

BUILDER:



1536 Mullowney Lane, Suite 100 Billings, MT 59101
(406) 651-5354

BIM SERVICES:



3990 S.R. 38 East Suite 8 Lafayette, IN 47905
(765) 471-8020 (765) 471-8065 fax

CIVIL ENGINEER:



1300 North Transtech Way Billings, MT 59102
(406) 656-5255 (406) 656-0967 fax

STRUCTURAL:



1004 Division St, 3rd Floor Billings, MT 59101
(406) 259-1184 (406) 256-1659 fax

GENERAL NOTES:

- A. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- B. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM MCCALL HOMES
- D. WHERE LACK OF INFORMATION OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM MCCALL HOMES BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- E. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
- F. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENCES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
- G. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- H. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.
- I. DIMENSIONS ARE SHOWN FROM FACE TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE.
- J. IF THE CONTRACTOR OR SUBCONTRACTOR SHOULD FIND ANY DISCREPANCY IN AND/OR OMISSIONS FROM THESE DRAWINGS OR IF THE CONTRACTOR SHOULD BE IN QUESTION AS TO THEIR MEANING OR INTENT, THE CONTRACTOR SHOULD CONTACT MCCALL HOMES AT ONCE FOR INTERPRETATION OR CLARIFICATION.
- K. EACH BEDROOM SHALL HAVE ONE EXTERIOR WINDOW OR DOOR THAT IS OPENABLE FROM INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.

- L. GARAGE/HOUSE DOORS SHALL BE 20-MINUTE FIRE-RATED SMOOTH STAR THERMA-TRU DOORS EQUIPPED WITH A SELF-CLOSING DEVICE PER SECTION R302.5.1 OF IRC2018
- M. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA, AND ON EACH ADDITIONAL STORY OF THE DWELLING, PER SECTION R314.3 OF IRC2018.
- N. CARBON MONOXIDE ALARMS (MODEL BRK SC9120B) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER SECTION R315.1 OF IRC2018
- O. THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE HOUSE MECHANICAL VENTILATION FOLLOWING SECTION M1607.3 OF IRC2018 THROUGH PANASONIC FV-0510V61 FANS/AJUSTABLE TO 50, 80 OR 100 CFM). ALL BATHROOM FANS WILL OPERATE AUTOMATICALLY FROM A HUMIDISTAT OR MANUALLY FROM A WALL SWITCH. UNFINISHED BASEMENT BATHROOMS AND CRAWL SPACE WILL INCLUDE THESE FANS SET TO RUN CONTINUOUSLY. ALL KITCHENS WILL HAVE AT LEAST 100 CFM INTERMITTENT MECHANICAL EXHAUST VENTILATION PER IMC TABLE 403.3
- P. GIRDER TRUSSES TO BE ATTACHED TO THE TOP PLATE WITH SIMPSON HURRICANE STRAPS THAT ARE EQUAL TO OR EXCEED UPLIFT CALCULATIONS PER TRUSS MANUFACTURER ENGINEERING DRAWINGS (SEE TRUSS PLANS BY OTHERS)
- Q. GARAGE BENEATH HABITABLE ROOMS: SHALL NOT HAVE LESS THAN 5/8" TYPE X GYP WALL BOARD ON CEILING AND THE SUPPORTING STRUCTURE SHALL BE PROTECTED BY NOT LESS THAN 1/2" GYP BOARD.
- R. EVERY SLEEPING ROOM MUST HAVE A MEANS FOR EMERGENCY ESCAPE AND RESCUE. WINDOWS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR TO THE FINISHED SILL AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, MIN CLEAR HEIGHT 24", MIN CLEAR WIDTH 20"
- S. TEMPERED SAFETY GLAZING (IRC 308.4) IS REQUIRED IN THE FOLLOWING LOCATIONS:
 - IN SWINGING, HINGED, OR BIFOLD DOORS.
 - ENCLOSURES FOR SHOWERS, HOT TUBS, SAUNAS, AND BATH TUBS.
 - GLASS IN RAILING SYSTEMS
 - WINDOWS WITHIN 24" OF A DOOR AND WITHIN 60" OF THE FLOOR.
- OR- ALL OF THE FOLLOWING:
 - WINDOWS WITH AN INDIVIDUAL PANE SIZE GREATER THAN 9SF
 - GLASS WITHIN 18" OF THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY.
- T. CONTRACTOR AND WINDOW MANUFACTURE ARE EXPRESSLY RESPONSIBLE FOR WINDOWS MEETING ALL CODES, INCLUDING EGRESS REQUIREMENTS.



SETY STAMPED PLANS ARE TO BE ON THE JOB SITE
 NOTE: ALL PERMITS, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE UNDERTAKEN BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, LICENCES, ETC. NECESSARY FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.

ISSUED BY: [Signature]
 TITLE: [Title]

2018 IRC
 [Signature]
 TITLE: [Title]

FOUNDATION CONDITION:
CRAWL SPACE

CARRIAGE RIVER

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CS-00.00	Cover Sheet
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PROJECT INFORMATION

1st FLOOR (ABOVE GRADE)	0	SQ. FT.
2nd FLOOR (ABOVE GRADE)	922	SQ. FT.
Total Heated:-----	922	SQ. FT.
GARAGE	922	SQ. FT.
FRONT PORCH	89	SQ. FT.
BACK PORCH	0	SQ. FT.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

DATE _____

DATE _____

BUYER _____

SELLER _____

1536 Mullowney Lane, Suite 100
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MCCALL HOMES ANNAFELD

PRINT DATE:
01/24/2022

AN010208-CRG

FOR: McCall Homes

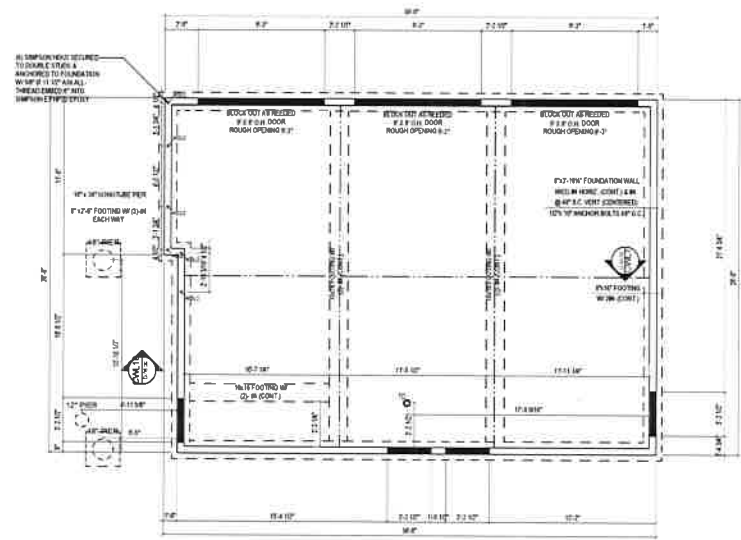
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PRINT SET? _____

SHEET NUMBER

CS-00.00

CITY STAMPED PLANS ARE TO BE ON THE JOB SITE
 NOTE: ALL FEDERAL, STATE, AND LOCAL CODES,
 ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED
 AS PART OF SPECIFICATION FOR THIS BUILDING AND
 SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN
 DESCRIBED, OR IMPLIED HEREIN. VARIANCES MUST
 BE REVIEWED FOR CODE COMPLIANCE.
 PROJECT: 2021-01-10
 BY: [Signature]
 T. Brian Farlow



ALL IMPROVEMENTS REQUIRED
 TO SQUARE STRIPS &
 ANCHORS TO FOUNDATION
 WITH 8\"/>

FOUNDATION PLAN

SCALE: 1/4\"/>



BUYER _____ DATE _____
 SELLER _____ DATE _____

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McCALL HOMES **ANNAFELD**

PRINT DATE:
 01/24/2022

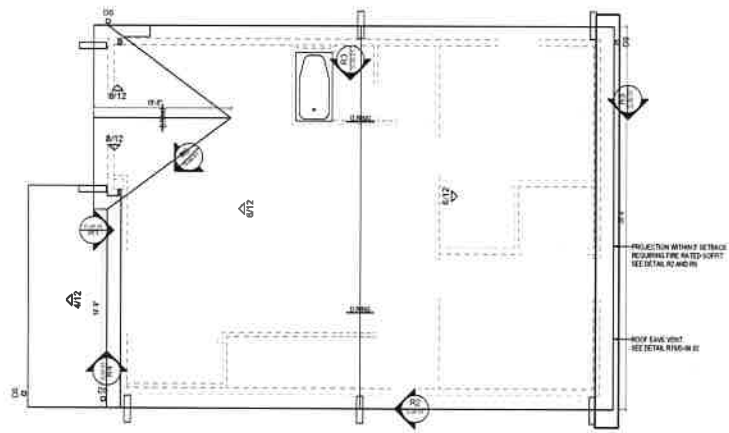
AN010208-CRG
 FOR: McCall Homes
 LOCATION: 6047 Elystan Road Unit 201
 SHEET NUMBER: PRINT SET

A-00.00

GENERAL NOTES:

- FLASHING IS INSTALLED AT ALL OF THE FOLLOWING LOCATIONS, AS APPLICABLE:
 - 1. AROUND EXTERIOR PENETRATORS, WALLS, BIRTHS & DOORS
 - 2. ROOF WELDS
 - 3. DECKING ONLY TO BUILDING INTERSECTIONS
 - 4. AT ROOF-CHIMNEY INTERSECTIONS AND AT ROOF-TO-CHIMNEY INTERSECTIONS
 - 5. A CRIP CAP IS PROVIDED ABOVE WINDOWS AND DOORS THAT ARE NOT FLASHED OR PROTECTED BY CONCRETE IN ACCORDANCE WITH SECTION 901.1 OF THE NATIONAL GREEN BUILDING STANDARDS
- MIN. OF VENTED ROFFTY IS 8FT
- MIN. OF VENTED ROFFTY IS 12.5 FT
- MIN. OF VENTED ROFFTY IS 10 FT
- MIN. OF VENTED ROFFTY IS 10 FT
- MIN. OF VENTED ROFFTY IS 10 FT
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CITY STAMPED PLANS ARE TO BE ON THE JOB SITE.
 NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DECORATED, OR IMPLICIT WHERE VARIANCES OCCUR.
 REVISOR: FOR TIME COMPLIANCE
 1/23/2022 3:17 PM
 TRV 22-0001
 Treva Fenton



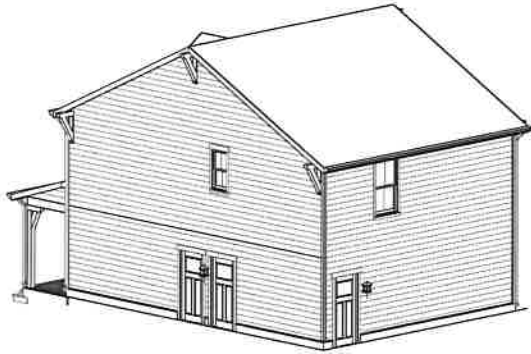
ROOF PLAN
 SCALE: 1/8"=1'-0"

BUYER _____ DATE _____
 SELLER _____ DATE _____

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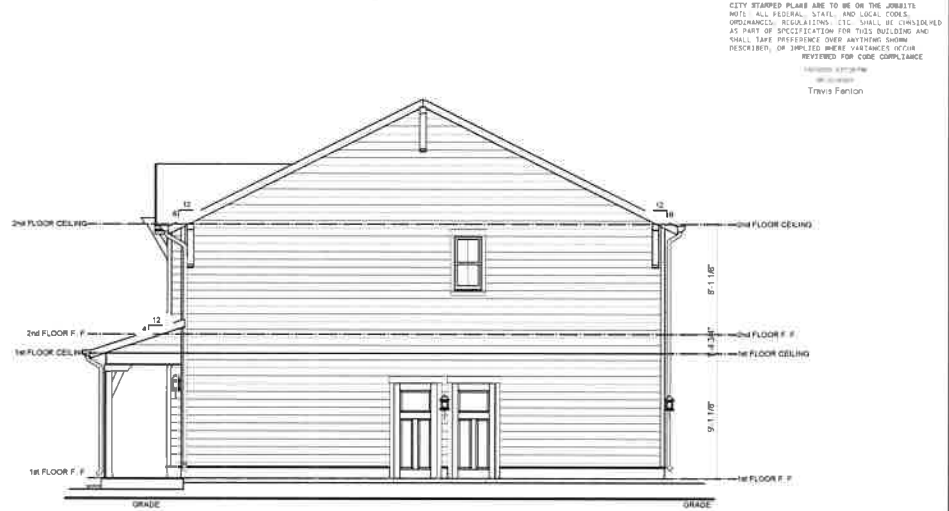
AN010208-CRG
 FOR: McCall Homes
 LOCATION: 6047 Elysian Road Unit 201
 SHEET NUMBER: A-20.00
 PRINT SET: 1



FRONT-RIGHT



FRONT-LEFT



FRONT ELEVATION

SCALE 1/8"=1'-0"



LEFT ELEVATION

SCALE 1/8"=1'-0"

DATE _____
DATE _____
BY: _____
BY: _____

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McCALL HOMES **ANNAFELD**

PRINT DATE:
12/09/2021

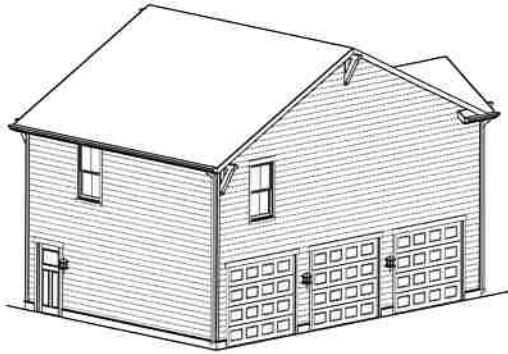
AN010208-CRG

FOR: McCall Homes

LOCATION: 6047 Elysian Road Unit 201

PRINT SET 7

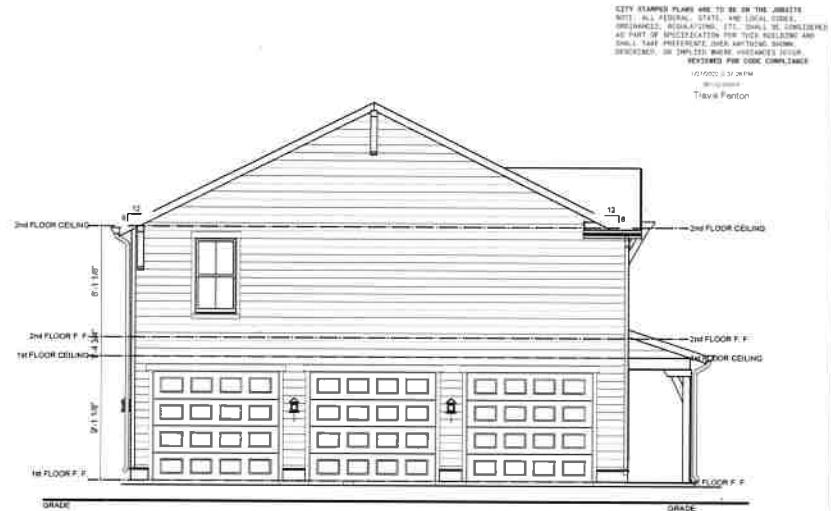
A-30.00



REAR-RIGHT



REAR-LEFT



REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

BUYER _____ DATE _____
 SELLER _____ DATE _____

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McCALL HOMES ANNAFELD

PRINT DATE:
 12/09/2021

AN010208-CRG
 FOR: McCall Homes
 LOCATION: 6047 Elysian Road Unit 201
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A-30.01

