



SCHRADER FARMS BUSINESS PARK

Conceptual
Comprehensive Sign Plan

January 19, 2021
May 10, 2021 Rev. 1 Version 2

Prepared By



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PROJECT INFORMATION

PROJECT

Schrader Farms Business Park
Northwest Corner
McQueen & Queen Creek Roads

ZONING

Planned Area Development
(PAD)

OWNER

Core5 Industrial Partners
300 Spectrum Center Drive
Suite 880
Irvine, Ca 92618
(949) 467-3290

Contact Information

Jon Kelly
jkelly@CSip.com

SIGNAGE CONSULTANT

Airpark Signs & Graphics
1205 N. Miller Rd.
Tempe, AZ 85281
480.966.6565

Contact Information

Gretchen Wilde
gretchen@airparksigns.com



PROJECT OVERVIEW

Schrader Farms Business Park is a 70.52 acre development located at the northwest corner of McQueen and Queen Creek Roads. The project consists of a multi-phase business center will consist of approximately eight buildings designed for a wide variety of uses consistent with the Chandler Airpark Area Plan.

The site has been zoned by the City of Chandler as PAD for a master planned development with a wide variety of uses. Phase I of the development consists of three buildings on the eastern parcels of the development. The buildings may consist of single or multi-tenant users, depending upon their lease contract.

NARRATIVE

Requested is to establish a Comprehensive Sign Plan (CSP) for Schrader Farms Business Park.

Project signs include an entry monument, freestanding monuments with tenant identity, tenant wall signs, and building entry standards. All signage within the proposed CSP has been designed to meet City of Chandler Sign Ordinances. The proposed signage has been designed with the architecture of the development in mind through the use of materials, color and vertical elements that echo the building features and makes use of the same, or similar materials as the buildings to maintain continuity of the project theme.

In addition to meeting standards for 39-9.16.C.2 and C.3, additional standards per 39-9.16.D are met by limiting wall signs to no more than 15% of the building height, not allowing cabinet signs, integrating landscaping with the signs, and limiting freestanding signs to one on Queen Creek Road and one on the as yet to be named new public road.

As new buildings are built they will be regulated by the standards within this document.

Please refer to the following documentation for further details.

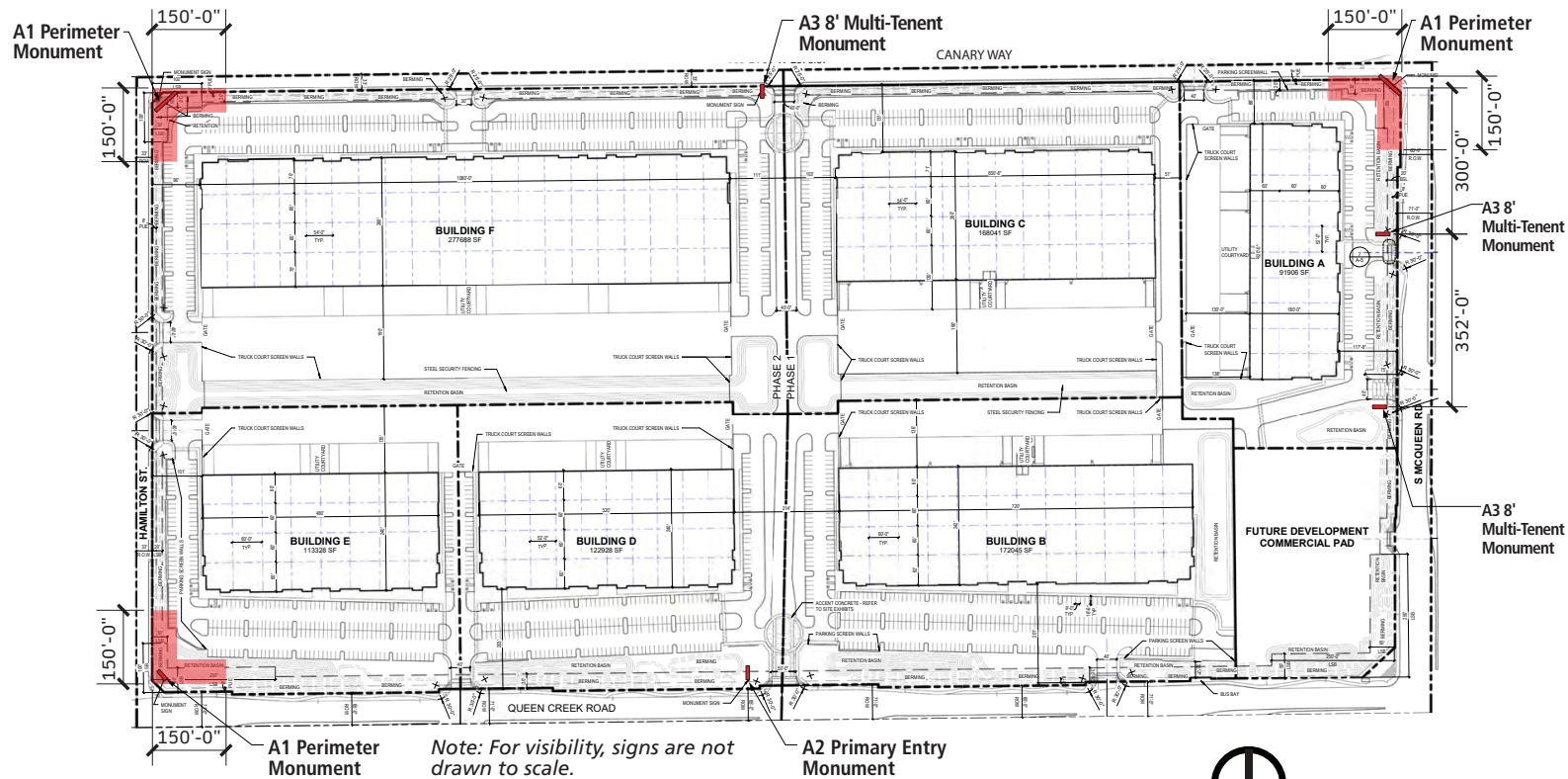
PROJECT INFORMATION



PROJECT SIGN MATRIX						
Sign Type	Sign Name	Sign Function	Qty	Dimensions	Materials	Notes
A1	Perimeter Monument	Provide Project Identity, Site Address	3	16'-4" x 6'-0" Project Identity 7'-10 1/2" x2'-11 1/2"	Aluminum, acrylic, LED internal lighting.	
A2	Primary Entry Monument	Provide Project & Tenant Identity	1	7'-6" x 14'-0" Tenant Panels (x5) 6'-0" x1'-10"	Aluminum, acrylic, LED internal lighting.	
A3	Secondary Entry Monument	Provide Project & Tenant Identity	3	4'-4" x 8'-0" Tenant Panels (x5) 3'-6" x1 '-0"	Aluminum, acrylic, LED internal lighting.	
W1	Building Address	Site Address Numbers	2	2'-0" x 12'-0" (approx)	Aluminum	
W2	Tenant Identities	Beam Mounted Tenant Identity	1 ¹	Varies per tenant entry. Maximum 80% width of steel beam sign is attached to. Maximum height can be no more than 4'-0" .	Aluminum, acrylic, vinyl, LED internal & halo illumination.	Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
		Wall Mounted Tenant Identity		Varies per sign envelope location. Maximum 80% width of space sign is attached to. Maximum height can be no more than 5'-0" .		
Footnotes		1 One sign maximum per facade adjacent to area occupied by Tenant, unless otherwise approved by Planning Administrator.				

SIGN MATRIX





PERIMETER MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

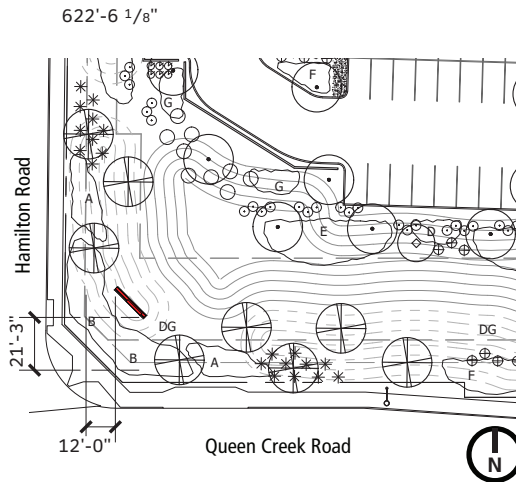
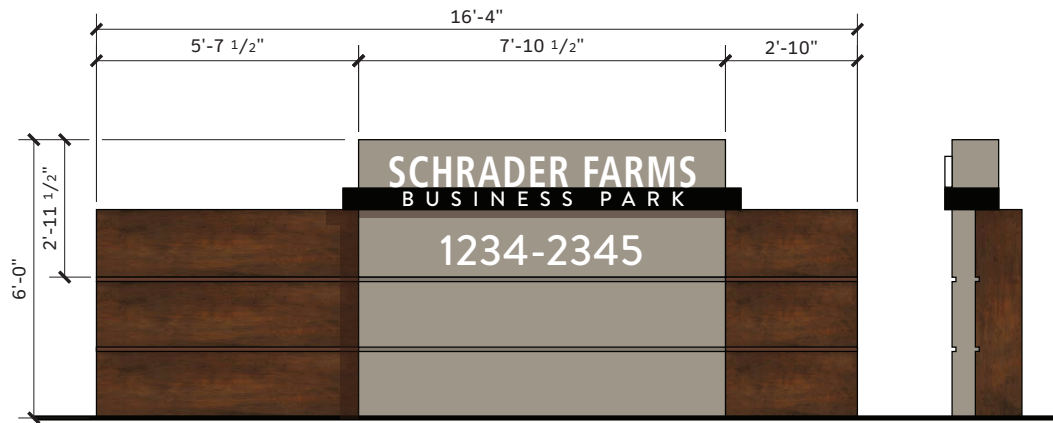
Header Panel:	Black
Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Middle Cabinet:	Weathered copper finish over aluminum to emulate DalTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

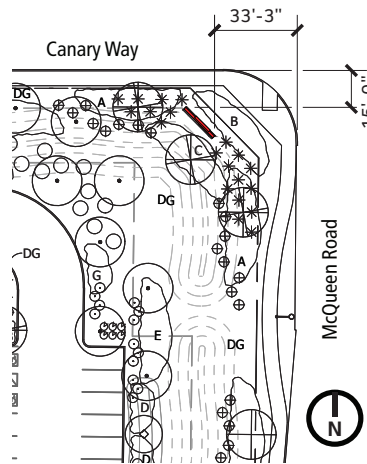
LOCATION

Northeast, southeast, and southwest project corners.



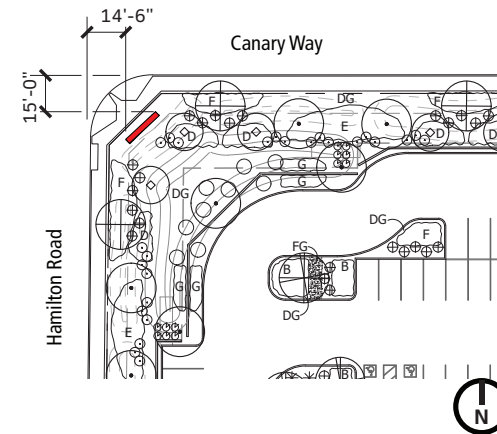
Perimeter Monument Southwest Location Plan

Scale: 1"=50'



Perimeter Monument Northeast Location Plan

Scale: 1"=50'



Perimeter Monument Northwest Location Plan

Scale: 1"=50'

A1 MONUMENT SIGN DETAILS



PRIMARY ENTRY MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white. Logos may have corporate colors.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Header Panel:	Black
Middle Cabinet:	Weathered copper finish over aluminum to emulate DalTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

LOCATION

Primary entrance, Queen Creek Road.

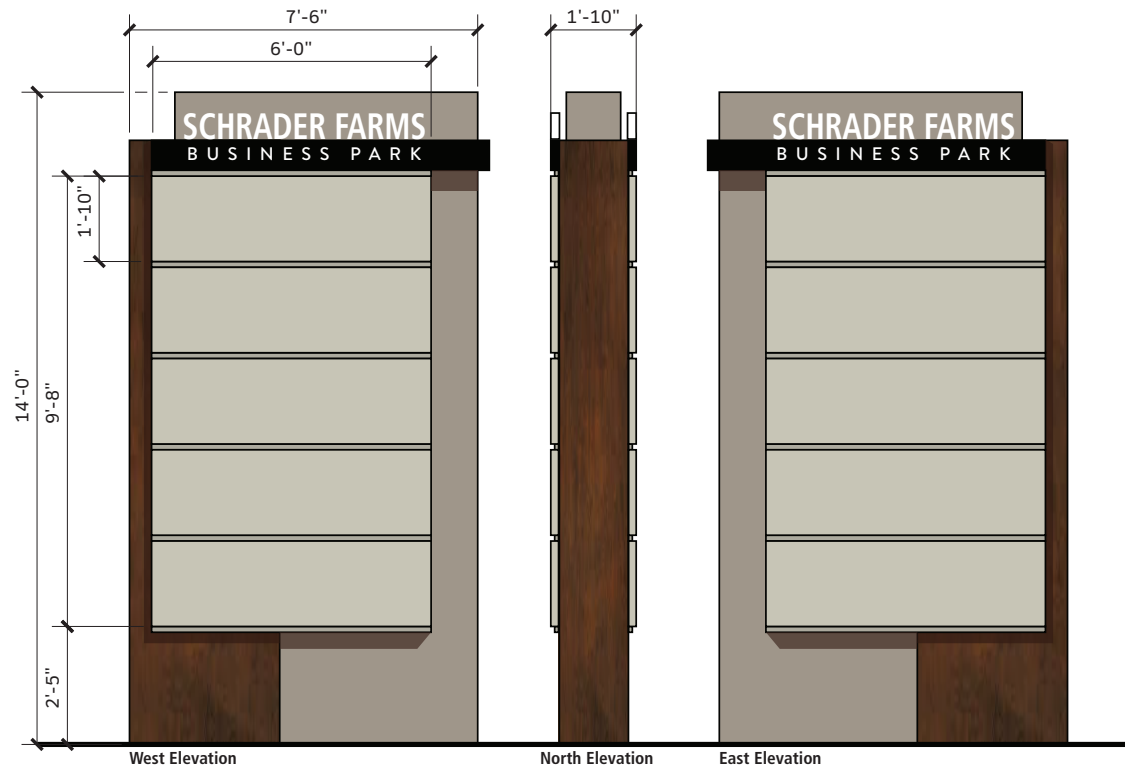
NOTES

Additional size to fourteen (14) feet , and five (5) tenant panels is requested. Rationales per City Code:

Additional height meets 33-9.16.C.2 by being a center located on the northwest corner of the intersection of Queen Creek and McQueen Roads.

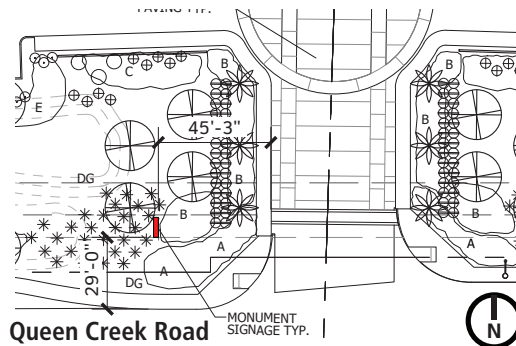
Additional tenant panels meets 33-9.16.C.3a by the multi-layered and multi-colored design, and the use of horizontal reveals that mimic the layers, colors, and reveals of the the building architecture; C.3c by the integration of the landscaping with the monument's locations; C3.d by the use of aluminum to avoid rust, and by using Matthews Acrylic Polyurethane to provide a long-lasting and durable finish; and by C3.e by making all tenant panels the same color to provide a cohesive field, and non-illuminated, with routed letters and logos that will illuminate, which will minimize the amount of light to be transmitted.

Despite having 2533 feet ± of frontage along Queen Creek Road, this will be the only monument sign with tenant panels on that road.



Primary Entry Monument

Scale: 3/8"=1'-0"



Monument Location Plan

Scale: 1"=50'

A2 MONUMENT SIGN DETAILS



SECONDARY ENTRY MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white. Logos may have corporate colors.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

Header Panel:	Black
Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Middle Cabinet:	Weathered copper finish over aluminum to emulate DaTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

LOCATIONS

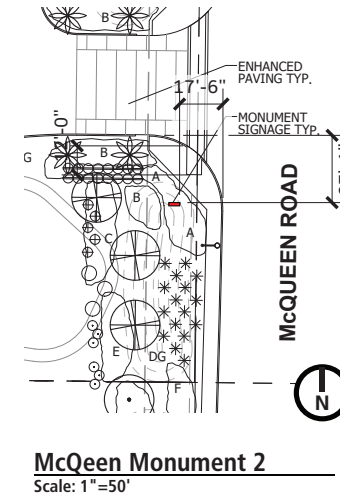
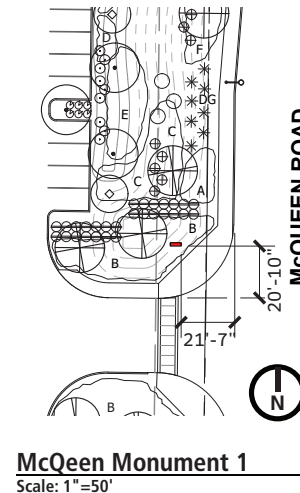
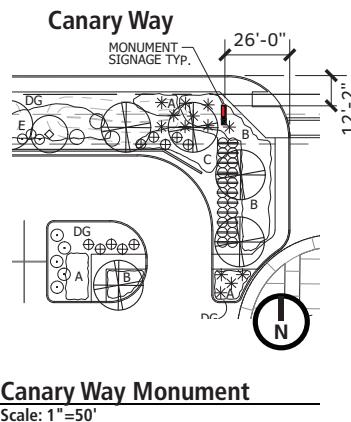
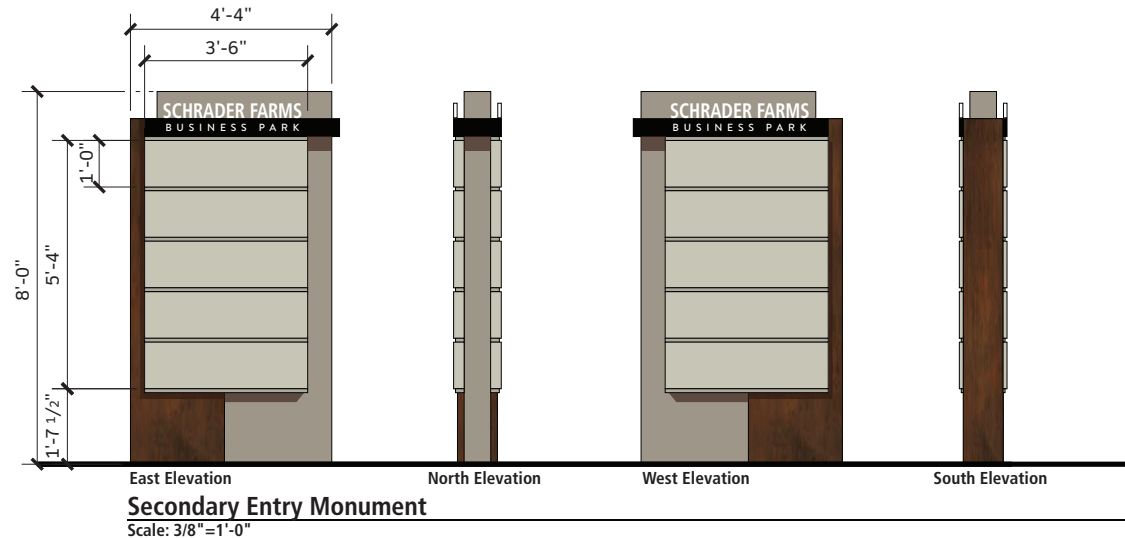
McQueen Road (2 signs), Canary Way (1 sign)

NOTES

Additional size to eight (8) feet , and five (5) tenant panels is requested.
Rationales per City Code:

The additional height and tenant panels request meets 33-9.16.C.3a by the multi-layered and multi-colored design, and the use of horizontal reveals that mimic the layers, colors, and reveals of the the building architecture; C.3c by the integration of the landscaping with the monument's locations; C3.d by the use of aluminum to avoid rust, and by using Matthews Acrylic Polyurethane to provide a long-lasting and durable finish; and by C3.e by making all tenant panels the same color to provide a cohesive field, and non-illuminated, with routed letters and logos that will illuminate, which will minimize the amount of light to be transmitted.

Despite having 2544 feet ± of frontage along Canary Way, this will be the only monument sign with tenant panels on that road.



REVERSE PAN CHANNEL BUILDING ADDRESS EXTERNALLY ILLUMINATED

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Pan-channel letters/logos shall be constructed of metal faces and 3" returns. Signs must be mounted flush to fascia with appropriate anchors.

COLORS & FINISHES

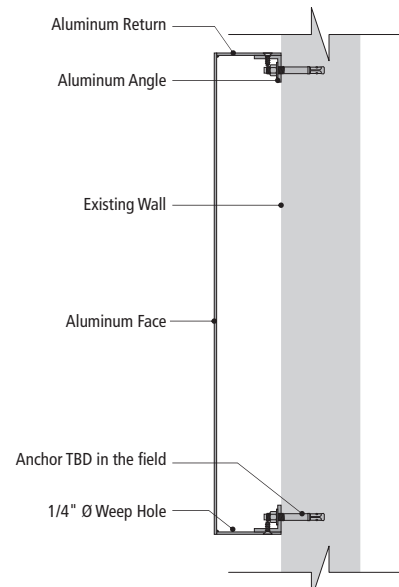
Painted to provide contrast and visibility from wall finishes.

ILLUMINATION

External illumination only.

LOCATION

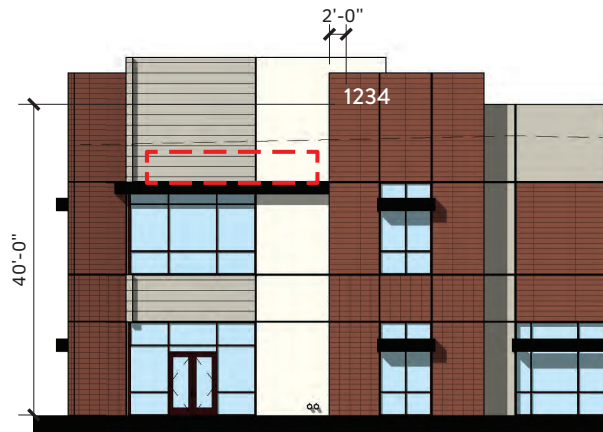
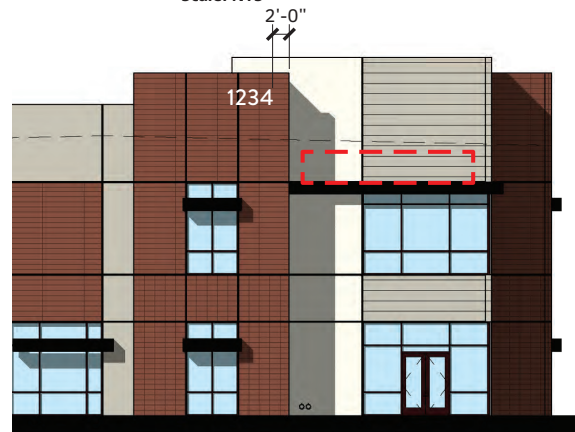
Opposite ends of buildings



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All signs fabricated as per 2008 N.E.C. standards.

SECTION DETAIL - TYP.

Scale: NTS



ADDRESS PLACEMENT - TYP.

Scale: 1/16"=1'-0"



BEAM MOUNTED ILLUMINATED PAN-CHANNEL LETTERS/LOGOS

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Pan-channel letters/logos shall be constructed of 5" metal returns and backs with translucent acrylic or polycarbonate faces. Raceways to be minimal size to be inconspicuous. Raceways must be mounted flush to top of beams with appropriate anchors.

COLORS & FINISHES

Corporate colors & finishes are permitted with Landlord approval. Raceways painted to match beams.

ILLUMINATION

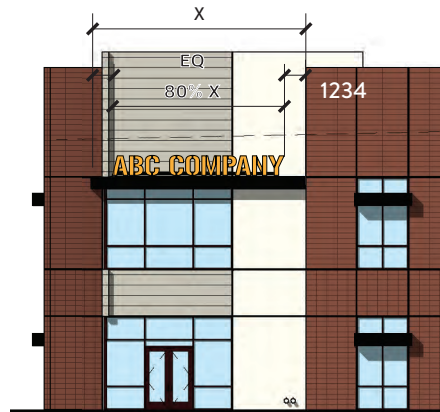
Internal LED illumination, LED module quantities must provide proper illumination.

LOCATION

To be placed above steel beams at building entrances.

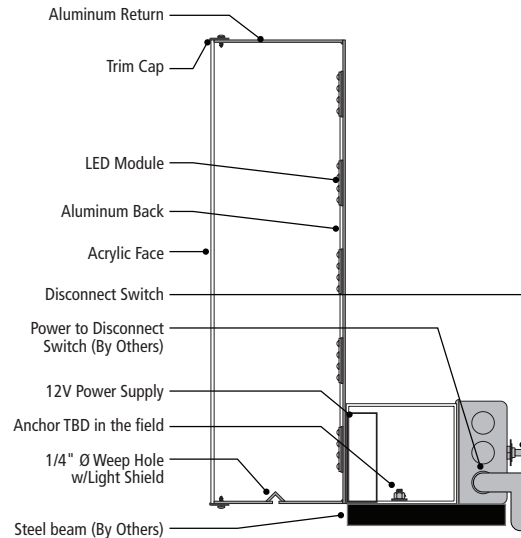
NOTES

May be no wider than 80% of beam width. For joint entries, signs may be no wider than 80% of appointed beam space width. Signs can be no more than 4'-0" in height. Logos will be allowed, but cabinet signs will not be allowed.



SINGLE TENANT ENTRY SIGN PLACEMENT - TYP.

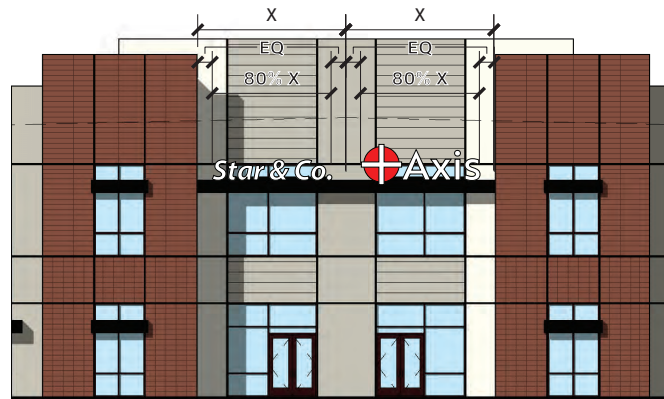
Scale: 1/16"=1'-0"



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All signs fabricated as per 2008 N.E.C. standards.

SECTION DETAIL - TYP.

Scale: NTS



DOUBLE TENANT ENTRY SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"



WALL MOUNTED ILLUMINATED PAN-CHANNEL LETTERS/LOGOS

CRITERIA
 All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION
 Pan-channel letters/logos shall be constructed of 5" metal returns and backs with translucent acrylic or polycarbonate faces. Signs must be mounted flush to fascia with appropriate anchors.

COLORS & FINISHES
 Corporate colors & finishes are permitted with Landlord approval.

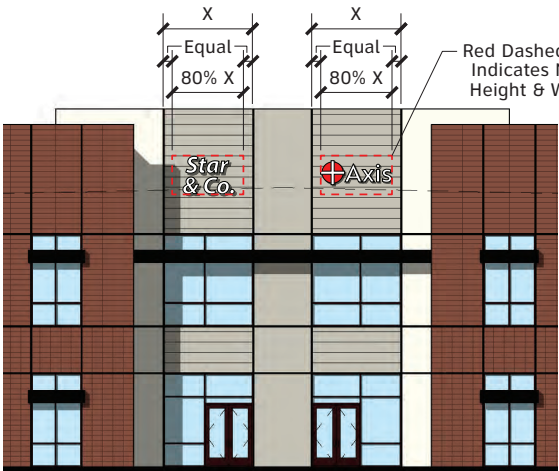
ILLUMINATION
 Internal LED illumination, LED module quantities must provide proper illumination.

LOCATION
 May be no wider than 80% of space sign is attached to. For joint entries, signs may be no wider than 80% of appointed space width. Signs can be no more than 5'-0" in height. Logos will be allowed, but cabinet signs will not be allowed.

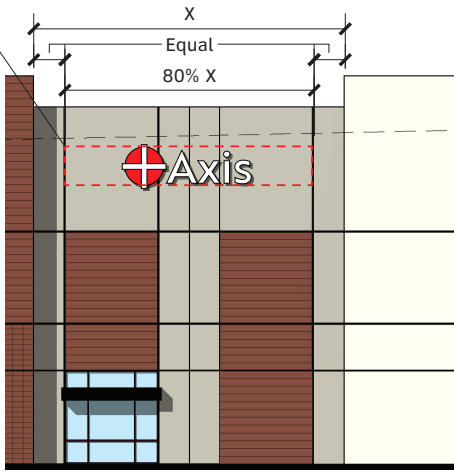
Wall mounted signs shall be coordinated with facade designs, as approved by the Planning Administrator.



SINGLE TENANT ENTRY SIGN PLACEMENT - TYP.
 Scale: 1/16"=1'-0"

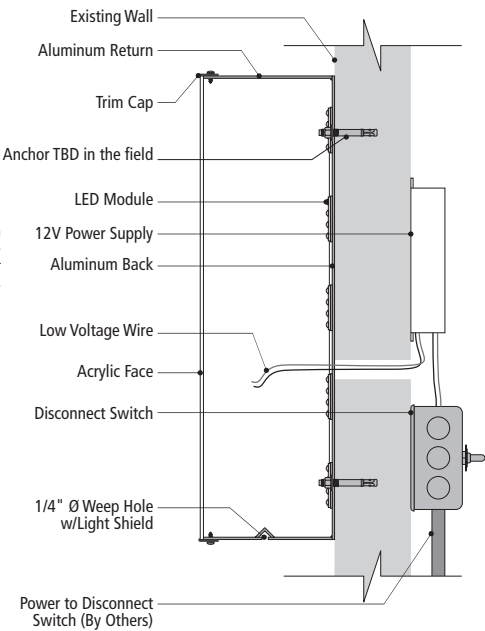


DOUBLE TENANT ENTRY SIGN PLACEMENT - TYP.
 Scale: 1/16"=1'-0"



WALL SIGN PLACEMENT - TYP.
 Scale: 1/16"=1'-0"

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All signs fabricated as per 2008 N.E.C. standards.



SECTION DETAIL - TYP.
 Scale: NTS

SUITE IDENTITY/WINDOW GRAPHICS

CRITERIA

Such signs shall not exceed twenty five (25) percent of the front glass area, and must be approved by the Landlord. Suite numbers are to be 12" tall.

FABRICATION

Information to be first surface applied vinyl.

COLORS & FINISHES

Recommended designs should be subtle and sophisticated. White or frosted vinyl is recommended. If using color, it should be muted and have a transparency of a minimum fifty (50) percent. Logos may be included in the overall design, provided that design does not exceed the established limits.

ILLUMINATION

External illumination only.

FONTS

Text to be Brandon Grotesque Medium

ABCDEFGHIJKLMNOPQRSTUVWXYZ
0123456789

LOCATION

Suite numbers to be placed over entry doors. Business identity, hours of operation and contact information should be placed adjacent to the door.

100

TENANT NAME

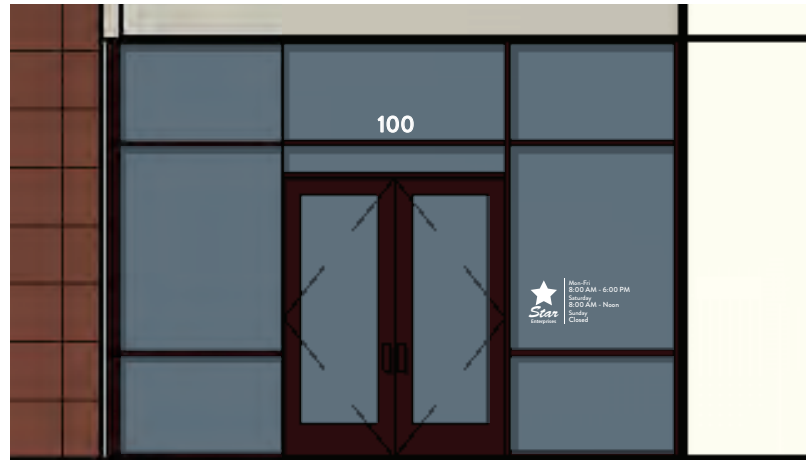
Mon-Fri
8:00 AM - 6:00 PM
Saturday
8:00 AM - Noon
Sunday
Closed



Mon-Fri
8:00 AM - 6:00 PM
Saturday
8:00 AM - Noon
Sunday
Closed

Entry Door ID - Examples

Scale: 1"=1'-0"



ENTRY DOOR - TYP.

Scale: 1/4"=1'-0"

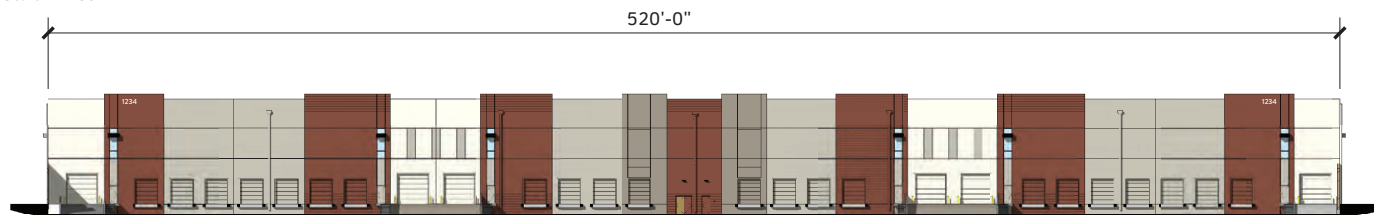
BUSINESS ENTRY SIGN DETAILS





Building A, East Elevation (McQueen Road)

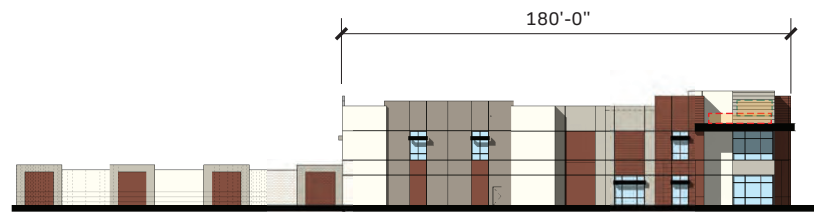
Scale: 1"=50'



Building A, West Elevation

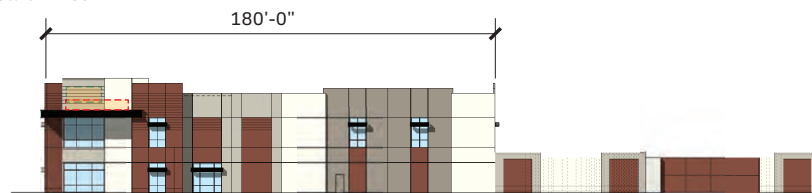
Scale: 1"=50'

-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign



Building A, South Elevation

Scale: 1"=50'



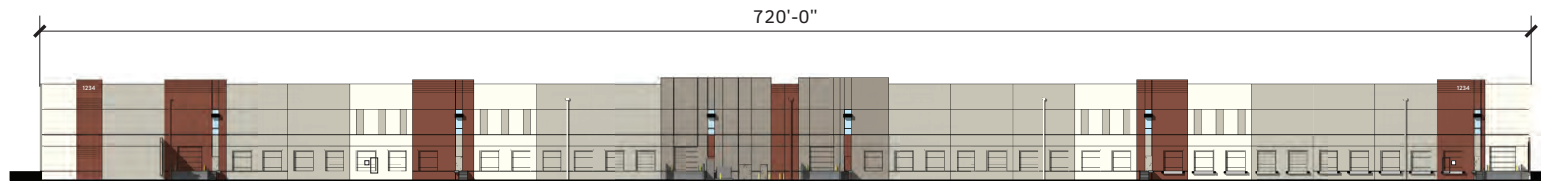
Building A, North Elevation

Scale: 1"=50'



Building B, South Elevation (Queen Creek Road)

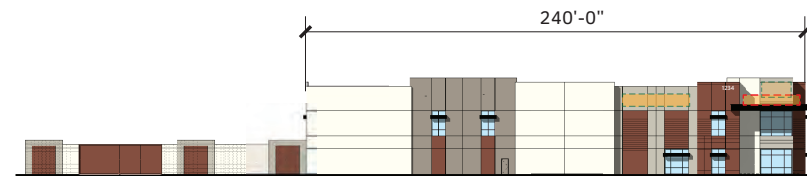
Scale: 1"=60'



Building B, North Elevation

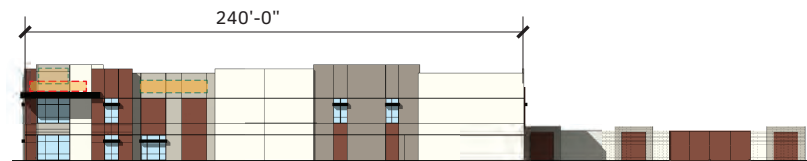
Scale: 1"=60'

-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign



Building B, West Elevation

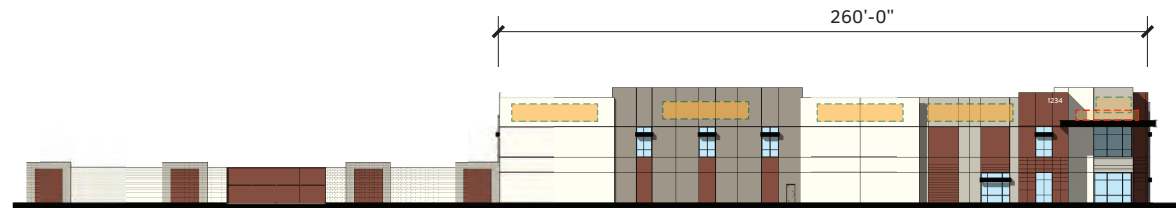
Scale: 1"=60'



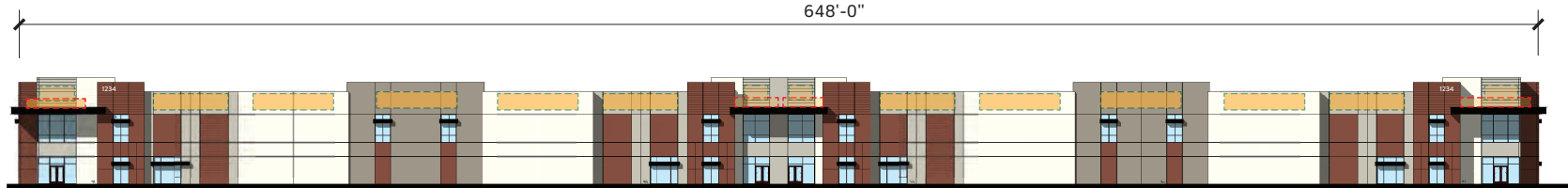
Building B, East Elevation

Scale: 1"=60'





Building C, East Elevation
Scale: 1"=50'

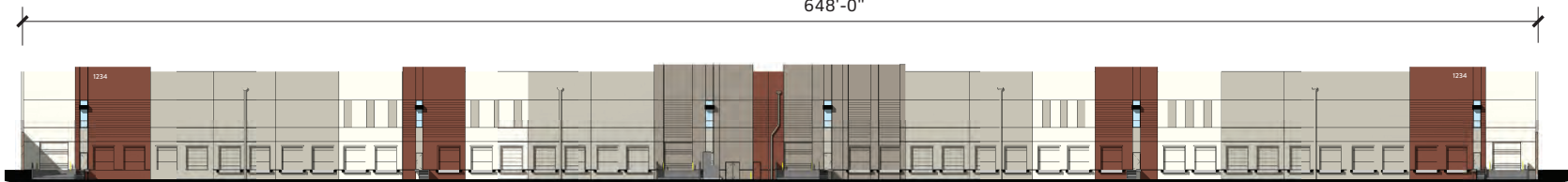


Building C, North Elevation (New Public Road)
Scale: 1"=50'



-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign

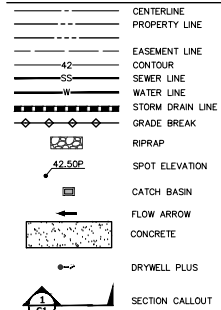
Building C, West Elevation
Scale: 1"=50'



Building C, South Elevation
Scale: 1"=50'



LEGEND



NOTE

- ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ONSITE PRIVATE IRRIGATION DITCHES TO BE REMOVED. REMOVALS TO BE COORDINATED WITH SRP.

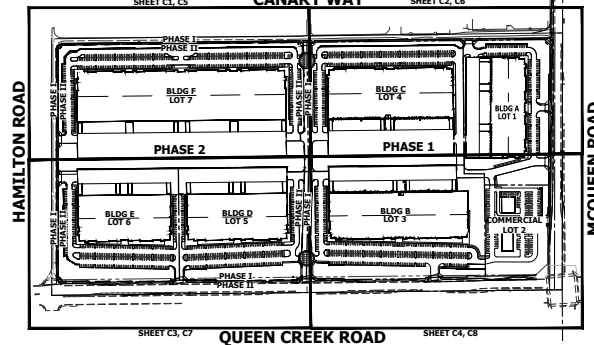
RETENTION CALCULATIONS

ON-SITE AREA: 70,789 AC	OFF-SITE AREA: 9,461 AC
RETENTION REQUIRED:	
$VR = (1.1)(C)(D/12)(A)$, $D=2.2$	
$VR(OFFSITE) = (0.1)(0.95)(2.2/12)(9.461) \times 43560 = 78,956 \text{ CU.FT.}$	
$VR(ONSITE) = (1.1)(0.95)(2.2/12)(70.789) \times 43560 = 559,668 \text{ CU.FT.}$	
TOTAL REQUIRED = 638,623 CU.FT.	
RETENTION PROVIDED:	
RETENTION BASIN 1	7,551 CU.FT.
RETENTION BASIN 2	2,585 CU.FT.
RETENTION BASIN 3	18,668 CU.FT.
RETENTION BASIN 4	5,018 CU.FT.
RETENTION BASIN 5	7,403 CU.FT.
RETENTION BASIN 6	1,173 CU.FT.
RETENTION BASIN 7	116,712 CU.FT.
RETENTION BASIN 8	46,115 CU.FT.
RETENTION BASIN 9	7,942 CU.FT.
RETENTION BASIN 10	22,304 CU.FT.
RETENTION BASIN 11	27,248 CU.FT.
RETENTION BASIN 12	19,976 CU.FT.
RETENTION BASIN 13	13,645 CU.FT.
U.G. PIPE #1	6,912 CU.FT.
U.G. PIPE #2	39,653 CU.FT.
U.G. PIPE #3	6,325 CU.FT.
U.G. PIPE #4	39,656 CU.FT.
U.G. PIPE #5	27,175 CU.FT.
U.G. PIPE #6	3,582 CU.FT.
U.G. PIPE #7	37,228 CU.FT.
U.G. PIPE #8	36,327 CU.FT.
U.G. PIPE #9	46,731 CU.FT.
U.G. PIPE #10	40,081 CU.FT.
U.G. PIPE #11	36,776 CU.FT.
U.G. PIPE #12	24,482 CU.FT.
TOTAL PROVIDED:	640,314 CU.FT.
TOTAL EXCESS:	1,691 CU.FT.

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2

N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
CONTACT: JORGE ORTIZ
EMAIL: JORTIZ@HUNTERENGINEERINGPC.COM

ARCHITECT

DEUTSCH ARCHITECTURE GROUP
4600 E. INDIAN SCHOOL ROAD
PHOENIX, ARIZONA 85018
PHONE: (602) 840-2929 x144
CONTACT: RANDY HILBERG
EMAIL: RHILBERG@DEUTSCHARCHITECTURE.COM

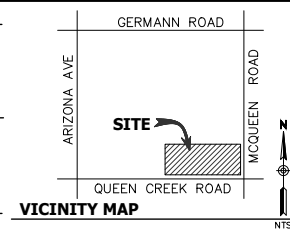
OWNER/DEVELOPER

CORES SCHRADER FARMS BP, LLC
300 SPECTRUM CENTER DRIVE, SUITE 880
IRVINE, CALIFORNIA 92618
PHONE: (949) 467-3290
CONTACT: JON KELLY

FEMA CLASSIFICATION

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2739M (EFFECTIVE: REVISED DATE NOVEMBER 4, 2015), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X. ZONE X IS DEFINED AS, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD".

COMMUNITY NUMBER	PANEL DATE SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AD ZONE USE DEPTH)
040040	2743	M 11-4-2015	ZONE X (SHADED)	N/A



SHEET INDEX

CONCEPTUAL GRADING AND DRAINAGE PLAN... C1 - C4
CONCEPTUAL UTILITY PLAN... C5 - C8
TYPICAL SECTIONS... C9 - C10

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
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100			

DESIGN BY: R.M.
DRAWN BY: C.O.C.
CHECKED BY: JAO

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

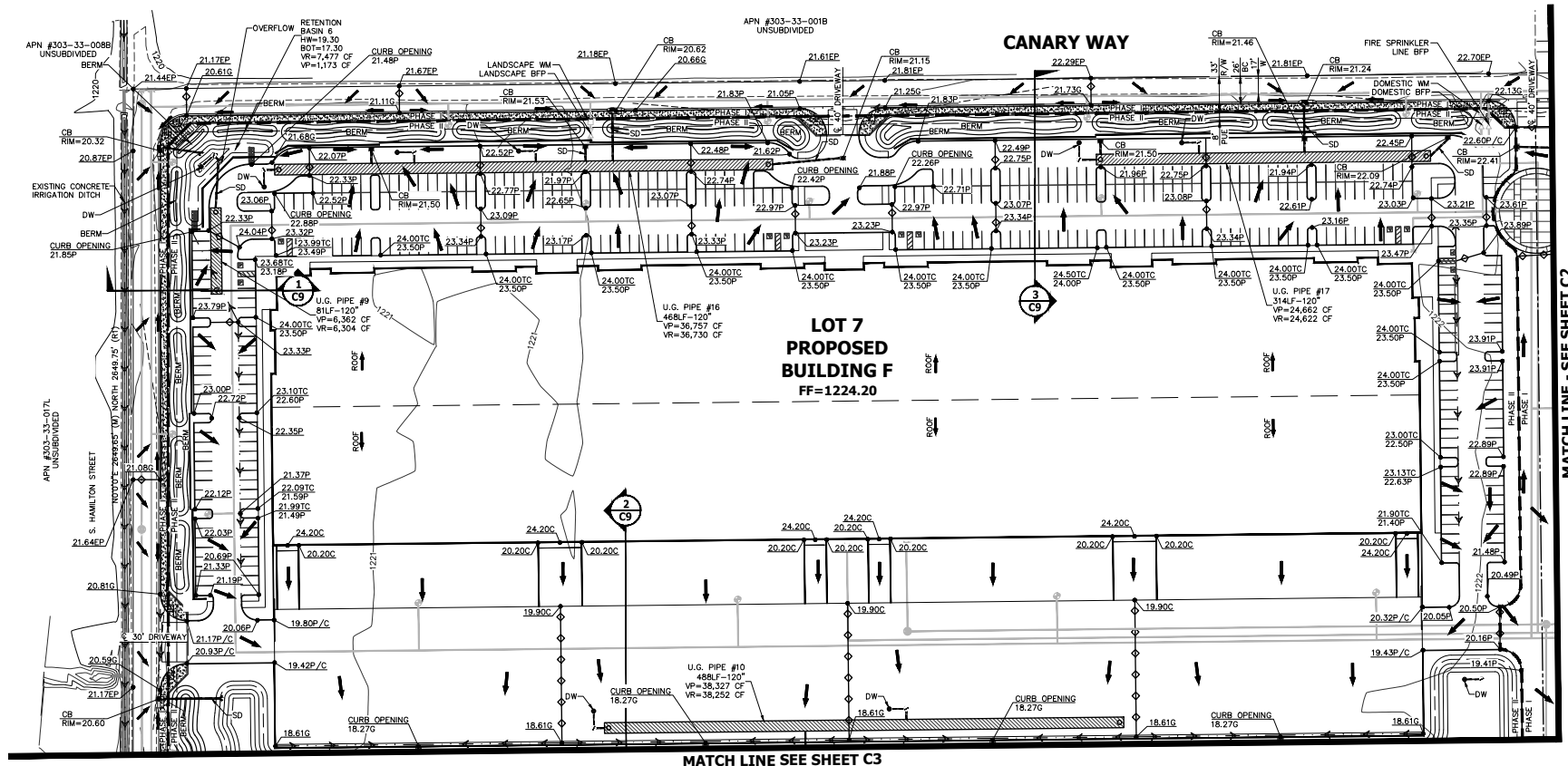
PROJECT NAME:
CORES CHANDLER

REVISION NO. CORE-001
SCALE: 1"=50'

SHEET:
C1

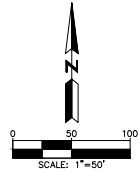
1 OF 10

C.O.C. LOG NO. PL70-0020



CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2 N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3985
F: 480.991.3986



**CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**

ARIZONA
STATE ENGINEER
JAMES A. HUNTER
10000

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

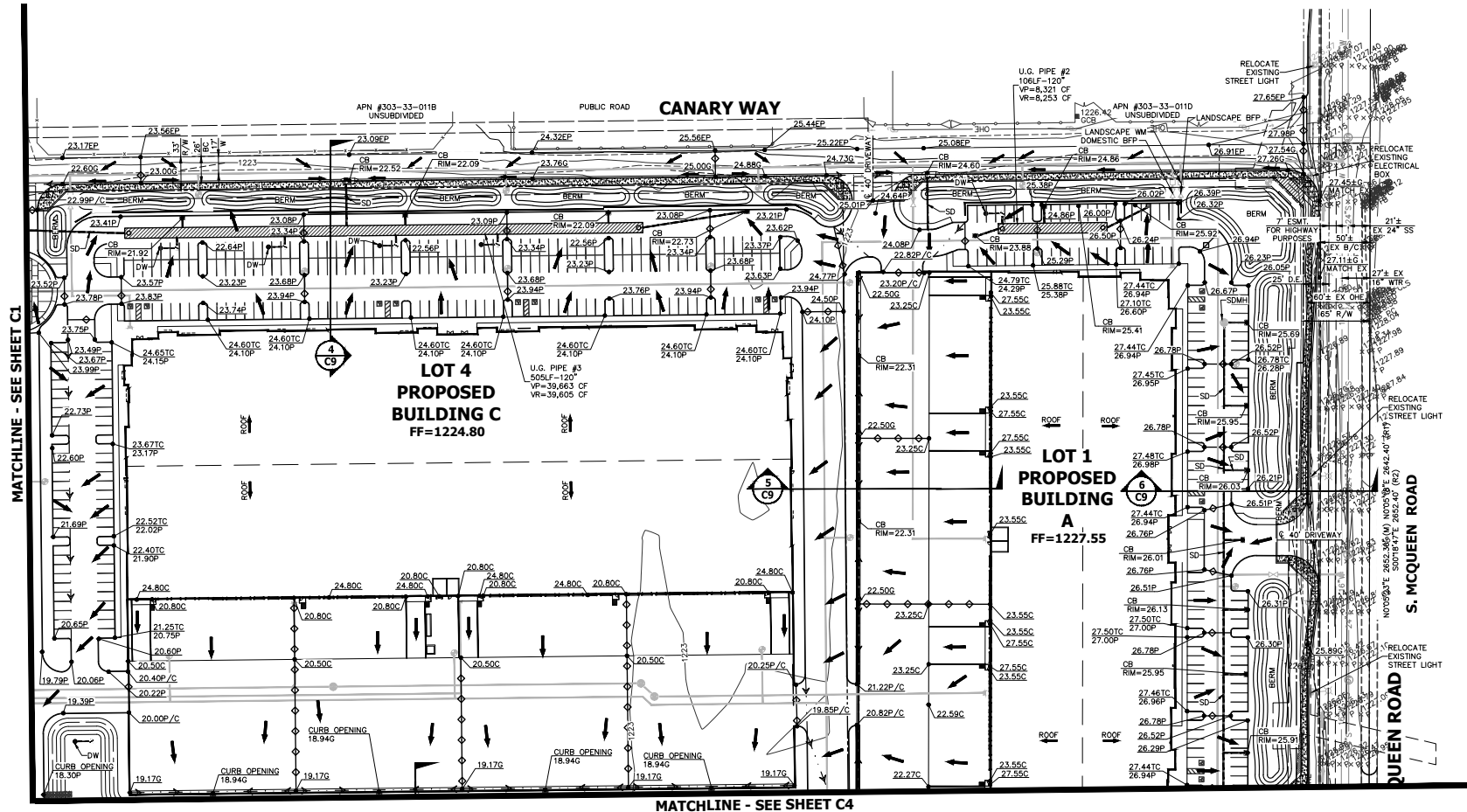
PROJECT NAME:
CORE5
CHANDLER

RE NO.: CORE001

SCALE: 1"=50'

SHEET:
C2

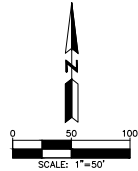
C.O.C LOG NO. PL720-0020



MATCHLINE - SEE SHEET C1

MATCHLINE - SEE SHEET C4

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2 N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
TEL: 480.991.3885
F: 480.991.3886



**CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**

ARIZONA
ON BEHALF OF THE BOARD OF ENGINEERING

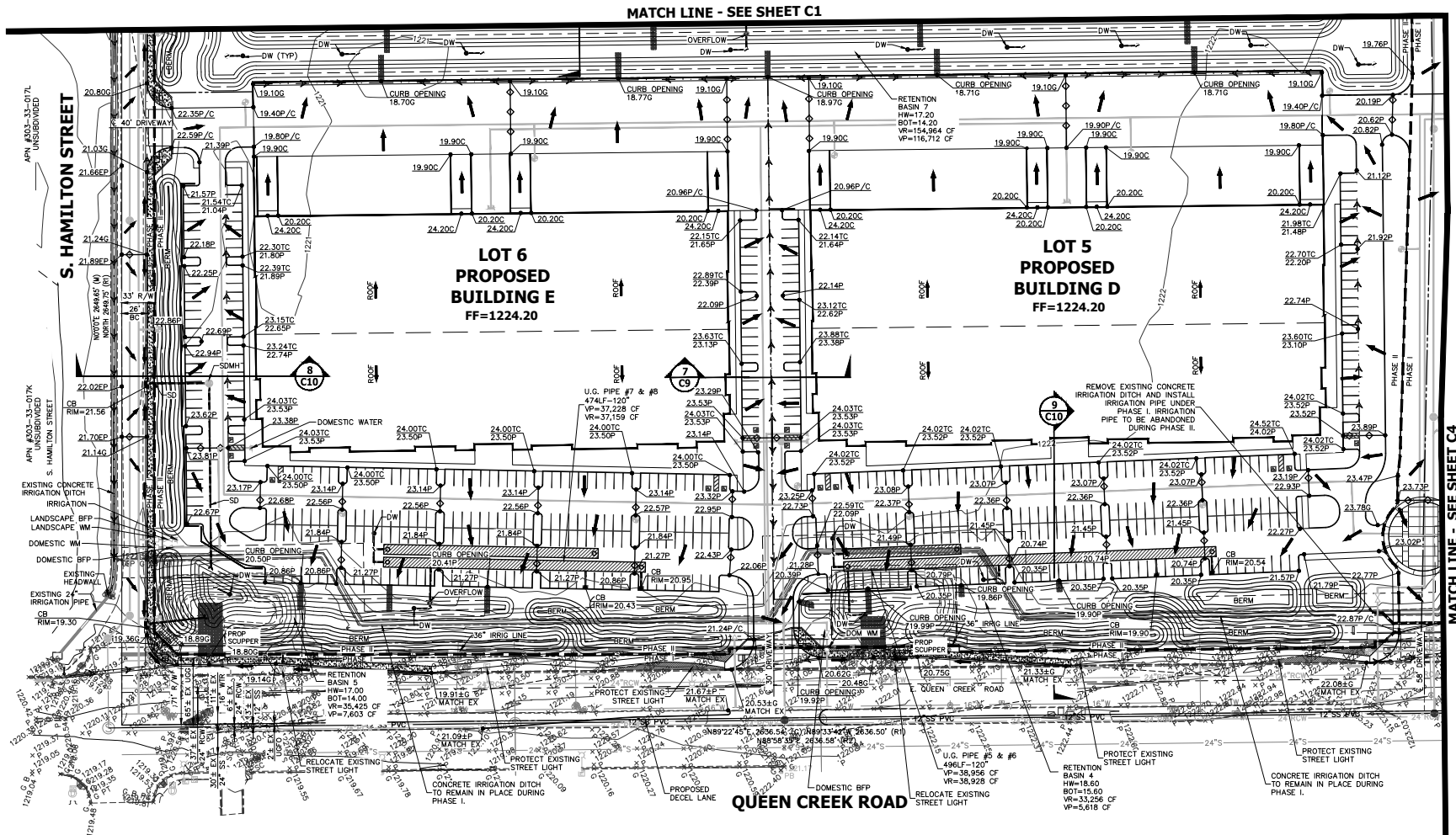
THESE PLANS ARE
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CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
CORES CHANDLER

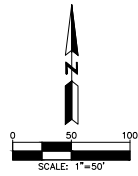
HE NO.: CORE001
SCALE: 1"=50'

SHEET:
C3

C.O.C LOG NO. PL70-0020



CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2 N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3865
F 480.991.3866



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286



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PROJECT NAME:
CORES CHANDLER

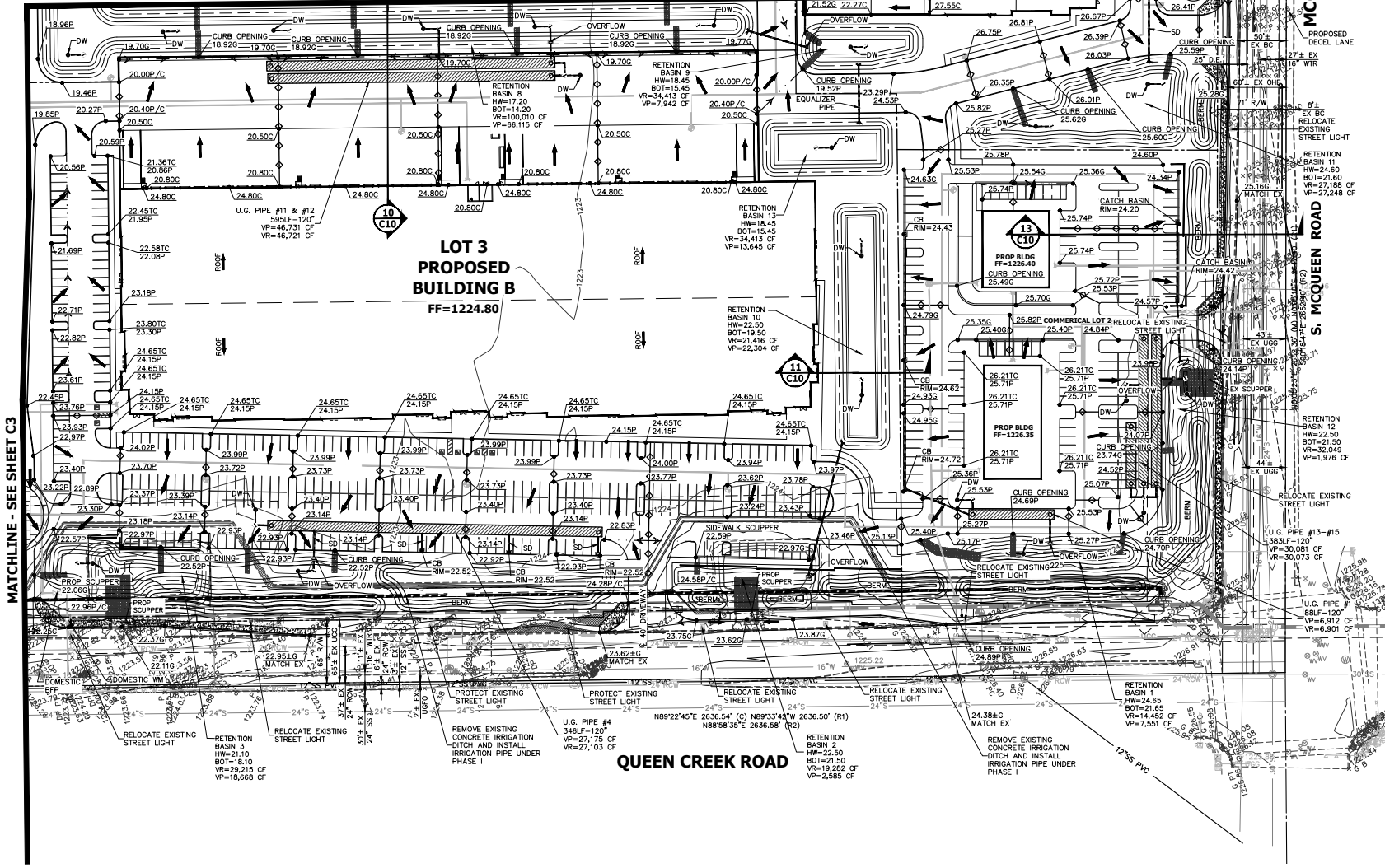
HE NO.: CORE001

SCALE: 1"=50'

SHEET:
C4

C.O.C LOG NO. PL720-0020

MATCHLINE - SEE SHEET C2



QUEEN CREEK ROAD

S. MCQUEEN ROAD

MATCHLINE - SEE SHEET C3

OWNER/DEVELOPER

CORE5 SCHRADER FARMS BP, LLC
300 SPECTRUM CENTER DRIVE, SUITE 880
IRVINE, CALIFORNIA 92618
PHONE: (949) 467-3290
CONTACT: JON KELLY

DEVELOPER/ARCHITECT

DEUTSCH ARCHITECTURE GROUP
4600 E. INDIAN SCHOOL ROAD
PHOENIX, ARIZONA 85018
PHONE: (602) 840-2929 x144
CONTACT: RANDY HILLEBOE
EMAIL: RHILLEBOE@2020.COM

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986
CONTACT: LARRY TALBOTT

NOTE

ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE
AND SITE CLEANUP, MUST BE COMPLETED PRIOR
TO CERTIFICATE OF OCCUPANCY FOR ANY
BUILDING WITHIN A PHASE.

LEGEND

---	CENTERLINE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SEWER LINE
---	WATER LINE
---	FIRE LINE
1	CAP
●	FIRE HYDRANT
○	DRYWELL
●	SANITARY SEWER MANHOLE
⊗	BACKFLOW PREVENTER
□	WATER METER
⊕	FDC

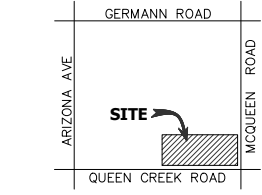
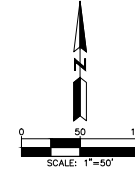
CONCEPTUAL UTILITY PLAN

FOR

CORE5 CHANDLER PHASES 1 & 2

NWC MCQUEEN RD. & QUEEN CREEK RD. CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN

**VICINITY MAP**

NTS

NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3985
F 480.991.3986



CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

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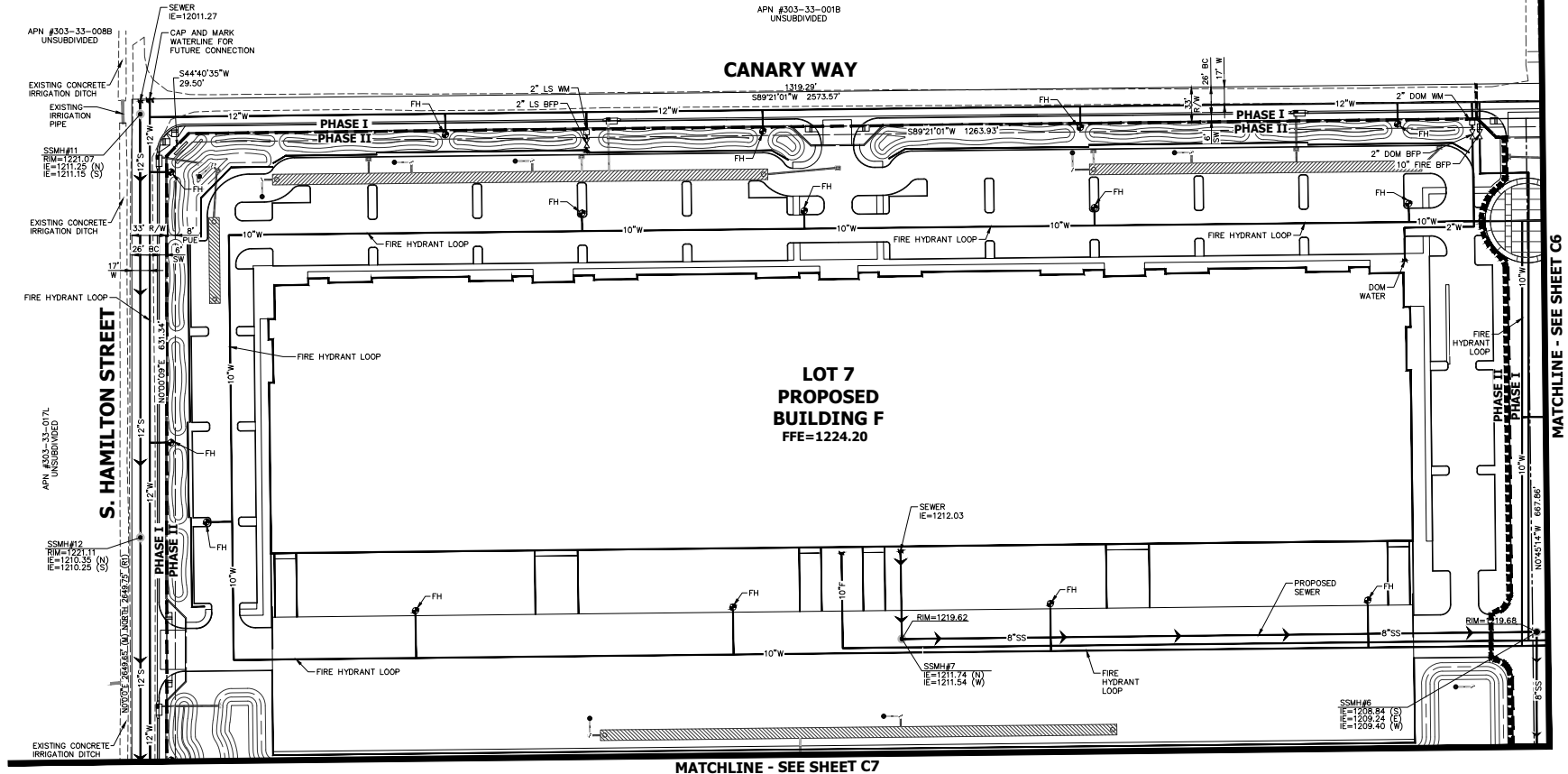
PROJECT NAME:
**CORE5
CHANDLER**

RE NO.: CORE001
SCALE: 1"=50'

SHEET:
C5

C.O.C LOG NO. PL720-0020

5 OF 10

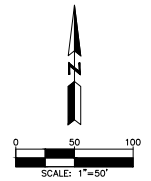


MATCHLINE - SEE SHEET C7

MATCHLINE - SEE SHEET C6

CONCEPTUAL UTILITY PLAN FOR CORE5 CHANDLER PHASES 1 & 2 NWC MCQUEEN RD. & QUEEN CREEK RD. CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: J.A.O.

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3860
F 480.991.3860



**CONCEPTUAL UTILITY PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**



THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME:

CORE5 CHANDLER

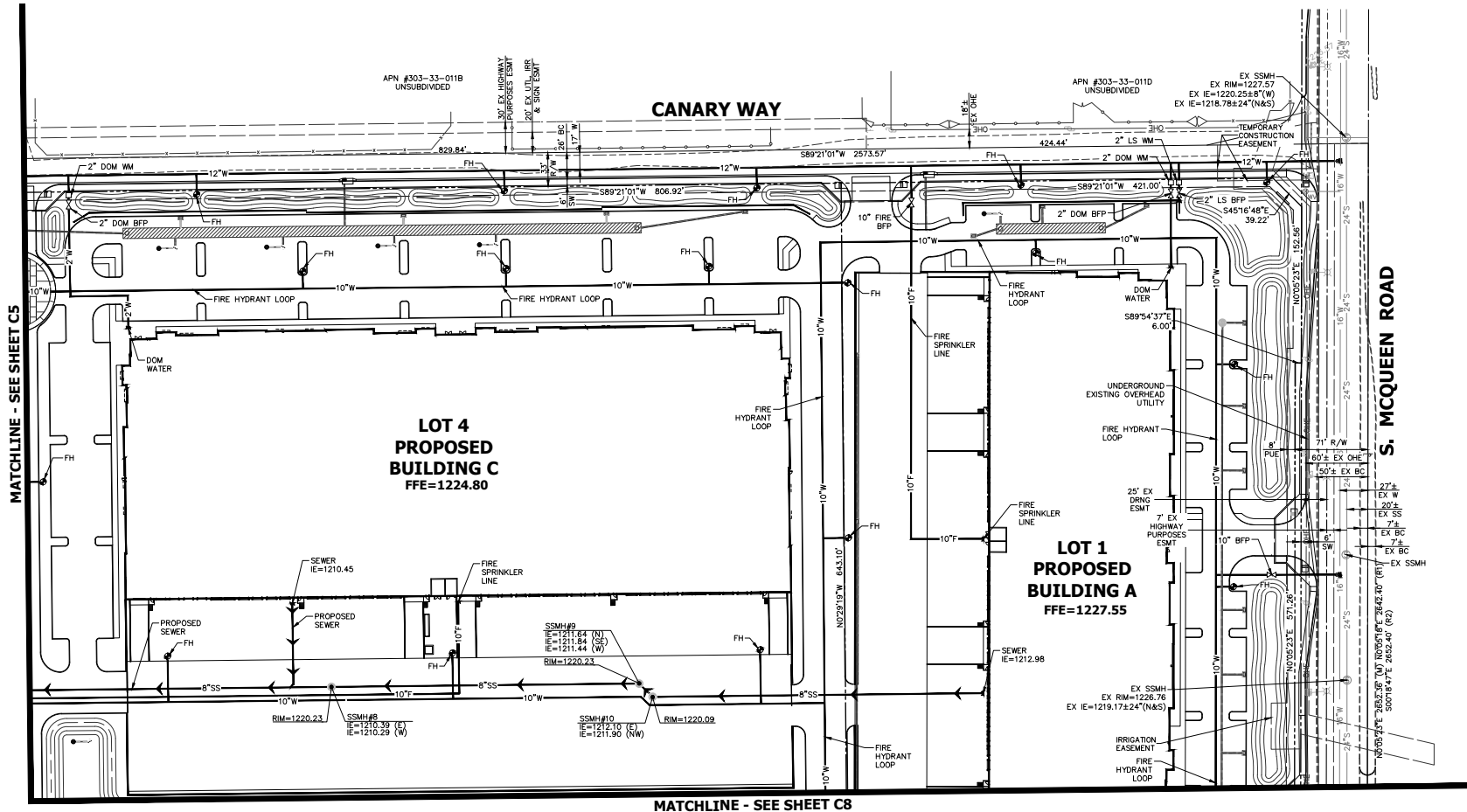
RE NO.: CORE001

SCALE: 1"=50'

SHEET:

C6

C.O.C LOG NO. PL720-0020

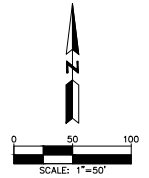


MATCHLINE - SEE SHEET C5

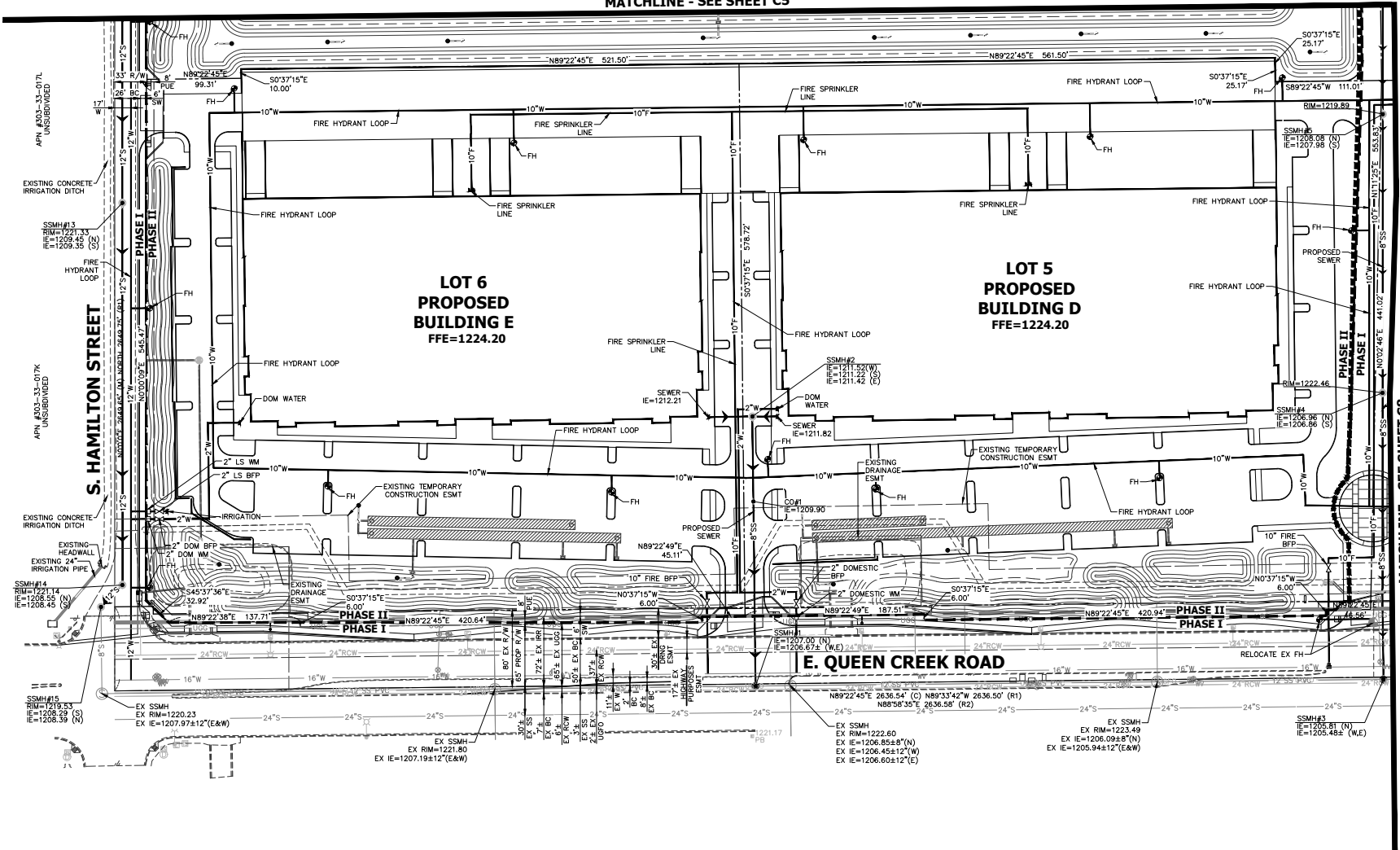
MATCHLINE - SEE SHEET C8

CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



MATCHLINE - SEE SHEET C5



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.
CHECKED BY: J.A.O.

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ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3860
F: 480.991.3866



CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

ARIZONA
STATE ENGINEERING BOARD
JAMES A. O'CONNEL
12345

THESE PLANS ARE
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CONSTRUCTION
WITHOUT AN
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FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
CORE5
CHANDLER

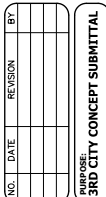
RE NO.: CORE001

SCALE: 1"=50'

SHEET:
C7

C.O.C LOG NO. PL70-0020

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



**CONCEPTUAL UTILITY PLAN
FOR
DRE5 CHANDLER PHASES 1 & 2
MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**

CONTACT ARIZONA811 AT LEAST 2 FULL
WORKING DAYS BEFORE YOU BEGIN EXCAVATION

ARIZONA811
SMALLER DIGGING, BIGGER PROBLEMS

CALL 811 OR VISIT ARIZONA811.COM

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MUNICIPALITY

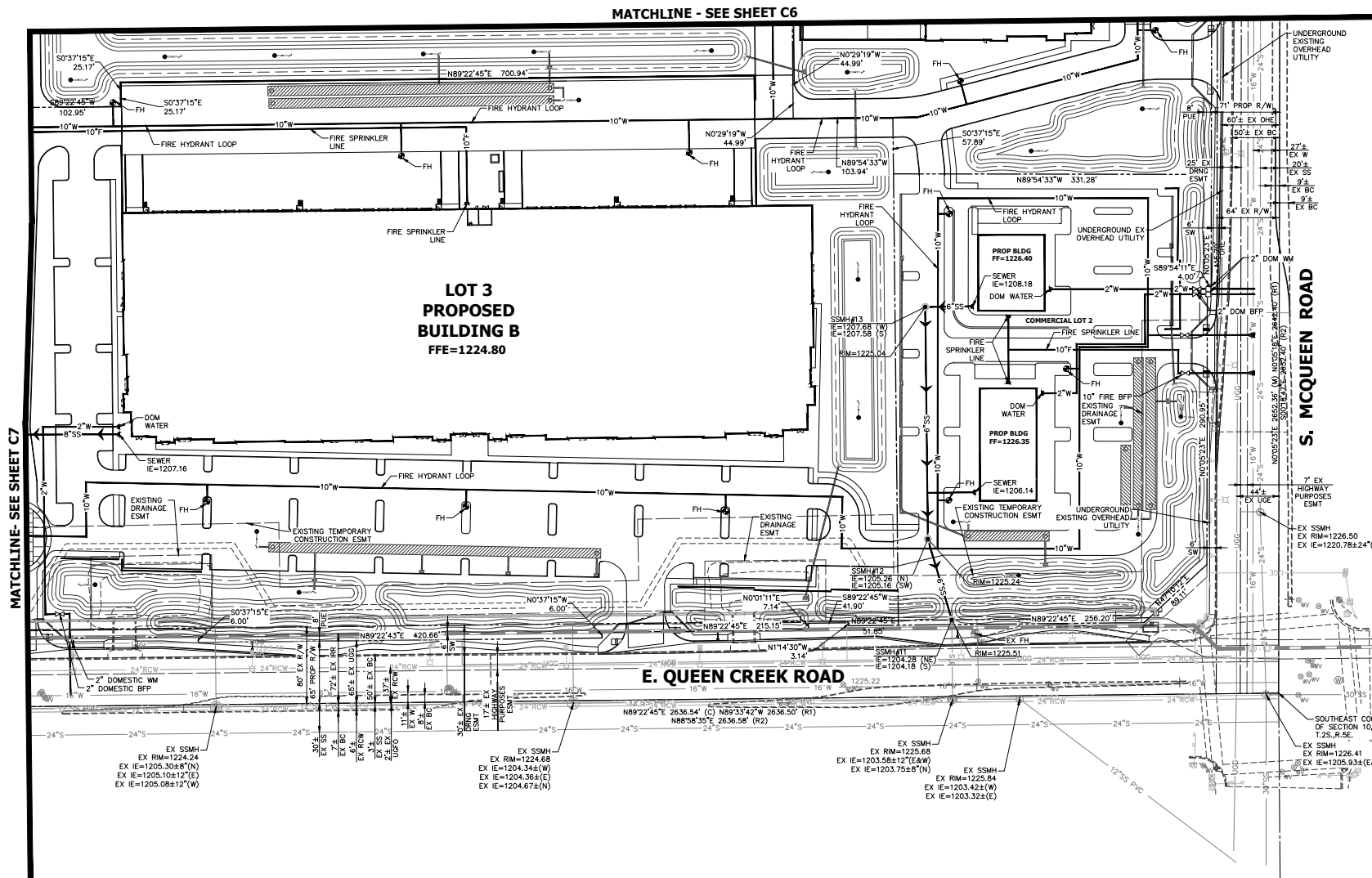
PROJECT NAME:

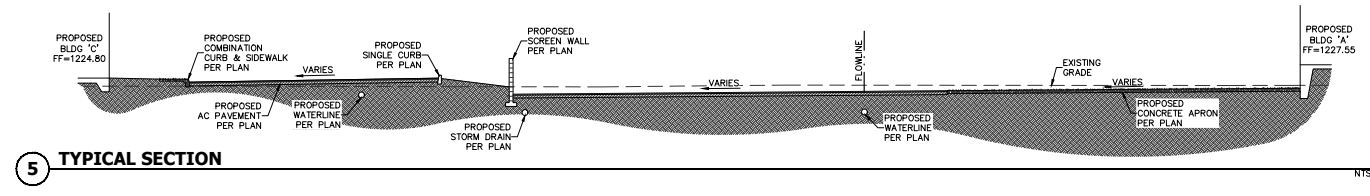
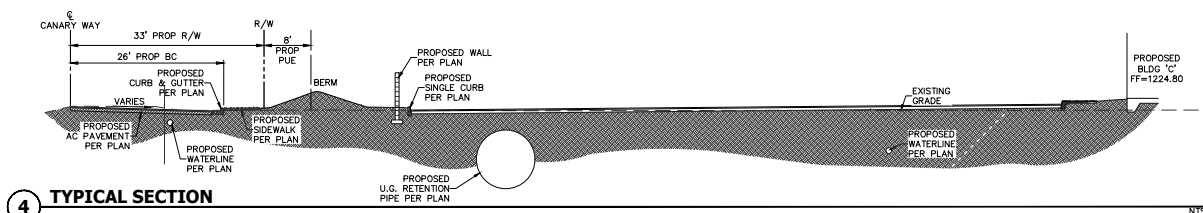
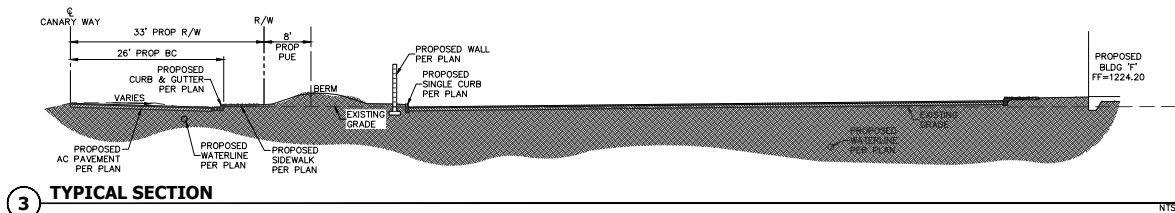
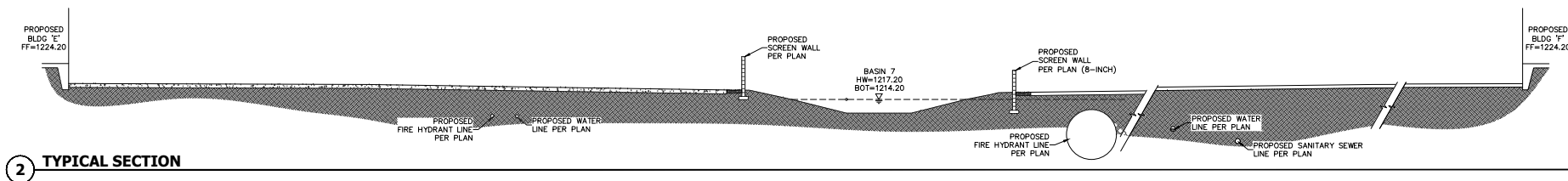
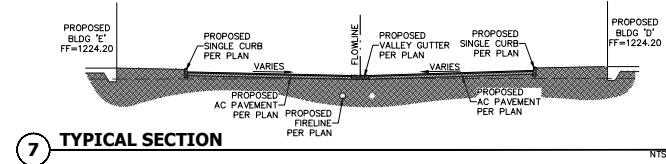
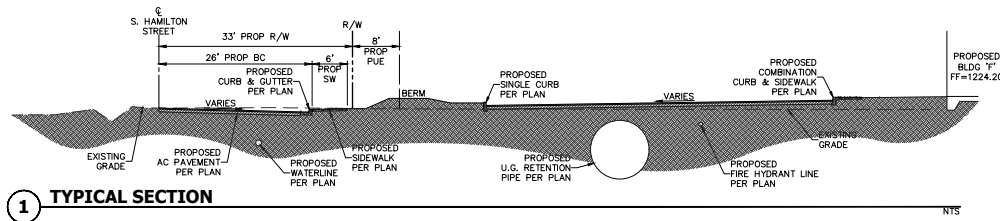
CHANDLER

SHEET:
C8

8 OF 10

C.O.C LOG NO.PL T20-0020





NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3860
F: 480.991.3861



**TYPICAL SECTIONS
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**



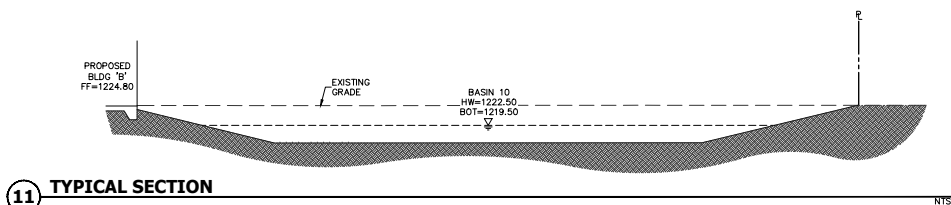
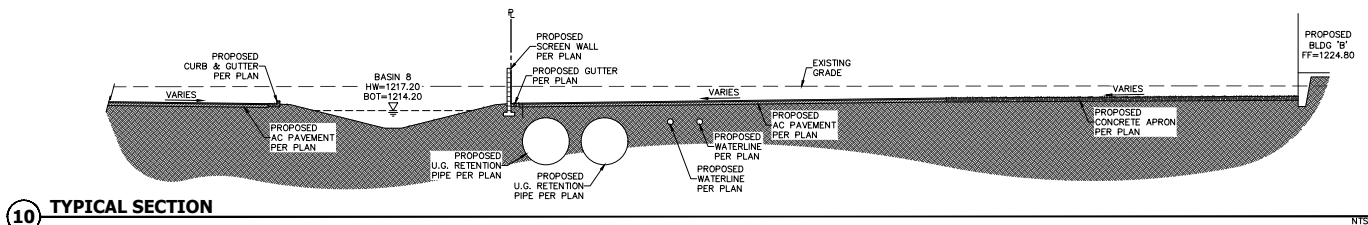
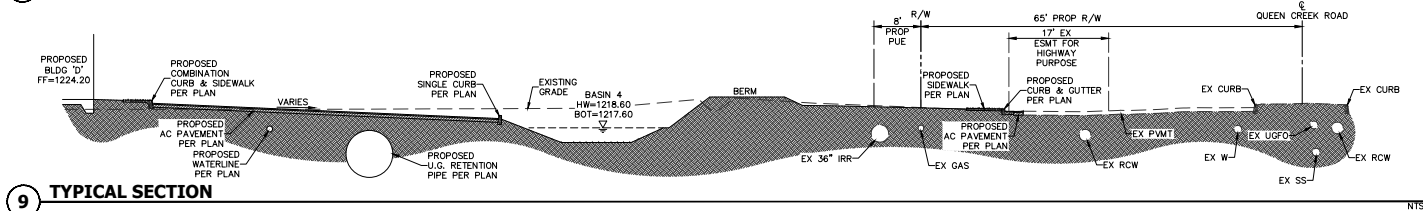
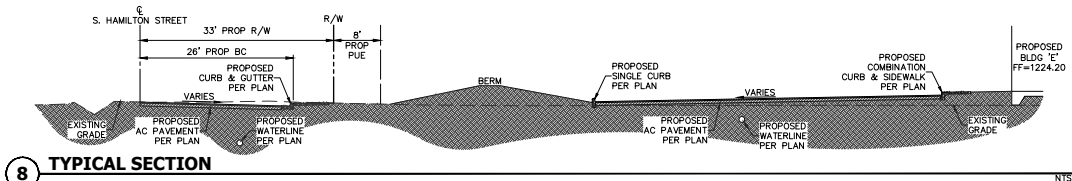
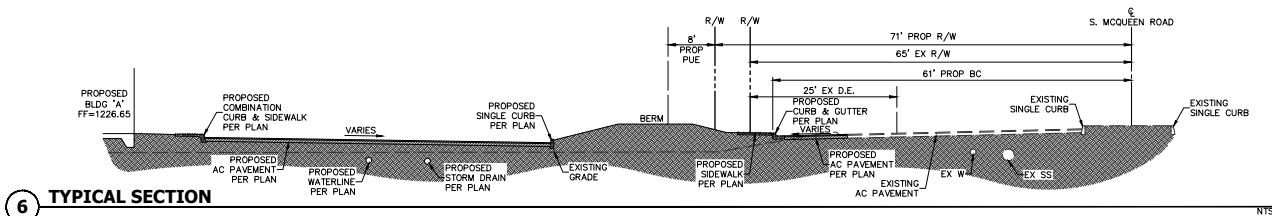
THESE PLANS ARE
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FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
**CORES
CHANDLER**

HE NO.: CORE001
SCALE: NTS

SHEET:
C9

C.O.C LOG NO. PL720-0020



NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			

DESIGN BY: R.M.
DRAWN BY: C.C.
CHECKED BY: J.A.O.

HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3885
F 480.991.3886



**TYPICAL SECTIONS
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**



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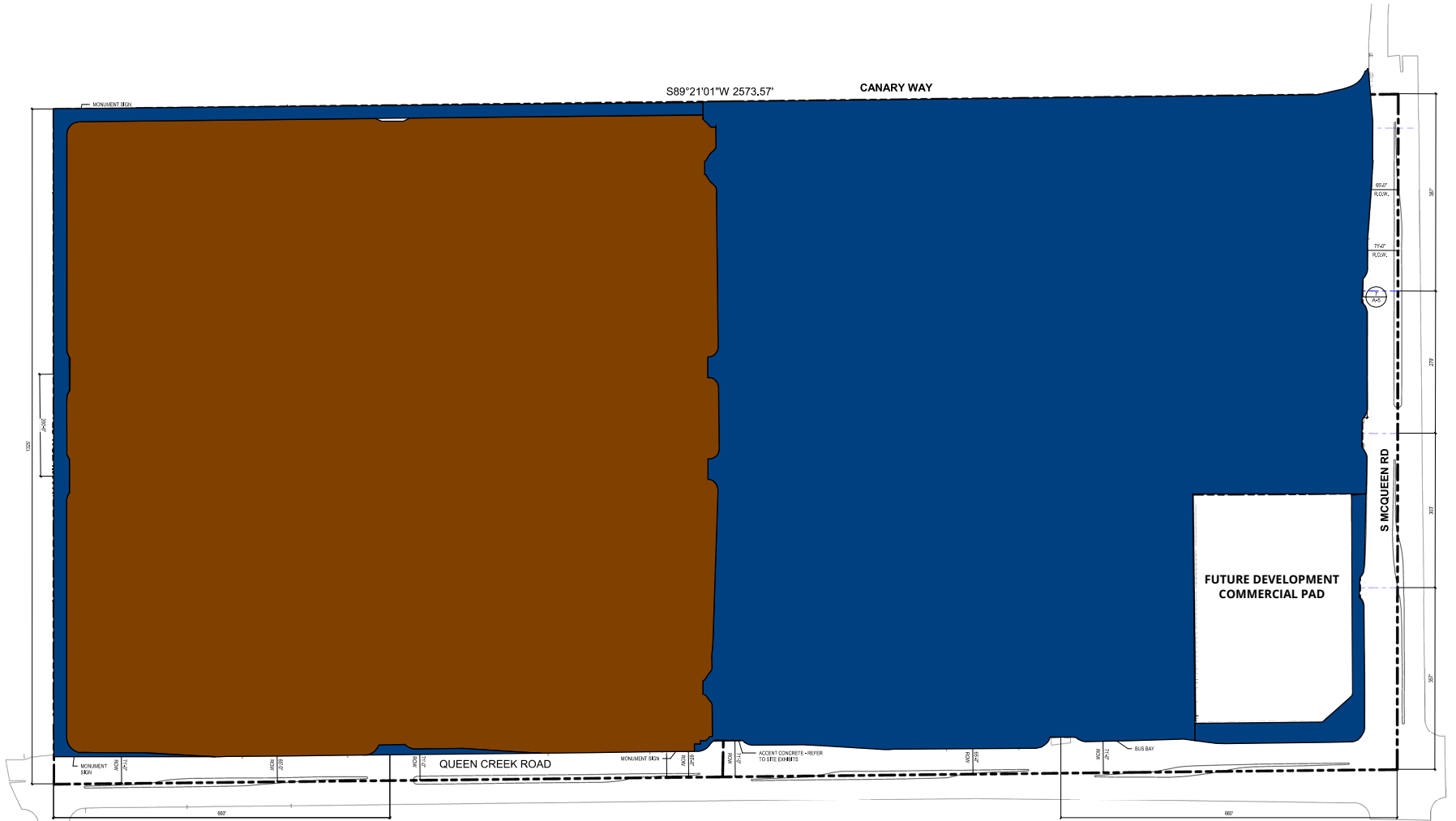
PROJECT NAME:
CORES
CHANDLER

HE NO.: CORE001

SCALE: NTS

SHEET:
C10

C.O.C LOG NO. PL720-0020



1 PRELIM. MASTER SITE PLAN
SCALE 1" = 80'

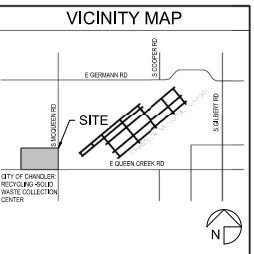


SITE DATA					
PARCEL NUMBERS	GROSS AREA		NET AREA		
303-33-050C, 303-33-060A	S.F.	ACRES	S.F.	ACRES	
PHASE 1	1,528,873	35.0	1,368,861	31.42	
PHASE 2	1,750,419	40.0	1,577,903	36.22	
COMMERCIAL PARCEL	276,545	4.97	150,545	3.48	
OVERALL	3,465,538	80.25	3,007,308	71.10	
SETBACKS	PROPOSED LANDSCAPE		PROPOSED BUILDING		
PRIVATE DRIVE	20'		20'		
MCQUEEN RD.	20'		20'		
QUEEN CREEK RD.	30'		30'		
HAMILTON RD.	20'		20'		
ZONING DATA					
CURRENT ZONING	AG-1		PROPOSED ZONING		PAD
BUILDING DATA					
BUILDING	AREA		COVERAGE		BUILDING HEIGHT
	AREA	NET	GROSS		
BUILDING A	87,356	28%	23%	SF MAX.	
BUILDING B	172,545	33%	29%	SF MAX.	
BUILDING C	168,041	32%	31%	SF MAX.	
BUILDING D	122,828	32%	29%	SF MAX.	
BUILDING E	113,328	31%	27%	SF MAX.	
BUILDING F	277,688	33%	31%	SF MAX.	
OVERALL	945,590	31%	27%	SF MAX.	
PARKING CALCULATION					
	REQUIRED	PROVIDED	ADA REQUIRED	ADA PROVIDED	RATIO
BUILDING A	92	115	5	8	1.32:1000
BUILDING B	172	330	8	8	1.98:1000
BUILDING C	168	244	7	8	1.50:1000
BUILDING D	123	239	7	8	2.01:1000
BUILDING E	113	260	7	8	2.42:1000
BUILDING F	278	390	9	12	1.48:1000
OVERALL	946	1,602	45	55	1.78:1000

PROJECT NARRATIVE

THE PROPOSED PROJECT CONSISTS OF A MULTI-PHASE BUSINESS CENTER LOCATED ON APPROXIMATELY 35 ACRES AT THE NORTHWEST CORNER OF QUEEN CREEK ROAD AND MCQUEEN ROAD IN CHANDLER, ARIZONA. THE MASTER PLANNED DEVELOPMENT WILL CONSIST OF APPROXIMATELY SIX BUILDINGS DESIGNED FOR A WIDE VARIETY OF USES CONSISTENT WITH THE CHANDLER AIRPORT AREA PLAN.

PROJECT TEAM		
OWNER:	ARCHITECT:	GENERAL CONTRACTOR:
CORE5 SCHRAEDER FARMS RP, LLC 330 SPECTRUM CENTER DRIVE SUITE 800 PHOENIX, AZ 85018 PHONE: (480) 455-0200 E-MAIL: JEFF@CORE5.COM CONTACT: JON KENNEL	DEUTSCH ARCHITECTURE GROUP 400 E. HANNAH SCHOOL RD. PHOENIX, AZ 85018 PHONE: (602) 462-2029 x144 E-MAIL: PHIL@DEUTSCHARCH.COM CONTACT: RANDY HILBERG	NETR BUILDERS, LLC 4288 N. CRAFTSMAN COURT SUITE 100 SCOTTSDALE, AZ 85251 PHONE: (480) 426-2101 E-MAIL: INFO@NETRBUILDERS.COM CONTACT: SU HATTI
LANDSCAPE ARCHITECT:	ELECTRICAL ENGINEER:	
G.K. FLANNAGAN ASSOCIATES 1625 N. 4TH STREET, SUITE 200 SCOTTSDALE, AZ 85269 PHONE: (480) 350-8800 E-MAIL: JUSTIN@GKFLANNAGAN.COM CONTACT: JUSTIN MEYER	SOLUTIONS AEC 1411 N. BROADWAY, SUITE 142 TEMPE, AZ 85283 PHONE: (480) 965-1188 E-MAIL: PHOENIX@COLLINS4EAC.COM CONTACT: JOE KENNEDY, P.E.	



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