

BUILDER:



1536 Mullowney Lane, Suite 100 Billings, MT 59101
(406) 651-5354

BIM SERVICES:



3990 S.R. 38 East Suite 8 Lafayette, IN 47905
(765) 471-8020 (765) 471-8065 fax

CIVIL ENGINEER:



1300 North Transtech Way Billings, MT 59102
(406) 656-5255 (406) 656-0967 fax

STRUCTURAL:



1004 Division St, 3rd Floor Billings, MT 59101
(406) 259-1184 (406) 256-1659 fax

2021 IRC



CITY STAMPED PLANS ARE TO BE ON THE JOBSITE WITH ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN DESCRIBED, OR IMPLIED, WHERE VARIANCES OCCUR. REVIEWED FOR CODE COMPLIANCE

BUYER: _____ DATE: _____
SELLER: _____ DATE: _____

FOUNDATION CONDITION: SLAB

CARRIAGE FARM

TABLE OF CONTENTS

CS-00.00	Cover Sheet
A-00.00	Foundation & Finished Basement Plan
A-10.00	First & Second Floor Plan
A-20.00	Roof Plan
A-30.00	Left & Rear Elevation
A-30.01	Front & Right Elevation
D-00.00	Details-00.00
D-00.01	Details-00.01
C-00.00	Cabinetry Plans
C-00.01	Cabinetry Elevations
C-00.02	Cabinetry Elevations
E-10.00	First & Second Floor Electrical Plan
S-10.00	Basement Structural & First Floor Truss Layout
S-12.00	First Floor Structural & Second Floor Truss Layout
S-20.00	Second Floor Structural & Roof Truss Layout

GENERAL NOTES:

- A THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION
- B VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- C NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM MCCALL HOMES
- D WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM MCCALL HOMES BEFORE PROCEEDING WITH THAT PORTION OF THE WORK
- E ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
- F THE CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENCES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
- G WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- H UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.
- I DIMENSIONS ARE SHOWN FROM FACE TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE.
- J IF THE CONTRACTOR OR SUBCONTRACTOR SHOULD FIND ANY DISCREPANCY IN AND/OR OMISSIONS FROM THESE DRAWINGS OR IF THE CONTRACTOR SHOULD BE IN QUESTION AS TO THEIR MEANING OR INTENT, THE CONTRACTOR SHOULD CONTACT MCCALL HOMES AT ONCE FOR INTERPRETATION OR CLARIFICATION.
- K EACH BEDROOM SHALL HAVE ONE EXTERIOR WINDOW OR DOOR THAT IS OPENABLE FROM INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.

- L GARAGEHOUSE DOORS SHALL BE 20-MINUTE FIRE-RATED SMOOTH STAR THERMA-TRU DOORS EQUIPPED WITH A SELF-CLOSING DEVICE PER SECTION R302.5.1 OF IRC2018
- M. SMOKE ALARMS (MODEL BRK 9120B) SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA, AND ON EACH ADDITIONAL STORY OF THE DWELLING, PER SECTION R314.3 OF IRC2018.
- N. CARBON MONOXIDE ALARMS (MODEL BRK SC9120B) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER SECTION R315.1 OF IRC2018
- O THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE HOUSE MECHANICAL VENTILATION FOLLOWING SECTION M1507.3 OF IRC2018 THROUGH PANASONIC FV-09VK33 FANS IN THE MAIN BATH AND MASTER BATH, AS WELL AS A PANASONIC FV-09VK33 FAN IN THE POWDER BATH AND CRAWL SPACE.
- P GIRDER TRUSSES TO BE ATTACHED TO THE TOP PLATE WITH SIMPSON HURRICANE STRAPS THAT ARE EQUAL TO OR EXCEED UPLIFT CALCULATIONS PER TRUSS MANUFACTURER ENGINEERING DRAWINGS (SEE TRUSS PLANS BY OTHERS)
- Q EVERY SLEEPING ROOM MUST HAVE A MEANS FOR EMERGENCY ESCAPE AND RESCUE. WINDOWS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR TO THE FINISHED SILL AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, MIN CLEAR HEIGHT 24", MIN CLEAR WIDTH 20"
- R TEMPERED SAFETY GLAZING (IRC 308.4) IS REQUIRED IN THE FOLLOWING LOCATIONS:
 - IN SWINGING, HINGED, OR BIFOLD DOORS
 - ENCLOSURES FOR SHOWERS, HOT TUBS, SAUNAS, AND BATH TUBS
 - GLASS IN RAILING SYSTEMS
 - WINDOWS WITHIN 24" OF A DOOR AND WITHIN 80" OF THE FLOOR.
- OR - ALL OF THE FOLLOWING:
 - WINDOWS WITH AN INDIVIDUAL PANE SIZE GREATER THAN 9SF
 - GLASS WITHIN 18" OF THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 38" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 38" HORIZONTALLY.
- S CONTRACTOR AND WINDOW MANUFACTURE ARE EXPRESSLY RESPONSIBLE FOR WINDOWS MEETING ALL CODES, INCLUDING EGRESS REQUIREMENTS
- T MAKE UP AIR FOR LAUNDRY ROOMS WILL BE PROVIDED BY UNDERCUT DOORWAYS AND OPENINGS AROUND BIFOLD DOORS OR AIR TRANSFER GRILLES ABOVE SWING DOORS MEASURING AT LEAST 100 SQ. INCHES COMPLYING WITH IMC504.5
- U UTILITY SERVICES WILL BE PLACED ON THE ENDS OF MULTI UNIT BUILDINGS WITH UTILITIES TRENCHED ON THE OUTSIDE OF THE BUILDING TO SERVICE INTERIOR UNITS.

PROJECT INFORMATION

1st. FLOOR (ABOVE GRADE)	90	SQ.FT.
2nd. FLOOR (ABOVE GRADE)	922	SQ.FT.
Total Heated:-----	1011	SQ.FT.
GARAGE	832	SQ.FT.
FRONT PORCH	88	SQ.FT.
BACK PORCH	0	SQ.FT.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

1536 Mullowney Lane, Suite 100
Billings, Montana 59101
(406) 651-5354

ANNAFELD

PRINT DATE:
10/13/2022

AN010109-CRG

FOR: Whipple

LOCATION: 1589 Walker Creek

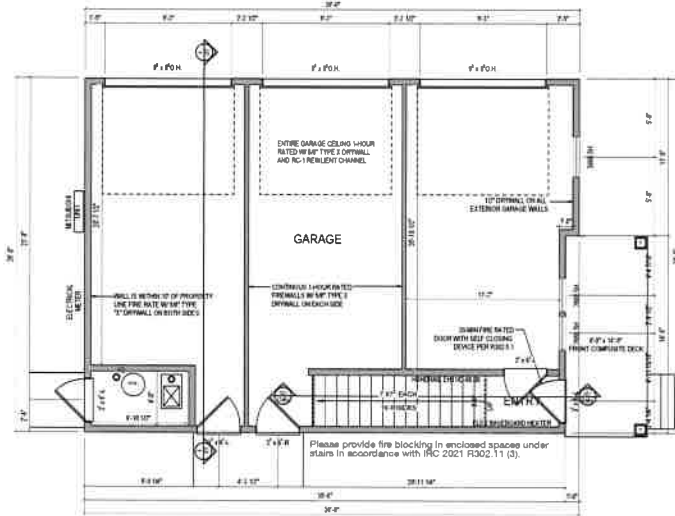
SHEET NUMBER

CS-00.00

BEDROOM ESCAPE WINDOW
 Net openable area 5.7 sq. ft. clear
 in open position (or per Sec. R310.1)
 Min. Width 20"
 Min. Height 24"
 Fin. Sill to fin. Floor 44" max.

10/14/2022 11:21:14 AM
 01/20/2024
 Steve Haak

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
 NOTE: ALL FEDERAL, STATE, AND LOCAL ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
 REVIEWED FOR CODE COMPLIANCE



FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE 1/4"=1'-0"

BUYER: _____ DATE: _____
 SELLER: _____ DATE: _____

1536 Mullowney Lane, Suite 100
 Billings, Montana 59101
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MCCALL HOMES
ANNAFELD

PRINT DATE:
 10/13/2022

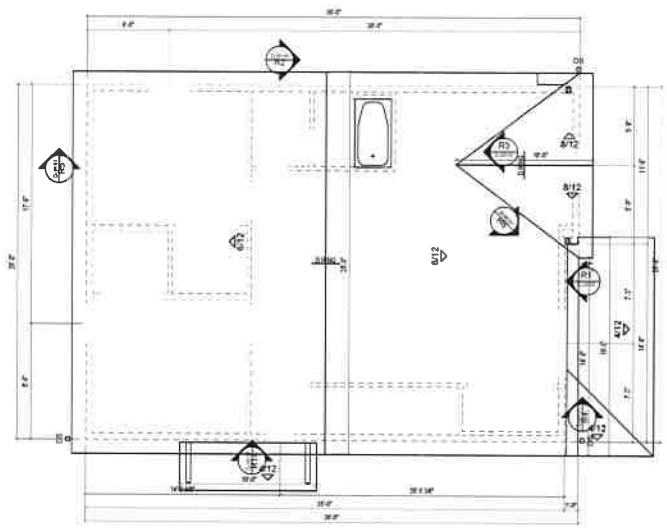
AN010109-CRG
 FOR: Whipple
 LOCATION: 1589 Walter Creek
 SHEET NUMBER: _____
 PRINT SET: _____

A-10.00

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
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GENERAL NOTES:

- FLASHING IS DETAIL AT ALL OF THE FOLLOWING LOCATIONS AS APPLICABLE
 - 1. AROUND EXTERIOR PENETRATIONS, WINDOWS & DOORS
 - 2. ROOF RAFTERS
 - 3. DECKING JOINT TO BUILDING INTERSECTIONS
 - 4. AT ROOF-TO-WALL INTERSECTIONS AND AT ROOF-TO-CHIMNEY INTERSECTIONS
 - 5. A Drip CAP IS PROVIDED ABOVE WINDOWS AND DOORS THAT ARE NOT FLASHED OR PROTECTED BY OTHER MEANS IN ACCORDANCE WITH SECTION 901.1 OF THE NATIONAL GREEN BUILDING STANDARDS
- AREA OF VERTICALLY FITTED IS SFT
- AREA OF SIDE VERTICALLY FITTED
- AREA OF VERTICALLY FITTED
- AREA OF VERTICALLY FITTED
- AREA OF VERTICALLY FITTED
- AREA OF VERTICALLY FITTED



ROOF PLAN

SCALE 1/4"=1'-0"

BUYER	DATE	SELLER	DATE

1536 Muldowney Lane, Suite 100
 Billings, Montana 59101
 (406) 651-5354

McCALL HOMES ANNAFELD

PRINT DATE:
 10/13/2022

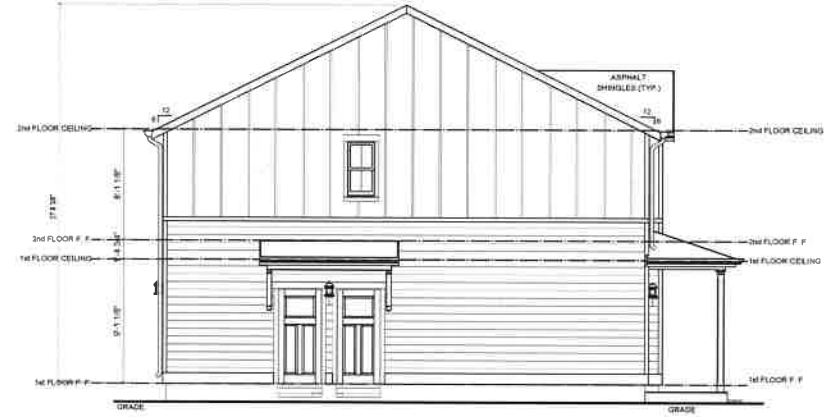
AN010109-CRG
 FOR: Whipple
 LOCATION: 1500 Waller Creek
 SHEET NUMBER: PRINT SET

A-20.00

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
 WITH ALL FEDERAL, STATE, AND LOCAL CODES,
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 DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
 REVISIONS FOR CODE COMPLIANCE

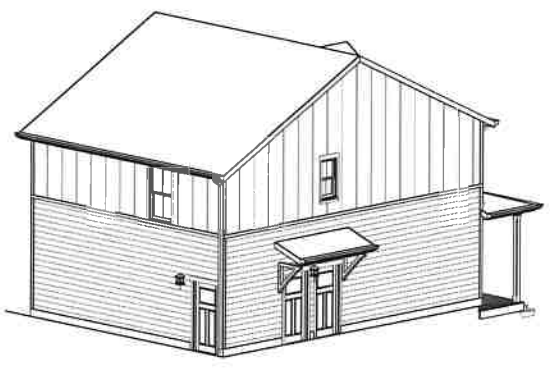


FRONT-LEFT



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR-LEFT



REAR ELEVATION

SCALE: 1/4"=1'-0"

DATE _____
 BUYER _____
 DATE _____
 SELLER _____

1536 Mullowney Lane, Suite 100
 Billings, Montana 59101
 (406) 651-5354
 **McCALL HOMES**
 **ANNAFELD**

PRINT DATE:
 09/28/2022

AN010109-CRG
 FOR: Whipple
 LOCATION: 1589 Walter Creek
 SHEET NUMBER _____
 PRINT SET

A-30.00

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
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 REVISED FOR CODE COMPLIANCE

Architect/Designer
 or Owner
 Date

Buyer
 Date

Seller
 Date

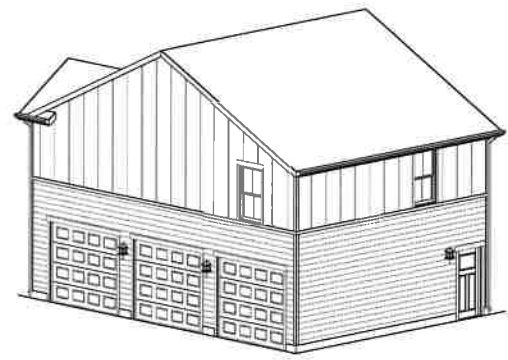


FRONT-RIGHT



RIGHT ELEVATION

SCALE 1/4"=1'-0"



REAR-RIGHT



FRONT ELEVATION

SCALE 1/4"=1'-0"

1536 Mullowney Lane, Suite 100
 Billings, Montana 59101
 (406) 651-5354

McCALL HOMES

ANNAFELD

PRINT DATE:
 09/12/2022

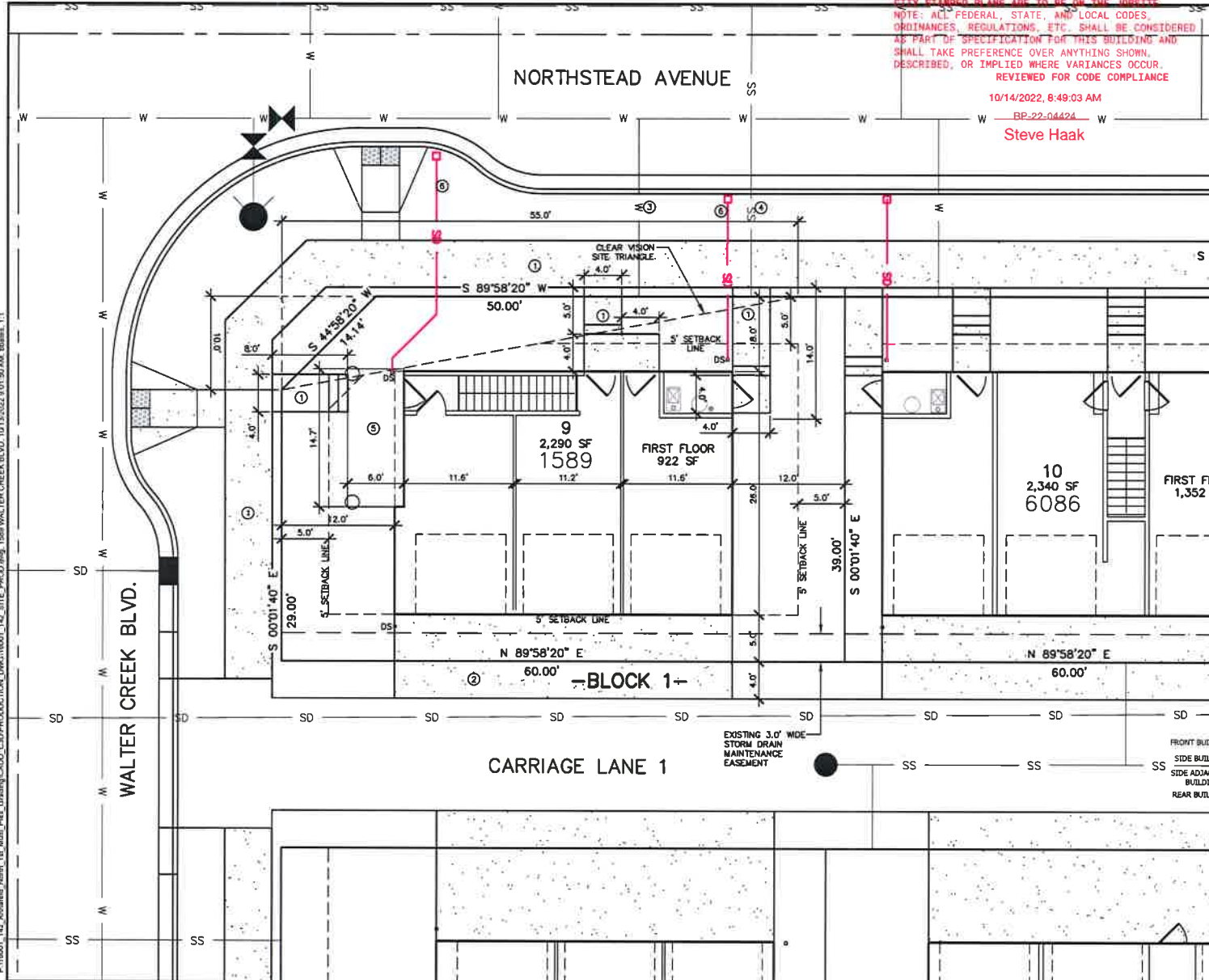
AN010109-CRG

FOR: Whipple
 LOCATION: 1599 Walter Creek
 PRINT SET

SHEET NUMBER

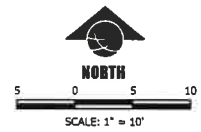
A-30.01

P:\18001_142_AnnArbor\North_1st\Main_Plan_Grounding\CD\PROJECTION_142_SITE_PROD.dwg 1589 WALTER CREEK BLVD. 10/13/2022 8:01:50 AM bsbm4.1.1



CITY STAMPED PLANS ARE TO BE ON THE JOB SITE.
 NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
 REVIEWED FOR CODE COMPLIANCE
 10/14/2022, 8:49:03 AM
 BP-22-04424
 Steve Haak

- PLAN NOTES**
- ① NEW CONCRETE WALK (TYP.)
 - ② NEW DRIVEABLE CONCRETE (TYP.)
 - ③ WATER SERVICE (TYP.)
 - ④ SEWER SERVICE (TYP.)
 - ⑤ COVERED PORCH WITH STAIRS (TYP.)
 - ⑥ ROOF DRAINS ADJACENT TO SIDEWALKS TO BE PIPED UNDER THE WALK (TYP.) AS SHOWN. INSTALL NEW 9"X9" NDS LANDSCAPE INLET WITH 8' PIPING. RIM TO MATCH BOULEVARD FINISHED GRADE.
- UTILITY CONNECTIONS BY BUILDER. CONNECT TO EXISTING WATER/SEWER SERVICES AND EXTEND TO BUILDING. APPROXIMATE ROUTING SHOWN. INSTALL CLEAN OUTS AT ALL SEWER BENDS. PRIVATE UTILITY SERVICES AND ROUTING TO BE COORDINATED BY BUILDER PRIOR TO CONSTRUCTION.



10
2,340 SF
6086
FIRST FL
1,352

9
2,290 SF
1589
FIRST FLOOR
922 SF

—BLOCK 1—

SITE DATA

	REQUIRED/PROPOSED	PROVIDED (IF ANY)
FRONT BUILDING SETBACK	5 FT. MIN.	8 FT.
SIDE BUILDING SETBACK	5 FT. MIN.	12 FT.
SIDE ADJACENT TO STREET BUILDING SETBACK	5 FT. MIN.	12 FT.
REAR BUILDING SETBACK	5 FT. MIN.	5 FT.



DRAWING HISTORY

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
4		ISSUED FOR PERMITS

FILE: 18001_142_SITE_PROD.dwg
 PROJECT NO: 18001_142
 CDD: BMB
 QUALITY ASSURANCE:

1589 WALTER CREEK BOULEVARD
 LOT 9, BLOCK 1
 ANN/ARFED NORTH SUBDIVISION, FIRST FILING
 BILLINGS, MT
 SITE PLAN



