



Chandler Corporate Center Lots 8 and 10 Preliminary Development Plan Narrative

Introduction:

LGE Corporation is requesting a Preliminary Development Plan for building design and site of a 1 Story building located on the S.E.C. of Juniper Drive and Galveston Street.

Project Proposal:

The site area is 263,742 S.F. (6.05 acres). The building has a total gross square footage of 86,263 S.F. with a building height of approximately +38'-0" A.F.F.

The use of this building will be office/ warehouse. Hours will be normal working hours, 8am-5pm Monday through Friday. The number of employees is unknown.

Building Design:

The building design, colors and materials have a cohesive palette that maintains consistency throughout both the site and building elevations while complimenting the surrounding area. A nice color palate that blends the tenant identification with a classic but modern corporate elegance is displayed utilizing materials which include Concrete Tilt Panels, EIFS, Low-E tinted glazing, and exposed steel. Four sided architecture is prevalent throughout the elevations with some varied parapet heights, and colors to reduce continuous wall lengths. The building design meets additional architectural standards per zoning through consistent architectural character and detail. Signage will be in harmony with the character, scale and context of the building reflecting the appropriate size, materials, color, location and illumination. The signage shall comply with the following case standards: PDP05-0009 Chandler Corporate Center

Site Design:

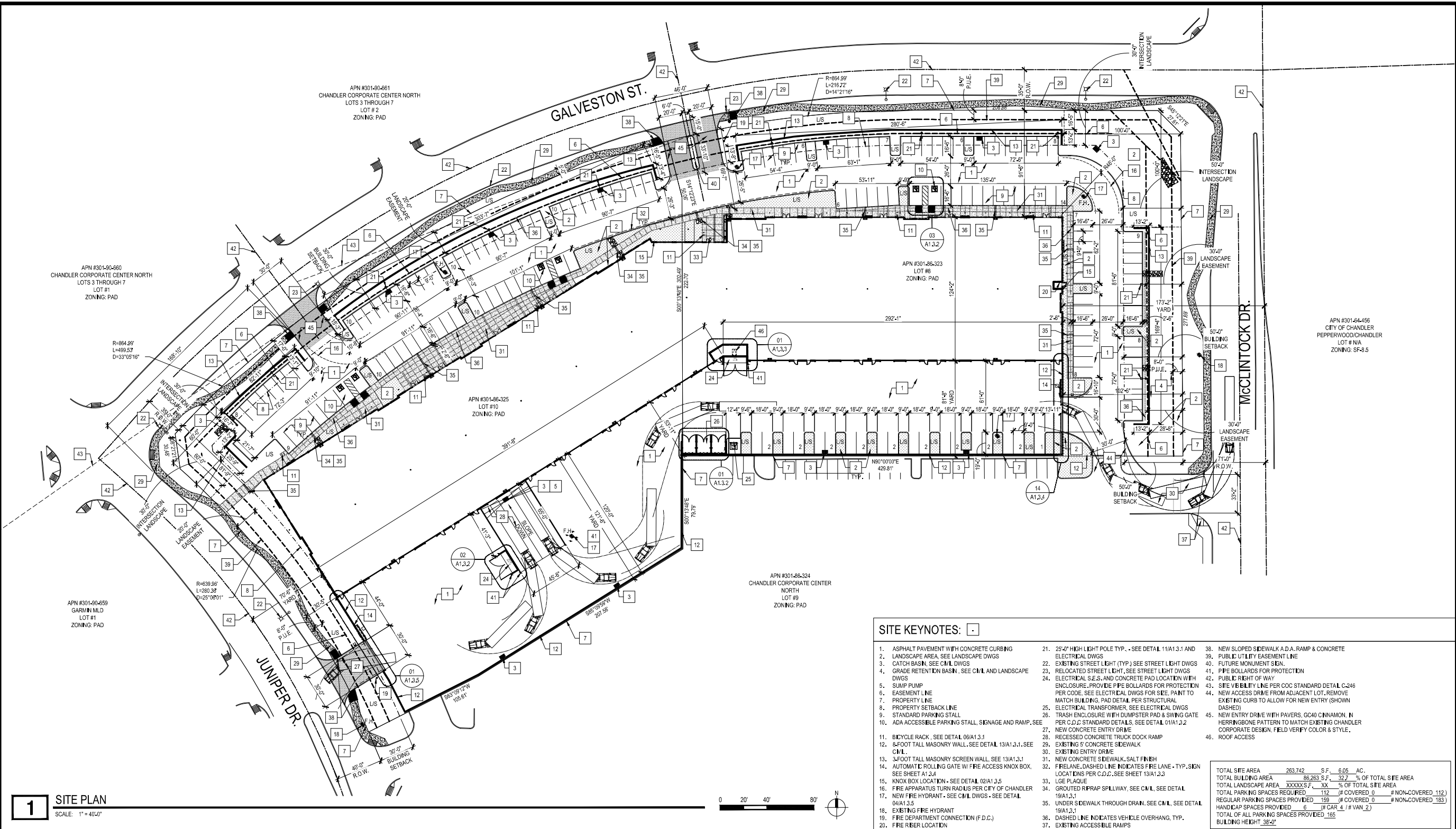
Vehicular access to the development is provided off of Galveston Street to parking areas on the North and East sides of the building. The proposed drive aisles within the development are a minimum of 24 feet. Fire access is provided throughout the facility and meets the fire department's minimum design criteria.

Pedestrian access is provided via a sidewalk connection from the facility through a sidewalk located along the North and East sides of the building. The sidewalks will be ADA accessible.

The zoning code parking requirements for an office/warehouse facility is provided. The typical parking spaces are 9'-0" wide x 19'-0" long, the ADA accessible parking spaces are 11'-0" wide and 18'-0" long with the required 5'-0' wide aisle all of which comply with Zoning Code requirements.

Landscape Design:

This project will have landscape along the frontage and within the property where designated. The landscape will consist of an ornamental desert theme. Landscaping will meet the zoning requirements.

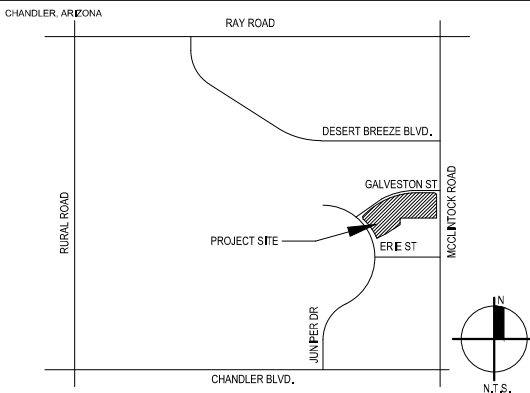


GENERAL NOTES:

1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
5. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
6. SIGNS REQUIRE SEPARATE PERMIT.
7. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
8. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
9. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.
10. ALL TRANSFORMER BOXES TO BE PAINTED TO MATCH STREET LIGHTING.

- A. UNDERGROUND STREET LIGHT CIRCUITS, POLES AND FIXTURES ON ALL PUBLIC STREETS TO THE STREET PLANNING AND DESIGN GUIDELINES, SEPARATE SUBMITTAL.
- B. ALL UNUSED DRIVEWAYS WITH SIDEWALK AND CURB AND GUTTER WILL BE REPLACED. ALL BROKEN OR OUT OF GRADE CURB, GUTTER, SIDEWALK, CURB RAMPS ON ALL STREETS TO BE REPLACED.
- C. ALL NEW AND EXISTING OFFSITE IMPROVEMENTS TO BE INSTALLED OR UPGRADED IN COMPLIANCE WITH CURRENT ADA GUIDELINES.

VICINITY MAP:



SITE PLAN NOTES:

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF CHANDLER WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ZERO CANDELA AT CENTER LINE OF THE PROPERTY LINE, NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

PROJECT DESCRIPTION:

THE PROJECT IS A NEW WAREHOUSE BUILDING WITH SITE WORK ON A VACANT 6.05 ACRE PARCEL LOCATED AT SOUTHEAST PORTION OF JUNIPER DRIVE AND GALVESTON STREET IN CHANDLER, AZ. THE BUILDING WILL BE 86,263 S.F. OF OFFICE / WAREHOUSE SPACE. THE BUILDING DESIGN WILL CONSIST OF PAINTED TILT-UP CONCRETE PANEL WALLS WITH PAINTED METAL CANOPIES OVER THE FRONT ENTRIES. THERE WILL BE NEW ELECTRICAL, PLUMBING, MECHANICAL, CIVIL, & STRUCTURAL SCOPE OF WORK.

SITE KEYNOTES:

1. ASPHALT PAVEMENT WITH CONCRETE CURBING
2. LANDSCAPE AREA, SEE LANDSCAPE DWGS
3. CATCH BASIN, SEE CIVIL DWGS
4. GRADE RETENTION BASIN, SEE CIVIL AND LANDSCAPE DWGS
5. SUMP PUMP
6. EASEMENT LINE
7. PROPERTY LINE
8. ELECTRICAL TRANSFORMER, SEE ELECTRICAL DWGS
9. STANDARD PARKING STALL
10. ADA ACCESSIBLE PARKING STALL, SIGNAGE AND RAMP, SEE
11. BICYCLE RACK, SEE DETAIL 06/A1.3.1
12. 8-FOOT TALL MASONRY WALL, SEE DETAIL 13/A1.3.1. SEE CIVIL
13. 3-FOOT TALL MASONRY SCREEN WALL, SEE 13/A1.3.1
14. AUTOMATIC ROLLING GATE W/ FIRE ACCESS KNOX BOX, SEE SHEET A1.3.4
15. KNOX BOX LOCATION - SEE DETAIL 02/A1.3.5
16. FIRE APPARATUS TURN RADIUS PER CITY OF CHANDLER 19/A1.3.1
17. NEW FIRE HYDRANT - SEE CIVIL DWGS - SEE DETAIL 04/A1.3.5
18. EXISTING FIRE HYDRANT
19. FIRE DEPARTMENT CONNECTION (F.D.C.)
20. FIRE RISER LOCATION
21. 25'-0" HIGH LIGHT POLE TYP. - SEE DETAIL 11/A1.3.1 AND ELECTRICAL DWGS
22. EXISTING STREET LIGHT (TYP.) SEE STREET LIGHT DWGS
23. RELOCATED STREET LIGHT, SEE STREET LIGHT DWGS
24. ELECTRICAL S.E.S. AND CONCRETE PAD LOCATION WITH ENCLOSURE, PROVIDE PIPE BOLLARDS FOR PROTECTION PER CODE. SEE ELECTRICAL DWGS FOR SIZE. PAINT TO MATCH BUILDING, PAD DETAIL PER STRUCTURAL
25. ELECTRICAL TRANSFORMER, SEE ELECTRICAL DWGS
26. TRASH ENCLOSURE WITH DUMPSTER PAD & SWING GATE PER C.O.C. STANDARD DETAILS, SEE DETAIL 01/A1.3.2
27. NEW CONCRETE ENTRY DRIVE
28. RECESSED CONCRETE TRUCK DOCK RAMP
29. EXISTING 5' CONCRETE SIDEWALK
30. EXISTING ENTRY DRIVE
31. NEW CONCRETE SIDEWALK, SALT FINISH
32. FIRE LANE, DASHED LINE INDICATES FIRE LANE - TYP. SIGN LOCATIONS PER C.O.C. SEE SHEET 13/A1.3.3
33. LGE PLAQUE
34. GROUTED RIPRAP SPILLWAY, SEE CIVIL, SEE DETAIL 19/A1.3.1
35. UNDER SIDEWALK THROUGH DRAIN, SEE CIVIL, SEE DETAIL 19/A1.3.1
36. DASHED LINE INDICATES VEHICLE OVERHANG, TYP.
37. EXISTING ACCESSIBLE RAMPS
38. NEW SLOPED SIDEWALK A.D.A. RAMP & CONCRETE
39. PUBLIC UTILITY EASEMENT LINE
40. FUTURE MONUMENT SIGN
41. PIPE BOLLARDS FOR PROTECTION
42. PUBLIC RIGHT OF WAY
43. SITE VISIBILITY LINE PER COC STANDARD DETAIL C-246
44. NEW ACCESS DRIVE FROM ADJACENT LOT, REMOVE EXISTING CURB TO ALLOW FOR NEW ENTRY (SHOWN DASHED)
45. NEW ENTRY DRIVE WITH PAVERS, G40 CINNAMON, IN HERRINGBONE PATTERN TO MATCH EXISTING CHANDLER CORPORATE DESIGN, FIELD VERIFY COLOR & STYLE.
46. ROOF ACCESS

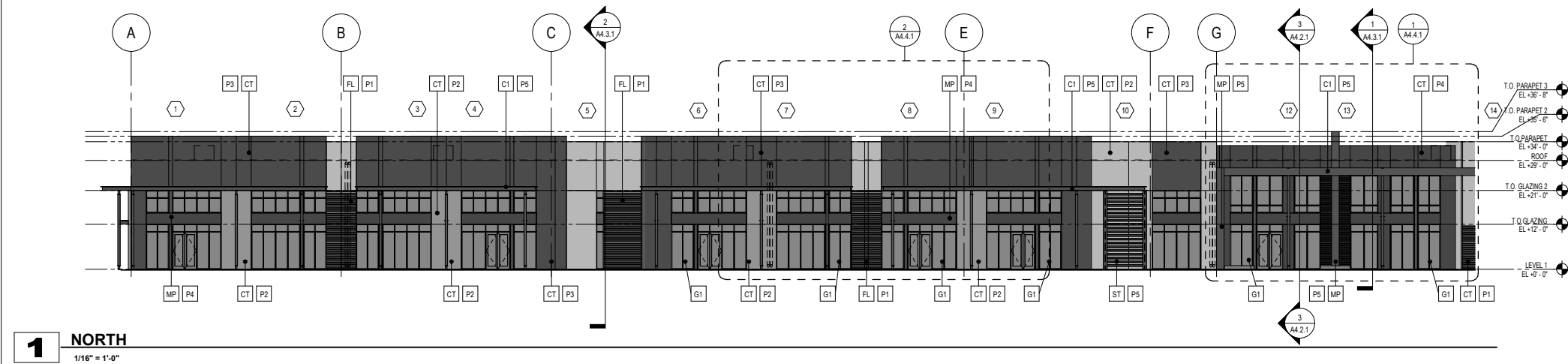
TOTAL SITE AREA	263,742	S.F.	6.05	AC.
TOTAL BUILDING AREA	86,263	S.F.	32.2	% OF TOTAL SITE AREA
TOTAL LANDSCAPE AREA	XXXXXX	S.F.	XX	% OF TOTAL SITE AREA
TOTAL PARKING SPACES REQUIRED	112	(# COVERED 0	# NON-COVERED 112)	
REGULAR PARKING SPACES PROVIDED	159	(# CAR 4	# VAN 2)	
HANDICAP SPACES PROVIDED	6	(# CAR 4	# VAN 2)	
TOTAL OF ALL PARKING SPACES PROVIDED	165			
BUILDING HEIGHT	38'-0"			

PROJECT DATA:

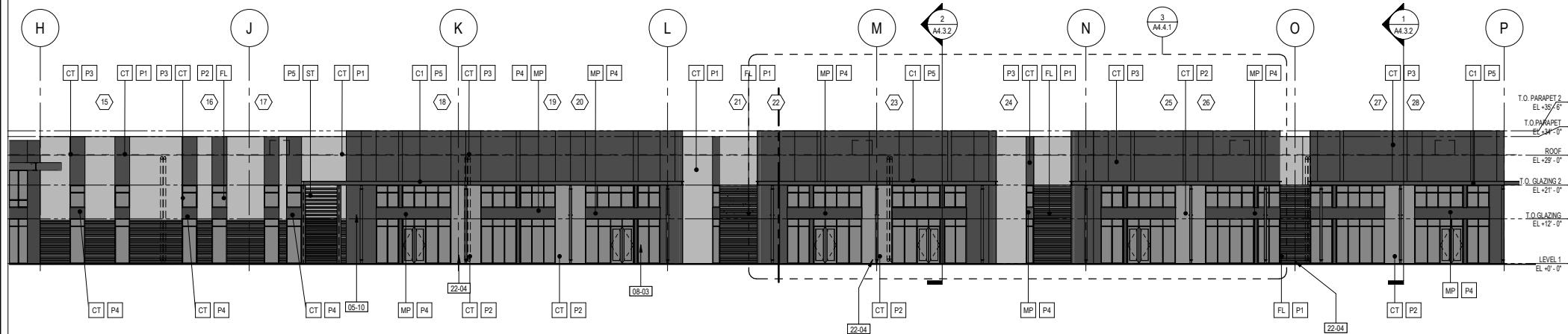
OWNER:	DPNG GALVESTON LLC P.O. BOX 13082 PALM DESERT, CA 92255	CONSTRUCTION TYPE:	1B W/ A.F.S.
PROJECT ADDRESS:	S.E.C. JUNIPER DRIVE & GALVESTON STREET CHANDLER, AZ.	BUILDING HEIGHT:	1 STORY (38'-0" TO HIGHEST POINT)
ARCHITECT:	LGE DESIGN GROUP 1200 NORTH 52ND STREET PHOENIX, AZ 85008 PHONE: 480.966.4001 EMAIL: john@lgedesigngroup.com	SPRINKLERS:	YES / FULLY SPRINKLED
PROJECT SCOPE:	A NEW COMMERCIAL WAREHOUSE/OFFICE BUILDING	LOT 8 LEGAL DESCRIPTION: LOT 8 OF CHANDLER CORPORATE CENTER NORTH AS RECORDED IN BOOK 919 OF MAPS, PAGE 49, OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER, ARIZONA.	
ASSESSOR PARCEL NO.:	301-66-325 & 301-66-323	LOT 10 LEGAL DESCRIPTION: LOT 10 OF CHANDLER CORPORATE CENTER NORTH AS RECORDED IN BOOK 919 OF MAPS, PAGE 49, OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER, ARIZONA.	
CURRENT ZONING:	PAD	REQUIRED PARKING CALCS:	
SITE AREA:	263,742 S.F. (6.05 AC)	OCCUPANCY	SQ. FT. FACTOR TOTAL
STORIES:	ONE STORY	OFFICE	20,000 S.F. 1 / 250 S.F. 80 SP.
GROSS BUILDING S.F.:	86,263 S.F.	WAREHOUSE	1ST 10,000 S.F. 1 / 500 S.F. 20 SP.
LOT COVERAGE:	32.7 % (40% MAX)	WAREHOUSE	REMAINING 96,263 S.F. 1 / 500 S.F. 12 SP.
OCCUPANCY:	B / S-1	TOTAL	110 SP.
		PARKING PROVIDED	
		TOTAL REGULAR SPACES	169 SP.
		TOTAL ACCESSIBLE SPACES	6 SP.
		TOTAL SPACES	165 SP.
		PARKING RATIO	2.2 CARS FOR 1,000 S.F.
		TRUCK LOADING/PARKING:	19 SP.

NUMBER	REVISION	DATE

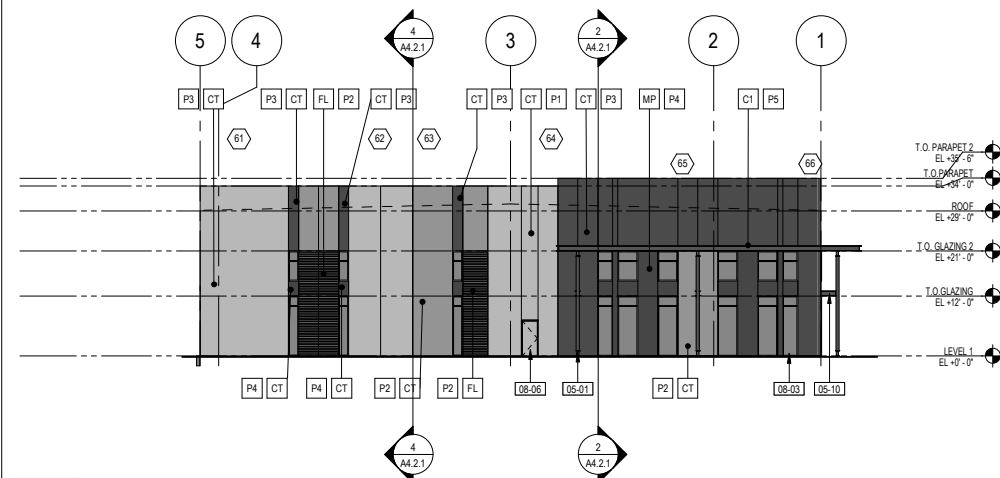




1 NORTH
1/16" = 1'-0"



2 NORTH WEST CONT.
1/16" = 1'-0"



3 EAST
1/16" = 1'-0"

GENERAL SHEET NOTES

- REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
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- REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- REFER TO THE A4.4.X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.
- REFER TO THE A5.4.X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.

REFERENCE KEYNOTES

- 05-01 STRUCTURAL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO. INTERIOR COLUMNS TO BE PAINTED YELLOW FROM TOP OF SLAB TO +10'-0" AFF. AND WHITE FROM +10'-0" AFF. TO STRUCTURE ABOVE.
- 05-10 PAINTED STEEL BEAM. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- 08-03 EXTERIOR 2" X 6" STOREFRONT WINDOW SYSTEM. REFER TO WINDOW SCHEDULE FOR MORE INFO.
- 08-06 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 22-04 INTERIOR ROOF DRAIN DOWNSPOUT. REFER TO DETAIL 07/A5.4.1, NORTH ELEVATIONS WITH LAMBSTONCE.

MATERIALS

MATERIAL/FINISHES SCHEDULE	
KEY:	DESCRIPTION:
CT	CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" V" SCORE LINES PAINTED. REFER TO LAYOUT FOR THICKNESS INFORMATION
FL	CUSTOM FORM LINER PATTERN (SEE SHEET A5.3.2)
MP	ROLLFAB METAL PANEL, PRO-FINISH 500 CLOR DARK BRONZE
ST	METAL TRELLIS, PAINTED FINISH

CANOPY KEY:

C1	WIDE FLANGE STEEL FRAMED STRUCTURE WITH OPEN METAL TRELLIS DESIGN, PAINTED FINISH
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GLAZING KEY:

MATERIAL DESCRIPTION:

FRAMES

SF1	ALUMINUM STOREFRONT - 2" X 4 1/2" (SEALANT JOINT VERTS) DK. BRONZE ANODIZED (AB-7)
SF2	ALUMINUM STOREFRONT - 2" X 6" (SEALANT JOINT VERTS) DK. BRONZE ANODIZED (AB-7)

EXTERIOR

G1	SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE
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NOTE: ALL GLAZING TO COMPLY WITH IBC 2405.

PAINT KEY:

KEY: DESCRIPTION:

P1	DUNN EDWARDS - 'ASH GRAY' #DEC751
P2	DUNN EDWARDS - 'PORTOBELLO MUSHROOM' #DET622
P3	DUNN EDWARDS - 'MINK' #DE6392
P4	DUNN EDWARDS - 'SPICED HOT CHOCOLATE' #DET691
P5	DUNN EDWARDS - 'BLACK TIE' #DE6357 (EXPOSED STEEL & COLUMNS)

- PAINTING NOTES:
- PANTNER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
 - SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
 - PANTNER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
 - PANTNER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.

CHANDLER CORPORATE CENTER LOTS 8 AND 10 S.E.C. JUNIPER DRIVE & GALVESTON STREET CHANDLER, ARIZONA

NUMBER	REVISION	DATE
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Expires: 06/30/20

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

ISSUE DATE: 06.03.2021

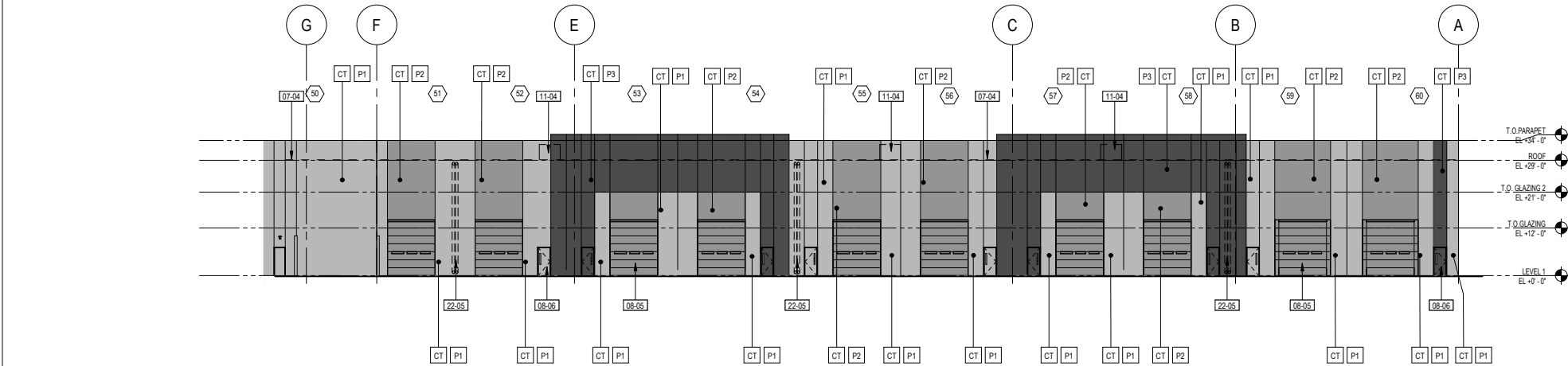
DRAWN BY: START Sheet

CHECKED BY: Checker

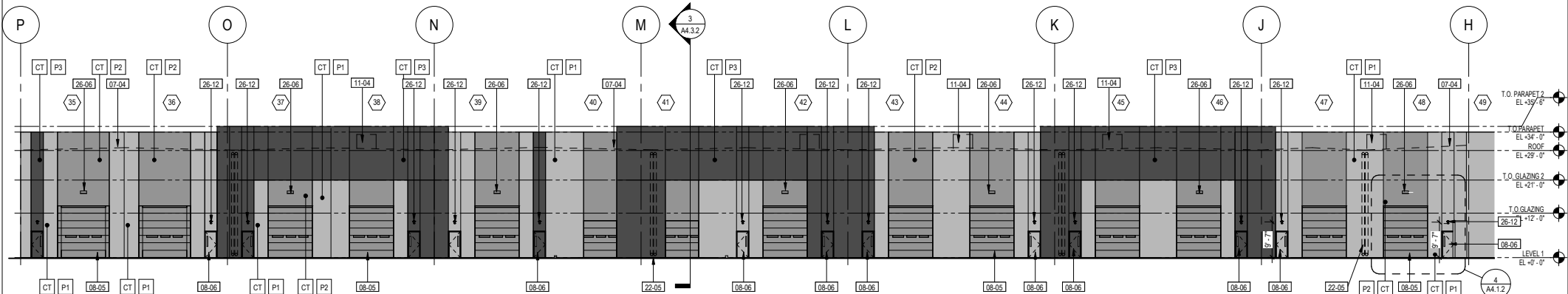
PROJECT No: 1

A4.1.1

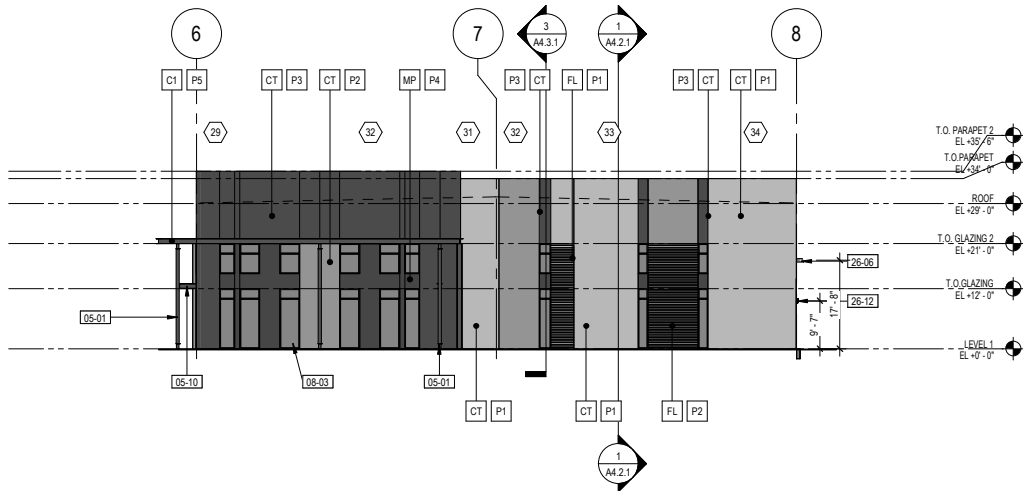
BLUELINES - 1ST CITY SUBMITTAL - 06.03.2021



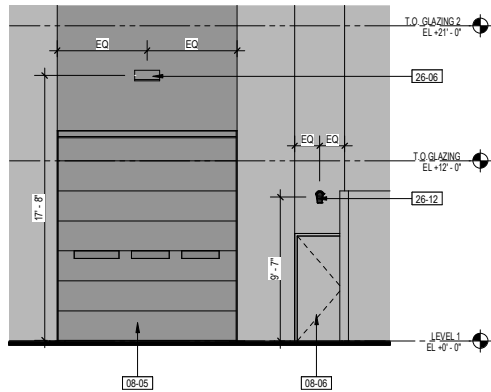
1 SOUTH
1/16" = 1'-0"



2 SOUTH WEST CONT.
1/16" = 1'-0"



3 WEST
1/16" = 1'-0"



4 SOUTH WEST - CALLOUT
3/16" = 1'-0"

GENERAL SHEET NOTES

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REFERENCE KEYNOTES

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- 05-10 PAINTED STEEL BEAM. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- 07-04 ROOF LINE BEHIND PARAPET.
- 08-03 EXTERIOR 2" X 6" STOREFRONT WINDOW SYSTEM. REFER TO WINDOW SCHEDULE FOR MORE INFO.
- 08-05 HIGH LIFT GARAGE STYLE DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 08-06 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 11-04 GENERAL LOCATION FOR FUTURE MECHANICAL ROOF TOP. SCREENED BY PARAPET. PART OF FUTURE T.I.
- 22-05 INTERIOR ROOF DRAIN DOWNSPOUT. REFER TO DETAIL 07A5.4.1. SOUTH ELEVATIONS WITHOUT LAMBSTONCE.
- 26-06 WALL MOUNTED BUILDING LIGHTING MOUNTED O.C. OF DOOR, +17'-9" A.F.F. TYP. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
- 26-12 WALL MOUNTED BUILDING LIGHTING MOUNTED O.C. OF DOOR, +9'-6" A.F.F. TYP. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.

MATERIALS

- MATERIAL/FINISHES SCHEDULE**
- KEY: DESCRIPTION:
- | | |
|----|---|
| CT | CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" X 1/2" SCORE LINES. PAINTED. REFER TO LAYOUT FOR THICKNESS INFORMATION. |
| FL | CUSTOM FORM LINER PATTERN (SEE SHEET A5.3.2) |
| MP | ROLLFAB METAL PANEL, PRO-FINISH 500 COLOR DARK BRONZE |
| ST | METAL TRELLIS, PAINTED FINISH |
- CANOPY KEY:**
- | | |
|----|---|
| C1 | WIDE FLANGE STEEL FRAMED STRUCTURE WITH OPEN METAL TRELLIS DESIGN. PAINTED FINISH |
|----|---|

- GLAZING KEY:**
- MATERIAL DESCRIPTION:
- FRAMES
- | | |
|-----|--|
| SF1 | ALUMINUM STOREFRONT - 2" X 4 1/2" (SEALANT JOINT VERTS) DK. BRONZE ANODIZED (A8-7) |
| SF2 | ALUMINUM STOREFRONT - 2" X 6" (SEALANT JOINT VERTS) DK. BRONZE ANODIZED (A8-7) |

- EXTERIOR
- | | |
|-----|---|
| GT1 | SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE |
|-----|---|

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| P5 | DUNN EDWARDS - 'BLACK TIE' #DE6357 (EXPOSED STEEL & COLUMNS) |

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CHANDLER CORPORATE
CENTER LOTS 8 AND 10
S.E.C. JUNIPER DRIVE & GALVESTON STREET
CHANDLER, ARIZONA

LGE DESIGNBUILD

NUMBER REVISION DATE



Expires: 06/30/20

SHEET TITLE:

EXTERIOR BUILDING ELEVATIONS

ISSUE DATE: 06.03.2021

DRAWN BY: START Sheet

CHECKED BY: Checker

PROJECT No: --

A4.1.1

BLUELINES - 1ST CITY SUBMITTAL - 06.03.2021

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- 05-10 PAINTED STEEL BEAM. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- 08-03 EXTERIOR 2" X 6" STOREFRONT WINDOW SYSTEM. REFER TO WINDOW SCHEDULE FOR MORE INFO.
- 08-06 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 22-04 INTERIOR ROOF DRAIN DOWNSPOUT. REFER TO DETAIL 07/A5.4.1. NORTH ELEVATIONS WITH LAMBSTONCE.

MATERIALS

MATERIAL/FINISHES SCHEDULE

KEY: DESCRIPTION:

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- MP ROLL-FAB METAL PANEL, PRO-FINISH 500 CLOR DARK BRONZE
- ST METAL TRELLIS, PAINTED FINISH

CANOPY KEY:

- C1 WIDE FLANGE STEEL FRAMED STRUCTURE WITH OPEN METAL TRELLIS DESIGN, PAINTED FINISH

GLAZING KEY:

MATERIAL: DESCRIPTION:

FRAMES

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- SF2 ALUMINUM STOREFRONT - 2" X 6" (SEALANT JOINT VERTS) DK. BRONZE ANODIZED (AB-7)

EXTERIOR

- G1 SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE

NOTE: ALL GLAZING TO COMPLY WITH IBC 2405.

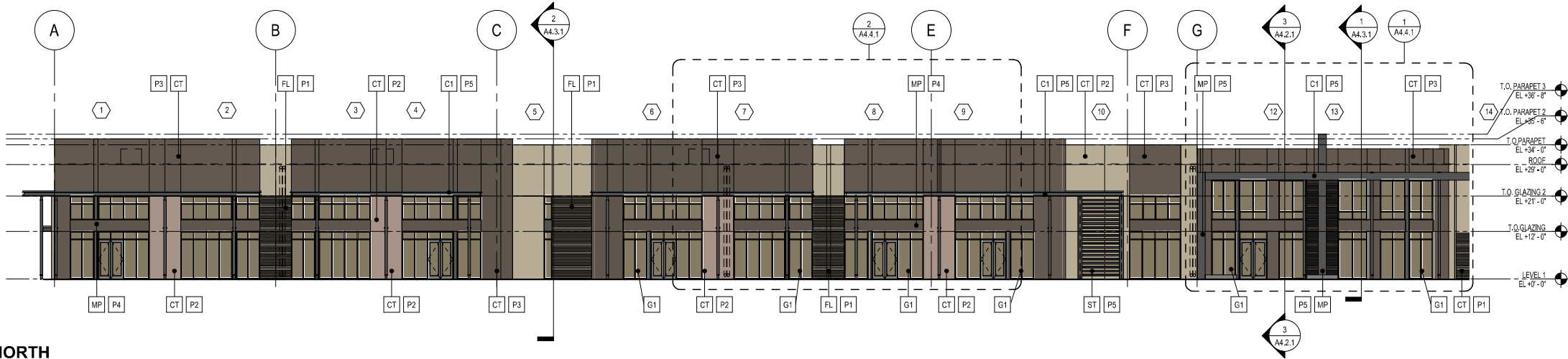
PAINT KEY:

KEY: DESCRIPTION:

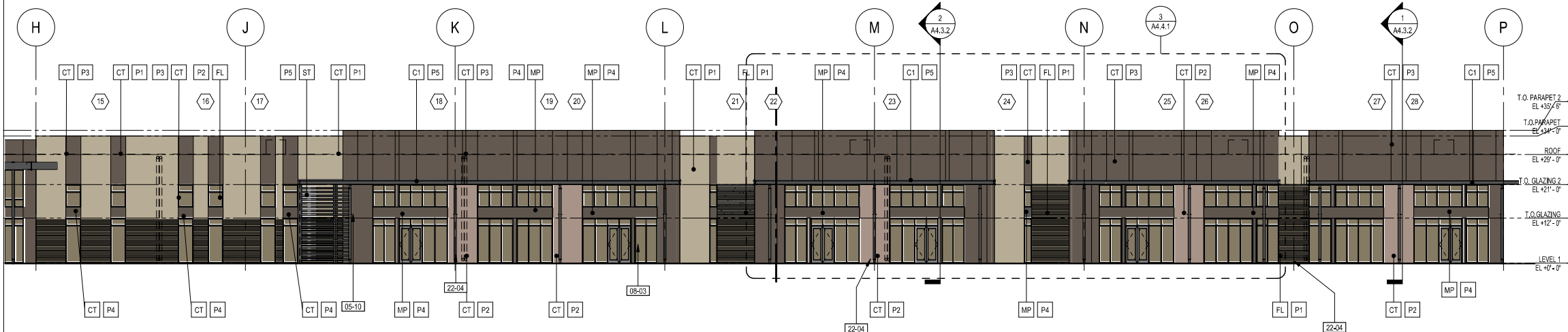
- P1 DUNN EDWARDS - 'DRIFTING' #DEC770
- P2 DUNN EDWARDS - 'TWILIGHT TAUPe' #DE6060
- P3 DUNN EDWARDS - 'MOLASSES' #6399
- P4 DUNN EDWARDS - 'MINK' #DE6392
- P5 DUNN EDWARDS - 'BLACK TIE' #DE6357 (EXPOSED STEEL & COLUMNS)

PAINTING NOTES:

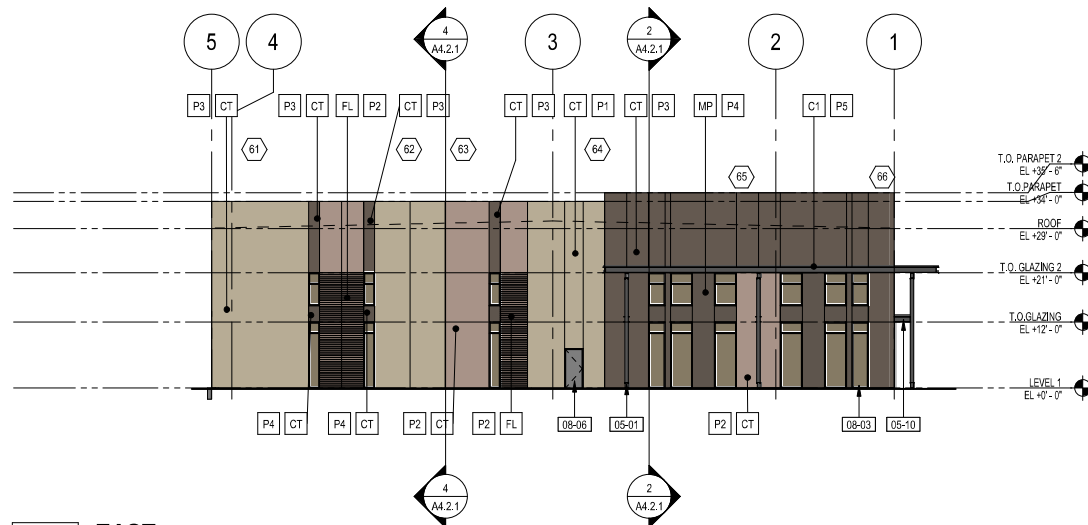
- PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
- SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF-WHITE COLORS.
- PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.



1 NORTH
1/16" = 1'-0"



2 NORTH WEST CONT.
1/16" = 1'-0"



3 EAST
1/16" = 1'-0"



P1 - DEC770 "Drifting"
Dunn Edwards



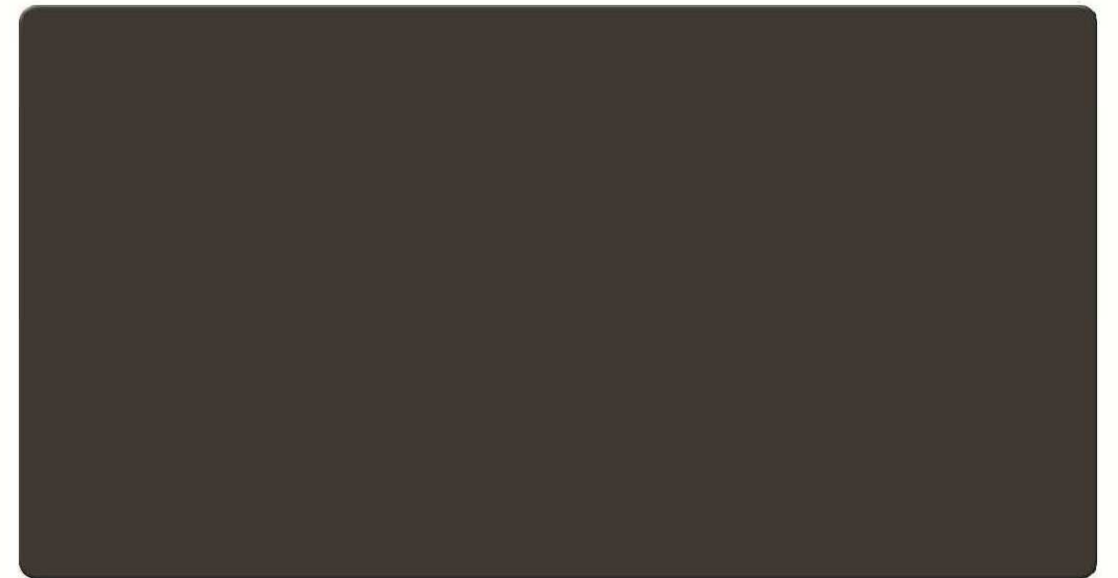
P2 - DE6060 "Twilight Taupe"
Dunn Edwards



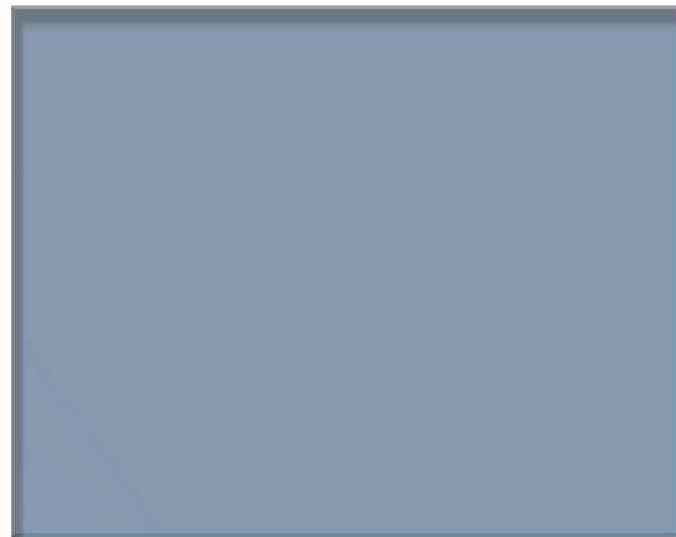
P3 - DE6399 "Mollases"
Dunn Edwards



P4 - DE6392 "Mink"
Dunn Edwards



MP - Pro-Finish 500, Dark Bronze
Rollfab Metal Panel



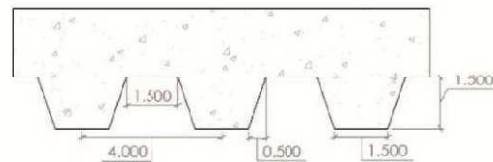
G1 - Solarcool Solarblue
Glazing



P5 - DE6357 "Black Tie"
Dunn Edwards



Anodized Aluminum Storefront
Dark Bronze (AB-7)
Arcadia



Concrete Panel -
Formliner Pattern



Rendering View



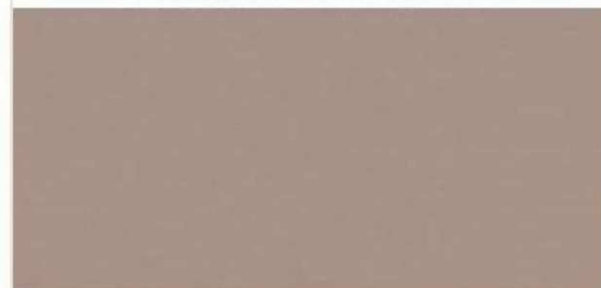
Match of Color Guild™ 8723M Desert Tumbleweed *



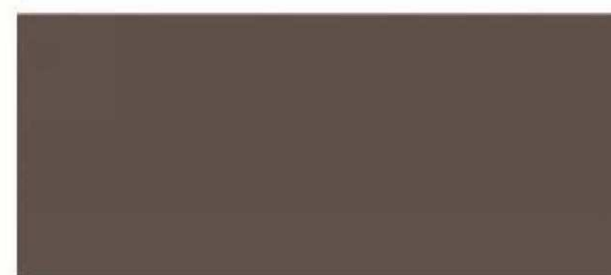
DEC770 "Drifting"
Dunn Edwards



Match of Color Guild™ 8314M Silvered Bark *



P2 - DE6060 "Twilight Taupe"
Dunn Edwards



Match of Color Guild™ 8826N Manganese *



P3 - DE6399 "Mollases"
Dunn Edwards



P4 - DE6392 "Mink"
Dunn Edwards

Color Samples

COLOR PALETTE 1



FRAZEE PAINT
DESERT TUMBLEWEED
8723M



FRAZEE PAINT
SLIVERED BARK
8314M



FRAZEE PAINT
RAVENWOOD
8315D



FRAZEE PAINT
MANGANESE
8826N









Chandler Corp Center - Lots 8 & 10

Phoenix, Arizona
2021 . 06 . 10

LGE | DESIGNGROUP

RENDERING VIEW - GALVESTON ENTRANCE

This artist rendering is for conceptual design only and should not be referred to as a construction document.

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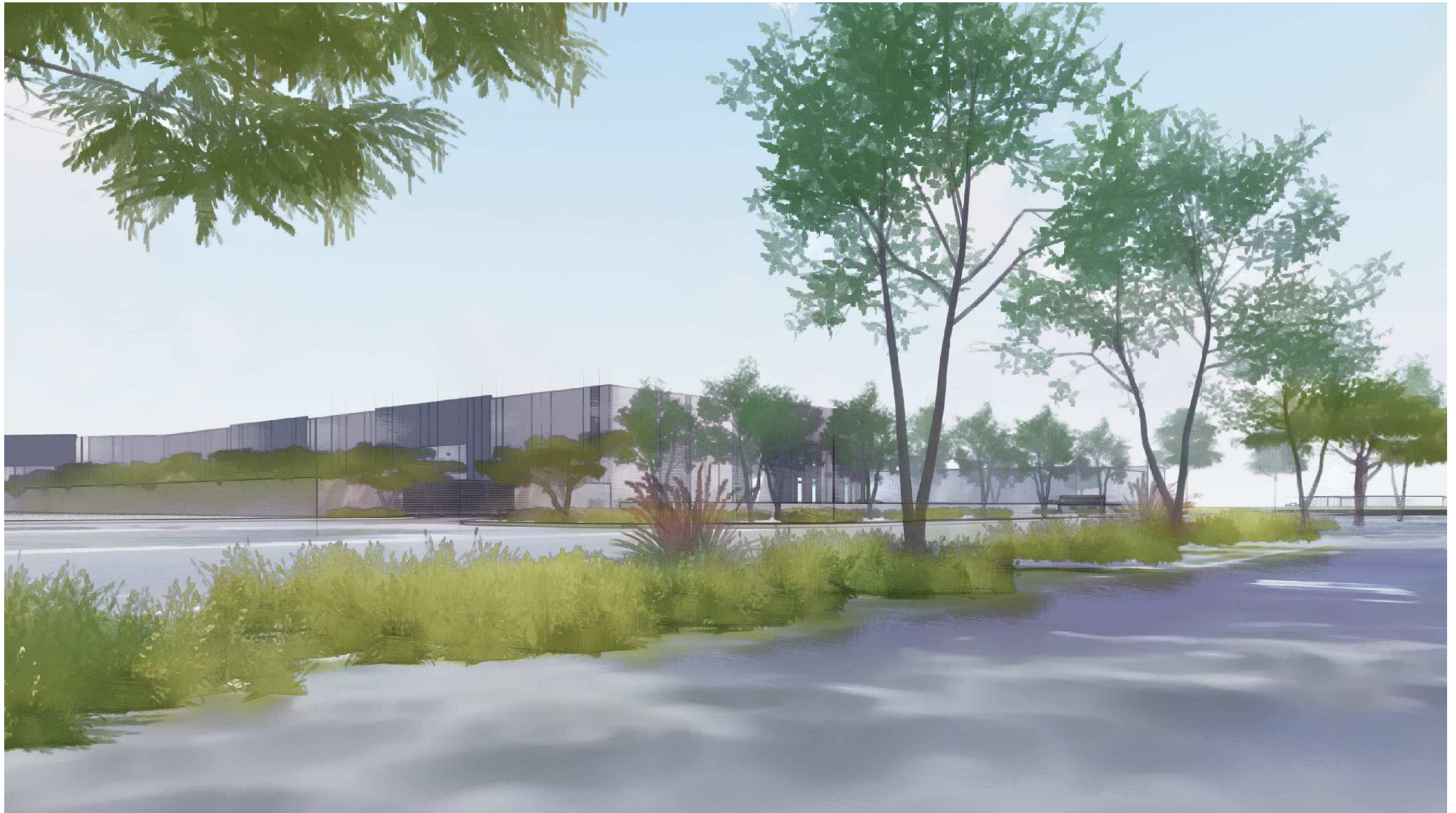
LGE | DESIGNBUILD













SITE VISIBILITY LINE
PER COC STANDARD
DETAIL C-246

R=864.99'
L=499.53'
D=33°05'18"

SITE VISIBILITY LINE
PER COC STANDARD
DETAIL C-246

APN #301-86-323
LOT #8
ZONING: PAD

APN #301-86-325
LOT #10
ZONING: PAD

8'-0" HIGH
MASONRY
SITE WALL

8'-0" HIGH
MASONRY
SITE WALL

48" BOX (12)
MIN. 10'-12"
TALL

YARD WALL

McCLINTOCK DR.

JUNIPER DR.

PROPERTY LINE

LANDSCAPE LEGEND

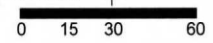
	CALIPER (INCHES)	HEIGHT (FEET)	WIDTH (FEET)	QUANTITY
QUERCUS VIRGINIANA OAK	24" BOX (MATCHING)	1.50	8.00	3.60
CERCIDIMUM PRAECOX SONORAN PALO VERDE	36" BOX	2.25	10.00	6.00
OLNEYA TESOTA IRONWOOD	24" BOX	1.50	5.00	4.00
ACACIA STENOPHYLLA SHOESTRING ACACIA	24" BOX	1.50	10.00	4.00
PHOENIX DACTYLIFERA DATE PALM	25' TF MATCHING, DIAMOND CUT, STRAIGHT			6
SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL	24" BOX	1.00	4.00	3.00

RUFFIA PENINSULI ARIS BAJA RUELLIA	5 GALLON	106
CAESALP NIA MEXICANA MEXICAN BIRD OF PARADISE	5 GALLON	37
TECOMA ORANGE JUBILEE ORANGE JUBILEE	5 GALLON	58
HESPERALOE PERPA BRAKE LIGHT RED YUCCA	5 GALLON	231
DASYLIRION WHEELERII DESERT SPOON	5 GALLON	81
ACACIA PEDOLENS DESERT CARPET™	1 GALLON	54

LANTANA MONTEVIDENSIS 'GOLD MOUND'	1 GALLON	280
LANTANA MONTEVIDENSIS 'TRAILING PURPLE'	1 GALLON	230
AGAVE WEBERII WEBER'S AGAVE	5 GALLON	06
3'X3'X3' SURFACE SELECT GRANITE ROLLER MINIMUM 1000lbs EACH		46
1/2" MINUS MADISON GOLD (MATCH EXISTING R.O.W.) DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS		

LANDSCAPE PLAN

SCALE: 1" = 30'-0"



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P: (602) 200-0320

EMAIL: timmcqueen@tjma.net



LGE | DESIGNGROUP

1200 N. 52nd Street • Phoenix, AZ 85008
P: 480.966.4001

CHANDLER CORPORATE CENTER LOTS 8 AND 10

S.E. C. JUNIPER DRIVE AND GALVESTON STREET
CHANDLER, ARIZONA
PROJECT ADDRESS

LGE | DESIGNBUILD

NUMBER	REVISION	DATE
--------	----------	------

SHEET TITLE:
LANDSCAPE PLAN

ISSUE: 01/1/24

DRAWN BY:

CHECKED BY:

PROJECT No.:

SHEET:
La.01

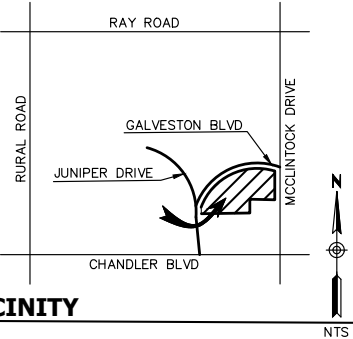
CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN
FOR
CHANDLER COMMERCE CENTER
S.E.C. JUNIPER DR. & GALVESTON RD.
CHANDLER, ARIZONA

FEMA CLASSIFICATION

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2720L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X

ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

LOTS 8 AND 10, OF CHANDLER CORPORATE CENTER -NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 919 OF MAPS, PAGE 49, AND AFFIDAVIT OF CORRECTION RECORDED JUNE 11, 2008 IN RECORDING NO. 2008-516301, RECORDS OF MARICOPA COUNTY, ARIZONA.



VICINITY

APN #

303-31-005P, 303-31-005N

AREA

NET: 6.11 AC
GROSS: 7.71 AC

DEVELOPER

CAPITAL STRATEGIES GROUP
1201-168 CHADWICK CT.
NORTH VANCOUVE, BC V7M 3L4
PHONE: (604) 971-4877
EMAIL: CSGROUP@SHAW.CAM

ARCHITECT

LGE DESIGN GROUP
1200 N 52ND STREET
PHOENIX, ARIZONA 85008
PHONE: (480) 996-4001
CONTACT: JOSH DICKSON
EMAIL: JOSHDL@LGEDESIGNGROUP.COM

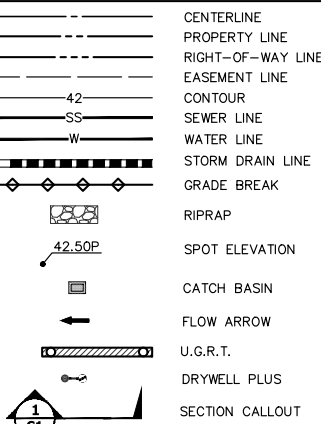
CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
CONTACT: LARRY TALBOTT
EMAIL: LTALBOTT@HUNTERENGINEERINGPC.COM

SHEET INDEX

CONCEPTUAL GRADING AND DRAINAGE PLAN C1
CONCEPTUAL UTILITY PLAN. C2
TYPICAL SECTIONS. C3

LEGEND



RETENTION CALCULATIONS

ONSITE AREA: 6.05 AC
OFFSITE AREA: 0.87 AC (McCLINTOCK DR.)
RETENTION REQUIRED:
VR=(1.1)*(C)*(D/12)*(A), D=2.2
ONSITE:
VR=(1.1)*(0.90)*((2.2/12))*(6.05)*43,560 = 47,832 CU.FT.
OFFSITE:
VR=(1.1)*(0.90)*((2.2/12))*(0.87)*43,560 = 7,260 CU.FT.
TOTAL REQUIRED = 55,092 CU.FT.
RETENTION PROVIDED:
RETENTION BASIN 1. 5,241 CU.FT.
RETENTION BASIN 2. 5,616 CU.FT.
RETENTION BASIN 3. 1,193 CU.FT.
857 LF- 8' UG RETENTION. 43,077 CU.FT.
TOTAL PROVIDED. 43,077 CU.FT.
TOTAL REQUIRED. 55,127 CU.FT.
TOTAL EXCESS. 135 CU.FT.

CONCEPT GRADING & DRAINAGE PLAN
FOR
CHANDLER COMMERCE CENTER
SEC JUNIPER DR. & GALVESTON RD.
CHANDLER, ARIZONA

NO.	DATE	REVISION	BY

DESIGN BY: JN
DRAWN BY: MTR
CHECKED BY: JN

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
T 480 991 3985
F 480 991 3986



CONTACT: ARIZONA RIT AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
CALL 811 OR 1-800-4-A-RIZONA

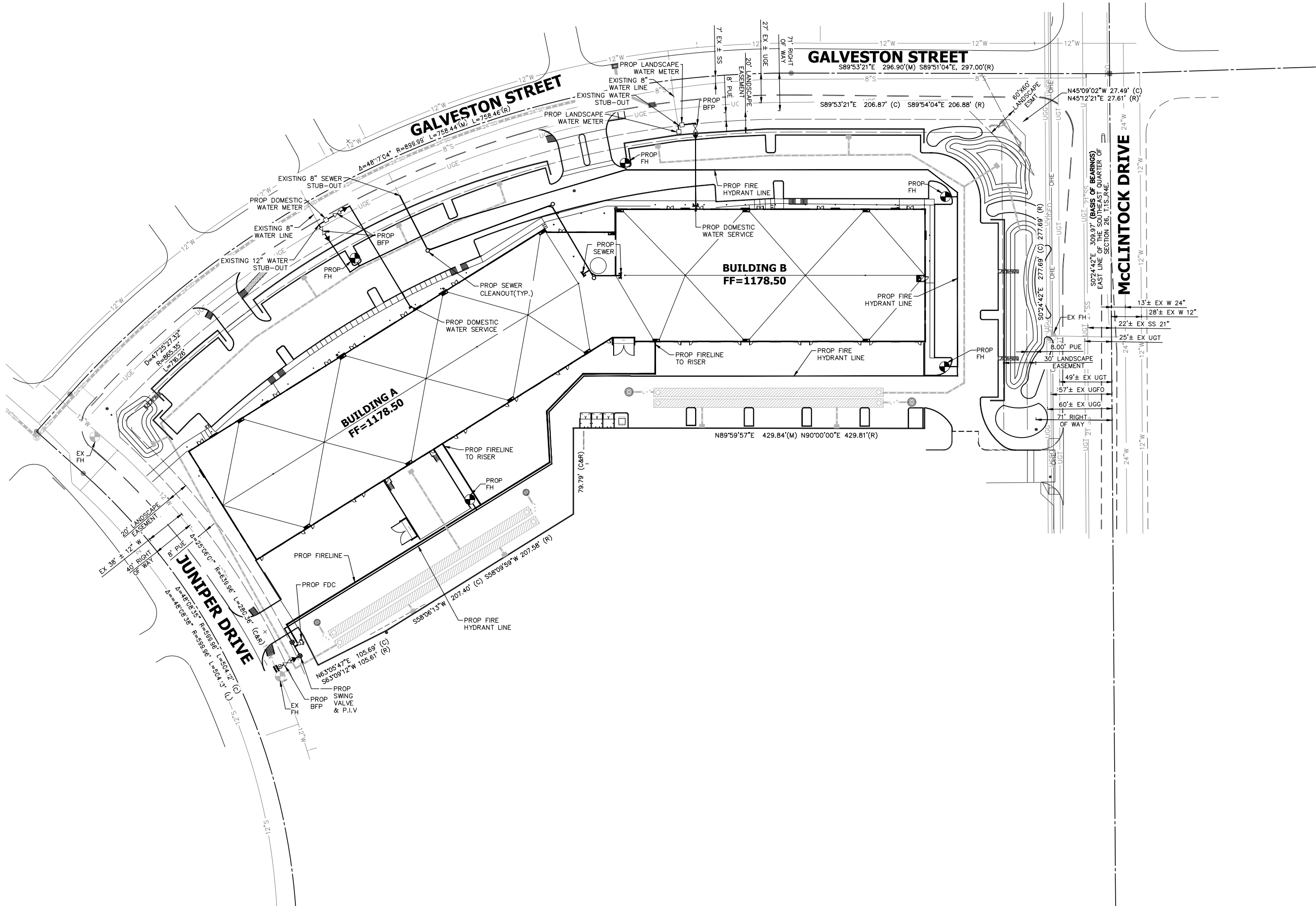
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME:
CHANDLER COMMERCE CENTER

HE NO.: LGE281
SCALE: 1"=40'

SHEET:
C1

04/06/2024 10:00:00 AM 04/06/2024 10:00:00 AM



CONCEPT UTILITY PLAN
FOR
CHANDLER COMMERCE CENTER
SEC JUNIPER DR. & GALVESTON RD.
CHANDLER, ARIZONA



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CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
CHANDLER
COMMERCE
CENTER

HE NO.: LCEC281
SCALE: 1"=40'

SHEET:
C2



HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

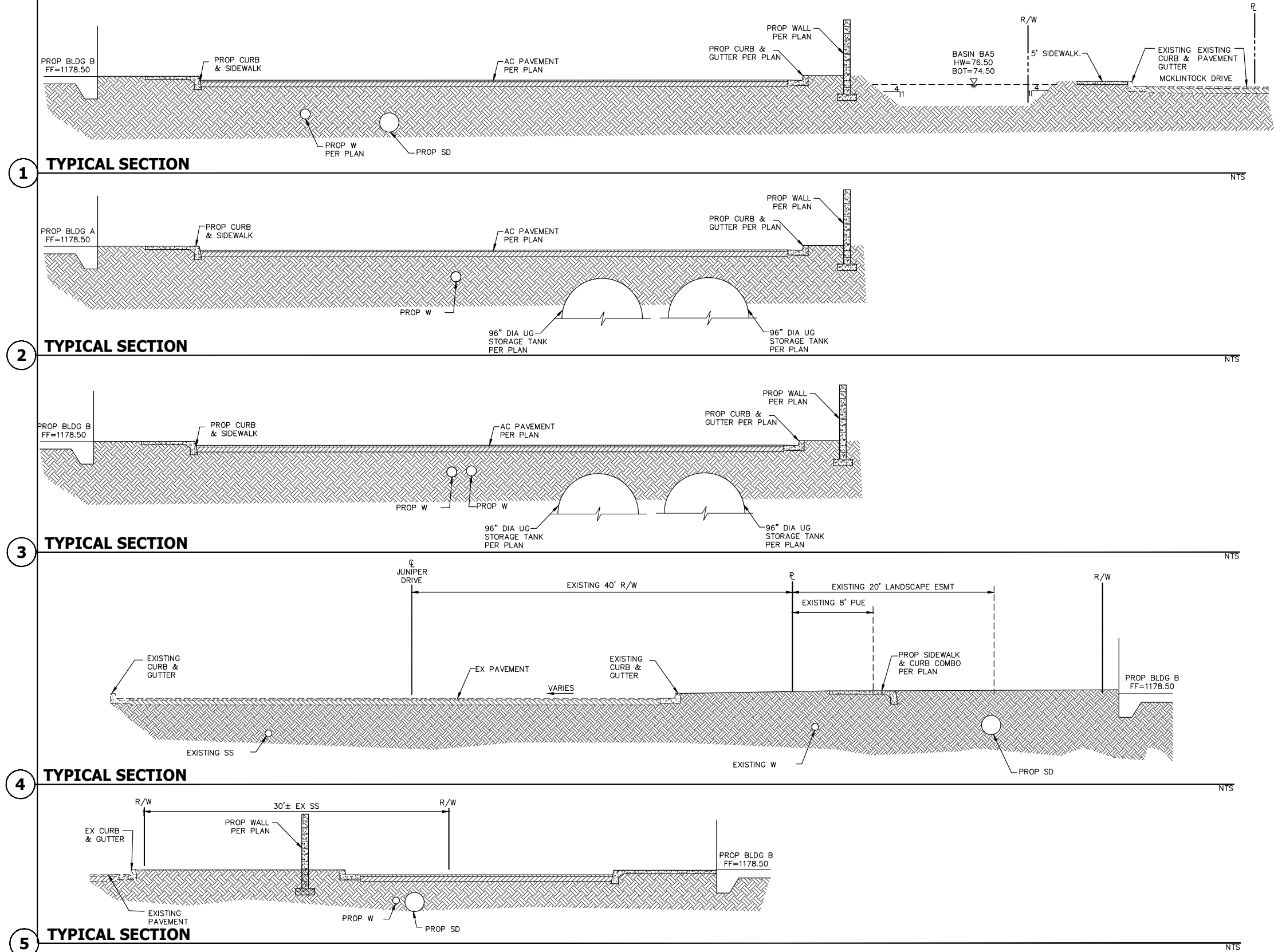
CIVIL AND SURVEY

DESIGN BY: JN
DRAWN BY: MTR
CHECKED BY: JN

NO.	DATE	REVISION	BY

PURPOSE:
2ND CONCEPTUAL SUBMITTAL

Q:\LSEC281\Drawings\081_CONNEC.dwg 2/20/25 10:10:25 PM mtrmtr



NO.	REVISION	DATE	BY

DESIGN BY: JN
DRAWN BY: MTR
CHECKED BY: JN

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3995
F 480 991 3996

CIVIL AND SURVEY



**TYPICAL SECTIONS
FOR
CHANDLER COMMERCE CENTER
SEC JUNIPER DR. & GALVESTON RD.
CHANDLER, ARIZONA**



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NOT APPROVED FOR
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APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
CHANDLER
COMMERCE
CENTER

HE NO.: LGEC281
SCALE: N.T.S.

SHEET:
##