



City Council Regular Meeting

Monday, March 22, 2021
6:00 p.m.

Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ





From left to right: Councilmember Matt Orlando, Councilmember Rene' Lopez, Vice Mayor Mark Stewart, Mayor Kevin Hartke, Councilmember OD Harris, Councilmember Christine Ellis, Councilmember Terry Roe

Our Vision

We are a world-class City that provides an exceptional quality of life.

Our Brand

A safe community that connects people, chooses innovation and inspires excellence.

Our Goals

City Council Strategic Policy Goals

1. Being the most connected City
2. Being a leader in trust and transparency
3. Maintaining fiscal sustainability
4. Attracting a range of private sector businesses
5. Fostering a contemporary culture that embraces unity
6. Being safe and beautiful

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. 38-431.02, notice is hereby given to the members of the Chandler City Council and to the general public that the Chandler City Council will hold a REGULAR MEETING open to the public on Monday, March 22, 2021, following the Public Housing Authority Commission which begins at 6:00 p.m., in the Chandler City Council Chambers, 88 E. Chicago Street, Chandler, Arizona. One or more members of the Chandler City Council may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.



Regular Meeting Agenda

City Council Strategic Framework Focus Areas: Legend



Infill and Redevelopment



Mobility



Quality of Life



Innovation and Technology



Neighborhoods



General Governance

Call to Order

Roll Call

Invocation - Pastor Sean Eddy, Chandler Bible Church

Pledge of Allegiance

Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the governing body, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.



City Clerk

1. February 2021 Council Minutes

Move to approve the Council meeting minutes of the Study Session of February 22, 2021, the Special Meeting of February 25, 2021, and the Regular Meeting of February 25, 2021.

Council Focus Area(s):






Economic Development

2. **Resolution No. 5455 Authorizing the Allocation of AZCares Grant Funds in the Amount of \$250,000 to the Economic Development Division to Assist Chandler Businesses Impacted by COVID-19**

Move City Council pass and adopt Resolution No. 5455 authorizing the allocation of AZCares Grant Funds in the amount of \$250,000 from the General Fund, Non-Departmental Cost Center, Contingency Account (101.1290.5911) to the Economic Development Division Grant Fund, Economic Development Cost Center, Professional Services Account, Business Hiring/Retention Program (217.1520.5219.0.3AZ002), to assist Chandler businesses impacted by COVID-19.

Council Focus Area(s): 




Development Services

3. **Final Adoption of Ordinance No. 4958 PLH19-0063 Elux at McQueen**


Rezoning

Move City Council adopt Ordinance No. 4958 approving PLH19-0063, Elux at McQueen, Rezoning from AG-1 to PAD for multi-family residential located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.


Council Focus Area(s): 

Informational

1. **Study Session and Regular Meeting Minutes of January 20, 2021, Planning and Zoning Commission Meeting**

Council Focus Area(s): 

2. **Study Session and Regular Meeting Minutes of February 17, 2021, Planning and Zoning Commission Meeting**

Council Focus Area(s): 

Adjourn



City Council Memorandum City Clerk's Office Memo No. 21-006

Date: March 22, 2021
To: Mayor and Council
From: Dana DeLong, City Clerk
Subject: February 2021 Council Minutes

Proposed Motion:

Move to approve the Council meeting minutes of the Study Session of February 22, 2021, the Special Meeting of February 25, 2021, and the Regular Meeting of February 25, 2021.

Background/Discussion

Attached for approval are the City Council minutes for the meetings held on February 22 and February 25, 2021.

Attachments

Study Session of February 22, 2021
Special Meeting of February 25, 2021
Regular Meeting of February 25, 2021



CITY OF CHANDLER COUNCIL MEETING MINUTES

Study Session

Monday, February 22, 2021

MINUTES OF THE STUDY SESSION OF THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, held in the Council Chambers, 88 E. Chicago Street, Chandler, Arizona, on Monday, February 22, 2021

THE MEETING WAS CALLED TO ORDER BY MAYOR KEVIN HARTKE AT 6:00 P.M.

The following members were present:

Kevin Hartke	Mayor
Mark Stewart	Vice Mayor
OD Harris	Councilmember
René Lopez	Councilmember
Terry Roe	Councilmember
Christine Ellis	Councilmember
Matt Orlando	Councilmember

Also in attendance:

Marsha Reed	City Manager
Joshua Wright	Assistant City Manager
Debra Stapleton	Assistant City Manager
Kelly Schwab	City Attorney
Dana DeLong	City Clerk

CONSENT AGENDA DISCUSSION

MAYOR HARTKE called for a staff presentation on Consent Agenda Items No. 19, 20, and 21.

19. Resolution No. 5441 authorizing Amendment No. 3 to the Intergovernmental Agreement (IGA) with Maricopa County for the Purpose of Providing Temporary Housing for At Risk Individuals and Families due to the COVID-19 Pandemic Utilizing Hotel Rooms
20. Resolution No. 5442 Authorizing the Reallocation of AZCares Grant Funds for Future Distribution; and Reallocation to Chandler AZCEND, the Salvation Army Chandler Corps, Save the Family, and the Neighborhood Resources Department for Services to Assist Chandler Households Negatively Impacted by the Coronavirus Pandemic
21. Resolution No. 5443 Authorizing an Agreement with the US Department of the Treasury for the Emergency Rental Assistance Program; Agreement with AZCEND to Administer and Distribute Funds to Assist Chandler Households in Need Due to COVID-19; Authorizing the Neighborhood Resources Department to Administer the Emergency Rental Assistance Program and Continue the Chandler Cares Team for a Second Year

LEAH POWELL, Neighborhood Resources Director, presented the following Power Point presentation.

- COVID-19 Human Services Funding Update
- COVID-19 Human Services Funding Timeline
 - March 24, 2020 AZ Eviction Moratorium
 - July 22, 2020 AZ Eviction Moratorium extended through October 31, 2020
 - September 4, 2020 CDC Eviction Moratorium
 - December 21, 2020 CDC Eviction Moratorium extended through March 31, 2021
 - March 27, 2020
 - CARES Act makes CDBG and CDBG-CV1 available for Public Services
 - Council approves initial plan April 23, 2020 and final plan May 14, 2020
 - May 27, 2020
 - State allocates CARES Act funds to Chandler
 - Council approves plan July 16, 2020
 - August 13, 2020
 - Council accepts funds from Maricopa County for hotel program
 - Additional funds to extend the program are accepted October 15, 2020
 - September 14, 2020
 - Chandler received notice of CDBG-CV3 funds
 - Funds have not yet been allocated
 - December 10, 2020
 - Council approves expenditure of additional AZ Cares funds
 - January 15, 2021
 - Chandler received Treasury ERAP funds
 - NRD requests Council approval to accept and allocate February 25, 2021
 - February 25, 2021
 - NRD requests Council approval to accept additional funds from Maricopa County for Hotel Program
 - NRD requests revisited AZ CARES allocation
- COVID-19 Human Services Funding Sources
 - Maricopa County CARES Act
 - \$238,740.00
 - Hotel
 - Expenditure Deadline March 31, 2021
 - CDBG Public Services
 - \$294,491.07
 - Rent/Mortgage/Utility Assistance
 - Expenditure Deadline June 30, 2021
 - AZ CARES Act Revised Proposal
 - \$1,855,500.00
 - Services and PPE to Non-Profits Rent/Mortgage/Utility Assistance Homeless Navigation (Yr 1) Chandler CARES Team Heat Relief Infrastructure and Testing
 - Expenditure Deadline June 30, 2021
 - General Fund
 - \$280,069.00
 - Rent/Mortgage/Utility Assistance Senior Nutrition

- Expenditure Deadline June 30, 2021
- US Treasury
 - \$7,946,091.60
 - Rent/Utility Assistance Chandler Cares Team
 - Expenditure Deadline December 31, 2021
- CDBG-CV1
 - \$849,415.00
 - Rent/Mortgage/Utility Assistance Senior Meals Homeless Navigation (Yr 2) Hotel Program
 - Expenditure Deadline April 15, 2023
- CDBG-CV3
 - \$1,568,885.00
 - Unallocated
 - Expenditure Deadline April 15, 2023
- Rent/Mortgage/Utility Assistance
 - AZCEND
 - Rent/Mortgage Amount \$4,215,711.25
 - Utility Amount \$1,469,301.18
 - Unduplicated Chandler Households Assisted 1,677
 - The Salvation Army
 - Rent/Mortgage Amount \$90,337.61
 - Utility Amount \$7,640.28
 - Unduplicated Chandler Households Assisted 254
 - AZCEND Data for July 1, 2020 – February 22, 2021
 - The Salvation Army Data October 1, 2020 – February 22, 2021
 - \$619,385 (10%) City of Chandler funds expended, \$429,171 remaining
 - Moratorium extensions delaying request for assistance
 - Treasury program will allow for larger rental payments, but does not allow for mortgage payments
- Water Assistance
 - AZCEND
 - Households 209
 - Amount \$54,843.45
 - Average per Household \$262.40
 - The Salvation Army
 - Households 20
 - Amount \$1,907.75
 - Average per Household \$95.39
 - AZCEND Data for July 1, 2020 – February 18, 2021
 - The Salvation Army Data October 1, 2020 – February 22, 2021
 - Initially paying partial bills to ensure budget lasted 12 months
 - With launch of Treasury ERAP March 1, larger amounts can be paid in preparation for May shut-offs
- Residential Utilities (Water/Wastewater/Solid Waste)
 - Over 2,600 delinquent accounts
 - Almost \$1.5 million in arrears
 - Average late bill approximately \$550.00
 - Utility office refers residents to Chandler Cares Team for assistance
 - Cares Team helps residents in apply for assistance from providers
 - Cares Team also conducts proactive outreach to residents

- Ongoing Need
 - 602 applications current back-log
 - Conservative estimate \$2.5 million
 - Moratorium extensions create pent-up demand
 - Additional federal assistance currently being proposed

COUNCILMEMBER ROE asked if the rental assistance money is conditional.

MS. POWELL said the rental assistance money is paid directly to the landlord with the exception of the new Treasury money which could be paid to the tenant. There is also a request that if the landlord accepts the dollars then they stop the eviction process. Some landlords are already filling their court documents even though there is a moratorium so when it ends the eviction will move quickly.

COUNCILMEMBER ROE asked if that was something that was being asked or if it was a condition.

MS. POWELL said they are looking into making it a condition and staff is working with the County and other Cities and Towns in the Valley to ensure everyone has the same rules.

COUNCILMEMBER HARRIS asked if AZCEND and The Salvation Army are the only non-profits the City is working with.

MS. POWELL said yes, because these are federal funds there are many reporting requirements and AZCEND works with the City on other federal funded programs so they are prepared to handle the program administration. Ms. Powell said these are the two agencies that are contracted and staff has not received applications from any other agencies. Ms. Powell said it makes it easier for residents as well to know where to go for assistance.

COUNCILMEMBER HARRIS asked for staff to clarify what would happen as the water shut-offs resume.

MARSHA REED, City Manager, said water shut-offs would resume May 3. Ms. Reed said staff has always worked with residents to make payment plans if they fall behind on their utility bills. Ms. Reed said staff directs residents to these other resources that Ms. Powell mentioned as well. If residents do not reach out for assistance or to work with a payment plan and staff is unable to get in contact with the residents then the shut-off process would resume May 3.

COUNCILMEMBER HARRIS asked how staff connects with residents to notify them of the assistance available.

MS. REED said three letters have gone to the residents that are behind on their bill and more would be sent. There had been a lot of success with the first two letters.

VICE MAYOR STEWART asked if this item was not passed would rates have to be raised for those paying their bills.

MS. REED said as they continue to see unpaid accounts continue to rise then it would begin to start impacting rates and may require consideration of rates raised. It is important that these accounts are paid as the utility funds are enterprise funds and are run like a business.

VICE MAYOR STEWART said the federal dollars would be used to assist with this fund.

MS. POWELL said yes, the money for the water bills would come directly to the City.

COUNCILMEMBER ELLIS asked what the plan was for the future. If there are residents struggling to make the payments now they still may not be able to pay in the future.

MS. POWELL said she would address that.

COUNCILMEMBER HARRIS asked if there are some delinquent accounts that are business accounts and if so is there assistance available to them.

MS. REED said they do have the data and the majority of the accounts are residential.

DAWN LANG, Management Services Director, said the amount that is being discussed this evening is residential, but there are non-residential accounts that are past due and staff is working on a plan to address that issue. Ms. Lang said it is not Chandler's policy to disconnect on a business and they would continue to work with them.

MAYOR HARTKE said if there is a business that is not able to pay their water bill then there are likely other issues as well impacting them.

MS. POWELL continued the Power Point presentation.

- Chandler CARES Team
 - 502 resident contacts to date
 - 424 agency referrals to date
 - Attempted outreach to 137 residents on court calendar for evictions
 - Assistance Requested to Date
 - Rent and Mortgage 36%
 - Utilities 54%
 - Other Food Shelter Employment Assistance 10%
- Operation Open Door (Hotel Program)
 - 108 persons served to date
 - 10 Veterans, 22 families with children
 - 9 diverted from service delivery system
 - 47 have moved to permanent housing
 - 13 have moved to emergency shelter
 - 8 negative exists including 1 death
 - 31 persons currently in program

VICE MAYOR STEWART clarified the Neighborhood Resources team moved 47 people out of homelessness.

MS. POWELL said yes.

VICE MAYOR STEWART said that was incredible.

MS. POWELL said this program has been very successful and has helped people get re-grounded and able to re-look at their situation.

COUNCILMEMBER ELLIS said they also have wrap around services while they are in the hotel and asked how many have found jobs now.

MS. POWELL said yes, they do have wrap around services and some of the residents may be on social security or permanent disability and may not be work eligible, but staff would provide the numbers to Council.

COUNCILMEMBER ORLANDO said it looks like they have a 65% success rate getting people into permanent housing and shows the program is working. Councilmember Orlando asked if additional personnel could be hired to get the backlog numbers down.

MS. POWELL said AZCEND has just hired four people and they are looking to hire another four to five. Internally, there are the Cares Team staff members and another part-time staff member that was brought back for more hours. Ms. Powell said with the federal dollars it is important to ensure the requirements are being met.

COUNCILMEMBER ORLANDO asked if the funds would all have been allocated after the vote on Thursday.

MS. POWELL said yes, with the exception of CDBG-CV3.

COUNCILMEMBER ORLANDO asked if other non-profits are coming to AZCEND to ask for assistance.

MS. POWELL said with most of these dollars they have to be very careful there is not duplication and that is another reason for not having more agencies. It is important to ensure these dollars are tracked and The Salvation Army and AZCEND work closely to ensure they do not have duplicate services or household.

COUNCILMEMBER ORLANDO asked for an update in June to see if there is anything else that needs to be done.

MS. POWELL said staff would do that. Ms. Powell said through the For Our City network, they continue to communicate with all of the non-profits and faith organizations.

MAYOR HARTKE said he appreciated the work of staff and the City's partners to help the community. Mayor Hartke said there are still funds from the initial CAREs Act and he has also heard there would be funds from D.C. and asked if staff has heard an update.

MS. POWELL said they have heard the same thing. The Treasury money was different, but it will depend on how future bills are written and if the cities will receive any money from the State for unspent funds. Ms. Powell said she was not sure at this time what other funds would be coming and where they come from may dictate what they are allocated for.

COUNCILMEMBER HARRIS said the pandemic has been going on since March 2020, and there are residents that may continue to need assistance and asked if a resident could go back with a second application.

MS. POWELL said with the Treasury dollars a family could receive up to 12 months assistance to pay the months in arrears and potentially three months in advance. Ms. Powell said if someone only receives a few months of assistance and comes back for assistance then they would need to reapply.

COUNCILMEMBER HARRIS thanked staff for all they have done to help the residents during this time.

MAYOR HARTKE thanked staff for the regional approach that has been taken to work with other cities as well to learn from each other to assist all of the residents.

COUNCILMEMBER ORLANDO asked for a staff presentation on Consent Agenda Item No. 8.

8. Final Plat, PLT20-0025, Casadia

MAYOR HARTKE asked if Council has input on final plats.

MS. SCHWAB said for final plats, as long as they meet all of the requirements it is an administrative action. Ms. Schwab recommended approval as long as the requirements have been met.

MAYOR HARTKE said if someone in the community is unhappy, but all the requirements are met then Council would do more harm by not approving the plat. Mayor Hartke said there were concerns with an irrigation ditch and it was his understanding it was a private issue.

MS. SCHWAB said it is a private irrigation ditch and is a private issue.

COUNCILMEMBER ORLANDO said the citizen had concerns the issue was not being addressed and there has been nothing in writing. Councilmember Orlando said he was not recommending the plat be denied, but rather to ensure the residents' concerns were addressed.

KEVIN MAYO, Planning Administrator, said the plat is the next step before construction is built. Mr. Mayo said the issue is the ongoing maintenance of the irrigation ditch and would be addressed in the CC&Rs. Staff was able to speak with the resident and the developer and it is staff's understanding that they have worked out a more finalized version of the language for the CC&Rs.

COUNCILMEMBER ORLANDO said he wanted to ensure everyone was held to their agreements during this process.

CONSENT AGENDA ITEMS

1. February 2021 Council Minutes
Move to approve the Council meeting minutes of the Study Session and Special Meeting of February 8, 2021, and the Work Session and Regular Meeting of February 11, 2021.
2. Professional Services Agreement with Gavan & Barker, Inc., for the Snedigar Sportsplex West Restroom Replacement project Design Services.
Move City Council award Professional Services Agreement No. PR2102.201 to Gavan & Barker, Inc., for the Snedigar Sportsplex West Restroom Replacement project Design Services, in an amount not to exceed \$36,690.07.

3. Final Adoption of Ordinance No. 4962, ANX20-0002, Annexation and Initial City Zoning - South of the Southwest Corner of Gilbert and Ocotillo Roads
Move City Council adopt Ordinance No. 4962 approving ANX20-0002, Annexation and Initial City Zoning - South of the Southwest Corner of Gilbert and Ocotillo roads, as recommended by Planning staff.
4. Final Adoption of Ordinance No. 4960, PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices
Move City Council adopt Ordinance No. 4960 approving PLH20-0034, La Paglia High School Seminary and Professional Offices, Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for professional offices and institutional/educational uses located south of the southwest corner of Gilbert and Ocotillo roads, subject to the conditions as recommended by Planning and Zoning Commission.
5. Introduction of Ordinance No. 4961, PLH20-0023, PLT20-0037 Pecos and McQueen Retail (Staff Requests Continuance to the March 25, 2021, City Council Meeting)
Move City Council continue PLH20-0023 Pecos and McQueen Retail, located at the southwest corner of Pecos and McQueen roads, to the March 25, 2021, City Council meeting, as recommended by Planning and Zoning Commission.
6. Resolution No. 5439, authorizing a Development Agreement with Valley Christian Schools for the Installation of Roadway and Traffic Improvements Resolution No. 5440, authorizing a Deactivation Agreement with Salt River Valley Water User's Association for Removal of an Irrigation Structure Development Agreement
Move City Council approve Resolution No. 5439, authorizing a Development Agreement between the City of Chandler and Valley Christian Schools, an Arizona Non-profit Corporation, for the installation of roadway and traffic improvements at the intersection of North 56th Street and West Galveston Street, and authorizing the City Manager or designee to execute other documents as needed to give effect to the agreement.
Deactivation Agreement
Move City Council approve Resolution No. 5440, authorizing a Deactivation Agreement between the City of Chandler and Salt River Valley Water User's Association, an Arizona Corporation, for the removal of an irrigation delivery structure to accommodate roadway and traffic improvements at the intersection of North 56th Street and West Galveston Street, and authorizing the City Manager or designee to execute other documents as needed to give effect to the agreement.
7. Final Plat, PLT20-0024, Ferguson Enterprises MDC
Move City Council approve Final Plat, PLT20-0024, Ferguson Enterprises MDC, located on the south side of Queen Creek Road, east of Hamilton Street, as recommended by Development Services Staff.
8. Final Plat, PLT20-0025, Casadia
Move City Council approve Final Plat, PLT20-0025, Casadia, located on the east side of McQueen Road, south of Chandler Heights Road, as recommended by Development Services Staff.
9. Purchase of HVAC Equipment, Installation and Services from TDIndustries, Inc., Johnson Controls, Inc., Daikin Applied Americas, Inc., and Trane U.S. Inc.

Move City Council approve the utilization of Omnia Partners Contracts, No. R200403 with TDIndustries, Inc., Contract No. R200402 with Johnson Controls, Inc., Contract No. R200401 with Daikin Applied Americas, Inc., and Contract No. 15-JLP-023 with Trane U.S. Inc., for the purchase of HVAC equipment, installation and services, in an amount not to exceed \$815,000.

10. Agreement No. BF9-910-4013, Amendment No. 1, with Rycon Industries, Inc., dba Skyline Window Cleaning for Window Washing Services
Move City Council approve Agreement No. BF9-910-4013, Amendment No. 1, with Rycon Industries, Inc., dba Skyline Window Cleaning, for window washing services, in an amount not to exceed \$60,000, for a one-year term, February 1, 2021, through January 31, 2022.

11. Enterprise License Agreement with Environmental Systems Research Institute, Inc. (ESRI)
Move City Council approve Agreement No. 4289 with Environmental Systems Research, Inc. (ESRI) for an enterprise license for Geographic Information System (GIS) software in the amount of \$480,000 for a three-year period beginning March 12, 2021, through March 11, 2024, payable on an annual basis.

12. Agreement with Accelerated Technology Laboratories, Inc., for a Hosted Laboratory Information Management System
Move City Council award Agreement No. IT9-208-4063, to Accelerated Technology Laboratories, Inc., for a hosted laboratory information management system, in the amount of \$73,799.

13. Purchase of VMware Licenses and Annual Support from Dell
Move City Council approve the purchase of VMware licenses and annual support utilizing the State of Arizona Contract No. ADSP016-098163 with Dell in the amount of \$134,366.

14. License Series 12, Restaurant Liquor License application for Sonas Tavern #1, dba Rosati's Pizza
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132127, a Series 12, Restaurant Liquor License, for Amy S. Nations, Agent, Sonas Tavern #1 Inc., dba Rosati's Pizza, located at 1050 E. Ray Road, Suite 2, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 300287 L12.

15. License Series 12, Restaurant Liquor License application, for GTC Chandler LLC, dba Good Time Charli's
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132752, a Series 12, Restaurant Liquor License, for Raymond F. Sanchez, Agent, GTC Chandler LLC, dba Good Time Charli's, located at 6045 W. Chandler Boulevard, Suite 7, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 300408 L12.

16. New Liquor License Series 6, Bar Liquor License application for Yaashi Sibs Inc., dba 810 Billiards & Bowling
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132056, a Series 6, Bar Liquor License for Poonam Manek, Agent, Yaashi Sibs Inc., dba 810 Billiards & Bowling, located at 3455 W. Frye Road, Suite 2, and approval of the City of Chandler, Series 6, Bar Liquor License No. 300410 L6.

17. New Liquor License Series 12, Restaurant Liquor License application for Paletas Betty LLC, dba Paletas Betty
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132855, a Series 12, Restaurant Liquor License, for Alvin Doi-Chih Hong, Agent, Paletas Betty LLC, dba Paletas Betty, located at 96 W. Boston Street, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 130621 L12.
18. New License Series 4, In State Wholesalers Liquor License application, for Nuwave Beverage LLC, dba Nuwave Beverage
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 129847, a Series 4, In State Wholesalers Liquor License, for Surekha Soorma, Agent, Nuwave Beverage LLC, dba Nuwave Beverage, located at 3225 N. Arizona Avenue, Suite 10, and approval of the City of Chandler, Series 4, In State Wholesalers Liquor License No. 300441 L04.
19. Resolution No. 5441 authorizing Amendment No. 3 to the Intergovernmental Agreement (IGA) with Maricopa County for the Purpose of Providing Temporary Housing for At Risk Individuals and Families due to the COVID-19 Pandemic Utilizing Hotel Rooms
Move City Council pass and adopt Resolution No. 5441 approving and authorizing Amendment No. 3 to an Intergovernmental Agreement (IGA) between Maricopa County Administered by its Human Services Department and City of Chandler for the purpose of providing temporary housing for at-risk individuals and families due to the COVID-19 pandemic utilizing hotel rooms in an amount of \$79,580 for a new total expenditure of \$238,740; extending the term of the agreement through March 31, 2021; and authorizing the City Manager or designee to sign the agreement and all related documents on behalf of the City of Chandler.
20. Resolution No. 5442 Authorizing the Reallocation of AZCares Grant Funds for Future Distribution; and Reallocation to Chandler AZCEND, the Salvation Army Chandler Corps, Save the Family, and the Neighborhood Resources Department for Services to Assist Chandler Households Negatively Impacted by the Coronavirus Pandemic
Move City Council pass and adopt Resolution No. 5442 Authorizing the Reallocation of \$3,000,000 of AZCares Grant Funds for future distribution; and authorizing reallocation to AZCares grant funds in the amount of \$1,115,000 to Chandler AZCEND, the Salvation Army Chandler Corps, Save the Family, and the Neighborhood Resources Department for services to assist Chandler households negatively impacted by the Coronavirus Pandemic.
21. Resolution No. 5443 Authorizing an Agreement with the US Department of the Treasury for the Emergency Rental Assistance Program; Agreement with AZCEND to Administer and Distribute Funds to Assist Chandler Households in Need Due to COVID-19; Authorizing the Neighborhood Resources Department to Administer the Emergency Rental Assistance Program and Continue the Chandler Cares Team for a Second Year
Move City Council pass and adopt Resolution No. 5443 approving and authorizing an agreement between the US Department of the Treasury and the City of Chandler in the Amount of \$7,946,091.60 for the Emergency Rental Assistance Program and approve a General Fund, Contingency Transfer to the Grant Fund, Neighborhood Resources Department, Community Development Cost Center; thereby authorizing an agreement with AZCEND to administer and distribute funds in the amount of \$7,671,091.60 to

assist Chandler households in need due to COVID-19; and authorizing the Neighborhood Resources Department to utilize \$275,000 to administer the Emergency Rental Assistance Program and Continue the Chandler Cares Team for a Second Year; and authorizing the City Manager or designee to sign agreements and all related documents on behalf of the City of Chandler.

22. Agreement No. PW8-926-3939, Amendment No. 2, with United Fibers, LLC, for Processing and Marketing of Recyclable Materials
Move City Council approve Agreement No. PW8-926-3939, Amendment No. 2, with United Fibers, LLC, for the processing and marketing of recyclable materials, in an amount not to exceed \$1,200,000, for a one-year term, March 1, 2021, through February 28, 2022.
23. Project Agreement No. SW2101.401, with Nesbitt Contracting Co., Inc., for the Solid Waste Landfill West Side Stormwater Channel Improvements
Move City Council award Project Agreement No. SW2101.401, to Nesbitt Contracting Co., Inc., pursuant to Job Order Contract No. JOC1907.401, for the Solid Waste Landfill West Side Stormwater Channel Improvements, in an amount not to exceed \$248,712.72.
24. Construction Manager at Risk Contract No. WA2008.251, with Achen-Gardner Construction, LLC, for the Loop 101 and 202 Freeway Waterline and Sewer Rehabilitation Pre-Construction Services
Move City Council award Construction Manager at Risk Contract No. WA2008.251 to Achen-Gardner Construction, LLC, for the Loop 101 and 202 Freeway Waterline and Sewer Rehabilitation Pre-Construction Services, in an amount not to exceed \$249,854.82.
25. Construction Manager at Risk Contract No. WW1901.401, with McCarthy Building Companies, Inc., for the Water Reclamation Facility Improvements GMP-1
Move City Council award Construction Manager at Risk Contract No. WW1901.401 to McCarthy Building Companies, Inc., for the Water Reclamation Facility Improvements GMP-1, in an amount not to exceed \$5,842,737.
26. Professional Services Agreement No. WW1901.451, with Wilson Engineers, LLC, for the Water Reclamation Facility Improvements Construction Management Services
Move City Council award Professional Services Agreement No. WW1901.451 to Wilson Engineers, LLC, for the Water Reclamation Facility Improvements Construction Management Services, in an amount not to exceed \$126,410.
27. Resolution No. 5438, Authorizing an Agreement Among the City of Chandler, Pima Utility Company, and Sun Lakes Marketing Limited Partnership, LLP, for Potable Water Interconnect and Abandonment of Inactive Wells
Move City Council approve Resolution No. 5438, authorizing an agreement among the City of Chandler; Pima Utility Company, an Arizona Corporation; and Sun Lakes Marketing Limited Partnership, LLP, an Arizona limited partnership and a corporate affiliate of Pima Utility Company; for the delivery of potable water through interconnections between their potable water distribution systems and for the abandonment of inactive wells located near Alma School and Willis roads, Alma School and Pecos roads, and Alma School and Queen Creek roads and authorizing the Public Works and Utilities Director to execute the Agreement.
28. Purchase of Network Equipment and Services from Sentinel Technologies, Inc.

Move City Council approve the purchase of network equipment and services from Sentinel Technologies, Inc., utilizing 1GPA Contract No. 21-02PV-08, in an amount not to exceed \$126,940.

29. Agreement No. BF8-936-3802, Amendment No. 2, with Western States Fire Protection Co., for Fire Protection Services
Move City Council approve Agreement No. BF8-936-3802, Amendment No. 2, with Western States Fire Protection Co., for fire protection services, increasing the spending limit by \$720,000, for a revised amount not to exceed \$920,000.
30. Sole Source Purchase of Hach Equipment, Service, and Parts
Move City Council approve the sole source purchase of Hach equipment, service, and parts, from Hach Company, in the amount of \$265,000.

ACTION AGENDA

31. Introduction of Ordinance No. 4958, Preliminary Development Plan and Preliminary Plat, PLH19-0063/PLT19-0055 Elux at McQueen Rezoning
Move City Council introduce and tentatively adopt Ordinance No. 4958 approving PLH19-0063 Elux at McQueen, Rezoning from AG-1 to PAD for multi-family residential located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.
Preliminary Development Plan
Move City Council approve Preliminary Development Plan PLH19-0063 Elux at McQueen for site layout and building architecture located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.
Preliminary Plat
Move City Council approve Preliminary Plat PLT19-0055 Elux at McQueen located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the condition recommended by the Planning and Zoning Commission.
Council Focus Area(s):
32. Resolution No. 5431 Amending the Citywide Fee Schedule
Move to pass and adopt Resolution No. 5431 amending the Citywide Fee Schedule relating to the Airport, Community Services, Development Services, Cultural Development, Fire, and Neighborhood Resources Departments or Divisions, with the Airport and Fire fee changes becoming effective March 1, 2021, and the remaining fees effective July 1, 2021.

ADJOURNMENT: The meeting adjourned at 6:47 p.m.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: March 22, 2021

CERTIFICATION

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Study Session of the City Council of Chandler, Arizona, held on the 22nd day of February 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of March, 2021.

City Clerk

unofficial



CITY OF CHANDLER COUNCIL MEETING MINUTES

Special Meeting

Thursday, February 25, 2021

MINUTES OF THE SPECIAL MEETING OF THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, held on Thursday, February 25, 2021, in the Council Chambers, Council Conference Room, 88 E. Chicago Street, Chandler, Arizona

THE MEETING WAS CALLED TO ORDER BY MAYOR KEVIN HARTKE AT 4:32 P.M.

The following members were present:

Kevin Hartke	Mayor
Mark Stewart	Vice-Mayor
OD Harris	Councilmember
René Lopez	Councilmember
Terry Roe	Councilmember
Christine Ellis	Councilmember
Matt Orlando	Councilmember

Staff present: Marsha Reed, City Manager; Joshua Wright, Assistant City Manager; Debra Stapleton, Assistant City Manager; Kim Moyers, Cultural Development Director; Thomas Allen, Assistant City Attorney

1. Real Property--A.R.S. §§38-431.03(A)(3), (A)(4), and (A)(4) - Discussion or consultation with the City Attorney for legal advice and with City representatives to consider its position and provide instruction relating to contracts that are the subject of negotiation and the purchase, sale or lease of real property located at 51 E. Boston Street, Chandler, AZ.

COUNCILMEMBER ORLANDO MOVED TO HOLD AN EXECUTIVE SESSION MEETING IMMEDIATELY FOLLOWING THE SPECIAL MEETING; SECONDED BY VICE MAYOR STEWART.

MOTION CARRIED UNANIMOUSLY. (7-0)

ADJOURNMENT: The Special Meeting was adjourned at approximately 4:32 p.m.

ATTEST: _____

City Clerk

Mayor

Approval Date of Minutes: March 22, 2021

CERTIFICATION

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Special Meeting of the City Council of Chandler, Arizona, held on the 25th day of February, 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of March, 2021.

City Clerk

unofficial



CITY OF CHANDLER COUNCIL MEETING MINUTES

Regular Meeting

Thursday, February 25, 2021

MINUTES OF THE REGULAR MEETING OF THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, held in the City of Chandler Council Chambers, 88 E. Chicago St., Chandler, Arizona, on Thursday, February 25, 2021.

THE MEETING WAS CALLED TO ORDER BY MAYOR KEVIN HARTKE AT 6:00 P.M.

The following members answered roll call:

Kevin Hartke	Mayor
Mark Stewart	Vice Mayor
René Lopez	Councilmember
OD Harris	Councilmember
Christine Ellis	Councilmember
Terry Roe	Councilmember
Matt Orlando	Councilmember

Also in attendance:

Marsha Reed	City Manager
Joshua Wright	Assistant City Manager
Debra Stapleton	Assistant City Manager
Kelly Schwab	City Attorney
Dana DeLong	City Clerk

INVOCATION: The invocation was given by Pastor Mark Rossington, Epiphany Lutheran Church.

PLEDGE OF ALLEGIANCE: Councilmember Ellis led the Pledge of Allegiance.

BRIEFING:

1. Citizen Bond Exploratory Committee Executive Summary by Chairman Boyd Dunn

BOYD DUNN, Citizen Bond Exploratory Committee Chairman, presented the following Power Point presentation.

- Citizen Bond Exploratory Committee Update
- Citizen Bond Exploratory Committee
 - Boyd Dunn, Chair, Finance Subcommittee
 - Trinity Donovan, Public Safety Subcommittee
 - Mark Gildersleeve, IT Subcommittee
 - Ron Hardin, Public Works Subcommittee
 - Ted Huntington, Parks Subcommittee

- Nina Mullins, Facilities Subcommittee
 - David Sperling, Airport Subcommittee
- Citizen Bond Exploratory Committee Timeline
 - August 20, 2020 Citizen Bond Exploratory Committee Kick-Off Meeting
 - All 49 Committee members came together to hear from Mayor Kevin Hartke and Committee Chair, Boyd Dunn, on the purpose of the Committee
 - September 1, 2020 First Steering Committee Meeting
 - September 8, 2020 All Subcommittees began meeting this week
 - October 2020 Subcommittee members received tours of City facilities and learn about needed projects
 - November 5, 2020 Citizen bond Exploratory Committee Chair, Boyd Dunn, provided an update to the City Council on the Subcommittees progress
 - November 2020 Subcommittees began prioritizing projects needed in a potential bond election
 - December 15, 2020 Subcommittees finalized project priorities and submitted a final ranking sheet to Finance Subcommittee
 - December 2020 Finance Subcommittee evaluated financial options based on subcommittee recommendations
 - January 15, 2021 Steering Committee unanimously approved projects to be considered for a bond election
 - January 28, 2021 Citizen Bond Exploratory Committee Chair Boyd Dunn provided update to City Council on the Subcommittee's progress
 - January 29, 2021 Steering Committee voted to approve the ballot question language
 - February 12, 2021 Steering Committee voted to approve Citizen bond Exploratory Committee Executive Report
 - February 25, 2021 Citizen Bond Exploratory Committee Executive Summary presented to the City Council by Chair, Boyd Dunn
 - March 1, 2021 Citizen bond Exploratory Committee Close out meeting
- Public Communication
 - CAPA launched public information campaign in November
 - New section on City's website created to be hub for all information chandleraz.gov/bondelection
 - Social Media posts and articles released in November
 - Additional information will be released following approval of Executive Summary
- City of Chandler Bond History
 - 2000 Election
 - 2004 Election
 - 2007 Election
- City of Chandler Bond History
 - Valley Bond Elections Since 2000
- Committee Recommendation
 - Parks \$72,985,000
 - Police \$55,190,000
 - Fire \$25,160,000
 - Facilities \$33,570,000
 - Streets \$85,780,000
- Committee Recommendation
 - Received and evaluated 80 possible bond projects totaling \$851,973,600
 - Subcommittees prioritized projects using "A" or "B" list as short and long term needs

- Subcommittee members had opportunities to add projects they felt were important to the community
 - Recommendation includes 52 projects totally \$403,747,000
 - New Authorization needed is \$272,685,000
 - Recommendation does not increase primary or secondary property tax rates
- Parks Subcommittee
 - Maintain existing City parks
 - Complete construction on regional parks
 - Higher priority for AJ Chandler park renovation
 - Completion of Mesquite Groves Regional Park
 - Folley Park Renovation

COUNCILMEMBER ORLANDO asked if the authorization from previous bond elections expire with this new authorization.

DAWN LANG, Management Services Director, said it does not expire.

COUNCILMEMBER ORLANDO asked if the prior authorization is included in this equation.

MS. LANG said yes, the delta is what is being requested for this election.

COUNCILMEMBER ORLANDO asked if there were a list of items that did not make the final list.

MR. DUNN said he would provide more information regarding the information that did not make the list.

COUNCILMEMBER ORLANDO asked if there sustainability and environmental concerns for some of the parks.

MR. DUNN said the Subcommittee felt it was important that the parks needed to be sustainable.

MS. LANG said environmental concerns are always reviewed for any project. Ms. Lang said the project lists also identify if the funding would come from the bond or are recommended to be paid from another funding source or bond election at a later time.

MAYOR HARTKE asked if all projects are listed in the Executive Summary.

MARSHA REED, City Manager, said yes.

MR. DUNN continued the Power Point presentation.

- Parks Subcommittee
 - Library Projects
 - The Subcommittee is recommending no additional authorization in this category
- Public Safety – Fire Subcommittee
 - Subcommittee toured Fire Stations 282 and 281, Public Safety Training Center, and several response vehicles
 - Rebuild Fire Station 282 on existing footprint
 - Rebuild Fire Station 284 vs. renovation due to ongoing maintenance costs
- Public Safety – Police Subcommittee

- Subcommittee toured Public Safety Training Center, Police Main Station, and several response vehicles
 - New Forensic Services facility to allow for new specialties to be developed
 - Expansion of Communication and Investigations Bureau into existing Forensic Section Space
- Facilities Subcommittee
 - Subcommittee worked off a recent facility assessment of 47 City facilities
 - Discussion centered around facilities with the greatest needs
 - Top 7 facilities needing improvements were included as the highest recommendation
 - Extend useful life of City facilities
 - Balanced approach: bond funded vs. cash funded

VICE MAYOR STEWART said there was discussion about potentially downsizing some facilities as positions work remotely. Vice Mayor Stewart asked if that was factored into this.

MS. REED said the space utilization study is currently undergoing the RFP process and would come to Council for the consultant to begin looking at that. Ms. Reed said the facilities that were focused on were facilities that would need to stay such as the Center for the Arts. Ms. Reed said there is some flexibility depending on how the space utilization study comes out.

MR. DUNN continued the Power Point presentation.

- Public Works Subcommittee
 - Subcommittee used projects in current CIP as part of recommendation
 - Then focused on Transit, Active Transit, and Streets projects from recent Transportation Master Plan that are not included to the CIP
 - Finance Subcommittee evaluated financial options based on the Operations and Maintenance of the new projects
 - Balanced approach: bond funded vs. cash funded
- Public Works Subcommittee Continued
 - Expansion of arterial streets
 - Reconstruction to increase capacity of intersection and improve safety
 - Complete collector streets where there is no developer participation anticipated
- Public Works Subcommittee
 - Reduce flood risk in downtown
 - Other miscellaneous improvements
 - Stormwater Projects
 - The Subcommittee is recommending no additional authorization in this category
- Public Works Subcommittee
 - Capital needs are funded by issuing bonds
 - Debt is spread to the rate payers over time which allow current and future users to pay for the systems
 - Revenue Obligation and Excise Tax Revenue Obligation (ETRO) bonds are an alternate financing tool that do not require voter approval
 - Chandler has used ETROs over the last few years to fund utility projects
 - Recommendation is to use Revenue bonds or ETROs for utility projects
- Information Technology Subcommittee
 - Subcommittee focused on a single project
 - Recently completed Fiver Assessment was the main discussion topic

- Finance Subcommittee evaluated financial options before recommending to shift entire fiber project to cash funding
 - Cash was freed up from moving the Fire Station 282 rebuild from cash funded to bond funded
- Airport Subcommittee
 - Subcommittee unanimously stated that the Cooper Road collector improvement was the highest priority
 - Cooper Road project to be included with Public Works bond package with Airport Subcommittees full support
 - Timing to recommend a bond project to extend Runway 4R-22L was premature
 - Subcommittee recommends additional analysis, economic impact studies to be completed prior to bond question for runway extension
- Financial Considerations
 - City of Chandler maintains AAA bond rating
 - Correlates to lower taxes and utility rates for residents
 - Future capital/infrastructure needs exceed remaining bond authorization
 - Committee followed Council guidelines
 - Minimize increase in property taxes
 - Maintain existing infrastructure
 - Finish planned construction of streets and parks
 - Limit new projects adding ongoing O&M
 - Address public needs
- Financial Considerations
 - Secondary Tax rate levy pays the principle and interest on GO bonds
 - To achieve a no tax rate increase it requires a balance between assessed values and tax rates
 - City has been very careful to not construct new facilities or projects without dedicated ongoing revenues to maintain them
 - Chart shows impact of bond projects to the ongoing O&M
 - Middle dark blue line is recommendation from Steering Committee
 - Option will not increase property tax rates based on current projections
- Financial Considerations
 - Ongoing revenues must be available for capital O&M increases
 - Level of ongoing O&M available was determined by including other anticipated operational needs
 - Chart reflects why certain projects were removed from final recommendation due to the increase of property tax rates they would cause
- Recommended Ballot Questions
 - Question 1
 - Purpose: Municipal Facilities Bonds
 - Amount: \$33,570,000
 - Shall the Mayor and Council of the City of Chandler, Arizona, be authorized to issue and sell the following bonds of the City:
 - Purposes: To construct, improve, renovate, replace and remodel municipal buildings and critical infrastructure related thereto; to furnish and equip such facilities and improve the grounds thereof.
 - Payment of Bonds: Each series of these bonds will be issued at the option of the Mayor and Council as general obligation bonds of the City pursuant to Title 35, Chapter 3, Article 3, Arizona Revised Statutes, payable from the levy of an ad valorem tax against the taxable property located within the City and the issuance of these bonds will result in a property tax increase sufficient to pay the annual debt service of the bonds, unless the Mayor and Council provide for payment from other sources.

- Recommended Ballot Questions
 - Question 2
 - Purpose: Park And Recreation Improvements/Community Services Bonds
 - Amount: \$72,985,000
 - Shall the Mayor and Council of the City of Chandler, Arizona, be authorized to issue and sell the following bonds of the City:
 - Purposes: To construct, improve and acquire community, neighborhood, regional and aquatic parks, including recreational facilities, buildings and improvements; to acquire land for parks, recreational facilities, buildings and open spaces; to make improvements, additions and replacements to existing parks and recreational facilities and buildings; to landscape, furnish and equip existing and new parks and recreational facilities and buildings.
 - Payment of Bonds: Each series of these bonds will be issued at the option of the Mayor and Council as general obligation bonds of the City pursuant to Title 35, Chapter 3, Article 3, Arizona Revised Statutes, payable from the levy of an ad valorem tax against the taxable property located within the City, and the issuance of these bonds will result in a property tax increase sufficient to pay the annual debt service of the bonds, unless the Mayor and Council provide for payment from other sources.
- Recommended Ballot Questions
 - Question 3
 - Purpose: Public Safety/Fire Bonds
 - Amount: \$25,160,000
 - Shall the Mayor and Council of the City of Chandler, Arizona, be authorized to issue and sell the following bonds of the City:
 - Purposes: To construct, improve, renovate and remodel fire stations and other fire safety related facilities; to furnish, equip and improve fire stations, fire safety related facilities and radio infrastructure; and to acquire vehicles and land for fire and public safety purposes.
 - Payment of Bonds: Each series of these bonds will be issued at the option of the Mayor and Council as general obligation bonds of the City pursuant to Title 35, Chapter 3, Article 3, Arizona Revised Statutes, payable from the levy of an ad valorem tax against the taxable property located within the City, and the issuance of these bonds will result in a property tax increase sufficient to pay the annual debt service of the bonds, unless the Mayor and Council provide for payment from other sources.
- Recommended Ballot Questions
 - Question 4
 - Purpose: Public Safety/Police Bonds
 - Amount: \$55,190,000
 - Shall the Mayor and Council of the City of Chandler, Arizona, be authorized to issue and sell the following bonds of the City:
 - Purposes: To construct, improve, renovate and remodel police stations and other police related facilities; to furnish, equip and improve police stations, police related facilities and radio infrastructure; and to acquire vehicles and land for police and public safety purposes.
 - Payment of Bonds: Each series of these bonds will be issued at the option of the Mayor and Council as general obligation bonds of the City pursuant to Title 35, Chapter 3, Article 3, Arizona Revised Statutes, payable from the levy of an ad valorem tax against the taxable property located within the City, and the issuance of these bonds will result in a property tax increase sufficient to pay the annual debt service of the bonds, unless the Mayor and Council provide for payment from other sources.
- Recommended Ballot Questions

- Question 5
- Purpose: Public Works And Street And Transit Improvements Bonds
- Amount: \$85,780,000
- Shall the Mayor and Council of the City of Chandler, Arizona, be authorized to issue and sell the following bonds of the City:
- Purposes: To design, acquire, improve, construct, reconstruct and rehabilitate the streets, avenues, alleys and highways of or within the City; to design, acquire, install, construct and reconstruct street lighting, traffic signal control systems, underground utility lines, landscape improvements and transit bicycle program improvements, including shared use paths and trails; to acquire land and interests in [and for transportation purposes.
- Payment of Bonds: Each series of these bonds will be issued at the option of the Mayor and Council as general obligation bonds of the City pursuant to Title 35, Chapter 3, Article 3, Arizona Revised Statutes, payable from the levy of an ad valorem tax against the taxable property located within the City, and the issuance of these bonds will result in a property tax increase sufficient to pay the annual debt service of the bonds, unless the Mayor and Council provide for payment from other sources.
- Next Steps
 - February 25, 2021 Bond Steering Committee recommendations report finalized. Briefing to City Council by Steering Committee Chair at Work Session
 - February 25 - April 30, 2021 City Council discussion of recommendations
 - May 27, 2021 By resolution the City Council Calls for an Election and approves ballot language
 - June 18, 2021 Ballot language submitted to Maricopa County
 - August 4, 2021 Arguments Pro/Con filed with City Clerk
 - September 20, 2021 Sample Ballot/Informational Pamphlet mailed to voters before election
 - October 4, 2021 Last day for voters to register for election
 - October 6, 2021 First day to mail out ballot
 - November 2, 2021 Election Day
 - November 22, 2021 Deadline for City Council to canvas the election

MAYOR HARTKE thanked everyone who served on the Bond Committee. Mayor Hartke said in the future Council would be able to have another bond election if needs or finances change. Mayor Hartke said this would not raise the tax rate and most would be paid from the secondary tax rate. Mayor Hartke said the fiscal policies have served the City well.

MS. LANG said they have taken into account all of the expenditures and what funds would be available for capital improvements.

MR. DUNN said on March 1 there would be a reception with the Bond Committee and Subcommittee members. Mr. Dunn said they have about 80 projects and they were able to find ways to keep the projects within the authorization and keep the tax rate the same.

VICE MAYOR STEWART thanked everyone who served. Vice Mayor Stewart asked if there would be more language added to the ballot or if that was final.

MR. DUNN said this was suggested language that would be approved by the Council. Mr. Dunn said the bond counsel would discuss why this language is best for the legal requirements and still allow Council flexibility.

VICE MAYOR STEWART asked if taxpayers would be able to see how much they would save by not passing this. Holding rates the same is great from a percentage perspective, but the housing prices are increasing.

MS. REED said the Mayor would like to have a future work session with Council along with the bond counsel.

COUNCILMEMBER ROE thanked everyone who served on the Committee. Councilmember Roe said he has heard frustrations about items moving forward in the community and this is the process for getting those items done. Councilmember Roe said future Councils will continue to move forward.

MR. DUNN said the City has great staff to provide information and work with the Committee.

COUNCILMEMBER ORLANDO thanked everyone who served on the Committee and for the work they have done. Councilmember Orlando said local government is the last trusted entity in his mind. For this process the residents, staff, and Council were involved. This sends a positive message to the community that we have done our research and have the amenities and infrastructure the community wants to see.

MR. DUNN said at a local level people have trust in the government and work to improve their City.

CONSENT AGENDA – DISCUSSION

None.

CONSENT AGENDA – MOTION AND VOTE

COUNCILMEMBER LOPEZ MOVED TO APPROVE THE CONSENT AGENDA OF THE FEBRUARY 25, 2021, CITY COUNCIL MEETING; SECONDED BY COUNCILMEMBER ELLIS.

MOTION TO APPROVE THE CONSENT AGENDA CARRIED UNANIMOUSLY (7-0).

CONSENT AGENDA ITEMS

1. February 2021 Council Minutes
Move to approve the Council meeting minutes of the Study Session and Special Meeting of February 8, 2021, and the Work Session and Regular Meeting of February 11, 2021.
2. Professional Services Agreement with Gavan & Barker, Inc., for the Snedigar Sportsplex West Restroom Replacement project Design Services.
Move City Council award Professional Services Agreement No. PR2102.201 to Gavan & Barker, Inc., for the Snedigar Sportsplex West Restroom Replacement project Design Services, in an amount not to exceed \$36,690.07.

BACKGROUND FROM COUNCIL MEMO:

Snedigar Sportsplex is a 91-acre recreation facility located at 4500 S. Basha Road, in the square mile bordered by Alma School Road, Arizona Avenue, Ocotillo Road and Chandler Heights Road. The original sports complex was constructed on 30 acres in 1991 and has since been expanded with new amenities added to keep pace with the needs for recreational sport fields and facilities. Key park amenities include baseball, soccer and softball fields, bike park, dog park, open turf area, playgrounds, shade ramadas, restroom buildings and shade structures. A single pair of restrooms in the ballfield area of the Sportsplex is not adequate for youth league teams, however, and there is a need for additional restrooms to meet user demand.

The existing two restrooms, located in a single building measuring approximately 22 feet by 27 feet in the ballfield complex, will be removed and new restrooms constructed at the same location, along with associated utility connections and sidewalk reconstruction to ensure accessibility in the general vicinity of the new restroom building. The new restrooms include 8 individual unisex stalls and 2 individual unisex accessible stalls. Each stall will have a toilet, sink, and hand dryer. The building will also include a maintenance area and exterior drinking fountains. This project also includes new lighted ramadas at the existing storage/overlook building as well as soil stabilizing of areas adjacent to the main walkway through the ballfields.

The project scope of work consists of architectural design services, civil engineering, electrical engineering, data collection, site plans, demolition plans, and ramada plan, as well as restroom plans, technical specifications, estimates, construction documents, permitting, development of construction documents and bidding assistance. The contract completion time is 225 calendar days following Notice to Proceed.

3. Final Adoption of Ordinance No. 4962, ANX20-0002, Annexation and Initial City Zoning - South of the Southwest Corner of Gilbert and Ocotillo Roads
Move City Council adopt Ordinance No. 4962 approving ANX20-0002, Annexation and Initial City Zoning - South of the Southwest Corner of Gilbert and Ocotillo roads, as recommended by Planning staff.

BACKGROUND FROM COUNCIL MEMO:

Located south of the southwest corner of Gilbert and Ocotillo roads. Zoned Rural-43 (RU-43) within Maricopa County. Approximately 1.71 acres. Council Public Hearing held on October 15, 2020. A Final Adoption of the Ordinance for rezoning is on this City Council Agenda. Ordinance introduced and tentatively adopted on February 11, 2021.

Surrounding Land Use Data:

North	Unincorporated Maricopa County (Arizona Olympian Gymnastics)	South	Commercial (Dollar Self storage)
East	Gilbert Road, then new CUSD high school (under construction)	West	Canal, then City of Chandler water reclamation facilities

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Neighborhoods	No change
Southeast Chandler Area Plan	Envisioned Community/Regional Open Space and Recreational Opportunities	Traditional Suburban Character

Utility Service

Existing municipal water service, wastewater service, and reclaimed water are available in Gilbert Road.

4. Final Adoption of Ordinance No. 4960, PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices

Move City Council adopt Ordinance No. 4960 approving PLH20-0034, La Paglia High School Seminary and Professional Offices, Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for professional offices and institutional/educational uses located south of the southwest corner of Gilbert and Ocotillo roads, subject to the conditions as recommended by Planning and Zoning Commission.

BACKGROUND FROM COUNCIL MEMO:

Site is approximately 1.7 net acres. Annexation public hearing held on October 15, 2020. Final adoption of the Annexation ordinance is concurrently scheduled for this Council Agenda. Site is currently vacant. Ordinance introduced and tentatively adopted on February 11, 2021.

North	Commercial (Unincorporated - Arizona Olympian Gymnastics)	South	Commercial (Dollar Self Storage)
East	Gilbert Rd. then new Chandler Unified School District high school	West	RWCD Canal

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Neighborhoods	No change
Southeast Chandler Area Plan	Envisioned Community/Regional Open Space and Recreational Opportunities	Traditional Suburban Character

Proposed Development

Seminary	
Building Area	3,681 sq. ft. (+ 1,329 sq. ft. future expansion) Total of 5,010 sq. ft.
Building Height (max.)	22 ft.
Parking Required	25 spaces total (includes future expansion)
Parking Provided	27 spaces total
Future commercial offices/medical offices	
Building Area	6,336 sq. ft.
Building Height (max.)	30 ft.
Parking Required	43 additional spaces (1 space per 150 sq. ft.)
Parking Provided	70 total shared spaces

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the amendment to the Southeast Chandler Area Plan (SECAP). The Envisioned Community/Regional Open Space and Recreational Opportunities land use designation was identified at a time when the City owned property along the RWCD canal; however, the City property was sold and a regional open space and recreational area is no longer planned. A Traditional Suburban Character land use allows single story buildings along arterial streets, including for commercial and institutional/educational developments.

The request for rezoning to PAD provides for a limited list of permitted land uses which include the seminary (institutional/educational), general office, professional office, which generate low-traffic including but not limited to insurance, counseling, assisted living, real estate and title companies. Prohibited uses include medical and dental offices, retail of any kind, call centers, cleaners, barbers, personal services, animal boarding and similar businesses. The site layout and building architecture is in conformance with the SECAP design guidelines for commercial/non-residential land uses. Architectural design of the future professional office building requires a new PDP application to evaluate building architecture. Signage for the future phase may require a PDP if the development prefers to modify the requirements of the Sign Code for PAD zoned properties. The seminary proposes one wall-mounted sign. Staff finds the proposal to be consistent with the goals of the General Plan and the SECAP, as amended, and recommends approval subject to conditions.

Traffic Analysis

Gilbert Road is currently undergoing improvements from Ocotillo to Chandler Heights roads. Improvements consist of re-striping, narrowing medians to allow for three lanes in the northbound and southbound direction, and modifications to the medians for turning movements. Traffic signals are proposed at two locations including the intersections of Gilbert and Brooks Farm road and the alignment of the existing driveway of the Olympian Gymnastics with the new entrance to the new high school. Pedestrian crossings will be designated at both traffic signals. The applicant states that the students will be transported by shuttle between the new high school and the new seminary.

Public / Neighborhood Notification

This request was noticed in accordance with the requirements of the Chandler Zoning Code. A Neighborhood Meeting sign was posted on the property. A virtual neighborhood meeting was held on December 3, 2020. Three residents attended virtually to obtain project information. No questions were asked. No opposition to request was stated. An attendee commented the project is a nice fit. As of writing this memo, Planning staff is not aware of opposition to the request.

Planning and Zoning Commission Vote Report

Planning and Zoning Commission meeting January 20, 2021.

Motion to Approve.

In Favor: 7 Opposed: 0

Commission discussed the proposed permitted land uses and recommended that medical and dental office uses be prohibited uses due to traffic and circulation patterns both on site and off site. Stipulations No. 2 and No. 3 are revised to address Commission's direction.

Recommended Conditions of Approval

Planning and Zoning Commission recommends the City Council approve rezoning from Agricultural District (AG-1) to PAD for professional offices and institutional/educational uses, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Chandler La Paglia High School Seminary and Professional Offices" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0034, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The following uses shall be permitted:
3. Institutional uses including church, seminary, nursing home, and educational entity.

4. Commercial Office uses including general office, professional office, insurance, counseling, real estate and title companies.
 5. Other similar institutional and/or office uses not listed here may be permitted upon determination by the Planning Administrator that it will not generate a greater or more intense traffic impact on the area.
 6. The following uses shall be prohibited: medical and dental offices, retail, call centers, dry cleaners, personal services (e.g., barber, nail and beauty salons, tattoo, day spa), animal daycare and boarding, bakery, bars, drive-through and restaurants.
 7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
 8. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
 9. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a City of Chandler water facility/recharge ponds that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a wastewater treatment facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
5. Introduction of Ordinance No. 4961, PLH20-0023, PLT20-0037 Pecos and McQueen Retail (Staff Requests Continuance to the March 25, 2021, City Council Meeting)
Move City Council continue PLH20-0023 Pecos and McQueen Retail, located at the southwest corner of Pecos and McQueen roads, to the March 25, 2021, City Council meeting, as recommended by Planning and Zoning Commission.

BACKGROUND FROM COUNCIL MEMO:

At the January 20, 2021, Planning and Zoning Commission meeting, Commission continued the case to their February 17, 2021, meeting for the purpose of holding a Design Review Committee meeting to address concerns regarding the proposed drive-through pads and site plan layout. On February 3, 2021, the Design Review Committee was held and provided design direction to the applicant.

6. Resolution No. 5439, authorizing a Development Agreement with Valley Christian Schools for the Installation of Roadway and Traffic Improvements
Resolution No. 5440, authorizing a Deactivation Agreement with Salt River Valley Water User's Association for Removal of an Irrigation Structure
Development Agreement
Move City Council approve Resolution No. 5439, authorizing a Development Agreement between the City of Chandler and Valley Christian Schools, an Arizona Non-profit Corporation, for the installation of roadway and traffic improvements at the intersection of North 56th Street and West Galveston Street, and authorizing the City Manager or designee to execute other documents as needed to give effect to the agreement.
Deactivation Agreement

Move City Council approve Resolution No. 5440, authorizing a Deactivation Agreement between the City of Chandler and Salt River Valley Water User's Association, an Arizona Corporation, for the removal of an irrigation delivery structure to accommodate roadway and traffic improvements at the intersection of North 56th Street and West Galveston Street, and authorizing the City Manager or designee to execute other documents as needed to give effect to the agreement.

BACKGROUND FROM COUNCIL MEMO:

Valley Christian Schools (VCS) owns multiple parcels of land in the area of North 56th Street and West Galveston Street, depicted in the attached vicinity map. The existing campus is located at the northeast corner of this intersection. An expansion of the property was authorized in 2010 when the City Council rezoned a portion of the campus from Planned Area Development (PAD) to PAD amended. The rezoning ordinance contained provisions for phasing the campus expansion. Phase one included construction of a temporary softball field south of Galveston Street and a new, two-story classroom building with occupancy limited to the first floor. Phase one has been completed.

VCS is now ready to proceed with phase two, which necessitates several off-site improvements. These improvements include a deceleration lane on northbound 56th Street and the installation of a traffic signal at the intersection of North 56th Street and West Galveston Street. The deceleration lane construction requires that an existing Salt River Valley Water User's Association (SRP) irrigation structure on the shoulder of North 56th Street be deactivated, removed, and replaced with a concrete manhole structure. VCS is required to pay for and complete all off-site construction costs, including deactivation of the SRP structure, prior to proceeding with the next phase of the campus expansion. SRP is requiring the City of Chandler be obligated to re-activate the irrigation structure in the unlikely event that it is needed in the future to service its shareholders in this area. The City would be reimbursed by VCS for the costs associated with re-activating the structure, should it ever be required. A separate irrigation structure deactivation agreement with SRP has been prepared for Council consideration, which is included in this agenda item.

The Development Agreement between the City of Chandler and VCS contains the following key provisions:

VCS will construct all required off-site improvements, including the deceleration lane on North 56th Street, the traffic signal, and the deactivation and removal of the SRP irrigation structure. VCS will be eligible for partial reimbursement for the traffic signal costs upon future development of the northwest and southwest corners of the intersection of North 56th Street and West Galveston Street. VCS will construct a parking lot at the southeast corner of North 56th Street and West Galveston Street. The City of Chandler will, subject to Council approval of the separate deactivation agreement, guarantee to restore and reactivate the SRP structure and obtain reimbursement from VCS should irrigation ever be required in this area in the future.

Upon completion of the above:

VCS may complete and occupy the second story of their new classroom building. The temporary modular classrooms will be removed within 45 days of occupancy of the second story. VCS will submit a comprehensive master plan that covers full build-out of the campus. VCS will submit a comprehensive traffic study for the full build-out campus master plan. The Planning division will process the VCS application for rezoning a portion of the campus.

The Deactivation Agreement between the City of Chandler and SRP contains the following key provisions:

SRP will abandon its use of the irrigation facility. The City of Chandler, through a separate agreement, will cause removal of the facility at VCS's sole expense. If at any time in the future, SRP determines irrigation is again needed at this location, the City will provide easements and pay all costs for design and construction of a replacement facility. SRP will design, construct, own and operate the replacement facility and hold the City harmless for any loss or damage. SRP agrees to comply with all City code requirements for all work in the City right of way.

Financial Implications:

Neither the agreement between the City of Chandler and VCS nor the agreement between the City of Chandler and SRP require any immediate capital expenditures by Chandler. However, by entering into the agreement with SRP, Chandler is guaranteeing to pay for re-activation of the irrigation structure on North 56th Street, should that ever become necessary in the future. Per the Development Agreement with VCS, however, the City of Chandler would be fully reimbursed by VCS for those expenses.

7. Final Plat, PLT20-0024, Ferguson Enterprises MDC
Move City Council approve Final Plat, PLT20-0024, Ferguson Enterprises MDC, located on the south side of Queen Creek Road, east of Hamilton Street, as recommended by Development Services Staff.

BACKGROUND FROM COUNCIL MEMO:

Site is a single lot, 50.674 acres in size. Zoned Planned Area Development (PAD), Planned Industrial (I-1). The Council approved the zoning for industrial uses on November 7, 2019. The property owner is seeking Final Plat approval in order to construct an industrial building. The final plat establishes the tract boundaries, and creates the easements and rights of way to be conveyed or dedicated as part of developing the site in substantial conformance with Council approved zoning.

8. Final Plat, PLT20-0025, Casadia
Move City Council approve Final Plat, PLT20-0025, Casadia, located on the east side of McQueen Road, south of Chandler Heights Road, as recommended by Development Services Staff.

BACKGROUND FROM COUNCIL MEMO:

Site is 5.0386 acres in size. Zoned Planned Area Development District (PAD) for residential subdivision. 13 proposed lots and 3 tracts. The Council approved the rezoning of the property to Planned Area Development (PAD) for a single-family residential subdivision on April 20, 2020. The current property owner is seeking to subdivide the parcel into 13 residential building lots to be sold and owned individually. The final plat creates the lots, tracts, easements and rights of way to be conveyed or dedicated as part of developing the site in substantial conformance with the Council-approved rezoning.

9. Purchase of HVAC Equipment, Installation and Services from TDIndustries, Inc., Johnson Controls, Inc., Daikin Applied Americas, Inc., and Trane U.S. Inc.
Move City Council approve the utilization of Omnia Partners Contracts, No. R200403 with TDIndustries, Inc., Contract No.R200402 with Johnson Controls, Inc., Contract No.R200401 with Daikin Applied Americas, Inc., and Contract No. 15-JLP-023 with Trane U.S. Inc., for the purchase of HVAC equipment, installation and services, in an amount not to exceed \$815,000.

BACKGROUND FROM COUNCIL MEMO:

The Building and Facilities Division frequently uses outside vendors for repair and maintenance of Heat, Ventilation and Cooling (HVAC) equipment. This agreement will provide the City with multiple

contractors for scheduled, preventive and emergency HVAC repairs throughout the City. Building and Facilities will use this agreement for emergency repairs, and or replacement of packaged units, chillers, boilers and other related HVAC equipment located throughout the City. This will reduce the premature failure of the equipment during peak demand and provide optimum energy efficiency. In addition, Public Works & Utilities Department will utilize this agreement for emergency repairs, and or replacement of packaged units, chillers, boilers and other related HVAC equipment at various locations throughout the Department.

10. Agreement No. BF9-910-4013, Amendment No. 1, with Rycon Industries, Inc., dba Skyline Window Cleaning for Window Washing Services
Move City Council approve Agreement No. BF9-910-4013, Amendment No. 1, with Rycon Industries, Inc., dba Skyline Window Cleaning, for window washing services, in an amount not to exceed \$60,000, for a one-year term, February 1, 2021, through January 31, 2022.

BACKGROUND FROM COUNCIL MEMO:

Building and Facilities is responsible for the window cleaning and power washing of entry points at City buildings. The City Hall tower windows require specialized equipment and personnel certifications. The windows are typically cleaned every three months but can be more frequent depending on the facility, use, and environmental conditions.

11. Enterprise License Agreement with Environmental Systems Research Institute, Inc. (ESRI)
Move City Council approve Agreement No. 4289 with Environmental Systems Research, Inc. (ESRI) for an enterprise license for Geographic Information System (GIS) software in the amount of \$480,000 for a three-year period beginning March 12, 2021, through March 11, 2024, payable on an annual basis.

BACKGROUND FROM COUNCIL MEMO:

The City's Geographic Information System (GIS) is based on ESRI GIS products. The City's GIS allows staff, citizens and business partners the ability to view City data in a spatial manner related to its physical location within the City. Since 2009, the City has had an Enterprise License Agreement with ESRI which allows City departments to deploy GIS software products as needed to support City services. The GIS advisory Committee considers each request for additional software installations to determine validity and monitors software installed to not adversely affect future costs of the licensing agreement. Recently, ESRI changed their pricing model and moved the City of Chandler to a Small Enterprise Government Agreement. This change simply moves the City into a different customer category. The City will continue to receive the same support and benefits experienced under the prior licensing arrangement.

12. Agreement with Accelerated Technology Laboratories, Inc., for a Hosted Laboratory Information Management System
Move City Council award Agreement No. IT9-208-4063, to Accelerated Technology Laboratories, Inc., for a hosted laboratory information management system, in the amount of \$73,799.

BACKGROUND FROM COUNCIL MEMO:

The Water Quality Division operates laboratories at three locations. The laboratories perform water quality regulatory compliance testing required by the Environmental Protection Agency (EPA) and Arizona Department of Environmental Quality (ADEQ), and process control testing to support water and wastewater treatment facilities. With over 6,500 samples received annually, each sample is tested for

multiple constituents. Every sample also carries with it numerous Quality Assurance/ Quality Control (QA/QC) prerequisite criteria that must be met by the laboratories.

Currently, sample tracking, management of the workflow, QA/QC tasks, testing results, data review, and record-keeping are done manually. Once testing is complete, in-house laboratory results are manually entered into spreadsheets and the water quality database. This manner of managing the laboratory workload is inefficient as well as subject to potential transcription errors, lost information, or inaccuracies that could compromise compliance. Implementing a Laboratory Information Management System (LIMS) will provide an automated interface with laboratory instruments to streamline entering of test results and QA/QC tracking, as well as a searchable sample management system to efficiently track the status of laboratory samples, testing, reporting, and sample storage. LIMS will also provide operational efficiencies for the Water Quality Division and maintain compliance with State and Federal water and wastewater regulations.

13. Purchase of VMware Licenses and Annual Support from Dell
Move City Council approve the purchase of VMware licenses and annual support utilizing the State of Arizona Contract No. ADSPO16-098163 with Dell in the amount of \$134,366.

BACKGROUND FROM COUNCIL MEMO:

The City of Chandler IT Department leverages VMware technologies to create efficiencies in infrastructure resources for applications and critical City services. Staff is recommending this purchase of additional VMware software to support the Dell/EMC VxRail solution. That solution will be providing server and storage resources for Citywide applications such as Lucity, ESRI GIS, MyTimekeeper, Accela, etc. This purchase will be co-termed to the existing VMware maintenance and renewed annually.

14. License Series 12, Restaurant Liquor License application for Sonas Tavern #1, dba Rosati's Pizza
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132127, a Series 12, Restaurant Liquor License, for Amy S. Nations, Agent, Sonas Tavern #1 Inc., dba Rosati's Pizza, located at 1050 E. Ray Road, Suite 2, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 300287 L12.

BACKGROUND FROM COUNCIL MEMO:

This application for a liquor license was posted for hearing on February 25, 2021. The Police Department reports no objections to the issuance of this license, and no written protests pursuant to A.R.S. 4-201(B) have been received. With a Series 12, Restaurant Liquor License, the business may sell all liquors for on-premise consumption only, with a minimum of 40% of the gross receipts from the sale of food.

15. License Series 12, Restaurant Liquor License application, for GTC Chandler LLC, dba Good Time Charli's
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132752, a Series 12, Restaurant Liquor License, for Raymond F. Sanchez, Agent, GTC Chandler LLC, dba Good Time Charli's, located at 6045 W. Chandler Boulevard, Suite 7, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 300408 L12.

BACKGROUND FROM COUNCIL MEMO:

This application for a liquor license was posted for hearing on February 25, 2021. The Police Department reports no objections to the issuance of this license, and no written protests pursuant to A.R.S. 4-201(B) have been received. With a Series 12, Restaurant Liquor License, the business may sell all liquors for on-premise consumption only, with a minimum of 40% of the gross receipts from the sale of food.

16. New Liquor License Series 6, Bar Liquor License application for Yaashi Sibs Inc., dba 810 Billiards & Bowling
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132056, a Series 6, Bar Liquor License for Poonam Manek, Agent, Yaashi Sibs Inc., dba 810 Billiards & Bowling, located at 3455 W. Frye Road, Suite 2, and approval of the City of Chandler, Series 6, Bar Liquor License No. 300410 L6.

BACKGROUND FROM COUNCIL MEMO:

This application for the transfer of a liquor license was posted for hearing on February 25, 2021. The Police Department reports no objections to the issuance of this license, and no written protests pursuant to A.R.S. 4-201(B) have been received. With a Series 6, Bar Liquor License, the business may sell all alcoholic beverages for on- or off-premise consumption.

17. New Liquor License Series 12, Restaurant Liquor License application for Paletas Betty LLC, dba Paletas Betty
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 132855, a Series 12, Restaurant Liquor License, for Alvin Doi-Chih Hong, Agent, Paletas Betty LLC, dba Paletas Betty, located at 96 W. Boston Street, and approval of the City of Chandler, Series 12, Restaurant Liquor License No. 130621 L12.

BACKGROUND FROM COUNCIL MEMO:

This application for a liquor license was posted for hearing on February 25, 2021. The Police Department reports no objections to the issuance of this license, and no written protests pursuant to A.R.S. 4-201(B) have been received. With a Series 12, Restaurant Liquor License, the business may sell all liquors for on-premise consumption only, with a minimum of 40% of the gross receipts from the sale of food.

18. New License Series 4, In State Wholesalers Liquor License application, for Nuwave Beverage LLC, dba Nuwave Beverage
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 129847, a Series 4, In State Wholesalers Liquor License, for Surekha Soorma, Agent, Nuwave Beverage LLC, dba Nuwave Beverage, located at 3225 N. Arizona Avenue, Suite 10, and approval of the City of Chandler, Series 4, In State Wholesalers Liquor License No. 300441 L04.

BACKGROUND FROM COUNCIL MEMO:

This application for a liquor license was posted for hearing on February 25, 2021. The Police Department reports no objections to the issuance of this license, and no written protests pursuant to A.R.S. 4-201(B) have been received. With a Series 4, In State Wholesalers Liquor License, the business may sell at wholesale to licensed retailers only.

19. Resolution No. 5441 authorizing Amendment No. 3 to the Intergovernmental Agreement (IGA) with Maricopa County for the Purpose of Providing Temporary Housing for At Risk Individuals and Families due to the COVID-19 Pandemic Utilizing Hotel Rooms
Move City Council pass and adopt Resolution No. 5441 approving and authorizing Amendment No. 3 to an Intergovernmental Agreement (IGA) between Maricopa County Administered by its Human Services Department and City of Chandler for the purpose of providing temporary housing for at-risk individuals and families due to the COVID-19 pandemic utilizing hotel rooms in an amount of \$79,580 for a new total expenditure of \$238,740; extending the term of the agreement through March 31, 2021; and

authorizing the City Manager or designee to sign the agreement and all related documents on behalf of the City of Chandler.

BACKGROUND FROM COUNCIL MEMO:

On March 11, 2020, the Governor of the State of Arizona, Douglas A. Ducey, declared a State of Emergency in Arizona due to the novel Coronavirus and determined that the COVID-19 outbreak presents conditions that are, or are likely to be, beyond the control of services, personnel, equipment, and facilities of any single county, city, or town, and which requires the combined efforts of the State of Arizona and its political subdivisions.

On March 19, 2020, Chandler Mayor Kevin Hartke issued a proclamation declaring the existence of an emergency as a result of the COVID-19 outbreak, placing the City of Chandler, County of Maricopa, and State of Arizona, in a condition of extreme peril to life and property. Pursuant to the emergency powers vested in the Mayor under Arizona Revised Statutes §26-311 and Chandler City Code §6-3.2, Mayor Hartke determined that extraordinary measures must be taken to alleviate the suffering of people and to protect or rehabilitate property.

In April 2020, the Maricopa County Human Services Department approached the cities of Mesa, Tempe and Chandler with a proposal to work cooperatively to assist persons experiencing homelessness by providing temporary housing to prevent exposure to the COVID-19 virus. Maricopa County agreed to enter into a lease agreement with a hotel and provide 24/7 on site security, while the partnering cities would provide the clientele and wrap-around services to support them during their stay and assist them in their transition to permanent housing. On July 13, 2020, the City of Chandler entered into this agreement for the period of April 26, 2020 through July 26, 2020. The service was successful, providing safe accommodations for Chandler residents experiencing homelessness to shelter in place. Regrettably, the hotel property changed ownership in July 2020 and the new owner chose not to renew the lease agreement with Maricopa County.

On August 13, Amendment No. 1 was approved to extend the agreement to September 30, 2020, and add funding in an amount not to exceed \$79,580 for 10 hotel rooms and security services. The City of Chandler secured hotel space and security services and continued to place and provide wrap-around support to program participants with the ultimate goal of transitioning them to permanency. On October 15, Amendment Number 2 was approved adding \$79,580 for a new not-to-exceed amount of \$159,160 and extending the term of the agreement through December 31, 2020. Amendment Number 3 continues the support of 10 hotel rooms and security services through the addition of \$79,580 for a new not-to-exceed amount of \$238,740 and extends the term of the agreement through March 31, 2021.

The City of Chandler also utilizes Community Development Block Grant-Coronavirus (CDBG-CV) and AZ CARES funds to support this program. Through January 31, 2021, 104 Chandler residents have been served through the program. Of these, 43 have successfully transitioned to permanent housing and 14 have entered emergency shelter or inpatient care where they will receive ongoing services to improve their housing stability and end their homelessness. As of January 31, 2021, 39 residents are actively participating in the program.

Financial Implications:

The City of Chandler provides client services through City staff and an existing contract with Community Bridges, Inc. which is funded from the Grant Fund, Community Development Cost Center, Food Meals and Lodging Account, and Maricopa County Cares Act Program (217.4700.5514.0.3NR001) for \$79,580.

20. Resolution No. 5442 Authorizing the Reallocation of AZCares Grant Funds for Future Distribution; and Reallocation to Chandler AZCEND, the Salvation Army Chandler Corps, Save the Family, and the Neighborhood Resources Department for Services to Assist Chandler Households Negatively Impacted by the Coronavirus Pandemic
Move City Council pass and adopt Resolution No. 5442 Authorizing the Reallocation of \$3,000,000 of AZCares Grant Funds for future distribution; and authorizing reallocation to AZCares grant funds in the amount of \$1,115,000 to Chandler AZCEND, the Salvation Army Chandler Corps, Save the Family, and the Neighborhood Resources Department for services to assist Chandler households negatively impacted by the Coronavirus Pandemic.

BACKGROUND FROM COUNCIL MEMO:

On December 10, 2020, City Council approved Resolution No. 5430 authorizing the allocation of \$4,115,000 of AZCARES funds to assist Chandler Households in need as a result of COVID-19. Specifically, the resolution authorized the allocation of \$3,815,000 to AZCEND for rent and utility assistance, \$200,000 to the Salvation Army Chandler Corps for rent and utility assistance, and \$100,000 to the Neighborhood Resources Department for hotel stays for persons experiencing homelessness. At this time, existing funds for these services were on target for full expenditure by December 31, 2020, and community need for these services remained high.

In late December, Maricopa County notified AZCEND, the Community Action Program (CAP) serving Chandler residents, that it would make additional funds available to continue assistance through January and February, or until funds ran out. In early January, the City received notice from the US Department of the Treasury that it was eligible to apply for the new Emergency Rental Assistance Program (ERAP) and that funds would be available soon thereafter. The Neighborhood Resources Department applied for the funds on behalf of the City and received an award of \$7,946,091.60.

The new ERAP funds have very specific eligibility requirements. The program may assist renters with incomes up to 80% area median income (AMI) who meet specific criteria including receipt of unemployment benefits or can document a loss of income resulting from COVID-19, and can demonstrate a risk of homelessness or housing instability. Households at or below 50% AMI must be prioritized. Neither mortgage assistance nor move-in assistance is eligible through ERAP. Some Chandler households will have an urgent need, but be unable to meet the required criteria or provide the required documentation. In addition, there is an increasing need for move-in assistance to rehouse households that have become homeless as a result of the pandemic. To successfully combat housing instability and homelessness, it is critical to have alternative sources of funding available to assist Chandler households in need.

As a result of this new resource, staff recommends the reallocation of \$3,000,000 of AZCares grant funds be returned to the AZCares Grant Fund, Financial Reserve for future distribution. In addition, staff recommends reallocating the remaining \$1,115,000 of the \$4,115,000 AZCares funds allocated on December 10, 2020, to AZCEND, the Salvation Army Chandler Corp, Save the Family, and the Neighborhood Resources Department to serve Chandler households in need as follows:

Staff recommends allocating \$200,000 of AZCares grant funds to AZCEND for rent, utility, mortgage and move-in assistance. These funds will complement the ERAP funds recommended for allocation to AZCEND in Resolution No. 5443. In addition, staff recommends allocating \$450,000 of AZCares grant funds to the Salvation Army Chandler Corps for rent, utility, mortgage and move-in assistance, as well as a second year of weather-related respite services previously supported for one year through AZCares grant funds. These funds will allow the Salvation Army to continue to the level of service they are currently providing through their first allocation of AZCares grant funds.

Staff also recommends allocating \$340,000 AZCares funds to Save the Family to support Rapid Rehousing for Chandler families with children for a second year. This program quickly re-houses Chandler families that become homeless as a result of COVID-19 and supports them as they regain stability and move back to independence. This program was previously funded for one year with AZCares funds. This service continues to be in high demand as the pandemic continues and emergency shelter continues to operate at a decreased capacity across the Valley. Finally, staff recommends allocating \$125,000 AZCares grant funds to the Neighborhood Resources Department for hotel stays and client services for people experiencing homelessness.

Financial Implications:

AZCares of \$3,000,000 would be transferred back to the Grant Fund, Non-Departmental Cost Center, AZCares Financial Reserve Account (217.1290.5926.0.3AZ000), from the Grant Fund, Community Development Cost Center, Professional Services Account, Community Support Program (217.4700.5219.0.3AZ001), for future distribution by Council.

21. Resolution No. 5443 Authorizing an Agreement with the US Department of the Treasury for the Emergency Rental Assistance Program; Agreement with AZCEND to Administer and Distribute Funds to Assist Chandler Households in Need Due to COVID-19; Authorizing the Neighborhood Resources Department to Administer the Emergency Rental Assistance Program and Continue the Chandler Cares Team for a Second Year

Move City Council pass and adopt Resolution No. 5443 approving and authorizing an agreement between the US Department of the Treasury and the City of Chandler in the Amount of \$7,946,091.60 for the Emergency Rental Assistance Program and approve a General Fund, Contingency Transfer to the Grant Fund, Neighborhood Resources Department, Community Development Cost Center; thereby authorizing an agreement with AZCEND to administer and distribute funds in the amount of \$7,671,091.60 to assist Chandler households in need due to COVID-19; and authorizing the Neighborhood Resources Department to utilize \$275,000 to administer the Emergency Rental Assistance Program and Continue the Chandler Cares Team for a Second Year; and authorizing the City Manager or designee to sign agreements and all related documents on behalf of the City of Chandler.

BACKGROUND FROM COUNCIL MEMO:

On March 11, 2020, the Governor of the State of Arizona, Douglas A. Ducey, declared that a State of Emergency exists in Arizona due to the COVID-19 outbreak and determined that the COVID-19 outbreak presents conditions that are, or are likely to be, beyond the control of services, personnel, equipment, and facilities of any single county, city, or town, and which requires the combined efforts of the State of Arizona and its political subdivisions. On March 19, 2020, the Mayor of the City of Chandler Kevin Hartke, by proclamation declared a State of Local Emergency for the City to protect the health, safety, and welfare of the City and its residents and further declared that COVID-19 outbreak constitutes a condition of extreme peril to life and property within the City. Many Chandler households

continue to demonstrate an urgent need for rental and utility assistance due to the financial impacts of COVID-19, including loss of employment.

The United States Department of the Treasury, (Treasury) included appropriations for an Emergency Rental Assistance Program, (ERAP) created under Section 501 of Division N of the Consolidated Appropriations Act, 2021, Pub. L. No. 116-260 (Dec. 27, 2020) (Section 501), for eligible local governmental entities. The Neighborhood Resources Department applied on behalf of the City to obtain Section 501 federal funds in connection with the City's responsibility for the public health, safety, and welfare of its citizenry and its determination that a compelling public purpose exists for the expenditure of federal funds for rental and utility assistance to ensure a safer and more stable environment during the COVID-19 emergency.

As a result, the Treasury has released payment of \$7,946,091.60 in ERAP funds to the City. The non-profit organization AZCEND, serves as the City's Community Action Program (CAP) and works in partnership with the City to administer federal and local funds allocated for this purpose. AZCEND is uniquely qualified to administer and distribute these funds in compliance with Federal regulations, reporting requirements and expenditure deadlines. The City and AZCEND desire to enter into a contract in the amount of \$7,671,091.60 so that AZCEND may assist the City in administering and distributing ERAP funds. The City will utilize \$275,000 of the ten percent administrative allowance to administer the grant and fund the Chandler CARES Team, which assists Chandler residents and landlords in navigating the application process for a second year.

Financial Implications:

An allocation of \$7,671,092 would be transferred from the General Fund, Non-Departmental Cost Center, Contingency Account (101.1290.5911), to the Grant Fund, Community Development Cost Center, Professional Services Account, Emergency Rental Assistance Program (217.4700.5219.0.3NR002). The Neighborhood Resources Department will distribute \$7,671,091.60 to Chandler AZCEND to administer and distribute the funds, \$275,000 will be used by the City to administer and fund the Chandler Cares Team. There are no match requirements for ERAP funds.

22. Agreement No. PW8-926-3939, Amendment No. 2, with United Fibers, LLC, for Processing and Marketing of Recyclable Materials
Move City Council approve Agreement No. PW8-926-3939, Amendment No. 2, with United Fibers, LLC, for the processing and marketing of recyclable materials, in an amount not to exceed \$1,200,000, for a one-year term, March 1, 2021, through February 28, 2022.

BACKGROUND FROM COUNCIL MEMO:

On March 1, 2019, the City entered into an agreement with United Fibers, LLC, to process collected recyclable material. More than 20,935 tons of recycled material was collected from Chandler residents' homes in 2020 and delivered to United Fibers, LLC, for processing. The terms of the original agreement included a processing fee of \$67.00 per ton, with the City receiving a 55% revenue share based on the weighted average of the actual sales of marketable recyclables per ton, and a \$2.00 per ton education fee paid to the City. The term of this agreement was March 1, 2019, through February 28, 2020, with the option of up to four one-year extensions.

In February 2020, City Council approved Amendment No. 1 to the agreement with United Fibers, LLC, that increased the processing fee to \$80.00 per ton, and implemented a new waste disposal fee in the amount of \$40.00 per ton for the disposal of contamination, residue, and trash, and eliminated the

education fee. For this extension term, United Fibers, LLC, has requested to increase the processing fee to \$85.00 per ton or an estimated annual increase of \$160,000. All other terms of the previous agreement remain the same. These terms are consistent with what the vendor has agreed to with its other municipal customers. Staff continues to explore all options to reduce the cost required to process recycling materials generated within the City, as well as develop educational programs and communications regarding accepted recyclable materials and reduce contamination rates.

23. Project Agreement No. SW2101.401, with Nesbitt Contracting Co., Inc., for the Solid Waste Landfill West Side Stormwater Channel Improvements

Move City Council award Project Agreement No. SW2101.401, to Nesbitt Contracting Co., Inc., pursuant to Job Order Contract No. JOC1907.401, for the Solid Waste Landfill West Side Stormwater Channel Improvements, in an amount not to exceed \$248,712.72.

BACKGROUND FROM COUNCIL MEMO:

The Paseo Vista Recreation Area, located at 3850 S. McQueen Road, is a 64-acre former landfill site. In 2005, the landfill was closed, and the site was redeveloped into a recreation area in 2009. One of the maintenance requirements for the closed landfill is to convey stormwater from the site to designated retention basins. One of the stormwater conveyance channels that stretches along the west side of the site has several sections that need repair due to settlement and erosion-caused damage. The general structural integrity of the channel is intact, but sections have either risen or dropped in elevation. These vertical changes have interrupted the designed passive functionality of the channel conveying stormwater that falls on the closed landfill to designated retention basins.

City staff has selected the channel sections that have the most severe vertical elevation changes for removal and replacement. With these vertical issues, debris and sediment collect in the channel, and City staff is tasked with clearing the channel to restore the functionality. The channel is situated along the west side of the Paseo Vista Recreation Area, adjacent to the Paseo Trail and Salt River Project Consolidated Canal. The work will be coordinated with the Park Operations Division for any impacts to park amenities or the Paseo Trail. The project scope of work consists of removal and replacement of approximately 800 linear feet of the concrete channel, including subgrade preparation, compaction, shotcrete installation, and restoration of landscape areas disturbed by the work. The contract completion time is 90 calendar days following Notice to Proceed.

24. Construction Manager at Risk Contract No. WA2008.251, with Achen-Gardner Construction, LLC, for the Loop 101 and 202 Freeway Waterline and Sewer Rehabilitation Pre-Construction Services

Move City Council award Construction Manager at Risk Contract No. WA2008.251 to Achen-Gardner Construction, LLC, for the Loop 101 and 202 Freeway Waterline and Sewer Rehabilitation Pre-Construction Services, in an amount not to exceed \$249,854.82.

BACKGROUND FROM COUNCIL MEMO:

In February 2018, the City experienced a large water main break northeast of the intersection of Price Road and the Loop 202 Santan Freeway. Staff responded quickly by shutting down the 36-inch diameter water transmission main. In the following months, the City hired a consultant and contractor to evaluate the cause and condition of damaged pipeline and perform necessary repairs. The condition assessment of the pipeline revealed that it was in poor condition and recommended that rehabilitation or replacement of the pipe be considered.

The project scope of work consists of constructability studies and review, value engineering, project planning and scheduling, assistance in the coordination of contract documents, utility location, and preparation of Guaranteed Maximum Price packages. The contract completion time is 360 calendar days following Notice to Proceed. Construction-related contracts will be awarded separately. The City and the Arizona Department of Transportation (ADOT) share a substantial interest in maintaining proper operation and long-term viability of these pipeline segments that cross beneath the Loop 101 and Loop 202 freeway interchange. The City will continue to engage ADOT to partner in future efforts to assess and repair these pipelines.

25. Construction Manager at Risk Contract No. WW1901.401, with McCarthy Building Companies, Inc., for the Water Reclamation Facility Improvements GMP-1
Move City Council award Construction Manager at Risk Contract No. WW1901.401 to McCarthy Building Companies, Inc., for the Water Reclamation Facility Improvements GMP-1, in an amount not to exceed \$5,842,737.

BACKGROUND FROM COUNCIL MEMO:

The City provides wastewater services to over 260,000 residents. This number is projected to increase to 300,000 by the year 2040. Wastewater is delivered to reclamation facilities where it is treated to produce A+ quality effluent for delivery to the City's reclaimed water system. The Ocotillo Water Reclamation Facility, located at 3333 S. Old Price Road, was originally built in 1985. The Airport Water Reclamation Facility, located at 905 E. Queen Creek Road, was originally built in 1998. Both facilities are in need of rehabilitation due to aging infrastructure. Major components of the project will include the replacement of sand media filters with updated cloth media technologies, rehabilitation of secondary clarifiers, replacement of large diameter blower piping, and related instrumentation and electrical upgrades.

The project scope of work for this first Guaranteed Maximum Price (GMP) construction contract consists of procurement of disc filters and stainless steel gates, demolition, and concrete work. This is the first of several GMP construction contracts that will be brought forward for City Council consideration on this project. The contract completion time is 250 calendar days following Notice to Proceed. A related Professional Services Agreement with Wilson Engineers, LLC., for the Water Reclamation Facility Improvements, is also scheduled for this City Council meeting.

26. Professional Services Agreement No. WW1901.451, with Wilson Engineers, LLC, for the Water Reclamation Facility Improvements Construction Management Services
Move City Council award Professional Services Agreement No. WW1901.451 to Wilson Engineers, LLC, for the Water Reclamation Facility Improvements Construction Management Services, in an amount not to exceed \$126,410.

BACKGROUND FROM COUNCIL MEMO:

The City provides wastewater services to over 260,000 residents. This number is projected to increase to 300,000 by the year 2040. Wastewater is delivered to reclamation facilities where it is treated to produce A+ quality effluent for delivery to the City's reclaimed water system. The Ocotillo Water Reclamation Facility, located at 3333 S. Old Price Road, was originally built in 1985. The Airport Water Reclamation Facility, located at 905 E. Queen Creek Road, was originally built in 1998. Both facilities are in need of rehabilitation due to aging infrastructure. This is the first of subsequent Guaranteed Maximum Price (GMP) scopes of work for the overall project. Major components of the first GMP scope of work include the replacement of sand media filters with updated cloth media technologies, rehabilitation of

secondary clarifiers, replacement of large diameter blower piping, and related instrumentation and electrical upgrades.

The project scope of work consists of pre-construction assistance, contractor oversight, construction administration, construction inspection, schedule review, review of progress payments, and response to shop drawings and submittals. The contract completion time is 300 calendar days following Notice to Proceed. A related Construction Manager at Risk Contract with McCarthy Building Companies, Inc., for the Water Reclamation Facility Improvements, is also scheduled for this City Council meeting.

27. Resolution No. 5438, Authorizing an Agreement Among the City of Chandler, Pima Utility Company, and Sun Lakes Marketing Limited Partnership, LLP, for Potable Water Interconnect and Abandonment of Inactive Wells

Move City Council approve Resolution No. 5438, authorizing an agreement among the City of Chandler; Pima Utility Company, an Arizona Corporation; and Sun Lakes Marketing Limited Partnership, LLP, an Arizona limited partnership and a corporate affiliate of Pima Utility Company; for the delivery of potable water through interconnections between their potable water distribution systems and for the abandonment of inactive wells located near Alma School and Willis roads, Alma School and Pecos roads, and Alma School and Queen Creek roads and authorizing the Public Works and Utilities Director to execute the Agreement.

BACKGROUND FROM COUNCIL MEMO:

Pima Utility Company manages a water distribution system for the Sun Lakes community, which is located southwest of Chandler and shares a common border with the City. The Pima Utility Company has requested the City provide an interconnection between the two respective water systems. With a population of just under 15,000 residents, Sun Lakes has a small water system and is dependent on only a few wells and storage reservoirs to meet its customers' needs. These factors have prompted Sun Lakes to seek interconnect facilities with its closest neighbors as a means of providing water to its customers during any potential future outages and planned maintenance activities.

This proposed interconnect agreement will allow Chandler to supply potable water to Sun Lakes in the event its system experiences an emergency condition and is unable to meet its normal customer demands. In return, Sun Lakes agrees to ensure four of its inactive irrigation wells, which are situated off of Alma School Road, are abandoned per Arizona Department of Water Resources guidelines. This abandonment is beneficial to Chandler as these wells are within proximity of the City's existing potable water wells and there is potential for these wells to provide a pathway for contaminants to reach the aquifer. Additionally, Chandler will be reimbursed for the water provided at Chandler's then-current out-of-city industrial rate and also benefit by receiving Long Term Storage Credits (LTSCs) for all water delivered through the interconnect facilities.

28. Purchase of Network Equipment and Services from Sentinel Technologies, Inc.
Move City Council approve the purchase of network equipment and services from Sentinel Technologies, Inc., utilizing 1GPA Contract No. 21 -02PV-08, in an amount not to exceed \$126,940.

BACKGROUND FROM COUNCIL MEMO:

The Tumbleweed Aquifer Storage and Recovery (ASR) site consists of ten aquifer recharge and recovery wells used to store reclaimed water during times of excess and to supplement the reclaimed water system during times of peak demand. Upgrades are underway to change over from radio communication to fiber optic communications to enhance operations and security as well as to improve

control remotely from the Airport Water Reclamation Facility (AWRF). To facilitate this communication conversion, new programmable logic controllers are being upgraded to the latest versions as current units are obsolete and unsupported by the manufacturer. This upgrade is in accordance with the Supervisory Control and Data Acquisition (SCADA) Standards and Governance study as well as the City of Chandler Fiber Optic Master plan. This proposal is for installation of the required network switches and integration support to allow for communication between the programmable logic controllers and the SCADA system. The ultimate goal of the project is to provide improved reliability and security of communications and control between the Tumbleweed ASR well field and the AWRF.

29. Agreement No. BF8-936-3802, Amendment No. 2, with Western States Fire Protection Co., for Fire Protection Services
Move City Council approve Agreement No. BF8-936-3802, Amendment No. 2, with Western States Fire Protection Co., for fire protection services, increasing the spending limit by \$720,000, for a revised amount not to exceed \$920,000.

BACKGROUND FROM COUNCIL MEMO:

The Pecos Surface Water Treatment Plant (PSWTP), located at 1475 E. Pecos Road, was built in 1987 and placed into service in 1989. The administration building houses a number of Public Works & Utilities Department staff and is the central hub of all water treatment and production throughout the City. Recently, a routine inspection of the fire monitoring systems at the PSWTP uncovered equipment failures which are preventing the various building fire alarm panels from communicating with each other. The lack of communication is a safety concern as in the event of a fire, the panels will not be able to relay trouble alarms to the Administration building to alert staff.

Accordingly, PSWTP staff has worked with Western States Fire Protection representatives to develop a scope and cost associated with replacing the obsolete panels. Due to the age of the equipment, the systems cannot be repaired and must be replaced. This amendment will provide for the purchase and installation of replacement fire monitoring equipment and the repair of the alarm communications network. The Buildings & Facilities Division is also requesting additional funds to replace fire alarm systems that were identified as Priority 1, Year 1, in the facility condition assessment performed by consultant Faithful and Gould. Several of the fire alarm systems are currently experiencing operational issues and should be replaced now and not be delayed in anticipation of bond allocations.

30. Sole Source Purchase of Hach Equipment, Service, and Parts
Move City Council approve the sole source purchase of Hach equipment, service, and parts, from Hach Company, in the amount of \$265,000.

BACKGROUND FROM COUNCIL MEMO:

The Public Works & Utilities Department currently has a large amount of Hach Company water quality monitoring instruments installed throughout various water and wastewater treatment facilities. These instruments are critical to the operation of the facilities they serve and provide much needed data to the operations staff to ensure regulatory compliance and public health goals are maintained at all times. Hach Company is a sole source supplier of the equipment, parts, supplies, and technical support needed to maintain their proprietary equipment. Hach Company parts and supplies are required to maintain the accuracy and reliability of the equipment and to ensure the warranty remains intact. This purchase will provide staff with the ability to maintain existing Hach Company water quality instrumentation hardware. Additionally, staff will also be able to replace aging water quality instruments when their useful life has been exceeded.

ACTION AGENDA ITEM 31 DISCUSSION:

MAYOR HARTKE called for a staff presentation on Action Agenda Item No. 31.

31. Introduction of Ordinance No. 4958, Preliminary Development Plan and Preliminary Plat, PLH19 - 0063/PLT19-0055 Elux at McQueen Rezoning

LAUREN SHUMANN, Senior Planner, presented the following Power Point presentation.

- PLH19-0063/PLT19-0055 Elux at McQueen
- Request
 - Rezone from Agricultural (AG-1) district to Planned Area Development (PAD) for multi-family residential
 - Preliminary Development Plan approval for site layout and building architecture
 - Preliminary Plat approval
- Proposed Development
 - 162 units within 12.87 net acres
 - 12.59 units per acre
 - A mix of one and two-story attached and detached units
 - 300 parking spaces required; 327 provided
- Proposed Development
 - Private, gated yards
 - Highly amenitized development
 - Two entrances; McQueen Road and Senate Street
- Proposed Architecture
 - Photo Renderings
- General Plan 2016
 - Future Land Use Plan Map
- Chandler Airpark Area Plan (CAAP) 1998
- Airport Commission Conflict Evaluation
 - Airport Commission November 18, 2020
 - Finding of conflict with current and future operations of the airport
 - Approval 5-0; 2 Absent
- Neighborhood Outreach
 - Virtual Neighborhood Meeting via Zoom; September 30, 2020
 - Five households attended with general questions
 - Staff's received one phone call from Horizon resident; concerns about traffic
 - As of today, staff is aware of no opposition
- Planning and Zoning Commission
 - Meeting held; January 6, 2021
 - Recommendation of Approval
 - In Favor 6-0; 1 Absent
- Staff Recommendation
 - General Plan conformance
 - Chandler Airpark Area Plan conformance
 - Compatible land use
 - Staff recommends approval

COUNCILMEMBER ORLANDO asked for clarification on the location of the two story homes.

MS. SCHUMANN displayed the layout and identified the two story home locations.

COUNCILMEMBER ORLANDO asked what the setbacks were between the house and the property line.

MS. SCHUMANN said the setback is 36 feet. There is about 10 feet of landscaping and a 24 foot drive aisle. The units that face the south are carriage units so there are garages on the first level and each of those would only have two units on top with consideration to how many windows face the south.

COUNCILMEMBER ORLANDO asked about the X's on the map and if that was parking.

MS. SCHUMANN said yes, it is covered parking.

VICE MAYOR STEWART said there were concerns regarding traffic and asked if this could empty on Germann Road.

MS. SCHUMANN said the original site plan had the main entry on Senate Place. When the subdivision to the south developed, Senate Place was developed to allow the property to have full access. In order for viability and visibility the developer requested a stoplight be installed. On the west side of McQueen road there is undeveloped area that would tie into Armstrong Way.

VICE MAYOR STEWART said the light is great for the neighbors there, but not necessarily for those to the south. Vice Mayor Stewart asked if the Airport Area Plan update would happen.

MS. SCHUMANN said staff is in the process of working on that and have met with the consultant. Ms. Schumann said they are in the process of preparing the alternative land use document.

VICE MAYOR STEWART asked for more information by basic guidelines and what staff's benchmarks are.

MS. SCHUMANN said with regards to design there are a set of standards such as varying planes and materials as they do not want a box. Ms. Schumann said the renderings shown are the third submittal as staff was working with the applicant on the architecture. Ms. Schumann said this is more of a single family type home, but is a rental property.

VICE MAYOR STEWART asked where the children in the community play.

MS. SCHUMANN said she would defer to the applicant as to why the amenities did not include a playground. Each unit has a private gated backyard and there are landscaped areas for people to gather.

VICE MAYOR STEWART asked if there were outlets for electric vehicles.

MS. SCHUMANN said she would defer to the applicant.

COUNCILMEMBER HARRIS asked how big the backyards are.

MAYOR HARTKE said the applicant would provide more information. Mayor Hartke asked the Economic Development Director to speak about what other uses may be best for the land.

MICAH MIRANDA, Economic Development Director, said the economy is doing well and there is a lot of interest from manufacturers. Mr. Miranda said he could envision a low density office product or flex industrial which has been successful along the freeway corridors and near the Airport.

MAYOR HARTKE asked what traffic would look like for those products types in comparison to the plan presented.

MR. MIRANDA said depending on the type of use the traffic engineers have different models. The office and industrial are usually on the lighter side, but without having the exact square footage it would be hard to estimate.

COUNCILMEMBER ORLANDO asked if anyone has asked to put something there that is not residential.

MR. MIRANDA said there has been interest on the Armstrong alignment from Hamilton all the way over because of its viability and freeway exposure. Mr. Miranda said staff refers them to the property representative to answer questions.

COUNCILMEMBER ORLANDO asked if the value of the property was conducive to building that.

MR. MIRANDA said he did not have the economics of the proposal for here, but given market for other types of projects there would be interest in doing something like that on the flex industrial side.

COUNCILMEMBER HARRIS asked what the General Plan designates the land as.

MS. SCHUMANN said the General Plan calls for neighborhoods, which is a very broad category that allows for a variety of densities. Ms. Schumann said there could be other uses considered such as commercial, institutional, public facilities, and commercial offices.

COUNCILMEMBER HARRIS said there are residential sites around the land.

MS. SCHUMANN said yes. The property also falls within the Chandler Airpark Area plan which is more specific and all of the surrounding land uses are residential and higher density residential.

VICE MAYOR STEWART asked for the best practice for highway corridors and if there is a standard in the metro Phoenix area.

MR. MIRANDA said the general preference is to put employment against freeway corridors in economic development.

COUNCILMEMBER HARRIS said there should have been more community involvement in the project since only five residents gave their input. Councilmember Harris said the community seemed comfortable with the project being residential over commercial.

COUNCILMEMBER ROE said Ride Now moved near the freeway when they had a good location on Arizona Avenue. The business now is hard to get into and asked if that was the best choice for them.

MR. MIRANDA said in the instance of Ride Now, they moved to a site near other automobile retailers which creates a cluster effect and is attractive in their instance.

MAYOR HARTKE asked the applicant to present.

BRENNAN RAY, 1850 N. Central Ave., on behalf of Snowden McQueen LLC, introduced the Snowden team and the property ownership group. Mr. Ray and presented the following Power Point presentation.

- Elux at McQueen
 - SEC of McQueen Road and Loop 202
- Why this residential development on this Site?
 - 100% consistent with the General Plan, Airpark Area Plan, Santan Freeway Corridor Area Plan
 - 100% consistent with and compatible to existing S-F and M-F developments
 - 100% consistent with good planning principles
 - No neighborhood opposition
 - Planning Staff recommendation for approval
 - Unanimous Planning Commission recommendation for approval (on Consent)
- Why this residential development on this Site?
 - Approval does not impact the City Council's priority of maintaining employment uses on Employment-designated land under the General Plan.
- Project Site and Surrounding Areas
- City's General Plan 2016
 - Future Land Use Plan Map
- Airpark Area Plan 1998
- Santan Freeway Corridor Area Plan October 23 1999
- Site Layout
- Building A
- Building B
- Building C
- Employment Challenges
 - Site Limitations
- Photos looking SE, NW, W, NE, Eastbound, Westbound
- Employment Challenges
 - Site Limitations
 - Traffic sensitivity on McQueen Road
- Traffic Generation
 - Elux at McQueen
 - ITE Code 220
 - Qty 162
 - Unit Dwelling Units
 - Weekday Total 1,184
 - General Office building
 - ITE Code 710
 - Qty 252
 - Unit 1000 SF GFA
 - Weekday Total 2,454
- Traffic Queueing

- General Office Building
 - SB Left 95th Percentile Queue
 - Year 2022 AM Peak Hour 175
 - SB Left Turn Storage Provided 70
 - Queue Exceeds Provided Storage Requires Modification to Median
- Elux at McQueen
 - SB Left 95th Percentile Queue
 - Year 2022 AM Peak Hour 25
 - SB Left Turn Storage Provided 70
 - Sufficient Queue Provided
- Average Daily Traffic Increase
 - Elux at McQueen vs. General Office Development
 - McQueen Road 10% Increase
 - Germann Road 55% Increase
 - Senate Street 39% Increase
- Employment Challenges
 - Site Limitations
 - Traffic sensitivity on McQueen Road
 - Neighbors (None in opposition to the residential case)
- Horizon (South of Site)
 - 10 ft. rear setback
- Employment Challenges
 - Site Limitations
 - Traffic sensitivity on McQueen Road
 - Neighbors (None in opposition to the residential case)
 - Existing entitled Employment land along the 202
- Office Developments on the Loop 202
 - 462,000 sf; 4 story; 4 years on market, initially was to break ground in 2016
 - 65,000 sf; 3 story; under construction
 - 350,000 sf; 4 story and 6 story
 - 220,000 sf; 2 buildings
 - 6 ac. Marketed as office for approx. 2 years
 - 1,097,000 sf office within 2 mi.
- San Tan Frwy 202
 - Chandler Airport Center Master Plan General Uses
- Chandler Airport Center still has over 90 acres of available land to develop within the master plan
- Southeast of airport has over 200 acres of available land. Frontage on Gilbert Road and west of the Hub (Insight) are better candidates for additional corporate office users/projects.
- Employment Challenges
 - Site Limitations
 - Traffic sensitivity on McQueen Road
 - Neighbors (None in opposition to the residential case)
 - Existing entitled Employment land along the 202
 - Planning Principles
- Planning Principles
 - Transition in density/intensity
 - Group “like” developments together
 - Ensure compatibly and uses create synergy

- Planning Staff briefing on Multi-Family (10/15/2020)
 - Suburban Density (12 – 18 du/ac)
 - Along Arterial Roads and Freeways
 - Adjacent to Employment
 - As well as areas where Urban Density is allowed
- Planning Staff briefing on Multi-Family (10/15/2020)
 - Take Aways
 - Continue to follow the General Plan
 - Continue to recommend densities in appropriate locations
 - Density can be a factor in affordability
 - Preserve employment areas (multi-family is complementary to employment, not a replacement for it)
- Why this residential development on this Site?
 - High-quality development that was thoroughly vetted by Planning Staff and the Planning Commission
 - 100% consistent with the General Plan, Airpark Area Plan, Santan Freeway Corridor Area Plan
 - No Neighbor opposition
 - Planning Staff and Unanimous Planning Commission recommendations for approval
 - Preserves Council priority of maintaining employment uses on Employment-designated land under the General Plan
- Request City Council's approval in accordance with Planning Staff's and Planning Commission's unanimous recommendation for approval

COUNCILMEMBER ELLIS asked why this was not a higher density project.

MR. RAY said with the single family style two story units, the highest density he has seen is around 12. This type of development does not achieve a high density. There has been a heightened sensitivity to apartment complexes being built in south Chandler and there is a traffic concern as well. Mr. Ray said they were sensitive to the existing comments Council had received relative to that when designing the site.

COUNCILMEMBER ELLIS said this was great for Chandler.

COUNCILMEMBER ORLANDO thanked Mr. Ray for also protecting the employment corridors. Councilmember Orlando asked if the existing residents have two stories.

MR. RAY said yes, they are all existing two stories that line the rear of the property.

COUNCILMEMBER ORLANDO asked how tall the two story buildings are.

MR. RAY said 26.7 feet. Mr. Ray said they have oriented the two stories so they are to the development.

COUNCILMEMBER ORLANDO said if they were to put in a multi-flex building would they request a midrise overlay or up to 40 feet.

MR. RAY said yes, the last flex industrial project he worked on in Chandler went to 50 feet. Many of the flex industrial buildings require greater interior clear space.

COUNCILMEMBER ORLANDO said that type of building would be double in size and the industrial flex would be right next to the homes.

MR. RAY said there are a variety of ways to design it.

COUNCILMEMBER ORLANDO said a flex industrial space did not seem to fit the space. Councilmember Orlando asked if the traffic study for the right hand turns included large trucks for a flex industrial space scenario.

MR. RAY said no, the study presumed normal vehicles.

COUNCILMEMBER ORLANDO asked if staff reviewed the traffic study for the office space.

MR. RAY said staff reviews the impact this development would have on adjacent streets. Mr. Ray said there was a long discussion about traffic flows and staff asked for a traffic signal to be put in.

COUNCILMEMBER HARRIS asked about the estimated rent and how much someone would have to make to live in this development. Councilmember Harris said parks are important and there is not a park in the development and asked for clarification.

MR. RAY said he has worked on this type of housing product throughout the Valley and the single family style rental homes are a life style choice. Mr. Ray said this type of housing product is popular with single women who make about 50% of this type of community because of the privacy and security. Mr. Ray said this appeals to those wanting to downsize or young professionals where the maintenance is all inclusive. Mr. Ray said for this housing product there are two children for every 10 residences so there are not a lot of tot lots. Mr. Ray said there is a club house, pools, and open spaces, pickleball courts, and ramadas. Mr. Ray said Tumbleweed Park is nearby as well. Mr. Ray said lots are 8 feet deep and are landscaped. Mr. Ray said the rent range is from \$1,300 to \$2,500 and someone would need to make \$32,000 to \$100,000.

VICE MAYOR STEWART said this is an important piece of property and had some concerns regarding the amenities. Vice Mayor Stewart said he did not see the need for a full traffic light and would like the applicant to work more with staff.

MOTION

COUNCILMEMBER STEWART MOVED TO TABLE ACTION AGENDA ITEM NO. 31 OF THE FEBRUARY 25, 2021, CITY COUNCIL MEETING, TO MARCH 25, 2021; SECONDED BY COUNCILMEMBER ELLIS.

MAYOR HARTKE said he would vote no on an extension to the next Council meeting.

COUNCILMEMBER LOPEZ said he would vote no on an extension and felt the development met the expectations.

COUNCILMEMBER ORLANDO said he heard there were concerns for a tot park, electrical vehicles, and color diversity on the color palette of the design and asked if that was part of the reason for the extension. Councilmember Orlando asked if that was Vice Mayor Stewart's intention then they could work on stipulations to be added.

VICE MAYOR STEWART said he would like to work on the stipulations.

KELLY SCHWAB said Vice Mayor Stewart and Councilmember Ellis would need to rescind their motion.

MOTION WITHDRAWN

MOTION TO TABLE ACTION AGENDA ITEM NO. 31 WAS WITHDRAWN by Vice Mayor Stewart and Councilmember Ellis.

COUNCILMEMBER ORLANDO asked if the applicant would be comfortable with the addition of stipulations.

MAYOR HARTKE asked Vice Mayor Stewart how many electric vehicle stations were being requested.

VICE MAYOR STEWART said he wanted to move the parking away from the existing houses and asked for a minimum of two electric vehicle charging stations.

MR. RAY said they would be agreeable to the tot lot. Mr. Ray said they would be agreeable to providing a minimum of two electric vehicle charging stations. Mr. Ray said there is no parking immediately adjacent to the neighbors, but the drive aisle is 25 feet. There is a 10 foot landscape setback with a row of trees, the 25 foot drive aisle, and then the parking spaces. There is no parking adjacent to the parking development. Mr. Ray said there are some carriage units along the south with garages and 25 covered parking spaces.

VICE MAYOR STEWART said there was concern from a noise perspective.

MR. RAY said that issue was discussed at the neighborhood meeting and there were concerns about privacy. The residents along the north property line felt comfortable with this layout.

VICE MAYOR STEWART asked if all of those homes were occupied.

DEREK HORN, Development Services Director, did not know if they were all occupied.

MR. RAY said he believed they were all occupied.

COUNCILMEMBER HARRIS said he liked the project and believed the project should move forward and asked if the additional details could be worked out after the meeting.

MS. SCHWAB said the stipulations need to be added to the ordinance.

COUNCILMEMBER HARRIS supported the project with the stipulations.

COUNCILMEMBER LOPEZ said he supported the project with the tot lot and the electric vehicle charging stations.

MAYOR HARTKE asked for clarification on the light on Armstrong and McQueen.

DANA ALVIDREZ, City Transportation Engineer, said the recommendation did come from staff as they are looking for connections across the street on the west side of McQueen in order to get circulation to the area. Ms. Alvidrez said Armstrong and Hamilton are the two collectors they are trying to build up.

MAYOR HARTKE asked if the first developer to build is the one to put in the light.

MS. ALVIDREZ said every corner pays 25% is typically how it is done. In this case the development would pay 50%. Ms. Alvidrez said because of the location to the freeway, it is important safe movements can be made out of the development.

COUNCILMEMBER ROE said this piece of land is complex and if Senate was the main entrance it would be more appealing. Councilmember Roe said no one anticipated all of the high density housing, but that is mostly what is being requested to develop. Councilmember Roe said the Armstrong intersection is still a concern and it was disappointing.

COUNCILMEMBER ELLIS was in agreement with the stipulations.

The following speaker cards were received regarding Action Agenda Item No. 31. The speakers did not speak.

Scott Curtis, 4744 N. 56th St., was in support.

Brian Hanger, 2071 E. Kaibab Pl., was in support.

Nancy Berge, 123 N. Centennial Way, was in support.

Andy Baron, 310 E. Rio Salado Pkwy, was in support.

ACTION AGENDA ITEM 31 – MOTION AND VOTE:

COUNCILMEMBER ORLANDO MOVED TO APPROVE ACTION AGENDA ITEM NO. 31 OF THE FEBRUARY 25, 2021, CITY COUNCIL MEETING, WITH THE ADDITIONAL STIPULATIONS THAT THE APPLICANT WORK WITH STAFF TO ADD A MINIMUM OF TWO ELECTRICAL VEHICLE CHARGING STATIONS, PROVIDE A TOT PARK, AND PAINT COLOR SCHEME DIVERSITY; SECONDED BY COUNCILMEMBER HARRIS.

MOTION CARRIED BY MAJORITY (6-1). COUNCILMEMBER ROE DISSENTING.

ACTION AGENDA ITEM 32 DISCUSSION:

MAYOR HARTKE called for a staff presentation on Action Agenda Item No. 32.

32. Resolution No. 5431 Amending the Citywide Fee Schedule

MATT DUNBAR, Budget Manager, presented the following Power Point presentation.

- Overview – Annual Review
 - Departments review fees annually as part of budget process
 - To be effective March 1, 2021 for mid-year changes (Fire and Airport) or effective July 1, 2021 for the remainder
- Overview – Fee Characteristics
 - Fees assessed for use of facilities or services benefiting specific groups
 - Fees reflect recovery of cost to provide service, unless market demands lower rate
 - Authority to charge must exist in City Code (amounts/specifics set by resolution)
- Overview – Schedule
 - Process follows City Code 2-17; The Establishment and Modification of Fees and Rates

- Nov/Dec 2020 Departments proposed fee updates and discussed with City Manager during budget process
- Dec 2020 proposed fees were analyzed and summarized (verified City Code authority existed to charge fees)
- Dec. 23, 2020 Posted proposed new/modified fee summary online for at least 60 days
- Feb. 3, 2021 Feb 10, 2021 Posted and published Notice of Intent to Amend the Citywide Fee Schedule, 15 days prior to Council action, as well as social media postings
- Departments Proposing Fee Updates
 - City Manager- Airport Division
 - Fire
 - Development Services – Planning Division
 - Cultural Development – Museum Division
 - Community Services – Recreation and Aquatics Division
 - Neighborhood Resources –Code Enforcement Division

RYAN REEVES, Airport Business Coordinator, continued the presentation.

- City Manager Airport Division
- Airport Operation Fees
 - Changes the fuel fee calculation
 - Adjust charges for exclusive use of staff time on activity not associated with normal airport operations
 - Adjusts a Hangar Lock/Access Card/Device Replacement Fee
 - Adds retention of the Hangar Deposit and staff hourly rates to any hangar not maintained appropriately
 - Adds Aviation Use lease language
 - P. 7 of Summary/p. 14, 15 of Citywide Fee Schedule

COUNCILMEMBER ORLANDO asked how this compared to the other providers at the Airport of their fuel.

MR. REEVES said staff has been in communication with Chandler Air Service as they also provide self-service and full service fuel. Mr. Reeves said they are aware of the change and have not had any concerns.

COUNCILMEMBER ORLANDO asked if the City also receives a percentage of their fees.

MR. REEVES said yes, there is still a fuel flowage fee per gallon.

COUNCILMEMBER ORLANDO said the pricing would be comparative to the City and the City would also receive a slight fee.

MAYOR HARTKE clarified that all of these changes bring the City closer to the market rates and standards.

SCOTT CHAPMAN, Assistant Fire Chief, continued the presentation.

- Paramedic Student Registration
 - Allows for a \$6,000 fee to be charged for students participating in our paramedic training classes from other agencies
 - (p.1 of Summary/ p. 33 of Citywide Fee Schedule)

COUNCILMEMBER LOPEZ asked how often outside partners send staff to train.

ASSISTANT CHIEF CHAPMAN said it is frequent that regional partners will ask if there are available seats.

DEREK HORN, Development Services Director, continued the presentation.

- Proposed Development Services Fees
 - Adjust Rezoning Fee to \$100 for Historic Preservation district Applications
 - Establish \$50 fee per application for incorporation into an existing Historic Preservation District
 - (p.1 of Summary / p. 26 of Citywide Fee Schedule)

KIM MOYERS, Cultural Development Director, continued the presentation.

- Proposed Museum Fees
 - Remove facility rental fees, merchandise mark-up fee, and Chandler non-profit group fee (allows fees to be collected by newly formed Museum Foundation)
 - (p. 2 of Summary/ p. 24-25 of Citywide Fee Schedule)

COUNCILMEMBER ORLANDO asked how much activity they have had in renting the Museum.

MS. MOYERS said because of COVID-19 they have not had many rentals, but they will continue to have the Museum available keep the rates at market rate.

MAYOR HARTKE asked if there is still City oversight with the fees being collected by the Museum Foundation.

MS. MOYERS said yes, there is oversight on the Foundation and would directly go back into the Museum.

VICE MAYOR STEWART thanked the Museum Foundation for all they do.

ANDY BASS, Community Services Director, continued the presentation.

- Proposed Recreation/Aquatics Fees
 - Mini Field Preparation Fee
 - Changes to lifeguard fees for swim team and general private party use
 - Pool Pass fee changes
 - (p. 3-5 of Summary/ p. 16-18 of Citywide Fee Schedule)

COUNCILMEMBER ORLANDO confirmed it was \$1.75 for children to swim.

MR. BASS said yes.

LEAH POWELL, Neighborhood Resources Director, continued the presentation.

- Proposed Code Enforcement Fees
 - Change abatement administrative fee
 - Add demolition abatement administrative fee
 - (p. 6 of Summary/ p. 30 of Citywide Fee Schedule)
- Fee Deletions
 - Non-compliance re-inspection fee
 - Subsequent non-compliance re-inspection fees
 - (p. 5 of Summary / p. 30 of Citywide Fee Schedule)

MAYOR HARTKE asked if the demolition was done for houses in a certain area that Council had discussed in the past.

MS. POWELL said there was discussion around using CDBG funds to do that and it became complicated because the home owner had to pay a percentage. This was during a time where there were more foreclosures. Ms. Powell said they did clean up several structures and have not had the need to use that type of program since then for homes that pose safety issues.

MAYOR HARTKE said a speaker card was received and invited the resident to speak.

JOHN HOINEKI, 23405 S. 1132 Pl., President of the Arizona Aquatic Club, said they have a partnership with the City Fire Department and the organization runs competitive youth swimming. Mr. Hoineki said he was in support of the life guard fee structure, but requested that it be delayed 6 months due to COVID-19. He said the organization runs on a tight budget and is currently running on a smaller capacity and have taken extraordinary measures to keep members safe. Mr. Hoineki said the delay would allow more time for memberships to recover as some families are still waiting until the situation improves.

MS. REED said the fee would begin at the start of the next fiscal year.

MR. HOINEKI said he is requesting the fee to begin January 2022 for the life guard fee.

MAYOR HARTKE asked when the life guard fee was raised.

MR. BASS said he estimated around 2008 or 2009, but did not have the exact date.

COUNCILMEMBER ORLANDO asked if the pool would lose a lot of money if they were to keep the fee the same until January 2022.

MR. BASS said the fee has been used for many years and they would continue to use the current fee through the season.

COUNCILMEMBER ORLANDO asked if they could add a stipulation in the motion since the fee would still occur in the same fiscal year.

MS. SCHWAB said yes.

MAYOR HARTKE asked if there was a way to use CARES dollars to make the organization whole. There are many organizations who have to pay the life guard fee.

MR. BASS said there is a fee to swim teams and fee for rentals. Mr. Bass said the rentals could be moved up and the swim teams could stay at the current rate.

VICE MAYOR STEWART asked if there was a way to use CARES dollars.

MS. REED said staff did not have concerns moving the fee to January 2022.

COUNCILMEMBER HARRIS suggested all of the increased fees be moved to January 2022.

MAYOR HARTKE said he was in support of pushing this specific fee back, but not all of the fees.

ACTION AGENDA ITEM 32 – MOTION AND VOTE:

COUNCILMEMBER LOPEZ MOVED TO APPROVE ACTION AGENDA ITEM NO. 32 OF THE FEBRUARY 25, 2021, CITY COUNCIL MEETING, WITH THE ADDITIONAL STIPULATION THAT THE LIFE GUARD FEE FOR SWIM TEAMS DOES NOT INCREASE UNTIL JANUARY 2022; SECONDED BY COUNCILMEMBER HARRIS.

MOTION CARRIED UNANIMOUSLY (7-0).

ACTION AGENDA:

31. Introduction of Ordinance No. 4958, Preliminary Development Plan and Preliminary Plat, PLH19-0063/PLT19-0055 Elux at McQueen

Rezoning

Move City Council introduce and tentatively adopt Ordinance No. 4958 approving PLH19-0063 Elux at McQueen, Rezoning from AG-1 to PAD for multi-family residential located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.

Preliminary Development Plan

Move City Council approve Preliminary Development Plan PLH19-0063 Elux at McQueen for site layout and building architecture located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.

Preliminary Plat

Move City Council approve Preliminary Plat PLT19-0055 Elux at McQueen located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the condition recommended by the Planning and Zoning Commission.

BACKGROUND FROM COUNCIL MEMO:

This item was continued from the January 28, 2021, City Council meeting to allow the applicant more time to evaluate the proposal. Approximately 12.87 net acres. Subject site zoned AG-1 and undeveloped. General Plan designates the site as Neighborhoods and within a Growth Area. Chandler Airpark Area Plan (CAAP) designates the site as High Density Residential (HDR) 12.1-18 units per acre (du/ac). Project consist of 162 units totaling 12.59 du/ac.

Surrounding Land Use Data:

North	Loop 202 Santan Freeway, then single-family residential	South	Single-family residential (6.7 du/ac)
East	Multi-family (17.94 du/ac)	West	McQueen Road, then vacant agricultural

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Neighborhoods & Growth Area	No change
Chandler Airpark Area Plan	High Density Residential (HDR) 12.1-18 du/ac	No change

Proposed Development

Proposed Land Use	Multi-family dwelling units 162 Units 12.59 dwelling units per acre (du/ac)
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Building Design	Height	17' 6" single-story buildings 27' 6" two-story buildings; max 30 feet As measured to top of highest point of roof
	Roof Design and Material	Gable roofs and flat parapets Concrete roof tiles
	Façade Materials	Modern architectural style Stucco Tile cladding
	Building Accents	Four different sizes of tempered glazed windows Metal trim/fascia Tile cladding Canopy at front-door and rear patios
	Building Access	Direct ground-floor walk-up access to each unit
Site Design & Open Space	Detached and attached single-family-like rental units 108 1-story units 54 2-story units Private gated yards for each unit, 192-248 sq. ft. typ. Pool, ramadas, pickle ball court, indoor community gym, dog park, and 1-story club house 2.88 acres of shared open space Full signalized access along McQueen Road with secondary access from Senate Street to the east; the development will be gated	
Parking	300 parking spaces required 327 parking spaces provided including private garages, covered and uncovered spaces, and guest parking	

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan and more specifically consistent with the 1998 Chandler Airpark Area Plan (CAAP) designation of High-Density Residential. Densities up to 18 dwelling units per acre can be considered for properties adjacent to arterial streets, freeways, and/or employment corridors. The subject site abuts the Loop 202 Santan freeway and existing multi-family to the east. The proposed single unit detached and attached units offer a transition between low-medium density single-family residential to the south and the freeway to the north while aligning with the vision of the CAAP. Although the proposal is for multi-family residential, its design and function are similar to single-family residential. Staff finds the proposal to be consistent with the goals of the General Plan and the CAAP and recommends approval subject to conditions.

Economic Analysis

An economic and fiscal impact analysis was conducted based on project details provided by the applicant and staff assumptions. The analysis determined the project will generate a positive net fiscal impact for the City. Net income to the City resulting from the project is estimated at approximately \$843,336 over 10 years. This total includes revenues from property taxes, building permit and plan review fees, transaction privilege tax on construction, real property rental tax, state shared revenues, and local spending by residents.

Traffic Analysis

The applicant for the proposed development has worked with City staff regarding access to the site via McQueen Road. As surrounding properties developed to the east and south, traffic circulation was considered. Senate Street, a public street, was constructed during the development of the Horizon subdivision to the south, allowing full access to the southeast corner of the subject site. The applicant provided a Traffic Impact Analysis (TIA) to the City's Transportation Engineer detailing traffic patterns of the proposed residential. The counts returning to the site via the recommended route (Senate Street) raised concerns about residents making unprotected u-turns at Germann Road or the entry to the Horizon subdivision to access what was previously planned to be a right-in/right-out only access on McQueen Road. The solution for this development and the larger area, including future office uses west of McQueen Road, is signalizing Armstrong Way at McQueen Road. As such, a traffic signal allowing full movement on McQueen Road is proposed and supported by staff in order to reduce traffic on Senate Street and to facilitate traffic circulation for future industrial properties on the west side of McQueen Road. The TIA has been reviewed and accepted by the City's Transportation Engineer.

The proposal exceeds the parking requirements of the City Zoning Code by providing twenty-seven additional spaces. Further, the site layout does not include any tandem parking spaces. Tandem parking spaces may cause a heavier demand to be placed on guest parking spaces by the residents. Avoiding the use of tandem parking spaces further ensures that the number of provided spaces will adequately accommodate the proposed units.

Public / Neighborhood Notification

This request was noticed in accordance with the requirements of the Chandler Land Use and Zoning Code. To comply with CDC social distancing guidelines, the applicant hosted a digital neighborhood meeting via Zoom on September 30, 2020. Five (5) households attended the virtual meeting and had general questions about the proposal and buffer between the multi-family and the existing subdivision to the south. No opposition was expressed. Planning staff has received one phone call from a Horizon resident, whose home fronts Senate Street, with traffic concerns from the proposed development. Staff stated Senate Street was built for access to the subject site and a majority of proposed traffic from the new development will use the McQueen Road entry. As of writing this memo, Planning staff has not received any opposition regarding the request.

Airport Commission Conflict Evaluation

Airport Commission meeting November 18, 2020.

Motion to find conflict with existing or planned airport operations.

In Favor: 5 Opposed: 0 Absent: 2 (Siegel, Kruse)

The Airport Commission reviewed the request in accordance with the Airport Conflicts Evaluation Process. The Airport Planning Administrator has issued a conflicts evaluation report indicating that the Airport Commission determined that the proposed development does constitute a conflict with existing or planned airport operations. A copy of the Airport Planning Administrator's report detailing the Airport Commission's findings is attached to this memo. The Airport Commission's recommended mitigation measures to address the operational conflict are included as stipulations of the rezoning.

Planning and Zoning Commission Vote Report

Planning and Zoning Commission meeting January 6, 2020.

Motion to Approve.

In Favor: 6 Opposed: 0 Absent: 1 (Heumann)

Recommended Conditions of Approval

Rezoning

Planning and Zoning Commission recommends the City Council approve rezoning from AG-1 to PAD multi-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The multi-family apartment manager shall display, in a conspicuous place within the rental office, a map illustrating the location of the development Elux at McQueen in the context of the Chandler Airpark Area Plan. The map shall identify the Airport Impact Overlay District, the noise contours and over flight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by Chandler City Council (Resolution No. 2590, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan. Such map or aerial photo shall be a minimum size of 24" x 36". Compliance with this condition shall be demonstrated by the property owner or multifamily apartment manager submitting to the Zoning Administrator of a signed affidavit and photograph that acknowledges such map is on display prior to beginning any rental activity.
3. Prior to execution of any lease, prospective apartment tenants shall be given written disclosure in their lease and in a separately signed disclosure statement acknowledging that this apartment community is located proximate to the Chandler Municipal Airport that includes a heliport, aircraft engine testing facility, and an aircraft storage facility, that an avigational easement exists on the property, the property lies within the Chandler Municipal Airport Impact Overlay District, and that the property is subject to aircraft noise and over flight activity. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and is recorded with the Maricopa County Recorder prior to issuance of the first building permit for this development.
4. The developer shall provide the city with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
5. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.
6. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and frequent over flight activity, and is encumbered by an avigational easement to the City of Chandler."
7. All leases at Elux at McQueen shall provide that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of Elux at McQueen development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All leases shall also provide that it shall be within the sole and absolute discretion of the manager of Elux at McQueen (and not the tenant) to determine (after the manager's due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information known to Elux at McQueen's Manager) whether or not, when, and how to communicate any tenants question, concern, or complain to the manager of the Chandler Municipal Airport.

8. All apartment buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
9. In the event the multi-family residential is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
10. Multi-family dwelling units shall be permitted up to a maximum density of 12.6 dwelling units per acre.
11. The developer shall be responsible for the design and installation of a traffic signal at the intersection of McQueen Road and Armstrong Way during the initial phase of construction.
12. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
13. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
14. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
15. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
McQueen Road	50'
North Property Line	10'
East Property Line	10'
South Property Line	35'

Preliminary Development Plan

Planning and Zoning Commission recommends City Council approve the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Landscaping plans (including for open spaces, retention, rights-of-way, and street medians) shall be approved by the Planning Administrator.
3. All mechanical equipment, including HVAC, utility meters, etc. shall be screened from view by material(s) that are architecturally integrated and consistent with the proposed buildings.

4. Signage shall substantially be as shown within the submitted Development Booklet and shall follow all applicable criteria of the City of Chandler Sign Code.
5. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
6. The site shall be maintained in a clean and orderly manner.
7. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
8. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
9. Roadway-style signs shall be installed at multiple locations as depicted in the development booklet that identify the presence of low flying aircraft.

Preliminary Plat

Planning and Zoning Commission recommends the City Council approve the Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

32. Resolution No. 5431 Amending the Citywide Fee Schedule

Move to pass and adopt Resolution No. 5431 amending the Citywide Fee Schedule relating to the Airport, Community Services, Development Services, Cultural Development, Fire, and Neighborhood Resources Departments or Divisions, with the Airport and Fire fee changes becoming effective March 1, 2021, and the remaining fees effective July 1, 2021.

BACKGROUND FROM COUNCIL MEMO:

Each year, departments review their fees to determine if any updates are necessary that require modifying, eliminating, or adding a new fee. Updates may be necessary to reflect an increased cost of a service provided, or a need to establish fees for new or enhanced services or facilities. All fees charged to citizens or businesses (except those exempted by City Code section 2-17) are reflected in the Citywide Fee Schedule and follow the requirements detailed in the City Code to establish or modify fees. While most fee changes are consolidated and submitted to Council as part of the annual budget process, there are occasions where fees need to be modified mid-year. During Fiscal Year (FY) 2020-21, fee changes were identified and reviewed as part of a mid-year analysis that will serve to update fees both for the existing fiscal year as well as changes needed for FY 2021-22.

Based on the requirements of Chandler City Code 2-17, all recommended new or modified fees have been summarized in The Summary of Proposed New or Modified Fees (Attachment 2). This was posted on the City's website on December 23, 2020, for 60 days (Attachment 3). Additionally, a Notice of Intention to Amend the Citywide Fee Schedule (Attachment 4) was published in the Arizona Republic on February 3, 2021 and February 10, 2021, as well as through social media on the same days, to inform the public of the proposed fee changes to be discussed at the February 25, 2021, City Council meeting as an action item, to allow for public comment.

The following proposed fee changes are brought forward by the City Manager Department, Airport Division, and reflect the fees related to the operations of the Airport, and the desire to regulate business activity:

Change the fuel calculation: the retail price of aviation fuel shall be determined by a "cost-plus" formula based upon the wholesale price of the fuel inventory plus an amount not less than eighty (\$0.80) cents per gallon, inclusive of applicable federal, state, and local fees and taxes. Add charges for exclusive use of staff time on activity not associated with normal airport operations and maintenance of the facility: (a) Regular Staff Charges During Posted Business Hours (actual time rounded up to nearest .25 hour, \$45.00/hour) (b) Overtime/Call Out Staff Charges Outside of Posted Business Hours (2-hour minimum charge) (actual time rounded up to nearest .25 hour, \$68.00/hour). Adds a Hangar Lock/Access Card/Device Replacement Fee (per each replacement) of \$35.00 or actual cost of replacement, whichever is higher. Adds retention of the Hangar Deposit (\$150) and staff hourly rates to any hangar not maintained per Section 16 of the Chandler Municipal Airport Aircraft Hangar Storage Agreement. Adds Aviation Use (Non-prime) Negotiable (negotiable base of \$9.50/sq. ft/year minimum, plus consideration of appraisal and comps); Aviation Use (Prime) Negotiable (negotiable base of \$22/sq. ft/year minimum, plus consideration of appraisal and comps). One-year terms.

The following fee change is recommended for the Fire Department, to offset the costs associated with offering the Paramedic Program to outside agencies:

Add \$6,000 per student per class fee - Offered to other agencies/municipalities.

The following fee changes are recommended for the Development Services Department, Planning Division to carve out Historic Preservation and reduce the cost associated with the normal zoning process:

Adjust rezoning fee to \$100 for Historic Preservation Neighborhood Application. Add \$50 fee - per Resident/Home addition of Historic Preservation Overlay Application.

The following fee changes are recommended for the Cultural Development Department, Museum Division to allow for newly formed Museum foundation to set and manage these fees:

Delete museum facility room rental fees, merchandise mark-up fee, and Chandler non-profit group fee.

The following fee changes are recommended for the Community Services Department, Recreation and Aquatic Division:

Add Mini Field Preparations fees: \$21/prep – resident \$29/prep - non-resident \$32/prep – commercial Change Swim Team Lifeguard fee from \$15 to \$20 per hour per guard. Change general private party Lifeguard fee from \$15 to \$20 per hour per guard. Change \$10 Pool Pass - Youth (20 punches) to Pool Pass - Youth (15 punches), 25% discount of the normal entry fee (currently equates to \$11.25). Change \$30 Pool Pass - Adult (20 punches) to Pool Pass - Adult (15 punches), 25% discount of the normal entry fee rounded to nearest 1/4 dollar (currently equates to \$25.50). Change \$15 Pool Pass - Youth (30 punches) to 50% discount of the normal entry fee rounded to nearest 1/4 dollar (would not change the current fee, only fee reference). Change \$45 Pool Pass - Adult (30 punches) to 50% discount of the normal entry fee rounded to nearest 1/4 dollar (currently equates to \$33.75).

The following fee changes are recommended for the Neighborhood Resources Department, Code Enforcement Division, due to new code language providing for a more efficient method of recouping costs:

Delete \$50 First non-compliance re- inspection fee. Delete \$75 Subsequent re-inspection with continued non-compliance fee(s). Change Abatement Administrative Fee from \$150 to 25% of contractor cost. Add Demolition Abatement Administrative Fee of 25% of demolition contractor cost.

In addition, technical corrections, which have no fee impacts, are being made to the Citywide Fee Schedule to clarify the fee description.

Financial Implications:

The amendments to the Citywide Fee Schedule are estimated to generate approximately \$48,400 within the General Fund and \$42,000 for the Airport Operating Fund.

UNSCHEDULED PUBLIC APPEARANCES

MAYOR HARTKE said that a number of speaker cards were received regarding an officer involved shooting that occurred January 2, 2021. This case is currently an active investigation internally and with the Maricopa County Attorney's Office. The Police Department released the body camera footage of the incident on January 15, 2021. This incident will be reviewed by the Citizen's Panel for Review of Force after the investigation is complete.

PHIL MARTINEZ, 4444 N. 7th, Tempe, activist against police violence and came in support of the Cano family and Change Our America Foundation. The Cano family suffered a tragedy on January 2, 2021, where 17 year old Anthony Cano was shot twice in the back by an officer. Mr. Martinez said there is legal recourse that the family must take and naming the officer is important. Mr. Martinez asked that the body camera footage, the officer's name, and any interviews with the officer be released so the family could proactively seek legal resources. Since the Police Chief has not released the information it shows that he is in line with other Police Departments across the nation where they stall specifically to hinder the victim's right to seek restitution. Mr. Martinez asked the Mayor to instruct staff to release the information.

MARCUS CANO, Mesa, Arizona, said his cousin was chased by a police officer for a reason that was not given until hours after the fact, which was not having lights on his bike. Mr. Cano said the officers at the hospital indicated they shot the wrong person as there was an incident early in the day and the suspect resembled Anthony. Mr. Cano said his cousin did not stop for the officer and ran away and dropped his weapon. Mr. Cano said he was a kid and did not know what to do. Police are given a large amount of power and are granted with the extreme opportunity to kill or save a life. Mr. Cano asked Council to make the right choice and asked the Department train officers on handling civilians with weapons, release the officer's name, the full unedited body camera footage, and the officers on the scene that night. Mr. Cano said the officer needs to be held accountable.

RENA ALLEN, 1717 Angle Pkwy, McKinney, Texas, said what happened should have never happened. Ms. Allen said everyone has a family and would do anything to protect their family. Ms. Allen asked what if your worry as a kid was protecting yourself and how to defend yourself. Ms. Allen said Anthony's full name was presented to the world for people to make judgements and asked why the cop had not been named. Ms. Allen said the officer was able to delete anything that was able to make him look like a bad person. Ms. Allen said the Police Department did not have a problem releasing a minor's name, but had a problem releasing an officer's name who shot a kid in the back twice. Ms. Allen said after watching the video footage there was no threat to the officer, it was just a little kid trying to run home to his mother. Ms. Allen said they could not fully grieve until they get answers. Ms. Allen said they are being treated like they do not matter and that Anthony did not matter. Ms. Allen said she would not allow him to be another statistic because of the neighborhood he was in and they could continue to fight for answers.

SYLVIA MORALES, 1654 W. 6th Dr., Mesa, Arizona, said she was Anthony's grandmother and they were here for their peace of mind. Ms. Morales said Anthony was a great kid and he was at the wrong place at the wrong

time. Ms. Morales said they want closure, the name of the officer, and the body cameras of all officers there. Ms. Morales said Anthony's grandfather was a 26 year veteran of Scottsdale Police Department, two uncles that were policemen and an uncle was a judge. Ms. Morales worked for the DOC and another relative works there as well. Ms. Morales said this is an injustice and they need closure and would get that the lawful and honest way. Ms. Morales said they were counting on the Council to get the name of the officer and all of the footage.

Roxanne Sandoval, 1702 E. Chandler Blvd., Chandler Blvd., was here to support the Cano family and her son was Anthony's best friend. Ms. Sandoval requested the City be transparent as the family is not able to grieve their child since they are still looking for answers. Ms. Sandoval said Anthony was shot in the back twice. Ms. Sandoval said they try to hold the kids accountable and teach them how to act and react but the community is not holding the Chandler Police Department accountable to be transparent. Ms. Sandoval said there is no going back and if someone did something wrong all they can do is hold that person accountable and grieve. Ms. Sandoval said accidents happen, but it happened and they need to be held accountable.

Renee Cano and Anissa Medina submitted a speaker card but did not speak.

CURRENT EVENTS

1. Mayor's Announcements

a. Retirement Recognition of City Manager, Marsha Reed

MAYOR HARTKE presented City Manager Marsha Reed a key to the City and thanked Ms. Reed for her service.

2. Council's Announcements

COUNCILMEMBER ORLANDO thanked Ms. Reed for her years of service and congratulated her on retirement.

COUNCILMEMBER ELLIS thanked Ms. Reed for everything she has done for the City and her leadership.

COUNCILMEMBER ROE said being a City Manager is one of the most impossible jobs and it takes a unique individual to do that. Councilmember Roe said Ms. Reed has done a great job and congratulated her on her retirement.

VICE MAYOR STEWART said Ms. Reed has done a great job creating an internal culture that cares so much about the City.

COUNCILMEMBER LOPEZ thanked Ms. Reed for her work at the City and she has done a great job at a very difficult job. Councilmember Lopez said Ms. Reed has really implemented the Council's vision and has gotten the City through difficult times such as COVID-19.

COUNCILMEMBER HARRIS said he appreciated Ms. Reed as she has helped him grow as a Councilmember and thanked her for her service.

3. City Manager's Announcements

MS. REED presented a video and thanked Council, staff, and her family for their support.

ADJOURNMENT: The meeting was adjourned at 9:32 p.m.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: March 22, 2021

CERTIFICATION

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Regular Meeting of the City Council of Chandler, Arizona, held on the 25th day of February, 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of March, 2021.

City Clerk



City Council Memorandum Economic Development Memo No. ED21-007

Date: March 22, 2021
To: Mayor and Council
Thru: Joshua H. Wright, Acting City Manager
Debra Stapleton, Assistant City Manager
Micah Miranda, Economic Development Director
From: Michael Winer, Economic Development Specialist
Subject: Resolution No. 5455 Authorizing the Allocation of AZCares Grant Funds in the Amount of \$250,000 to the Economic Development Division to Assist Chandler Businesses Impacted by COVID-19

Proposed Motion:

Move City Council pass and adopt Resolution No. 5455 authorizing the allocation of AZCares Grant Funds in the amount of \$250,000 from the General Fund, Non-Departmental Cost Center, Contingency Account (101.1290.5911) to the Economic Development Division Grant Fund, Economic Development Cost Center, Professional Services Account, Business Hiring/Retention Program (217.1520.5219.0.3AZ002), to assist Chandler businesses impacted by COVID-19.

Background:

On July 16, 2020, City Council authorized the allocation of \$9,500,000 of AZCares funds to assist Chandler businesses impacted by COVID-19 through a new program called the "I Choose Chandler Business Hiring and Retention Program." Distribution of the funds was intended to provide a direct benefit to the citizens of Chandler by supporting Chandler businesses that are keeping workers on payroll as they adjust to revenue losses and business disruptions caused by COVID-19. Qualifying businesses could apply to receive relief funding based on employee retention, employee hiring, and use of independent contractors. Individual funding awards ranged from \$1,300 to \$10,000.

The "I Choose Chandler Business Hiring and Retention Program" launched on August 17, 2020. Between the launch date and the 2020 application period end date of November 2, 2020, 544 Chandler businesses were awarded a total of \$3,996,350 in funding. Following this, City Council authorized the relaunch of the program in 2021 to provide additional support to the business community. Between January 7, 2021, and February 25, 2021, 728 Chandler businesses were awarded a total of \$5,328,600 in funding.

To date, \$9,324,950 in program funds has been awarded to Chandler businesses and another \$171,390 will be paid to the Arizona Community Foundation for program administration services. More than 99 percent of the \$9,500,000 authorized for the program has been exhausted, with approximately \$3,660 remaining.

Discussion:

The Economic Development Division requests an additional \$250,000 be allocated to the “I Choose Chandler Business Hiring and Retention Program.” The funds would support 37 businesses that submitted a complete application prior to the February 25, 2021, application deadline, but could not be approved for funding due to lack of available funds. The program will terminate after the relief funding is distributed. Any unused funds will be returned to the General Fund.

Financial Implications:

AZCares Grant Funds of \$250,000 would be transferred from the General Fund, Non-Departmental Cost Center, Contingency Account (101.1290.5911) to the Economic Development Division Grant Fund, Economic Development Cost Center, Professional Services Account, Business Hiring/Retention Program (217.1520.5219.0.3AZ002).

Attachments

Resolution No. 5455

RESOLUTION NO. 5455

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, AUTHORIZING THE ALLOCATION OF AZCARES GRANT FUNDS IN THE AMOUNT OF \$250,000 TO THE ECONOMIC DEVELOPMENT DIVISION TO ASSIST CHANDLER BUSINESSES IMPACTED BY COVID-19 THROUGH THE "I CHOOSE CHANDLER BUSINESS HIRING AND RETENTION PROGRAM"

WHEREAS, the City of Chandler wishes to support businesses that are keeping workers on payroll as they adjust to revenue losses and business disruptions caused by COVID-19; and

WHEREAS, the City of Chandler received AZCares grant funds and on July 16, 2020, the City Council allocated \$9,500,000 in AZCares funds to provide relief funding to Chandler businesses through the "I Choose Chandler Business Hiring and Retention Program"; and

WHEREAS, the City of Chandler Economic Development Division recommends allocating an additional \$250,000 to the I Choose Chandler Business Hiring and Retention Program to support Chandler businesses that applied for the program but could not be awarded funding due to lack of available funds.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

Section 1. Authorizing AZCares grant funds in the amount of \$250,000 be allocated to the I Choose Chandler Business Hiring and Retention Program to provide relief funding to Chandler businesses impacted by COVID-19.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this ____ day of March, 2021.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 5455 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the ____ day of March, 2021, and that a quorum was present thereat.

APPROVED AS TO FORM:

CITY CLERK

CITY ATTORNEY





City Council Memorandum Development Services Memo No. 21-007d

Date: March 22, 2021
To: Mayor and Council
Thru: Joshua H. Wright, Acting City Manager
 Debra Stapleton, Assistant City Manager
 Derek D. Horn, Development Services Director
From: Lauren Schumann, Senior Planner
Subject: Final Adoption of Ordinance No. 4958
 PLH19-0063 Elux at McQueen
Request: Rezoning from Agricultural (AG-1) district to Planned Area Development (PAD) for multi-family residential
Location: Southeast corner of McQueen Road and Loop 202 Santan Freeway
Applicant: Brennan Ray, Burch & Cracchiolo, P.A.

Proposed Motion:

Rezoning

Move City Council adopt Ordinance No. 4958 approving PLH19-0063, Elux at McQueen, Rezoning from AG-1 to PAD for multi-family residential located at the southeast corner of McQueen Road and the Loop 202 Santan Freeway, subject to the conditions as recommended by the Planning and Zoning Commission.

Background Data:

- Approximately 12.87 net acres
- Subject site zoned AG-1 and undeveloped
- General Plan designates the site as Neighborhoods and within a Growth Area
- Chandler Airpark Area Plan (CAAP) designates the site as High-Density Residential (HDR) 12.1-18 units per acre (du/ac)
- The project consists of 162 units totaling 12.59 du/ac
- During the February 25, 2021, City Council meeting, three additional Preliminary Development Plan stipulations were added to further enhance the development (see attached Council action)

Ordinance introduced and tentatively adopted on February 25, 2021.

Surrounding Land Use Data:

North	Loop 202 Santan Freeway, then single-family residential	South	Single-family residential (6.7 du/ac)
East	Multi-family (17.94 du/ac)	West	McQueen Road, then vacant agricultural

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Neighborhoods & Growth Area	No Change
Chandler Airpark Area Plan	High Density Residential (HDR) 12.1-18 du/ac	No Change

Proposed Development

Proposed Land Use	<ul style="list-style-type: none"> • Multi-family dwelling units • 162 Units • 12.59 dwelling units per acre (du/ac) 	
Building Design	Height	<ul style="list-style-type: none"> • 17' 6" single-story buildings • 27' 6" two-story buildings; max 30 feet • As measured to top of highest point of roof
	Roof Design and Material	<ul style="list-style-type: none"> • Gable roofs and flat parapets • Concrete roof tiles
	Façade Materials	<ul style="list-style-type: none"> • Modern architectural style • Stucco • Tile cladding
	Building Accents	<ul style="list-style-type: none"> • Four different sizes of tempered glazed windows • Metal trim/fascia • Tile cladding • Canopy at front-door and rear patios
	Building Access	<ul style="list-style-type: none"> • Direct ground-floor walk-up access to each unit
Site Design & Open Space	<ul style="list-style-type: none"> • Detached and attached single-family-like rental units • 108 1-story units • 54 2-story units • Private gated yards for each unit, 192-248 sq. ft. typ. • Pool, ramadas, pickle ball court, indoor community gym, dog park, and 1-story club house • 2.88 acres of shared open space • Full signalized access along McQueen Road with secondary access from Senate Street to the east; the development will be gated 	
Parking	<ul style="list-style-type: none"> • 300 parking spaces required • 327 parking spaces provided including private garages, covered and uncovered spaces, and guest parking 	

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan and more specifically consistent with the 1998 Chandler Airpark Area Plan (CAAP) designation of High-Density Residential. Densities up to 18 dwelling units per acre can be considered for properties adjacent to arterial streets, freeways, and/or employment corridors. The subject site abuts the Loop 202 Santan freeway and existing multi-family to the east. The proposed single unit detached and attached units offer a transition between low-medium density single-family residential to the south and the freeway to the north while aligning with the vision of the CAAP. Although the proposal is for multi-family residential, its design and function are similar to single-family residential.

Staff finds the proposal to be consistent with the goals of the General Plan and the CAAP and recommends approval subject to conditions.

Economic Analysis

An economic and fiscal impact analysis was conducted based on project details provided by the applicant and staff assumptions. The analysis determined the project will generate a positive net fiscal impact for the City. Net income to the City resulting from the project is estimated at approximately \$843,336 over 10 years. This total includes revenues from property taxes, building permit and plan review fees, transaction privilege tax on construction, real property rental tax, state shared revenues, and local spending by residents.

Traffic Analysis

The applicant for the proposed development has worked with City staff regarding access to the site via McQueen Road. As surrounding properties developed to the east and south, traffic circulation was considered. Senate Street, a public street, was constructed during the development of the Horizon subdivision to the south, allowing full access to the southeast corner of the subject site. The applicant provided a Traffic Impact Analysis (TIA) to the City's Transportation Engineer detailing traffic patterns of the proposed residential. The counts returning to the site via the recommended route (Senate Street) raised concerns about residents making unprotected u-turns at Germann Road or the entry to the Horizon subdivision to access what was previously planned to be a right-in/right-out only access on McQueen Road. The solution for this development and the larger area, including future office uses west of McQueen Road, is signaling Armstrong Way at McQueen Road. As such, a traffic signal allowing full movement on McQueen Road is proposed and supported by staff in order to reduce traffic on Senate Street and to facilitate traffic circulation for future industrial properties on the west side of McQueen Road. The TIA has been reviewed and accepted by the City's Transportation Engineer.

The proposal exceeds the parking requirements of the City Zoning Code by providing twenty-seven additional spaces. Further, the site layout does not include any tandem parking spaces. Tandem parking spaces may cause a heavier demand to be placed on guest parking spaces by the residents. Avoiding the use of tandem parking spaces further ensures that the number of provided spaces will adequately accommodate the proposed units.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Land Use and Zoning Code.
- To comply with CDC social distancing guidelines, the applicant hosted a digital neighborhood meeting via Zoom on September 30, 2020. Five (5) households attended the virtual meeting and had general questions about the proposal and buffer between the multi-family and the existing subdivision to the south. No opposition was expressed.
- Planning staff has received one phone call from a Horizon resident, whose home fronts Senate Street, with traffic concerns from the proposed development. Staff stated Senate Street was built for access to the subject site and a majority of proposed traffic from the new development will use the McQueen Road entry.
- As of writing this memo, Planning staff has not received any opposition regarding the request.

Airport Commission Conflict Evaluation

Airport Commission meeting November 18, 2020.

Motion to find conflict with existing or planned airport operations.

In Favor: 5 Opposed: 0 Absent: 2 (Siegel, Kruse)

The Airport Commission reviewed the request in accordance with the Airport Conflicts Evaluation Process. The Airport Planning Administrator has issued a conflicts evaluation report indicating that the Airport Commission determined that the proposed development does constitute a conflict with existing or planned airport operations. A copy of the Airport Planning Administrator's report detailing the Airport Commission's findings is attached to this memo. The Airport Commission's recommended mitigation measures to address the operational conflict are included as stipulations of the rezoning.

Planning and Zoning Commission Vote Report

Planning and Zoning Commission meeting January 6, 2020.

Motion to Approve.

In Favor: 6 Opposed: 0 Absent: 1 (Heumann)

Recommended Conditions of Approval

Rezoning

Planning and Zoning Commission recommends the City Council approve rezoning from AG-1 to PAD multi-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The multi-family apartment manager shall display, in a conspicuous place within the rental office, a map illustrating the location of the development Elux at McQueen in the context of the Chandler Airpark Area Plan. The map shall identify the Airport Impact Overlay District, the noise contours and over flight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by Chandler City Council (Resolution No. 2590, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan. Such map or aerial photo shall be a minimum size of 24" x 36". Compliance with this condition shall be demonstrated by the property owner or multifamily apartment manager submitting to the Zoning Administrator of a signed affidavit and photograph that acknowledges such map is on display prior to beginning any rental activity.
3. Prior to execution of any lease, prospective apartment tenants shall be given written disclosure in their lease and in a separately signed disclosure statement acknowledging that this apartment community is located proximate to the Chandler Municipal Airport that includes a heliport, aircraft engine testing facility, and an aircraft storage facility, that an avigational easement exists on the property, the property lies within the Chandler Municipal Airport Impact Overlay District, and that the property is subject to aircraft noise and over flight activity. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and is recorded with the Maricopa County Recorder prior to issuance of the first building permit for this development.
4. The developer shall provide the city with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
5. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.
6. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and frequent over flight activity, and is encumbered by an avigational easement to the City of Chandler."
7. All leases at Elux at McQueen shall provide that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of Elux at McQueen development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All leases shall also provide that it shall be within the sole and absolute discretion of the manager of Elux at McQueen (and not the tenant) to determine (after the manager's due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information known to Elux at McQueen's Manager) whether or not, when, and how to communicate any tenants question, concern, or complain to the manager of the Chandler Municipal Airport.
8. All apartment buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
9. In the event the multi-family residential is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement

shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder’s Office upon sale of the property. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

- 10. Multi-family dwelling units shall be permitted up to a maximum density of 12.6 dwelling units per acre.
- 11. The developer shall be responsible for the design and installation of a traffic signal at the intersection of McQueen Road and Armstrong Way during the initial phase of construction.
- 12. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
- 13. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
- 14. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
- 15. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
McQueen Road	50’
North Property Line	10’
East Property Line	10’
South Property Line	35’

Attachments

- Ordinance No. 4958
- Vicinity Maps
- Airport Conflict Evaluation Report
- Development Booklet
- Council Action

ORDINANCE NO. 4958

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT (PAD) FOR MULTI-FAMILY RESIDENTIAL IN CASE PLH19-0063 (ELUX AT MCQUEEN) LOCATED AT THE SOUTHEAST CORNER OF MCQUEEN ROAD AND SANTAN 202 FREEWAY WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA; PROVIDING FOR THE REPEAL OF CONFLICTING ORDINANCES; AND PROVIDING FOR PENALTIES.

WHEREAS, an application for rezoning certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days' notice of time, place, and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to the public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

Section 1. Legal Description of Property:

EXHIBIT 'A'

Said parcel is hereby rezoned from AG-1 to PAD for multi-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The multi-family apartment manager shall display, in a conspicuous place within the rental office, a map illustrating the location of the development Elux at McQueen in the context of the Chandler Airport Area Plan. The map shall identify the Airport Impact Overlay District, the noise contours and

over flight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by Chandler City Council (Resolution No. 2590, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan. Such map or aerial photo shall be a minimum size of 24" x 36". Compliance with this condition shall be demonstrated by the property owner or multifamily apartment manager submitting to the Zoning Administrator of a signed affidavit and photograph that acknowledges such map is on display prior to beginning any rental activity.

3. Prior to execution of any lease, prospective apartment tenants shall be given written disclosure in their lease and in a separately signed disclosure statement acknowledging that this apartment community is located proximate to the Chandler Municipal Airport that includes a heliport, aircraft engine testing facility, and an aircraft storage facility, that an avigational easement exists on the property, the property lies within the Chandler Municipal Airport Impact Overlay District, and that the property is subject to aircraft noise and over flight activity. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and is recorded with the Maricopa County Recorder prior to issuance of the first building permit for this development.
4. The developer shall provide the city with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
5. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.
6. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and frequent over flight activity, and is encumbered by an avigational easement to the City of Chandler."
7. All leases at Elux at McQueen shall provide that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of Elux at McQueen development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All leases shall also provide that it shall be within the sole and absolute discretion of the manager of Elux at McQueen (and not the tenant) to determine (after the manager's due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information

known to Elux at McQueen's Manager) whether or not, when, and how to communicate any tenants question, concern, or complain to the manager of the Chandler Municipal Airport.

8. All apartment buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
9. In the event the multi-family residential is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
10. Multi-family dwelling units shall be permitted up to a maximum density of 12.6 dwelling units per acre.
11. The developer shall be responsible for the design and installation of a traffic signal at the intersection of McQueen Road and Armstrong Way during the initial phase of construction.
12. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
13. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.

14. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
15. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
McQueen Road	50'
North Property Line	10'
East Property Line	10'
South Property Line	35'

Section 2. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this Ordinance.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance, or any parts hereof, are hereby repealed.

Section 4. In any case, where any building, structure, or land is used in violation of this Ordinance, the Planning Division of the City of Chandler may institute an injunction or any other appropriate action in proceeding to prevent the use of such building, structure, or land.

Section 5. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, then this entire ordinance is invalid and shall have no force or effect.

Section 6. A violation of this Ordinance shall be a Class 1 misdemeanor subject to the enforcement and penalty provisions set forth in Section 1-8.3 of the Chandler City Code. Each day a violation continues, or the failure to perform any act or duty required by this Ordinance or the Zoning Code, shall constitute a separate offense.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 4958 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the ____ day of _____, 2021, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

TA

Published:

EXHIBIT 'A'

LEGAL DESCRIPTION

PARCEL NO. 1:

THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 2;

THENCE NORTH 404.5 FEET TO THE POINT OF BEGINNING;

THENCE EAST, 350.00 FEET;

THENCE NORTH 125.00 FEET;

THENCE WEST, 350.00 FEET;

THENCE SOUTH, 125.00 FEET TO THE POINT OF BEGINNING; AND

EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA, BY AND THROUGH ITS DEPARTMENT OF TRANSPORTATION IN WARRANTY DEED RECORDED IN DOCUMENT NO. 2003-1550420, MARICOPA COUNTY, RECORDS; AND

EXCEPT THAT PORTION CONVEYED TO THE MARICOPA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN WARRANTY DEED RECORDED IN DOCUMENT NO. 2004-0003258, MARICOPA COUNTY RECORDS; AND

EXCEPT THE WEST 40.00 FEET OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2.

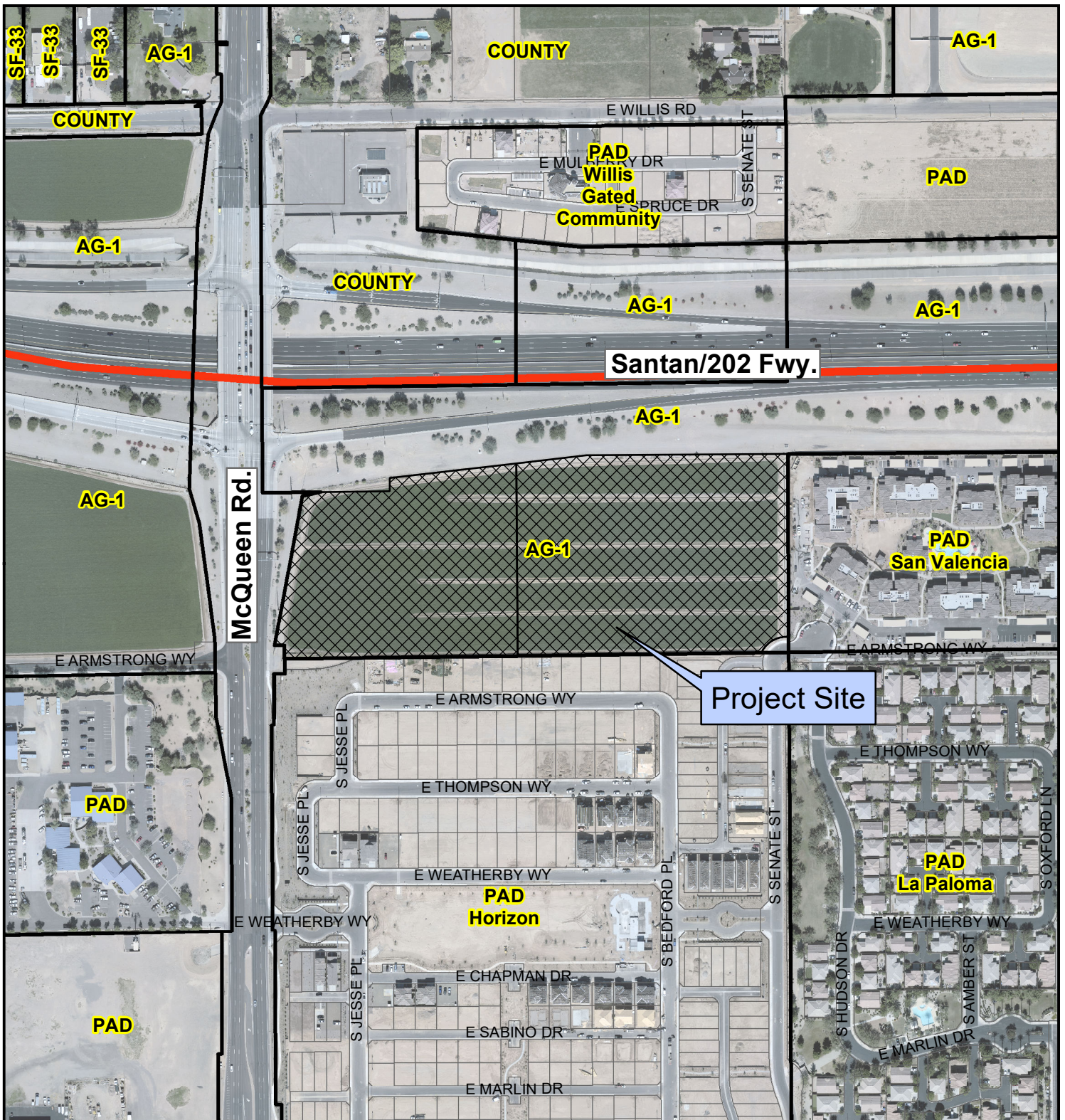
PARCEL NO. 2:

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA, BY AND THROUGH ITS DEPARTMENT OF TRANSPORTATION IN WARRANTY DEED RECORDED IN DOCUMENT NO. 2002-1329840, MARICOPA COUNTY, RECORDS.

NOTE: R/W DEDICATION PER DOC. 2018-0410566, MCR (NOT SHOWN ON DEED)

Tract W, HORIZON, according to Book 1410 of Maps, page 9 and Affidavit of Correction recorded in Document No. 2018-877649, records of Maricopa County, Arizona.



PLH19-0063/PLT19-0055 Elux at McQueen



Proposed Project Details

REZONE/PDP/Pre-Plat

12.87 Acres

162 Unit Multi-Family

12.59 dwelling units per acre (du/ac)

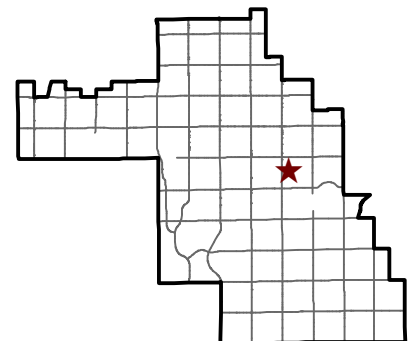


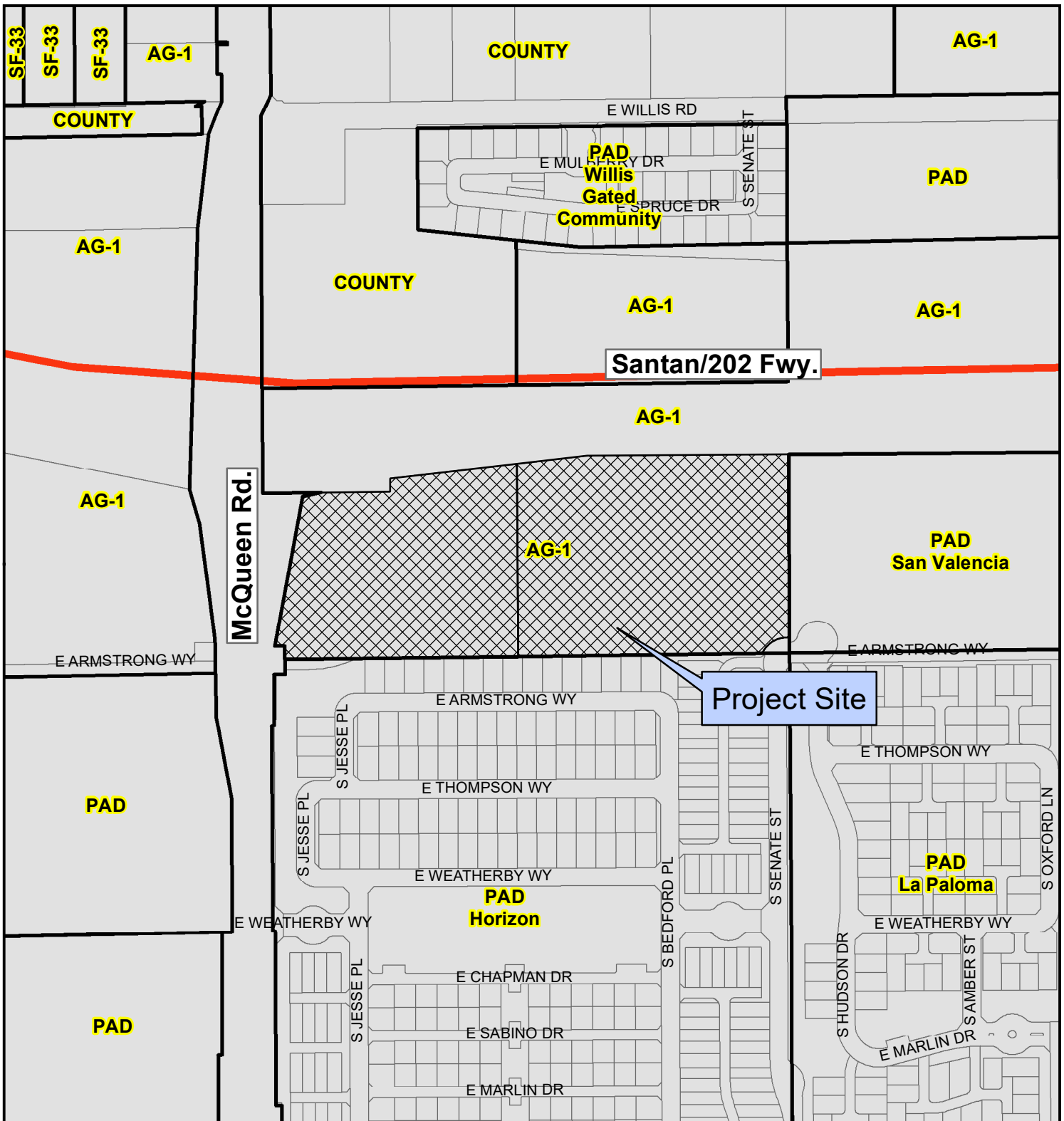
City of Chandler Planning Division

chandleraz.gov/planning

For more information visit:

<https://gis.chandleraz.gov/planning>





PLH19-0063/PLT19-0055 Elux at McQueen



Proposed Project Details

REZONE/PDP/Pre-Plat

12.87 Acres

162 Unit Multi-Family

12.59 dwelling units per acre (du/ac)



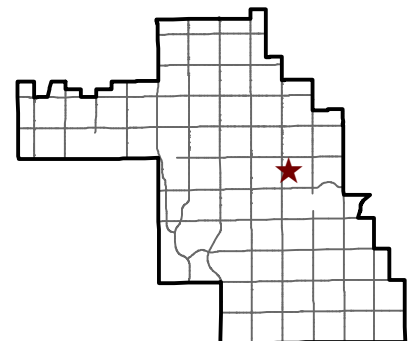
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City of Chandler Planning Division

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For more information visit:

<https://gis.chandleraz.gov/planning>





MEMORANDUM

Airport - Memo No. 21-017

DATE: November 19, 2020

TO: Kevin Mayo, Planning Administrator

FROM: Chris Andres, Airport Planning Administrator *CA*

SUBJECT: Airport Conflict Evaluation
PLH19-0063/PLT19-0055 Elux at McQueen
Southeast Corner of Loop 202 and McQueen Road

At their November 18, 2020 meeting, the Chandler Airport Commission ("Commission") discussed the Elux at McQueen residential project located at the southeast corner of Loop 202 and McQueen Road.

Finding: The Commission determined the proposed development **constitutes a conflict** with existing or planned airport uses.

Conflict(s) Cited: The proposed development contains 162 multifamily residential units and the site will experience aviation noise and vibration impact from aircraft in the normal traffic pattern and arrival and departure routes. Approximately 324 residents would be expected to be exposed to aircraft noise at this location.

Conflict Resolution(s): Retaining the current non-residential land use is the preferred corrective action.

Physical corrective actions: (1) construction of all units built with noise attenuation construction materials and techniques to reduce the ambient interior noise levels to less than 45 decibels; (2) installation of at one roadway-style sign at the site's entrance identifying the presence of low flying aircraft.

Administrative corrective actions: (1) all prospective tenants should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport, including the heliport, (ii) the potential for impact from aircraft noise and vibrations, and (iii)) proximity to an aircraft engine testing facility and aircraft storage; (2) dedication of an avigational easement to the City; (3) display of a large size map in the management/sales

office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (4) submittal of a signed affidavit and photograph of the prior referenced map display; (5) inclusion of an affirmative disclosure statement on the final plat; (6) requirement that all rental leases shall provide that all questions, concerns, or complaints any tenant may have about airport operations shall be directed solely at the multifamily apartment manager; (7) requirement that all rental leases shall provide that it shall be within the sole and absolute discretion of the multifamily apartment manager (and not the tenant) to determine whether or not, when and how to communicate any tenant's question concern, or complaint to the Chandler Municipal Airport Administrator.

(8) If the development is converted to condominiums in the future, all prospective purchasers of property in the subdivision should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport, including the heliport, (ii) proximity to aviation-related activities including aircraft engine testing and aircraft storage, and (iii) the potential for impact from aviation noise and vibrations; (9) all prospective purchasers of property should be required to sign the disclosure statements before a purchase contract is signed and again at the transaction closing; (10) dedication of an avigational easement to the City; (11) display of a large size map in the onsite sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (12) submittal of a signed affidavit and photograph of the prior referenced map display; (13) inclusion of an affirmative disclosure statement on the final plat; (14) inclusion of the physical and administrative corrective actions in the Subdivision Public Report that is submitted to the Arizona Department of Real Estate.

Commission Members in Attendance: Chairman Dave Sperling, Vice Chair Chris Hawley, Sherri Koshiol, Robert Bozelli and Sky McCorkle were in attendance. This attendance represented a quorum.

The Commission voted 5-0 to forward a report to the Planning Administrator indicating the finding noted above.

cc: David De La Torre, Planning Manager
Lauren Schumann, Senior City Planner
Attachment: Airport Conflict Evaluation



MEMORANDUM

Airport - Memo No. 21-016

Date: November 18, 2020

To: Chandler Airport Commission

Through: Joshua H. Wright, Assistant City Manager

From: Chris Andres, Airport Planning Administrator *CA*

Subject: Agenda Item 4.b – Airport Conflict Evaluation
PLH19-0063 & PLT19-0055 Elux at McQueen
Southeast Corner of McQueen Road and the Loop 202

Recommendation

Staff recommends the Airport Commission ("Commission") present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "conflict with airport uses" for the proposed Elux at McQueen multifamily development.

Background

The approximately 12.87 acre site at the southeast corner of McQueen Road and the Loop 202 freeway (*Exhibit A - Vicinity Map, Exhibit B - Property Location*) and is zoned Agricultural (AG-1). Adjacent land uses include the Loop 202 freeway to the north; a multifamily residential subdivision to the east; a single family residential subdivision to the south; McQueen Road, and vacant land to the west.

The site is approximately 0.5 miles to the northwest of the Airport property line and is not located within any noise contours (*Exhibit A- Vicinity Map*).

The proposed project is an approximately 162 unit multifamily residential development with 12.59 dwelling units per acre (du/ac) (*Exhibit C - Site Plan*). The Applicant's request is to:

- Rezone from Agricultural (AG-1) to Planned Area Development (PAD) zoning for multifamily residential, Preliminary Plat, and Preliminary Development Plan (PDP) for site layout and architecture.

The City of Chandler General Plan designates the property for Neighborhoods and Growth Area within the Chandler Airpark. The Chandler Airpark Area Plan designates the property as High Density Residential (*Exhibit D – Chandler Airpark Area Plan Land Use Plan*). Goal 5.0 of the Land Use Element of the Chandler Airpark Area Plan is “to protect the Airport from incompatible land uses” and Policy 5.1 states that “the City shall consider flight tracks, noise patterns, and Airport safety zones when determining the appropriateness of proposed developments.”

Analysis

The proposed multifamily residential land use would add 162 dwelling units under the flight traffic pattern, thereby increasing the number of residents exposed to aircraft noise. Per the Chandler Airpark Area Plan (page 2-9), the planned population per dwelling unit for High Density Residential is 2.0. Based on the development intensity, approximately 324 residents would be expected to experience aircraft noise at this location.

The property is not located within an airport noise contour and will experience daily overflights from aircraft in the normal traffic pattern.

The proposed development will experience daily overflights from aircraft in the normal airport traffic pattern (Exhibit E – Flight Tracks). Flight operations are typically between sunrise and sunset and, at this location, the flight traffic pattern altitude is approximately 800 feet above ground level. Outdoor activities are especially susceptible to overflight noise, depending on the nature of the activity. Residences under or near the flight traffic pattern are a significant source of noise complaints for the Airport.

Based on the maximum allowable building heights, the proposed development does not appear to pose a hazard to flight safety or be an airspace obstruction.

Due to the site's proximity to the Airport, the developer will need to file a Notice of Proposed Construction (FAA Form 7460-1) with the Federal Aviation Administration for the final structure heights, including all rooftop antennas, parapets, light poles, other permanent objects, and temporary construction equipment. The form can be submitted online at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

Airport Conflict Evaluation Process

In January 2002, the City Council adopted an Airport Conflicts Evaluation (ACE) Process policy requiring any zoning changes within the nine-square mile Chandler Airpark Area to be reviewed by the Commission to determine if the use and/or development will be a conflict with current and future airport operations. The ACE policy outlines the Commission's tasks as they relate to this review:

1. The Commission's determination as to whether conflicts exist between the proposed development and airport uses;
2. If conflicts exist, the specific areas of conflict;
3. If conflicts exist, a statement of corrective actions which can be taken, if there are any;
4. The Commission Members voting in support of the Commission's determination and those members voting in opposition to the Commission's determination.

Airport staff provides the Commission with information and a recommendation regarding the proposed project and the conflict evaluation process. Staff will compile and forward an ACE report that summarizes the Commission's discussion and findings to the Zoning Administrator. Planning staff will report the Commission's findings regarding potential for airport conflicts to Planning and Zoning Commission and to City Council.

Findings

1. The Airport Commission's determination as to whether conflicts exist between the proposed development and airport uses. **A conflict exists between the proposed development and proposed airport uses.**
2. If conflicts exist, the specific areas of conflict. **The proposed development contains 162 multifamily residential units and the site will experience aviation noise and vibration impact from aircraft in the normal traffic pattern and arrival and departure routes. Approximately 324 residents would be expected to be exposed to aircraft noise at this location.**
3. If conflicts exist, a statement of corrective actions which can be taken, if there are any. **Retaining the current non-residential land use is the preferred corrective action.**

Physical corrective actions: (1) construction of all units built with noise attenuation construction materials and techniques to reduce the ambient interior noise levels to less than 45 decibels; (2) installation of at one roadway-style sign at the site's entrance identifying the presence of low flying aircraft.

Administrative corrective actions: (1) all prospective tenants should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport, including the heliport, (ii) the potential for impact from aircraft noise and vibrations, and (iii) proximity to an aircraft engine testing facility and aircraft storage; (2) dedication of an avigational

easement to the City; (3) display of a large size map in the management/sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (4) submittal of a signed affidavit and photograph of the prior referenced map display; (5) inclusion of an affirmative disclosure statement on the final plat; (6) requirement that all rental leases shall provide that all questions, concerns, or complaints any tenant may have about airport operations shall be directed solely at the multifamily apartment manager; (7) requirement that all rental leases shall provide that it shall be within the sole and absolute discretion of the multifamily apartment manager (and not the tenant) to determine whether or not, when and how to communicate any tenant's question concern, or complaint to the Chandler Municipal Airport Administrator.

(8) If the development is converted to condominiums in the future, all prospective purchasers of property in the subdivision should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport, including the heliport, (ii) proximity to aviation-related activities including aircraft engine testing and aircraft storage, and (iii) the potential for impact from aviation noise and vibrations; (9) all prospective purchasers of property should be required to sign the disclosure statements before a purchase contract is signed and again at the transaction closing; (10) dedication of an avigational easement to the City; (11) display of a large size map in the onsite sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (12) submittal of a signed affidavit and photograph of the prior referenced map display; (13) inclusion of an affirmative disclosure statement on the final plat; (14) inclusion of the physical and administrative corrective actions in the Subdivision Public Report that is submitted to the Arizona Department of Real Estate.

4. The Airport Commission Members voting in support of the Airport Commission's determination and those members voting in opposition to the Airport Commission's determination. This information will be determined through Commission discussion and action.

Public Meetings

An online neighborhood meeting was held on Wednesday, September 30, 2020. No airport issues were identified by the attendees.

Proposed Motion

Move to present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "conflict with airport uses" for the proposed Elux at McQueen multifamily residential development.

Attachments

- A. Vicinity Map
- B. Property Location
- C. Site Plan
- D. Chandler Airpark Area Plan Land Use Plan
- E. Flight Tracks

Exhibit A: Vicinity Map

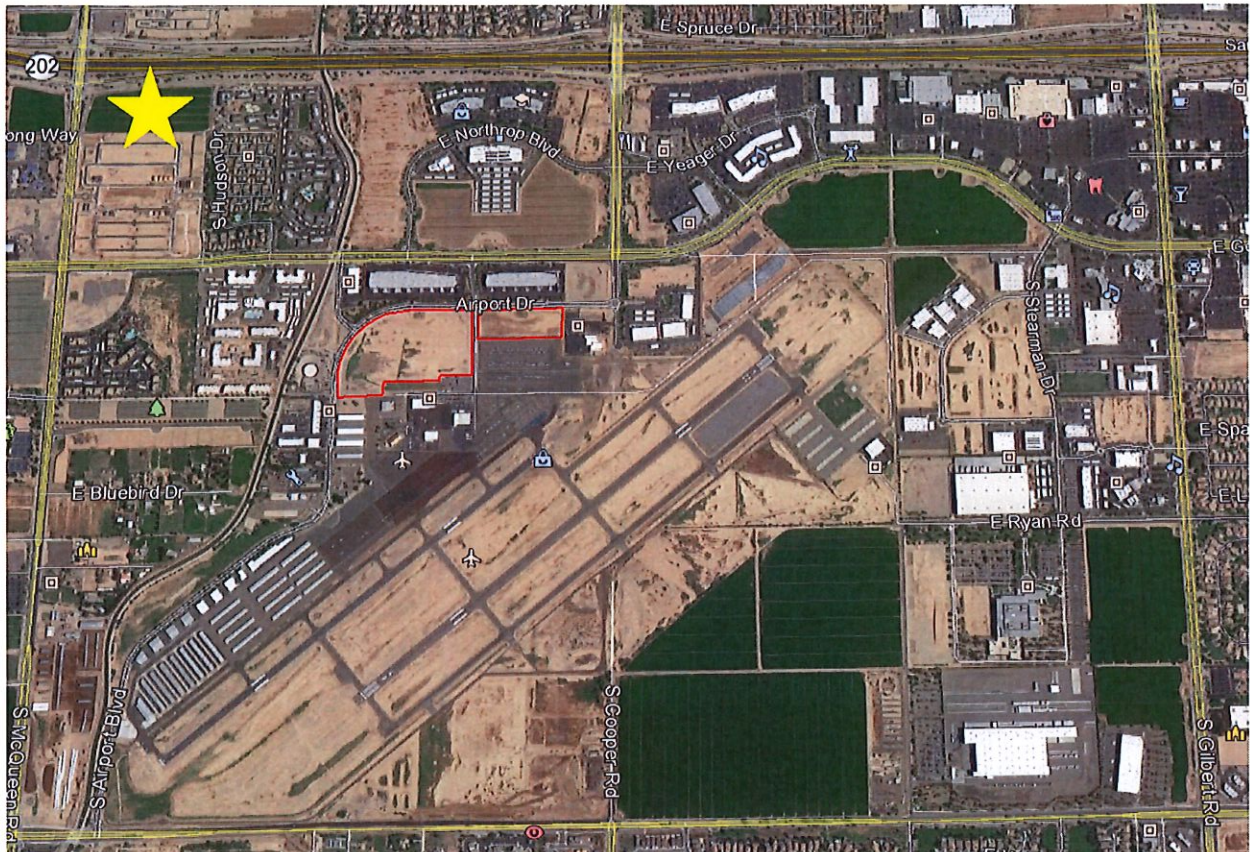


Exhibit B: Property Location

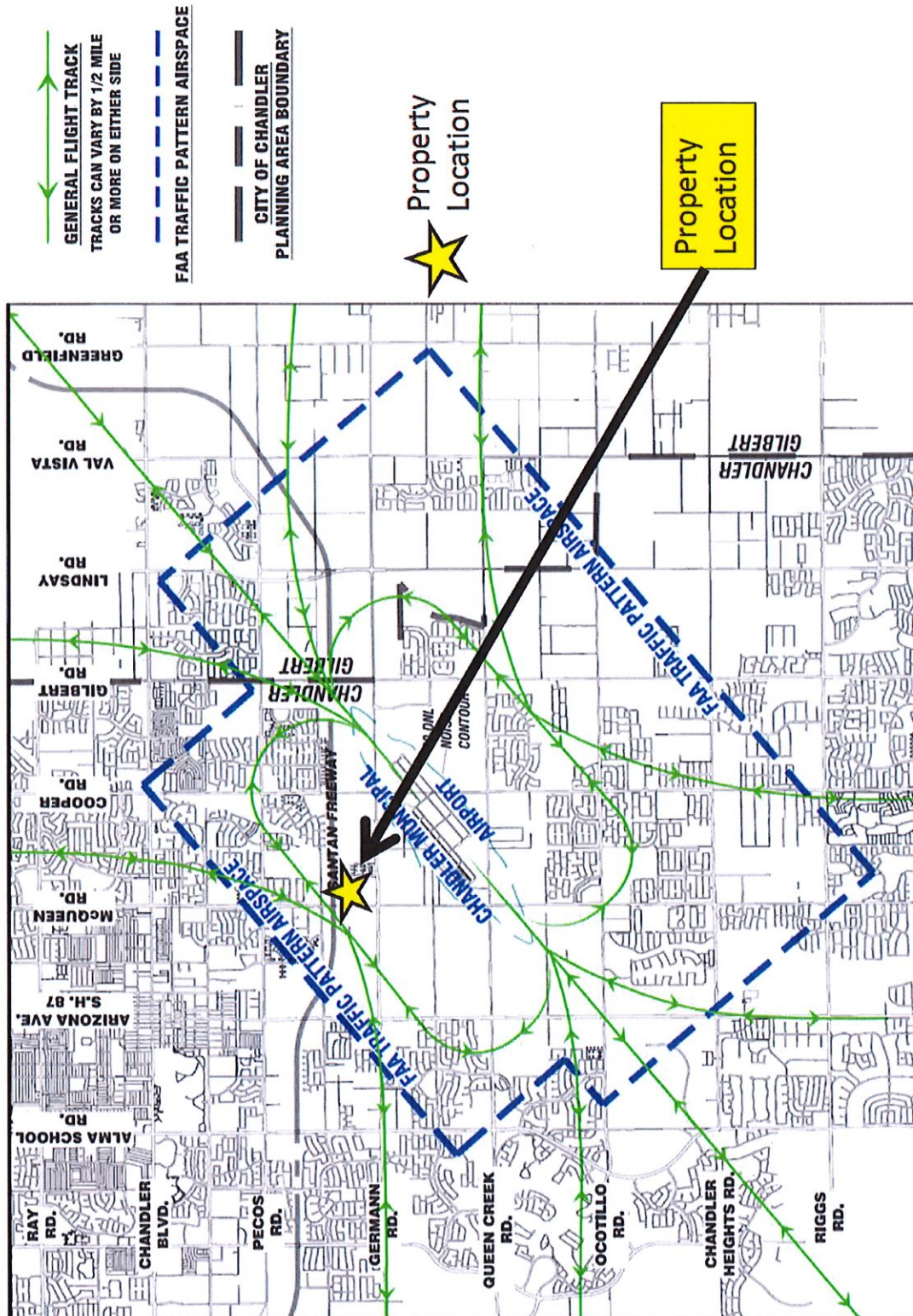


Exhibit C: Site Plan



Exhibit D: Chandler Airport Area Plan Land Use Plan

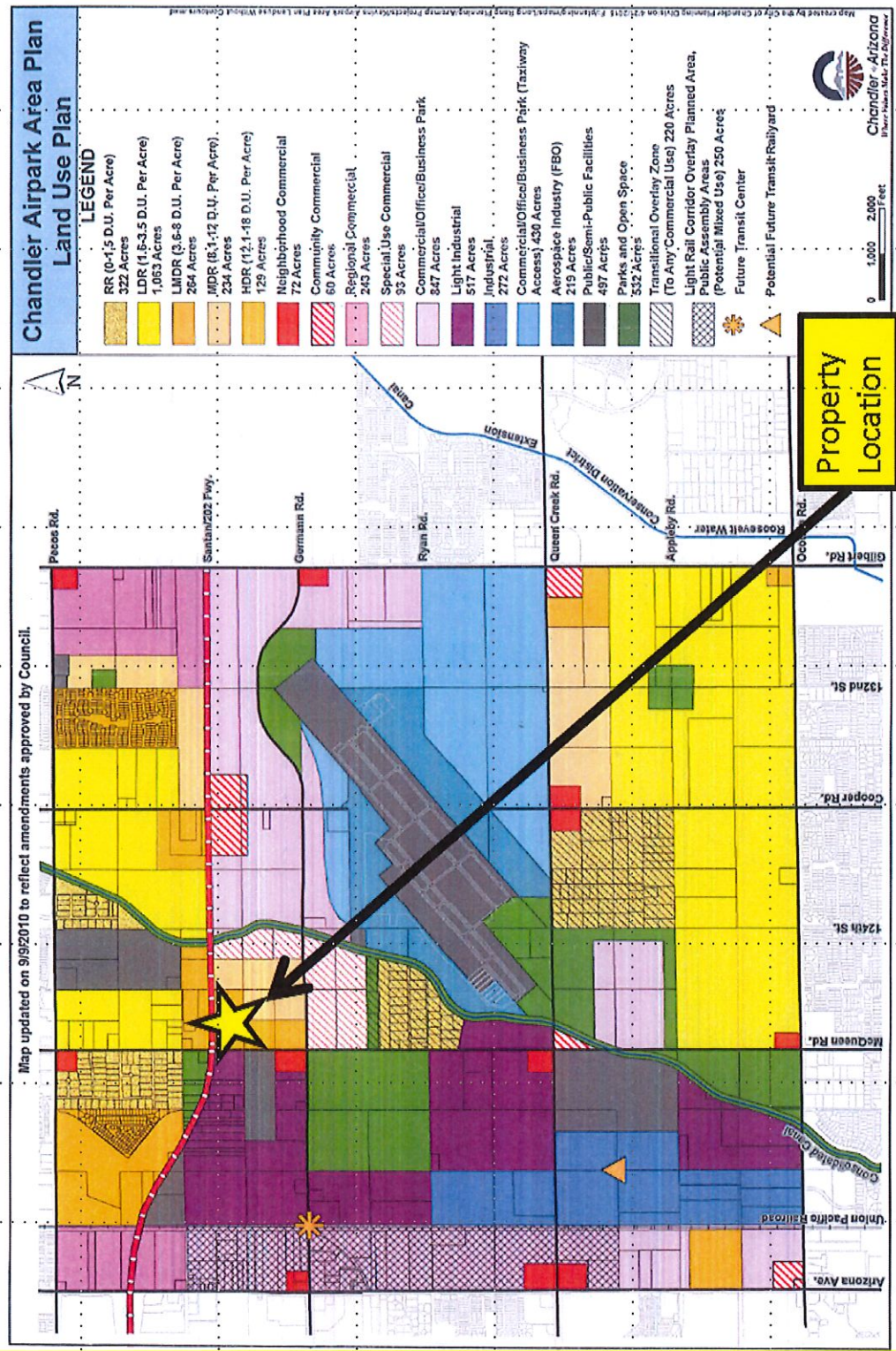
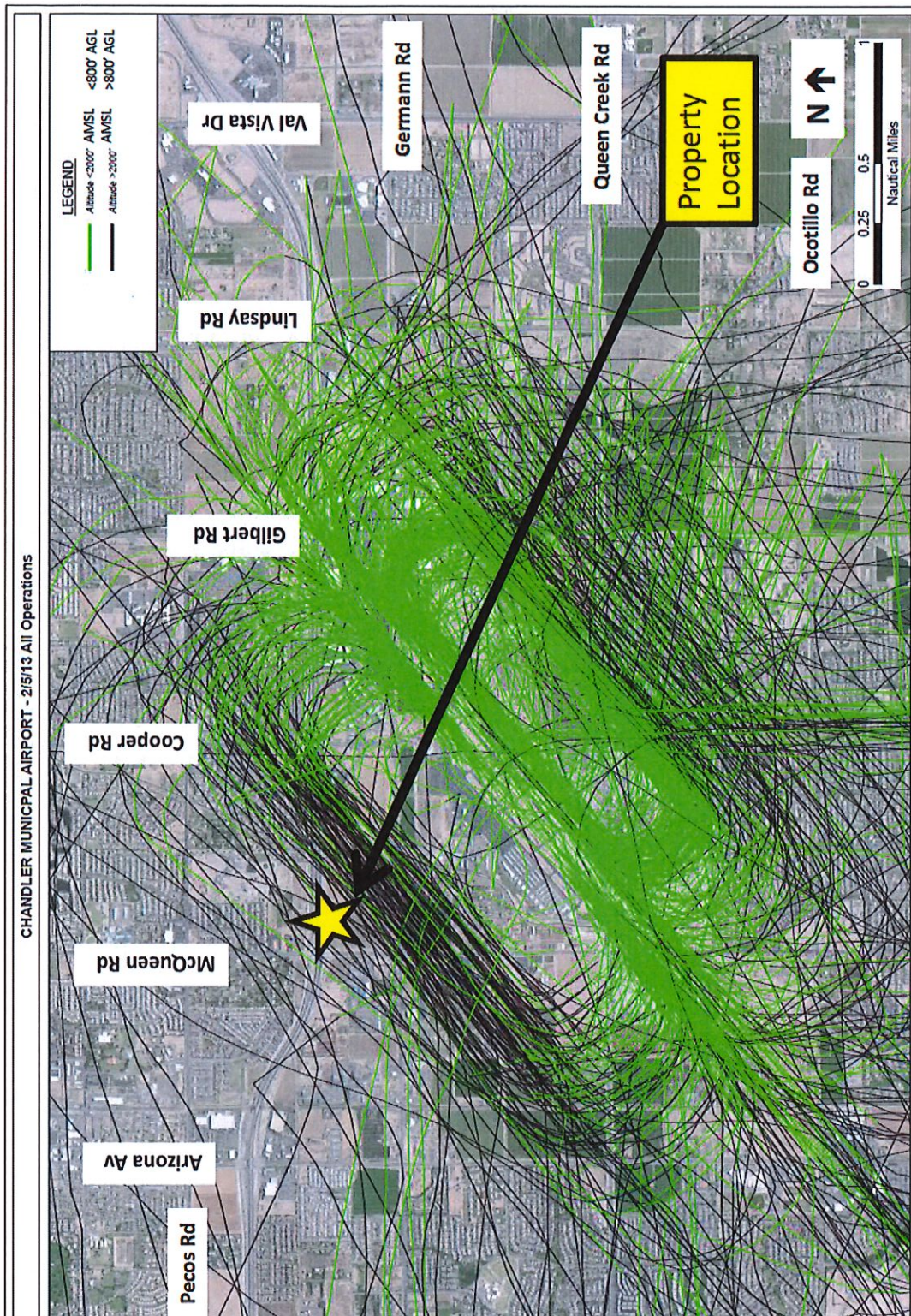


Exhibit E: Flight Tracks



ELUX AT MCQUEEN

A SNOWDEN COMMUNITY

Planned Area Development Preliminary Development Plan & Preliminary Plat

DECEMBER 2020

PAD/ PDP CASE NO.: PLH19-0063

PRE-PLAT CASE NO.: PLT19-0055

1ST SUBMITTAL: NOVEMBER 15, 2019

2ND SUBMITTAL: OCTOBER 29, 2020

REVISED 2ND SUBMITTAL: DECEMBER 14, 2020



DEVELOPER:**Snowdon McQueen, LLC**

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PROJECT INFORMATION:

Project Location:

Southeast corner of McQueen Road and the Loop 202 San Tan Freeway

Request:

Planned Area Development (PAD), Preliminary Development Plan (PDP),
 & Preliminary Plat (PPT)

PAD/ PDP Case No. PLH19-0063

PPT Case No. PLT19-0055

General Plan Designation:

Neighborhoods

Air Park Area Plan:

High Density Residential (HDR) (12.1-18.0 du/ac)

Existing Zoning:

AG-1

Proposed Zoning:

Planned Area Development (PAD)

Existing Use:

Vacant

Gross Area:

13.90 Ac.

Net Area:

12.87 Ac.

Maximum Proposed Dwelling Units:

162 Du.

Maximum Proposed Density:

12.59 Du./Ac.

Open Space:

3.95 Ac. (30.80% of Net)

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1 INTRODUCTION

Snowdon McQueen LLC is excited to bring ELUX at McQueen, an approximately 13.90-gross acre (12.87-net acre) community located in the City of Chandler (the “City”) at the southeast corner of McQueen Road and the Loop 202 Santan Freeway. The housing product designed for ELUX at McQueen is relatively unique to the region and was developed through a creative research and development process. Snowdon McQueen LLC intends for the ELUX at McQueen (or the “Site”) development to become a point of pride within the City, offering a distinct housing product and a uniquely themed community for current and future residents of the City of Chandler (See **Exhibit A: Vicinity Map**).

ELUX at McQueen is an ideally located residential development situated approximately two miles northwest of the Chandler Municipal Airport (the “Airport”), and adjacent to employment, commercial, recreational, municipal, and residential uses. The proximity of the Site to shopping and employment allows for the creation of a unique environment that responds to the housing needs of the surrounding area. ELUX at McQueen is anticipated to have one-hundred and sixty-two (162) single-family detached and attached units in a for rent community at an overall net density of approximately 12.59 du/ac.

This Site is an appropriate location to introduce this unique housing product and community. The proposed architectural character for ELUX at McQueen reflects the character of the vibrant and growing City. Additionally, throughout the community, thematic architectural and landscape elements will be designed and implemented to celebrate the modern, unique product and related land uses in the surrounding area. The quality and proposed aesthetics of ELUX at McQueen reflects Snowdon McQueen LLC’s commitment to progressive community design and development.

2 BACKGROUND

This project is proposing that approximately 13.90 gross acres be rezoned from AG-1 to PAD for a unique and high-quality residential development (See **Exhibit B: Existing & Proposed Zoning Map**). Simultaneous with the Rezoning request, this development is seeking a PDP approval for the site plan consisting of 162 detached and attached single-family for rent units. The proposed development is planned as a gated community and is planned to accommodate a net density of approximately 12.59 du/ac. This development meets the goals, policies, and intent of the General Plan and Area Plan, and is compatible with neighboring developments while providing an attractive presence in the area.

3 REQUEST

In order to achieve this development on the Site, Snowdon McQueen LLC is requesting:

- The Site to be rezoned from AG-1 to Planned Area Development (PAD) for Residential;
- Approval of the Preliminary Development Plan (PDP); and,
- Approval of the Preliminary Plat (PPT).

4 GENERAL PLAN & AREA PLAN COMPLIANCE

The City of Chandler General Plan designates the Site as Neighborhoods (See **Exhibit C: General Plan Land Use Map**). The Site’s development as a single-family for rent community is consistent with the underlying General Plan land use designation of Neighborhoods. Given that the Site is located adjacent to employment uses to the west, the Santan Freeway to the north, and medium density housing to the

east, and is in close proximity to the Airport and a future transit center at Arizona Avenue and Germann Road, high density housing is appropriate on the Site. Further, much of the immediate area has either been developed or is currently being developed with a variety of single-family residential densities. The Site is also located within the Chandler Airpark Area Plan, which designates the Site as High Density Residential (HDR) (12.1-18 du/ac) (See **Exhibit D: Chandler Airpark Area Plan**). The Site is proposed to have 162 units at 12.59 du/net acre which is consistent with the Chandler Airpark designation of HDR.

The proposed development also incorporates a different product type in a for rent setting, which creates a diverse housing market without introducing a development so different as to be inappropriate or incompatible with the existing neighborhoods. The proposed architectural style and enhanced landscape elements will bring aesthetic diversity to the area with a unique yet authentic character.

5 PLANNED AREA DEVELOPMENT

The Site is currently zoned AG-1 and Snowdon McQueen LLC is requesting the Site be rezoned to PAD for residential uses and will adhere to the development standards stated herein. ELUX at McQueen will be a unique housing type promoting connectivity within the community and offering clubhouse amenities for residents. Complementary architectural style and details will be utilized throughout the community.

The proposed Development Plan will establish a community with pedestrian courtyards, private rear yards, and community amenities (See **Exhibit E: Development Plan** and **Exhibit F: Landscape Plan**). ELUX at McQueen will include a total of 162 residences at a net density of approximately 12.59 dwelling units per acre. The southern boundary of the site adjacent to existing development has been designed to include additional buffering between existing single-family residences and proposed units. The Site provides approximately 3.95 acres of open space, or 30.80% of the total development's net acreage (See **Exhibit G: Open Space Plan**). The open space has been dispersed throughout the Site to provide efficient retention as well as visual relief across the development. A 3,624 square-foot community clubhouse amenity is prominently featured within the community amenity area. The amenity area includes the clubhouse building, pool and spa, cabanas, barbeque, and seating areas. This amenity area will be easily accessible to all the residents of ELUX at McQueen via a six-foot (6') centralized sidewalk, supporting recreational activity and social interaction. As a major component of the community's identity, the clubhouse will complement the modern architectural style of the homes by using tile cladding, metal work on doors and windows, tempered glazing windows, and stucco finishes. Additionally, a second amenity area is provided on the eastern end of the development and includes a pickle ball court as well as shade features, turf areas, and site furnishings (See **Exhibit H: Amenity Plan**). This area is accessed by three (3), four (4), and five-foot (5') sidewalks surrounding and internal to the amenity. The community will have various sidewalks and pathways connecting residents to their homes, parking areas, open spaces, and community amenities and clubhouse (See **Exhibit I: Pedestrian Circulation Plan**).

The interior and exterior landscape theming of ELUX at McQueen will feature modern design elements and motifs which will help reflect the community's distinct style while maintaining an aesthetic balance with the surrounding area. The design of the perimeter walls will reflect the quality and character of the community (See **Exhibit J: Wall Plan** and **Exhibit K: Wall Details**). The primary gated entrance into the community is located off of McQueen Road. The community entrance will include a monument sign, accentuated with enhanced ornamental desert plantings organized in formal massings and patterns. A secondary access point for the community is proposed at the southeast corner of the development, connecting to Senate Street and Armstrong Way. Both the primary and secondary entryways will incorporate design elements such as CMU block raised planters, CMU block with stucco finishes, precast concrete caps, aluminum channel, and reverse pan channel lettering, to create a cohesive design (See

Exhibit L: Entry Plan & Details and **Exhibit M: Entry Monuments**). At the main entryway and at various points throughout the Site, low flying aircraft warning signs will be prominently displayed for residents and visitors (see **Exhibit N: Aircraft Warning Sign Plan**).

6 HOUSING PRODUCT

The ELUX at McQueen development is a single-family for rent product that lives like a traditional single-family residential home. These casita-style homes address the needs of modern families. The homes will be built with energy-efficient and sustainable construction technology. The proposed design of the development consists of 162 one and two-story, detached and attached residences to create a community that is attractively designed, aesthetically landscaped, and provides an appropriate use for the Site. The proposed development is planned as a gated community that will consist of approximately 162 residences at a net density of approximately 12.59 du/ac. The residences are a mix of one, two, and three bedrooms, with an appropriate mix of the residences being detached and attached in a duplex style. Unlike traditional apartment complexes, where most units are one and two bedrooms (typically 50-60% one bedrooms, 30-40% two bedrooms, and less than 10% three bedrooms), this project has an increased number of two- and three-bedroom residences (40% one bedrooms, 40 % two bedrooms, and 20% three bedrooms).

The residences are predominately grouped around pedestrian courtyards to create a sense of arrival, place, and connectivity within the greater context of the community (See **Exhibit O: Illustrative Rendering**). A unique feature is that every residence includes a private, enclosed rear yard which, in most cases, is nearly as wide as the residence itself. Small-scale pedestrian courtyards and outdoor seating areas are also provided to create a seamless and smooth transition between public and private portions of the community.

The amenity areas are designed to enhance the community identity and the quality of life of the residents by providing recreational opportunities and connectivity through the integration of effective and accessible internal open spaces. The amenity and theming elements have been integrated to maintain the overall character of the community. The primary amenity area (located at the southwest corner of the Site) will include a resort-style swimming pool and spa, seating areas for residents to relax and socialize, and a clubhouse with restroom facilities and resident amenities.

The product proposed for this Site represents a lifestyle choice, presenting future residents a unique living experience and an alternative housing choice to the traditional options of single-family residences or apartment complexes. This development combines the best elements of residential single-family living with multi-family-like lease terms and management. The combination of these elements creates a desirable residential option with upscale features and spacious indoor/outdoor living areas maintained by a professional management company, without the expense or HOA fees of a typical single-family development. The casita-style residences include one and two-story options, with many containing no more than one unit per building, creating a “single-family subdivision” feel throughout the development.

Due to the design of the ELUX at McQueen community, attached garages will not be provided for all units. Detached garages and covered parking spaces will be provided and internalized and screened from adjacent roadways. The garage elevations incorporate similar elements from the residence buildings to create a consistent design throughout the community. Parking canopy covers will be consistent with the building colors and will be architecturally integrated with the surrounding structures.

7 PROPOSED DEVELOPMENT STANDARDS

The following development standards are proposed for ELUX at McQueen:

Single-Family For Rent / Condo Plat

PERIMETER BUILDING SETBACKS	SINGLE-FAMILY FOR RENT PRODUCT
(SETBACKS SHOWN ARE MINIMUM REQUIREMENTS)	
Adjacent to McQueen Road	50'
Adjacent to Loop 202 Freeway	10'
Adjacent to single-family uses	35'
Adjacent to multi-family uses	10'
INTERIOR BUILDING SETBACKS	
(SETBACKS SHOWN ARE MEASURED FROM PROPERTY LINE TO BUILDING FOUNDATION, UNLESS OTHERWISE STATED)	
Side	0'
Separation between principal buildings (min.)	6'
BUILDING STANDARDS	
Building height (max.)	2-stories, 30'
Lot Coverage (max.)	40%

(See **Exhibit P: Elevations & Floor Plans**)

8 PARKING & REFUSE

The ELUX at McQueen development provides 327 parking spaces. Of the 327 parking spaces, 77 will be enclosed garage spaces that reduce the visual impact and scale of the parking spaces. The garages also provide a buffer for the property against the Loop 202 to the north. Refuse enclosures are distributed throughout the Site (See **Exhibit Q: Street Sections** and **Exhibit R: Parking & Trash Location Plan**).

9 GRADING AND DRAINAGE

There are no offsite flows that historically pass through the Site. The adjacent offsite streets and internal onsite streets will convey storm water to multiple surface retention basins and underground retention (See **Exhibit S: Preliminary Grading & Drainage Plan**).

10 INFRASTRUCTURE ANALYSIS

Onsite water and sewer mains will be private. A potable meter with a looped private water line will connect at McQueen Road and Senate Street. The 8" stub along McQueen Road will be utilized for sewer connection, and water service will be provided by the City of Chandler. Sewer service will also be provided by the City of Chandler.

11 PRELIMINARY PLAT

See **Exhibit T: Preliminary Plat**.

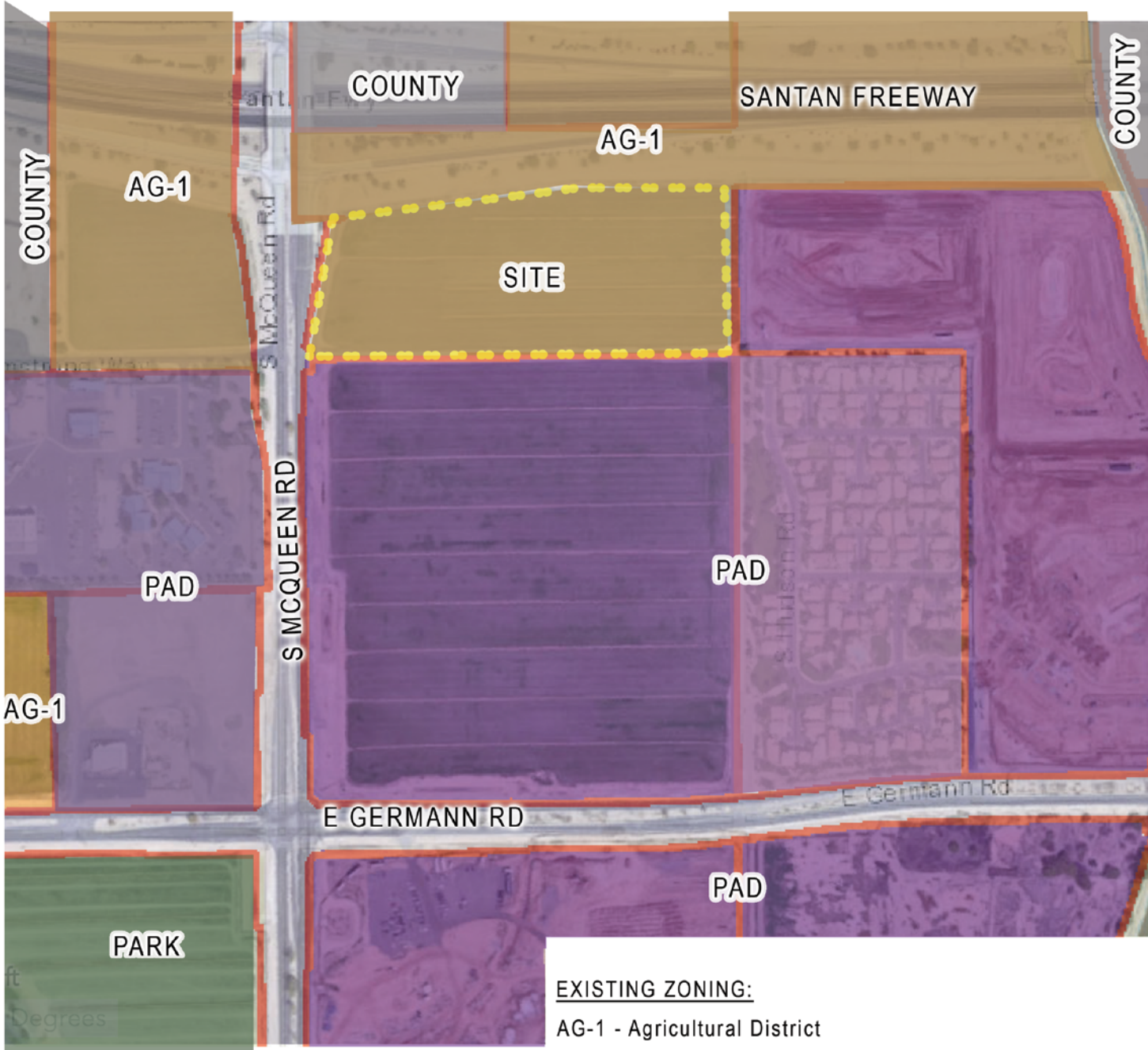
12 CONCLUSION

ELUX at McQueen will be a high quality, sustainable, and dynamic development on this Site. The proposed PAD and PDP meet the goals of the City by providing a vibrant community that is visually attractive and provides a unique single-family for rent product. Further, ELUX at McQueen will provide additional support to the existing and planned retail and employment uses in the area. ELUX at McQueen is a project that incorporates a compatible transitioning density. The proposed clubhouse, outdoor amenities, and courtyard-style layouts will help to create a close community by providing a creative space for families, friends and neighbors to enjoy together. Cohesive pedestrian connectivity throughout the development reinforces a desirable lifestyle and embraces place-making principles. A community with tasteful modern architectural design and themes that complement the surrounding developments, assures that ELUX at McQueen will be a valuable asset to the City and immediate area. The development also creates visual interest on the perimeter through an attractive perimeter wall, architectural facades, a creatively designed entryway, and a well-planned open space and amenity area. We request your approval.



EXHIBIT A: VICINITY MAP

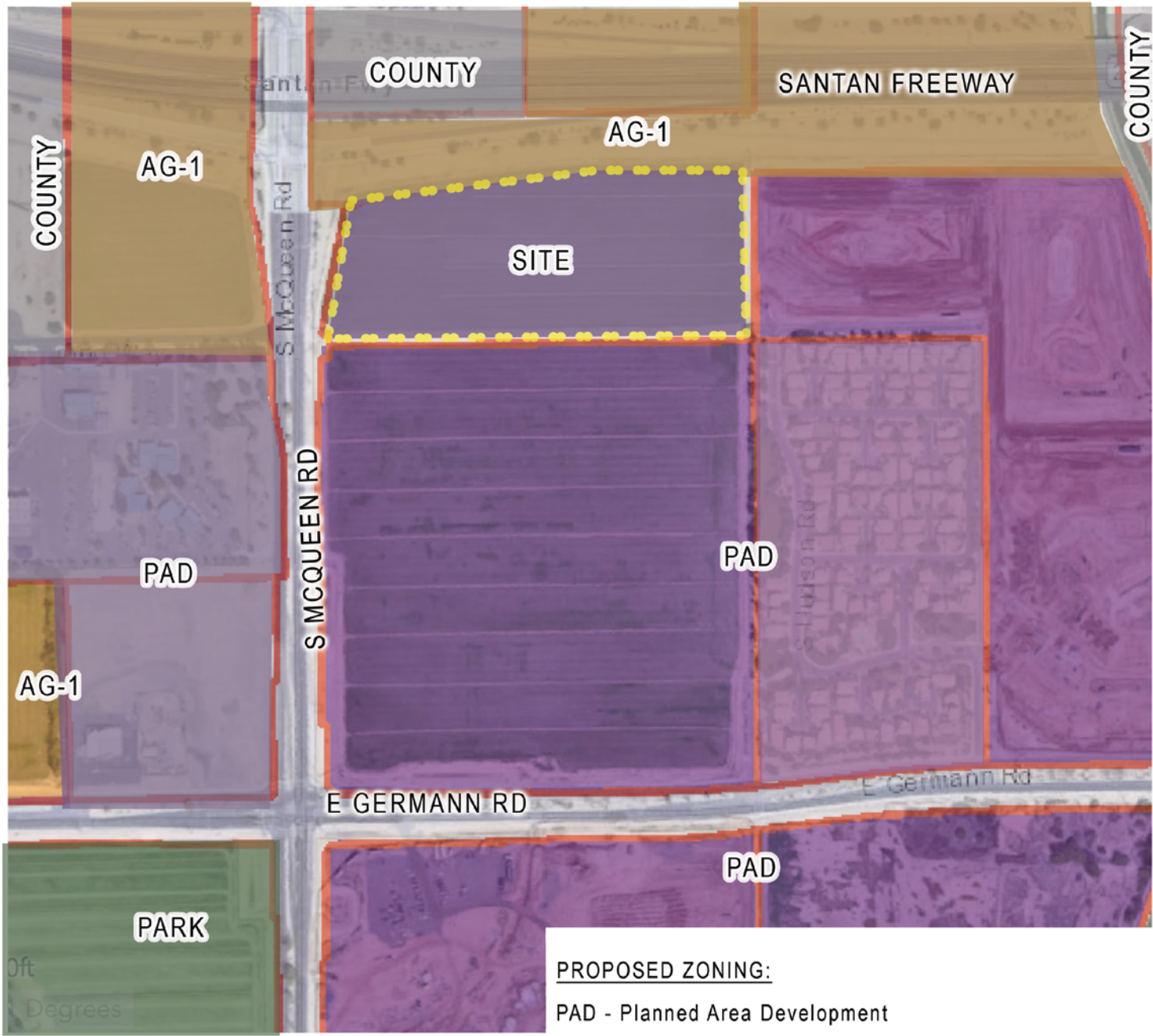




EXISTING ZONING MAP

LEGEND

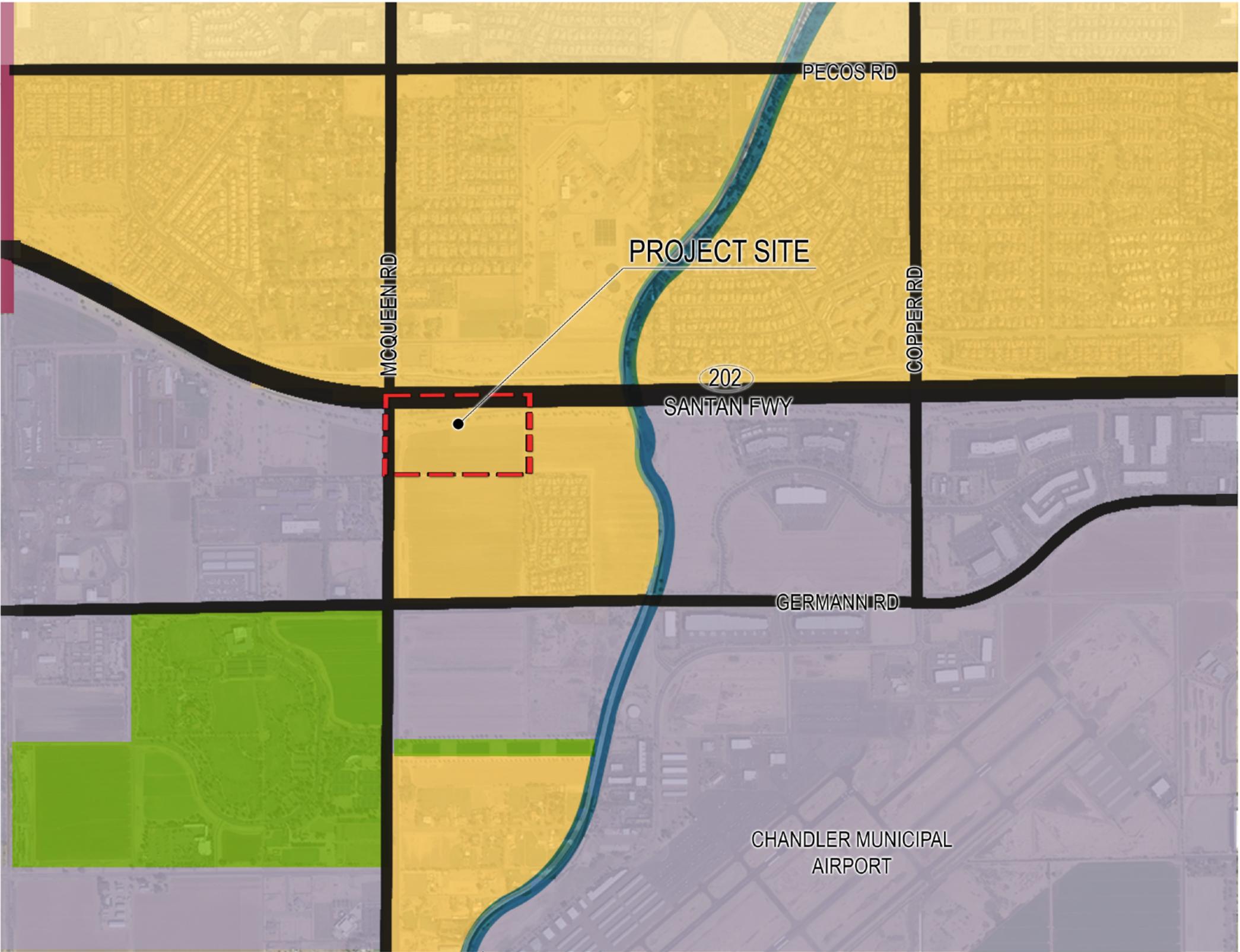
- PAD - Planned Area Development
- AG-1 - Agricultural District
- County Land
- Parks



PROPOSED ZONING MAP

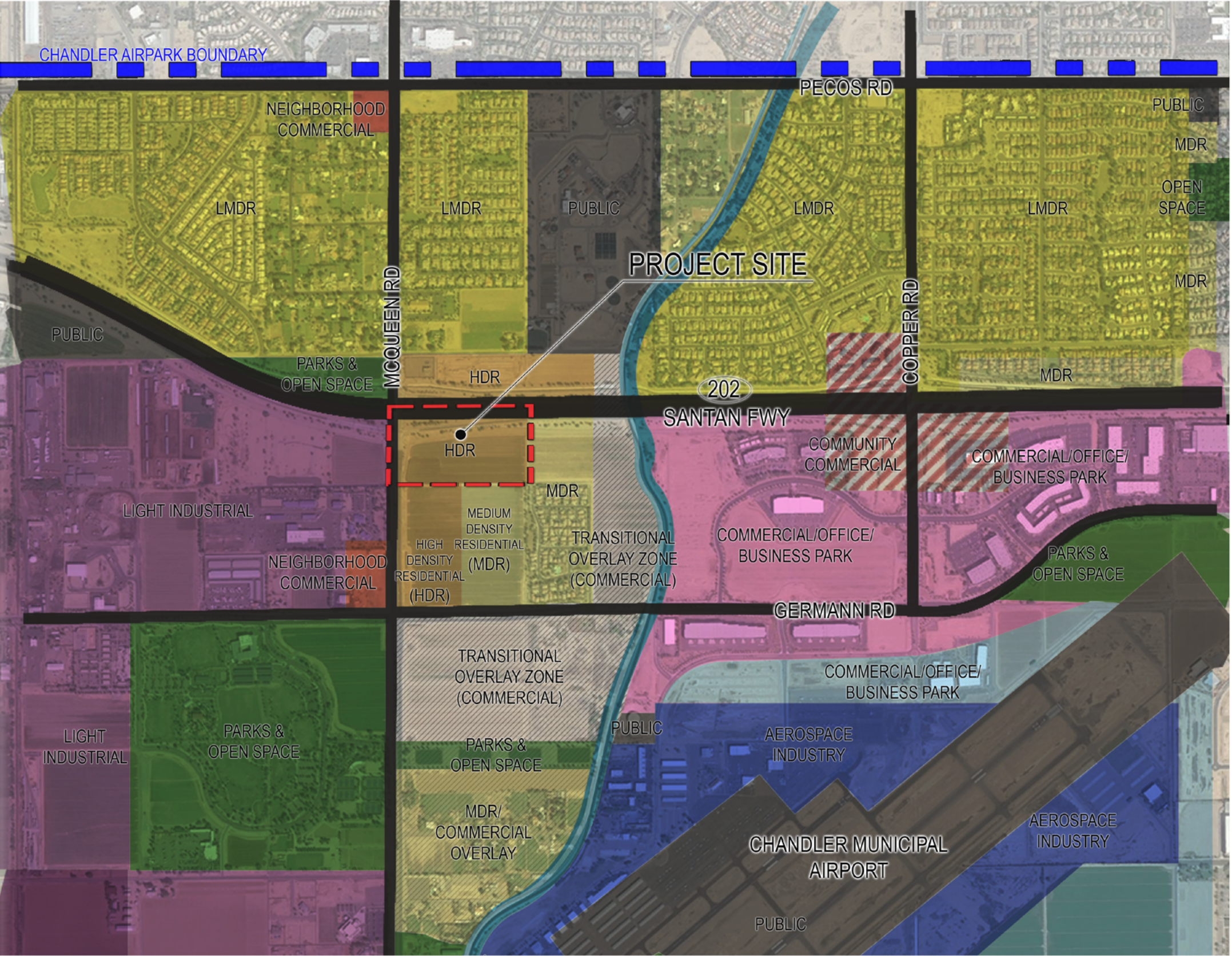
LEGEND

- PAD - Planned Area Development
- AG-1 - Agricultural District
- County Land
- Parks



- GENERAL PLAN MAP LEGEND
- Neighborhoods
 - Regional Commercial
 - Employment
 - Recreation/Open Space
 - Growth Areas

GENERAL PLAN MAP



LAND USE LEGEND

- PR (0-15 D.U. PER ACRE)
300 ACRES
- LDR (16-25 D.U. PER ACRE)
1000 ACRES
- LMDR (26-35 D.U. PER ACRE)
240 ACRES
- MDR (36-45 D.U. PER ACRE)
200 ACRES
- HDR (46-75 D.U. PER ACRE)
150 ACRES
- NEIGHBORHOOD COMMERCIAL
10 ACRES
- COMMUNITY COMMERCIAL
75 ACRES
- REGIONAL COMMERCIAL
240 ACRES
- SPECIAL USE COMMERCIAL
100 ACRES
- COMMERCIAL/OFFICE/BUSINESS PARK
640 ACRES
- LIGHT INDUSTRIAL
50 ACRES
- INDUSTRIAL
280 ACRES
- COMMERCIAL/OFFICE/BUSINESS PARK
(TRAFFIC ACCESS)
440 ACRES
- AEROSPACE INDUSTRY (FBO)
297 ACRES
- PUBLIC / SEMI-PUBLIC FACILITIES
470 ACRES
- PARKS AND OPEN SPACE
500 ACRES
- TRANSITIONAL OVERLAY ZONE
(TO ANY COMMERCIAL USE)
220 ACRES
- STUDY AREA BOUNDARY AND
AIRPORT OVERLAY DISTRICT

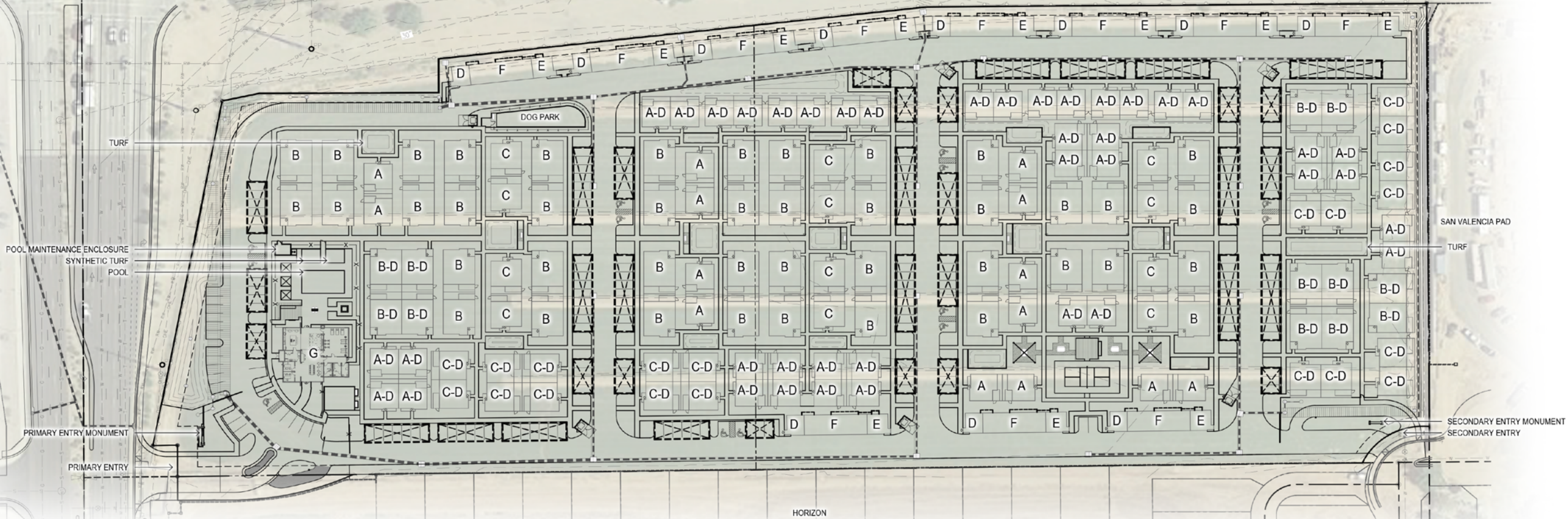
EXISTING



S MCQUEEN ROAD

202 SANTAN FWY

Site Data		
Gross Acreage	13.90 AC.	
Net Acreage	12.87 AC.	
Private Open Space	1.08 AC.	8.4%
Common Open Space	2.88 AC.	22.3%
Total Open Space	3.96 AC.	30.8%
Building Type A (1 Bed / 1 Story)	14 Units	8.6%
Building Type A-D (1 Bed / 1 Story)	40 Units	24.7%
Building Type B (2 Bed / 1 Story)	42 Units	25.9%
Building Type B-D (2 Bed / 1 Story)	12 Units	7.4%
Building Type C (3 Bed / 2 Story)	12 Units	7.4%
Building Type C-D (3 Bed / 2 Story)	20 Units	12.3%
Building Type D (1 Bed / 2 Story)	11 Units	6.8%
Building Type E (2 Bed / 2 Story)	11 Units	6.8%
Total	162 Units	12.59 DU/AC



DEVELOPMENT PLAN



202 SANTAN FWY

SMCQUEEN ROAD



DEVELOPMENT PLAN



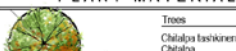


























































N

202 SANTAN FWY

SMCQUEEN ROAD



PLANT MATERIALS LEGEND

Tree	Size	Height	Width	Caliper	Extra Large Shrubs	Size	Large Shrubs	Size	Medium Shrubs	Groundcovers	Size	Cacti/ Accents	Size	Cacti/ Accents Cont.	Size	Vines	Size
 California Sycamore California	24" Box	6' Min.	3' Min.	1" Min.	 Orange Bougainvillea	5 gal	 Cassia admiscens 'Silver' Silver Cassia	5 gal	 Eremophila glabra spp. canosca Winter Blaze	5 gal	 Chrysopsis mexicana Damselita	1 gal	 Muhlenbergia lindheimeri Autumn Glow	5 gal	 Bougainvillea 'California Gold' Orange Bougainvillea	5 gal	
 Fraxinus Greggii Little Leaf Ash	24" Box	NA	NA	1" Min.	 Caesalpinia gilliesii Yellow Bird of Paradise	5 gal	 Leucophyllum frutescens 'Green Cloud' Green Cloud Sage	5 gal	 Eremophila prostrata Outback Scented Eremophila	5 gal	 Agave bovicornuta Cow's Horn	1 gal	 Muhlenbergia rigens Deer Grass	1 gal	 Ficus pumila Creeping Fig	5 gal	
 Olea europaea 'Nilesana' Olive	36" Box Multi	8' Min.	5' Min.		 Caesalpinia mexicana Mexican Bird of Paradise	5 gal	 Leucophyllum frutescens 'compacta' Lynn's Legacy Sage	5 gal	 Gazania rigens 'Sun Gold' Trailing Yellow Gazania	1 gal	 Agave salmiana x ferex Large Leaf Agave	5 gal	 Muhlenbergia rigida 'Nashville' Nashville Muley Grass	5 gal	 Inerts		
 Ficus lentissima Mistle Tree	24" Box	NA	NA	1" Min.	 Cordia Boissieri Anacardita	5 gal	 Leucophyllum frutescens 'Rio Bravo' Rio Bravo Sage	5 gal	 Tecoma frutescens Purple Trailing Lantana	5 gal	 Lantana montevidensis Blond Ambition	1 gal	 Nolina mataspensis Beargrass	5 gal	 Decomposed Granite 2" Depth in All Planting Areas		
 Ficus chinensis Chinese Pistache	24" Box	7' Min.	2.5' Min.	1" Min.	 Dodonea viscosa Japanese Tree	5 gal	 Leucophyllum japonicum Japanese Tree	5 gal	 Lantana sp. New Gold Lantana	1 gal	 Daylily Green Desert Spoon	5 gal	 Opuntia sp. Kelly's Choco Kelly's Choco Pinky Pear	5 gal	 Turf - Midson Sed		
 Ebenopsis elaeagnus Texas Ebony	15 gal.	4' Min.	3' Min.	0.5" Min.	 Tecoma stans Orange Jubilee	5 gal	 Nerita oleander Little Red'	5 gal	 Guera Lindheimeri Pink Guera	1 gal	 Euphorbia antisyphilitica Candelilla	1 gal	 Persea indica Dwarf Elephant Foot	5 gal	 6" Concrete Header		
 Prosopis juliflora Thornless Mesquite	15 gal.				 Tecoma sp. 'Sparky' Sparky	5 gal	 Salvia clevelandi Chaparral Sage	5 gal	 Russelia equisetiformis Coral Fountain	5 gal	 Euphorbia rigida Copper Plant	5 gal	 Yucca baccata Banana Yucca	15 gal.	 6" Concrete Header		
 Quercus virginiana 'Vastredra' Oak	24" Box	7' Min.	3' Min.	1.0"	 Vauquelinia californica Arizona Rosewood				 Tecoma chamedrya 'bractatum' Prostratum	1 gal	 Hesperaloe sp. Pink Parade Pink Parade Hesperaloe	3 gal	 Yucca pallida Pale Leaf Yucca	5 gal	 6" Concrete Header		
 Ulmus parvifolia 'Mile' Elm	24" Box	7' Min.	3' Min.	1" Min.						 Hesperaloe parviflora 'Blacklight' Red Yucca	3 gal	 Yucca repens Twisted Leaf Yucca	5 gal	 Concrete Turndown			

NOTES:
1. ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE 'ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS.' SEE SECTION 160306(A), ZONING CODE.

202 SANTAN FWY

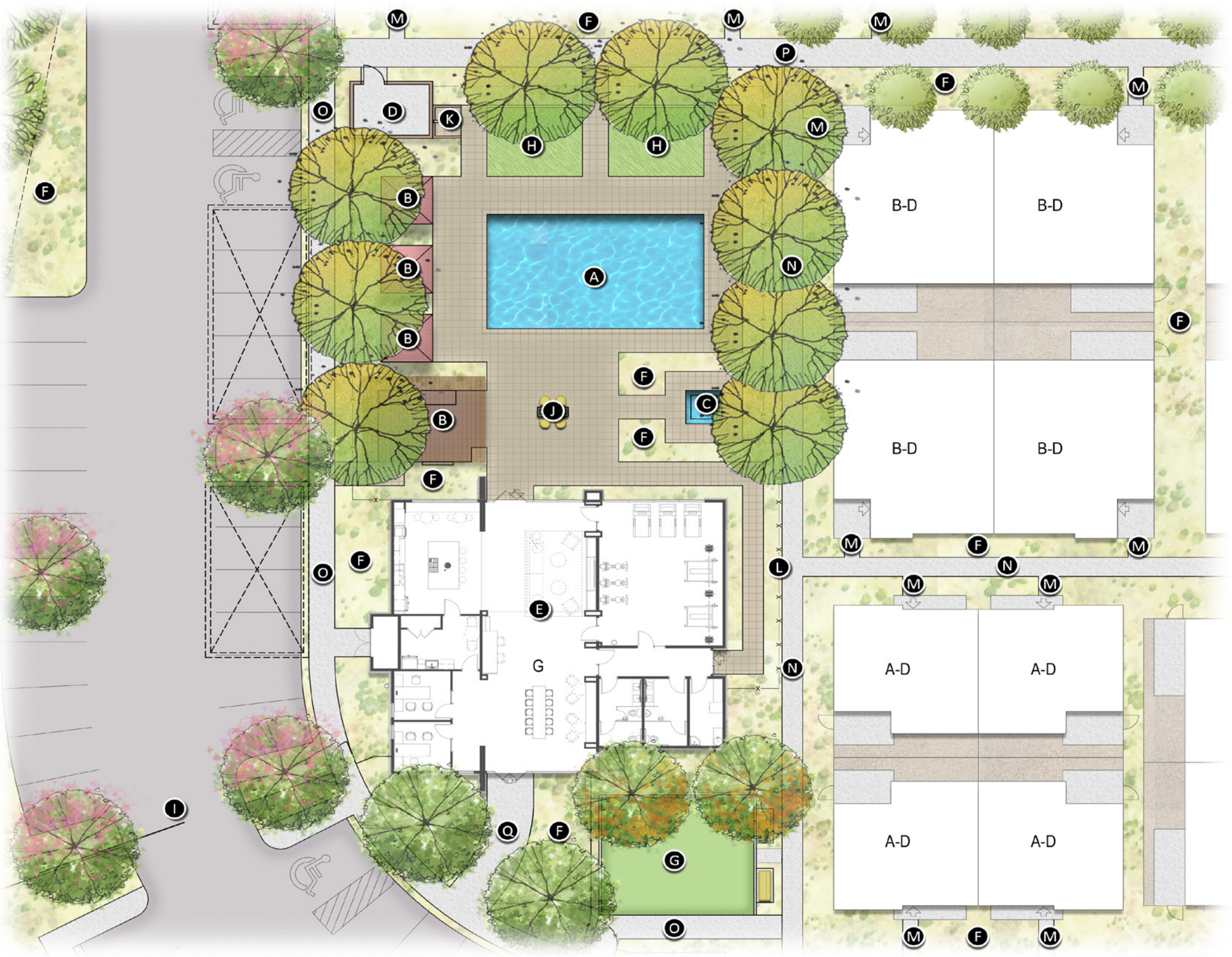
S MCQUEEN ROAD



Site Data		
Gross Acreage	13.90 AC.	
Net Acreage	12.87 AC.	
Private Open Space	1.08 AC.	8.4%
Common Open Space	2.88 AC.	22.3%
Total Open Space	3.95 AC.	30.8%
Building Type A (1 Bed / 1 Story)	14 Units	8.6%
Building Type A-D (1 Bed / 1 Story)	40 Units	24.7%
Building Type B (2 Bed / 1 Story)	42 Units	25.9%
Building Type B-D (2 Bed / 1 Story)	12 Units	7.4%
Building Type C (3 Bed / 2 Story)	12 Units	7.4%
Building Type C-D (3 Bed / 2 Story)	20 Units	12.3%
Building Type D (1 Bed / 2 Story)	11 Units	6.8%
Building Type E (2 Bed / 2 Story)	11 Units	6.8%
Total	162 Units	12.59 DU/AC

EXHIBIT G: OPEN SPACE PLAN





- KEYNOTES
- A POOL
 - B SHADE FEATURE
 - C SPA
 - D POOL EQUIPMENT
 - E AMENITY BUILDING
 - F PLANTING AREA
 - G TURF
 - H SYNTHETIC TURF
 - I VEHICULAR ENTRY GATE
 - J FIRE PIT
 - K OUTDOOR SHOWER
 - L POOL BARRIER FENCE
 - M 3'-0" SIDEWALK
 - N 4'-0" SIDEWALK
 - O 5'-0" SIDEWALK
 - P 6'-0" SIDEWALK
 - Q 9'-0" SIDEWALK

KEYNOTES

- A PICKLE BALL COURT
- B SHADE FEATURE
- C FESTOON LIGHTS
- D SITE FURNISHING
- E TURF
- F STABILIZED DECOMPOSED GRANITE
- G PLANTING AREA
- H 3'-0" SIDEWALK
- I 4'-0" SIDEWALK
- J 5'-0" SIDEWALK



AMENITY PLAN



S MCQUEEN ROAD

202 SANTAN FWY

SYMBOL	DESCRIPTION
	3'-0" SIDEWALK
	4'-0" SIDEWALK
	5'-0" SIDEWALK
	6'-0" SIDEWALK
	9'-0" SIDEWALK

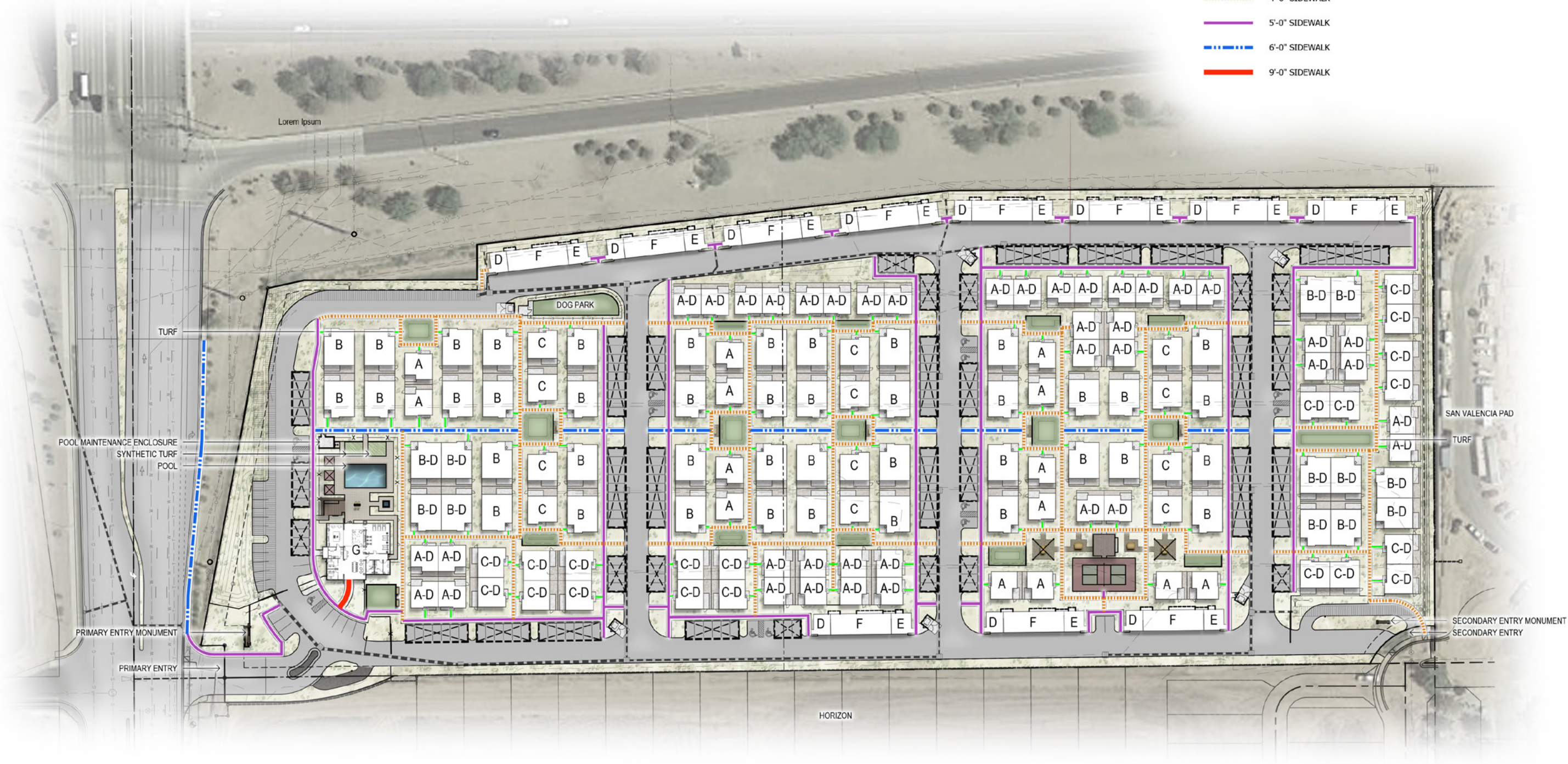


EXHIBIT I: PEDESTRIAN CIRCULATION PLAN



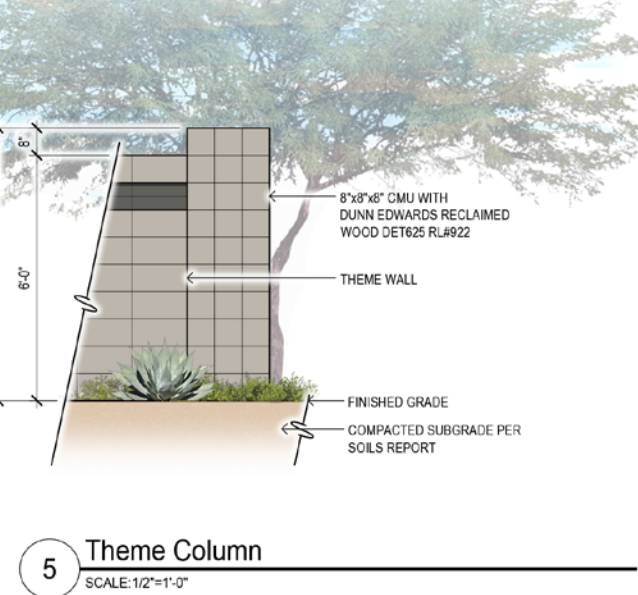
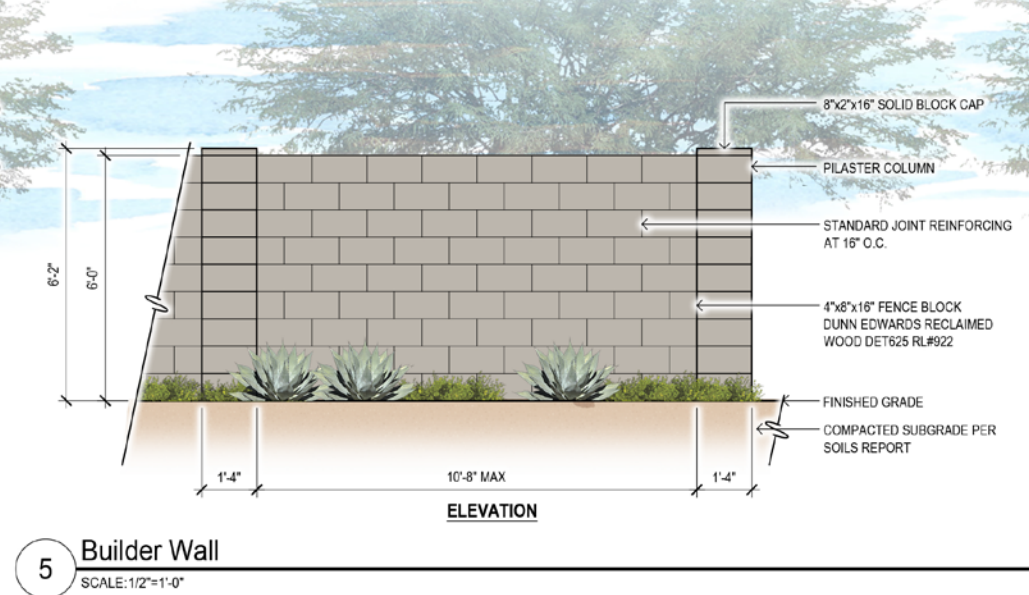
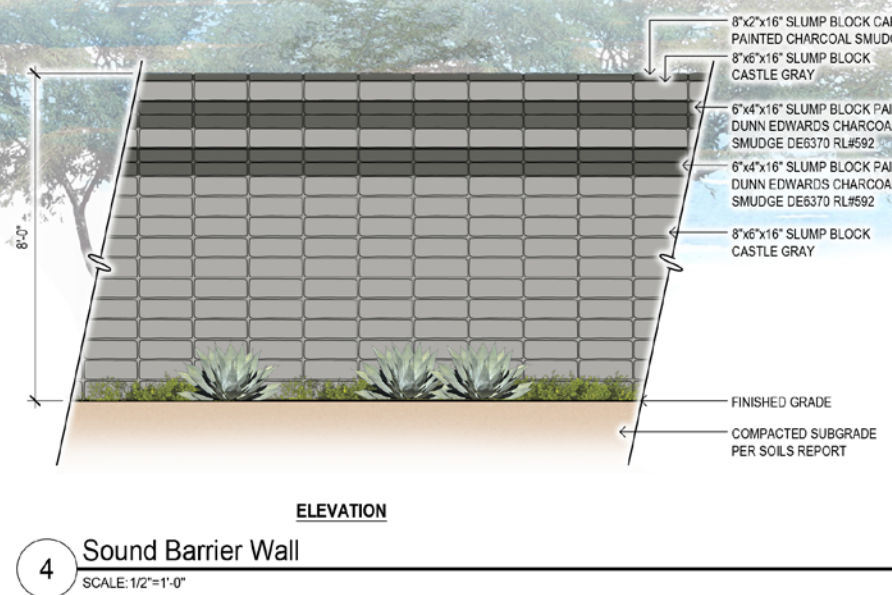
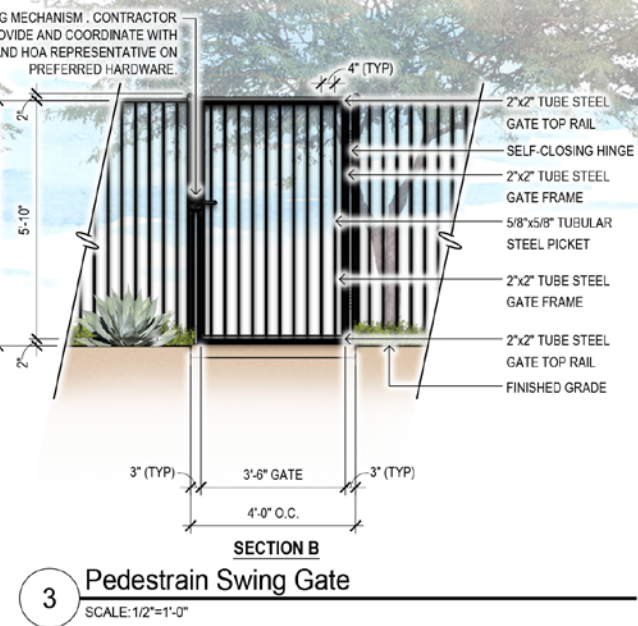
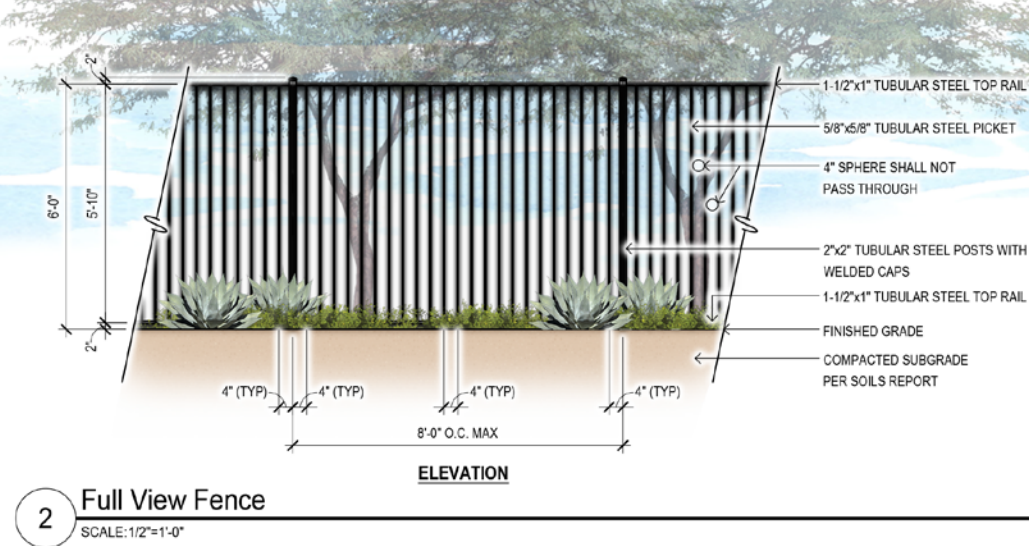
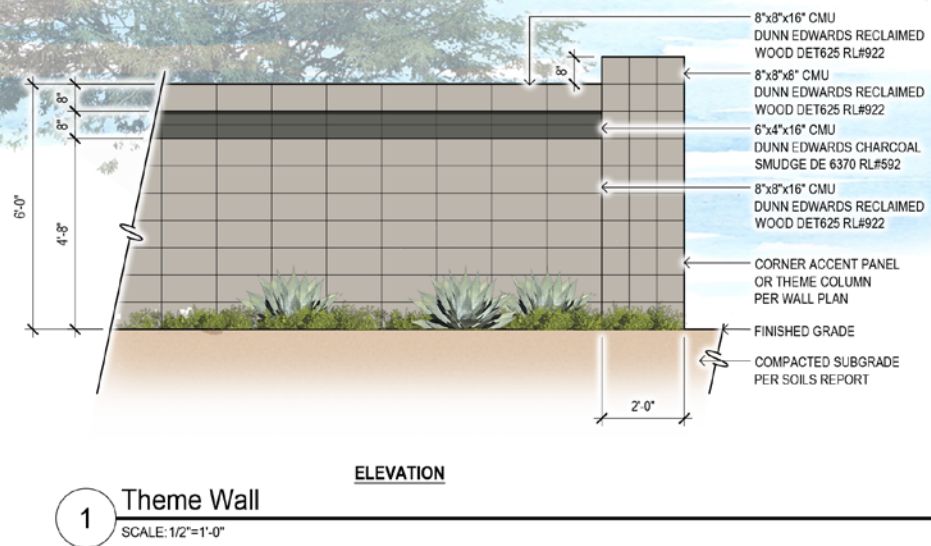
S MCQUEEN ROAD

202 SANTAN FWY



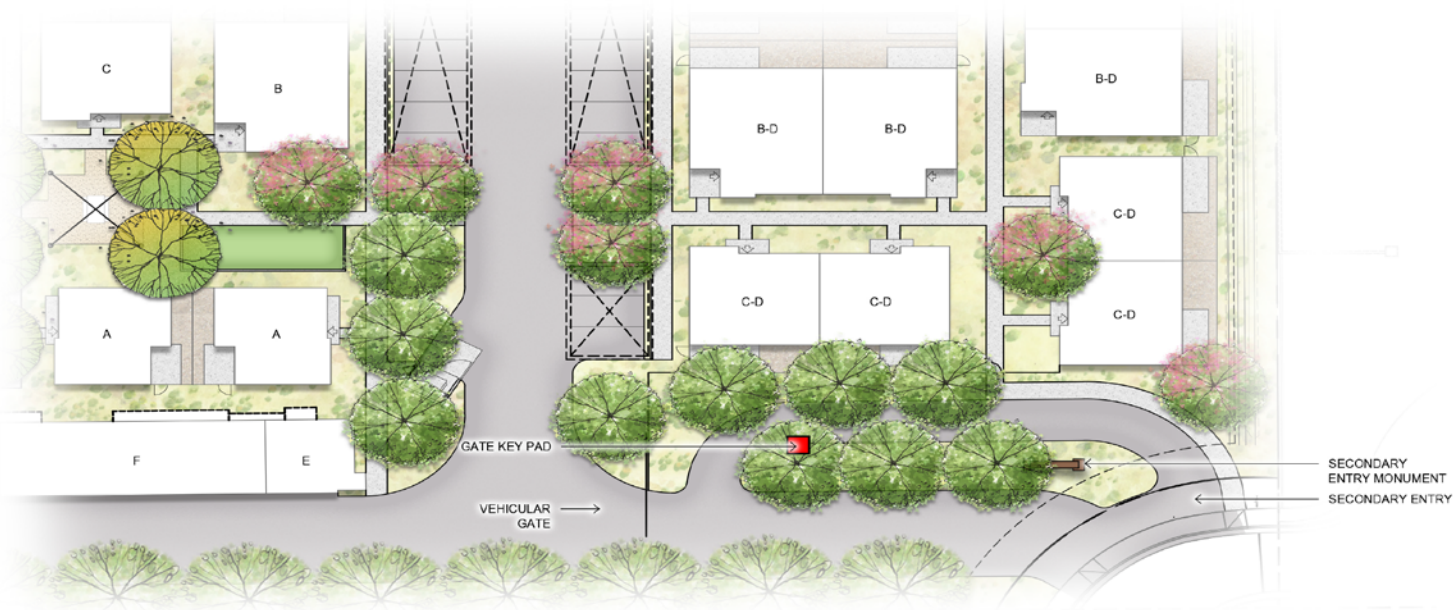
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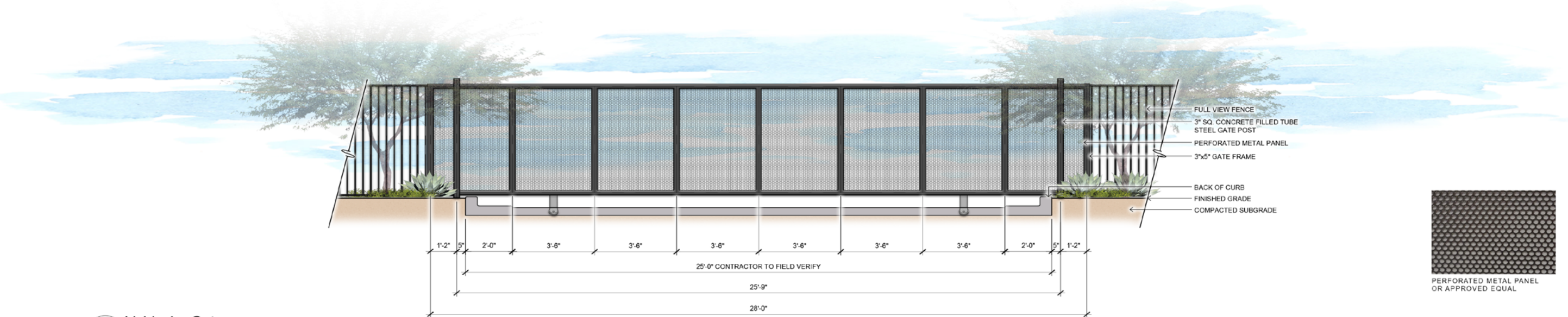




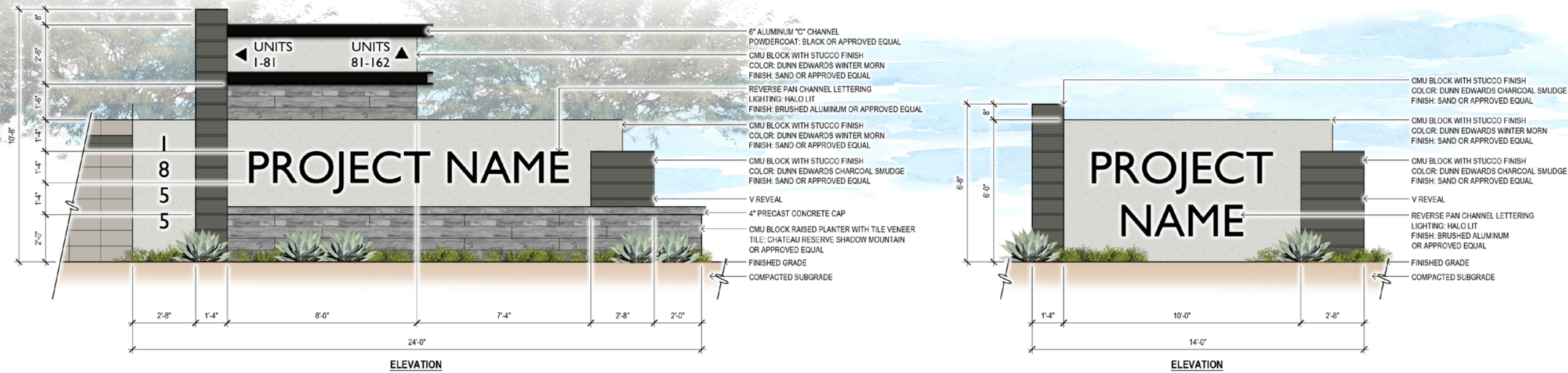
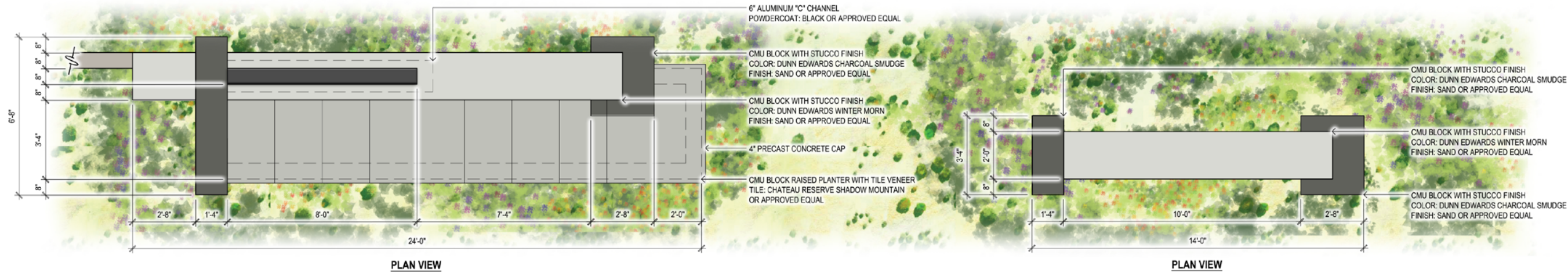
Primary Entry
SCALE: 1"=20'-0"



Secondary Entry
SCALE: 1"=20'-0"

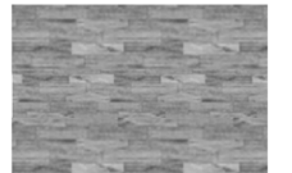


Vehicular Gate
SCALE: 1/2"=1'-0"



1 Primary Entry Monument
SCALE: 1/2"=1'-0"

2 Secondary Entry Monument
SCALE: 1/2"=1'-0"



CHATEAU RESERVE SHADOW MOUNTAIN
TILE VENEER OR APPROVED EQUAL



CMU BLOCK WITH STUCCO FINISH
DUNN EDWARDS WINTER MORN
OR APPROVED EQUAL



CMU BLOCK WITH STUCCO FINISH
DUNN EDWARDS CHARCOAL SMUDGE
OR APPROVED EQUAL

S MCQUEEN ROAD

202 SANTAN FWY



"LOW FLYING AIRCRAFT" ADVISORY SIGN



ADVISORY SIGN EXAMPLE



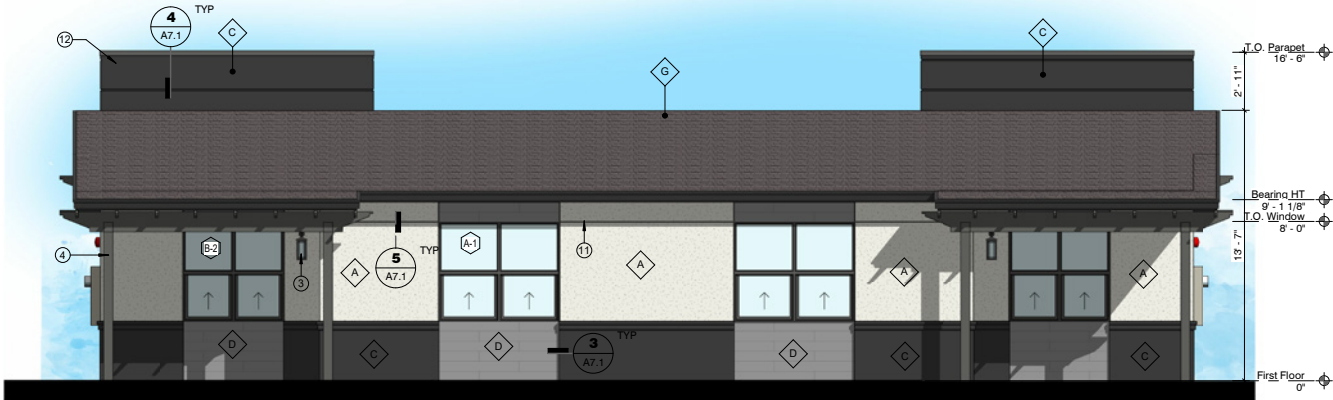


EXHIBIT O: ILLUSTRATIVE RENDERING

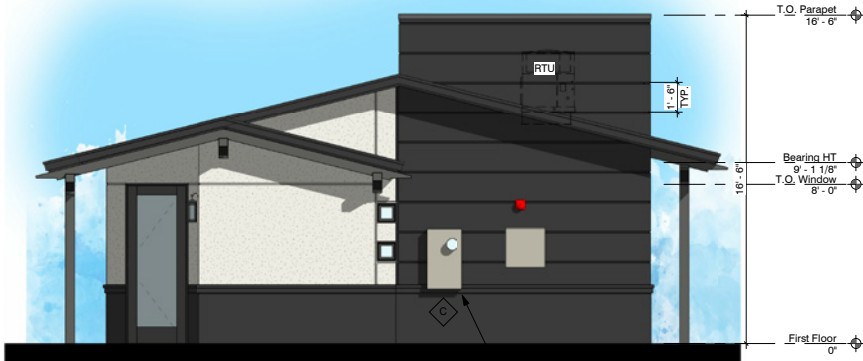


ILLUSTRATIVE RENDERING

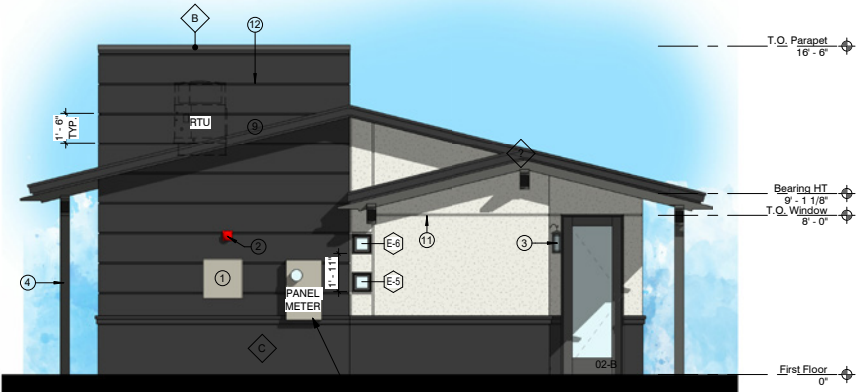
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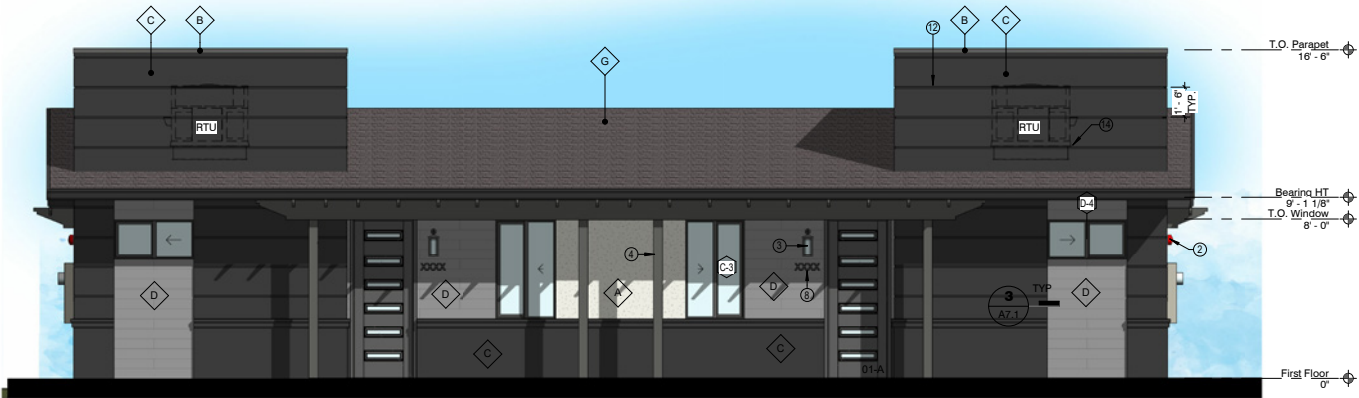
3 Back Elevation
1/4" = 1'-0"



4 Left Side Elevation
1/4" = 1'-0"



2 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

SHEET KEYED NOTES

- 1 FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL. AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
- 2 FIRE ALARM BELL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
- 3 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, SEE ID, AND ELECTRICAL SHEETS
- 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
- 8 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
- 9 THICKENED RIGID INSULATION ADDITIONAL 1-1/2" TYP WITH HORIZONTAL V REVEAL TYP
- 11 STUCCO CONTROL JOINT SEE S/A7.1
- 12 STUCCO V REVEL SEE 4/A7.1
- 14 LINE OF ROOF BEYOND



MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DES6370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CRA2 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS DES6370 - CHARCOAL SMUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

EXTERIOR ELEVATION GENERAL NOTES

1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0"

COC REQUIRED NOTES

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
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5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



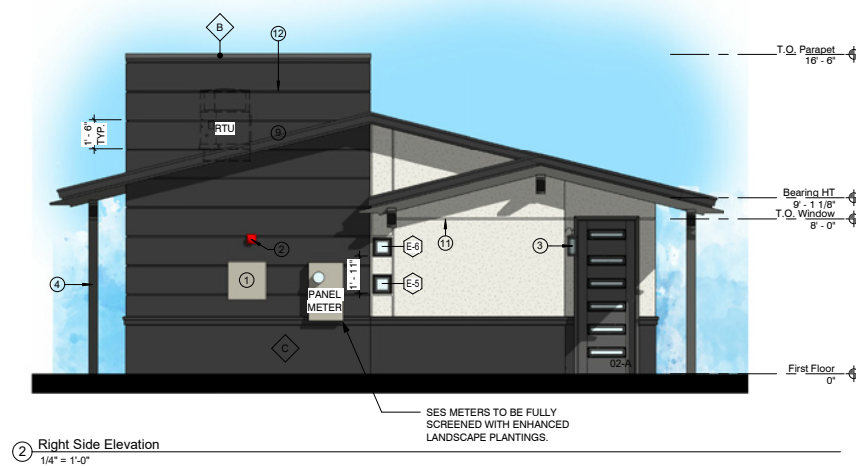
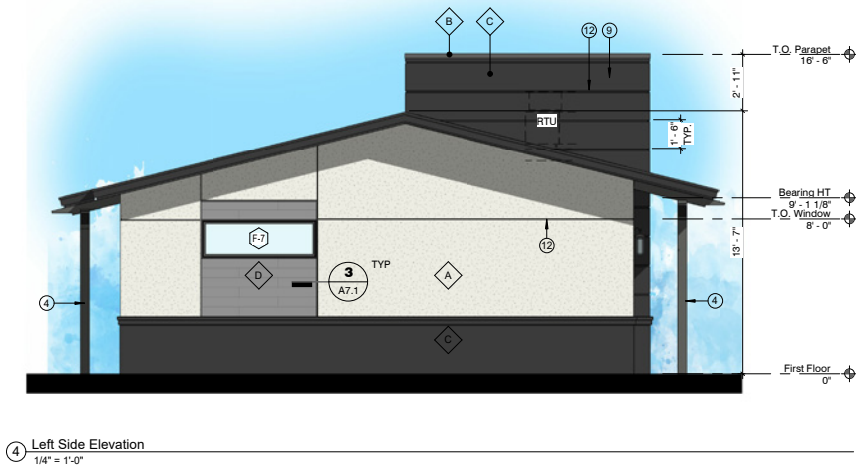
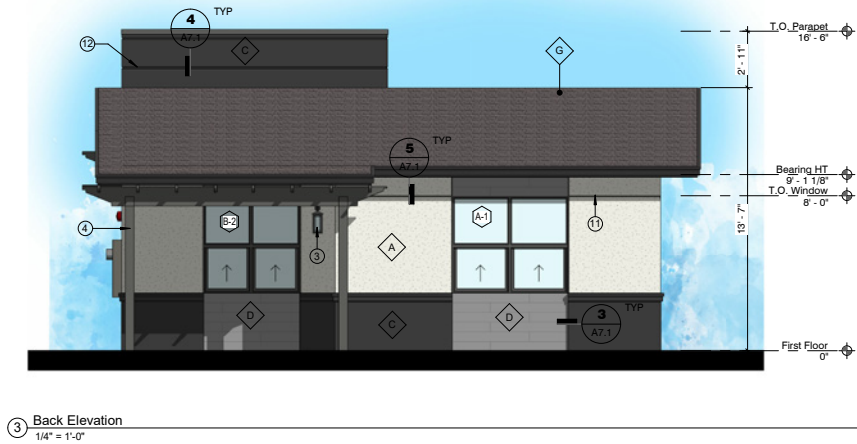
REVISIONS

Phase: PDP
Drawn By: NYK
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-10-22

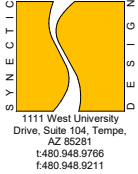
Sheet:
A3.1
EXTERIOR ELEVATIONS
UNIT TYPE A-DUPLEX



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- SHEET KEYED NOTES**
- 1 FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL. AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
 - 2 FIRE ALARM BELL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
 - 3 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE. SEE ID, AND ELECTRICAL SHEETS
 - 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
 - 5 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
 - 6 THICKENED RIGID INSULATION ADDITIONAL 1-1/2" TYP WITH HORIZONTAL V REVEAL TYP
 - 7 STUCCO CONTROL JOINT SEE 5/A7.1
 - 8 STUCCO V REVEL SEE 4/A7.1
 - 9 LINE OF ROOF BEYOND



MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET017 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DE0370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CRA2 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS DE0370 - CHARCOAL SMUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

- EXTERIOR ELEVATION GENERAL NOTES**
1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
 2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0"
- COC REQUIRED NOTES**
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
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 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



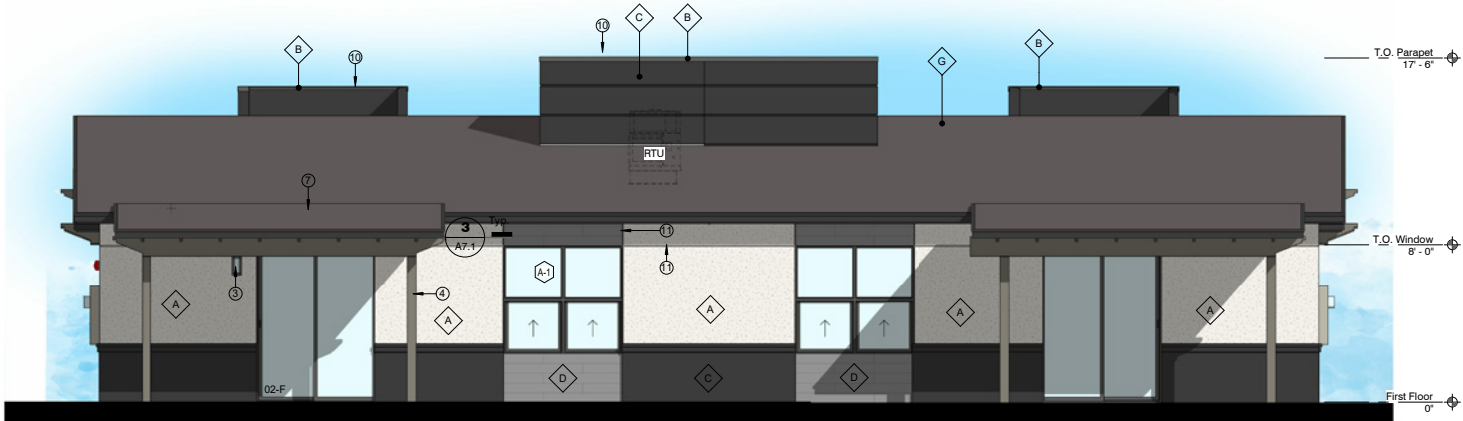
REVISIONS

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28
Sheet:

A3.1
EXTERIOR ELEVATIONS
UNIT TYPE A



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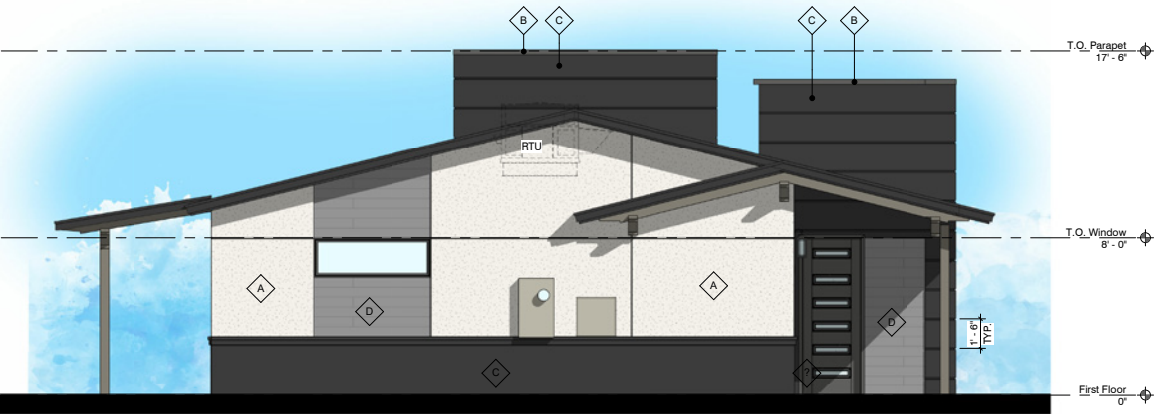
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SHEET KEYED NOTES

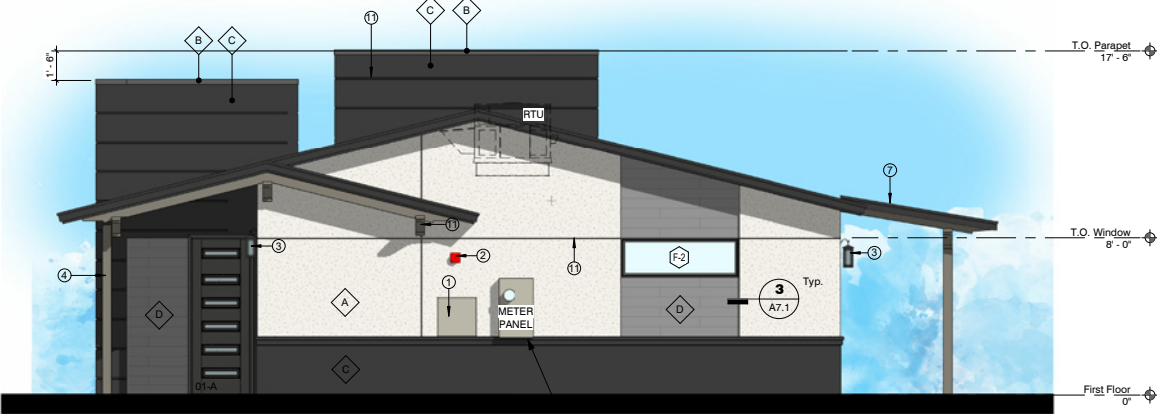
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- 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
- 7 SHADE CANOPY SLOPE AWAY FROM BUILDING (MIN. 1/4" / 12')
- 8 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
- 10 PRE-FINISHED METAL PARAPET CAP TYPICAL
- 11 STUCCO CONTROL JOINT SEE S/A7.1



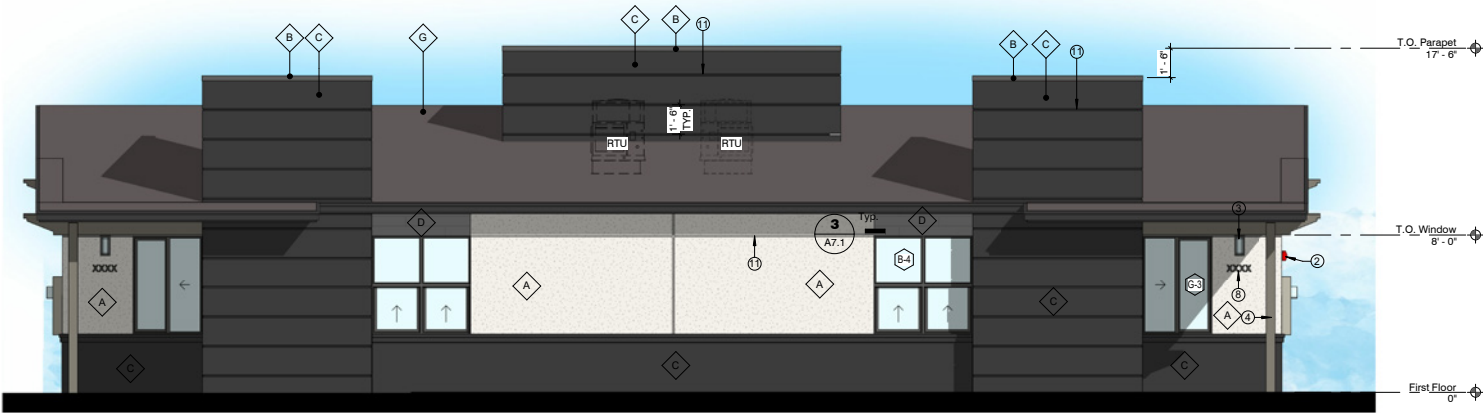
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A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE SMOOTH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CRA2 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS DE6370 - CHARCOAL SMUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	



4 Left Side Elevation
1/4" = 1'-0"



2 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- 1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
- 2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0"

COC REQUIRED NOTES

- 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
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- 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



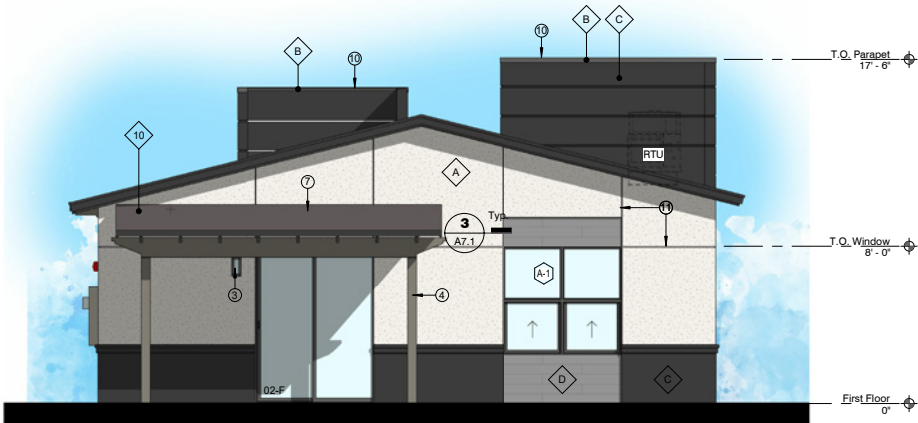
REVISIONS

Phase: PDP
Drawn By: NYK
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-10-22

Sheet:
A3.3
EXTERIOR ELEVATIONS
UNIT TYPE B DUPLEX



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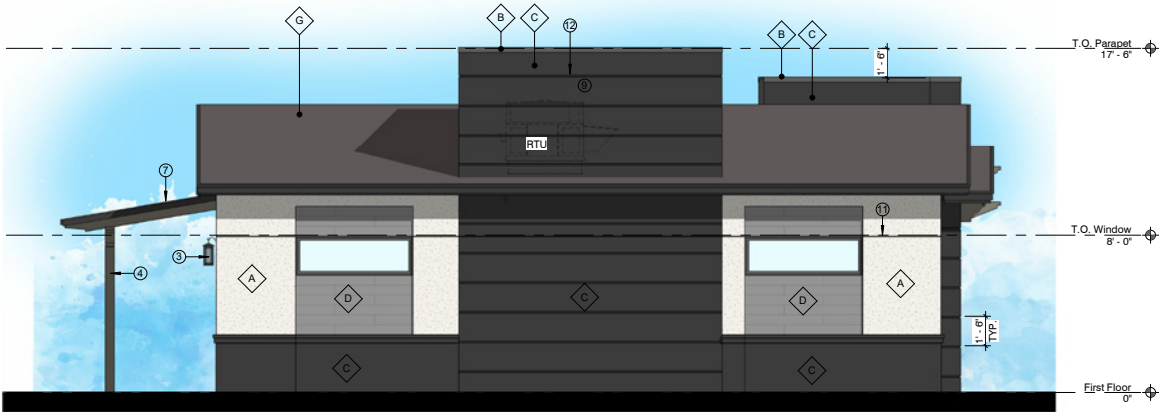
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1/4" = 1'-0"

SHEET KEYED NOTES

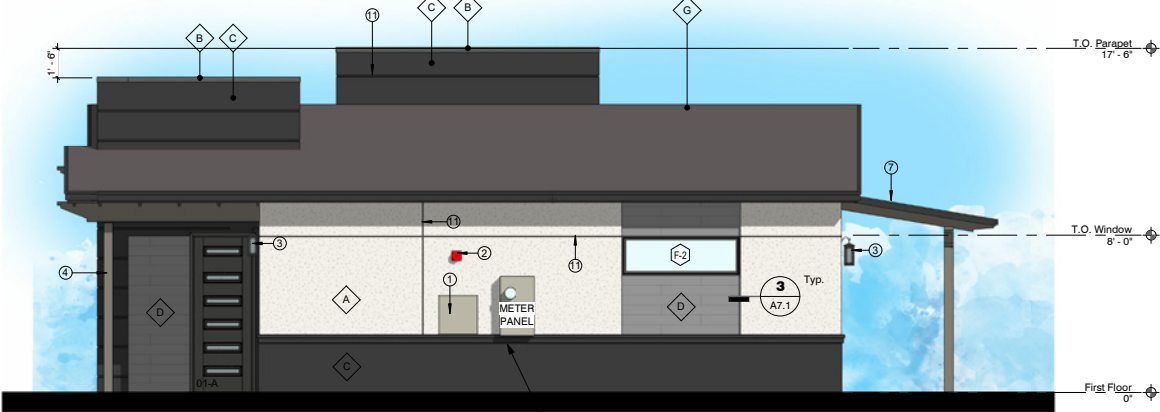
- 1 FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
- 2 FIRE ALARM BELL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
- 3 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, SEE ID, AND ELECTRICAL SHEETS
- 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
- 7 SHADE CANOPY SLOPE AWAY FROM BUILDING (MIN. 1/4" / 12')
- 8 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
- 9 THICKENED RIGID INSULATION ADDITIONAL 1-1/2" TYP WITH HORIZONTAL V REVEAL TYP
- 10 PRE-FINISHED METAL PARAPET CAP TYPICAL
- 11 STUCCO CONTROL JOINT SEE 5/A7.1
- 12 STUCCO V REVEL SEE 4/A7.1

SYNECTIC
1111 West University
Drive, Suite 104, Tempe,
AZ 85281
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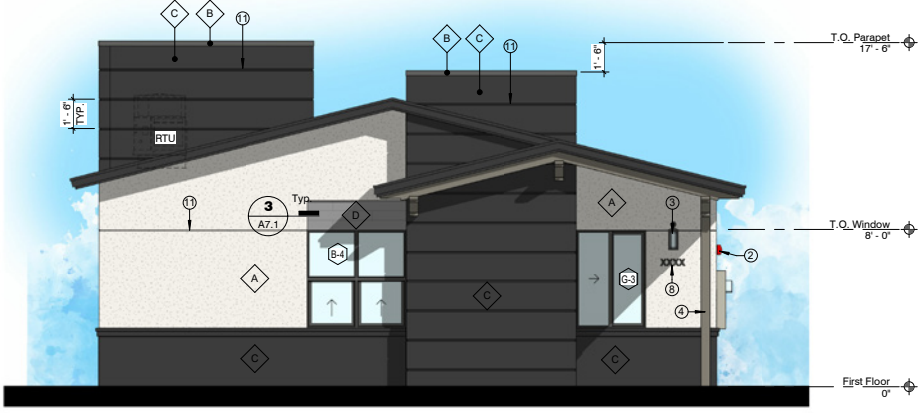
FINISH SCHEDULE EXTERIOR				
MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET017 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CR42 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS DES070 - CHARCOAL SMLUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	



4 Left Side Elevation
1/4" = 1'-0"



2 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRROING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0'

COC REQUIRED NOTES

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (B)(E)(15), ZONING CODE.
4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (B)(E)(13), ZONING CODE.
5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28

Sheet:
A3.3
EXTERIOR ELEVATIONS
UNIT TYPE B

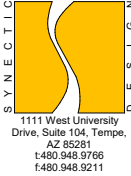


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- EXTERIOR ELEVATION GENERAL NOTES
1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY.
2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0"
- COC REQUIRED NOTES
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (8)(E)(15), ZONING CODE.
4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (8)(E)(15), ZONING CODE.
5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

FINISH SCHEDULE EXTERIOR				
MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CR42 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS - DE6370 - CHARCOAL SMUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

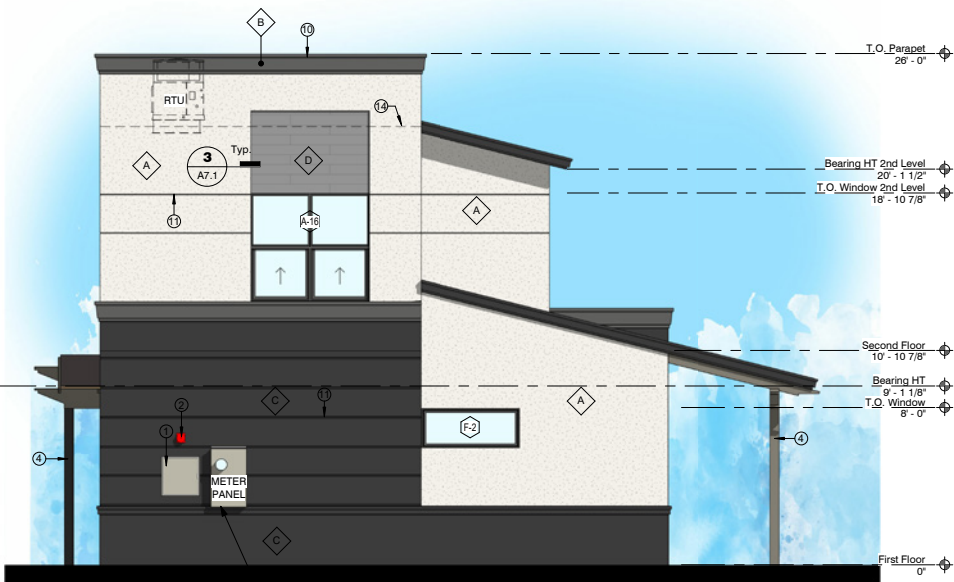
- SHEET KEYED NOTES
1. FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL.
2. FIRE ALARM BELL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL.
3. WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, SEE ID, AND ELECTRICAL SHEETS.
4. WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS.
7. SHADE CANOPY SLOPE AWAY FROM BUILDING (MIN. 1/4" / 12")
8. BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
10. PRE-FINISHED METAL PARAPET CAP TYPICAL
11. STUCCO CONTROL JOINT SEE 5/A7.1
12. STUCCO V REVEL SEE 4/A7.1
14. LINE OF ROOF BEYOND



3 Rear Elevation
1/4" = 1'-0"



2 Left Side Elevation
1/4" = 1'-0"



4 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"



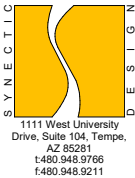
REVISIONS	

Phase: PDP
Drawn By: NYK
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-10-23
Sheet:

A3.5
EXTERIOR ELEVATIONS
UNIT TYPE C DUPLEX



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- SHEET KEYED NOTES**
- 1 FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
 - 2 FIRE ALARM BELL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
 - 3 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, SEE ID, AND ELECTRICAL SHEETS
 - 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
 - 7 SHADE CANOPY SLOPE AWAY FROM BUILDING (MIN. 1/4" / 12")
 - 8 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
 - 10 PRE-FINISHED METAL PARAPET CAP TYPICAL
 - 11 STUCCO CONTROL JOINT SEE 5/A7.1
 - 14 LINE OF ROOF BEYOND

FINISH SCHEDULE EXTERIOR				
MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DES370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CR42 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS DES370 - CHARCOAL SMUDGE	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

- EXTERIOR ELEVATION GENERAL NOTES**
1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
 2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0'

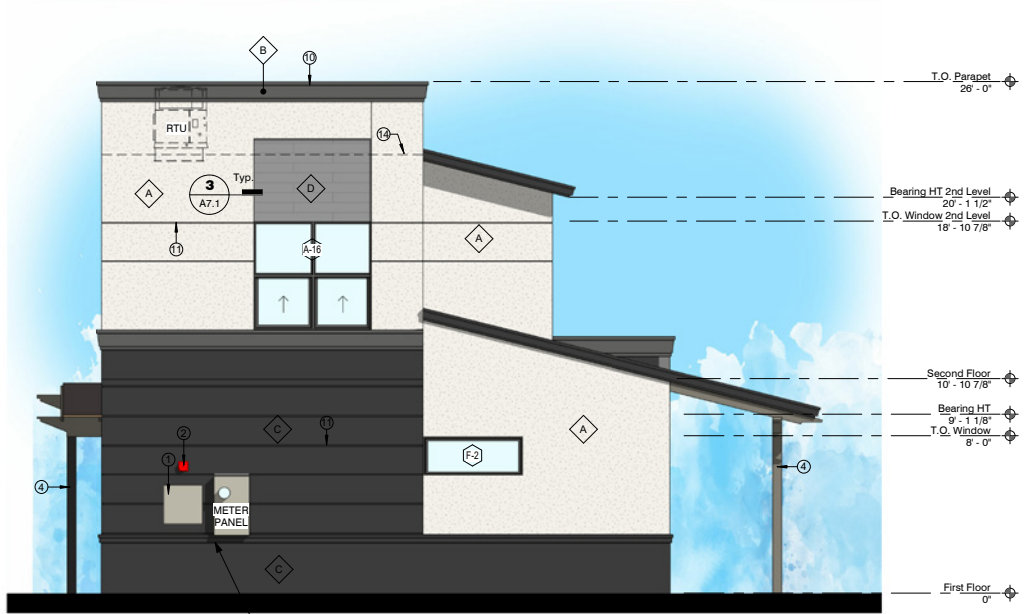
- COC REQUIRED NOTES**
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (B)(E)(15), ZONING CODE.
 4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES. EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (B)(E)13, ZONING CODE.
 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28
Sheet:

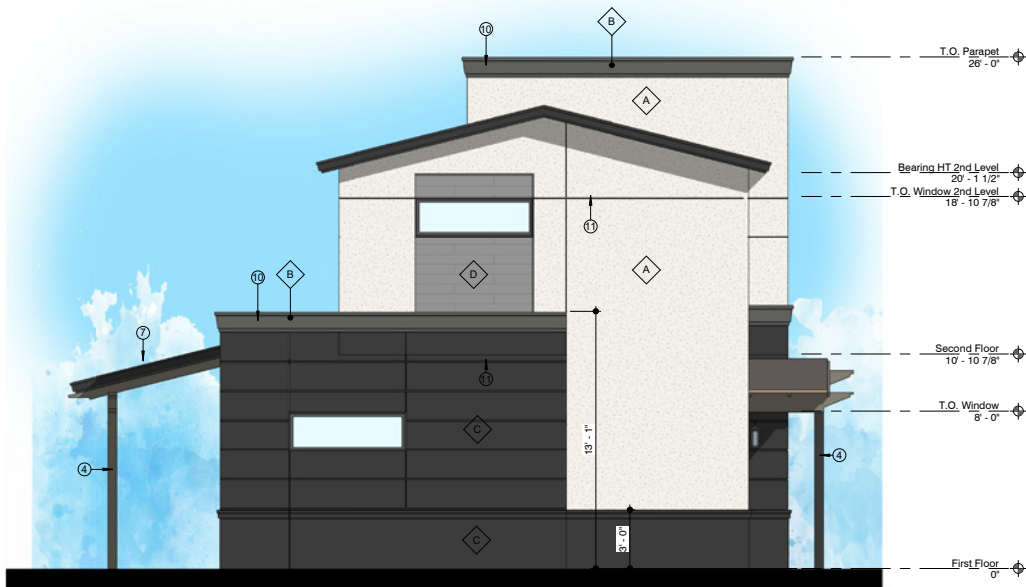
A3.5
EXTERIOR ELEVATIONS
UNIT TYPE C



4 Right Side Elevation
1/4" = 1'-0"



3 Rear Elevation
1/4" = 1'-0"



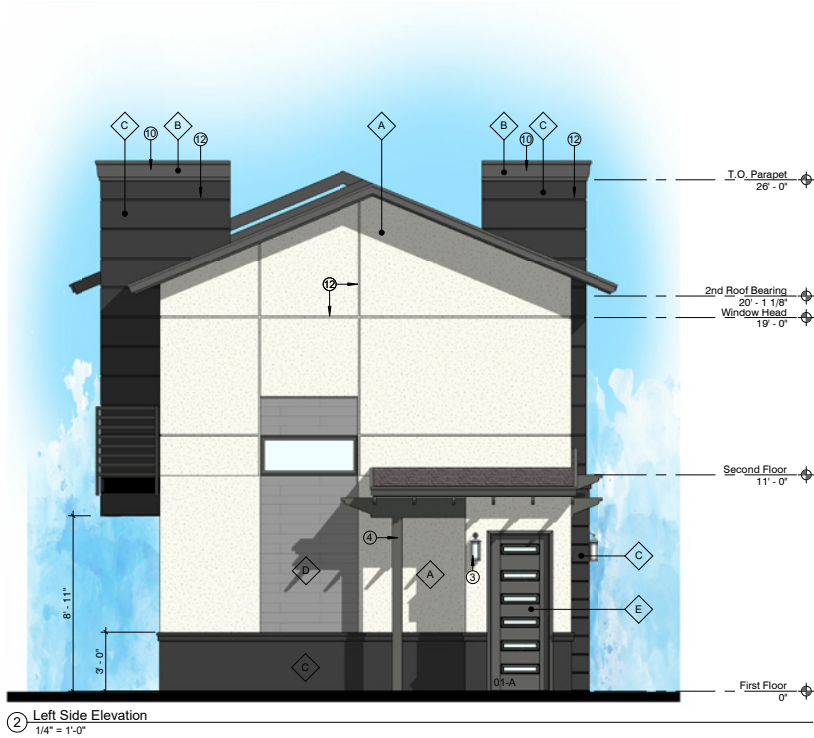
2 Left Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"



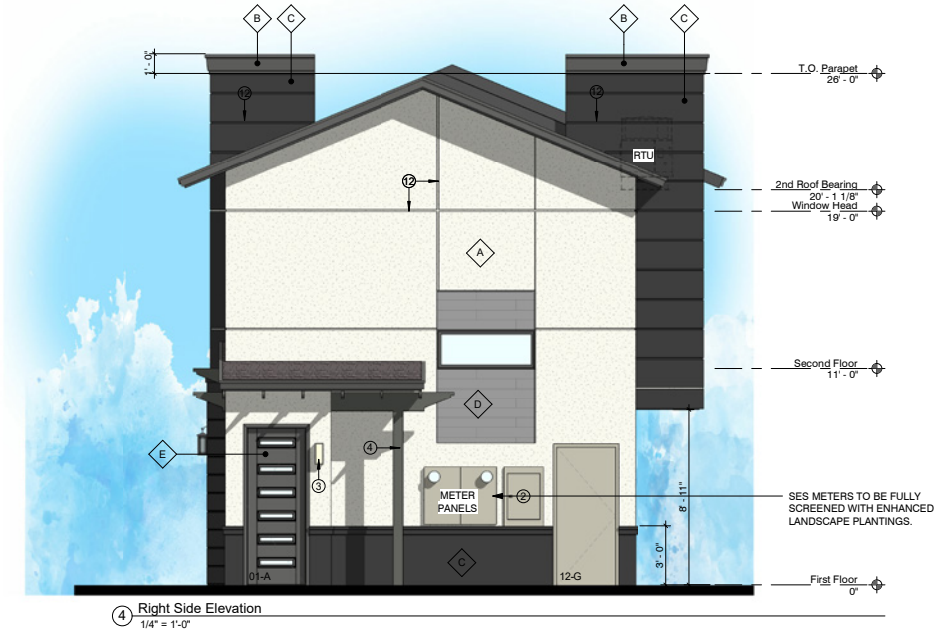
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FINISH SCHEDULE EXTERIOR				
MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CR42 - 6" x 48"	
E	DOORS AND WINDOWS	DE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
 - SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0'
 - TEMPERED GLAZING PANELS AT LOCATIONS INDICATED WITH T*

- COC REQUIRED NOTES**
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 - ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (B)(E)(15), ZONING CODE.
 - SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (B)(E)13, ZONING CODE.
 - SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



- SHEET KEYED NOTES**
- FIRE ALARM PANEL (DEFERRED SUBMITTAL)
 - WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE. SEE ID, AND ELECTRICAL SHEETS
 - STEEL COLUMN FOR SHADE CANOPY, SEE STRUCTURAL SHEETS
 - PRE-FINISHED METAL PARAPET CAP TYPICAL
 - STUCCO V REVEL SEE 4/A7.1

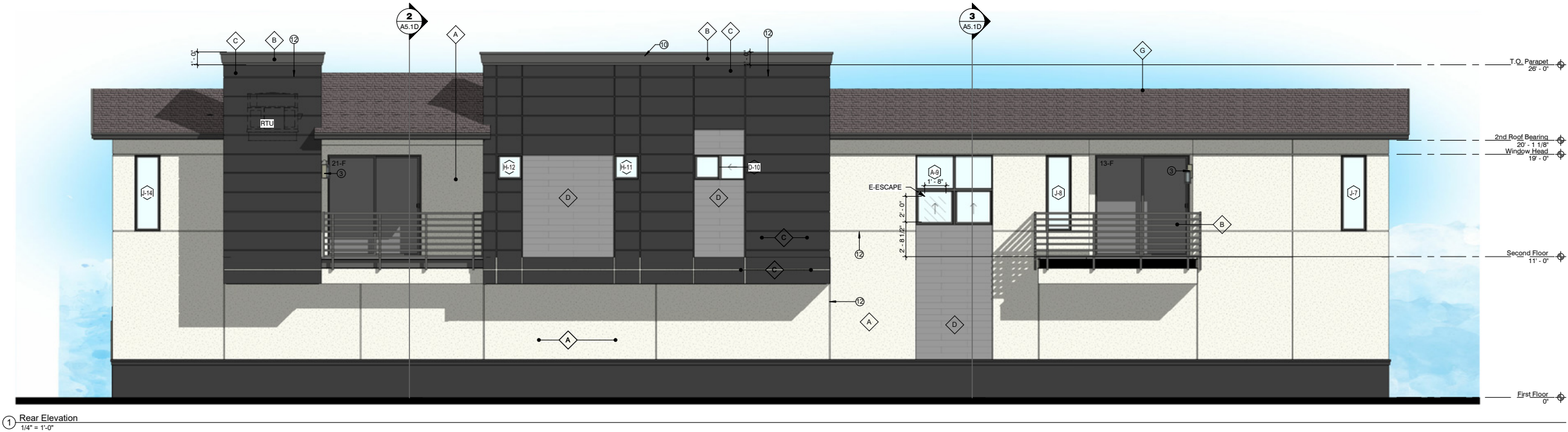
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AZ 85281
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REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28
Sheet:
A3.7
EXTERIOR ELEVATIONS
UNIT TYPE D

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SHEET KEYED NOTES

- 3 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, SEE ID, AND ELECTRICAL SHEETS
- 10 PRE-FINISHED METAL PARAPET CAP TYPICAL
- 12 STUCCO V REVEL SEE 4/A7.1

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1111 West University
Drive, Suite 104, Tempe,
AZ 85281
T:480.948.9766
F:480.948.9211

MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET817 - SAND FINISH	
B	METAL TRIM / FASCIA	TBD	METALWOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CH42 - 6" x 48"	
E	DOORS AND WINDOWS	DE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370	
F	GLAZING	TBD	CLEAR LOW-E	
G	FLAT CONCRETE ROOF TILES	EAGLE	4503 SIERRA MADRE	

EXTERIOR ELEVATION GENERAL NOTES

- 1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRRORING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
- 2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0'
- 3. TEMPERED GLAZING PANELS AT LOCATIONS INDICATED WITH T*

COC REQUIRED NOTES

- 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- 2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- 3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (B)(E)(15), ZONING CODE.
- 4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (B)(E)13, ZONING CODE.
- 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



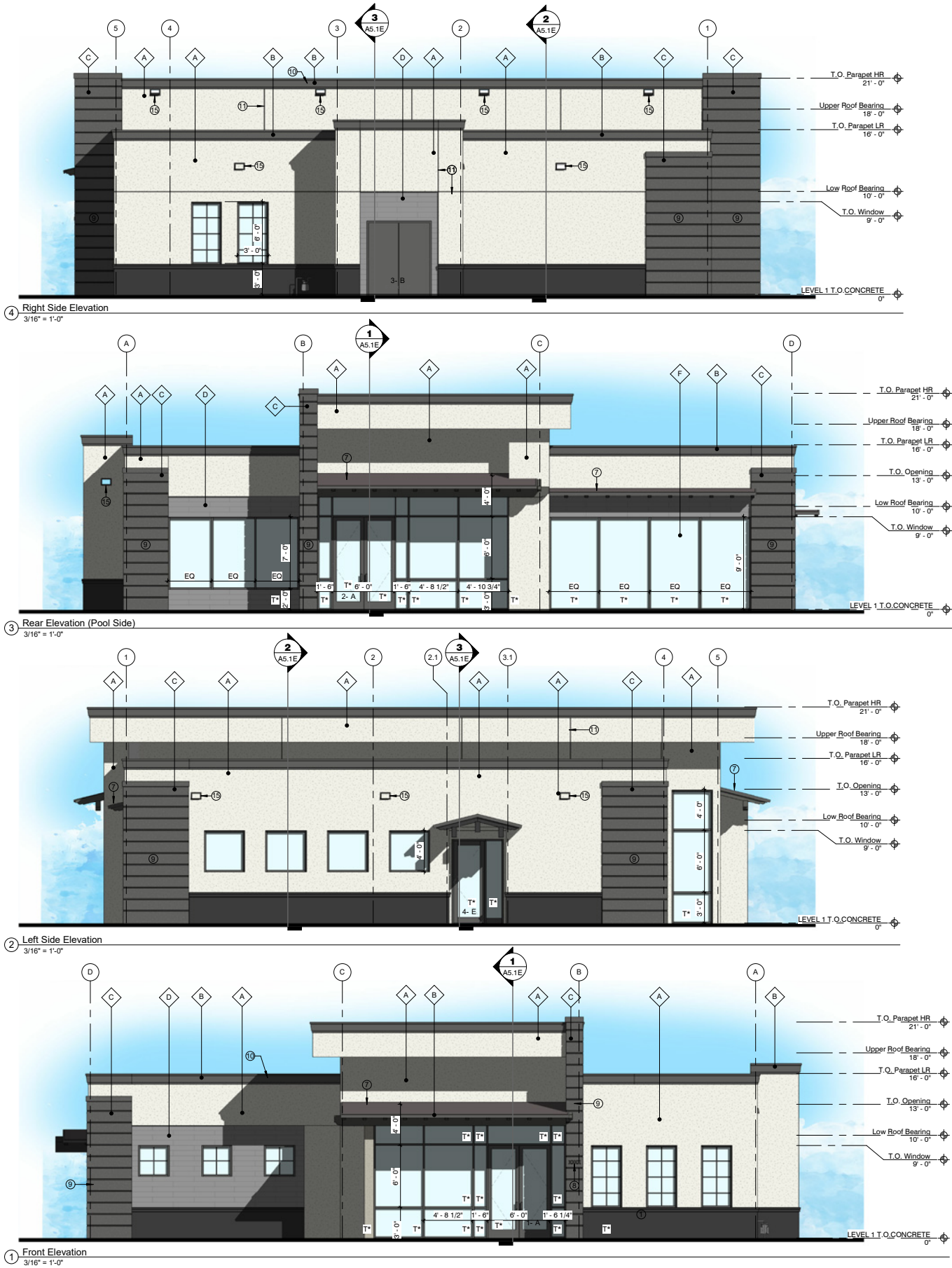
REVISIONS

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28
Sheet:

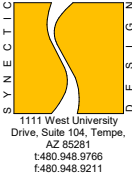
A3.8
EXTERIOR ELEVATIONS
UNIT TYPE D



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- SHEET KEYED NOTES**
- 1 FIRE DEPARTMENT CONNECTION F.D.C.
 - 7 SHADE CANOPY SLOPE AWAY FROM BUILDING (MIN. 1/4" / 12')
 - 8 BUILDING ADDRESS SEE ARCHITECTURAL SITE PLAN
 - 9 THICKEND RIGID INSULATION ADDITIONAL 1-1/2" WITH HORIZONTAL V REVEAL TYP
 - 10 PRE-FINISHED METAL PARAPET CAP TYPICAL
 - 11 STUCCO CONTROL JOINT SEE SJA7.1
 - 15 OVERFLOW SCUPPER. MATCH FINISH TO METAL PARAPET CAP



FINISH SCHEDULE EXTERIOR				
MARK	MATERIAL	MANUF.	DESCRIPTION	IMAGE
A	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - WINTER MORN DET617 - SAND FINISH	
B	METAL TRIM / FASICA	TBD	METAL WOOD BRONZE - SMOOTH	
C	STUCCO FINISH SYSTEM	QUIKRETE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370 - SAND FINISH	
D	TILE CLADDING	MARAZZI	CHATEAU RESERVE - SHADOW MOUNTAIN CRA2 - 6" x 48"	
E	DOORS, AND WINDOWS	DE	DUNN EDWARDS - CHARCOAL SMUDGE DE6370	
F	GLAZING	TBD	CLEAR LOW-E	

- EXTERIOR ELEVATION GENERAL NOTES**
- 1. SEE ARCHITECTURAL SITE PLAN FOR BUILDING ORIENTATION AND OR MIRROING. ORIENTATION SHOWN IS FOR REFERENCE ONLY
 - 2. SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION FFE=FIRST FLOOR 0'
 - 3. SEE SHEET A7.1E FOR TYPICAL STOREFRONT DETAILS
 - 4. TEMPERED GLAZING PANELS AT LOCATIONS INDICATED WITH T*

- COC REQUIRED NOTES**
- 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - 2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 - 3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (B)(E)(15), ZONING CODE.
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 - 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

Elux at McQueen
1855 S McQueen Rd
Chandler, AZ 85286



REVISIONS	

Phase: POP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28
Sheet:

A3.9
EXTERIOR ELEVATIONS
TYPE G



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SHEET KEYED NOTES

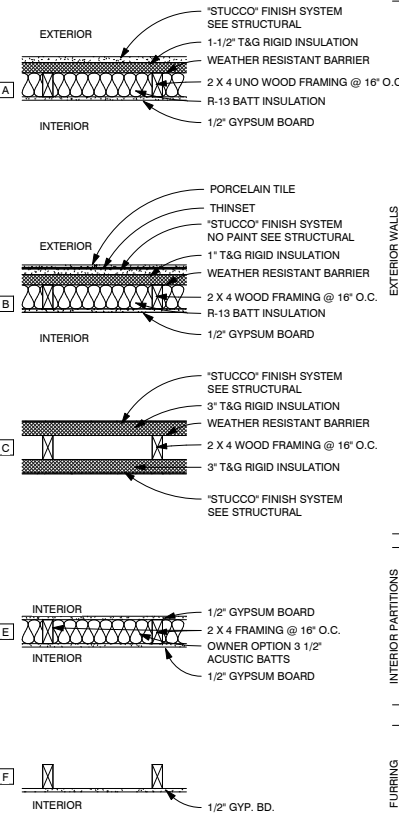
- 1 FIRE SPRINKLER EQUIPMENT ACCESS PANEL PAINT TO MATCH WALL, AT BUILDINGS DELINEATED TO BE SPRINKLERED ON SHEETS A1.11 AND A1.12. SEE FIRE SPRINKLERS / FIRE PROTECTION DEFERRED SUBMITTAL
- 4 WOOD POST FOR SHADE CANOPY WITH 1X TRIM AT TOP AND BASE CONNECTIONS, SEE STRUCTURAL SHEETS
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GENERAL PLAN NOTES:

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- 6. WH - ELECTRIC WATER HEATER, SEE ID, PLUMBING AND ELECTRICAL SHEETS
- 7. REF - REFRIGERATOR, SEE ID SHEETS
- 8. R/O HOOD - LISTED AND APPROVED RANGE TOP/OVEN AND HOOD EXHAUST VENT DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL AND ELECTRICAL SHEETS
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- 11. UC REF - REFRIGERATOR UNDERCOUNTER, SEE ID SHEETS
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1111 West University
Drive, Suite 104, Tempe,
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WALL TYPE ASSEMBLIES



WALL TYPES INDICATED ON THESE PLANS TO BE WALL TYPE 1A AT LOCATIONS INDICATED ON SHEETS A1.11 AND A1.12 FSD AND FIRE RATED PLAN

WALL NOTES:

- 1 USE 5/8\"/>

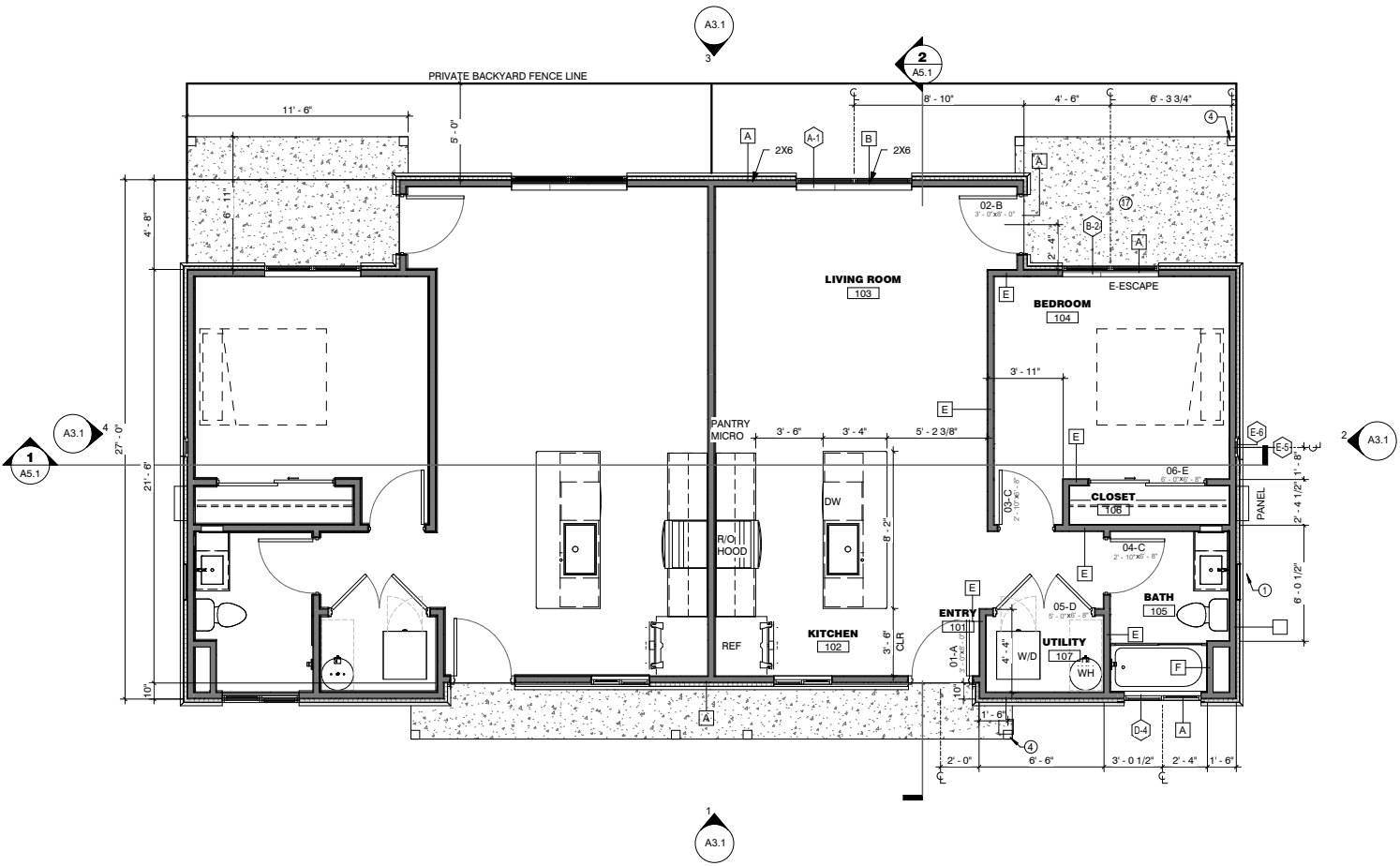


REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-10-22

Sheet:

A2.1
FLOOR PLAN
UNIT TYPE A



1 Floor Plan
1/4" = 1'-0"

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SHEET KEYED NOTES:

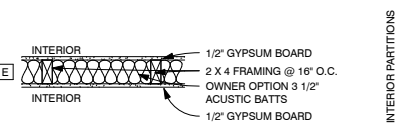
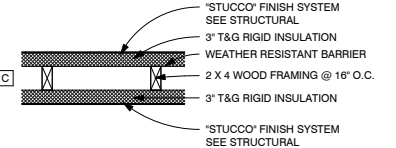
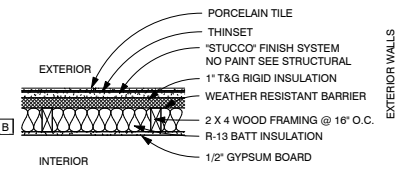
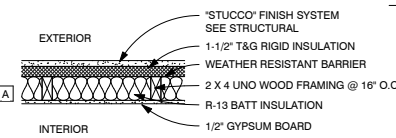
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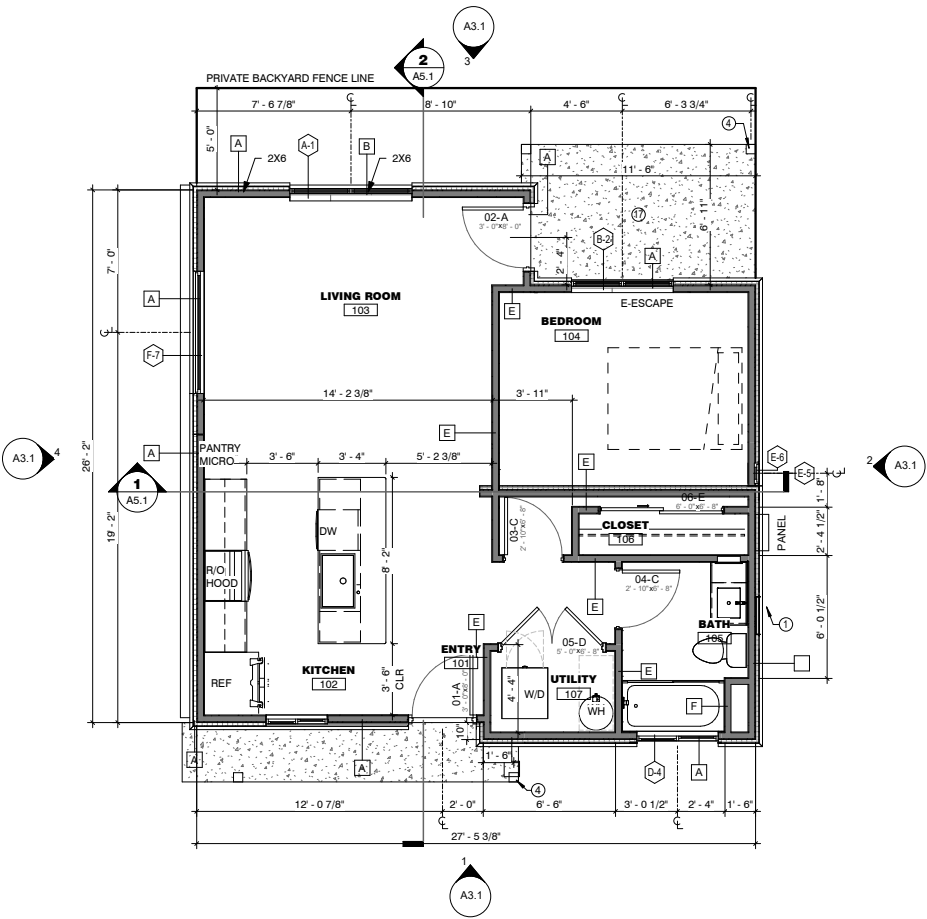
WALL TYPE ASSEMBLIES:



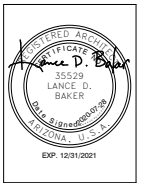
WALL TYPES INDICATED ON THESE PLANS TO BE WALL TYPE 1A AT LOCATIONS INDICATED ON SHEETS A1.11 AND A1.12 FSD AND FIRE RATED PLAN

WALL NOTES:

- 1 USE 5/8\"/>
- 2 USE 5/8\"/>
- 3 USE 1/2\"/>
- 4 PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
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1 Floor Plan
1/4\"/>



REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28

Sheet:

A2.1
FLOOR PLAN
UNIT TYPE A

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SHEET KEYED NOTES

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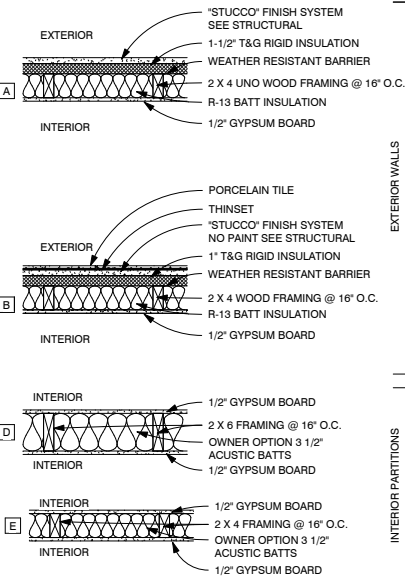
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SYNECTIC
DESIGN

1111 West University
Drive, Suite 104, Tempe,
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WALL TYPE ASSEMBLIES



WALL TYPES INDICATED ON THESE PLANS TO BE WALL TYPE 1A AT LOCATIONS INDICATED ON SHEETS A1.11 AND A1.12 FSD AND FIRE RATED PLAN



REVISIONS	

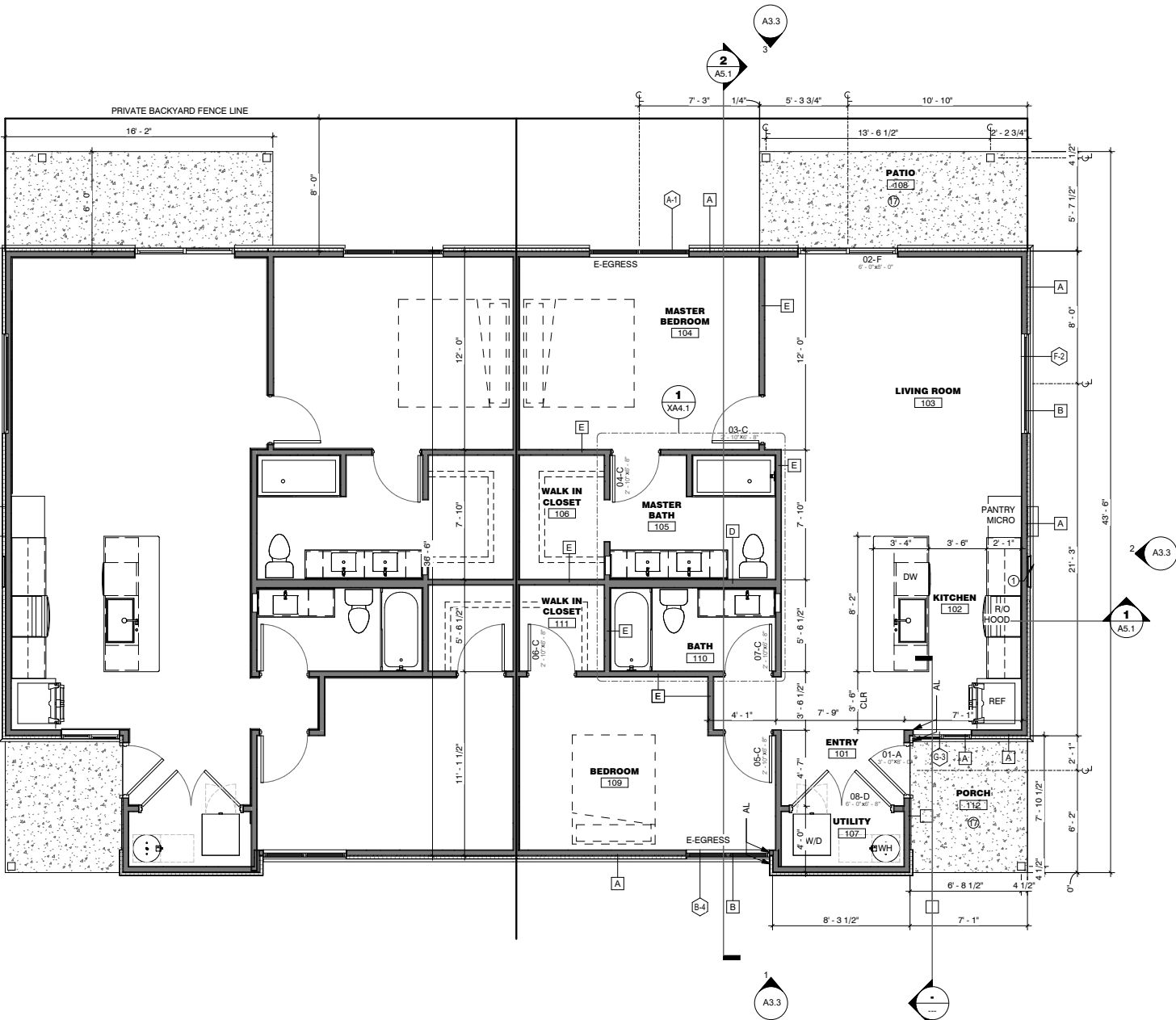
Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-10-22

Sheet:

A2.3
FLOOR PLAN
UNIT TYPE B

WALL NOTES:

- 1 USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
- 2 USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
- 3 USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
- 4 PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
- 5 PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP
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- 7 ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE IF ON CONCRETE



1 Floor Plan
1/4" = 1'-0"

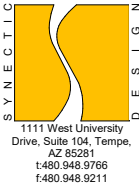
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SHEET KEYED NOTES

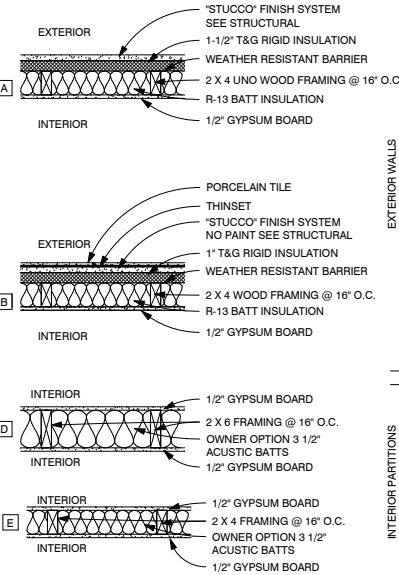
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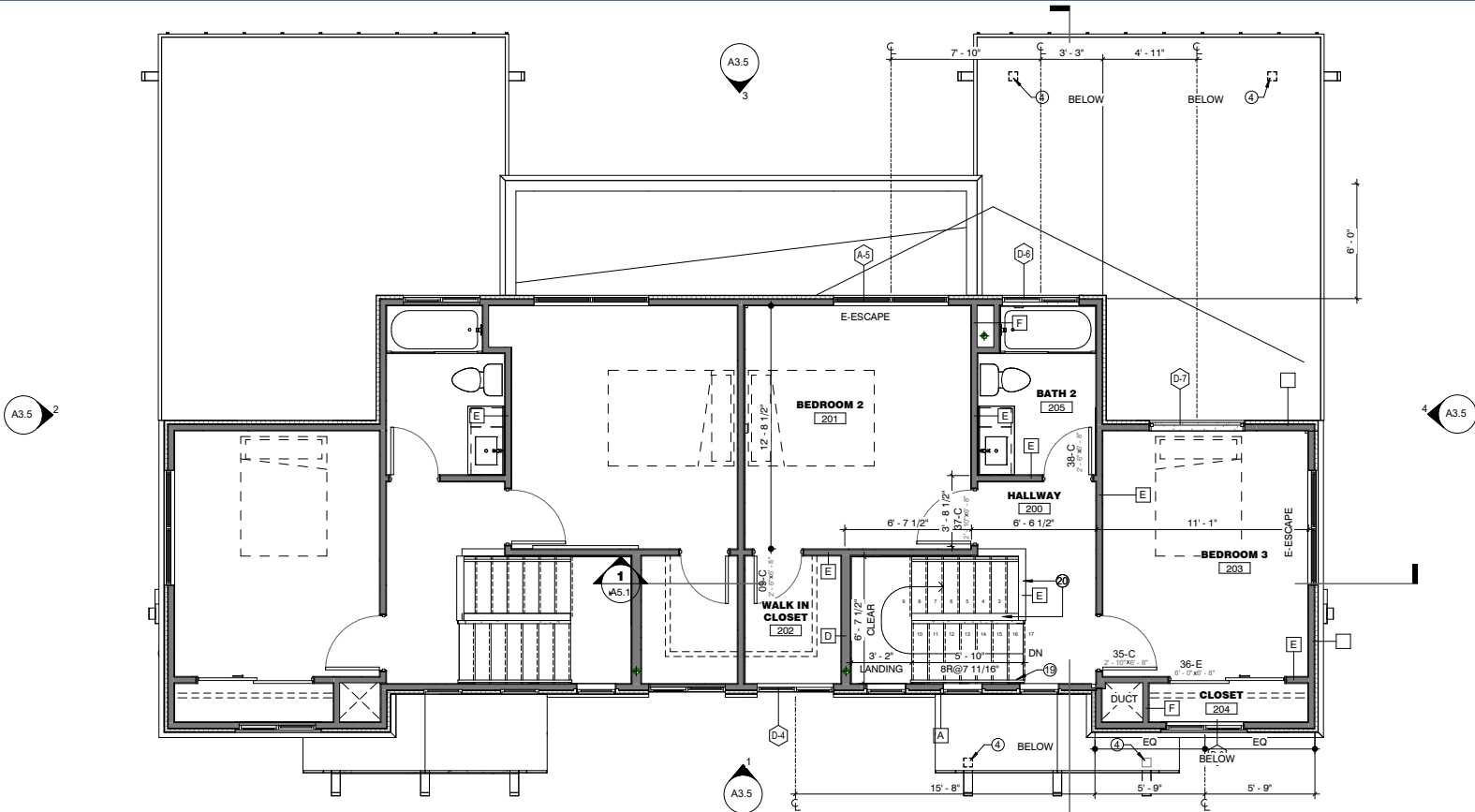
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1 Floor Plan
1/4\"/>

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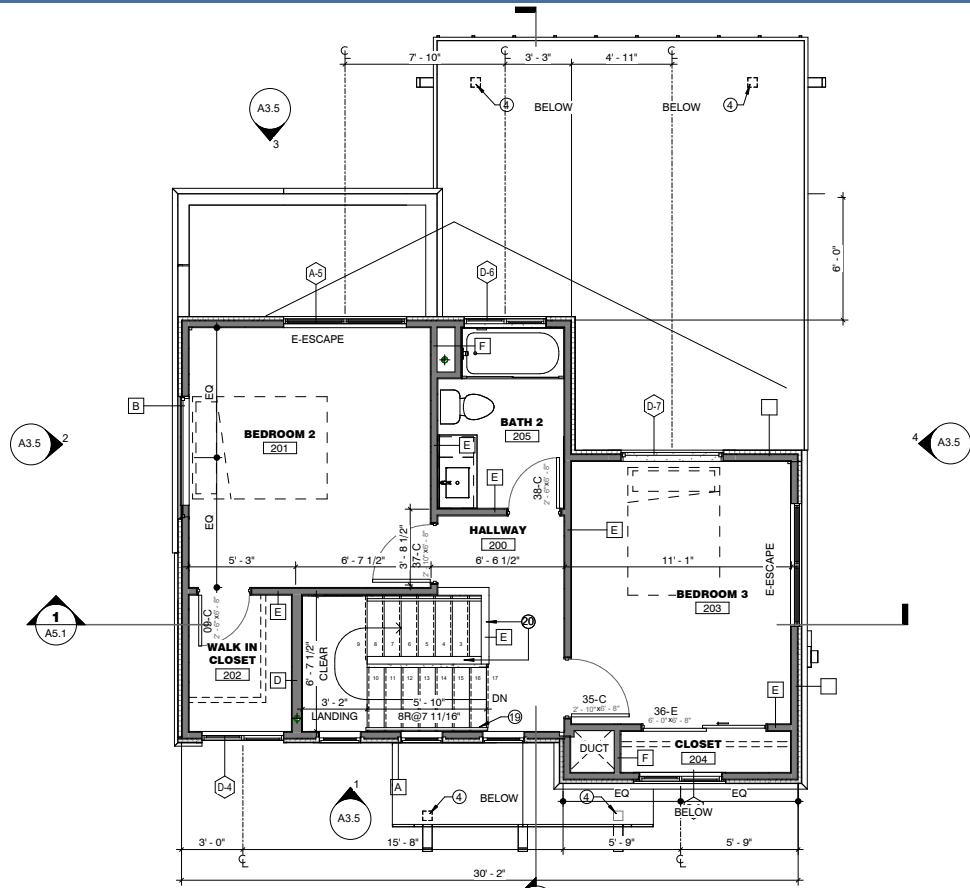
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- 20 PARTIAL HEIGHT WALL 36" AFF RAKE PARALLEL TO STAIR SLOPE WITH WOOD CAP
- 21 5/8" GYPSUM BOARD APPLIED TO UNDERSIDE OF STAIRS AND LANDING



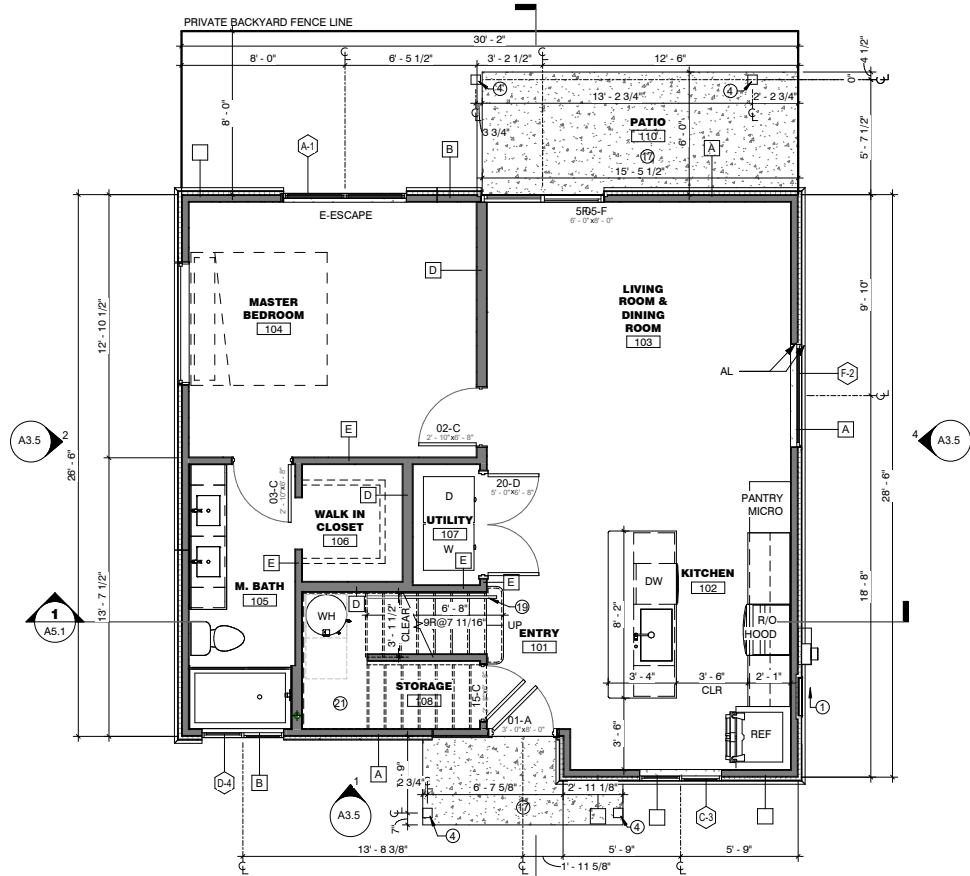
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2 Level 2 Floor Plan
1/4" = 1'-0"

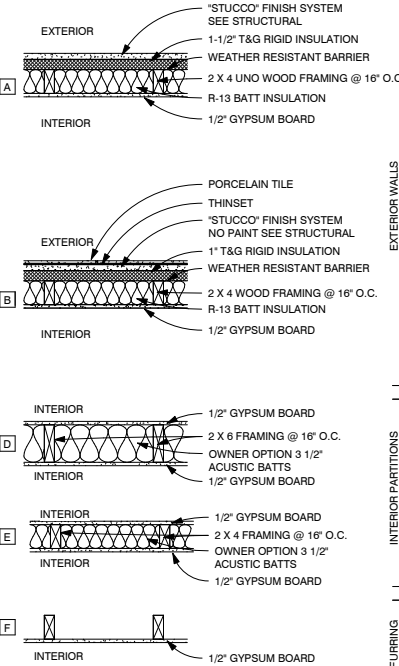


1 Level 1 Floor Plan
1/4" = 1'-0"

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11. UC REF - REFRIGERATOR UNDERCOUNTER, SEE ID SHEETS
12. W/D - WASHER / DRYER ELECTRIC STACKED, VENT DRYER DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS
13. W - WASHER SEE ID, PLUMBING AND ELECTRICAL SHEETS
14. D - DRYER ELECTRIC, VENT DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS
15. KITCHEN SINK TO BE UNDERMOUNT DISPOSAL AIR SWITCH ACTIVATED, SEE ID AND PLUMBING DRAWINGS
16. COUNTERTOPS TO BE SOLID SURFACE OR SIMILAR NON-ABSORBENT MATERIAL, SEE ID SHEETS
17. UPPER CABINET(S) LOCATIONS, SEE ID SHEETS
18. BASE CABINET(S) LOCATIONS, SEE ID SHEETS
19. CLOSET SHELF, ROD AND OR BUILT-IN SHELVING, SEE ID, SHEETS
20. RECESSED MEDICINE CABINET LOCATIONS, SEE ID, SHEETS
21. MIRROR LOCATIONS, SEE ID, SHEETS
22. BATHTUB WITH SHOWER, PROVIDE NONABSORBENT WALL SURFACE TO 6'-0" A.F.F. MINIMUM REQUIREMENT, SEE ID, AND PLUMBING SHEETS
23. SHOWER, PROVIDE NONABSORBENT WALL SURFACE TO 6'-0" A.F.F. MINIMUM REQUIREMENT, SLIDING GLASS BYPASS SHOWER DOOR WITH TEMPERED GLASS, SEE ID, AND PLUMBING SHEETS
24. SMOKE DETECTOR(S) LOCATIONS, SEE ELECTRICAL SHEETS
25. WALL MOUNTED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS
26. RECESSED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS
27. CEILING FAN AT EACH BEDROOM AND LIVING ROOM, PROVIDE REQUIRED BRACING, SEE ID, AND ELECTRICAL SHEETS

WALL TYPE ASSEMBLIES



WALL TYPES INDICATED ON THESE PLANS TO BE WALL TYPE 1A AT LOCATIONS INDICATED ON SHEETS A1.11 AND A1.12 FSD AND FIRE RATED PLAN

WALL NOTES:

1. USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
2. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
3. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
4. PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS, USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP
6. OWNER OPTION PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE IF ON CONCRETE



REVISIONS	

Phase: PDP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2020-07-28

Sheet:
A2.5
FLOOR PLANS
UNIT TYPE C

SHEET KEYED NOTES

GENERAL PLAN NOTES:

1. SEE ID DRAWING SHEETS FOR FINISH PLAN, REFLECTED CEILING PLAN, INTERIOR ELEVATIONS, FINISHES, FIXTURES, AND ADDITION INFORMATION AS NOTED.

2. SEE SHEET A8.1 FOR DOOR AND WINDOW TYPE, SIZE, AND ADDITIONAL INFORMATION.

3. METER - ELECTRICAL METER (TYPICAL LOCATION UNLESS SHOWN OTHERWISE), SEE ELECTRICAL SHEETS

4. PANEL - ELECTRICAL DISTRIBUTION PANEL (TYPICAL LOCATION UNLESS SHOWN OTHERWISE), SEE ELECTRICAL SHEETS

5. RTU - ROOF TOP HVAC UNIT CURB MOUNTED SCREENED BY PARAPET OR ATTACHED PRE-MANUFACTURED SCREEN, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS

6. WH - ELECTRIC WATER HEATER, SEE ID, PLUMBING AND ELECTRICAL SHEETS

7. REF - REFRIGERATOR, SEE ID SHEETS
8. R/O HOOD - LISTED AND APPROVED RANGE TOP/OVEN AND HOOD EXHAUST VENT DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL AND ELECTRICAL SHEETS

9. MICRO - MICROWAVE, SEE ID SHEETS

10. DW - DISHWASHER, SEE ID SHEETS

11. UC REF - REFRIGERATOR UNDERCOUNTER, SEE ID SHEETS

12. W/D - WASHER / DRYER ELECTRIC STACKED, VENT DRYER DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS

13. W - WASHER SEE ID, PLUMBING AND ELECTRICAL SHEETS

14. D - DRYER ELECTRIC, VENT DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS

15. KITCHEN SINK TO BE UNDERMOUNT DISPOSAL AIR SWITCH ACTIVATED, SEE ID AND PLUMBING DRAWINGS

16. COUNTERTOPS TO BE SOLID SURFACE OR SIMILAR NON-ABSORBENT MATERIAL, SEE ID SHEETS

17. UPPER CABINET(S) LOCATIONS, SEE ID SHEETS
18. BASE CABINET(S) LOCATIONS, SEE ID SHEETS

19. CLOSET SHELF, ROD AND OR BUILT-IN SHELVING, SEE ID, SHEETS

20. RECESSED MEDICINE CABINET LOCATIONS, SEE ID, SHEETS

21. MIRROR LOCATIONS, SEE ID, SHEETS

22. BATHTUB WITH SHOWER, PROVIDE NONABSORBENT WALL SURFACE TO 6'-0" A.F.F. MINIMUM REQUIREMENT, SEE ID, AND PLUMBING SHEETS

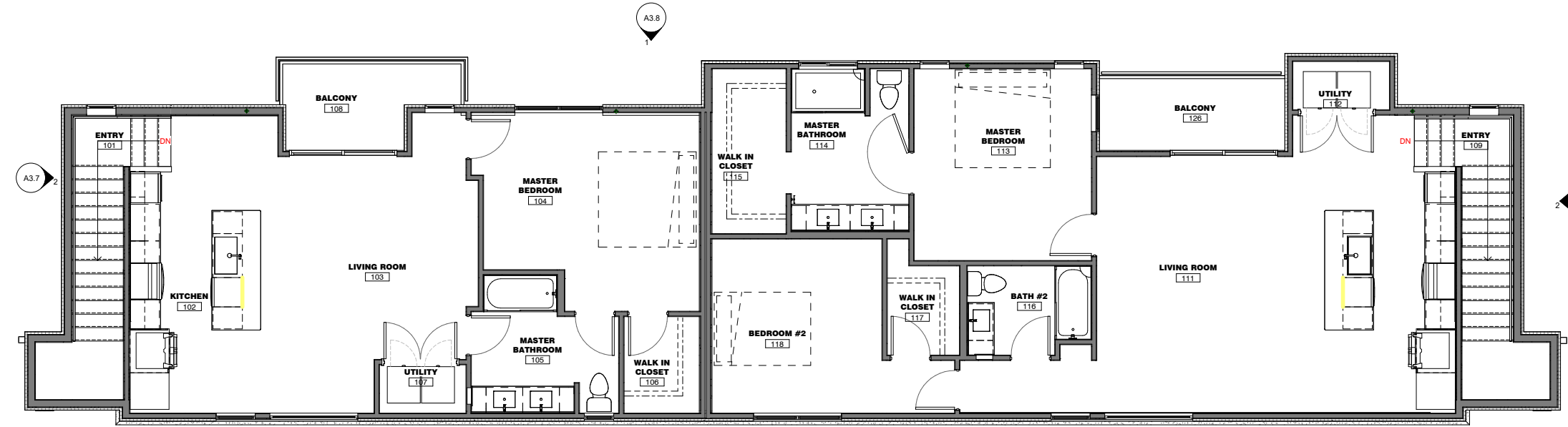
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24. SMOKE DETECTOR(S) LOCATIONS, SEE ELECTRICAL SHEETS

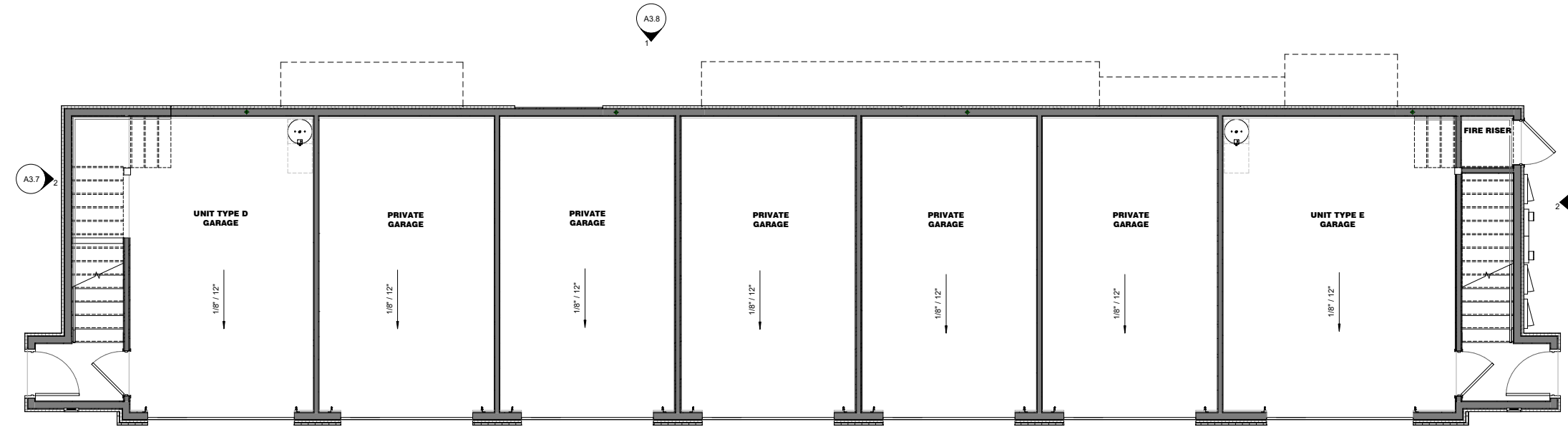
25. WALL MOUNTED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS

26. RECESSED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS

27. CEILING FAN AT EACH BEDROOM AND LIVING ROOM, PROVIDE REQUIRED BRACING, SEE ID, AND ELECTRICAL SHEETS

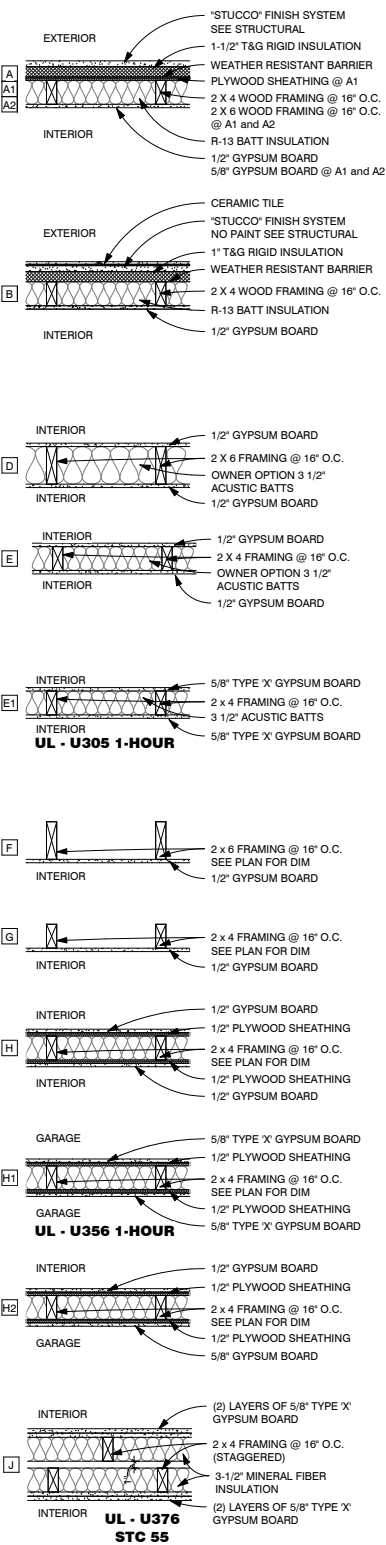


UNIT D and E Level 2 Floor Plan
1/4" = 1'-0"



UNIT D and E Level 1 Floor Plan
1/4" = 1'-0"

WALL TYPE ASSEMBLIES



- NOTES:
1. USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS

2. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS

3. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS

4. PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES

5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP

6. PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS

7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

SYNCTIC
1111 West University
Drive, Suite 104, Tempe,
AZ 85281
t:480.948.9766
f:480.948.9211

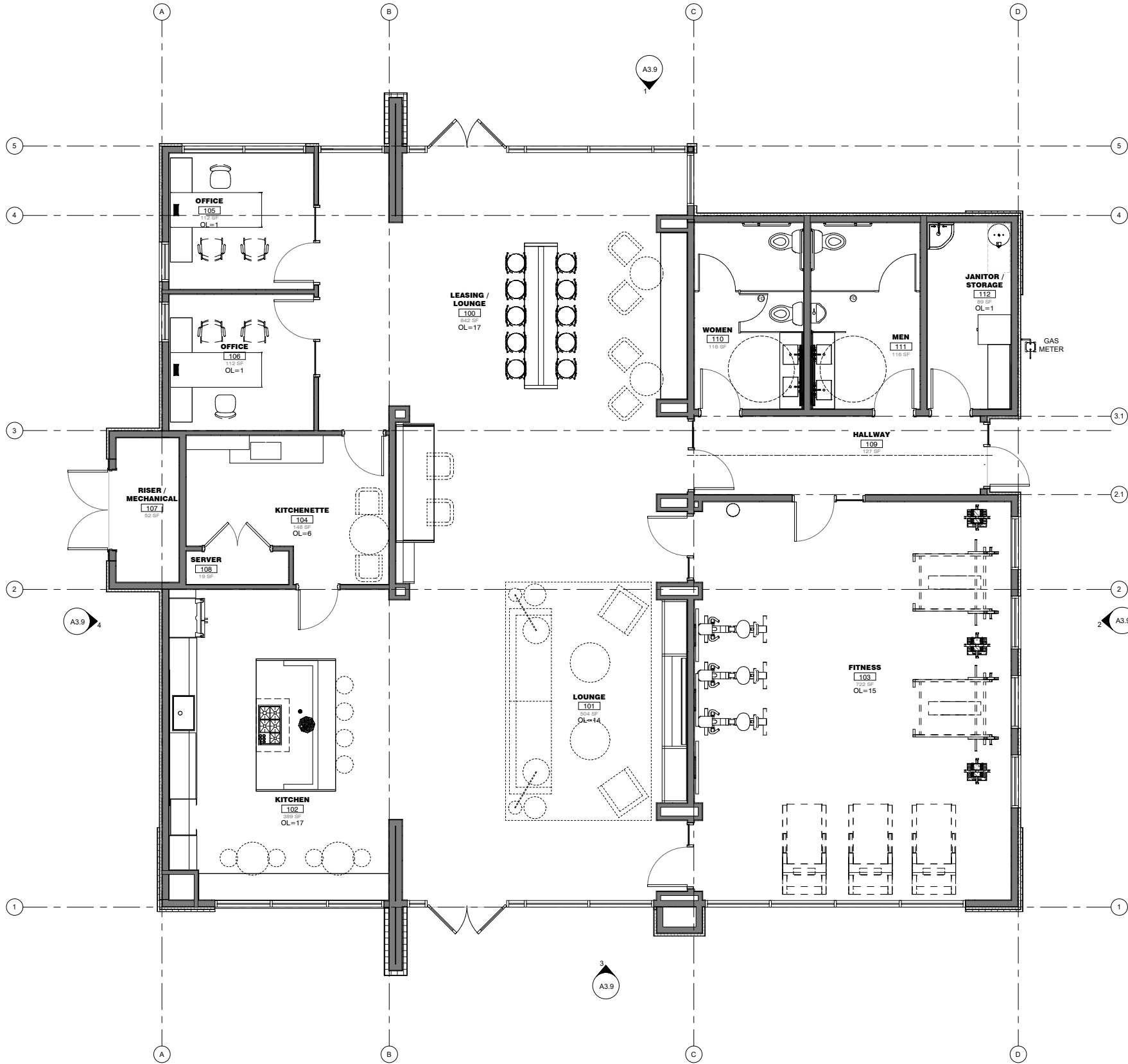
REVISIONS	

Phase: POP
Drawn By: BLB
Reviewed By: LDB
SDI Project No: 4014
Date: 2019-11-11
Sheet:

A2.7
FLOOR PLANS
UNIT TYPE D

This drawing is the property of Synectic Design Incorporated, 688 W. 1st Street, Suite #3, Tempe AZ, 85281, 480.948.9766. This drawing is limited to the original use for which it was prepared. Changes, reproductions, or assigning to any third party of this drawing for any other use is not permitted without written consent of Synectic Design Incorporated. C 2015

OCCUPANT LOAD:	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
BUSINESS			
RM 105 - OFFICE	112	150 GROSS	0.75
RM 106 - OFFICE	112	150 GROSS	0.75
ASSEMBLY (UNCONCENTRATED)			
RM 100 - LEASING/LOUNGE	250	15 NET	16.7
RM 101 - LOUNGE	205	15 NET	13.7
RM 102 - KITCHEN	250	15 NET	16.7
RM 104 - KITCHENETTE	85	15 NET	5.6
FITNESS			
RM 103 - FITNESS	722	50 GROSS	14.4
ACCESSORY AREA			
RM 112 - JANITOR/STORAGE	89	300 GROSS	0.30
TOTAL			68.9

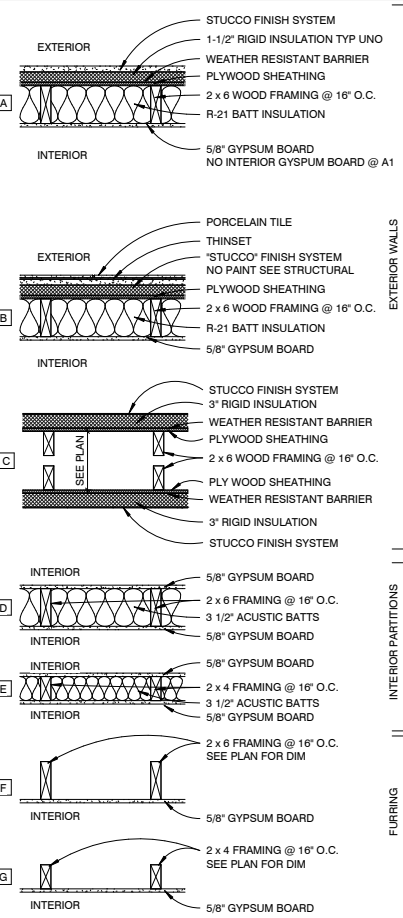


SHEET KEYED NOTES

GENERAL PLAN NOTES:

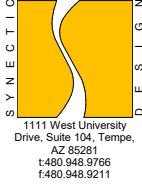
- SEE ID DRAWING SHEETS FOR FINISH PLAN, REFLECTED CEILING PLAN, INTERIOR ELEVATIONS, FINISHES, FIXTURES, BUILT-IN, AND ADDITION INFORMATION AS NOTED.
- SEE SHEET A8.1 FOR DOOR AND WINDOW TYPE, SIZE, AND ADDITIONAL INFORMATION
- METER - ELECTRICAL METER (TYPICAL LOCATION UNLESS SHOWN OTHERWISE), SEE ELECTRICAL SHEETS
- PANEL - ELECTRICAL DISTRIBUTION PANEL (TYPICAL LOCATION UNLESS SHOWN OTHERWISE), SEE ELECTRICAL SHEETS
- GAS METER - GAS METER, SEE PLUMBING SHEETS
- RTU - ROOF TOP HVAC UNIT CURB MOUNTED SCREENED BY PARAPET OR ATTACHED PRE-MANUFACTURED SCREEN, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS
- WH - ELECTRIC WATER HEATER, SEE ID, PLUMBING AND ELECTRICAL SHEETS
- REF - REFRIGERATOR, SEE ID SHEETS
- COOKTOP & HOOD - LISTED AND APPROVED RANGE TOP/OVEN AND HOOD EXHAUST VENT DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL AND ELECTRICAL SHEETS
- MICRO - MICROWAVE, SEE ID SHEETS
- DW - DISHWASHER, SEE ID SHEETS
- WALL OVENS, SEE ID SHEETS
- W/D - WASHER / DRYER ELECTRIC STACKED, VENT DRYER DIRECTLY TO EXTERIOR, SEE ID, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS
- UPPER CABINET(S) LOCATIONS, SEE ID SHEETS
- BASE CABINET(S) LOCATIONS, SEE ID SHEETS
- BUILT-IN SHELVING, SEE ID, SHEETS
- MIRROR LOCATIONS, SEE ID, SHEETS
- SMOKE DETECTORS LOCATIONS, SEE ELECTRICAL SHEETS
- WALL MOUNTED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS
- RECESSED LIGHT FIXTURE LOCATIONS, SEE ID, AND ELECTRICAL SHEETS
- CEILING FANS IN FITNESS ROOM, PROVIDE REQUIRED BRACING, SEE ID, AND ELECTRICAL SHEETS
- SEE EXTERIOR ELEVATIONS FOR STOREFRONT SIZING

WALL TYPE LEGEND



NOTES:

- USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
- USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
- USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
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- PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
- ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

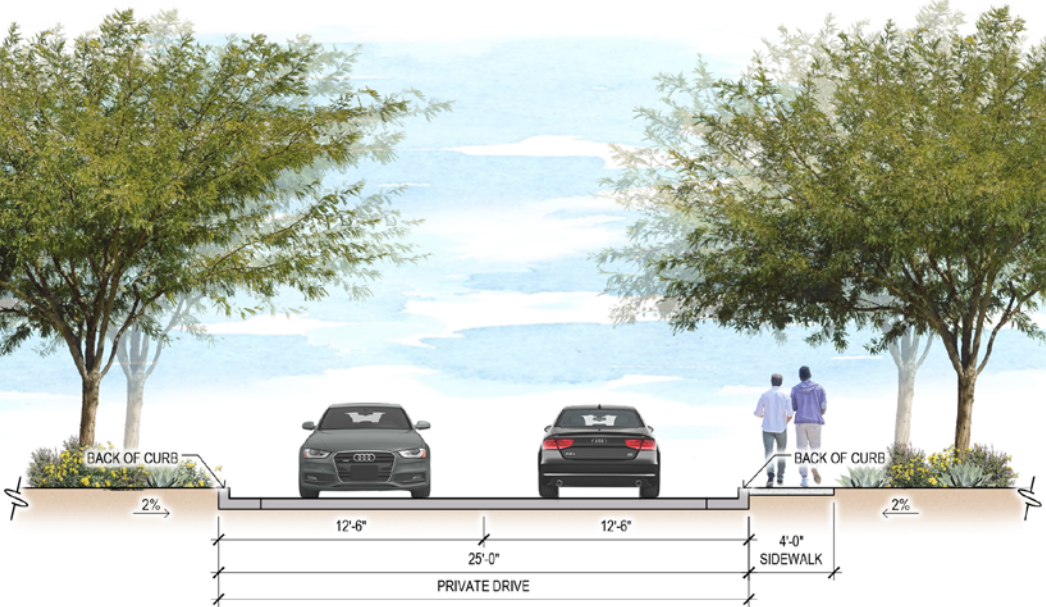


ELEVATIONS & FLOOR PLANS

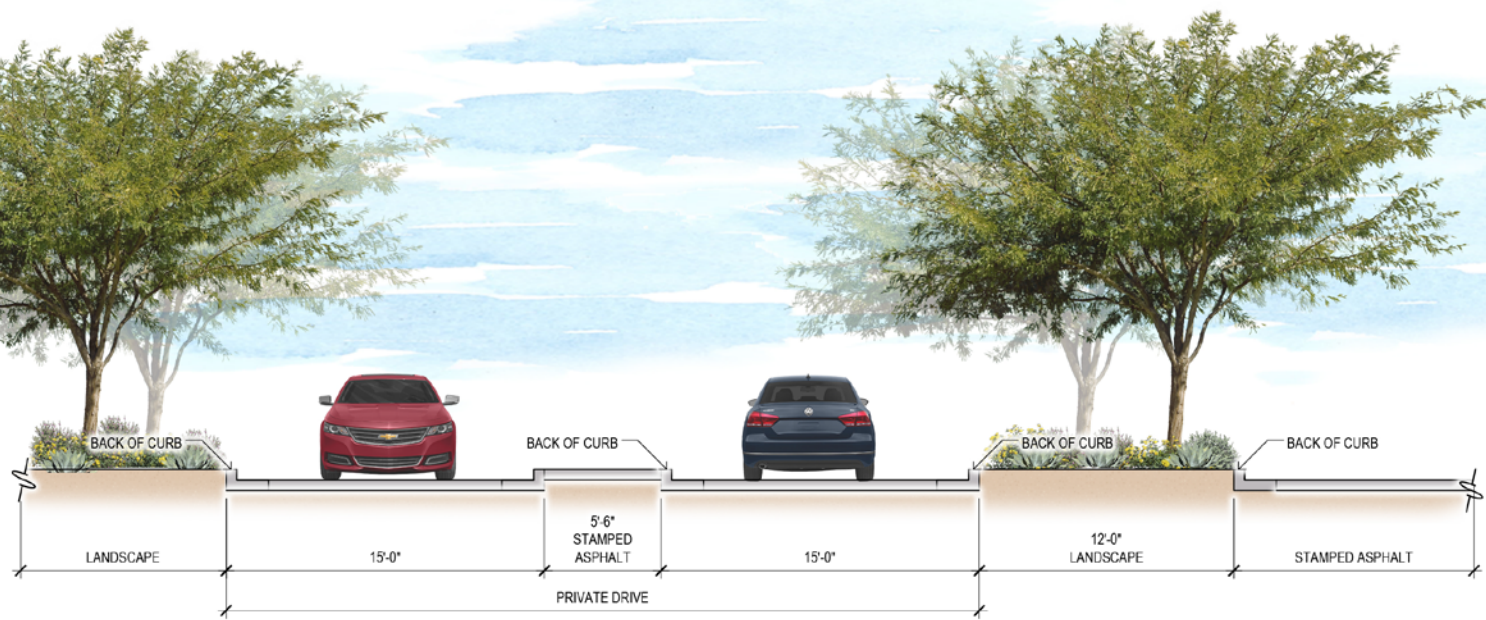
1 Clubhouse and Leasing Office Floor plan
1/4" = 1'-0"

REVISIONS	
Phase:	PDP
Drawn By:	BLB
Reviewed By:	LDB
SDI Project No:	4014
Date:	2019-11-11
Sheet:	
A2.8	FLOOR PLAN TYPE G

A DRIVE AISLE
SCALE: 1/4"=1'-0"



B ENTRY DRIVE
SCALE: 1/4"=1'-0"



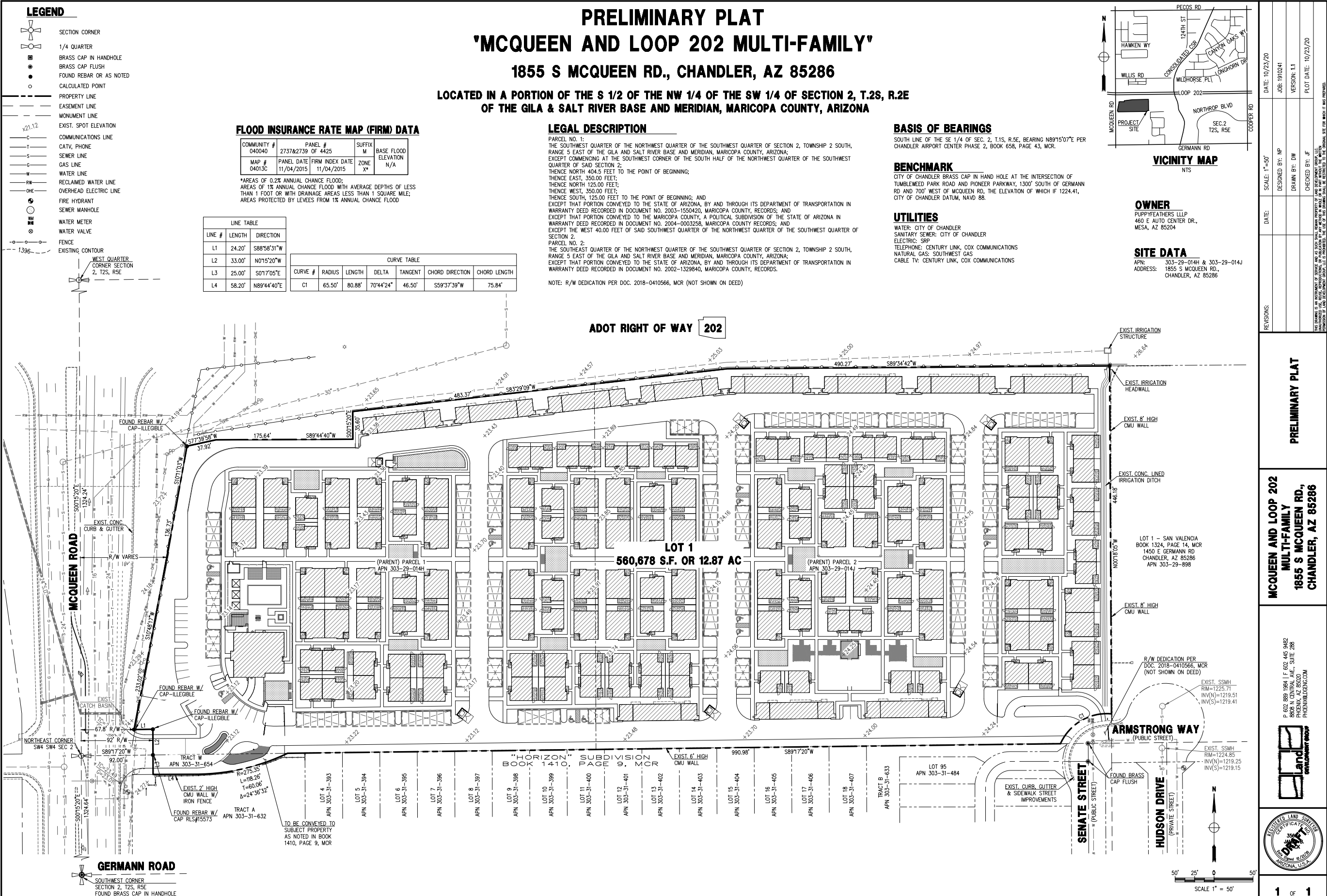
S MCQUEEN ROAD

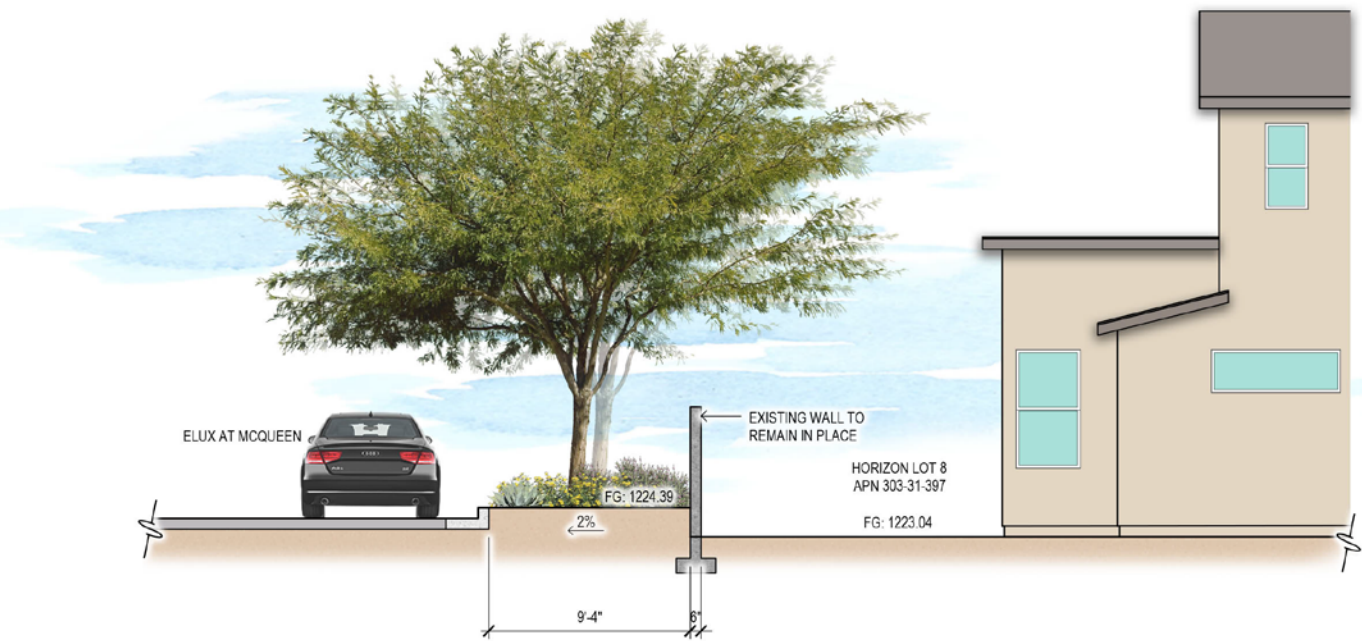
202 SANTAN FWY

PARKING			
TOTAL		REQUIRED	PROVIDED
●	COVERED	162	184
●	UNCOVERED	85	13
●	GUEST	40	40
●	GARAGE	NA	77
●	ADA ACCESSIBLE	13	13
TOTAL PARKING		300	327
●	TRASH ENCLOSURE		6

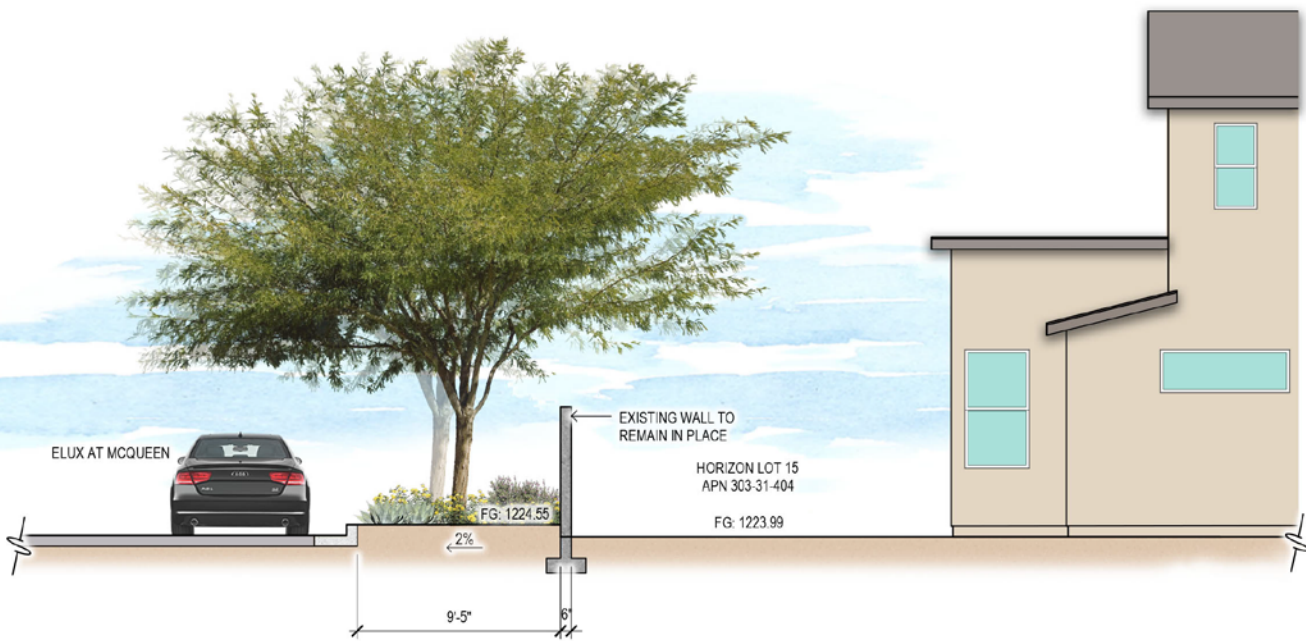




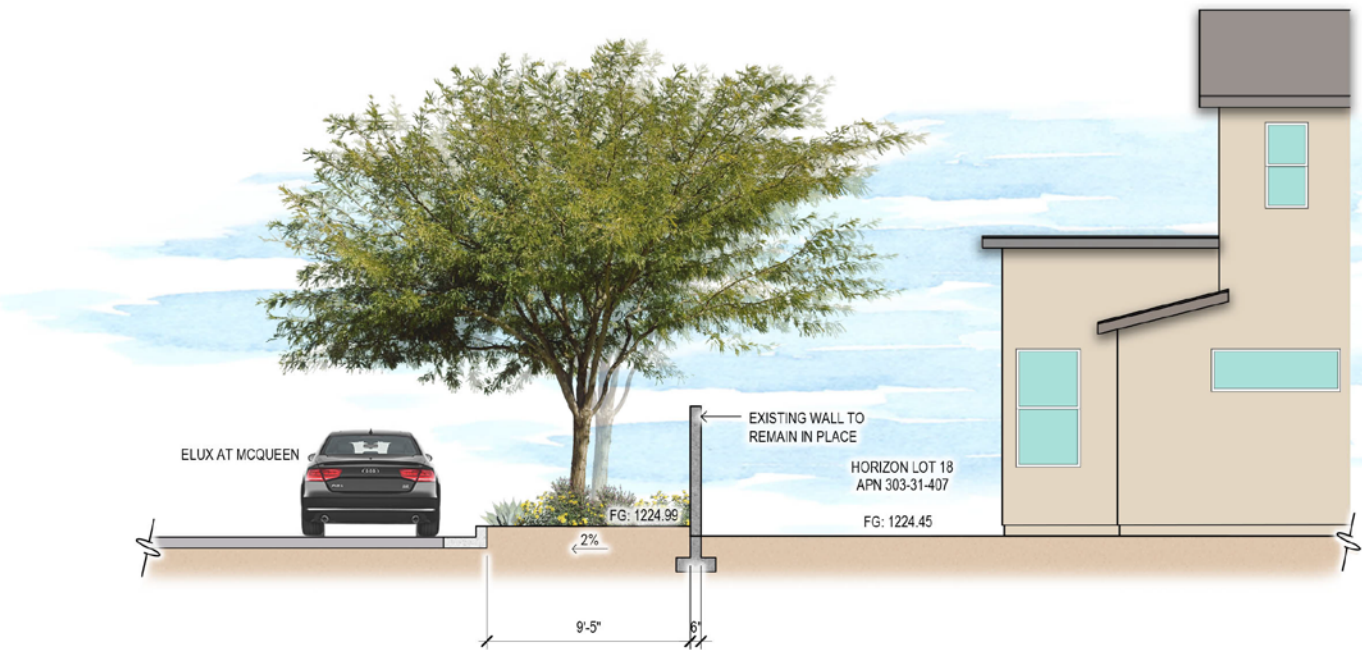




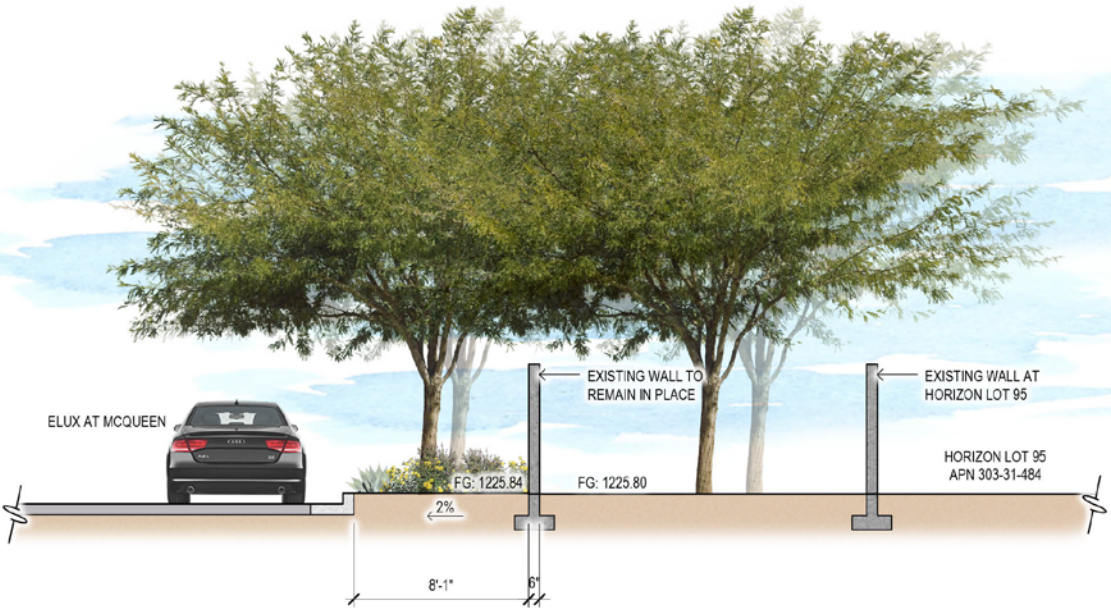
A Section
SCALE: 1/4"=1'-0"



B Section
SCALE: 1/4"=1'-0"



C Section
SCALE: 1/4"=1'-0"



D Section
SCALE: 1/4"=1'-0"

*REFER TO DEVELOPMENT PLAN (EXHIBIT E) FOR SECTION LOCATIONS



NOTICE OF COUNCIL ACTION CITY OF CHANDLER, ARIZONA

APPLICANT:

Burch & Cracchiolo
1850 N. Central Avenue, Suite 1700
PHOENIX, AZ 85
ATT: Brennan Ray

CASE: PLH19-0063/PLT19-0055 ELUX AT MCQUEEN

MEETING DATE: THURSDAY FEBRUARY 25, 2021

APPROVAL



REZONING



AG-1 to PAD for Multi-family Residential

DENIAL



AREA PLAN



WITHDRAWAL



VARIANCE



CONTINUED



USE PERMIT



**PRELIMINARY
DEVELOPMENT PLAN**



**PRELIMINARY
PLAT**



Approval for site layout & building architecture

INTRODUCTION OF ORDINANCE NO. 4958

REZONING SUBJECT TO THE FOLLOWING CONDITIONS:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The multi-family apartment manager shall display, in a conspicuous place within the rental office, a map illustrating the location of the development Elux at McQueen in the context of the Chandler Airpark Area Plan. The map shall identify the Airport Impact Overlay District, the noise contours and over flight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by Chandler City Council (Resolution No. 2590, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan. Such map or aerial photo shall be a minimum size of 24" x 36". Compliance with this condition shall be demonstrated by the property owner or multifamily apartment manager submitting to the Zoning Administrator of a signed affidavit and photograph that acknowledges such map is on display prior to beginning any rental activity.
3. Prior to execution of any lease, prospective apartment tenants shall be given written disclosure in their lease and in a separately signed disclosure statement acknowledging that this apartment community is located proximate to the Chandler Municipal Airport that includes a heliport, aircraft engine testing facility, and an aircraft storage facility, that an avigational easement exists on the property, the property lies within the Chandler Municipal Airport Impact Overlay District, and that the property is subject to aircraft noise and over flight activity. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and is recorded with the Maricopa County Recorder prior to issuance of the first building permit for this development.
4. The developer shall provide the city with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
5. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.
6. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and frequent over flight activity, and is encumbered by an avigational easement to the City of Chandler."
7. All leases at Elux at McQueen shall provide that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of Elux at McQueen development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All leases shall also provide that it shall be within the sole and absolute discretion of the manager of Elux at McQueen (and not the tenant) to determine (after the manager's due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information known to Elux at McQueen's

Manager) whether or not, when, and how to communicate any tenants question, concern, or complain to the manager of the Chandler Municipal Airport.

8. All apartment buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
9. In the event the multi-family residential is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
10. Multi-family dwelling units shall be permitted up to a maximum density of 12.6 dwelling units per acre.
11. The developer shall be responsible for the design and installation of a traffic signal at the intersection of McQueen Road and Armstrong Way during the initial phase of construction.
12. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
13. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
14. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.

15. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
McQueen Road	50'
North Property Line	10'
East Property Line	10'
South Property Line	35'

APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Elux at McQueen" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0063, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Landscaping plans (including for open spaces, retention, rights-of-way, and street medians) shall be approved by the Planning Administrator.
3. All mechanical equipment, including HVAC, utility meters, etc. shall be screened from view by material(s) that are architecturally integrated and consistent with the proposed buildings.
4. Signage shall substantially be as shown within the submitted Development Booklet and shall follow all applicable criteria of the City of Chandler Sign Code.
5. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
6. The site shall be maintained in a clean and orderly manner.
7. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
8. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
9. Roadway-style signs shall be installed at multiple locations as depicted in the development booklet that identify the presence of low flying aircraft.

10. The developer shall coordinate with staff to provide a tot lot.
11. The developer shall coordinate with staff to provide an appropriate number of electric charging stations.
12. The developer shall coordinate with staff to provide color diversity throughout the development by incorporating an additional color.

APPROVAL OF THE PRELIMINARY PLAT SUBJECT TO THE FOLLOWING CONDITION:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.



City Council Memorandum Development Services Memo No. N/A

Date: March 22, 2021
To: Mayor and Council
From: Development Services Department
Subject: Study Session and Regular Meeting Minutes of January 20, 2021, Planning and Zoning Commission Meeting

Attachments

Study Session Minutes January 20, 2021
Regular Meeting Minutes January 20, 2021

STUDY SESSION MINUTES OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF CHANDLER, ARIZONA January 20, 2021, held in the City Council Chambers, 88 E. Chicago Street.

1. **CALL TO ORDER / ROLL CALL**

CHAIRMAN HEUMANN called the study session to order at 5:01pm

The following Commissioners answered Roll Call:

Chairman Rick Heumann

Vice Chairman David Rose

Commissioner Robert Klob

Commissioner Michael Flanders

Commissioner George Kimble

Commissioner Gregg Pekau

Commissioner Matt Eberle

Absent:

Also, present:

Mr. Kevin Mayo, Planning Administrator

Mr. David de la Torre, Planning Manager

Ms. Susan Fiala, Senior City Planner

Mr. Thomas Allen, Assistant City Attorney

Ms. Catherine Flores, Clerk

2. **AGENDA ITEMS:**

A. PLH20-0033, PLH20-0034 CHANDLER LA PAGLIA HIGH SCHOOL SEMINARY AND PROFESSIONAL OFFICES

Request area plan amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character, Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD), and Preliminary Development Plan approval for professional offices and institutional/educational uses on approximately 1.7 acres located south of the southwest corner of Gilbert and Ocotillo Roads.

Background

- Site is approximately 1.7 net acres.
- Annexation request is scheduled for the February 11, 2021 City Council meeting to request Initial City zoning of Agricultural District (AG-1). Annexation public hearing held on October 15, 2020.
- Site is currently vacant.

Surrounding Land Use Data

North	Commercial (Unincorporated - Arizona Olympian Gymnastics)	South	Commercial (Dollar Self Storage)
East	Gilbert Rd. then new Chandler Unified School District high school	West	RWCD Canal

General Plan and Southeast Chandler Area Plan

	Existing	Proposed
General Plan	Neighborhoods	No change
Southeast Chandler Area Plan (SECAP)	Envisioned Community/Regional Open Space and Recreational Opportunities	Traditional Suburban Character

Proposed Development

Seminary	
Building Area	3,681 sq. ft. (+ 1,329 sq. ft. future expansion) Total of 5,010 sq. ft.
Building Height (max.)	22 ft.
Parking Required	25 spaces total (includes future expansion)
Parking Provided	27 spaces total
Future commercial offices/medical offices	
Building Area	6,336 sq. ft.
Building Height (max.)	30 ft.
Parking Required	43 additional spaces (1 space per 150 sq. ft.)
Parking Provided	70 total shared spaces

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the amendment to the Southeast Chandler Area Plan (SECAP). The Envisioned Community/Regional Open Space and Recreational Opportunities land use designation was identified at a time when the City owned property along the RWCD canal; however, the City property was sold and a regional open space and recreational area is no longer planned. A Traditional Suburban Character land use allows single story buildings along arterial streets, including for commercial and institutional/educational developments.

The request for rezoning to PAD provides for a limited list of permitted land uses which include the seminary (institutional/educational), general office, professional office, medical office, which generate low-traffic including but not limited to dental, insurance, counseling, assisted living, real estate and title companies. Prohibited uses include retail of any kind, call centers, cleaners, barbers, personal services, animal boarding and similar businesses.

The site layout and building architecture is in conformance with the SECAP design guidelines for commercial/non-residential land uses. Architectural design of the future

professional office building requires a new PDP application to evaluate building architecture. Signage for the future phase may require a PDP if the future development prefers to modify the requirements of the Sign Code for PAD zoned properties. The seminary proposes one wall mounted sign.

Staff finds the proposal to be consistent with the goals of the General Plan and the SECAP, as amended, and recommends approval subject to conditions.

Public / Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A Neighborhood Meeting sign was posted on the property.
- A virtual neighborhood meeting was held on December 3, 2020. Three residents attended virtually to obtain project information. No questions were asked. No opposition to request was stated. An attendee commented the project is a nice fit.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Recommended Actions **Area Plan Amendment**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Area Plan Amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character.

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of rezoning from Agricultural District (AG-1) to PAD for professional offices and institutional/educational uses, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Chandler La Paglia High School Seminary and Professional Offices" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0034, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The following uses shall be permitted:
Institutional uses including church, seminary, nursing home, and educational entity.

Commercial Office uses including general office, professional office, medical office, dental, insurance, counseling, real estate and title companies.

Other similar institutional and/or office uses not listed here may be permitted

upon determination by the Planning Administrator that it will not generate a greater or more intense traffic impact on the area.

3. The following uses shall be prohibited: retail, call centers, dry cleaners, personal services (e.g., barber, nail and beauty salons, tattoo, day spa), animal daycare and boarding, bakery, bars, drive-through and restaurants.
4. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
5. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
6. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a City of Chandler water facility/recharge ponds that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a wastewater treatment facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Chandler La Paglia High School Seminary and Professional Offices" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0034, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. A separate Preliminary Development Plan approval shall be required for the future building (Phase 2).
3. The site shall be maintained in a clean and orderly manner.

4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
7. Sign packages, including freestanding signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
8. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Proposed Motions

Area Plan Amendment

Move Planning and Zoning Commission recommend approval of PLH20-0033, Area Plan Amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character as recommended by Planning staff.

Rezoning

Move Planning and Zoning Commission recommend approval of PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for professional offices and institutional/educational uses, subject to conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan, PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices, subject to conditions as recommended by Planning staff.

COMMISSIONER KLOB asked if the project will require additional approval.

SUSAN FIALA states yes. It will require a new PDP because there were no elevations provided including signage if it is not coding to our sign codes.

COMMISSIONER KLOB mentioned he has a concern with the driveway and how to alleviate potential traffic issues. Is the median going to go away to widen the drive?

SUSAN FIALA responded stating that the medians will be narrowed down but was not aware if that extends further to the north and mentioned, she did not have the full configuration of Gilbert Road.

COMMISSIONER KLOB mentioned that it should be investigated.

CHARIMAN HEUMANN mentioned he is concerned about the right-in and right-out with the north/south traffic stating this could limit access to the facility and potential traffic concerns.

SUSAN FIALA responded by stating staff will look into modifying it.

COMMISSIONER EBERLE asked if there is a traffic study that can be reviewed.

SUSAN FIALA responded by stating that a traffic study was not required given the small size of the project. As far as a traffic study from CIP, she would look into it.

CHAIRMAN HEAUMANN and COMMISSIONER EBERLE mentioned potentially getting historical data and not a full traffic study.

B. PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL

Request to Rezone from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, Preliminary Development Plan and Preliminary Plat approval for a neighborhood commercial center on approximately 3.5 acres located at the southwest corner of Pecos and McQueen Roads.

Following the writing of the staff memo, Planning staff Planning staff received correspondence from residents in the area stating concerns related to the proposed Starbucks.

Background

- Site is approximately 3.5 acres
- Site is currently vacant

Surrounding Land Use Data

North	Commercial	South	Single-family residential
East	McQueen Rd., then vacant and single-family residential	West	Single-family residential

General Plan and Chandler Airpark Area Plan

	Existing	Proposed
General Plan	Neighborhoods	No change
Chandler Airpark Area Plan	Neighborhood Commercial	No change

Proposed Development

Site area	3.5 acres
Building Area	Pad A: 2,306 sq. ft. (restaurant) Pad B: 2,800 sq. ft. (restaurant) Pad C: 13,000 sq. ft. (daycare) Total : 18,106 sq. ft. total
Building Height (max.)	22 ft.
Building Setbacks	Required: Arterial landscaped intersection 50 ft. by 250 ft. Proposed: 44 ft. by 223 ft. along Pecos Rd. 50 ft. by 226 ft. along McQueen Rd. West: 20ft. Accessory structure 50 ft. Main building South: 50 ft.
Parking Required	101 spaces total
Parking Provided	103 spaces total
Building Architecture	Contemporary with stucco, brick veneer, metal railings and steel
Comprehensive Sign Program	One development sign, two monument signs, wall mounted signs

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the Chandler Airpark Area Plan designation of Neighborhood Commercial. The General Plan land use designation allows Neighborhood Commercial uses within developments located at arterial intersections to serve commercial needs of low-density residential communities.

The site layout provides three pad sites including two proposed restaurants and a daycare. Pad site A is proposed as a Starbucks drive-through as clustered with a future restaurant/drive-through. Future phasing also includes a daycare. Building architecture is contemporary. Building and site layout comply with the intent of the Commercial Design Standards.

Late hour business policy defines any restaurant that opens its doors to the public one or more hours between midnight and 6 a.m., one or more days a week. Also, the policy is applicable when commercial is within 300 ft. of existing residential zoning. The proposed Starbucks anticipates business hours from 4:30 a.m. to 10 p.m., daily. These hours and building distance of approximately 206 ft. to the west, residentially zoned parcels require approval of the proposed businesses hours from 4:30 a.m. to 6 a.m.,

Mitigation proposed includes an 8 ft. tall solid wall along the entire site perimeter and several landscaped areas. Staff recommends as a stipulation that a 42-inch tall solid screen wall be constructed along the west and south edges of the Starbucks' drive through lane since this is the only building to be constructed in Phase 1. At the time Pad B is constructed, additional screen walls may be required to provide additional screening.

The applicant requests relief from the Zoning Code requirement that initial construction include a minimum of 12,000 sq. ft. of building area in Phase One. The request is to have the ability to leave Pads B and C be constructed in future phases. Perimeter landscaping along the entire site is to be included with Phase One. The required 50 ft. by 250 ft. landscape intersection is requested to be minimally reduced along both Pecos and McQueen roads. Staff supports the requested waivers due to the infill nature of the site and driveway location constraints.

Staff finds the proposal to be consistent with the goals of the General Plan and recommends approval subject to conditions.

Traffic Analysis

A Traffic Impact Analysis was prepared to analyze existing conditions and traffic with the proposed development. Based on the analysis, traffic impacts of the proposed development could be mitigated by making adjustments to the existing traffic signal timing at the McQueen Road/Pecos Road intersection to maintain acceptable levels of service. Additionally, the Transportation Engineering Division will continue to work with the applicant to establish a circulation plan for the Day Care/Pre-K. This is being done in an effort to document pick-up/drop-off procedures and minimize potential implications to the adjacent public roadways that have occurred with similar land uses.

Public / Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A virtual neighborhood meeting was held on July 21, 2020. Ten residents attended virtually to obtain project information. Questions and concerns voiced relate to traffic, construction timing, existing irrigation ditch, drive through locations, vehicle exhaust, land uses, and children's safety (daycare). No opposition to request was stated.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Recommended Actions

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of rezoning from Agricultural District (AG-1) to PAD for Neighborhood Commercial (C-1) uses, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Pecos and McQueen Retail" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Late hour businesses shall not be open to the public from 10 p.m. to 4:30 a.m., seven days a week.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Pecos and McQueen Retail" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. Solid screen walls of 42 inches in height shall be constructed along the outer edges of drive-through lanes.
3. The site shall be maintained in a clean and orderly manner.
4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
7. Sign packages, including freestanding signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

8. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Preliminary Plat

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Proposed Motions

Rezoning

Move Planning and Zoning Commission recommend approval of PLH20-0023 Pecos and McQueen Retail rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, subject to conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan, PLH20-0023 Pecos and McQueen Retail, subject to conditions as recommended by Planning staff.

Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT20-0037 Pecos and McQueen Retail, as recommended by Planning staff.

COMMISSIONER KLOB asked about the uses by right (retail, etc.) in this location.

SUSAN FIALA responded by stating that the usage is zoned for C-1 Neighborhood Commercial. There could be some smaller type businesses. The site is for low-key type uses and mentioned she had examples. She also mentioned that gas stations and car washes are not permitted.

COMMISSIONER KLOB mentioned he really like the architecture, however the challenge appears to be the two drive through areas for Starbucks and the other restaurant at the same location. This could potentially block traffic and cause parking issues. I really thing that really needs to be re-evaluated.

COMMISSIONER KLOB mentioned we need to take closer look at the site layout and recommends going to Design Review.

COMMISSION FLANDERS mentioned he agreed with the issues of the Starbucks location and felt the site layout was a little clumsy and asked if the Starbucks could be moved to

the corner and concurred to go to Design Review.

COMMISSIONER KIMBLE mentioned the location of the coffee shop may cause issues with the traffic flow and entrance to the businesses. He also asked if he were coming from Chandler heading north on McQueen, would he need to enter at Pecos Road?

SUSAN FIALA responded saying there will be a new left turn only heading north on McQueen Road to the businesses. It is consistent with the other businesses nearby.

COMMISSIONER KIMBLE mentioned that he had concerns on two components. Starbucks is big business and they could put other businesses out of business. Is there any other type of restaurant or is Starbucks confirmed for that location?

SUSAN FIALA responded by stating that Starbucks is confirmed for that location and is the driving business for this project.

COMMISSIONER EBERLE mentioned that he concurred with the redesign and to modify the site to be more cohesive and expressed concern with the day care in reference to families getting in and out of the car with the Starbucks traffic coming in and out.

VICE CHAIR ROSE agreed to go to DRC and asked about the landscaping on whether or not it can be completed all at once or does it have to be in phases.

CHAIRMAN HEUMANN mentioned that the comments from the Commissioners are valid and stated the site has its challenges. In addition, as much as I want to protect local businesses, he does support going to the DRC on this project.

C. Motion to Cancel the February Planning Commission Hearings

Recommendation:

Due to management of cases, Planning staff is recommending cancellation of the February 3, 2021, and February 17, 2021, Planning and Zoning Commission hearings.

Proposed Motion:

Move to cancel the February 3, 2021, and February 17, 2021, Planning and Zoning Commission hearings as recommended by Planning staff.

3. BRIEFING ITEMS:

None

4. MEMBERS COMMENTS/ANNOUNCEMENTS

None

5. CALENDAR

The next study session will be held before the regular meeting on Wednesday, February

17, 2021, in the Chandler City Council Chambers, 88 East Chicago Street, Chandler, Arizona.

6. ADJOURNMENT

The study session was adjourned at 5:41 p.m.



Rick Heumann, Chairman



Kevin Mayo, Secretary

REGULAR MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF CHANDLER, ARIZONA January 20, 2021, held in the City Council Chambers, 88 E. Chicago Street.

1. CALL TO ORDER / ROLL CALL

CHAIRMAN RICK HEUMANN called the regular meeting to order at 5:48 p.m.

The following Commissioners answered Roll Call:

Chairman Rick Heumann
Vice Chairman David Rose
Commissioner Robert Klob
Commissioner Michael Flanders
Commissioner George Kimble
Commissioner Gregg Pekau
Commissioner Matt Eberle

Absent:

Also, present:

Mr. Kevin Mayo, Planning Administrator
Mr. David de la Torre, Planning Manager
Ms. Susan Fiala, Senior City Planner
Mr. Thomas Allen, Assistant City Attorney
Ms. Catherine Flores, Clerk

2. PLEDGE OF ALLEGIANCE:

Pledge of Allegiance led by COMMISSIONER KLOB

3. APPROVAL OF MINUTES:

Study Session and Regular Meeting Minutes of Wednesday, January 6, 2021 Approved.

MOVED BY VICE CHAIRMAN ROSE, seconded by COMMISSIONER PEKAU to approve the Study Session and Regular Meeting minutes of January 6, 2021, Planning Commission Hearing.

The motion passed unanimously 7-0.

4. AGENDA ITEMS:

CHAIRMAN HEUMANN informed the audience before the regular meeting, Commission and Staff met in an open study session to discuss both items on the agenda with recommendations to approve Item A with stipulations and Item B to be continued pending Design Review.

A. PLH20-0033, PLH20-0034 CHANDLER LA PAGLIA HIGH SCHOOL SEMINARY AND PROFESSIONAL OFFICES Approved with stipulation

Request area plan amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character, Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD), and Preliminary Development Plan approval for professional

offices and institutional/educational uses on approximately 1.7 acres located south of the southwest corner of Gilbert and Ocotillo Roads.

Stipulation Item A: Approved with stipulation for the rezoning and land use. Planning and Zoning Commission discussed the proposed permitted land uses and recommended that medical and dental offices be prohibited uses due to traffic and circulation patterns for both on-site and off-site.

Background

- Site is approximately 1.7 net acres.
- Annexation request is scheduled for the February 11, 2021 City Council meeting to request Initial City zoning of Agricultural District (AG-1). Annexation public hearing held on October 15, 2020.
- Site is currently vacant.

Surrounding Land Use Data

North	Commercial (Unincorporated - Arizona Olympian Gymnastics)	South	Commercial (Dollar Self Storage)
East	Gilbert Rd. then new Chandler Unified School District high school	West	RWCD Canal

General Plan and Southeast Chandler Area Plan

	Existing	Proposed
General Plan	Neighborhoods	No change
Southeast Chandler Area Plan (SECAP)	Envisioned Community/Regional Open Space and Recreational Opportunities	Additional Suburban Character

Proposed Development

Seminary	
Building Area	3,681 sq. ft. (+ 1,329 sq. ft. future expansion) Total of 5,010 sq. ft.
Building Height (max.)	22 ft.
Parking Required	25 spaces total (includes future expansion)
Parking Provided	27 spaces total
Future commercial offices/medical offices	
Building Area	6,336 sq. ft.
Building Height (max.)	30 ft.
Parking Required	43 additional spaces (1 space per 150 sq. ft.)
Parking Provided	70 total shared spaces

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the amendment to the Southeast Chandler Area Plan (SECAP). The Envisioned Community/Regional Open Space and Recreational Opportunities land use designation was identified at a time when the City owned property along the RWCD canal; however, the City property was sold and a regional open space and recreational area is no longer planned. A Traditional Suburban Character land use allows single story buildings along arterial streets, including for commercial and institutional/educational developments.

The request for rezoning to PAD provides for a limited list of permitted land uses which include the seminary (institutional/educational), general office, professional office, medical office, which generate low-traffic including but not limited to dental, insurance, counseling, assisted living, real estate and title companies. Prohibited uses include retail of any kind, call centers, cleaners, barbers, personal services, animal boarding and similar businesses.

The site layout and building architecture is in conformance with the SECAP design guidelines for commercial/non-residential land uses. Architectural design of the future professional office building requires a new PDP application to evaluate building architecture. Signage for the future phase may require a PDP if the future development prefers to modify the requirements of the Sign Code for PAD zoned properties. The seminary proposes one wall mounted sign.

Staff finds the proposal to be consistent with the goals of the General Plan and the SECAP, as amended, and recommends approval subject to conditions.

Public / Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A Neighborhood Meeting sign was posted on the property.
- A virtual neighborhood meeting was held on December 3, 2020. Three residents attended virtually to obtain project information. No questions were asked. No opposition to request was stated. An attendee commented the project is a nice fit.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Recommended Actions

Area Plan Amendment

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Area Plan Amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character.

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of rezoning from Agricultural District (AG-1) to PAD for professional offices and institutional/educational uses, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Chandler La Paglia High School Seminary and Professional Offices" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0034, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The following uses shall be permitted:
Institutional uses including church, seminary, nursing home, and educational entity.

Commercial Office uses including general office, professional office, medical office, dental, insurance, counseling, real estate and title companies.

Other similar institutional and/or office uses not listed here may be permitted upon determination by the Planning Administrator that it will not generate a greater or more intense traffic impact on the area.

3. The following uses shall be prohibited: retail, call centers, dry cleaners, personal services (e.g., barber, nail and beauty salons, tattoo, day spa), animal daycare and boarding, bakery, bars, drive-through and restaurants.
4. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
5. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
6. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a City of Chandler water facility/recharge ponds that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a wastewater treatment facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Chandler La Paglia High School Seminary and Professional Offices" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0034, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. A separate Preliminary Development Plan approval shall be required for the future building (Phase 2).
3. The site shall be maintained in a clean and orderly manner.
4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
7. Sign packages, including freestanding signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
8. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Proposed Motions

Area Plan Amendment

Move Planning and Zoning Commission recommend approval of PLH20-0033, Area Plan Amendment to the Southeast Chandler Area Plan from Envisioned Community/Regional Open Space and Recreational Opportunities to Traditional Suburban Character as recommended by Planning staff.

Rezoning

Move Planning and Zoning Commission recommend approval of PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for professional offices and institutional/educational uses, subject to conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan, PLH20-0034 Chandler La Paglia High School Seminary and Professional Offices, subject to conditions as recommended by Planning staff.

B. PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL Continued to Design Review February 3, 2021 and Planning and Zoning February 17, 2021

Request to Rezone from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, Preliminary Development Plan and Preliminary Plat approval for a neighborhood commercial center on approximately 3.5 acres located at the southwest corner of Pecos and McQueen Roads.

Following the writing of the staff memo, Planning staff Planning staff received correspondence from residents in the area stating concerns related to the proposed Starbucks.

Background

- Site is approximately 3.5 acres
- Site is currently vacant

Surrounding Land Use Data

North	Commercial	South	Single-family residential
East	McQueen Rd., then vacant and single-family residential	West	Single-family residential

General Plan and Chandler Airpark Area Plan

	Existing	Proposed
General Plan	Neighborhoods	No change
Chandler Airpark Area Plan	Neighborhood Commercial	No change

Proposed Development

Site area	3.5 acres
Building Area	Pad A: 2,306 sq. ft. (restaurant) Pad B: 2,800 sq. ft. (restaurant) Pad C: 13,000 sq. ft. (daycare) Total : 18,106 sq. ft. total
Building Height (max.)	22 ft.
Building Setbacks	Required: Arterial landscaped intersection 50 ft. by 250 ft. Proposed: 44 ft. by 223 ft. along Pecos Rd. 50 ft. by 226 ft. along McQueen Rd. West: 20ft. Accessory structure 50 ft. Main building South: 50 ft.

Parking Required	101 spaces total
Parking Provided	103 spaces total
Building Architecture	Contemporary with stucco, brick veneer, metal railings and steel
Comprehensive Sign Program	One development sign, two monument signs, wall mounted signs

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the Chandler Airpark Area Plan designation of Neighborhood Commercial. The General Plan land use designation allows Neighborhood Commercial uses within developments located at arterial intersections to serve commercial needs of low-density residential communities.

The site layout provides three pad sites including two proposed restaurants and a daycare. Pad site A is proposed as a Starbucks drive-thru as clustered with a future restaurant/drive-through. Future phasing also includes a daycare. Building architecture is contemporary. Building and site layout comply with the intent of the Commercial Design Standards.

Late hour business policy defines any restaurant that opens its doors to the public one or more hours between midnight and 6 a.m., one or more days a week. Also, the policy is applicable when commercial is within 300 ft. of existing residential zoning. The proposed Starbucks anticipates business hours from 4:30 a.m. to 10 p.m., daily. These hours and building distance of approximately 206 ft. to the west, residentially zoned parcels require approval of the proposed businesses hours from 4:30 a.m. to 6 a.m., Mitigation proposed includes an 8 ft. tall solid wall along the entire site perimeter and several landscaped areas. Staff recommends as a stipulation that a 42-inch tall solid screen wall be constructed along the west and south edges of the Starbucks' drive through lane since this is the only building to be constructed in Phase 1. At the time Pad B is constructed, additional screen walls may be required to provide additional screening.

The applicant requests relief from the Zoning Code requirement that initial construction include a minimum of 12,000 sq. ft. of building area in Phase One. The request is to have the ability to leave Pads B and C be constructed in future phases. Perimeter landscaping along the entire site is to be included with Phase One. The required 50 ft. by 250 ft. landscape intersection is requested to be minimally reduced along both Pecos and McQueen roads. Staff supports the requested waivers due to the infill nature of the site and driveway location constraints.

Staff finds the proposal to be consistent with the goals of the General Plan and recommends approval subject to conditions.

Traffic Analysis

A Traffic Impact Analysis was prepared to analyze existing conditions and traffic with the proposed development. Based on the analysis, traffic impacts of the proposed

development could be mitigated by making adjustments to the existing traffic signal timing at the McQueen Road/Pecos Road intersection to maintain acceptable levels of service. Additionally, the Transportation Engineering Division will continue to work with the applicant to establish a circulation plan for the Day Care/Pre-K. This is being done in an effort to document pick-up/drop-off procedures and minimize potential implications to the adjacent public roadways that have occurred with similar land uses.

Public / Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A virtual neighborhood meeting was held on July 21, 2020. Ten residents attended virtually to obtain project information. Questions and concerns voiced relate to traffic, construction timing, existing irrigation ditch, drive through locations, vehicle exhaust, land uses, and children's safety (daycare). No opposition to request was stated.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Recommended Actions

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of rezoning from Agricultural District (AG-1) to PAD for Neighborhood Commercial (C-1) uses, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Pecos and McQueen Retail" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Late hour businesses shall not be open to the public from 10 p.m. to 4:30 a.m., seven days a week.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Pecos and McQueen Retail" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0023, modified by such conditions included

at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. Solid screen walls of 42 inches in height shall be constructed along the outer edges of drive-through lanes.
3. The site shall be maintained in a clean and orderly manner.
4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
7. Sign packages, including freestanding signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
8. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Preliminary Plat

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Proposed Motions

Rezoning

Move Planning and Zoning Commission recommend approval of PLH20-0023 Pecos and McQueen Retail rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, subject to conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan, PLH20-0023 Pecos and McQueen Retail, subject to conditions as recommended by Planning staff.

Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT20-0037 Pecos and McQueen Retail, as recommended by Planning staff.

C. Motion to Cancel the February Planning Commission Hearings

Recommendation: APPROVED with reinstatement of February 17, 2021

Due to management of cases, Planning staff is recommending cancellation of the February 3, 2021, and February 17, 2021, Planning and Zoning Commission hearings.

Proposed Motion: APPROVED with reinstatement of February 17, 2021

Move to cancel the February 3, 2021, and February 17, 2021, Planning and Zoning Commission hearings as recommended by Planning staff.

SUSAN FIALA mentioned that the applicant would like to come up and discuss Item B, **PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL**.

DAVID DE LA TORRE, Planning Manager mentioned that we would like to cancel the February 3, and February 17, 2021 Planning and Zoning Commission meeting.

MOVED BY COMMISSIONER EBERLE seconded by **COMMISSIONER KLOB** move to cancel the February 3, 2021, and February 17, 2021, Planning and Zoning Commission meeting. The motion carried.

CHAIRMAN HEUMANN mentioned Item B, has some challenges with the site and it was unanimously recommended to continue to Design Review. He welcomed the applicant to come up and speak.

APPLICANT REESE ANDERSON with Pew and Lake, mentioned that he is a bit frustrated and understands the comments made, but with the cancellation of the February meetings pushes them into March. He stated that they have been working on the site plan for over six months and that, the initial proposal did have the drive-thru in the corner but was modified and now it is part of the discussion. Reese stated modifications to the site is restricted due to the size of the site but was open to taking it to Design Review and asked if the February 17th, Planning and Zoning Commission meeting be reinstated.

MOVED BY COMMISSIONER FLANDERS seconded by **COMMISSIONER EBERLE** to approve with stipulations, Item A. **PLH20-0033, PLH20-0034 CHANDLER LA PAGLIA HIGH SCHOOL SEMINARY AND PROFESSIONAL OFFICES** on the Consent Agenda with a recommendation to move Item B. **PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL** to Action for Design Review. The motion carried.

MOVED BY COMMISSIONER PEKAU seconded by **COMMISSIONER FLANDERS** to **reinstate** Planning and Zoning Commission meeting for **February 17, 2021**.

5. BRIEFING ITEMS:

None

6. MEMBERS COMMENTS/ANNOUNCEMENTS

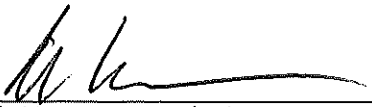
None

7. CALENDAR


The next study session will be held before the regular meeting on Wednesday, February 17, 2021, in the Chandler City Council Chambers, 88 East Chicago Street, Chandler, Arizona.

8. ADJOURNMENT

The study session was adjourned at 6:08 p.m.



Rick Heumann, Chairman



Kevin Mayo, Secretary



City Council Memorandum Development Services Memo No. N/A

Date: March 22, 2021
To: Mayor and Council
From: Development Services Department
Subject: Study Session and Regular Meeting Minutes of February 17, 2021, Planning and Zoning Commission Meeting

Attachments

Study Session Minutes February 17, 2021
Regular Meeting Minutes February 17, 2021

STUDY SESSION MINUTES OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF CHANDLER, ARIZONA February 17, 2021, held in the City Council Chambers, 88 E. Chicago Street.

1. **CALL TO ORDER/ ROLL CALL**

CHAIRMAN HEUMANN called the study session to order at 5:06 p.m.

The following Commissioners answered Roll Call:

Chairman Rick Heumann

Vice Chairman David Rose

Commissioner Robert Klob

Commissioner George Kimble

Commissioner Matt Eberle

Commissioner Michael Flanders

Absent: Commissioner Gregg Pekau

Also, present:

Mr. David de la Torre, Planning Manager

Ms. Susan Fiala, Senior City Planner

Mr. Ben Cereceres, City Planner

Mr. Thomas Allen, Assistant City Attorney

Ms. Catherine Flores, Clerk

Ms. Julie San Miguel, Clerk

2. **AGENDA ITEMS:**

A. PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL CONTINUE TO MARCH 3, 2021, PLANNING AND ZONING COMMISSION

Request to Rezone from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, Preliminary Development Plan and Preliminary Plat approval for a neighborhood commercial center on approximately 3.5 acres located at the southwest corner of Pecos and McQueen Roads.

CHAIRMAN HEUMANN stated PLT-20-0037 Pecos and McQueen Retail, is continued due to modification of applicant's use of property.

B. PLH21-0004 MOVE HUMAN PERFORMANCE

Request use permit approval to expand an existing sports therapy and training facility to an adjacent suite located in a Planned Light Industrial zoning district with a Planned Area Development Overlay (I-1/PAD). The business is located at 375 E. Elliot

Road, approximately ¼ mile east of the southeast corner of Arizona Avenue and Elliot Road.

Background

- Property is zoned Planned Light Industrial zoning district with a Planned Area Development Overlay (I-1/PAD)
- Move Human Performance Center's Use Permit was originally approved by City Council under ZUP17-0009 on September 14, 2017
- A (5) five-year extension was approved on May 28,2020

Surrounding Land Use Data

North	Across Elliot Road: Existing building zoned (I-1/PAD)	South	Across E. Alamo Drive: Existing building zoned (I-1/PAD)
East	Across N. Colorado Street: Existing building zoned (I-1/PAD)	West	Existing building zoned (I-1/PAD)

Proposed Business Operations

	Existing	Proposed
Suite Square-footage	2,854 Square-feet	2,854 Square-feet (existing facility) + 1,400 Square-feet (expansion area) = 4,254 Square-feet
Hours of operation	7:00 a.m. - 7:00 p.m.: Monday/Wednesday/Friday 5:00 a.m. - 5:00 p.m.: Tuesday/Thursday 8:00 a.m. - 12:00 p.m.: Saturday Closed : Sunday	Same
Number of Employees	Four (4)	Same

Review and Recommendation

Planning staff finds the expansion request of the sports therapy and training facility is a compatible use within the corporate park. The hours and days of operation does not conflict with other businesses, all activities occur indoors, clients are by appointment only, and on-site parking is adequate.

The Use Permit will maintain the same hours of operation, number of employees and activities. The sole modification of the facility is to expand their facility size from 2,854 square-feet to 4,254 square-feet.

Upon finding the request to be consistent with the General Plan, Planning staff recommend Planning and Zoning Commission motion to recommend approval to expand the facility subject to conditions.

Public/Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood notice letter was mailed out in lieu of a meeting due to no residential development in the notification area.
- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

Recommended Action

Planning staff recommends Planning and Zoning Commission motion to recommend approval to expand the facility, subject to the following conditions:

1. Expansion or modification beyond the approved exhibits (Site Plan, Floor Plan, and Narrative) shall void the Use Permit and require new Use Permit application and approval.
2. The site shall be maintained in a clean and orderly manner.
3. The Use Permit shall remain in effect for five (5) years from the date of City Council approval. Continuation of the Use Permit beyond the expiration date shall require re-application to and approval by the City of Chandler.

COMMISSIONER KLOB advises the doors of the locker rooms open directly to shower area and suggests Applicant review interior layout and placement of the doors.

Proposed Motion

Motion Planning and Zoning Commission to recommend approval of Use Permit case PLH21-0004 Move Human Performance Center, subject to the conditions as recommended by Planning staff.

3. BRIEFING ITEMS:

None

4. **MEMEBERS COMMENTS/ANNOUNCEMENTS**

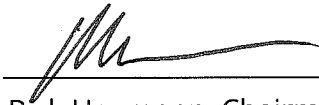
None

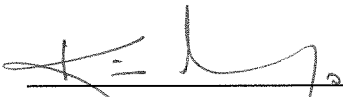
5. **CALENDAR**

The next study session will be held before the regular meeting on Wednesday, March 3, 2021, in the Chandler City Council Chambers, 88 E. Chicago Street.

6. **ADJOURMENT**

The study session was adjourned at 5:10 p.m.



Rick Heumann, Chairman

Kevin Mayo, Secretary

REGULAR MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF CHANDLER, ARIZONA February 17, 2021, held in the City Council Chambers, 88 E. Chicago Street.

1. **CALL TO ORDER/ ROLL CALL**

CHAIRMAN HEUMANN called the study session to order at 5:31 p.m.

The following Commissioners answered Roll Call:

Chairman Rick Heumann

Vice Chairman David Rose

Commissioner Robert Klob

Commissioner George Kimble

Commissioner Matt Eberle

Commissioner Gregg Pekau

Commissioner Michael Flanders

Absent:

Also, present:

Mr. David de la Torre, Planning Manager

Ms. Susan Fiala, Senior City Planner

Mr. Ben Cereceres, City Planner

Mr. Thomas Allen, Assistant City Attorney

Ms. Catherine Flores, Clerk

Ms. Julie San Miguel, Clerk

2. **PLEDGE OF ALLEGIANCE:**

Pledge of Allegiance led by COMMISSIONER EBERLE

3. **APPROVAL OF MINUTES**

Study Session and Regular Meeting Minutes of The Planning and Zoning Commission of the City of Chandler held on Wednesday, January 20, 2021 are approved. Minutes of the City of Chandler Planning and Zoning Commission, acting as the Design Review Committee, held on Monday, February 3, 2021 are approved.

MOVED BY VICE CHAIRMAN ROSE, second by COMMISSIONER KLOB to approve Study Session and Regular Meeting Minutes of The Planning and Zoning Commission of the City of Chandler held on Wednesday, January 20, 2021 and Minutes of the City of Chandler Planning and Zoning Commission, acting as the Design Review Committee, held on Monday, February 3, 2021.

The motion passed unanimously 7-0.

4. AGENDA ITEMS:

CHAIRMAN HEUMANN informed the audience before the regular meeting Commission and Staff met in open study session to discuss both items on the agenda, Item A has been continued and Item B is on consent.

A. PLH20-0023, PLT20-0037 PECOS AND MCQUEEN RETAIL Continue To March 3, 2021, Planning and Zoning Commission

Request to Rezone from Agricultural District (AG-1) to Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses, Preliminary Development Plan and Preliminary Plat approval for a neighborhood commercial center on approximately 3.5 acres located at the southwest corner of Pecos and McQueen Roads.

B. PLH21-0004 MOVE HUMAN PERFORMANCE Approved

Request use permit approval to expand an existing sports therapy and training facility to an adjacent suite located in a Planned Light Industrial zoning district with a Planned Area Development Overlay (I-1/PAD). The business is located at 375 E. Elliot Road, approximately ¼ mile east of the southeast corner of Arizona Avenue and Elliot Road.

Background

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	Existing	Proposed
Suite Square-footage	2,854 Square-feet	2,854 Square-feet (existing facility) + 1,400

		Square-feet (expansion area) = 4,254 Square-feet
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The Use Permit will maintain the same hours of operation, number of employees and activities. The sole modification of the facility is to expand their facility size from 2,854 square-feet to 4,254 square-feet.

Upon finding the request to be consistent with the General Plan, Planning staff recommend Planning and Zoning Commission motion to recommend approval to expand the facility subject to conditions.

Public/Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
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- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

Recommended Action

Planning staff recommends Planning and Zoning Commission motion to recommend approval to expand the facility, subject to the following conditions:

1. Expansion or modification beyond the approved exhibits (Site Plan, Floor Plan, and Narrative) shall void the Use Permit and require new Use Permit application and approval.
2. The site shall be maintained in a clean and orderly manner.

3. The Use Permit shall remain in effect for five (5) years from the date of City Council approval. Continuation of the Use Permit beyond the expiration date shall require re-application to and approval by the City of Chandler.

Proposed Motion

Motion Planning and Zoning Commission to recommend approval of Use Permit case PLH21-0004 Move Human Performance Center, subject to the conditions as recommended by Planning staff.

MOVED BY VICE CHAIRMAN ROSE seconded by **COMMISSIONER EBERLE** to approve the consent agenda.

The motion passed unanimously 7-0.

5. BRIEFING ITEMS:

None

6. MEMEBERS COMMENTS/ANNOUNCEMENTS

None

7. CALENDAR

The next study session will be held before the regular meeting on Wednesday, March 3, 2021, in the Chandler City Council Chambers, 88 E. Chicago Street.

6. ADJOURMENT

The regular meeting was adjourned at 5:34 p.m.



Rick Heumann, Chairman



Kevin Mayo, Secretary