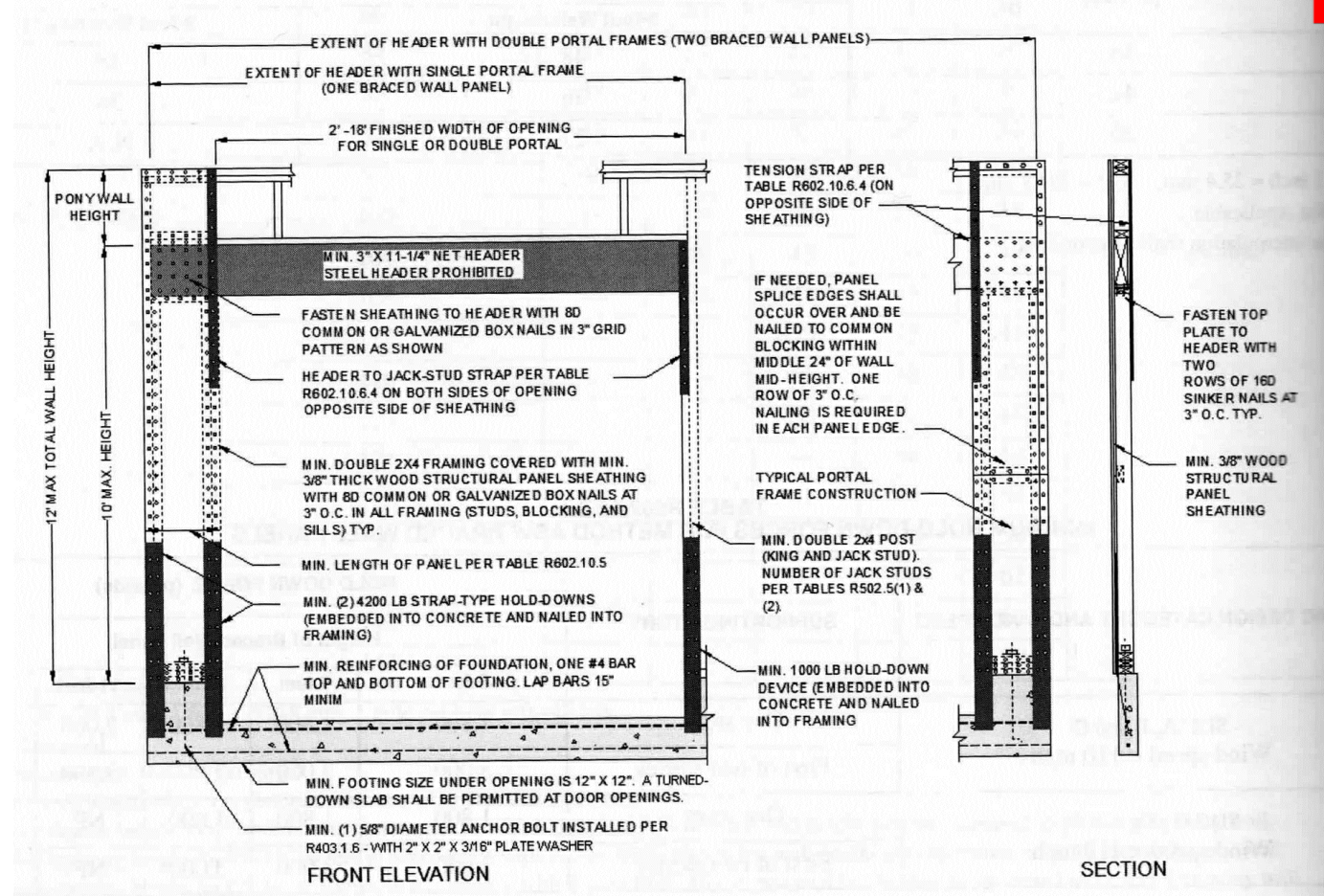


2021 IRC



GARAGE PORTAL WALL DETAIL
N.T.S.

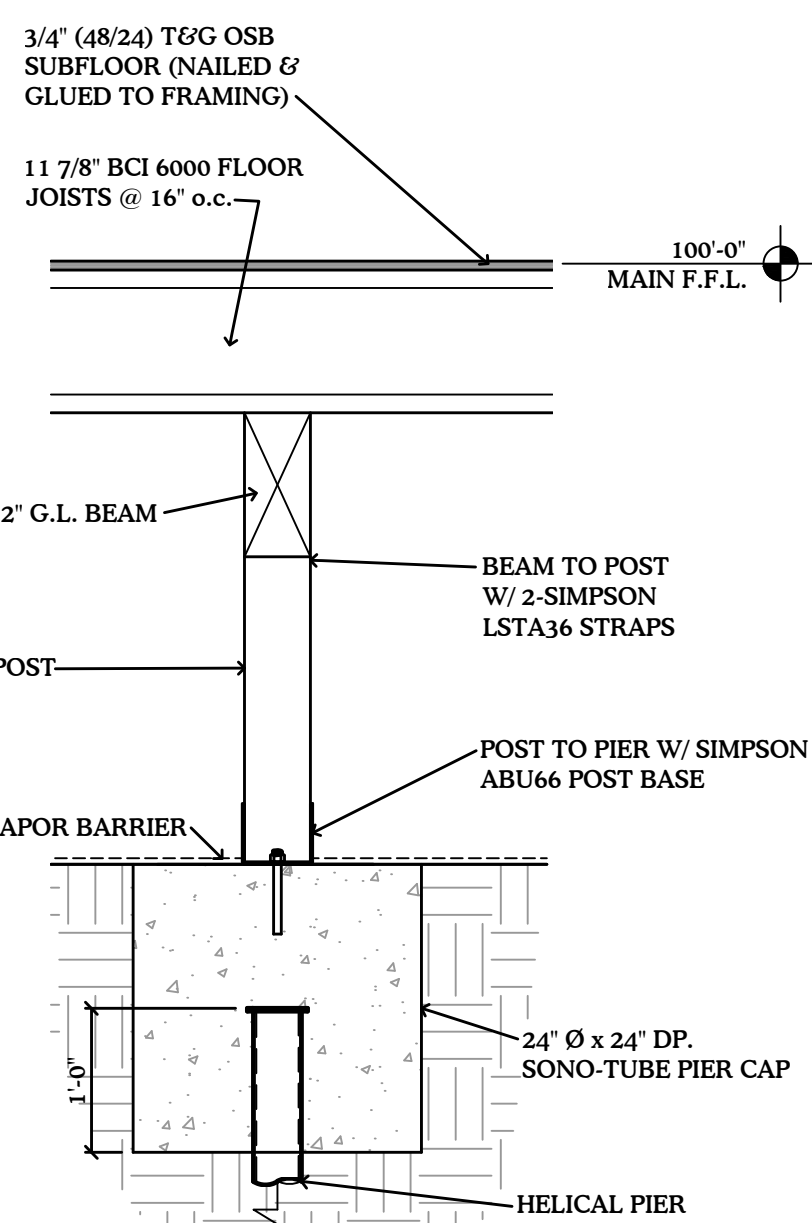
STREET TREES REQUIRED Per BMCC Sec. 27-1203. Street frontage trees are required in all zoning districts. The area along any property line that abuts a public or private street right-of-way shall be provided a street frontage landscaped area planted with street trees. For all zone districts, 1 street tree required per 40 feet of street frontage. Exceptions: CBD zone, 1 street tree required per 25 linear feet of street frontage; EBURD, 1 tree per 50 feet of linear street frontage.

8/21/2024, 10:47:31 AM
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Tate Johnson

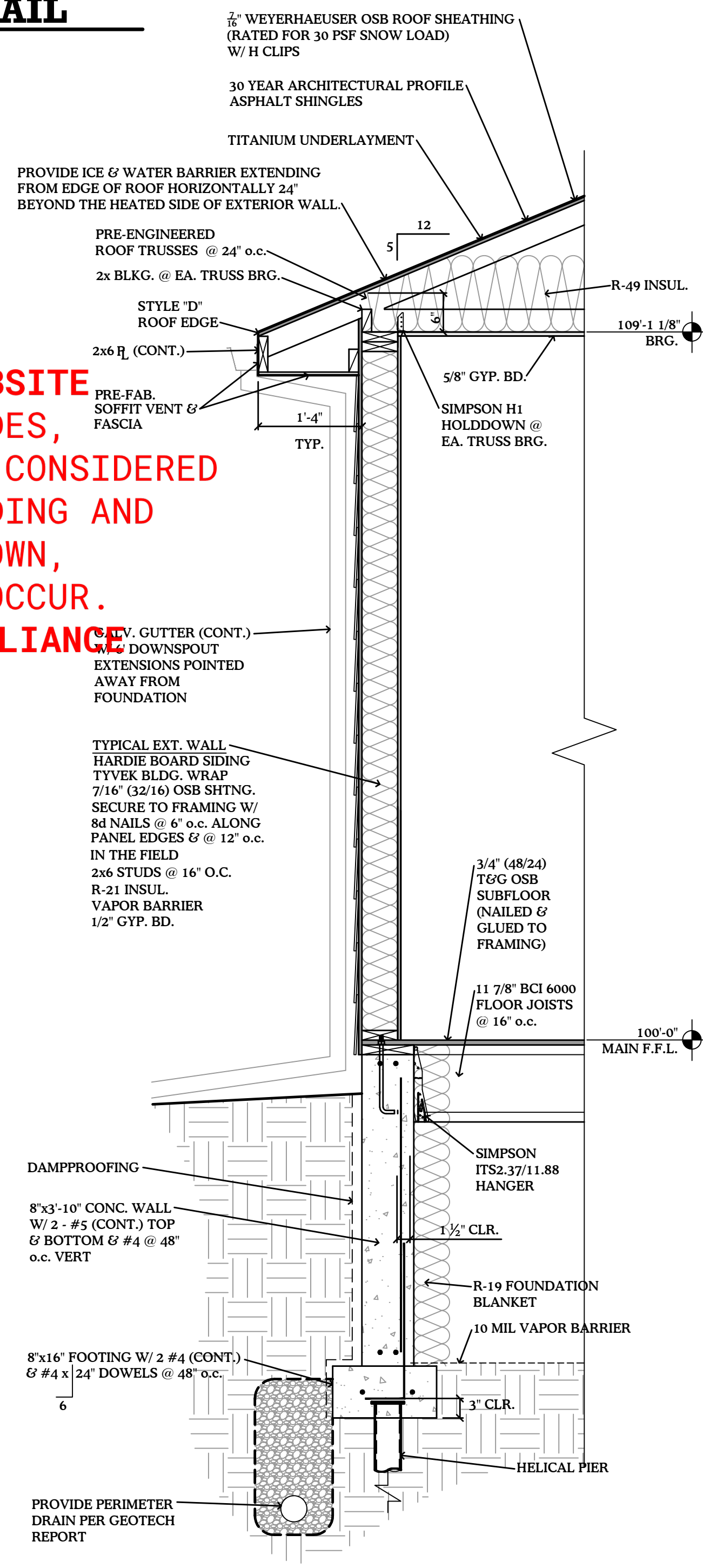
CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.

REVIEWED FOR CODE COMPLIANCE

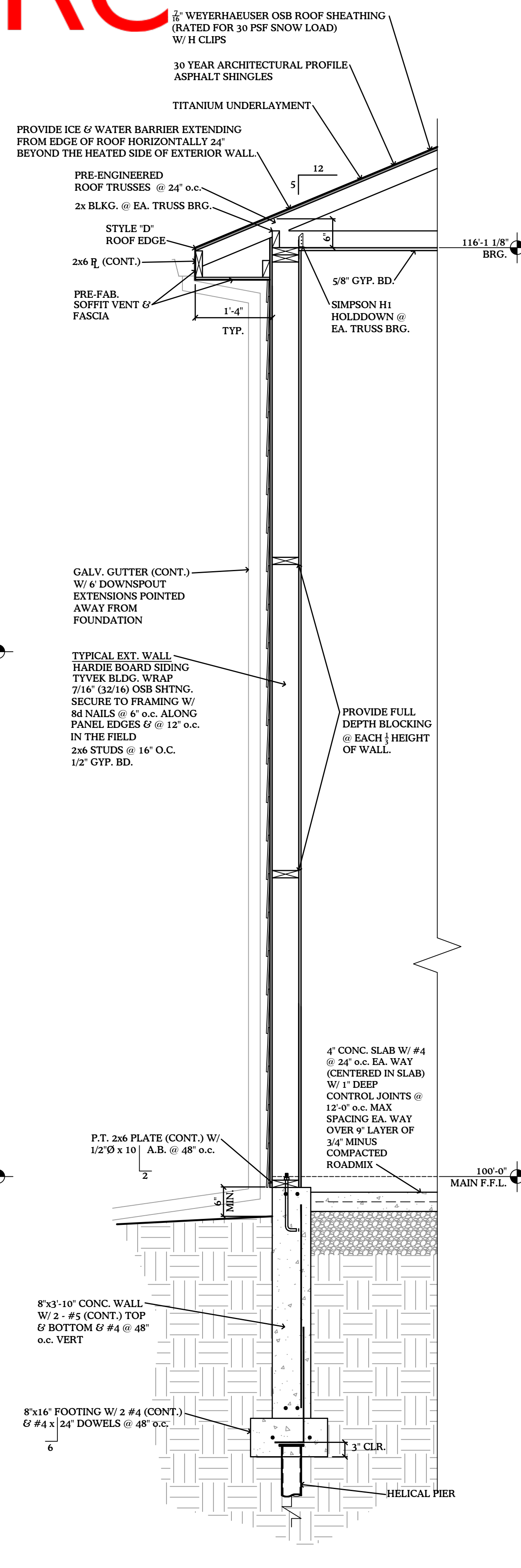
9/12/2024, 3:12:50 PM
BP-24-03610
Steve Haak



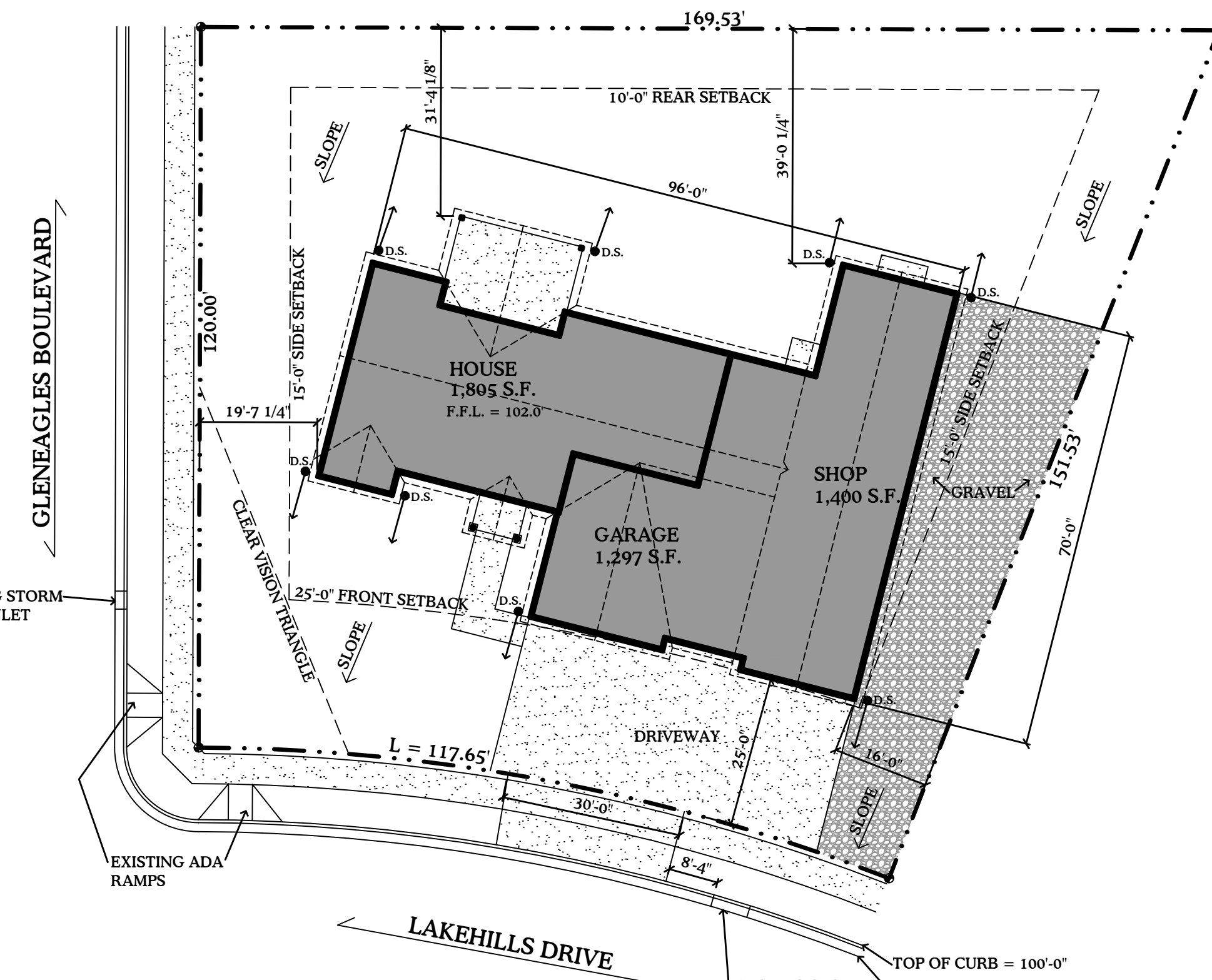
WALL SECTION
3/4" = 1'-0"



WALL SECTION
3/4" = 1'-0"



WALL SECTION
3/4" = 1'-0"



SITE PLAN
1" = 20'-0"

LOT COVERAGE

| | |
|------------------------|---------------------------|
| MAX COVERAGE | 18,463 x .40 = 7,385 s.f. |
| ACTUAL COVERAGE | |
| HOUSE = | 1,805 S.F. |
| GARAGE = | 1,297 S.F. |
| SHOP = | 1,400 S.F. |
| COV. PATIO = | 311 S.F. |
| COV. PORCH = | 80 S.F. |
| TOTAL = | 4,893 S.F. |

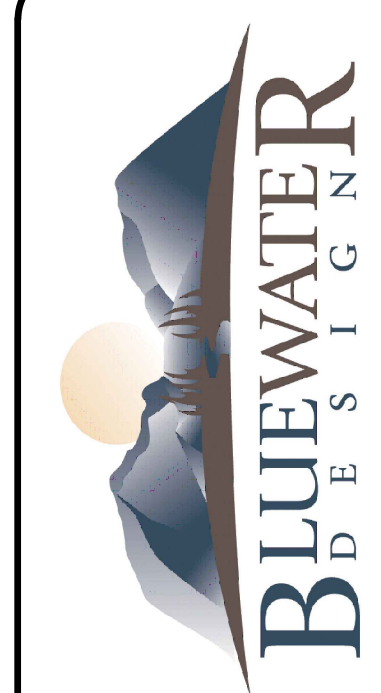
- GENERAL NOTES**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE OR OUTSIDE FACE OF SHEATHING.
 - INTERIOR DIMENSIONS ARE TO THE FACE OF STUDS, UNLESS A CLEAR DIMENSION IS NOTED.
 - ALL BEARING HEADERS NOT SPECIFIED ON PLAN TO BE 2-2x10 S.P.F. OR BETTER.
 - WINDOW & DOOR DIMENSIONS ARE TO THE CENTERLINE OF OPENING.
 - THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING THE SITE CONDITIONS AND DIMENSIONS SHOWN ON THESE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES FOUND ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.
 - GENERAL CONTRACTOR IS TO COORDINATE WITH ALL SUBCONTRACTORS TO ACCOMPLISH THE OUTCOME AS PRESENTED IN THESE DOCUMENTS. IF PROBLEMS OCCUR THAT MAKE IT IMPOSSIBLE TO ACCOMPLISH THIS AS INDICATED, THE DESIGNER IS TO BE NOTIFIED IMMEDIATELY.
 - PRE-ENGINEERED TRUSS MANUFACTURER TO PROVIDE ALL TRUSS-TO-TRUSS CONNECTIONS.
 - SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM.
 - PROVIDE SOLID BEARING FOR ALL GIRDER TRUSSES & BEAMS.
 - EACH SLEEPING ROOM SHALL HAVE A MEANS FOR EMERGENCY ESCAPE AND RESCUE. WINDOWS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR TO THE FINISHED SILL AND SHALL HAVE A MINIMUM CLEAR OPENING OF 5.7 SF. (NET) MIN CLEAR HEIGHT OF 24" & MIN CLEAR WIDTH OF 20"
 - GENERAL CONTRACTOR AND WINDOW MANUFACTURER ARE RESPONSIBLE FOR WINDOWS MEETING ALL CODES & EGRESS REQUIREMENTS.
 - PROVIDE TEMPERED SAFETY GLAZING AS REQUIRED BY IRC 308.4.
 - PROVIDE CARBON MONOXIDE ALARMS IN IMMEDIATE VICINITY OF BEDROOM AS REQUIRED BY IRC 315.
 - PROVIDE WHOLE HOUSE VENTILATION SYSTEM AS REQUIRED BY SECTION R303.4.
 - FINISHED FLOOR OF HOUSE TO BE A MINIMUM OF 18" ABOVE STREET CURB.
 - ALL MULTIPLE BEARING STUDS TO BE FASTENED TOGETHER W/ 16d NAILS @ 12" o.c.
- INSULATION REQUIREMENTS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSULATING IN ACCORDANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE & MONTANA AMENDMENTS.
- APPLICABLE PRESCRIPTIVE PATH REQUIREMENTS:
 CEILING: R-49 (UNCOMPRESSED R-38 ALLOWED AT EAVES)
 EXTERIOR WALL: R-21 (OR R-13 + R-5 CONTINUOUS INSULATION)
 BASEMENT WALL: R-19 (OR R-15 CONTINUOUS INSULATION)
 SLAB PERIMETER: R-10 (OR R-15 IF HEATED SLAB)
 CRAWLSPACE WALL: R-19 (OR R-10 IF RIGID INSULATION)
 WINDOW / DOOR: U-0.30 (R-3)

ADOPTED CODES

| |
|--|
| INTERNATIONAL ENERGY CONSERVATION CODE, 2021 EDITION |
| INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION |
| INTERNATIONAL MECHANICAL CODE, 2021 EDITION |
| NATIONAL ELECTRICAL CODE, 2020 EDITION |
| UNIFORM PLUMBING CODE, 2021 EDITION |

LEGAL DESCRIPTION
 LOT 6, BLOCK 16 - 18,463 s.f.
 LAKE HILLS SUBDIVISION, 16TH FILING
 2151 LAKEHILLS DRIVE

INFINITY HOMES - 2151 LAKE HILLS
 2151 LAKEHILLS DRIVE



406 - 697- 2173
travis@bluewaterdesignmt.com

DATE:
AUG. 29, 2024

DRAWN BY:
TMM

SHEET #
A-O

NOTE: PROVIDE GALV. GUTTER (CONT.) W/ 6" DOWNSPOUT EXTENSIONS POINTED AWAY FROM FOUNDATION, POINT TO FRONT OR REAR OF PROPERTY

BEDROOM ESCAPE WINDOW
 Net openable area 5.7 sq. ft. clear
 in open position (or per Sec. R310.1)
 Min. Width 20"
 Min. Height 24"
 Fin. Sill to fin. Floor 44" max.

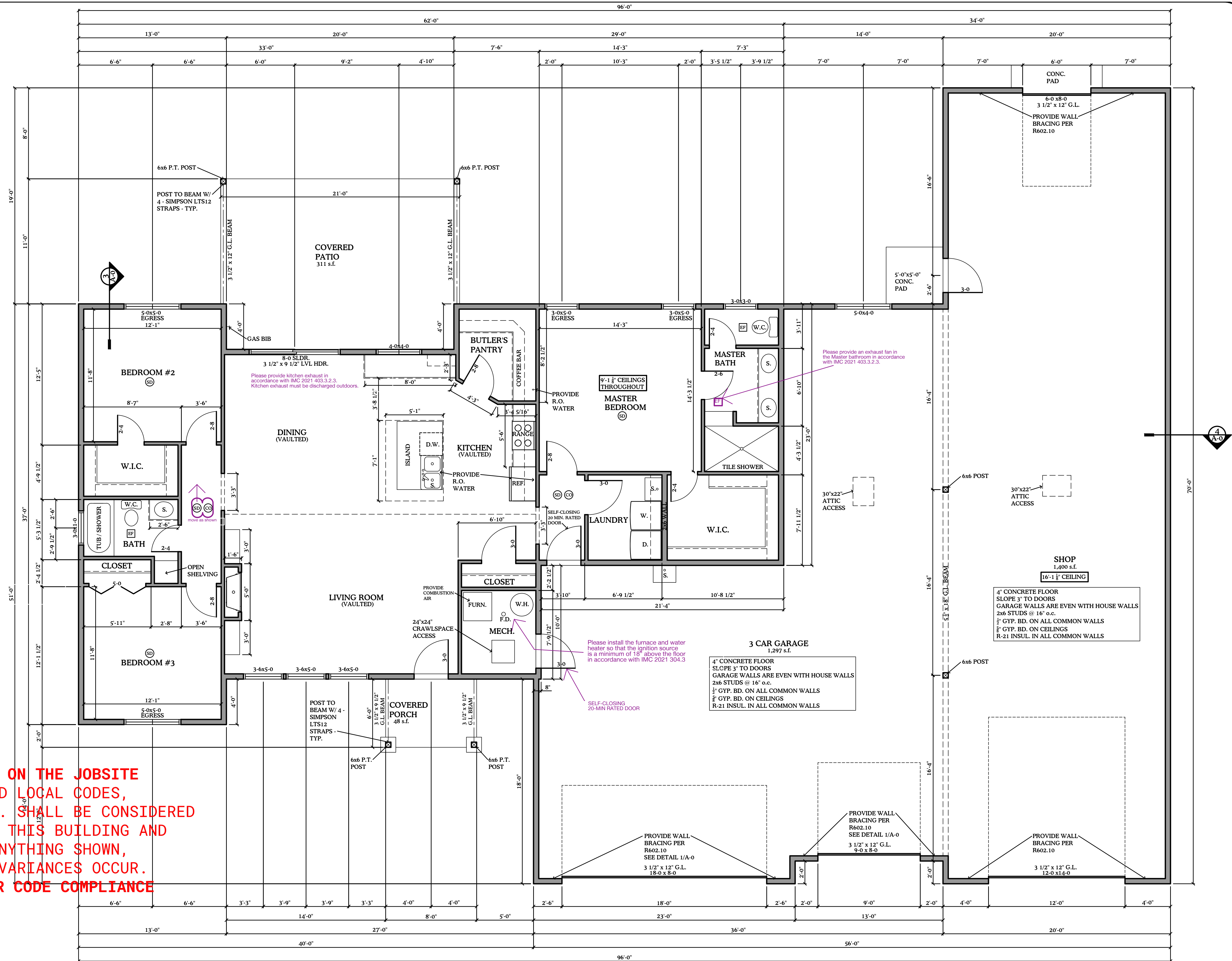
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 BP-24-03610
 Steve Haak

Please place smoke alarm 3' from
 the bathroom opening or door, in
 accordance with R314.3.4.
 Distance measured from the
 bathroom door or opening to the
 nearest edge of the smoke alarm.

Please provide a whole house mechanical exhaust fan at a
 minimum of 49 cfm in accordance with IMC 2021 R403.3.2.1.

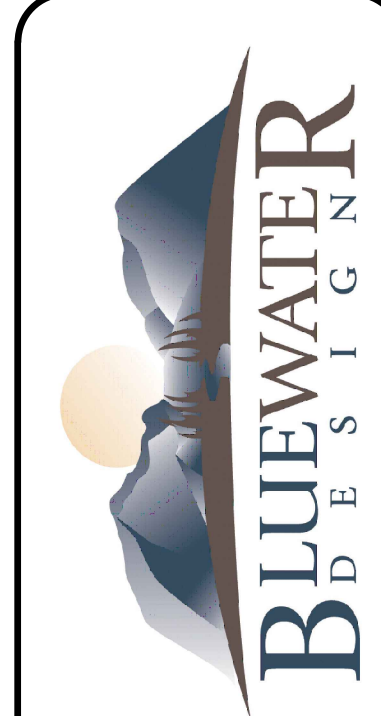
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REVIEWED FOR CODE COMPLIANCE

9/12/2024, 3:12:50 PM
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MAIN FLOOR PLAN 1,805 s.f.
 1/4" = 1'-0"

INFINITY HOMES - 2151 LAKE HILLS
 2151 LAKEHILLS DRIVE



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 travis@bluewaterdesignmt.com

DATE: **AUG. 29, 2024**

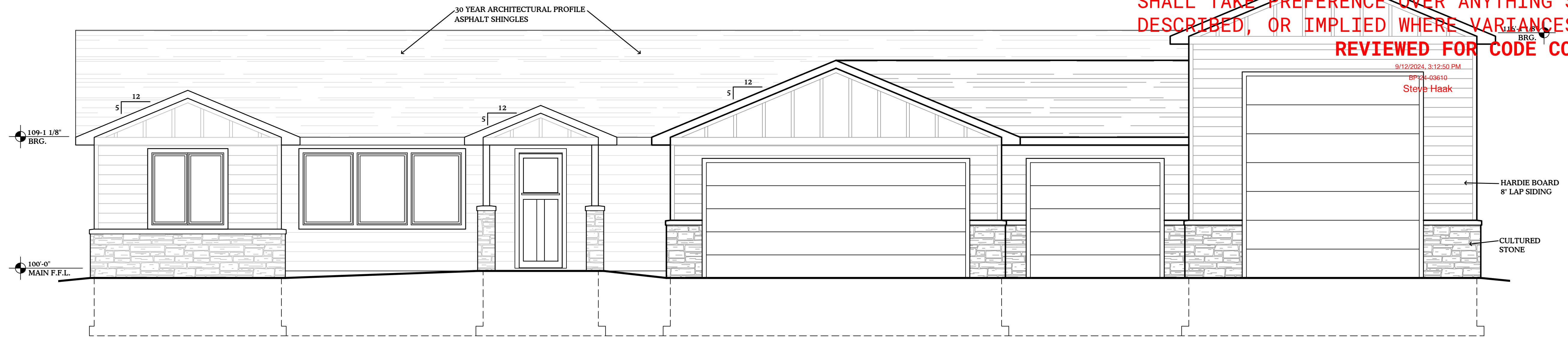
DRAWN BY: **TMM**

SHEET # **A-1**

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
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REVIEWED FOR CODE COMPLIANCE

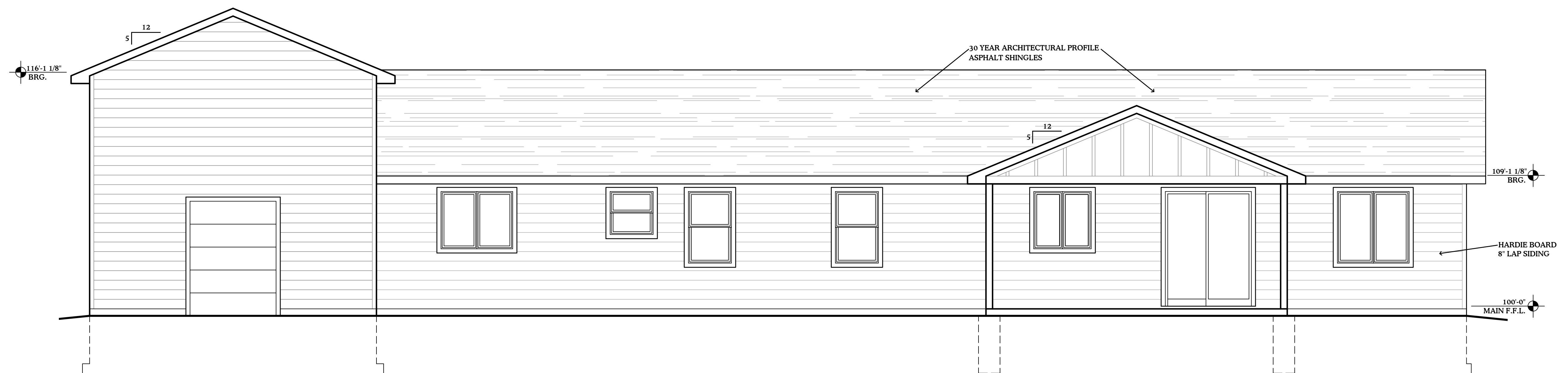
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 BP-24-03610
 Steve Haak



1 SOUTH ELEVATION
 1/4" = 1'-0"

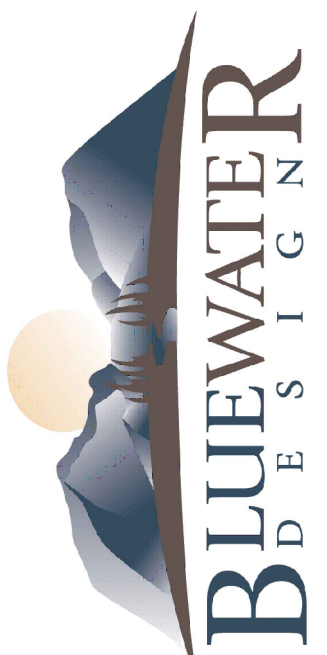
R609.4.1 Garage door labeling. Garage doors shall be labeled with a permanent label provided by the garage door manufacturer. The label shall identify the garage door manufacturer, the garage door model/series number, the positive and negative design wind pressure rating, the installation instruction drawing reference number, and the applicable test standard.

9/12/2024, 3:12:23 PM
 BP-24-03610
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2 NORTH ELEVATION
 1/4" = 1'-0"

INFINITY HOMES - 2151 LAKEHILLS DRIVE



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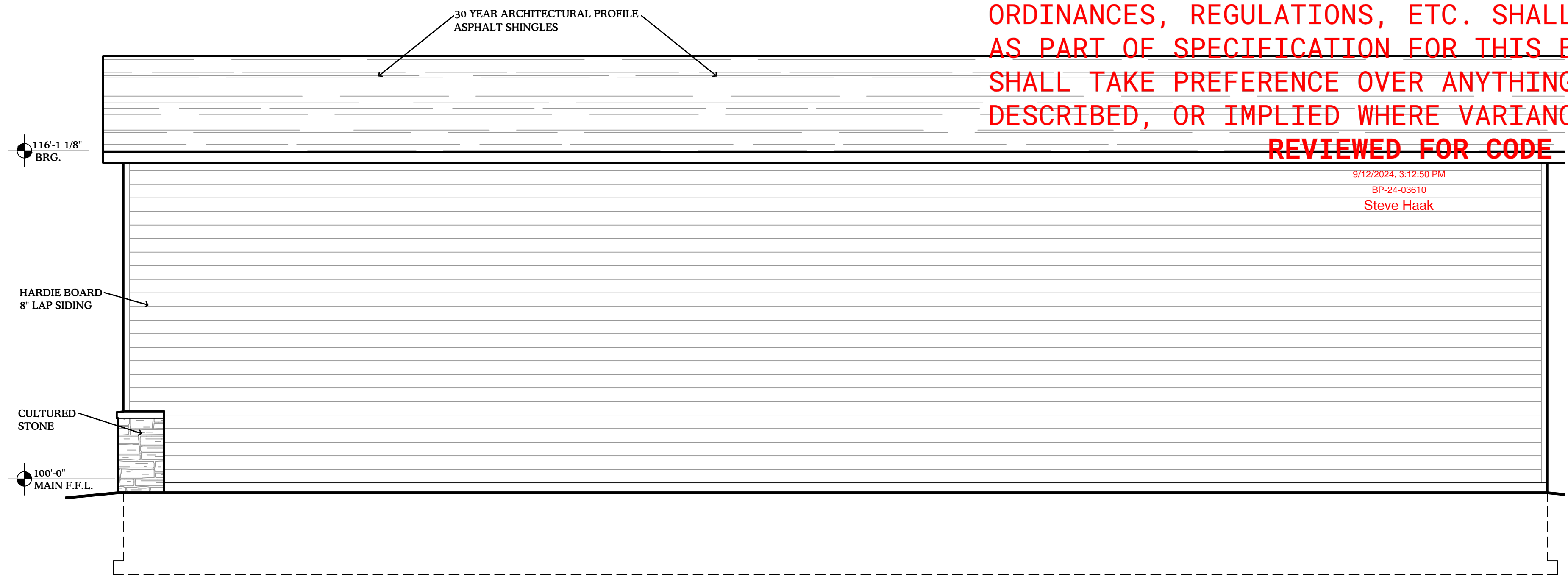
DATE: **AUG. 29, 2024**

DRAWN BY: **TMM**

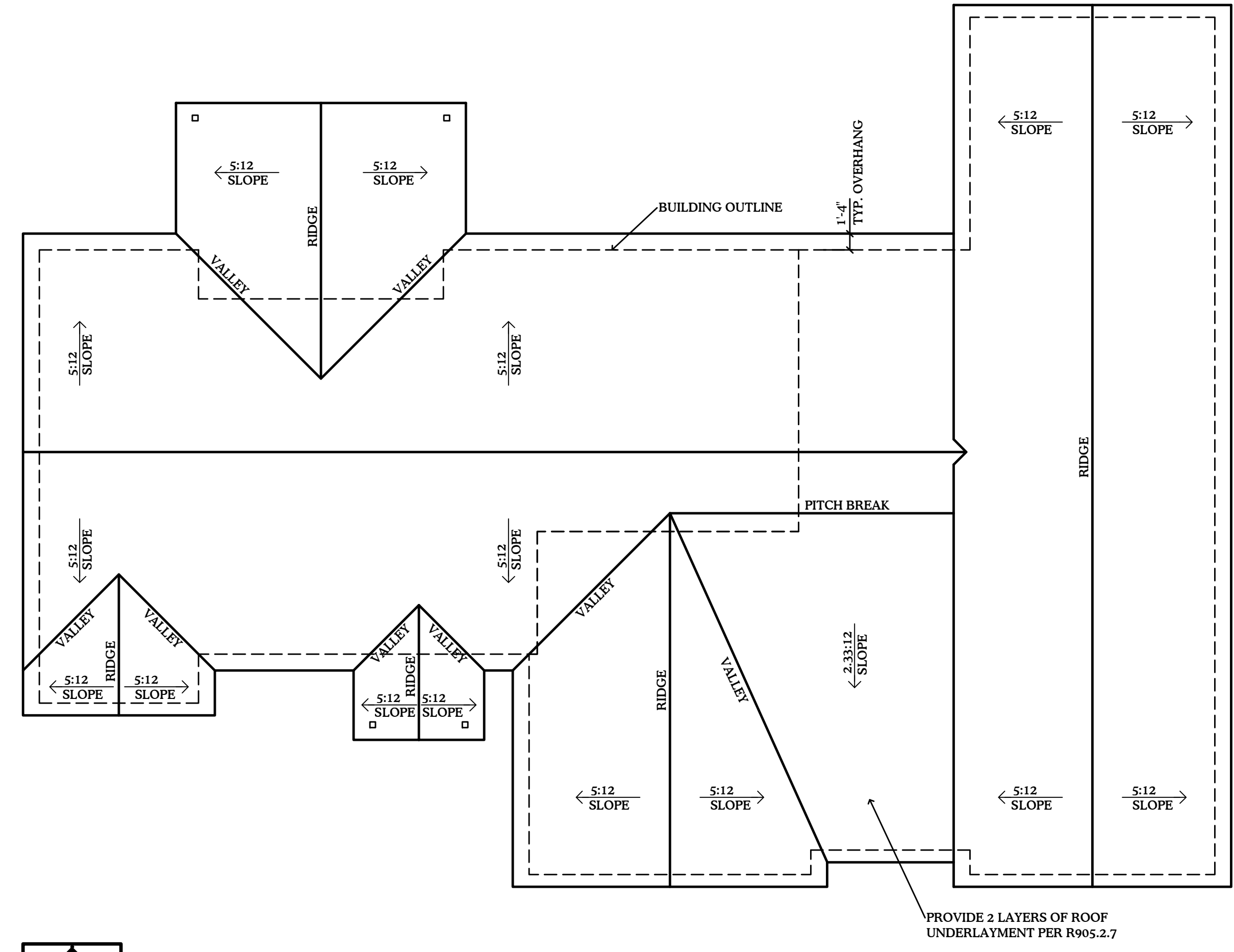
SHEET # **A-3**

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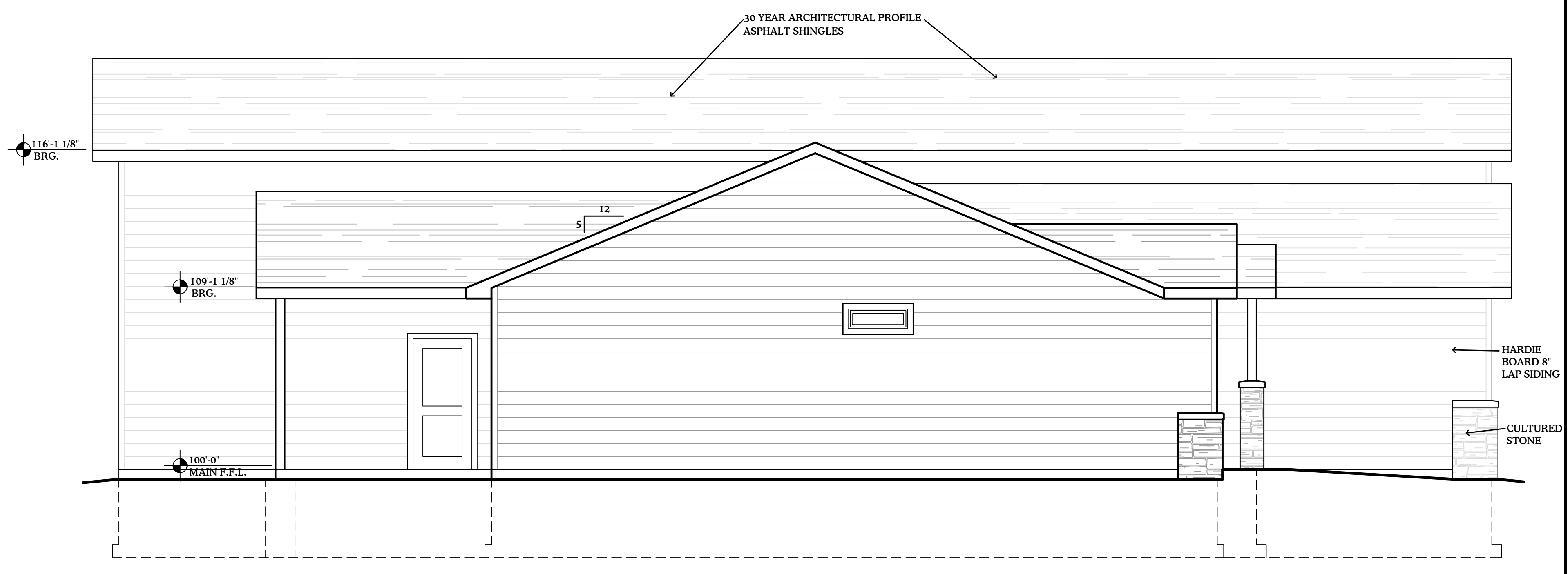


EAST ELEVATION
 1/4" = 1'-0"



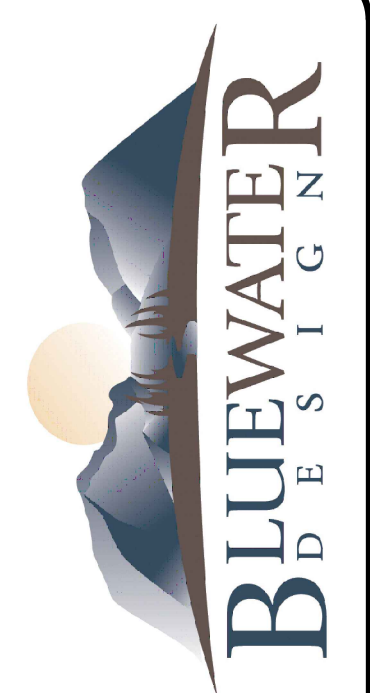
ROOF PLAN
 1/8" = 1'-0"

NOTE: PROVIDE ATTIC VENTILATION EQUAL TO 1/150 OF ATTIC AREA



WEST ELEVATION
 1/4" = 1'-0"

INFINITY HOMES - 2151 LAKE HILLS
 2151 LAKEHILLS DRIVE



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SHEET # **A-4**