

Exhibit A
Resolution 25-_____

The Zoning Regulations for the Yellowstone County Jurisdictional Area are amended by revising Sections 27-300 to correct errors, provide clarification and continuity of the of the regulations.

Section 1. Section 27-302.H is amended as follows:

Section 27-302. District Descriptions

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H. NX2: Mixed Residential 2 (Permitted Only with a PND)

The NX2 district in the county is intended for use only with a planned neighborhood development process (PND) per Section 800. The district is intended for small- and mid-scale multiple-family homes with ~~3-2~~ to 8 units, in small neighborhood nodes. The buildings are oriented to the street in walkable blocks with doors and windows on front facades and parking/garages located behind the buildings.

Section 2. Section 27-303 – Regulations that apply to all Neighborhood Districts, are amended as follows:

A & B – remain unchanged

C. Access to residences must be from any public or approved private street right-of-way. All lots shall have one lot line located fully on a public or approved private street right-of-way, except one of every four lots in the development may be located on a shared open space. See Section 27-1305 for driveways.

D through F – remain unchanged

G. Trash, Recycling, Refuse Locations.

For all buildings with five or more units, all trash, recycling, and other refuse areas must be located and treated as follows:

1. Trash, recycling, and other refuse areas must be located in either the rear yard, or interior side yard, of the lot.

~~2. When no rear yard exists or when the rear yard is less than 10 feet in depth, trash, recycling, and other refuse areas may be located in the rear portion of an interior side yard.~~

~~3. 2.~~ Trash, recycling, and other refuse areas may be located inside the building with access doors off the rear or interior side facade. Access doors may be located off a non-primary frontage facade with an Administrative Relief per Section 27-1600.

Access doors must be opaque, screening a minimum of 80 percent of the opening.

~~—4. 3.~~ See Section 27-1200 for specifically required screening of trash, recycling, and other refuse areas.

New Section 27-303.H – Maximum Height Exceptions

(a) The maximum height limit shall not apply to spires, belfries, cupolas, antennas, water towers or tanks, chimneys or smokestacks, power transmission lines, cooling or elevator towers, or similar and necessary appurtenances not used for human occupancy.

(b) Buildings permitted in neighborhood and residential districts may exceed the height limitations of the district through an application for Administrative Relief (Sec. 27-1614) or through a Variance (Section 27-1626) for increases greater than allowed by administrative relief.

H. I. ALLOWED ENCROACHMENTS (remaining text and table are not amended)

I. YARD TREATMENT

~~Build-to zones, and front, side and rear yards shall be a minimum of 60 percent landscape area. Driveways are not permitted within the minimum side setbacks or any rear setback not abutting an alley. See Section 27-1305 for driveways.~~

J. FRONT ENTRANCES – remains the same

K. Arterial setbacks. Minimum arterial setbacks as follows apply to all residential and neighborhood districts:

1. No building or structure shall be erected or maintained within fifty (50) feet of the centerline of an arterial street. In addition, no required parking area or portion thereof, including driving aisles, shall be constructed or located within forty (40) feet of the centerline of an arterial street. Any new construction that increases the number of required off-street parking spaces must locate these additional required parking spaces in areas that comply with these locational standards.

2. Approved signs and public use controls and systems, trees trimmed up eight (8) feet and canopies with at least eight (8) feet clearance, shall be permitted in this setback area. For the purpose of this subsection, canopies shall be defined as covers that are solely attached to and supported by the structure to which it is attached and which can be removed without destroying any part of that supporting structure. This shall only apply to canopies attached to the principal structure.

3. The designation of a street as an arterial shall be as shown on the most recent functional classification map approved by the Metropolitan Planning Organization (MPO) through the Transportation Advisory Committee (TAC) and the Policy Coordinating Committee (PCC)

Section 3. Section 27-304 is amended to read as follows:

Section 27-304. N4 districts

The following site and structure regulations apply to any lot in the N4 district. Refer to 27-303 for general regulations applicable to all districts and Table 27-300-3, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(2). See Section 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-300-3. SITE AND STRUCTURE REGULATIONS

A. BUILDING SITING		REFERENCES
1	Minimum Lot Width (feet) per principal building	80
	Minimum Lot Size (square feet) per principal building	15,001
	Maximum Lot Size (square feet) per principal building	43,559
	Maximum Building Width (feet)	none
	Number of principal buildings per parcel	Any – meet min lot area and lot width per principal building
		See Sec. 27-1618 – Master Site Plan
2	Front Setback (feet)	20 minimum
4	Street-Side Setback (feet)	10 minimum
3	Side Setback (feet)	5 minimum
5	Rear Setback (feet)	20 minimum
6	Detached Accessory Building Yard Location	Rear, interior side yard or street side yard
8	Detached Accessory Building: Rear Setback (feet)	5 minimum, except 0 at alley
7&9	Maximum Total Building Coverage (%)	30
10	Permitted Driveway Access Location	Any
11	Attached Garage Entrance Location	Any
		See Sec. 271305 for driveways
B. HEIGHT		
Principal Building:	Maximum Height (stories)	3
	Maximum Height (feet)	34
Accessory Building:	Maximum Height (stories)	1.5 stories, no taller than the principal building
		See Section 27-1800 for instructions for measuring height

SINGLE-UNIT HOME

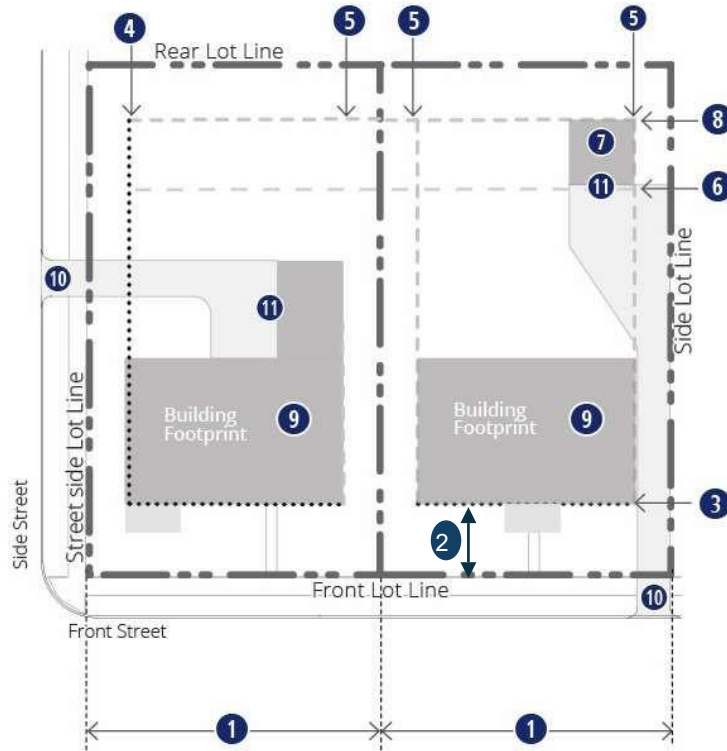


Figure 27-300(2). N4 district diagrammatic plan.

C. Supplemental Regulations [reserved]

1. Courtyard configuration. For multiple buildings with a courtyard, entrances may be located off the courtyard.

2. Side street frontage. For corner lots, all lot lines other than the front and street-side are side lot lines and, for parking and accessory buildings, the zoning coordinator shall determine where the rear of the lot is located.

3. Lots on cul-de-sacs and flag lots are exempt from minimum lot width regulations. See also Section 27-1500, Nonconformities, for existing lots of record.

Section 4. Section 27-305 is amended as follows:

Section 27-305. RR Districts

The following site and structure regulations apply to any lot in the RR district. Refer to 27-303 for general regulations applicable to all districts and Table 27-300-4, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(3). See Section 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-300-4. SITE AND STRUCTURE REGULATIONS

A. BUILDING			REFERENCES
1	Number of Buildings Allowed on Lot	One Two principal, up to 3 accessory buildings	Min separation between principal buildings is 20 feet
2	Minimum Lot Width (feet) Minimum <u>per parcel</u> Lot Size (acres) Maximum Lot Size (square feet)	120 1 in RR-1, 3 in RR-3 2.99 in RR-1, 9.99 in RR-3	See Article 27-1500 for existing lots of record Minimum lot area for each principal building
3	Front Setback (feet)	25 minimum	
4	Street-Side Setback (feet)	25 minimum	
5	Side Setback (feet)	10 minimum	
6	Rear Setback (feet)	25 minimum	
7	<u>Detached</u> Accessory Building Yard Location	Rear, <u>street-side</u> and side yard	See Sec. 27-1305 for driveways
8	Maximum Total Building Coverage (%)	25	
9	<u>Allowed driveway location</u>	<u>Any</u>	See Sec. 27-1305 for driveways
11	<u>Attached garage location</u>	<u>Any</u>	See Sec. 27-1305 for driveways
B. HEIGHT			
	Principal Building: Maximum Height (stories)	3	
	Maximum Height (feet)	34	
	<u>Detached</u> Accessory Building: Maximum Height (feet)	40	See Article 27-1800 for instruction for measuring height

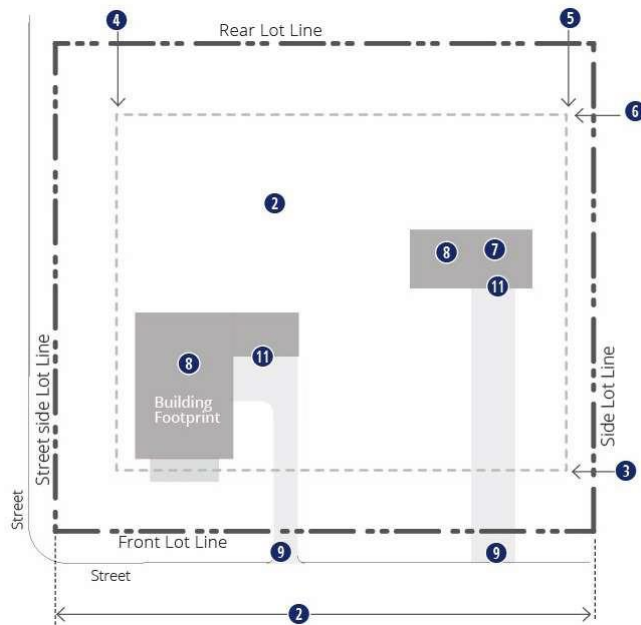


Figure 27-300(3). RR district diagrammatic plan.

C. Supplemental Regulations [reserved]

1. Lots on cul-de-sacs and flag lots are exempt from minimum lot width regulations. See also Section 27-1500, Nonconformities, for existing lots of record.

Section 5. Section 27-306 is amended as follows:

Section 27-306. Rural - RMH Districts

The following site and structure regulations apply to any lot in the RMH district. Refer to 27-303 for general regulations applicable to all districts and Table 27-300-5, below, for regulations specific to this district. See Section 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-300-5. SITE AND STRUCTURE REGULATIONS

A. BUILDING			REFERENCE
Minimum Lot Size (square feet) per principal building	15,001		Minimum separation between principal buildings is 15 ft
Front Setback (feet)	20 minimum		See 27-311-C 306.A for site built structures.
Street-Side Setback (feet)	10 minimum		
Side Setback (feet)	8 minimum		
Rear Setback (feet)	20 minimum		
Accessory Building Yard Location	Rear and side yard		
Maximum Total Building Coverage (%)	30		
B. HEIGHT			
Principal Building: Maximum Height (feet)	34		See Section 27-1800 for instructions for measuring height
Accessory Building: Maximum Height (feet)	40		

A. Supplemental Regulations

1. Manufactured home, Type 1: A manufactured home that was certified on or after January 1, 1990, and that satisfies each of the following additional criteria:

The pitch of the home's roof has a minimum vertical rise of three (3) inches for each twelve (12) inches of horizontal run (3:12), and the roof is finished with a type of shingle that is commonly used in standard residential construction;

The exterior siding consists of wood, hardboard, aluminum or vinyl siding comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction;

A continuous, permanent perimeter foundation is installed under the home; and

2. Manufactured home, Type 2: A manufactured home that does not satisfy the criteria necessary to qualify the house as a Type 1 manufactured home.

1. Site-Built or Modular-Built Structure. A site-built or modular-built structure complying with the State of Montana Building Code may be setback a minimum of 5 feet from the side lot line, or rear lot line.

Section 6. Section 27-307 is amended as follows:

Delete the existing section in its entirety and replace it with the following:

Sec. 27-307. N1 district.

Use of the N1 district in the county requires county water and sewer or a planned neighborhood development application (PND) per Section 27-800. **Existing lots within this zone may or may not have access to county water or sewer services. Existing lots zoned N1 will follow this code section.**

The following site and structure regulations apply to any lot in the N1 district. Refer to 27-303 for general regulations applicable to all districts and Table 27-300.6, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(5). See Section 27-1800 for definitions and information on how to measure the following regulations.

Table 27-300.6. Site and Structure Regulations.

			REFERENCES
A.	BUILDING SITING		
1	Minimum Lot Width (feet) per principal building Maximum Lot Width (feet) per principal building	20 80	See subsection 27-307.D for 2-unit buildings. See Section 27-1500 existing lots of record.
2	Maximum Front Building Width (feet)	65 per principal building	
3	Front Build-to Zone (feet) BTZ Façade Elements Required in Build-to Zone	8—25; block face average allowed 1) 60% of Front Façade width 2) Front Door 3) 60% of ground floor window area	See Section 27-1800 for block face averaging instructions. See Section 27-1800 for description of façade elements
4	Street-Side Build-to Zone (feet)	5—20	
5	Side Setback (feet) Space Between Principal Buildings on Lot (feet)	5 minimum 10 minimum	See subsection 27-307.D for side street lots.
6	Rear Setback (feet)	5 minimum	
7	Accessory Building Yard Location	Rear/ Street Side Yard	Administrative Relief may be granted for side yard location See Sec. 27-1614
8	Accessory Building: Min. Rear Setback (feet)	3, except 0 at alley	
9	Maximum Building Coverage (%)	60	.
10	Permitted Driveway Access Location	Any	See Section 27-1305 for driveways
11	Attached Garage Entrance Location	Rear, side, or street-side façade; front façade allowed maximum of no more than 40% of the façade within the Front BTZ	

B. HEIGHT			
12	Principal Building: Maximum Height (stories) Maximum Height (feet)	2.5 34	See Section 27-1800 for instructions for measuring height. Accessory roof pitch shall match principal building.
13	Accessory Building: Maximum Height (stories) Maximum Height (feet)	2; not taller than the principal structure 27	
C. WINDOWS, FRONT DOOR, ROOF			
14	Minimum Window & Door Coverage: Front Façade (%)	15 measured per story of all full stories	See Section 27-1800 for information on measuring front façade window & door coverage.
15	Front Door Location Entrance Treatment	Front Façade within the BTZ See subsection 27-303.J for Front Entrance	See subsection 27-307.D for 2-unit buildings.
16	Permitted Roof Types Roof Types Allowed with Administrative Relief	Pitched, tower permitted Any other Roof Type	See Section 27-1800 for definition of roof types and exception for other allowed roof types. See Section 27-1500 for existing buildings.

SINGLE-UNIT OR TWO-UNIT HOME

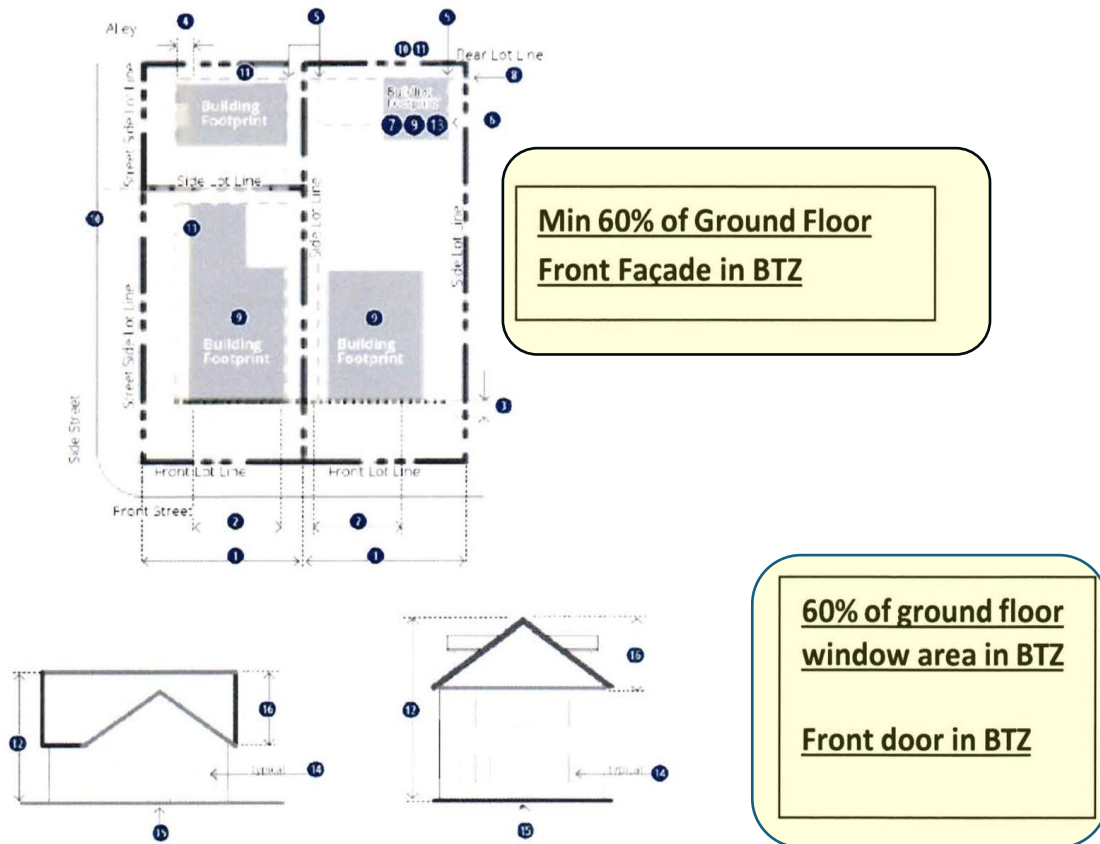


Figure 27-300(5). N1 district diagrammatic plans and elevations.

D. Supplemental regulations.

1. *Side street lots.* Side street lots are those lots located along the short end of blocks, where the front of the lot faces the side street and the depth of the lot is generally the width of most of the lots on the block. Lots with only side street frontage are allowed maximum building coverage of 80%.

2. The following applies to 2-unit buildings:

(a) *Configuration.* Allowed configurations include the following: side-by-side units, stacked units, front and rear units, all located in the principal building; two (2) principal buildings on one lot; or a principal building with an accessory building (see Section 27-1000). For side-by-side units, the lot may be split to allow a fee simple configuration with a zero side yard setback and shared wall between the 2 units.

(b) *Entrance.* One entrance is permitted per street facade, except for side-by-side units on separate lots.

Section 7. Section 27-308 existing section is deleted in its entirety and replaced with the following:

Sec. 27-308. N2 district.

Use of the N2 district in the county requires county water and sewer or a planned neighborhood development application (PND) per Section 27-800. Existing lots within this zone may or may not have access to county water or sewer services. Existing lots zoned N2 will follow this code section.

The following site and structure regulations apply to any lot in the N2 district. Refer to section 27-303 for general regulations applicable to all districts and Table 27-300.7, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(6). See Section 27-1800 for definitions and information on how to measure the following regulations.

Table 27-300.7. Site and Structure Regulations.

			REFERENCES
A.	BUILDING SITING		
1	Minimum Lot Width (feet) per principal building Maximum Lot Width (feet) per principal building	50 120	See subsection 27-305.D for 2-unit buildings. See Section 27-1500 existing lots of record. Lots on cul-de-sacs or flag lots are exempt from min lot width.
2	Maximum Front Building Width (feet)	110 per principal building	
3	Front Build-to Zone (feet) BTZ Façade Elements Required in Front Build-to Zone	10—32; block face average allowed 1) 60% of Front Façade width 2) Front Door 3) 60% of ground floor window area	See Section 27-1800 for block face averaging instructions. See Section 27-1800 for description of façade elements Lots on cul-de-sacs or flag lots are exempt from BTZ requirements
4	Street-Side Build-to Zone (feet)	10—25	
5	Side Setback (feet) Space Between Principal Buildings on Lot (feet)	5 minimum 10 minimum	
6	Rear Setback (feet)	5 minimum	See subsection 27-308.D for side street lots.
7	Accessory Building Yard Location	Rear/Street Side Yard	Administrative Relief may be granted for side yard location See Sec. 27-1614
8	Accessory Building: Rear Setback (feet)	3 minimum, except 0 at alley	
9	Maximum Total Building Coverage (%)	40	
10	Permitted Driveway Access Location	Any	See Section 27-1305 for driveways

11	Attached Garage Entrance Location	Any façade; front façade limited to no more than 50% of façade within the Front BTZ	
B. HEIGHT			
12	Principal Building: Maximum Height (stories)	2 stories	
	Maximum Height (feet)	27	
13	Accessory Building: Maximum Height (stories)	1.5 stories, no taller than the principal building	Accessory roof pitch shall match principal building.
C. WINDOWS, FRONT DOOR, ROOF			
14	Minimum Window & Door Coverage: Front Façade (%)	15 per story	Measured per each full and half story. See Section 27-1800 for information on measuring window and door facade coverage.
15	Front Door Location	Street Façade within the Front BTZ	See section 27-308.D for 2-unit buildings.
16	Permitted Roof Types Roof Types Allowed with Administrative Relief	Pitched, flat Any other Roof Type	See Section 27-1800 for definition of roof types and exception for other allowed roof types.

SINGLE-UNIT OR TWO-UNIT HOME

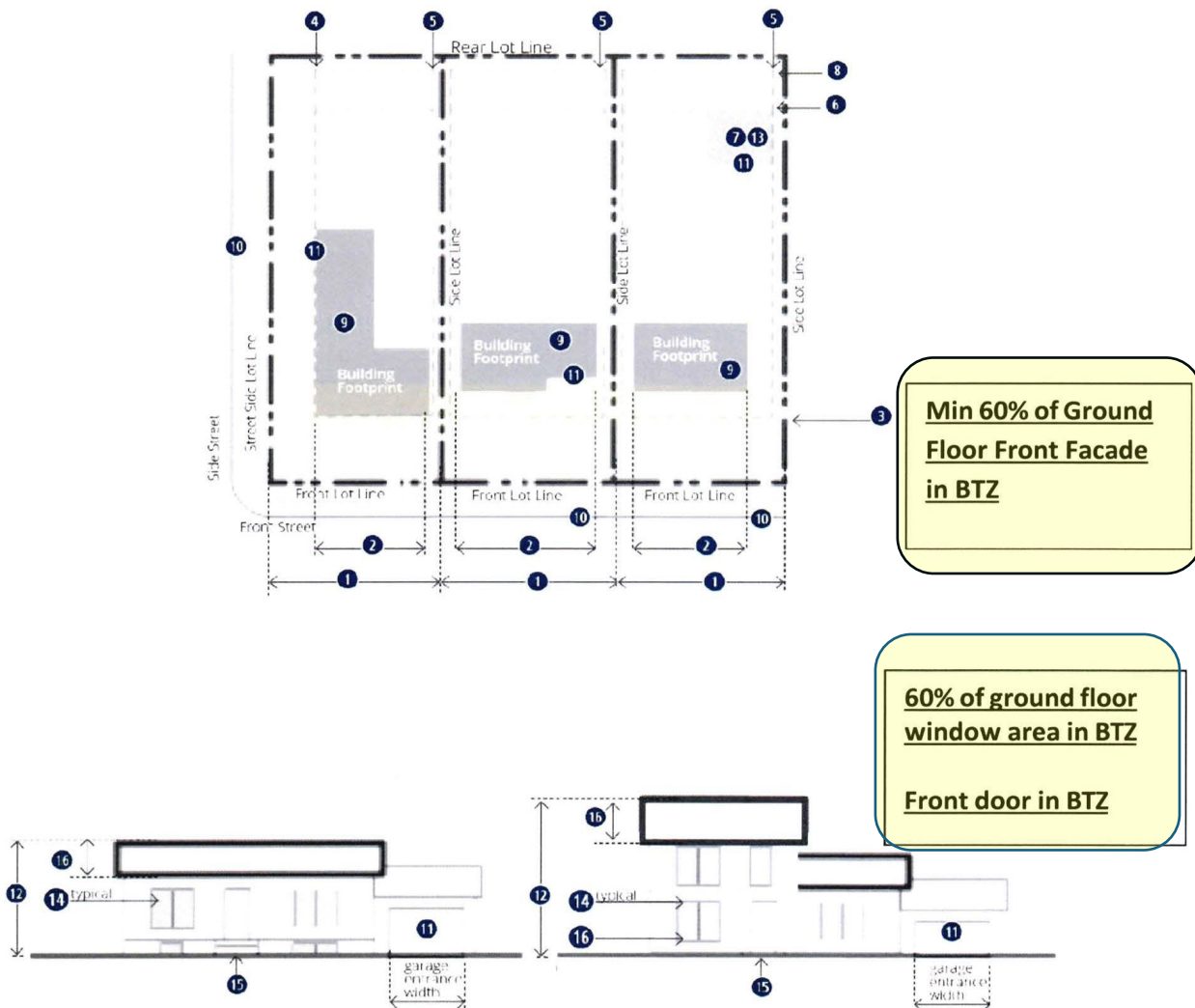


Figure 27-300(6). N2 district diagrammatic plans and elevations.

D. Supplemental regulations.

1. *Side street lots.* Side street lots are those lots located along the short end of blocks, where the front of the lot faces the side street and the depth of the lot is generally the width of most of the lots on the block. Lots with only side street frontage are allowed maximum building coverage of 80%.
2. The following standards apply to two-unit buildings:
 - (a) *Configuration.* Allowed configurations include the following: side-by-side per below, stacked units, front and rear units, all located in the principal building; two principal buildings on one lot; or a principal building with an accessory building (see Section 27-1000 for accessory uses).
 - (b) Garage entrances located on the front façade are limited to no more than fifty (50) percent of the front façade width within the build-to zone.
 - (c) Up to two front door entrances are permitted on the street façade (Table 27-300.7.C).

Section 8. Section 27-309 existing section is deleted in its entirety and replaced as follows:

Section 27-309. N3 Districts

Use of the N3 district in the county requires county water and sewer or a planned neighborhood development application (PND) per Section 27-800. Existing lots within this zone may or may not have access to county water or sewer services. Existing lots zoned N3 will follow this code section.

The following site and structure regulations apply to any lot in the N3 district. Refer to section 27-303 for general regulations applicable to all districts and Table 27-300.8, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(7). See Section 27-1800 for definitions and information on how to measure the following regulations:

Table 27-300.8. Site and Structure Regulations.

			REFERENCES
A.	BUILDING SITING		
1	Minimum Lot Width (feet) per principal building Minimum Lot Size (square feet) per principal building	65 none	See Section 27-1500 existing lots of record. See subsection 27-309.C for exemption from minimum lot widths.
2	Maximum Building Width (feet)	None	
3	Front Setback (feet)	20 minimum	
4	Street-Side Setback (feet)	10 minimum	
5	Side Setback (feet) Space Between Principal Buildings on Lot (feet)	5 minimum 10 minimum	
6	Rear Setback (feet)	5 minimum	
7	Accessory Building Yard Location	Rear/ <u>Street Side Yard</u> locatio	<u>Administrative Relief may be granted for side yard</u> <u>See Sec. 27-1614</u>
8	Accessory Building: Rear Setback (feet)	5 minimum, except 0 at alley	
9	Maximum Total Building Coverage (%)	40	
10	Permitted Driveway Access Location	Any	<u>See Sec. 27-1305 for driveway access</u>
11	Attached Garage Entrance Location	Any façade; front façade limited to no more than 50% of façade	

B.		HEIGHT		
	Principal Building:	Maximum Height (stories) Maximum Height (feet)		See Sec. 27-1800 for instructions for measuring height. Accessory roof pitch shall match principal building.
	Accessory Building:	Maximum Height (stories)	1.5 stories, no taller than the principal building	

SINGLE-UNIT HOME

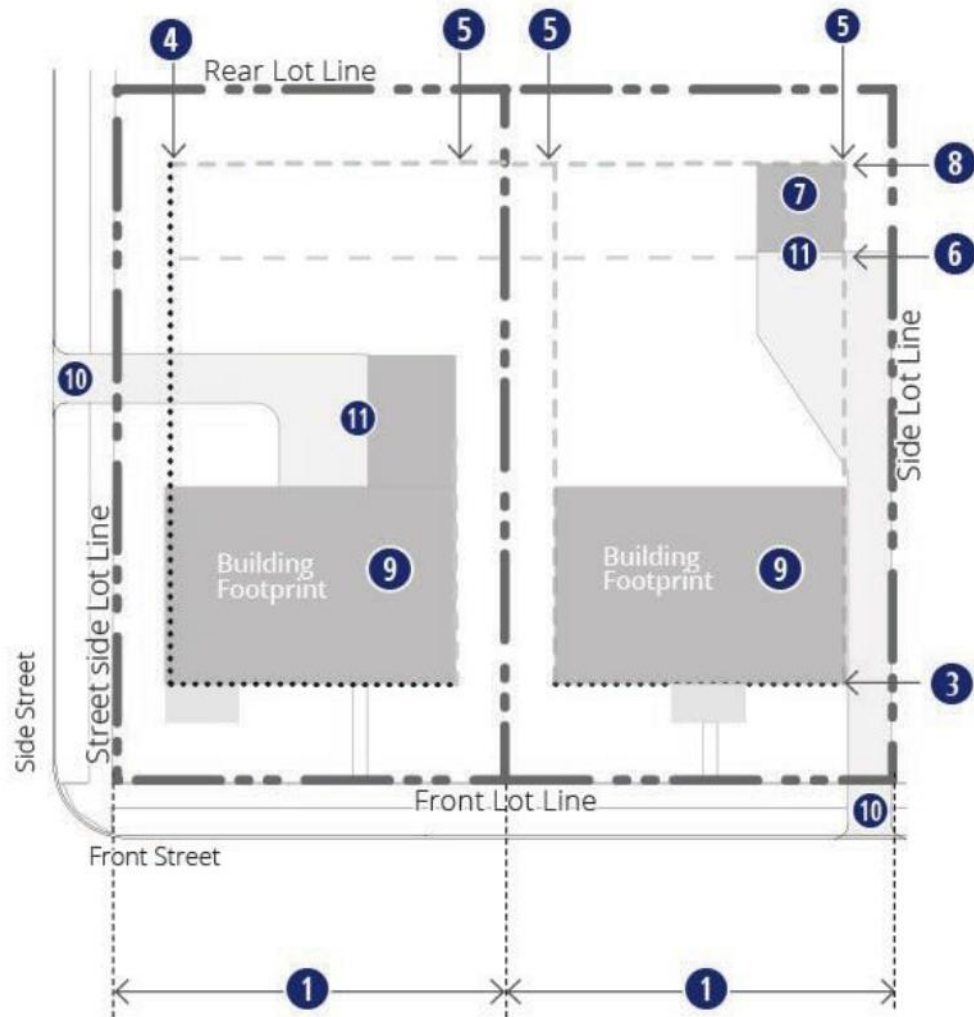


Figure 27-300(7). N3 district diagrammatic plan.

C. Supplemental regulations. Lots on cul-de-sacs and flag lots are exempt from minimum lot width regulations. See also Section 27-1500, Nonconformities, for existing lots of record.

Section 9. Section 27-310 existing section is deleted in its entirety and replaced with the following:

Section 27-310 NX1 District

Use of the NX1 district in the county requires county water and sewer or a planned neighborhood development application (PND) per Section 27-800. Existing lots within this zone may or may not have access to county water or sewer services. Existing lots zoned NX1 will follow this code section.

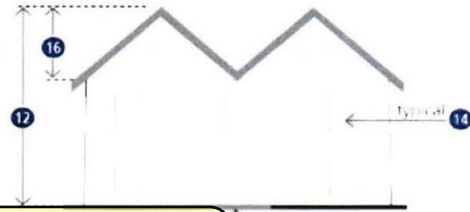
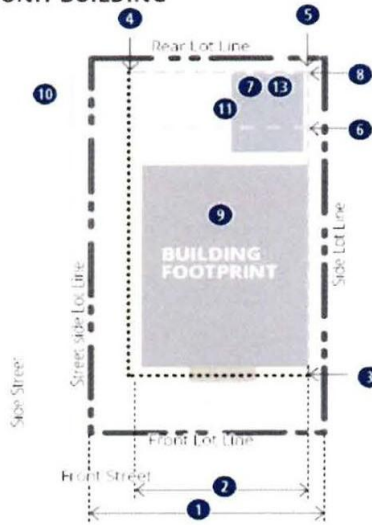
The following site and structure regulations apply to any lot in the NX1 district. Refer to section 27-303 for general regulations applicable to all districts and Table 27-300.9, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(8). See Section 27-1800 for definitions and information on how to measure the following regulations:

Table 27-300.9. Site and Structure Regulations.

		Single or Multi-Unit Building	Side-by-Side Attached Units	REFERENCES
A.	BUILDING SITING			
1	Minimum Lot Width (feet) per principal building	20 for 1 or 2 units; 50 for 3 or more units	50	See Section 27-1500 for existing lots of record. Side-by-side means units attached along front façade. See subsection 27-310.D for fee simple side-by-side attached units.
2	Maximum Front Building Width (feet) <u>within the Build-to Zone</u>	<u>80</u>	<u>100</u> , 4 units; <u>120</u> , 4 units on side street	See subsection 27-310.D for fee simple side-by-side attached units.
3	Front Build-to Zone (feet) <u>Façade Elements Required in Front Build-to Zone</u>	<u>8—25; block face average allowed</u> <u>60% of Front Façade width</u> Front Door <u>60% of ground floor window area</u>		See Section 27-1800 for block face averaging instructions. See definitions for front and street- side. See subsection 27-310.D for through lots. Refer to subsection 27-1802 for visibility at intersections. <u>See subsection 27-303.K for arterial setback regulations.</u> See Section 27-1800 for description of façade elements.
4	Street-Side Build-to Zone (feet)	8—15		
5	Side Setback (feet) Space Between Principal Buildings on Lot (feet)	5 minimum 10 minimum		See subsection 27-310.D for side street lots.
6	Rear Setback (feet)	5 minimum		See subsection 27-310.D for side street lots.

7	Accessory Building Yard Location	Rear/Street Side Yard	Rear/Street Side Yard	Administrative Relief may be granted for side yard location. See Sec. 27-1614.
8	Accessory Building: Rear Setback (feet)	5 minimum or 0 at alley		
9	Maximum Building Coverage (%)	60		See subsection 27-307.D for side street lots.
10	Permitted Driveway Access Location	Any		See Section 27-1305 for driveway access
11	Attached Garage Location Allowed Garage Entrance	Any; Rear or side adjacent to street façade preferred Front or side load allowed See Sec. 27-310.D		See Section 27-310.D for Front Garage Entry limitations
B. HEIGHT				
12	Principal Building:			See Section 27-1800 for definition of half story.
	Maximum Height (stories)	2.5	2.5	
	Maximum Height (feet)	27	27	
13	Accessory Building: Maximum Height (stories)	1.5, no taller than the principal building		Accessory roof pitch shall match principal building.
C. WINDOWS, FRONT DOORS, ROOF				
14	Minimum Window & Door Coverage: Front Façade (%)	15 per story	15 per story	See Section 27-1800 for information on measuring door & window coverage.
15	Front Door Façade Location & Number of Doors	1 on street façade per building within the Front BTZ	1 per unit on street facade within the Front BTZ	See subsection 27-310.D for multiple buildings on a courtyard.
	Entrance Treatment	See subsection 27-303.J for Front Entrance		
16	Permitted Roof Types Roof Types Allowed with Administrative Relief	Parapet, pitched; tower permitted Any other Roof Type		See Section 27-1800 for definition of roof types and exception for other allowed roof types.

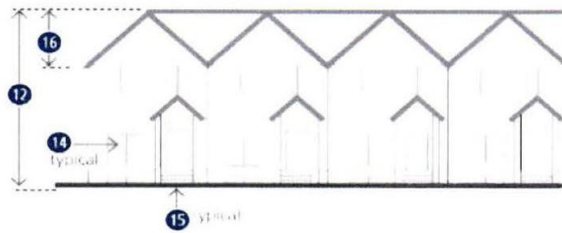
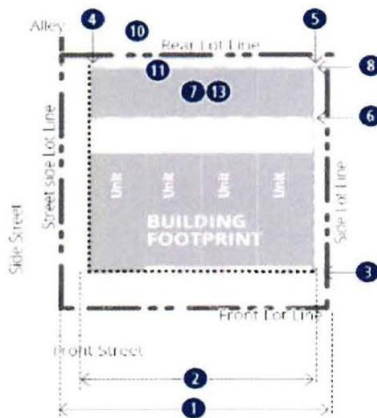
MULTI-UNIT BUILDING



Min 60% of Ground Floor Front Facade in BTZ

60% of ground floor window area in BTZ
Front door in BTZ

SIDE-BY-SIDE ATTACHED



COTTAGE COURT

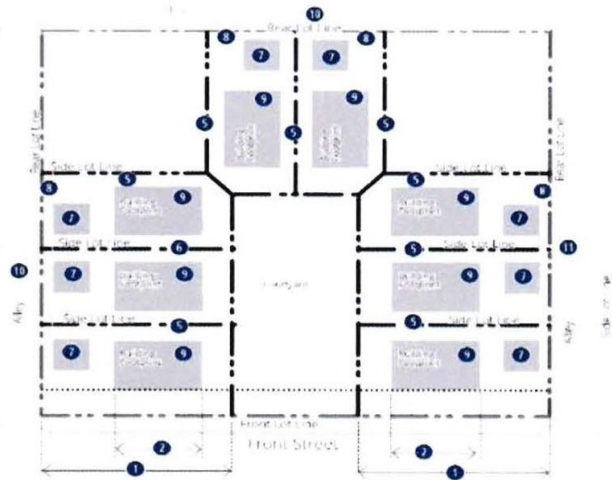


Figure 27-300(8). NX1 district diagrammatic plan.

D. Supplemental regulations.

1. *Courtyard configuration.* For multiple buildings and side-by-side attached units with a courtyard, entrances may be located off the courtyard, except every unit

abutting a street frontage must include the principal entrance on the street.

2. *Through lots.* For developments on lots that extend through a block and addresses on two (2) streets, buildings must front both streets and have entrances provided on each street.

3. *Fee simple side-by-side units.* For fee simple side-by-side units, the lot width may be smaller; however, the building, comprised of multiple units, shall meet the minimum regulations.

4. *Side street frontage.* For corner lots, all lot lines other than the front and street-side are side lot lines and, for parking and accessory buildings, the zoning coordinator shall determine where the rear of the lot is located.

5. *Garage front facade entry.* Where no alley, carriage lane or rear access system exists or is planned, a street-facing single-wide garage entry door of ten (10) feet in width or less within the build-to zone, per dwelling unit, is allowed with the following limitations:

- a) For multi-unit or side-by-side structures, no more than two (2) ten-foot wide garage doors are side-by-side; and
- b) Side-by-side garage entries shall share one drive approach no more than twenty-five (25) feet in width; and
- c) Shared drive approaches for side-by-side garage entries will be spaced at least forty (40) feet apart; and
- d) Front entry garages shall not be more than forty (40) percent of the front façade within the build-to zone; and
- e) Front entry garage doors shall be setback at least eight (8) feet behind the front door.

Section 10. Section 27-311 existing section is deleted in its entirety and replaced with the following:

Section 27-311. NX2 and NX3 Districts

Use of the NX2/3 district in the county requires county water and sewer or a planned neighborhood development application (PND) per Section 27-800. Existing lots within these zones may or may not have access to county water or sewer services. Existing lots zoned NX2 or NX3 will follow this code section.

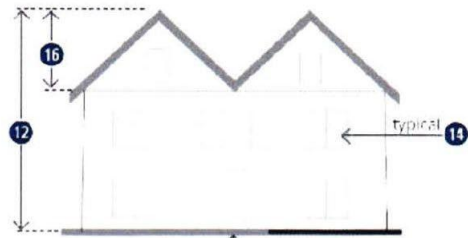
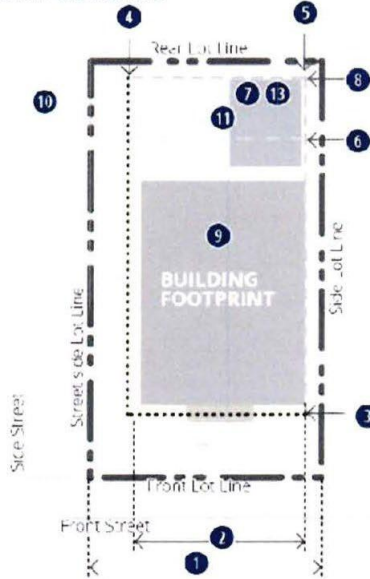
The following site and structure regulations apply to any lot in the NX2 and NX3 district. Refer to section 27- 303 for general regulations applicable to all districts and Table 27-300.10, below, for regulations specific to this district, keyed to illustrations in Figure 27-300(9). See Section 27-1800 for definitions and information on how to measure the following regulations:

Table 27-300.10. Site and Structure Regulations.

		Multi-Unit Building	Side-by-Side Units	REFERENCES
A.	BUILDING SITING			
1	Minimum Lot Width (feet) per principal building	20 for 2 units; 50 for 3 or more units	50	See Section 27-1500 for existing lots of record.
	Minimum Lot Area (square feet)	None	None	
2	Maximum Building Width (feet)	None	172 feet on any frontage in the BTZ	See subsection 27-311.D for fee simple row building units.
3	Front Build-to Zone (feet) Façade Elements Required in Front Build-to Zone	10—20 50% of Front Façade width Front Door 60% of ground floor window area		See definitions for front and street-side. See subsection 27-303.K for arterial setback regulations. See subsection 27-311.D for through lots. Refer to section 27-1802 for visibility at intersections.
4	Street-Side Build-to Zone (feet)	5—15		
5	Side Setback (feet) Space Between Principal Buildings on Lot (feet)	5 minimum; 15 abutting N1, N2, N3, N4, RMH, or Rural districts 10 minimum		
6	Rear Setback (feet)	10 minimum; 20 abutting N1, N2, N3, or RMH districts		
7	Accessory Building Yard Location	Rear/Street Side Yard	Rear/Street Side Yard	Administrative Relief may be granted for side yard location. See Sec. 27-1614.

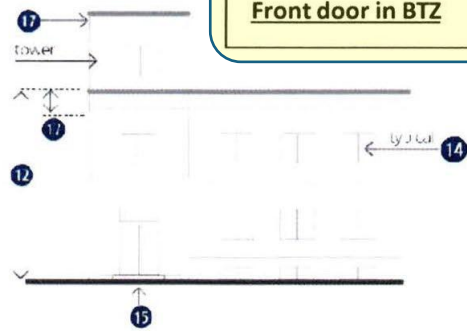
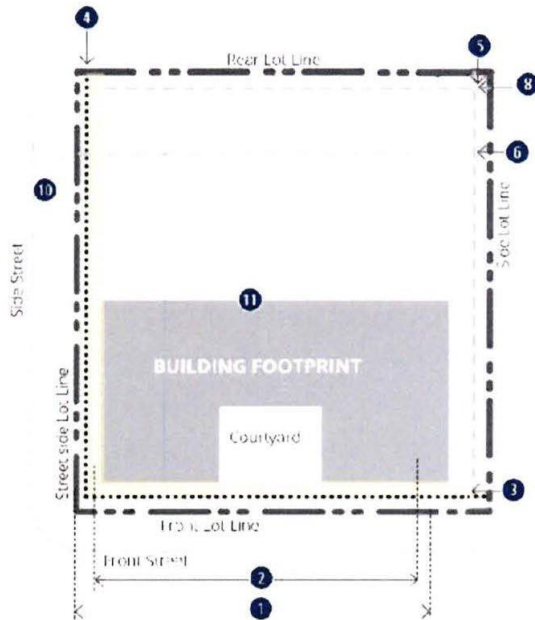
8	Accessory Building: Rear Setback (feet)	7.5		
9	Maximum Building Coverage (%)	60		
10	Permitted Driveway Access Location	Any		See Sec. 27-1305 for driveway standards.
11	Attached Garage Location Allowed Garage Entrance	Any Rear or street-side façade only in NX3 and preferred in NX2 Front or side load allowed in NX2 zone. See Sec. 27-311.D		See Section 27-311.D for Front Garage Entry limitations in NX2 zone
B. HEIGHT				
12	Principal Building:			See Section 27-1800 for definition of half story.
	Minimum Height (stories)	1	1 for NX2; 2 for NX3	
	Maximum Height (stories)	3 for NX2; 4 for NX3	2.5 for NX2; 3 for NX3	
13	Accessory Building:			Accessory roof pitch shall match principal building.
	Maximum Height (stories)	1.5	1.5	
	Maximum Height (feet)	27	27	
C. WINDOWS, FRONT DOOR, ROOF				
14	Minimum Window & Door Coverage: Front Façade (%)	15 per story	15 per story	Measured per each full and half story. See Section 27-1800 for information on measuring door & window coverage.
15	Front Door Façade Location & Number of Doors	1 per building on street façade within the Front BTZ	1 per unit on street facade within the Front BTZ	See Section 27-311.D for multiple buildings on a courtyard.
	Entrance Treatment	See subsection 27-303.J for Front Entrance		
16	Permitted Roof Types	Parapet, pitched, flat; tower permitted		See Section 27-1800 for definition of roof types and exception for other allowed roof types.
	Roof Types Allowed with Administrative Relief	Any other Roof Type		

MULTI-UNIT BUILDING



**Min 50% of Ground Floor
Front Facade in BTZ**

MULTI-UNIT BUILDING



**60% of ground floor window
area in BTZ**
Front door in BTZ

5+ UNIT BUILDING



Figure 27-300(9). NX2 and NX3 district diagrammatic plans.

D. Supplemental regulations.

1. *Courtyard configuration.* For multiple buildings and side-by-side attached units with courtyards, entrances may be located off a courtyard, except every unit abutting a street frontage must include the principal entrance on the street.

2. *Through lots.* For developments on lots that extend through a block and addresses on two (2) streets, buildings must front both streets and have entrances on each street.

3. *Fee simple side-by-side units.* For fee simple side-by-side units, the lot width may be smaller; however, the building, comprised of multiple units, shall total meet the minimum regulations.

4. *Side street frontage.* For corner lots, all lot lines other than the front and street-side are side lot lines and, for parking and accessory buildings, the zoning coordinator shall determine where the rear of the lot is located.

5. *Garage front facade entry.* Where no alley, carriage lane or rear access system exists or is planned, a street-facing single-wide garage entry door of ten (10) feet in width or less within the build-to zone, per dwelling unit, is allowed in the NX2 zone with the following limitations:

a) For multiunit or side-by-side structures, no more than two (2) ten-foot

wide garage doors are side-by-side; and

b) Side-by-side garage entries shall share one drive approach no more than twenty-five (25) feet in width; and

c) Shared drive approaches for side-by-side garage entries will be spaced at least forty (40) feet apart; and

d) Front entry garages shall not be more than forty (40) percent of the front façade within the build-to zone; and

e) Front entry garage doors shall be setback at least eight (8) feet behind the front door.

Section 11. Section 27-312 is deleted in its entirety and replaced with the following:

Section 27-312 RMH Districts

The following site and structure regulations apply to any lot in the RMH district. Use of the RMH district requires county water and sewer or a planned neighborhood development application (PND) per Article 27-800. Existing lots within these zones may or may not have access to county water or sewer services. Existing lots zoned RMH will follow this code section.

Refer to section 27-303 for general regulations applicable to all districts and Table 27-300.11, below, for regulations specific to this district. See article 27-1800 for definitions and information on how to measure the following regulations:

Table 27-300.8. Site and Structure Regulations.

		REFERENCES
A. BUILDING SITING		
Minimum Lot Size (square feet)	3,000 per principal building	
Front Setback (feet)	20 minimum	
Street-Side Setback (feet)	10 minimum	
Side Setback (feet)	8 minimum	See subsection 27-312.C for site built structures.
Rear Setback (feet)	8 minimum	See subsection 27-312.C for site built structures.
Accessory Building Yard Location	Rear and side yard	
Maximum Total Building Coverage (%)	50	
B. HEIGHT		
Principal Building: Maximum Height (feet)	34	See article 27-1800 for instructions for measuring height.
Accessory Building: Maximum Height (feet)	40 and no taller than principal building	Accessory Roof Pitch shall match Principal Building.

c. *Supplemental regulations.*

1. *Open space.* One of the following open space types must be provided for every three (3) acres of RMH district:
 - (a) *Parklet.* A parklet is a landscaped open space with a minimum seventy (70) percent living plant material, with at least twenty (20) feet of street frontage.
 - (b) *Green.* A green is a larger, landscaped space, with at least fifty (50) feet of street frontage.
 - (c) *Natural area.* A natural area is a large area, defined to conserve a natural feature, such as a stream, wetland or woodland. At least fifty (50) feet of street frontage is required for a natural area.

2. *Manufactured home, Type 1.* A manufactured home that was certified on or after January 1, 1990, and that satisfies each of the following additional criteria:
 - (a) The pitch of the home's roof has a minimum vertical rise of three (3) inches for each twelve (12) inches of horizontal run (3:12), and the roof is finished with a type of shingle that is commonly used in standard residential construction;
 - (b) The exterior siding consists of wood, hardboard, aluminum or vinyl siding comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction; and
 - (c) A continuous, permanent perimeter foundation is installed under the home.
3. *Manufactured home, Type 2.* A manufactured home that does not satisfy the criteria necessary to qualify the house as a Type 1 manufactured home.
4. *Site-built structure.* A site-built structure complying with the state building code may be setback a minimum of five (5) feet from the side lot line, or rear lot line.