS IN LAYING OUT WORK, CONSULT GENERAL CONSTRUCTION DRAWINGS TO UNDERSTAND ALL CONDITIONS AFFECTING WORK, AND VERIFY SPACES IN WHICH WORK WILL BE INSTALLED. COORDINATE WORK WITH OTHER TRADES AS JOB CONDITIONS REASONABLY REQUIRE. 10. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. 11. PERFORM WORK IN ACCORDANCE WITH GOOD COMMERCIAL PRACTICE. THE GOOD APPEARANCE OF THE FINISHED WORK SHALL BE OF IMPORTANCE. DESIGN TEAM/OWNER MAY REJECT WORK IF WORKMANSHIP AND APPEARANCE ARE NOT SATISFACTORY. 12. BE RESPONSIBLE FOR AND COORDINATE THE WORK OF ALL SUBCONTRACTORS WORKING UNDER ELECTRICAL CONTRACTOR. CONFER AND COOPERATE WITH OTHER TRADES AND COORDINATE THE WORK IN PROPER RELATION WITH THEIRS. COORDINATE CEILING CAVITY SPACE CAREFULLY WITH OTHER TRADES. 13. SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND EQUIPMENT SHOWING ANY CHANGES REQUIRED IN DISTRIBUTION BOARDS, PANELBOARDS, LIGHT FIXTURES, ELECTRICAL WIRING, SPACE ALLOCATION, ETC. 14. PROPERLY LOCATE ANCHORS, CHASES, RECESSES AND OPENINGS REQUIRED FOR THE PROPER INSTALLATION OF THE WORK. ARRANGE WITH THE PROPER CONTRACTORS FOR THE BUILDING OF ANCHORS, ETC. AND FOR LEAVING REQUIRED CHASES, RECESSES AND OPENINGS. 15. COORDINATE WORK WITH OTHER TRADES. COORDINATE ALL EQUIPMENT WITH CONTROL SYSTEM FOR A COMPLETE OPERABLE SYSTEM. 16. PATCH ALL CUTTING OR DRILLING OF FINISHED WALLS, CEILINGS, OR FLOORS. 17. ELEC CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THIS SCOPE AND COORDINATION W/ UTILITY CONNECTIONS AND SERVICES. 18. WORK SHALL BE PERFORMED BY A LICENSED AND BONDED CONTRACTOR (IN MONTANA) UTILIZING TRADESMEN SKILLED IN THE ART AND IN ACCORDANCE WITH ACCEPTABLE PRACTICES. 19. PROVIDE AND INSTALL ALL INCIDENTAL ITEMS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM. EQUIPMENT, MOTORS, ETC., TO BE LOCATED AND INSTALLED AS SHOWN ON THE PLAN. DEVIATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY THE GC. 20. FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. 20.1. CONTRACTOR FURTHER AGREES THAT HE WILL REPLACE OR REPAIR ALL DEFECTIVE EQUIPMENT AND INSTALLATION THAT BECOMES DEFECTIVE DURING THE TERM OF THE WARRANTY. 20.2. INCLUDING ANY LED DRIVERS, LAMPS/BULBS OR LIGHT FIXTURES THAT FAIL DURING WARRANTY PERIOD. 21. PROVIDE (1) ELECTRONIC COPY IN PDF FORMAT AND (1) PHYSICAL COPY IN BINDER INCLUDING CUTSHEETS, SUBMITTAL DATA, & IOM DOCUMENTATION TO OWNER. SUBMIT AN ELECTRONIC COPY TO ENGINEER. 22. PROVIDE AS-BUILT PLANS ON CLEAN SET OF CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ITEMS, CHANGE ORDERS AND ALL DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, AT SUBSTANTIAL COMPLETION. 23. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS. 24. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE. 25. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES. 26. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENTS OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED AS IF SPECIFICALLY NOTED. 27. WHEN WORK IS NOT CALLED OUT BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP. 28. TEMPORARY WIRING SHALL BE REMOVED PRIOR TO COMPLETION OF THE PROJECT.

- 26.00.53 ELECTRICAL IDENTIFICATION: PROVIDE AS DEFINED BELOW: 1. ALL NEW JUNCTION BOX COVERS AND RECEPTACLE COVERPLATES TO HAVE PANEL, CIRCUIT AND SERVICE INFORMATION. 2. PANELS: ALL PANELS TO HAVE NEW TYPE WRITTEN REGISTERS.

- 26.50.00 MATERIALS & METHODS: 1. WORK INCLUDED: ELECTRICAL SYSTEMS INCLUDING DEVICES, BOXES, CONDUIT, DISCONNECTS, LIGHTING, MOTOR STARTERS, ETC. PROVIDE AND INSTALL ALL INCIDENTAL ITEMS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM.

- 2. ALL EQUIPMENT, CIRCUITRY, ETC. SHALL BE NEW UL LISTED AND INSTALLED PER NEC, AS FOLLOWS OR AS SPECIFIED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL NAMEPLATE RATINGS OF EQUIPMENT TO BE CONNECTED AND VERIFY ELECTRICAL COMPATIBILITY AND NEC COMPLIANCE. MANUFACTURER'S RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS VERIFIED OTHERWISE. 3. MOTORS AND CIRCUITRY TO BE INSTALLED AND CONNECTED AS INDICATED ON THE PLAN. ALL MOTORS TO BE PROVIDED WITH A MOTOR CIRCUITS: DISCONNECTING MEANS PER THE N.E.C. EQUIPMENT CONNECTED WITH FLEXIBLE CONDUIT WITH GROUND WIRE WITHIN. VERIFY CORRECT ROTATION.

MOTORS AND STARTERS: ALL MOTORS AND OTHER ELECTRICAL CONTROL EQUIPMENT SHALL BE LISTED PER THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC).

- RACEWAYS:** 1. 1/2" SHALL BE MINIMUM SIZE. 2. APPROVED FOR USE IN LOCATION PER NEC. 2.1. DRY LOCATIONS - GRG, IMC, EMT, MC, NM (AS ALLOWED BY NEC & CITY OF BILLINGS ONLY). 2.2. FLEXIBLE CONDUIT - GALVANIZED STEEL, LIQUIDTIGHT. 3. SUPPORTS & ANCHORS: UL LISTED FOR SPECIFIC USE & APPROVED BY AHJ, CONTRACTOR SHALL ADD OR REPLACE ANY SUPPORTS & ANCHORS IDENTIFIED AS DEFICIENT BY AHJ AND/OR DESIGN TEAM. 4. RACEWAYS SHALL BE CONCEALED IN FINISH AREAS UNLESS NOTED OTHERWISE. 5. CUT CONDUIT SQUARE USING SAW OR PIPE CUTTER; DEBURR CUT ENDS. 6. INSTALL SUITABLE PULLSTRING OR CORD IN EACH EMPTY RACEWAY. 7. INSTALL SUITABLE CAPS TO PROTECT INSTALLED CONDUIT AGAINST ENTRANCE OF DIRT AND MOISTURE. 8. INSTALL FITTINGS TO ACCOMMODATE EXPANSION AND DEFLECTION WHERE RACEWAY CROSSES CONTROL AND EXPANSION JOINTS. 9. SURFACE-MOUNTED RACEWAYS & WIREMOLD SHALL BE LIMITED IN TO WHERE INDICATED IN PLAN OR APPROVED BY ARCHITECT DURING CONSTRUCTION. 9.1. RACEWAYS IN NON-FINISHED SPACES, SUCH AS MECHANICAL ROOMS AND CRAWL SPACES: 9.1.1. SHALL BE PERMITTED TO BE EXPOSED. 9.1.2. ALL EXPOSED RACEWAYS SHALL BE ROUTED PLUMB AND SQUARE TO BUILDING SURFACES. 9.2. RACEWAYS IN NON-FINISHED SPACES SHALL BE INSTALLED SUCH THAT MAJOR RELOCATION IS NOT REQUIRED IF CEILINGS AND WALLS ARE INSTALLED IN THE FUTURE.

- JUNCTION AND PULL BOXES:** 1. SIZE PER THE NEC. 2. DRY LOCATIONS - STEEL WITH COVERS. 3. WET LOCATIONS - CAST ALUMINUM.

- COUPLINGS AND CONNECTORS:** 1. GRG - THREADED 2. IMC - THREADED 3. EMT - COMPRESSION 4. PVC - CEMENT JOINT TYPE 5. INDENTER TYPE CONNECTORS PROHIBITED.

- ANCHORS:** 1. METAL - MACHINE SCREWS, BOLTS, WELDING 2. WOOD - WOOD SCREWS

- CONDUCTORS:** 1. COPPER ONLY WITH THHN/THWN TYPE INSULATION IN RACEWAY. 1.1. NO ALUMINUM CONDUCTORS ALLOWED. 2. MINIMUM SIZE: 2.1. #12 AWG FOR POWER. 2.2. CONTROL CIRCUITS MAY BE #14 OR SIGNAL CIRCUITS WHICH SHALL BE AS INDICATED. 2.3. #10 & SMALLER SOLID WIRE, #8 & LARGER STRANDED IS ALLOWABLE. 3. INCREASE CONDUCTOR SIZE AS NECESSARY TO LIMIT BRANCH CIRCUIT VOLTAGE DROP TO 3% AND PANEL FEEDER VOLTAGE DROP TO 2%. 4. ALL WIRING SHALL BE NEW AND BROUGHT TO SITE IN UNOPENED PACKAGES. 5. UL LISTED LUGS AND CONNECTORS. 6. ALL WIRE SHALL HAVE AN INSULATION VOLTAGE RATING OF 600 VOLTS, AND AN INSULATION TEMPERATURE RATING OF 75 DEGREES C. 7. WIRE COLORS: 7.1. 120/208-240V 7.1.1. BLACK, BLUE & RED FOR CIRCUITS 7.1.2. SWITCH TRAVELERS PINK 7.1.3. NEUTRAL WHITE 7.1.4. GREEN GROUND

- GROUNDING:** 1. THIS CONTRACTOR SHALL PROVIDE A COMPLETE GROUNDING SYSTEM FOR ALL EQUIPMENT AND DEVICES, AND STRUCTURES IN STRICT ACCORDANCE WITH THE NEC AND UTILITY COMPANY REGULATIONS. 2. GOOD MECHANICAL & ELECTRICAL CONNECTIONS SHALL BE MADE WITH APPROVED GROUNDING CONNECTIONS. 3. PANELS, CONDUIT, MOTOR FRAMES, LIGHTING FIXTURES, ETC. THAT ARE PART OF THIS INSTALLATION SHALL BE SECURELY GROUNDED. 4. PROVIDE COPPER GROUNDING CONDUCTOR IN ALL RACEWAYS. 5. PERMANENTLY ATTACH EQUIPMENT AND GROUNDING CONDUCTORS PRIOR TO ENERGIZING EQUIPMENT. 6. MAIN GROUND SYSTEM SHALL COMPLY WITH NEC 250. 7. PROVIDE CONDUIT TO PROTECT ALL EXPOSED GROUNDS BELOW 10' AFF. 8. MAKE ALL JOINTS AND CONNECTIONS TO MAINTAIN CONTINUITY OF GROUND.

- WIRING DEVICES:** 1. THE LOCATION OF RECEPTACLES, SWITCHES, TELE/ DATA, FIXTURES ARE APPROXIMATE AND THE OWNER SHALL HAVE THE RIGHT TO ADJUST OR RELOCATE DEVICES BEFORE THEY ARE INSTALLED WITHOUT ADDITIONAL COST. 2. PROVIDE GROUND FAULT EQUIPMENT PROTECTION (GFPE) DEVICE OR BREAKER FOR ALL SNOWMELT AND HEAT TRACING DEVICES.

- LIGHTING:** 1. PROVIDE NEW LIGHT FIXTURES AS SCHEDULED COMPLETE WITH TRIMS, LAMPS, FUSES, GASKETS, BALLASTS, OPTIONS, ACCESSORIES, ETC. AS SCHEDULED. 2. INSTALL SUSPENDED LIGHT FIXTURES USING CHAIN HANGERS WITH SUFFICIENT LENGTH REQUIRED TO SUSPEND THE FIXTURE AT HEIGHT SPECIFIED. 3. SUPPORT LIGHT FIXTURES INDEPENDENT OF CEILING FRAMING. 4. CONNECT LIGHT FIXTURES TO BRANCH CIRCUITS, AS INDICATED. 5. INSTALL SPECIFIED LAMPS IN EACH FIXTURE.

- OWNER FURNISHED EQUIPMENT:** 1. COORDINATE ELECTRICAL CONNECTIONS FOR OWNER-SUPPLIED EQUIPMENT WITH OWNER, MANUFACTURER DATA, AND EQUIPMENT NAMEPLATE INFORMATION.

- 26.90.00 ELECTRICAL CLOSEOUT: 1. REMOVE MATERIALS, SCRAPS AND DEBRIS RELATIVE TO THIS CONTRACTOR'S WORK AND LEAVE THE PREMISES, INCLUDING CRAWL SPACES AND CHASES, IN CLEAN AND ORDERLY CONDITION. 2. CLEAN EXPOSED SURFACES OF LIGHT FIXTURES, DISTRIBUTION BOARDS, PANELS AND OTHER EXPOSED ITEMS OF GREASE, FINGER PRINTS, DIRT OR OTHER FOREIGN MATERIAL. REMOVE RUBBISH AND DEBRIS RESULTING FROM THE OPERATIONS OF THIS CONTRACTOR AND LEAVE SPACES CLEAN AND READY FOR USE. 3. BROOM CLEAN ELECTRICAL ROOMS.

ELECTRICAL LEGEND

- PANEL
- DISCONNECT SWITCH
- BRANCH CIRCUIT CONCEALED IN WALL OR CEILING
- BRANCH CIRCUIT CONCEALED IN OR UNDER FLOOR
- EMPTY CONDUIT - 3/4" UNLESS OTHERWISE NOTED
- HOME RUN TO PANEL. NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS
- NUMBER OF HASHMARKS INDICATES NUMBER OF CONDUCTORS. NO HASHMARKS INDICATES TWO CONDUCTORS.
- LIGHT FIXTURE (RECESSED, SUSPEND OR SURFACE)
- TROFFER STYLE LUMINAIRE (RECESSED)
- LIGHT FIXTURE (SURFACE)
- LIGHT FIXTURE (SUSPENDED)
- WALL MOUNT LIGHT FIXTURE
- EXIT LIGHT
- EMERGENCY LIGHT
- COMBINATION EXIT/ EMERGENCY LIGHT
- EMERGENCY EXTERIOR LIGHTING
- DUPLEX CONVENIENCE RECEPTACLE
- GFCI DUPLEX RECEPTACLE
- SPLIT WIRED RECEPTACLE. REVIEW PLANS FOR SWITCHING REQUIREMENTS
- QUAD RECEPTACLE
- QUAD GFCI RECEPTACLE
- GFCI WEATHER RESISTANT DUPLEX RECEPTACLE W/ WEATHERPROOF COVER
- CEILING MOUNTED GFCI DUPLEX RECEPTACLE
- CEILING MOUNTED DUPLEX RECEPTACLE
- RANGE OUTLET (WITH CORD CAP)
- DRYER OUTLET (WITH CORD CAP)
- WELDING OUTLET. COORDINATE WITH OWNER FOR FINAL PLUG CONFIGURATION
- MOTOR
- SPECIAL EQUIPMENT OUTLET AS NOTED
- SWITCH
- SWITCH-FUSE STATT
- SWITCH-3 WAY
- SWITCH-4 WAY
- SWITCH-WITH PILOT
- SWITCH-DIMMER
- SWITCH-FUSE STATT
- SWITCH-PROGRAMMABLE TIMER W/ BATTERY BACKUP
- TELEPHONE/ DATA OUTLET
- THERMOSTAT
- SPECIAL EQUIPMENT OUTLET AS NOTED
- PHOTOCELL
- NOTE DESIGNATION
- MECHANICAL EQUIPMENT UNIT IDENTIFICATION
- JUNCTION BOX OR J-BOX
- TELEPHONE BOARD
- TELEVISION OUTLET
- MOTION SENSOR-WATT STOPPER DT-355
- MOTION SENSOR-WATT STOPPER PW-100
- MOTION SENSOR-WATT STOPPER DW-2001
- WALL SWITCH MOTION SENSOR LITHONIA WSX PDT
- DIMMING WALL SWITCH MOTION SENSOR LITHONIA WSX PDT D
- CEILING MOUNTED MOTION SENSOR LITHONIA CMPDT 9
- DIMMING CEILING MOUNTED MOTION SENSOR CMPDT 9 D
- FIRE ALARM PANEL
- FIRE ALARM BREAKGLASS STATION
- FIRE ALARM SIGNAL HORN
- FIRE ALARM STROBE
- 1 SINGLE STATION RESIDENTIAL DETECTOR
- 2 COMBINATION RESIDENTIAL SMOKE/CO DETECTOR
- DOOR BELL PUSH BUTTON
- DOOR BELL SIGNAL

EXISTING PANEL SCHEDULE A

CIRCUIT	LOAD TYPE	LOAD	CB SIZE	CKT #	PHASE		CB SIZE	LOAD	LOAD TYPE	CIRCUIT
					A	B				
EXISTING #2 AC	A	2254	30	1	A	2	20	304	L	LIGHTING: 1ST FLOOR
	A	2254	30	3	B	4	20	200	L	LIGHTING: 1ST FLOOR SO CORD
EXISTING #1 AC	A	2254	30	5	A	6	20	1440	R	RECEPTACLES
	A	2254	30	7	B	8	20	1440	R	RECEPTACLES
LIGHTING: TYPE F FIXTURES (NORTH)	L	540	20	9	A	10	20	1440	R	RECEPTACLES
LIGHTING: TYPE F FIXTURES (SOUTH)	L	540	20	11	B	12	20	1440	R	RECEPTACLES
LIGHTING: TYPE B FIXTURES	L	125	20	13	A	14	20	1440	R	RECEPTACLES
LIGHTING: TYPE A FIXTURES	L	255	20	15	B	16	20	600	R	RECEPTACLES, CEILING
LIGHTING: TYPE C FIXTURES	L	321	20	17	A	18	20	600	R	RECEPTACLES, CEILING
EXISTING LOAD*		1000	20	19	B	20		4600	M	LIFT **
EXISTING LOAD*		1000	20	21	A	22		4600	M	
LIGHTING: ANTLER CHANDLIER	L	225	20	23	B	24	20	900	R	RECEPTACLES: 1ST FLOOR
LIGHTING: SIMPLEX RECEPTACLES	L	800	20	25	A	26	20	900	R	RECEPTACLES: 1ST FLOOR
LIGHTING: SIMPLEX RECEPTACLES	L	1000	20	27	B	28	20			SPARE
	H	2000	30	29	A	30	20			SPARE
ECH-1***	H	2000	30	31	B	32	20			SPARE
SPARE				33	A	34	20			SPARE
SPARE				35	B	36	20			SPARE
SPARE				37	A	38	20			SPARE
SPARE				39	B	40	20			SPARE
SPARE				41	A	42	20			SPARE

CONNECTED LOAD PER PHASE-WATTS: 20018 18208

PHASE	DEMAND		PHASE	DEMAND	
	A	B		A	B
A/C - MECH COOLING	4508	4508	A	1.25	5635
EQUIPMENT/APPLIANCE	0	0	B	1.00	0
HEATING	2000	2000	A	1.00	1000
LIGHTING	2090	2220	B	1.00	2090
MOTOR	4600	4600	A	1.25	5750
LARGEST MOTOR	0	0	B	1.00	0
OTHER	0	0	A	1.00	0
RECEPTACLE (FIRST 10KW)	5820	4380	B	1.00	5820
RECEPTACLE (REMAINING)	0	0	A	1.00	0
TRANSFORMER	0	0	B	1.00	0

(S) SUBFEED - PNL LOAD ADDED TO ABOVE ITEMS

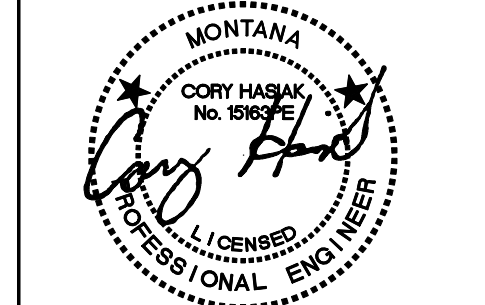
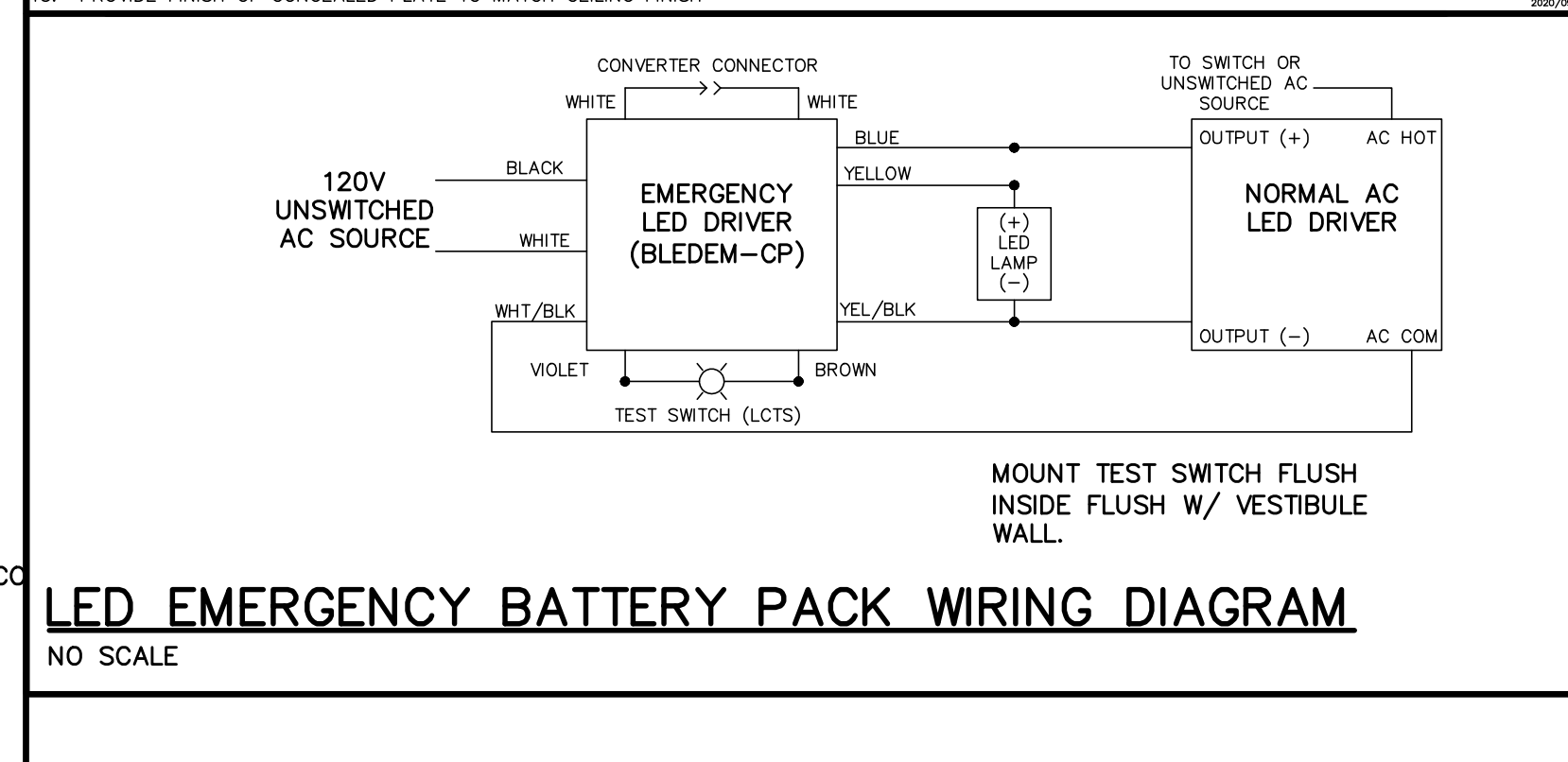
DEMAND KVA PER PHASE: 20.3 19.0
DEMAND AMPS PER PHASE: 169.1 158.2
SPARE CAPACITY (AMPS): 56 67

CONDUCTORS CU: WIRE SIZE EXISTING GROUND EXISTING SAFETY FACTOR 25% 30% EMT FED FROM PNL EXISTING SIZE 2.5

LUMINAIRE SCHEDULE

FIX PLAN ID	MANUFACTURER (1)	CATALOG #	MOUNTING		TYPE (2)	LUMENS	DIMMABLE	#	NOTES
			LOCATION	TYPE					
A	VISUAL COMFORT	SL 4121BZ-WG	CEILING	SURFACE	NOTE 6	1600	YES	1	3
B	VISUAL COMFORT	CHC 4215BZ	CEILING	SURFACE	NOTE 8	500	YES	2	3
C	VISUAL COMFORT	TOB 2005BZ	WALL	SURFACE	NOTE 5	430	YES	3	3
D	VISUAL COMFORT	MS 5030ABV-WG	CEILING	SURFACE	NOTE 6	1600	YES	2	3
E	VISUAL COMFORT	S 2602BZ	WALL	SURFACE	NOTE 4	950	YES	1	3
F	WAC LIGHTING	SILO X10 - MO-2010-930	CEILING	SURFACE	NOTE 9	790	YES	1	3
G	TECH LIGHTING	E2S L 827 30A HL2W	CEILING	RECESSED	NOTE 10	852	YES	1	3
H	VISUAL COMFORT	SL 4121BZ-WG	CEILING	SURFACE	NOTE 7	2450	YES	1	3
J	TECH LIGHTING	E2S -LO 827 30A WITH -H SHOWER TRM	CEILING	RECESSED	NOTE 10	852	YES	1	3,11
K	ASPECT LED	AL-WW-M-48 WITH AL-PS-W-89	EXTERIOR	STEEL STRUCTURE	36W LED	3240	YES	1	1,12
X	LITHONIA	LHQM LED R HO	CEILING	SURFACE	(2) 1.5W LED	---	NO	---	1
EM	CONCEALITE	F5000 LED6.5 90 FMS	CEILING	RECESSED			NO	1	1,13

1. OR EQUAL BY AS ACCEPTED BY OWNER
2. PROVIDE 2700K KELVIN COLOR TEMP LAMPS.
3. FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. CONTRACTOR SHALL FURNISH NECESSARY CABLING, HARDWARE AND LAMPS FOR FIXTURES.
4. SATCO S9415 13PAR30/SN/LED/40 /2700K120V/D
5. SATCO S9580 4.5T10/LED/E26/27K/120V
6. SATCO S29815 15A19/LED/2700K/1600L/12V/D (15W LED)
7. SATCO S8737 20WAZ1/LED/HID/2700K/120-277V/E26
8. TOP FB1106027EC - B11 60W 2700K (5W LED)
9. INTEGRAL 10W 3K LED
10. INTEGRAL 12W 2.7K
11. PROVIDE REMOTE BATTERY PACK FOR EMERGENCY EGRESS LIGHTING FUNCTION. SEE DETAIL.
12. PROVIDE 150W POWER SUPPLY ABOVE ENTRY CEILING IN SPACE. PROVIDE CONNECTORS TO DAISY CHAIN (3) FIXTURES TOGETHER. SECURE BLACK POWER CABLE TO STEEL STRUCTURE. ORIENT LIGHTING TO WASH UPON LITES AND STOREFRONT.
13. PROVIDE FINISH OF CONCEALED PLATE TO MATCH CEILING FINISH

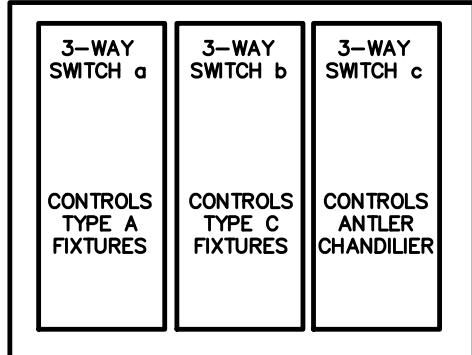


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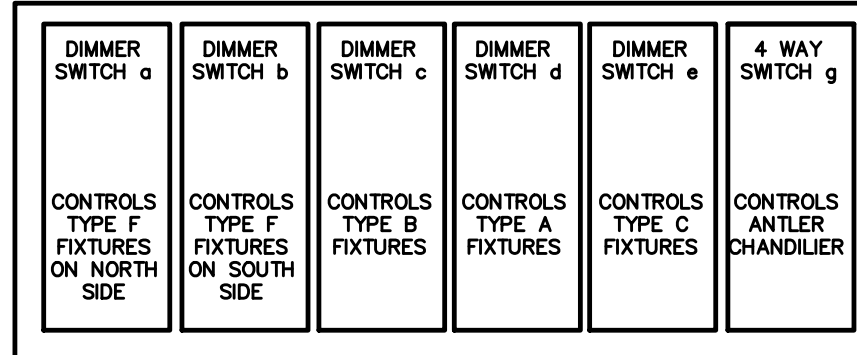
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PROJECT NAME: STAPLETON BUILDING KIBLER & KURCH RETAIL TI 101 BROADWAY
LOCATION: BILLINGS, MONTANA
DRAFTED: CH
DESIGNED: CH
CHECKED: CH

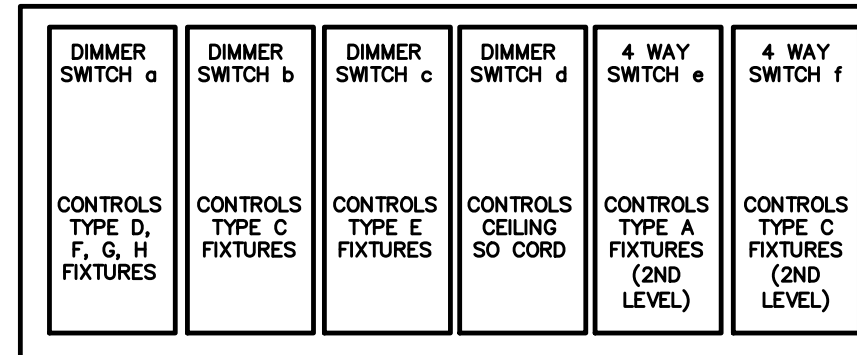
DWG REVISION DATE
PROJECT NUMBER: 2020.41.0031
DATE: 2020/09/22
DRAWING TITLE: ELECTRICAL SPECS & SCHEDULES
DRAWING NUMBER: E0.1
DWG. 1 OF 3



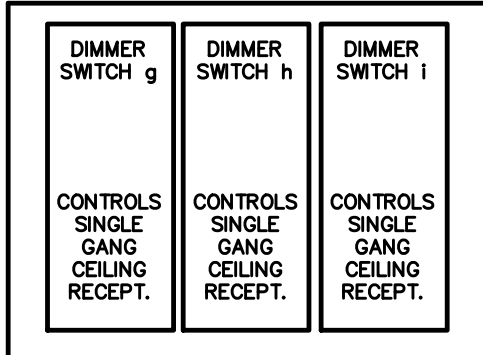
SWITCHES LOCATED WHERE INDICATED BY FLAG NOTE 7



SWITCHES LOCATED WHERE INDICATED BY FLAG NOTE 2

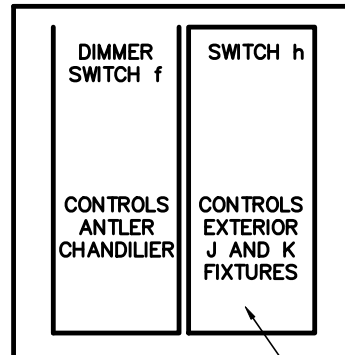


SWITCHES LOCATED WHERE INDICATED BY FLAG NOTE 4

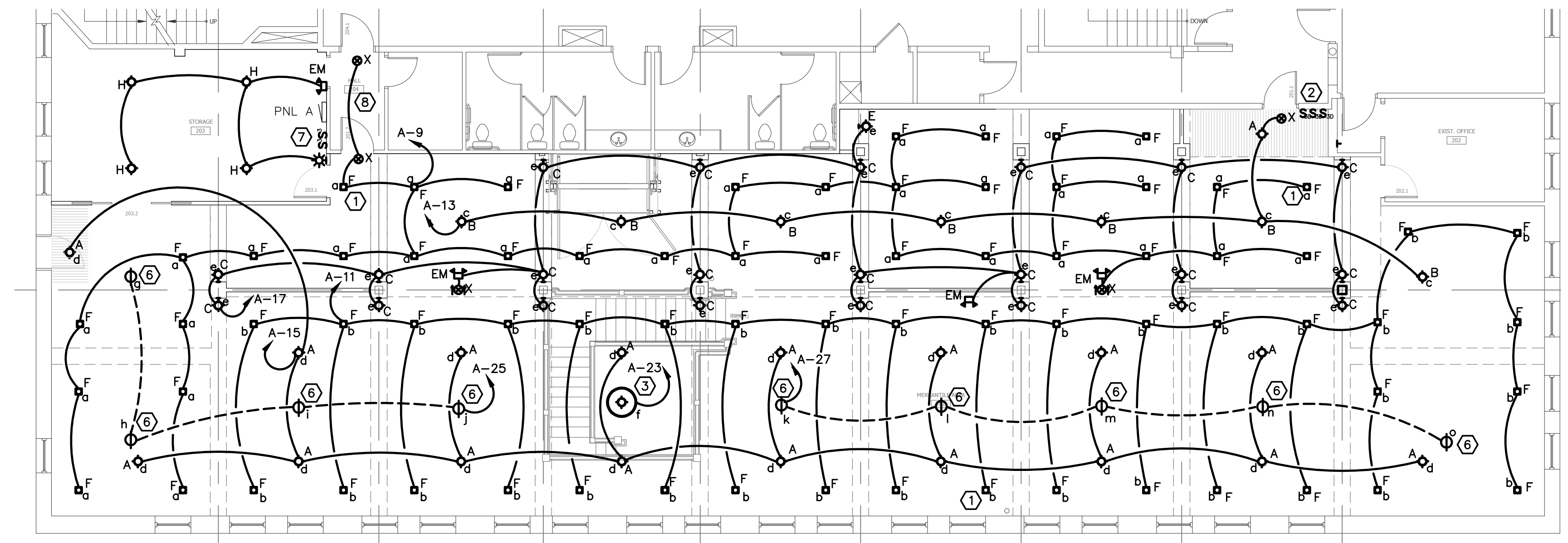


DETAIL NOTES:

- ALL DIMMER SWITCHES SHALL BE LEGRAND WATTSTOPPER, 120V, 450W CFL/LED.
- SWITCH TO CONTROL EXTERIOR LIGHTING (TYPES J AND K) SHALL BE INTERMATIC STOIK ASTRONOMIC DIGITAL, IN WALL, TIMER SWITCH.
- COVER PLATE FINISH SHALL BE BY ARCHITECT/OWNER.

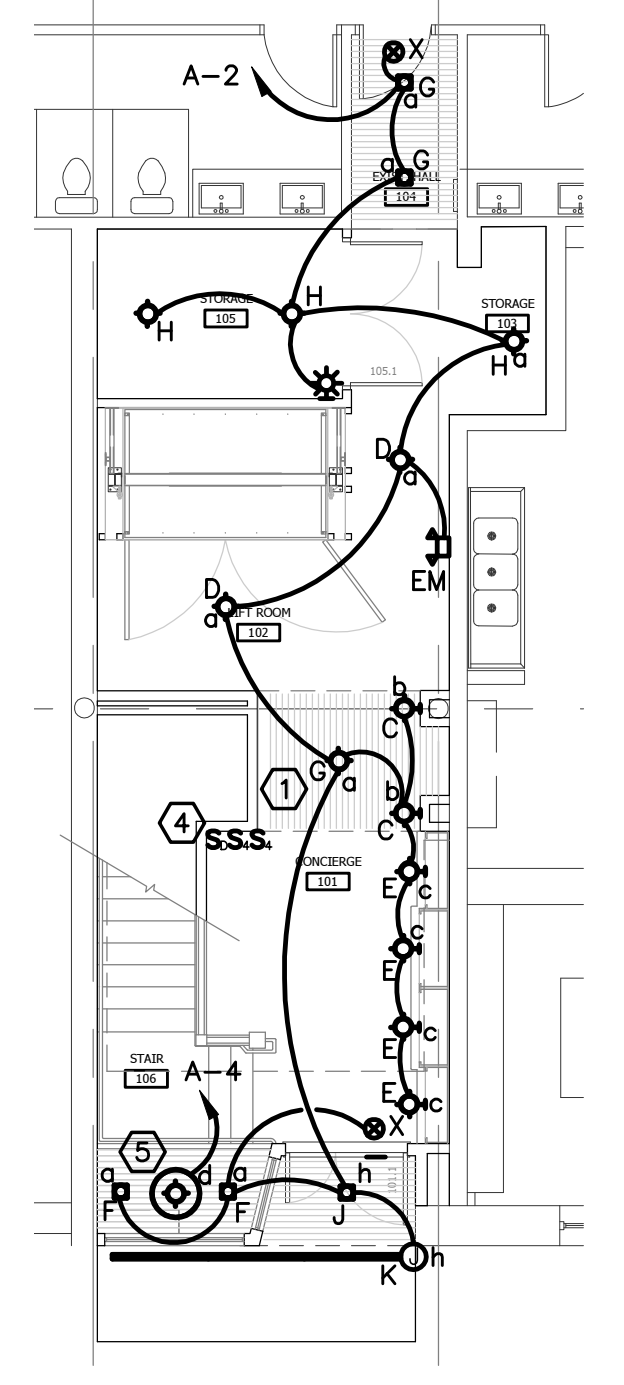


INTERMATIC STOIK PROGRAMMABLE BATTERY BACKED UP ASTRONOMIC WALL TIMER



1
E1.1

LIGHTING SECOND LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'



2
E1.1

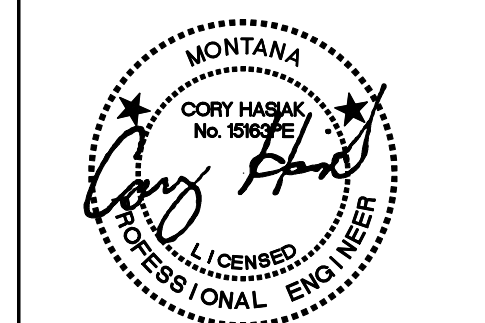
LIGHTING MAIN LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED TO NEC REQUIREMENTS AND THE SATISFACTION OF THE CITY OF BILLINGS.
- EXISTING DEVICES TO REMAIN SHOWN LIGHT, TYPICAL.
- COLOR OF COVERPLATES AND DEVICES SHALL BE BY ARCHITECT/OWNER. VERIFY ALL SELECTIONS PRIOR TO ORDERING ANY ITEMS, AND VERIFY LOCATION/PLACEMENT PRIOR TO ROUGH-IN.
- ROUTE WIRING IN JOIST SPACE PLAN WHERE CEILING IS TIGHT TO THE BOTTOM OF THE UPPER FLOOR JOIST. DRILL FLOOR JOISTS AT CENTERLINE OF JOISTS WHERE WIRING IS ROUTED THRU JOISTS.

LIGHTING NOTES:

- UPPER CASE LETTER BY FIXTURE DESIGNATES FIXTURE TYPE, LOWER CASE IS THE CONTROLLING SWITCH, TYPICAL.
- DIMMER SWITCH BANK, SWITCHES TO CONTROL LIGHTING IN PUBLIC AREAS, SWITCHES SHALL BE 120V. SEE DETAIL 3/E1.1.
- ELK ANTLER CHANDILIER BY OWNER. FIXTURE TO BE CIRCUITED AND SWITCHED AS SHOWN. SEE SWITCHBANK DETAILS FOR CONTROL.
- DIMMER AND 4-WAY SWITCH BANK, SWITCHES SHALL BE 120V. SEE DETAIL 3/E1.1.
- PROVIDE CEILING MOUNTED TWIST LOCK RECEPTACLE & PLUG END. FOR OWNER LIGHT FIXTURE, AND CIRCUIT AS SHOWN.
- PROVIDE FLUSH MOUNTED CEILING SINGLE GANG RECEPTACLE FOR FUTURE USE. SWITCH AND CIRCUIT AS NOTED. COVER PLATE FINISH SHALL BE BY ARCHITECT. FRAME OUT BOX FOR ADDITIONAL WEIGHT, A MINIMUM OF 50 POUNDS.
- THREE WAY SWITCHES FOR ON/OFF CONTROL OF FIXTURES AS SHOWN ON SWITCHBANK DETAIL 3/E1.1.
- EXISTING FINISH CEILING TO REMAIN. ROUTE CIRCUITING ABOVE CEILING. MOUNT FIXTURE TO CEILING AS PREFERRED BY CONTRACTOR.



2020/09/22

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PROJECT NAME: STAPLETON BUILDING KIBLER & KURCH RETAIL TI 101 BROADWAY	LOCATION BILLINGS, MONTANA	CHECKED CH	DESIGNED CH	DRAFTED CH
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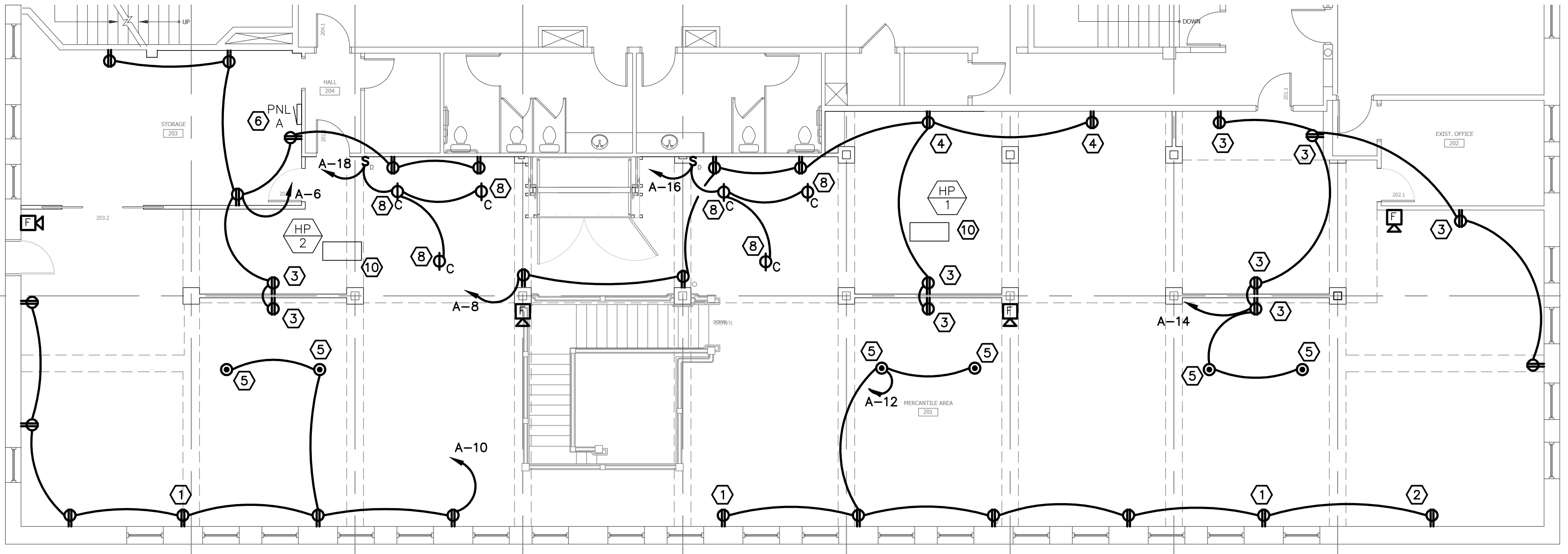
DWG	REVISION	DATE
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PROJECT NUMBER
2020.41.0031

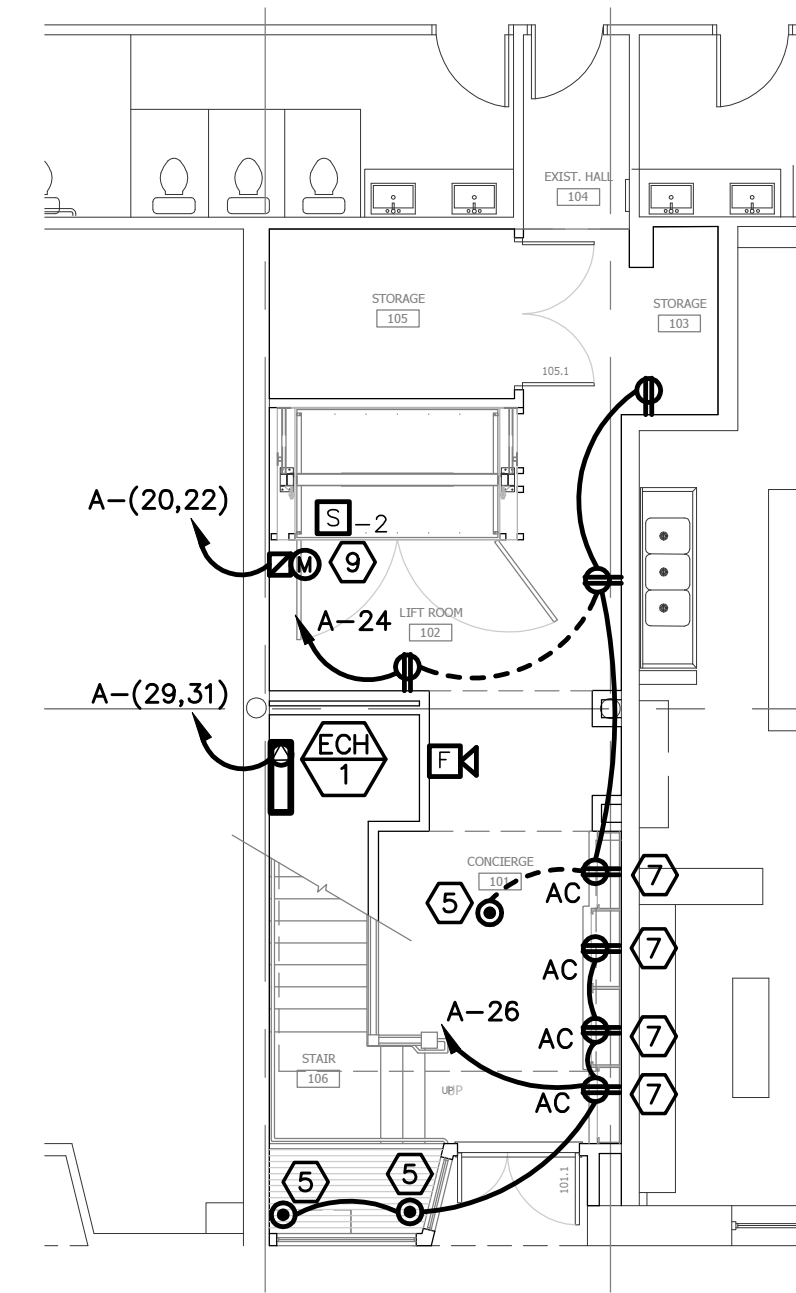
DATE
2020/09/22

DRAWING TITLE
ELECTRICAL
LIGHTING PLAN

DRAWING NUMBER
E1.1
DWG. 2 OF 3



1
E1.1
ELECTRICAL POWER SECOND LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'



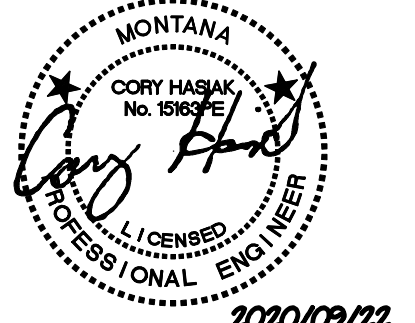
2
E1.1
ELECTRICAL POWER MAIN LEVEL PLAN
ONE EIGHTH INCH = ONE FOOT
0 4' 8' 16'

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED TO NEC REQUIREMENTS AND THE SATISFACTION OF THE CITY OF BILLINGS.
2. EXISTING DEVICES TO REMAIN SHOWN LIGHT, TYPICAL.
3. COLOR OF ALL COVERPLATES AND DEVICES SHALL BE BY ARCHITECT/OWNER. ALL SELECTIONS MUST BE APPROVED PRIOR TO ORDERING ANY ITEMS, AND VERIFY LOCATION/PLACEMENT PRIOR TO ROUGH IN.
4. ALL WALL MOUNTED DUPLEX RECEPTACLES SHALL BE FLUSH MOUNTED IN BASEBOARD. COORDINATE INSTALLATION WITH ARCHITECT PRIOR TO ROUGH IN.

POWER NOTES:

1. CENTER RECEPTACLE BETWEEN WINDOWS, TYPICAL.
2. CENTER RECEPTACLE ON WALL BETWEEN CORNER AND WINDOW.
3. CENTER RECEPTACLE ON WALL PLANE.
4. CENTER ON WALL BETWEEN COLUMNS.
5. FLUSH MOUNTED DUPLEX RECEPTACLE FLOOR BOX IN MERCHANDISE PEDESTAL. COVER PLATE FINISH SHALL BE BY ARCHITECT.
6. EXISTING PANEL A. MODIFY AS SHOWN TO ACCOMMODATE NEW CIRCUIT/LOADS.
7. FLUSH MOUNTED BOOKCASE DUPLEX RECEPTACLE. OUTLET SHALL BE INSTALLED ON PLATFORM TOP. COORDINATE LOCATION WITH CABINET DETAILS PRIOR TO ROUGH IN. COVER PLATE FINISH AND DEVICE COLOR SHALL BE BY ARCHITECT.
8. PROVIDE FLUSH MOUNTED CEILING SINGLE GANG RECEPTACLE FOR FUTURE USE. SWITCH AND CIRCUIT AS NOTED. COVER PLATE FINISH SHALL BE BY ARCHITECT/OWNER. FRAME OUT BOX FOR ADDITIONAL WEIGHT, A MINIMUM OF 50 POUNDS.
9. COORDINATE LOCATION AND ELECTRICAL REQUIREMENTS OF LIFT PRIOR TO ROUGH IN. CONNECT TO CIRCUIT AS NOTED WITH (2#6, 1#8G) 3/4" C, 100A FUSED DISCONNECT, 70A FUSE. ELECTRICAL DESIGN IS FOR 7-1/2 HP, 240V, SINGLE PHASE LIFT. IF REQUIREMENTS ARE DIFFERENT FROM ABOVE, CONTACT ENGINEER FOR RESIZING OF COMPONENTS.
10. EXISTING HEAT PUMP MECHANICAL UNIT TO REMAIN, INCLUDING ALL SERVING ELECTRICAL CONDUITS, CONDUCTORS AND DISCONNECT MEANS. PROVIDE UNISTRUT FRAME TO SUPPORT EXISTING DISCONNECT SWITCH FROM ABOVE, AND SECURE TYPE NM CABBING TO STRUCTURES.



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PROJECT NAME:	STAPLETON BUILDING KIBLER & KURCH RETAIL TI 101 BROADWAY	LOCATION	BILLINGS, MONTANA
DWG REVISION	DATE	CHECKED	CH
DESIGNED	CH	DRAFTED	CH

PROJECT NUMBER
2020.41.0031

DATE
2020/09/22

DRAWING TITLE
**ELECTRICAL
POWER PLAN**

DRAWING NUMBER
E2.1
DWG. 3 OF 3

Meeting Date: Friday, November 20, 2020, 7:30 am

Location: Remotely via Zoom

RE: Kibler and Kirch, LLC TIFD Assistance

Proposal:

Kibler and Kirch, LLC is a retail store of more than 30 years. It was located in Red Lodge until September of 2019 when the business decided to relocate to Billings. Since then, they have surveyed their clientele and considered their options in terms of most suitable spaces. Not only is it exciting that Kibler and Kirch is relocating to Billings but also they are relocating to Downtown, Billings, in the Historic Stapleton Building. While there has been major private investment in rehabilitating the building over the course of many years, which produced several thriving and quality businesses, there's an underutilized abandoned space that is planned to capture a new vision of the retail store. The vision is to work within the architectural spirit of the building to create a unique metropolitan retail store of nearly 6,000 square feet.

Kibler and Kirch will occupy a long-vacant, ground floor storefront between Rockets Gourmet Wraps and Le Fournil French Bakery. Inside that small footprint (and difficult space to use), they will recreate the building's original stairway to exacting detail; install an elevator shrouded by decorative ironwork, and connect two floors via a large opening. By creating access to this 2nd floor space, they intend to make the space architecturally interesting adding more vibrancy and life to the street level - both for pedestrians and traffic on 1st Avenue North. The new entrance will have new lighting, signage, awnings, and other frontstore elements.

If their past experience of drawing customers from a large geographical area holds true as they make a new store in Billings, they anticipate adding to the retail foot traffic of Downtown. They anticipate Kibler and Kirch to be a regional and national destination and shopping experience. By bolstering their professional design services, they foresee creating well-paying retail jobs. Other neighboring retail and restaurants will also benefit from the visitors they bring. The Stapleton Building was once an epicenter of shopping and they hope to continue that spirit. Finally, this sizable investment will generate a healthy increase in the tax value of the building. Because Kibler and Kirch has a long history of quality design and home furnishings, they hope to help in creating opportunities of growth by enriching their surroundings while being passionate and dedicated to the history of the building.

Kibler and Kirch, LLC has requested TIFD assistance in the amount of 143,927 dollars on a 5:1 matching basis. The total project is projected at \$861,838. However, the Committee approved a grant of \$79,940 on a 5:1 matching basis off of the total of qualified expenses of \$478,681. The reasoning behind it is that while most improvements are qualified, access to it will be for the business and its clients. If approved, this TIFD assistance request will be subject to available Fund 203 cash and will only be applied to qualified expenditures.

Financial Breakdown Details

Private Investment

Construction = \$861,838

TIF Request

\$79,940

Ratio %

9%

Financials

If approved, reimbursement funds are available in the fiscal year following the year of project completion.

DBP Development Committee recommends approval of this project by the Board of Directors with the following contingencies:

1. The Applicant shall sign a development contract with the City of Billings and DBP within 90 days of City Council's approval.
2. This TIFD reimbursement is the maximum that can be received pending satisfactory submission of all paid invoices showing the completion of expenditures related to this project.
3. If funds are not available, reimbursement can be carried over to the next fiscal year.

DBP board of directors has authority to approve, modify and approve, or disapprove the recommendation prepared by the Development Committee.

Motion to approve: I make a motion to approve the recommendation of the Development Committee to award this applicant a reimbursement grant not to exceed \$79,940 so long conditions above are met.

Motion to disapprove: I make a motion to disapprove the recommendation of the Development Committee in awarding this applicant a reimbursement grant of up to \$79,940.

Motion to Modify: I make a motion to modify the Committee's recommendation...

