



City Council Regular Meeting

Monday, July 12, 2021
6:00 p.m.

Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ





From left to right: Councilmember Matt Orlando, Councilmember Rene' Lopez, Vice Mayor Mark Stewart, Mayor Kevin Hartke, Councilmember OD Harris, Councilmember Christine Ellis, Councilmember Terry Roe

Our Vision

We are a world-class City that provides an exceptional quality of life.

Our Brand

A safe, diverse, equitable and inclusive community that connects people, chooses innovation and inspires excellence.

Our Goals

City Council Strategic Policy Goals

1. Being the most connected City
2. Being a leader in trust and transparency
3. Maintaining fiscal sustainability
4. Attracting a range of private sector businesses
5. Fostering a contemporary culture that embraces unity
6. Being safe and beautiful

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. 38-431.02, notice is hereby given to the members of the Chandler City Council and to the general public that the Chandler City Council will hold a REGULAR MEETING open to the public on Monday, July 12, 2021, at 6:00 p.m., in the Chandler City Council Chambers, 88 E. Chicago Street, Chandler, Arizona. One or more members of the Chandler City Council may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.



Regular Meeting Agenda

City Council Strategic Framework Focus Areas: Legend



Economic Vitality



Mobility



Quality of Life



Innovation and Technology



Neighborhoods



General Governance

Call to Order

Roll Call

Invocation - Pastor Linn Winters, Cornerstone Church

Pledge of Allegiance

Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the governing body, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.



City Clerk

1. June 2021 City Council Meeting Minutes

Move City Council approve the Council Meeting minutes of the Special Meeting (4:00 pm) of June 21, 2021, Work Session of June 21, 2021, Study Session of June 21, 2021, Special Meeting (6:00 pm) of June 21, 2021, and Regular Meeting of June 24, 2021.

Council Focus Area(s):







Development Services



2. **Final Adoption of Ordinance No. 4974, ANX20-0004 Annexation and Initial City Zoning**

Move City Council adopt Ordinance No. 4974 approving ANX20-0004 Annexation of approximately 5 acres, located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning staff.

Council Focus Area(s):  


3. **Final Adoption of Ordinance No 4975, PLH20-0051 The Ashley**

Move City Council adopt Ordinance No. 4975 approving PLH20-0051 The Ashley, rezoning from Agricultural (AG-1) District to Planned Area Development for multi-family residential (PAD/MF-2), located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.

Council Focus Area(s):  

4. **Final Adoption of Ordinance No. 4997, PLH20-0030, Schrader Farms Business Park Rezoning**

Move City Council adopt Ordinance No. 4997, approving PLH20-0030, Schrader Farms Business Park, located at the northwest corner of McQueen and Queen Creek roads, rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay, and a commercial corner, subject to the conditions as recommended by Planning and Zoning Commission.

Council Focus Area(s): 

Adjourn



City Council Memorandum City Clerk's Office Memo No.

Date: July 12, 2021
To: Mayor and Council
From: Dana DeLong, City Clerk
Subject: June 2021 City Council Meeting Minutes

Proposed Motion:

Move City Council approve the Council Meeting minutes of the Special Meeting (4:00 pm) of June 21, 2021, Work Session of June 21, 2021, Study Session of June 21, 2021, Special Meeting (6:00 pm) of June 21, 2021, and Regular Meeting of June 24, 2021.

Attachments

Minutes of the Work Session of June 21, 2021
Minutes of the Special Meeting (4:00 pm) of June 21, 2021
Minutes of the Study Session of June 21, 2021
Minutes of the Special Meeting (6:00 pm) of June 21, 2021
Minutes of the Regular Meeting of June 24, 2021

Meeting Minutes

City Council Work Session

June 21, 2021 | 4:30 p.m.
Council Chambers Conference Room
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Mayor Kevin Hartke at 4:33 p.m.

Roll Call

Council Attendance

Mayor Kevin Hartke
Vice Mayor Mark Stewart
Councilmember OD Harris
Councilmember Terry Roe
Councilmember René Lopez
Councilmember Christine Ellis
Councilmember Orlando

Appointee Attendance

Josh Wright, Acting City Manager
Debra Stapleton, Assistant City Manager
Kelly Schwab, City Attorney
Dana DeLong, City Clerk

Staff in Attendance

Matt Burdick, Communications and Public Affairs Director
Rae Lynn Nielsen, Human Resources Director
Cori Garcia, Mayor and Council Communications Manager
Ryan Peters, Governmental Relations and Policy Manager

Discussion

1. Presentation and discussion regarding recruitment and compensation strategy for General (Non-Labor Association) Employees.

JOSHUA WRIGHT, Acting City Manager, introduced the discussion item and said this is the first time in a while there has been discussion with Council on this issue. Mr. Wright said this study has not been done since fiscal year 2006/2007. Mr. Wright said this is a conversation about general employees and this presentation is to facilitate feedback from Council and staff and then come back at a later time with recommendations.

RAE LYNN NIELSEN, Human Resources Director, presented the following presentation.

- Recruitment and Compensation Strategy for General (Non-Labor Association) Employees Public Support
- Agenda
 - Workforce Analysis
 - Challenges and Initiatives
 - Current Compensation Strategy
 - Classification and Compensation Study
 - Recommendations and Timeline
- Workforce Analysis as of June 2021
 - ASRS Retirement Eligible Employees as of March, 2021
 - Total Workforce by Retirement Group

COUNCILMEMBER ORLANDO asked if in general people are not gravitating towards the public sector.

MS. NIELSEN said they are having trouble attracting people to public service and they have not been used to competing with the private sector in the past. Ms. Nielsen said Chandler is not unique to this and COVID-19 has put a stop to some of the onsite things that could be done.

MS. NIELSEN continued the presentation.

- Current Recruitment Challenges
 - Ability to Attract and Retain Qualified Workforce
 - Private sector companies competing for same talent
 - Other cities attracting talent
 - Current Recruitment Challenges
 - Recruitment Challenges Based on COVID & Market
 - Candidate expectations have changed
 - Alternative work schedules at surrounding cities
 - Residency requirements for Department Directors
 - Hold on Positions Due to Pandemic
 - Largest vacancy rate across the City
 - Currently 103 vacancies
 - High 123/Normal average 70
 - Large Retirement-eligible Workforce

COUNCILMEMBER ORLANDO asked if other cities have the same residency requirement.

MS. NIELSEN said some cities do and some do not, it is all over the board right now, but it is definitely a discussion in each city right now.

COUNCILMEMBER ORLANDO asked when that information would be available.

MS. NIELSEN said staff would get that to Council by the end of the week.

MS. NIELSEN continued the presentation.

- # of Applicants vs # Positions Available

MAYOR HARTKE said the last time they incentivized retirement was during the Great Recession because they were looking at diminishing the work force then.

MS. NIELSEN said yes, they did not do any layoffs or furloughs but did offer retirement incentives.

MS. NIELSEN continued the presentation.

- New Hire, Separation, Recruitment & Turnover
 - 2018
 - New Hires 77
 - Separations including Retirements 157
 - Recruitments 268
 - 2019
 - New Hires 135
 - Separations including Retirements 167
 - Recruitments 275
 - 2020
 - New Hires 102
 - Separations including Retirements 135
 - Recruitments 157
 - YTD
 - New Hires 89
 - Separations including Retirements 81
 - Recruitments 161
 - Current Vacancies 103
 - Turnover
 - 2017-2018 4.4%/7.5%
 - 2018-2019 5.1%/9.8%
 - 2019-2020 6.6%/11.4%
 - 2020-YTD 5.8%/10.5%
- Exit Interview Analysis
 - Retirement
 - Opportunities to Advance
 - Pay
- Current Compensation Challenges

- Compensation strategy
- Full classification and compensation study has not been completed since FY 06-07
 - Administrative series and IT classification study was completed in FY 13/14
- Pay ranges and compensation structure need to be updated and better aligned with market and workforce
- Candidates expecting higher wages-internal equity issues
 - Retirement costs for ASRS employees: Pension value

VICE MAYOR STEWART said the retirement system is crippling for some cities and asked if some cities have moved away from retirement or if some employees can opt out. Vice Mayor Stewart asked if they will always be married to a retirement.

MS. NIELSEN said Tucson and Phoenix are in their own retirement system. Ms. Nielsen said the rate is driven by statute and there is an agreement with ASRS.

KELLY SCHWAB, City Attorney, said pulling out of the system has a big impact because those currently paying in are paying the current retirees.

COUNCILMEMBER ORLANDO asked if they are also paying social security.

MS. NIELSEN said yes, except fire.

COUNCILMEMBER ORLANDO said that is about 20% off the pay check.

MS. NIELSEN said long term those benefits would likely pay off, but people look at their take home pay.

COUNCILMEMBER ROE said there is a long list of other things that could be offered for people to work here. Councilmember Roe asked about hiring retirees part time to fill staffing assignments which pays no benefits. Councilmember Roe said a lot of people are willing to work part time and they need to offer innovative things that is not just money.

COUNCILMEMBER HARRIS said there was a way to opt out of social security and asked if that is an option for employees here.

MS. NIELSEN said it is an all or nothing for the City instead of just individuals.

COUNCILMEMBER HARRIS said the US Title 26 said there is a way to opt out of social security if they choose to put those dollars in a qualified retirement plan. Councilmember Harris confirmed as a City they cannot offer this.

MS. NIELSEN that was correct, they did not have that option.

COUNCILMEMBER ROE said they could work with a contracting agent and then people would have that option.

MS. NIELSEN said they do have a contracting agent, but they still pay into social security.

COUNCILMEMBER ORLANDO said there are laws as well about how long someone can work without providing benefits.

MS. NIELSEN continued the presentation.

- Reclassification, Market & Equity Adjustment History
 - 2018
 - Incumbent 36
 - Vacancy 25
 - Total 61
 - 2019
 - Incumbent 34
 - Vacancy 25
 - Total 59
 - 2020
 - Incumbent 18
 - Vacancy 13
 - Total 31
 - YTD: 2021
 - Incumbent 39
 - Vacancy 19
 - Total 58
- Current Recruitment Initiatives
 - Established Hiring Incentives for Police Sworn, Dispatch, and Detention Officer positions beginning July 1, 2021.
 - Enhanced marketing strategies through outreach and technology.
 - Leveraging technology to streamline recruitment and hiring processes.
 - Mobility initiatives and updated telework regulation to allow for more flexible work arrangements when appropriate.

COUNCILMEMBER HARRIS asked about NeoGov and what the technology does.

MS. NIELSEN said NeoGov is a recruitment platform that positions are posted to, applicants apply, electronic screening that are submitted to hiring managers, routing approval processes, and making offers. Ms. Nielsen said they have also sourced candidates for positions that a hiring manager can reach out to for a position that was a better fit.

COUNCILMEMBER HARRIS asked if this pulled buzz words from resumes.

MS. NIELSEN said it could be set up that way, but the City does not do that. There is a staff member who reviews the resumes and screens them. It is hard to use the filters and people could be missed. Ms. Nielsen said for certain positions there may be supplemental questions to help filter down further.

COUNCILMEMBER HARRIS asked how long resumes are in the system.

MS. NIELSEN said there is an open and closed date for position recruitment and those are kept for three years.

COUNCILMEMBER HARRIS asked how someone knows if their application was reviewed.

MS. NIELSEN said when the position is closed, there are stages where staff will get back to candidates if they are selected to move forward or not. No one should be waiting more than a couple months to hear back.

COUNCILMEMBER ROE asked about packages for retirement and if there is an interview to ask what would make them stay longer.

MS. NIELSEN said she has had those conversations with a few employees during COVID-19 and said she would be worried if these conversations were a constant.

COUNCILMEMBER ROE asked about a four-day work week.

MS. NIELSEN said it is a constant request to be closed on Fridays.

MR. WRIGHT said there are some employees that work 4/10 schedules, it is just that not everyone is off on a certain day.

COUNCILMEMBER ELLIS said she cannot imagine being closed on Friday unless there was another way to add services for them. Councilmember Ellis said it is good that people can have flexibility. Councilmember Ellis asked if there are pathways for people to advance and how to encourage them to do so.

MS. NIELSEN said they would look ahead to professional development and they are also looking for additional pathways for people to move forward. Ms. Nielsen said when they go through this study that is something they want to look at as well. There are situations where someone does not have to compete for the next level, it might just be a natural progression to move up.

COUNCILMEMBER ORLANDO asked how someone knows there is a job opening in Chandler.

MR. NIELSEN said externally there is advertising through social media, the City's website, and if it is a specialized position there may be advertising in certain publications.

MS. NIELSEN continued the presentation.

- Current Compensation Initiatives
 - Exceptional performance one-time award given to all full and part time employees who met criteria on April 15, 2021.
 - Market adjustment of 1.5% for general employees in July, 2021.
 - Merit increases of up to 3.25% in FY 21-22 for merit-eligible employees. Up to 5% for those covered under an MOU.
 - Decision package for a full classification and compensation study approved in FY 21-22.
 - Flexibility to hire up to the mid-point of the range with Director approval.
- Current Professional Development Programs
 - 5 Professional Development Programs
 - 58 Employees Participated
 - 7 Mentoring Programs
 - 554 Employees Participated
 - Additional personal and professional development courses are available; sample titles include:
 - Emotional Intelligence
 - Career Path
 - Public Speaking
 - Communication
 - IT Technical Topics
- Current Compensation Strategy
 - 4th market strategy
 - Total Cash Compensation measures include:
 - Base pay
 - City contribution to deferred compensation
 - Retirement Health Savings contribution
 - Longevity (Public Safety only)
 - Additional Retirement Health Savings contribution (Fire only)
 - Current market is 8 cities:
 - Chandler
 - Gilbert
 - Glendale
 - Mesa
 - Peoria
 - Phoenix
 - Scottsdale
 - Tempe

- Benchmark surveys completed annually

COUNCILMEMBER ORLANDO said this was brought up in 2006 and there are some private jobs like IT or maintenance jobs and there were about 35% jobs mapped. Councilmember Orlando asked if that would be done this time.

MS. NIELSEN said they would have that conversation with the vendor.

COUNCILMEMBER ORLANDO said if they do not broaden the market then they would be in the same circle competing against the cities.

MS. NIELSEN said that is something that they would look at.

COUNCILMEMBER ORLANDO asked why medical is not factored into compensation.

MS. NIELSEN said the benefits are so different they could not find a fair dollar amount to compare.

COUNCILMEMBER ORLANDO said if they are going against private companies the medical benefits could be a benefit depending on how much the private companies cost. Councilmember Orlando asked if there is a way for this to be considered.

MS. NIELSEN said when they speak to candidates, a lot of time is spent walking through the benefits. Ms. Nielsen said they do try to sell some of those things to incentivize candidates.

MS. NIELSEN continued the presentation.

- Pay Comparison Table
- Classification vs. Compensation
 - Classification Study
 - Define scope and nature of job assignments
 - Organizes jobs into formal job categories
 - Creates a classification structure
 - Revise, update, or create job descriptions
 - Recommendation system hierarchy and ensure work being performed is in alignment with each classification
 - Compensation Study
 - Determine City's pay philosophy
 - Determine appropriate market of positions
 - Survey market according to City's pay philosophy
 - Recommend market placement or changes if appropriate based on classification system
- Classification vs. Compensation Study Deliverables
 - Review and Update Current Classification System

- Benchmark positions
- Update class specifications
- Evaluation of positions or group of positions
- Analysis of Compensation System including Salaries, Policies and Pay Practices
 - Analyze current pay practices to determine if we are competitive
- Market Comparisons Best Practices
 - Where does City want to be in the market to remain competitive and attract top talent?
 - Does the current compensation methodology need to change?
 - Does our market need to change?

COUNCILMEMBER LOPEZ asked if they see some cities jump in leaps from one to another which skews the salaries in some positions.

MS. NIELSEN said she agreed. There are some positions that they see that are very different and the benefits can be very different. Ms. Nielsen said she has seen a big change in the base pay and was not sure what market they are using but it could be they are having trouble attracting employees.

MS. NIELSEN continued the presentation.

- Recommendations
 - Perform a Classification and Compensation Study as requested through the FY21-22 budget process.
 - Begin nationwide recruitment campaign.
 - Continue to look for more innovative ways to offer more flexible work environments as appropriate by position.
 - Continue to aggressively reduce the vacancy rate.
 - Continue to market jobs in a more appealing and creative way to attract talent.
 - Consider additional non-compensation strategies to attract and retain employees.
 - Continue professional development initiatives and outreach to educational partners.
 - Update personnel rules and policies to enhance recruiting timeliness.

MAYOR HARTKE asked about the charter change for employee residency and asked if these were charter changes or administrative changes.

MS. NIELSEN said the only one is the residency requirement, all of the others are in the personnel rules which are approved by Council or administrative regulations which are approved by the City Manager.

MS. NIELSEN continued the presentation.

- Timeline
 - Issue RFP for third-party to perform study August 2021

- Present contract to City Council for award Fall 2021
- Begin communication process city-wide Fall 2021 and continuous through process
- Brief City Council and receive additional direction at appropriate points in study
- Implement classification and compensation study changes Present as part of the FY 22-23 budget process

COUNCILMEMBER HARRIS said they should move forward with the study and look at our methodologies. Councilmember Harris suggested looking at what memberships the City has and what types of benefits the City is getting back from those. Councilmember Harris said this would be a great way to deep dive and recruit the best.

COUNCILMEMBER ROE asked for innovative creative ideas and said people want exciting ideas.

VICE MAYOR STEWART said he was grateful for the insight and they need to be talking about this to provide the best service to the community. Vice Mayor Stewart said the people deliver the services and if they start to falter on hiring the best people then the feeling in the community could change. Vice Mayor Stewart said he would like to see a report on the exit interviews to see what people are saying. Vice Mayor Stewart said they are in a low tax environment and would like to see if there is a way to refocus positions and money back into compensation packages.

MAYOR HARTKE said assigning value is hard because it is subjective to each person's values.

COUNCILMEMBER ORLANDO said the question is if they compete with the private sector and they need to broaden the pool. Councilmember Orlando said the bottom line that people ask is what they are going to be paid.

COUNCILMEMBER LOPEZ said the study would be helpful and they need to be competitive regionally. It would be interesting to see what the delta is between public and private. Councilmember Lopez said the younger employees have different things that incentivize them and they do not put as much weight on retirement and medical benefits. Councilmember Lopez said finding qualified candidates can be very difficult and if they are going to leave a company they have been with for awhile it has to be worth it. Councilmember Lopez said it is not an apples to apples comparison for public and private sectors. The City is very effective and efficient and they need to ensure they stay that way.

COUNCILMEMBER ELLIS said a lot of these falls on Council's shoulders and Council can talk about how it is a great City to work for. Councilmember Ellis said it is important that we attract the right talent and Council needs to know that Council can make or break a higher.

COUNCILMEMBER HARRIS said Chandler property value is high because of the market and they need to consider the cost of living compared to the pay. Some people may get paid more in a different city, but the cost of living may be different.

COUNCILMEMBER ORLANDO asked for the old compensation plan from 2006. Councilmember Orlando said he wanted to look at that plan and see what was done then.

VICE MAYOR STEWART asked when this would take place.

MAYOR HARTKE said it would fit into the next round of hiring.

VICE MAYOR STEWART said he did not want to look at this until the federal unemployment was over.

MAYOR HARTKE said this is just a study comparison to see how they compare to other cities and would not be hiring yet.

Council consensus was to move forward.

Adjourn

The meeting was adjourned at 5:49 p.m.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: July 12, 2021

Certification

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Work Session of the City Council of Chandler, Arizona, held on the 21st day of June 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of July, 2021.

City Clerk

Meeting Minutes

City Council Special Meeting

June 21, 2021 | 4:00 p.m.
Council Chambers Conference Room
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Mayor Kevin Hartke at 4:02 p.m.

Roll Call

Council Attendance

Mayor Kevin Hartke
Vice Mayor Mark Stewart
Councilmember OD Harris
Councilmember Terry Roe
Councilmember René Lopez
Councilmember Christine Ellis
Councilmember Matt Orlando

Appointee Attendance

Joshua Wright, Acting City Manager
Kelly Schwab, City Attorney
Dana DeLong, City Clerk

Staff in Attendance

Debra Stapleton, Assistant City Manager
Rae Lynn Nielsen, Human Resources Director

Set an Executive Session

1. Personnel Matters--A.R.S. § 38-431.03(A)(4) - Discussion or consultation with the City Attorney in order to consider its position and instruct its City Attorney regarding the City's position in pending or contemplated litigation or in settlement discussion conducted in order to avoid or resolve litigation in the matters of: Jennifer Przybyla v. City of Chandler, Kathleen Renee Clum v. City of Chandler, and Anthony Jose Cano, Sr. v. City of Chandler

Action Agenda Motion and Vote

Councilmember Orlando moved to hold an Executive Session Meeting immediately following the Special Meeting; Seconded by Councilmember Harris.

Motion carried unanimously (7-0).

Adjourn

The meeting was adjourned at 4:03 pm.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: July 12, 2021

Certification

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Special Meeting of the City Council of Chandler, Arizona, held on the 21st day of June 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of July, 2021.

City Clerk

Meeting Minutes

City Council Study Session

June 21, 2021 | 6:00 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Mayor Kevin Hartke at 6:00 p.m.

Roll Call

Council Attendance

Mayor Kevin Hartke
Vice Mayor Mark Stewart
Councilmember OD Harris
Councilmember René Lopez
Councilmember Terry Roe
Councilmember Christine Ellis
Councilmember Matt Orlando

Appointee Attendance

Joshua Wright, Acting City Manager
Debra Stapleton, Assistant City Manager
Kelly Schwab, City Attorney
Dana DeLong, City Clerk

Scheduled Public Appearances

1. Service Recognitions

None.

2. Orangetree Neighborhood Blight - Duane Lidman

DUANE LIDMAN, 2301 W. Palamino Dr., Chandler, 85224, said he lived in an older neighborhood that was built in the 1980's. Mr. Lidman said he has spoken with some Councilmembers about blight in the neighborhood and has provided pictures of the conditions. Mr. Lidman said during the recession in 2008 is when landscaping problems started to appear in the neighborhood. Mr. Lidman said the issue is concentrated around the stonewater retention basin. In 2019, 361 neighbors signed a petition asking the City to do something about this lack of maintenance. There was a slight improvement but did not last long. In 2020, a letter was sent to Neighborhood Resources asking for something to be done. There was a slight improvement but did not last long.

this time either. In the last four months this has become a fire hazard. Mr. Lidman said there has not been any lasting improvement. Bullmoose Drive is a main entrance to the neighborhood and this is an embarrassment and they do not want this to spread to other areas of the neighborhood. Mr. Lidman said they are asking City leaders for help to improve the appearance of this older neighborhood by fully enforcing the neighborhood preservation code and honor the agreement that was signed when the subdivision was approved.

MAYOR HARTKE said many Councilmembers have driven by to look at the conditions and reviewed the photographs provided. Mayor Hartke said there is an open code enforcement case and it would continue to be worked on.

COUNCILMEMBER ORLANDO asked the Acting City Manager if the action plan has been relayed to the neighbors to address this issue.

JOSH WRIGHT, Acting City Manager, said staff has been in contact with Mr. Lidman about the code enforcement case and the timeline associated.

COUNCILMEMBER ORLANDO asked what the timeline would be.

MR. WRIGHT said they would continue to openly communicate about the issue.

Consent Agenda and Discussion

Discussion was held on items 3, 8, 13, 14, 18, and 36.

City Clerk

1. June 2021 City Council Meeting Minutes
Move City Council approve the Council Meeting minutes of the Work Session of June 7, 2021, Study Session of June 7, 2021, Special Meeting of June 10, 2021, Regular Meeting of June 10, 2021, Special Meeting - Budget Adoption of June 10, 2021, Special Meeting (8:30 am) of June 14, 2021, and Special Meeting (1:00 pm) of June 14, 2021.

City Magistrate

2. *THIS ITEM HAS BEEN WITHDRAWN AND WILL NOT BE CONSIDERED AT THIS TIME - Public Defender Agreement
Move City Council to approve the Public Defender agreement between the City of Chandler, Chandler Municipal Court and Debora Lelli (part-time) in the amount of \$25,000.

City Manager

3. Resolution No. 5496 SRP 230kV Transmission Project Agreement
Move City Council pass and adopt Resolution No. 5496 authorizing an Agreement with Salt River Project Agricultural Improvement and Power District (SRP) regarding the location and under-grounding of a 230kV transmission system in South Chandler and authorizing the

Mayor to execute the Agreement; and move City Council approve a General Fund, Contingency account transfer to the Water Operating Fund for \$4.350M and Wastewater Operating Fund for \$10.150M, allowing for their fund balances to be spent for the needed City utility line relocations.

COUNCILMEMBER ORLANDO asked about the timeline and public hearing process.

RYAN PETERS, Governmental Relations and Policy Manager, presented the following presentation.

- Next Steps
 - June 2021 Council Action
 - June – August 2021 SRP Public Involvement Period
 - August 2021 SRP Submits Application
 - October 2021 Line Siting Process
 - January 2022 Corporation Commission Action
 - Quarter 3, 2023 Power Delivery
 - SRP Project Website

COUNCILMEMBER ORLANDO asked if residents would be notified of the work in the neighborhoods impacted.

MR. PETERS said there would be extensive notification including door hangers and social media led by SRP.

COUNCILMEMBER ORLANDO said there would be substantial undergrounding of wires. Councilmember Orlando commended staff for their timely work with the other entities to get this to where it is today.

MR. PETERS said it has been a great process and this would be undergrounded 2.65 miles so there would not be overhead utilities in areas that do not already have them.

MAYOR HARTKE thanked SRP for streamlining the process and the work staff has done on this.

COUNCILMEMBER LOPEZ said this is a great example of when something is coming to benefit the community that dialogue is done early. This is how government should work, with public and private working hand in hand to get it done.

Cultural Development

4. Purchase of Downtown Sidewalk Re-Coating Services
Move that City Council approve the purchase of downtown sidewalk re-coating services, from Creative Paving Solutions, Inc., utilizing the City of Scottsdale Contract No. 20PB033, in an amount not to exceed \$200,000, and authorize the City Manager or designee to sign a linking agreement with Creative Paving Solutions, Inc.

5. Resolution No. 5493 Authorizing the Enhanced Municipal Services District (EMSD) Agreement for Fiscal Year 2021-2022
Move City Council pass and adopt Resolution No. 5493, authorizing the Enhanced Municipal Services District (EMSD) Agreement for Fiscal Year 2021-2022 between the City of Chandler and the Downtown Chandler Community Partnership, and authorizing the City's voluntary contribution to the EMSD in the amount of \$118,804.

Development Services

6. Introduction of Ordinance No. 4974, ANX20-0004 Annexation and initial City Zoning of approximately 5 acres located at the southeast corner of Arizona Avenue and Appleby Road
Move City Council introduce and tentatively adopt Ordinance No. 4974 approving the annexation and initial City zoning of approximately 5 acres located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning staff.
7. Resolution No. 5484 and Introduction and Tentative Adoption of Ordinance No. 4975, PLH20-0050/PLH20-0051/PLT21-0015 The Ashley
Area Plan
Move City Council adopt Resolution No. 5484 Chandler Airpark Area Plan (CAAP) amendment, PLH20-0050 The Ashley, located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning and Zoning Commission.
Rezoning
Move City Council introduce and tentatively adopt Ordinance No.4975 approving PLH20-0051 The Ashley, Rezoning from Agricultural District (AG-1) to Planned Area Development for multi-family residential (PAD/MF-2) located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.
Preliminary Development Plan
Move City Council approve Preliminary Development Plan PLH20-0051 The Ashley for site layout and building architecture located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.
Preliminary Plat
Move City Council approve Preliminary Plat PLT21-0015 The Ashley, located at the southeast corner of Arizona Avenue and Appleby Road, subject to the condition recommended by Planning and Zoning Commission.
8. Introduction and Tentative Adoption of Ordinance No. 4997, PLH20-0030/PLT20-0020 Schrader Farms Business Park
Rezoning
Move City Council introduce and tentatively adopt Ordinance No. 4997 approving PLH20-0030 Schrader Farms Business Park, located at the northwest corner of McQueen and

Queen Creek roads, rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay and a commercial corner, subject to the conditions as recommended by Planning and Zoning Commission.

Preliminary Development Plan

Move City Council approve Preliminary Development Plan PLH20-0030 Schrader Farms Business Park, located at the northwest corner of McQueen and Queen Creek roads, for site layout and building architecture, subject to the conditions as recommended by Planning and Zoning Commission.

Preliminary Plat

Move City Council approve Preliminary Plat PLT20-0020 Schrader Farms Business Park, located at the northwest corner of McQueen and Queen Creek roads, subject to the condition recommended by Planning and Zoning Commission.

COUNCILMEMBER ORLANDO asked for more information regarding economic development.

MICAH MIRANDA, Economic Development Director, said due to the impact of the changes made by the developer such as the building orientation, removing the cross docks, and increased aesthetics; it begins to price out a number of traditional warehouse distribution projects that do not align with the City's economic development strategies. Mr. Miranda said staff has reviewed the economic impact report prepared by the developer and staff found it was consistent with what staff would have found. There were a number of blending models and assumptions of who could occupy the building. Mr. Miranda said product wins projects and they are short on this type of space in the Airpark Area. Mr. Miranda said the modeling provided was conservative which staff was glad to see and staff was in agreement with what the applicant has proposed.

COUNCILMEMBER ORLANDO said the applicant did a good job articulating some of the actual companies that could go there. Councilmember Orlando asked if any of those companies have reached out to the City.

MR. MIRANDA said the companies listed are accurate and some have contacted the City.

COUNCILMEMBER ELLIS asked about the company doing the project.

MR. MIRANDA said Core5 is a very experienced developer and have several million square feet under development across the country. Mr. Miranda said staff has confidence they would bring the project to fruition. City staff does a lot of work with their support staff and brokerage team so they know what the City is looking for.

COUNCILMEMBER ORLANDO asked about the commercial retail corner and what has been done that there is a footprint to be developed.

BRENNAN RAY, 1850 N. Central, represented the applicant, said in working closely with staff they have designed the site so that the future commercial corner would have viability. Mr. Ray said they have created internal pedestrian and vehicular circulation and there is access through the development. Mr. Ray said as part of Phase One there would be improvement to the arterial street as well.

COUNCILMEMBER ORLANDO asked if these were all stipulations in the agreement.

DEREK HORN, Development Services Director, said yes.

COUNCILMEMBER ORLANDO said he felt confident the corner would be developed. Councilmember Orlando thanked staff for their work and felt they really made this project better.

MAYOR HARTKE thanked the developer and there have been a lot of changes over the years and this has come together well.

VICE MAYOR STEWART said this is a great example of working with the neighborhood, staff, and Council. Vice Mayor Stewart thanked the applicant for the project and felt it was a good fit for the community. Vice Mayor Stewart thanked them for adding electric vehicle charging stations.

9. PLH20-0072/PLT21-0016 Chandler Airpark Technology Center (Staff Requests Continuance to the August 12, 2021, City Council Meeting.)
Move City Council continue PLH20-0072/PLT21-0016 Chandler Airpark Technology Center, located at the southwest corner of Gilbert Road and Insight Way, to the August 12, 2021, City Council meeting, as recommended by Planning and Zoning Commission.
10. PDP PLH20-0069 Chandler Corporate Center Lots 8 & 10 (Staff Requests Continuance to the August 12, 2021, City Council Meeting.)
Move City Council continue PLH20-0069 Chandler Corporate Center Lots 8 & 10, located north of the northwest of Chandler Boulevard and McClintock Drive, to the August 12, 2021, City Council meeting, as recommended by Planning and Zoning Commission.

Facilities and Fleet

11. Agreement No. BF6-910-3566, Amendment No. 3, with Arizona Elevator Solutions, Inc., for Elevator Maintenance Repair and Service
Move City Council approve Agreement No. BF6-910-3566, Amendment No. 3, with Arizona Elevator Solutions, Inc., for elevator maintenance repair and service, increasing the spending limit by \$250,000, for a revised amount not to exceed \$315,150, for the existing term ending August 31, 2021.
12. Agreement No. FS2-928-4310, Auto Body Repair Service

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Fire Department

13. Resolution No. 5489, Renewal of Agreement between the City of Chandler and Dignity Health to provide Administrative Medical Direction to Chandler Fire Department Paramedics

Move City Council pass and adopt Resolution No. 5489 renewing an Agreement between the City of Chandler and Dignity Health to provide administrative medical direction from a base hospital for Chandler Fire Department (CFD) Certified Emergency Paramedics as required by Arizona law.

COUNCILMEMBER ELLIS called for a presentation.

TOM DWIGGINS, Fire Chief, introduced Consent Agenda Items No. 13 and 14. Chief Dwiggins said Administrative Medical Direction is required by the Department of Health Services, and for any certified paramedic there has to be a physician that is reported to. Chief Dwiggins said this provides crews access to ER physicians when they are on scene for additional guidance. Chief Dwiggins said they have state of the art equipment to take vitals and those could be sent real time to the hospital physicians to provide direction. Item No. 14 allows Dignity Health to certify paramedics in neonatal resuscitation, which is a newborn to 28 days old. These incidents are extremely challenging because of the anatomy of the infant. This training would provide paramedics with the most up to date protocols and skills and should be completed by September 2021.

COUNCILMEMBER ELLIS thanked Chief Dwiggins for putting this into place and said lives are being saved. Councilmember Ellis said training is important so the staff is always ready to act.

14. Resolution No. 5491, Agreement with Dignity Health for Neonatal Resuscitation Education
Move City Council pass and adopt Resolution No. 5491 Adopting an Agreement between the City of Chandler and Dignity Health to provide required Neonatal Resuscitation Provider education for Chandler Fire Department (CFD) paramedic students.

Information Technology

15. Purchase of Hardware and Software for Network Infrastructure

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16. Settlement in Jennifer Przybyla vs. City of Chandler
Move City Council to authorize the settlement in the matter of Jennifer Przybyla vs. City of Chandler in full and final satisfaction of all claims asserted without admitting liability for the amount of \$300,000 and further authorize the City Attorney to sign any necessary documents in such forms as are approved by the City Attorney to effectuate the terms and conditions of settlement in this action.
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18. Renewal of Commercial Insurance and Services for Fiscal Year 2021-22
Move City Council approve the renewal of commercial insurance and services with recommended insurance carriers for FY 2021-22 to protect the City against financial loss in the total amount not to exceed \$2,308,258.

VICE MAYOR STEWART asked why the insurance rates increased.

KELLY SCHWAB, City Attorney, said they have seen a dramatic increase in public liability and cyber protection premiums. Ms. Schwab said when they started this process, staff anticipated it would be relatively small, but they have seen it quadruple. The reason is due to civil unrest and social inflation such as police conduct, riots, and damaged being caused that is not necessarily being experienced in Chandler, but in the rest of the country they are experiencing this which impacts the market dramatically. Ms. Schwab said the City is self-insured for the first \$1.75 million and then there is excess coverage after that. The insurance carrier that was used last year is no longer able to write excess coverage. Ms. Schwab said in the market they are seeing a 191% increase and the City is doing well as other entities are seeing a 350% increase. Ms. Schwab said staff is still working with their broker and they have not purchased excess covered yet and staff is still working to get it down.

VICE MAYOR STEWART asked if the City Attorney was recommending approval.

MS. SCHWAB said yes. Most of the claims have been done under the self-insured cap but there is always a chance for a big claim and they would have coverage for the time of the incident.

Management Services

19. Ordinance No. 4970, Levying Upon the Assessed Valuation of the Property Within the City of Chandler.
Move City Council to pass and adopt Ordinance No. 4970, levying upon the assessed valuation of the property within the City of Chandler, Arizona, subject to taxation a certain sum upon each one hundred dollars (\$100) of assessed valuation sufficient to raise the amount estimated to be required in the annual budget, less the amount to be received from other sources of revenue; providing funds for various bond redemptions, for the purpose of paying interest upon bonded indebtedness and providing funds for general municipal expenses, all for the Fiscal Year ending the 30th day of June 2022.
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Move that City Council award Agreement No. MS1-926-4312 to Emergency Environmental Services; GrayMar Environmental Services, Inc.; and Kary Environmental Services for emergency environmental response and remediation services, in a combined amount not to exceed \$150,000, for the period of July 1, 2021, through June 30, 2022.
21. New License Series 12, Restaurant Liquor License Application for Ramen Hood Chandler, LLC, DBA Ramen Hood
Move for recommendation to the State Department of Liquor Licenses and Control for approval of the State Liquor Job No. 149960, a Series 12 Restaurant Liquor License for James Xie, Agent, Ramen Hood Chandler, LLC, DBA Ramen Hood, located at 1940 W. Chandler Boulevard, Suite 12, and approval of the City of Chandler Series 12 Restaurant Liquor License No. 300794.
22. Resolution No. 5494, Designating the Chief Fiscal Officer for Officially Submitting the Fiscal Year 2022 Expenditure Limitation Report to the Arizona Auditor General
Move to pass and adopt Resolution No. 5494, designating the Chief Fiscal Officer for officially submitting the Fiscal Year 2022 Expenditure Limitation Report to the Arizona Auditor General.

Mayor and Council

23. Employment Agreement for City Magistrate Patrick Gann
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26. City Clerk Employment Agreement

Move City Council approve the City Clerk Employment Agreement with Dana DeLong for the term of July 1, 2021, through June 30, 2022, at an annual base salary of \$150,921.

Police Department

27. Agreement No. PD9-200-4038, Amendment No. 3, for Police Uniforms

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Move City Council approve the purchase of a police firearm simulator from VirTra, Inc., utilizing the State of Arizona Contract No. ADPS17-152755, in the amount of \$256,136.49, and authorize the City Manager or designee to sign a linking agreement with VirTra, Inc.

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Move City Council approve Agreement No. PD8-680-3892, Amendment No. 3, with Universal Police Supply, for outer vest carriers, in an amount not to exceed \$78,625, for the period of July 1, 2021, through June 30, 2022.

Public Works and Utilities

30. Sole Source Purchase of Wastewater Membrane Modules

Move City Council approve the sole source purchase of wastewater membrane modules, from SUEZ Water Technologies & Solutions, Inc., in an amount not to exceed \$300,000.

31. Agreement No. WW0-885-4137, Amendment No. 1, with In-Pipe Technology, LLC, and USP Technologies, for the Collection System Odor and Corrosion Control

Move City Council approve Agreement No. WW0-885-4137, Amendment No. 1, with In-Pipe Technology, LLC, and USP Technologies, for the collection system odor and corrosion control, in a combined amount not to exceed \$500,000, for a one-year period, July 1, 2021, through June 30, 2022.

32. Agreement No. ST0-988-4175, Amendment No. 1, with Reyes & Sons Landscaping, LLC, for Landscape Maintenance Areas 1 through 4

Move City Council approve Agreement No. ST0-988-4175, Amendment No. 1, with Reyes & Sons Landscaping, LLC, for landscape maintenance areas 1 through 4, in an amount not to exceed \$1,487,219.40, for a one-year period, July 6, 2021, through July 5, 2022.

33. Agreement No. ST0-988-4194, Amendment No. 1, with Brightview Landscape Services, Inc., for Revegetation, Storm Repair, and Maintenance of City Streets
Move City Council approve Agreement No. ST0-988-4194, Amendment No. 1, with Brightview Landscape Services, Inc., for revegetation, storm repair, and maintenance of City streets, in an amount not to exceed \$500,000, for a one-year period, August 1, 2021, through July 31, 2022.
34. Agreement No. PW1-925-4350, with Mechanical Solutions, Inc., for Vibration Diagnostic Services
Move City Council approve Agreement No. PW1-925-4350, with Mechanical Solutions, Inc., for vibration diagnostic services, in an amount not to exceed \$120,000.
35. Agreement No. MU0-962-4219, Amendment No. 1, with Cartright's Drain Service, Inc.; PM Plumbing and Mechanical, Inc.; RKS Plumbing and Mechanical, Inc.; and TALIS Construction Corporation, for Plumbing Services
Move City Council approve Agreement No. MU0-962-4219, Amendment No. 1, with Cartright's Drain Service, Inc.; PM Plumbing and Mechanical, Inc.; RKS Plumbing and Mechanical, Inc.; and TALIS Construction Corporation, for plumbing services, increasing the combined contract limit by \$500,000 for a revised contract amount not to exceed \$1,000,000, for the existing term ending October 31, 2021.

Discussion and Direction

36. Discussion and Direction to staff to include review of the Draft Non-Discrimination Resolution in the Diversity, Equity, and Inclusion Study Approved as Part of the Fiscal Year 2021-2022 Budget, and Direct Staff to Engage a Public Process to Develop Recommendations for the City Council, as Requested by Mayor Hartke.

MAYOR HARTKE introduced the item and said discussion and direction would be given at the regular meeting.

COUNCILMEMBER HARRIS said he was in support of an ordinance.

Informational

37. Study Session & Regular Minutes of May 5, 2021, Planning and Zoning Commission
38. Special Event Liquor Licenses and Temporary and Permanent Extensions of Liquor License Premises Administratively Approved.

Adjourn

The meeting was adjourned at 6:31 p.m.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: July 12, 2021

Certification

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Study Session of the City Council of Chandler, Arizona, held on the 21st day of June 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of July, 2021.

City Clerk

Meeting Minutes

City Council Special Meeting

June 21, 2021 | 6:00 p.m.
Council Chambers Conference Room
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Mayor Kevin Hartke at 6:36 p.m.

Roll Call

Council Attendance

Mayor Kevin Hartke
Vice Mayor Mark Stewart
Councilmember OD Harris
Councilmember Terry Roe
Councilmember René Lopez
Councilmember Christine Ellis
Councilmember Matt Orlando

Appointee Attendance

Dana DeLong, City Clerk

Staff in Attendance

Alicia Skupin, Acting Presiding City Magistrate
Rae Lynn Nielsen, Human Resources Director

Set an Executive Session

1. Personnel Matters--A.R.S. § 38-431.03(A)(1) - Discussion and consideration of employment terms and conditions for Alicia Skupin for the position of Presiding City Magistrate.

Action Agenda Motion and Vote

Councilmember Lopez moved to hold an Executive Session Meeting immediately following the Special Meeting; Seconded by Councilmember Harris.

Motion carried unanimously (7-0).

Adjourn

The meeting was adjourned at 4:36 pm.

ATTEST: _____

City Clerk

Mayor

Approval Date of Minutes: July 12, 2021

Certification

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the Special Meeting of the City Council of Chandler, Arizona, held on the 21st day of June 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of July, 2021.

City Clerk

Meeting Minutes

City Council Regular Meeting

July 24, 2021 | 6:00 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Mayor Kevin Hartke at 6:00 p.m.

Roll Call

Council Attendance

Mayor Kevin Hartke
*Vice Mayor Mark Stewart
Councilmember OD Harris
Councilmember Terry Roe
Councilmember René Lopez
Councilmember Christine Ellis
Councilmember Matt Orlando

Appointee Attendance

Joshua Wright, Acting City Manager
Debra Stapleton, Assistant City Manager
Kelly Schwab, City Attorney
Dana DeLong, City Clerk

*Vice Mayor Stewart attended telephonically.

Invocation

The invocation was given by Fr. Robert S. Aliunzi, St. Andrew the Apostle Catholic Church.

Pledge of Allegiance

The Pledge of Allegiance was led by Councilmember Orlando.

Consent Agenda and Discussion

Discussion was held on item 7.

City Clerk

1. June 2021 City Council Meeting Minutes

Move City Council approve the Council Meeting minutes of the Work Session of June 7, 2021, Study Session of June 7, 2021, Special Meeting of June 10, 2021, Regular Meeting of June 10, 2021, Special Meeting - Budget Adoption of June 10, 2021, Special Meeting (8:30 am) of June 14, 2021, and Special Meeting (1:00 pm) of June 14, 2021.

City Manager

2. Resolution No. 5496 SRP 230kV Transmission Project Agreement
Move City Council pass and adopt Resolution No. 5496 authorizing an Agreement with Salt River Project Agricultural Improvement and Power District (SRP) regarding the location and under-grounding of a 230kV transmission system in South Chandler and authorizing the Mayor to execute the Agreement; and move City Council approve a General Fund, Contingency account transfer to the Water Operating Fund for \$4.350M and Wastewater Operating Fund for \$10.150M, allowing for their fund balances to be spent for the needed City utility line relocations.

Cultural Development

3. Purchase of Downtown Sidewalk Re-Coating Services
Move that City Council approve the purchase of downtown sidewalk re-coating services, from Creative Paving Solutions, Inc., utilizing the City of Scottsdale Contract No. 20PB033, in an amount not to exceed \$200,000, and authorize the City Manager or designee to sign a linking agreement with Creative Paving Solutions, Inc.
4. Resolution No. 5493 Authorizing the Enhanced Municipal Services District (EMSD) Agreement for Fiscal Year 2021-2022
Move City Council pass and adopt Resolution No. 5493, authorizing the Enhanced Municipal Services District (EMSD) Agreement for Fiscal Year 2021-2022 between the City of Chandler and the Downtown Chandler Community Partnership, and authorizing the City's voluntary contribution to the EMSD in the amount of \$118,804.

Development Services

5. Introduction of Ordinance No. 4974, ANX20-0004 Annexation and initial City Zoning of approximately 5 acres located at the southeast corner of Arizona Avenue and Appleby Road
Move City Council introduce and tentatively adopt Ordinance No. 4974 approving the annexation and initial City zoning of approximately 5 acres located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning staff.
6. Resolution No. 5484 and Introduction and Tentative Adoption of Ordinance No. 4975, PLH20-0050/PLH20-0051/PLT21-0015 The Ashley Area Plan

Move City Council adopt Resolution No. 5484 Chandler Airpark Area Plan (CAAP) amendment, PLH20-0050 The Ashley, located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning and Zoning Commission.

Rezoning

Move City Council introduce and tentatively adopt Ordinance No.4975 approving PLH20-0051 The Ashley, Rezoning from Agricultural District (AG-1) to Planned Area Development for multi-family residential (PAD/MF-2) located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.

Preliminary Development Plan

Move City Council approve Preliminary Development Plan PLH20-0051 The Ashley for site layout and building architecture located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.

Preliminary Plat

Move City Council approve Preliminary Plat PLT21-0015 The Ashley, located at the southeast corner of Arizona Avenue and Appleby Road, subject to the condition recommended by Planning and Zoning Commission.

7. Introduction and Tentative Adoption of Ordinance No. 4997, PLH20-0030/PLT20-0020 Schrader Farms Business Park

Rezoning

Move City Council introduce and tentatively adopt Ordinance No. 4997 approving PLH20-0030 Schrader Farms Business Park, located at the northwest corner of McQueen and Queen Creek roads, rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay and a commercial corner, subject to the conditions as recommended by Planning and Zoning Commission.

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Preliminary Plat

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COUNCILMEMBER ORLANDO asked for information regarding the addition to the item.

JOSHUA WRIGHT, Acting City Manager, said the additional condition was added to clarify the intent of the project and ensure it does not significantly change from what Council has been shown in the site plan. This is to clarify and preserve the intent of the project as proposed with the option to send it back to Council in the future.

DEREK HORN, Development Services Director, said staff wants to ensure that all site plans presented are in substantial conformance with what Council approved. Mr. Horn said due to concerns expressed on this project, staff wanted to reinforce that if it is not in substantial conformance with the Council approved plan that it is sent back to Council.

COUNCILMEMBER ORLANDO asked why it was not included earlier.

MR. HORN said staff occasionally does add additional stipulations if there are any concerns that come up between Planning and Zoning Commission meetings and City Council meetings.

8. PLH20-0072/PLT21-0016 Chandler Airpark Technology Center (Staff Requests Continuance to the August 12, 2021, City Council Meeting.)
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25. City Clerk Employment Agreement

Move City Council approve the City Clerk Employment Agreement with Dana DeLong for the term of July 1, 2021, through June 30, 2022, at an annual base salary of \$150,921.

26. Appointment of Presiding City Magistrate and Employment Agreement

Move City Council appoint Alicia Skupin as Presiding City Magistrate and approve an Employment Agreement for the term of July 1, 2021, through June 30, 2023, with an annual base salary of \$195,000, and a three percent (3%) increase for the second year of the term.

Police Department

27. Agreement No. PD9-200-4038, Amendment No. 3, for Police Uniforms

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Move City Council approve the sole source purchase of wastewater membrane modules, from SUEZ Water Technologies & Solutions, Inc., in an amount not to exceed \$300,000.

31. Agreement No. WW0-885-4137, Amendment No. 1, with In-Pipe Technology, LLC, and USP Technologies, for the Collection System Odor and Corrosion Control

Move City Council approve Agreement No. WW0-885-4137, Amendment No. 1, with In-Pipe Technology, LLC, and USP Technologies, for the collection system odor and corrosion control, in a combined amount not to exceed \$500,000, for a one-year period, July 1, 2021, through June 30, 2022.

32. Agreement No. ST0-988-4175, Amendment No. 1, with Reyes & Sons Landscaping, LLC, for Landscape Maintenance Areas 1 through 4
Move City Council approve Agreement No. ST0-988-4175, Amendment No. 1, with Reyes & Sons Landscaping, LLC, for landscape maintenance areas 1 through 4, in an amount not to exceed \$1,487,219.40, for a one-year period, July 6, 2021, through July 5, 2022.
33. Agreement No. ST0-988-4194, Amendment No. 1, with Brightview Landscape Services, Inc., for Revegetation, Storm Repair, and Maintenance of City Streets
Move City Council approve Agreement No. ST0-988-4194, Amendment No. 1, with Brightview Landscape Services, Inc., for revegetation, storm repair, and maintenance of City streets, in an amount not to exceed \$500,000, for a one-year period, August 1, 2021, through July 31, 2022.
34. Agreement No. PW1-925-4350, with Mechanical Solutions, Inc., for Vibration Diagnostic Services
Move City Council approve Agreement No. PW1-925-4350, with Mechanical Solutions, Inc., for vibration diagnostic services, in an amount not to exceed \$120,000.
35. Agreement No. MU0-962-4219, Amendment No. 1, with Cartright's Drain Service, Inc.; PM Plumbing and Mechanical, Inc.; RKS Plumbing and Mechanical, Inc.; and TALIS Construction Corporation, for Plumbing Services
Move City Council approve Agreement No. MU0-962-4219, Amendment No. 1, with Cartright's Drain Service, Inc.; PM Plumbing and Mechanical, Inc.; RKS Plumbing and Mechanical, Inc.; and TALIS Construction Corporation, for plumbing services, increasing the combined contract limit by \$500,000 for a revised contract amount not to exceed \$1,000,000, for the existing term ending October 31, 2021.

Consent Agenda Motion and Vote

Councilmember Roe moved to approve the Consent Agenda of the June 24, 2021, with the additional stipulation on Consent Agenda Item No. 7, Regular City Council Meeting; Seconded by Councilmember Ellis.

Motion carried unanimously (7-0).

Discussion and Direction

36. Discussion and Direction to staff to include review of the Draft Non-Discrimination Resolution in the Diversity, Equity, and Inclusion Study Approved as Part of the Fiscal Year 2021-2022 Budget, and Direct Staff to Engage a Public Process to Develop Recommendations for the City Council, as Requested by Mayor Hartke.

MAYOR HARTKE introduced the item and said Council had asked for a resolution to be brought forward but said he wanted to have those conversations and any Council actions in connection with this study.

MAYOR HARTKE invited the public to speak.

EDUARDA SCHRODER, 3480 W. Ross Dr., Chandler, said minority communities often experience micro aggressions. This can happen in employment where someone is fired because of their sexual orientation. If people speak up about it, someone may suffer further discrimination. In the area of healthcare, LGBT youth especially those who are disowned by their families face poverty and many hardships. If they seek healthcare it may not be gender affirming healthcare and there are a lack of providers trained to care for trans youth. These kids may also be denied care depending on their health insurance. Ms. Schroder said as a parent, she does not see why Council would not vote on an ordinance and asked Council to be leaders in the community and embrace the topic, learn, and take time know individuals in the LGBT community., Ms. Schroder encouraged Council to vote yes on an ordinance.

JUDE SCHRODER 3480 W. Ross Dr., Chandler, said they are bisexual and transgender and was born and raised in Chandler and there have not been any protections for people like them. They think about it almost every day. If someone is not part of the LGBT community or a marginalized group, someone might not understand that just living daily life is difficult without a non-discrimination ordinance or some sort of protection. They think about where they want to live in the future, this is of the utmost importance to have protections for people like them. They urged the Council to not only consider a resolution but an ordinance codifying protections for others. They are concerned about potentially being denied housing, employment, or a promotion because they live authentically. Discrimination happens every day. If Council is trying to create a welcoming and safe community, then this is essential to that mission. If Chandler is diverse and inclusive, this is the bare minimum to create that culture.

MAYOR HARTKE said there was a written public comment submitted and read the comment.

DAVID SCHLESINGER, 5161 W Ivanhoe St, wrote:

Greetings, regarding anti-discrimination policies or practices. Chandler is considered one of the best ordered, and among the most desirable, municipalities in the valley. People from all over come here to live, raise families, and to work in the local industries. Discriminating against any people on the basis of superficial appearance, historic nationality or gender is contrary to the spirit that makes this city

prosperous and successful. America is about freedom and equal opportunity for all. We should support it.

MAYOR HARTKE said rather than taking a vote without public comment they would fold this into the study and greater conversation. Mayor Hartke said that was his direction to the Acting City Manager.

COUNCILMEMBER HARRIS said he wanted to emphasize as they move forward with this discussion to consider the comments they heard tonight, comments received online, and all other input as they put forth the study.

COUNCILMEMBER ORLANDO asked where they were at today and what the next steps were.

MR. WRIGHT said this was one of the recommendations that came from the Human Relations Commission in 2020 requesting a consultant be engaged to advise on best practices as it relates to diversity, equity and inclusion. Mr. Wright said it was budgeted and approved for fiscal year 2021/2022. Mr. Wright said they are addressing scope of work for that and would take the comments heard tonight to help define that. The requirements would be sent through the City's RFP process and the contract would come back to Council. After that, the study process would begin with the consultant.

COUNCILMEMBER ORLANDO asked what the timeframe was.

MR. WRIGHT said the money would be available July 1 and staff is going to move quickly so if there are budget impacts as part of the study there would be time to include that in the fiscal year 2022/2023 budget. Mr. Wright said he did not have an exact timeline until the consultant is engaged but it would be considerably sooner rather than later so they would have information in time for the budget.

COUNCILMEMBER ORLANDO said there has been a lot of miscommunication out there about what the City has done and not done. Councilmember Orlando asked staff to include a poll asking these important questions to come back with true data points. Councilmember Orlando said he wanted more concrete information on what support is out there for the community. Councilmember Orlando said this would be a very public and transparent process. Councilmember Orlando asked if the Human Relations Commission would be involved as well.

MR. WRIGHT said yes.

COUNCILMEMBER ELLIS said she wanted to ensure that residents were involved in the process. This is where they live and work and it is important for them to be part of the process so there is an understanding of what it means for their lives. Councilmember Ellis said the survey must

reflect the population at large for everyone to be represented. Councilmember Ellis asked the people to rise up to the occasion and show who they are when it comes to diversity, equity, and inclusion.

COUNCILMEMBER HARRIS said they could use City Scope which is sent out in the utility bill to encourage people to take the survey and how this impacts them. Councilmember Harris said they need to continue to be transparent and have discussions so that everyone is part of the conversation as there are multiple groups being represented.

MAYOR HARTKE asked the City Manager to proceed with this and Council looked forward to seeing the process unfold.

Informational

37. Study Session & Regular Minutes of May 5, 2021, Planning and Zoning Commission
38. Special Event Liquor Licenses and Temporary and Permanent Extensions of Liquor License Premises Administratively Approved.

Unscheduled Public Appearances

None.

Current Events

Mayor's Announcements

MAYOR HARTKE said five employment contracts have been approved for appointed positions, including two magistrates, city attorney, city clerk, and presiding city magistrate. Mayor Hartke thanked them for their continued commitment to serving the community.

MAYOR HARTKE announced the July 4th Fireworks Spectacular at Tumbleweed Park where there would be a drive-in style event and encouraged residents to get their parking pass early. Mayor Hartke encouraged everyone to stay safe and follow the rules for fireworks.

Council's Announcements

COUNCILMEMBER HARRIS said last weekend they celebrated Juneteenth and thanked all the local organizations and staff to make the weekend memorable.

COUNCILMEMBER LOPEZ congratulated the appointees. Councilmember Lopez encouraged people to watch their children around water and to practice water safety.

COUNCILMEMBER ELLIS announced Diversity Mini Grants would be available July 1 and to apply. The money would be to promote inclusion in Chandler. Councilmember Ellis thanked the Human Relations Commission for putting this together.

COUNCILMEMBER ORLANDO wished his wife a happy 43rd anniversary.

City Manager's Announcements

None.

Adjourn

The meeting was adjourned at 6:31 p.m.

ATTEST: _____
City Clerk

Mayor

Approval Date of Minutes: July 12, 2021

Certification

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of Regular Meeting of the City Council of Chandler, Arizona, held on the 24th day of June 2021. I further certify that the meeting was duly called and held and that a quorum was present.

DATED this _____ day of July, 2021.

City Clerk



City Council Memorandum Development Services Memo No. 21-028a

Date: July 12, 2021
To: Mayor and Council
Thru: Joshua H. Wright, Acting City Manager
 Debra Stapleton, Assistant City Manager
 Derek D. Horn, Development Services Director
From: Susan Fiala, Senior Planner
Subject: ANX20-0004 Annexation and initial City Zoning
 Final Adoption of Ordinance No. 4974
Request: Annexation of approximately 5 acres and initial City Zoning
Location: Southeast corner of Arizona Avenue and Appleby Road
Applicant: Sean Lake, Pew & Lake PLC

Proposed Motion:

Move City Council adopt Ordinance No. 4974 approving ANX20-0004 Annexation of approximately 5 acres, located at the southeast corner of Arizona Avenue and Appleby Road, as recommended by Planning staff.

Background Data:

- Zoned Rural-43 (RU-43) within Maricopa County
- Annexation public hearing held at March 25, 2021, City Council regular meeting
- Upon Annexation, initial City zoning will be Agricultural (AG-1) District
- Rezoning and Preliminary Development Plan approval for townhomes (PLH20-0051 The Ashley) accompanies this request as a subsequent item on the Council Agenda
- Ordinance introduced and tentatively adopted on June 24, 2021

Surrounding Land Use Data:

North	Church and single-family residential (La Costera)	South	Single-family residential (Paseo Lindo)
East	Union Pacific Railroad	West	School and public library (Hamilton High and Chandler Hamilton library)

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Employment	No Change

Chandler Airpark Area Plan (CAAP)	Commercial/Office/Business Park	HDR (12.1-18 DU/ACRE)
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Utility Service

Existing municipal water service and wastewater service are available in Arizona Avenue and Appleby Road. Reclaimed water is available in Arizona Avenue.

Staff Comments

Staff circulated this request among City departments and received no negative comments relative to the property's annexation. Staff is unaware of any opposition to or concerns with the request. In accordance with Arizona Revised Statutes, the subject site, upon annexation, will be zoned Agricultural District (AG-1) within the City of Chandler, which provides for land uses no greater in intensity than those permitted with the Rural Zoning District (Rural-43) of Maricopa County. A request for Rezoning and Preliminary Development Plan approval for a townhome development (PLH20-0051 The Ashley) accompanies this request as a subsequent item on this Council agenda.

Attachments

Ordinance No. 4974

Vicinity maps

ORDINANCE NO. 4974

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, EXTENDING AND INCREASING THE CORPORATE LIMITS OF THE CITY PURSUANT TO THE PROVISIONS OF ARIZONA REVISED STATUTES TITLE 9, CHAPTER 4, ARTICLE 7, BY ANNEXING THERETO TERRITORY COMPRISING APPROXIMATELY FIVE ACRES LOCATED AT THE SOUTHEAST CORNER OF ARIZONA AVENUE AND APPLEBY ROAD.

WHEREAS, a petition has been presented to the City Council of the City of Chandler signed by the property owners of at least one-half of the value of the real and personal property as would be subject to taxation by the City in the event of annexation and by more than one-half of the property owners within the territory and land hereinafter described as shown by the last assessment of said property, asking that the property be annexed to the City of Chandler; and

WHEREAS, the territory proposed for annexation is contiguous to the City of Chandler and not now embraced within its limits; and

WHEREAS, a blank petition was filed on February 25, 2021, with the Maricopa County Recorder, the 30-day waiting period ended on March 27, 2021, a Public Hearing was held on March 25, 2021 after proper notice was given, and the petition was circulated thereafter and signed; and

WHEREAS, the City Council desires to comply with the petition and extend the corporate limits of the City to include the proposed territory; and

WHEREAS, the petition sets forth a true and correct description of all the exterior boundaries of the entire area proposed to be annexed by the City and had attached thereto at all times an accurate map of the territory proposed to be annexed; and

WHEREAS, no additions or alterations increasing or decreasing the territory sought to be annexed have been made after the petition had been signed by any owner of real and/or personal property in the territory; and

WHEREAS, proper and sufficient certification and proof of the foregoing facts are now on file in the Office of the City Clerk, together with the original petition; and

WHEREAS, the City may elect to provide regular fire department services to a newly annexed area under A.R.S. § 48-813(A).

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

Section 1. That the following described territory is annexed to the City of Chandler and that the present corporate limits are extended and increased to include the following described territory contiguous to the present City limits:

See Attached Exhibit 'A' Annexation Map and Legal Description

- Section 2. Pursuant to A.R.S. § 48-813(A), the City will provide fire department services to the property depicted in Exhibit A as is generally provided to other residents within the city. The services shall take effect in July following the date on which this annexation becomes final as set forth in Section 6 below, without further action by the City Council.
- Section 3. The existing zoning of the territory annexed is Rural-43 (RU-43) in Maricopa County, and the territory upon annexation is hereby zoned Agricultural (AG-1) District within the City of Chandler, which provides for densities and uses no greater than those permitted within the RU-43 District of Maricopa County.
- Section 4. The Clerk is hereby instructed to file and record a copy of this Ordinance, together with an accurate map of the annexed territory, certified by the Mayor, in the Office of the County Recorder of Maricopa County, Arizona.
- Section 5. The Development Services Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of the Zoning Code in compliance with this ordinance.
- Section 6. This ordinance shall take effect, and the annexation of the subject property shall become final, 30 days after this Ordinance is adopted.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Arizona, this ____ day of _____ 2021.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 4974 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2021, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY *TA*

Published:

Exhibit 'A' Legal Description



**Legal Description
Arizona Ave & Appleby Road
Annexation and Zoning**

Job No. 20-0504

February 1, 2021

A portion of Southwest Quarter of Section 15, Township 2 South, Range 5 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, and particularly described as follows:

COMMENCING at a City of Chandler flush brass cap at the west quarter corner of said Section 15, from which a rebar with cap in a hand hole, stamped "RLS 49097" at the southwest corner of said Section 15, bears South 0 degrees 23 minutes 56 seconds East, at a distance of 2,645.76 feet;

thence North 89 degrees 04 minutes 26 seconds East, along the north line of said Southwest Quarter, 65.00 feet to the POINT OF BEGINNING;

thence continuing North 89 degrees 04 minutes 26 seconds East, along said north line, 1257.86 feet to a point on the west line of the Southern Pacific Railroad right of way;

thence South 0 degrees 16 minutes 41 seconds East, along said west line, 202.01 feet to the south line of the north 202.00 feet of said Southwest Quarter;

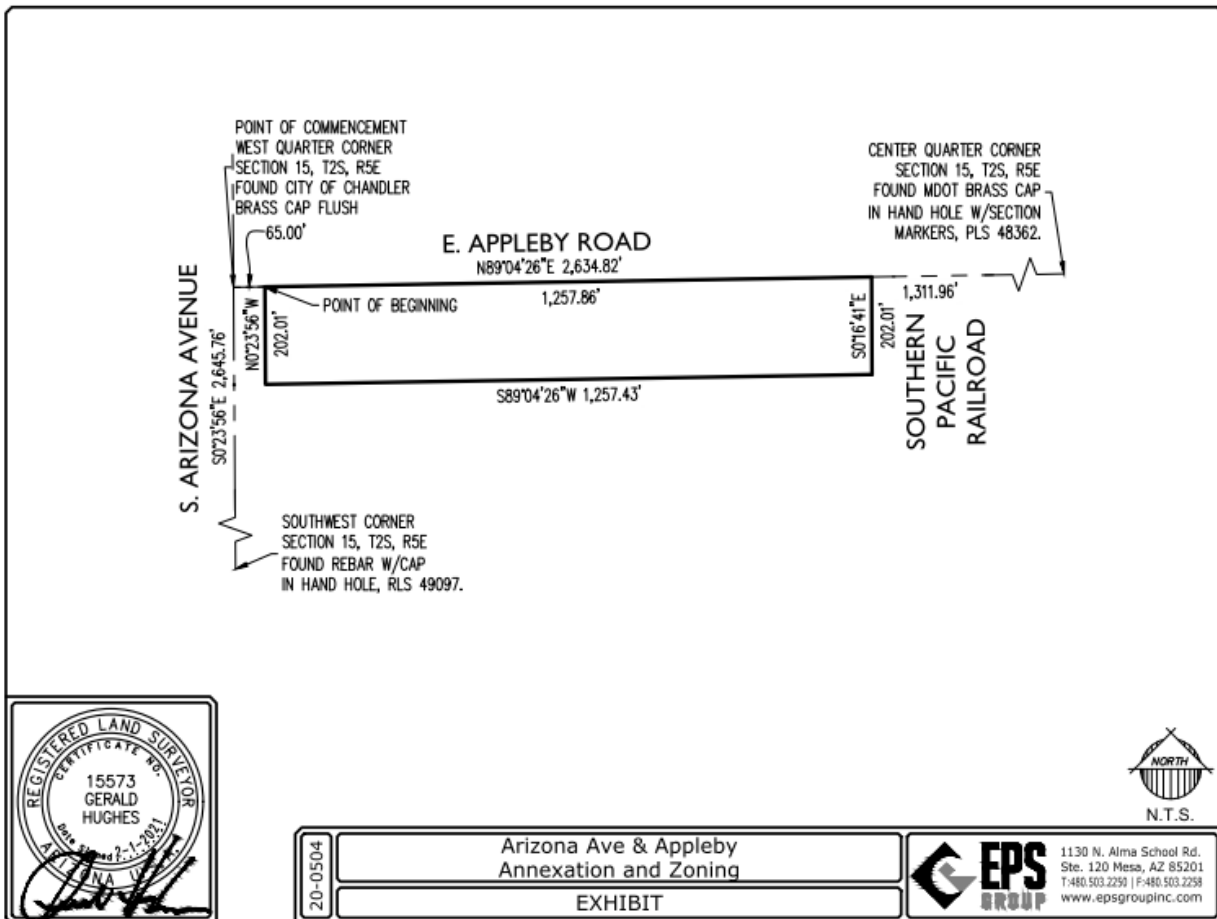
thence South 89 degrees 04 minutes 26 seconds West, along said south line, 1257.43 feet to a point on the east line of the west 65.00 feet of said Southwest Quarter;

thence North 0 degrees 23 minutes 56 seconds West, along said east line, 202.01 feet to the POINT OF BEGINNING.

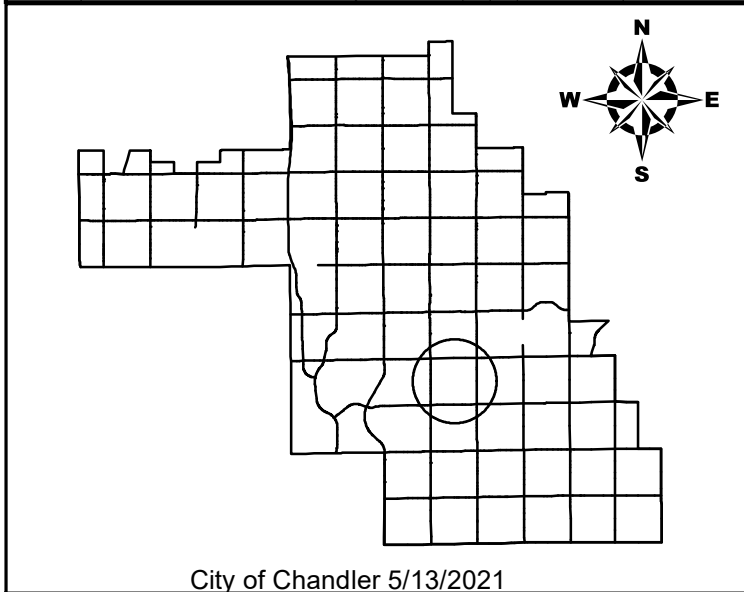
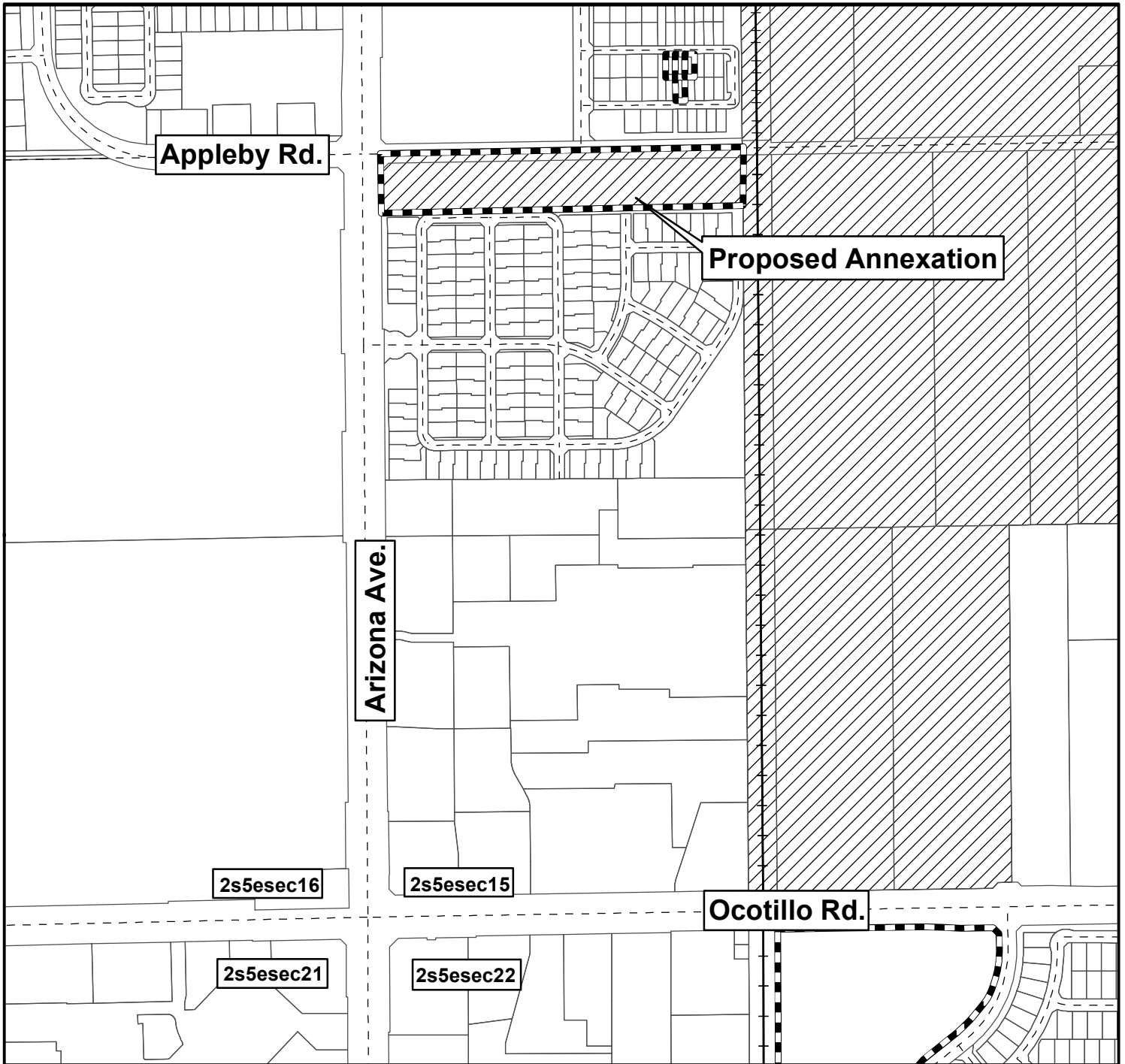
Containing an area of 254,044 square feet or 5.8321 acres, more or less.



Exhibit 'A'



Feb 01, 2021 3:04pm S:\Projects\2020\20-0504\Land Survey\Legals\20-0504 - Annex.dwg



City of Chandler 5/13/2021

Annexation Map

Ordinance No. 4974



Proposed Annexation

Southeast Corner of Arizona Avenue and Appleby Road



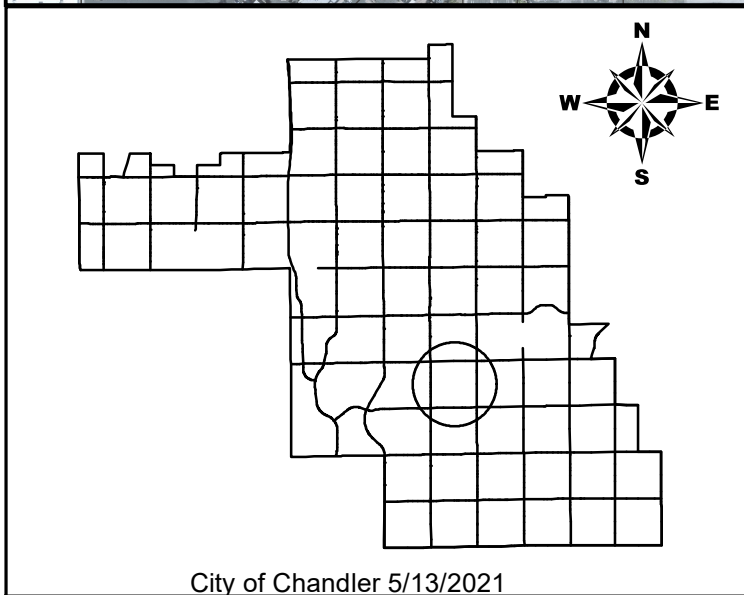
Incorporated Area



Unincorporated Area

0 150 300 600 900 1,200 Feet

Exhibit A



Annexation Map

Ordinance No. 4974

Proposed Annexation
Southeast Corner of Arizona Avenue and Appleby Road

Incorporated Area

Unincorporated Area

0 150 300 600 900 1,200 Feet

Exhibit A



City Council Memorandum Development Services Memo No. 21-029a

Date: July 12, 2021
To: Mayor and Council
Thru: Joshua H. Wright, Acting City Manager
 Debra Stapleton, Assistant City Manager
 Derek D. Horn, Development Services Director
From: Susan Fiala, Senior Planner
Subject: Final Adoption of Ordinance No. 4975 PLH20-0051, The Ashley
Request: Rezoning from Agricultural District (AG-1) to Planned Area Development for multi-family residential (PAD/MF-2)
Location: Southeast corner of Arizona Avenue and Appleby Road
Applicant: Sean Lake, Pew & Lake PLC

Proposed Motion:

Move City Council adopt Ordinance No. 4975 approving PLH20-0051 The Ashley, rezoning from Agricultural (AG-1) District to Planned Area Development for multi-family residential (PAD/MF-2), located at the southeast corner of Arizona Avenue and Appleby Road, subject to the conditions as recommended by Planning and Zoning Commission.

Background Data:

- Approximately 5 net acres
- Site currently contains a single-family residence
- Zoned Rural-43 in unincorporated Maricopa County
- Annexation public hearing held on March 25, 2021, City Council regular meeting
- A request approving the annexation and initial City Zoning of Agricultural District (AG-1) precedes this item on the Council Agenda
- Ordinance No. 4975 was introduced and tentatively adopted on June 24, 2021

Surrounding Land Use Data:

North	Church and single-family residential (La Costera) across Appleby Road	South	Single-family residential (Paseo Lindo)
East	Union Pacific Railroad	West	School and public library (Hamilton High and Chandler Hamilton library) across Arizona Avenue

General Plan and Area Plan Designations:

	Existing	Proposed
General Plan	Employment	No change
Chandler Airpark Area Plan (CAAP)	Commercial/Office/Business Park	High Density Residential (HDR 12.1-18 du/ac)

Proposed Development

# of Units	78 units in 3-, 4-, and 8-unit buildings <ul style="list-style-type: none"> • 1 bedroom - 20 units • 2 bedroom - 29 units • 3 bedroom - 29 units
Density	15.7 dwelling units per acre
Building Setbacks (min.)	Arizona Ave. - 50 ft. Appleby Rd. - 26 ft. South - 10 ft. East - 30 ft.
Building Height	Two story units, max. 30 ft.
Building Architecture	<ul style="list-style-type: none"> • Contemporary style • Materials; stucco, composite decking/fiber wood, metal • Trellis beamed balconies • Enclosed landscaped rear patios
Parking	Unit Parking <ul style="list-style-type: none"> • 154 parking spaces required • 156 parking spaces provided in 2 car garages Guest/open parking <ul style="list-style-type: none"> • 20 spaces required • 24 spaces provided
Amenities	<ul style="list-style-type: none"> • Airport-themed tot lot • Clubhouse • Pool • Dog Park • BBQ and Ramada

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Transitional Employment Corridor which allows residential to be considered when determining compatibility with existing and future surrounding uses. The site is located between two single-family residential subdivisions, Paseo Lindo to the south and La Costera to the north. The narrow, elongated rectangular site does not lend itself to function as either employment or commercial uses which may negatively impact existing residential. The site is approximately one-quarter mile north of the Paseo Lindo commercial center, and approximately one-half mile north of larger commercial centers located on the south side of Ocotillo Road which currently provide sufficient commercial/retail uses in the proximate

area. For these reasons, staff supports the area plan amendment from Commercial/Office/Business Park to High Density Residential (HDR 12.1-18 DU/ACRE) land use. The proposed multi-family residential development is a compatible land use on an infill site that creates a transition between single-family developments and provides another housing type to the surrounding area. For these reasons, staff find the proposal to be consistent with the goals of the General Plan and the CAAP, as amended, and recommends approval subject to conditions.

Economic Analysis

An economic and fiscal impact analysis was conducted based on project details provided by the applicant and staff assumptions. The analysis determined the project will generate a positive net fiscal impact for the City. Net income to the City resulting from the project is estimated at approximately \$438,566 over 10 years. This includes revenues from property taxes, building permit and plan review fees, transaction privilege tax on construction, real property rental tax, state shared revenues, and local spending by residents. For the analysis, it was assumed the developer will lease the townhomes; however, the developer has since expressed that the individual units will be for sale.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- Virtual neighborhood meetings were held on August 3, 2020, with three residents in attendance and on March 16, 2021, with 16 residents attending, including Councilmembers Ellis and Harris. Comments and questions related to the landscape buffer between Paseo Lindo homes, balconies and privacy to their backyards, as well as the amenity area. The applicant responded there is a green belt on the Paseo Lindo side providing a buffer as well as landscape on the south side of the pool amenity. Proposed balconies are adjacent to the master bedrooms.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Airport Commission Conflict Evaluation

Airport Commission meeting held on April 14, 2021

Motion to find a conflict with existing or planned airport operations.

In Favor: 5 Opposed: 1 (Bozelli)

The Airport Commission reviewed the request in accordance with the Airport Conflicts Evaluation Process. The Airport Manager has issued a conflict evaluation report indicating that the Airport Commission determined that the proposed development does constitute a conflict with existing or planned airport uses. A copy of the Airport Planning Administrator's report detailing the Airport Commission's findings is attached to this memo. The Airport Commission's recommended mitigation measures to address the operational conflict are included as stipulations of the rezoning.

Planning and Zoning Commission Vote Report

Planning and Zoning Commission meeting of June 2, 2021.

Motion to Approve: In Favor: 6 Opposed: 0

The Planning and Zoning Commission added preliminary development plan stipulations 10 - 12 effectively increasing the size of trees at the time of planting along Arizona Avenue and the southeast corner of the site, and directing the applicant to work with staff to enhance the side elevations of the buildings facing Arizona Avenue

Recommended Conditions of Approval

Planning and Zoning

Commission recommends City Council approve the rezoning from Agricultural District (AG-1) to Planned Area Development for multi-family residential (PAD/MF-2), subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled “The Ashley” and kept on file in the City of Chandler Planning Division, in File No. PLH20-0051, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by the Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements, and street lighting to achieve conformance with City codes, standard details, and design manuals.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Multi-family residential shall be permitted with a maximum density of 16 dwelling units per acre.
5. Minimum building setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
Arizona Avenue	50 ft.
Appleby Road	26 ft.
East Property Line	30 ft.
South Property Line	10 ft.

6. Prior to the execution of any lease, all prospective renters shall be given written disclosure in their lease and in a separately signed disclosure statement fully acknowledging that this development lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this development to the Chandler Municipal Airport that includes a heliport and an aircraft storage facility, and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise, overflight activity, and other externalities. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and shall be recorded with Maricopa County Recorder prior to the issuance of the first building permit for this development.

7. The subdivider/homebuilder/developer/multi-family manager shall display, in a conspicuous place within the sales or leasing office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24” x 36”. Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer/multi-family manager by submittal to the Zoning Administrator of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any lease or sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office in the event the multi-family development is platted to allow unit ownership. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer/multi-family manager and shall not be construed as a guarantee of disclosure by the City of Chandler.

8. The above referenced information shall also be included within any Subdivision Public Report that is filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.

9. The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.

10. All townhouses and buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.

11. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity and is encumbered by an avigational easement to the City of Chandler."

12. In the event the multi-family residential development is platted to allow unit ownership, prior to the time of making any purchase agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this development lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this development to the Chandler Municipal Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

13. In the event the multi-family residential development is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

14. All leases shall state that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of The Ashley development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All lease agreements shall also provide that it shall be within the sole and absolute discretion of the manager of The Ashley (and not the tenant) to determine (after the manager's due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information known to The Ashley's manager) whether or not, when, and how to communicate any tenant's questions, concerns, or

complaints to the Chandler Municipal Airport manager.

15. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.

Attachments

Ordinance No 4875

Vicinity maps

Airport Conflict Evaluation

Development Booklet

ORDINANCE NO. 4975

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) DISTRICT TO PLANNED AREA DEVELOPMENT FOR MULTI-FAMILY RESIDENTIAL (PAD/MF-2) AS REPRESENTED IN CASE PLH20-0051 (THE ASHLEY) LOCATED AT THE SOUTHEAST CORNER OF ARIZONA AVENUE AND APPLEBY ROAD WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA; PROVIDING FOR THE REPEAL OF CONFLICTING ORDINANCES; AND PROVIDING FOR PENALTIES.

WHEREAS, the application for rezoning certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days' notice of time, place, and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

Section 1. Legal Description of Property:
 As described in **EXHIBIT 'A'**

Said property is hereby rezoned from AG-1 to PAD for multi-family residential subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "The Ashley" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0051, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by the Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements, and street lighting to achieve conformance with City codes, standard details, and design manuals.

3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Multi-family residential shall be permitted with a maximum density of 16 dwelling units per acre.
5. Minimum building setbacks shall be as provided below and further detailed in the development booklet:

Property Line Location	Minimum Building Setback
Arizona Ave.	50 ft.
Appleby Rd.	26 ft.
East Property Line	30 ft.
South Property Line	10 ft.

6. Prior to the execution of any lease, all prospective renters shall be given written disclosure in their lease and in a separately signed disclosure statement fully acknowledging that this development lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this development to the Chandler Municipal Airport that includes a heliport and an aircraft storage facility, and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise, overflight activity, and other externalities. The requirement for such disclosure shall be confirmed in an avigation notice covenant that runs with the land and shall be recorded with Maricopa County Recorder prior to the issuance of the first building permit for this development.
7. The subdivider/homebuilder/developer/multi-family manager shall display, in a conspicuous place within the sales or leasing office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled *Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area)*, as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36". Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer/multi-family manager by submittal to the Zoning Administrator of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any lease or sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office

in the event the multi-family development is platted to allow unit ownership. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer/multi-family manager and shall not be construed as a guarantee of disclosure by the City of Chandler.

8. The above referenced information shall also be included within any Subdivision Public Report that is filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statutes § 28-8486 and Arizona Revised Statutes § 28-8464.
9. The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
10. All townhouses and buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
11. The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text: "This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity and is encumbered by an avigational easement to the City of Chandler."
12. In the event the multi-family residential development is platted to allow unit ownership, prior to the time of making any purchase agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that this development lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this development to the Chandler Municipal Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity and other externalities. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property. The "Public Subdivision Report," "Purchase Contracts," "Covenants, Codes, & Restrictions (CC&R's)," and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing municipal airport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
13. In the event the multi-family residential development is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent

sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

14. All leases shall state that all questions, concerns, or complaints any tenant may have about the Chandler Municipal Airport or the operation of aircraft landing at, taking off from, or operating at or on Chandler Municipal Airport shall be directed solely to the manager of The Ashley development and not to the Chandler Municipal Airport, the City of Chandler, the FAA, any aircraft owner, or any pilot. All lease agreements shall also provide that it shall be within the sole and absolute discretion of the manager of The Ashley (and not the tenant) to determine (after the manager’s due consideration of all airport related acknowledgments and disclosures that are required by the Zoning Stipulations and consideration of all information known to The Ashley’s manager) whether or not, when, and how to communicate any tenant’s questions, concerns, or complaints to the Chandler Municipal Airport manager.
15. Prior to building permit issuance for any structures the developer shall provide a DETERMINATION OF NO HAZARD TO AVIATION approval as issued by the FAA after filing an FAA Form 7460, Notice of Proposed Construction or Alteration.

Section 2. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this Ordinance.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance, or any parts hereof, are hereby repealed.

Section 4. In any case, where any building, structure, or land is used in violation of this Ordinance, the Planning Division of the City of Chandler may institute an injunction or any other appropriate action in proceeding to prevent the use of such building, structure, or land.

Section 5. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of

competent jurisdiction, then this entire ordinance is invalid and shall have no force or effect.

Section 6. A violation of this Ordinance shall be a Class 1 misdemeanor subject to the enforcement and penalty provisions set forth in Section 1-8.3 of the Chandler City Code. Each day a violation continues, or the failure to perform any act or duty required by this Ordinance or the Zoning Code, shall constitute a separate offense.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 4975 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the ____ day of _____, 2021, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY TA

Published:

Exhibit 'A' Legal Description



**Legal Description
Arizona Ave & Appleby Road
Annexation and Zoning**

Job No. 20-0504

February 1, 2021

A portion of Southwest Quarter of Section 15, Township 2 South, Range 5 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, and particularly described as follows:

COMMENCING at a City of Chandler flush brass cap at the west quarter corner of said Section 15, from which a rebar with cap in a hand hole, stamped "RLS 49097" at the southwest corner of said Section 15, bears South 0 degrees 23 minutes 56 seconds East, at a distance of 2,645.76 feet;

thence North 89 degrees 04 minutes 26 seconds East, along the north line of said Southwest Quarter, 65.00 feet to the POINT OF BEGINNING;

thence continuing North 89 degrees 04 minutes 26 seconds East, along said north line, 1257.86 feet to a point on the west line of the Southern Pacific Railroad right of way;

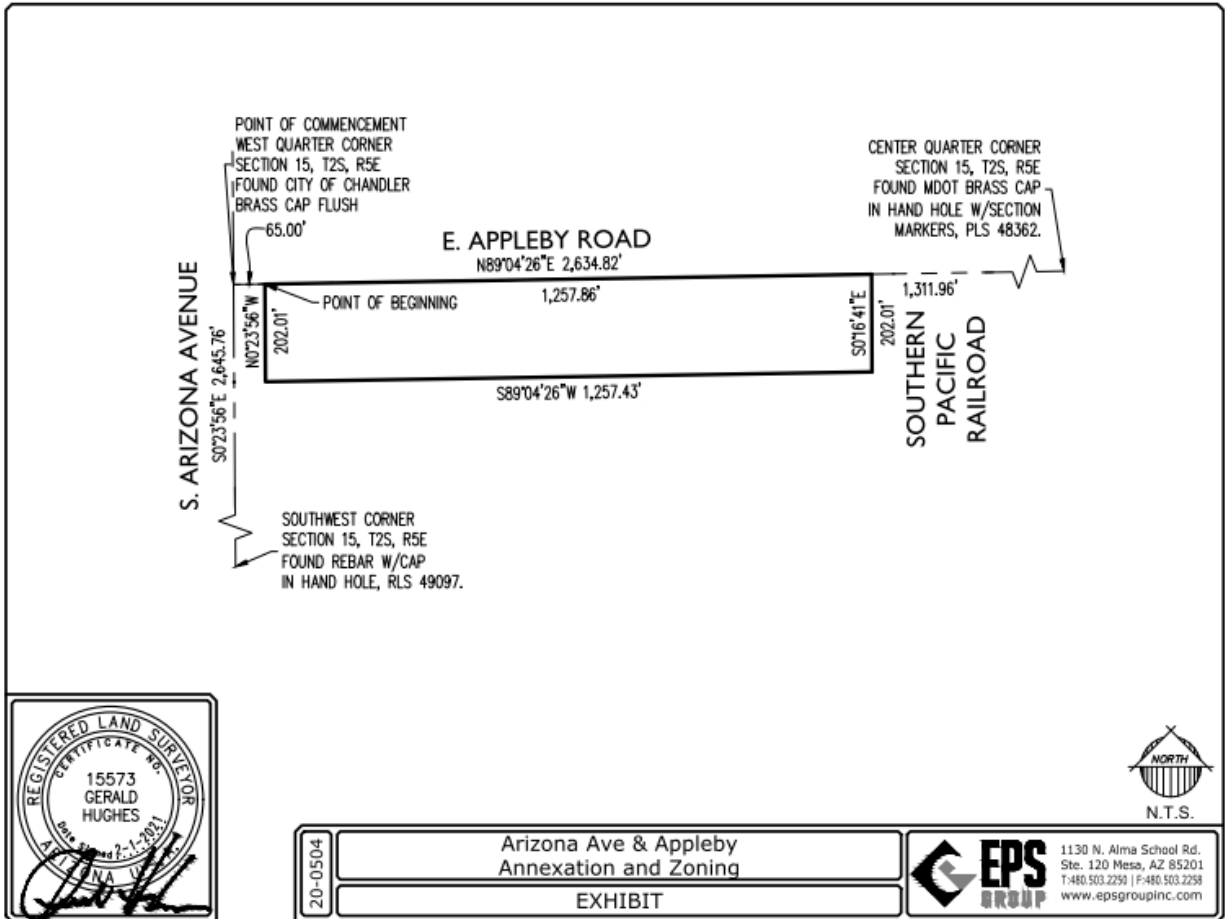
thence South 0 degrees 16 minutes 41 seconds East, along said west line, 202.01 feet to the south line of the north 202.00 feet of said Southwest Quarter;

thence South 89 degrees 04 minutes 26 seconds West, along said south line, 1257.43 feet to a point on the east line of the west 65.00 feet of said Southwest Quarter;

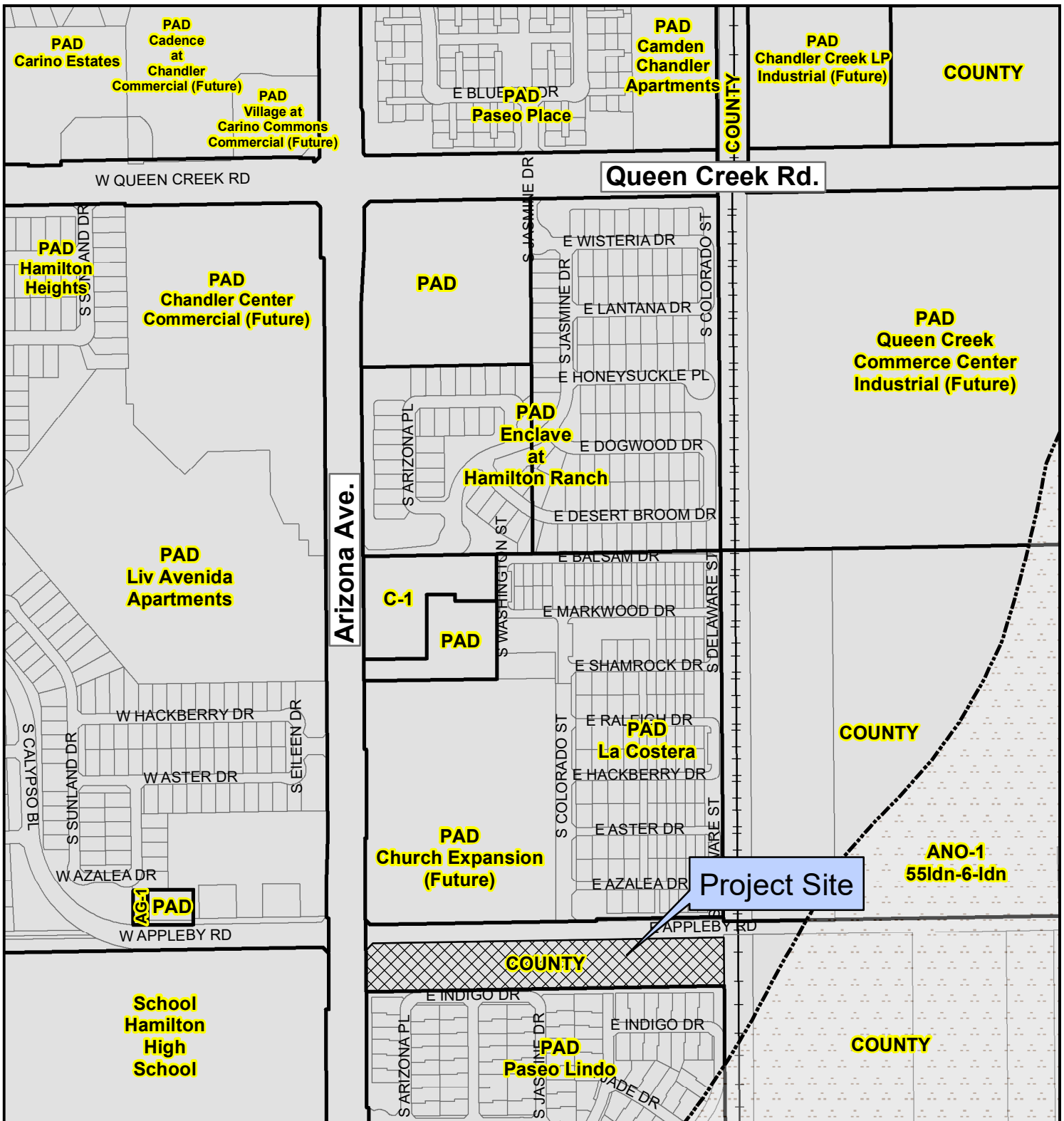
thence North 0 degrees 23 minutes 56 seconds West, along said east line, 202.01 feet to the POINT OF BEGINNING.

Containing an area of 254,044 square feet or 5.8321 acres, more or less.



Exhibit 'A'

Feb 01, 2021 3:04pm S:\Projects\2020\20-0504\Land Survey\Legals\20-0504 - Annex.dwg

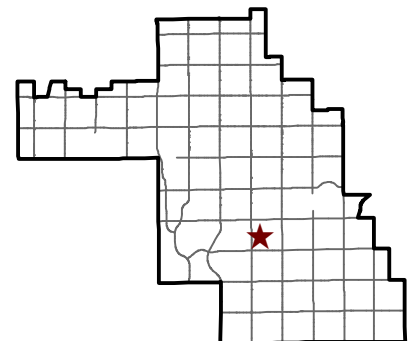


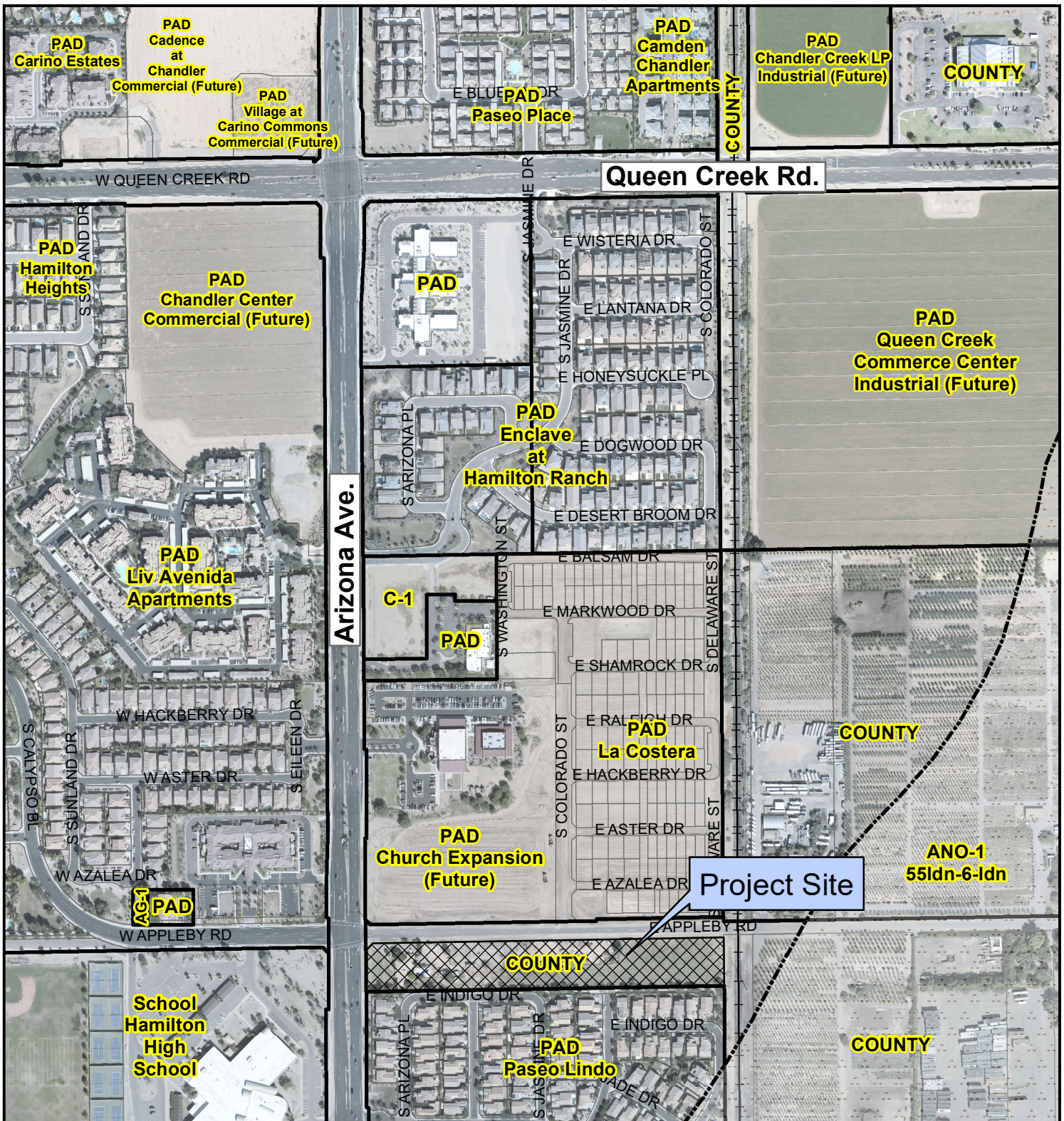
PLH20-0050/PLH20-0051/PLT21-0015 The Ashley

Proposed Project Details
AREA PLAN AMENDMENT TO THE CHANDLER
AIRPARK AREA PLAN/REZONE/PDP/PRE-PLAT
5 Net Acres Approximately
78 Multi-Family Unit Townhomes
15.7 dwelling units per acre (du/ac)



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>





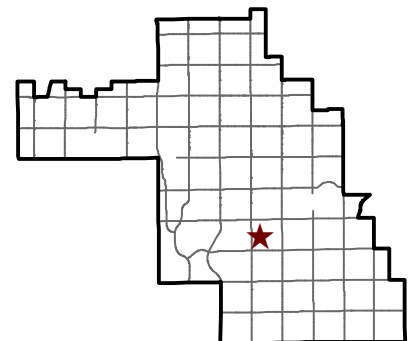
PLH20-0050/PLH20-0051/PLT21-0015 The Ashley



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5 Net Acres Approximately
78 Multi-Family Unit Townhomes
15.7 dwelling units per acre (du/ac)



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MEMORANDUM

Airport - Memo No. 21-033

DATE: April 15, 2021

TO: Kevin Mayo, Planning Administrator

FROM: Chris Andres, Airport Planning Administrator

SUBJECT: Airport Conflict Evaluation
PLH20-0051 The Ashley
Southeast corner of Arizona Avenue and Appleby Road

At their April 14, 2020 meeting, the Chandler Airport Commission ("Commission") discussed The Ashley multifamily residential project located at the southeast corner of Arizona Avenue and Appleby Road.

Finding: The Commission determined the proposed development **constitutes a conflict** with existing or planned airport uses.

Conflict(s) Cited: The proposed development contains 78 single family residential units and the site will experience aviation noise and vibration impact from aircraft in the normal traffic pattern and arrival and departure routes. Approximately 156 residents would be expected to be exposed to aircraft noise at this location.

Conflict Resolution(s): If the development is approved, physical and administrative corrective actions should be employed including, without limitation:

Physical corrective actions: (1) construction of all units built with noise attenuation construction materials and techniques to reduce the ambient interior noise levels to less than 45 decibels; (2) installation of roadway-style signs *at each driveway entrance* identifying the presence of low flying aircraft (*this stipulation was added in the final motion*);

Administrative corrective actions:

If the development will be for unit ownership, or will be converted to condominiums in the future, then administrative corrective actions are: (1) all prospective purchasers of property in the subdivision should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport (including the heliport), and (ii) the

potential for impact from aviation noise and vibrations; (2) all prospective purchasers of property should be required to sign the disclosure statements before a purchase contract is signed and again at the transaction closing; (3) dedication of an avigational easement to the City; (4) display of a large size map in the onsite sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (5) submittal of a signed affidavit and photograph of the prior referenced map display to the Zoning Administrator; (6) inclusion of an affirmative disclosure statement on the final plat; (7) inclusion of the physical and administrative corrective actions in the Subdivision Public Report that is submitted to the Arizona Department of Real Estate.

If the development is for unit rental, then administrative corrective actions are: (1) all prospective tenants should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport, including the heliport, (ii) the potential for impact from aircraft noise and vibrations, and (iii) proximity to an aircraft engine testing facility and aircraft storage; (2) dedication of an avigational easement to the City; (3) display of a large size map in the management/sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (4) submittal of a signed affidavit and photograph of the prior referenced map display; (5) inclusion of an affirmative disclosure statement on the final plat; (6) requirement that all rental leases shall provide that all questions, concerns, or complaints any tenant may have about airport operations shall be directed solely at the multifamily apartment manager; (7) requirement that all rental leases shall provide that it shall be within the sole and absolute discretion of the multifamily apartment manager (and not the tenant) to determine whether or not, when and how to communicate any tenant's question concern, or complaint to the Chandler Municipal Airport Manager.

Commission Members in Attendance: Chairman David Sperling, Vice Chair Chris Hawley, Sherri Koshiol, Alicia Kruse, Dave Siegel, Robert Bozelli and Sky McCorkle were in attendance. This attendance represented a quorum. The Commission voted 6-1 to forward a report to the Planning Administrator indicating the finding noted above. Commissioner Bozelli cast the lone dissenting vote.

cc: David De La Torre, Planning Manager
Susan Fiala, Senior City Planner

Attachment: Airport Conflict Evaluation AP21-032

The Ashley

SEC of Arizona Avenue and Appleby Road

Chandler, Arizona

Area Plan Amendment, Rezoning, Preliminary

Development Plan and Preliminary Plat

PLH20-0050, PLH20-0051 and PLT21-0015



Prepared for:

Porter-Kyle Builders

Submitted by:

Sean B. Lake

Pew & Lake, PLC

1744 S. Val Vista Drive, Suite 217

Mesa, AZ 85204

Submitted to:

The City of Chandler

May 10, 2021

The Ashley Development Team

Applicant

Mr. Sean B. Lake
Pew & Lake, PLC
1744 South Val Vista Drive
Suite 217
Mesa, AZ 85204
Sean.lake@pewandlake.com

Property Owner

Gwen D. Farmer
21205 S. Arizona Avenue
Chandler, AZ 85248

Developer

Mr. Michael Stephan
Porter Kyle Builders
8149 East Evans Road, Suite 8
Scottsdale, AZ 85260
mstephan@porterkyle.com

Architect

Mr. Andrew Hesse
Porter Kyle Builders
8149 East Evans Road, Suite 8
Scottsdale, AZ 85260
ahesse@porterkyle.com

Engineer

Mr. Daniel "Ox" Auxier
EPS Group
1130 North Alma School Road
Suite 120
Mesa, AZ 85201
dan.auxier@epsgroupinc.com

Landscape Architecture

Mr. Jesse Westad
WERK Urban Design
455 N. 3rd Street, Suite 1010
Phoenix, AZ 85004
jesse@werkurbandesign.com

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Project Overview

On behalf of Porter Kyle Builders, Pew & Lake, PLC is pleased to submit this project narrative and Conceptual Site Plan for The Ashley, a proposed multifamily development on 4.96 net acres located at the southeast corner of Arizona Avenue and Appleby Roads in the City of Chandler. The small, infill site is known as Maricopa County Parcel Number 303-041-017 and the approximate boundaries of the proposed development site are shown below.



About Porter Kyle Builders

Based in Scottsdale, Arizona, Porter Kyle builders is a vertically integrated, multifamily developer that specializes in the design and build of contemporary and sustainable townhome communities. The Porter Kyle team has been involved in the development and construction of over 5,000 multi-family units with construction values in excess of \$500 million.

Relationship to Surrounding Properties

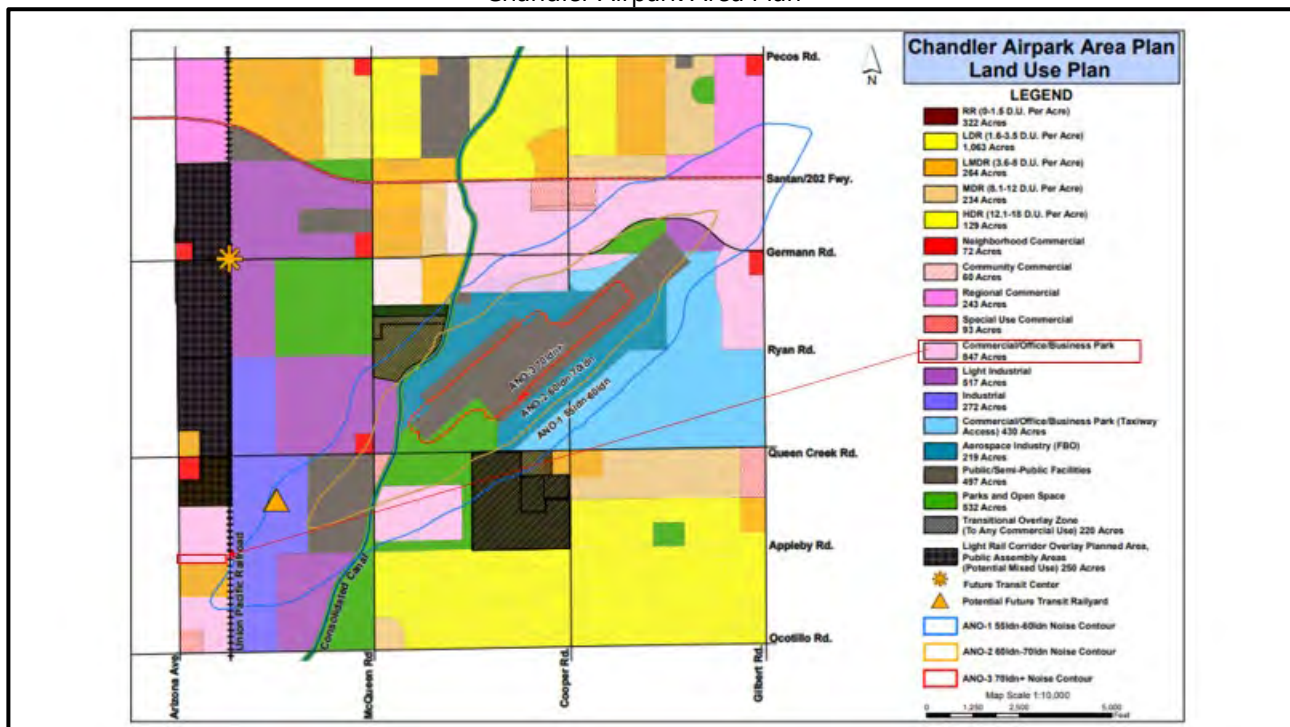
As shown on the next page, the site is currently a single residential home on a property that lies within unincorporated Maricopa County. It is surrounded by a residential subdivision to the south, railroad tracks to the east, a residential subdivision is currently being developed on the north and Hamilton High School is across Arizona Avenue to the west.

	Area Plan Designation	Zoning Classification	Existing Use
North	LMDR	PAD	Church, Residential
South	MDR	PAD	Residential
East	Industrial	RU-43 (County)	RR Tracks, Maricopa County Residential
West	N/A	PAD	Hamilton High School
Project Site	Commercial/Office/ Business Park	RU-43 (County)	Single residential home

Existing Area Plan Designation and Zoning Classification

As shown above and in the graphic below, the site is currently designated for Commercial/Office/Business Park in the Chandler Airpark Area Plan and has no zoning designation.

Chandler Airpark Area Plan



Our Requests

Our requests to the City of Chandler are:

1. Annexation of the property into the City's jurisdictional boundaries (under a separate process).
2. An amendment to the Chandler Airpark Area Plan from Commercial/Office/Business Park to HDR (12.1 to 18 DU/AC).
3. Rezoning of the property from Maricopa County RU-43 to MF-2 with a Planned Area Development (PAD) Overlay.
4. Preliminary Development Plan.
5. Preliminary Plat.

If approved, these requests will allow for the development of a 78-unit townhome development.

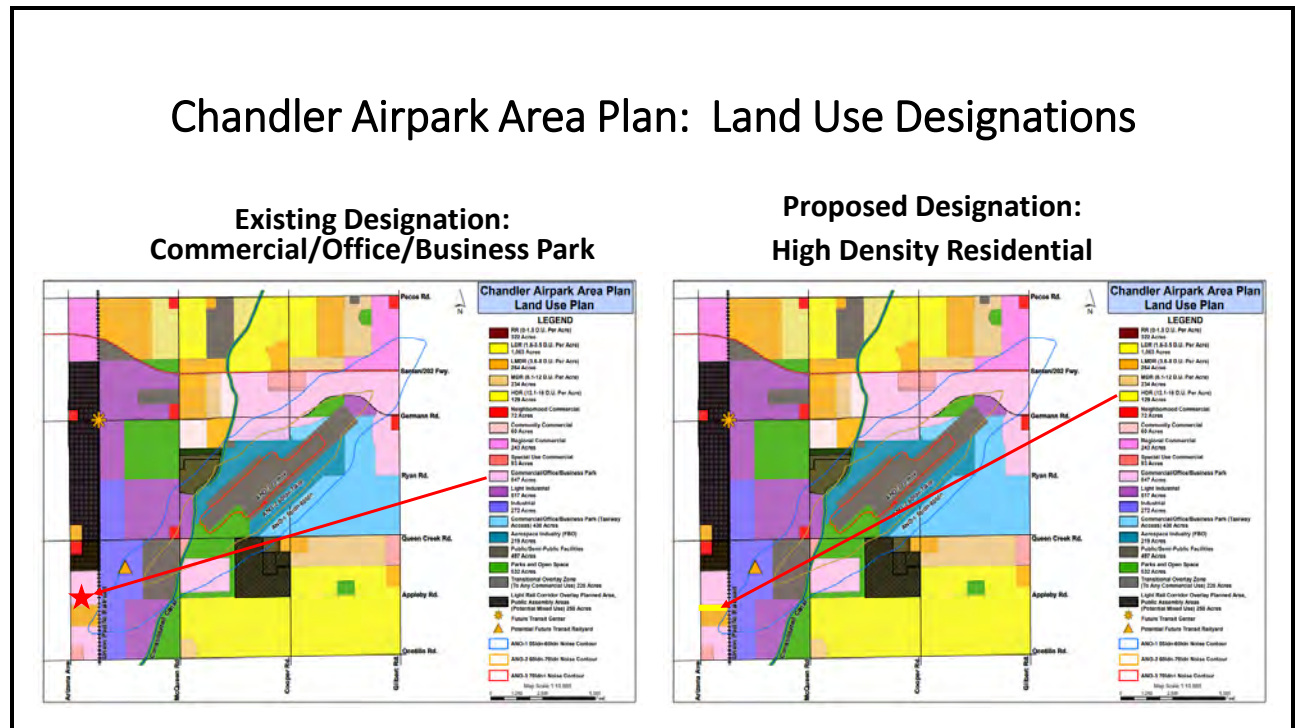
General Plan and Chandler Airpark Area Plan

The site is designated on the City of Chandler's General Plan as Employment. The Employment designation in the General Plan specifically states that the area between Arizona Avenue and the Union Pacific Railroad is unique as it is characterized by a mix of land uses including industrial, commercial, institutional, recreation, neighborhoods and *a range of residential densities* (emphasis added). The appropriate land use is determined by the adjacent uses, parcel size, and transitioning techniques.

The site is also within the Chandler Airpark Area Plan. The Area Plan designates the site as Commercial/Office/Business Park. This request will amend the Chandler Airpark Area Plan from Commercial/ Office/Business Park to High Density Residential (HDR). Given the size of this parcel, the setbacks required from residential properties and the related parking requirements, the development of the site as Commercial, Office, or Business Park is not viable. Additionally, an employment/commercial office business park use would not be compatible with the adjacent residential development.

The proposed residential use is compatible with the existing uses of the surrounding properties, as much of the surrounding area has been developed, or is being developed, as residential. North of the site, La Costera Landing is currently under development, and south of the site is the existing Cachet at Paseo Lindo residential subdivision. On the east side of the property, the Union Pacific Railroad buffers the site from the County land designated in the Airpark Area Plan as Industrial. While the proposed density for the Ashley is higher than the nearby residential subdivisions, it is worth noting that the unique parcel shape and configuration allows this density to be achieved at a building height of 28-feet, which is less than the 45-feet allowed in the MF-2 zoning district, and the "multiple story structures" allowed in the HDR land use category. The

Airpark Plan specifically mentions that “densities achieved will be predicated on available infrastructure and development impacts.” The HDR land use designation allows densities that fall between 12.1 du/ac to 18 du/ac. The density proposed for The Ashley, at 15.72 net du/ac, is necessary for the viability of the project, given the extensive amount of offsite improvements that must be installed with the development of this property. This proposed density falls within the middle of the allowable density range.



Finally, the development site is outside of the 55-decibel noise contour shown in the Area Plan making it suitable for residential development.

Zoning Analysis

As proposed, The Ashley will feature 78 dwelling units at a resulting density of 15.72 net du/ac. This density falls squarely within the Planned Area Development for multi-family (PAD/MF-2) zoning district and the HDR area plan category we are seeking. As expressed in Section 35-901 of the Chandler Municipal Code, the MF-2 zoning district is “intended to provide a diversity of dwelling units at an appropriate density which will enable Chandler to offer a balanced housing market.” As previously noted, this small, infill parcel presents the perfect opportunity for a unique multi-family development that will provide a transitional use between the existing single-family residential development south of the parcel, and the church and residential use north of the development site. The Ashley will bring a modern, unique housing product to the City of

Chandler that is not currently available in this part of the City.

The proposed development meets or exceeds the development standards contained in the requested zoning district, and the community has been designed to capitalize on the shape of the site, without requesting the 45-foot allowed height in the underlying zoning district. The two-story height proposed in The Ashley is consistent with some of the homes in Paseo Lindo, and is also less than the height that would be allowed in a commercial district.

It is also important to note that, with regards to the subdivision to the south, Conditions of Approval from the original Paseo Lindo zoning case (Ord. No. 3866) required: 1) a 35-foot setback on the north property line, 2) a double-row of trees and 3) allows development of this parcel to measure building setbacks from the nearest residential homes in Paseo Lindo, rather than the parcel's south property line.

The Development Plan

Porter Kyle is excited to introduce The Ashley, a proposed multi-family development at the southeast corner of Arizona Avenue and Appleby Road. This small, infill parcel presents the perfect opportunity for a unique multi-family development that will provide a transitional use between the existing single-family residential development south of the parcel, and the church and residential use north of the development site. The Ashley will bring a unique housing product that is not currently available in this part of Chandler. The Ashley will feature 78 townhomes in a gated community.

As shown on the Site Plan, The Ashley is designed to take advantage of the long, rectilinear configuration of the site. It has a main entry off Appleby Road, that is directly opposite the clubhouse, pool and main amenity area. A single, meandering, 25' drive aisle proceeds down the center of the rectangular property that provides access to twelve different residential buildings, as well as secondary points of egress. The townhome buildings contain three to eight units apiece. The homes in The Ashley range in size from 750 to 1,500 livable square feet and each home features a two-car direct-access garage, a private backyard and upper-level balcony.

Design Intent

Porter Kyle designs and builds contemporary, energy efficient townhome communities that exude style. Designed by award winning architects, their new construction luxury townhomes live more like a single-family home than a traditional garden-style building. Porter Kyle is known for authentic and innovative design and quality construction. Some of the features found in Porter Kyle communities include:

- Swimming Pools in every Community
- Outdoor living in private backyards
- Thoughtful landscape designs
- Interiors that include 10-foot ceilings, elegant hardwood style flooring, stainless steel appliances and attached garages
- Sustainable and environmentally friendly building materials
- Energy efficient LED fixtures throughout the property.

Shown on the next page are examples of the overall design aesthetic and quality finishes proposed for The Ashley:



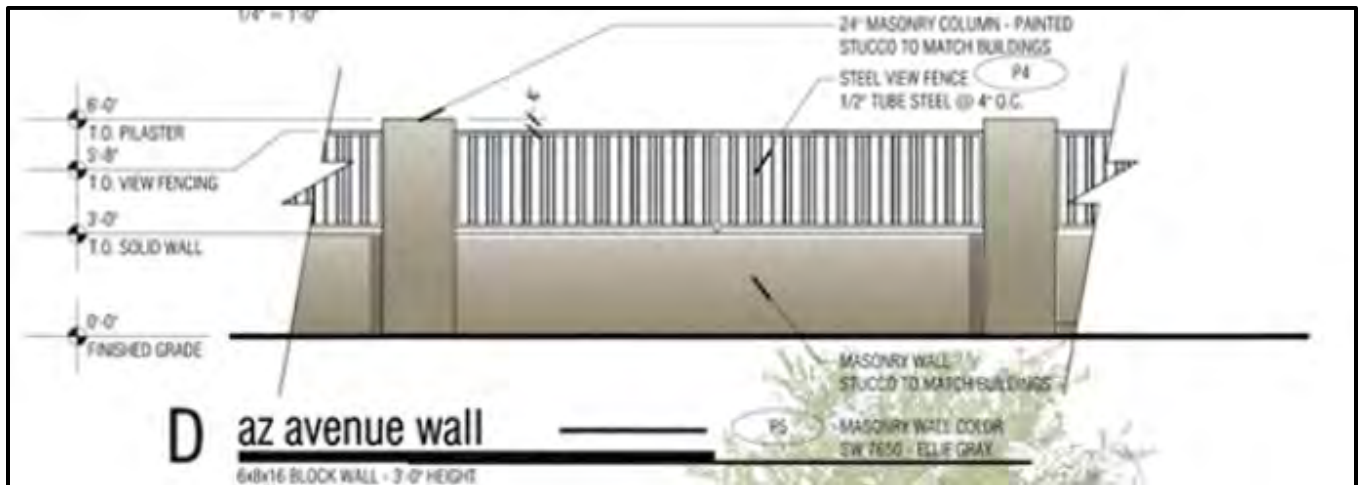


Development Standards

The Ashley community has been thoughtfully designed with the following development standards. Shown on the next page are the required MF-2 standards, and the manner in which The Ashley meets or exceeds those standards. The design of this subdivision will enhance the living experience for residents of The Ashley, and also mitigate impacts to the surrounding neighborhoods.

Standard	Required- MF-2	Proposed- PAD/MF-2
Front Setback (Arizona Avenue)	50'	50'
Rear Setback (East Side)	10'	30'
Street Side Setback (Appleby Rd)	30'	26'
Side Setback (Paseo Lindo)	10'	10'
Building Height	45'	26'
Density (maximum)	18 du/ac	15.72 net du/ac
Common Open Space	24,750 s.f. (150 s.f. per bedroom)	36,093 s.f. (421 s.f. per bedroom)
Private Open Space	8,814 s.f. (113 s.f. per unit)	21,450 s.f. (275 s.f. per unit)
Lot Coverage (maximum)	45%	32%

It is worth noting that the while this development meets the building setbacks required for an arterial/collector intersection, the perimeter walls along Arizona Avenue encroach into the landscape setback. This encroachment is to ensure the continuity of the gated community and provide security to residents in the Ashley. Along Arizona Avenue, the perimeter fencing has been designed to provide steel view fencing atop a solid base as shown below. This will provide visual transparency while providing the security necessary to an adjacent arterial street.



Appleby Road is designated as a collector and requires a 30-foot building setback. However, since the street dead-ends at the railroad crossing, this development is providing a 26-foot building setback. Additionally, the fences that create the private yards that back onto Appleby Road vary from 12-feet to 14-feet from the property line. This variation provides visual interest along Appleby and breaks up the vast expanse of wall along Appleby Road.

Landscaping and Open Spaces

As shown in the chart above, The Ashley provides an abundance of private and common open space. Similarly, the landscaping proposed in this community exceeds the code requirement. Where 73 trees and 434 shrubs are required, The Ashley will have 106 trees and 665 shrubs. The caliper and container sizes for the chosen plants and trees are also in compliance with the code. The landscaping in The Ashley allows for a lot coverage that is well below the coverage allowed in the MF-2 zoning district. Finally, the amenities provided in The Ashley include a fitness center, pool, outdoor barbecues, three pocket parks and a dog park creating a modern, livable multifamily community.

Parking

As shown below, The Ashley provides more than the amount of parking required for multifamily developments in the City of Chandler. Each home has a two-car garage, and 35 of the units have full-size, two-car driveways. Where there are three-bedroom units without a driveway, there is surface parking to accommodate a possible third car. Additionally, the surface parking is sufficient to accommodate visitors to the community.

Parking Analysis			
Resident Parking Required	# of Units	Required Spaces	The Ashley PAD- Provided
1 Bedroom (1.5 spaces per unit)	20	30	40 garage spaces
2 Bedroom (2 per unit)	29	58	58 garage spaces
3 Bedroom (2.25 Spaces per unit)	29	66	58 garage spaces
Sub Total		154	156 Spaces
Visitor/Guest Parking Required	.25 Spaces per Unit	20 Spaces	24 spaces
Total Required Parking		178 Spaces	180 Spaces
Garage Parking			156 spaces
Surface Parking			24 spaces
Total Parking Provided			180 spaces

Neighborhood Outreach

As required by the City's Municipal Code, a virtual neighborhood meeting was held on August 3, 2020 via *GoToMeeting*. The required 1320' notification distance yielded a notification list of 257 property owners. The developer attended the meeting along with land use Counsel. Three neighbors attended the meeting. A second neighborhood meeting was held on March 16, 2021. Sixteen individuals participated in the virtual meeting, including members of the development team and City staff. The primary interest of the neighbors is the landscaping on the south side of the development and how it relates to the existing Paseo Lindo subdivision.

Additionally, the Developer and Applicant attended a virtual meeting of the Cachet at Paseo Lindo Homeowner's Association on January 14, 2021. The proposed development was presented to the Board of Directors and approximately six to eight homeowner attendees, a few of whom had participated in the neighborhood meeting. The overall attitude toward The Ashley development was positive, and the neighbors indicated that they are looking forward to the development of this property for this proposed use.

Conclusion

Porter Kyle has identified the City of Chandler as a dynamic community in need of a diversity of housing options for its current and future residents and is excited to develop a multifamily residential community at this unique, infill location. We look forward to gathering input from City staff that will allow us to make our vision for this site a reality.

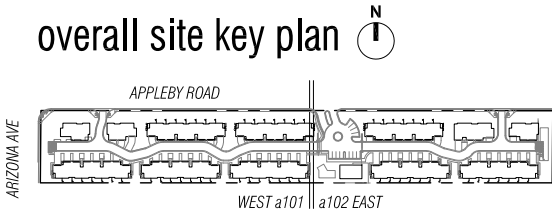
Exhibit A- Site Plan

project description

CITY OF CHANDLER: PLH20-0051
SCOPE OF WORK: NEW CONSTRUCTION FOR 78 MULTIFAMILY RESIDENTIAL
UNITS WITH SHARED COMMUNITY BUILDING.

140,000 GSF NEW CONSTRUCTION - APARTMENTS
2,200 GSF NEW CONSTRUCTION LEASING OFFICE | CLUBHOUSE

overall site key plan



zoning

155 E APPLEBY ROAD
CHANDLER, AZ 85248 (MARICOPA COUNTY)
303-41-017 (222,543 SF)

N 202F OF SW4 LY W OF R/W S PAC R/R EX N & W 33F & EX RD
TOWNSHIP 2S, RANGE 5E, SECTION 15

222,543 GSF TOTAL LOT SIZE (5.11 ACRES)
215,912 NSF (4.96 ACRES)

ZONING: MARICOPA COUNTY RU-43 (EXISTING)
PAD/MF-2 (PROPOSED)

SETBACKS SEC. 35-1003
STREET SIDE SETBACK (APPLEBY): 30' for first 100' then 25'
FRONT SETBACK (ARIZ AVENUE): 50' for first 250'
REAR SETBACK (RAILROAD): 10'-0"
SIDE SETBACK (PASEO LINDO): 10'-0"

REQUIRED 30' for first 100' then 25'
50' for first 250'
PROPOSED 30' for first 100' then 25'
50' for first 125' then 30'-7"
30'-0"
10'-0"

HEIGHT LIMIT: 45 FT MAX. 26'-0"

DENSITY SEC. 35-1003
18.0 DWELLING UNITS/ACRE ALLOWED
15.72 DWELLING UNITS/ACRE PROPOSED

parking

MULTI-FAMILY SEC. 35-1804
UNIT TYPES QUANTITY
ONE BEDROOM 20
TWO BEDROOM 29
THREE BEDROOM 29

1.5 SPACES/UNIT
2 SPACES/UNIT
2.25 SPACES/UNIT
TOTAL 154 SPACES

VISITOR PARKING

4 SPACES/UNIT
78/4 = 19.5
20 SPACES REQUIRED
24 SPACES PROVIDED

156 GARAGE SPACES + 24 SURFACE SPACES
25 OF 29 3 BEDROOM UNITS HAVE (2) CAR DRIVEWAY (MINIMUM 20' DEPTH)
2 OF 29 2 BEDROOM UNITS HAVE (2) CAR DRIVEWAY (MINIMUM 20' DEPTH)
8 OF 20 1 BEDROOM UNITS HAVE (2) CAR DRIVEWAY (MINIMUM 20' DEPTH)

* GARAGE ACCESS WITH LESS THAN 20' CLEAR DEPTH FROM BACK OF CURB OR SIDEWALK TO BE STRIPED OR SIGNED FOR NO PARKING.

open space

215,912 NSF TOTAL LOT SIZE (4.96 ACRES)

GENERAL OPEN SPACE REQUIREMENTS
MULTIFAMILY (150 SF PER BEDROOM)

ONE BDRM 20 x 1 20
TWO BDRM 29 x 2 58
THREE BDRM 29 x 3 87

TOTAL BEDROOMS 165 x 150 SF 24,750 SF REQUIRED

TOTAL COMMON SPACE 36,093 SF PROVIDED

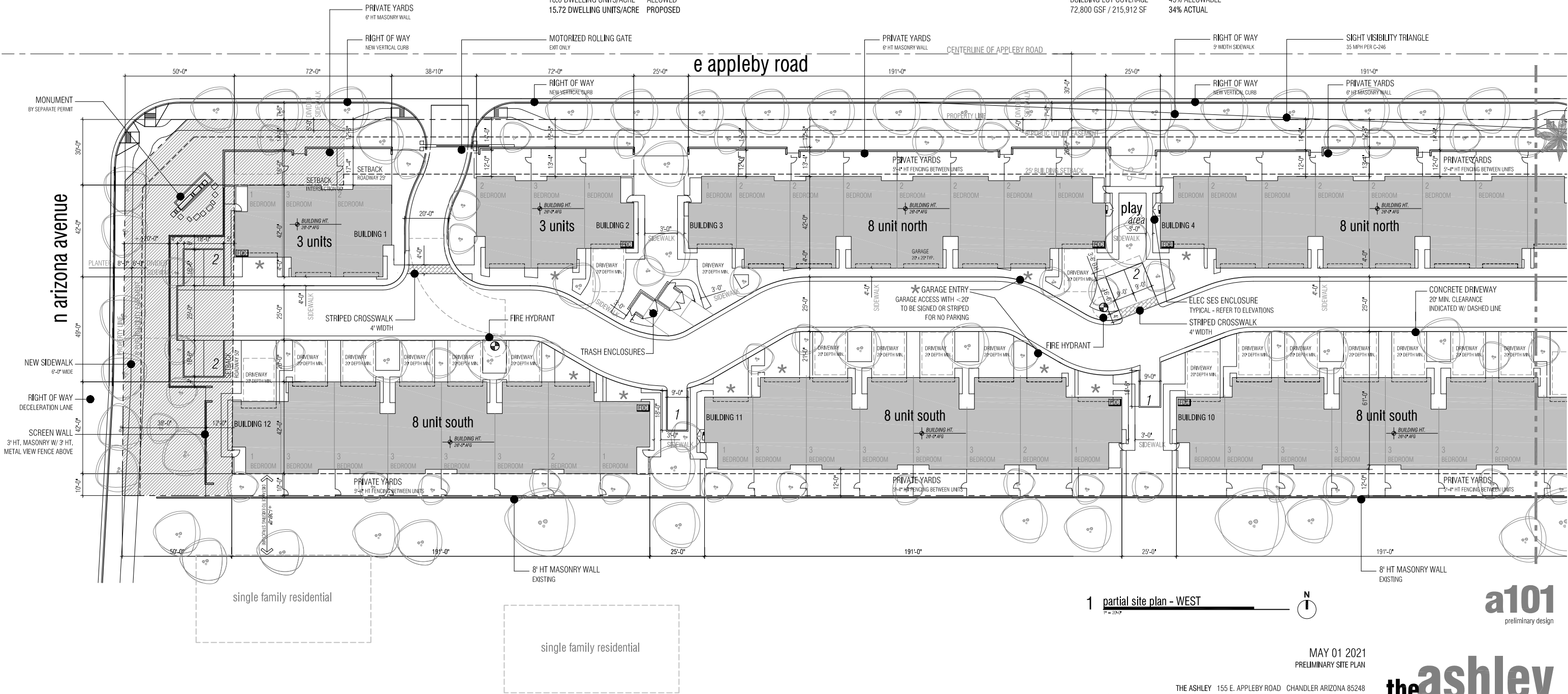
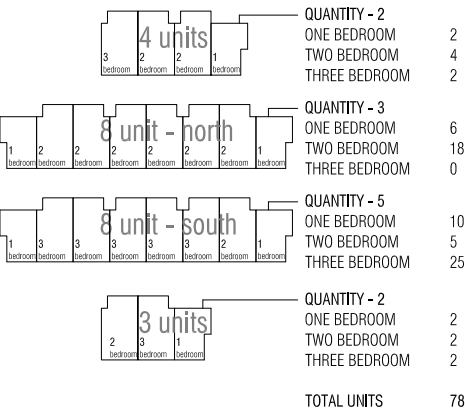
PRIVATE BACKYARDS
MULTIFAMILY (113 SF PER UNIT) 8,814 SF REQUIRED
21,450 SF PROVIDED

BALCONIES (8' DIAMETER MINIMUM)
2ND FLOOR BALCONY 1 BDRM 72 SF x 20 1,440 SF
2ND FLOOR BALCONY 2 BDRM 128 SF x 29 3,712 SF
2ND FLOOR BALCONY 3 BDRM 72 SF x 29 2,088 SF

7,240 SF PROVIDED

BUILDING LOT COVERAGE 45% ALLOWABLE
72,800 GSF / 215,912 SF 34% ACTUAL

unit configuration diagrams



1 partial site plan - WEST
1" = 10'-0"



a101
preliminary design

MAY 01 2021
PRELIMINARY SITE PLAN

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley

project description

CITY OF CHANDLER: PLH20-0051
SCOPE OF WORK: NEW CONSTRUCTION FOR 78 MULTIFAMILY RESIDENTIAL UNITS WITH SHARED COMMUNITY BUILDING.

140,000 GSF NEW CONSTRUCTION - MULTIFAMILY APARTMENTS
2,200 GSF NEW CONSTRUCTION LEASING OFFICE | CLUBHOUSE

project information

MULTIFAMILY AMENITIES REQUIREMENTS SEC. 35-1902
GYM
POOL
OUTDOOR BBQ AT POOL AREA
PARK / PLAY AREA
DOG PARK

building codes

APPLICABLE BUILDING CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES IN THE CITY OF CHANDLER, ARIZONA.

1	OCCUPANCY GROUP	
R-2	RESIDENTIAL APARTMENTS	78 UNITS
A-3	CLUBHOUSE AND LEASING OFFICE	2,200 OVERALL SF

LOBBY (A-3 OCCUPANCY)	92 OCCUPANTS
GYM (B OCCUPANCY)	16 OCCUPANTS

2 GENERAL BUILDING HEIGHTS AND AREAS

RESIDENTIAL:
CONSTRUCTION TYPE (IBC TABLE 601): TYPE VB

PER TABLE 503
GROUP R-2: 9,000 SF / FLOOR
ACTUAL AREA: +/-7,000 SF / 2 LEVEL 8 UNIT BUILDING
ACTUAL AREA: +/-3,500 SF / 2 LEVEL 4 UNIT BUILDING
ACTUAL AREA: +/-2,450 SF / 2 LEVEL 3 UNIT BUILDING

MAXIMUM ALLOWABLE HEIGHT: 40'
ACTUAL MAXIMUM HEIGHT: 26'

fire access notes:

FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. THE MINIMUM STANDARDS SHALL COMPLY WITH SECTIONS 503.1 AND 503.2 OF THE INTERNATIONAL FIRE CODE

DRIVE AISLES DESIGNED TO AASHTO WB-50 TEMPLATE

DEAD END DRIVEWAYS 150 FT ALLOWABLE
100 FT MAXIMUM PROVIDED

PROPOSED FIRE HYDRANT (REFER TO CIVIL PLANS)

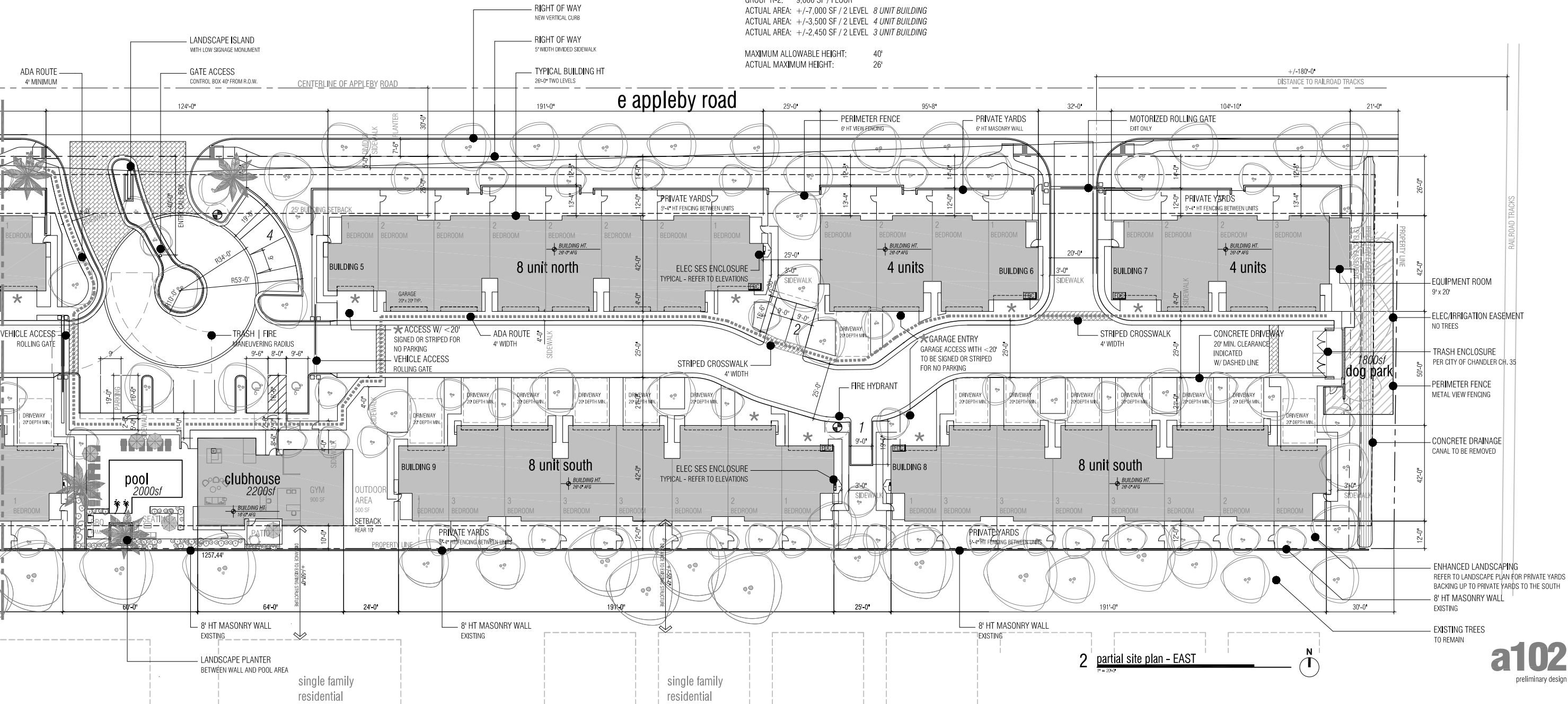
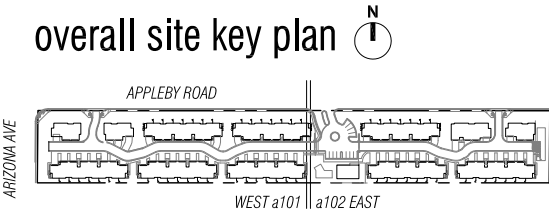
PROPOSED FDC LOCATIONS AT EACH BUILDING

fire notes

VEHICLES OF ALL OWNERS, TENANTS, LESSEES, AGENTS, GUESTS AND INVITEES ARE TO BE KEPT IN DESIGNATED PARKING SPACE. OWNER'S GUEST AND INVITEES MAY PARK VEHICLES IN DESIGNATED AREAS ONLY AS DETERMINED BY THE CITY OF CHANDLER ORDINANCES. CITY OF CHANDLER CODE REQUIRES THERE SHALL BE NO PARKING OR OTHER OBSTRUCTION IN DESIGNATED FIRE LANES. THE BOARD OF DIRECTORS, PROPERTY MANAGER WILL ENFORCE THE NO PARKING REQUIREMENT AND THE MAINTENANCE THEREOF WILL FALL TO PROPERTY OWNER AND/OR MANAGEMENT.

ELECTRICALLY OPERATED OR LOCKED GATES INSTALLED ACROSS REQUIRED FIRE APPARATUS ACCESS ROADWAYS SHALL BE PROVIDED WITH PRE-EMPTION DEVICES AND KEY SWITCH. THE GATE(S) WITH THE PRE-EMPTION DEVICES SHALL REMAIN OPEN FOR 30 MINUTES AFTER THE FIRST UNIT ENTERS, TO ALLOW OTHER UNITS OR AMBULANCES TO ENTER DURING EMERGENCIES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200

overall site key plan



entry alternative for discussion

2 partial site plan - EAST



a102
preliminary design

MAY 01 2021
PRELIMINARY SITE PLAN

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley

Exhibit B- Perspective Renderings



MARCH 29 2021

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

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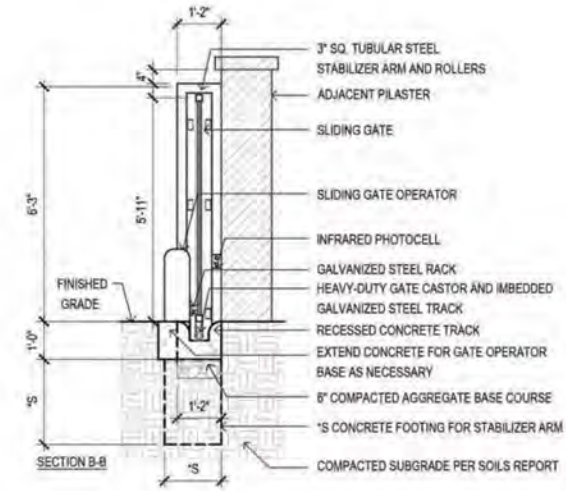
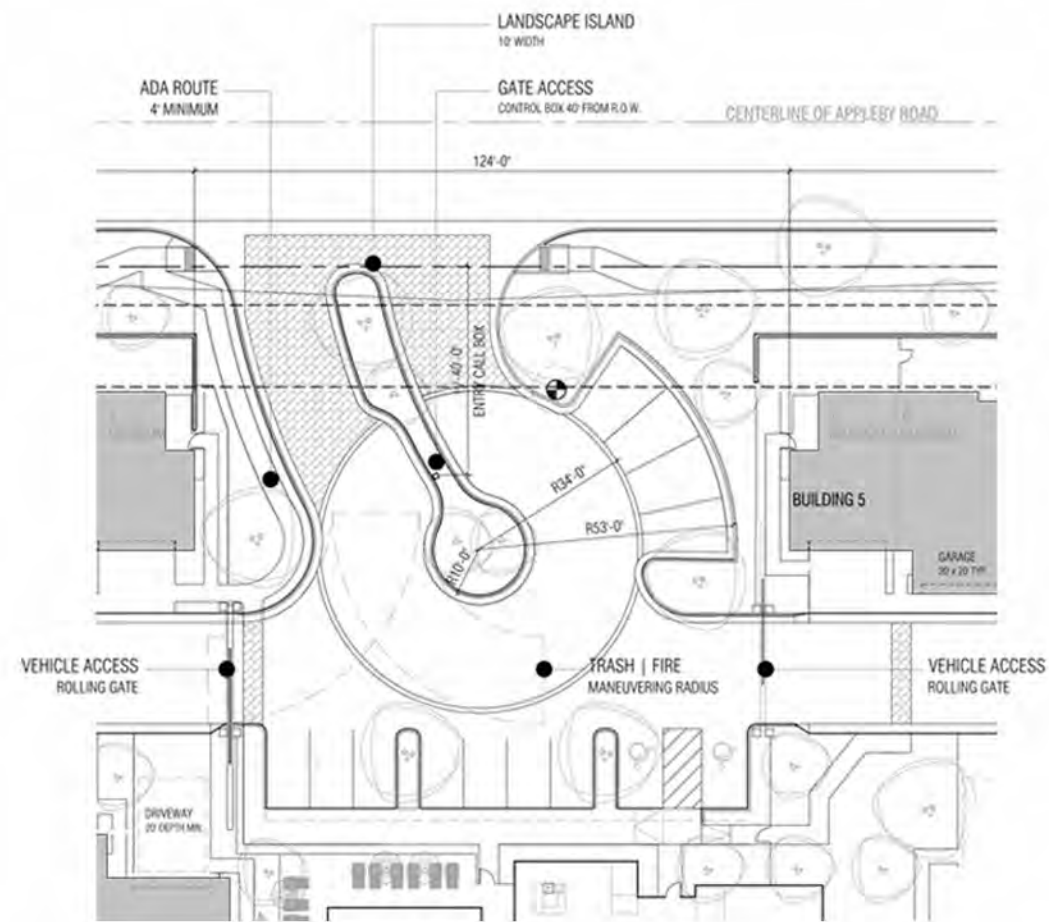




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THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
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VEHICLE ENTRY GATE

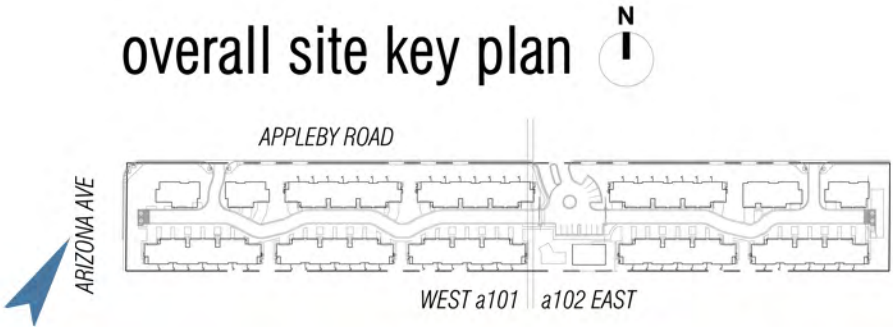


MAY 01 2021

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

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overall site key plan



View from Arizona Avenue - looking North

MAY 01 2021

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260





View of Equipment Room from Railroad



BUILDING 7 EQUIPMENT ROOM
MAY 01 2021

Exhibit C- Elevations



1 two bedroom side entry
1/8" = 1'-0"



2 one bedroom side entry
1/8" = 1'-0"

elevation general notes

- A. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
- B. ALL STUCCO TO BE LIGHT SAND FINISH

painting legend

P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 9615 - SEA SERPENT
P3	ACCENT DOOR COLOR	SW 9100 - UMBER RUST
P4	ACCENT METAL COLOR	SW 7674 - PEPPERCORN

material keynotes

1. SAND FINISH STUCCO OVER 1" FOAM
2. FLAT PANEL METAL SHEATHING WRAPPED BEAM
3. 42" HT METAL RAILING WITH COMPOSITE WOOD PANEL INFILL
4. WALL MOUNTED EXTERIOR LIGHT
5. INSULATED FIBERGLASS DOOR AND FRAME
6. VINYL OR ALUMINUM FRAME WINDOWS
7. VINYL OR ALUMINUM FRAME SLIDING GLASS DOORS
8. COMPOSITE WOOD PANEL RAINSCREEN SIDING
9. PAINTED SECTIONAL GARAGE DOOR
10. COMPOSITE WOOD PANEL FENCING OVER STEEL SUPPORTS - 6' HT.
11. FLAT PANEL METAL SHEATHING
12. METAL SWING GATE TO PRIVATE PATIO
13. BALCONY FRAMING EXTENDING OUT FROM THE BUILDING - SHEATH THE WOOD BEAMS IN 24ga METAL PANELS
14. COMPOSITE WOOD OR PAINTED FIBER CEMENT PANEL MECH SCREEN OVER STEEL STRUCTURE
15. PET DOOR
16. ELECTRICAL SERVICE ENTRY PANEL AND METERS (WHERE OCCURS ON ELECTRICAL PLANS)
17. WOOD TRELLIS - REFER TO STRUCTURAL AND ARCH DETAILS



3b 3 unit - private yard elevation
1/8" = 1'-0"



4b 4 unit - private yard elevation
1/8" = 1'-0"



3a 3 unit - garage entry elevation
1/8" = 1'-0"



4a 4 unit - garage entry elevation
1/8" = 1'-0"

a202
preliminary design

MARCH 29 2021
PRELIMINARY BUILDING PLANS AND ELEVATIONS

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

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SES elec panel enclosure incorporated into the private yard fencing

side elevation



side elevation



2 private yard elevation



patio and window shade trellis

- 28'-0" T.O. MECH SCREEN
- 26'-0" T.O. PARAPET
- 20'-2" T.O. OPENINGS
- 12'-0" SECOND FLOOR FFE
- 0'-0" FINISHED FLOOR



1 8-unit building elevation

MARCH 29 2021
PRELIMINARY ELEVATIONS

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley

elevation general notes

- A. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
B. ALL STUCCO TO BE LIGHT SAND FINISH

painting legend - clubhouse

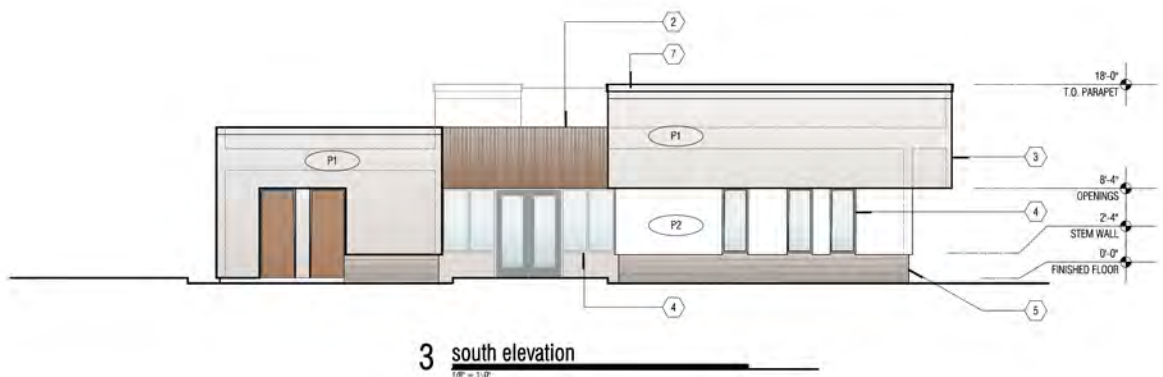
P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 7014 - ELDER WHITE
P3	ACCENT DOOR COLOR	SW 9100 - UMBER RUST
P4	ACCENT METAL COLOR	SW 7674 - PEPPERCORN

material keynotes

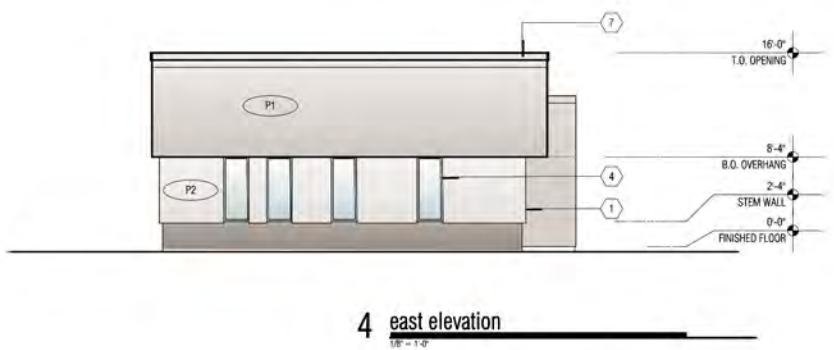
1. SAND FINISH STUCCO OVER 1" FOAM
2. RUST FINISH OR CORTEN STEEL CORRUGATED METAL PANEL
3. STUCCO PARAPET OVERHANG
4. ALUMINUM FRAME WINDOWS
5. MASONRY STEM WALL
6. WALL MOUNTED ACCENT LIGHTING
7. STUCCO PARAPET CAP DETAIL



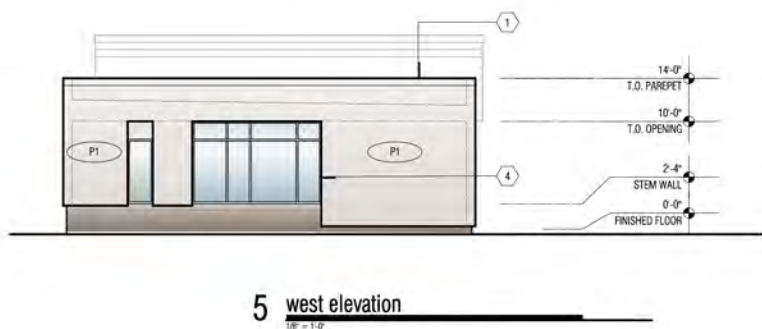
2 north elevation



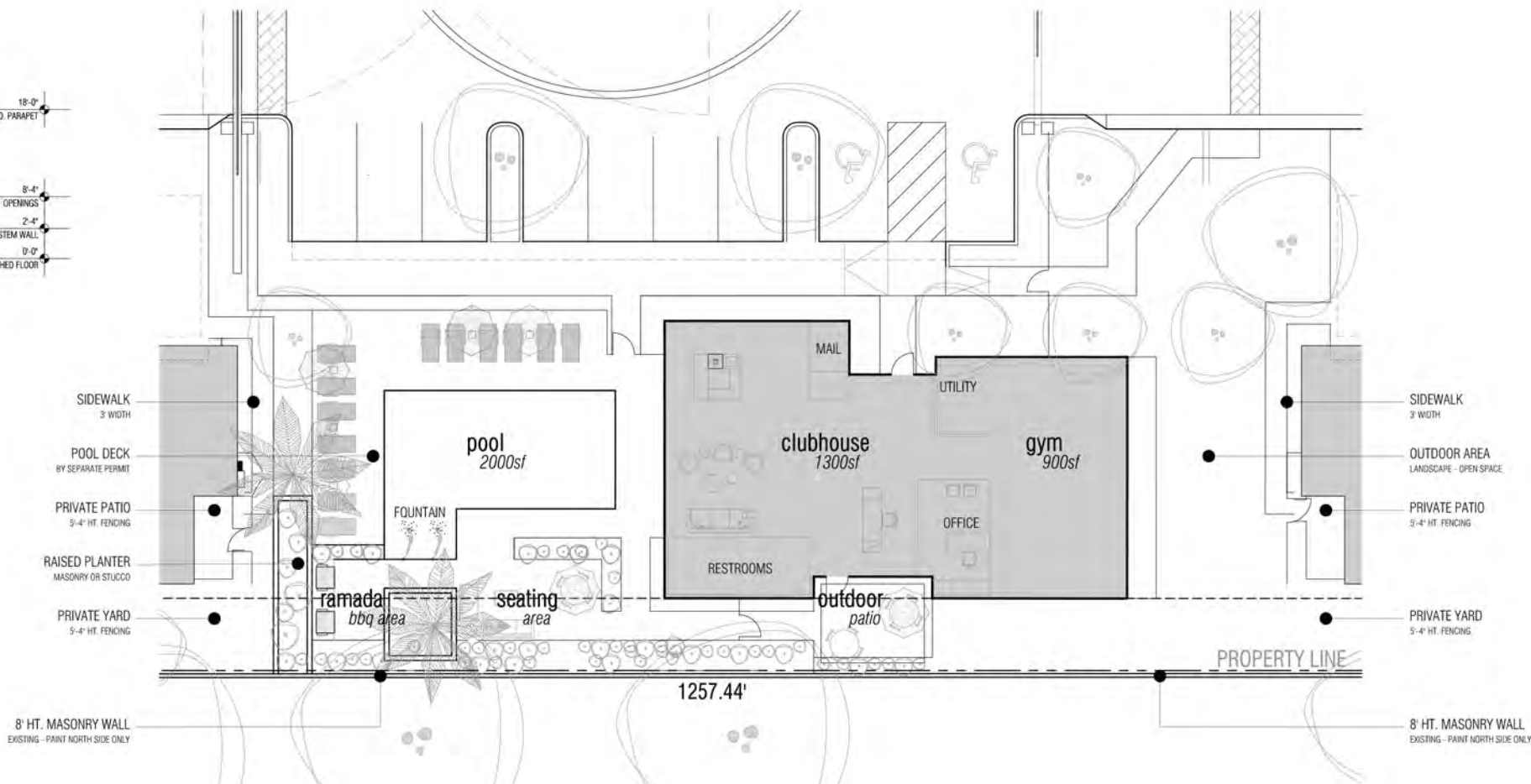
3 south elevation



4 east elevation



5 west elevation



1 clubhouse plan



a106
preliminary design

JANUARY 2021
PRELIMINARY CLUBHOUSE ELEVATIONS

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley

elevation general notes

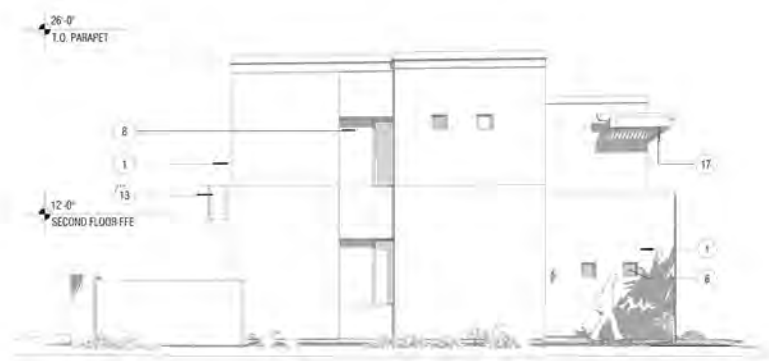
- A. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
- B. ALL STUCCO TO BE LIGHT SAND FINISH

painting legend

P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 9615 - SEA SERPENT
P3	ACCENT DOOR COLOR	SW 9100 - UMBER RUST
P4	ACCENT METAL COLOR	SW 7674 - PEPPERCORN

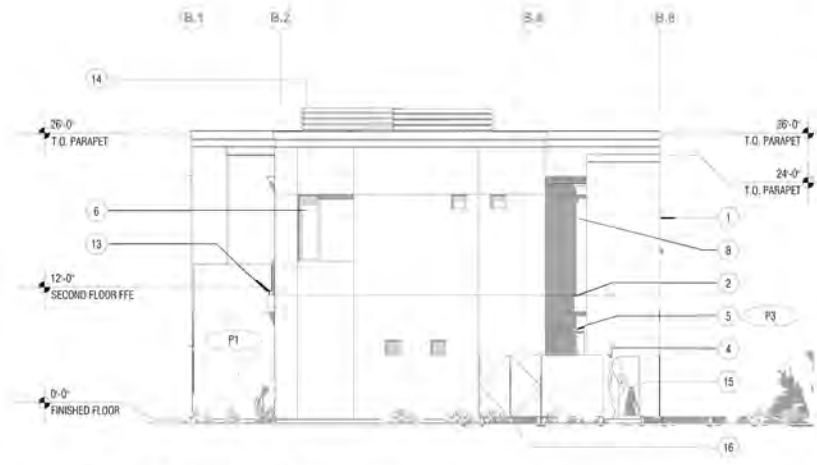
material keynotes

- 1. SAND FINISH STUCCO OVER 1" FOAM
- 2. FLAT PANEL METAL SHEATHING WRAPPED BEAM
- 3. 42" HT METAL RAILING WITH COMPOSITE WOOD PANEL INFILL
- 4. WALL MOUNTED EXTERIOR LIGHT
- 5. INSULATED FIBERGLASS DOOR AND FRAME
- 6. VINYL OR ALUMINUM FRAME WINDOWS
- 7. VINYL OR ALUMINUM FRAME SLIDING GLASS DOORS
- 8. COMPOSITE WOOD PANEL RAINSCREEN SIDING
- 9. PAINTED SECTIONAL GARAGE DOOR
- 10. COMPOSITE WOOD PANEL FENCING OVER STEEL SUPPORTS - 6' HT.
- 11. FLAT PANEL METAL SHEATHING
- 12. METAL SWING GATE TO PRIVATE PATIO
- 13. BALCONY FRAMING EXTENDING OUT FROM THE BUILDING - SHEATH THE WOOD BEAMS IN 24ga METAL PANELS
- 14. COMPOSITE WOOD OR PAINTED FIBER CEMENT PANEL MECH SCREEN OVER STEEL STRUCTURE
- 15. PET DOOR
- 16. ELECTRICAL SERVICE ENTRY PANEL AND METERS (WHERE OCCURS ON ELECTRICAL PLANS)
- 17. WOOD TRELLIS - REFER TO STRUCTURAL AND ARCH DETAILS



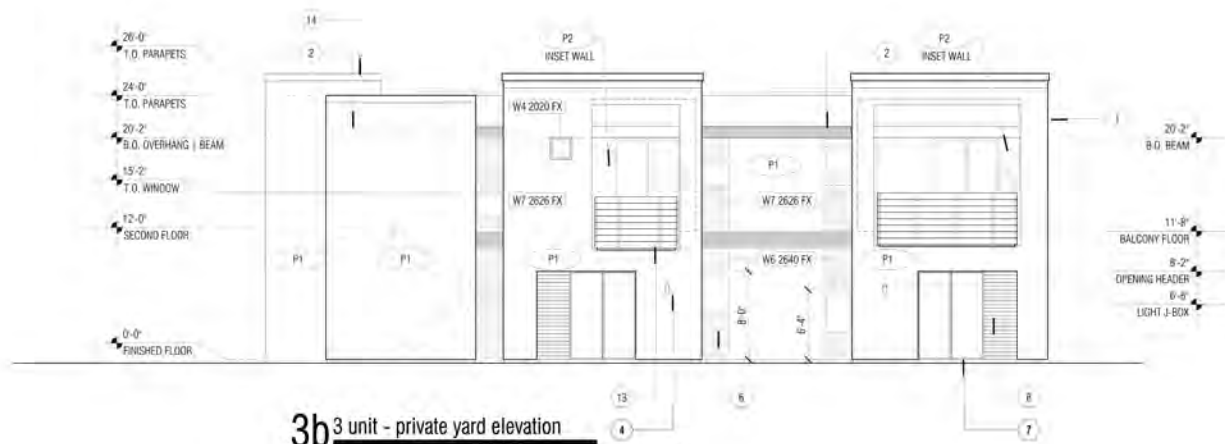
1 two bedroom side entry

1/8" = 1'-0"



2 one bedroom side entry

1/8" = 1'-0"

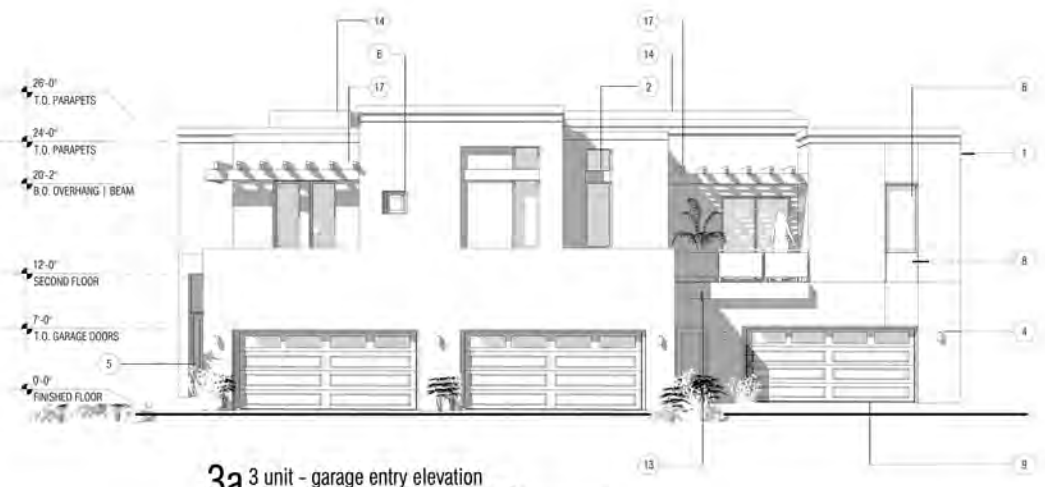


3b 3 unit - private yard elevation



4b 4 unit - private yard elevation

1/8" = 1'-0"



3a 3 unit - garage entry elevation

1/8" = 1'-0"



4a 4 unit - garage entry elevation

1/8" = 1'-0"

MARCH 29 2021
PRELIMINARY BUILDING PLANS AND ELEVATIONS

THE ASHLEY 155 E. APPLBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

elevation general notes

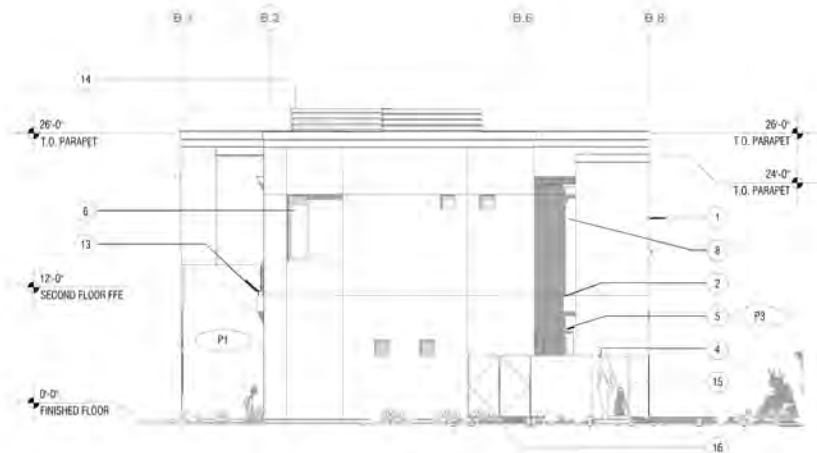
- A ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW
B ALL STUCCO TO BE LIGHT SAND FINISH

painting legend

P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 9615 - SEA SERPENT
P3	ACCENT DOOR COLOR	SW 9100 - OMBRE RUST
P4	ACCENT METAL COLOR	SW 7074 - PEPPER CORN

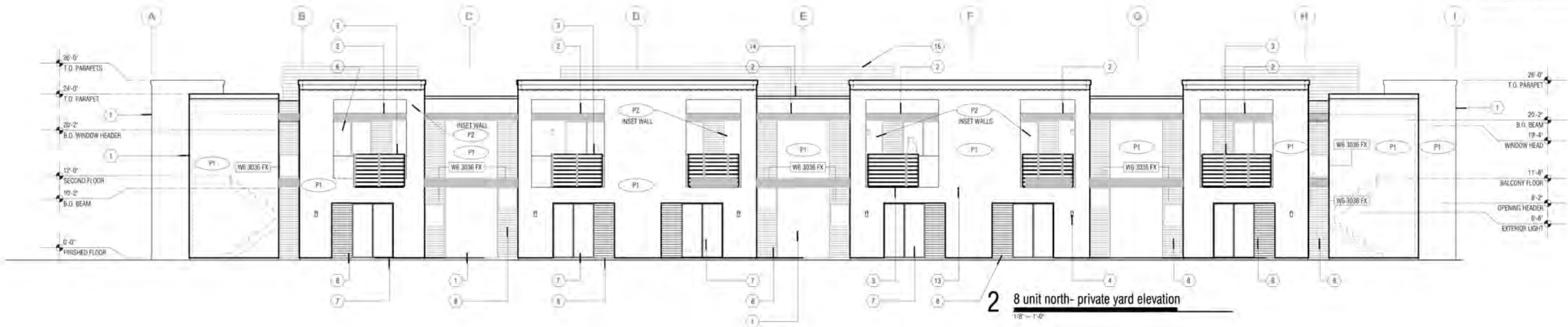
material keynotes

- SAND FINISH STUCCO OVER 1" FOAM
- FLAT PANEL METAL SHEATHING WRAPPED BEAM
- 42" HT METAL RAILING WITH COMPOSITE WOOD PANEL INFILL
- WALL MOUNTED EXTERIOR LIGHT
- INSULATED FIBERGLASS DOOR AND FRAME
- VINYL OR ALUMINUM FRAME WINDOWS
- VINYL OR ALUMINUM FRAME SLIDING GLASS DOORS
- COMPOSITE WOOD PANEL RAINSCREEN SIDING
- PAINTED SECTIONAL GARAGE DOOR
- COMPOSITE WOOD OR FIBER PANEL FENCING OVER STEEL SUPPORTS - 8' HT
- FLAT PANEL METAL SHEATHING
- METAL SWING GATE TO PRIVATE PATIO
- BALCONY FRAMING EXTENDING OUT FROM THE BUILDING - SHEATH THE WOOD BEAMS IN 24ga METAL PANELS
- 16" DEEP PARAPET DETAIL - 8" x 2" EXTRUDED STUCCO BAND @ ABOVE 3/4" CONTROL/REVEAL JOINT
- PET DOOR
- COMPOSITE WOOD OR PAINTED FIBER PANEL SCREEN AROUND ROOFTOP MECHANICAL EQUIPMENT
- WOOD TRELLIS - REFER TO STRUCTURAL AND ARCH DETAILS



3 one bedroom side entry

1/8" = 1'-0"



2 8 unit north- private yard elevation

1/8" = 1'-0"



1 8 unit north - entry elevation

1/8" = 1'-0"

a302
preliminary design

MARCH 29 2021
PRELIMINARY BUILDING PLANS AND ELEVATIONS

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE B SCOTTSDALE ARIZONA 85260

theashley

elevation general notes

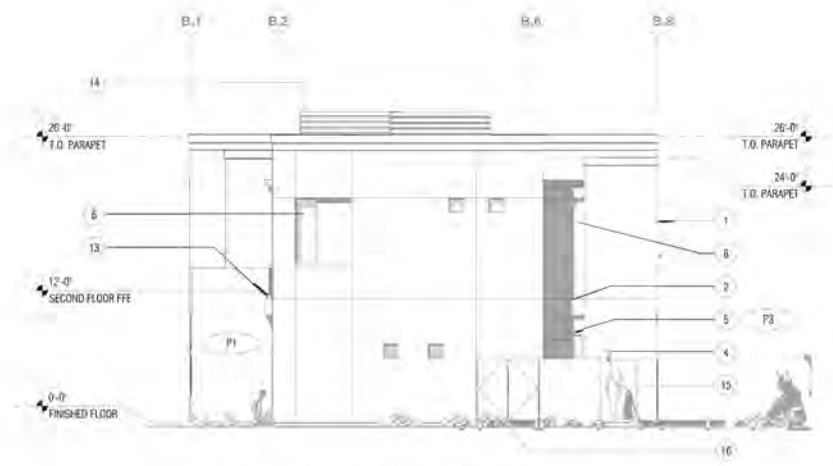
- A ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
H ALL STUCCO TO BE LIGHT SAND FINISH.

painting legend

P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 9015 - SEA SERPENT
P3	ACCENT DOOR COLOR	SW 9100 - UMBER RUST
P4	ACCENT METAL COLOR	SW 7074 - PEPPER CORN

material keynotes

- SAND FINISH STUCCO OVER 1" FOAM
- FLAT PANEL METAL SHEATHING WRAPPED BEAM
- 42" HT METAL RAILING WITH COMPOSITE WOOD PANEL INFILL
- WALL MOUNTED EXTERIOR LIGHT
- INSULATED FIBERGLASS DOOR AND FRAME
- VINYL OR ALUMINUM FRAME WINDOWS
- VINYL OR ALUMINUM FRAME SLIDING GLASS DOORS
- COMPOSITE WOOD PANEL RAINSCREEN SIDING
- PAINTED SECTIONAL GARAGE DOOR
- COMPOSITE WOOD PANEL FENCING OVER STEEL SUPPORTS - 8 HT
- FLAT PANEL METAL SHEATHING
- METAL SWING GATE TO PRIVATE PATIO
- BALCONY FRAMING EXTENDING OUT FROM THE BUILDING - SHEATH THE WOOD BEAMS IN 24" METAL PANELS
- METAL PARAPET CAP
- PEI DOOR
- ELECTRICAL SERVICE ENTRY PANEL AND METERS (WHERE OCCURS ON ELECTRICAL PLANS)
- WOOD TRELLIS - REFER TO STRUCTURAL AND ARCH DETAILS



3 one bedroom side entry
1/8" = 1'-0"



2 8 unit south- private yard elevation
1/8" = 1'-0"

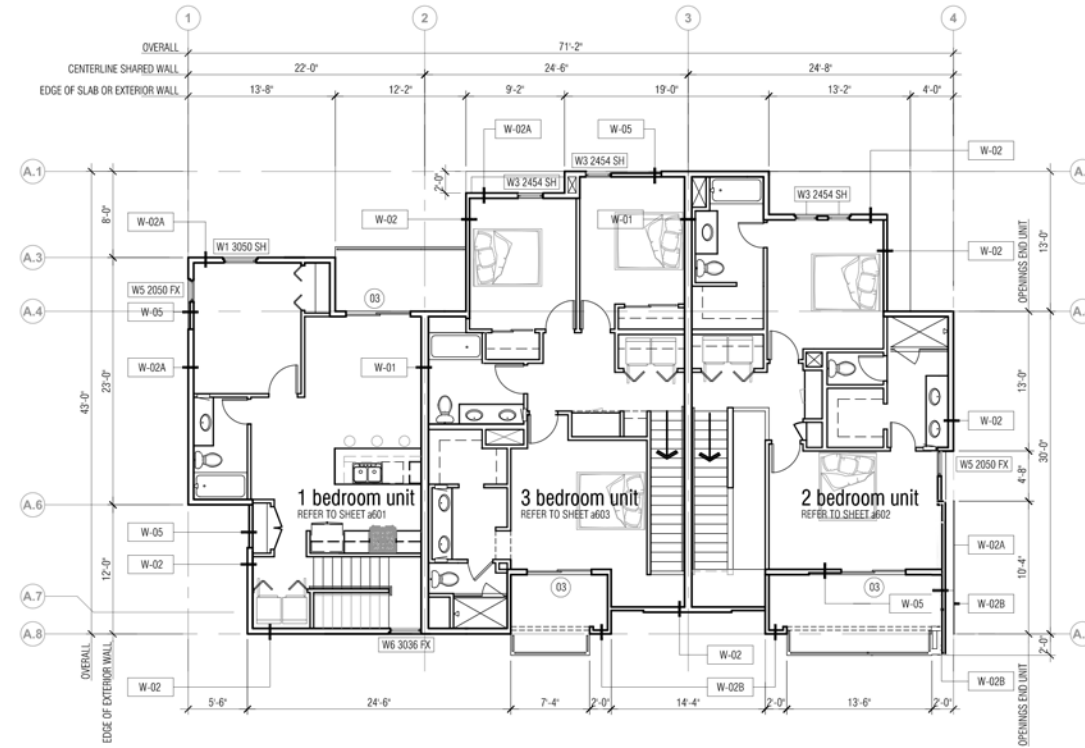


1 8 unit south - entry elevation
1/8" = 1'-0"

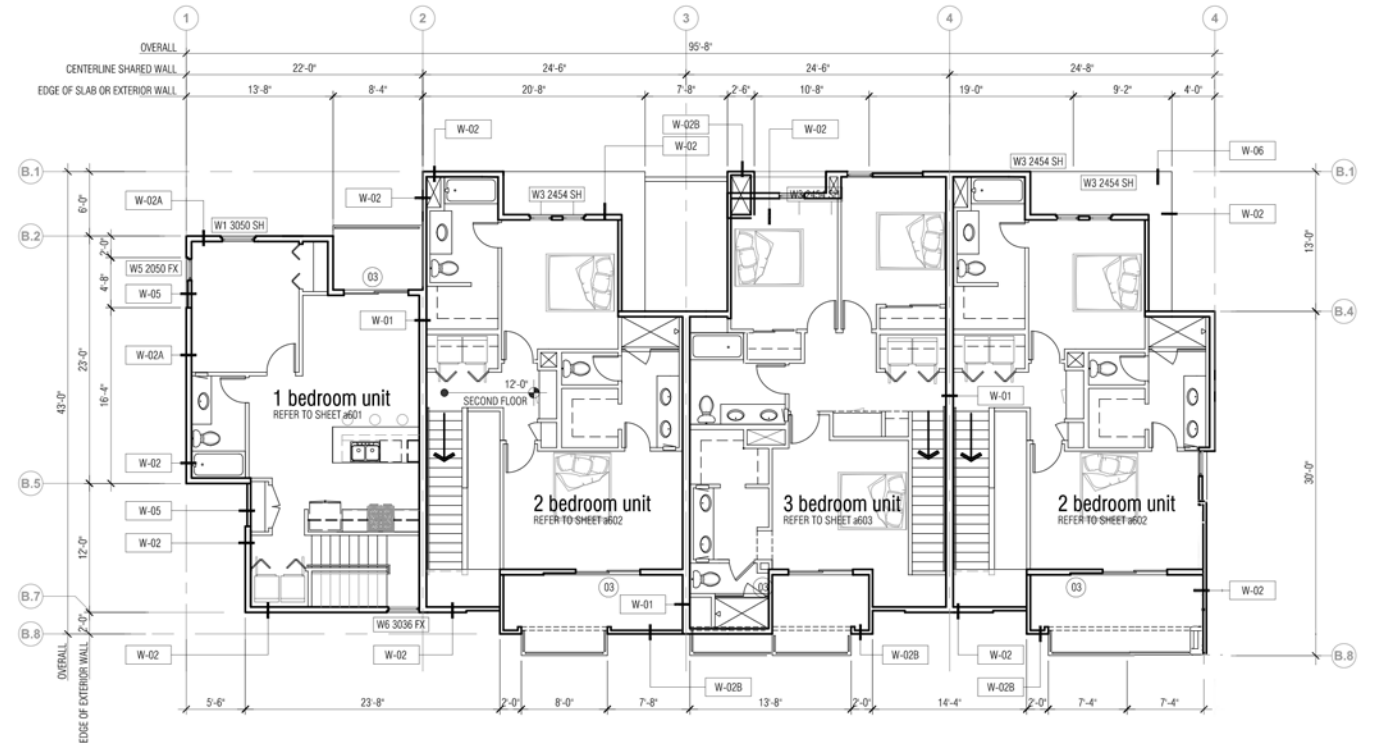
a402
preliminary design

theashley

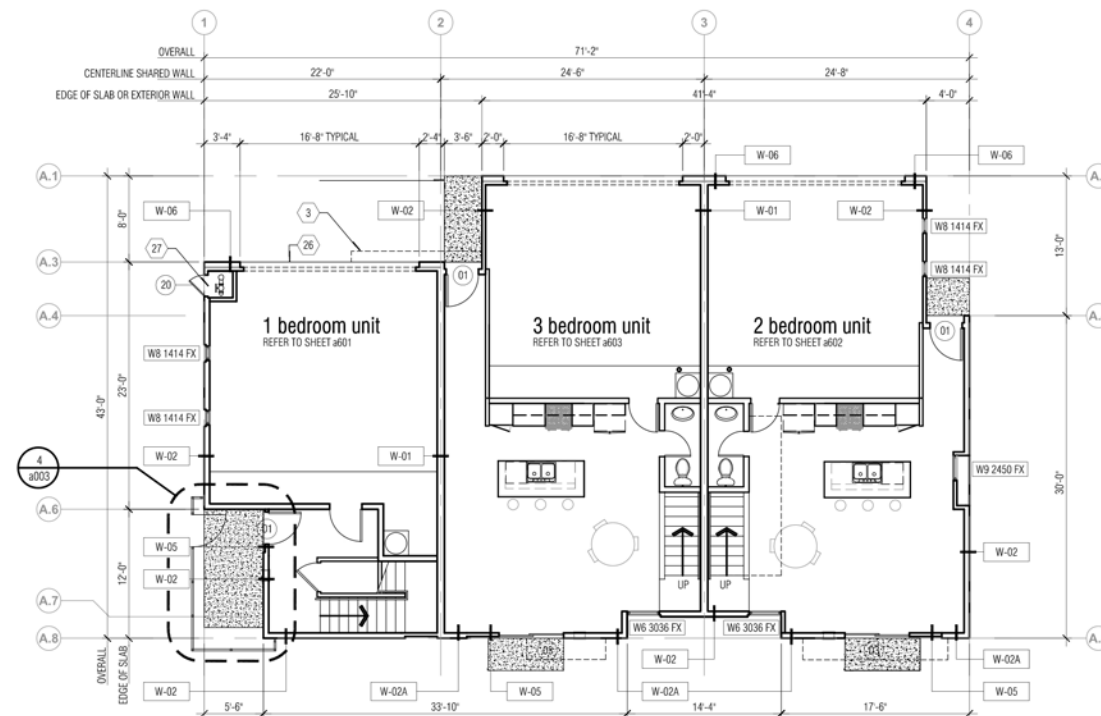
Exhibit D- Unit Floorplans



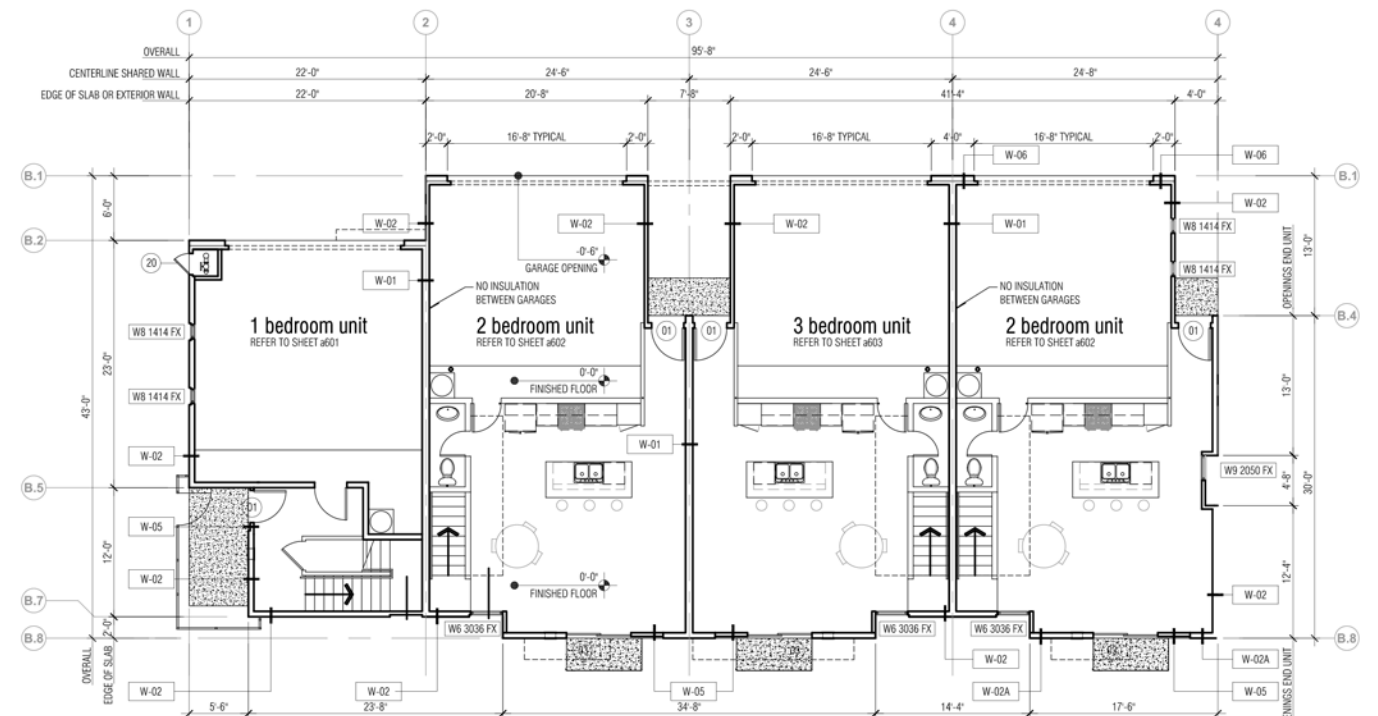
4 3 unit - second floor plan
1/8" = 1'-0"



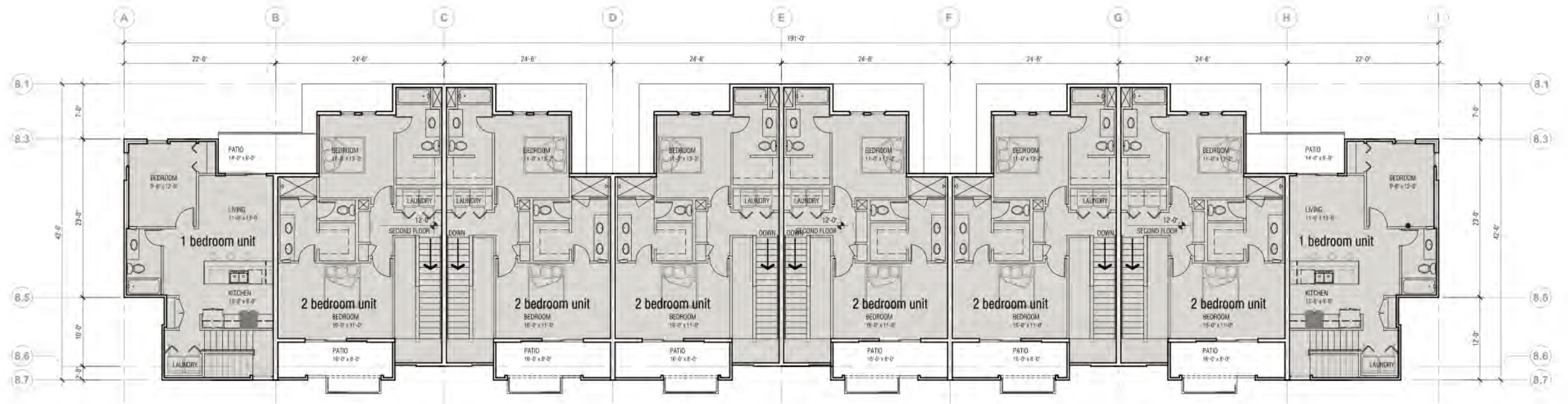
2 4 unit - second floor plan
1/8" = 1'-0"



3 3 unit - first floor plan
1/8" = 1'-0"

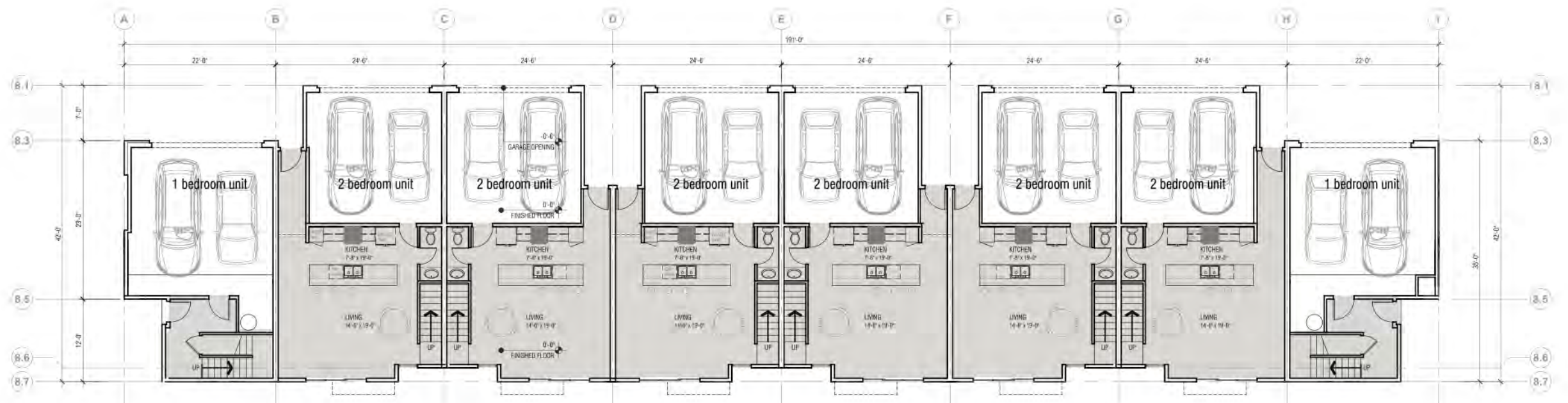


1 4 unit - first floor plan
1/8" = 1'-0"



2 8 unit north - second floor plan

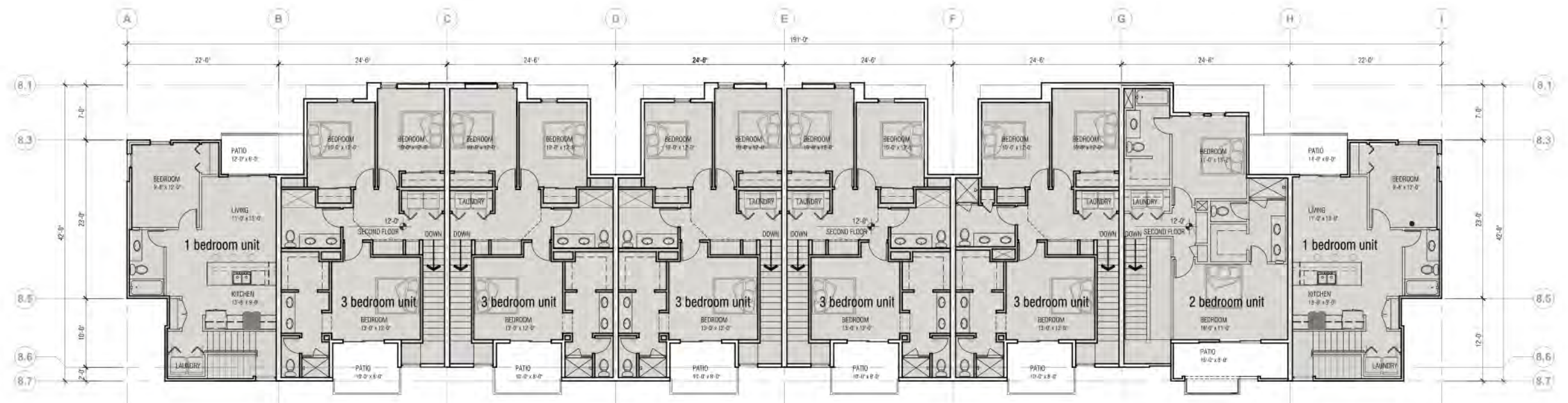
1/8" = 1'-0"



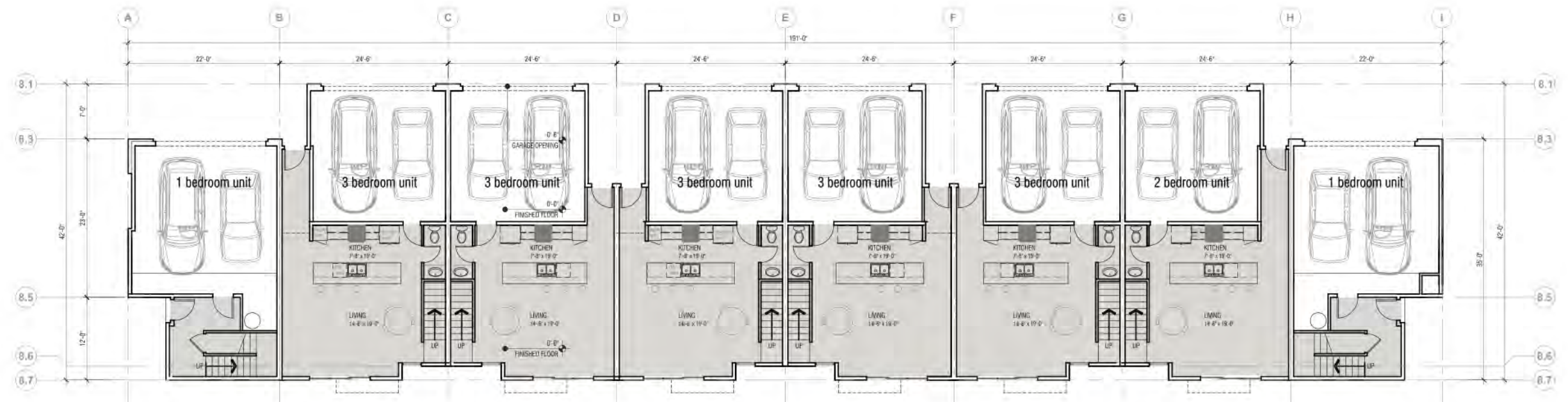
1 8 unit north - first floor plan

1/8" = 1'-0"





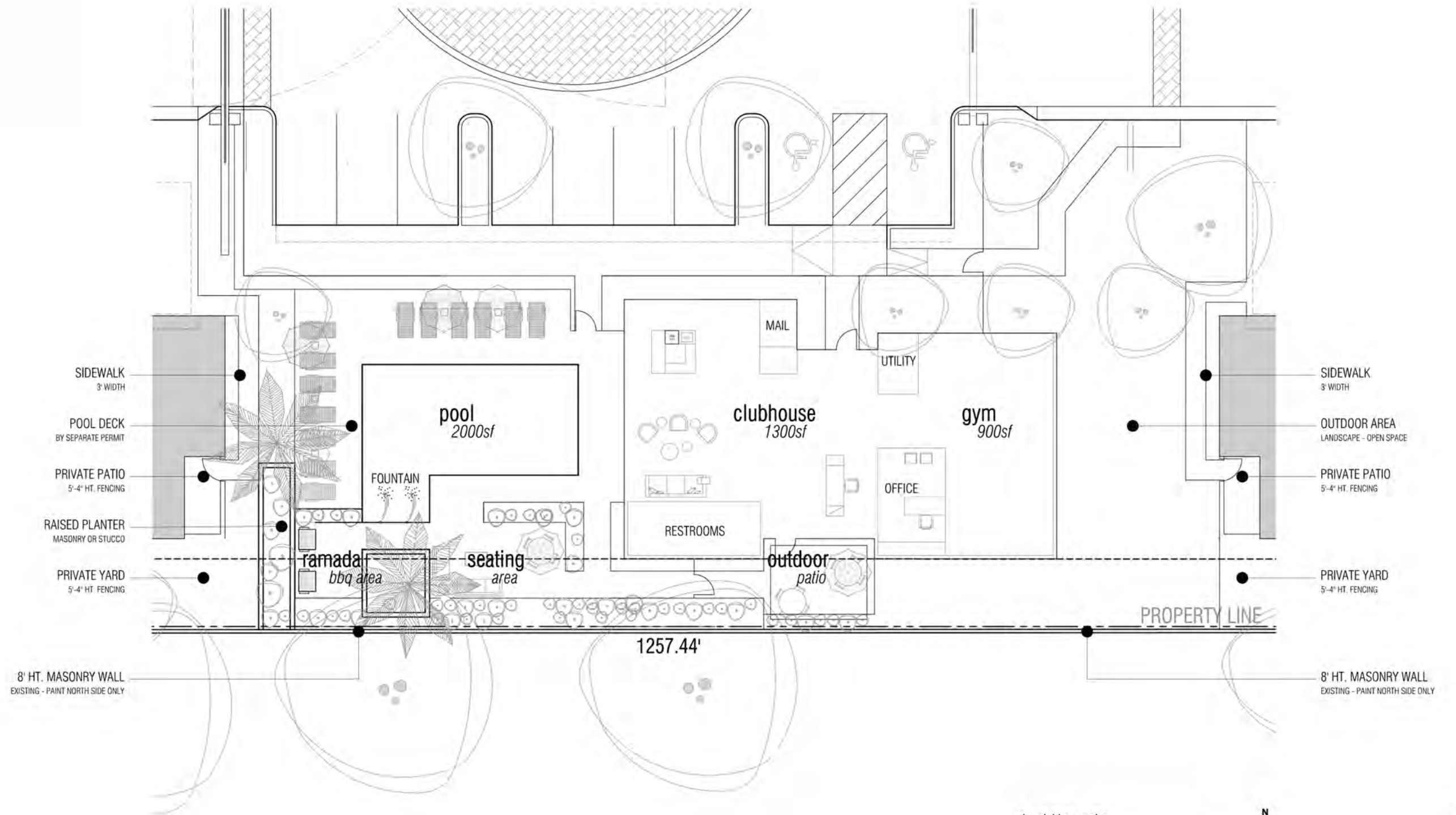
2 8 unit south - second floor plan
1/8" = 1'-0"



1 8 unit south - first floor plan
1/8" = 1'-0"



Exhibit E- Clubhouse Floorplan



1 clubhouse plan
0' 10'



a106
preliminary design

JANUARY 2021
PRELIMINARY CLUBHOUSE PLAN

THE ASHLEY 155 E. APPLBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE B SCOTTSDALE ARIZONA 85260

theashley

Exhibit F- Wall Plan

project description

CITY OF CHANDLER: PLH20-0051
SCOPE OF WORK: NEW CONSTRUCTION FOR 78 MULTIFAMILY RESIDENTIAL
UNITS WITH SHARED COMMUNITY BUILDING.
140,000 GSF NEW CONSTRUCTION - APARTMENTS
2,200 GSF NEW CONSTRUCTION LEASING OFFICE | CLUBHOUSE

painting legend

P1	BODY STUCCO COLOR	SW 1015 - SKYLINE STEEL
P2	ACCENT STUCCO COLOR	SW 7615 - SEA SERPENT
P3	ACCENT MATERIALS COLOR	SW 9100 - UMBER RUST
P4	STEEL OR METAL PAINT	SW 7674 PEPPERCORN
P5	MASONRY WALL COLOR	SW 7650 - ELLIE GRAY

SW 1015	Skyline Steel	Interior / Exterior	Location Number: 283-C3
SW 7650	Ellie Gray	Interior / Exterior	Location Number: 239-C6
SW 7674	Peppercorn	Interior / Exterior	Location Number: 236-C7

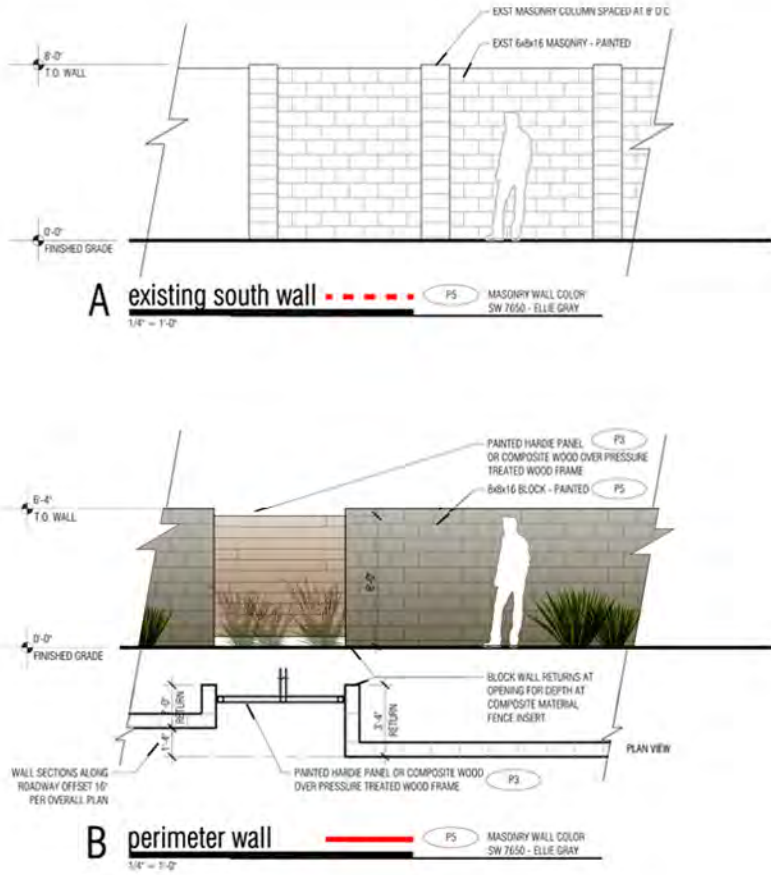
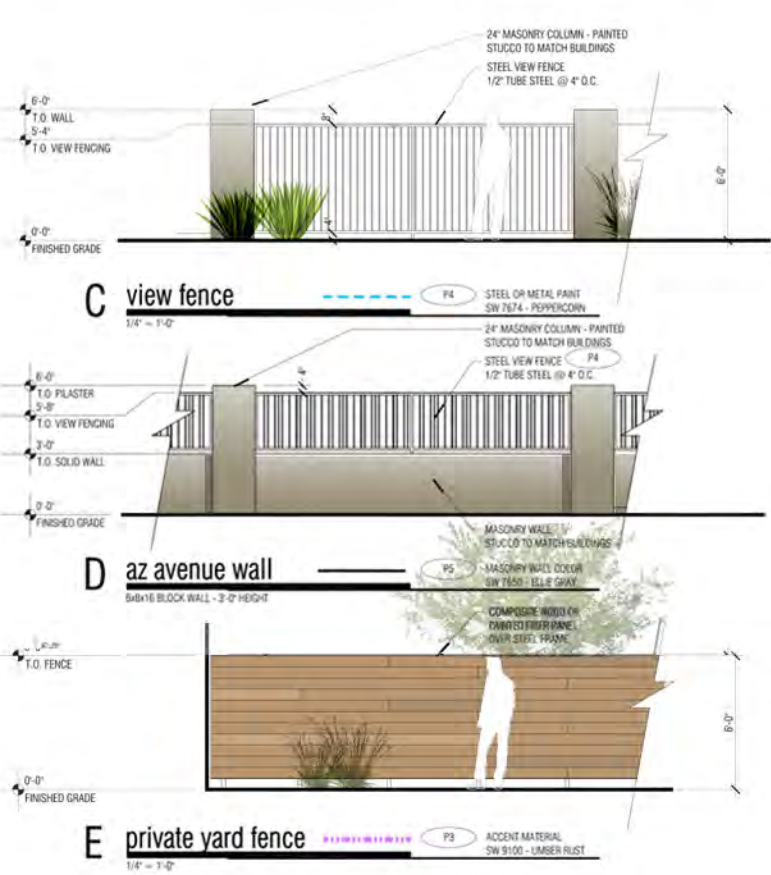
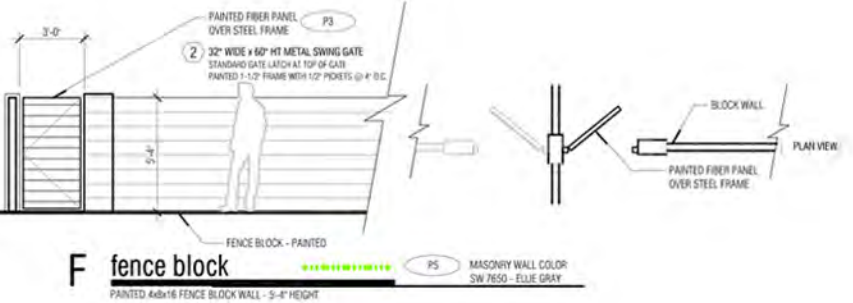


Exhibit G- Material and Color Palette



PARAPET DETAIL:
8" HT x 2" FLAT STUCCO BAND WITH A STUCCO
CONTROL JOINT AND REVEAL BELOW



PAINTED STUCCO
SW 7615
Sea Serpent
Interior / Exterior
Location Number: 204-C2

PAINTED STUCCO
SW 1015
Skyline Steel
Interior / Exterior
Location Number: 205-C1



BALCONY SHADE TRELLIS:
DARK ANNOIDIZED METAL WRAPPED OVER
GLULAM WOOD BEAMS - SECONDARY
FRAMING EXPOSED WOOD MEMBERS



OPAQUE MECHANICAL EQUIPMENT SCREENS:
FIBERON COMPOSITE DECKING OR
PAINTED FIBER PANEL FASTENED
TO STEEL STRUCTURE
COLOR: UMBER RUST



BUILDING STUCCO
SAND FINISH
COLOR: SKYLINE STEEL

BUILDING ACCENTS
DARK ANNOIDIZED METAL
FLASHING/RECESSED DETAILS

BUILDING STUCCO
SAND FINISH
COLOR: SEA SERPENT

BUILDING STUCCO
SAND FINISH
COLOR: SKYLINE STEEL

BUILDING ACCENTS
DARK ANNOIDIZED METAL
BALCONY EXTENSIONS

BUILDING ACCENTS
DARK ANNOIDIZED METAL
BALCONY EXTENSIONS

BALCONY GUARD RAILS
PAINTED FIBER PANEL OR COMPOSITE
WOOD OVER STEEL ANGLE FRAME



BUILDING ACCENTS
FIBERON COMPOSITE DECKING
OR PAINTED FIBER PANEL
COLOR: UMBER RUST



BUILDING ACCENTS
FIBERON COMPOSITE DECKING
OR PAINTED FIBER PANEL
COLOR: UMBER RUST



BUILDING ACCENTS
ANODIZED ALUMINUM METAL
BEAM WRAP

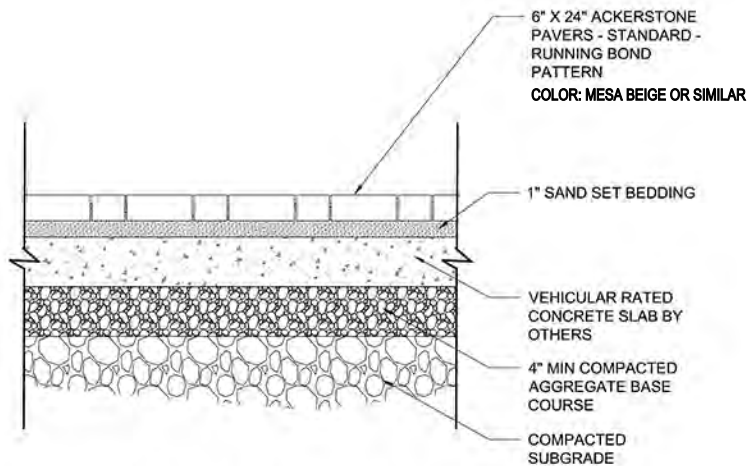
EXTERIOR DOORS | GARAGE DOORS
SW 9100
Umber Rust
Interior / Exterior
Location Number: 202-C3

BUILDING MOUNTED LIGHTING



Exhibit H- Preliminary Landscape Plan

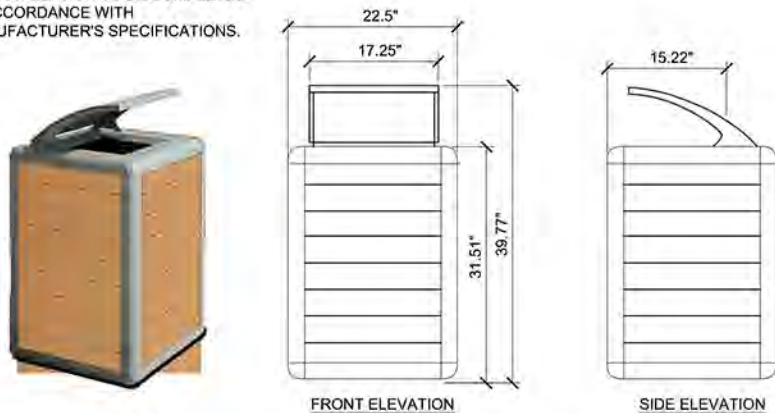
[illegible]



1 VEHICULAR CONCRETE PAVERS

SCALE: $\frac{3}{32}$ " = 1'-0"

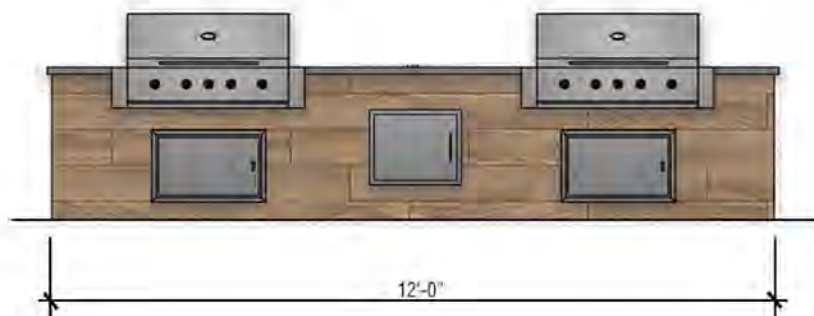
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



FINISH: FADE-RESISTANT, POWDER COATED STEEL AND ALUMINUM COMPONENTS FEATURE A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING.
MATERIAL: 1" X 4" RECYCLED PLASTIC PLANKS, EXTRUDED ALUMINUM FRAME
UNIT WEIGHT: 130 LBS
ASSEMBLY: THE RECEPTACLE SHIPS FULLY ASSEMBLED AND READY FOR USE.
WARRANTY: 20-YEAR LIMITED STRUCTURAL WARRANTY WITH 7-YEAR FINISH WARRANTY FROM DATE OF PURCHASE.

4 BH1835RBT - BEACON HILL 35G RECEPTACLE

NTS



6 POOL BBQ COUNTER

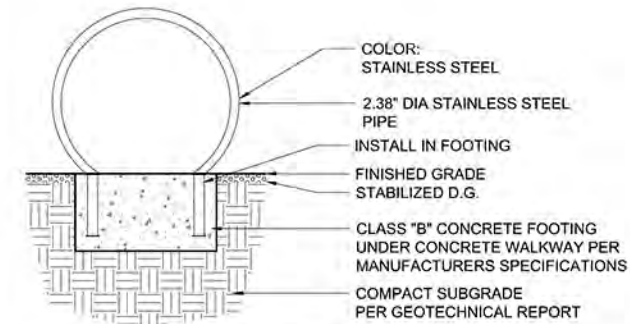
NTS



MANUFACTURER: ANOVA
MODEL: 1003HP-L
DOGIPOT ALUMINUM PET WASTE DISPOSAL STATION
INCLUDES 4' - 8' TELESCOPE MOUNTING POST

2 PET WASTE STATION

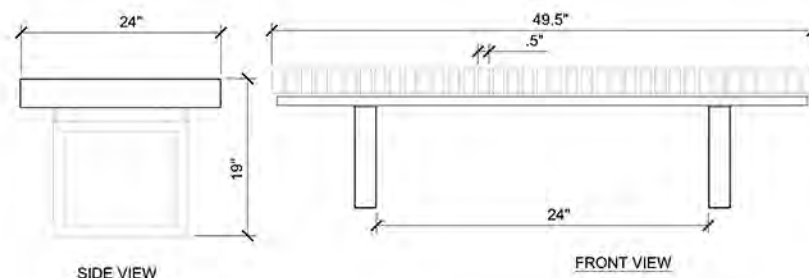
NTS



3 BIKE RACK SECTION

NTS

ANOVA
CIRBLEBRS2IG
CIRCLE STAINLESS STEEL BIKE RACK, INGROUND MOUNT



5 INF24L4R - INFINITY 2' X 4' LINEAR RECYCLED PLASTIC BENCH

NTS



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

COLORS AND/OR OPTIONS: PLEASE SEE MANUFACTURER WEBSITE AT WWW.ANOVAFURNISHINGS.COM.
FINISH: HOT DIPPED GALVANIZED STEEL COMPONENTS ARE CORROSION RESISTANT, REQUIRE NO COATING OR MAINTENANCE AND ARE 100% RECYCLABLE.
MATERIAL: THE LINEAR BENCH IS COMPOSED OF 1.5" X 3.5" THERMORY HARDWOOD PLANKS AND 7-GAUGE GALVANIZED STEEL FRAME AND SUPPORTS.
CAPACITY: N/A.
UNIT WEIGHT: 175 LBS.
ASSEMBLY: EACH LINEAR SECTION SHIPS PARTIALLY ASSEMBLED. ASSEMBLY INCLUDES STAINLESS STEEL HARDWARE.
STRUCTURAL WARRANTY: LIMITED 10-YEAR WARRANTY.
FINISH WARRANTY: PLANKS: 10-YEAR WARRANTY. GALVANIZED: 7-YEAR WARRANTY AGAINST FADING, RUSTING, PEELING, CHIPPING, CRACKING, MOLD, MILDEW, AND DEFECTS IN MATERIALS AND/OR WORKMANSHIP.



Product Description
Create an imaginative path thru the swamp or forest. Available in 12" and 16" versions.

Product Details

Size: 1' 5" x 1' 10" x 1' 0" H

Capacity: 1

7 PLAYGROUND EQUIPMENT - LOG HOP

NTS



Product Description
Bumpy slide helps build multi-sensory awareness. Canopy encourages seated sliding. Runout features molded-in grooves. From 5' (1.52m) decks. Freestanding version features coated, perforated steel stairs and deck.

Product Details

Size: 4' 5" x 13' 2" x 9' 6" H

Capacity: 6

8 PLAYGROUND EQUIPMENT - SLIDE

NTS



PORTER KYLE BUILDERS, LLC

REV	DESCRIPTION	BY	DATE	APPRO

LANDSCAPE DETAILS

THE ASHLEY
PREPARED FOR
155 E APPLEBY ROAD
CHANDLER, ARIZONA

PROJECT No:	20012
SCALE (H):	NONE
SCALE (V):	NONE
DRAWN BY:	KMS
DESIGN BY:	KMS
CHECK BY:	JAW
DATE:	03/28/2021
PRELIMINARY CONSTRUCTION NOT FOR FINAL USE	
Expires 03/31/2023	
25% OF DESIGN	
LS200	
3 OF 3 SHEETS	

Exhibit I- Signage

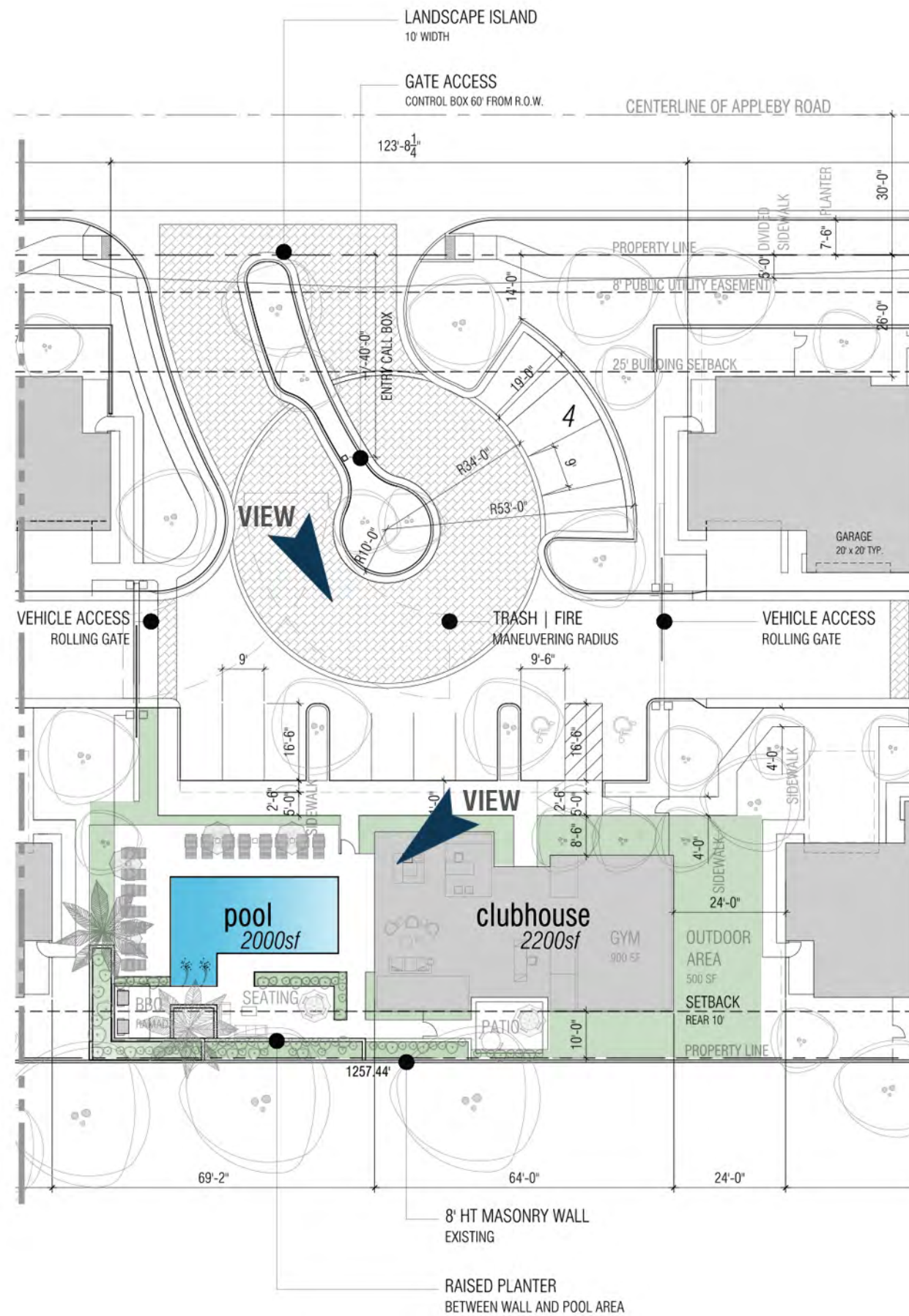


MAY 01 2021

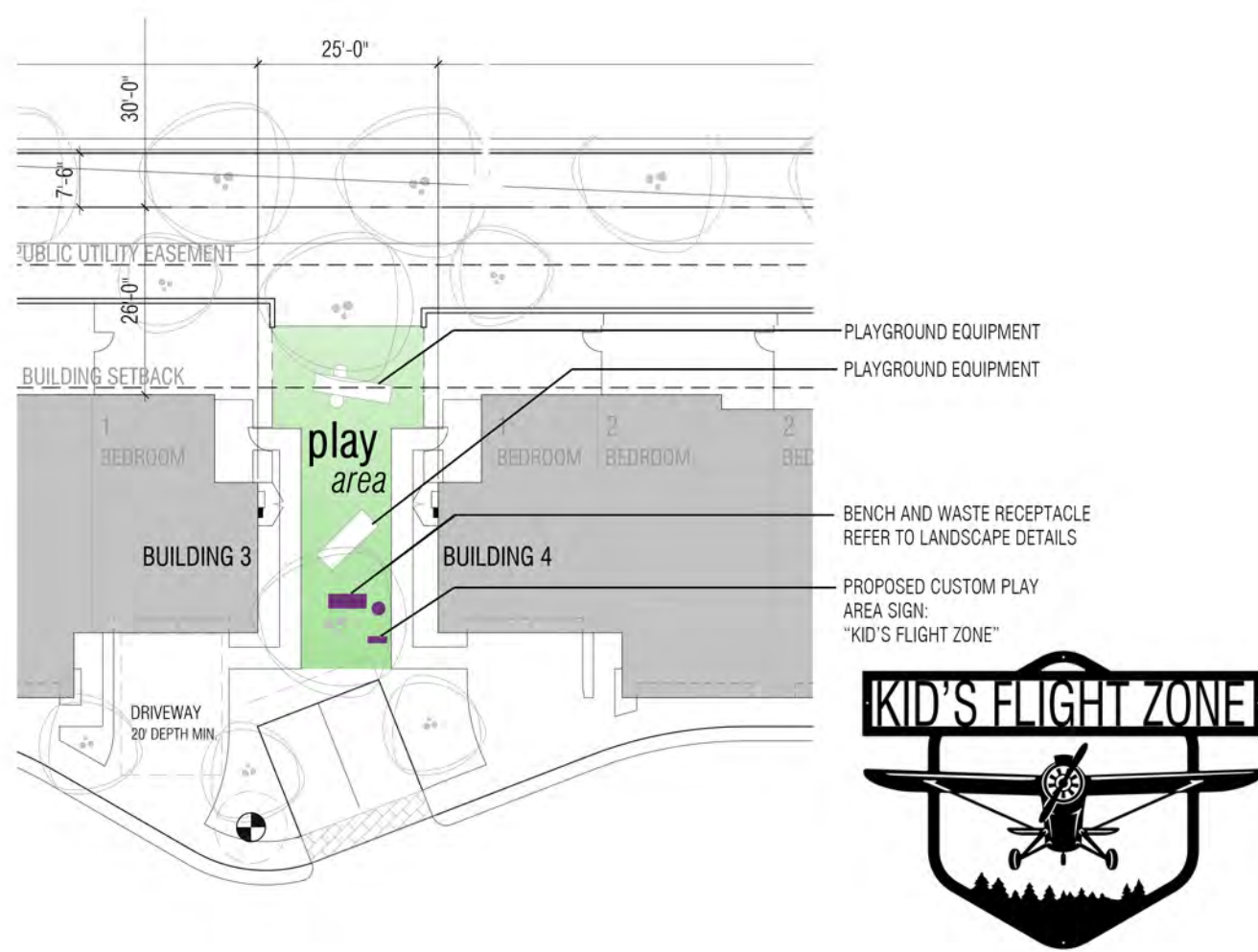
THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley

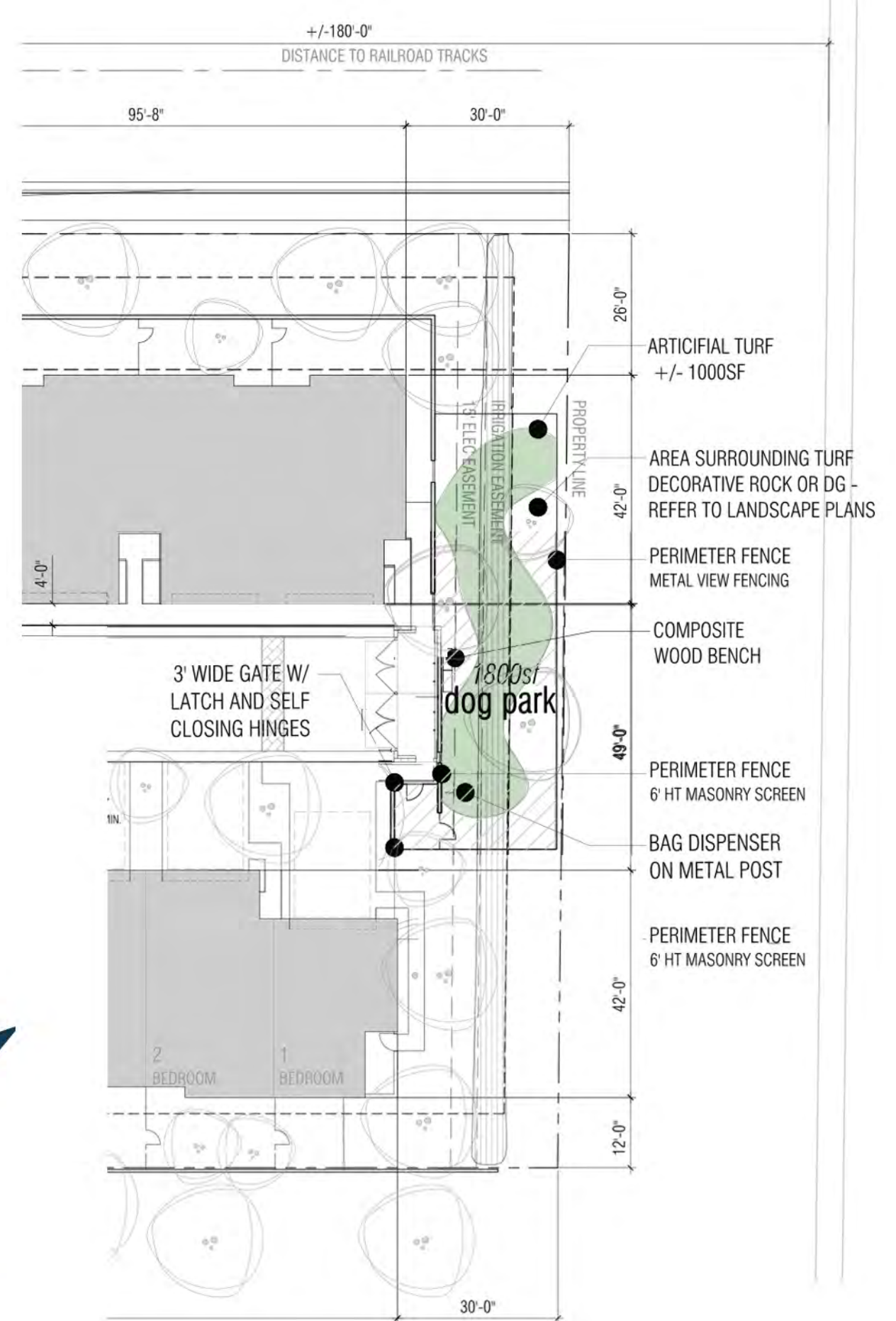
Exhibit J- Site Details and Amenities



conceptual clubhouse | pool amenity



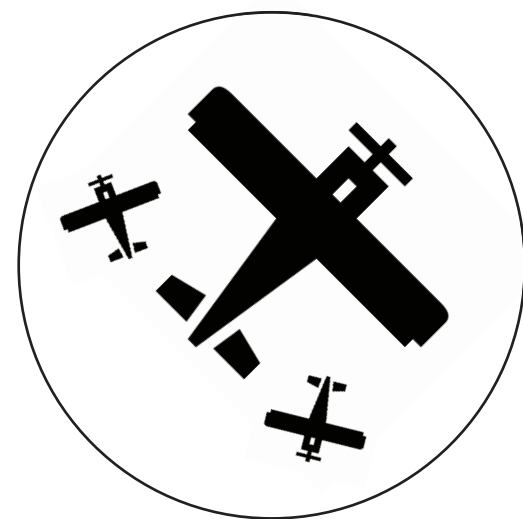
VIEW



AMENITIES

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

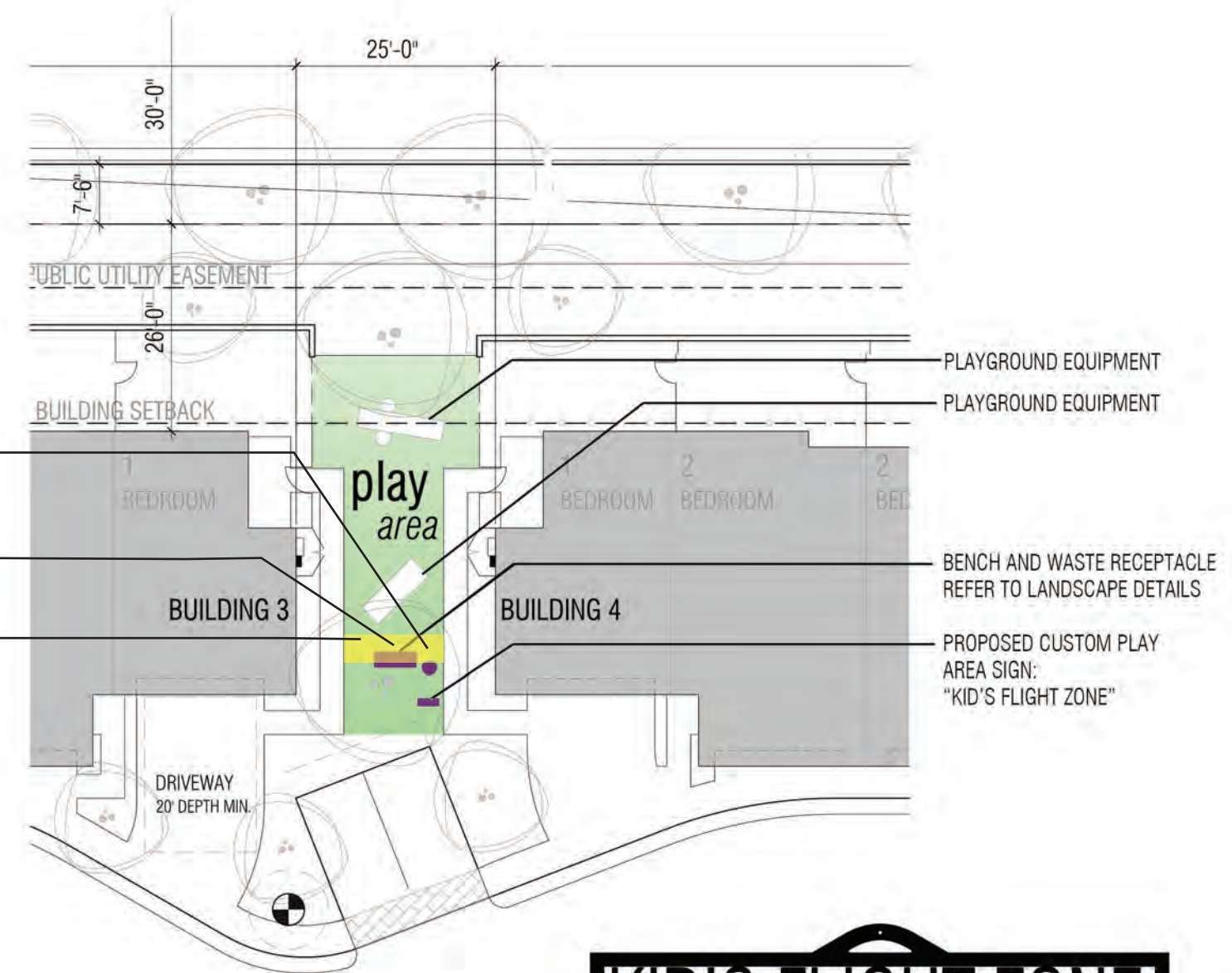
theashley

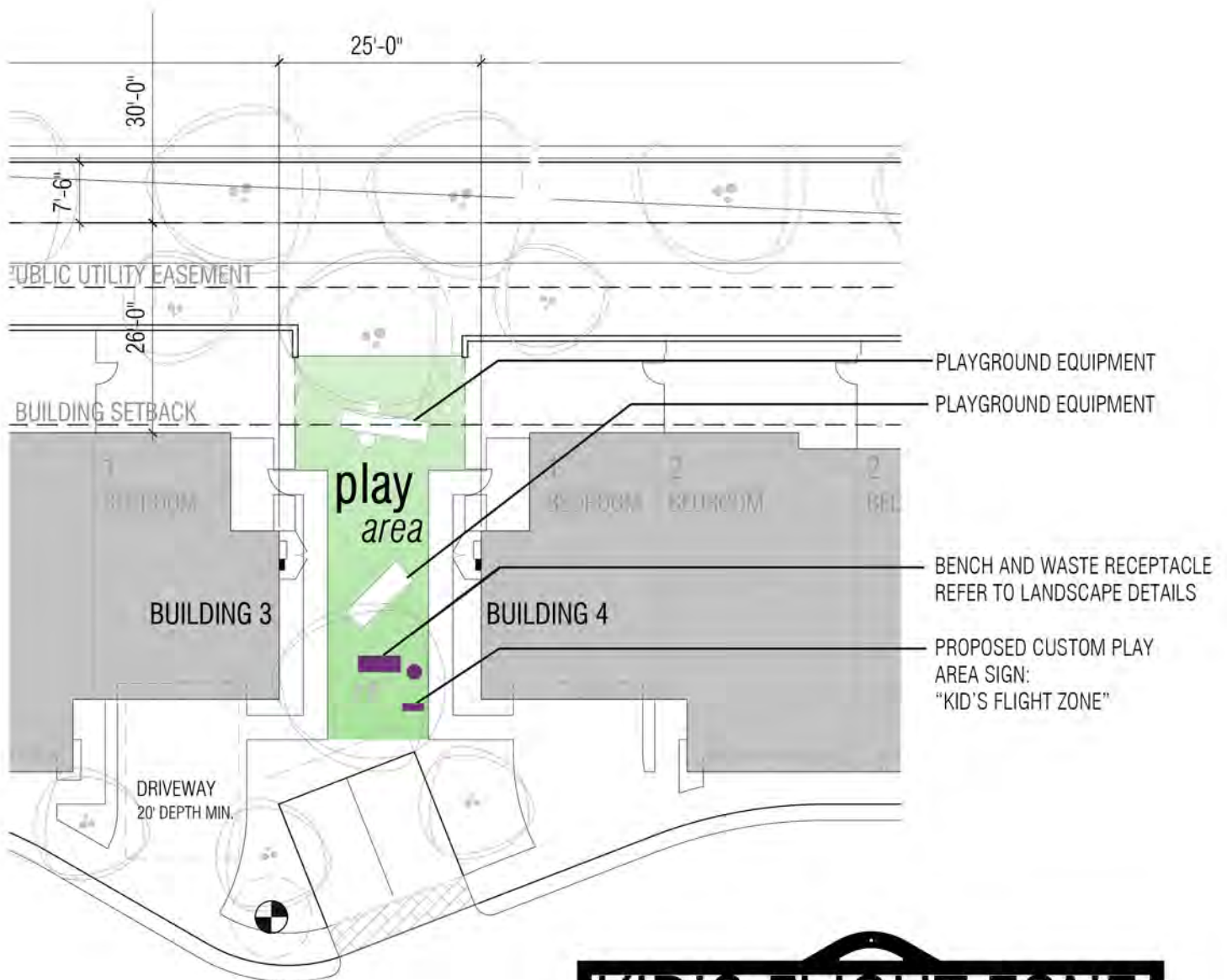


NAVIGATION TEXT
CONCRETE SANDBLAST

AVIATION STAR
CONCRETE SANDBLAST

PROPELLER PLANE
CONCRETE SANDBLAST



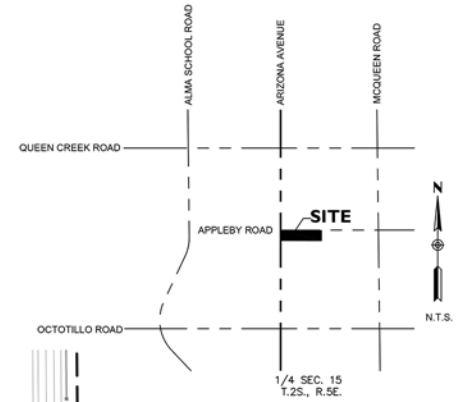
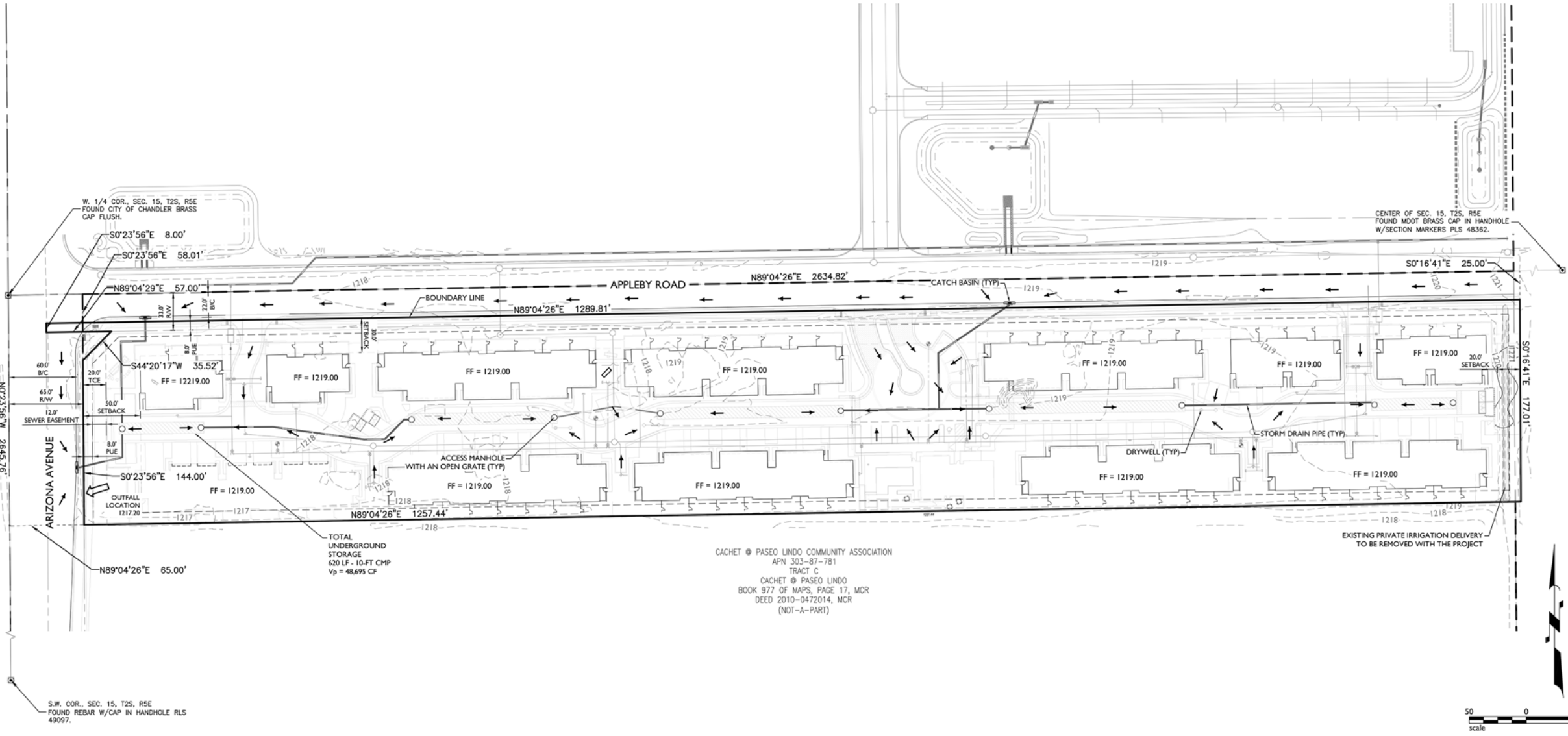


MARCH 29 2021

Exhibit K- Preliminary Grading and Drainage Plan

PRELIMINARY GRADING & DRAINAGE PLAN
FOR
Appleby | Arizona Townhomes

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE
AND MERIDIAN MARICOPA COUNTY, ARIZONA



VICINITY MAP
N.T.S.

PROJECT TEAM

PORTER KYLE
8149 E. EVANS ROAD, STE. 8
SCOTTSDALE, AZ 85260
CONTACT: MIKE STEPHAN
mstephan@porterkyle.com

EPS GROUP, INC.
1130 N. ALMA SCHOOL ROAD, SUITE 120
MESA, AZ 85201
TEL: (480)-503-2250
FAX: (480)-503-2258
CONTACT: DANIEL AUXIER
dan.auxier@epsgruoinc.com

BASIS OF BEARING

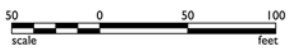
THE WEST LINE OF THE SOUTHWEST QUARTER OF
SECTION 15, TOWNSHIP 2 SOUTH RANGE 5 EAST
PER FINAL PLAT OF CACHET @ PASEO LINDO AS
RECORDED THEREOF IN BOOK 977 OF MAPS, MCR.

BEARING = (NORTH 00°23'56")

BENCHMARK

CITY OF CHANDLER B.M. #43A, 3" BRASS CAP IN
CONCRETE, 100' NORTH, 70' WEST OF INTERSECTION
OF ARIZONA AVE AND QUEEN CREEK RD, ON
ROADSIDE BY SRP STRUCTURE.

ELEV. = 1215.57 NAVD 88



RETENTION CALCULATIONS

REQUIRED VOLUME:	RETENTION:			
$V = 110\% \cdot C \cdot A \cdot P / 12$	UGR (620 LF)	$V_r = 48,492 \text{ CF}$	$V_p = 48,695 \text{ CF}$	EXCESS VOLUME = 203 CF
AREA = 267,172 SF	TOTALS =	$V_r = 48,492 \text{ CF}$	$V_p = 48,695 \text{ CF}$	EXCESS VOLUME = 203 CF
C = 0.90				
P = 2.20 IN				
$V_r = 48,492 \text{ CF}$				

NOTE:
ALL BASINS AND UNDERGROUND RETENTION ARE COMBINED BY EQUALIZER PIPES.

LEGEND

	SEWER LINE		FINISHED FLOOR
	SEWER MANHOLE		SLOPE DIRECTION
	WATER LINE		STORM DRAIN PIPE
	FIRE HYDRANT		TRENCH DRAIN PIPE
	WATER VALVE		CATCH BASIN
			DRYWELL
			GUTTER

1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgruoinc.com

EPS GROUP

Project: Appleby | Arizona Townhomes
Chandler, Arizona

Revisions:

Call at least two full working days before you begin excavation.

ARIZONA
EXCAVATING
LICENSED EXCAVATOR
Dual 6-1 for 1400-STATE OF (1616-0348)
In Maricopa County (002051-110)

Designer: EPS
Drawn by: EPS

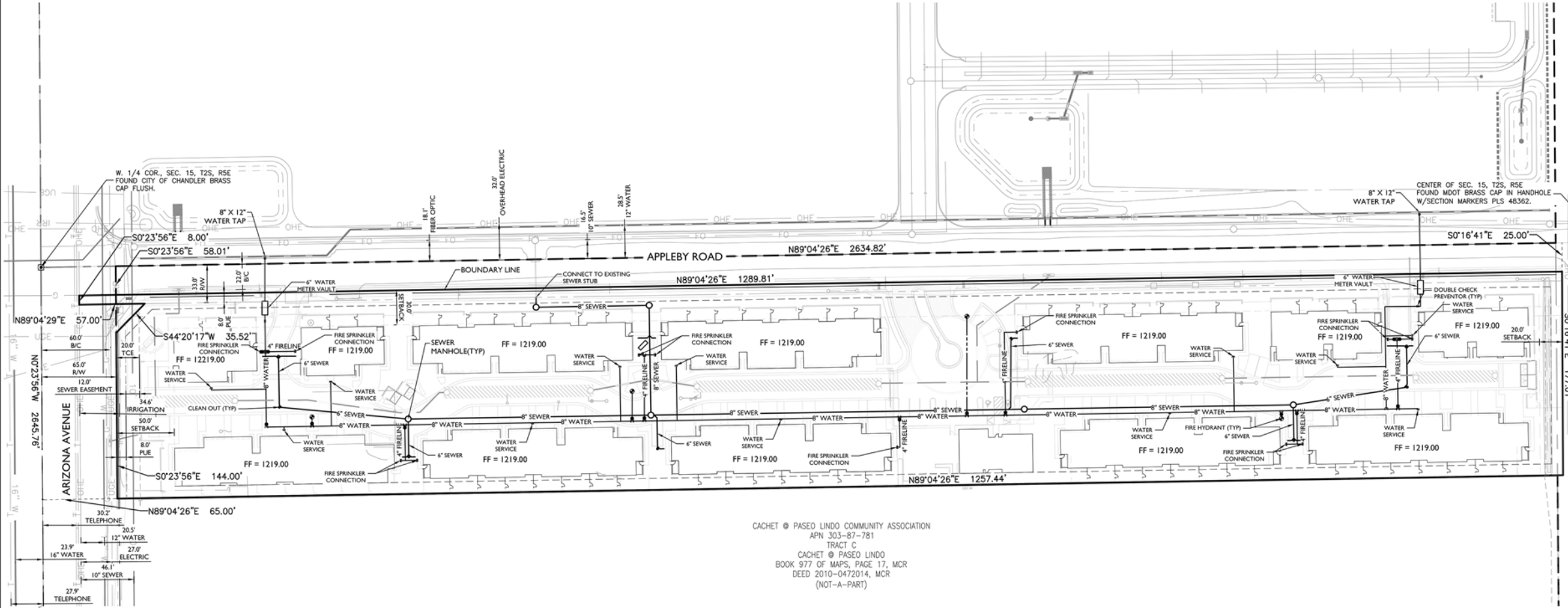
Job No.
20-0504

PG01

Sheet No.
1
of 1

PRELIMINARY UTILITY PLAN FOR Appleby | Arizona Townhomes

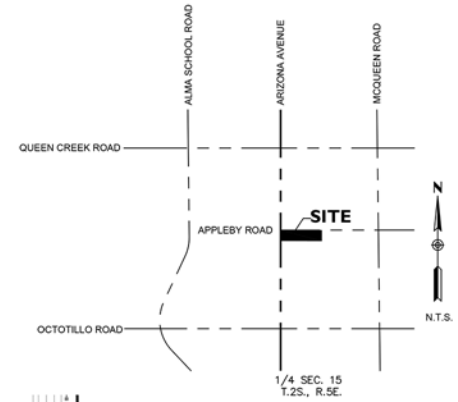
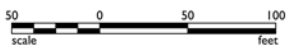
A PORTION OF THE SOUTHWEST 1/4 OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE
AND MERIDIAN MARICOPA COUNTY, ARIZONA



CACHET @ PASEO LINDO COMMUNITY ASSOCIATION
APN 303-87-781
TRACT C
CACHET @ PASEO LINDO
BOOK 977 OF MAPS, PAGE 17, MCR
DEED 2010-0472014, MCR
(NOT-A-PART)

LEGEND

- | | | | |
|--|---------------|-----|-------------------|
| | SEWER LINE | FF= | FINISHED FLOOR |
| | SEWER MANHOLE | | SLOPE DIRECTION |
| | WATER LINE | | STORM DRAIN PIPE |
| | FIRE HYDRANT | | TRENCH DRAIN PIPE |
| | WATER VALVE | | CATCH BASIN |
| | | | DRYWELL |
| | | | GUTTER |



VICINITY MAP N.T.S.

PROJECT TEAM

PORTER KYLE
8149 E. EVANS ROAD, STE. 8
SCOTTSDALE, AZ 85260
CONTACT: MIKE STEPHAN
mstephan@porterkyle.com

EPS GROUP, INC.
1130 N. ALMA SCHOOL ROAD, SUITE 120
MESA, AZ 85201
TEL: (480)-503-2250
FAX: (480)-503-2258
CONTACT: DANIEL AUXIER
dan.auxier@epsgruoinc.com

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF
SECTION 15, TOWNSHIP 2 SOUTH RANGE 5 EAST
PER FINAL PLAT OF CACHET @ PASEO LINDO AS
RECORDED THEREOF IN BOOK 977 OF MAPS, MCR.

BEARING = (NORTH 00°23'56")

BENCHMARK

CITY OF CHANDLER B.M. #43A, 3" BRASS CAP IN
CONCRETE, 100' NORTH, 70' WEST OF INTERSECTION
OF ARIZONA AVE AND QUEEN CREEK RD; ON
ROADSIDE BY SRP STRUCTURE.

ELEV. = 1215.57 NAVD 88

1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgruoinc.com

Project: Appleby | Arizona Townhomes
Chandler, Arizona

Revisions:

No.	Description	By	Date

Call at least two full working days before you begin excavation.

Drawn by: EPS
Designer: EPS

Job No. 20-0504
UT01
Sheet No. 1 of 1

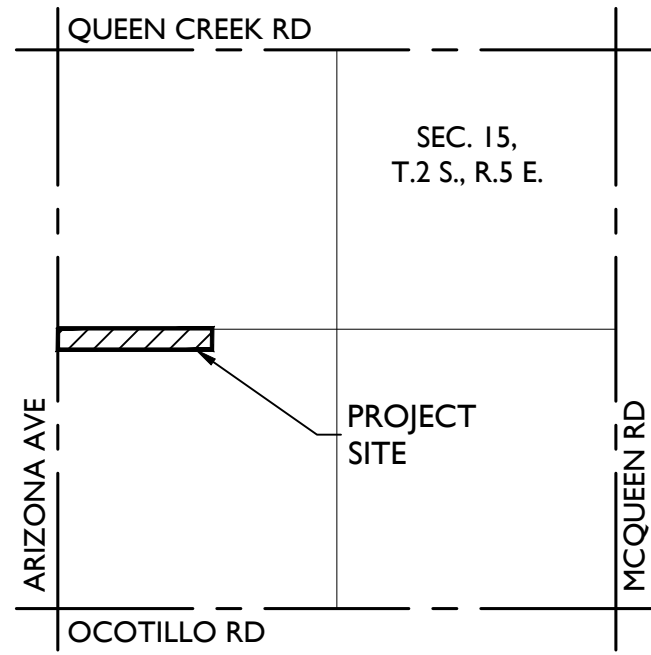
Exhibit L- Preliminary Plat

PRELIMINARY PLAT FOR THE ASHLEY

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 2
SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN
MARICOPA COUNTY, ARIZONA

VICINITY MAP

N.T.S.



PROJECT TEAM

DEVELOPER
PORTER KYLE BUILDERS
8149 E. EVANS ROAD, STE 8
SCOTTSDALE, AZ 85260
TEL: (480)-939-3330
CONTACT: MIKE STEPHAN
mstephan@porterkyle.com

CIVIL ENGINEERING:
EPS GROUP, INC.
1130 N. ALMA SCHOOL ROAD, STE 120
MESA, AZ 85201
TEL: (480)-503-2250
FAX: (480)-503-2258
CONTACT: DANIEL AUXIER, P.E.
dan.auxier@epsgroupinc.com

PROJECT DATA

A.P.N.: 303-41-017
CURRENT LAND USE: RESIDENTIAL
EXISTING GENERAL PLAN: EMPLOYMENT
EXISTING ZONING: PAD/MF-2
PROPOSED ZONING: MF-2
GROSS AREA: ± 6.13 ACRES (± 267,173.70 SQ. FT.)
NET AREA: ± 4.95 ACRES (± 215,035.49 SQ. FT.)
DENSITY: 15.76 DU/ACRE (OF NET AREA)
NO. OF UNITS
1 BEDROOM 20 UNITS (26%)
2 BEDROOM 30 UNITS (38%)
3 BEDROOM 28 UNITS (36%)
TOTAL 78 UNITS (100%)
OPEN SPACE: ± 1.76 ACRES (± 76,665.6 SQ. FT.)
OPEN SPACE (%): 36% OF NET AREA

PARKING SUMMARY

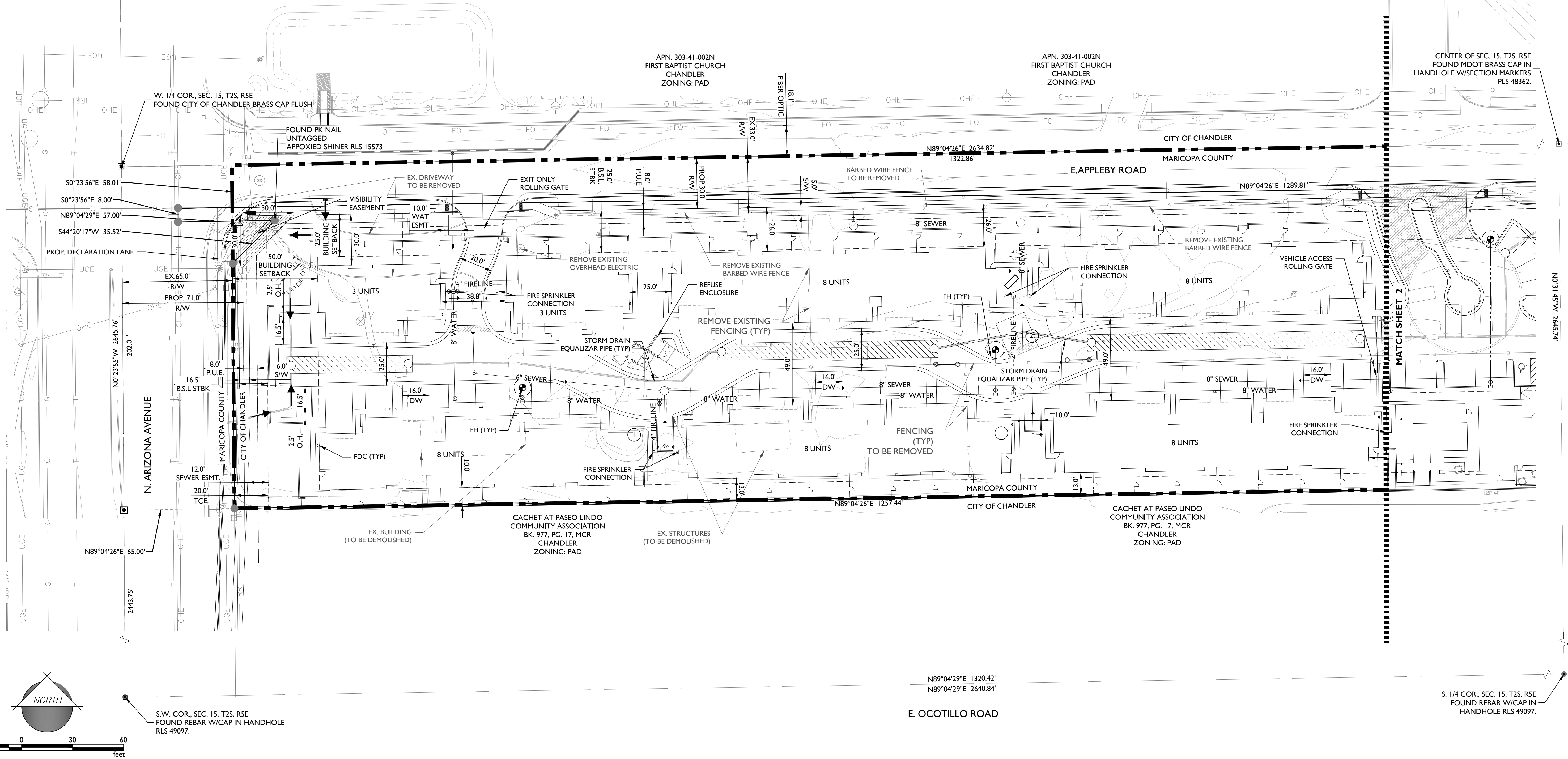
PARKING REQUIRED	
1 BR UNITS	30 SPACES (1 PER UNIT)
2 BR UNITS	60 SPACES (2 PER UNIT)
3 BR UNIT	63 SPACES (2.25 SPACES PER UNIT)
COMMUNITY CENTER (2400SF)	12 SPACES (1 PER 200 SF)
TOTAL REQUIRED	165 SPACES
PARKING PROVIDED	
1 BR UNITS	30 SPACES
2 BR UNITS	60 SPACES
3 BR UNITS	63 SPACES
COMMUNITY CENTER	23 SPACES (2 ADA STALL)
TOTAL PROVIDED	176 SPACES
ENCLOSED/COVERED PARKING	153 SPACES
UNCOVERED PARKING	23 SPACES (2 ADA STALL)
TOTAL PARKING	176 SPACES

NOTES

- THIS SUBDIVISION IS WITHIN CHANDLER MUNICIPAL AIRPORT; AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION OR AVIGATION EASEMENT SHALL BE PROVIDED AT THE TIME OF FINAL PLATTING.
- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

GENERAL SITE PLAN NOTES

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- SIGNS REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.



2045 S. Vineyard Ave, Suite 101
Mesa, AZ 85210
T: (480) 503-2250 | F: (480) 503-2258
www.epsgroupinc.com

EPS GROUP

The Ashley
Gilbert, Arizona

Preliminary Plat

Project: SEPTEMBER 2020 - 1ST PRELIMINARY PLAT SUB.

Revisions:

Design: DHC
Drawn by: JAJ

Arizona State Board of Professional Engineers and Land Surveyors
50291
DANIEL B. AUXIER
Designated 04/29/21

Job No.
20-0504
PP01

Sheet No.
1
of 2

C.O.C. Log No. PL21-0015

Apr 30, 2021 1:52pm S:\Projects\2020-0504\Planning\Drawings\Preliminary Plat\20-0504 - PP02.dwg

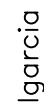
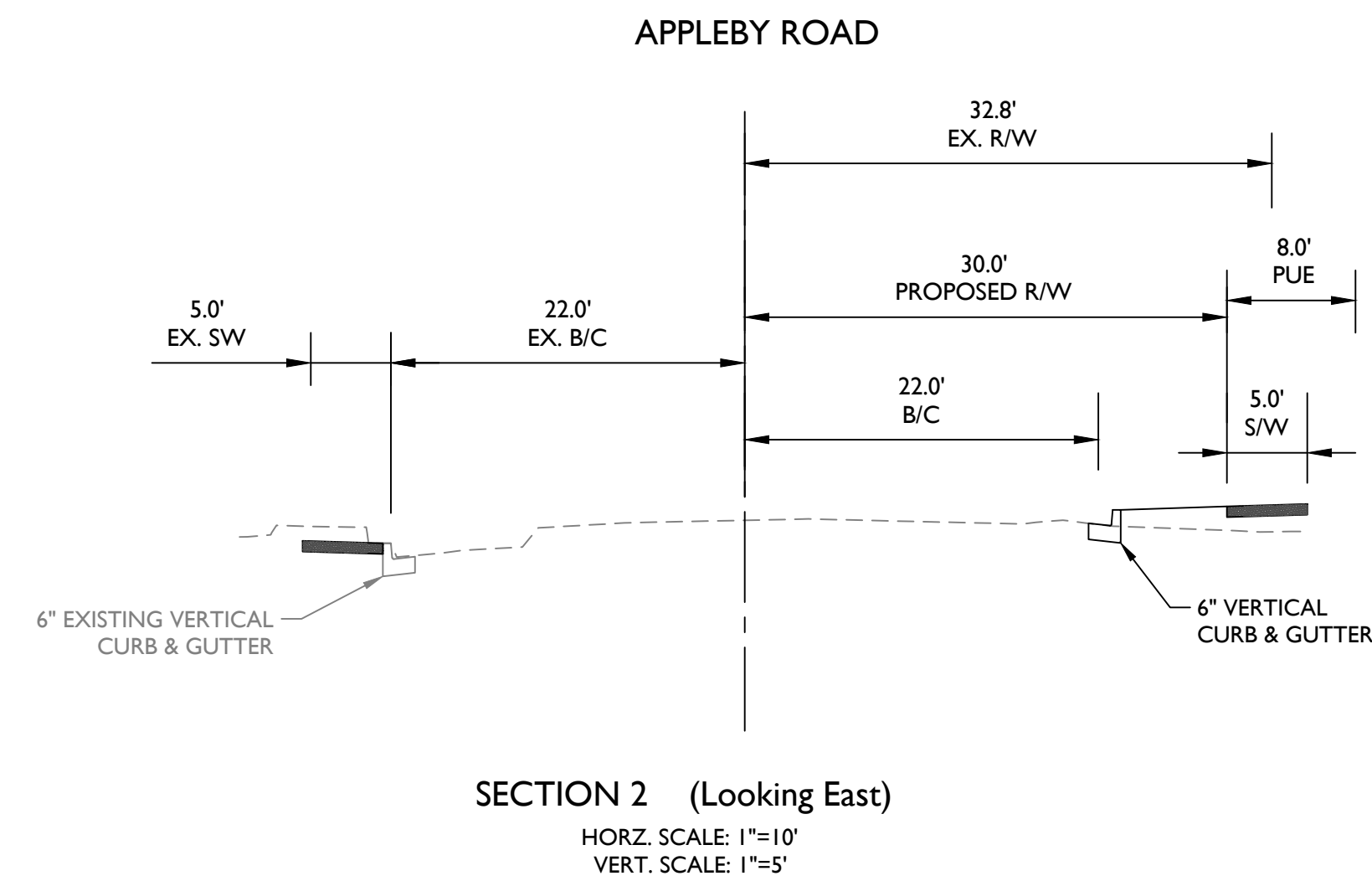
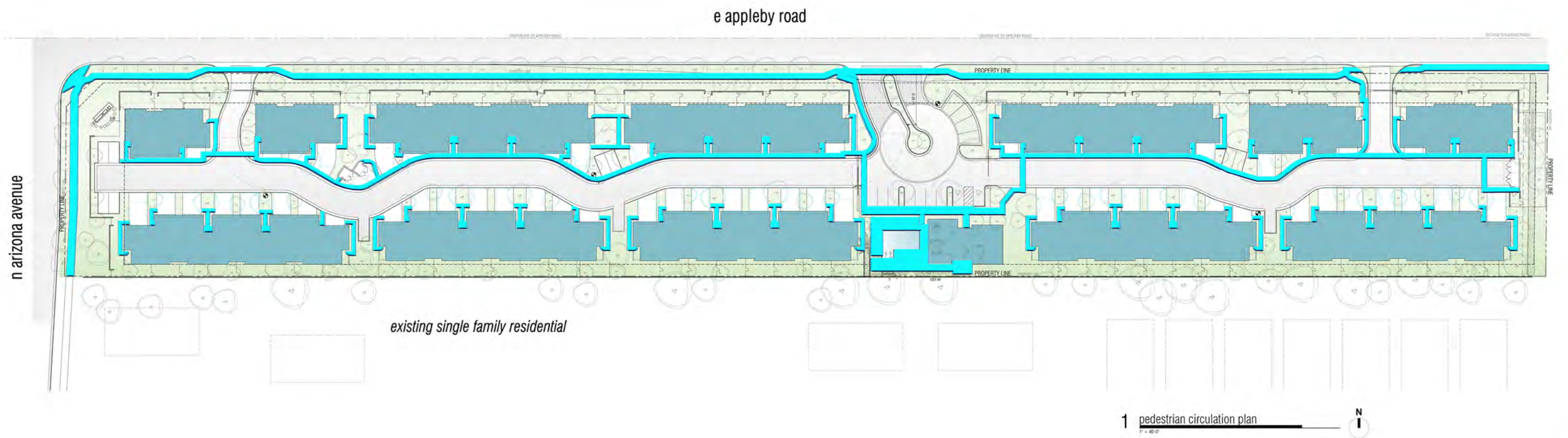


Exhibit M- Miscellaneous



a104
preliminary design

MARCH 23 2021
PRELIMINARY SITE PLAN

THE ASHLEY 155 E. APPLEBY ROAD CHANDLER ARIZONA 85248
PORTER KYLE BUILDERS LLC 8149 E. EVANS ROAD SUITE 8 SCOTTSDALE ARIZONA 85260

theashley



City Council Memorandum Development Services Memo No. CC21-030FA

Date: July 12, 2021
To: Mayor and Council
Thru: Joshua H. Wright, Acting City Manager
 Debra Stapleton, Assistant City Manager
 Derek D. Horn, Development Services Director

From: Kristine Gay, Senior Planner
Subject: PLH20-0030/PLT20-0020 Schrader Farms Business Park
 Final Adoption of Ordinance No. 4997
Request: Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay, and a commercial corner
Location: Northwest corner of McQueen and Queen Creek Roads
Applicant: Brennan Ray, Burch & Cracchiolo, P.A.

Proposed Motion:

Rezoning

Move City Council adopt Ordinance No. 4997, approving PLH20-0030, Schrader Farms Business Park, located at the northwest corner of McQueen and Queen Creek roads, rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay, and a commercial corner, subject to the conditions as recommended by Planning and Zoning Commission.

Background Data:

- Site is currently zoned and used for agricultural land uses.
- 71.1 net-acre site

The ordinance was introduced and tentatively adopted by City Council on June 24, 2021

Surrounding Land Use Data:

North	Agriculture	South	Queen Creek Road then City of Chandler Solid Waste Services
East	McQueen Road then dairy farm	West	Faith Family Church and agriculture

General Plan and Area Plan Designations:

	Existing	Proposed
--	----------	----------

General Plan	Growth Area 3: Chandler Airpark - Employment	No Change
Chandler Airpark Area Plan	Light Industrial and Neighborhood Commercial	No Change

Proposed Development

Industrial Business Park:

Size	<ul style="list-style-type: none"> • 67.65 net-acres in area 	
Land Use	<ul style="list-style-type: none"> • Light industrial and business park land uses 	
Buildings	<ul style="list-style-type: none"> • Six single-story buildings • 91,900 sq. ft. – 277,700 sq.ft. in size • 46 feet in height to the top of parapet 	
Site Design	<ul style="list-style-type: none"> • Truck loading courts located on the interior of the site • Berming and screen walls used along perimeter • Angled parking and landscaping to support campus aesthetic along street frontages • Stained concrete thematic entrances • Architecturally coordinated monument signage 	
Phasing	<ul style="list-style-type: none"> • Two phases are proposed • Phase 1 consists of: <ul style="list-style-type: none"> • 3 eastern business park buildings • Street improvements along perimeter of entire site (Phases 1 & 2) • Street frontage landscaping along perimeter of Phase 1 and commercial lot • Phase 2 consists of: <ul style="list-style-type: none"> • Three western business park buildings and remaining street frontage landscaping. 	

Commercial Corner:

Size	3.46 net acres
Land Use	C-2 Commercial land uses per the City of Chandler Land Use Code Auto-related uses, (fuel stations, oil change services, etc.) will not be permitted Up to one drive-through establishment may be developed on-site
Building, Site Design, and Future PDP	No specific building design or site layout is proposed at this time A future PDP will be reviewed by Council prior to development of the corner The design of the buildings and site layout of the commercial corner will coordinate with the business park site
Phasing	The corner parcel will be developed at a separate time and is not included in Phase 1 or 2 of the business park

Review and Recommendation

Staff finds that the proposed rezoning, mid-rise overlay, preliminary development plan, and preliminary plat aligns with the goals of the 2016 General Plan and Chandler Airpark Area Plan.

The 2016 General Plan identifies the site as being located within Growth Area 3, Chandler Airpark, where the future land use is designated as “Employment”. The Chandler Airpark Area Plan more specifically calls for light industrial land uses and neighborhood commercial land uses at the corner. To align with both the Chandler Airpark Area Plan and the Employment guidance of the 2016 Chandler General Plan, the applicant revised the site plan to avoid proposing buildings that appeared to support distribution as a primary land use. Staff believes the resulting building footprints will better accommodate land uses that will generate employment opportunities and therefore align with the goals of the General Plan.

To ensure the proposed corner site is sized and dimensioned appropriately, the applicant has shown staff how the corner could successfully accommodate vehicular access, retention, landscaping, and commercial land uses that are coordinated with the adjacent business park. Since the applicant will not be the developer of the commercial corner site, it is left empty in the proposed site exhibits. A future preliminary development plan will need to be approved by Council prior to it being developed.

Based on City Council feedback when this item was initially presented, the applicant has agreed to work with staff to determine the appropriate locations for electric vehicle (EV) charging stations and provide conduit at the time of construction. The number of EV charging stations provided will be determined by individual tenant improvements.

Traffic Analysis

A Traffic Impact Analysis (TIA) was prepared to analyze potential impacts of the proposed development. Based on the analysis, McQueen and Queen Creek roads have adequate capacity to handle the expected traffic generated by the proposed development. As part of this project, the developer will be required to construct half-street improvements on adjacent collector streets, including Hamilton Street on the west side of the property and the Canary Way alignment on the north side of the property. These additional collector streets will help to facilitate vehicular circulation, including truck traffic, from Queen Creek and McQueen roads. Beyond the collector street improvements, the developer will also be required to construct, or contribute to, several roadway improvements (e.g. additional right turn lanes at driveways on McQueen Road and Queen Creek Road as determined by the TIA, changes to signal timing, etc.) to minimize the impact of the development on the surrounding streets.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Land Use and Zoning Code.
- To comply with CDC social distancing guidelines, the applicant hosted digital neighborhood meetings via Zoom on February 18th and April 12th, 2021. The applicant also created a website to share further information with residents.
- Residents had concerns regarding the building height, the land uses and associated traffic concerns. The applicant explained how the site has been planned for employment and commercial land uses by the Chandler Airpark Area Plan and 2016 General Plan. At the time of the meetings, the traffic study had not been reviewed by the City’s Traffic Engineer. The applicant explained that a traffic impact analysis would need to be approved prior to moving forward. After

- sharing perspectives of the buildings, no further concerns for building design were received.
- As of writing this memo, Planning staff has not received further opposition from residents regarding the proposal.

Airport Commission Conflict Evaluation

Airport Commission meeting April 14, 2021

Motion to find no conflict with existing or planned airport uses.

In Favor: 7 Opposed: 0 Absent: 0

Planning and Zoning Commission Vote Report

Planning and Zoning Commission meeting June 16, 2021

Motion to Approve

In Favor: 6 Opposed: 0

The Planning and Zoning Commission requested design changes to the site landscaping and building design. The applicant submitted amended exhibits (please see attachments) and agreed to two additional Preliminary Development Plan stipulations (11 & 12) at the Planning and Zoning Commission hearing. Chairman Heumann expressed concerns that the site may become a warehouse and distribution center and wanted to ensure that future tenants align with the city's targeted economic development goals.

In response, the applicant shared that the development is anticipated to support 1,543 on-site jobs. Per the applicant, the projected 65-72 cents per square foot lease rate aligns with job-creating high-end manufacturing land uses as compared with the 40-45 cents per square foot lease rate typically associated with distribution land uses. Where the City Code requires 1 parking space per 1,000 square feet of manufacturing space and 1 space for every 5,000 square feet of warehousing, the development includes 1.78 spaces per 1,000 square feet, which facilitates non-distribution land uses.

In the event that the applicant seeks an Administrative Design Review (ADR) after the rezoning is approved by Council, Chairman Heumann inquired about staff's review flexibility. Staff shared that the applicant is stipulated to substantially conform to the conceptual exhibits, however, where a proposed ADR substantially alters the site or building design and/or land use intensity, staff may determine that the proposed changes require Planning and Zoning Commission review and City Council approval.

Recommended Conditions of Approval

Planning staff find the request is in compliance with the General Plan and Planning and Zoning Commission recommends the City Council approve the rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) for a light industrial and office business park with a Mid-Rise Overlay and a commercial corner subject to the following conditions:

1. For the parcel legally described in Exhibit "A," permitted land uses shall be limited to office uses and land uses permitted by-right in the I-1 Planned Industrial District per the Land Use and Zoning Code of the City of Chandler. Showrooms shall also be permitted where they are provided as an ancillary component of a primary use.
2. For the parcel legally described in Exhibit "B," permitted land uses shall be limited to land uses permitted by-right in the C-2 Community Commercial District per the Land Use and Zoning Code of the City of Chandler. Auto-related uses including but not limited to the sale, rental, repair, fueling or washing of automobiles, motorcycles, trucks, boats, or related accessories shall not be

permitted.

3. Development of the overall site shall be in substantial conformance with the Development Booklet, entitled, "Schrader Farms Business Park" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0030, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
4. Prior to development of the corner parcel, as described in Exhibit "B," a preliminary development plan for site layout and building design shall be approved by City Council. The architectural design, landscaping, and pedestrian and vehicular access shall be coordinated with the business park to create an integrated campus appearance.
5. Building heights shall not exceed 50 (fifty) feet in height as measured to the top of parapet.
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting, as shown in the Phasing Exhibit to achieve conformance with City codes, standard details, and design manuals.
7. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
8. When office is proposed to occupy more than ten percent of a tenant space, a parking analysis shall be submitted for review by the Zoning Administrator. Said analysis shall clearly show the amount of area occupied by all existing and proposed land uses and the amount of parking spaces required by the City of Chandler Land Use and Zoning Code, and the amount of parking spaces provided.

Attachments

Ordinance No. 4997

Vicinity Maps

Development Booklet 1/3

Development Booklet 2/3

Development Booklet 3/3

Revised Development Booklet Exhibits from PZ

ORDINANCE NO. 4997

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT (PAD) FOR LIGHT INDUSTRIAL AND OFFICE BUSINESS PARK AND COMMERCIAL LAND USES, WITH A MID-RISE OVERLAY AS SHOWN IN CASE PLH20-0030 (SCHRADER FARMS BUSINESS PARK) LOCATED AT THE NORTHWEST CORNER OF MCQUEEN AND QUEEN CREEK ROADS WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA; PROVIDING FOR THE REPEAL OF CONFLICTING ORDINANCES; AND PROVIDING FOR PENALTIES.

WHEREAS, an application for rezoning certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days' notice of time, place, and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to the public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

Section 1. Legal Description of Property:

EXHIBIT 'A' and EXHIBIT 'B'

Said lots are hereby rezoned from AG-1 to PAD for light industrial and office business park and commercial land uses, with a mid-rise overlay, subject to the following conditions:

1. For the parcel legally described in Exhibit "A," permitted land uses shall be limited to office uses and land uses permitted by-right in the I-1 Planned Industrial District per the Land Use and Zoning Code of the City of Chandler. Showrooms shall also be permitted where they are provided as an ancillary component of a primary use.
2. For the parcel legally described in Exhibit "B," permitted land uses shall be limited to land uses permitted by right in the C-2 Community Commercial District per the Land Use and Zoning Code of the City of Chandler. Auto-

related uses including but not limited to the sale, rental, repair, fueling or washing of automobiles, motorcycles, trucks, boats, or related accessories shall not be permitted.

3. Development of the overall site shall be in substantial conformance with the Development Booklet, entitled, "Schrader Farms Business Park" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0030, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
4. Prior to development of the corner parcel described in Exhibit "B," a preliminary development plan for site layout and building design shall be approved by City Council. The architectural design, landscaping, and pedestrian and vehicular access shall be coordinated with the business park to create an integrated campus appearance.
5. Building heights shall not exceed 50 (fifty) feet in height as measured to the top of parapet.
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting, as shown in the Phasing Exhibit to achieve conformance with City codes, standard details, and design manuals.
7. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
8. When office is proposed to occupy more than ten percent of a tenant space, a parking analysis shall be submitted for review by the Zoning Administrator. Said analysis shall clearly show the amount of area occupied by all existing and proposed land uses and the amount of parking spaces required by the City of Chandler Zoning Code, and the amount of parking spaces provided.

Section 2. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this Ordinance.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance, or any parts hereof, are hereby repealed.

Section 4. In any case, where any building, structure, or land is used in violation of this Ordinance, the Planning Division of the City of Chandler may institute an injunction or any other appropriate action in proceeding to prevent the use of such building, structure, or land.

Section 5. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, then this entire ordinance is invalid and shall have no force or effect.

Section 6. A violation of this Ordinance shall be a Class 1 misdemeanor subject to the enforcement and penalty provisions set forth in Section 1-8.3 of the Chandler City Code. Each day a violation continues, or the failure to perform any act or duty required by this Ordinance or the Zoning Code, shall constitute a separate offense.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this ____ day of _____, 2021.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 4997 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the ____ day of _____, 2021, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

TA

Published:

PARCEL LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN A PORTION OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS CAP IN A HANDHOLE MARKING THE THE SOUTH QUARTER CORNER OF SAID SECTION 10, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 10 BEARS NORTH 89°22'45" EAST, A DISTANCE OF 2636.54 FEET;

THENCE NORTH 00°00'09" EAST, ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 1324.83 FEET;

THENCE NORTH 89°21'01" EAST, ALONG THE NORTH LINE OF THE SOUTH HALF OF SAID SOUTHEAST QUARTER, A DISTANCE OF 2638.57 FEET;

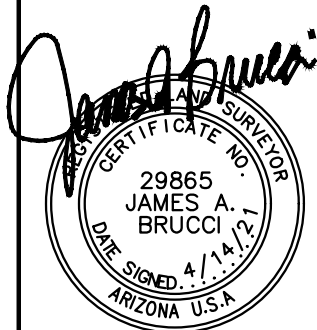
THENCE SOUTH 00°05'23" WEST, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 785.58 FEET;

THENCE NORTH 89°54'33" WEST, A DISTANCE OF 402.28 FEET;

THENCE SOUTH 00°37'15" EAST, A DISTANCE OF 545.55 FEET;

THENCE SOUTH 89°22'45" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 2241.00 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION CONTAINING 75.28 ACRES±.



PAGE 1 OF 2

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DESCRIPTION

HUNTER

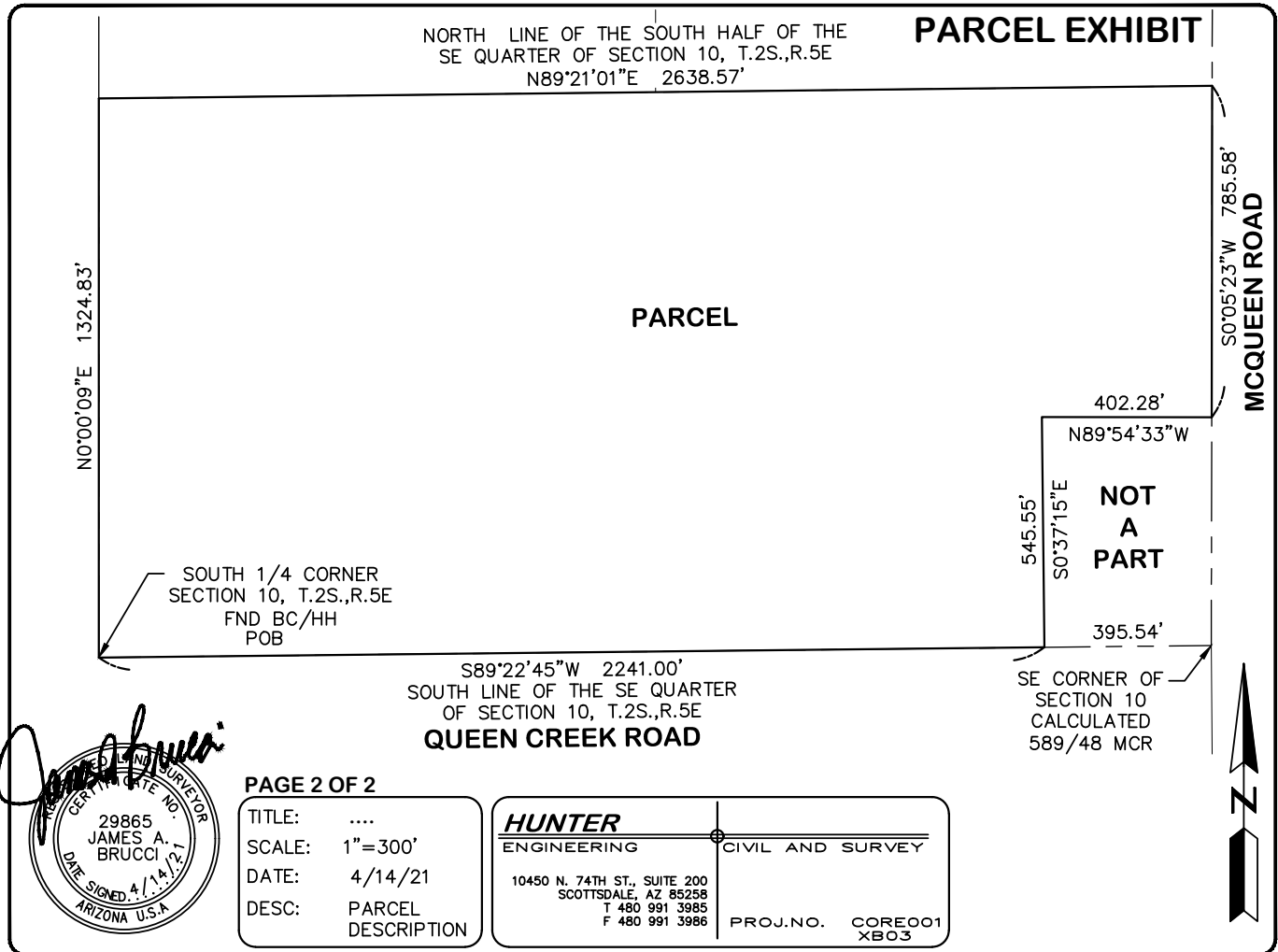
ENGINEERING

10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

PROJ.NO. CORE001
XB03

Exhibit "A" Page 2 of 2



PARCEL LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN A PORTION OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN A HANDHOLE MARKING THE THE SOUTH QUARTER CORNER OF SAID SECTION 10, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 10 BEARS NORTH 89°22'45" EAST, A DISTANCE OF 2636.54 FEET;

THENCE NORTH 89°22'45" EAST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 2241.00 FEET TO THE POINT OF BEGINNING;

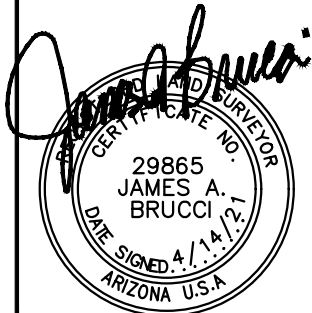
THENCE NORTH 00°37'15" WEST, A DISTANCE OF 545.55 FEET;

THENCE SOUTH 89°54'33" EAST, A DISTANCE OF 402.28 FEET;

THENCE SOUTH 00°05'23" WEST, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 540.60 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 10;

THENCE SOUTH 89°22'45" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 395.54 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION CONTAINING 4.97 ACRES±.



PAGE 1 OF 2

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DESCRIPTION

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ENGINEERING

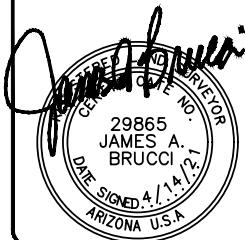
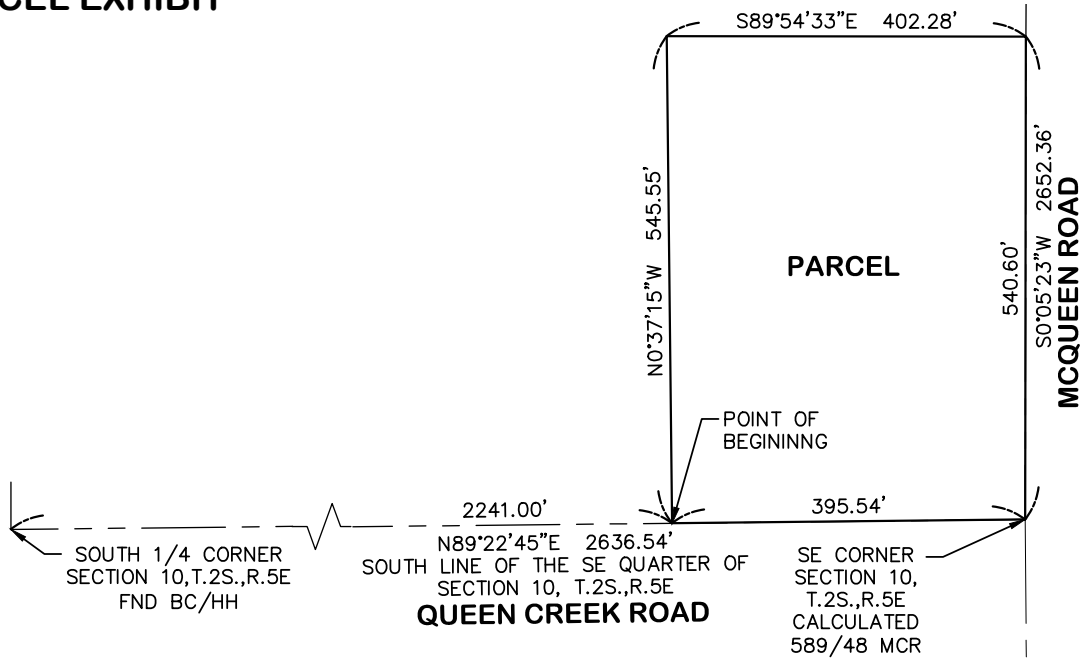
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

PROJ NO. CORE001
XB04

Exhibit "B" Page 2 of 2

PARCEL EXHIBIT

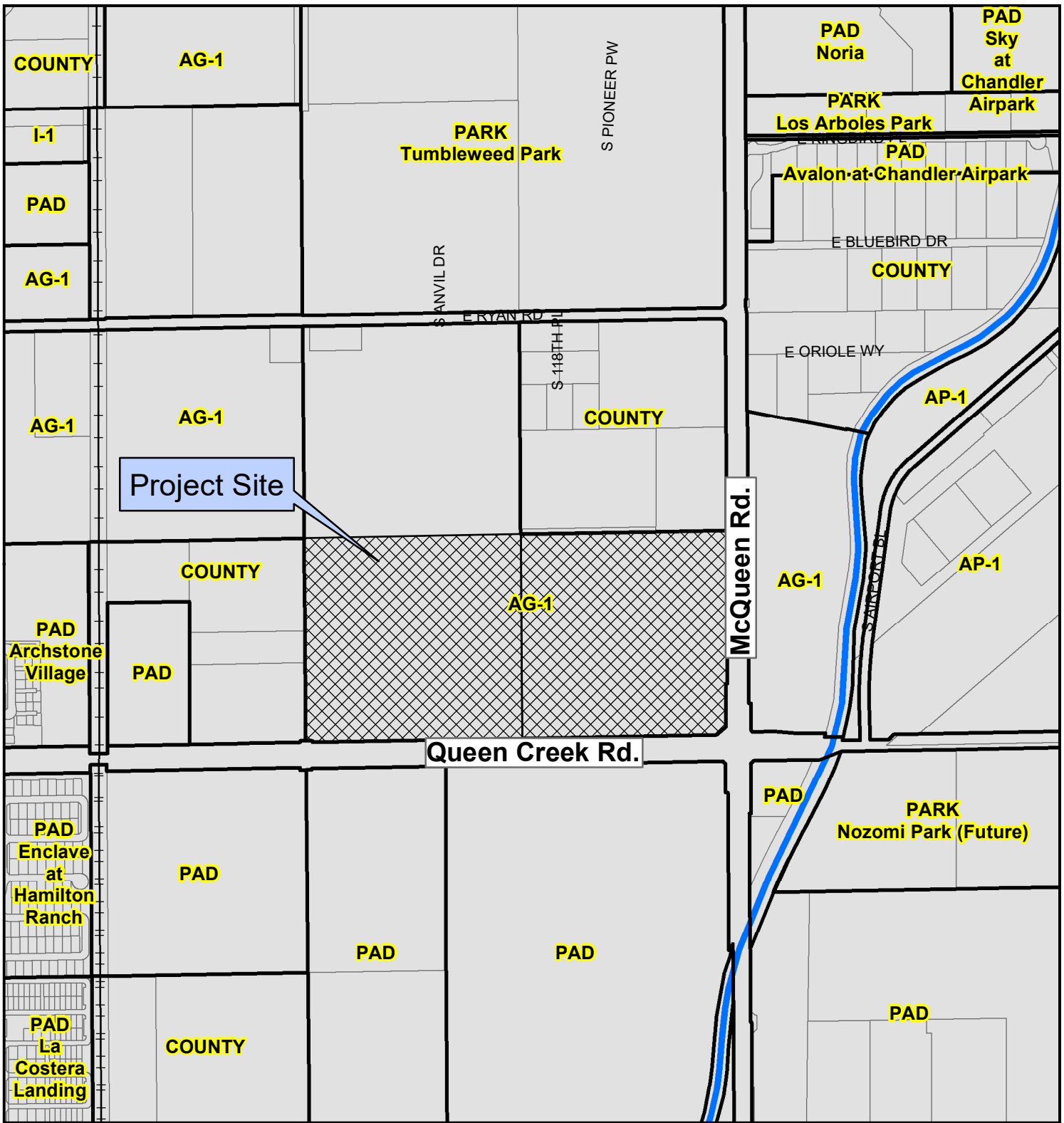


PAGE 2 OF 2

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HUNTER
ENGINEERING
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

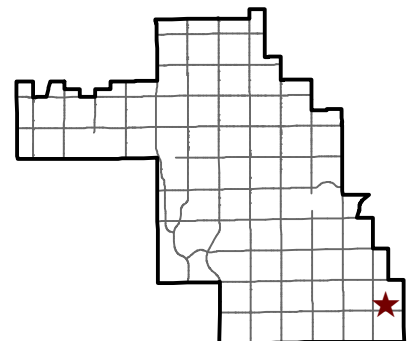
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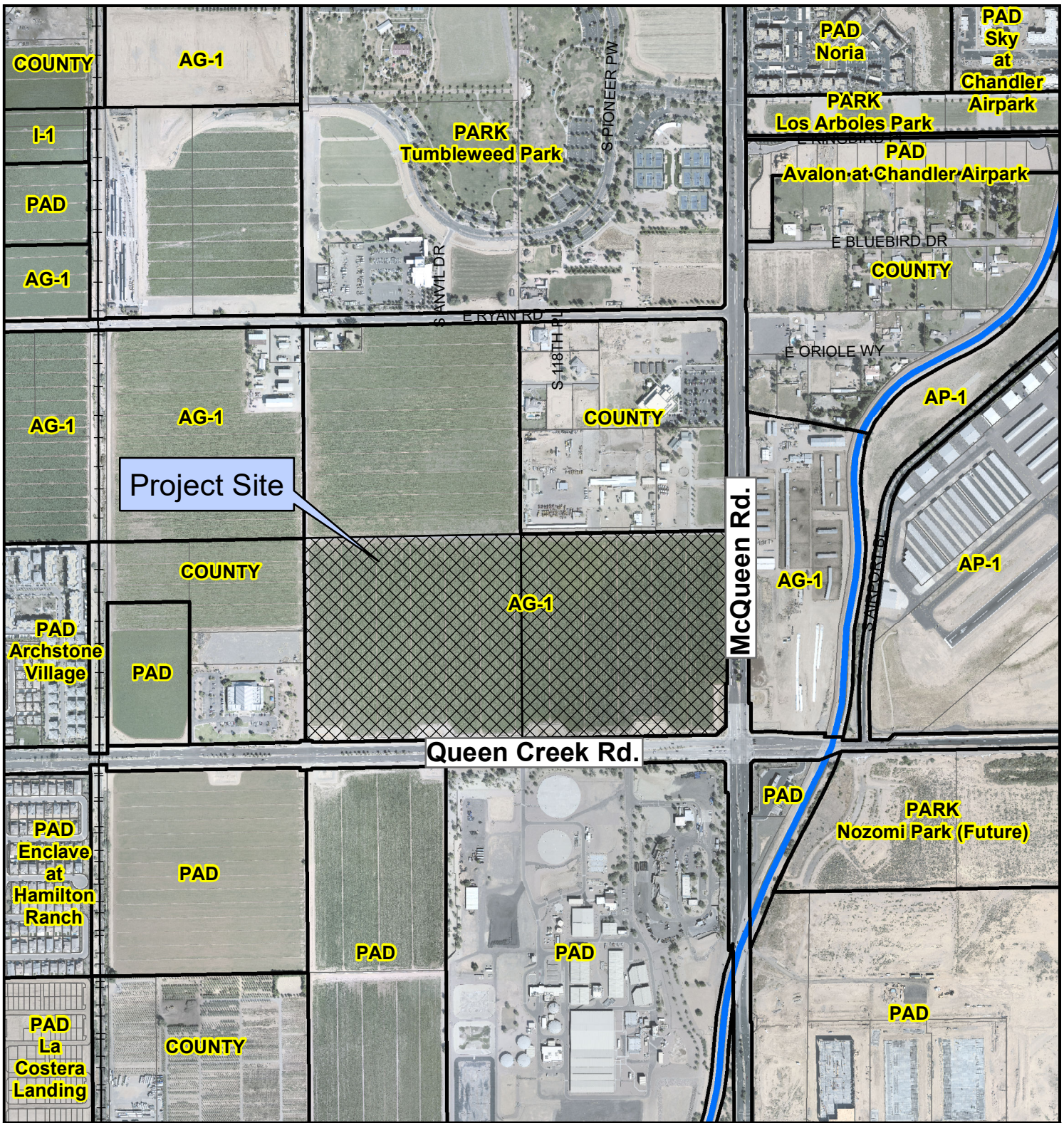


PLH20-0030 Schrader Farms Business Park



Proposed Project Details
 Rezone/PDP/Mid-Rise
 70.52 Acres
 Future Business Park Uses



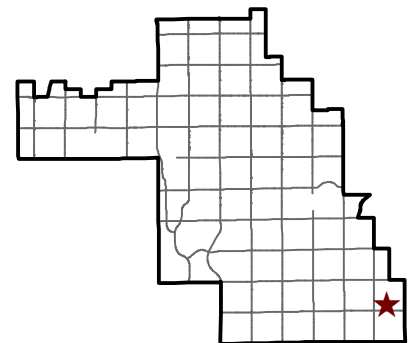


PLH20-0030 Schrader Farms Business Park

Proposed Project Details
 Rezone/PDP/Mid-Rise
 70.52 Acres
 Future Business Park Uses



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



**Planned Area Development,
Preliminary Development Plan,
and
Preliminary Plat**



***Schrader Farms
Business Park***

**Northwest Corner of
McQueen Road and Queen Creek Road**

by:

Core5 Schrader Farm BP, LLC

Case No: PLH20-0030

Submitted: June 4, 2020
Update: December 18, 2020
Update: April 16, 2021
Update: May 12, 2021

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TABLE OF EXHIBITS

Exhibit No.	Description
1	Aerial
2	Building Perspectives Queen Creek Road Perspective
3	Conceptual Site Plan
4	Landscape Plan
5	Arterial Street Enlargements
6	Building Elevations Floor Plans
7	Color & Materials Palette
8	Screen Wall Plan & Elevations
9	Comprehensive Sign Plan
10	Conceptual Grading & Drainage
11	Phasing Plan
12	Preliminary Plat

SCHRADER FARMS BUSINESS PARK

I. INTRODUCTION

Core5 Schrader Farms BP, LLC (“Core5”) is the proposed developer of Schrader Farms Business Park (the “Schrader Farms BP”), an exciting development on approximately 80.25± gross (70.52± net) acres (the “Site”) at the northwest corner of McQueen Road and Queen Creek Road. Core5 is proposed to develop the Site as a high-quality business park in an area of Chandler that has been designated for employment uses for close to 30 years. Schrader Farms BP will be a strong, viable development for Chandler given its location proximate to the Chandler Municipal Airport and Loop 202, will be compatible with the surrounding area, and will provide a recognizable presence within Chandler. *See Exhibit 2, Perspectives.* The proposed development creates additional employment opportunities in the immediate area and is anticipated to improve the City’s jobs-to-population ratio.

As is described in greater detail below, the proposed development is also consistent with the City of Chandler’s (the “City”) General Plan and Airpark Area Plan. The proposed development is likewise compatible with the Chandler Municipal Airport and its uses. Core5 requests the Site be zoned Planned Area Development (PAD) for Employment uses as described below in Section III, along with Preliminary Development Plan (PDP) for the Site’s layout, landscaping, architecture, etc., Preliminary Plat, and Mid-Rise Overlay approvals.

II. SITE, SURROUNDING AREA, AND EXISTING ZONING

The Site is located at the northwest corner of McQueen Road and Queen Creek Road and is currently being used for agricultural operations. The Site is zoned AG-1 as it has been traditionally used for agricultural purposes. An aerial of the Site is attached as *Exhibit 1*.

The Site is designated on the City’s General Plan as Employment and lies within the Chandler Airpark Area Plan. Since approximately 1982, the City has generally reserved the areas located south and west of the Airport for employment uses to protect the Airport from incompatible land uses and to promote economic development. The General Plan Employment designation encourages major employers, knowledge-based industries, and industrial/business parks. Schrader Farms BP complies with the General Plan and is supported by the following goals and policies of the General Plan:

- 1.1.1 Land Use and Development: Protect employment land use areas to support economic development goals.
- 1.2.3 Chandler Airpark Policies: Protect the Chandler Municipal Airport and Airpark as a major employment center and the Airport’s flight corridors from incompatible land uses.
- 1.5 Building a World-Class Economy Policies:
 - Continue to optimally use remaining vacant land to ensure the highest and best use for economic opportunities.
 - Improve the City’s jobs-to-housing ratio with a long-term goal to continue exceeding the County’s average jobs-to-housing balance.

The Airpark Area Plan identifies the Site as Light Industrial and Commercial. The Light Industrial designation encourages small manufacturing, warehousing and distribution, and back office spaces. The Chandler Municipal Airport and Airpark represent developing assets that

contain the largest inventory of vacant land in the City that has been planned for employment purposes. The Airpark Area Plan is intended to ensure land use compatibility and protect employment opportunities, which Schrader Farms BP does.

III. PROPOSED PLANNED AREA DEVELOPMENT AND MID-RISE OVERLAY

Core5 requests the Site be zoned PAD for a mix of employment uses, including:

Employment. Any use or similar use in the I-1 District of the City’s Zoning Ordinance.

Office. Offices, including, professional, business, administrative, executive, and other offices.¹

Showroom. Showroom use is defined as uses that are primarily warehouse uses but may include up to 10% of the floor area devoted to display of goods and products. Showroom will provide the region with bulk related uses, such as tile, flooring, paint, furniture, or similar materials. These uses will support both the residential base as well as the business uses around the airport.

Commercial. Any use or similar use in the C-2 District of the City’s Zoning Ordinance.

Core5 additionally requests a Mid-Rise Overlay for the proposed 50 feet building height. Consistent with the City’s Mid-Rise Development Policy (the “Policy”), the additional height is appropriate as the Site is located within an area that is designated on the City’s General Plan as Employment and the Airpark Area Plan as Light Industrial. The additional height will allow Core5 to create a development that meets the Policy’s intent to provide needed viability and long-term sustainability. Additional height will allow Core5 to provide appropriate amounts of clear height and structure in the buildings to ensure that adequate amounts of area and space is available to meet the anticipated needs of future tenants. The proposed development will provide new job opportunities for area residents. Furthermore, the additional height is appropriate in the context of the surrounding area, with the City’s wastewater treatment, solid waste, and recycling facility and future Ferguson building (approx. 50 feet in height) along the Site’s Queen Creek Road frontage.

IV. PROPOSED PRELIMINARY DEVELOPMENT PLAN

A. *Site Layout and Architecture*

Schrader Farms BP is designed as a high-quality mixed-use development that will create additional employment opportunities and is compatible with the Airport and its operations and uses. Schrader Farms BP is expected to consist of approximately seven buildings, ranging in size between approximately 91,600 square feet and 234,320 square feet and a commercial building (on the future commercial pad). *See Exhibit 3, Conceptual Site Plan.* Consistent with good planning principles, the Site has been laid out with multi-tenant buildings along the public streets (McQueen Road, Queen Creek Road, and Hamilton Road) to allow for higher public visibility. The McQueen Road employment building is currently planned with a setback of approximately 117 feet while the closest employment building on Queen Creek Road is currently planned with a setback of approximately 201 feet. The considerable setbacks allow Core5 to

¹ The percentage of office uses within each respective building can be the maximum amount the parking requirements will allow. Should the percentage of proposed office use in a given Lot exceed the Code required parking, the Zoning Administrator will consider and may allow an administrative modification to expeditiously deal with such a situation up to 10% more office square footage than the parking provided would typically allow or through a shared parking agreement between the lots/uses.

provide a lushly landscaped frontage (*See Exhibit 2, Queen Creek Road Perspective and Exhibit 4, Landscape Plan* and as is discussed in more detail below in Section IV.C and *Exhibit 5, Arterial Street Enlargements*) and parking areas that, when coupled with the buildings' design creates a high-quality development that is compatible with the adjacent area.

The proposed architectural design leans towards contemporary southwest architecture, reflecting a timeless design that is respectful of the central Arizona desert climate. *See Exhibit 2, Perspectives.* The size and scale of the buildings are broken up through four-sided architectural design, quality materials, and professional workmanship. All architectural features are presented as an integral part of the overall design. Distinct areas are visible in each elevation and each area is distinguished through the use of color, texture, and vertical and horizontal offsets where functionally allowed. Contemporary architectural vocabulary is present with strong horizontal canopies, deep-set fenestration, and rich texturing of facade materials at the two-story entry elements. The building masses are simple in form and strong in geometry. Variations in the roof height and profile are used with discretion to conceal mechanical equipment. Facade components are utilized to establish human scale building design and provide interest through the use of light, shadow and texture.

The initial phase is planned on the eastern approximately 31.34 acres and is currently expected to consist of three employment buildings. *See Exhibit 6, Building Elevations and Floor Plans.* These buildings along McQueen Road and Queen Creek Road are designed to provide prominent office entries with both clear and spandrel glazing with two story vertical massing. A mixture of smooth concrete, textured concrete, metal canopies and tile create an attractive facade. *See Exhibit 6 and Exhibit 7, Colors and Materials.* Functionally, these buildings will contain state-of-the-art features users require in modern facilities, such as abundant power, current industry standard clear heights, natural light through skylights or clerestory windows and storefront systems, advanced fire suppression, and efficient loading dimensions.

This PDP depicts the general layout (Site Plan) and appearance (Elevations) of buildings at Schrader Farms BP, but it does not restrict buildings to the building locations or square footages as depicted on the Site Plan or appearance as depicted by the building elevations. Building movements, adjustments in square footage, and changes in the architecture will be allowed as long as the final buildings: (1) meet the general intent of the layout; (2) meet the general intent of the elevations; (3) comply with the below Design Guidelines; (4) use the colors and materials identified on the Color and Materials Palette; (5) provide code required parking stalls; and (6) meet building setbacks as required by the City's Zoning Ordinance or as otherwise identified in this PAD. Actual building footprints within lot's developable area shall be determined administratively through the Final Development Plan approval processes.

B. Design Guidelines

To ensure the future buildings are designed consistent with the expectations set forth in the PDP, Core5 proposes the following design guidelines. These design guidelines are intended to create a cohesive, attractive, and appropriate architectural statement. The guidelines provided in this document are not absolute, but are general statements aimed at setting forth the design expectations:

- All elevations should maintain the same visual integrity, cohesiveness, and design detail.

- All designs should be textural and consider the use of multiple heights, wall planes, masses, and exterior materials along with natural elements, and complementing colors and texture.
- All building facades should incorporate elements of the elevations approved in this PDP. Where buildings might expand simple relief may be used by including various types of architectural techniques such as an EIFS relief, a wainscot system, change in material or color on the surface that will be expanded (where one building plane meets another a change in material or color will add interest).
- Buildings should be designed to respond to the harsh southwest climate and oriented to recognize the value of appropriate landscaping and cooling requirements in harmony with the environment.
- Human scale massing and proportions should complement the buildings' function and the design should be harmonious with adjoining developments.
- Canopies, arcades, and overhangs should be designed to create places of refuge for pedestrians and to create interest within the building design.
- Landscape buffers will be designed for the street edges and to emphasize the points of entry into the development.
- Identify internal crosswalks with changes in paving materials, signs, or paint striping.
- Service entrances and loading docks should be located to mitigate their visual impact and not interfere with the circulation of service vehicles.

The design of the future employment buildings may be administratively approved by Staff upon a finding that the proposed elevations are substantially consistent with the Design Guidelines. A PDP will need to be processed for the design and layout of the Commercial pad.

C. Landscaping

The overall landscape theme incorporates low water use, regionally appropriate plant material that is suitable for the Sonoran Desert to create an attractive experience for those who work at Schrader Farms BP as well as those travelling along McQueen Road and Queen Creek Road. ***See Exhibit 2, Queen Creek Road Perspective.*** The design has a hierarchy of plant material at entries and nodes as well as other hybrid plant material that leads one into the site down the main boulevards. ***See Exhibit 4, Landscape Plan.*** The design and materials create a sense of place within the Site, while adding a fresh approach to a timeless desert environment for the surrounding communities. The landscaping theme draws from the lush desert look and feel of an adapted Sonoran landscape tempered for the Arizona climate through the use of drought tolerant elements. Trees will be appropriately placed along the public streets to create a visually pleasing experience for vehicles and pedestrians. The street frontages will additionally contain large massings of colorful shrubs and accents. ***See Exhibit 5, Arterial Street Enlargements.*** All of the plant species proposed adhere to the Arizona Department of Water Resources, "Low Water Use Plant List" in order to incorporate native and hybrid arid region vegetation into the landscape. All of the landscape within the boundary of the Site will be watered on an automatic drip irrigation system.

D. Walls and Entry Monumentation

Proper screening of the parking areas will be accomplished through earthen berms and decorative walls that have been designed to complement the building and utilizing varying colors and textures arranged in an attractive design. *See Exhibit 8, Screen Wall Plan and Elevations.*

E. Development Standards

Core5 is proposing the following development standards:

Regulation	Development Standard
Building Height (max.)	50 ft., inclusive of parapet walls, mechanical equipment, and screening
Building Setback (min.)	
- Front (Queen Creek Rd.)	30 ft.
- Side (McQueen Rd.)	20 ft.
- Side (west)	20 ft.
- Rear (north)	20 ft.
Landscape Setback (min.)	
- Front (Queen Creek Rd.)	30 ft.
- Side (McQueen Rd.)	20 ft.
- Side (west)	20 ft.
- Rear (north)	20 ft.
Lot Coverage (max.)	55 %
Perimeter Parking Screen Wall Height (max.)	4 ft.
Interior Wall Height (max.)	16 ft.
Additional Standards: Landscape Setback Queen Creek Road and Hamilton Road -- 50 ft. x 250 ft. along Queen Creek Road -- 30 ft. x 100 ft. along Hamilton Road McQueen Road and future collector street -- 50 ft. x 100 ft. along McQueen Road -- 30 ft. x 100 ft. along future collector street	

F. Circulation

Schrader BP has been planned to ensure efficient on-site circulation and appropriate access to the public street system surrounding the Site. Access to Site will occur as follows:

- Three driveways along McQueen Road (east), four driveways along Queen Creek Road (south), three driveways along the future collector ½ street (north), and two along the future Hamilton Street ½ street (west).
- McQueen Road is an arterial street with three lanes in each direction, a center median, bike lanes, and sidewalks contained within an approximately 130 feet right-of-way.
- Queen Creek Road is also an arterial street with three lanes in each direction, a center median, bike lanes, and sidewalks contained within an approximately 160 feet right-of-way.

- The future collector ½ street (north) and Hamilton Street ½ street (west) will have one lane of traffic in each direction and sidewalks within an approximately 33 feet right-of-way.

The surrounding regional roadway network includes Arizona Avenue (SR-87), Germann Road, and the Loop 202 San Tan Freeway.

G. Parking

The proposed parking provides a total of 1,592 spaces where 946 are required for a parking rating of 1.78 spaces per 1,000 square feet. *See Exhibit 3, Conceptual Site Plan.* The additional parking spaces allow Core5 to attract a variety of employment users, such as high-tech advanced manufacturing with high wage employees. The additional parking also allows Core5 greater flexibility to meet the demands of future tenants with higher numbers of employees than has historically been considered for these types of employment uses.

V. CORE5 CORPORATE BACKGROUND

Core5 is a national owner, developer and manager of prestigious commercial real estate properties. The company's capabilities are broad, having been applied to an array of real estate developments, including corporate headquarters, landmark properties, multi-use complexes, multinational distribution facilities, mixed-use suburban business parks, and foreign trade zones. Core5 currently has properties in ten different states with over 14,000,000 square feet of employment developments in various stages of development and approximately 3,700,000 square feet under management.

VI. MISCELLANEOUS

A. Comprehensive Sign Plan

The *Comprehensive Sign Plan* is attached as *Exhibit 11*.

B. Grading and Drainage

The *Conceptual Grading and Drainage Plan* is attached as *Exhibit 10*. Development of the Site will provide retention for the 100-year, 2-hour storm event plus 10% in accordance with City of Chandler standards for site development.

C. Utilities

The onsite water, fire and sewer lines will be private, complying with the City's requirements. These lines will be serviced by the existing and proposed public water and public sewer lines within the adjacent public streets.

D. Phasing

The employment buildings within Schrader Farms BP are preliminarily anticipated developing in two different phases as illustrated on the *Phasing Plan* included at *Exhibit 11*. Development of the future commercial pad will be a separate phase that is not connected to the employment buildings. Improvements to the future commercial pad, including the arterial street frontage, will be made by the commercial developer. Deviations from the proposed phasing schedule may be administratively approved by Staff.

VII. PRELIMINARY PLAT

The *Preliminary Plat* is attached as *Exhibit 12*.

VIII. PROJECT TEAM

Owner/Builder:	Core5 Schrader Farms BP, LLC Attn: Jon Kelly 300 Spectrum Center Drive, Suite 880 Irvine, California 92618 Phone: (949) 467-3290
Architect:	Deutsch Architecture Group Attn: Randy Hilleboe David Calcaterra 4600 East Indian School Road Phoenix, Arizona 85018 Phone: (602) 840-2929
Landscape Architect:	G.K. Flanagan Associates, Inc. Attn: Justin Meyer 4626 North 44 th Street Phoenix, Arizona 85018 Phone: (602) 912-9691
Civil Engineer:	Hunter Engineering Attn: Larry Talbott 10450 North 74 th Street, Suite 200 Scottsdale, Arizona 85258 Phone: (480) 991-3985
Traffic Engineer:	CivTech Attn: Dawn Cartier 8590 East Shea Boulevard, Suite 130 Scottsdale, Arizona 85260 Phone: (480) 659-4250
Zoning:	Burch & Cracchiolo, P.A. Attn: Brennan Ray 1850 North Central Avenue, 17 th Floor Phoenix, Arizona 85004 Phone: (602) 234-8794

IX. CONCLUSION

Schrader Farms Business Park is a high-quality, exciting employment and commercial mixed-use development that will complement the surrounding area and provide a recognizable presence in the rapidly developing employment area. The development presents the opportunity to create a business park with a variety of compatible and supportive uses. The development will provide a strong base for attracting employment-based businesses. We request your approval.

Core5 Schrader Farms BP, LLC



ARIZONA AVE.

McQUEEN RD.

COOPER RD.

LOOP 202

GERMANN RD.

QUEEN CREEK RD.

SUBJECT SITE

CHANDLER MUNICIPAL AIRPORT

CITY OF CHANDLER
SOLID WASTE
SERVICES

E Queen Creek Rd

E Appleby Rd

S Diamond Dr
S Adams Ave

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT LEADS TO MORE DETAILED DRAWINGS. BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



SCHRADLER FARMS BUSINESS PARK
AERIAL
1/18/2020
5/13/2020





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SITE DATA						
PARCEL NUMBERS	GROSS AREA			NET AREA		
30-13-000C, 30-13-00A	S.F.	ACRES	S.F.	ACRES		
PHASE 1	1,528,823	35.3	1,568,863	35.7		
PHASE 2	1,750,419	40.0	1,573,903	36.2		
COMMERCIAL PARCEL	216,545	4.9	150,545	3.4		
OVERALL	3,495,588	80.2	3,293,310	75.1		
STREETS	PROPOSED LANDSCAPE			PROPOSED BUILDING		
PRIVATE DRIVE	26'			26'		
MACQUEEN RD	26'			26'		
QUEEN CREEK RD	26'			26'		
HAMILTON RD	26'			26'		
ZONING DATA						
CURRENT ZONING			PROPOSED ZONING			
AG-1			PAD			
BUILDING DATA						
BUILDING A	AREA	NET		GROSS		BUILDING HEIGHT
		FOOT	PERCENT	FOOT	PERCENT	
BUILDING A	91,806	28%	23%	SF MAX.		
BUILDING B	172,045	33%	29%	SF MAX.		
BUILDING C	185,914	32%	31%	SF MAX.		
BUILDING D	122,628	32%	29%	SF MAX.		
BUILDING E	114,528	31%	27%	SF MAX.		
BUILDING F	277,688	33%	31%	SF MAX.		
OVERALL	959,309	31%	27%	SF MAX.		
PARKING CALCULATION						
BUILDING A	REQUIRED	PROVIDED	AREA REQUIRED	AREA PROVIDED	RATIO	
					FOOT	PERCENT
BUILDING A	92	115	5	6	1.32:100%	
BUILDING B	172	330	7	8	1.96:100%	
BUILDING C	186	241	7	8	1.95:100%	
BUILDING D	133	239	7	8	2.01:100%	
BUILDING E	113	261	7	8	2.42:100%	
BUILDING F	278	399	6	12	1.48:100%	
OVERALL	955	1,582	43	50	1.78:100%	

THE PROPOSED PROJECT CONSISTS OF A MULTI-PHASE BUSINESS CENTER LOCATED ON APPROXIMATELY 70 ACRES AT THE NORTHWEST CORNER OF QUEEN CREEK ROAD AND MCQUEEN ROAD IN CHANDLER, ARIZONA. THE MASTER PLANNED DEVELOPMENT WILL CONSIST OF APPROXIMATELY SIX BUILDINGS DESIGNED FOR A WIDE VARIETY OF USES CONSISTENT WITH THE CHANDLER AIRPARK AREA PLAN

<u>OWNER:</u>	<u>ARCHITECT:</u>	<u>GENERAL CONTRACTOR:</u>
303 SPECTRUM FARMS RD, LLC 300 SPECTRUM CENTER DR SUITE 100 CHESA BORE PH: (948) 471-3230 FAX: (948) 471-3230 CONTACT: JON KELLY	DEUTSCH ARCHITECT GROUP 4600 N. JACOBO RD. PHOENIX, AZ 85018 PH: (602) 960-2000 x164 E-MAIL: PH416160@G2S2.COM CONTACT: RANDY HOLEMAN	NITTI BUILDERS, LLC 1000 N. CHAM FOUNTAIN SUITE 100 PHOENIX, AZ 85016 PH: (602) 424-8051 CONTACT: BAYN HUNTS E-MAIL: PH417770@NITTI.COM CONTACT: RAYD DAVIS
<u>UNDER ENGINEER:</u>		<u>LANDSCAPE ARCHITECT:</u>
HUNTER ENGINEERING 1000 N. CHAM FOUNTAIN SUITE 200 SCOTTSDALE, AZ 85258 PH: (602) 992-9200 E-MAIL: TLABOUT@HUNTERENGINEERING.COM CONTACT: JESSIE HUNT		G.K. PANANAN ASSOCIATES 4050 N. 44TH STREET PHOENIX, AZ 85018 PHONE: (602) 922-9955 E-MAIL: GKPANANAN@ASSOCIATES.CO CONTACT: JESSIE HUNT

CITY OF CHANDLER
RECYCLING - SOLID
WASTE COLLECTION
CENTER

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CANARY WAY

MCQUEEN ROAD

QUEEN CREEK ROAD



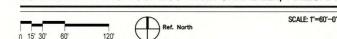
PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QUANTITY	SHRUBS	QUANTITY
PHOENIX DACTYLIFFERA	25' HEIGHT / 10 QTY /	LEUCOPHYLLUM LAMCANGIAE	5 GAL / 1,325 QTY
DATE PALM	DIAMOND CUT /	RIO BRAVO SAGE	5 GAL / 118 QTY
	MATCHED	SENNA ARTEMISIODIES	
		FEATHERY CASSIA	
CERCIDIMUM PRAECOX 'AZT HYBRID'	36" BOX / 144 QTY /	LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL / 761 QTY
AZT HYBRID PALO BREA	2" CAL / 9" H x 6" W	CINERARIA SAGE	5 GAL / 331 QTY
	LOW BREAKING /	HEPESALOE PARVIFLORA	5 GAL / 641 QTY
	MATCHED	RED YUCCA	
PROSPERIS 'AZT PODLESS HYBRID'	24" BOX / 312 QTY /	RUELLIA PENINSULARIS	5 GAL / 924 QTY
AZT PODLESS MESQUITE	1" CAL / 9" H x 7" W	BAJA RUELLIA	
	LOW BREAKING /	OLEA EUROPAEA 'LITTLE OLLIE'	
	MATCHED	LITTLE OLLIE OLIVE	
PISTACIA CHINENSIS 'RED PUSH'	24" BOX / 73 QTY /		
RED PUSH PISTACHE	1" CAL / 9" H x 3" W /		
	LOW BREAKING /		
	MATCHED		
ULMUS PARVIFOLIA	24" BOX / 72 QTY /		
EVERGREEN ELM	1" CAL / 7" H x 3" W /		
	LOW BREAKING /		
	MATCHED		
PISTACIA LENTISCUSS	24" BOX / 71 QTY /		
MASTIC TREE	1" CAL / 7" H x 3" W /		
	LOW BREAKING /		
	MATCHED		

NOTE:
ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

GROUNDCOVER	QUANTITY
A LANTANA 'NEW GOLD'	1 GAL, 3" O.C. 1,155 QTY
B TRAILING YELLOW LANTANA	1 GAL, 4" O.C. 1,155 QTY
C ERENOMPHILA GLABRA	2,765 QTY
D OUTBACK SUNRISE ERM	1 GAL, 3" O.C. 1,155 QTY
E ROSMARINUS 'HUNTINGTON CARPET'	1 GAL, 4" O.C. 1,155 QTY
F JUSTICIA CALIFORNICA	1 GAL, 4" O.C. 1,155 QTY
G CHUPAROSA	1 GAL, 3" O.C. 1,155 QTY
H ACACIA NEOLENS 'DESERT CARPET'	1 GAL, 3" O.C. 1,155 QTY
I TRAILING ACACIA	1 GAL, 3" O.C. 1,155 QTY
J ERICAMERIA LARGIFOLIA 'AGURSE'	1 GAL, 3" O.C. 1,155 QTY
K TURBINTINE	1 GAL, 3" O.C. 1,155 QTY
L LANTANA MONTEVIDENSIS 'PURPLE'	1 GAL, 3" O.C. 1,155 QTY
M PURPLE LANTANA	1 GAL, 4" O.C. 1,155 QTY
N ERENOMPHILA CARNOSEA	1 GAL, 4" O.C. 1,155 QTY
O WINTER BLAZE ERM	1 GAL, 4" O.C. 1,155 QTY
P DECOMPOSED GRANITE	12" MINUS 2" DEPTH 1" SCREENED 4" DEPTH
Q GOLD COLOR AS SELECTED	
R FRACTURED GRANITE	
S BROWN COLOR AS SELECTED	

SCHRADER FARMS BUSINESS PARK CHANDLER, ARIZONA



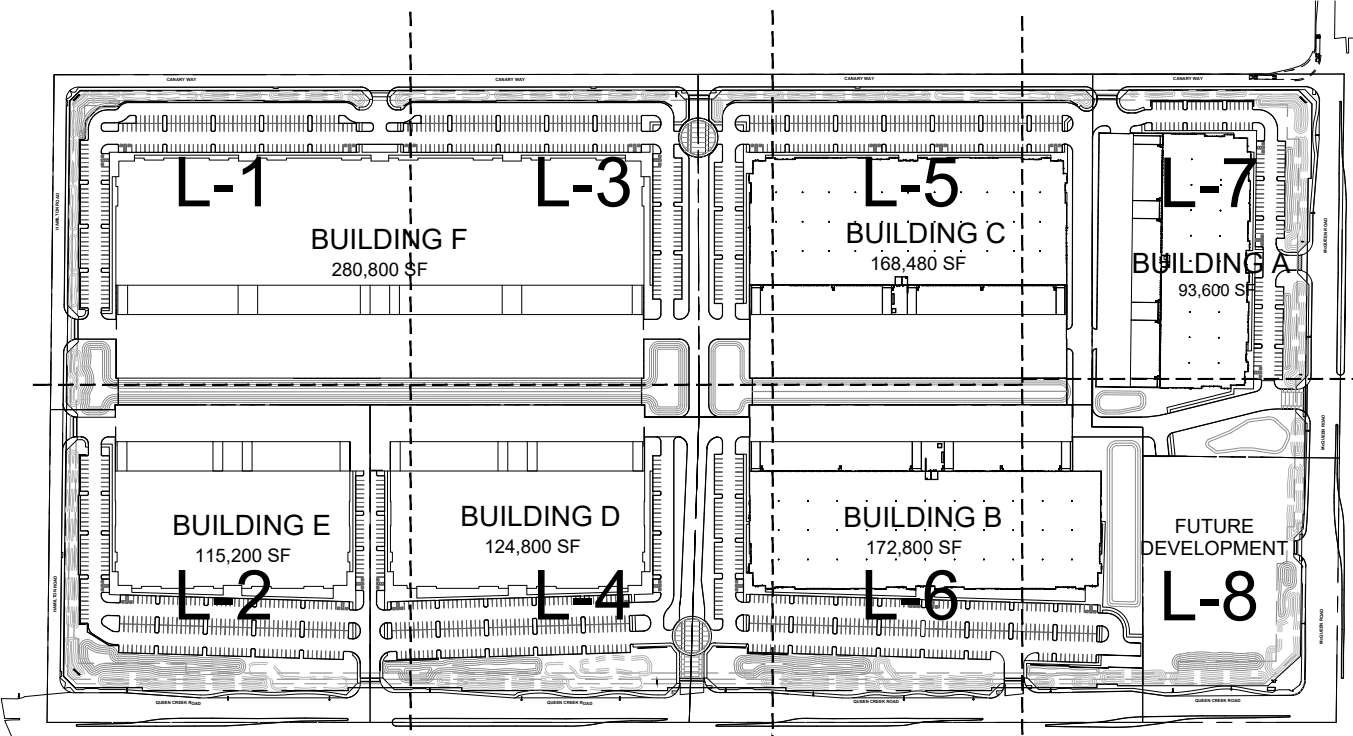


SCHRAEDER FARMS BUSINESS PARK
NW 1/4 SECTION 10 AND QUENY CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.912.1881
602.912.1881



revision: _____
date: 06.10.2021
created: PLANTING PLAN
sheet no. L-0



LANDSCAPE COVER SHEET

SCALE: NTS
Ref. North

GENERAL NOTES

1. ALL PLANTING AREAS TO HAVE DECOMPOSED GRANITE, SIZE AND COLOR AS CALLED FOR ON PLANS, 2" THICK, TYP. GRANITE EXPRESS OR EQUAL, APPLIED OVER PRE-EMERGET, PRE MFG. SPECS, 2 APPLICATIONS MIN.
2. VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION, IN WRITING.
3. NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
4. LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
5. LANDSCAPE ARCHITECT OR HIS REP RESERVE THE RIGHT TO REFUSE ANY PLANT MATERIAL HE/ SHE DEEMS UNACCEPTABLE.
6. FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DWGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
8. PLANT LIST/ QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANTS TAKE PRECEDENCE.
9. FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1 1/2" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
10. GROUND COVER AND/ OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
11. ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
12. ALL UNDERGROUND CONDUITS/ PIPES/ UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
13. ALL MATERIAL TO BE GUARANTEED PER WARRANTY.
14. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
15. ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

CITY OF CHANDLER NOTES

1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. NO OBSTRUCTIONS TO VIEW SHALL BE ERRECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA. ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT OF 6' ABOVE CURB ELEVATION. ALL SHRUBS IN THIS AREA MAY NOT REACH A MATURE HEIGHT OVER 24".
3. ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
4. TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
5. ALL PLANT MATERIALS SHALL BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN.
6. PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY HEIGHT OF 5'.
7. ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NON-LIVING MATERIALS (E.G. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH, ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES.
8. TREES MUST BE PLANTED A MINIMUM OF 5' FROM SIDEWALKS AND PUBLIC ACCESS WAYS. SHRUBS MUST BE AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, FIV, OR FOC.
9. ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR IN COMPLIANCE WITH THE ZONING CODE.
10. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED AND OR CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/ PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
11. ALL TRANSFORMER BOXES, METER PANELS, ELECTRICAL EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
12. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTALS AND PERMITS.

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/ QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDIMUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED

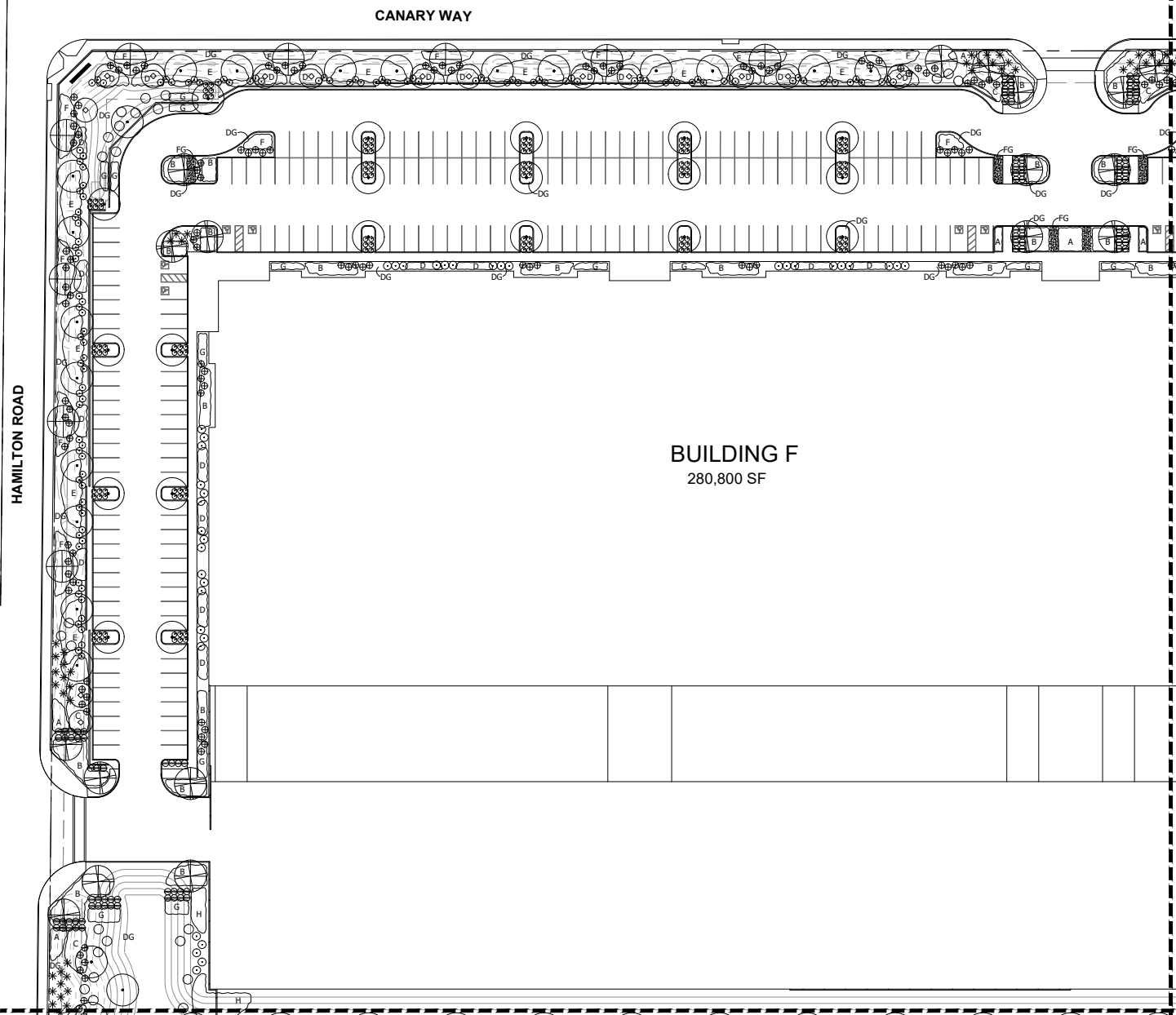
NOTE:
ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

SHRUBS

LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUCELLIA PENINSULARIS BAJA RUCELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY

GROUND COVER

LANTANA 'NEW GOLD'	1 GAL, 3' O.C. 1,105 QTY
TRAILING YELLOW LANTANA	1 GAL, 4' O.C. 2,765 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 3' O.C. 1,566 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 4' O.C. 1,867 QTY
JUSTITIA CALIFORNICA CHUPAROSA	1 GAL, 5' O.C. 1,653 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	5 GAL, 5' O.C. 1,367 QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 3' O.C. 991 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 4' O.C. 1,100 QTY
EREMOPHILA CARROSA WINTER BLAZE EMU	1/2" MINUS 2" DEPTH
DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1" - 3" SCREENED 4" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY/ DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 5' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED

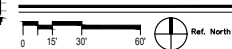
NOTE:
ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

SHRUBS	SIZE/COMMENTS/QTY
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CHARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY

GROUNDCOVER	SIZE/COMMENTS/QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL, 3" O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4" O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 5" O.C. 1,566 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4" O.C. 1,867 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5" O.C. 1,653 QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5" O.C. 1,367 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3" O.C. 991 QTY
EREMOPHILA CARNOSA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

MATCHLINE SHEET L-3

PLANTING PLAN



SCALE 1"=60'-0"

SCHRAEDER FARMS BUSINESS PARK
NW 1/4 CORNER AND QUINN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4828 N. 44TH STREET PHOENIX, AZ 85018
602.912.8811
602.912.8811



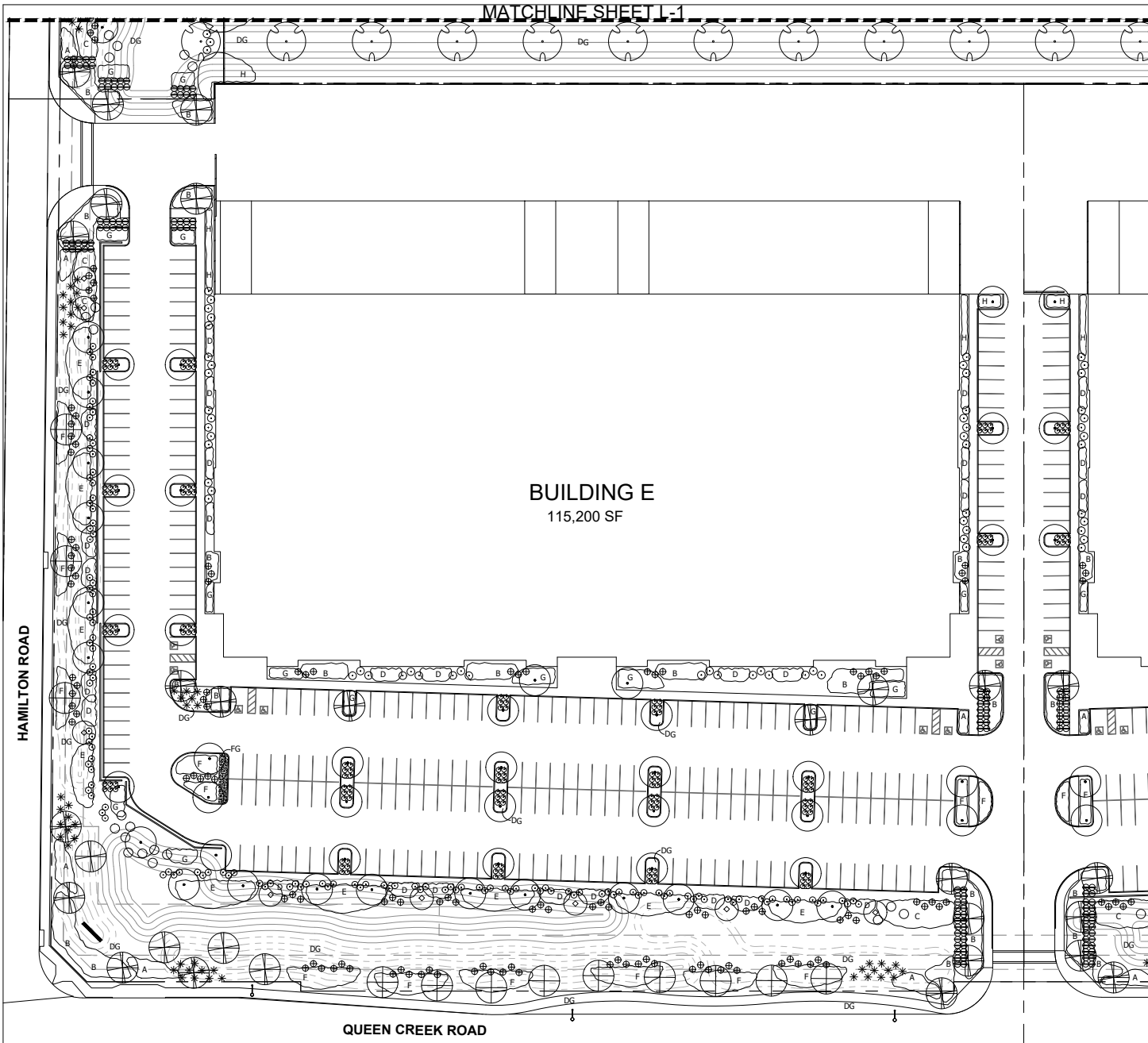
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date: 06.10.2021

contents: PLANTING PLAN

sheet no.

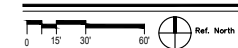
L-1



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QT
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY/ DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
NOTE: ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.	
SHRUBS	
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SEMPERVIVENS FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY
GROUND COVER	
LANTANA 'NEW GOLD'	1 GAL, 3" O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4" O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3" O.C. 1,566 QTY
JUSTITIA CALIFORNICA CHUPAROSA	1 GAL, 4" O.C. 1,867 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5" O.C. 1,653 QTY
ERICACERARIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5" O.C. 1,367 QTY
LANTANA MONTEVIDEENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3" O.C. 991 QTY
EREMOPHILA CARINOSA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"

SCHRAEDER FARMS BUSINESS PARK

NWC MCQUEEN AND QUEEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.912.8811
602.912.8815



revision

date: 06.10.2021

contents: PLANTING PLAN

sheet no.

L-2

MATCHLINE SHEET L-1

CANARY WAY

MONUMENT
SIGNAGE TYP.ENHANCED
PAVING TYP.BUILDING F
280,800 SF

MATCHLINE SHEET L-4

MATCHLINE SHEET L-5

PROPOSED PLANT PALETTE

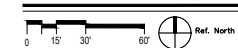
TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
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PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED

NOTE:
ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE
ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

SHRUBS	
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUPELLIA PENINSULARIS BAJA RUPELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY

GROUND COVER	
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL. 3" O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL. 4" O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL. 3" O.C. 1,566 QTY
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LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL. 3" O.C. 991 QTY
EREMOPHILA CARNOSEA WINTER BLAZE EMU	1 GAL. 4" O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"



SCHRADER FARMS BUSINESS PARK
NWC MCQUEEN AND QUEEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1410 N. 44TH STREET PHOENIX, AZ 85018
602.912.1111
602.912.1111



revision

date: 06.10.2021

contents: PLANTING PLAN

sheet no.

L-3

MATCHLINE SHEET L-2

MATCHLINE SHEET L-3

BUILDING D
124,800 SF

QUEEN CREEK ROAD

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDIUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
NOTE: ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.	
SHRUBS	
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY
GROUND COVER	
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL, 3" O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4" O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3" O.C. 1,566 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4" O.C. 1,867 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5" O.C. 1,653 QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5" O.C. 1,367 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3" O.C. 991 QTY
EREMOPHILA CARNOSEA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"

SCHRAEDER FARMS BUSINESS PARK
NW 1/4 SECTION 10 AND QUINN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.912.1881
602.912.1885



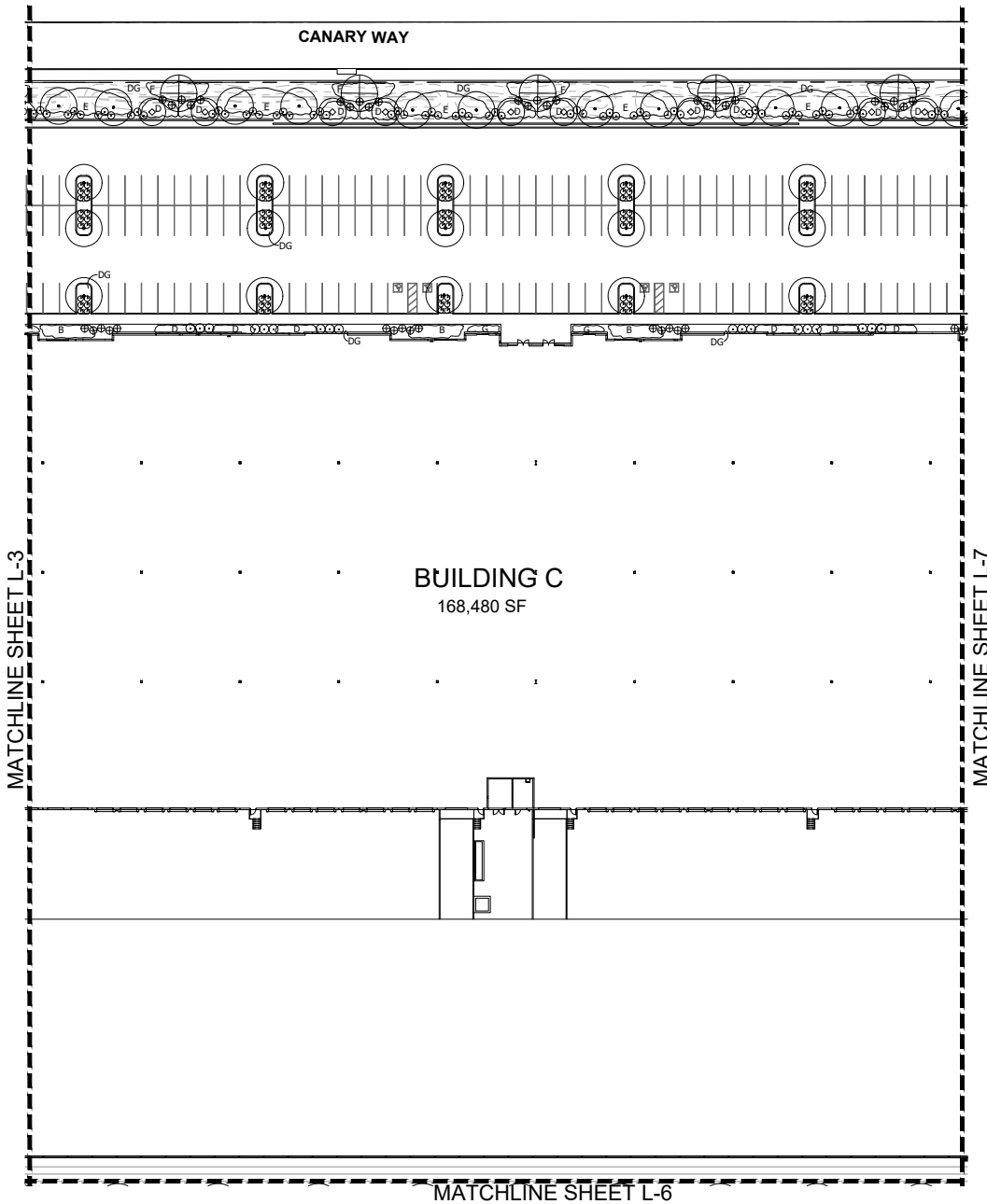
revisions

date: 06.10.2021

contents: PLANTING PLAN

sheet no.

L-4



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
NOTE: ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.	
SHRUBS	
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY
GROUND COVER	
A LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL, 3" O.C. 1,105 QTY
B EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4" O.C. 2,765 QTY
C ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3" O.C. 1,566 QTY
D JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4" O.C. 1,867 QTY
E ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5" O.C. 1,653 QTY
F ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5" O.C. 1,367 QTY
G LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3" O.C. 991 QTY
H EREMOPHILA CARNOSEA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"

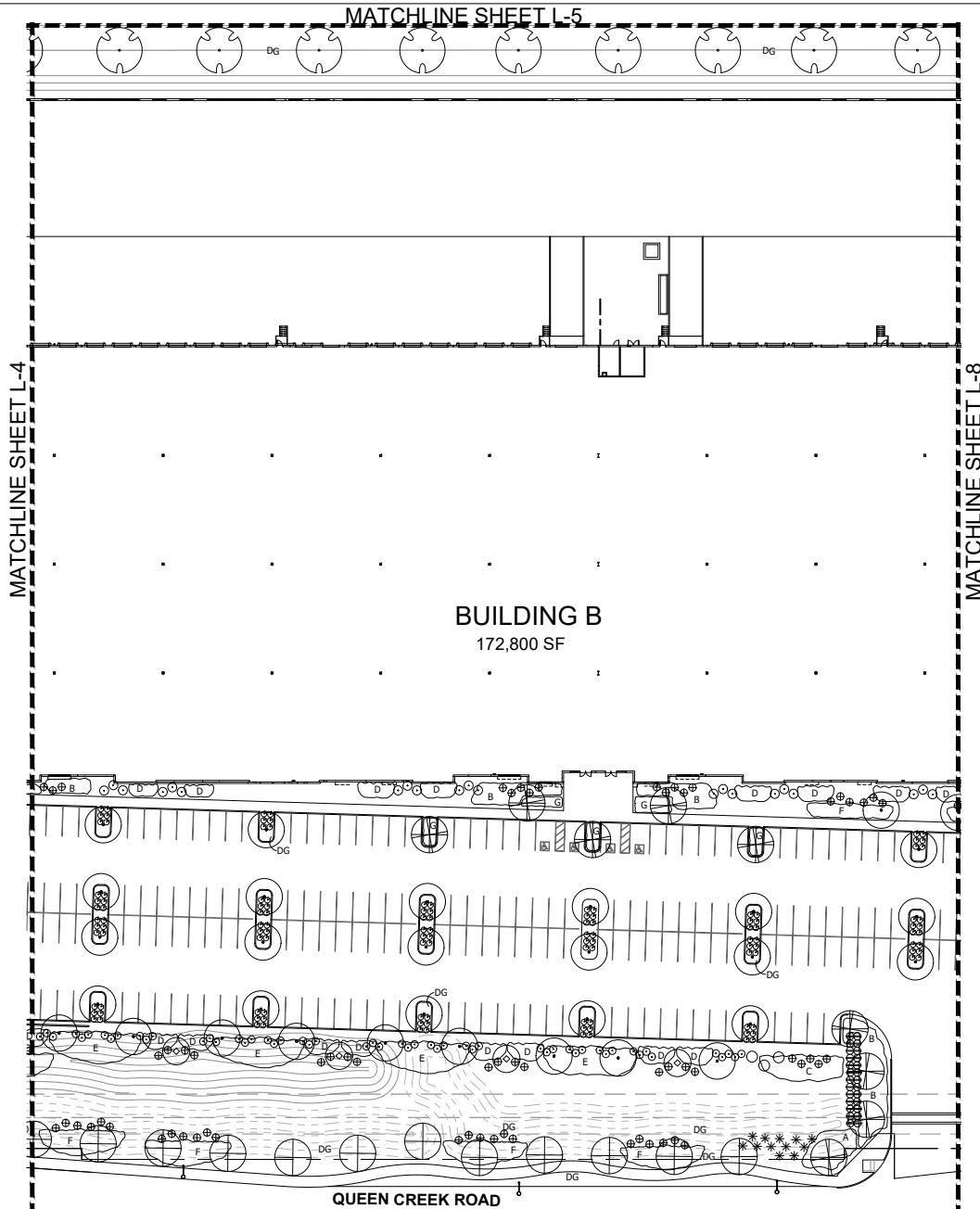
SCHRAEDER FARMS BUSINESS PARK
NW 1/4 McQUEEN AND QUEEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.812.1881
602.812.1881



revision:

date: 06.10.2021
contents: PLANTING PLAN
sheet no. L-5



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/ QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
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NOTE:
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ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

SHRUBS	SIZE/COMMENTS/ QTY
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
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HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUPELLIA PENINSULARIS BAJA RUPELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY

GROUND COVER	SIZE/COMMENTS/ QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL, 3" O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4" O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3" O.C. 1,566 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4" O.C. 1,867 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5" O.C. 1,653 QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5" O.C. 1,367 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3" O.C. 991 QTY
EREMOPHILA CARNOSA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"

SCHRAEDER FARMS BUSINESS PARK
NW 1/4 SECTION 10 AND QUEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.912.1881
602.912.1882



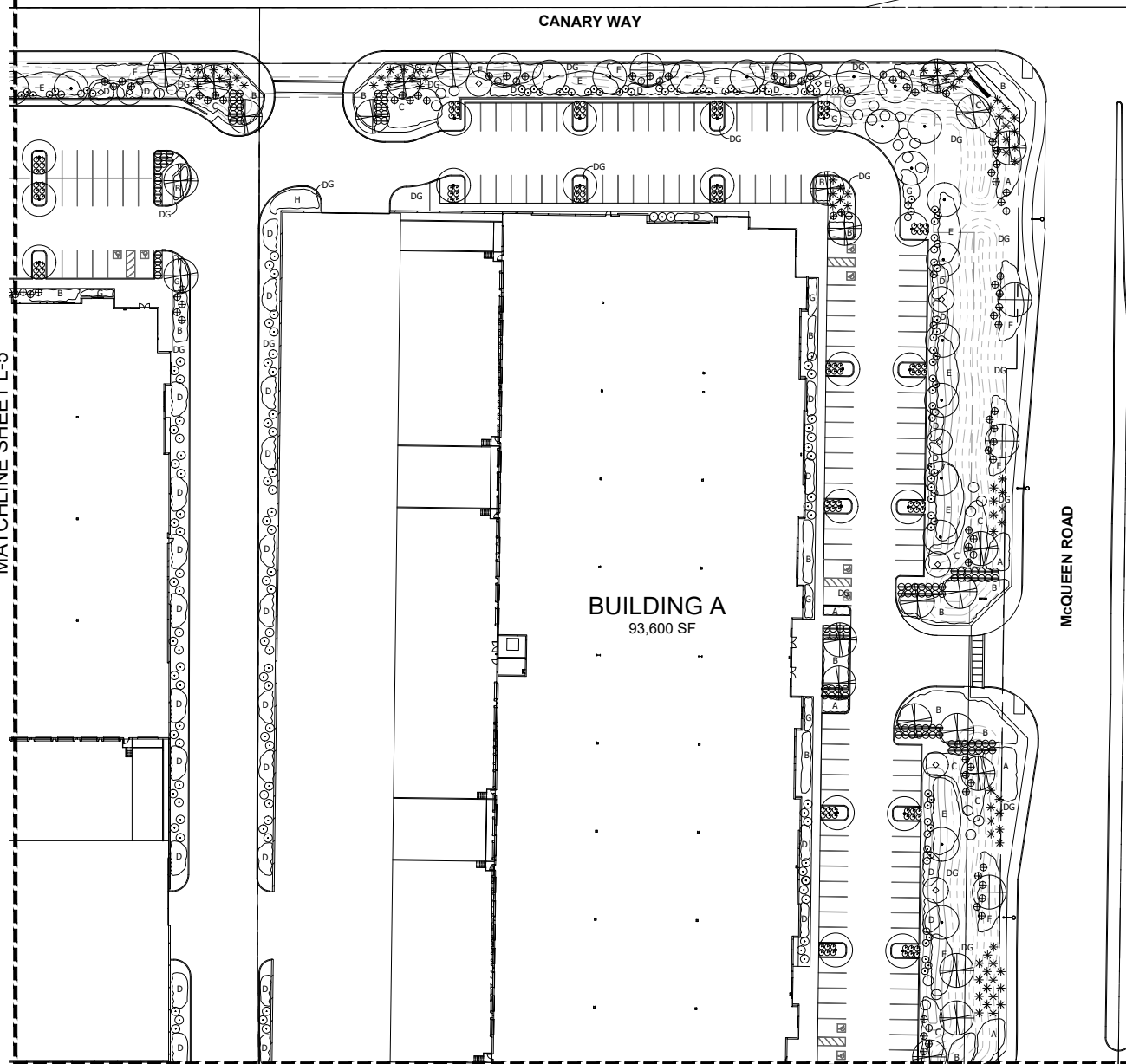
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date: 06.10.2021

contents: PLANTING PLAN

sheet no. L-6

MATCHLINE SHEET L-5



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDIUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREIA	36" BOX / 144 QTY / 2" CAL / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL / 7' H x 3' W / LOW BREAKING / MATCHED

NOTE:
ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE
ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.

SHRUBS

LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY

GROUND COVER

LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL, 3' O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4' O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3' O.C. 1,566 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4' O.C. 1,867 QTY
ACACIA REDDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5' O.C. 1,653 QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5' O.C. 1,367 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3' O.C. 991 QTY
EREMOPHILA CARNOSA WINTER BLAZE EMU	1 GAL, 4' O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



SCALE 1"=60'-0"

SCHRAMER FARMS BUSINESS PARK
NWC MCQUEEN AND QUEEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4828 N. 44TH STREET PHOENIX, AZ 85018
602.812.8881
602.812.8881



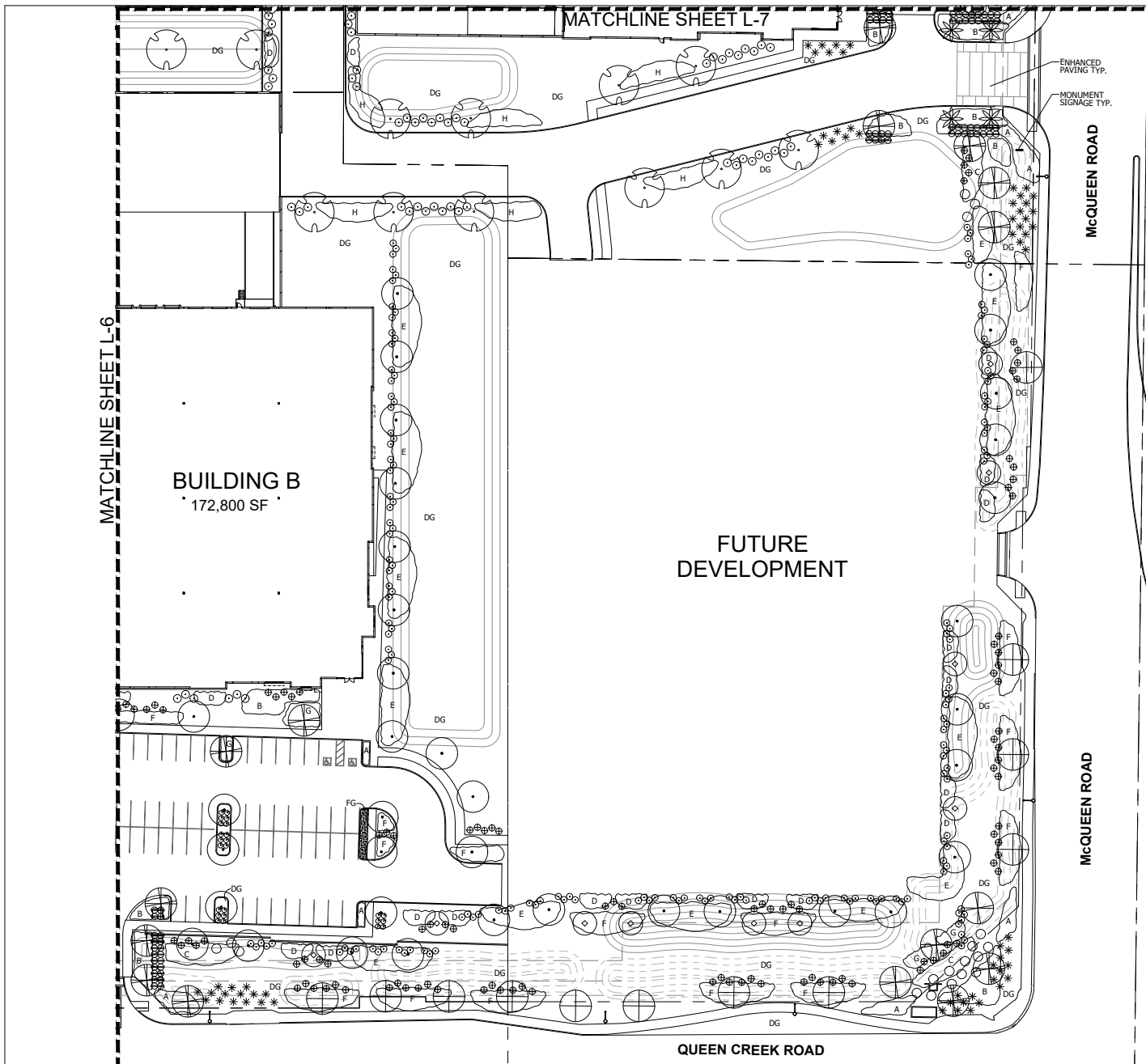
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date: 06.10.2021

content: PLANTING PLAN

sheet no.

L-7



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY/ DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
PROSOPIS 'AZT PODLESS HYBRID' AZT PODLESS MESQUITE	24" BOX / 302 QTY / 1" CAL. / 9' H x 7' W LOW BREAKING / MATCHED
PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCUS MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
NOTE: ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.	
SHRUBS	
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL / 1,325 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 118 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL / 761 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 331 QTY
RUELLIA PENDULARIS BAJA RUELLIA	5 GAL / 641 QTY
OLEA EUROPAEA 'LITTLE' OLLIE' LITTLE OLLIE OLIVE	5 GAL / 924 QTY
GROUNDCOVER	
LANTANA 'NEW GOLD'	1 GAL, 3' O.C. 1,105 QTY
EREMOPHILA GLABRA OUTBACK SUNRISE EMU	1 GAL, 4' O.C. 2,765 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 3' O.C. 1,566 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL, 4' O.C. 1,867 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL, 5' O.C. 1,653 QTY
ERICACERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	5 GAL, 5' O.C. 1,367 QTY
LANTANA MONTEVIDENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 3' O.C. 991 QTY
EREMOPHILA CARNOSEA WINTER BLAZE EMU	1 GAL, 4' O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

PLANTING PLAN



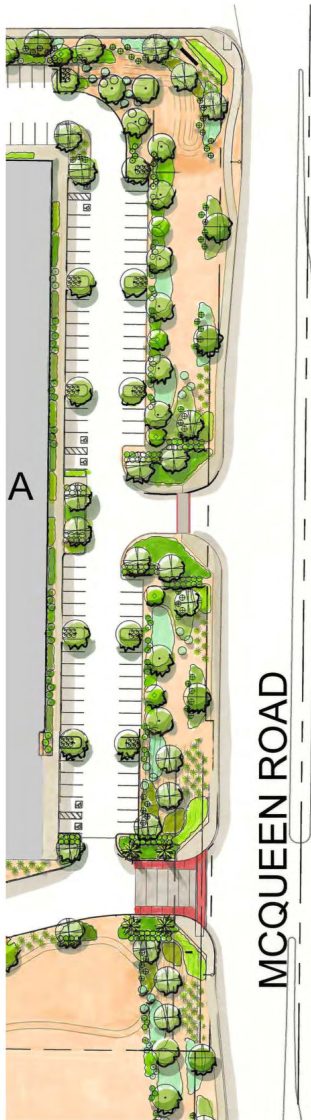
SCALE 1"=60'-0"

SCHRADLER FARMS BUSINESS PARK
NW 1/4 McQUEEN AND QUEEN CREEK ROAD
CHANDLER, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
4838 N. 44TH STREET PHOENIX, AZ 85018
602.912.1111
602.912.1111



revision: _____
date: 06.10.2021
created: PLANTING PLAN
sheet no. L-8



McQueen Road Enlargement

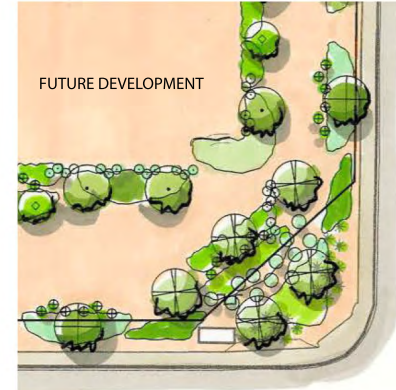


MCQUEEN ROAD



QUEEN CREEK ROAD

QUEEN CREEK RD ENTRY ENLARGEMENT



MCQUEEN ROAD

QUEEN CREEK ROAD

QUEEN CREEK RD / McQUEEN RD ENLARGEMENT



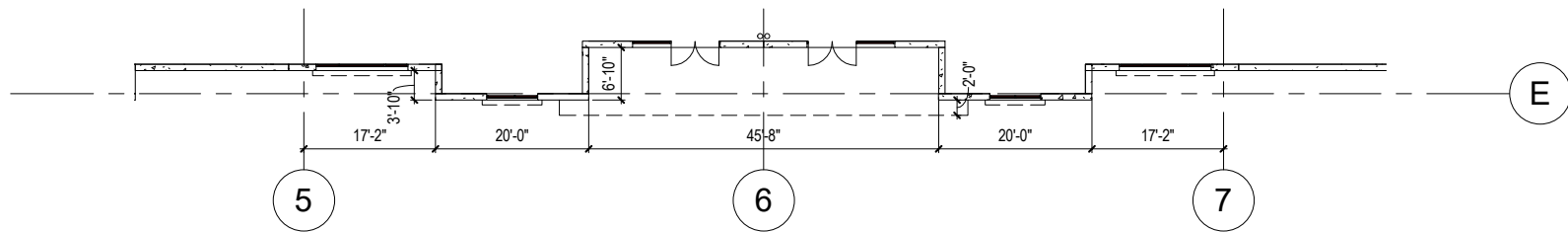
PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
PHOENIX DACTYLIFERA DATE PALM	25' HEIGHT / 10 QTY / DIAMOND CUT / MATCHED
CERCIDILUM PRAECOX 'AZT HYBRID' AZT HYBRID PALO BREA	36" BOX / 144 QTY / 2" CAL. / 9' H x 6' W LOW BREAKING / MATCHED
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PISTACIA CHINEENSIS 'RED PUSH' RED PUSH PISTACHE	24" BOX / 73 QTY / 1" CAL. / 5' H x 3' W / LOW BREAKING / MATCHED
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX / 72 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
PISTACIA LENTISCU MASTIC TREE	24" BOX / 71 QTY / 1" CAL. / 7' H x 3' W / LOW BREAKING / MATCHED
NOTE: ALL TREES ARE TO COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.	
SHRUBS	
LEUCOPHYLLUM LANGMANIAE	5 GAL / 1,325 QTY
RIO BRAVO SAGE	5 GAL / 118 QTY
SENNA ARTEMISIOIDES FEATHERY CASSIA	5 GAL / 761 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CHARRON SAGE	5 GAL / 331 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 641 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL / 924 QTY
OLEA EUROPAEA 'LITTLE OLLIE' LITTLE OLLIE OLIVE	
GROUND COVER	
LANTANA 'NEW GOLD'	1 GAL, 3" O.C. 1,105 QTY
EREMOPHILA GLABRA	1 GAL, 4" O.C. 2,765 QTY
OUTBACK SUNRISE EMU	1 GAL, 3" O.C. 1,566 QTY
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL, 4" O.C. 1,867 QTY
JUSTICIA CALIFORNICA CHUPARROSA	1 GAL, 5" O.C. 1,653 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	5 GAL, 5" O.C. 1,367 QTY
ERICAMERIA LANCEIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 3" O.C. 991 QTY
LANTANA MONTEVIDEENSIS 'PURPLE' PURPLE LANTANA	1 GAL, 4" O.C. 1,100 QTY
EREMOPHILA CARINOSA WINTER BLAZE EMU	1 GAL, 4" O.C. 1,100 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	1/2" MINUS 2" DEPTH
FG FRACTURED GRANITE BROWN COLOR AS SELECTED	1"-3" SCREENED 4" DEPTH

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT USUALLY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION CONTAINED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.

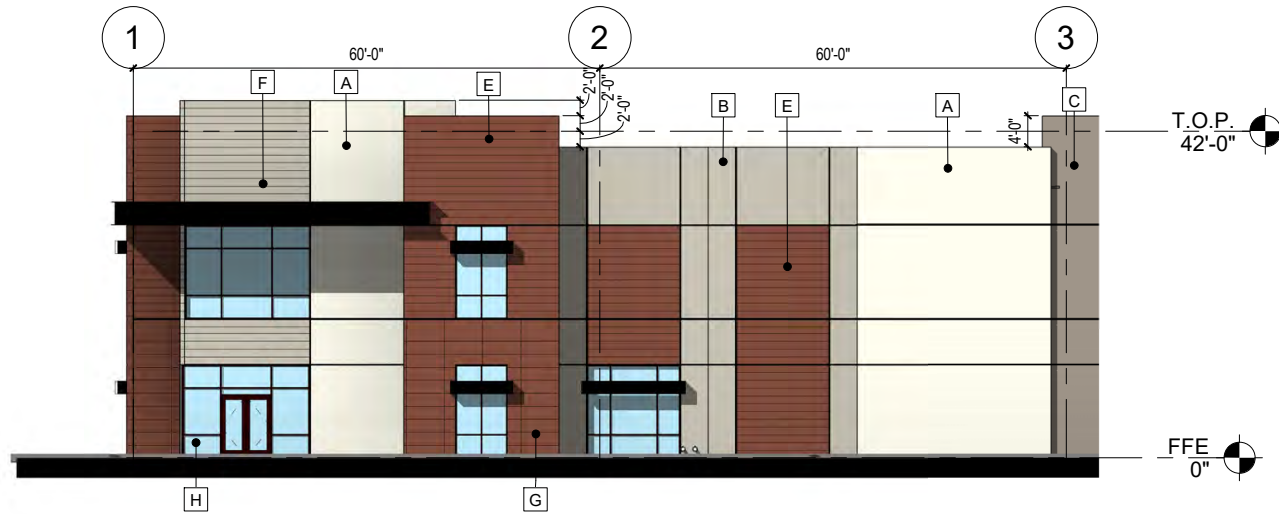


1 EXTERIOR ELEVATION - BUILDING A CENTER ENTRY
SCALE 1/16" = 1'-0"



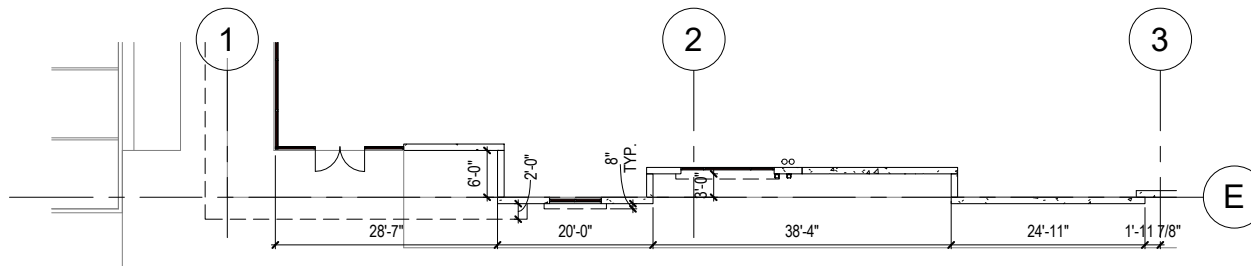
EXTERIOR MATERIAL LEGEND

A DUNN EDWARDS PAINT DET649 CARRARA	E DUNN EDWARDS PAINT DEA156 CHERRY COLA (WITH REVEALS)	J DUNN EDWARDS PAINT DEA156 CHERRY COLA
B DUNN EDWARDS PAINT DE6220 POROUS STONE	F DUNN EDWARDS PAINT DE6220 POROUS STONE (WITH REVEALS)	
C DUNN EDWARDS PAINT DET620 BARNWOOD GRAY	G TILE: DALTILE SLIMLITE "DISTRESSED COPPER" TP48(4), 20x59 STACKBOND PATTERN	
D DUNN EDWARDS PAINT DET620 BARNWOOD GRAY (WITH REVEALS)	H STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG SOLARBAN 70 (2) + OPTIGRAY, IN DARK BRONZE ANODIZED ALUMINUM FRAME	



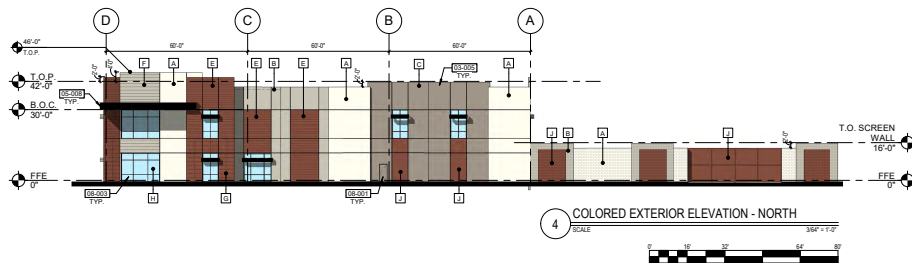
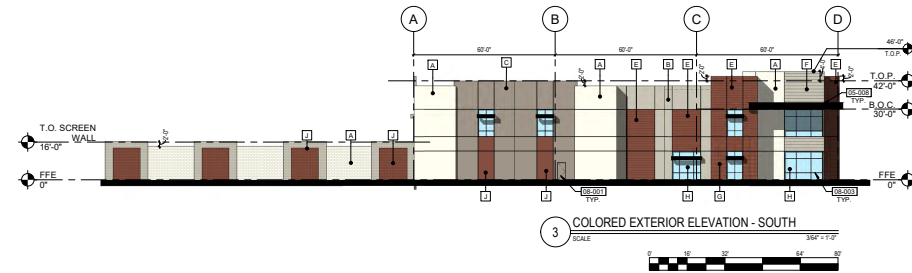
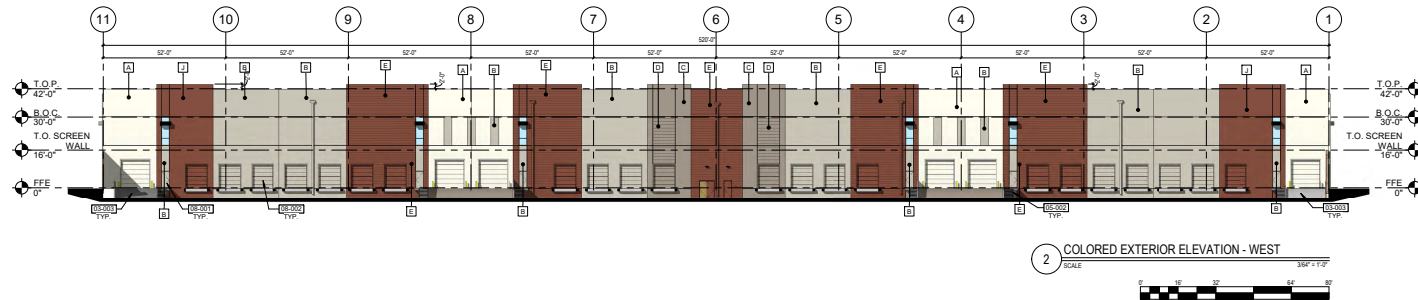
EXTERIOR ELEVATION - BUILDING A CORNER ENTRY

1 SCALE 1/16" = 1'-0"



EXTERIOR MATERIAL LEGEND

A	DUNN EDWARDS PAINT DET649 CARRARA	E	DUNN EDWARDS PAINT DEA156 CHERRY COLA (WITH REVEALS)	J	DUNN EDWARDS PAINT DEA156 CHERRY COLA
B	DUNN EDWARDS PAINT DE6220 POROUS STONE	F	DUNN EDWARDS PAINT DE6220 POROUS STONE (WITH REVEALS)		
C	DUNN EDWARDS PAINT DET620 BARNWOOD GRAY	G	TILE: DAL TILE SLIMLITE "DISTRESSED COPPER" TP48(4), 20x59 STACKBOND PATTERN		
D	DUNN EDWARDS PAINT DET620 BARNWOOD GRAY (WITH REVEALS)	H	STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG SOLARBAN 70 (2) + OPTIGRAY, IN DARK BRONZE ANNOXIDIZED ALUMINUM FRAME		

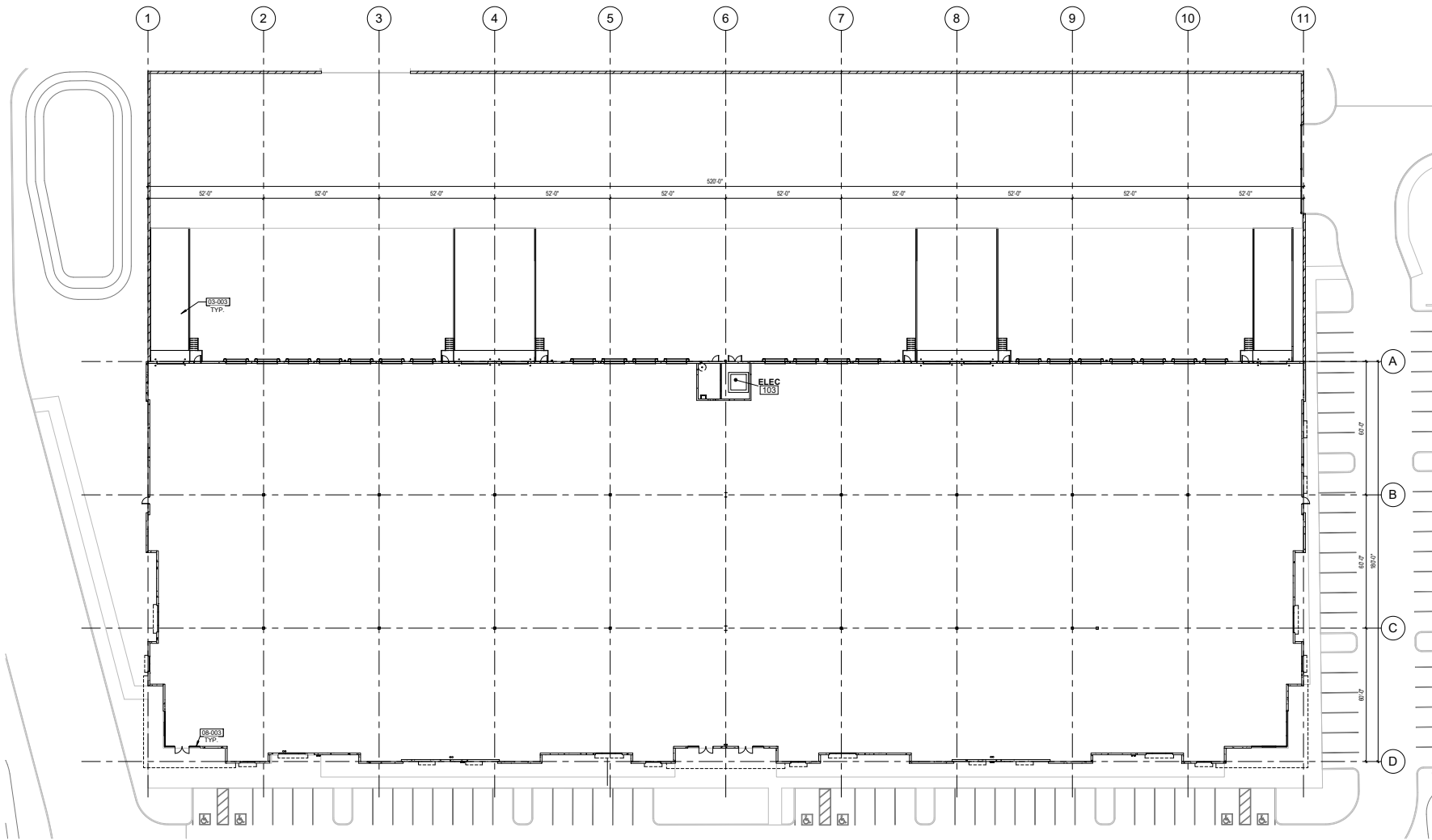


KEYNOTES

IS-80	NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL
IS-85	CONCRETE TILT PANELS WITH VERTICAL AND HORIZONTAL REVEALS - PAINTED
IS-92	METAL STAIRS AND WINDOOR - PAINTED
IS-98	DECORATIVE METAL CANOPY - PAINTED - REFER TO STRUCTURAL
IS-99	POLYURETHANE DOOR AND FRAME - PAINTED
IS-99	OVERHEAD SECTIONAL DOOR - PAINTED
IS-99	DOUBLE-FRAME GLASS STOREFRONT SYSTEM WITH ANODIZED ALUMINUM FRAME

EXTERIOR MATERIAL LEGEND

A	DUNN EDWARDS PAINT DESK CHERRY COLA	E	DUNN EDWARDS PAINT DESK CHERRY COLA (WITH REVEALS)	F	DUNN EDWARDS PAINT DESK CHERRY COLA
B	DUNN EDWARDS PAINT DESK PINKISH STONE	G	DUNN EDWARDS PAINT DESK PINKISH STONE (WITH REVEALS)	H	TILE: DALLIE SUMMITTE "X" REVEALS COPPER TPBR 2x6x6 STACKBOND PATTERN
C	DUNN EDWARDS PAINT DETROIT BARNWOOD GRAY	I	TILE: DALLIE SUMMITTE "X" REVEALS COPPER TPBR 2x6x6 STACKBOND PATTERN	J	STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG SOLARBAN 712, 1" OPTIGLASS IN-GLASS BRONZE ANODIZED ALUMINUM FRAME
D	DUNN EDWARDS PAINT DETROIT BARNWOOD GRAY (WITH REVEALS)				

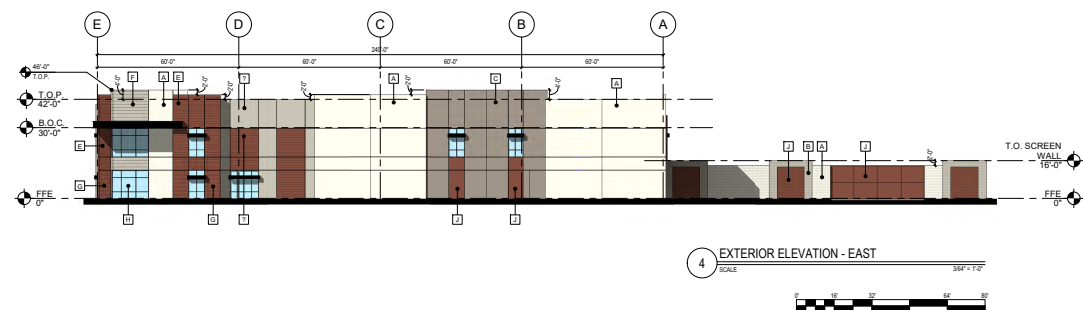































1 OVERALL FLOOR PLAN
SCALE 3/8" = 1'-0"

KEYNOTES	
03-003	NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL
08-003	DOUBLE PANE GLASS STOREFRONT SYSTEM WITH ANNOXIDIZED ALUM. FRAME

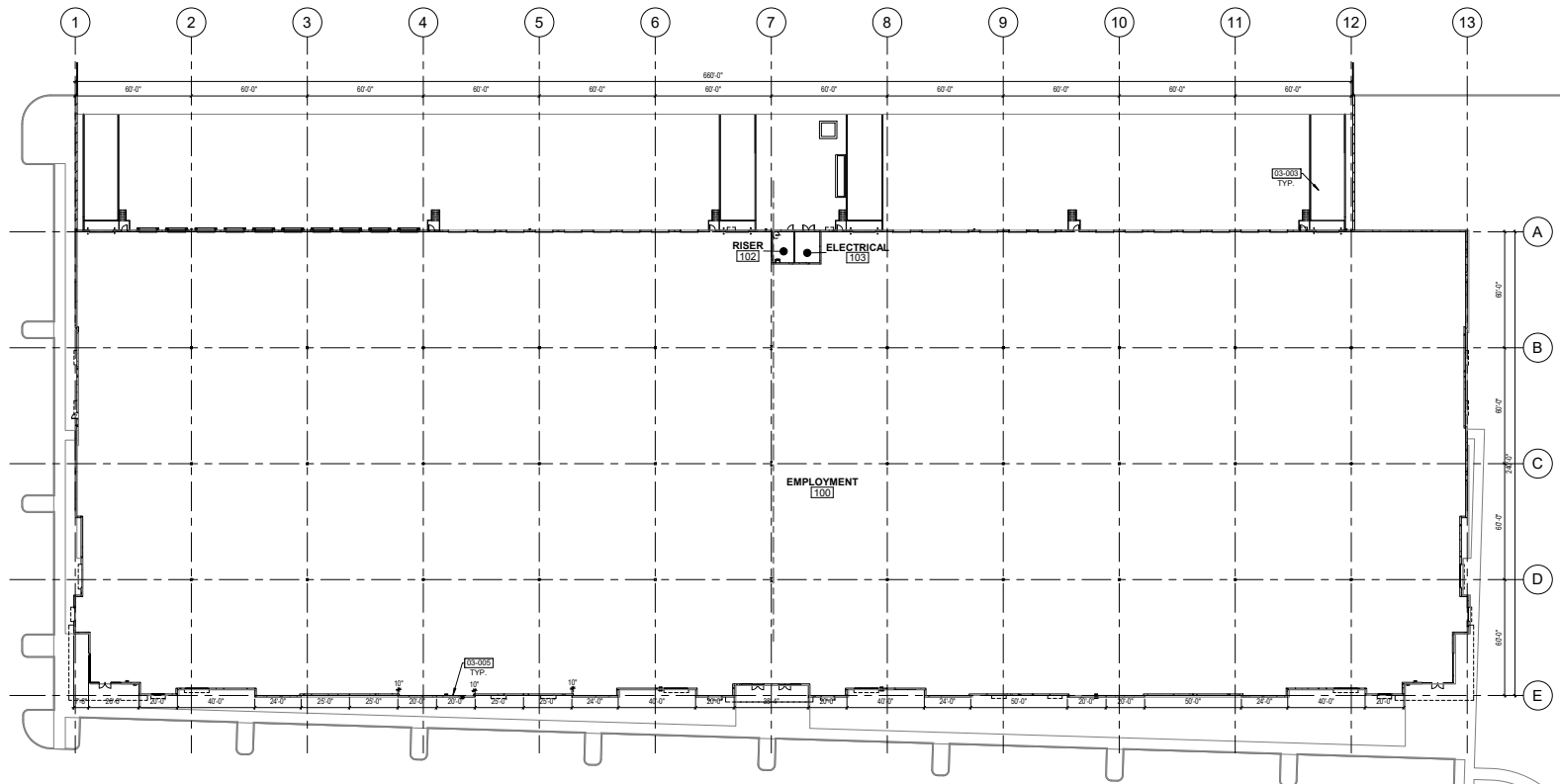
CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.





KEYNOTES		EXTERIOR MATERIAL LEGEND	
03-001 NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL			
03-002 CONCRETE TO FINISH WITH EPITAXIAL AND ACROPOLIS STAINLESS, PAINTED		DUNN EDWARDS PAINT	DEAR CHERRY COLA
03-003 METAL FLEETS AND HANDRAILS - PAINTED		DUNN EDWARDS PAINT	DEAR CHERRY COLA
03-004 COGNITIVE METAL CANOPY - PAINTED - REFER TO STRUCTURAL		DUNN EDWARDS PAINT	DEAR CHERRY COLA
03-001 SKULLION METAL DOOR AND FRAME - PAINTED		DUNN EDWARDS PAINT	DEAR CHERRY COLA
03-002 DOUBLE PANE GLASS STOREFRONT SYSTEM WITH ANODIZED ALUM FRAME		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA
		DUNN EDWARDS PAINT	DEAR CHERRY COLA

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



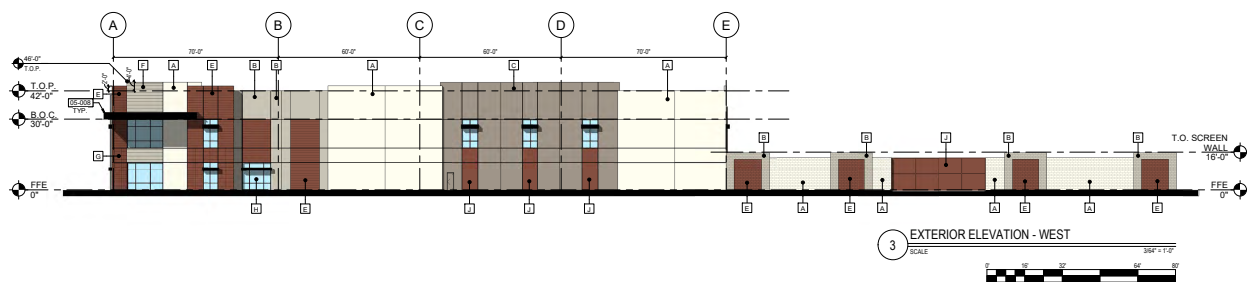
1 OVERALL FLOOR PLAN






KEYNOTES

03-001	NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL
03-002	CONCRETE TILT PANEL WITH VERTICAL AND HORIZONTAL REVEALS - PAINTED

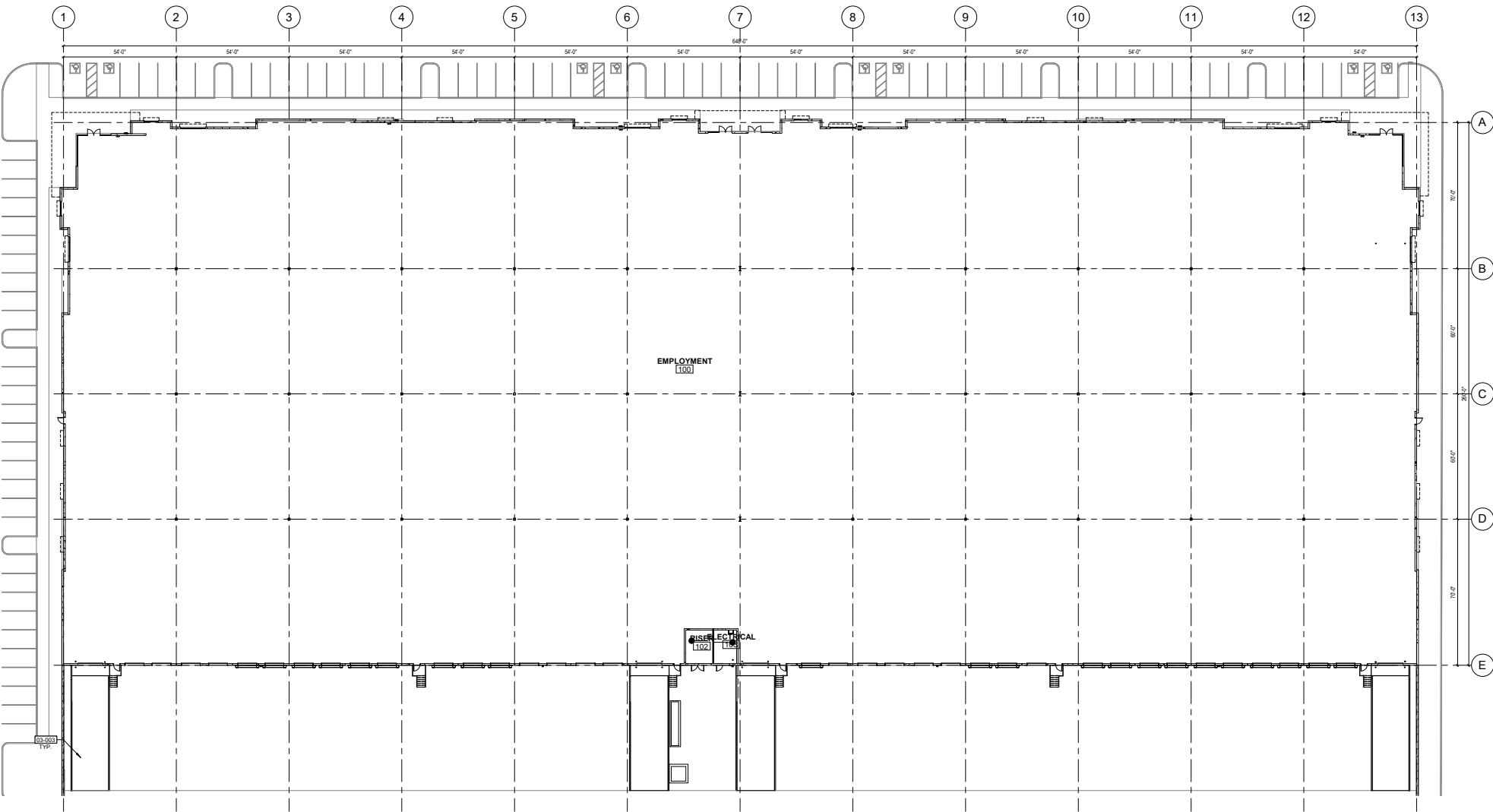
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EXTERIOR MATERIAL LEGEND

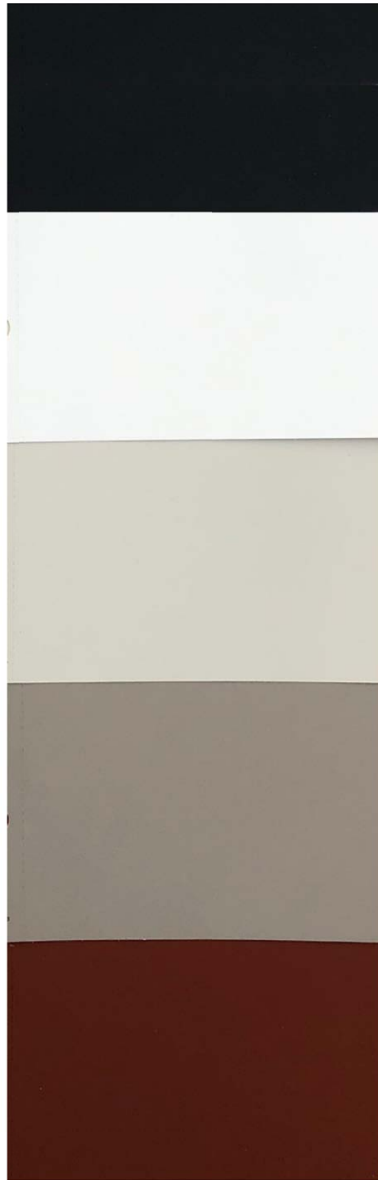
	DUNN EDWARDS PAINT DET146 WHITE PICKET FENCE		DUNN EDWARDS PAINT DET148 DEASIR CHERRY COLA		DUNN EDWARDS PAINT DET148 DEASIR CHERRY COLA
	DUNN EDWARDS PAINT DET200 POROUS STONE		DUNN EDWARDS PAINT DET200 POROUS STONE (WITH RESIL-3)		
	DUNN EDWARDS PAINT DET100 BARNWOOD GRAY				TILE: DALLIE EUMILITE 16"X16"X1/4" CERAMIC TILE, 20063 GRAYBOND PATTERN
	DUNN EDWARDS PAINT DET100 BARNWOOD GRAY (WITH RESIL-3)		STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG ADHESIVE, 1/2" SYSTEM, 1/2" CLEAR ANODIZED ALUMINUM FRAME		

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



KEYNOTES	
03-003	NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL

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DUNN EDWARDS "BLACK" DEA187

DUNN EDWARDS "WHITE PICKET FENCE" DET648

DUNN EDWARDS "POROUS STONE" DE6220

DUNN EDWARDS "BARNWOOD GRAY" DET620

DUNN EDWARDS "CHERRY COLA" DEA156



STOREFRONT SYSTEM: 1"
INSULATED GLAZING, PPG
SOLARBAN 70 (2) +
OPTIGRAY, IN DARK BRONZE
ANNODIZED ALUMINUM
FRAME



DAVIS CONCRETE -
BRICK RED 160

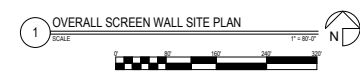
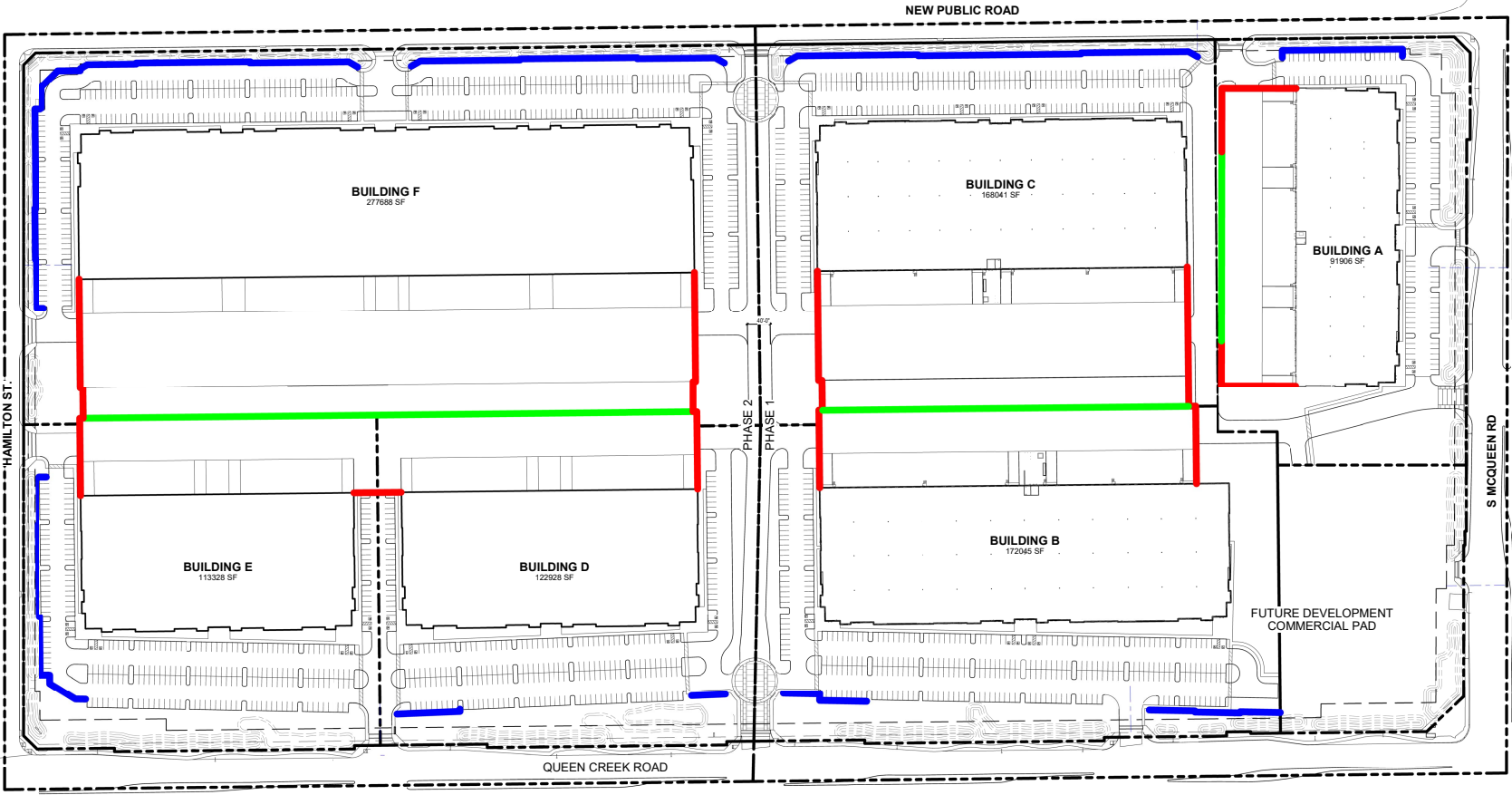






DAVIS CONCRETE -
SIERRA 61078



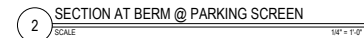
DALTILE SLIMLITE
"DISTRESSED COPPER"
TP48(4), 20x59
STACKBOND PATTERN

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



SCREEN WALL LEGEND	
	PARKING SCREEN WALL - 36" - 42" IN HEIGHT ABOVE PARKING SURFACE
	DOCK SCREEN WALL - 14" MINIMUM ABOVE TRUCK COURT SURFACE
	STEEL SECURITY FENCING - 8' 0" MINIMUM
	PARKING SCREEN BERM CONTOUR LINE - REFER TO CIVIL

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS. BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGNS/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.





SCHRADER FARMS
BUSINESS PARK

Conceptual
Comprehensive Sign Plan

January 19, 2021
May 10, 2021 Rev. 1 Version 2



Prepared By
1205 NORTH MILLER ROAD
TEMPE, ARIZONA 85281
(P) 480-966-6565
(F) 480-699-5668
SIGNS@AIRPARKSIGNS.COM

PROJECT INFORMATION

PROJECT

Schrader Farms Business Park
Northwest Corner
McQueen & Queen Creek Roads

ZONING

Planned Area Development
(PAD)

OWNER

Core5 Industrial Partners
300 Spectrum Center Drive
Suite 880
Irvine, Ca 92618
(949) 467-3290

Contact Information

Jon Kelly
jkelly@CSip.com

SIGNAGE CONSULTANT

Airpark Signs & Graphics
1205 N. Miller Rd.
Tempe, AZ 85281
480.966.6565

Contact Information

Gretchen Wilde
gretchen@airparksigns.com



PROJECT OVERVIEW

Schrader Farms Business Park is a 70.52 acre development located at the northwest corner of McQueen and Queen Creek Roads. The project consists of a multi-phase business center will consist of approximately eight buildings designed for a wide variety of uses consistent with the Chandler Airpark Area Plan.

The site has been zoned by the City of Chandler as PAD for a master planned development with a wide variety of uses. Phase I of the development consists of three buildings on the eastern parcels of the development. The buildings may consist of single or multi-tenant users, depending upon their lease contract.

NARRATIVE

Requested is to establish a Comprehensive Sign Plan (CSP) for Schrader Farms Business Park.

Project signs include an entry monument, freestanding monuments with tenant identity, tenant wall signs, and building entry standards. All signage within the proposed CSP has been designed to meet City of Chandler Sign Ordinances. The proposed signage has been designed with the architecture of the development in mind through the use of materials, color and vertical elements that echo the building features and makes use of the same, or similar materials as the buildings to maintain continuity of the project theme.

In addition to meeting standards for 39-9.16.C.2 and C.3, additional standards per 39-9.16.D are met by limiting wall signs to no more than 15% of the building height, not allowing cabinet signs, integrating landscaping with the signs, and limiting freestanding signs to one on Queen Creek Road and one on the as yet to be named new public road.

As new buildings are built they will be regulated by the standards within this document.

Please refer to the following documentation for further details.

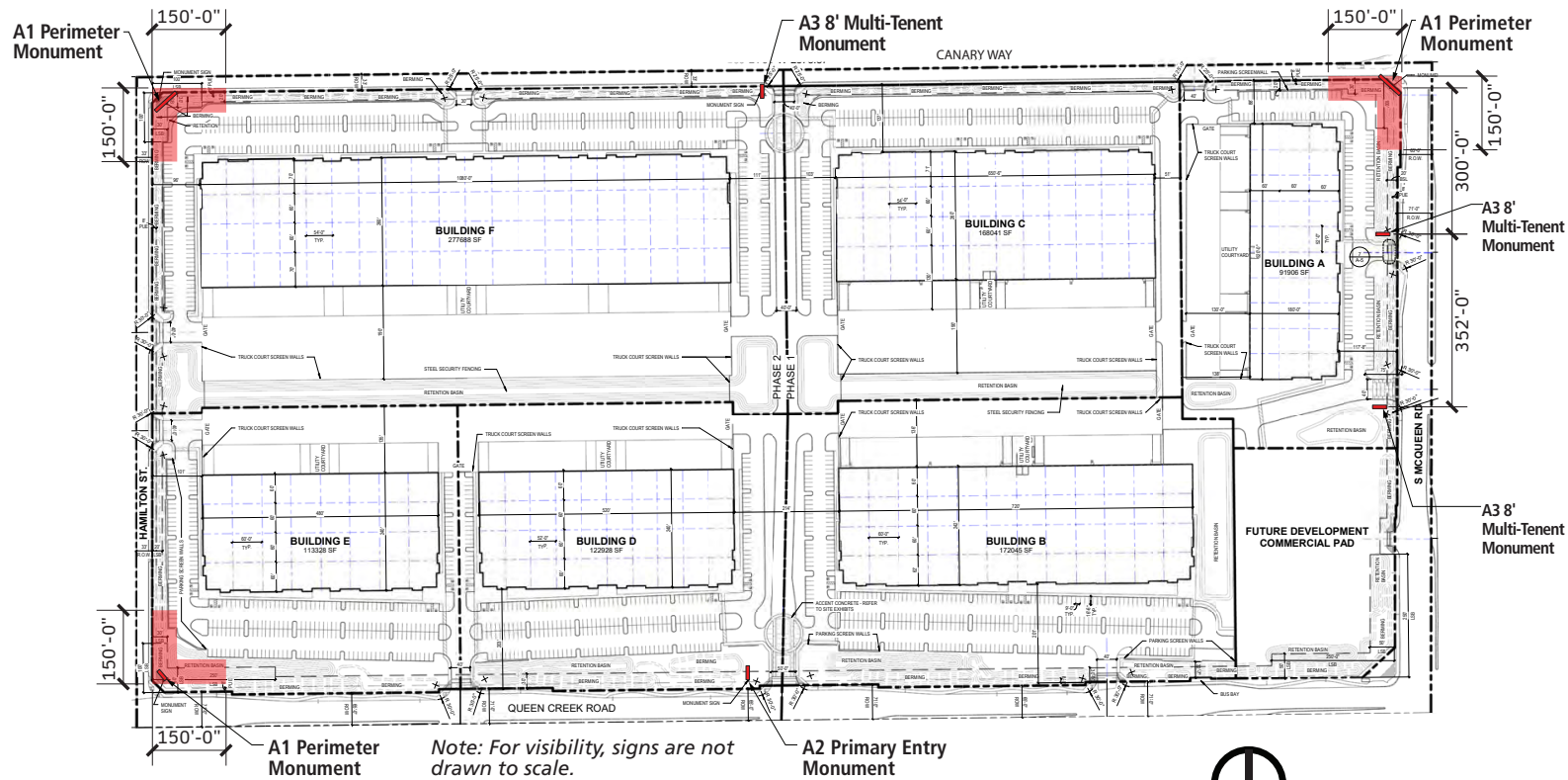
PROJECT INFORMATION



PROJECT SIGN MATRIX						
Sign Type	Sign Name	Sign Function	Qty	Dimensions	Materials	Notes
A1	Perimeter Monument	Provide Project Identity, Site Address	3	16'-4" x 6'-0" Project Identity 7'-10 1/2" x2'-11 1/2"	Aluminum, acrylic, LED internal lighting.	
A2	Primary Entry Monument	Provide Project & Tenant Identity	1	7'-6" x 14'-0" Tenant Panels (x5) 6'-0" x1'-10"	Aluminum, acrylic, LED internal lighting.	
A3	Secondary Entry Monument	Provide Project & Tenant Identity	3	4'-4" x 8'-0" Tenant Panels (x5) 3'-6" x1 '-0"	Aluminum, acrylic, LED internal lighting.	
W1	Building Address	Site Address Numbers	2	2'-0" x 12'-0" (approx)	Aluminum	
W2	Tenant Identities	Beam Mounted Tenant Identity	1 ¹	Varies per tenant entry. Maximum 80% width of steel beam sign is attached to. Maximum height can be no more than 4'-0" .	Aluminum, acrylic, vinyl, LED internal & halo illumination.	Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
		Wall Mounted Tenant Identity		Varies per sign envelope location. Maximum 80% width of space sign is attached to. Maximum height can be no more than 5'-0" .		
Footnotes		1 One sign maximum per facade adjacent to area occupied by Tenant, unless otherwise approved by Planning Administrator.				

SIGN MATRIX





PERIMETER MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

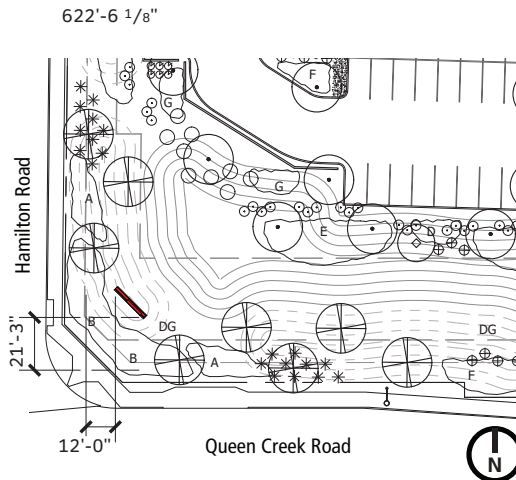
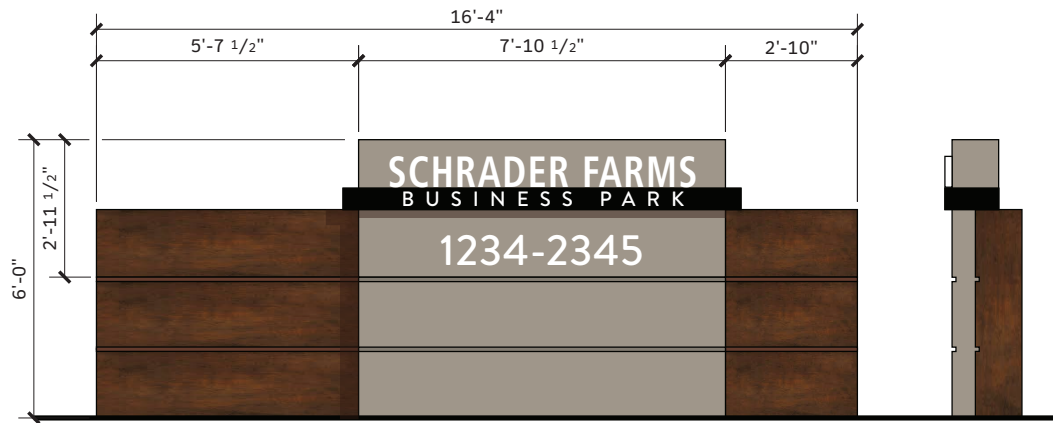
Header Panel:	Black
Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Middle Cabinet:	Weathered copper finish over aluminum to emulate DalTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

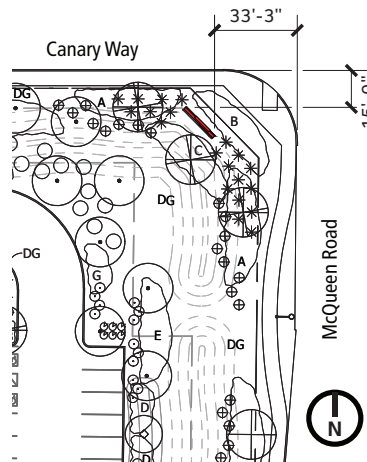
LOCATION

Northeast, southeast, and southwest project corners.



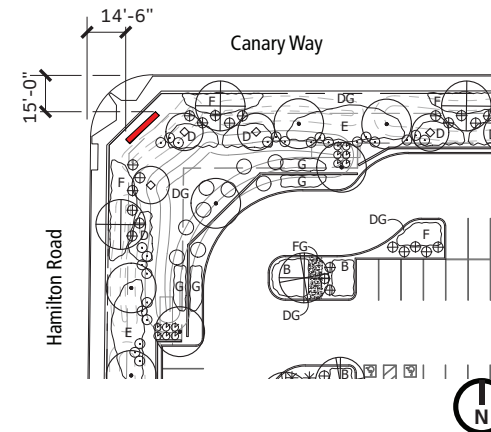
Perimeter Monument Southwest Location Plan

Scale: 1"=50'



Perimeter Monument Northeast Location Plan

Scale: 1"=50'



Perimeter Monument Northwest Location Plan

Scale: 1"=50'

A1 MONUMENT SIGN DETAILS



PRIMARY ENTRY MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white. Logos may have corporate colors.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Header Panel:	Black
Middle Cabinet:	Weathered copper finish over aluminum to emulate DalTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

LOCATION

Primary entrance, Queen Creek Road.

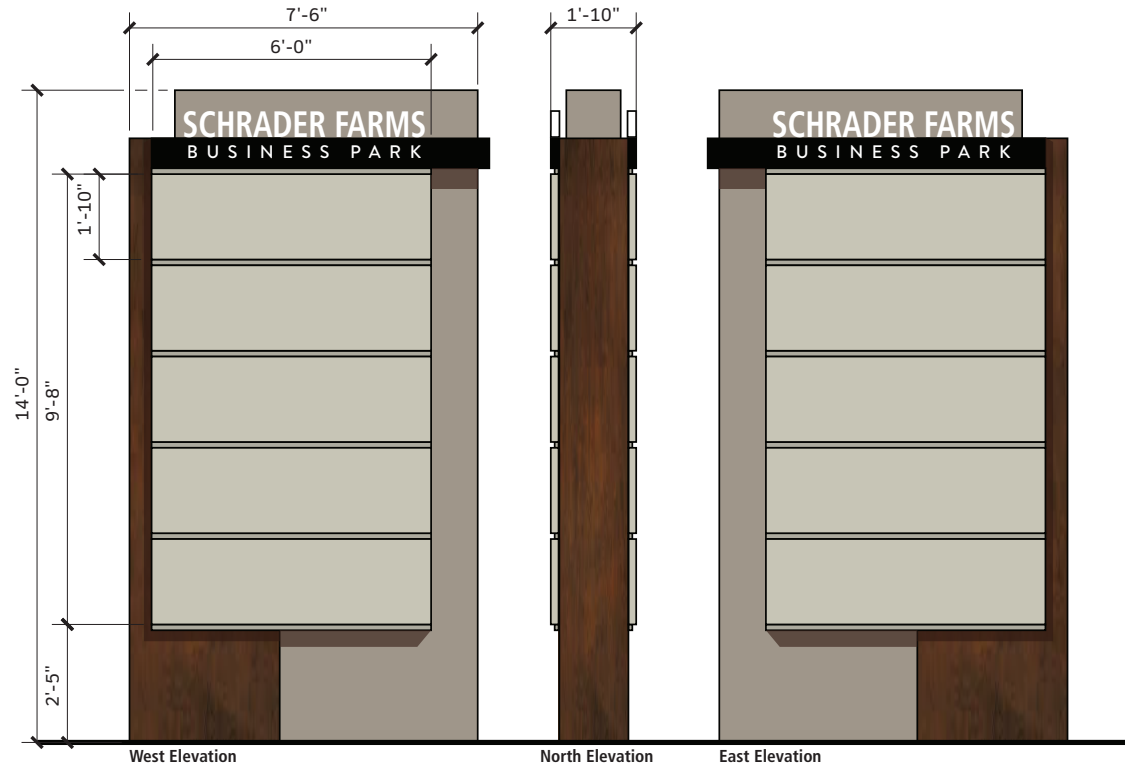
NOTES

Additional size to fourteen (14) feet , and five (5) tenant panels is requested. Rationales per City Code:

Additional height meets 33-9.16.C.2 by being a center located on the northwest corner of the intersection of Queen Creek and McQueen Roads.

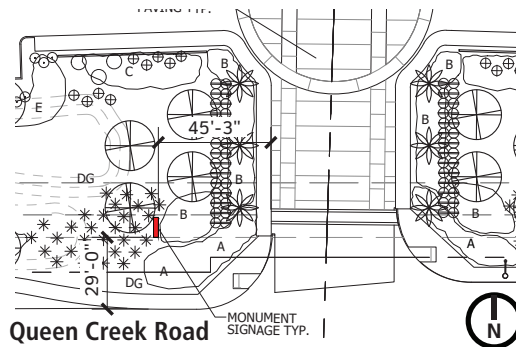
Additional tenant panels meets 33-9.16.C.3a by the multi-layered and multi-colored design, and the use of horizontal reveals that mimic the layers, colors, and reveals of the the building architecture; C.3c by the integration of the landscaping with the monument's locations; C3.d by the use of aluminum to avoid rust, and by using Matthews Acrylic Polyurethane to provide a long-lasting and durable finish; and by C3.e by making all tenant panels the same color to provide a cohesive field, and non-illuminated, with routed letters and logos that will illuminate, which will minimize the amount of light to be transmitted.

Despite having 2533 feet ± of frontage along Queen Creek Road, this will be the only monument sign with tenant panels on that road.



Primary Entry Monument

Scale: 3/8"=1'-0"



Monument Location Plan

Scale: 1"=50'

A2 MONUMENT SIGN DETAILS



SECONDARY ENTRY MONUMENT

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Aluminum structure and cabinets with freestanding & routed, push-thru letters/logos. Text to be white. Logos may have corporate colors.

COLORS & FINISHES

All colors to be Matthews Acrylic Polyurethane to match:

Header Panel:	Black
Primary Cabinet:	Dunn Edwards DET620 Barnwood Gray
Middle Cabinet:	Weathered copper finish over aluminum to emulate DaTile TP-48
Tenant Panels:	Dunn Edwards DE6220 Porous Stone

ILLUMINATION

Internal LED illumination.

LOCATIONS

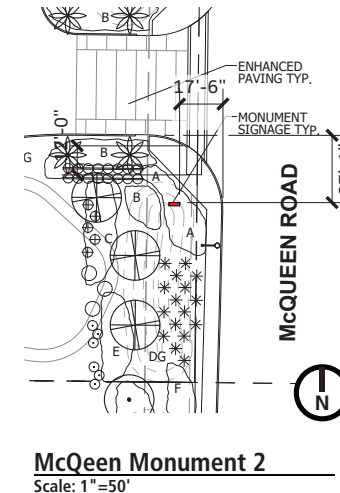
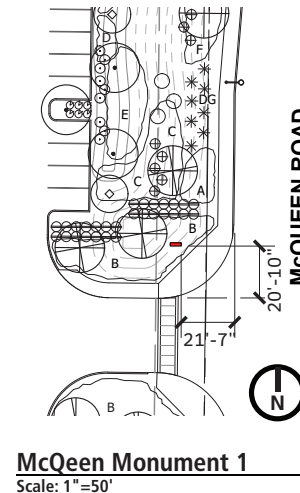
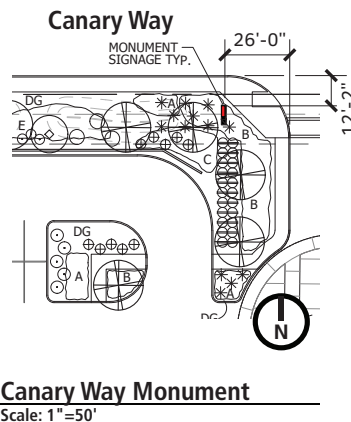
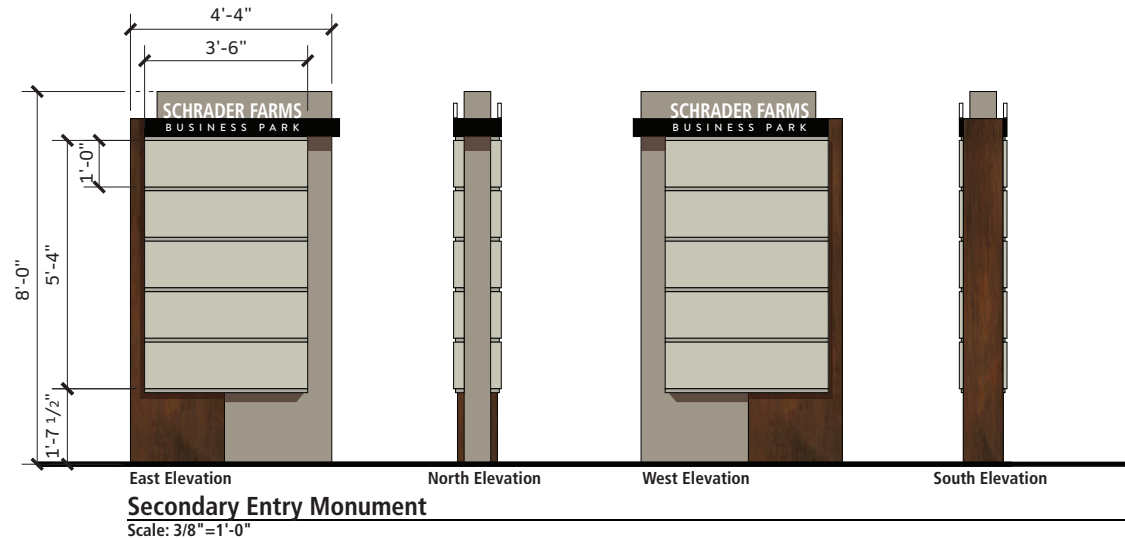
McQueen Road (2 signs), Canary Way (1 sign)

NOTES

Additional size to eight (8) feet , and five (5) tenant panels is requested.
Rationales per City Code:

The additional height and tenant panels request meets 33-9.16.C.3a by the multi-layered and multi-colored design, and the use of horizontal reveals that mimic the layers, colors, and reveals of the the building architecture; C.3c by the integration of the landscaping with the monument's locations; C3.d by the use of aluminum to avoid rust, and by using Matthews Acrylic Polyurethane to provide a long-lasting and durable finish; and by C3.e by making all tenant panels the same color to provide a cohesive field, and non-illuminated, with routed letters and logos that will illuminate, which will minimize the amount of light to be transmitted.

Despite having 2544 feet ± of frontage along Canary Way, this will be the only monument sign with tenant panels on that road.



REVERSE PAN CHANNEL BUILDING ADDRESS EXTERNALLY ILLUMINATED

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Pan-channel letters/logos shall be constructed of metal faces and 3" returns. Signs must be mounted flush to fascia with appropriate anchors.

COLORS & FINISHES

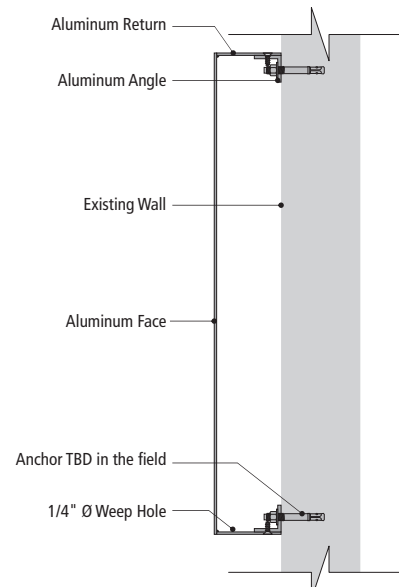
Painted to provide contrast and visibility from wall finishes.

ILLUMINATION

External illumination only.

LOCATION

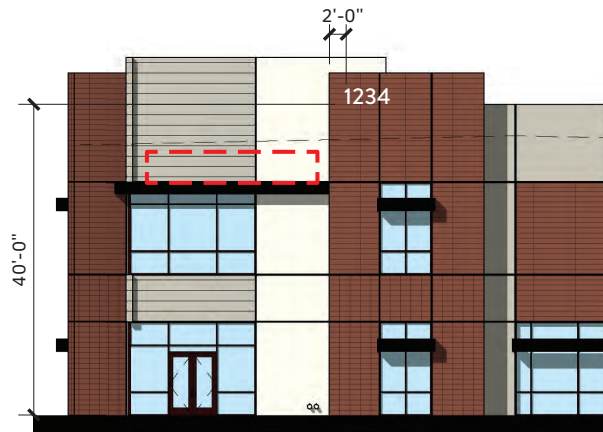
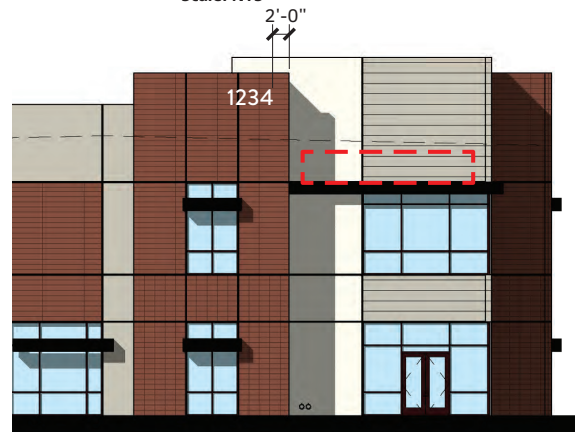
Opposite ends of buildings



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All signs fabricated as per 2008 N.E.C. standards.

SECTION DETAIL - TYP.

Scale: NTS



ADDRESS PLACEMENT - TYP.

Scale: 1/16"=1'-0"

W1 BUILDING ADDRESS DETAILS



BEAM MOUNTED ILLUMINATED PAN-CHANNEL LETTERS/LOGOS

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Pan-channel letters/logos shall be constructed of 5" metal returns and backs with translucent acrylic or polycarbonate faces. Raceways to be minimal size to be inconspicuous. Raceways must be mounted flush to top of beams with appropriate anchors.

COLORS & FINISHES

Corporate colors & finishes are permitted with Landlord approval. Raceways painted to match beams.

ILLUMINATION

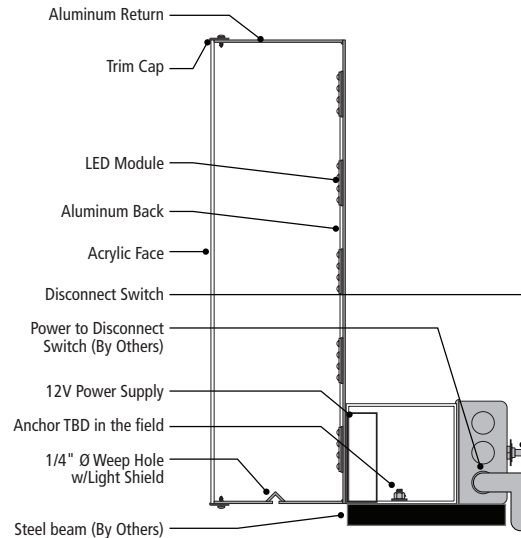
Internal LED illumination, LED module quantities must provide proper illumination.

LOCATION

To be placed above steel beams at building entrances.

NOTES

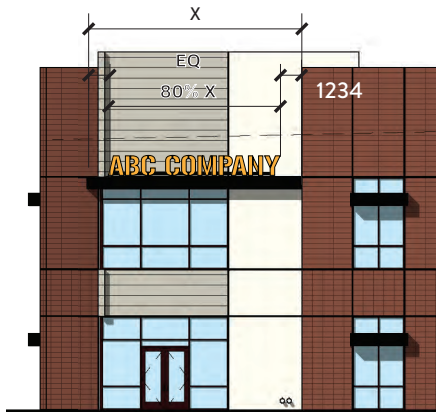
May be no wider than 80% of beam width. For joint entries, signs may be no wider than 80% of appointed beam space width. Signs can be no more than 4'-0" in height. Logos will be allowed, but cabinet signs will not be allowed.



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All signs fabricated as per 2008 N.E.C. standards.

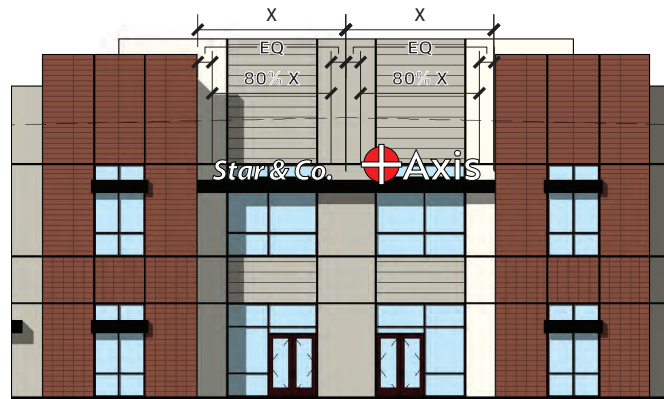
SECTION DETAIL - TYP.

Scale: NTS



SINGLE TENANT ENTRY SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"



DOUBLE TENANT ENTRY SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"

WALL MOUNTED ILLUMINATED PAN-CHANNEL LETTERS/LOGOS

CRITERIA

All Tenant ID Signs shall be approved by the Landlord & permitted by the City of Chandler.

FABRICATION

Pan-channel letters/logos shall be constructed of 5" metal returns and backs with translucent acrylic or polycarbonate faces. Signs must be mounted flush to fascia with appropriate anchors.

COLORS & FINISHES

Corporate colors & finishes are permitted with Landlord approval.

ILLUMINATION

Internal LED illumination, LED module quantities must provide proper illumination.

LOCATION

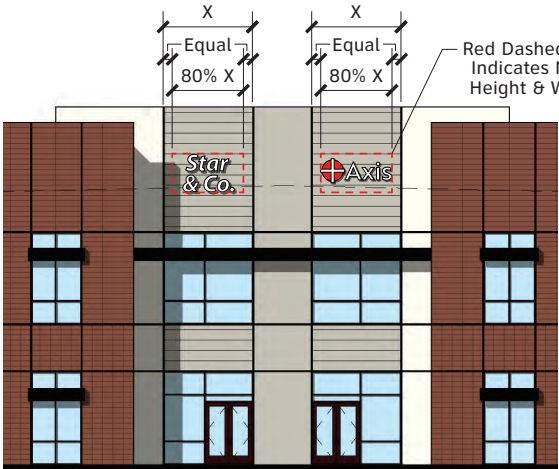
May be no wider than 80% of space sign is attached to. For joint entries, signs may be no wider than 80% of appointed space width. Signs can be no more than 5'-0" in height. Logos will be allowed, but cabinet signs will not be allowed.

Wall mounted signs shall be coordinated with facade designs, as approved by the Planning Administrator.



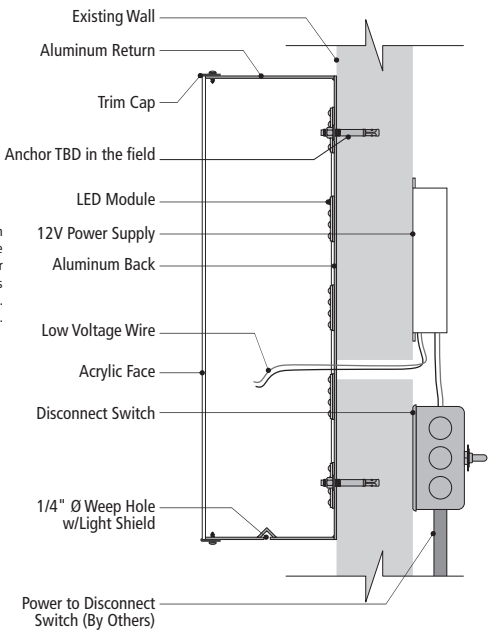
SINGLE TENANT ENTRY SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"



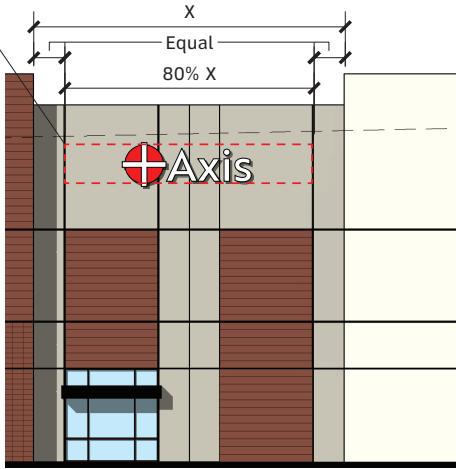
DOUBLE TENANT ENTRY SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"



SECTION DETAIL - TYP.

Scale: NTS



WALL SIGN PLACEMENT - TYP.

Scale: 1/16"=1'-0"

SUITE IDENTITY/WINDOW GRAPHICS

CRITERIA

Such signs shall not exceed twenty five (25) percent of the front glass area, and must be approved by the Landlord. Suite numbers are to be 12" tall.

FABRICATION

Information to be first surface applied vinyl.

COLORS & FINISHES

Recommended designs should be subtle and sophisticated. White or frosted vinyl is recommended. If using color, it should be muted and have a transparency of a minimum fifty (50) percent. Logos may be included in the overall design, provided that design does not exceed the established limits.

ILLUMINATION

External illumination only.

FONTS

Text to be Brandon Grotesque Medium

ABCDEFGHIJKLMNOPQRSTUVWXYZ

0123456789

LOCATION

Suite numbers to be placed over entry doors. Business identity, hours of operation and contact information should be placed adjacent to the door.

100

TENANT NAME

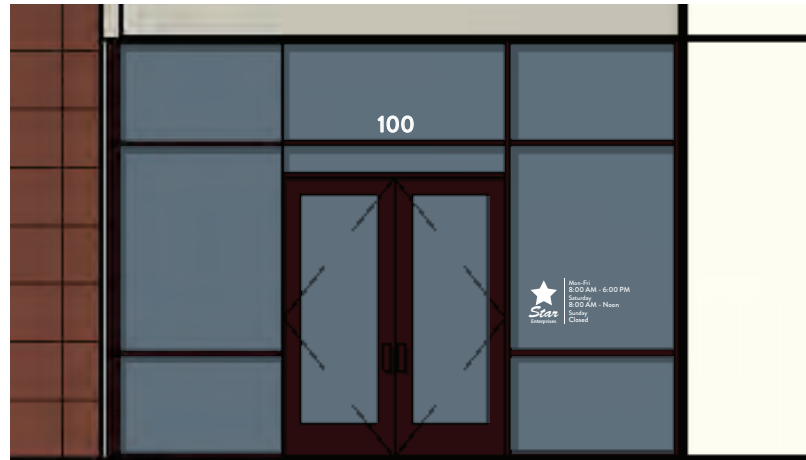
Mon-Fri
8:00 AM - 6:00 PM
Saturday
8:00 AM - Noon
Sunday
Closed



Mon-Fri
8:00 AM - 6:00 PM
Saturday
8:00 AM - Noon
Sunday
Closed

Entry Door ID - Examples

Scale: 1"=1'-0"



ENTRY DOOR - TYP.

Scale: 1/4"=1'-0"

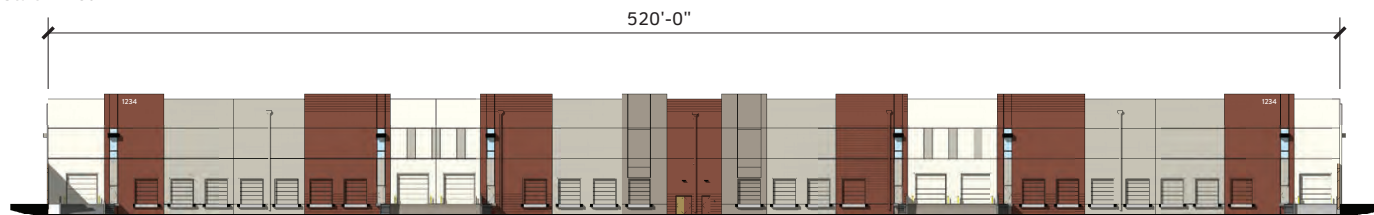
BUSINESS ENTRY SIGN DETAILS







Building A, East Elevation (McQueen Road)

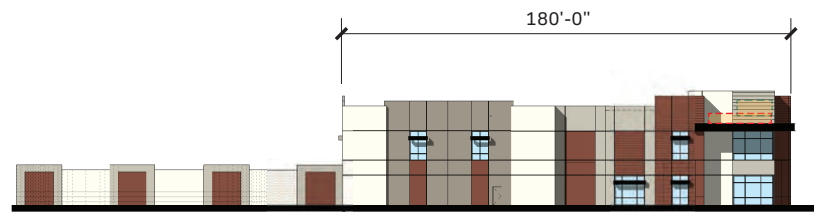
Scale: 1"=50'



Building A, West Elevation

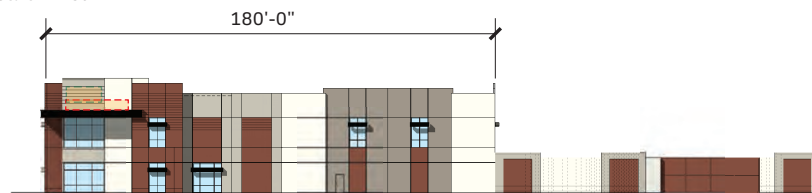
Scale: 1"=50'

-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign



Building A, South Elevation

Scale: 1"=50'



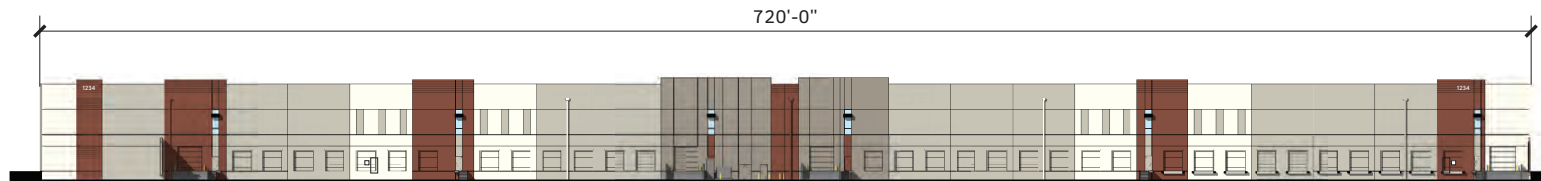
Building A, North Elevation

Scale: 1"=50'





Building B, South Elevation (Queen Creek Road)

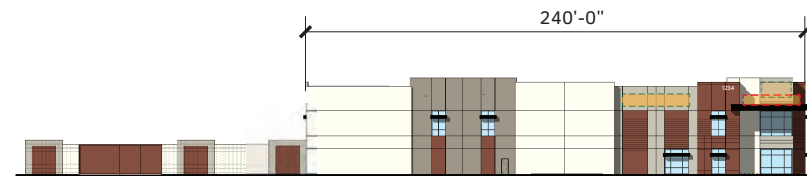
Scale: 1"=60'



Building B, North Elevation

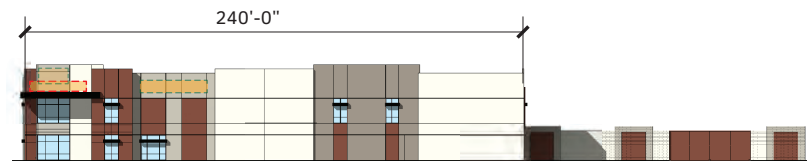
Scale: 1"=60'

-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign



Building B, West Elevation

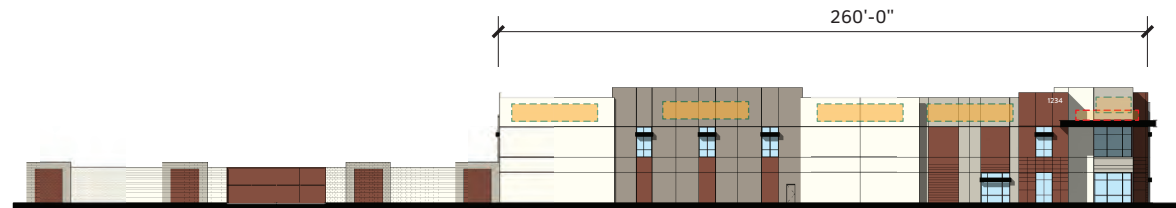
Scale: 1"=60'



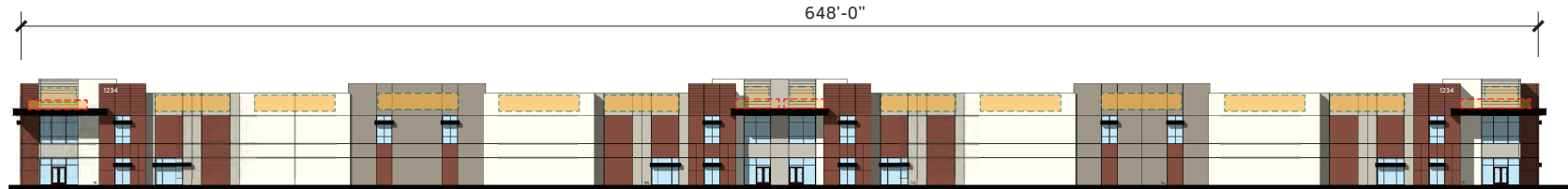
Building B, East Elevation

Scale: 1"=60'







Building C, East Elevation
Scale: 1"=50'

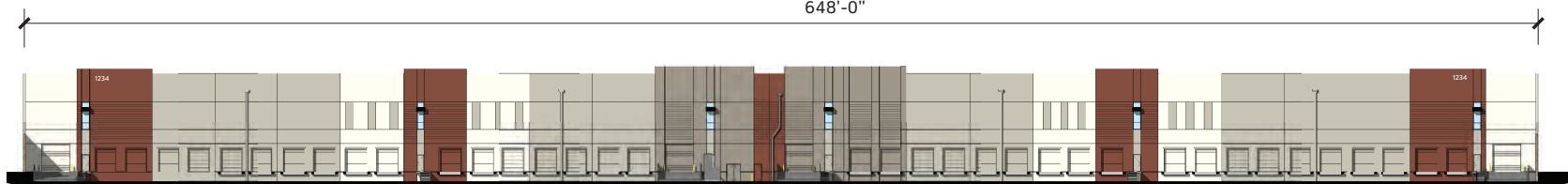


Building C, North Elevation (New Public Road)
Scale: 1"=50'



-  Green dashed line indicates wall mounted sign
Note: Wall signs shall NOT be mounted across dissimilar wall materials and/or colors.
-  Red dashed line indicates steel beam mounted sign

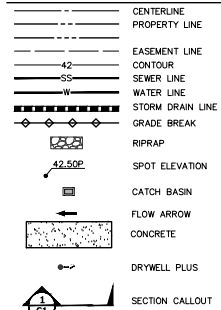
Building C, West Elevation
Scale: 1"=50'



Building C, South Elevation
Scale: 1"=50'



LEGEND



NOTE

- ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ONSITE PRIVATE IRRIGATION DITCHES TO BE REMOVED. REMOVALS TO BE COORDINATED WITH SRP.

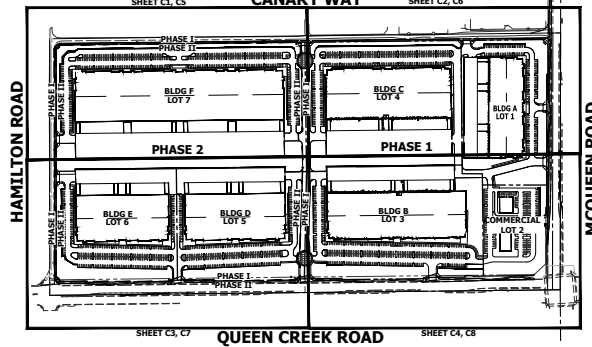
RETENTION CALCULATIONS

ON-SITE AREA: 70,789 AC	OFF-SITE AREA: 9,461 AC
RETENTION REQUIRED:	
$VR = (1.1)(C)(D/12)(A), D=2.2$	
$VR(OFFSITE) = (0.1)(0.95)(2.2/12)(9.461) \times 43560 = 78,956 \text{ CU.FT.}$	
$VR(ONSITE) = (1.1)(0.95)(2.2/12)(70.789) \times 43560 = 559,668 \text{ CU.FT.}$	
TOTAL REQUIRED = 638,623 CU.FT.	
RETENTION PROVIDED:	
RETENTION BASIN 1	7,551 CU.FT.
RETENTION BASIN 2	2,585 CU.FT.
RETENTION BASIN 3	18,668 CU.FT.
RETENTION BASIN 4	5,018 CU.FT.
RETENTION BASIN 5	7,403 CU.FT.
RETENTION BASIN 6	1,173 CU.FT.
RETENTION BASIN 7	116,712 CU.FT.
RETENTION BASIN 8	46,115 CU.FT.
RETENTION BASIN 9	7,942 CU.FT.
RETENTION BASIN 10	22,304 CU.FT.
RETENTION BASIN 11	27,248 CU.FT.
RETENTION BASIN 12	19,976 CU.FT.
RETENTION BASIN 13	13,645 CU.FT.
U.G. PIPE #1	6,912 CU.FT.
U.G. PIPE #2	39,653 CU.FT.
U.G. PIPE #3	6,325 CU.FT.
U.G. PIPE #4	39,656 CU.FT.
U.G. PIPE #5	27,175 CU.FT.
U.G. PIPE #6	3,582 CU.FT.
U.G. PIPE #7	37,228 CU.FT.
U.G. PIPE #8	36,327 CU.FT.
U.G. PIPE #9	46,731 CU.FT.
U.G. PIPE #10	40,081 CU.FT.
U.G. PIPE #11	36,776 CU.FT.
U.G. PIPE #12	24,482 CU.FT.
TOTAL PROVIDED:	640,314 CU.FT.
TOTAL EXCESS:	1,691 CU.FT.

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2

N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
CONTACT: JORGE ORTIZ
EMAIL: JORTIZ@HUNTERENGINEERINGPC.COM

ARCHITECT

DEUTSCH ARCHITECTURE GROUP
4600 E. INDIAN SCHOOL ROAD
PHOENIX, ARIZONA 85018
PHONE: (602) 840-2929 x144
CONTACT: RANDY HILBECK
EMAIL: RHILBECK@DEUTSCHARCHITECTURE.COM

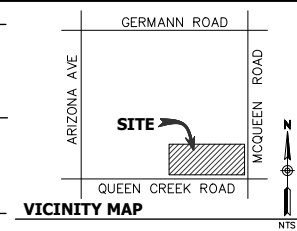
OWNER/DEVELOPER

CORES SCHRADER FARMS BP, LLC
300 SPECTRUM CENTER DRIVE, SUITE 880
IRVINE, CALIFORNIA 92618
PHONE: (949) 467-3290
CONTACT: JON KELLY

FEMA CLASSIFICATION

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2739M (EFFECTIVE: REVISED DATE NOVEMBER 4, 2015), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X. ZONE X IS DEFINED AS, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD".

COMMUNITY NUMBER	PANEL DATE SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AD ZONE USE DEPTH)
040040	2743	M 11-4-2015	ZONE X (SHADED)	N/A



SHEET INDEX

CONCEPTUAL GRADING AND DRAINAGE PLAN... C1 - C4
CONCEPTUAL UTILITY PLAN... C5 - C8
TYPICAL SECTIONS... C9 - C10

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
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DESIGN BY: R.M.
DRAWN BY: C.O.C.
CHECKED BY: JAO

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

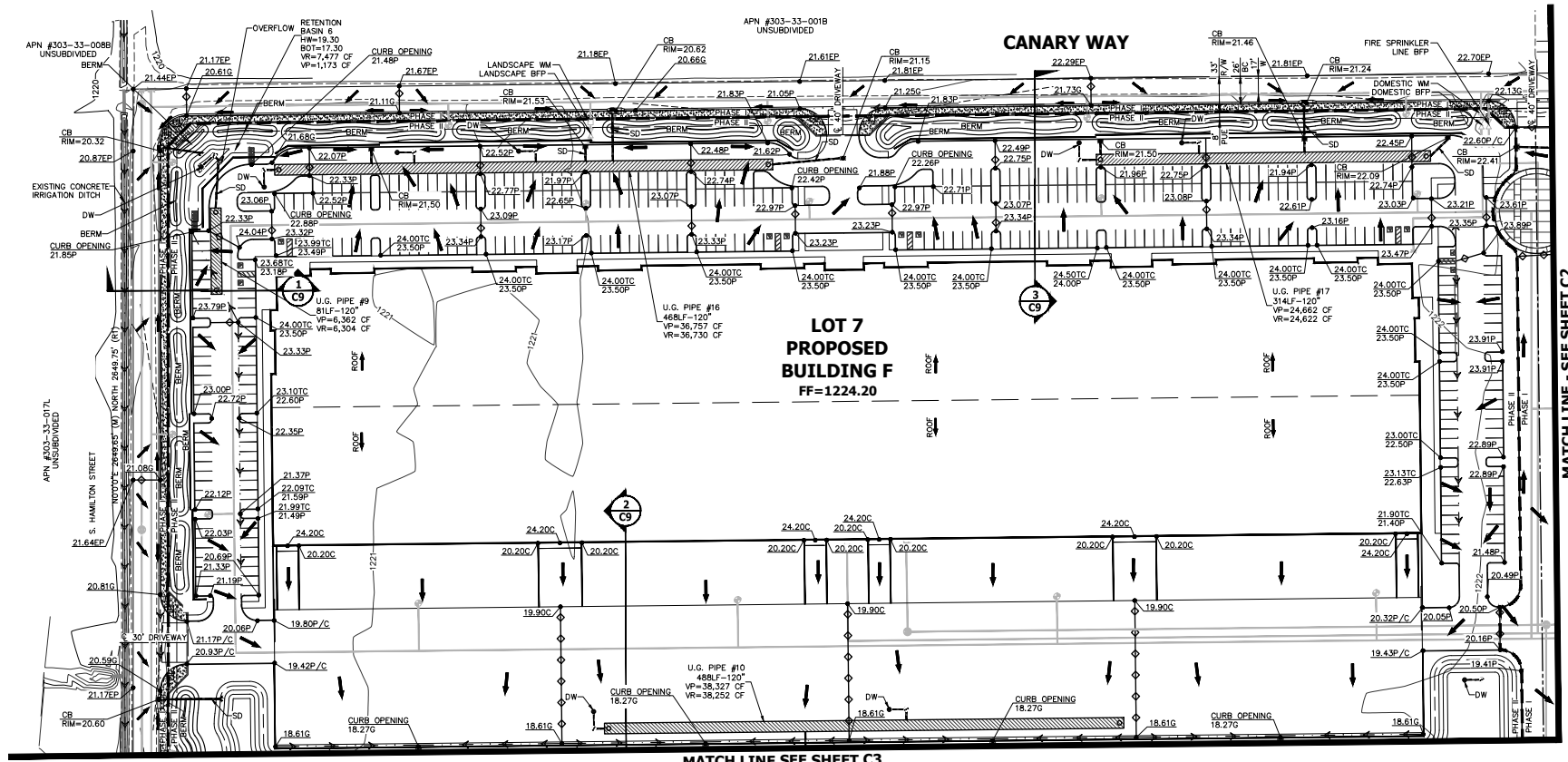
PROJECT NAME:
CORES CHANDLER

RE NO.: CORE-001
SCALE: 1"=50'

SHEET:
C1

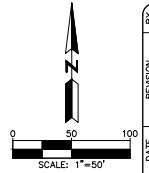
1 OF 10

C.O.C. LOG NO. PL70-0020



CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2

N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286
THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3985
F: 480.991.3986



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

ARIZONA
STATE BOARD OF ENGINEERING
JAN 15, 2019

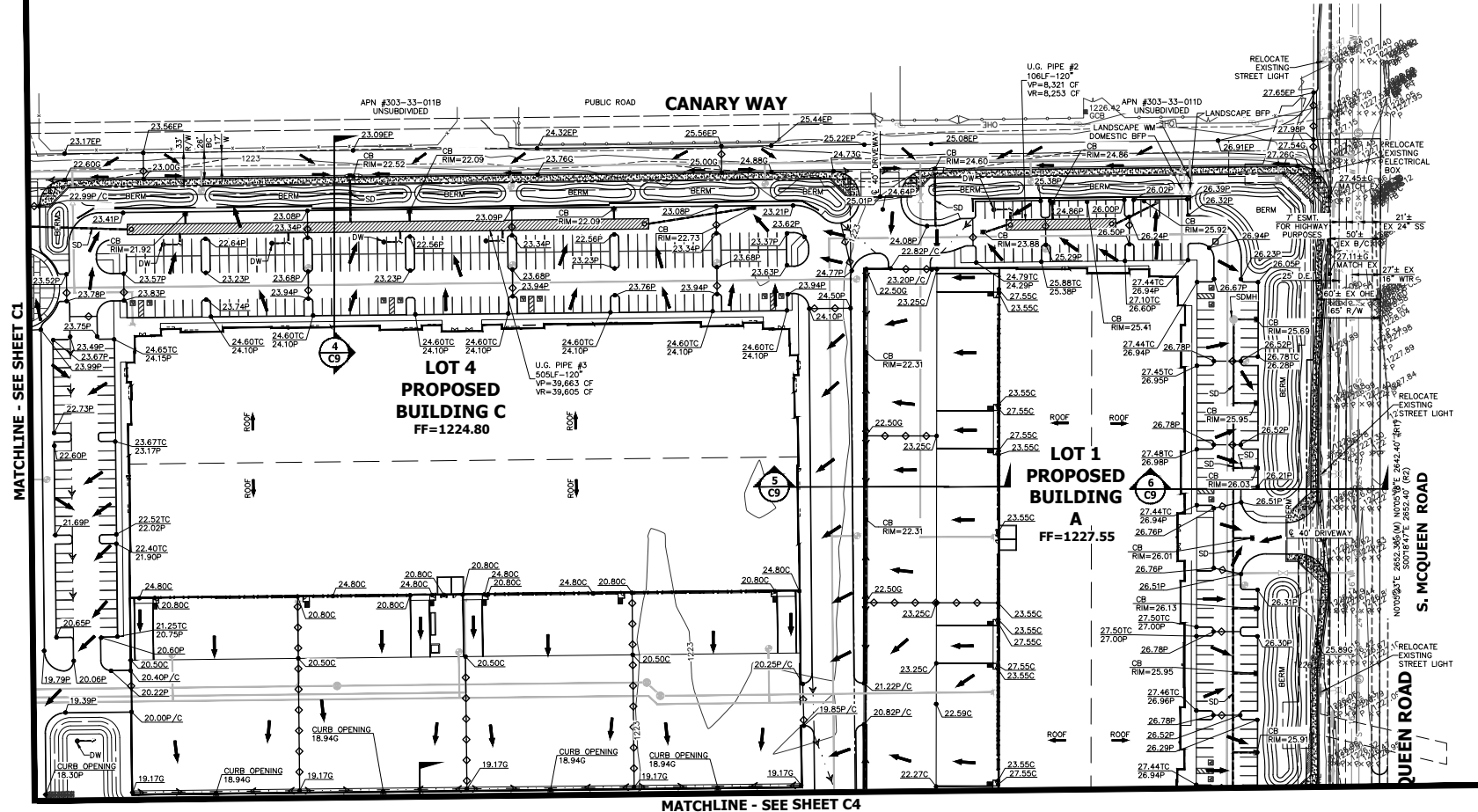
THESE PLANS ARE
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MUNICIPALITY.

PROJECT NAME:
CORE5
CHANDLER

HE NO.: CORE001
SCALE: 1"=50'

SHEET:
C2

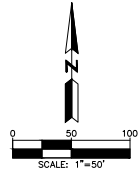
C.O.C LOG NO. PL720-0020



MATCHLINE - SEE SHEET C1

MATCHLINE - SEE SHEET C4

CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2 N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286



NO.	DATE	REVISION	BY

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DRAWN BY: C.C.C.
CHECKED BY: JAO

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ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3885
F: 480.991.3886



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286



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MUNICIPALITY.

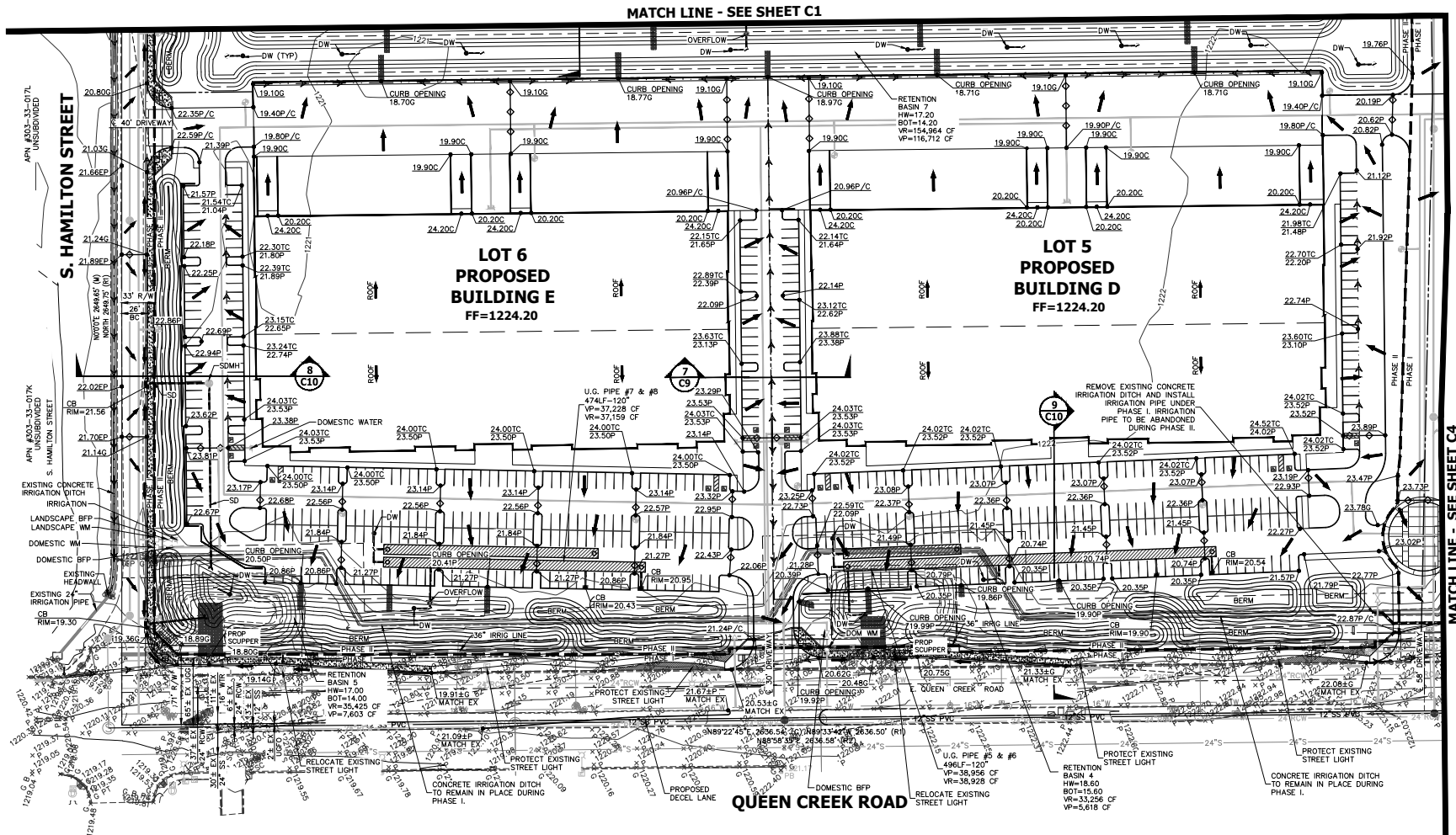
PROJECT NAME:
CORES
CHANDLER

HE NO.: CORE001

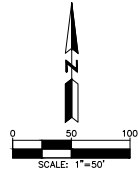
SCALE: 1"=50'

SHEET:
C3

C.O.C LOG NO. PL70-0020



CONCEPTUAL GRADING AND DRAINAGE PLAN FOR CORE-5 CHANDLER PHASES 1 AND 2 N.W.C. SOUTH MCQUEEN ROAD & EAST QUEEN CREEK ROAD CHANDLER, ARIZONA 85286



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85260
TEL: 480.991.3865
F: 480.991.3866



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286



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PROJECT NAME:
CORES CHANDLER

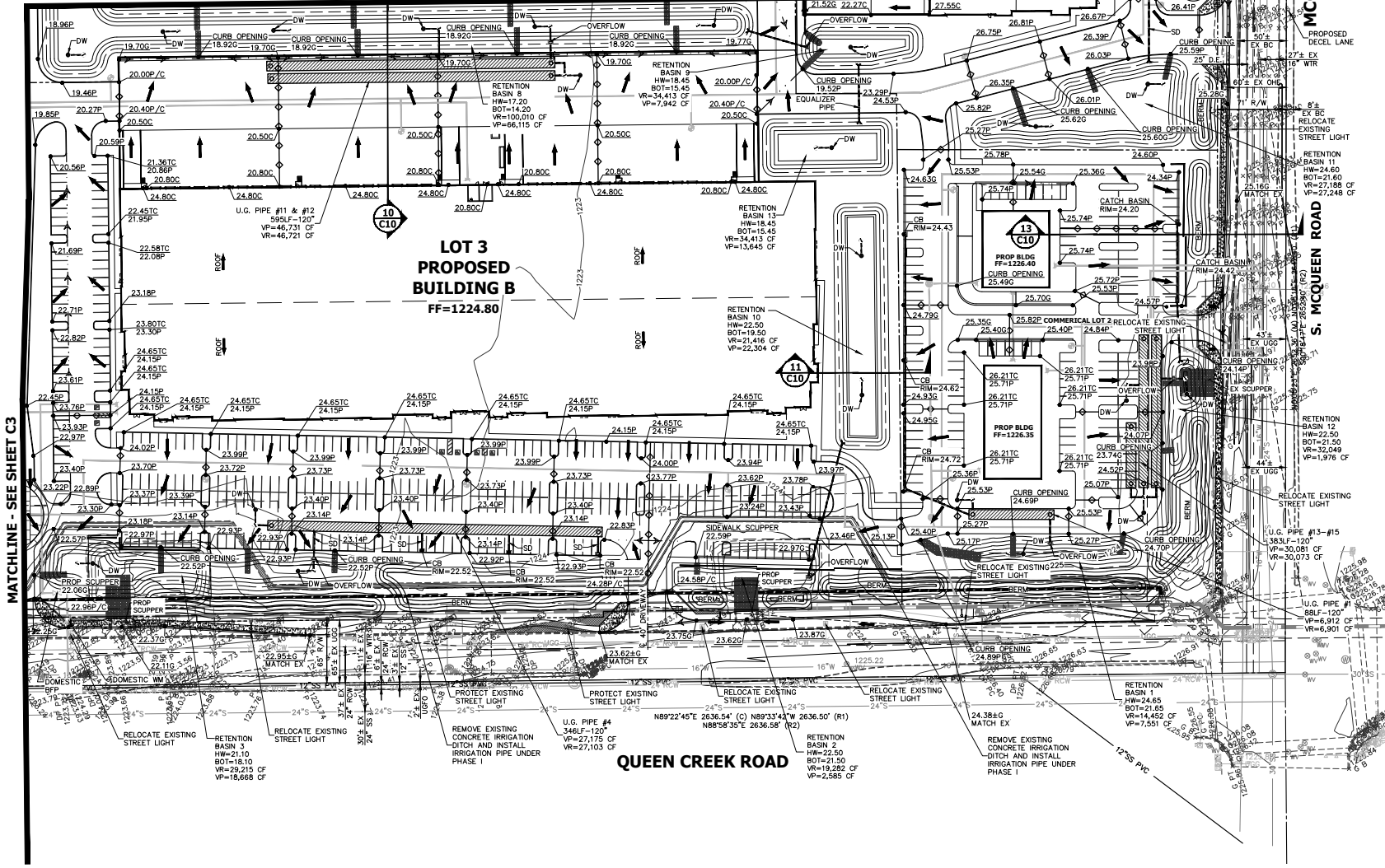
HE NO.: CORE001

SCALE: 1"=50'

SHEET:
C4

C.O.C LOG NO. PL720-0020

MATCHLINE - SEE SHEET C2



QUEEN CREEK ROAD

OWNER/DEVELOPER

CORE5 SCHRADER FARMS BP, LLC
300 SPECTRUM CENTER DRIVE, SUITE 880
IRVINE, CALIFORNIA 92618
PHONE: (949) 467-3290
CONTACT: JON KELLY

DEVELOPER/ARCHITECT

DEUTSCH ARCHITECTURE GROUP
4600 E. INDIAN SCHOOL ROAD
PHOENIX, ARIZONA 85018
PHONE: (602) 840-2929 x144
CONTACT: RANDY HILLEBOE
EMAIL: RHILLEBOE@2020.COM

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986
CONTACT: LARRY TALBOTT

NOTE

ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE
AND SITE CLEANUP, MUST BE COMPLETED PRIOR
TO CERTIFICATE OF OCCUPANCY FOR ANY
BUILDING WITHIN A PHASE.

LEGEND

---	CENTERLINE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SEWER LINE
---	WATER LINE
---	FIRE LINE
1	CAP
●	FIRE HYDRANT
○	DRYWELL
●	SANITARY SEWER MANHOLE
⊗	BACKFLOW PREVENTER
□	WATER METER
⊕	FDC

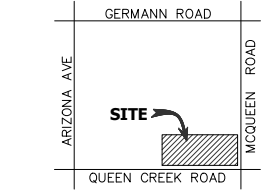
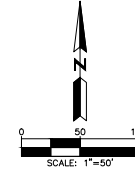
CONCEPTUAL UTILITY PLAN

FOR

CORE5 CHANDLER PHASES 1 & 2

NWC MCQUEEN RD. & QUEEN CREEK RD. CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN

**VICINITY MAP**

NTS

NO.	DATE	REVISION	BY

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DRAWN BY: C.O.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3985
F 480.991.3986



CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

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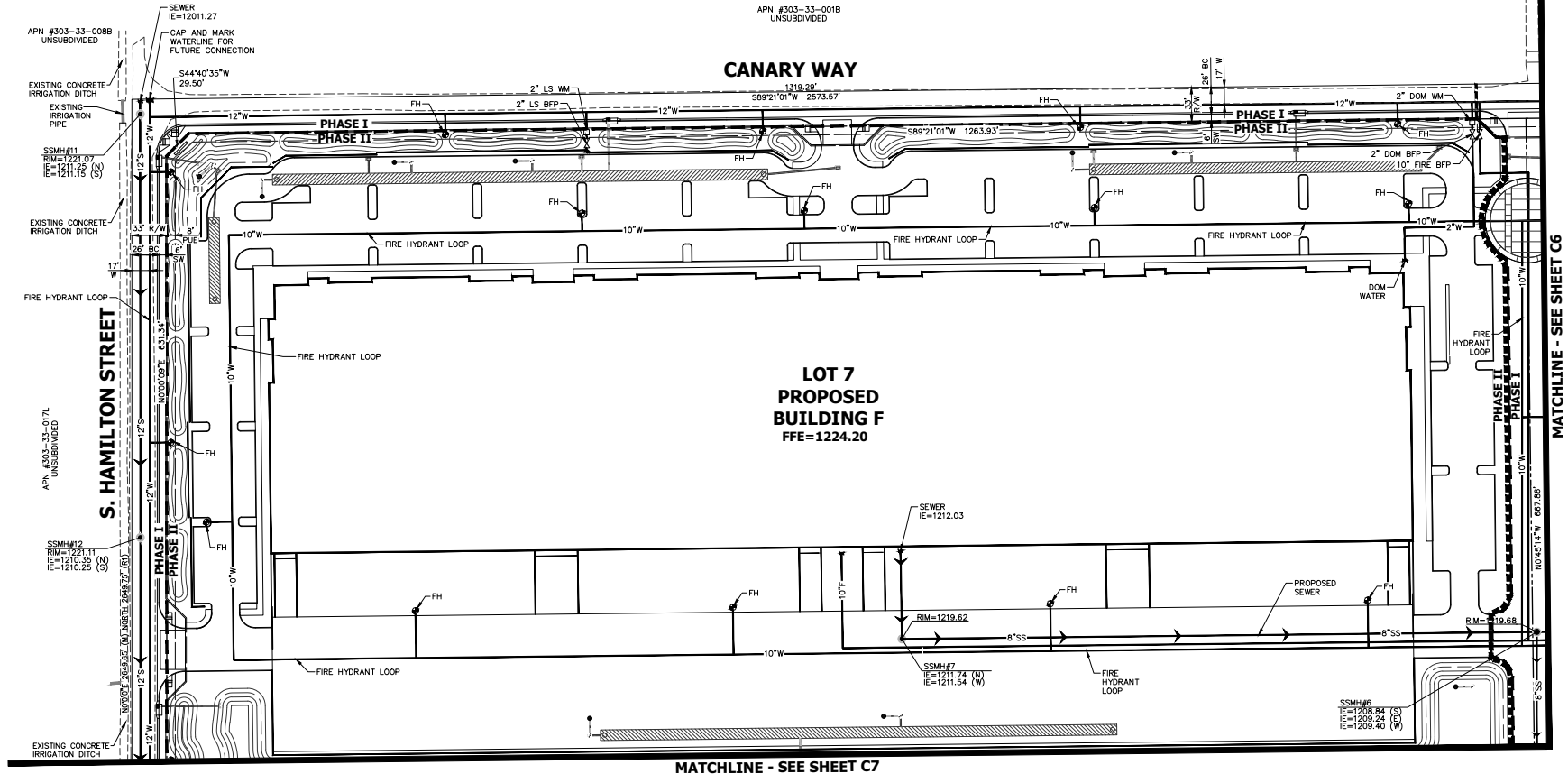
PROJECT NAME:
**CORE5
CHANDLER**

RE NO.: CORE001
SCALE: 1"=50'

SHEET:
C5

C.O.C LOG NO. PL720-0020

5 OF 10

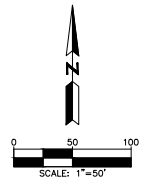


MATCHLINE - SEE SHEET C7

MATCHLINE - SEE SHEET C6

CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.C.
CHECKED BY: J.A.O.

HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480.991.3860
F 480.991.3860



CONCEPTUAL UTILITY PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286



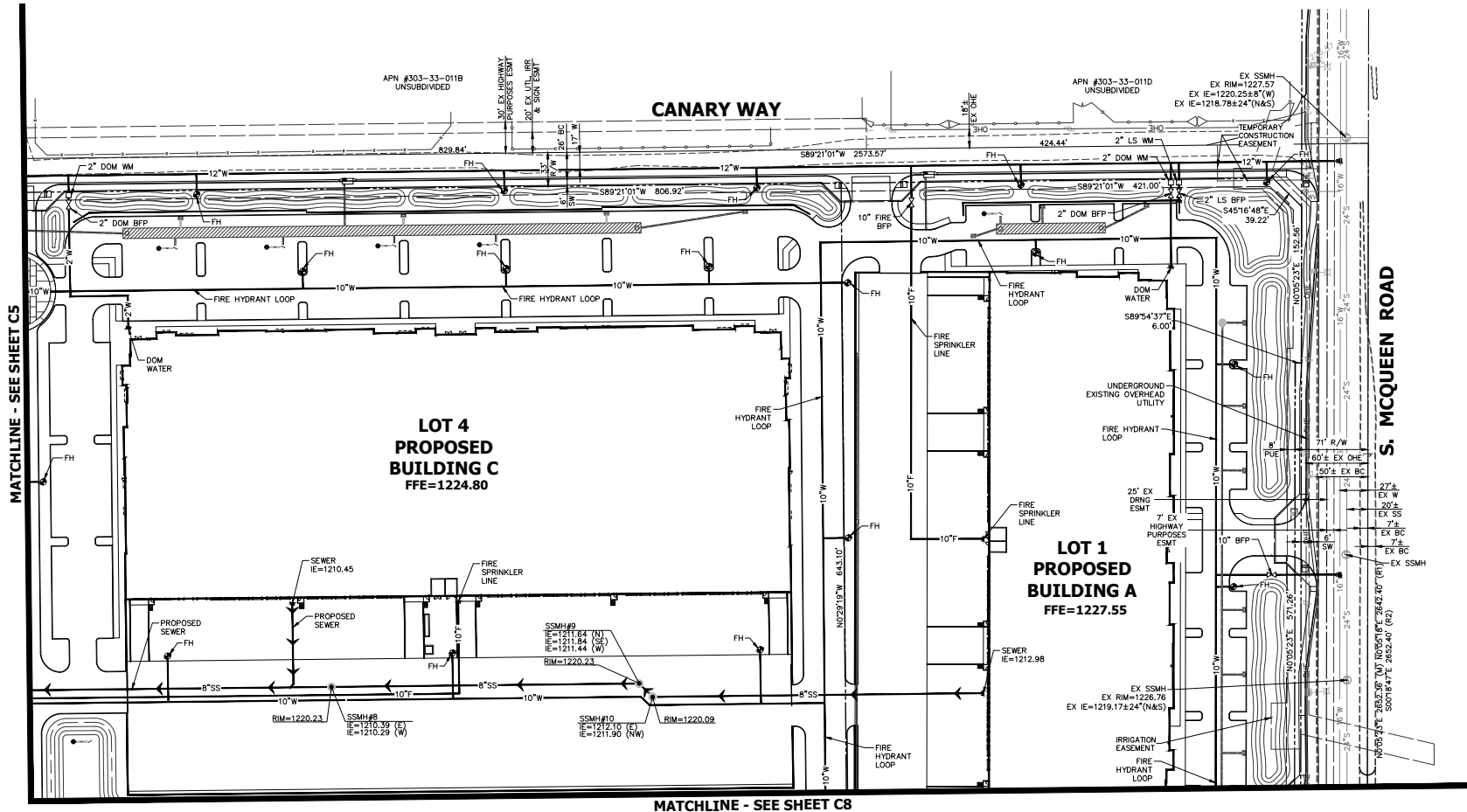
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PROJECT NAME:
CORE5
CHANDLER

RE NO.: CORE001
SCALE: 1"=50'

SHEET:
C6

C.O.C LOG NO. PL720-0020



THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN

NO.	DATE	REVISION	BY

PURPOSE:
3RD CITY CONCEPT SUBMITTAL

DESIGN BY: RJM
DRAWN BY: COC
CHECKED BY: JAO

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 2000
SCOTTSDALE, AZ 85258
TEL 480 991 3985
F 480 991 3986



**CONCEPTUAL UTILITY PLAN
FOR
DRES CHANDLER PHASES 1 & 2
MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**

CONTACT ARIZONA 811 AT LEAST 2 FULL
WORKING DAYS BEFORE YOU BEGIN EXCAVATION

ARIZONA811
UNIVERSITY MICROFILMS

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MUNICIPALITY.

PROJECT NAME:

**CORE5
CHANDLER**

HE NO.: CORE001

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C7

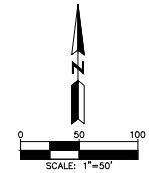
7 OF 10

C.O.C LOG NO.PL T20-0020

7 OF 10

CONCEPTUAL UTILITY PLAN
FOR
CORE5 CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: C.C.
CHECKED BY: JAO

HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
TEL: 480.991.3880
F: 480.991.3886



CONCEPTUAL UTILITY PLAN
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286

AR 0008111
ALL IN THE PUBLIC INTEREST

THESE PLANS ARE
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FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:

CORE5
CHANDLER

RE NO.: CORE001

SCALE: 1"=50'

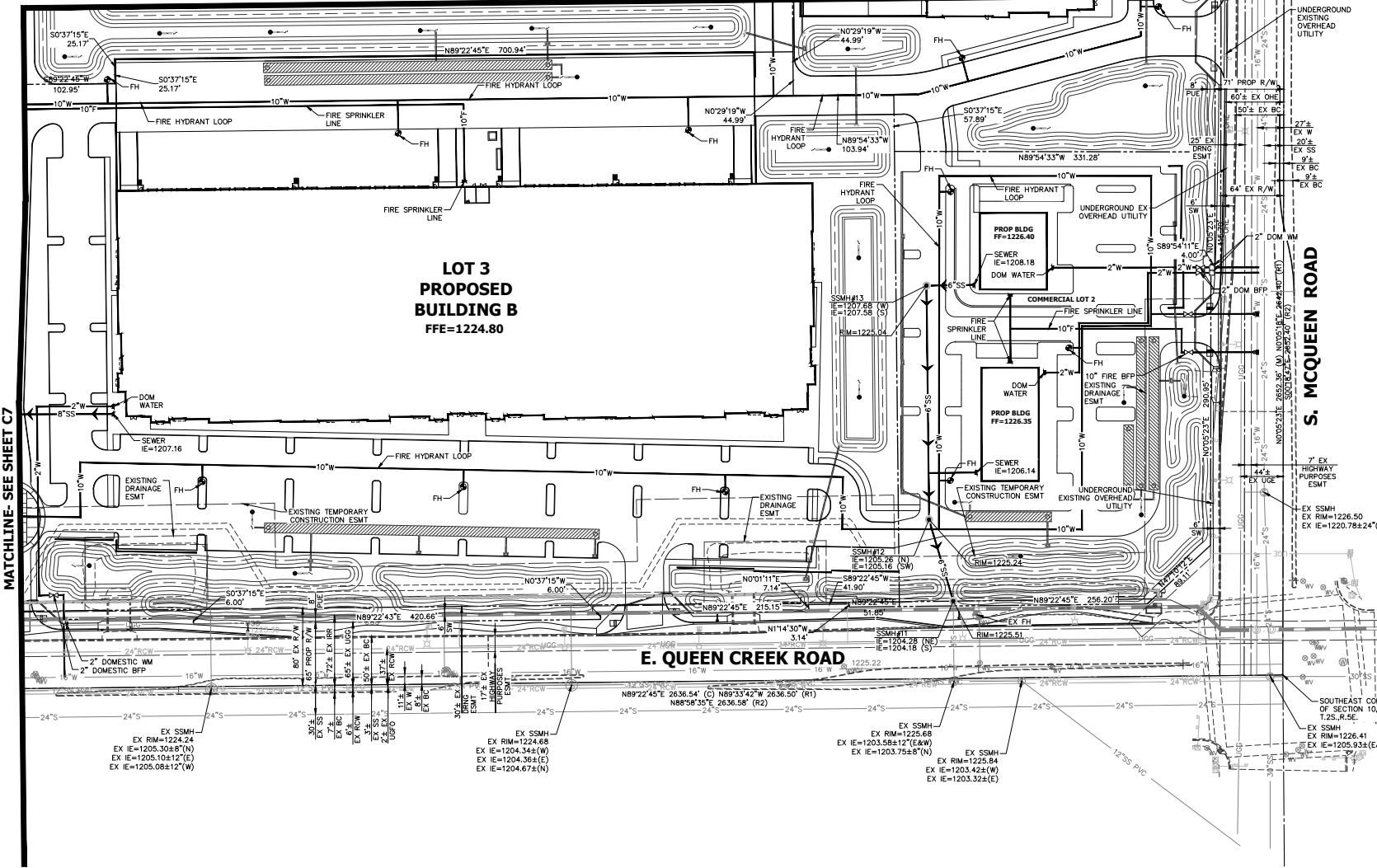
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C8

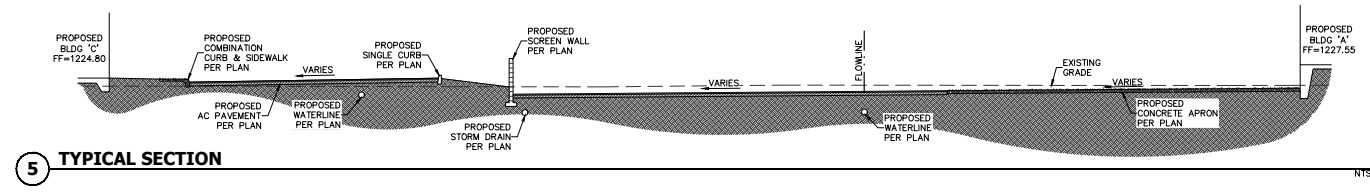
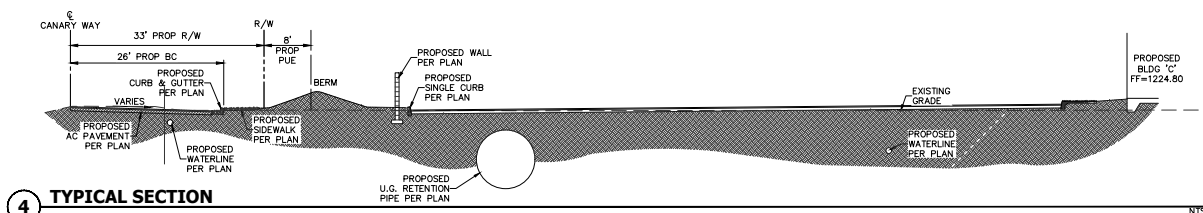
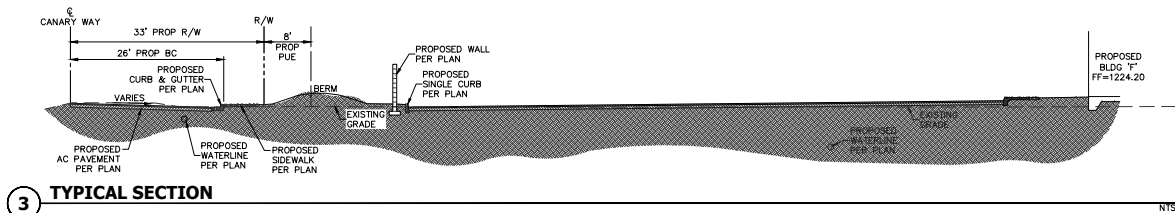
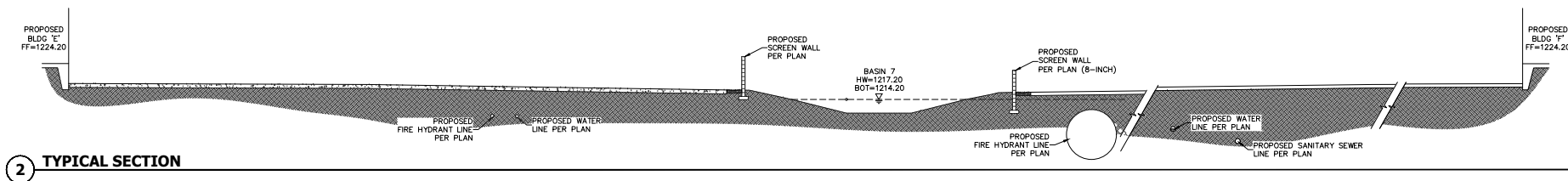
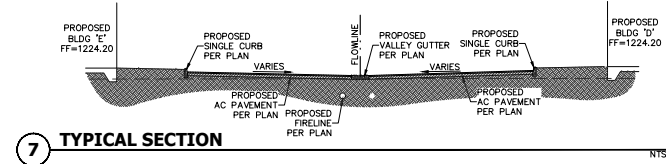
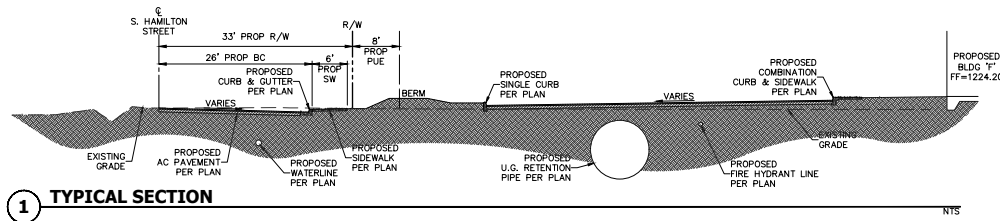
8 OF 10

C.O.C LOG NO. PL70-0020

MATCHLINE - SEE SHEET C6



MATCHLINE - SEE SHEET C7



NO.	DATE	REVISION	BY

DESIGN BY: R.M.
DRAWN BY: COC
CHECKED BY: JAO

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10405 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480.991.3860
F 480.991.3860



**TYPICAL SECTIONS
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**



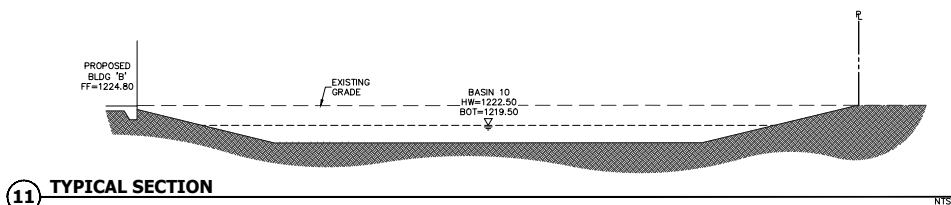
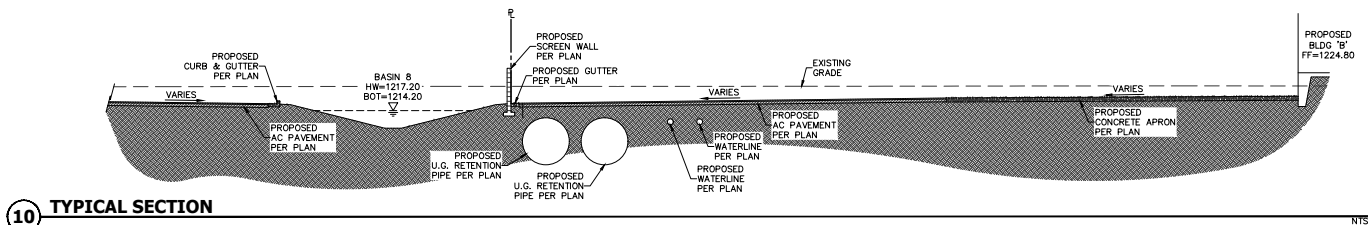
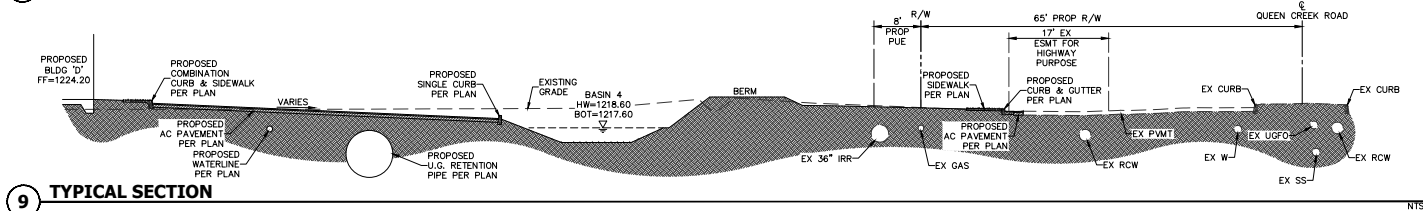
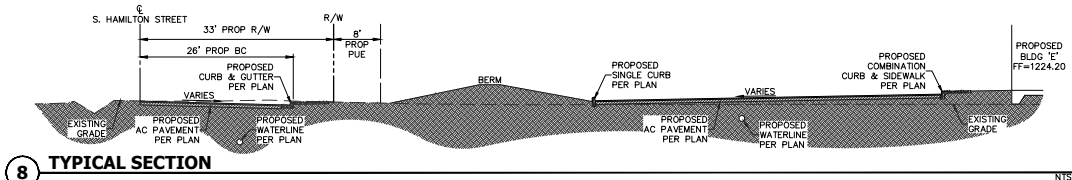
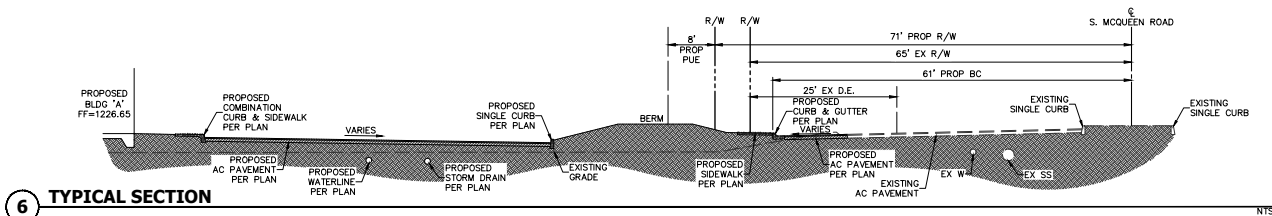
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MUNICIPALITY.

PROJECT NAME:
**CORES
CHANDLER**

HE NO.: CORE001
SCALE: NTS

SHEET:
C9

C.O.C LOG NO. PL720-0020



NO.	DATE	REVISION	BY
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DESIGN BY: R.M.
DRAWN BY: C.C.
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HUNTER
ENGINEERING
CIVIL AND SURVEY
10400 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85260
T 480.991.3885
F 480.991.3886



**TYPICAL SECTIONS
FOR
CORES CHANDLER PHASES 1 & 2
NWC MCQUEEN RD. & QUEEN CREEK RD.
CHANDLER, ARIZONA 85286**



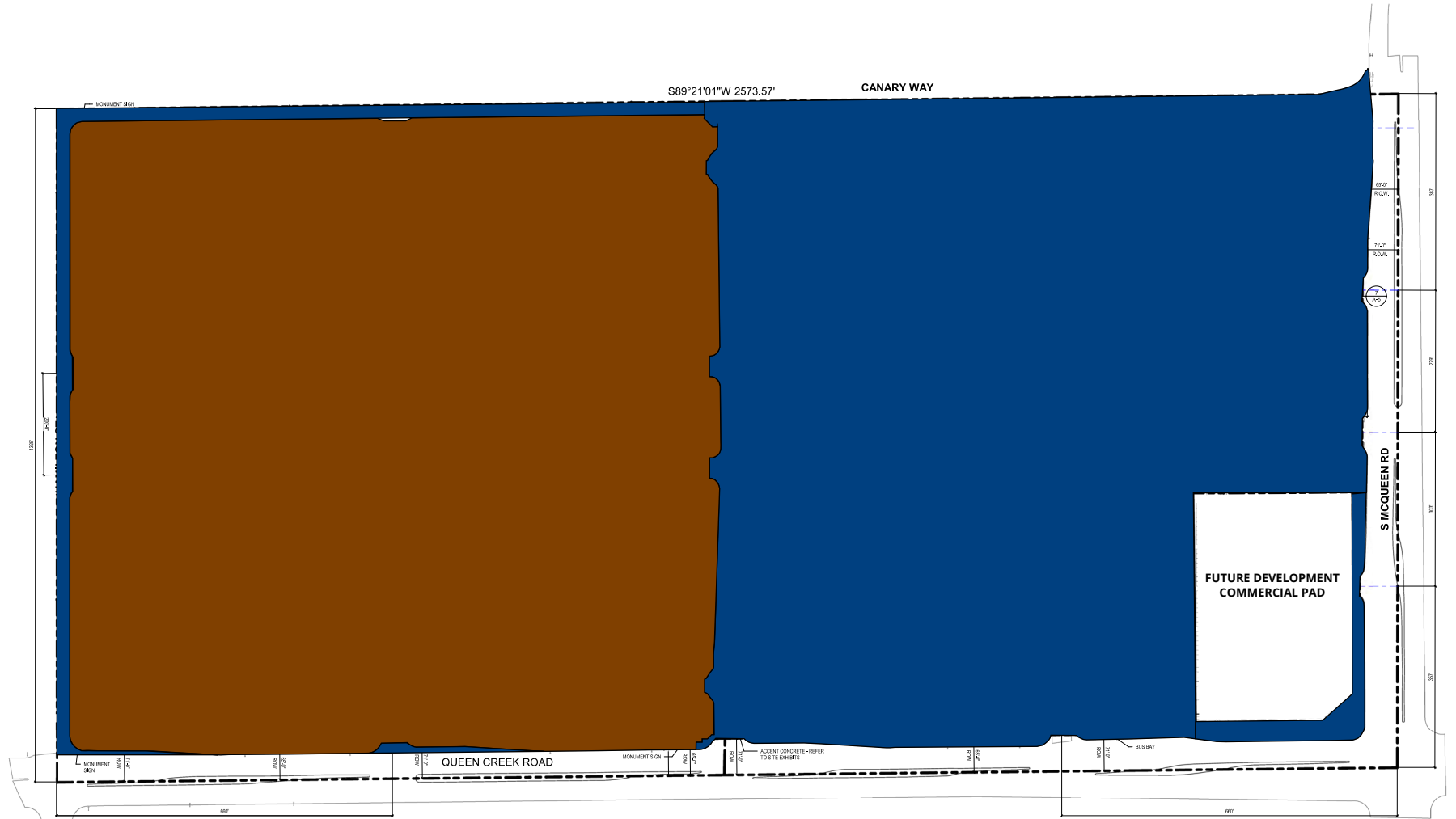
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PROJECT NAME:
CORES
CHANDLER

HE NO.: CORE001
SCALE: NTS

SHEET:
C10

C.O.C LOG NO. PL720-0020



1 PRELIM. MASTER SITE PLAN
SCALE 1" = 80'

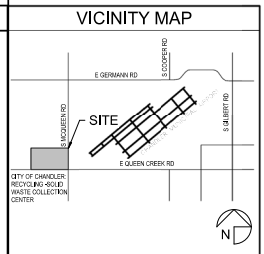


SITE DATA					
PARCEL NUMBERS	GROSS AREA		NET AREA		
303-33-050C, 303-33-060A	S.F.	ACRES	S.F.	ACRES	
PHASE 1	1,528,873	35.0	1,368,861	31.42	
PHASE 2	1,750,419	40.0	1,577,903	36.22	
COMMERCIAL PARCEL	276,545	4.97	153,545	3.48	
OVERALL	3,465,538	80.25	3,007,308	71.10	
SETBACKS	PROPOSED LANDSCAPE		PROPOSED BUILDING		
PRIVATE DRIVE	20'		20'		
MCQUEEN RD.	20'		20'		
QUEEN CREEK RD.	30'		30'		
HAMILTON RD.	20'		20'		
ZONING DATA					
CURRENT ZONING	AG-1		PROPOSED ZONING		PAD
BUILDING DATA					
BUILDING	AREA		COVERAGE		BUILDING HEIGHT
	AREA	NET	GROSS		
BUILDING A	87,356	28%	23%	SF MAX.	
BUILDING B	172,545	33%	23%	SF MAX.	
BUILDING C	168,041	32%	31%	SF MAX.	
BUILDING D	122,828	32%	29%	SF MAX.	
BUILDING E	113,328	31%	27%	SF MAX.	
BUILDING F	277,688	33%	31%	SF MAX.	
OVERALL	945,590	31%	27%	SF MAX.	
PARKING CALCULATION					
	REQUIRED	PROVIDED	ADA REQUIRED	ADA PROVIDED	RATIO
BUILDING A	92	115	5	8	1.32:1000
BUILDING B	172	330	8	8	1.98:1000
BUILDING C	168	244	7	8	1.50:1000
BUILDING D	123	239	7	8	2.01:1000
BUILDING E	113	260	7	8	2.42:1000
BUILDING F	278	390	9	12	1.48:1000
OVERALL	946	1,602	45	55	1.78:1000

PROJECT NARRATIVE

THE PROPOSED PROJECT CONSISTS OF A MULTI-PHASE BUSINESS CENTER LOCATED ON APPROXIMATELY 35 ACRES AT THE NORTHWEST CORNER OF QUEEN CREEK ROAD AND MCQUEEN ROAD IN CHANDLER, ARIZONA. THE MASTER PLANNED DEVELOPMENT WILL CONSIST OF APPROXIMATELY SIX BUILDINGS DESIGNED FOR A WIDE VARIETY OF USES CONSISTENT WITH THE CHANDLER AIRPORT AREA PLAN.

PROJECT TEAM		
OWNER:	ARCHITECT:	GENERAL CONTRACTOR:
CORE5 SCHRADER FARMS RP, LLC 330 SPECTRUM CENTER DRIVE SUITE 800 PHOENIX, AZ 85018 PHONE: (480) 450-2000 E-MAIL: JEFF@CORE5.COM CONTACT: JON KENNEL	DEUTSCH ARCHITECTURE GROUP 400 E. HANNAH SCHOOL RD. PHOENIX, AZ 85018 PHONE: (602) 462-2029 x144 E-MAIL: PHIL@DEUTSCHGROUP.COM CONTACT: RANDY HILBERG	NETR BUILDERS, LLC 4288 N. CRAFTSMAN COURT SUITE 100 SCOTTSDALE, AZ 85251 PHONE: (480) 426-2101 E-MAIL: INFO@NETRBUILDERS.COM CONTACT: SU HATTI
CIVIL ENGINEER:	LANDSCAPE ARCHITECT:	
HUNTER ENGINEERING 1400 N. 14TH STREET, SUITE 200 SCOTTSDALE, AZ 85257 PHONE: (480) 991-2885 E-MAIL: JEFF@HUNTERENGINEERINGPC.COM CONTACT: LARRY TALBOT, P.E.	G.K. FLANNAGAN ASSOCIATES 1625 N. 14TH STREET PHOENIX, AZ 85018 PHONE: (480) 365-1188 E-MAIL: JEFF@GFLANNAGAN.COM CONTACT: JEFF FLANNAGAN, P.E.	
ELECTRICAL ENGINEER:		
SOLUTIONS AEC 1414 N. BROADWAY, SUITE 142 TEMPE, AZ 85281 PHONE: (480) 968-1188 E-MAIL: JEFF@SOLUTIONSAEC.COM CONTACT: JEFF KENNEDY, P.E.		



CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS. BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGN/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.

D. Walls and Entry Monumentation

Proper screening of the parking areas will be accomplished through earthen berms and decorative walls that have been designed to complement the building and utilizing varying colors and textures arranged in an attractive design. ***See Exhibit 8, Screen Wall Plan and Elevations.***

E. Development Standards

Core5 is proposing the following development standards:

Regulation	Development Standard
Building Height (max.)	50 ft., inclusive of parapet walls, mechanical equipment, and screening
Building Setback (min.)*	
- Front (Queen Creek Rd.)	30 ft.
- Side (McQueen Rd.)	20 ft.
- Side (west)	20 ft.
- Rear (north)	20 ft.
Landscape Setback (min.)	
- Front (Queen Creek Rd.)	30 ft.
- Side (McQueen Rd.)	20 ft.
- Side (west)	20 ft.
- Rear (north)	20 ft.
Lot Coverage (max.)	55 %
Perimeter Parking Screen Wall Height (max.)	4 ft.
Interior Wall Height (max.)	16 ft.
Additional Standards: Landscape Setback Queen Creek Road and Hamilton Road -- 50 ft. x 250 ft. along Queen Creek Road -- 30 ft. x 100 ft. along Hamilton Road McQueen Road and future collector street -- 50 ft. x 100 ft. along McQueen Road -- 30 ft. x 100 ft. along future collector street *Building setbacks shall apply to parking canopies. Primary building setbacks shall substantially conform to <i>Exhibit 3, Conceptual Site Plan.</i>	

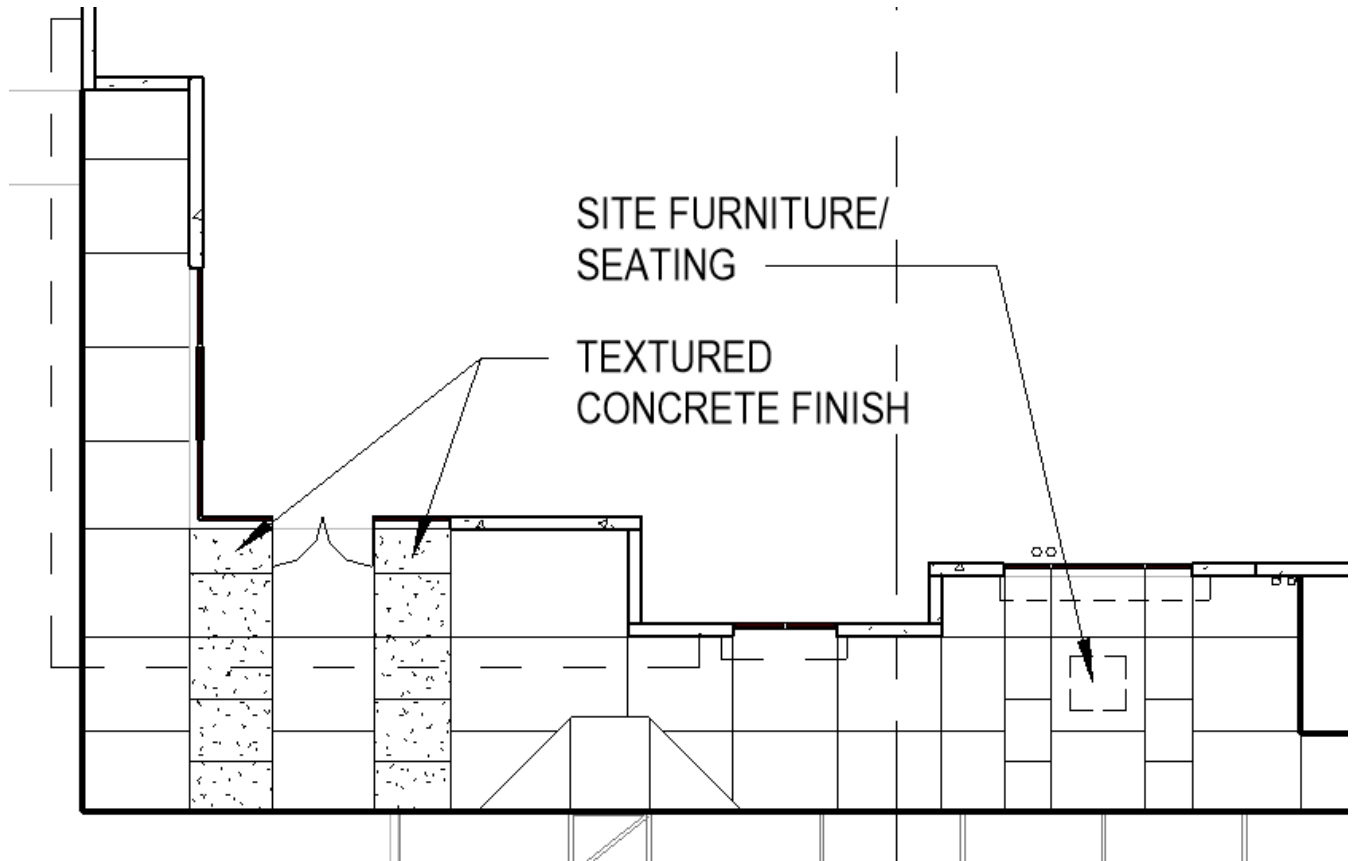
F. Circulation

Schrader BP has been planned to ensure efficient on-site circulation and appropriate access to the public street system surrounding the Site. Access to Site will occur as follows:

- Three driveways along McQueen Road (east), four driveways along Queen Creek Road (south), three driveways along the future collector ½ street (north), and two along the future Hamilton Street ½ street (west).
- McQueen Road is an arterial street with three lanes in each direction, a center median, bike lanes, and sidewalks contained within an approximately 130 feet right-of-way.
- Queen Creek Road is also an arterial street with three lanes in each direction, a center median, bike lanes, and sidewalks contained within an approximately 160 feet right-of-way.

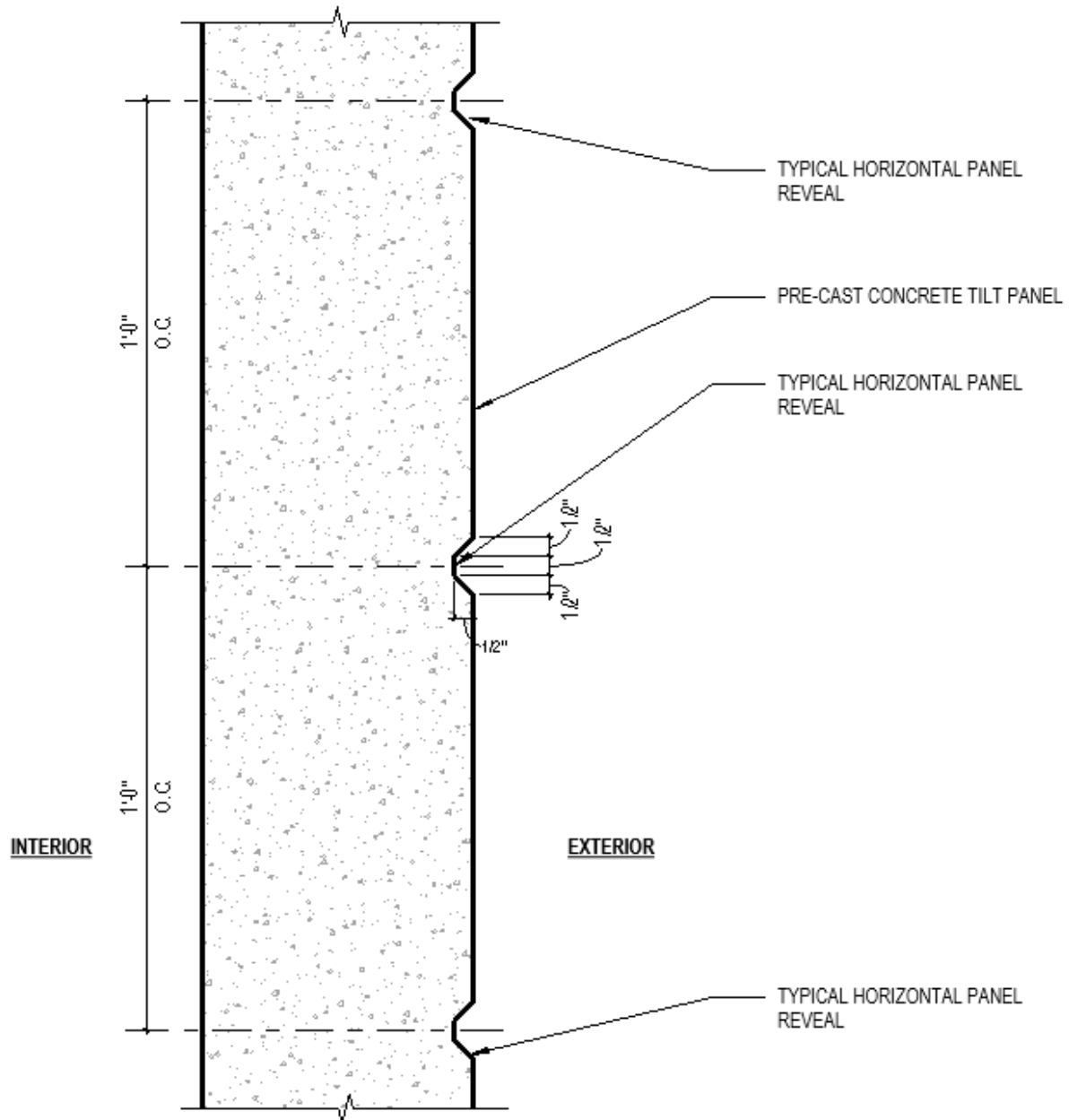


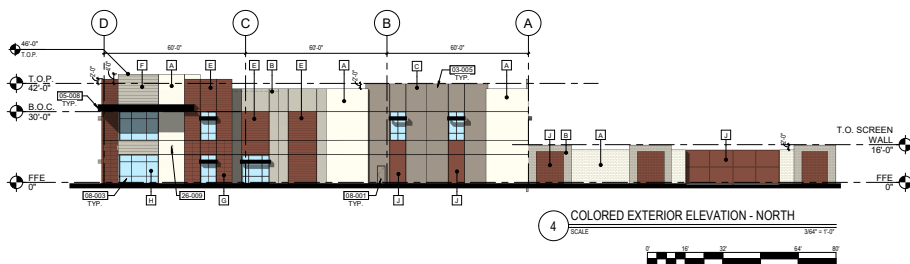
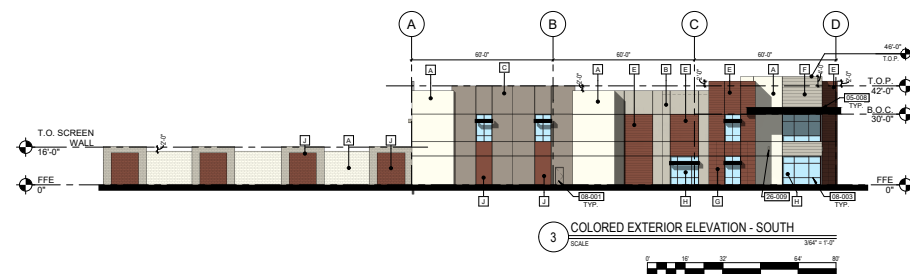
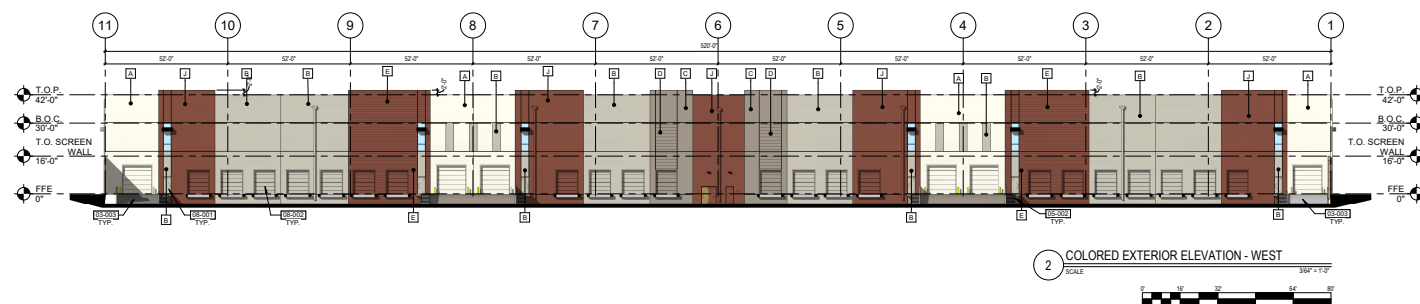
CONCRETE ENTRY FEATURE (TYPICAL)



TILT PANEL REVEAL PROFILE (TYPICAL)









PROPOSED TILT PANEL HORIZONTAL REVEAL AT 12" O.C. IN ACCENT AREAS:

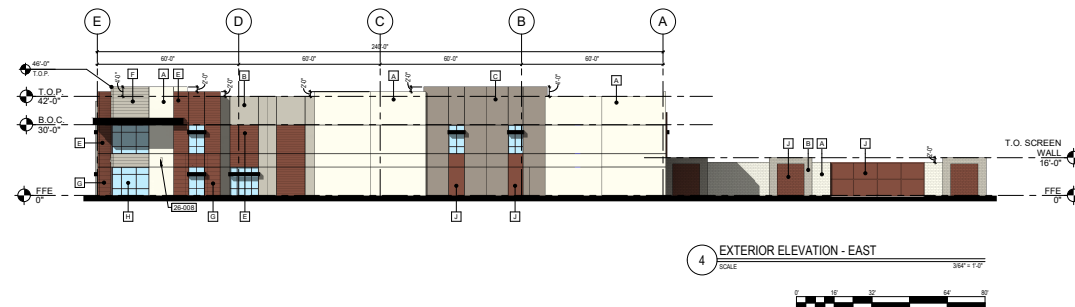
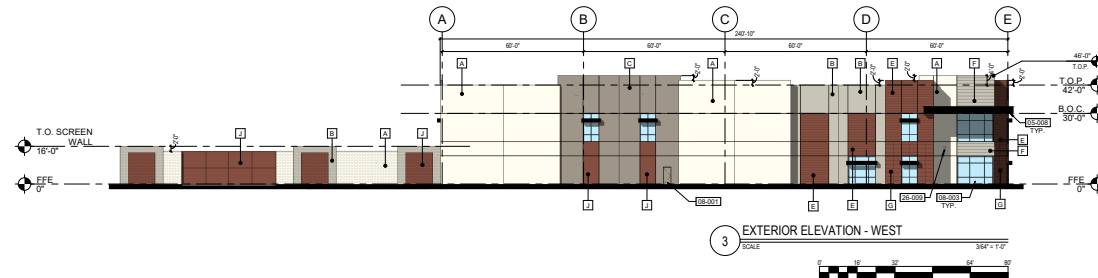
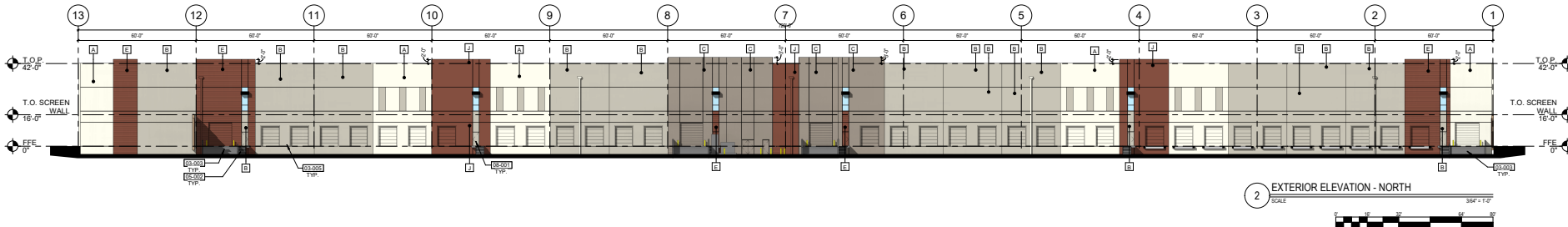
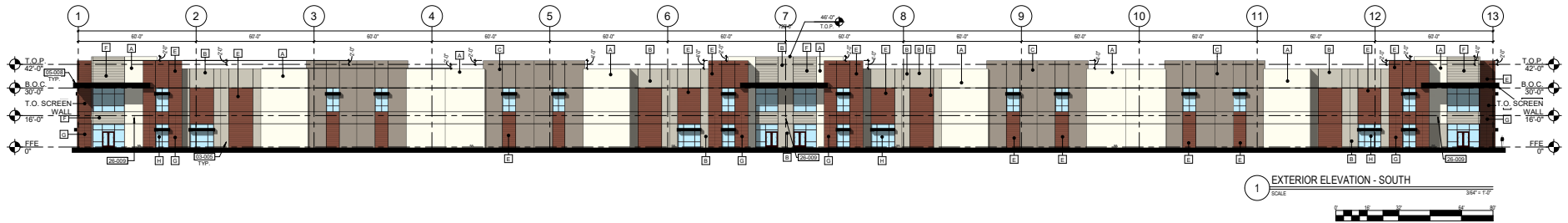




KEYNOTES	
03-023	NEW CONCRETE BUILDING ACCESS RAMP - REFER TO STRUCTURAL
03-025	CONCRETE TILT PANEL WITH VERTICAL AND HORIZONTAL REVEALS - PAINTED
05-002	METAL STAIRS AND HANDRAIL - PAINTED
05-009	DECORATIVE METAL CANOPY - PAINTED - REFER TO STRUCTURAL
05-021	HOLLOW METAL DOOR AND FRAME - PAINTED
05-022	OVERHEAD SECTIONAL DOOR - PAINTED
06-023	DOUBLE PINE GLASS STOREFRONT SYSTEM WITH ANNOXIDIZED ALUM FRAME
26-008	WALL SCIENCE REFER TO ELECTRICAL

EXTERIOR MATERIAL LEGEND

 <p>DUNN EDWARDS PAINT DETROIT CARRARA</p>	 <p>DUNN EDWARDS PAINT CLEAN CHERRY COLA (WITH REVEALS AT 12" O.C.)</p>	 <p>DUNN EDWARDS PAINT DEATHS CHERRY COLA</p>
 <p>DUNN EDWARDS PAINT DESZO POROUS STONE</p>	 <p>DUNN EDWARDS PAINT DESZO POROUS STONE (WITH REVEALS AT 12" O.C.)</p>	
 <p>DUNN EDWARDS PAINT DETROIT BARNWOOD GRAY</p>	 <p>T.E. DAZLE SUMITE TEXTURED COPPER TIEBIL 2060 STOCKBOND PATTERN</p>	
 <p>DUNN EDWARDS PAINT DETROIT BARNWOOD GRAY (WITH REVEALS AT 12" O.C.)</p>	<p>STOREFRONT SYSTEM 1 IN DARK GRAY ANODIZED SILVER BRASS 71.25" OPTIMUM, 10 DARK BRONZE ANODIZED ALUMINUM FRAME</p>	



KEYNOTES

- 15-000 NEW CONCRETE BUILDING ACCESS RAMP. REFER TO STRUCTURAL
- 15-000 CONCRETE TILT PANEL WITH VERTICAL AND HORIZONTAL REVEALS. PAINTED
- 15-000 METAL STAIRS AND HANDRAILS. PAINTED
- 15-000 DECORATIVE METAL CANOPY. PAINTED. REFER TO STRUCTURAL
- 15-000 POLYLOW METAL DOORS AND FRAME. PAINTED
- 15-000 DOUBLE PANEL GLASS STOREFRONT SYSTEM WITH ANODIZED ALUM FRAME
- 15-000 NORTH TRANSPARENT. REFER TO ELECTRICAL DRAWINGS
- 15-000 WALL BOONCE REFER TO ELECTRICAL

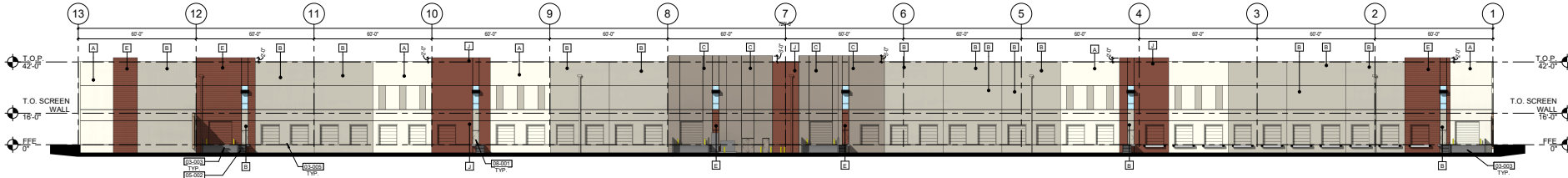
EXTERIOR MATERIAL LEGEND

- | | | |
|--|--|--|
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| | | |
- T.E. GALILEE 3/4" WHITE
DEFINITION (COPPER TPAH)
2000 STICKING PATTERN
STOREFRONT SYSTEM 1" MELLATED GLAZING PPG
AZURA/OLARBAW 75 IN DARK BRONZE ANODIZED ALUMINUM FRAME

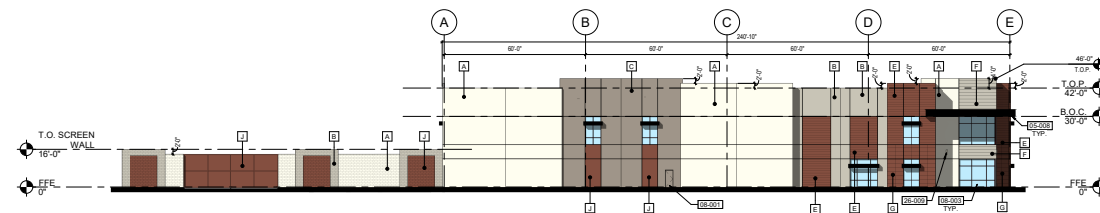
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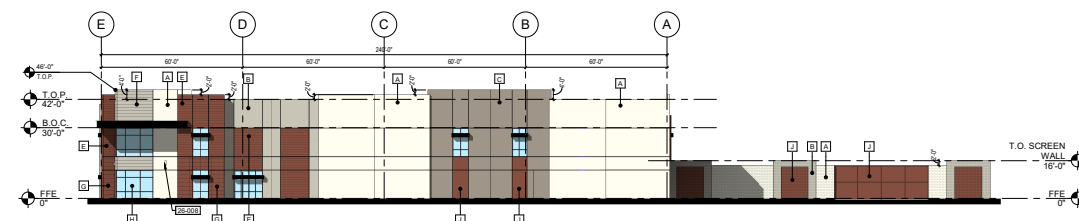
1 EXTERIOR ELEVATION - SOUTH
SCALE 1" = 12'-0"



2 EXTERIOR ELEVATION - NORTH
SCALE 1" = 12'-0"












3 EXTERIOR ELEVATION - WEST
SCALE 1" = 12'-0"

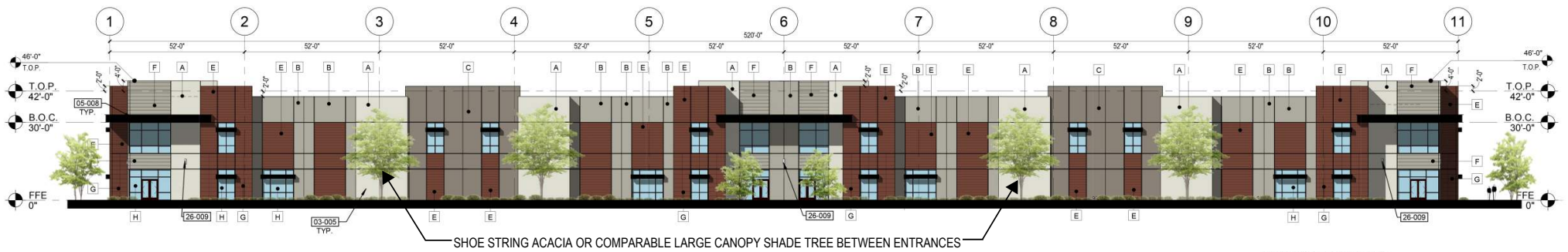


4 EXTERIOR ELEVATION - EAST
SCALE 1" = 12'-0"

KEYNOTES	
15-00	NEW CONCRETE BUILDING ACCESS RAMP. REFER TO STRUCTURAL
15-01	CONCRETE TILT PANEL WITH VERTICAL AND HORIZONTAL REVEALS. PAINTED
15-02	METAL STAIRS AND HANDRAILS. PAINTED
15-03	DESCRIPTIVE METAL CANOPY. PAINTED. REFER TO STRUCTURAL
15-04	POLYLOW METAL DOORS AND FRAMES. PAINTED
15-05	DOUBLE PANEL GLASS STOREFRONT SYSTEM WITH ANODIZED ALUM FRAME
15-06	NOT TRANSPARENT. REFER TO ELECTRICAL DRAWINGS
15-07	WALL SOUNDC. REFER TO ELECTRICAL

EXTERIOR MATERIAL LEGEND			
	DUNN EDWARDS PAINT 25164 WHITE PICKET FENCE		DUNN EDWARDS PAINT 25165 SEARS CHERRY COILA (WITH REVEALS AT 12" O.C.)
	DUNN EDWARDS PAINT 25222 POROUS STONE (WITH REVEALS AT 12" O.C.)		DUNN EDWARDS PAINT 25222 POROUS STONE (WITH REVEALS AT 12" O.C.)
	DUNN EDWARDS PAINT 25120 BARNWOOD GRAY		DUNN EDWARDS PAINT 25120 BARNWOOD GRAY (WITH REVEALS AT 12" O.C.)
	DUNN EDWARDS PAINT 25120 BARNWOOD GRAY (WITH REVEALS AT 12" O.C.)		TILE: DALLITE SLURRITE ANTIQUE/STONE COPPER PANEL 28x36 TRACED PATTERN PANEL
			STOREFRONT SYSTEM: 11" INSULATED GLAZING, PPG AZURA/OLARBAW 75 IN DARK BRONZE ANODIZED ALUMINUM FRAME

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McQUEEN FRONTAGE
COLORED EXTERIOR ELEVATION - EAST

1



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SCHRADER FARMS - BUILDING A

6/15/21
DEUTSCH PROJECT #: 19183.00