



NOTICE TO THE PUBLIC

Citizens are invited to:

- Review the Agenda Packet on the City's website at: <https://ci.billings.mt.us/117/Agendas-Minutes>
- View the meeting live online at Facebook

Public comment will be taken only during the Public Comment periods as indicated on the agenda and during the Public Hearings, if any are scheduled, under the Regular agenda. Comments may be sent to the Board via email before 12:00 pm on the meeting date. All emails received prior to this time will be entered into the record for the public hearing. Comments may be submitted by:

- Mail: City/County Planning Division, PO Box 1178, Billings MT 59103
- Email: bernsb@billingsmt.gov
- NOTICE: All meetings and official activities of the MPO are held in buildings and locations that comply with accessibility standards according to the Americans with Disabilities Act (ADA). A TTY number for the hearing impaired, 406-657-3079, is available upon request. Special arrangements for participation in the public hearings by individuals with hearing, speech, or vision impairment may be made upon request at least three days prior to the hearing. Please notify the Planning Division Office, at 406-247-8610.

Call the meeting to order.

Introduction of City Board of Adjustment Members and Planning Department Staff.

Public Comment

Approval of Minutes:

Meeting Minutes of October 1, 2025

Disclosure of any Conflict of Interest-Members of the Commission and Staff

Disclosure of an Outside (Ex Parte Communication)-Members of the Commission and Staff

Regular Business:

- A. Opening of public hearings.
- B. Reading of rules for the procedure by which the public hearings will be conducted.
- C. Reading of notices of the public hearings on the following items:

Public Hearings:

- a. **City Variance 1387 - 615 S 27th St. - MHP security fence height** - - Allow an 8 foot chain link fence with barbed security wire in a P2 -- Montana Highway Patrol would like to construct an 8' chain link fence with security barbed wire on top within the required "building" setback in a Public, Civic Institution (P2) zone at 615 S. 27th St. Lots 1-24, Block 214, Billings Second Addition in S03, T01S, R26E, an approximate total of 83,937 sf. A variance request from Section 27-504, Table 27-500.1 side and rear setback of 10 feet applicable to any fence over 7 feet tall, Section 27-1209.C.2(b) any fence in excess of 6 feet in height must meet all yard setback requirements for structures as defined in the applicable zone district, and 27-1209.E.2(b) barbed wire is only permitted where an 8 foot fence is allowed. Tax ID: A01560 & A01554.

- b. **City Variance 1388 --3030/3032 Rosebud & 3020/3022 Rosebud Dr. -- Build to zone** - A variance from Section 27-305, Table 27-300.4 requiring a 10- 32 foot build to zone to allow a front build to zone of 10-45 feet in the Mid-Century Neighborhood (N2) zone, on Lots 9A Block 15, Lampman Subd. S12, T01 S, R25 E, a 10,481 square foot parcel of land & Lot 10A, Block 15, Lampman Subd. S12, T01 S, R25 E a 10,482 square foot parcel of land. The purpose of the variance is to allow the 2 unit residential dwellings proposed for the site in a build to zone at 10-45 feet on 2 parcels in the Lampman Subd. Tax ID: C07958 & C07959

Other Business/Announcements

Adjournment

Additional information on this application is available on-line at <https://www.billingsmt.gov/2361/Current-Zoning-Applications>

Public hearings are accessible to individuals with physical disabilities. Special arrangements for participation in the public hearings by individuals with hearing, speech, or vision impairment may be made upon request at least three days prior to the hearing. Please notify Brenda Berns, Planning Clerk at bernsb@billingsmt.gov or 406-247-8610

Date: 12/03/2025
Title:
Presented by:
Department: Planning & Community Services
Presentation:

Information

RECOMMENDATION

The minutes of the Board meeting of October 1, 2025

BACKGROUND (Consistency with Adopted Plans and Policies, if applicable)

ALTERNATIVES

City Council may:

- Approve; or,
- Not Approve

FISCAL EFFECTS

Attachments

Minutes of October 1, 2025



City Board of Adjustment

WEDNESDAY, October 1, 2025 AT 4:30pm

Board members		01/08/2025	02/05/2025	03/05/2025	04/02/2025	05/07/2025	06/04/2025	07/02/2025	08/06/2025	09/03/2025	10/01/2025	11/05/2025	12/03/2025	
Josh Sayer	Chairman	1	1	-	-	1	1	1	-	1	1			
Oscar Heinrich	Member	1	1	-	-	A	V	1	-	1	1			
George Warmer	Member	1	1	-	-	1	A	1	-	1	1			
Michael Bruschwein	Vice Chair	1	A	-	-	1	1	1	-	A	1			
Chris Hayes	Member	1	1	-	-	1	1	1	-	1	A			
Dave Hagstrom	Member	1	1	-	-	1	1	1	-	A	1			
Brian Roush	Member	1	1	-	-	1	1	A	-	A	1			
TOTAL NUMBER OF APPLICATIONS 2024		01/08/2025	02/05/2025	03/05/2025	04/02/2025	05/07/2025	06/04/2025	07/02/2025	08/06/2025	09/03/2025	10/01/2025	11/05/2025	12/03/2025	TOTAL
Variance		1	1	-	-	1	1	2	-	1	2			9
Appeal		-	-	-	-	-	-	-	-	-	-			0

Please note: "A" stands for excused absence, "1" stands for present, "V" stands for Zoom participation

Call the Meeting to Order: Chairman Sayer called the meeting to order at 4:30 PM.

Attending Staff:

Tate Johnson, Neighborhood Planner; Makayla Paul, Planner I; Brenda Berns, Planning Clerk

Public Comment

No members of the Public made comments.

Karen Husman read the rules for the Order of Hearings

Approval of Meeting Minutes – July 2, 2025 & September 3, 2025

Motion

Motion made by Board member Warmer, seconded by Board member Heinrich to approve the meeting minutes of July 2, 2025 and September 3, 2025 as submitted. Motion carries unanimously.

Disclosure of Ex Parte Communication – Board members and Staff

Disclosure of Ex Parte Communications – None

Disclosure of Site Visits – Board members Warmer, Roush, Heinrich visited site of Variance 1385
Board members Warmer, Heinrich visited site of Variance 1386

Disclosure of Conflict of Interest – Board member Heinrich recused himself from Variance 1385

Regular Business

Karen Husman, Zoning Coordinator, read the rules and procedures

Public Hearing

Chairman Sayer opened the Public Hearing.

City Variance 1385 – 5502 Grand Ave– Build to Zone - A variance from 27-407 Table 27-400-4.A.1-- Build to corner required; 27-400-4.A.4--Front lot line coverage of 90%; 27-400-4.A.5 --Front build to zone of 5-20 feet; 27-400-4.A.6 --Street Side Build to zone 5-20 feet; In the Neighborhood Mixed Use (NMU) zone to allow relief from the build to corner requirement in its entirety, allow relief from the 90% front lot line coverage to be within the requested 75 foot Front Build to zone, allow a front build-to zone of 75 feet from the property line adjacent to Chy Way frontage, and allow relief from the Street Side Build to zone to allow 35 feet from the existing easement along Grand Avenue, on MK SUB, BLOCK 1, Lot 3, 8), a 1.53 acre parcel of land. Tax ID: A31805B

Tate Johnson provided an overview of the requested variance at **5502 Grand Avenue**, including the purpose of the request, applicable zoning requirements, and how the proposal relates to the Build-to Zone and other site design standards. Mr. Johnson highlighted relevant considerations such as building placement, circulation for the drive-through, and frontage requirements, noting challenges posed by the site layout under current zoning regulations.

Recommendation

Planning Staff are recommending conditional approval based on draft findings of the review criteria for variances. In granting the variance the BOA may impose appropriate conditions as submitted by Staff.

Applicant Agent

Stephanie Donovan, AE Design – Ms. Donovan stated the variance request is based on four points outlined in the application, primarily related to the Build-to Zone requirements and site circulation for the drive-through. Due to the need for vehicles to circle around the building, compliance with the required 50–20 feet from the property line is not feasible. Additionally, because the building frontage faces Chy Way and the property length is substantial, the design cannot meet the 90% frontage requirement, nor is there a functional need for additional building space.

A board member commented that under the new zoning conditions, meeting frontage requirements on larger west-end sites may be challenging.

The agent agreed, noting that the current design constraints make compliance particularly difficult for a bank use, though the standards may work for retail or other business types. They added that they wish to avoid parking along Grand Avenue and to maintain convenient pedestrian access to the building entrance.

The Public Hearing was closed.

Motion

Motion made by Board member Hagstrom, seconded by Board member Warmer to approve Variance 1385 with staff recommendations and findings of fact and conditions of approval. The motion carries unanimously with the four voting members; Variance 1384 is approved.

City Variance 1386-- 3320 Poly Drive – Allow a detached accessory structure in the front yard - A variance from Section 27-305, Table 27-300.4 – A.7 (Rear Yard Location for Accessory Building) in a Suburban Neighborhood (N3) zone, on C.O.S. 67, PARCEL 2B, & 2C 2ND AMD(AKA MONSMA ACRES), an 23,501square foot parcel of land. The purpose of the variance is to allow construction of a detached garage on the front of the lot. Tax ID: A11055

Tate Johnson provided an overview of the requested variance at **3320 Poly Drive**, including the purpose of the request and applicable zoning requirements. Ms. Johnson highlighted relevant site considerations, such as building placement, lot dimensions, and compliance with setback and frontage standards. Mr. Johnson also noted any challenges or constraints presented by the property and discussed how the proposed variance aligns with staff recommendations and applicable policies.

Recommendation

Planning staff are recommending conditional approval based on draft findings of the review criteria for variances. In granting the variance the BOA may impose appropriate conditions as submitted by Staff.

Questions

The board inquired as to the placement of the detached accessory structure in the front yard to include a portion of the grass area. Staff advised the front of the house and patio is blocking any other available location for the structure.

Applicant

Crystal Demis, 3320 Poly Drive: Ms. Dennis affirmed that the front section of the property includes the front door and concrete patio. A large evergreen tree has been removed, allowing space for the requested accessory building.

The Public Hearing was closed.

Motion

Motion was made by Board member Heinrich, seconded by Board member Bruschwein to approve Variance 1386 with staff recommendations and findings of fact, and conditions of approval. The motion carries unanimously. Variance 1386 is approved.

Other Business

Karen Husman advised the board that there are no variances for next month.

ADJOURNMENT: The meeting adjourned at 4:54PM

Brenda J Berns, Planning Clerk

Board of Adjustment

Date: 12/03/2025
Title: City Variance 1387- 615 S 27th St. -DOJ Fence Height
Presented by: Karen Husman
Department: Planning & Community Services
Presentation: Yes

Information**RECOMMENDATION**

Planning staff recommends conditional approval of Variance 1387 and adoption of the findings of the review criteria.

BACKGROUND (Consistency with Adopted Plans and Policies, if applicable)

Variance 1387 is a request to construct an 8' chain link fence with security barbed wire on top within the required "building" setback in a Public, Civic Institution (P2) zone. A variance request from Section 27-504, Table 27-500.1 side and rear setback of 10 feet applicable to any fence over 7 feet tall, Section 27-1209.C.2(b) any fence in excess of 6 feet in height must meet all yard setback requirements for structures as defined in the applicable zone district, and Section 27-1209.E.2(b) barbed wire is only permitted where an 8 foot fence is allowed on Lots 1-24, Block 214 Billings Second Addition in Section 3, Township 1 south, Range 26 east, an approximate total of 83,937sqft and addressed as 615 S. 27th St. Tax ID: A01560 and A01554.

This area of Billings is along an arterial corridor with a mix of zoning and use types, including the Montana Womans prison to the southeast, and a senior living facility to the west. The surrounding zoning is a mix of commercial types, limiting residential uses in the vicinity. The property located south at 701 S. 27th St. houses the Womans Correctional Facility and was granted a variance with Land Use Contrary to Zoning (LUCZ) for an 8+ foot fence in 2011, for security. The youth treatment center at the same location was also granted LUCZ for a fence height greater than 6 feet in 1985.

Although the MHP location is a Public zoned parcel of land, because the State of Montana does not own the land, this application is not eligible for LUCZ, and must go through the variance application process to apply for a fence height allowance of 8+ feet.

With this adjacent property allowance of an increased fence height and the need for increased security in this area of Billings, the request for an 8-foot fence is inline with the intent of the zoning regulations for granting variances.

APPLICATION DATA

OWNERS: VTR Properties, LLC
AGENT: Todd Reichenbach, manager
PURPOSE: Allow 8+ foot security fence
LEGAL DESCRIPTION: Block 214, Lots 1-24, Billings Second Addition
ADDRESS: 615 S 27th St.
EXISTING LAND USE: Montana Hwy Patrol, Offices
PROPOSED LAND USE: Same
EXISTING ZONING: P2

CONCURRENT APPLICATIONS

None

APPLICABLE ZONING HISTORY

See attachments

SURROUNDING ZONING & LAND USE

NORTH: Zoning: DX- Downtown Support
Land Use: Vacant land and a single family dwelling
SOUTH: Zoning: P2 -Public, Civic and Institutions
Land Use: Womans Correctional Facility
EAST: Zoning: CX- Heavy Commercial
Land Use: Single family residential & small commercial warehouse
WEST: Zoning: DX
Land Use: Nursing home

STAKEHOLDERS

Planning staff has not received any comments on the application as of the date of this report. The Board of Adjustment will hold a public hearing prior to acting on the request.

The applicant is requesting approval to install an 8-foot security fence with barbed wire extending above the fence height. The intent is to enhance security for Montana Highway Patrol (MHP) vehicles and staff parking. The request is driven by a notable increase in vandalism and theft in the parking area, which has resulted in vehicle damage and loss of evidence related to ongoing investigations.

This variance application is being processed alongside an approved encroachment permit from the City Engineering Division, allowing the alley between the two parking areas to be secured with gates. The property is currently leased by the MHP/State of Montana, and as a condition for the State to renew its lease with VTR Properties, the installation of the proposed security fencing is required.

ALTERNATIVES

The Board of Adjustment may:

- Conditionally approve Variance 1387 and adopt the recommended findings of the review criteria as recommended by staff; or
- Approve Variance 1387 and adopt the recommended findings of the review criteria; or
- Deny Variance 1387 and adopt different findings of the review criteria; or
- Delay action on Variance 1387 to the next scheduled Board meeting; or
- Allow the applicant to withdraw.

FISCAL EFFECTS

There will be no financial impact on the Planning Division's budget with the approval or denial of the requested variance.

SUMMARY

Prior to approval, the Board of Adjustment shall ensure that the determinations for variances (Sec. 27-1627.D and E.), as outlined below, have been satisfied:

Section 27-1627.D1

1) That special conditions and circumstances exist which are peculiar to the land, the lot or something inherent in the land which causes the hardship, and which are not applicable to other lands in the same district;

There are not any special features in this situation other than the non-existence of necessary security. A six-foot fence does not give the security that is required for this facility to renew the lease for the land. If the lease is not allowed to renew, it would cause MHP an unnecessary hardship, as it would have to relocate the facility to a different location.

2) That a literal interpretation of the provisions of this Zoning Code would deprive the applicant of rights commonly enjoyed by other tracts in the same district;

There have been four other fence height variances granted in Billings for residential fences with topographical hardships, and there have been higher fence heights approved using Land Use Contrary to Zoning for the Womans Correctional facility to the southwest for an 8 foot security fence, and the youth treatment center at the same location was also granted LUCZ for a fence height greater than 6 feet.

3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this Zoning Code to other land in the same district;

The variance will not allow the applicant any special privileges. The circumstances in this situation show the eight foot fence would allow the applicant the same security as other properties that have the same grade level, and have been approved for an eight foot fence with similar site use characteristics by public agencies.

4) That the granting of the variance will be in harmony with the general purpose and intent of this Zoning Code and with the growth policies;

Approval of this variance request is consistent with the goals of the 2016 Growth Policy. Continued investment in and protection of the property supports a use that is compatible with the surrounding neighborhood. The variance is also in harmony with the general purpose and intent of the Zoning Regulations, which emphasize the promotion of public health, safety, and general welfare as outlined in the Growth Policy. The requested variance would allow the installation of an eight-foot fence within the required setback from the property line while maintaining full compliance with all clear-vision standards at intersections and driveways.

Board of Adjustment Review and Decision Making (BMCC 27-1627.E)

1) Whenever the City Board of Adjustment grants an application for a variance, the minutes shall specifically state the criteria upon which the variance is granted.

The minutes will reflect any Board of Adjustment findings and criteria.

2) In granting any variance, the BOA may prescribe appropriate conditions and safeguards in conformity with this Zoning Code. Violation of such conditions and safeguards, when made a part of the terms upon which the variance is granted, shall be deemed a violation of this Zoning Code.

Staff is recommending the following conditions for the variance request:

1. The variance to allow an 8' chain link fence with security barbed wire on top within the required "building" setback in a Public, Civic Institution (P2) zone. A request from Section 27-504, Table 27-500.1 side and rear setback of 10 feet applicable to any fence over 7 feet tall, Section 27-1209.C.2(b) any fence in excess of 6 feet in height must meet all yard setback requirements for structures as defined in the applicable zone district, and 27-1209.E.2(b) barbed wire is only permitted where an 8 foot fence is allowed. No other variance is intended or implied with this approval.
2. The fence shall be placed as depicted on the site plan submitted with this application, and adhering to all clear vision areas that apply.
3. The fence shall be coated black or painted black in color to reduce the visual impact, and mitigate glare or reflection, that it will create along South 27th Street and for the properties to the north and east of the subject property.
4. The variance is limited to, 615 S. 27th St., Lots 1-24, Block 214, Billings Second Addition (including adjacent alley) in S03, T01S, R26E, an approximate total of 83,937 sf.
5. The applicant shall meet all other city code requirements with the exception of this variance.
6. The applicant must submit and receive approval of a fence permit within six months of approval of this variance, and complete construction within one year.
7. These conditions of variance approval shall run with the land described in this authorization and shall apply to all current and subsequent owners, operators, managers, lease holders, heirs and assigns.

3) The BOA shall prescribe a time limit within which the action for which the variance is required shall be begun or completed, or both. Failure to begin or complete such action within the time limit set shall void the variance.

The property owner must submit and receive approval of a fence permit within six months and shall complete construction of the new fence within one year of approval of this variance.

4) Under no circumstances shall the BOA grant a variance to allow a use not permissible under the terms of this chapter in the district involved. A variance shall not be a grant of special privilege inconsistent with limitations placed upon other property in the district.

The granting of this variance would not allow a use that is not allowed in the zoning district -- fences are allowed in the district.

Attachments

Zoning Map & Site Photos
Application & Applicant Letter
Site Plan

Zoning Map & Site photos









CITY VARIANCE APPLICATION FORM

CITY VARIANCE : Billings Variance # _____ **- Project #** _____

The undersigned as owner(s) of the following described property hereby request a Variance from the terms of the City of Billings Zoning Regulations.

PARCEL TAX ID # A01560, A01554 CITY ELECTION WARD # 1

Legal Description of Property: Billings Second Addition, S03, T01 S, R26 E, Block 214, Lots 1-24

Address or General Location (If unknown, contact City Engineering): 615 S 27th St

Zoning Classification: P2- Public, Civic Institutions

Size of Parcel (Area & Dimensions): 83,937 sq ft

Variance(s) Requested: To allow installation of an 8' chain link fence with security barbed wire on top with a portion of the fence having privacy slats.

Fence to enclose North portion of existing parking lots. Fencing required to provide safety to MHP Troopers & staff and provide security from vandalism.

Facts of Hardship: (attach letter)

*** Additional information may be required as determined by the Zoning Coordinator in order to fully evaluate the application.

Owner(s): VTR PROPERTIES LLC

(Recorded Owner)

214 Pine Haven Trail, Billings, MT 59105

(Address)

406-698-7764 pyrofx.mt@gmail.com

(Phone Number) (email)

Agent(s): Todd Reichenbach, manager

(Name)

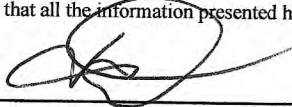
216 Pine Haven Trail, Billings, MT 59105

(Address)

406-698-7764 pyrofx.mt@gmail.com

(Phone Number) (email)

I understand that the filing fee accompanying this application is not refundable, that it pays for the cost of processing, and that the fee does not constitute a payment for a Variance. Also, I attest that all the information presented herein is factual and correct.

Signature:  MANAGER - VTR PROPERTIES Date: 10/16/2025

(Recorded Owner – digital signature allowed)

VTR PROPERTIES LLC

214 Pine Haven Trail

Billings, MT 59105

Attn: City Board of Adjustment

VTR PROPERTIES is the owner of the property located at 615 S 27th St., which is leased to the Montana Department of Justice- Montana Highway Patrol. The MHP has been operating in this area since 1998. Recently, safety concerns for both Troopers and staff, as well as the security of vehicles, have escalated. The rise in local crime and vandalism has necessitated enhanced security measures. To address these issues, the MHP requires a fence around their parking area to ensure the safety and security of their personnel and vehicles.

Recent vandalism incidents have affected both evidence vehicles and new patrol cars awaiting deployment. The proposed solution is a chain link fence with a height of 8 feet, featuring security wire at the top and privacy slats on the eastern side of the parking lot. This design requires a variance from the city's regulations.

The use of the property will remain consistent, with the exception that the MHP may temporarily store vehicles involved in crashes as evidence. The surrounding area is a mix of uses, including The Montana Woman's Prison (with a 12-foot fence), commercial properties, industrial properties with chain link fencing, two residential properties, and city-owned vacant lots adjacent to the Department of Justice property.

I kindly request your approval of this variance to allow for the construction of this essential security fence, which will better protect the MHP staff and Troopers as they serve the citizens of Billings and its surrounding areas.

Respectfully submitted,



Todd Reichenbach

Manager VTR PROPERTIES LLC

**STATE OF MONTANA
DEPARTMENT OF JUSTICE
MONTANA HIGHWAY PATROL DIVISION
18 TROOPER DR. BOULDER, MT 59632**

**AUSTIN KNUDSEN
ATTORNEY GENERAL**

**PHONE: 406.444.3780
FAX: 406.444.4169**



Billings City Council
P.O. Box 1178
Billings, MT 59103

October 6th, 2025

Dear City Council,

The Montana Highway Patrol, District IV Office, is located at 615 A, South 27th Street, Billings, MT 59101. We are requesting permission to close the ally behind the office and install fencing around the north side of the building and a portion of the parking lot. This is necessary for several reasons.

The first and most important reason is for officer safety. In recent years, several homicides, shootings, stabbings and other violent offenses have occurred within blocks of our location. Furthermore, according to the Fraternal Order of Police, ambush style attacks on law enforcement are on the rise. According to CBS News, "At least 56 law enforcement officers have been shot in 45 ambush-style attacks in 2025 through July 31st." This fence would provide added security for troopers entering and exiting the premises and is essential in minimizing the threat of such an attack.

Secondly, it would provide security for state owned vehicles, property, and equipment. We regularly have several new patrol cars in the parking lot, waiting to be built by our radio technician. Similarly, we store our spare patrol cars, that are used by troopers when their assigned patrol cars are unavailable for a length of time due to service or repairs. In the past, we have had windshields shattered and gas syphoned from our patrol vehicles. This fence would deter such vandalism and would help ensure that our vehicles are not tampered with, which pose a substantial safety risk to the troopers that use them.

Lastly, it would provide a temporary secure storage location for vehicles held as evidence that were involved in fatal crashes or vehicles seized awaiting forfeiture.

Thank you for your consideration in this matter.

Respectfully,

A handwritten signature in black ink that reads "Eric Gilbert". The signature is written in a cursive style with a prominent loop at the end of the last name.

Captain Eric Gilbert
District IV Commander
Montana Highway Patrol

CITY OF BILLINGS
316 N. 26th St. - 5th Floor
BILLINGS, MT 59101
Office: (406) 657-8307
Fax: (406) 237-6291

ENG - OFFICE - ENCROACHMENT PERMIT
PERMIT # ENG-25-04429

Service Number: 3478900
Route Number: 032147
Location ID: 000001903
Tax ID: A01560

Date Issued: 10/08/2025
Job Address: 615 S 27TH ST
Subdivision Name: BSA BILLINGS SECOND ADD
Subdivision/Block/Lot: BSA/214/013-24

Owner: VTR PROPERTIES LLC
Email:
Contractor: OWNER

Water Meter Size: 1" METER
Water Service Line Size: WA SVC LINE 1 1/2"

Water Service Line Type: WA LINE PLASTIC
Water House Line Size: HOUSE LINE 1 1/2"

Project Name:
Description of Work: Fence gates at two locations

ENGINEERING NATURE OF WORK: VALID FOR 365 DAYS - CALL (1) BUSINESS DAY IN ADVANCE FOR INSPECTION

UTILITIES NATURE OF WORK: VALID FOR 90 DAYS - CALL (1) BUSINESS DAY IN ADVANCE FOR INSPECTION

FEES:	
ENG - 7 ENCROACHMENT PERMIT:	\$75.00
Total Fees:	\$75.00

Special Conditions:

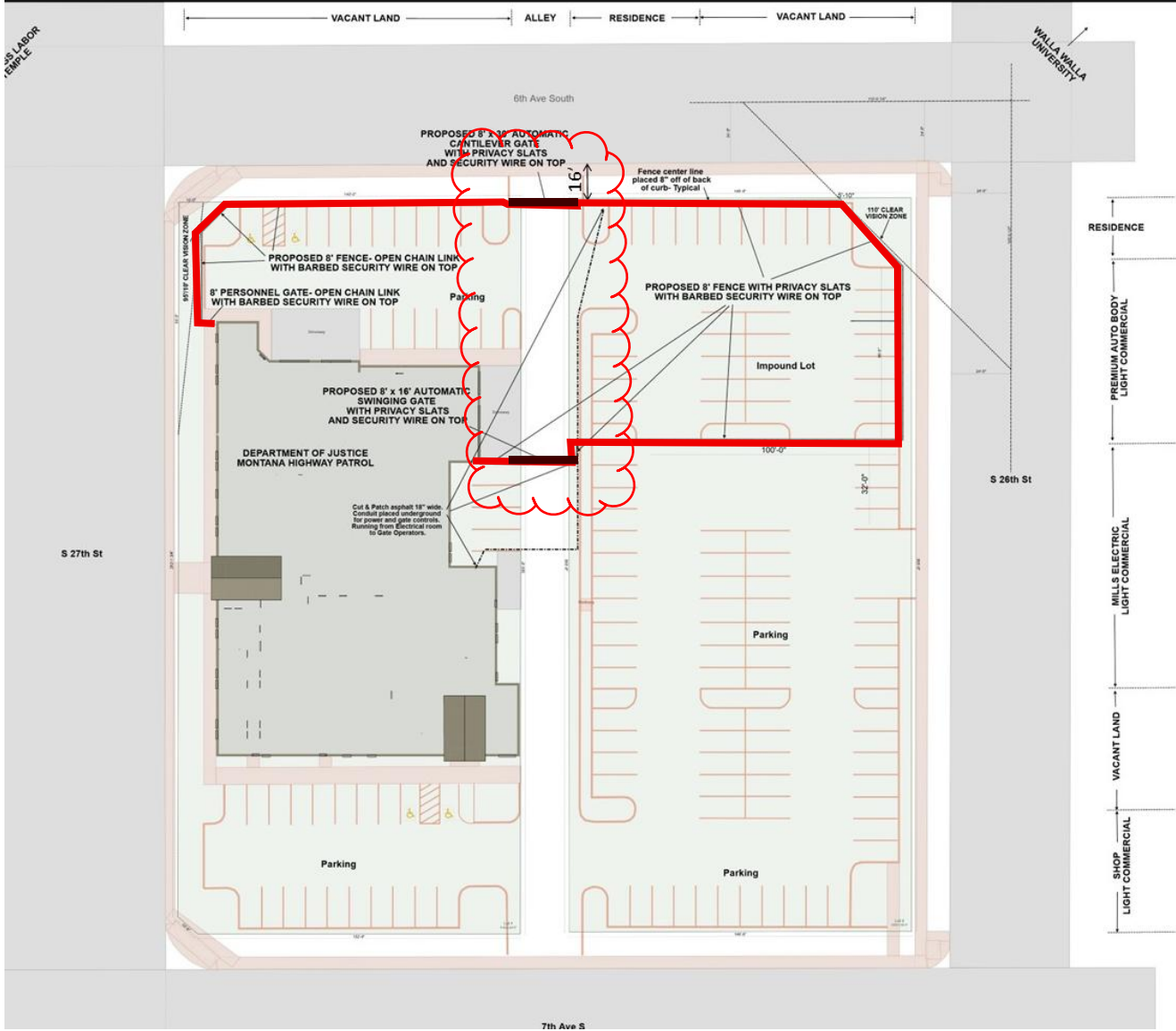
Dated _____ **Name of Company** _____

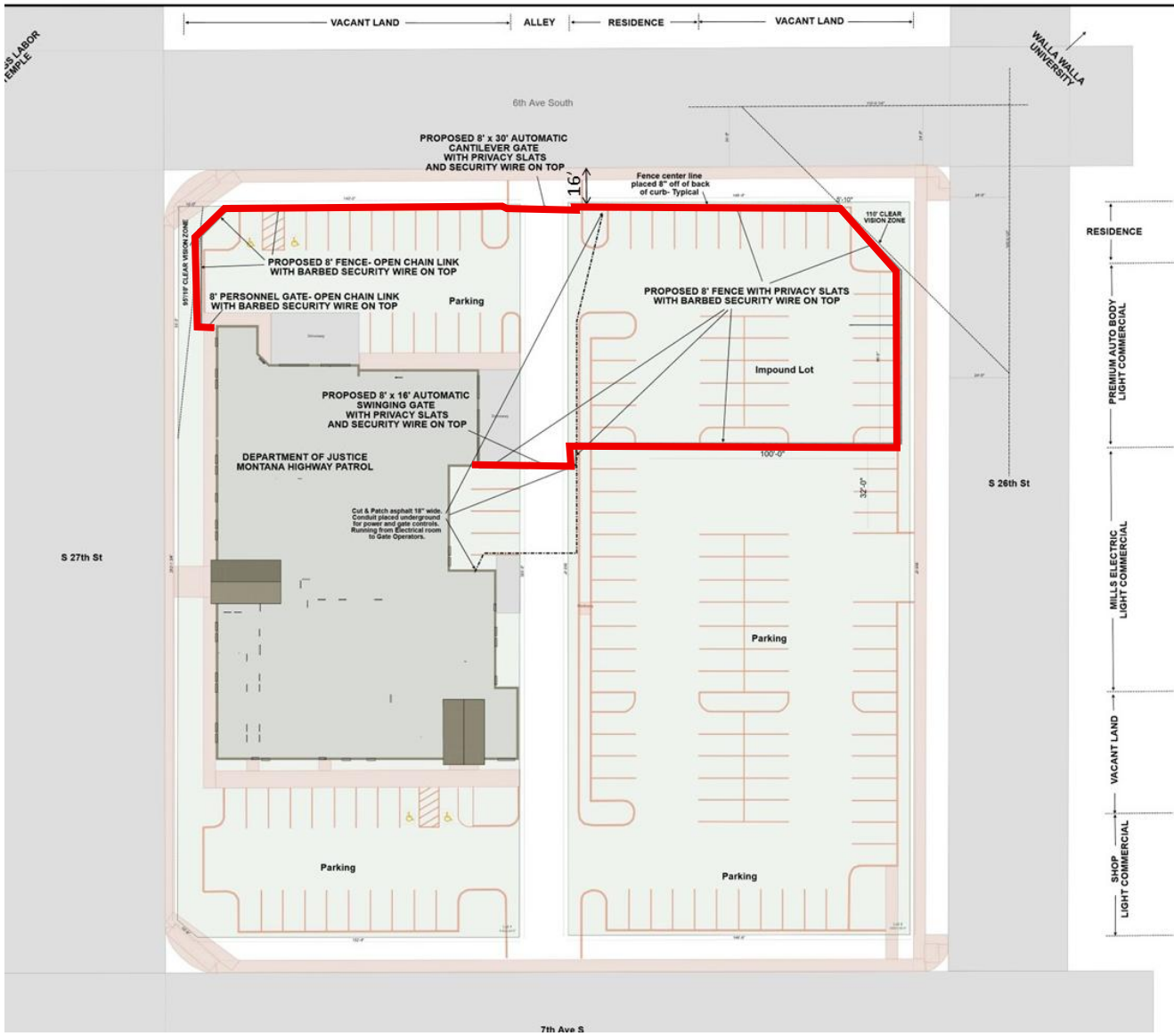
By _____ **Title** _____

The applicant hereby agrees that all work/installation/repair will be done in strict conformance with the city rules and regulations governing such work including the Montana Public Works Standard Specifications (MPWSS), Sixth Ed., April 2010 and the City of Billings Modifications to MPWSS, January 2021. Said Work will be done under and in accordance with all rules, regulations, and ordinances of the City of Billings, Montana, so far as said rules are applicable thereto. Applicant agrees to maintain work in a manner approved by the City. Applicant also hereby agrees and is bonded and held responsible to the owner for any and all damages to any other installation already in place as a result of work covered by this permit. Applicants to whom permits are issued shall at all times indemnify and save harmless the City of Billings, members of the City Council, the State of Montana, and all City and State employees, agents and officers from responsibility, damage, or liability arising from the exercise of the privileges granted in such permits.

- All work in the right of way will be signed pertaining to traffic control in accordance with "Manual of Uniform Traffic Control Devices."
- All attached special provisions and sketches are considered part of this permit and are therefore governed in accordance with the aforementioned.
- Contractor shall call all utilities before excavating.
- The City of Billings will locate and mark utility mains, but will not locate or mark water, sewer, or storm drain services. Permittee is responsible to locate any services crossed.
- Contractor shall pothole all service crossings and visually observe the service being crossed.

Right of Way Permits: Please call (406) 657-8307 and request an inspection (1) business day in advance. This permit is valid for 365 days.







MONTANA HIGHWAY PATROL
615 S 27th St, Billings, MT 59101
PROPOSED SAFETY FENCE
Renderings represent general fence locations. Fence will be 8' tall and all areas will have security wire on top.



Board of Adjustment

Date: 12/03/2025
Title: Variance 1388â€“3030/3032 Rosebud & 3020/3022 Rosebud Dr- Build-to Zone
Presented by: Karen Husman
Department: Planning & Community Services
Presentation: Yes

Information**RECOMMENDATION**

Planning staff recommends denial of Variance 1388 and adoption of the findings of the review criteria.

BACKGROUND (Consistency with Adopted Plans and Policies, if applicable)

This is a request to allow a variance from Section 27-305, Table 27-300.4 requiring a 10-32 foot front build-to zone to allow a front build to zone of 10-45 feet in the Mid-Century Neighborhood (N2) zone, on Lots 9-A and 10-A, Block 15, Amended Plat of Lots 7-11, Block 15 of Lampman Sub., S12, T01 S, R25 E. Lot 9-A is 10,481 square foot parcel of land & Lot 10-A is a 10,482 square foot parcel of land. The purpose of the variance is to allow the duplex residential dwellings proposed for the sites in a build-to zone at 10-45 feet.

The build-to zone, when required, is designated separately for each street frontage, front and street-side, in the site and structure regulations table for each district. Façade elements such as front door(s), windows on the ground floor and a percentage of the front façade must be within the build-to zone as shown in the site and structure regulations table for each district. The N2 zone district requires 60% of the front facade width, the front door, and the 60% of the ground floor window area within the front build-to zone. Build-to zones are ideal because they provide flexibility to allow for most types of site design characteristics, but enough predictability to make a street or neighborhood feel consistent.

The applicant applied for a building permit for 3030/3032 Rosebud with the front door located behind the required build to zone (at about 45 feet from the front property line) and was notified they had to make the correction with the front door between 10 and 32 feet. They made corrections depicting the front entrance and living space within what was originally part of the garage to accommodate this requirement. The permit was approved (copy in attachments) with these corrections, indicating the plans can be modified to accommodate the current code requirements.

Planning staff is recommending denial based on the findings of the variance criteria to increase the front build-to area to allow the front door and living area of a new residence to be more than 32 feet from the front property line.

APPLICATION DATA

OWNERS: Lais Development, LLC
AGENT: Barbara Hawkins
PURPOSE: Allow build to zone 10- 45 feet.
LEGAL DESCRIPTION: Lots 9-A & 10-A, Block 15, Lampman Sub.
ADDRESS: 3030/3032 and 3020/3022 Rosebud Dr.
EXISTING LAND USE: Vacant
PROPOSED LAND USE: Residential two-family
EXISTING ZONING: N2

CONCURRENT APPLICATIONS

None

APPLICABLE ZONING HISTORY

See attachments

SURROUNDING ZONING & LAND USE

NORTH: Zoning: Mid-Century Neighborhood Residential (N2)
Land Use: Residential single family
SOUTH: Zoning: Corridor Mixed-Use 1 (CMU1) & Corridor Mixed-Use 2 (CMU2)
Land Use: Bank and Auto sales lot
EAST: Zoning: N2
Land Use: Residential single family
WEST: Zoning: N2

Land Use: Residential single family

STAKEHOLDERS

Planning staff notified adjacent property owners within 150 feet by mail, posted the property, and published the legal ad as required. As of the date of this staff report, one phone call was received regarding the variance. The resident was concerned about the development of the duplexes and had comments on the existing duplexes being unsafe and rundown. The Board of Adjustment will hold a public hearing prior to acting on the request.

ALTERNATIVES

The Board of Adjustment may:

- Approve the requested Variance 1388 and amend the findings of fact for the criteria with conditions;
- Approve the requested Variance 1388 and amend the findings of fact for the criteria with no conditions;
- Deny the requested Variance 1388 and adopt the staff recommended findings of fact of the criteria;
- Allow the applicant to withdraw the variance request; or
- Delay action on the variance application to a future Board of Adjustment meeting.

FISCAL EFFECTS

Approval or denial of the proposed variance will have no effect on the Planning Division budget.

SUMMARY

Before granting the requested variance, the Board of Adjustment shall consider the findings of the review criteria (Sec 27-1627.D)

1) That special conditions and circumstances exist which are peculiar to the land, the lot or something inherent in the land which causes the hardship, and which are not applicable to other lands in the same district.

No special circumstances have been identified for this request beyond the applicant's preference to construct a duplex with front doors located outside the required 10--32-foot build-to zone. The applicant has not demonstrated a property-related hardship and instead proposes to place the primary entry approximately 45 feet from the front property line, with the garage projecting in front of the entry. As proposed, the structure cannot meet the build-to zone requirements, as the front door location, the required 60% ground-floor window area, and 60% of the front façade would be situated too far from the front property line. The dwelling can be designed to comply with the existing zoning regulations (as demonstrated by the approved building permit the applicant received after modifying the design), and there are no topographical or other site constraints that would prevent compliance.

2) That a literal interpretation of the provisions of this Zoning Code would deprive the applicant of rights commonly enjoyed by other tracts in the same district.

Approval of the variance would grant the applicant a privilege not commonly enjoyed by other properties in the same zoning district. While variances for build-to zones have been approved within the City in the past on Lots 5, 6, 10, and 11, Block 1 of the Founders Park Subdivision, those approvals were based on demonstrated hardships related to lot size and shape of the parcels. Other variances granted in comparable districts were approved under the previous zoning code and were primarily related to lot coverage and setback standards (see attached history for additional information).

A literal interpretation of the zoning provisions would not deprive the applicant of rights commonly enjoyed by other properties in the district. Therefore, denial of a variance to allow a build-to zone of 10--45 feet would not constitute a deprivation of rights. Development on other lots within this subdivision has proceeded in accordance with zoning requirements. On this block of Rosebud, six single-family homes and two duplexes have been constructed, all prior to 2020, and all in compliance with the zoning regulations in effect at the time. The single-family homes generally reflect the intent of the current zoning code as well. Of the eight existing dwellings, three have entrances located approximately 30 feet from the front property line, consistent with current requirements. The remaining five structures appear to have the front entrance set back approximately 40 feet, placing them closer to compliance than the applicant's requested 10--45 foot build-to range. Multiple vacant parcels on this block also remain capable of meeting the current zoning code and the intent of the build-to zone.

3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this Zoning Code to other land in the same district.

Consistent with the analysis in Criteria 2, denial of the requested variance for a 10--45 foot build-to zone would not confer a special privilege. Although several existing structures in the subdivision do not meet current build-to requirements, this does not establish a basis for extending nonconforming development patterns. No variances for build-to zone standards

have been granted in this subdivision or in surrounding neighborhoods. Approving the applicant's request would therefore grant a special privilege not afforded to other properties within the same zoning district and would be inconsistent with the intent of the code.

4) That the granting of the variance will be in harmony with the general purpose and intent of this Zoning Code and with the growth policies.

The requested variance is not in harmony with the general purpose and intent of the zoning regulations or the Growth Policy. While the existing residential structures in the subdivision do not fully conform to current standards, this does not justify a variance from the current zoning standards, as those structures were built prior to the zoning code regulation changes. In fact, the existing homes are generally closer to meeting current code requirements than the applicant's proposal, which would place the primary entrance approximately 45 feet from the front property line.

The variance would not support the intended development pattern of the N2 zoning district, which emphasizes walkable, pedestrian-oriented residential neighborhoods. The proposed structure is out of character with the surrounding development pattern. Evaluating a single structure for full Growth Policy compliance is challenging; however, the Growth Policy prioritizes the development of strong, safe neighborhoods. A design that does not comply with zoning requirements and features a prominent garage with a recessed front entrance significantly behind the front façade can create conditions that are less desirable from a neighborhood safety and design standpoint.

SECTION 27-1627.E

1.) Whenever the City Board of Adjustment grants an application for a variance, the minutes shall specifically state the criteria upon which the variance is granted.

Minutes will be recorded in the permanent file when completed.

2.) In granting any variance, the Board may prescribe appropriate conditions and safeguards in conformity with this Chapter. Violation of such conditions and safeguards, when made a part of the terms upon which the variance is granted, shall be deemed a violation of this Chapter;

If the Board chooses to approve Variance #1388, Staff is recommending the following conditions for the variance request;

1. The variance is to allow a variance from Section 27-305, Table 27-300.4 requiring a 10- 32 foot build to zone to allow a front build to zone of 10-45 feet. No other variance is intended or implied with this approval.
2. The variance is limited to Block 15, Lots 9A & 10A, Lampman Subdivision.
3. The site will be developed in substantial conformance to the site plan submitted.
4. The applicant shall meet all other city code requirements with the exception of this variance.
5. The property owner must submit and receive approval of building permits within 1 year of approval of this variance, and complete construction on the lots within 2 years.
6. Failure to complete the requirements of these conditions shall void the variance.
7. These conditions of variance approval shall run with the land described in this authorization and shall apply to all current and subsequent owners, operators, managers, lease holders, heirs and assigns.

3.) The Board shall prescribe a time limit within which the action for which the variance is required shall be begun or completed, or both. Failure to begin or complete such action within the time limit set shall void the variance; and

There would be no time limit with a recommendation of denial. If approved, the property owner must submit and receive approval of building permits within 1 year of approval of this variance, and complete construction on the lots within 2 years.

4.) Under no circumstances shall the Board grant a variance to allow a use not permissible under the terms of this Chapter in the district involved. A variance shall not be a grant of special privilege inconsistent with limitations placed upon other property in the district.

Granting this variance will not approve a use that is not otherwise allowed in the N2 zoning district. Single family and two family residential structures are allowed in the N2 zone district.

Attachments

Zoning Map & Site Photos
Application & Applicant Letter
History
Site Plan rendering
Approved Permit for 3030/3032



North



East



West



Existing homes



CITY VARIANCE APPLICATION FORM

CITY VARIANCE : Billings Variance # _____ **- Project #** _____

The undersigned as owner(s) of the following described property hereby request a Variance from the terms of the City of Billings Zoning Regulations.

PARCEL TAX ID # C 07958+C07959 CITY ELECTION WARD # 5

Legal Description of Property: LOTS 9A+10A Block 15, Lampman Sub. Subdivision

Address or General Location (If unknown, contact City Engineering): 3030 & 3032 Rosebud Drive & 3020 & 3022

Zoning Classification: N2 - Mid Century Neighborhood

Size of Parcel (Area & Dimensions): 10,481 sq. ft.

Variance(s) Requested: To Change the Build to Zone of 10-32 Feet to 10-45 feet to match neighboring structures

Facts of Hardship: (attach letter) New zoning does not allow structures to be built matching style of neighboring structures

*** Additional information may be required as determined by the Zoning Coordinator in order to fully evaluate the application.

Owner(s): Lais Development, Inc
(Recorded Owner)

3307 Grand Ave, Ste 103A, Billings, MT
(Address)

406-672-6151 Lais Development@yahoo.com
(Phone Number) (email)

Agent(s): Barbara Hawkins
(Name)

3307 Grand Ave, Ste 103A, Billings, MT
(Address)

406-672-6151 Laisdevelopment@yahoo.com
(Phone Number) (email)

I understand that the filing fee accompanying this application is not refundable, that it pays for the cost of processing, and that the fee does not constitute a payment for a Variance. Also, I attest that all the information presented herein is factual and correct.

Signature: Barbara Hawkins Date: 10/31/25
(Recorded Owner – digital signature allowed)

Variance Request Parcels #C07958 & C07959

To: Variance Board

When the zoning was changed city wide, this property was zoned R-8000 which required a 20 foot front setback. We had already built multiple houses and duplexes on this street adjacent to these lots and across Rosebud from them. During the zoning changes this area was turned into zone N-2, (Mid-Century Residential) which does not allow us to continue building duplexes or housing similar to what is already surrounding this property.

The existing homes and duplexes in the neighborhood that are already built are not mid-century style. They are contemporary in both roof and home material design.

The biggest issue with the requirement of N-2 zoning that is requiring us to apply for this variance is the 10-32 foot build to zone which requires 60% of the front to be windows and doors.

In order to match the existing homes and duplexes with a 20 foot setback the front door and windows end up being behind the 32 feet from the property line requirement. These are all deep lots in the 120 - 125' deep range. All of the existing homes and duplexes have their garages in front and nicely landscaped and functional front yards with good size back yards to the alleys.

We have contracts for the two duplexes to be built on the lots where we are requesting the variance and want to match the driveway size and length of the existing duplexes on either side of these lots. It is improbable to move the front door and window further toward the street to meet the new BTZ 10-32 foot requirement and keep the contemporary look of the current duplex that is under construction.

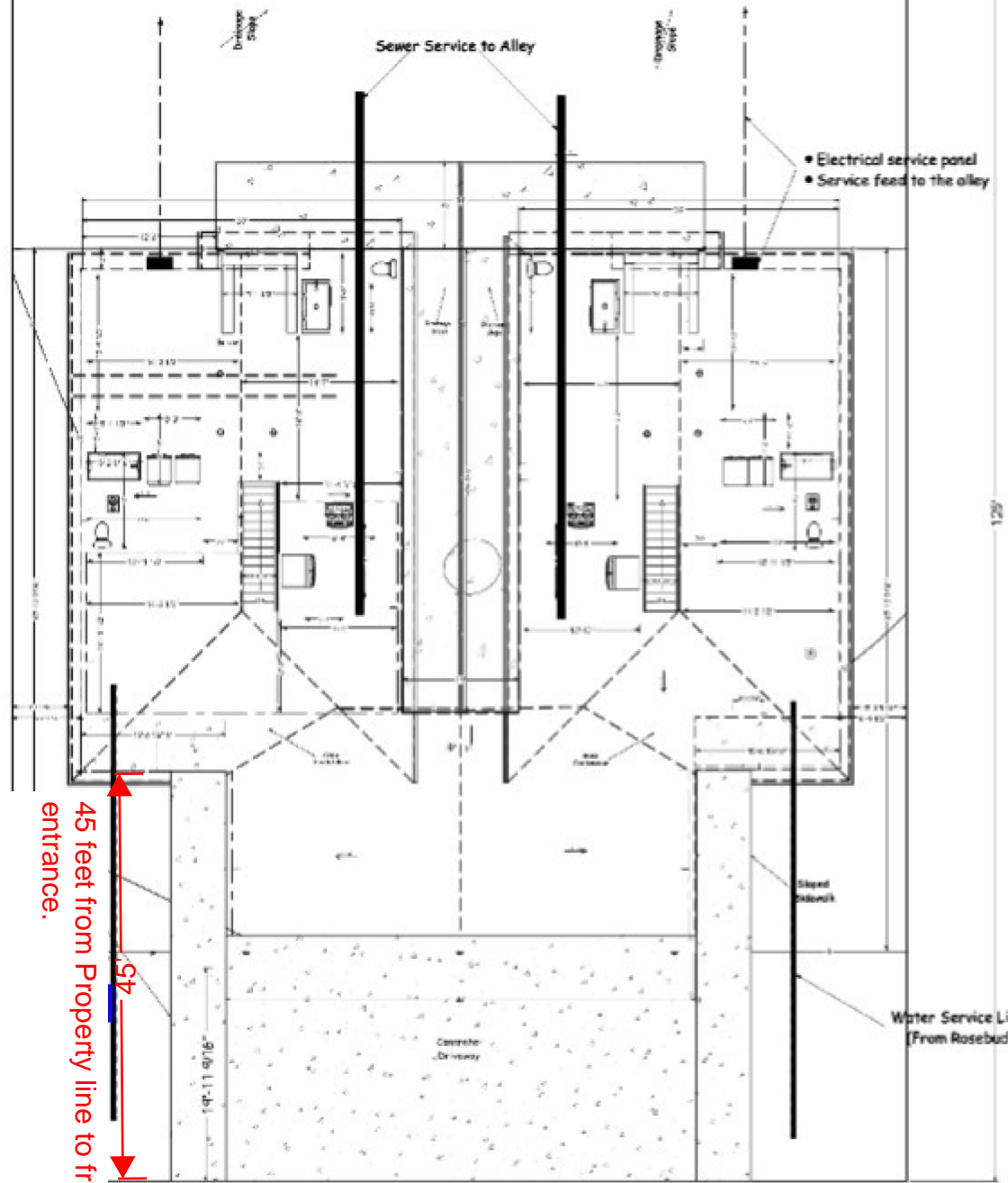
Any other change in design will hurt the value of the duplex and not match the surrounding neighborhood, which would hurt the neighborhood values as the duplex would not line up with the others or have the same front yard size.

This is the only street in Lampman Subdivision that has this zoning. These two lots are fill-in with existing duplexes on both sides built under the previous R-8000 zoning.

Barbara Hawkins
LAIS Development Inc
406-672-6151

APPLICABLE ZONING HISTORY

SUBJECT PROPERTY	VARIANCE	DATE	FOR	APPROVED (Y/N)	ADDITIONAL DATA
PROPERTY	VARIANCE	DATE	FOR	APPROVED (Y/N)	ADDITIONAL DATA
Lampman Sub. Block 2, Lot 9	744	8/4/98	To allow 31% lot cov	N	
Lampman Sub Block 20, Lot 7	930	5/5/04	Arterial SB from 80' to 50'	Y	
Lampman Sub Block 15, Lts 7A,8A,9A,10A,11A	1296	7/3/2019	SC from 30 to 40%	Y	Staff recommended Denial
Founders Park Sub Blk 1, Lts 5,6,10,11	1367	6/7/23	Build to zone and window & door cov	Y	Proven hardship with lot shape & size



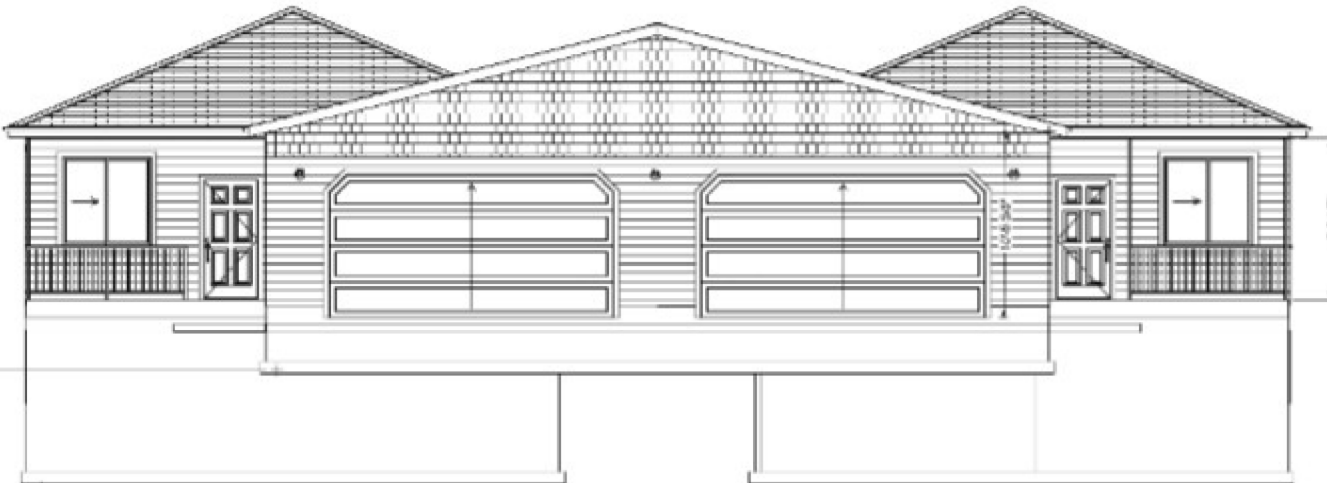
00001

Please provide site drainage with a minimum grade slope of 8.33% for at least 10' from perimeter walls in accordance with the geotechnical report.

- Rosebud Duplex
- 3028 & 3030 Rosebud
- Billings, MT 59102
- Lot 9A
- Block 15
- Lampman Subdivision 10,461 sf lot
- 3,479.33 sf of Lot Coverage (33%)



Side Elevations
NTS



Front Elevation
NTS



Back Elevation
NTS

Insulation:

- All exterior walls to have R-21 batt insulation.
- All stud spaces less the 1.5" wide one to be filled with spray foam insulation.
- Attic insulation R-49 blown in fiberglass insulation.
- Install Insulation baffles in truss cavities as required.
- Basement walls to be furred out 3.5" and filled with R-13 batt insulation or formed with ICF wall forms.



NO.	DESCRIPTION	BY	DATE
1	Initial Drawing		

SHEET TITLE:

PROJECT DESCRIPTION:
Duplex With Basement

DRAWINGS PROVIDED BY:
LAIS DEVELOPMENT, INC.

DATE

8/18/

SCALE

SHEET

A-

A concrete encased electrode (Ufer ground) is required in the footing.

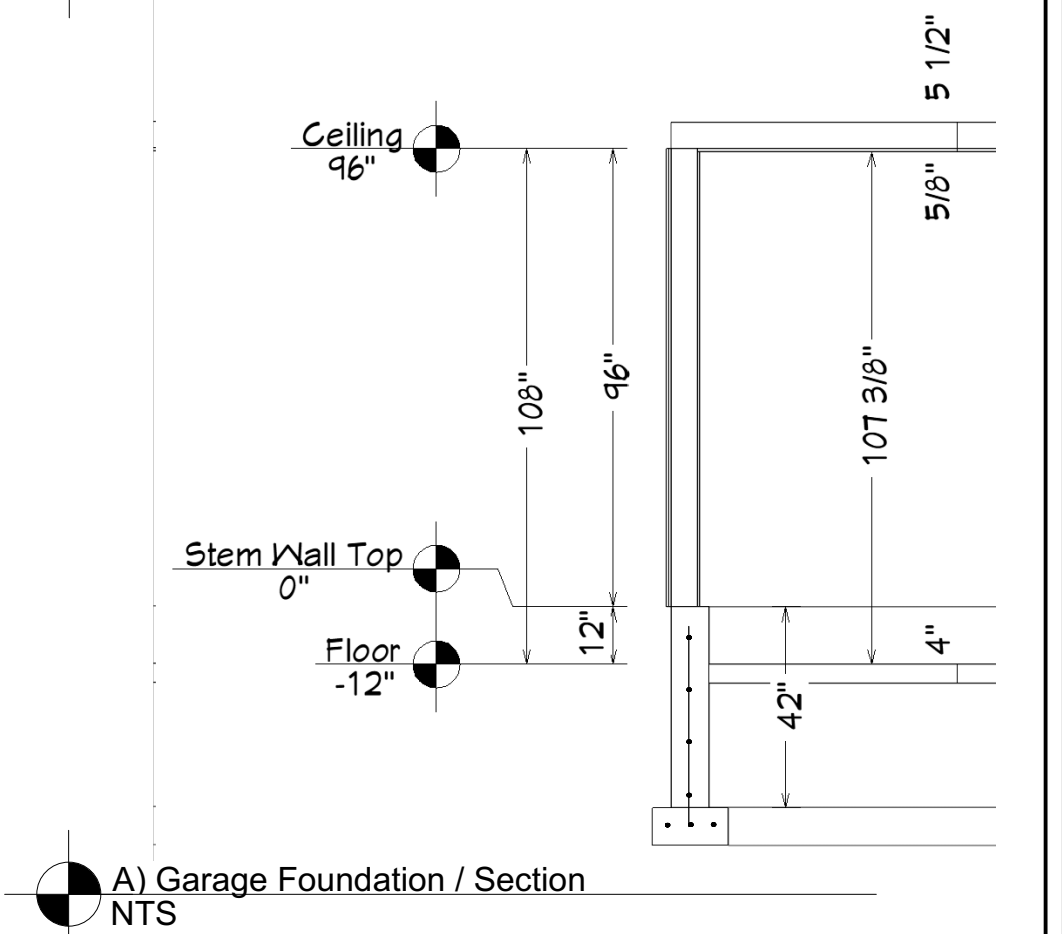
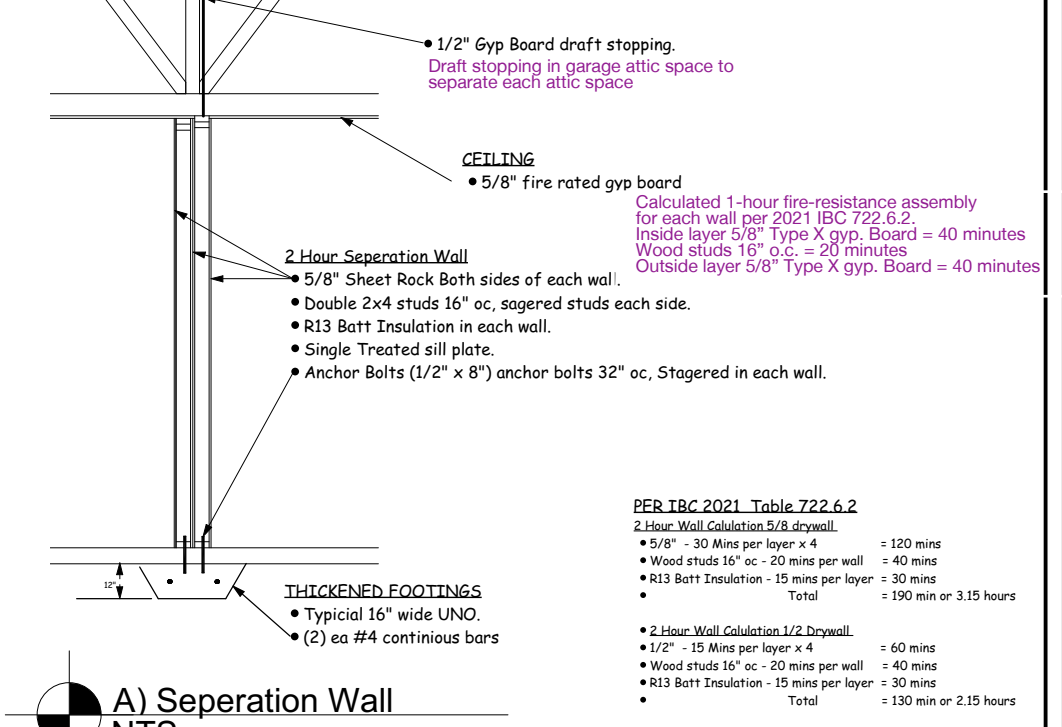
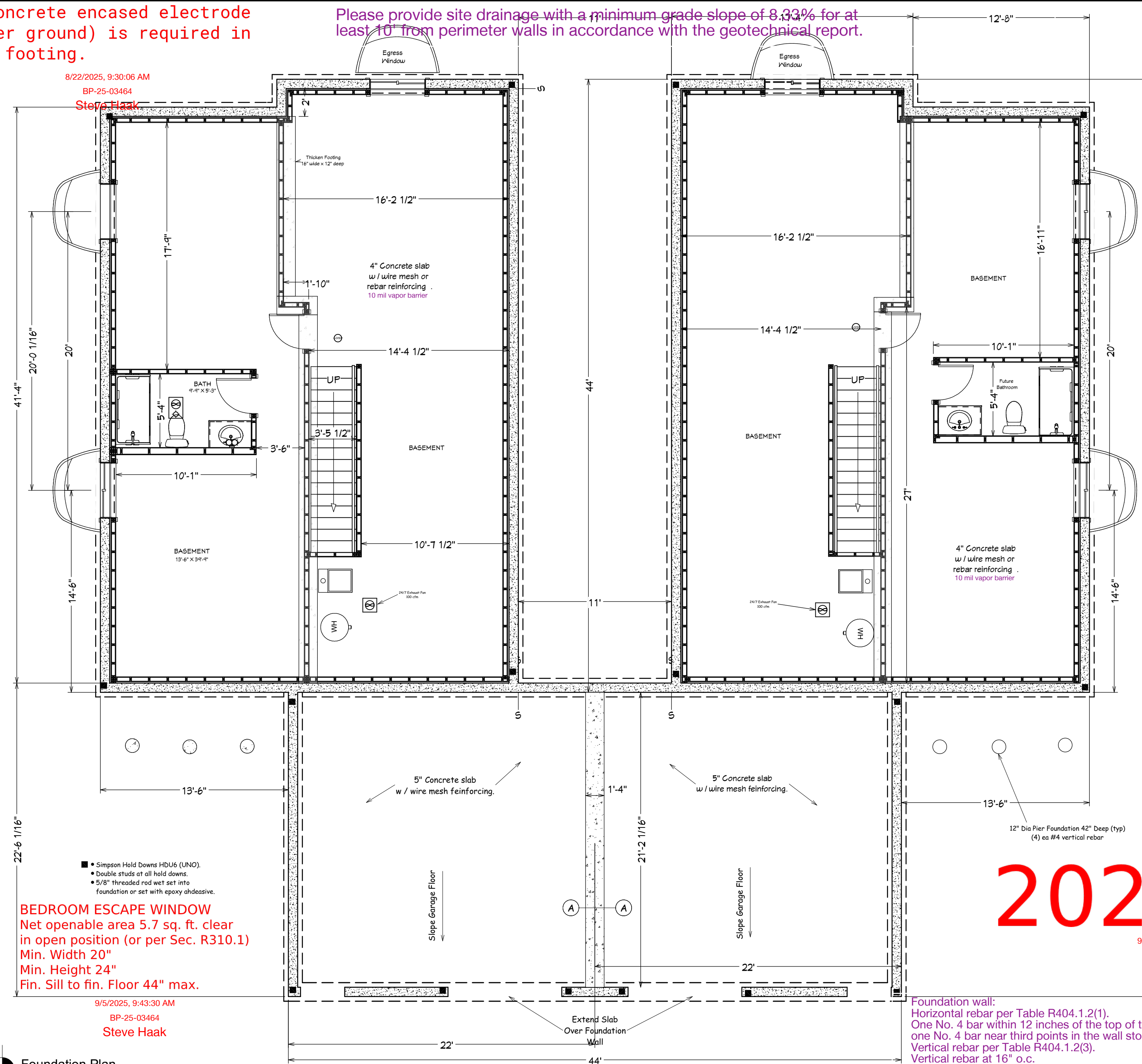
Please provide site drainage with a minimum grade slope of 8.33% for at least 10' from perimeter walls in accordance with the geotechnical report.

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION. FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.

REVIEWED FOR CODE COMPLIANCE

8/22/2025, 9:30:06 AM
BP-25-03464
Steve Haak

9/5/2025, 11:18:33 AM
BP-25-03464
Steve Haak



2021 IRC

9/5/2025, 11:18:20 AM
BP-25-03464
Steve Haak

- Simpson Hold Downs HDU6 (UNO).
- Double studs at all hold downs.
- 5/8" threaded rod wet set into foundation or set with epoxy adhesive.

BEDROOM ESCAPE WINDOW
 Net openable area 5.7 sq. ft. clear in open position (or per Sec. R310.1)
 Min. Width 20"
 Min. Height 24"
 Fin. Sill to fin. Floor 44" max.

9/5/2025, 9:43:30 AM
BP-25-03464
Steve Haak

Foundation wall:
 Horizontal rebar per Table R404.1.2(1). One No. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near third points in the wall story.
Vertical rebar per Table R404.1.2(3):
 Vertical rebar at 16" o.c.
 Grade 60 vertical rebar required.

- Footings:**
- Continuous Footings 20"x8" UNO
 - (3) #4 Horizontal Rebar(typ)
 - #4 Vertical bars 18" oc

- Anchor Bolts:**
- 1/2" x 10" J bolts 32" oc max spacing w/ 3x3 simpson washers.

- Grounding:**
- Install Ufer Ground at each electrical service location.

UNFINISHED BASEMENT IN BOTH DWELLINGS PER CUSTOMER

Foundation Plan
3/16" to 1"

- Building Codes:**
- 2021 International Residential Code
 - 2021 International Energy Conservation Code

STREET TREES REQUIRED Per BMCC Sec. 27-1203. Street frontage trees are required in all zoning districts. The area along any property line that abuts a public or private street right-of-way shall be provided a street frontage landscaped area planted with street trees. For all zone districts, 1 street tree required per 40 feet of street frontage. Exceptions: CBD zone, 1 street tree required per 25 lineal feet of street frontage; EBURD, 1 tree per 50 feet of lineal street frontage.

9/5/2025, 3:05:05 PM
BP-25-03464
Tate Johnson

- Notes:**
- Egress Windows - The minimum opening area in accordance with the IRC section 310 is 5.7 square feet. Minimum opening height is 24" inches and the minimum opening width is 20". The bottom sill height shall be no more than 44 inches from the floor.

- See the provided geotechnical report for soil conditions and bearing loads.
- Provide all structural fill materials as defined in the soils report.

NO.	DESCRIPTION	BY	DATE
1	Building Drawings		9-2-2025
2	Revised Building Drawings		

SHEET TITLE:
FOUNDATION PLAN

PROJECT DESCRIPTION:
Duplex With Basement
3030 & 3032 Rosebud
Billings, MT

DRAWINGS PROVIDED BY:
LAIS DEVELOPEMENT, INC.
Duplex With Basement
Billings, MT

DATE:
8/16/2025

SCALE:

SHEET:

A-1

Basement Foundation Wall
NTS

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
REVIEWED FOR CODE COMPLIANCE

Building Codes:

- 2021 International Residential Code
- 2021 International Energy Conservation Code

Notes:

- Preengineered roof truss design & layout to be provided by the truss supplier.
- Preengineered floor truss design & layout to be provided by the truss supplier.
- 3/4" T&G Floor sheathing attached w/ sheave and nails.

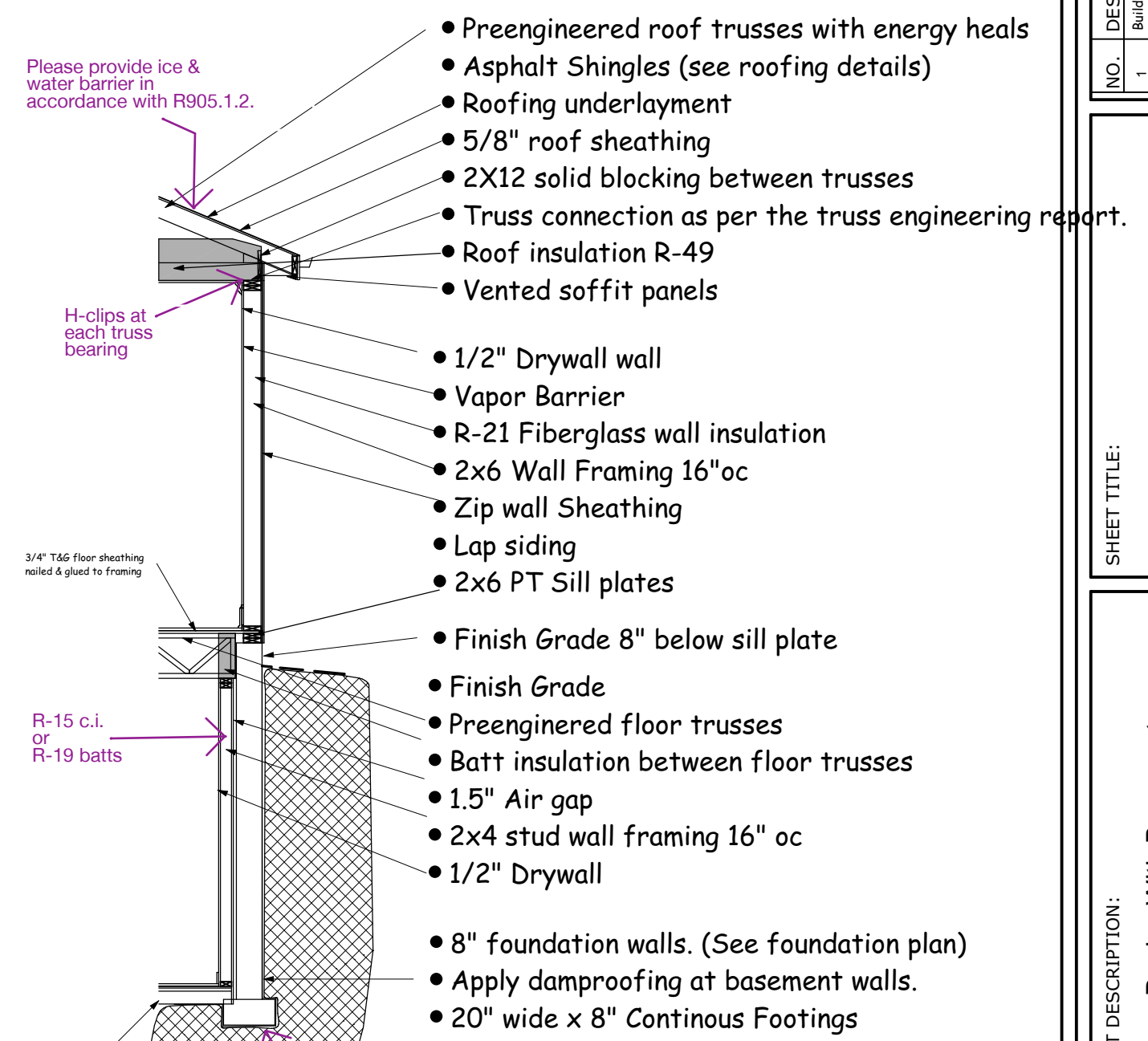
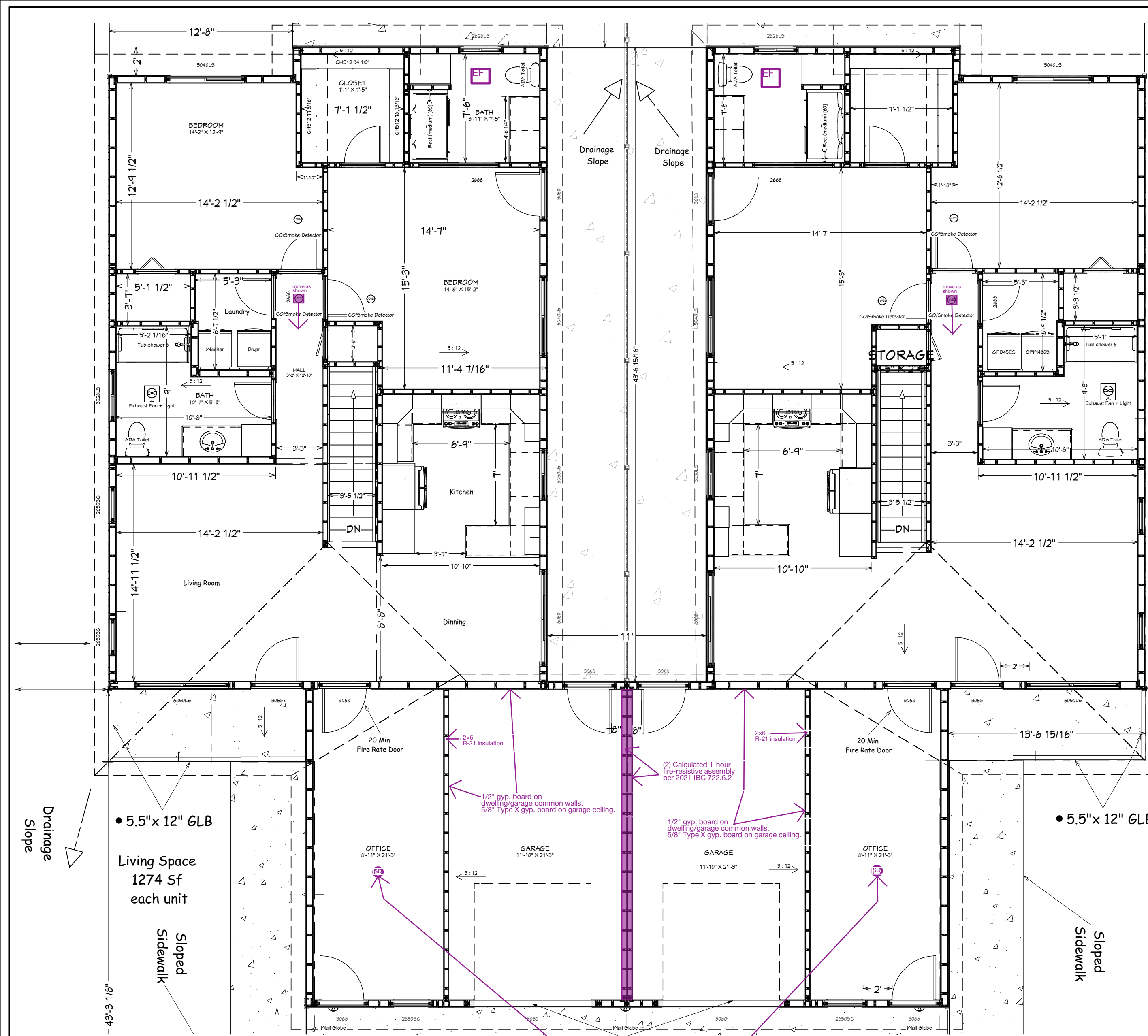
Venting:

- Dryer venting limited to a max distance of 35 feet.

9/5/2025, 11:18:33 AM

BP-25-03464

Steve Haak

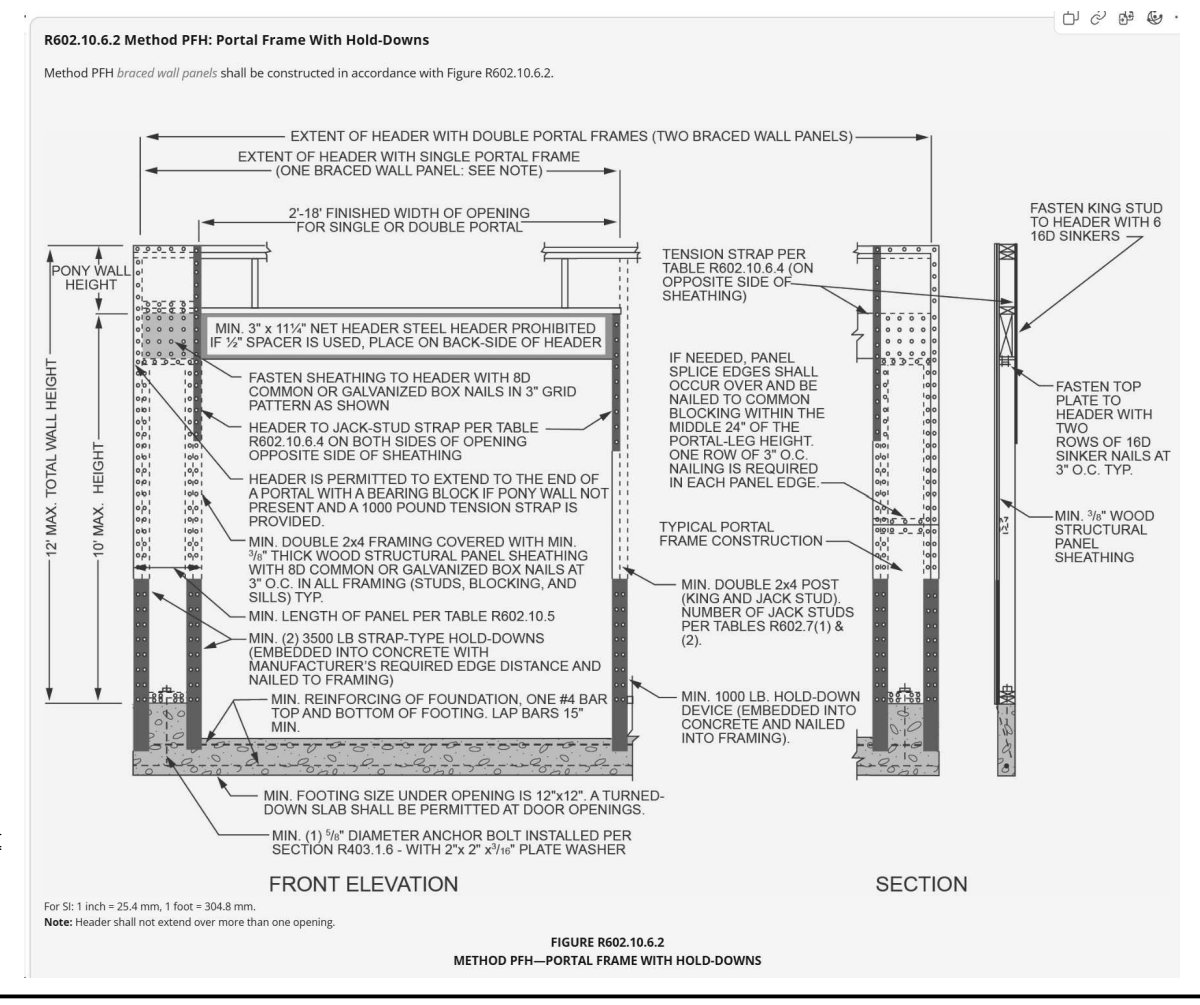
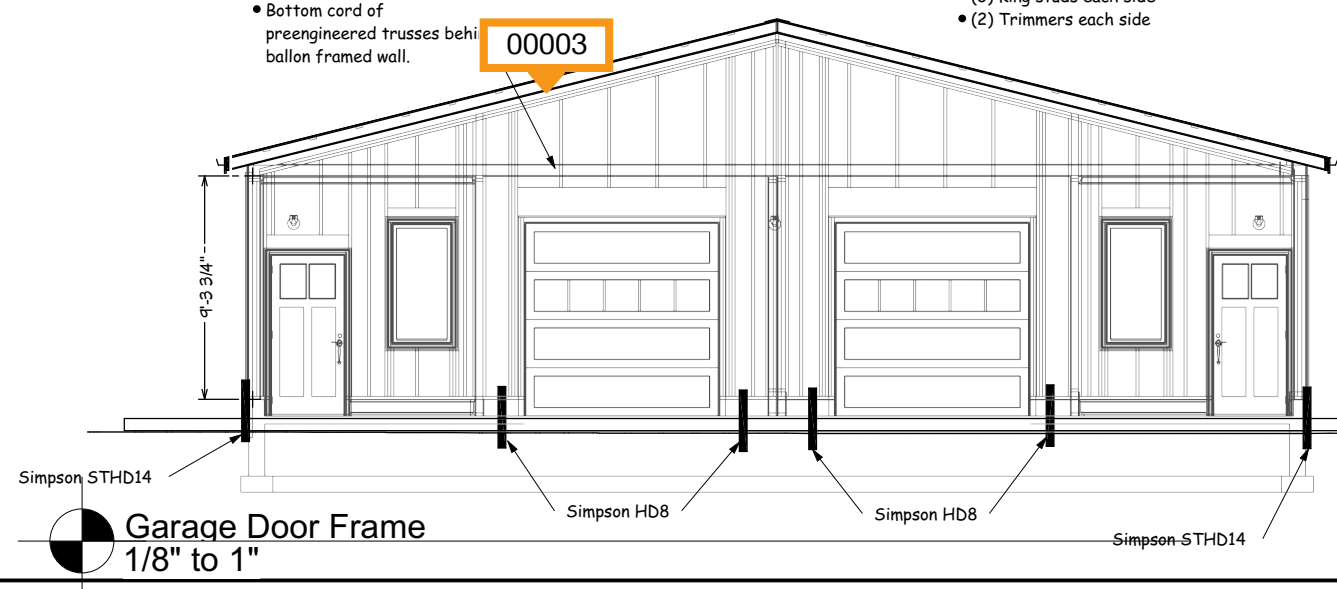


SOIL RECOMMENDATIONS APPLY
 9/5/2025, 10:57:12 AM
 BP-25-03464
 Steve Haak

1st Floor Plan
 3/16" to 1"
BEDROOM ESCAPE WINDOW
 Net openable area 5.7 sq. ft. clear in open position (or per Sec. R310.1)
 Min. Width 20"
 Min. Height 24"
 Fin. Sill to fin. Floor 44" max.

• All Door & Window Header are triple 2x10's (UNO)
 Please provide a whole house mechanical exhaust fan, in each dwelling, at a minimum of 51 cfm in accordance with IMC 2021 R403.3.2.1.
 Please provide kitchen exhaust in accordance with IMC 2021 403.3.2.3. Kitchen exhaust must be discharged outdoors.

• Bottom cord of preengineered trusses behind ballion framed wall.
 • 5.5" x 12" GLB Header
 • (3) King studs each side
 • (2) Trimmers each side



ID	Date	Floor	Manufacturer	Size	Description	Count
W1		0		48"x42"	Left Sliding	2
W2		0		48"x42"-eg	Left Sliding	4
W3		1		30"x30"	Left Sliding	2
W4		1		36"x30"	Left Sliding	1
W5		1		36"x36"	Left Sliding	2
W6		1		60"x48"	Left Sliding	4
W7		1		60"x60"	Left Sliding	2
W8		1		24"x60"	Single Casement-hl	4

Allowable Design Values & Stresses, Section Properties

BOISE GLULAM® 24F-V4 Design Values					
Width (in)	Depth (in)	Weight (lb/ft)	Adjusted Modulus of Elasticity (ksi)	Adjusted Moment of Inertia (in ⁴)	Adjusted Section Modulus (in ³)
4	4.6	1.313	2700	16.2	1.24
7.5	5.7	4.141	5859	109.9	9.30
9	6.8	4.969	8438	189.8	15.27
10.5	8.0	5.797	11484	301.5	23.77
12	9.1	6.625	15000	450.2	35.69
13.5	10.3	7.453	19984	640.7	51.61
15	11.4	8.281	26416	878.0	71.53

NO.	DESCRIPTION	BY	DATE
1	Building Drawings		9-2-2025
2	Revised Building Drawings		

SHEET TITLE:

PROJECT DESCRIPTION:
 Duplex With Basement
 3030 & 3032 Rosebud
 Billings, MT

DRAWINGS PROVIDED BY:
 LAIS DEVELOPEMENT, INC.
 Duplex With Basement
 Billings, MT

DATE:
 8/16/2025

SCALE:

SHEET:

A-2

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
 NOTE: ALL FEDERAL, STATE, AND LOCAL CODES,
 ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED
 AS PART OF SPECIFICATION FOR THIS BUILDING AND
 SHALL TAKE PREFERENCE OVER ANYTHING SHOWN,
 DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
REVIEWED FOR CODE COMPLIANCE

9/5/2025, 11:18:33 AM
 BP-25-03464
 Steve Haak



Side Elevations
 NTS

NO.	DESCRIPTION	BY	DATE
1	Building Drawings		9-2-2025
2	Revised Building Drawings		



Style "D" edge metal (typ)
 Gutter & downspouts per site plan

- Insulation:
- All exterior walls to have R-21 batt insulation.
 - All stud spaces less the 1.5" wide are to be filled with spray foam insulation.
 - Attic insulation R-49 blown in fiberglass insulation.
 - Install Insulation baffles in truss cavities as required.
 - Basement walls to be furred out 3.5" and filled with R-19 batt insulation or formed with ICF wall forms.
- *ICF form per R316.4

Front Elevation (North)
 NTS

SHEET TITLE:

PROJECT DESCRIPTION:
 Duplex With Basement
 3030 & 3032 Rosebud
 Billings, MT



- Roofing: (typ)
- Asphalt Shingle roofing
 - Titium Underlayment
 - Ice & Water to extend 2' to the inside of the exterior walls.
 - Style "D" edge metal
 - Metal soffit panels
 - Metal fascia panels

Back Elevation (South)
 NTS

DRAWINGS PROVIDED BY:
 LAIS DEVELOPEMENT, INC.
 Duplex With Basement
 Billings, MT

DATE:
 8/16/2025

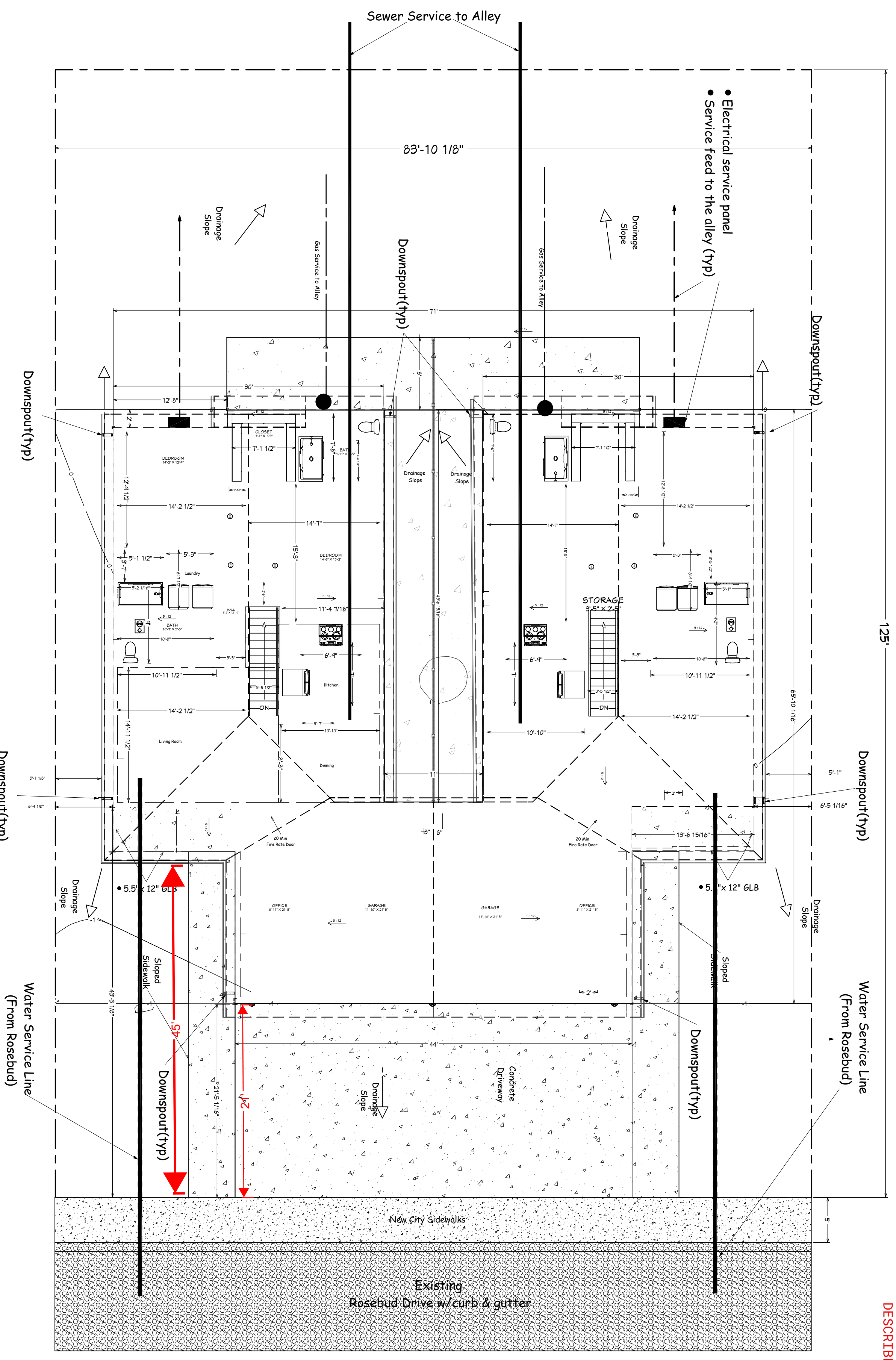
SCALE:

SHEET:
A-4

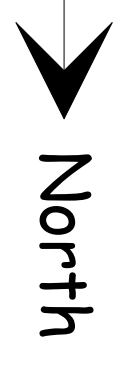
R316.4 Thermal barrier. Unless otherwise allowed in Section R316.5, foam plastic shall be separated from the interior of a building by an approved thermal barrier of not less than 1/2-inch (12.7 mm) gypsum wallboard, 23/32-inch (18.2 mm) wood structural panel or a material that is tested in accordance with and meets the acceptance criteria of both the Temperature Transmission Fire Test and the Integrity Fire Test of NFPA 275.

CITY STAMPED PLANS ARE TO BE ON THE JOBSITE
NOTE: ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE VARIANCES OCCUR.
REVIEWED FOR CODE COMPLIANCE

9/6/2025, 11:18:33 AM
 BP-25-03464
 Steve Haak



Please provide site drainage with a minimum grade slope of 8.33% for at least 10' from perimeter walls in accordance with the geotechnical report.



Site Plan
 3/16" to 1"

NO.	DESCRIPTION	BY	DATE
1	Building Drawings		9-2-2025
2	Revised Building Drawings		

SHEET TITLE:
SITE PLAN
 Lot 9A, Block 15
 Lampman Subdivision

PROJECT DESCRIPTION:
 Duplex With Basement
 3030 & 3032 Rosebud
 Billings, MT

DRAWINGS PROVIDED BY:
 LAIS DEVELOPEMENT, INC.
 Duplex With Basement
 Billings, MT

DATE:
 8/16/2025

SCALE:
 3/16" = 1'

SHEET:
A-5

- Rosebud Duplex
- 3030 & 3032 Rosebud
- Billings, MT 59102
- Lot 9A
- Block 15
- Lampman Subdivision 10,481 sf lot
- 3,479.33 sf of Lot Coverage (33%)