

**RESOLUTION 25-\_\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF BILLINGS, MONTANA, APPROVING TAX BENEFITS  
FOR ROCKY VISTA UNIVERSITY LLC**

WHEREAS, Resolution 24-11243 provides for granting tax incentives for certain remodeling, reconstruction or expansion of existing buildings pursuant to Sections 15-24-1501, M.C.A., and establishes a procedure for applying for said tax incentives; and

WHEREAS, Rocky Vista University LLC has set forth in its application (Exhibit A) certain information regarding the improvements which appear to qualify Rocky Vista University LLC for said tax benefits; and

WHEREAS, Section 15-24-1501(3), M.C.A. requires the governing body to give notice of a public hearing to hear comment. Said notice was published on March 28 and April 4, 2025;

WHEREAS, The City Council of the City of Billings, Montana held a public hearing on April 14, 2025, and duly considered the application of Rocky Vista University LLC and has determined that said application meets all qualifications for the tax incentive and should be approved.

**NOW THEREFORE BE IT RESOLVED BY THE BILLINGS, MONTANA CITY  
COUNCIL,**

The application (Exhibit A) for tax benefits made by Rocky Vista University LLC is APPROVED.

Pursuant to Section 15-24-1501, M.C.A. and City of Billings Resolution 24-11243, the percentage of the increased taxable value that is subject to taxation during the construction period and for the five years following construction shall be as follows:

Construction period	0%
First year following construction	20%
Second year following construction	40%
Third year following construction	60%
Fourth year following construction	80%
Fifth year following construction	100%
Following years	100%

The properties receiving the tax benefits referenced above are described as follows:

Lot 12, Block 3 of the Amended Plat of St Vincent Healthcare Subdivision,  
2<sup>nd</sup> Filing, S10, T01 S, R25 E, with a tax code of A31930, Yellowstone  
County, Montana

Lot 1A, Block 3 of the Amended Plat of St Vincent Healthcare Subdivision,  
S10, T01 S, R25 E, with a tax code of A37693, Yellowstone County,  
Montana

The remodeling, reconstruction, or expansion of existing buildings or structures  
classification tax benefits shall be made for Rocky Vista University LLC on the earliest  
tax bill allowed by law.

**ADOPTED AND APPROVED** by the Billings City Council of the 14th day of April, 2025.

CITY OF BILLINGS:

By: \_\_\_\_\_  
William A. Cole, Mayor

ATTEST:

By: \_\_\_\_\_  
Denise R. Bohlman, City Clerk

# EXHIBIT A

## APPLICATION FORM FOR TAX REDUCTION BUILDING REMODEL, EXPANSION OR RECONSTRUCTION

(As allowed under Yellowstone County Resolution 24-100, City Council Resolution 24-11243, and 15-24-1501, MCA)

1. Name of business: Rocky Vista University LLC
2. \_\_\_\_\_ Building Remodel or Reconstruction: Start of construction (date) \_\_\_\_\_  
End of construction (date) \_\_\_\_\_
3. X Building Expansion: Start of construction (date) October 2024  
End of construction (date) March 2026
4. Address of business: RVU 4130 Rocky Vista Way, Billings, MT 59106  
Actual location of business: 4130 Rocky Vista Way, Billings, MT 59106  
  
Tax Code: A31930 and A37693  
**Within city limits of Billings**  YES  NO
5. Person representing business and responsible for application:  
Name: David Forstein, DO Title: President and CEO  
  
Address: 4130 Rocky Vista Way, Billings, MT 59106 Telephone: 720-874-2468
6. Amount of capital investment for Expansion, Remodel or Reconstruction in Billings / Yellowstone County: \$ 38 MM (attach detailed plans, costs of materials and labor and dates of construction. County Commissioners and/or City Council may request further information, such as financial statements, business references, or other documents prior to acting on this request).
7. Approximate market value of building prior to remodel, reconstruction, or expansion:  
\$50 MM-A31930, \$2.5 MM-A37693
8. Explain business activity – what business does: Higher Education: Medical and Veterinary
9. How long has this business been located in Billings and/or Yellowstone County?  
RVU Medical School has been in Yellowstone County since 2021, four years.
10. As of the date of this application, how many employees does the business currently employ:  
78 Full-time 42 Part-time
11. How many employees will the applicant have within 2 years after completion of construction:

170 Full-time    52 Part-time

12. Provide job titles and job skills required for all new employees both full and part-time:

The School of Veterinary Medical will employ 65 full-time positions including academic and administrative positions.

Please see attached hiring plan

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13. What is the hourly pay scale of both full and part-time employees to include benefits (new employees only): Please see attached hiring plan
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14. Other Economic impacts of capital investment: The economic impact of the new College of Veterinary Medicine during construction through direct employment, construction, and compensation is projected to be \$66.8 MM. Upon completion, the school will have a direct economic impact projected at \$9.2 MM annually. The overall direct, indirect, and induced impact of the construction and startup of operations of the veterinary college is projected to be \$115.3 MM. These calculations provided by Big Sky Economic Development utilizing JobsEQ economic impact software. Graduating Veterinarians will join the workforce providing continuity in existing practices and often start their own companies providing additional positive economic impact in Yellowstone county.
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15. Planned hiring schedule: Construction jobs are current through October of 2025. Academic and administrative positions hiring will be as follows:

Please see attached hiring plan

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16. List other property tax benefits business currently receives or has applied for: RVU has not received or applied for any other tax benefits.
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17. Building permit (attach copy or explain absence): See attached
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18. Upon full completion the original application can be submitted to the Big Sky Economic Development Authority, Attn: Community Development, 201 North Broadway, Billings, Montana 59101 (telephone 256-6871). If the application is complete, it will be provided to the County Attorney's Office to confirm eligibility, a duly advertised public hearing will then be scheduled, after which the Commissioners and/or City Council, in their discretion, will decide whether to approve or deny the application. The applicant, or a representative of the applicant, must appear in person at each of the public hearings.

19. The application to the Department of Revenue, which is part of this application, must also be completed and signed by the applicant.

20. The Board of County Commissioners and/or City Council may review this applicant's tax incentive program at any time and terminate further reductions at their discretion if they find the provisions of Resolution are not being met.
21. If application is approved, applicant will comply with the following provisions. Failure to comply may lead to the previously approved tax abatement being rescinded:
- i. Annual Survey to be completed and returned to Big Sky EDA by January 15<sup>th</sup> of each year
  - ii. Remain current on all property taxes on the subject property
  - iii. Notify Big Sky Economic Development of any ownership changes or change of use of the facility
  - iv. Comply with any other provisions set by the Board of County Commissioners and/or City Council
22. In order for this incentive program to apply to the applicant's current year taxes, Yellowstone County must receive the properly completed application by March 1<sup>st</sup> of the year in which the reduction is desired. If within the city of Billings, City Council must approve the application by March of the year in which the reduction is desired.
23. Signature of applicant/representative: *Daniel G. Torstenson*
24. Date of application: 02/25/2025
25. County Commissioner's Public hearing held (date): TBD
26. City Council's Public hearing held (date): TBD

Recommendation by the Big Sky Economic Development Authority:

Approve       Deny

County Treasurer's Office certifies that City and County taxes have been paid in full or otherwise satisfied: See Attached property tax summaries

**APPLICATION TO THE DEPARTMENT OF REVENUE  
BUILDING REMODEL, RECONSTRUCTION OR EXPANSION  
(Title 15- Chapter 24– Part 15 MCA)**

To: Assessor  
Yellowstone County

Name of Applicant: Rocky Vista University, LLC

Mailing Address: 4130 Rocky Vista Way, Billings, MT 59106

Legal description of affected property: ST VINCENT HEALTHCARE SUB 2<sup>ND</sup> FIL (23), S10, T01 S, R25 E, BLOCK 3, Lot 12 and ST VINCENT HEALTHCARE SUB (15), S10, T01 S, R25 E, BLOCK 3, Lot 1A, AMD (22)

Date construction permit issued: 1/24/25

(If no permit is required, specify the date when certificate in lieu of building permit was issued).  
This application covers the (expansion/new) construction of the \_\_\_\_\_.

A public hearing on this matter of Building Expansion, Remodel, or Reconstruction was held at the  
Yellowstone County Courthouse at \_\_\_\_\_ (am/pm) on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Due notice as defined in 76-15-103 was given. True and exact copies of said notices are attached to this  
application. \_\_\_\_\_ Yes \_\_\_\_\_ No

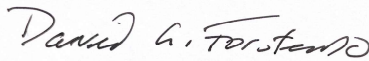
The statutory \$500,000 investment requirement for expansion or modernization has been met.  
\_\_\_\_\_ Yes \_\_\_\_\_ No

The statutory 2.5% increase in value requirement for new improvements has been met.  
\_\_\_\_\_ Yes \_\_\_\_\_ No

The statutory 5% increase in value requirement for new improvements has been met.  
\_\_\_\_\_ Yes \_\_\_\_\_ No

The qualifying property consists of the following: \_\_\_\_\_  
(Attach site plats, construction prints, and detailed equipment list identifying the qualifying property.)

This application is made under the provisions of 15-24-1501 or 1601 MCA, and by resolution adopted by  
the Commissioners of Yellowstone County, on the 9<sup>th</sup> day of August 2002. A copy of the same is  
attached.



\_\_\_\_\_  
(Owner/Agent)

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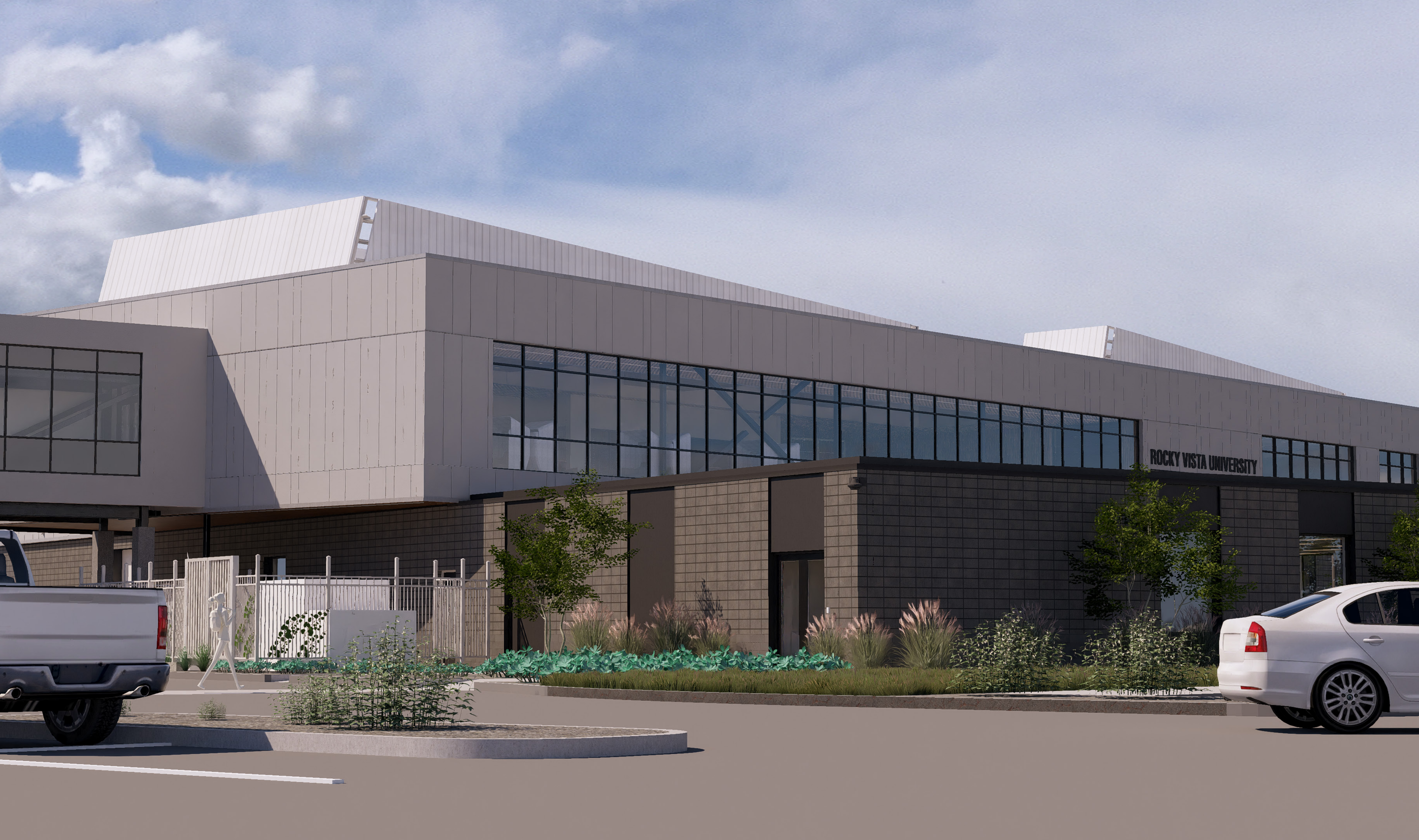
**Langlas**  
GENERAL  
CONTRACTORS



**ROCKY VISTA**  
UNIVERSITY



create **impact.**



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GENERAL  
CONTRACTORS



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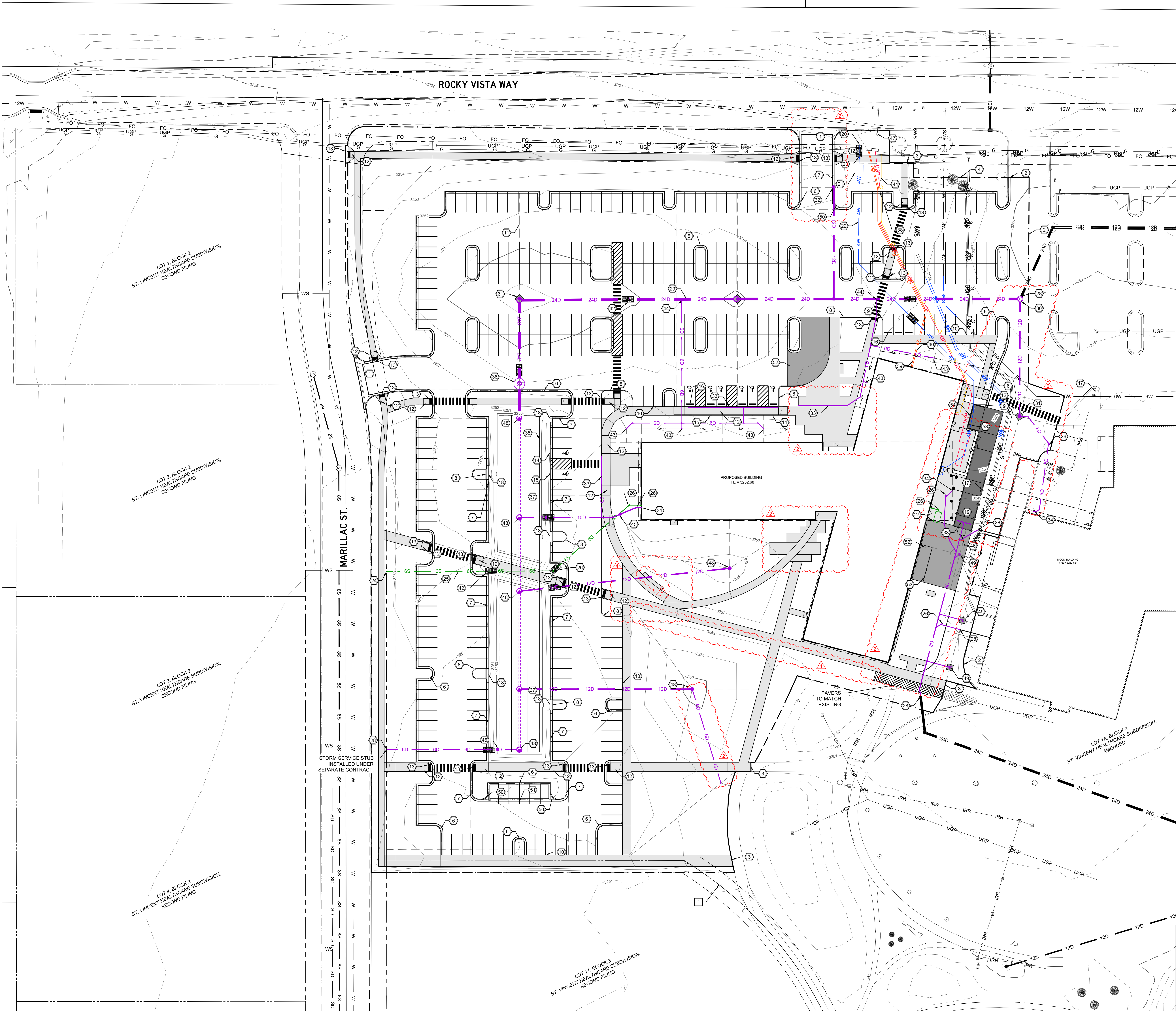
**Langlas**  
GENERAL  
CONTRACTORS



**ROCKY VISTA**  
UNIVERSITY



create **impact.**



- LEGEND**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED PASSENGER CAR CONCRETE
  - PROPOSED LOADING DOCK CONCRETE

**GENERAL NOTES**

- 1 PROPERTY LINE, TYP.

**CONSTRUCTION NOTES**

- 1 DRIVE APPROACH
- 2 TIE TO EXISTING CURB AND GUTTER AND/OR ASPHALT
- 3 TIE TO EXISTING SIDEWALK
- 4 GRADING EXTENTS
- 5 EDGE OF ASPHALT, TYP.
- 6 SPILL CURB, TYP.
- 7 CATCH CURB, TYP.
- 8 VERTICAL CURB, TYP.
- 9 CURB TAPER
- 10 THICKENED EDGE SIDEWALK, TYP.
- 11 GRADE BREAK, TYP.
- 12 ADA RAMP
- 13 TRUNCATED DOME PANEL, TYP. SEE SHEET C5.00 FOR DETAIL.
- 14 VAN ACCESSIBLE ADA PARKING SIGN, SEE SHEET C5.00 FOR DETAIL.
- 15 ADA PARKING SIGN, SEE SHEET C5.00 FOR DETAIL.
- 16 PARKING BLOCK, TYP.
- 17 LOADING DOCK RAILING, SEE SHEET C5.01 FOR DETAIL.
- 18 CURB CUT
- 19 LOADING DOCK, SEE SHEET C5.00 FOR PAVING SECTION.
- 20 END WATER SERVICE, CONNECTION ON SEPARATE CONTRACT.
- 21 WATER METER VAULT
- 22 WATER SERVICE, SEE PLAN FOR SIZE.
- 23 WATER VALVE, TYP.
- 24 END SANITARY SEWER SERVICE, CONNECTION ON SEPARATE CONTRACT.
- 25 SANITARY SEWER SERVICE, SEE PLAN FOR SIZE.
- 26 CLEANOUT, TYP. SEE SHEET C5.00 FOR DETAIL.
- 27 STREAM BIO BASIN BB-1000, SEE SHEET C5.01 FOR DETAIL.
- 28 CONNECT TO EXISTING STORM DRAIN, TYP.
- 29 STORM DRAIN TYP., SEE PLAN FOR SIZE.
- 30 STORM DRAIN MANHOLE, TYP.
- 31 AREA INLET WITH CONCRETE COLLAR WHERE SHOWN
- 32 DEPRESSED CURB INLET, SEE SHEET C5.00 FOR DETAIL.
- 33 TRENCH DRAIN, SEE PLAN FOR TYPE.
- 34 BUILDING ROOF DRAIN CONNECTION
- 35 BOULDER PIT, SEE SHEET C5.02 FOR DETAIL.
- 36 STORMWATER TREATMENT DEVICE
- 37 BIORETENTION POND
- 38 UNDERGROUND POWER, TYP.
- 39 COMMUNICATION LINE, TYP.
- 40 FIBER OPTICS LINE, TYP.
- 41 NATURAL GAS SERVICE, TYP.
- 42 TRENCH PLUG, TYP.
- 43 LANDSCAPE DRAIN, TYP.
- 44 LANDSCAPE DRAIN CONNECTION, SEE SHEET C5.01 FOR DETAIL.
- 45 BACKFLOW PREVENTER, TYP.
- 46 RITEHITE RHH-4000 HYDRAULIC DOCK LEVELER
- 47 EXISTING HYDRANT
- 48 BEEHIVE INLET
- 49 SQUARE GRATE INLET, 12" ADS NYOPLAST OR APPROVED EQUAL.
- 50 TRANSITION CURB
- 51 LAYDOWN CURB, TYP.
- 52 PASSENGER CAR TRAFFIC CONCRETE SECTION, SEE SHEET C5.00 FOR DETAIL.
- 53 BOLLARD, TYP.
- 54 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAIL.

**REVISION NOTES**

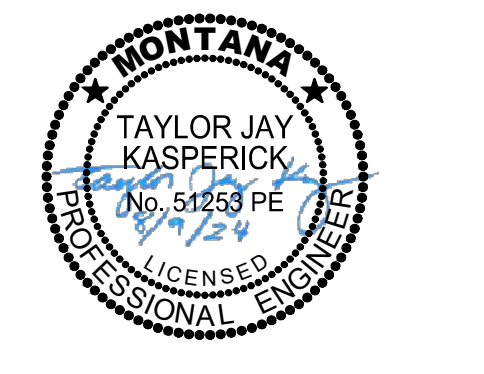
1. LINEWORK AND GRADING REVISIONS.
2. ADDITION OF LANDSCAPE DRAIN.
3. NORTH APPROACH NARROWED TO 30' WIDTH.

**REVISION NOTES**

1. TRIANGULAR SIDEWALK SECTION REMOVED AND GRADING ADJUSTED.
2. SECTION OF REINFORCED TURF REMOVED.

**REVISION NOTES**

1. GRADING CHANGES TO INCORPORATE DUMPSTER ENCLOSURE LOCATION.
2. INLET: A LOCATION ADJUSTED AND GRATE CHANGED FROM CURB TO GRATE.
3. CONCRETE PAD ADDED IN FOR BENCHES.



**PERFORMANCE ENGINEERING**  
 608 NORTH 29TH STREET  
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 (406) 384-0080  
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23031 Bulletin 11

Truncated dome panels are not required to be installed on ADA ramps. The ramps within the public right-of-way shall have truncated dome panels constructed as called for to comply with ADA requirements for public right-of-way.

**PROPOSED SITE MAP**  
 sheet project owner  
**RVU - COLLEGE OF VETERINARY MEDICINE**

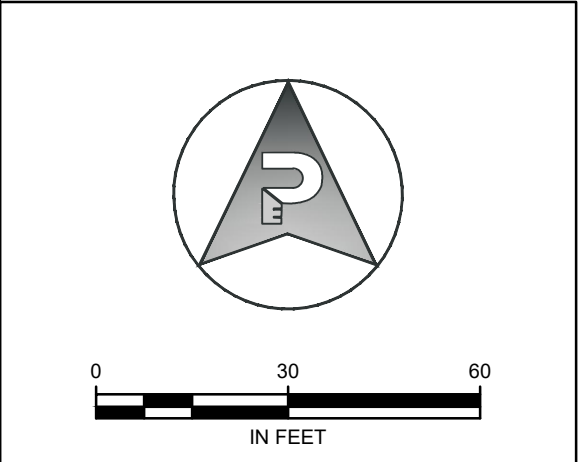
| revision | date       |
|----------|------------|
| ADD 1    | 08.21.2024 |
| BUL 1    | 09.18.2024 |
| BUL 2    | 09.26.2024 |
| BUL 3    | 10.11.2024 |
| BUL 4    | 10.18.2024 |

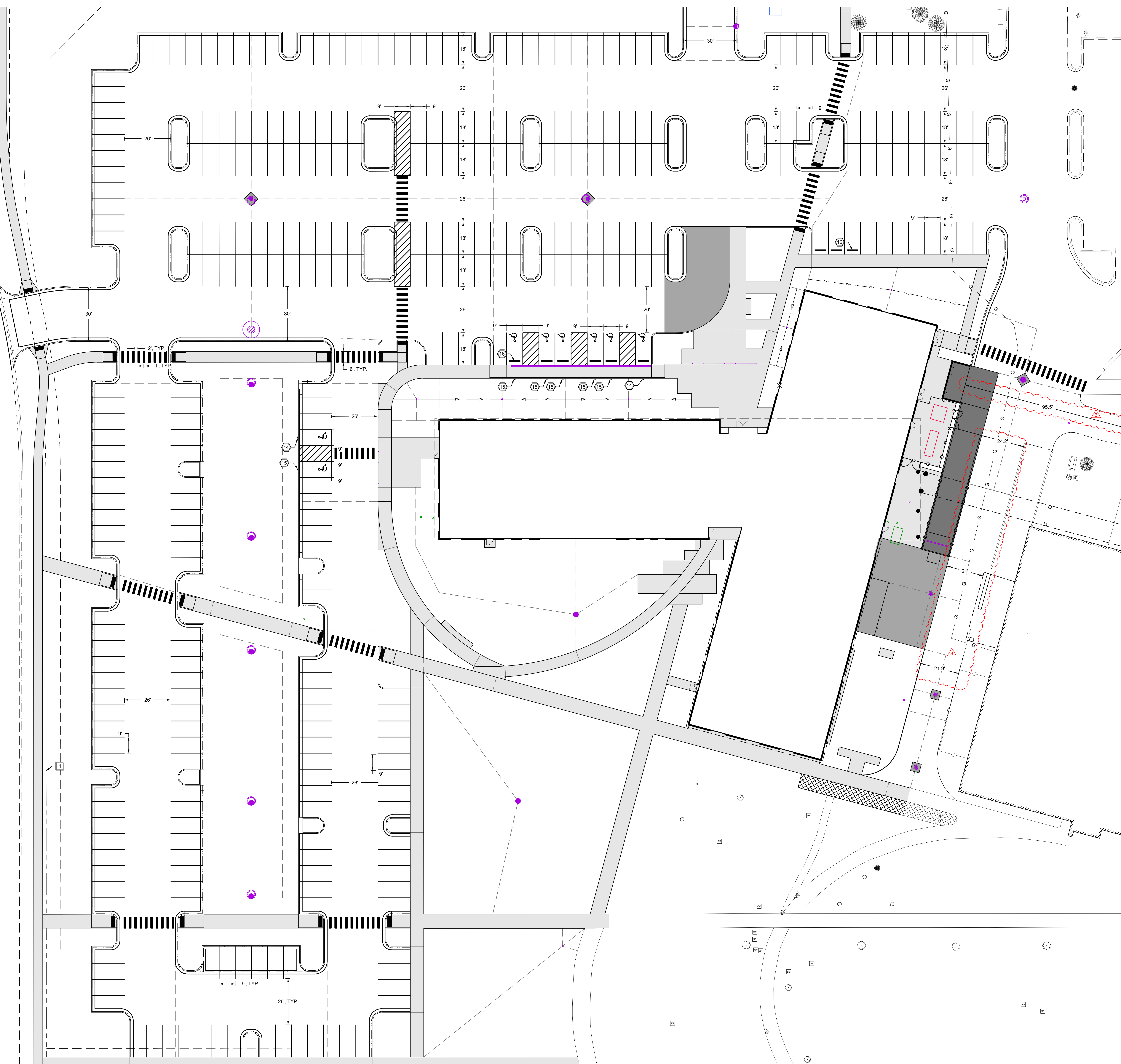
phase  
 100% CONSTRUCTION DOCUMENTS



issue date  
 11-1-2024

**C2.02**





- LEGEND**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED PASSENGER CAR CONCRETE
  - PROPOSED LOADING DOCK CONCRETE
- GENERAL NOTES**
- 1 PROPERTY LINE, TYP.
- CONSTRUCTION NOTES**
- 1 DRIVE APPROACH
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  - 9 CURB TAPER
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  - 14 VAN ACCESSIBLE ADA PARKING SIGN, SEE SHEET C5.00 FOR DETAIL.
  - 15 ADA PARKING SIGN, SEE SHEET C5.00 FOR DETAIL.
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  - 20 END WATER SERVICE, CONNECTION ON SEPARATE CONTRACT.
  - 21 WATER METER VAULT
  - 22 WATER SERVICE, SEE PLAN FOR SIZE.
  - 23 WATER VALVE, TYP.
  - 24 END SANITARY SEWER SERVICE, CONNECTION ON SEPARATE CONTRACT.
  - 25 SANITARY SEWER SERVICE, SEE PLAN FOR SIZE.
  - 26 CLEANOUT, TYP. SEE SHEET C5.00 FOR DETAIL.
  - 27 37" M BIO BASIN BB-1000, SEE SHEET C5.00 FOR DETAIL.
  - 28 CONNECT TO EXISTING STORM DRAIN, TYP.
  - 29 STORM DRAIN TYP., SEE PLAN FOR SIZE.
  - 30 STORM DRAIN MANHOLE, TYP.
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  - 45 BACKFLOW PREVENTER, TYP.
  - 46 RITEHTE RHH-4000 HYDRAULIC DOCK LEVELER
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  - 48 BEEHIVE INLET
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  - 50 TRANSITION CURB
  - 51 LAYDOWN CURB, TYP.
  - 52 PASSENGER CAR TRAFFIC CONCRETE SECTION, SEE SHEET C5.00 FOR DETAIL.
  - 53 BOLLARD, TYP.
  - 54 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAIL.
- PARKING NOTES**
- |                       |            |
|-----------------------|------------|
| EXISTING MCOM =       | 392 SPACES |
| PROPOSED VET SCHOOL = | 327 SPACES |
| TOTAL =               | 719 SPACES |
| REQUIRED VET SCHOOL = | 144 SPACES |
| OVERAGE =             | 183 SPACES |
- REVISION NOTES**
1. FIRE APPARATUS ACCESS ROAD WIDTHS CALLED OUT.
- REVISION NOTES**
1. ADDED SPACING DIMENSION FOR SOLID WASTE TO COLLECT FROM DUMPSTER ENCLOSURE.



**PERFORMANCE ENGINEERING**  
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sheet **PARKING MARKINGS & SIGNAGE MAP**  
 project **RVU - COLLEGE OF VETERINARY MEDICINE**  
 owner

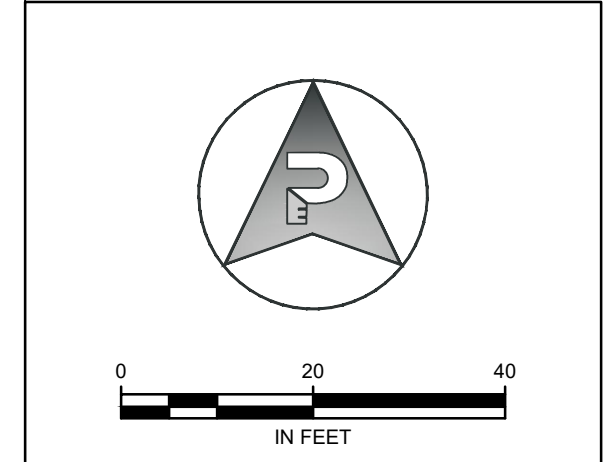
| revision | date       |
|----------|------------|
| ADD 1    | 08.21.2024 |
| BUL 1    | 09.18.2024 |
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| BUL 3    | 10.11.2024 |
| BUL 4    | 10.18.2024 |

phase  
**100% CONSTRUCTION DOCUMENTS**

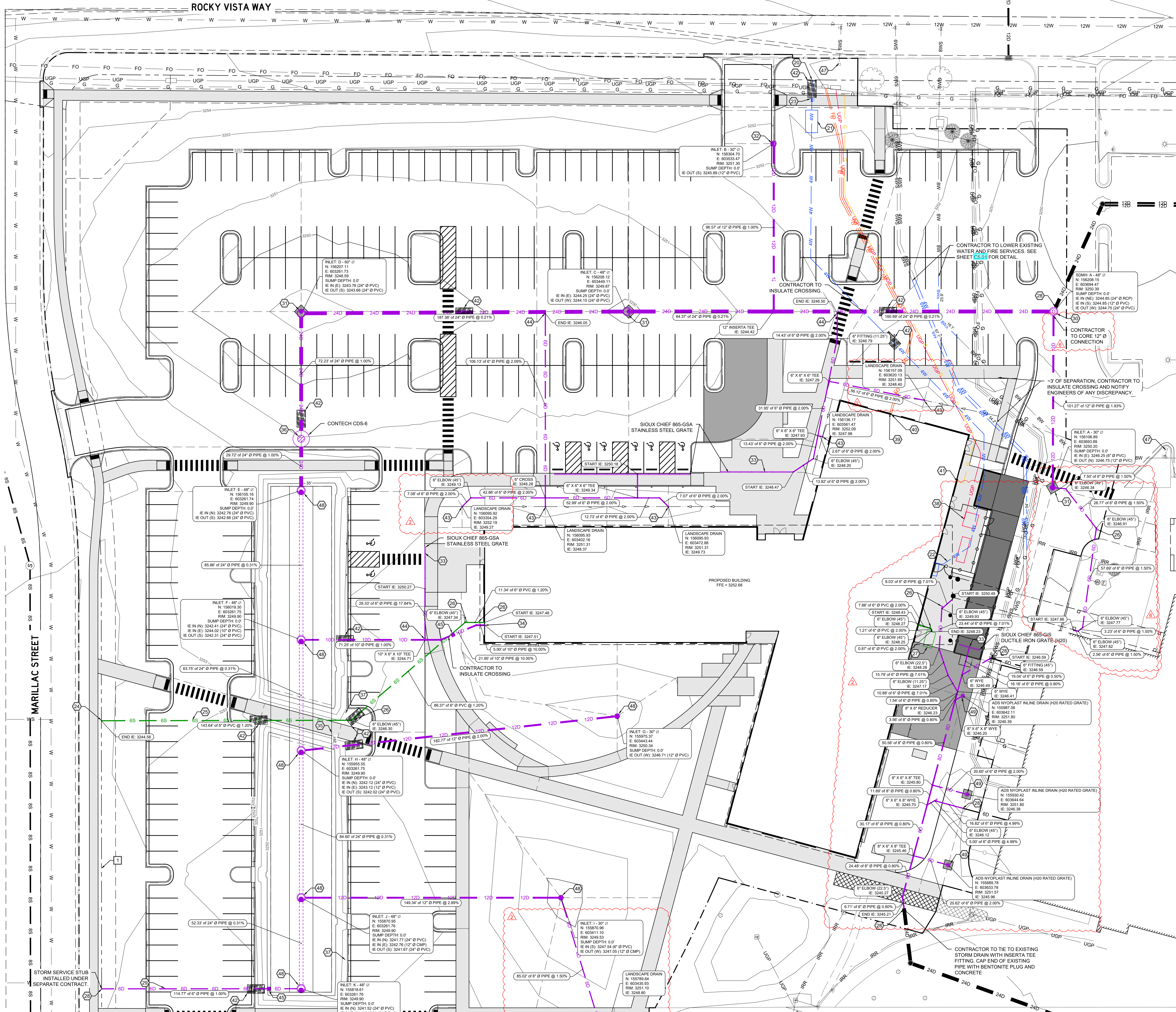


issue date  
 11-1-2024

**C2.03**



5/16/2024 8:52:43 AM



- LEGEND**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED PASSENGER CAR CONCRETE
  - PROPOSED LOADING DOCK CONCRETE
- GENERAL NOTES**
- 1 PROPERTY LINE, TYP.
- CONSTRUCTION NOTES**
- 1 DRIVE APPROACH
  - 2 TIE TO EXISTING CURB AND GUTTER AND/OR ASPHALT
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  - 15 ADA PARKING SIGN, SEE SHEET C5.01 FOR DETAIL.
  - 16 PARKING BLOCK, TYP.
  - 17 LOADING DOCK RAILING, SEE SHEET C5.02 FOR DETAIL.
  - 18 CURB CUT
  - 19 LOADING DOCK, SEE SHEET C5.02 FOR PAVING SECTION.
  - 20 END WATER SERVICE, CONNECTION ON SEPARATE CONTRACT.
  - 21 WATER METER VAULT
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  - 26 CLEANOUT, TYP. SEE SHEET C5.00 FOR DETAIL.
  - 27 STRIEM BIO BASIN BB-1000, SEE SHEET C5.01 FOR DETAIL.
  - 28 CONNECT TO EXISTING STORM DRAIN, TYP.
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**REVISION NOTES**

1. DOWNSPOUT CONNECTIONS FOR SKYBRIDGE ADDED.
2. STORM DRAIN ORIENTATION ADJUSTED. LOCATION OF 1000 GAL BIO-BASIN ADJUSTED.
3. LANDSCAPE DRAIN ADDITIONS.

**REVISION NOTES**

1. INLET: A LOCATION MOVED. GRATE CHANGED FROM CURB INLET TO GRATE INLET.
2. NOTE ADDED TO CORE SDMH: A FOR 12" PIPE CONNECTION.

**UTILITY MAP**

sheet: **RVU - COLLEGE OF VETERINARY MEDICINE**  
 project: **C4.00**  
 owner: **RVU - COLLEGE OF VETERINARY MEDICINE**

| revision | date       |
|----------|------------|
| ADD 1    | 08.21.2024 |
| BUL 1    | 09.18.2024 |
| BUL 2    | 09.26.2024 |
| BUL 3    | 10.11.2024 |
| BUL 4    | 10.18.2024 |

project # **23031**

phase: **100% CONSTRUCTION DOCUMENTS**

issue date: **11-1-2024**

**C4.00**

**PROFESSIONAL ENGINEER**  
 TAYLOR JAY KASPERICK  
 LICENSE NO. 15635  
 STATE OF MONTANA

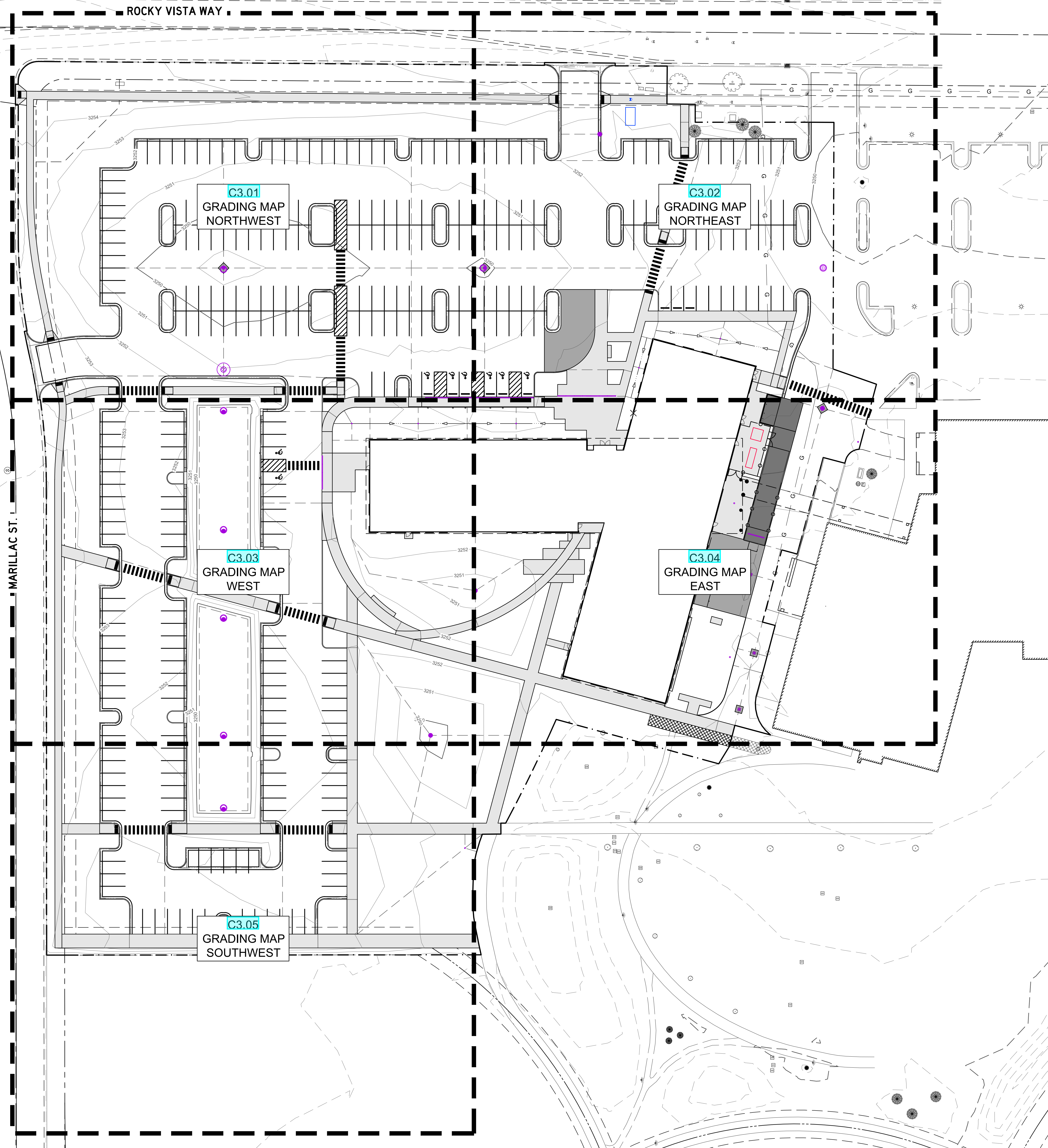
**PERFORMANCE ENGINEERING**  
 608 NORTH 29TH STREET  
 BILLINGS, MT 59101  
 (406) 384-0080  
 performance-ec.com

**23031 Bulletin 11 2025-01-**

Concrete collars are no longer required for inlet C and inlet D as called for on sheet C4.00 per bulletin 11, VE option #11.4.

**a&e**

5/16/2024 8:52:43 AM



- LEGEND**
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  - PROPOSED LOADING DOCK CONCRETE
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  - 12 ADA RAMP
  - 13 TRUNCATED DOME PANEL, TYP.
  - 14 VAN ACCESSIBLE ADA PARKING SIGN, SEE SHEET 10001 FOR DETAIL.
  - 15 ADA PARKING SIGN, SEE SHEET 10010 FOR DETAIL.
  - 16 PARKING BLOCK, TYP.
  - 17 LOADING DOCK RAILING, SEE SHEET 10301 FOR DETAIL.
  - 18 CURB CUT
  - 19 LOADING DOCK, SEE SHEET 10301 FOR PAVING SECTION.
  - 20 END WATER SERVICE, CONNECTION ON SEPARATE CONTRACT.
  - 21 WATER METER VAULT
  - 22 WATER SERVICE, SEE PLAN FOR SIZE.
  - 23 WATER VALVE, TYP.
  - 24 END SANITARY SEWER SERVICE CONNECTION ON SEPARATE CONTRACT.
  - 25 SANITARY SEWER SERVICE, SEE PLAN FOR SIZE.
  - 26 CLEANOUT, TYP. SEE SHEET 10401 FOR DETAIL.
  - 27 33" IUM BIO BASIN BB-1000, SEE SHEET 10401 FOR DETAIL.
  - 28 CONNECT TO EXISTING STORM DRAIN, TYP.
  - 29 STORM DRAIN TYP., SEE PLAN FOR SIZE.
  - 30 STORM DRAIN MANHOLE, TYP.
  - 31 AREA INLET WITH CONCRETE COLLAR WHERE SHOWN
  - 32 DEPRESSED CURB INLET, SEE SHEET 10501 FOR DETAIL.
  - 33 TRENCH DRAIN, SEE PLAN FOR TYPE.
  - 34 BUILDING ROOF DRAIN CONNECTION
  - 35 BOULDER PIT, SEE SHEET 10601 FOR DETAIL.
  - 36 STORMWATER TREATMENT DEVICE
  - 37 BIORETENTION POND
  - 38 UNDERGROUND POWER, TYP.
  - 39 COMMUNICATION LINE, TYP.
  - 40 FIBER OPTICS LINE, TYP.
  - 41 NATURAL GAS SERVICE, TYP.
  - 42 TRENCH PLUG, TYP.
  - 43 LANDSCAPE DRAIN, TYP.
  - 44 LANDSCAPE DRAIN CONNECTION, SEE SHEET 10701 FOR DETAIL.
  - 45 BACKFLOW PREVENTER, TYP.
  - 46 RITEHITE RHH-4000 HYDRAULIC DOCK LEVELER
  - 47 EXISTING HYDRANT
  - 48 BEEHIVE INLET
  - 49 SQUARE GRATE INLET, 12" ADS NYOPLAST OR APPROVED EQUAL.
  - 50 TRANSITION CURB
  - 51 LAYDOWN CURB, TYP.
  - 52 PASSENGER CAR TRAFFIC CONCRETE SECTION, SEE SHEET 10801 FOR DETAIL.
  - 53 BOLLARD, TYP.
  - 54 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAIL.

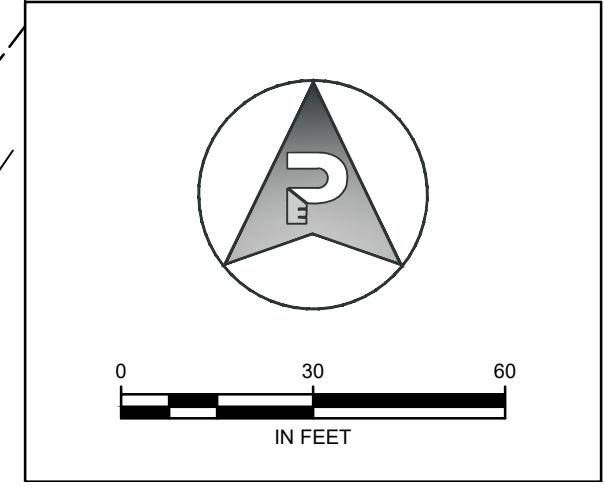
**PERFORMANCE ENGINEERING**  
 TAYLOR JAY KASPERLOK  
 LICENSED PROFESSIONAL ENGINEER  
 608 NORTH 29TH STREET  
 BILLINGS, MT 59101  
 (406) 384-0080  
 performance-ec.com

**RVU - COLLEGE OF VETERINARY MEDICINE**

sheet GRADING MAP INDEX  
 project owner  
 project # 23031

| revision | date       |
|----------|------------|
| ADD 1    | 08.21.2024 |
| BUL 1    | 09.18.2024 |
| BUL 2    | 09.26.2024 |
| BUL 3    | 10.11.2024 |
| BUL 4    | 10.18.2024 |

phase  
 100% CONSTRUCTION DOCUMENTS



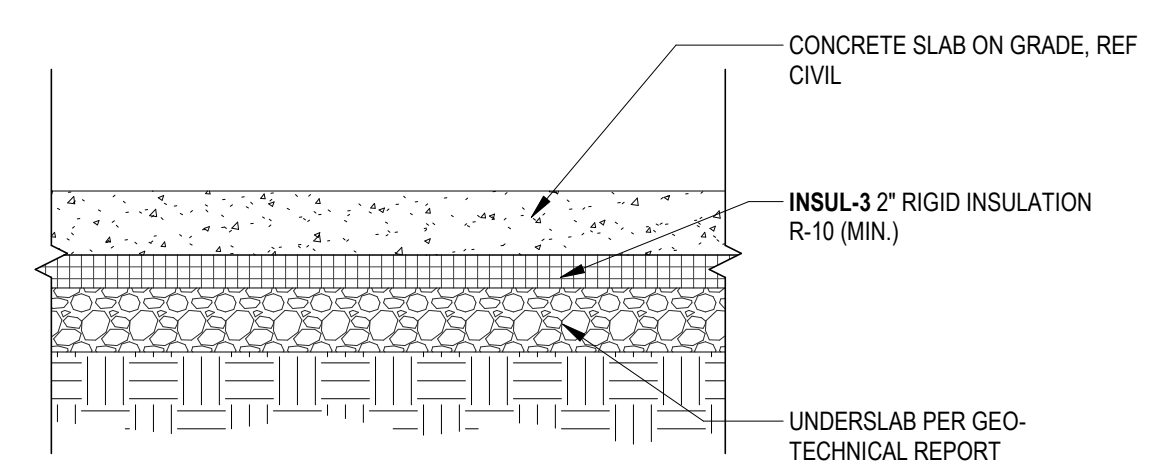


### SITE PLAN NOTES

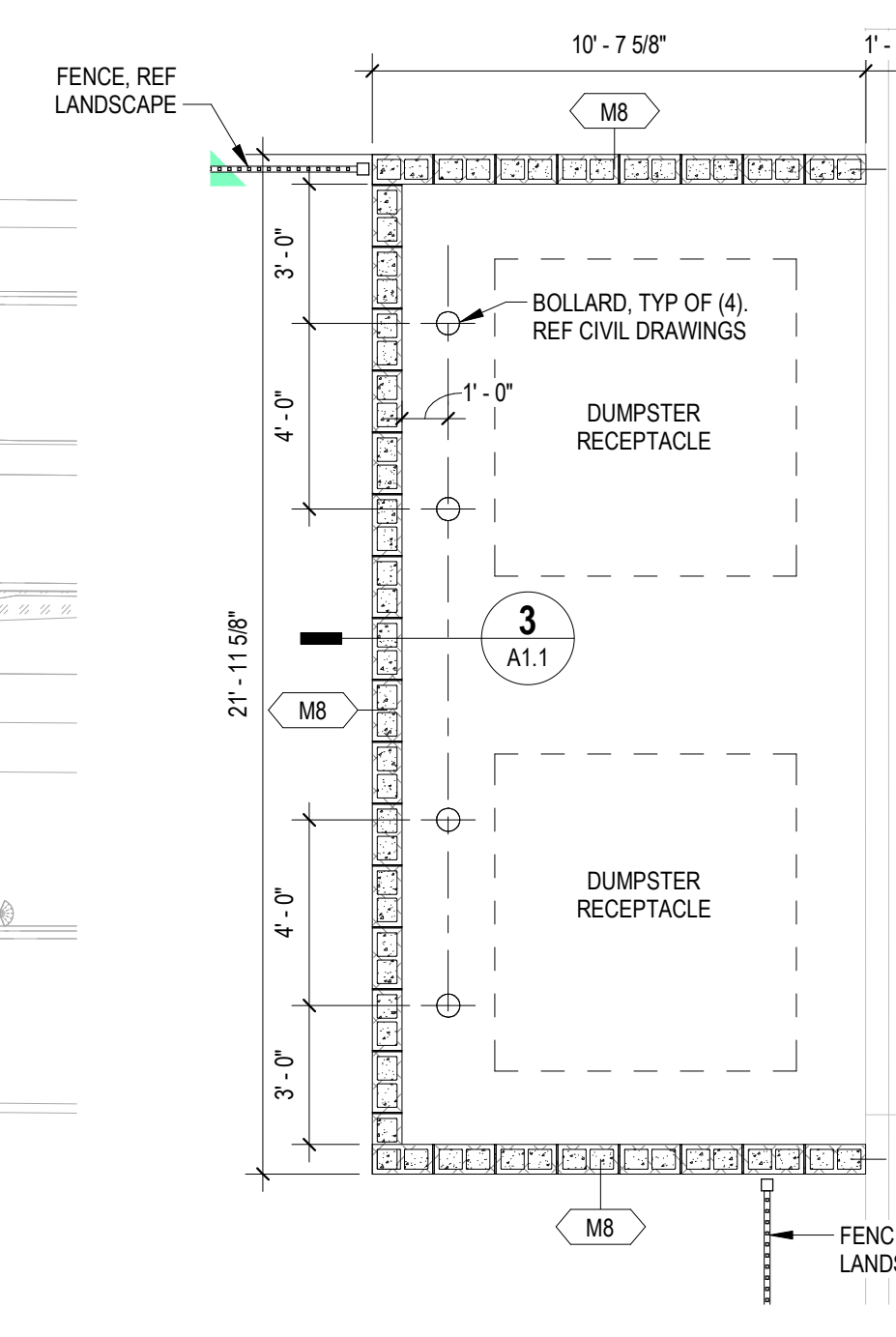
- REFER TO ALL DRAWINGS FOR ADDITIONAL INFORMATION CONCERNING THE WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT PRIOR TO COMMENCING WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE REQUIREMENTS, LANDSCAPE AREAS, AND ADDITIONAL INFORMATION.

### KEYNOTES

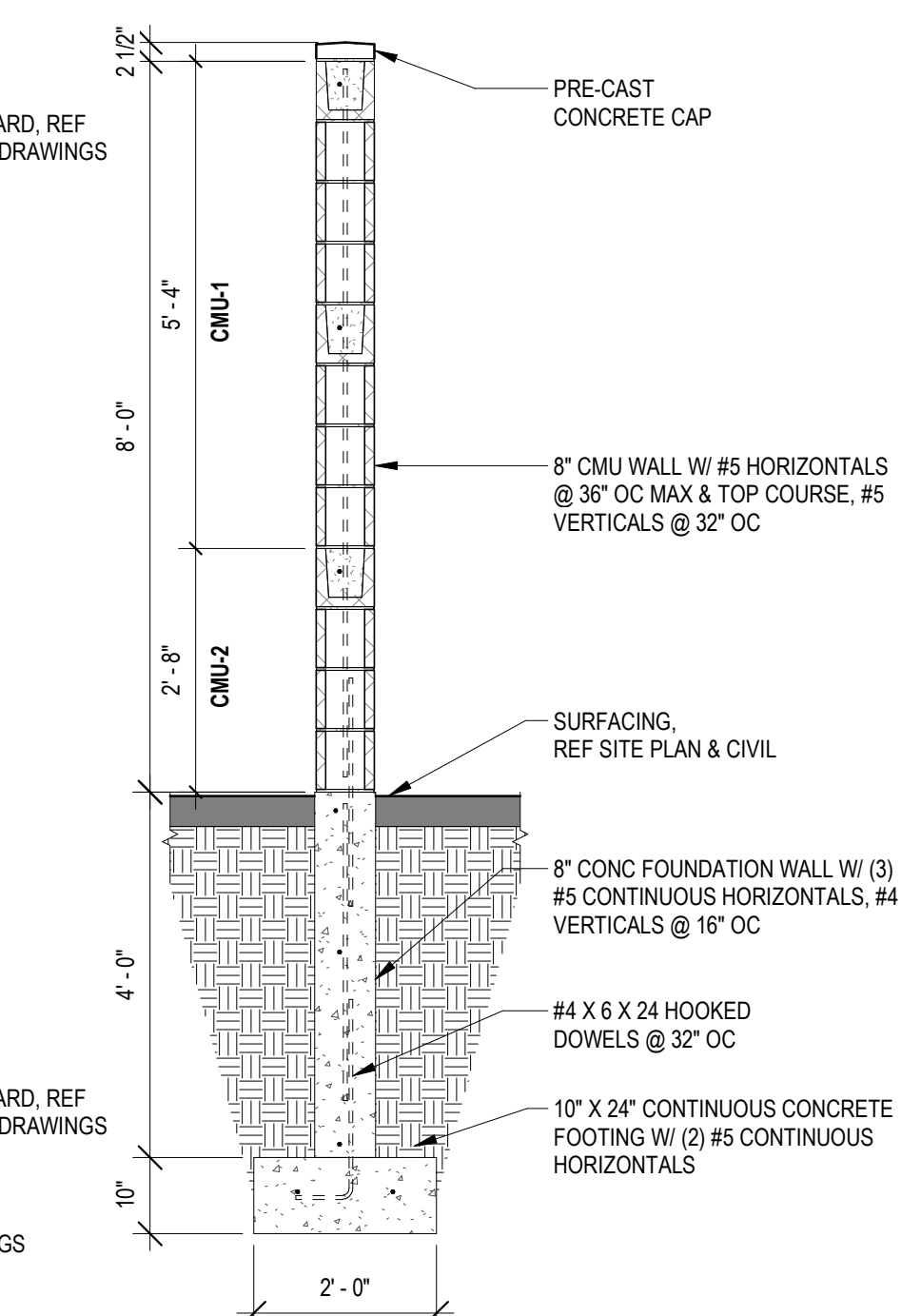
32-01 GREY HATCH INDICATES LOCATION OF FROST PROTECTED LANDING - REF DETAIL 11A1.1



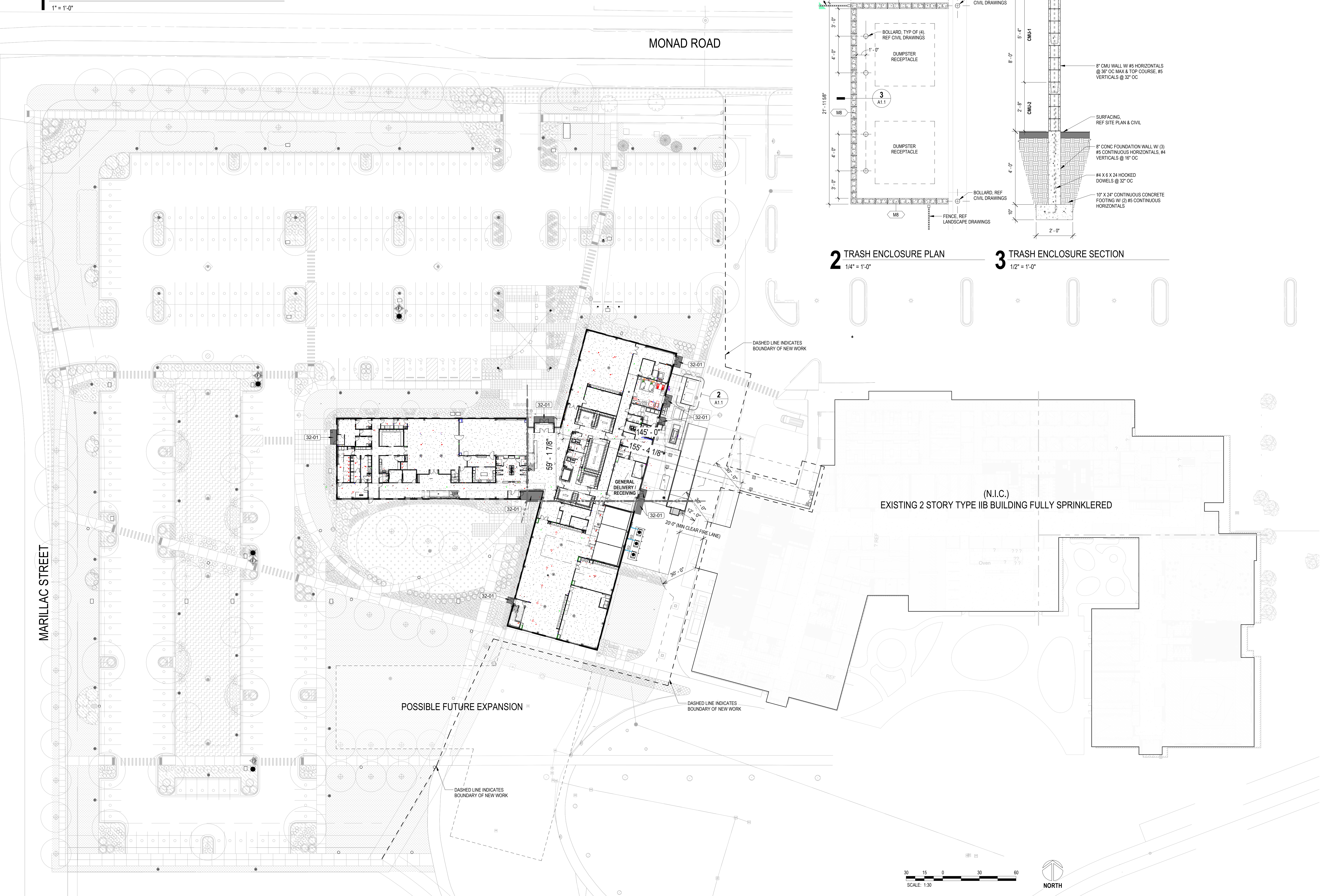
**1 FROST PROTECTED LANDING**  
1" = 1'-0"



**2 TRASH ENCLOSURE PLAN**  
1/4" = 1'-0"



**3 TRASH ENCLOSURE SECTION**  
1/2" = 1'-0"



11/17/2024 8:54:49 AM

sheet SITE PLAN

project **RVU - COLLEGE OF VETERINARY MEDICINE**

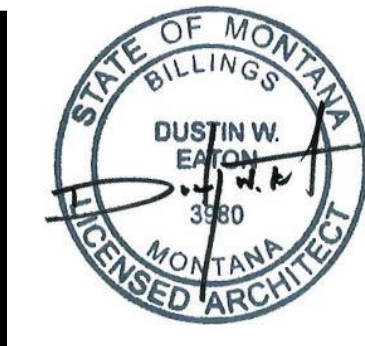
owner RVU

|           |              |            |
|-----------|--------------|------------|
| project # | <b>23031</b> |            |
| No.       | Description  | Date       |
| 1         | ADDENDUM     | 08.21.2024 |
| 5         | BULLETIN #3  | 10.11.2024 |

phase  
**100% CONSTRUCTION DOCUMENTS**



issue date  
**11-01-2024**

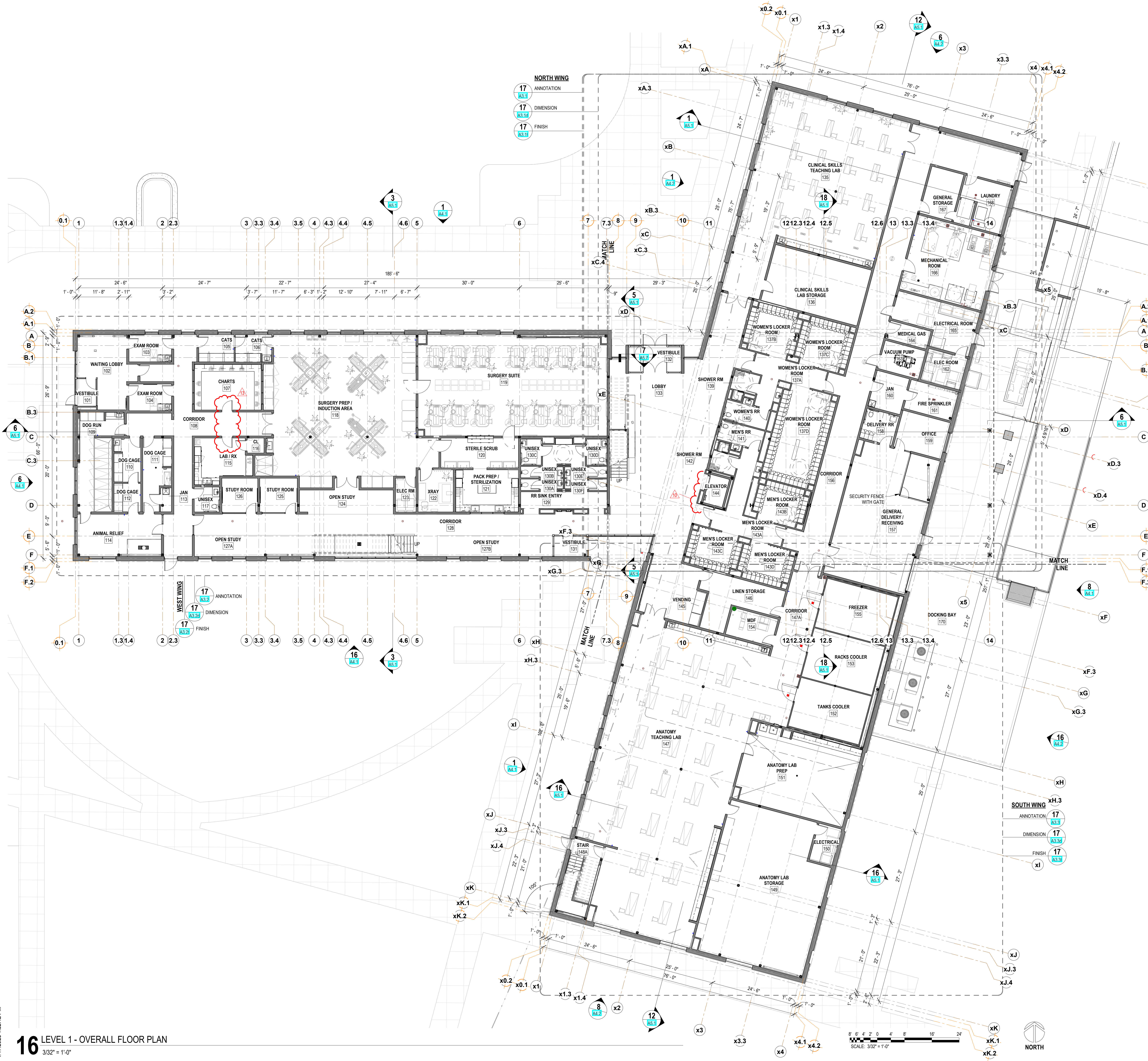
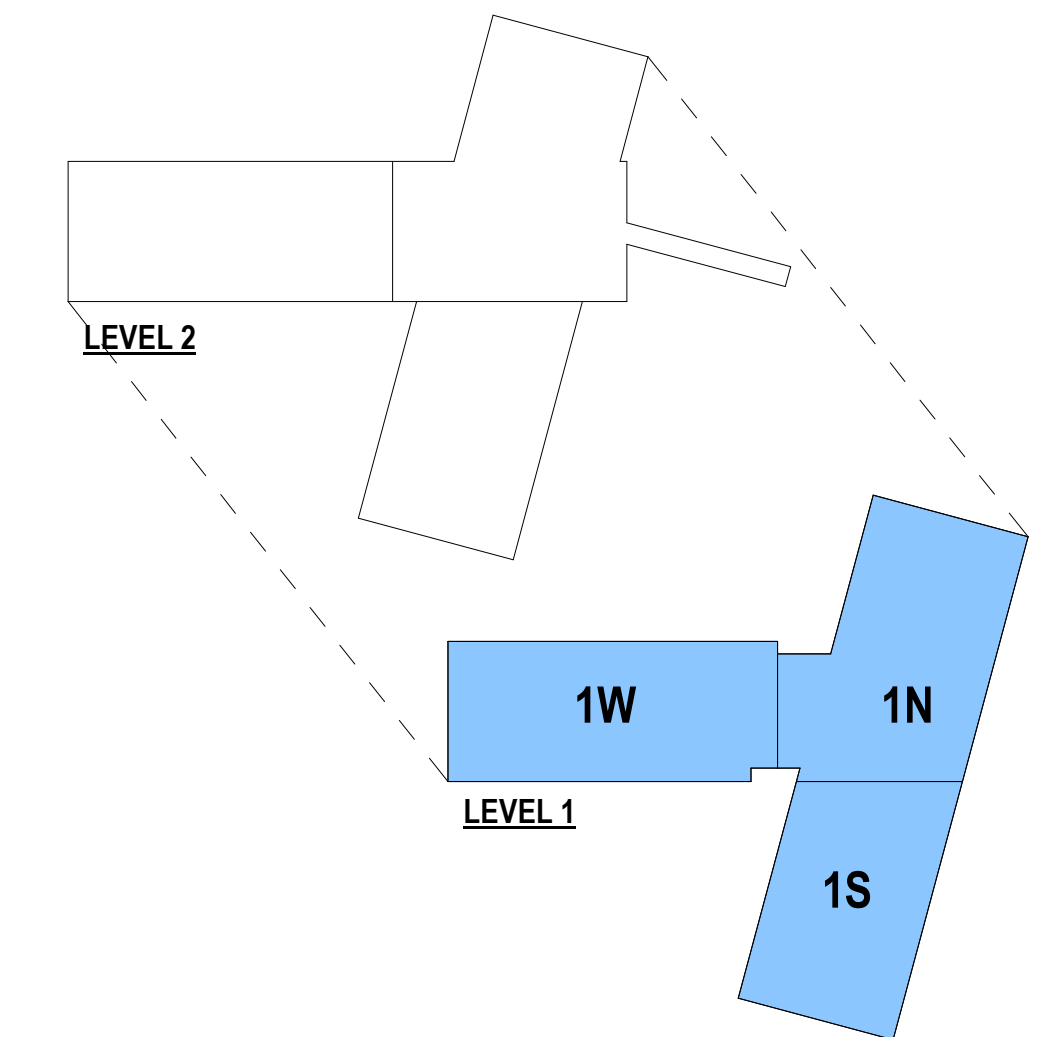


# KEYNOTES

# FLOOR PLAN NOTES

- REFER TO STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED UPON OWNER-SUPPLIED DOCUMENTS AND MAY NOT PRECISELY REFLECT FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOT CONSIDER CONSTRUCTION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL, CONSTRUCTION DRAWING AND NOTES WITH CIVIL, STRUCTURAL AND MECHANICAL, ELECTRICAL & PLUMBING NOTES AND DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL FINISHES AND MATERIALS SHALL BE PROPERLY INTEGRATED TO ENSURE A UNIFORM APPEARANCE AND SEAMLESS TRANSITION.
- PROVIDE ALL BACKING FOR MILLWORK, GRAB BARS, AND ANY AND ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES; COORDINATE LOCATIONS.
- ALL DIMENSIONS ARE FROM STRUCTURAL GRID OR UNFINISHED FACE OF STUD, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.
- PROVIDE A SMOOTH AND LEVEL FINISH FLOOR, TYP. PATCH AND REPAIR ALL INCONSISTENCIES IN FLOOR ELEVATIONS.
- PATCH AND REPAIR ANY / ALL WALL SURFACES AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR FINISHES.
- U/I ASSEMBLIES DESCRIBED ARE FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY THE INSTALLATION OF THE DESCRIBED SYSTEM(S).
- REFER TO DOOR AND FRAME SCHEDULE FOR DOORS REQUIRING ADA ACCESS CONTROL.
- LOCATE THE HINGE SIDE, JAMB OF DOORS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- PROVIDE ACOUSTICAL SEALANT AROUND WALL EDGES, TOP AND BOTTOM, AND PENETRATIONS, AND INSTALL PUTTY PADS AROUND ELECTRICAL BOXES WHERE PARTITION CONTAINS ACOUSTICAL INSULATION.
- REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE. PROVIDE ADDITIONAL SIGNAGE AS MAY BE REQUIRED BY REQUEST OF THE FIRE MARSHAL AND/OR BUILDING CODE OFFICIAL.
- EXPOSED STEEL COLUMNS TO BE PAINTED SAME COLOR AS ADJACENT WALL, UNO.
- STOREFRONT OPENING DIMENSIONS REPRESENT ROUGH OPENINGS BASED ON MASONRY VENEER MODULE DIMENSIONS, AND DO NOT INCLUDE MASONRY CONTROL JOINTS SHOWN ON EXTERIOR ELEVATIONS. CONTRACTOR TO COORDINATE ROUGH OPENINGS WITH MASONRY MODULE AND CONTROL JOINTS AS SHOWN.

# KEY PLAN



**16** LEVEL 1 - OVERALL FLOOR PLAN  
3/32" = 1'-0"

sheet **LEVEL 1 - OVERALL FLOOR PLAN**  
project **RVU - COLLEGE OF VETERINARY MEDICINE**  
owner **RVU**

project # **23031**

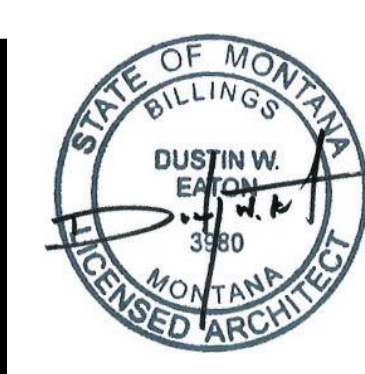
| No. | Description  | Date       |
|-----|--------------|------------|
| 4   | BULLETIN #2  | 09.26.2024 |
| 10  | BULLETIN #7  | 12.18.2024 |
| 13  | BULLETIN #11 | 01.17.2025 |
|     | VE           |            |

phase  
**100% CONSTRUCTION DOCUMENTS**



issue date  
**11-01-2024**  
**A2.1**

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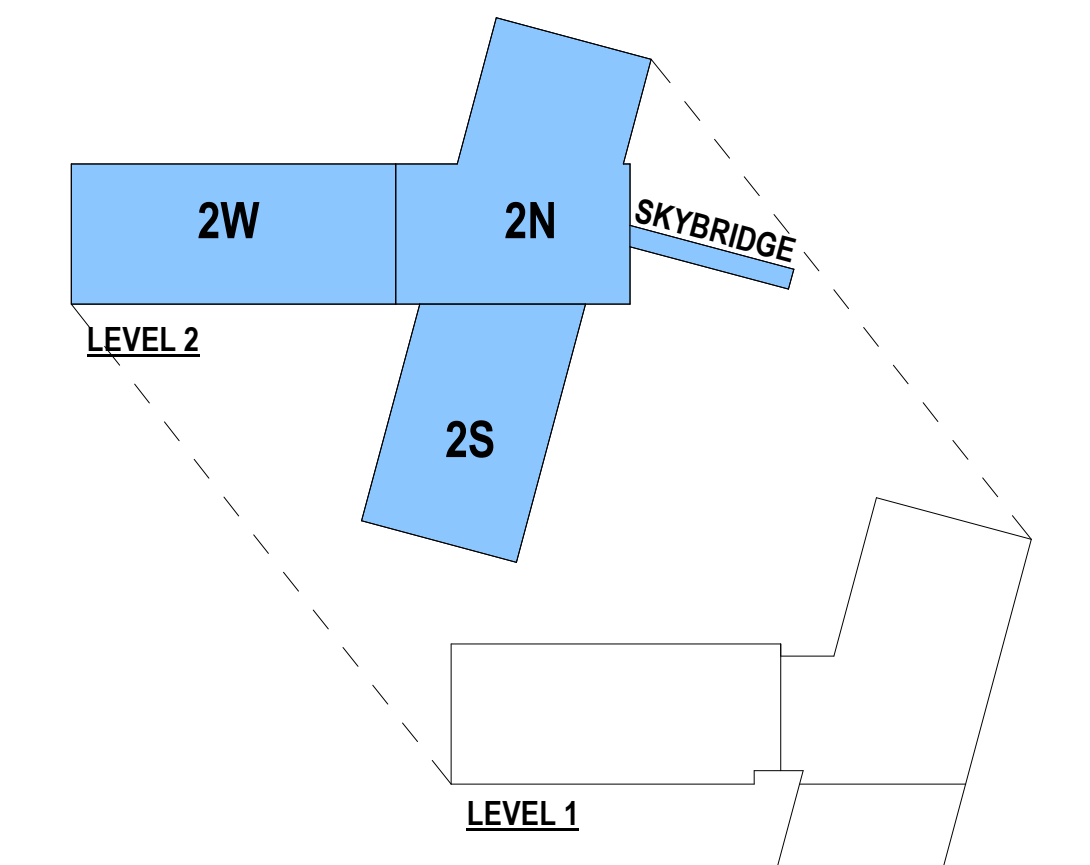
# KEYNOTES

## FLOOR PLAN NOTES

- REFER TO STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED UPON OWNER-SUPPLIED DOCUMENTS AND MAY NOT PRECISELY REFLECT FIELD CONDITIONS.
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- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
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- PROVIDE ALL BACKING FOR MILLWORK, GRAB BARS, AND ANY AND ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES; COORDINATE LOCATIONS.
- ALL DIMENSIONS ARE FROM STRUCTURAL GRID OR UNFINISHED FACE OF STUD, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.
- PROVIDE A SMOOTH AND LEVEL FINISH FLOOR, TYP. PATCH AND REPAIR ALL INCONSISTENCIES IN FLOOR ELEVATIONS.
- PATCH AND REPAIR ANY ALL WALL SURFACES AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR FINISHES.
- U.L. ASSEMBLIES DESCRIBED ARE FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY THE INSTALLATION OF THE DESCRIBED SYSTEM(S).
- REFER TO DOOR AND FRAME SCHEDULE FOR DOORS REQUIRING ADA ACCESS CONTROL.
- LOCATE THE HINGE SIDE JAMB OF DOORS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- PROVIDE ACOUSTICAL SEALANT AROUND WALL EDGES, TOP AND BOTTOM, AND PENETRATIONS, AND INSTALL PUTTY PADS AROUND ELECTRICAL BOXES WHERE PARTITION CONTAINS ACOUSTICAL INSULATION.
- REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE. PROVIDE ADDITIONAL SIGNAGE AS MAY BE REQUIRED BY REQUEST OF THE FIRE MARSHAL AND/OR BUILDING CODE OFFICIAL.
- EXPOSED STEEL COLUMNS TO BE PAINTED SAME COLOR AS ADJACENT WALL, UNO.
- STOREFRONT OPENING DIMENSIONS REPRESENT ROUGH OPENINGS BASED ON MASONRY VENEER MODULE DIMENSIONS, AND DO NOT INCLUDE MASONRY CONTROL JOINTS SHOWN ON EXTERIOR ELEVATIONS. CONTRACTOR TO COORDINATE ROUGH OPENINGS WITH MASONRY MODULE AND CONTROL JOINTS AS SHOWN.



## KEY PLAN



**16** LEVEL 2 - OVERALL FLOOR PLAN  
3/32" = 1'-0"

sheet **LEVEL 2 - OVERALL FLOOR PLAN**  
 project **RVU - COLLEGE OF VETERINARY MEDICINE**  
 owner **RVU**

project # **23031**

| No. | Description    | Date       |
|-----|----------------|------------|
| 3   | CITY REVISIONS | 09.19.2024 |
| 10  | BULLETIN #7    | 12.18.2024 |
| 11  | CITY REVISIONS | 12.20.2024 |

phase  
**100% CONSTRUCTION DOCUMENTS**

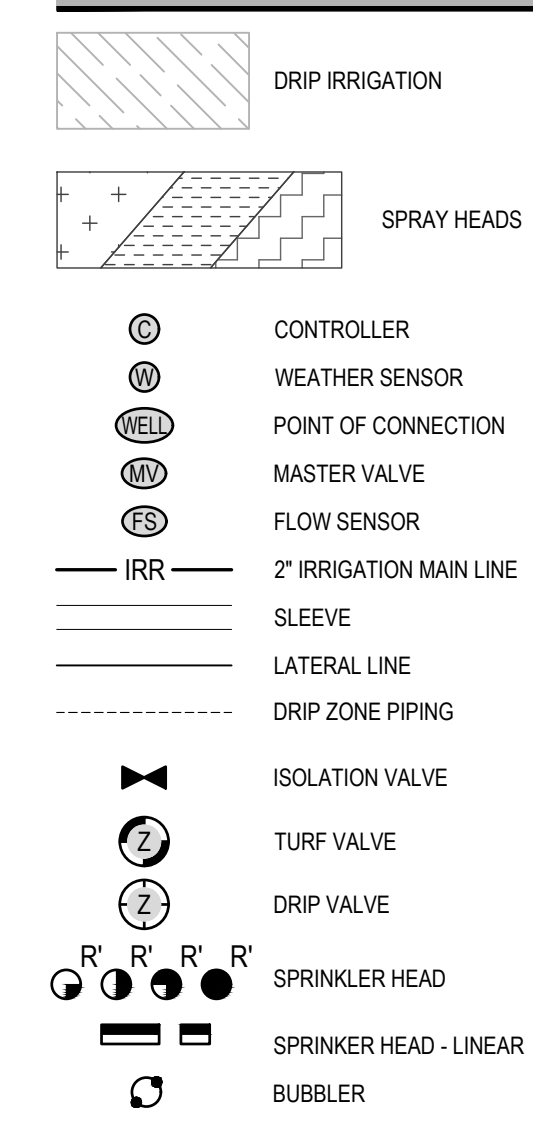


issue date  
**11-01-2024**

**A2.2**



### IRRIGATION LEGEND

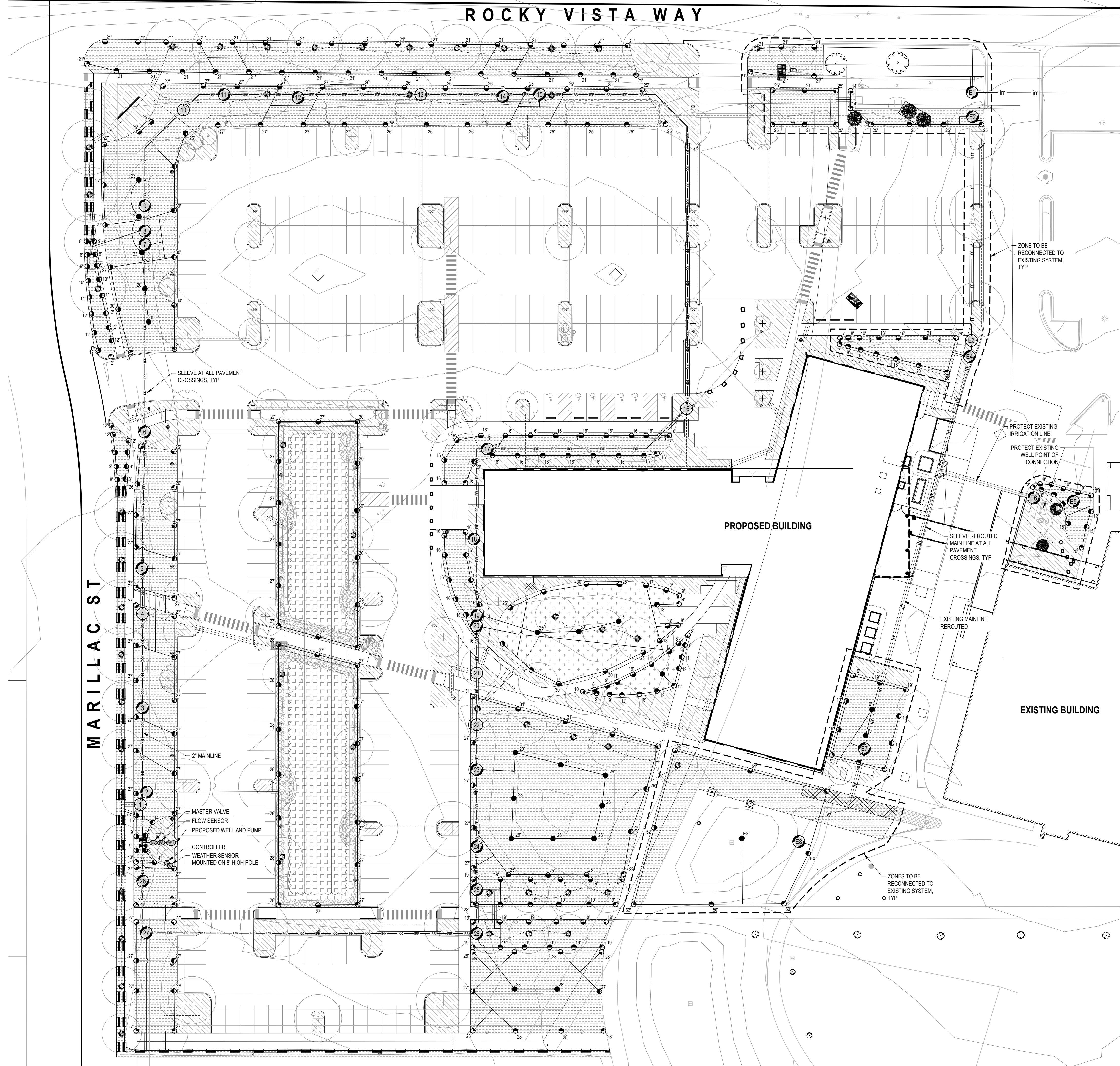


### IRRIGATION NOTES

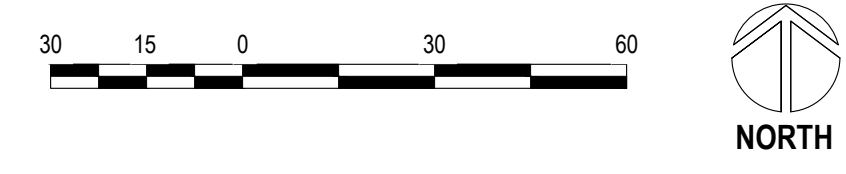
- COORDINATE ALL CONSTRUCTION WITH OTHER TRADES AND REVIEW PROJECT MANUAL.
- IRRIGATE ALL NEWLY LANDSCAPED AREAS. REPAIR DISTURBED IRRIGATION SYSTEMS BACK TO ORIGINAL CONDITION OR BETTER AND MATCH ADJACENT MATERIALS AT CONTRACTOR'S EXPENSE IF DISTURBANCE REACHES OUTSIDE PROPOSED SCOPE. OPERATE AND MAINTAIN EXISTING ADJACENT IRRIGATION SYSTEMS TO REMAIN DURING THE GROWING SEASON IF ROUTED THROUGH PROJECT SITE AND SERVE PLANTING AREAS OUTSIDE PROJECT LIMITS.
- FIELD VERIFY PRESSURE AND FLOW. ENSURING RESULTS ARE ADEQUATE FOR IRRIGATION DESIGN BEFORE CONSTRUCTION. IRRIGATION LAYOUT IS SCHEMATIC. PROVIDE PROPOSED ADJUSTMENTS, IF ANY, IN SUBMITTALS AS SPECIFIED.
- PREPARE SITE AND SUBGRADE FOR IRRIGATION INSTALLATION AS SPECIFIED. INSTALL ONE ADDITIONAL SLEEVE ALONGSIDE THE MAINLINE FOR CONTROL WIRING. ENSURE SLEEVES ARE INSTALLED FOR SYSTEM TO REACH ALL PROPOSED PLANTINGS.
- PERFORM HYDROSTATIC PRESSURE TEST PRIOR TO BACKFILLING PIPE TRENCHES.
- MAINTAIN CLEAN CONDITIONS FOR ALL IMPROVEMENTS, STORAGE, AND ACTIVE WORK AREAS.
- CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.
- INSTALL PLANTS AFTER THE IRRIGATION SYSTEM IS FULLY OPERATIONAL TO MEET WATERING REQUIREMENTS OF ALL SPECIES.
- INSTALL ALL NECESSARY COMPONENTS FOR FULL WINTERIZATION OF IRRIGATION SYSTEM.
- MAINTAIN AND WARRANTY IRRIGATION INSTALLATION AS SPECIFIED.

| ZONE CHART  |           |                          |            |
|-------------|-----------|--------------------------|------------|
| ZONE NUMBER | ZONE TYPE | TOTAL FLOW               | VALVE SIZE |
| 1           | TREE      | 36.00 GPH                | 1"         |
| 2           | TURF      | 30.50 GPM                | 2"         |
| 3           | TURF      | 27.00 GPM                | 2"         |
| 4           | DRIP      | 12.50 GPM MAX (6,481 SF) | 1"         |
| 5           | TURF      | 27.50 GPM                | 2"         |
| 6           | TURF      | 29.00 GPM                | 2"         |
| 7           | TURF      | 30.50 GPM                | 2"         |
| 8           | TURF      | 15.50 GPM                | 1.5"       |
| 9           | TURF      | 15.50 GPM                | 1.5"       |
| 10          | TREE      | 51.00 GPH                | 1"         |
| 11          | TURF      | 25.00 GPM                | 2"         |
| 12          | TURF      | 24.50 GPM                | 2"         |
| 13          | DRIP      | 14.50 GPM MAX (7,383 SF) | 1"         |
| 14          | TURF      | 23.50 GPM                | 2"         |
| 15          | TURF      | 21.50 GPM                | 2"         |
| 16          | DRIP      | 10.00 GPM MAX (5,199 SF) | 1"         |
| 17          | TURF      | 17.00 GPM                | 1.5"       |
| 18          | TURF      | 12.50 GPM                | 1.5"       |
| 19          | TURF      | 30.00 GPM                | 2"         |
| 20          | TURF      | 15.50 GPM                | 1.5"       |
| 21          | DRIP      | 11.50 GPM MAX (5,972 SF) | 1"         |
| 22          | TREE      | 48.00 GPH                | 1"         |
| 23          | TURF      | 32.00 GPM                | 2"         |
| 24          | TURF      | 31.50 GPM                | 2"         |
| 25          | TURF      | 24.00 GPM                | 2"         |
| 26          | TURF      | 27.00 GPM                | 2"         |
| 27          | TURF      | 17.00 GPM                | 1.5"       |
| 28          | TURF      | 28.50 GPM                | 2"         |

| LATERAL PIPE SIZES |                 |
|--------------------|-----------------|
| PIPE SIZE          | FLOW RATE (GPM) |
| 3/4"               | 0-6             |
| 1"                 | 7-12            |
| 1 1/4"             | 13-18           |
| 1 1/2"             | 19-24           |
| 2"                 | 23-30           |



**16** IRRIGATION PLAN  
1" = 30'-0"



sheet  
 IRRIGATION PLAN  
 project  
**RVU - COLLEGE OF VETERINARY MEDICINE**  
 owner

project # **23031**  
 revision      date

phase  
**NOT FOR CONSTRUCTION**



issue date  
**09-11-2024**

**L2.1**

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### LANDSCAPE NOTES

- COORDINATE ALL CONSTRUCTION WITH OTHER TRADES AND REVIEW PROJECT MANUAL.
- FIELD VERIFY EXISTING CONDITIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.
- PROTECT ALL EXISTING IMPROVEMENTS TO REMAIN. ALL AREAS TO REMAIN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE LANDSCAPED. REPAIR BACK TO ORIGINAL CONDITION OR BETTER AND MATCH ADJACENT LANDSCAPE MATERIALS AT CONTRACTOR'S EXPENSE IF DISTURBANCE REACHES OUTSIDE PROPOSED SCOPE.
- PROVIDE ALL EQUIPMENT, MATERIALS, AND SERVICES REQUIRED FOR A COMPLETE AND SATISFACTORY INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND DESIGN INTENT AS INCIDENTAL WORK.
- MAINTAIN CLEAN CONDITIONS FOR ALL IMPROVEMENTS, STORAGE, AND ACTIVE WORK AREAS.
- MAINTAIN AND WARRANTY HARDSCAPE INSTALLATION AS SPECIFIED.

### HARDSCAPE LEGEND

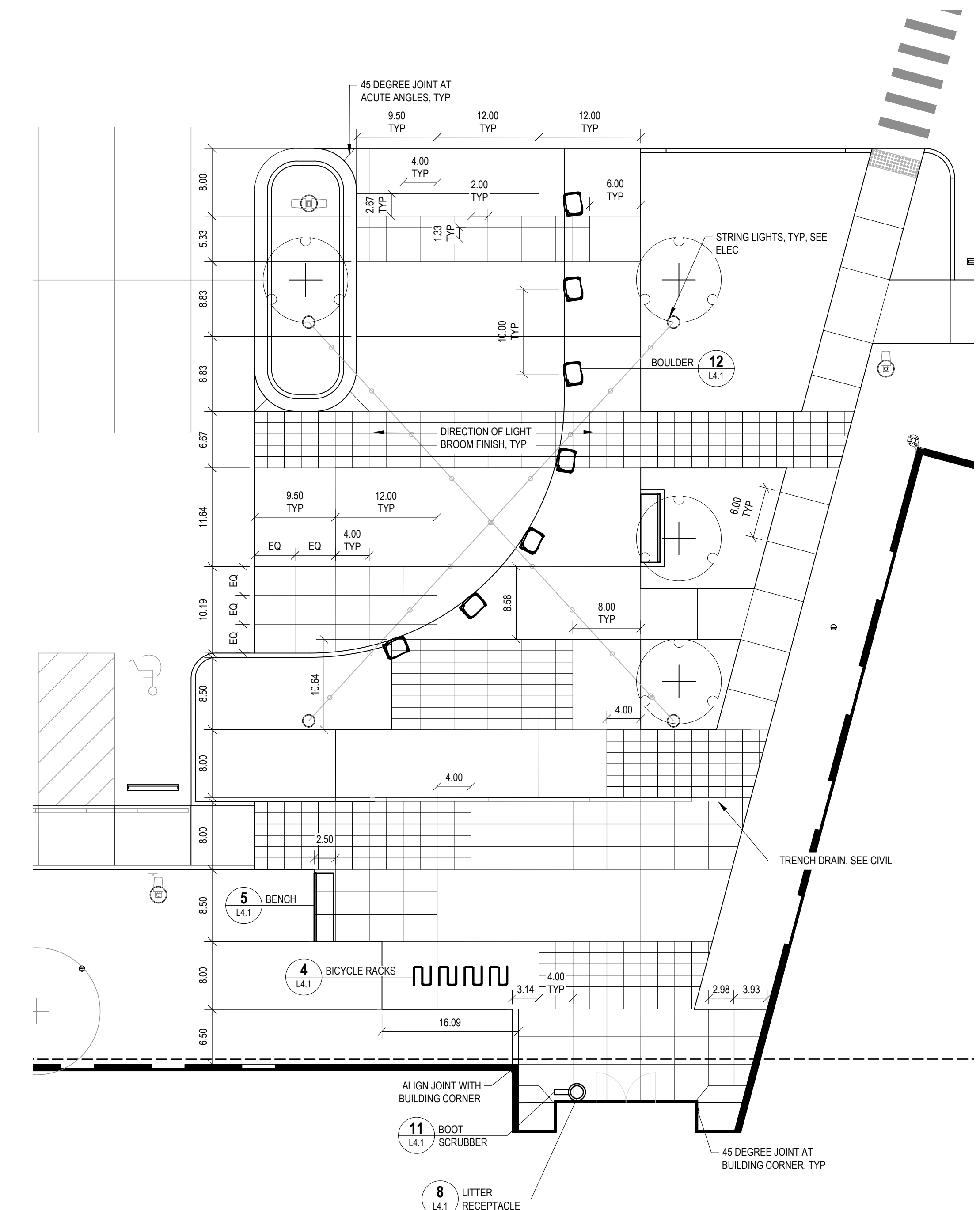
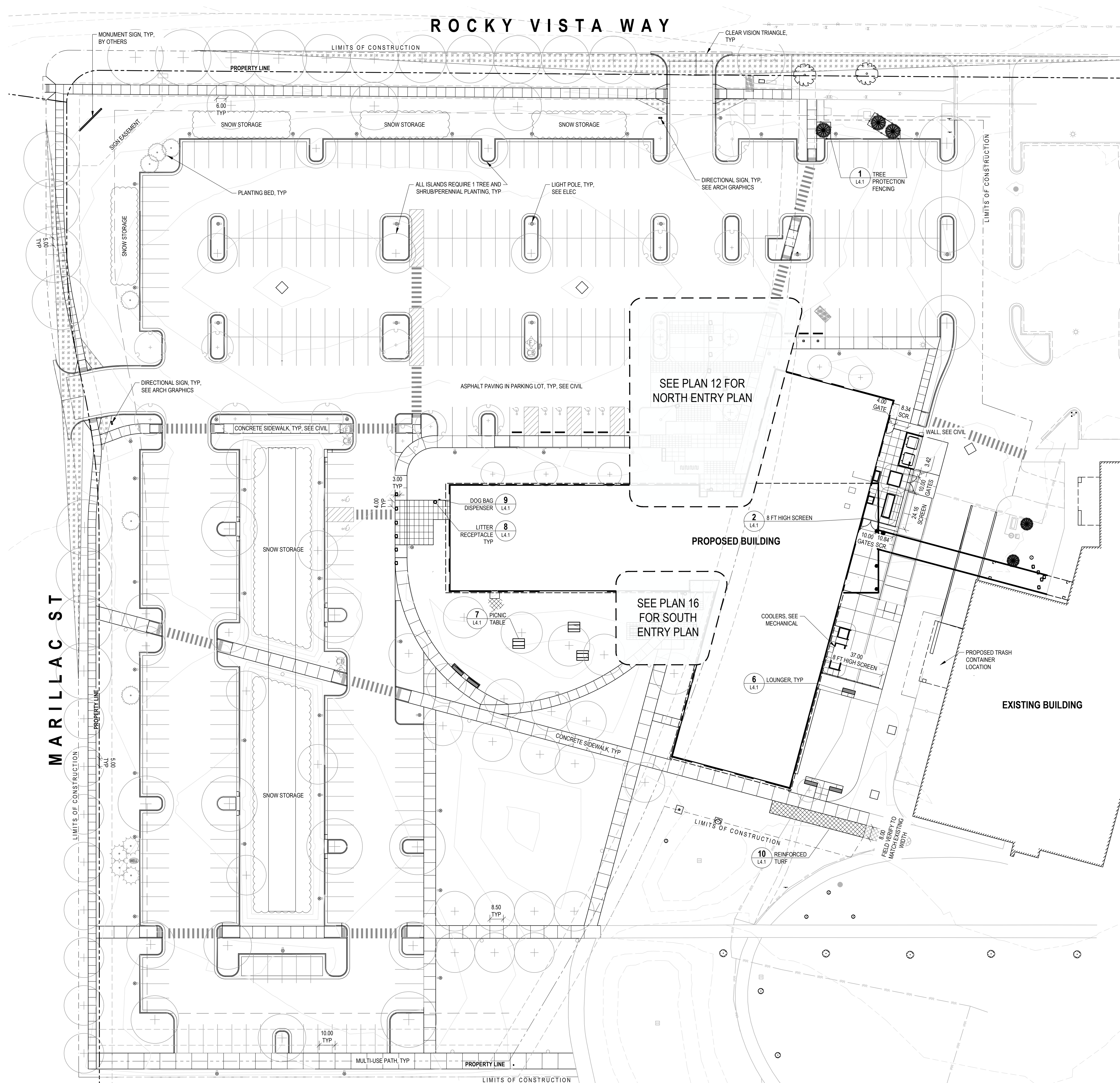
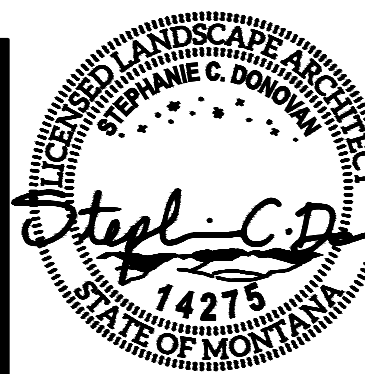
- CONCRETE CONTRACTION JOINTS
- 8 FT HIGH SCREEN FENCING
- SCREEN GATES
- CLEAR VISION TRIANGLE
- SNOW STORAGE
- REINFORCED TURF, MATCH EXISTING ADJACENT PAVERS
- TEMPORARY TREE PROTECTION FENCING

### SITE FURNISHINGS LEGEND

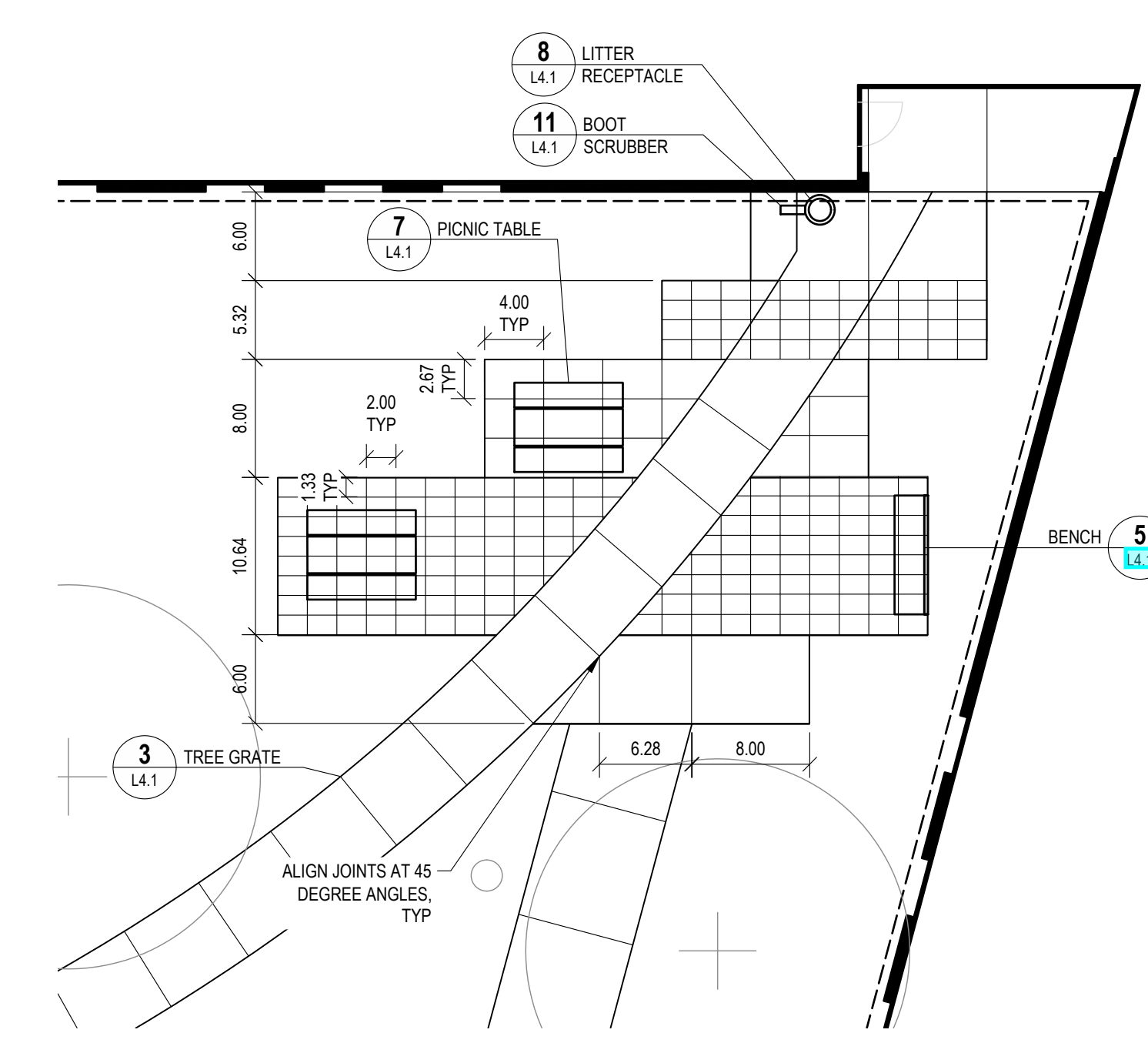
- SFURN-1: BENCH
- SFURN-2: LOUNGER BENCH
- SFURN-3: BICYCLE RACKS
- SFURN-4: PICNIC TABLES
- SFURN-5: WASTE RECEPTACLE
- SFURN-6: DOG BAG HOLDER
- SFURN-7: BOOT SCRUBBER

All site furnishings above, other than SFURN-3: Bicycle Racks, are to be removed per Bulletin 11, VE option #66.

23031 Bulletin 11 2025\_01-23.pdf



12 NORTH ENTRY PLAN  
1" = 10'-0"



16 SOUTH ENTRY PLAN  
1" = 10'-0"

15 HARDSCAPE PLAN  
1" = 30'-0"

Sheet  
**HARDSCAPE PLAN**  
 Project  
**RVU - COLLEGE OF VETERINARY MEDICINE**  
 Owner

project # **23031**  
 revision      date

phase  
**NOT FOR CONSTRUCTION**



issue date  
**09-11-2024**

**L1.1**

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### CITY LANDSCAPE CODE

ZONE DISTRICT: PUD (PLANNED DEVELOPMENT), ST VINCENT HEALTHCARE SUBDIVISION

| SHILOH OVERLAY CODE REFERENCE                                                                                                                                                                                                                                                                          | CALCULATION                                                                                                                                                               | PROVIDED                                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 27-1406 (B)(2) RIGHT-OF-WAY FRONTAGE SETBACKS SHALL BE LANDSCAPED WITH A MINIMUM OF THREE (3) CANOPY OR EVERGREEN TREES AND EIGHT (8) SHRUBS PER ONE HUNDRED (100) FEET OF FRONTAGE. UP TO THIRTY (30) PERCENT OF THE REQUIRED LANDSCAPING MAY BE LOCATED IN THE BOULEVARD OF THE PUBLIC RIGHT OF WAY. | MONAD RD: 551.14 FT / 100 FT = 5.51<br>5.51 X 3 = 17 TREES & 5.51 X 8 = 45 SHRUBS<br>MARILLAC ST: 617.73 FT / 100 FT = 6.17<br>6.17 X 3 = 19 TREES & 6.17 X 8 = 50 SHRUBS | 36 TREES PROVIDED AND DISPERSED AS DIRECTED BY PLANNING DEPARTMENT. SHRUBS LOCATED IN RIGHT-OF-WAY AND SETBACKS. 95 SHRUBS PROVIDED IN LANDSCAPED BEDS AROUND SIGNAGE. |
| 27-1406 (B)(3) A MINIMUM OF TWENTY (20) SQUARE FEET OF INTERNAL LANDSCAPING PROVIDED FOR EACH PARKING SPACE.                                                                                                                                                                                           | 327 SPACES X 20 SF = 6,540 SF                                                                                                                                             | 8,537 SF LANDSCAPING PROVIDED IN PARKING ISLANDS                                                                                                                       |
| 27-1406 (B)(4) ONE (1) CANOPY AND/OR EVERGREEN TREE AND (8) SHRUBS SHALL BE REQUIRED FOR EVERY EIGHT (8) PARKING SPACES.                                                                                                                                                                               | 327 SPACES / 8 = 40.87<br>40.87 X 41 TREES & 40.87 X 5 = 205 SHRUBS                                                                                                       | 44 TREES PROVIDED IN ISLANDS. AND 205 SHRUBS PROVIDED IN ISLANDS                                                                                                       |
| 27-1406 (B)(5) THE MAXIMUM UNBROKEN DISTANCE IN ANY DIRECTION SHALL BE LIMITED TO ONE HUNDRED (100) FEET.                                                                                                                                                                                              | NA                                                                                                                                                                        | NO MORE THAN 100 FEET BETWEEN UNBROKEN ROWS OF STALLS                                                                                                                  |
| 27-1406 (B)(6) NO MORE THAN TWENTY-FIVE (25) PERCENT OF THE LANDSCAPED AREA SHALL CONTAIN NON-LIVING MATERIAL.                                                                                                                                                                                         | SEE CALCULATIONS ON PLANTING SCHEDULE                                                                                                                                     | X                                                                                                                                                                      |

### PUD LANDSCAPE CODE

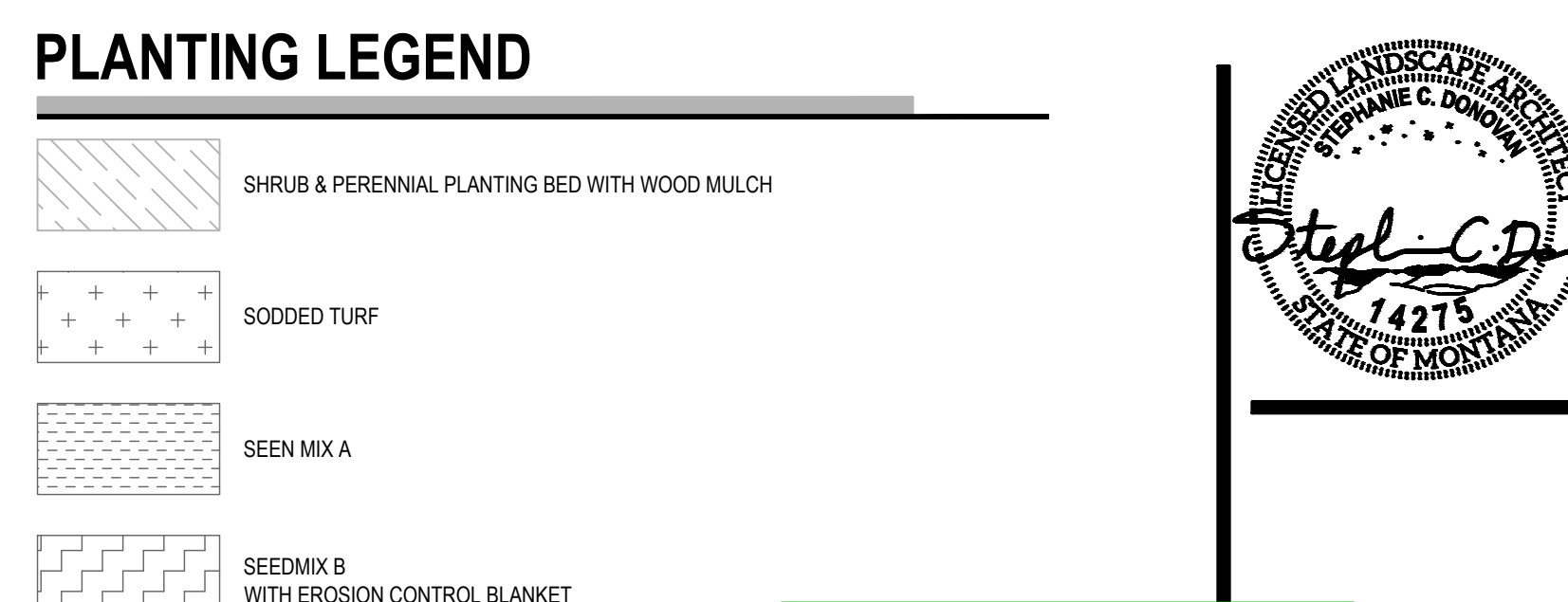
ZONE DISTRICT: PUD (PLANNED DEVELOPMENT), ST VINCENT HEALTHCARE SUBDIVISION

| SVH DESIGN GUIDELINES REFERENCE                                                                                                                                                                                                                                   | CALCULATION                  | PROVIDED                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| 2.1 ONE BICYCLE SPACE PER 5,000 SF OF GROSS BUILDING AREA. A MINIMUM OF 4 BIKE SPACES WITH A MAXIMUM OF 20 WILL BE REQUIRED.                                                                                                                                      | 58,489 / 5000 SF = 12 SPACES | 12 SPACES PROVIDED                                                                                                      |
| PDA 2ND MODIFICATION REFERENCE                                                                                                                                                                                                                                    | CALCULATION                  | PROVIDED                                                                                                                |
| ARTICLE VI B. 6. (A) ALL OUTDOOR GARBAGE CONTAINERS AND COLLECTION AREAS SHALL BE SCREENED VISUALLY WITH AT LEAST A SIX (6) FOOT TALL ENCLOSURE SO THAT OUTDOOR GARBAGE CONTAINERS AND COLLECTION AREAS ARE NOT VISIBLE FROM ADJACENT PROPERTIES OR COMMON AREAS. | NA                           | TRASH CONTAINER IS SCREENED WITHIN EXISTING BUILDING                                                                    |
| ARTICLE VI C. 3. LOADING AND SERVICE AREAS SHALL BE ENCLOSED EITHER WITH SOLID SCREEN WALLS NOT TO EXCEED SIX (6) FEET, OR LANDSCAPING ELEMENTS PLANTED IN SUCH A MANNER TO CREATE A VISUALLY OPAQUE SCREEN WHEN MATURE.                                          | NA                           | LOADING AND SERVICE AREA HAS LANDSCAPE ELEMENTS TO SCREEN AND SCREEN FENCE IS PROVIDED PER CITY CODE 27-1206 B.2 (B)(3) |
| ARTICLE VII F. ALL MONUMENT SIGNS SHALL BE LOCATED IN A LANDSCAPED AREA. LANDSCAPING SHOULD BE APPROPRIATELY SITED TO ENSURE THAT SIGNS ARE NOT BLOCKED OR OBSCURED BY TREES OR BUSHES.                                                                           | NA                           | LANDSCAPE PROVIDED AROUND SIGNS                                                                                         |

### CITY LANDSCAPE CODE

ZONE DISTRICT: PUD (PLANNED DEVELOPMENT), ST VINCENT HEALTHCARE SUBDIVISION

| MUNICIPAL CODE REFERENCE                                                                                                                                                                                                                                                                                                                                                                                                             | CALCULATION                                                                                | PROVIDED                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|
| 27-1203 B.1 (A) THE STREET FRONTAGE LANDSCAPE AREA SHALL BE AT LEAST TEN (10) FEET WIDE. THE WIDTH OF THE LANDSCAPE AREA MAY BE REDUCED TO SIX (6) FEET WITH THE PROVISION OF DRIP IRRIGATION PER SUBSECTION 27-1205 F.                                                                                                                                                                                                              | NA                                                                                         | LANDSCAPE AREA WITH 10 FEET OF IRRIGATED LAWN PROVIDED AT STREET FRONTAGE                        |
| 27-1203 B.1 (B) THE REQUIRED TOTAL NUMBER OF STREET TREE STALLS SHALL BE CALCULATED AT ONE TREE PER FORTY (40) LINEAL FEET OF FRONTAGE. FRACTIONS SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.                                                                                                                                                                                                                                      | ROCKY VISTA WAY: 551.14 FT / 40 FT = 14 TREES<br>MARILLAC ST: 617.73 FT / 40 FT = 16 TREES | 14 TREES PROVIDED ON ROCKY VISTA WAY, 16 TREES PROVIDED ON MARILLAC                              |
| 27-1203 D.2 THE GROUND PLANE OF THE STREET FRONT LANDSCAPE YARD SHALL BE PLANTED IN SEVENTY-FIVE (75) PERCENT ORGANIC MATERIALS THAT WILL REMAIN IN PLACE THROUGH TYPICAL LOCAL WEATHER AND NOT INCLUDE TURF GRASS OR OTHER MATERIAL THAT REQUIRES REGULAR MOWING. THE REMAINING TWENTY-FIVE (25) PERCENT OF THE GROUND PLANE MAY BE COVERED IN INORGANIC MATERIALS.                                                                 | SEE CALCULATIONS ON PLANTING SCHEDULE<br>29430 SF COVERAGE / 33708 SF MULCH AREA           | 87.3% ORGANIC MATERIALS PROVIDED                                                                 |
| 27-1205 B.1 (A) ALL PARKING STALLS SHALL BE WITHIN (132) LINEAL FEET OF A REQUIRED PARKING LOT LANDSCAPE AREA.                                                                                                                                                                                                                                                                                                                       | NA                                                                                         | ALL SPACES ARE WITHIN 132 FEET OF LANDSCAPE                                                      |
| 27-1205 D.1 (B) ISLANDS SHALL BE PLANTED WITH ONE TREE IN ADDITION TO THE REQUIRED GROUND PLANE COVERAGE. TURF GRASS IS PROHIBITED IN OR ON PARKING LOT LANDSCAPE ISLANDS.                                                                                                                                                                                                                                                           | 44 ISLANDS                                                                                 | 44 TREES PROVIDED. SOME TREES ARE RELOCATED ON SITE TO ACCOMMODATE UTILITIES AND AVOID CONFLICTS |
| 27-1205 F.1 A PORTION OF THE SITE EQUAL TO FIVE (5) PERCENT OF THE SURFACE AREA TO BE PLOWED SHALL BE PROVIDED AS ONE OR MORE SNOW STORAGE AREAS.                                                                                                                                                                                                                                                                                    | 123,421 SF X .05 = 6,171 SF                                                                | 13,400 SF SNOW STORAGE PROVIDED                                                                  |
| 27-1206 B.2 (B)(3) GROUND-MOUNTED MECHANICAL EQUIPMENT GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW BY LANDSCAPING, A FENCE, OR A DECORATIVE WALL THAT IS INTEGRATED INTO THE ARCHITECTURE OF THE STRUCTURE. THE FENCE OR WALL SHALL BE OF A HEIGHT EQUAL TO, OR GREATER THAN, THE HEIGHT OF THE MECHANICAL EQUIPMENT BEING SCREENED.                                                                             | NA                                                                                         | 10 FT HIGH FENCE FOR SCREENING EQUIPMENT PROVIDED. EQUIPMENT IS APPROXIMATELY 9.5 FEET HIGH      |
| 27-1802 H.4 VEHICULAR TRAFFIC TRIANGLE MEASURED ALONG CENTERLINE OF THE DRIVEWAY OR ALLEY 14 FEET FROM BACK OF CURB BY 175 FEET (175 FT LOCAL 316 FT ARTERIAL) ALONG THE CURB LINE OR THE EXTENSION OF THE CURB LINE ON THE CROSS STREET. PEDESTRIAN TRAFFIC TRIANGLE 10 FEET FROM BACK OF WALK INTO PROPERTY MEASURED ALONG THE EDGE OF THE DRIVEWAY AND 20 FEET ALONG THE BACK OF SIDEWALK MEASURED FROM THE EDGE OF THE DRIVEWAY. | NA                                                                                         | CLEAR VISION REQUIRED AT MONAD AND MARILLAC DRIVEWAY ENTRANCES                                   |



23031 Bulletin 11 2025 01-23.pdf

Landscaping edging revised to 5 1/2" x 3/16" black aluminum in lieu of steel per bulletin 11 VE option #43.

Per discussion on 1/30/25 with Kris Koessl and Stephanie Donovan:  
Delete Qty 1 for English Oak, which was substituted for American Dream. Add 1 Burr Oak, for Qty 13.  
No to substituting Accolade Elms for both Triumph and Patriot.  
Acceptable to substitute for Patriot, Qty 5 and purchase the Qty 11 Triumph Elms.

### PLANTING NOTES

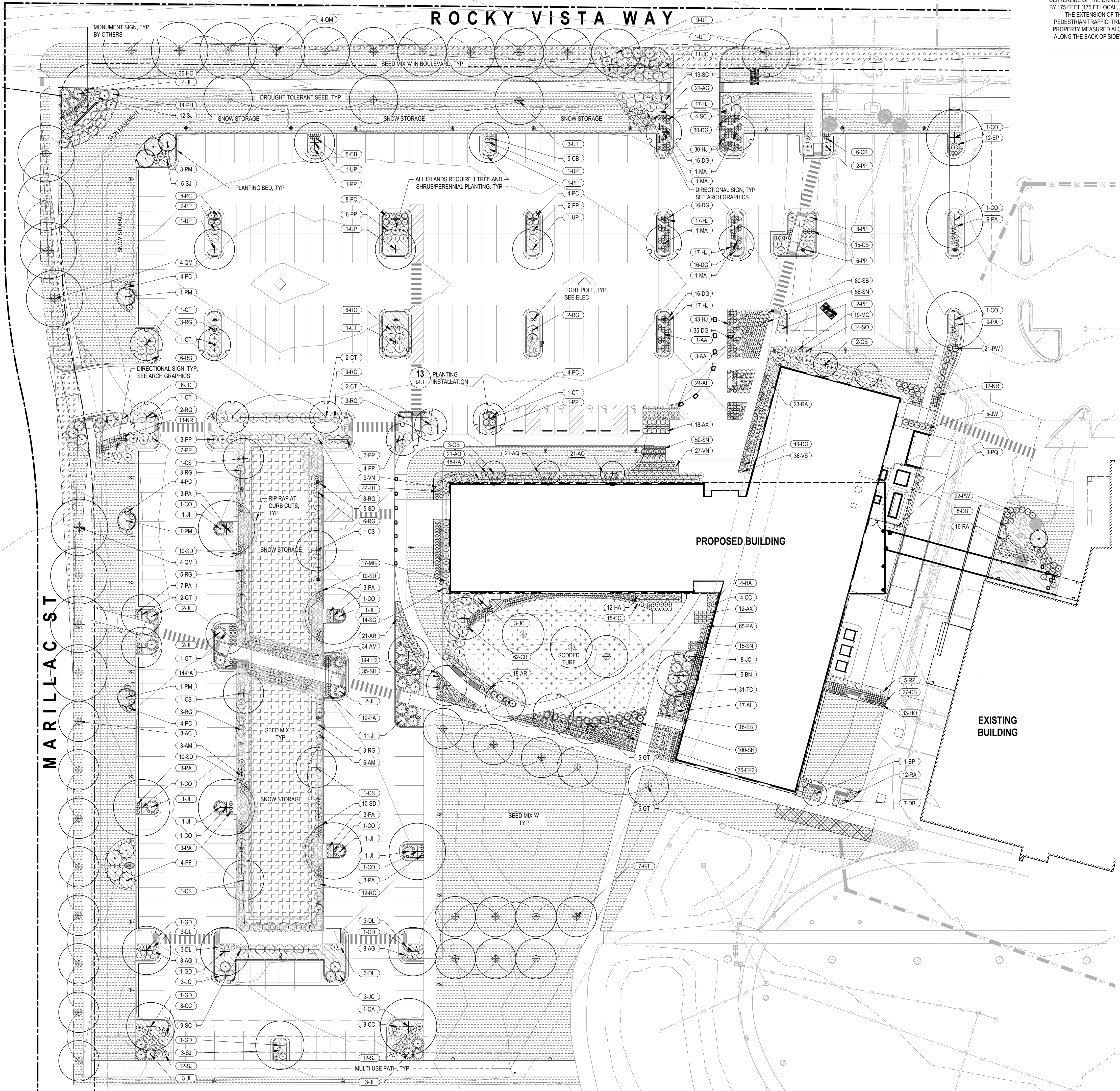
- SEE LANDSCAPE NOTES ON SHEET L1.1
- PREPARE SITE AND SUBGRADE FOR PLANTING APPLICATION AS SPECIFIED.
- TEST, AMEND, AND INSTALL PROPOSED PLANTING SOIL PER SPECIFICATIONS.
- VERIFY PLANT QUANTITIES AS ILLUSTRATED BY PLANT SYMBOLS, WHICH SHALL OVERRIDE THE QUANTITIES IN THE PLANT SCHEDULE. PLANT SUBSTITUTIONS MUST BE REVIEWED BY THE LANDSCAPE ARCHITECT.
- INSTALL PLANTS AFTER THE IRRIGATION SYSTEM IS FULLY OPERATIONAL TO MEET WATERING REQUIREMENTS OF ALL SPECIES.
- MAINTAIN AND WARRANTY PLANTING INSTALLATION AS SPECIFIED.

### PLANT SCHEDULE

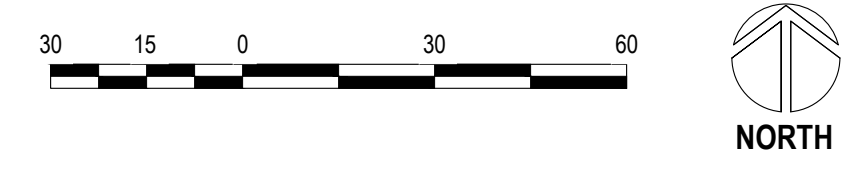
| CODE                    | QTY | BOTANICAL NAME                                  | COMMON NAME                        | SIZE       | CONTAINER | MATURE SIZE        |
|-------------------------|-----|-------------------------------------------------|------------------------------------|------------|-----------|--------------------|
| <b>TREES</b>            |     |                                                 |                                    |            |           |                    |
| AC                      | 8   | ACER NEGUNDO 'SENSATION'                        | SENSATION BOX ELDER                | 1.5" CAL.  | POT       | 30-35" X 25-30"W   |
| BN                      | 5   | BETULA NIGRA 'BNMTF'                            | DURA HEAT® RIVER BIRCH             | 1.5" CAL.  | POT       | 30-40" X 25-35"W   |
| BP                      | 1   | BETULA PLATYPHYLLA 'FARGO'                      | DAKOTA PINNACLE® ASIAN WHITE BIRCH | 2" CAL.    | POT       | 30-40" X 12-15"W   |
| CS                      | 5   | CATALPA SPECIOSA 'HIAWATHA 2'                   | HEARTLAND® NORTHERN CATALPA        | 1.5" CAL.  | POT       | 50" X 25"W         |
| CO                      | 9   | CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'             | PRAIRIE PRIDE HACKBERRY            | 1.5" CAL.  | POT       | 50" X 40"W         |
| CT                      | 9   | CRATAEGUS X MORDENENSIS 'TOBA'                  | TOBA HAWTHORN                      | 1.5" CAL.  | POT       | 15-20" H X 15-20"W |
| GT                      | 20  | GLEDITSIA TRIACANTHOS INERMIS 'JFS GMORGENSON1' | NORTHERN SENTINEL HONEYLOCUST      | 1.5" CAL.  | POT       | 45" X 25"W         |
| GD                      | 5   | GYMNOCALADUS DIOICUS 'MCKBRANCHED'              | DECAF® KENTUCKY COFFEETREE         | 1.5" CAL.  | POT       | 40-50" X 30-40"W   |
| MA                      | 4   | MAACKIA AMURENSIS 'JFS-SCHIECTEL'               | MAACNIFICENT® MAACKIA              | 1.5" CAL.  | POT       | 30" X 22"W         |
| PF                      | 4   | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'           | VANDERWOLF PINE                    | 6" HT.     | POT       | 20-30" H X 10-12"W |
| PM                      | 6   | PINUS MUGO 'LA CABANA'                          | LA CABANA MUGO PINE                | 5" HT.     | B&B       | 12-15" H X 10-12"W |
| QB                      | 5   | QUERCUS BICOLOR 'BONNIE AND MIKE'               | BEACON® OAK                        | 1.5" CAL.  | POT       | 40" X 15"W         |
| QA                      | 1   | QUERCUS BICOLOR 'JFS-KW12'                      | AMERICAN DREAM® OAK                | 1.5" CAL.  | POT       | 50" X 40"W         |
| QM                      | 12  | QUERCUS MACROCARPA 'JFS-KW14'                   | COBBLESTONE® OAK                   | 2" CAL.    | POT       | 45-55" X 35-45"W   |
| UT                      | 11  | ULMUS X 'MORTON GLOSSY'                         | TRUMPHTM™ ELM                      | 1.5" CAL.  | POT       | 50-55" X 35-40"W   |
| UP                      | 5   | ULMUS X 'PATRIOT'                               | PATRIOT ELM                        | 1.5" CAL.  | POT       | 45-50" H X 25-30"W |
| <b>SHRUBS</b>           |     |                                                 |                                    |            |           |                    |
| AA                      | 4   | AMELANCHIER ALNIFOLIA                           | SERVICEBERRY                       | 10 GAL. MS | POT       | 8-15" X 8-10"W     |
| AR                      | 37  | AMELANCHIER ALNIFOLIA 'REGENT'                  | REGENT SERVICEBERRY                | 3 GAL.     | POT       | 3-4" H X 3-4"W     |
| AL                      | 17  | AMORPHA CANESCENS                               | LEADPLANT                          | 1 GAL.     | POT       | 2-3" H X 2-3"W     |
| AM                      | 43  | ARONIA MELANOCARPA 'MORTON'                     | IROQUOIS BEAUTY™ BLACK CHOKEBERRY  | 3 GAL.     | POT       | 2-3" H X 4-5"W     |
| AG                      | 37  | ARONIA MELANOCARPA 'UCONNAM012'                 | GROUND HUG® BLACK CHOKEBERRY       | 1 GAL.     | POT       | 0.75-1" H X 3"W    |
| AF                      | 24  | ARTEMISIA FRIGIDA                               | FRINGED WORMWOOD                   | 1 GAL.     | POT       | 1.5-2" H X 1.5-2"W |
| DB                      | 15  | DAPHNE X BURKWOODII 'CAROL MACKIE'              | CAROL MACKIE DAPHNE                | 1 GAL.     | POT       | 2-3" H X 3-4"W     |
| DL                      | 12  | DIERVILLA LONICERA                              | BUSH HONEYSUCKLE                   | 1 GAL.     | POT       | 2-3" H X 3-4"W     |
| HA                      | 16  | HYDRANGEA PANICULATA 'SMHPS'                    | RAZZLEBERRI™ HYDRANGEA             | 1 GAL.     | POT       | 3-4" H X 3-4"W     |
| JW                      | 5   | JUNIPERUS SCOPULORUM 'WICHITA BLUE'             | WICHITA BLUE JUNIPER               | 10 GAL.    | POT       | 10-15" H X 4-6"W   |
| PP                      | 43  | PRUNUS BESSEYI 'P011S'                          | PAWNEE BUTTES® SAND CHERRY         | 1 GAL.     | POT       | 1-1.5" H X 4-6"W   |
| RG                      | 70  | RHUS AROMATICA 'GRO-LOW'                        | GRO-LOW FRAGRANT SUMAC             | 1 GAL.     | POT       | 1-2" H X 6-8"W     |
| RA                      | 99  | RIBES ALPIMUM 'GREEN MOUND'                     | GREEN MOUND ALPINE CURRANT         | 3 GAL.     | POT       | 2-3" H X 3-4"W     |
| RZ                      | 5   | ROSA X 'ZLEELTONSTRACK'                         | ABOVE AND BEYOND™ CLIMBING ROSE    | 1 GAL.     | POT       | 10" H X 3"W        |
| SD                      | 45  | SALIX CANDIDA 'SILVER FOX'                      | SILVER FOX HOARY WILLOW            | 2 GAL.     | POT       | 3" H X 3"W         |
| SJ                      | 44  | SPIRAEA JAPONICA 'ALPINA'                       | DAPHNE JAPANESE SPIREA             | 1 GAL.     | POT       | 1-1.5" H X 3-4"W   |
| SO                      | 14  | SYMPHORICARPOS OCCIDENTALIS                     | WESTERN SNOWBERRY                  | 2 GAL.     | POT       | 2-4" H X 4-6"W     |
| SC                      | 32  | SYMPHORICARPOS X CHENAULTII 'HANCOCK'           | HANCOCK CHENAULT CORALBERRY        | 1 GAL.     | POT       | 1-2.5" H X 6-8"W   |
| SG                      | 14  | SYRINGA VULGARIS 'PRESIDENT GREY'               | PRESIDENT GREY COMMON LILAC        | 3 GAL.     | POT       | 6-8" H X 4-6"W     |
| VN                      | 36  | VIBURNUM OPULUS 'NANUM'                         | DWARF EUROPEAN CRANBERRYBUSH       | 1 GAL.     | POT       | 1-2" H X 2-3"W     |
| <b>EVERGREEN SHRUBS</b> |     |                                                 |                                    |            |           |                    |
| JJ                      | 33  | JUNIPERUS HORIZONTALIS 'MONBER'                 | ICEE BLUE® CREEPING JUNIPER        | 5 GAL.     | POT       | 0.5" H X 6-8"W     |
| JC                      | 34  | JUNIPERUS SABINA 'MONNA'                        | CALGARY CARPET® JUNIPER            | 1 GAL.     | POT       | 0.5-1" H X 6-8"W   |
| PC                      | 32  | PINUS MUGO 'VALLEY CUSHION'                     | VALLEY CUSHION MUGO PINE           | 3 GAL.     | POT       | 1" H X 4"W         |
| PW                      | 43  | PINUS MUGO 'WHITE BUD'                          | WHITE BUD MUGO PINE                | 1 GAL.     | POT       | 3" H X 4"W         |
| PH                      | 14  | PINUS SYLVESTRIS 'HILLSIDE CREEPER'             | HILLSIDE CREEPER SCOTCH PINE       | 1 GAL.     | POT       | 2-3" H X 6-10"W    |
| TC                      | 31  | TAXUS CUSPIDATA 'MORDEN'                        | MORDEN UPRIGHT YEW                 | 5 GAL.     | POT       | 3-4" H X 4-6"W     |
| <b>GRASSES</b>          |     |                                                 |                                    |            |           |                    |
| CB                      | 120 | CALAMAGROSTIS BRACHYTRICHA                      | KOREAN FEATHER REED GRASS          | 1 GAL.     | POT       | 3-4" H X 2-3"W     |
| DT                      | 44  | DESCHAMPSIA CESPITOSA                           | TUFTED HAIR GRASS                  | 1 GAL.     | POT       | 2-3" H X 1.5-2"W   |
| DG                      | 165 | DESCHAMPSIA CESPITOSA 'GOLDTAU'                 | GOLD DEW TUFTED HAIR GRASS         | 1 GAL.     | POT       | 12-24" H X 12-24"W |
| MG                      | 36  | MISCANTHUS SINENSIS 'GRACILLIMUS'               | EULALIA GRASS                      | 1 GAL.     | POT       | 4-5" H X 3-4"W     |
| PA                      | 134 | PANICUM VIRGATUM 'PURPLE TEARS'                 | PURPLE TEARS SWITCH GRASS          | 1 GAL.     | POT       | 3-4" H X 2-2.5"W   |
| SH                      | 135 | SPOROBOLUS HETEROLEPIS                          | PRAIRIE DROPSEED                   | 1 GAL.     | POT       | 18-24" H X 24-36"W |
| <b>PERENNIALS</b>       |     |                                                 |                                    |            |           |                    |
| AX                      | 30  | ACHILLEA X 'FIREFLY DIAMOND'                    | FIREFLY DIAMOND YARROW             | 1 GAL.     | POT       | 24-28" H X 32-40"W |
| AQ                      | 63  | AQUILEGIA CAERULEA                              | ROCKY MOUNTAIN COLUMBINE           | 1 GAL.     | POT       | 12-36" H X 12-18"W |
| CC                      | 35  | CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM         | BEYOND MIDNIGHT BLUEBEARD          | 1 GAL.     | POT       | 2-3" H X 2-3"W     |
| EP2                     | 55  | ECHINACEA PALLIDA                               | PALE PURPLE CONEFLOWER             | 1 GAL.     | POT       | 24-36" H X 12-18"W |
| EP                      | 14  | ECHINACEA PURPUREA                              | CONEFLOWER                         | 1 GAL.     | POT       | 24-48" H X 18-24"W |
| HO                      | 68  | HELIOPSIS HELIANTHOIDES 'SUNSTRUCK'             | VARIEGATED FALSE SUNFLOWER         | 1 GAL.     | POT       | 14-16" H X 12-14"W |
| HJ                      | 141 | HEMEROCALLIS X 'JOAN SENIOR'                    | JOAN SENIOR DAYLILY                | 1 GAL.     | POT       | 18-24" H X 18-24"W |
| NR                      | 25  | NEPETA RACEMOSA 'WALKER'S LOW'                  | WALKER'S LOW CATMINT               | 1 GAL.     | POT       | 2-3" H X 2-3"W     |
| PQ                      | 3   | PARTHENOCISSUS QUINQUEFOLIA 'VARIEGATA'         | VARIEGATED VIRGINIA CREEPER        | 1 GAL.     | POT       | 10-12" H X 5-10"W  |
| SN                      | 121 | SALVIA MEMOROSA 'BLUE BY YOU'                   | BLUE BY YOU MEADOW SAGE            | 1 GAL.     | POT       | 20-22" H X 18-22"W |
| SB                      | 98  | STACHYS BYZANTINA 'BIG EARS'                    | BIG EARS LAMB'S EAR                | 1 GAL.     | POT       | 8-12" H X 18-30"   |
| VS                      | 36  | VERONICA X 'SUNNY BORDER BLUE'                  | SUNNY BORDER BLUE SPEEDWELL        | 1 GAL.     | POT       | 18-24" H X 18-24"W |

TOTAL 29430.44

issue date  
09-11-2024



16 PLANTING PLAN  
1" = 30'-0"



PLANTING PLAN  
 sheet  
 project  
 owner  
 RVU - COLLEGE OF VETERINARY MEDICINE  
 project # 23031  
 revision date  
 phase  
 NOT FOR CONSTRUCTION  
 a&e

Rocky Vista University, LLC  
 Billings, MT Campus Expansion  
 Veterinary Program  
 Headcount

| Position                | FY24     | FY25     | FY26      | FY27      | FY28      | Additional Details                                                                                                                                                                                                                                                                                                                                        |
|-------------------------|----------|----------|-----------|-----------|-----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Leadership</b>       |          |          |           |           |           |                                                                                                                                                                                                                                                                                                                                                           |
| Dean                    | 1        | 1        | 1         | 1         | 1         | Chief academic and administrative leader. Oversees all aspects of Veterinary College. Ph.D. or advanced degree in veterinary science/prior leadership experience.                                                                                                                                                                                         |
| Assistant Deans         | 0        | 2        | 3         | 3         | 3         | Oversees specific areas of Vet Program such as curriculum development, clinical training, and/or student support. Ph.D. or advanced degree in veterinary science/prior leadership experience.                                                                                                                                                             |
| <b>Total Leadership</b> | <b>1</b> | <b>3</b> | <b>4</b>  | <b>4</b>  | <b>4</b>  |                                                                                                                                                                                                                                                                                                                                                           |
| <b>Faculty</b>          |          |          |           |           |           |                                                                                                                                                                                                                                                                                                                                                           |
| Full-Time Faculty       | 0        | 0        | 10        | 17        | 23        | Provides instruction to students. Ph.D. or advanced degree in veterinary science/prior teaching experience. Compensation (inclusive of benefits) up to \$225K depending on experience.                                                                                                                                                                    |
| Part-Time Faculty       | 0        | 0        | 0         | 6         | 10        | Provides instruction to students. Ph.D. or advanced degree in veterinary science. Hourly wage up to \$100 per hour.                                                                                                                                                                                                                                       |
| <b>Total Faculty</b>    | <b>0</b> | <b>0</b> | <b>10</b> | <b>23</b> | <b>33</b> |                                                                                                                                                                                                                                                                                                                                                           |
| <b>Staff</b>            |          |          |           |           |           |                                                                                                                                                                                                                                                                                                                                                           |
| Academic Support Staff  | 1        | 1        | 3         | 17        | 17        | Positions include: Vet technicians, instructional design, simulation technicians, testing support, administrative assistants, clinical coordinators, and library staff. Undergraduate degree, certificate, or equivalent work experience in field required. Compensation range (inclusive of benefits): \$55K-\$95K depending on position and experience. |
| Student Support Staff   | 0        | 0        | 2         | 8         | 8         | Positions include: Student services, student life, mental health, student financial services, and registrar support. Undergraduate degree, certificate, or equivalent work experience in field required. Compensation range (inclusive of benefits): \$70K-\$105K depending on position and experience.                                                   |
| Administrative Staff    | 0        | 0        | 10        | 13        | 13        | Positions include: Admissions, marketing, facilities, security, human resources, accounting, and information technology. Undergraduate degree, certificate, high school diploma or equivalent work experience in field required. Compensation range (inclusive of benefits): \$50K-\$100K depending on position and experience.                           |
| <b>Total Staff</b>      | <b>1</b> | <b>1</b> | <b>15</b> | <b>38</b> | <b>38</b> |                                                                                                                                                                                                                                                                                                                                                           |
| <b>Total Headcount</b>  | <b>2</b> | <b>4</b> | <b>29</b> | <b>65</b> | <b>75</b> |                                                                                                                                                                                                                                                                                                                                                           |
| Full-Time               | 2        | 4        | 29        | 59        | 65        |                                                                                                                                                                                                                                                                                                                                                           |
| Part-Time               | 0        | 0        | 0         | 6         | 10        |                                                                                                                                                                                                                                                                                                                                                           |

**PERMIT # BP-24-03475**

CITY OF BILLINGS  
BUILDING DIVISION  
2825 3RD AVENUE NORTH, 4TH FLOOR  
BILLINGS, MT 59101  
Office: (406) - 657-8270  
Fax: (406) - 657-8252

**Project Name: Rocky Vista University College of  
Veterinary Medicine Foundation Only**

**Type: COM NEW OTHER**

Date Issued: 10/01/2024  
Job Address: 4130 ROCKY VISTA WAY  
Legal Description: ST VINCENT HEALTHCARE SUB 2ND FIL (23), S10, T01 S, R25 E, B LOCK 3, Lot 12

Owner: ROCKY VISTA UNIVERSITY LLC  
Contractor: LANGLAS & ASSOC., INC.

Email:  
Description of Work: An early submittal for the main at grade floor slab, and under slab Structural, MEP, and Civil Utilities.

**Information:**

Special Conditions: No Engineering permit is required for this permit. The Engineering permit will be issued with the vertical development permit when the private contract road development work is submitted.

|                                                 |                    |
|-------------------------------------------------|--------------------|
| Fees:                                           |                    |
| BUILDING PERMIT FEE-COM:                        | \$19,997.75        |
| ENG - PLAN REVIEW FEE - COMM/MULTI (>= 1 ACRE): | \$1,020.00         |
| ENG - TRAFFIC ACCESSIBILITY UPDATE FEE:         | \$425.00           |
| PLAN CHECK-COM:                                 | \$13,274.79        |
| PLN-BUILDING PLAN REVIEW COM:                   | \$244.00           |
| PLN - LANDSCAPE PLAN FEE (BUILDING ONLY):       | \$230.00           |
| SEWER SYSTEM DEVELOP FEE:                       | \$30,270.00        |
| Water System Dev Fee-Domestic:                  | \$24,970.00        |
| <b>Total Fees:</b>                              | <b>\$90,431.54</b> |

Valuation Used (may be higher or lower than actual): 9000000

COMPLIANCE WITH THE REQUIREMENTS OF THE STATE BUILDING CODE FOR PHYSICAL ACCESSIBILITY TO PERSONS WITH DISABILITIES DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, THE REHABILITATION ACT OF 1973, THE FAIR HOUSING AMENDMENTS ACT OF 1988, TITLE 49, CHAPTER 2, COMMONLY KNOWN AS THE MONTANA HUMAN RIGHTS ACT, OR OTHER SIMILAR FEDERAL, STATE, OR LOCAL LAWS THAT MANDATE ACCESSIBILITY TO COMMERCIAL CONSTRUCTION OR MULTIFAMILY HOUSING.

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION OR AIR CONDITIONING, AND ENGINEERING.

The applicant hereby agrees that all work/installation/repair will be done in strict conformance with the city rules and regulations governing such work. Said Work will be done under and in accordance with all rules, regulations, and ordinances of the City of Billings, Montana, so far as said rules are applicable thereto. Applicant agrees to maintain work in a manner approved by the City. Applicant also hereby agrees and is bonded and held responsible to the owner for any and all damages to any other installation already in place as a result or work covered by this permit. Applicants to whom permits are issued shall at all times indemnify and save harmless the City of Billings, members of the City Council, the State of Montana, and all City and State employees, agents and officers from responsibility, damage, or liability arising from the exercise of the privileges granted in such permits.

- This permit must be kept on the work site and shown when requested.
- All work in the right of way will be signed pertaining to traffic control in accordance with "Manual of Uniform Traffic Control Devices."
- All attached special provisions and sketches are considered part of this permit and are therefore governed in accordance with the aforementioned.
- Contractor shall call all utilities before excavating.

**Water and Sewer Services:** Please call 657-8307 and request an inspection two hours prior to the desired time of inspection. This permit is valid for 90 days.

**\*NOTICE\*** The State Board of Plumbers advises that a plumbing license is required for work within the field of plumbing.

**Right of Way Permits:** Please call 657-8307 and request an inspection twenty-four hours prior to the desired time of inspection. This permit is valid for 365 days.

**Building Permits:** This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All exterior work must be completed within 18 months.

CITY OF BILLINGS  
BUILDING DIVISION  
316 N. 26th St.  
BILLINGS, MT 59101 - 5th Floor  
Office: (406) - 657-8270  
Fax: (406) - 657-8252

PERMIT # **BP-24-04843**

Project Name: RVU-College of Vet Med

Type: COM NEW CHURCH/SCHOOL

Date Issued: 01/24/2025

Job Address: 4130 ROCKY VISTA WAY

Legal Description: ST VINCENT HEALTHCARE SUB 2ND FIL (23), S10, T01 S, R25 E, B LOCK 3, Lot 12

Owner: ROCKY VISTA UNIVERSITY LLC

Contractor: LANGLAS & ASSOC., INC.

Email:

Description of Work: The project is located within the ST VINCENT HEALTHCARE SUB 2ND FIL (23). Work includes all construction of the building and above-grade site development (landscape, architectural, MPE, technology & A/V), minus work pertaining to building & site development previously submitted under permit application BP-24-03475 (structural steel and underslab structural, MEP and civil utilities).

Information:

Const. Type: II-B

Occupancy: B, A-3, S-1

Sq. Ft. Main: 30420

Other Levels: 29466

Occ. Load Main Use: 623

Height: 37'-0"

Stories: 2

Sprinklers: NFPA 13

Special Conditions: Coordinate Engineering inspections through the Engineering Division Permit Clerk 657-8307.

Fees:

BUILDING PERMIT FEE-COM:

\$32,297.75

PLAN CHECK-COM:

\$20,993.54

PLN-BUILDING PLAN REVIEW COM:

\$244.00

PLN - LANDSCAPE PLAN FEE (BUILDING ONLY):

\$230.00

Valuation Used (may be higher or lower than actual): 15000000

Total Fees:

\$53,765.29

COMPLIANCE WITH THE REQUIREMENTS OF THE STATE BUILDING CODE FOR PHYSICAL ACCESSIBILITY TO PERSONS WITH DISABILITIES DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, THE REHABILITATION ACT OF 1973, THE FAIR HOUSING AMENDMENTS ACT OF 1988, TITLE 49, CHAPTER 2, COMMONLY KNOWN AS THE MONTANA HUMAN RIGHTS ACT, OR OTHER SIMILAR FEDERAL, STATE, OR LOCAL LAWS THAT MANDATE ACCESSIBILITY TO COMMERCIAL CONSTRUCTION OR MULTIFAMILY HOUSING.

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION OR AIR CONDITIONING, AND ENGINEERING.

The applicant hereby agrees that all work/installation/repair will be done in strict conformance with the city rules and regulations governing such work. Said Work will be done under and in accordance with all rules, regulations, and ordinances of the City of Billings, Montana, so far as said rules are applicable thereto. Applicant agrees to maintain work in a manner approved by the City. Applicant also hereby agrees and is bonded and held responsible to the owner for any and all damages to any other installation already in place as a result or work covered by this permit. Applicants to whom permits are issued shall at all times indemnify and save harmless the City of Billings, members of the City Council, the State of Montana, and all City and State employees, agents and officers from responsibility, damage, or liability arising from the exercise of the privileges granted in such permits.

\*This permit must be kept on the work site and shown when requested.

\*All work in the right of way will be signed pertaining to traffic control in accordance with "Manual of Uniform Traffic Control Devices."

\*All attached special provisions and sketches are considered part of this permit and are therefore governed in accordance with the aforementioned.

\*Contractor shall call all utilities before excavating.

**Water and Sewer Services:** Please call 657-8307 and request an inspection two hours prior to the desired time of inspection. This permit is valid for 90 days.

**\*NOTICE\*** The State Board of Plumbers advises that a plumbing license is required for work within the field of plumbing.

**Right of Way Permits:** Please call 657-8307 and request an inspection twenty-four hours prior to the desired time of inspection. This permit is valid for 365 days.

Rocky Vista University, LLC  
 Billings, MT Campus  
 Current  
 Headcount

| Position                         | Current Headcount (Includes currently hired positions for Vet Program/Building Expansion) | Additional Details                                                                                                                                                                                                                                                                                                                        |
|----------------------------------|-------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Leadership</b>                |                                                                                           |                                                                                                                                                                                                                                                                                                                                           |
| Dean                             | 2                                                                                         | Chief academic and administrative leader. Oversees all aspects of academic programs. Ph.D. or advanced degree in field required/prior leadership experience.                                                                                                                                                                              |
| Assistant Deans                  | 6                                                                                         | Oversees specific areas of program such as curriculum development, clinical training, and/or student support. Ph.D. or advanced degree in field required/prior leadership experience.                                                                                                                                                     |
| <b>Total Leadership</b>          | <b>8</b>                                                                                  |                                                                                                                                                                                                                                                                                                                                           |
| <b>Faculty</b>                   |                                                                                           |                                                                                                                                                                                                                                                                                                                                           |
| Full-Time Faculty                | 18                                                                                        | Provides instruction to students. Ph.D. or advanced degree and prior teaching experience. Compensation (inclusive of benefits) up to \$280K depending on experience.                                                                                                                                                                      |
| Part-Time Faculty                | 29                                                                                        | Provides instruction to students. Ph.D. or advanced degree required. Hourly wage up to \$100 per hour.                                                                                                                                                                                                                                    |
| <b>Total Faculty</b>             | <b>47</b>                                                                                 |                                                                                                                                                                                                                                                                                                                                           |
| <b>Staff</b>                     |                                                                                           |                                                                                                                                                                                                                                                                                                                                           |
| Full-Time Academic Support Staff | 20                                                                                        | Positions include: Instructional design, simulation technicians, testing support, administrative assistants, clinical coordinators, and library staff. Undergraduate degree, certificate, or equivalent work experience in field required. Compensation range (inclusive of benefits): \$55K-\$185K depending on position and experience. |
| Part-Time Academic Support Staff | 13                                                                                        | Positions include: Administrative assistants, coordinators, and exam proctors. Undergraduate degree, certificate, or equivalent work experience in field required. Compensation range (inclusive of benefits): \$17-30 per hour depending on position and experience.                                                                     |
| Student Support Staff            | 10                                                                                        | Positions include: Student services, student life, mental health, student financial services, and registrar support. Undergraduate degree, certificate, or equivalent work experience in field required. Compensation range (inclusive of benefits): \$55K-\$130K depending on position and experience.                                   |
| Administrative Staff             | 22                                                                                        | Positions include: Admissions, marketing, facilities, security, human resources, accounting, and information technology. Undergraduate degree, certificate, high school diploma or equivalent work experience in field required. Compensation range (inclusive of benefits): \$55K-\$138K depending on position and experience.           |
| <b>Total Staff</b>               | <b>65</b>                                                                                 |                                                                                                                                                                                                                                                                                                                                           |
| <b>Total Headcount</b>           | <b>120</b>                                                                                |                                                                                                                                                                                                                                                                                                                                           |
| Full-Time                        | 78                                                                                        |                                                                                                                                                                                                                                                                                                                                           |
| Part-Time                        | 42                                                                                        |                                                                                                                                                                                                                                                                                                                                           |

I confirm that the information provided in this document is correct to the best of my knowledge: WLLS VP of Finance  
 Date: 3/28/25

**JULIANNA OAKES**  
 Notary Public  
 State of Colorado  
 Notary ID # 20254000360  
 My Commission Expires 01-06-2029

State of Colorado  
 County of Douglas  
 Signed before me on 3/28/25  
 by David Irazis  
Julianna Oakes  
 (Signature of Notarial Officer)  
Notary  
 (Title of Office)  
 My Commission Expires: 01/06/29

**TaxCode: A31930**

**Owner Listed On Last Tax Statement  
Last Updated: September 29, 2024**

Primary Owner: HIPPOCRATES (MULTI) LLC

**Owner as of March 12, 2025**

Primary Owner: HIPPOCRATES (MULTI) LLC

**2025 Mailing Address**

Mailing Address: HIPPOCRATES (MULTI) LLC  
C/O ROCKY VISTA UNIVERSITY LLC 88401 S CHAMBERS RD  
ENGLEWOOD, CO 80112

**Property Information**

Property Address: 4130 ROCKY VISTA WAY  
Township: 01 S Range: 25 E Section: 10  
Subdivision: ST VINCENT HEALTHCARE SUB (15) Block: 3 Lot: 1A  
Full Legal: ST VINCENT HEALTHCARE SUB (15), S10, T01 S, R25 E, BLOCK 3, Lot 1A, AMD (22)  
GeoCode: 03-0926-10-4-06-01-0000

[Show on Map](#) (May not work for some newer properties.)

**2024 Billing Information**

| Year                 | 1st Half     | 2nd Half     | Total      |
|----------------------|--------------|--------------|------------|
| <a href="#">2024</a> | 199,565.19 P | 199,565.17 P | 399,130.36 |

(P) indicates paid taxes.

**School Information**

High School: West - ([Show on Map](#))  
Middle School: Ben Steele - ([Show on Map](#))  
Elementary School: Big Sky - ([Show on Map](#))

**TaxCode: A37693**

**Owner Listed On Last Tax Statement  
Last Updated: September 29, 2024**

Primary Owner: ROCKY VISTA UNIVERSITY LLC

**Owner as of March 12, 2025**

Primary Owner: HIPPOCRATES (MULTI) LLC

**2025 Mailing Address**

Mailing Address: HIPPOCRATES (MULTI) LLC  
C/O ROCKY UNIVERSITY LLC 8401 S CHAMBERS RD  
ENGLEWOOD, CO 80112

**Property Information**

Property Address: MARILLAC ST  
Township: 01 S Range: 25 E Section: 10  
Subdivision: ST VINCENT HEALTHCARE SUB 2ND FIL (23) Block: 3 Lot: 12  
Full Legal: ST VINCENT HEALTHCARE SUB 2ND FIL (23), S10, T01 S, R25 E, BLOCK 3, Lot 12  
GeoCode: 03-0926-10-4-06-29-0000

[Show on Map](#) (May not work for some newer properties.)

**2024 Billing Information**

| Year                 | 1st Half    | 2nd Half    | Total     |
|----------------------|-------------|-------------|-----------|
| <a href="#">2024</a> | 11,388.98 P | 11,388.95 P | 22,777.93 |

(P) indicates paid taxes.

**School Information**

High School: West - ([Show on Map](#))

Middle School: Ben Steele - ([Show on Map](#))

Elementary School: Big Sky - ([Show on Map](#))