

PARKSIDE

INNOVATION COMMUNITIES AT PARKSIDE VILLAS, LLC

Rezoning with Preliminary Development Plan, PLH 20-0061
Parkside, Preliminary Plat, PLT 21-0018 Parkside

JULY 2021



DEVELOPER:

Innovation Communities at Parkside Villas, LLC

Robert Watt and Ronald Smith

10446 N. 74th Street, Suite 200

Scottsdale, AZ 85258

P: (480) 945-9292

Bob@innovation-communities.com and

Ron@matrix-equities.com

PROJECT TEAM:

AB  LA

Tom Durant, RLA, LEED AP

310 East Rio Salado Parkway,

Tempe, AZ 85281

P: (480) 530-0077

Tom.Durant@ablastudio.com



Joe Petrucci

1130 North Alma School, Suite 120

Mesa, AZ 85201

P: (480) 503-2250

Joe.Petrucci@epsgruoinc.com

PROJECT INFORMATION:

Project Location:

Northwest corner of Cooper Road and Fairview Street

Request:

Rezoning with Preliminary Development Plan (PDP) &

Preliminary Plat (PPT)

Pre-Tech No. PRE20-0039

Case No. PLH 20-0061

PLT Case No. PLT 21-0018

General Plan Designation:

Neighborhoods

Existing Zoning:

AG-1

Proposed Zoning:

PAD

Existing Use:

Vacant

Gross Area

5.04 Ac.

Net Area:

4.23 Ac.

Maximum Proposed Dwelling Units:

35 Du.

Maximum Proposed Density:

8.27 Du./Ac.

Open Space:

1.48 Ac. (35.0% of Net)

TABLE OF CONTENTS:

INTRODUCTION.....	1
BACKGROUND.....	1
REQUEST	1
REZONING REQUEST	2
HOUSING PRODUCT.....	3
PAD DEVELOPMENT STANDARDS.....	3
PARKING & REFUSE.....	3
PRELIMINARY PLAT.....	3
GRADING AND DRAINAGE.....	3
CONCLUSION.....	4

LIST OF EXHIBITS:

EXHIBIT A: VICINITY MAP.....	5
EXHIBIT B: EXISTING & PROPOSED ZONING MAP.....	6
EXHIBIT C: DEVELOPMENT PLAN.....	7
EXHIBIT D: LANDSCAPE PLAN.....	9
EXHIBIT E: AMENITY PLAN.....	12
EXHIBIT F: AMENITY AREA DETAIL.....	13
EXHIBIT G: PEDESTRIAN CIRCULATION PLAN.....	14
EXHIBIT H: WALL PLAN.....	15
EXHIBIT I: WALL & ENTRY DETAILS.....	16
EXHIBIT J: LOT FIT DIAGRAMS.....	17
EXHIBIT K: ELEVATIONS & FLOOR PLANS.....	18
EXHIBIT L: COLOR & MATERIALS PALETTE.....	44
EXHIBIT M: STREET SCENE.....	50
EXHIBIT N: PRELIMINARY PLAT.....	52
EXHIBIT O: PRELIMINARY TECHNICAL SITE PLAN.....	55
EXHIBIT P: PRELIMINARY GRADING & DRAINAGE PLAN.....	57

APPENDICES:

APPENDIX A: PRELIMINARY GRADING & DRAINAGE REPORT.....	40
--	----

Introduction

Innovation Communities at Parkside Villas, LLC, ("Innovation Communities") is excited to bring Parkside, an approximate 5-gross acre (4.23 net acre) community located in the City of Chandler (the "City") at the northwest corner of Cooper Road and Fairview Street. Innovation Communities intends for the Parkside development (the "Site") to become a point of pride within the City, offering architecturally distinct housing choices and a uniquely themed community to current and future residents of the City of Chandler. (See **Exhibit A: Vicinity Map**).

The Parkside site is a remnant parcel sandwiched between Cooper Road and Chandler Paseo Trail/canal. The proximity of the Site to shopping and employment allows for the creation of a unique environment that responds to the housing needs of the surrounding area. Parkside is anticipated to have 35 residences and will implement a single-family detached housing type on 34'x75' lots, for an overall density of approximately 8.27 du/ac.

Innovation Communities believes this Site is an appropriate location to introduce this unique housing product and community. The proposed architecture for Parkside reflects the character of the vibrant and growing City, while incorporating the historical agricultural origins of the area. Additionally, throughout the community, thematic architectural and landscape elements will be designed and implemented. The quality and proposed aesthetics of Parkside reflects Innovation Communities commitment to progressive community design and development.



Background

Under the City of Chandler's General Plan, the Site is designated as Neighborhoods and is currently zoned AG-1. The site is not within any of Chandler's Area Plan districts. The immediate area has been developed with a variety of residential densities and housing products. The Parkside project meets the objectives of the City's General Plan, and demonstrates compatibility between new development and existing neighborhoods by incorporating a compatible lot size and product type.

With its unique and creative theming, Parkside embraces the proximity of the Airport and its location within the Area Plan. This development meets the goals, policies, and intent of the General Plan and Area Plan, is compatible with neighboring developments, and provides an attractive presence in the area.

Request

In order to develop this remnant parcel, Innovation Communities is requesting:

- The Site be rezoned to Planned Area Development (PAD) for single-family residential;
- Approval of the Preliminary Development Plan (PDP); and
- Approval of the Preliminary Plat (PLT).



Rezoning Request

The Site is currently zoned AG-1 and Innovation Communities is requesting the Site be rezoned to PAD for single-family residential. Parkside will be a distinctive example of New Urban Design, providing a unique housing type with a slightly higher density, promoting walkable neighborhoods, and offering accessible common open spaces. Unique architecture and complementary details will be utilized throughout the community (see **Exhibit B: Existing & Proposed Zoning Map**).

The proposed Development Plan will establish a prominent and accessible community, with an intimate and amenable atmosphere (see **Exhibit C: Development Plan, Exhibit D: Landscape Plan**). Parkside will include a total of 35 residences, at a net density of approximately 8.27 dwelling units per acre (6.94-gross du/ac.). The boundaries of the site adjacent to existing development have been designed with additional buffering. There is an average of 35-foot open space buffer along the westerly edge of the site and a 35-foot open space buffer along the easterly edge of the site adjacent to Cooper Road. The Site plan provides approximately 1.48 acres of open space, or 35.0% of the total development's net acreage. The open space has been dispersed throughout the Site to provide efficient retention as well as visual relief across the development. A centralized, community amenity area is prominently featured within the community (see **Exhibit E: Amenity Plan and Exhibit F: Amenity Area Detail**). This amenity area will be easily accessible to all of the residents of Parkside, supporting recreational activity and social interaction. As a major component of the community's identity, the amenity area will complement the architectural style of the homes. The amenity area will feature a shade structure with seating, shade trees, play structure, and turf; integrating amenities that provide both active and passive recreational opportunities. Additionally, the project provides

a generous open space corridor along a significant portion of the eastern and western boundary that connect to the centralized open space and amenity within the middle of the community. These open space areas are linked by two four-foot attached sidewalks throughout the community, an six-foot sidewalk adjacent to Cooper Road, and a five-foot sidewalk adjacent to Fairview Street, to encourage pedestrian connectivity and provide an active street scene (see **Exhibit G: Pedestrian Circulation Plan and Exhibit H: Decorative Pavement Crossing Detail**).

The interior and exterior landscape theming of Parkside will feature motifs which will help reflect the community's distinct style while maintaining an aesthetic balance with the surrounding area. The design of the perimeter walls reflects the quality and character of the community. The primary entrance to the community is located along Fairview Street, with an additional secondary ingress/egress located along Cooper Road. The community entrance will include a signage monument, employing a regional contemporary style. The entry is accentuated with enhanced ornamental desert plantings organized in formal massings and patterns. A corner monument located at the northwest corner of Cooper Road and Fairview Street provides for a community announcement in order to establish the project character and theming (see **Exhibit H: Wall Plan and Exhibit I: Wall & Entry Details**).



Housing Product

The architecture and character of Parkside will provide diversity and originality throughout the community and the surrounding area. The planned Parkside housing product orients the front of the homes toward Cooper Road and open space located along the projects western boundary, and the garages toward the center of the project. This orientation creates an active street scene not ordinarily found within the City of Chandler. Passer-byers on Cooper Road will enjoy the site of front facing architecture as apposed to a perimeter wall and garage dominant architecture. The proposed single-family detached product emphasizes sustainability and creates a pedestrian-friendly street scene. The available floor plans offer two-story homes with two-car garages. The front elevations provide desirable building articulation between the front setbacks and living spaces. Additionally, no two identical elevations or architectural styles shall be placed side-by-side in order to create a diverse street scene. The overall concept is to provide marketable traditional single-family detached homes to a wide range of home-buyers. Some key product features include:

- Functional, open floor plans.
- 3-bedroom floor plan configurations, large kitchens and great rooms, catering to diverse group of families, working professionals and mature buyers.
- Two-car garages provide ample parking and storage.
- Spanish, Farm House, and Desert Modern architectural style reflecting the character of the community.
- Flexible living spaces provide alternative living arrangements for different buyer profiles.
- Enhanced streetscape plan and color

criteria.

PAD Development Standards

Parkside will follow the Development Standards as stated within this document without variation (see **Exhibit J: Lot Fit Diagrams, Exhibit K: Elevations & Floor Plans, and Exhibit L: Color & Materials Palette**). Please note that accessory structures are not permitted. Use and Benefit Easements (UBE) grant beneficial use and ingress/egress to adjacent lots for the purpose of repair, maintenance, drainage, and improvement to any lots contiguous to the easement.

Development Standards	
Category	Proposed PAD
Minimum Lot Size	2,550
Minimum Lot Width	34'
Minimum Lot Depth	75'
Front Setback	10'
Side Setback	5'
Rear Setback	5'
Minimum Height	30'

Parking & Refuse

Parkside incorporates planning and design elements that provide proper parking and access management. Ample parking is available throughout the development through centralized parking areas, as well as two garage spaces per unit. The need for guest parking is anticipated to be a minimum of one guest space per every two units, with the development having 20 spaces. Utilizing various parking options and spreading the parking spaces evenly across the site will help create an active street scene and encourage interaction in a pedestrian friendly environment. In addition to providing adequate parking, the layout of the community gives residents the ability to properly locate their trash receptacles behind individual gated side yards which will be brought out on trash pick-up days and will stay out for no longer than 24 hours allowing waste management services to collect them efficiently and with ease (see **Exhibit M: Street Section**).

Preliminary Plat

See **Exhibit N: Preliminary Plat**.

Grading and Drainage

All storm water will be managed on-site within the large eastern and western retention basins (see **Appendix A: Preliminary Grading & Drainage Report**).

Conclusion

Parkside will be a high quality, sustainable, and dynamic development on this currently undeveloped remnant Site. The proposed rezoning and PDP meet the goals of the City by providing a vibrant community that is visually attractive and provides a unique residential community. Further, Parkside satisfies the goals of the General Plan by providing varied housing that will provide additional support to the existing and planned retail and employment uses in the area. Parkside is a project that incorporates a compatible transitioning density. The proposed amenities will help to create a close community by providing a creative and unique central amenity for families, friends and neighbors to enjoy together. The layout of Parkside provides principles of traditional neighborhoods, by placing the amenities at the center of the community and providing a unique housing product that complements the existing developments in the area. Cohesive pedestrian connectivity throughout the development reinforces a desirable lifestyle and embraces place-making principles. The innovative architectural design, ample landscaped open space, and engaging thematic elements assure that Parkside will be a valuable asset to the City and immediate area. We request your approval.



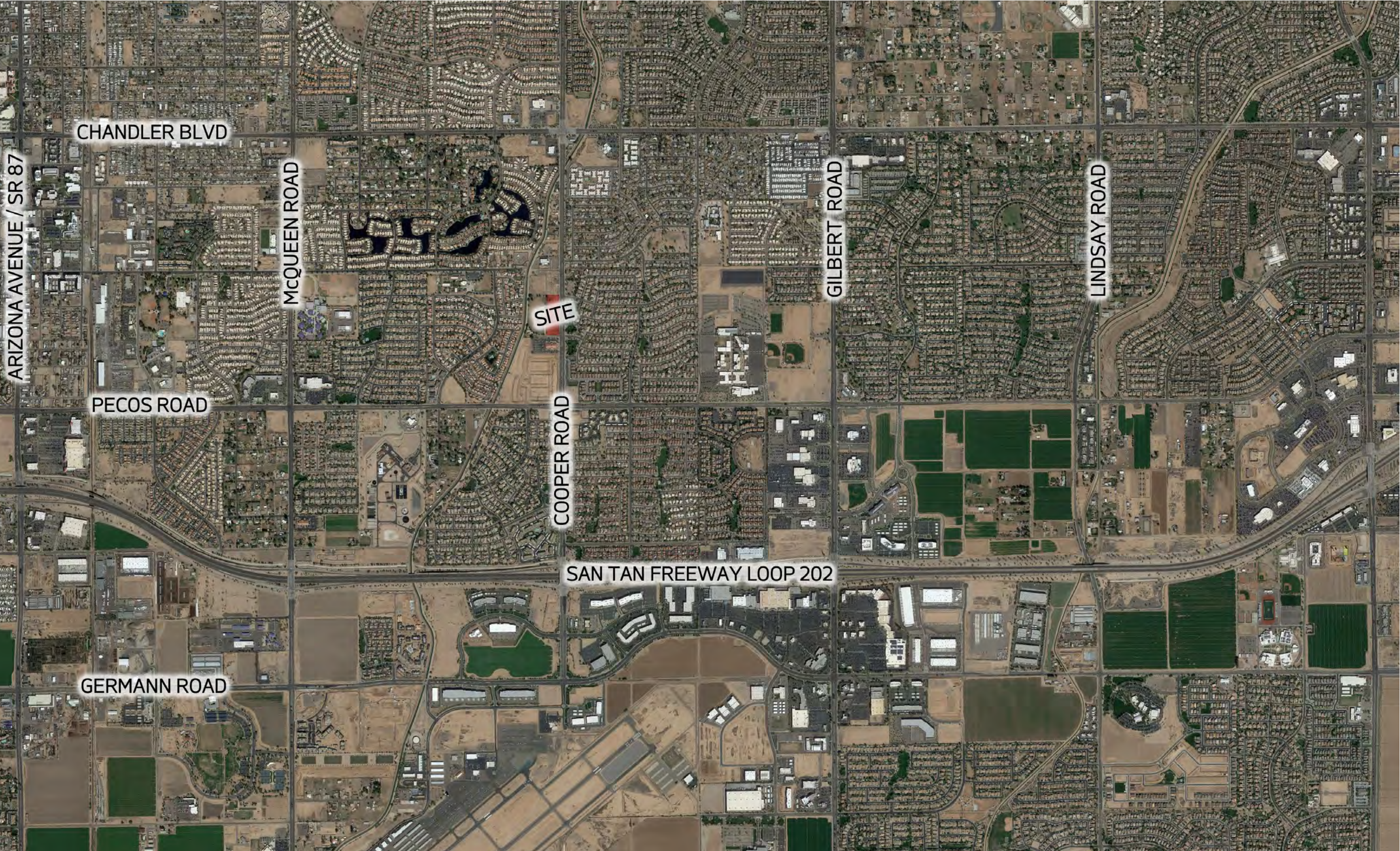


EXHIBIT A: VICINITY MAP





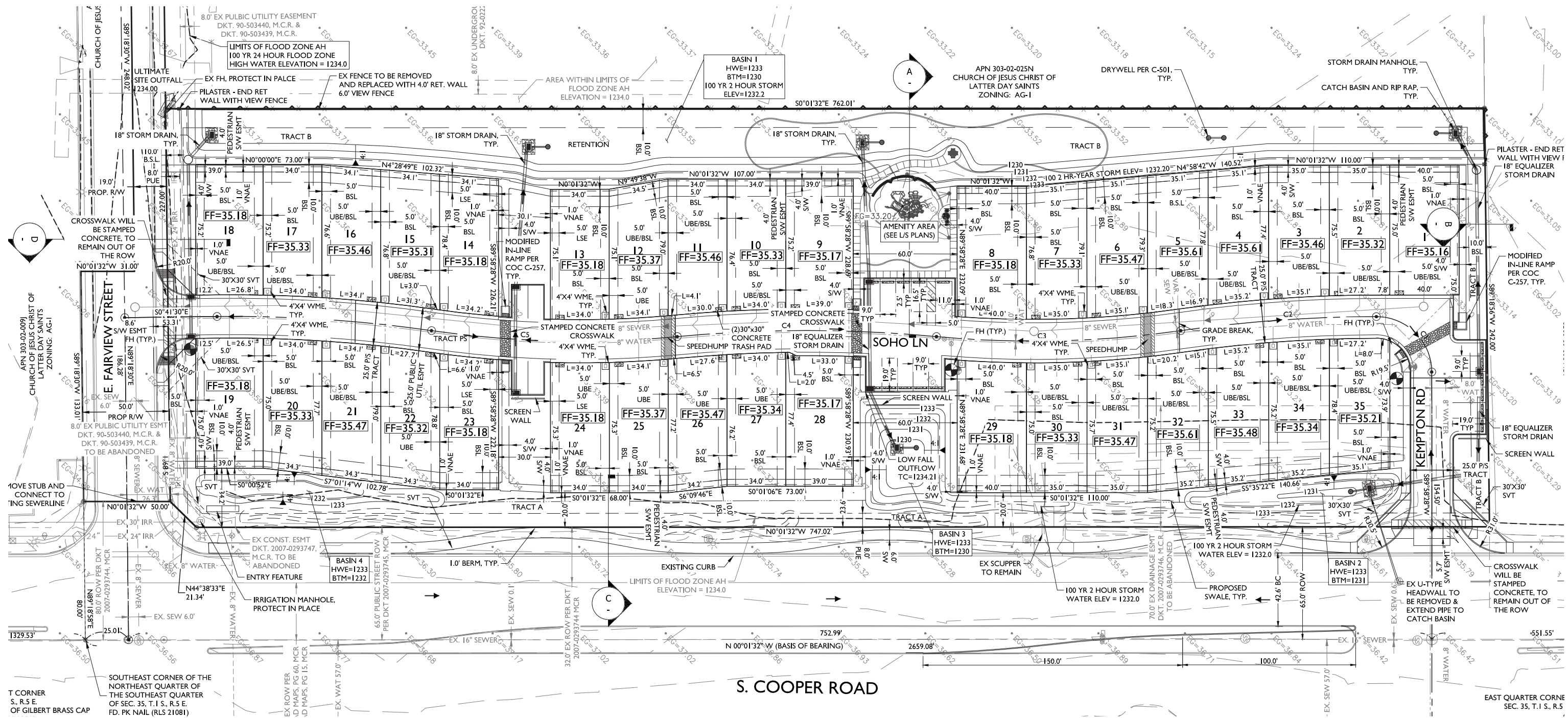
EXISTING



PROPOSED



EXHIBIT C: DEVELOPMENT PLAN



Site Data		
+/- Gross Area	5.04 AC	6.94 DU/AC
+/- *Net Area	4.23 AC	8.27 DU/AC
Open Space	1.48 AC	34.99%
34' x 75' Lots	35 Lots	100.00%
Total Lots	35 Lots	

Parking Data		
Parking Required		
* Resident	x 2.0 Spaces/DU	70 Spaces
Guest	x 0.5 Spaces/DU	18 Spaces
Total Required	88 Spaces	
Parking Provided		
Garage Spaces	70 Spaces	77.78%
Guest	20 Spaces	22.22%
Total Provided	90 Spaces	

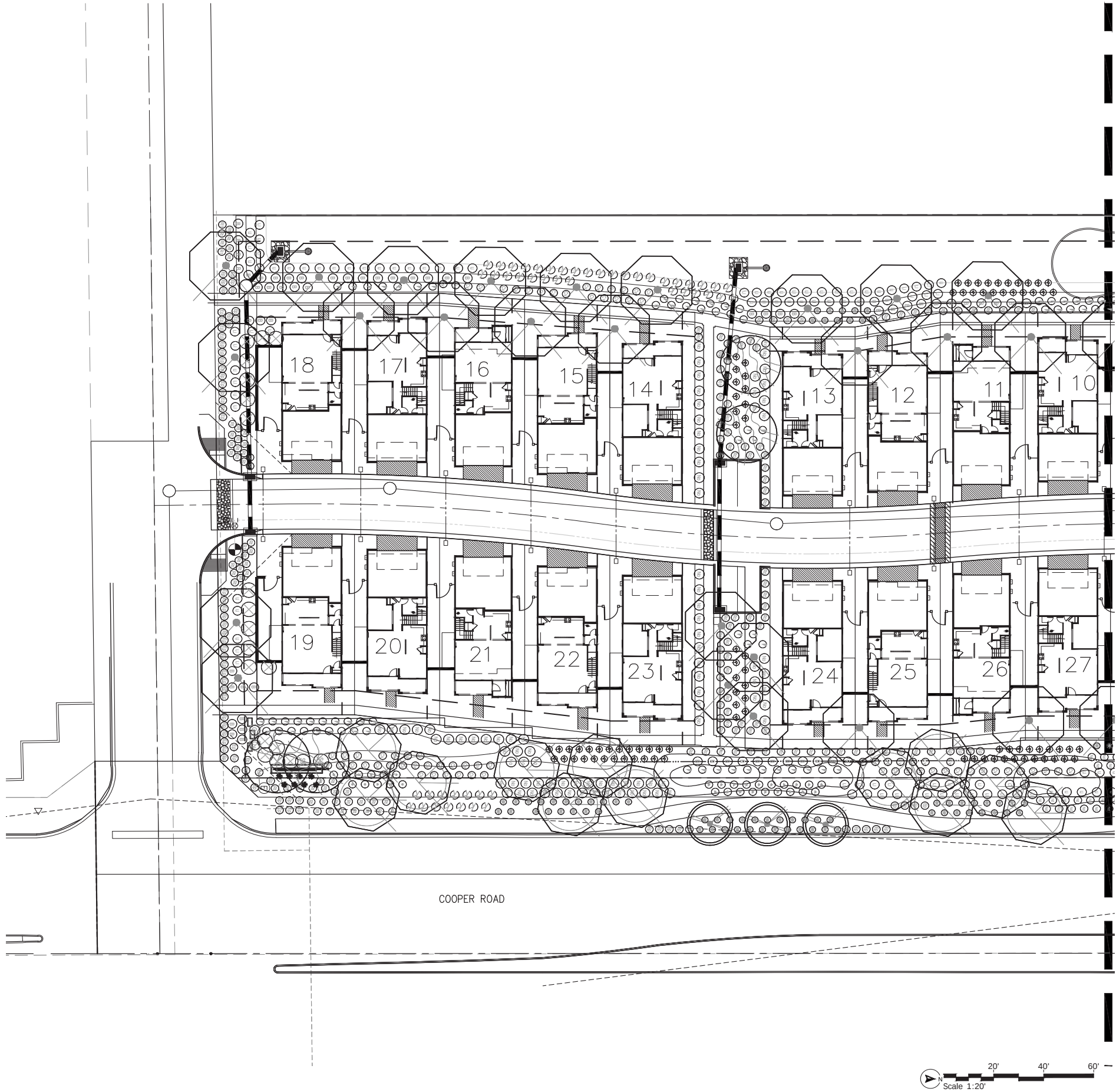
* One (1) Two-Car garage provided per house

Note: Two (2) 30"x30" concrete pads provided on each lot near curb and/or driveway for trash receptacle pickup. Refer to Wall Plan, Exhibit H.





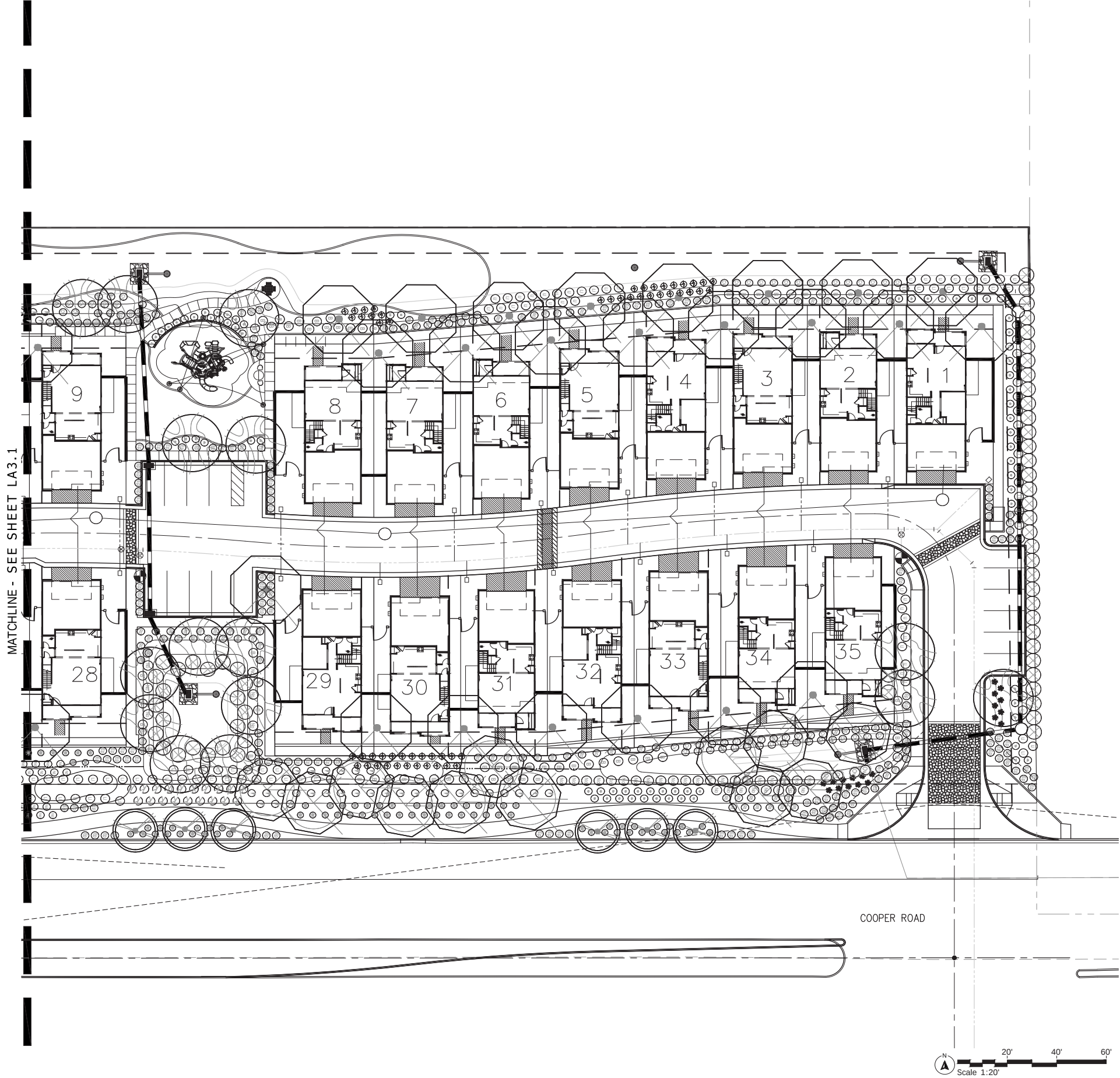
EXHIBIT D: LANDSCAPE PLAN



PLANT MATERIALS LEGEND				
Botanical Name Common Name	Size	Qty.	Height (in feet)	Width (in inches)
Trees				
Acacia aneura Mulga Acacia	15 Gal.			
Olea europaea 'Wilsoni' Olive	36" Box			
Olneya tesota Ironwood	36" Box			
Pinus edulis Mondel Pine	24" Box			
Pistacia x 'Red Push' Red Push Pistache	24" Box			
Havardia mexicana Mexican Ebony	24" Box			
Ulmus parvifolia 'Bosque' Elm	24" Box			
Quercus virginiana Southern Live Oak	24" Box			
Extra Large Shrubs				
Cassipouia pulcherrima Red Bird of Paradise	5 gal.	20		
Bougainvillea 'San Diego Red' Bougainvillea	5 gal.	-		
Dodonaea viscosa Hopbush	5 gal.	38		
Duranta erecta 'sweet memory' Duranta	15 gal.	22		
Tecoma hyb. 'Sparky' Sparky Tecoma	5 gal.	25		
Tecoma stans Yellow Bells	5 gal.	22		
Vauquelinia californica Arizona Rosewood	15 gal.	64		
Large Shrubs				
Leucophyllum langmaniae 'Rio Bravo' Rio Bravo Sage	5 gal.	281		
Simmondsia chinensis Jojoba	15 gal.	89		
Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Sage	5 gal.	-		
Medium Shrubs				
Ligustrum japonicum Japanese Privet	5 gal.	-		
Small Shrubs				
Nerium oleander 'Little Red' Oleander 'Little Red'	5 gal.	65		
Eremophila glabra spp. carnea Winter Blaze	5 gal.	-		
Nandina domestica Heavenly Bamboo	15 gal.	-		
Rosmarinus officinalis Rosemary	5 gal.	-		
Rosmarinus officinalis 'Tuscan Blue' Rosemary	5 gal.	-		
Ruellia perianthalis Desert Ruella	5 gal.	-		
Small Shrubs				
Eremophila hygrophana Blue Bells	5 gal.	284		
Accents				
Agave americana 'Marginata' Century Plant	5 gal.	10		
Oenothera longissima Mexican Grass Tree	5 gal.	4		
Hesperaloe parviflora Giant Hesperaloe	5 gal.	39		
Hesperaloe parviflora 'Brake Lights' Red Yucca	3 gal.	117		
Muhlenbergia capillaris 'Regal Mist'	5 gal.	64		
Opuntia violacea 'Santa Rita' Purple Prickly Pear	5 gal.	59		
Pachycereus marginatus Mexican Fence Post Cactus	5 gal.	12		
Yucca pallida Pale Leaf Yucca	5 gal.	223		
Groundcover				
Bougainvillea 'Monika' Och la la Bougainvillea	5 gal.	52		
Eremophila prostrata 'Outback Sunrise' Outback Sunrise Eremophila	1 gal.	434		
Lantana sp. 'New Gold' Lantana	1 gal.	157		
Rosmarinus officinalis 'Prostratus' Trailing Rosemary	1 gal.	425		
Vines				
Bougainvillea sp. Bougainvillea	15 gal.	18		
Rosa banksiae Lady Bank's Rose	15 Gal.	4		
Inerts				
Wood Fiber See Detail 7, Sheet LA6.6		1,297 S.F.		
Sod / Midiron See Detail 3 & 4, Sheet LA7.2		55,715 S.F.		
2" Deep Decomposed Granite - See Detail 2, Sheet LA 7.2 7/8" Screened Apache Brown in all non-turf areas		67,095 S.F.		
6" Concrete Header See Detail 5, Sheet LA6.6		1,155 L.F.		
Header Turndown See Detail 6, Sheet LA6.6		113 L.F.		

*All trees shall comply with the latest amended edition of the
"Arizona Nursery Association - Recommended Tree Specifications".
see section 1903(b)(6), zoning code.





PLANT MATERIALS LEGEND				
Botanical Name Common Name	Size Qty.	Height (in feet)	Width (in feet)	Caliper (in inches)
Trees				
Acacia aneura Mulga Acacia	15 Gal.			
Olea europaea 'Wilson' Olive	36" Box			
Olneya tesota Ironwood	36" Box			
Pinus edularia Mondel Pine	24" Box			
Pistacia x 'Red Push' Red Push Pistache	24" Box			
Havardia mexicana Mexican Ebony	24" Box			
Ulmus parvifolia 'Bosque' Elm	24" Box			
Quercus virginiana Southern Live Oak	24" Box			
Extra Large Shrubs				
Caesalpinia pulcherrima Red Bird of Paradise	5 gal.	20		
Bougainvillea 'San Diego Red' Bougainvillea	5 gal.	-		
Dodonaea viscosa Hopbush	5 gal.	38		
Duranta erecta 'sweet memory' Duranta	15 gal.	22		
Tecoma hyb. 'Sparky' Sparky Tecoma	5 gal.	25		
Tecoma Stans Yellow Bells	5 gal.	22		
Vaqueria californica Arizona Rosewood	15 gal.	64		
Large Shrubs				
Leucophyllum langmaniae 'Rio Bravo' Rio Bravo Sage	5 gal.	281		
Semmonia chinensis Japline	15 gal.	89		
Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Sage	5 gal.	-		
Ligustrum japonicum Japanese Privet	5 gal.	-		
Medium Shrubs				
Nerium oleander 'Little Red' Oleander 'Little Red'	5 gal.	65		
Eremophila glabra spp. carnea Winter Blaze	5 gal.	-		
Nandina domestica Heavenly Bamboo	15 gal.	-		
Rosmarinus officinalis Rosemary	5 gal.	-		
Rosmarinus officinalis 'Tuscan Blue' Rosemary	5 gal.	-		
Ruellia peninsularis Desert Ruellia	5 gal.	-		
Small Shrubs				
Eremophila hygrophana Blue Bells	5 gal.	284		
Accents				
Agave americana 'Marginata' Century Plant	5 gal.	10		
Daylily longisimul Mexican Grass Tree	5 gal.	4		
Hesperaloe funifera Giant Hesperaloe	5 gal.	39		
Hesperaloe parviflora 'Brakeleight' Red Yucca	3 gal.	117		
Muhlenbergia capillaris 'Regal Mist'	5 gal.	64		
Opuntia violacea 'Santa-Rita' Purple Prickly Pear	5 gal.	59		
Pachycereus marginatus Mexican Fence Post Cactus	5 gal.	12		
Yucca pallida Pale Leaf Yucca	5 gal.	223		
Groundcovers				
Bougainvillea 'Monika' Ooh la la Bougainvillea	5 gal.	52		
Eremophila prostrata 'Outback Sunrise' Outback Sunrise Eremophila	1 gal.	434		
Lantana sp. 'New Gold' Lantana	1 gal.	157		
Rosmarinus officinalis 'Prostratus' Trailing Rosemary	1 gal.	425		
Vines				
Bougainvillea sp. Bougainvillea	15 gal.	18		
Rosa banksiae Lady Bank's Rose	15 Gal.	4		
Inerts				
Wood Fiber See Detail 7, Sheet LA6.6	1,297 S.F.			
Sod / Midiron See detail 3 & 4, Sheet LA7.2	55,715 S.F.			
2" Deep Decomposed Granite - See Detail 2, Sheet LA 7.2 7/8" Screened Apache Brown in all non-turf areas	67,095 S.F.			
6" Concrete Header See Detail 5, Sheet LA6.6	1,155 L.F.			
Header Turndown See Detail 6, Sheet LA6.6	113 L.F.			

*All trees shall comply with the latest amended edition of the "Arizona Nursery Association - Recommended Tree Specifications", see section 1903(6)(a), zoning code.



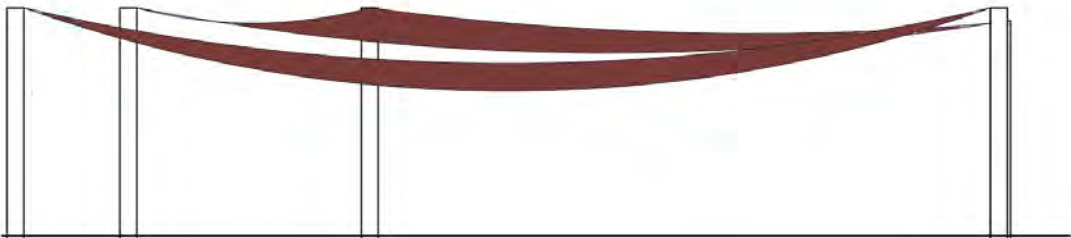
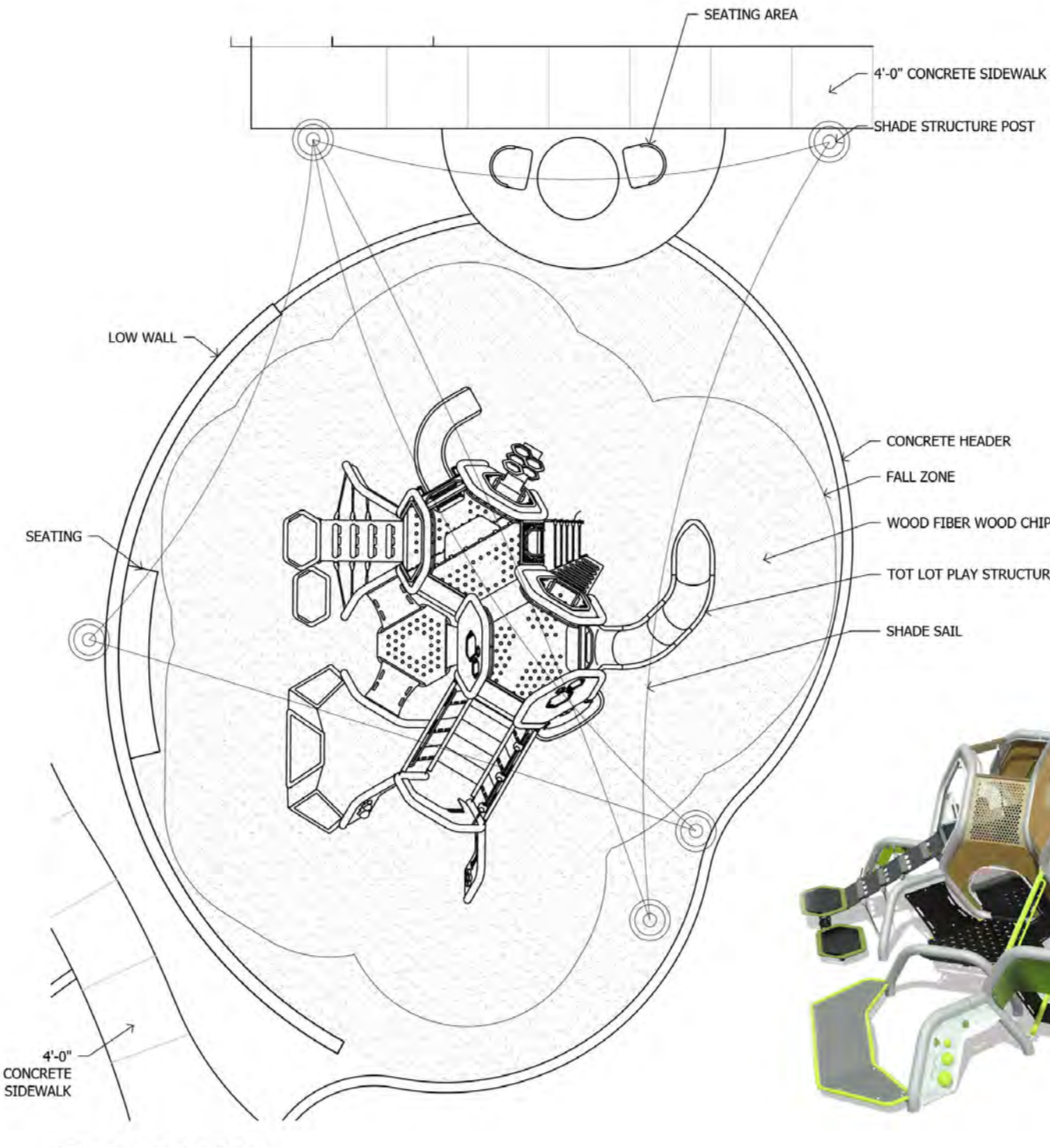
KEYNOTES

- A ACCESS TO TURF
- B GAME TABLE ON CONCRETE PAD
- C USEABLE TURF
- D FABRIC SHADE STRUCTURE
- E TOT LOT WITH WOOD FIBER WOOD CHIPS FOR ADA ACCESS
- F DECORATIVE STAMPED ASPHALT CROSSWALK
- G PRIVATE COURTYARD
- H COMMUNITY CIRCULATION PATH
- I GUEST PARKING



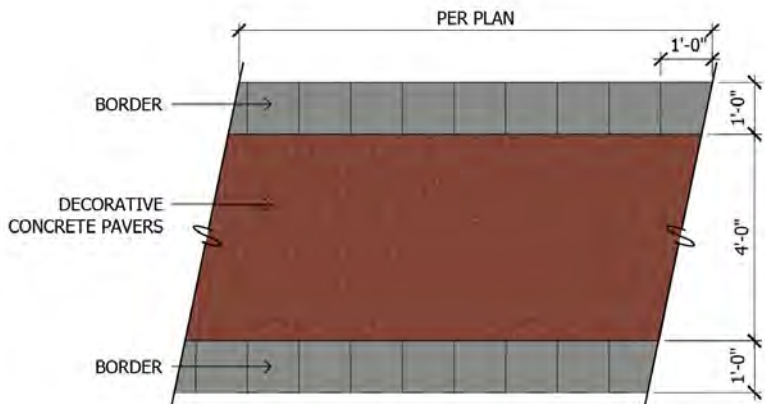
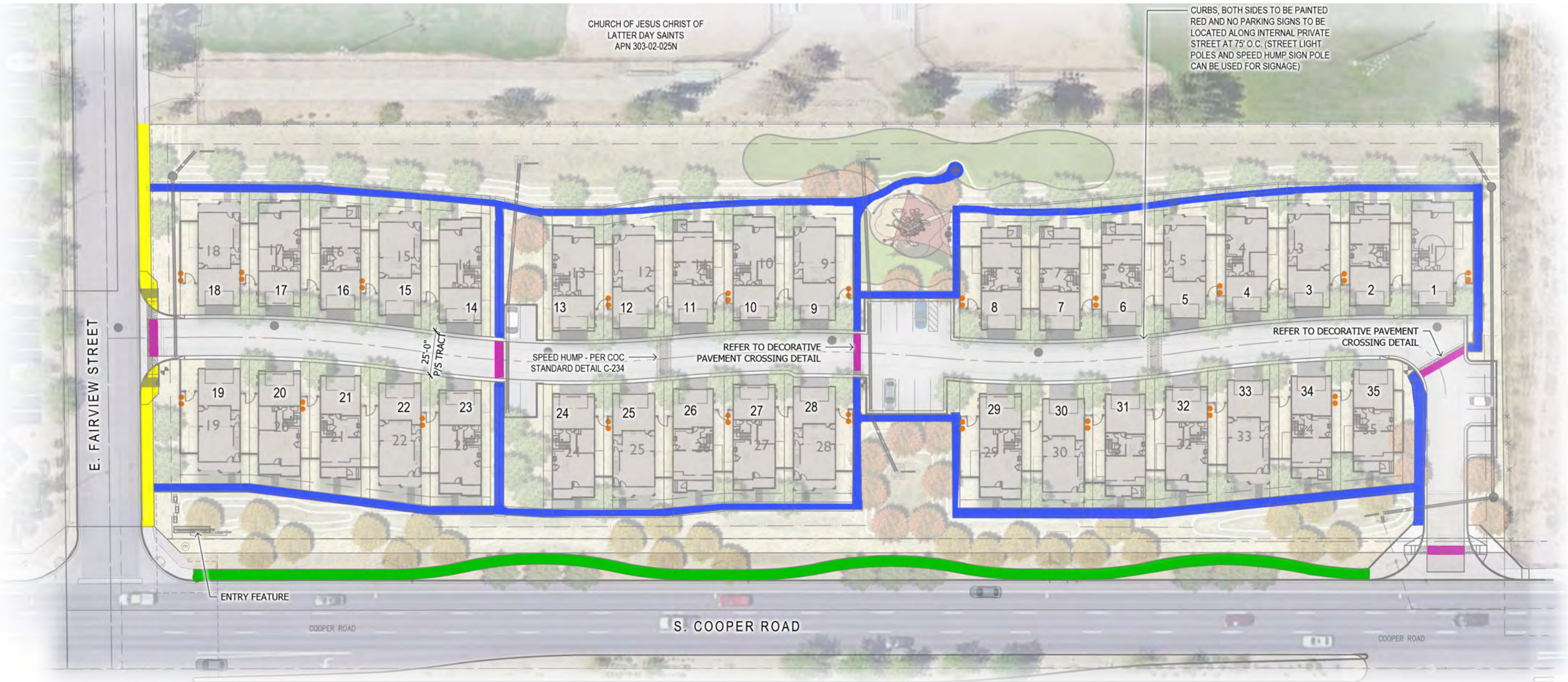
EXHIBIT E: AMENITY PLAN



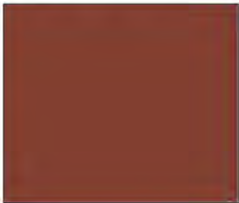


NOTES:
HEIGHT FOR SHADE SAILS TO BE DETERMINED WITH FINAL HEIGHTS FOR THE PLAY STRUCTURE TO ENSURE REQUIRED VERTICAL CLEARANCE.





CENTER PATTERN
PATTERN: ASHLAR
COLOR: TERRA COTTA



BORDER
PATTERN: RUNNING BOND
COLOR: GRAY



CIRCULATION LEGEND	
SYMBOL	DESCRIPTION
	4' WIDE CONCRETE SIDEWALK (5'X5' TURNAROUND AREAS AT 200' O.C.)
	6' MEANDERING CONCRETE SIDEWALK
	DECORATIVE PAVEMENT CROSSING
	EXISTING SIDEWALK
	TRASH RECEPTACLES

PARKING CALCULATION	
35 LOTS X 0.5 SPACES PER LOT	
SPACES REQUIRED =	18
SPACES PROVIDED =	20

1 Stamped Concrete Pavement
SCALE: 1/2"=1'-0"

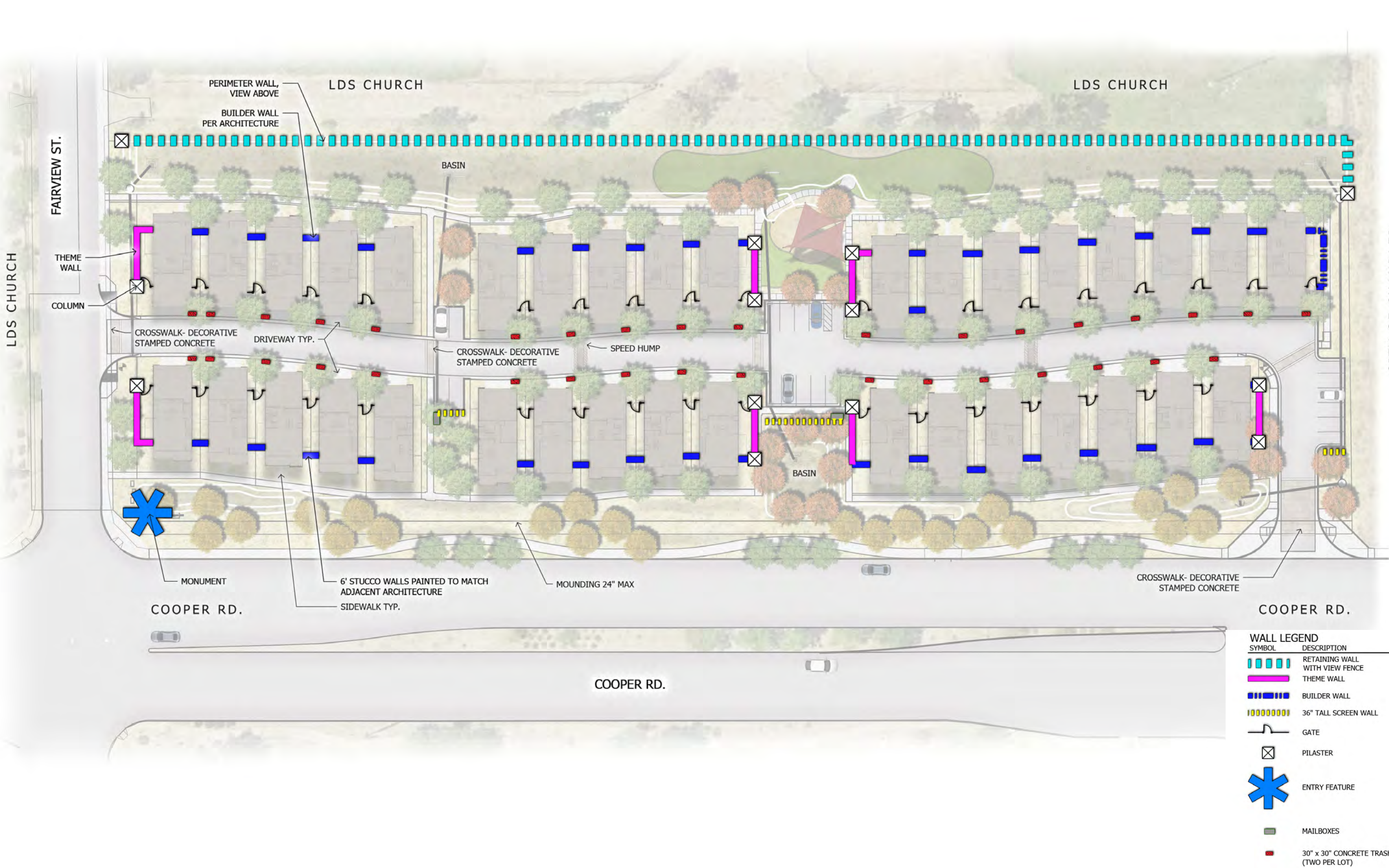
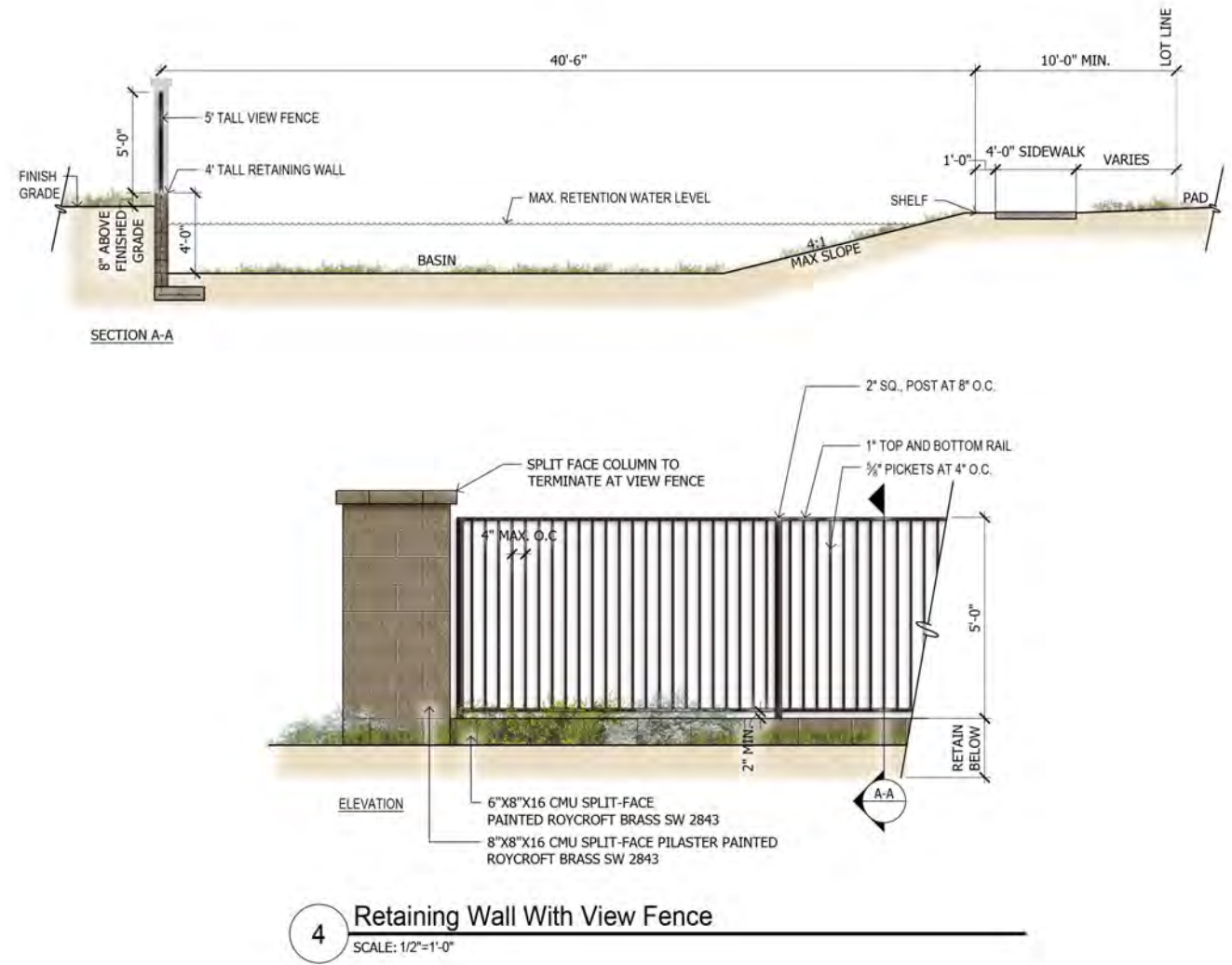
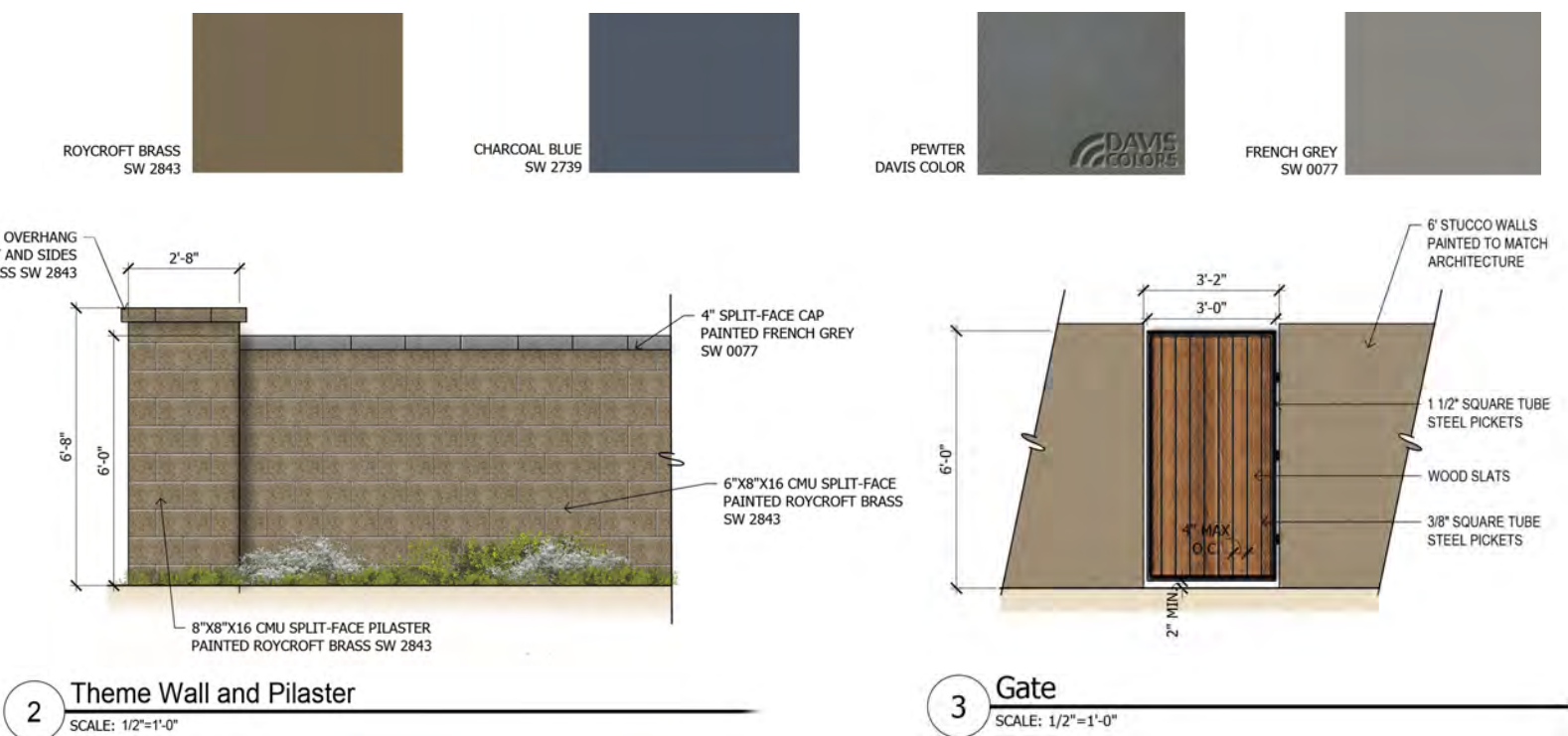
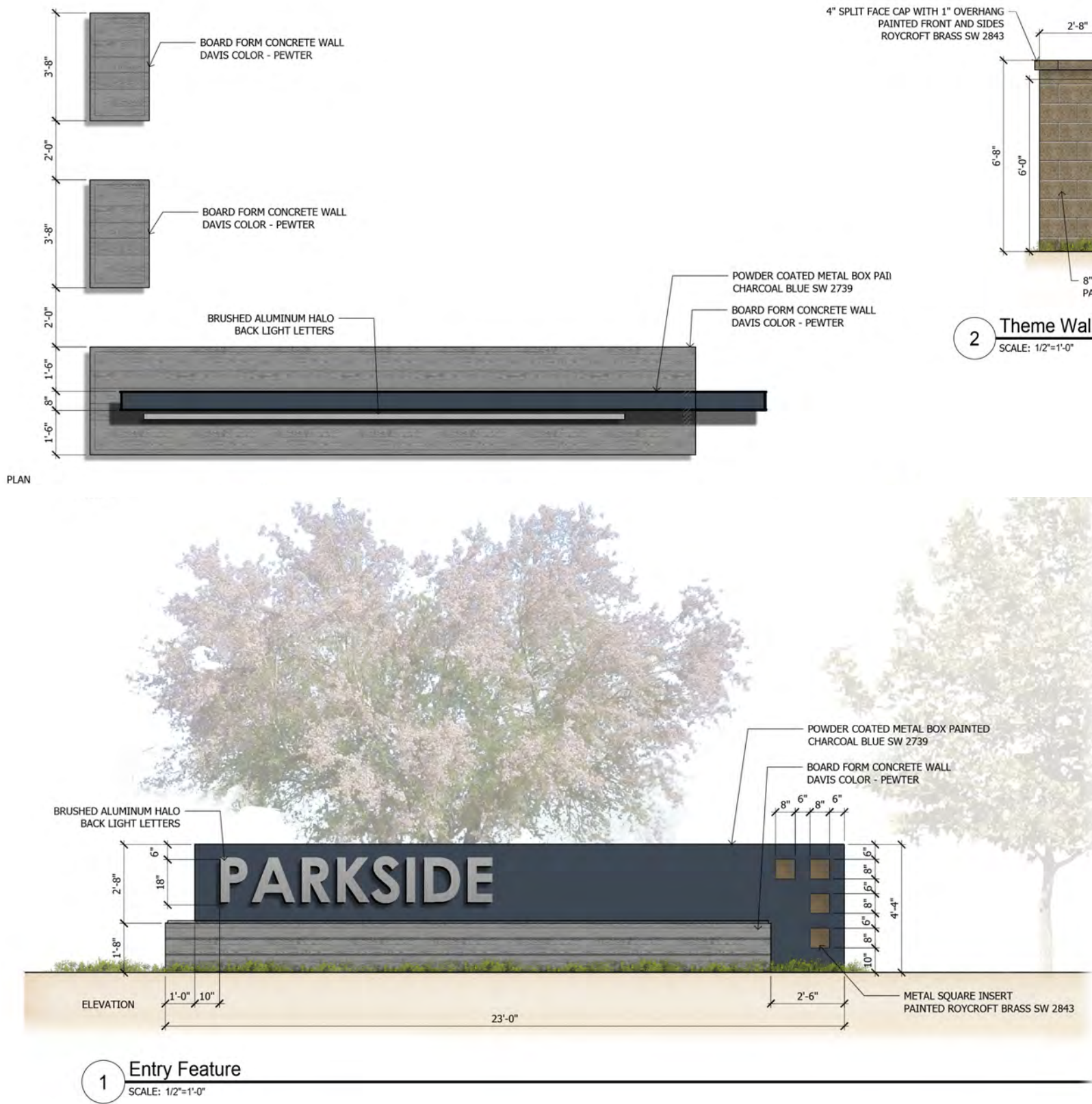
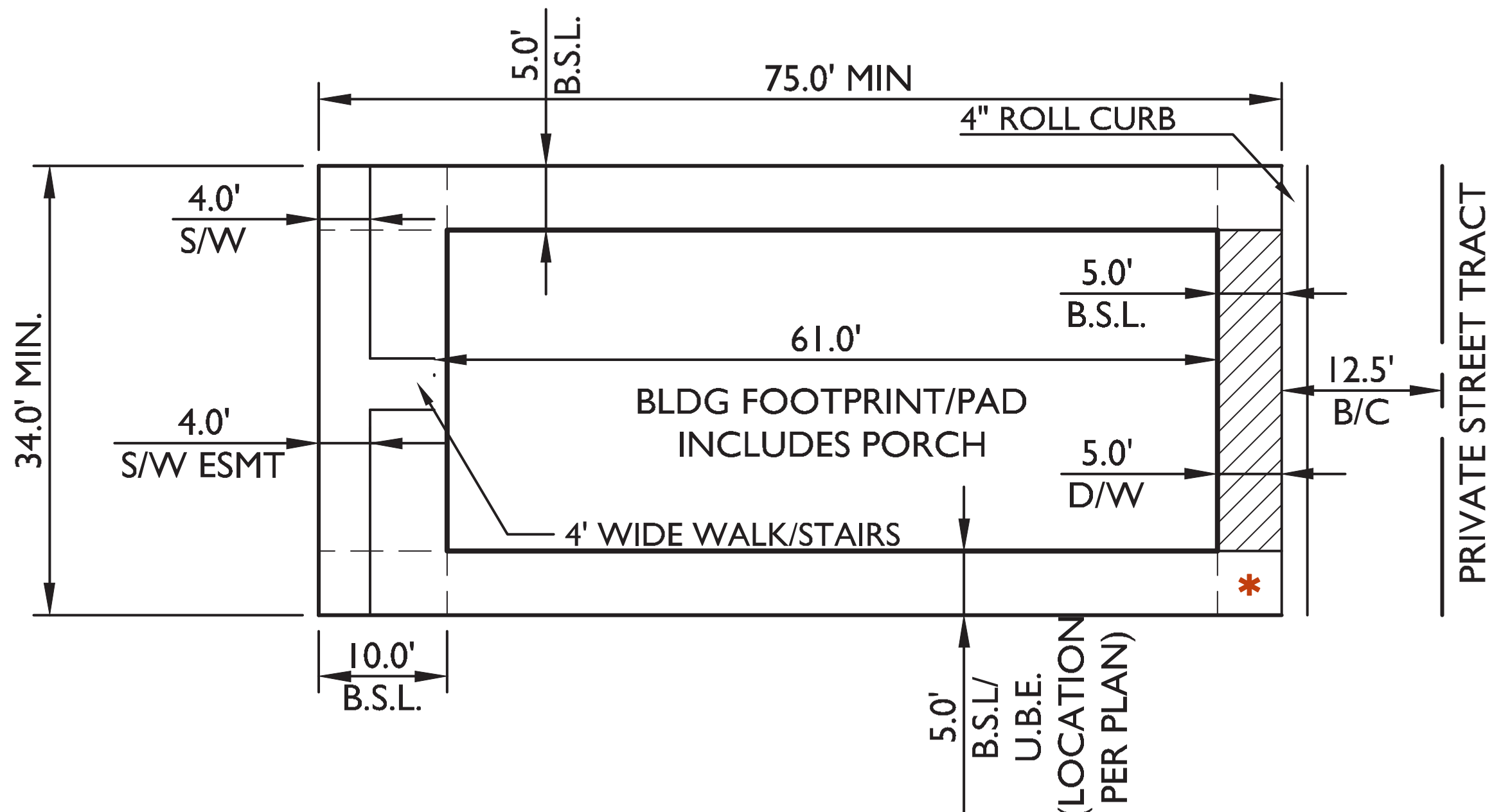


EXHIBIT H: WALL PLAN







TYPICAL LOT DIAGRAM

N.T.S

* Two (2) 30"x30" Concrete pads located adjacent to curb and/or driveway for trash can receptacle placement for pick up. Refer to Wall Plan, Exhibit H.



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



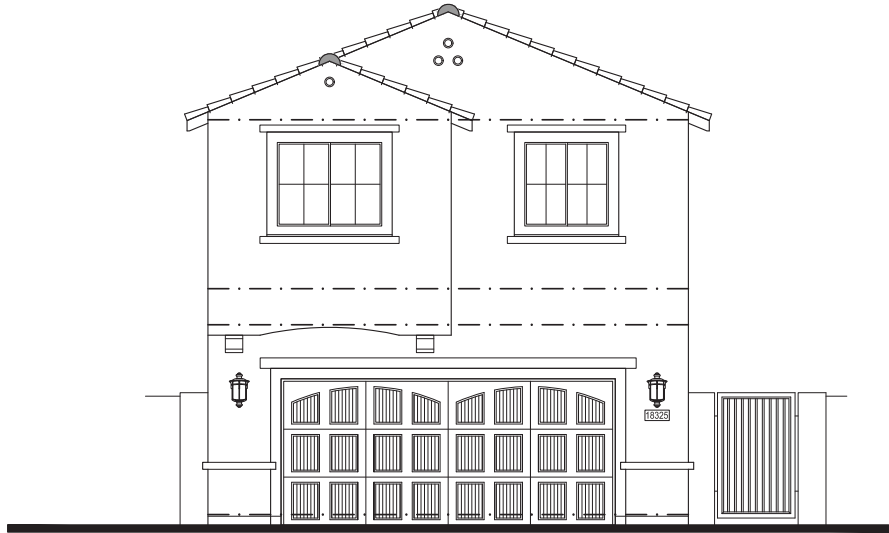
RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



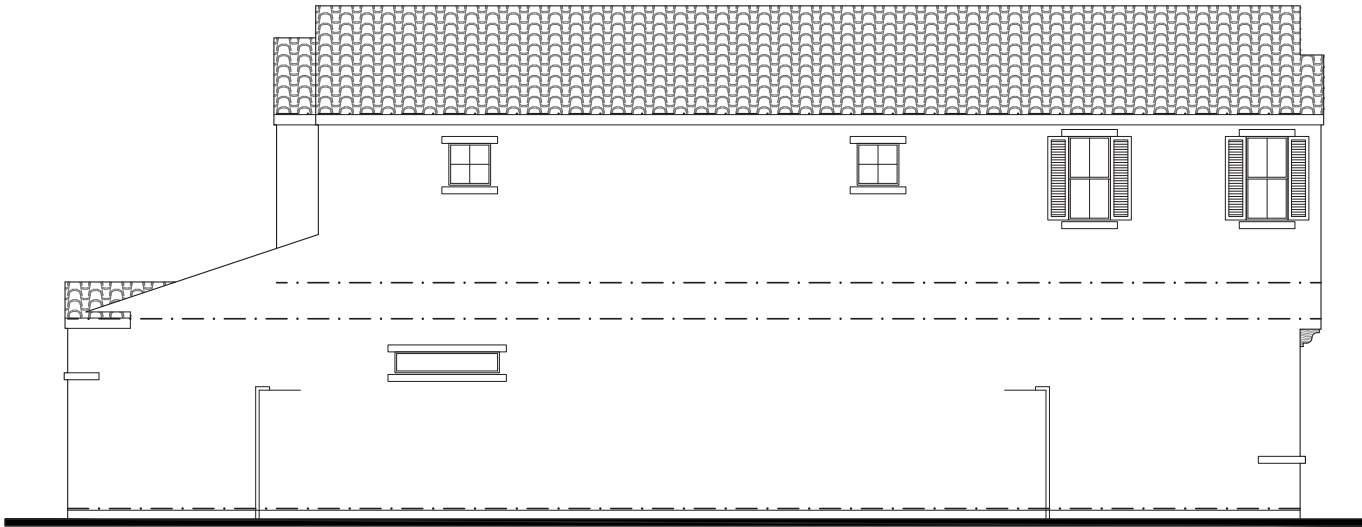
LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



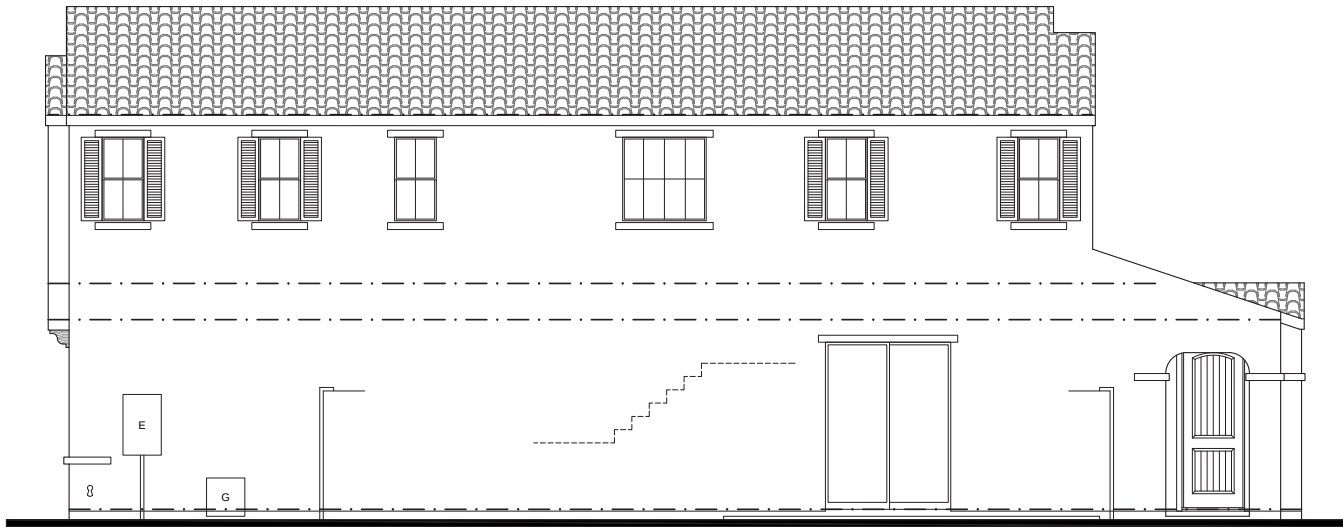
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



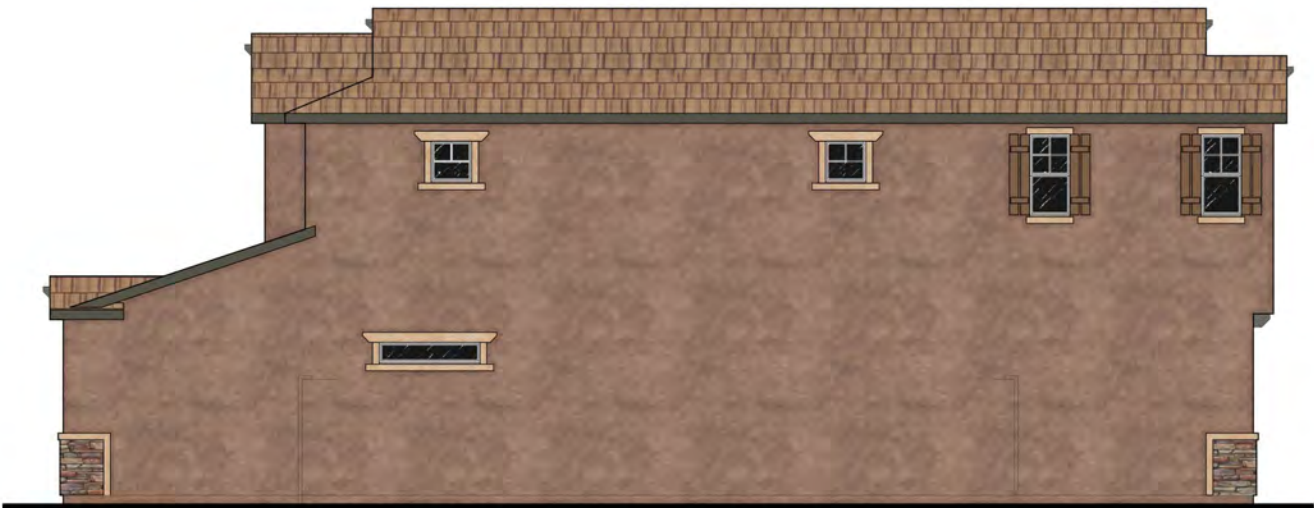
LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



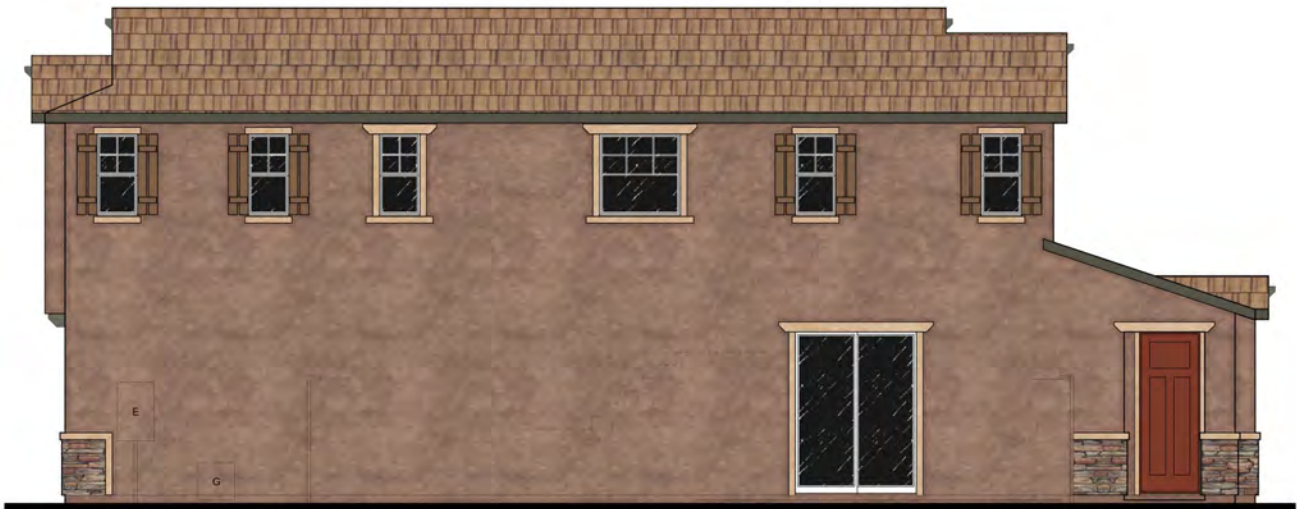
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



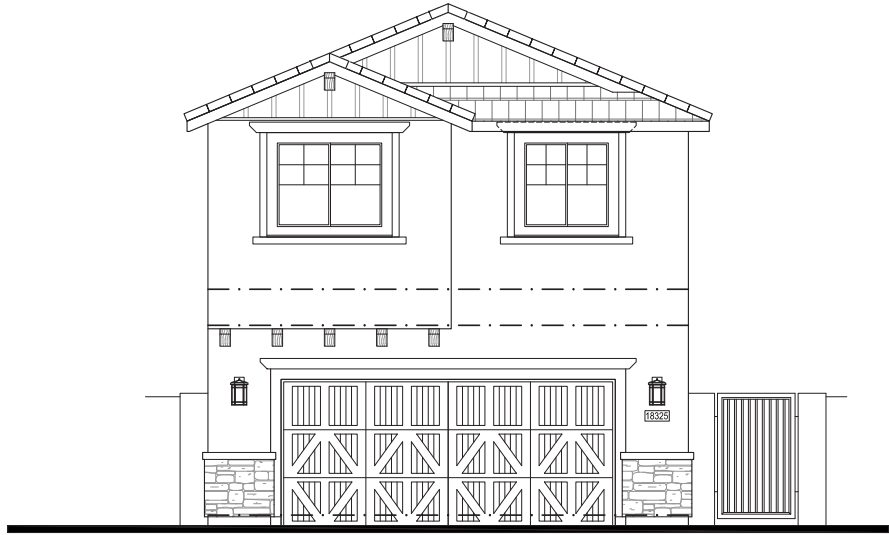
RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



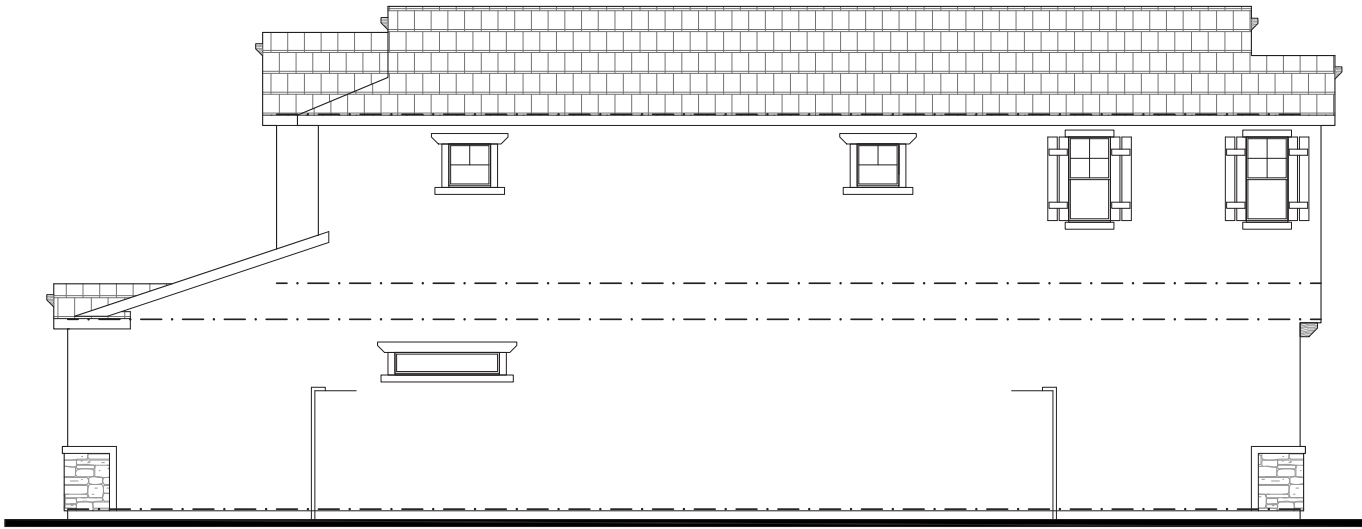
LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



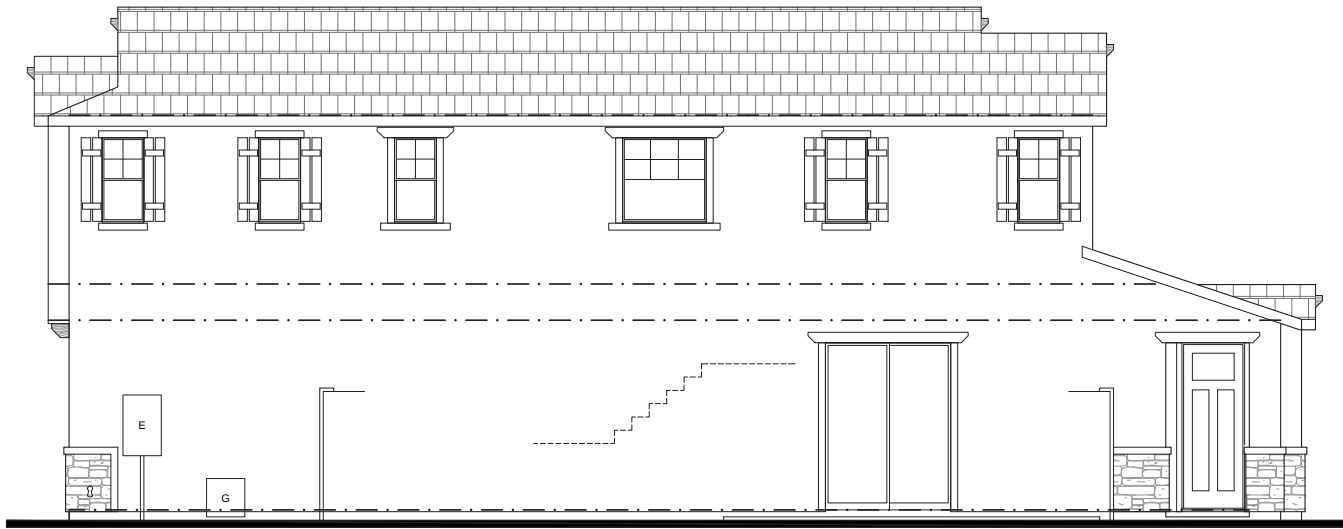
FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



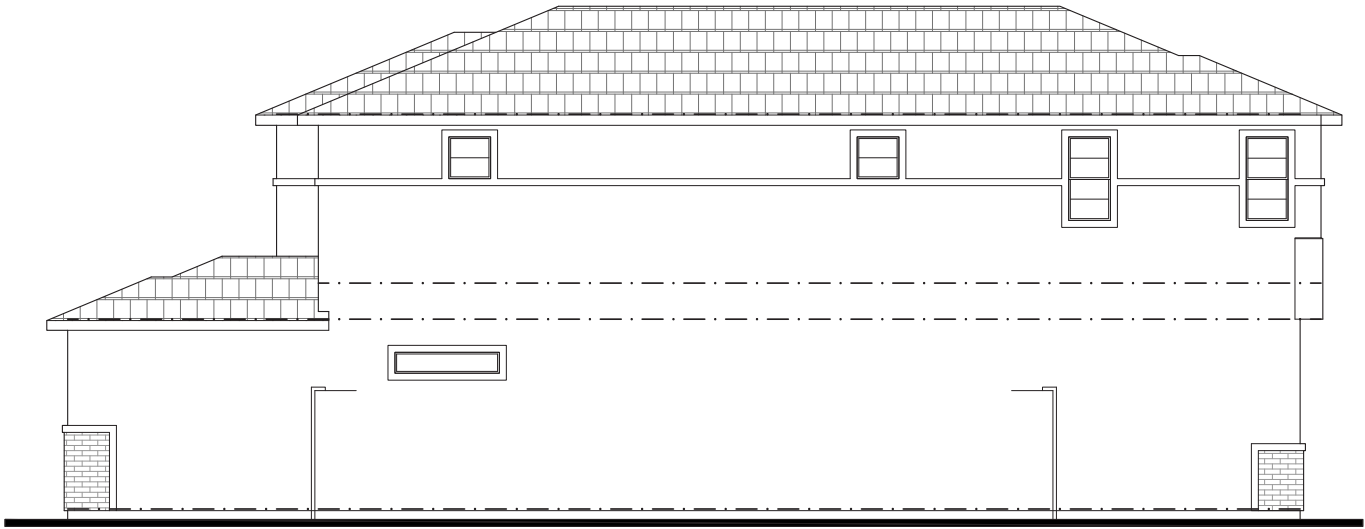
LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



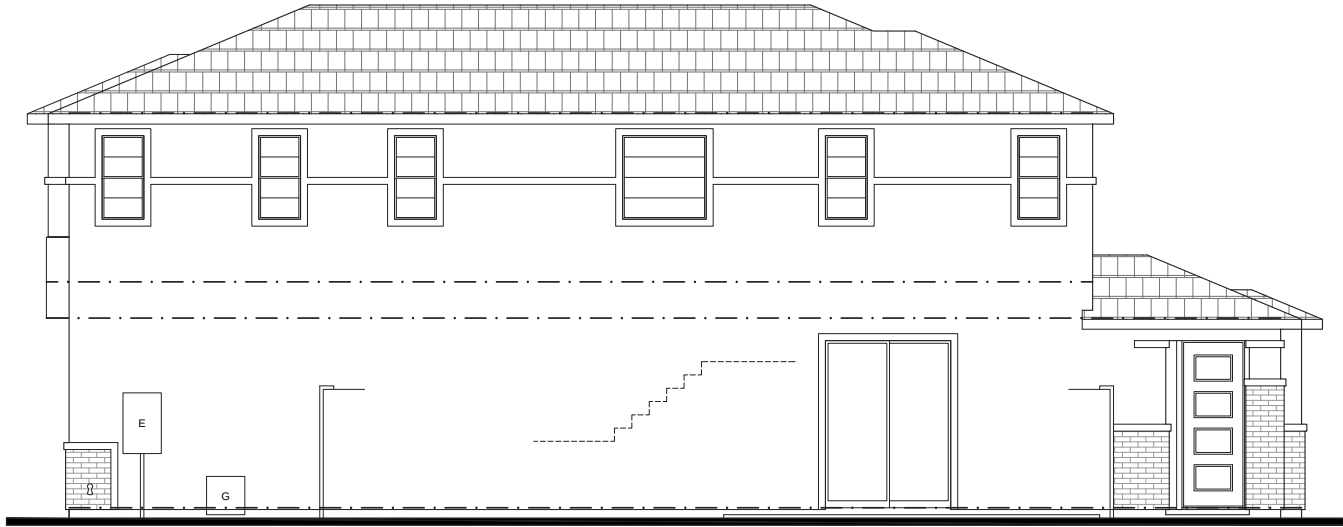
FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



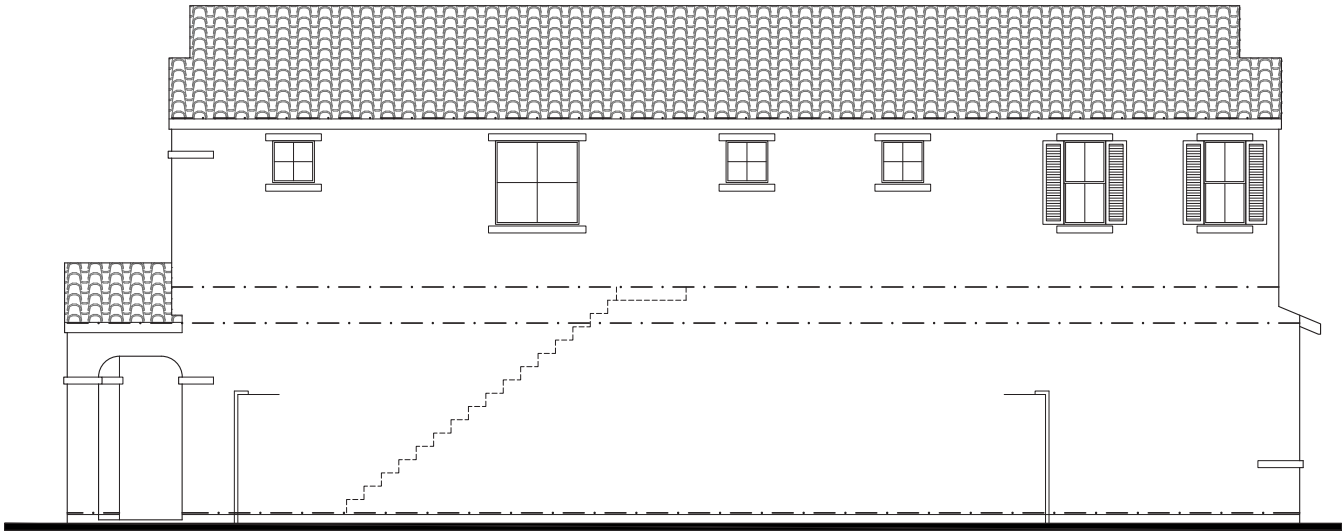
LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



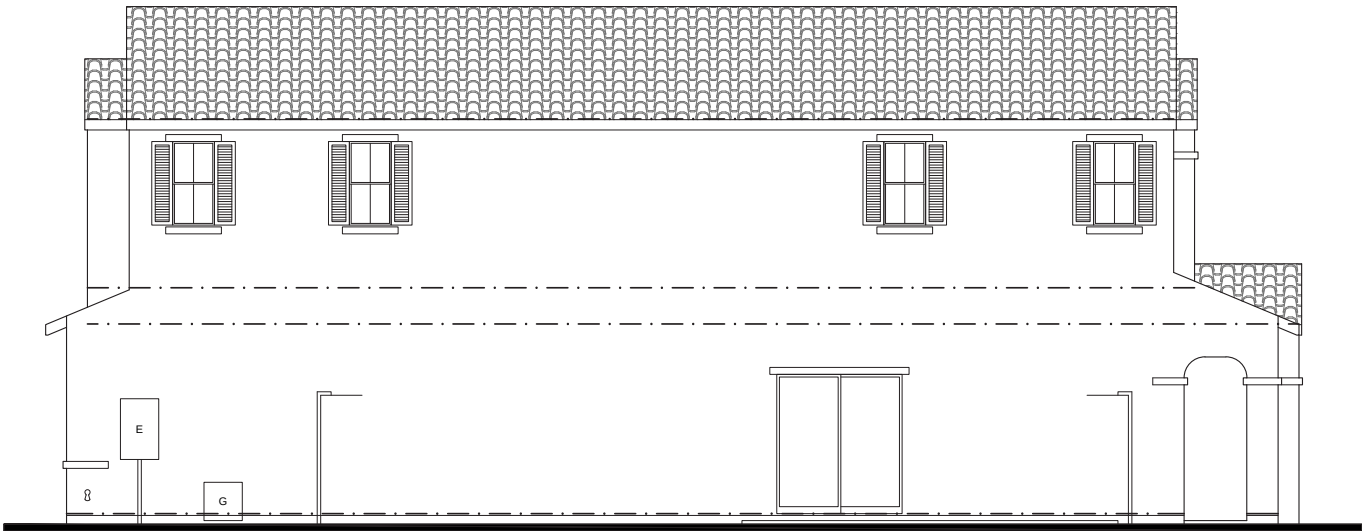
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



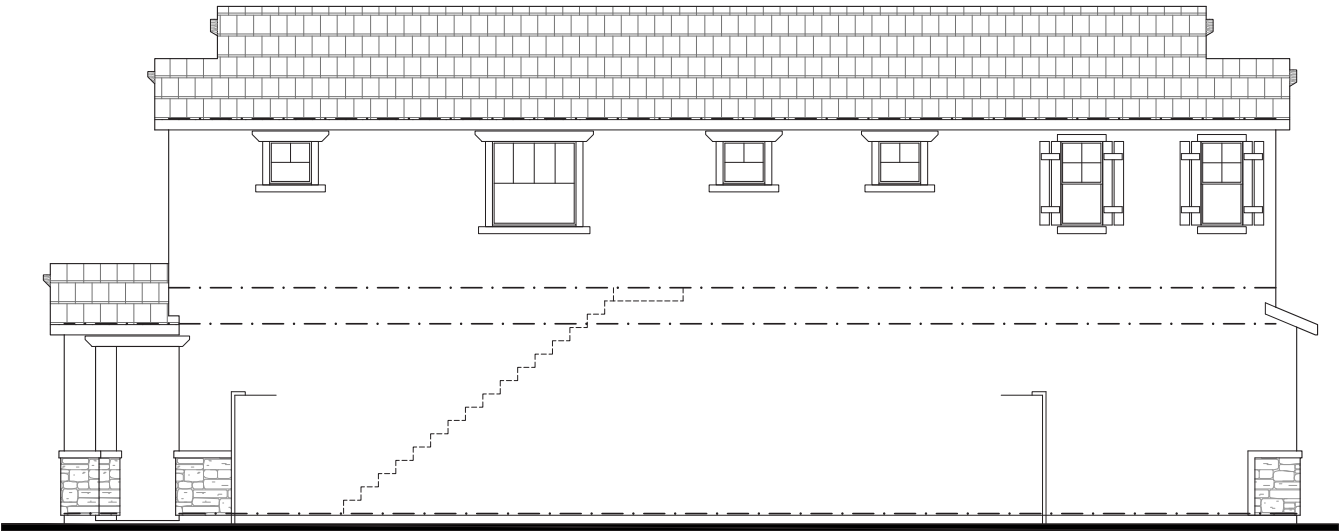
LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



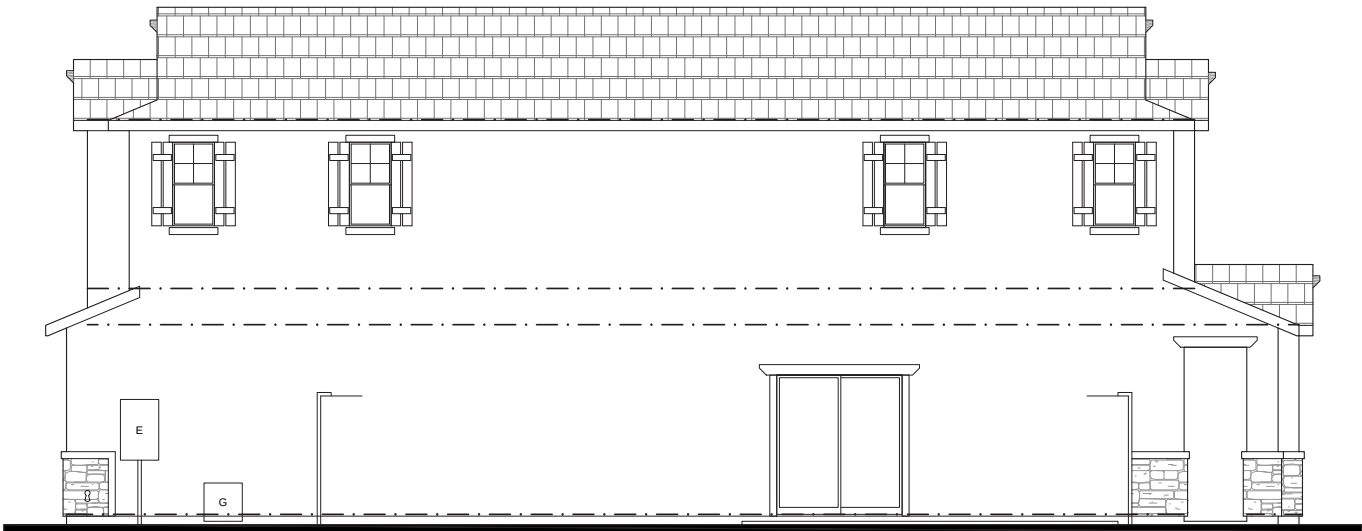
FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



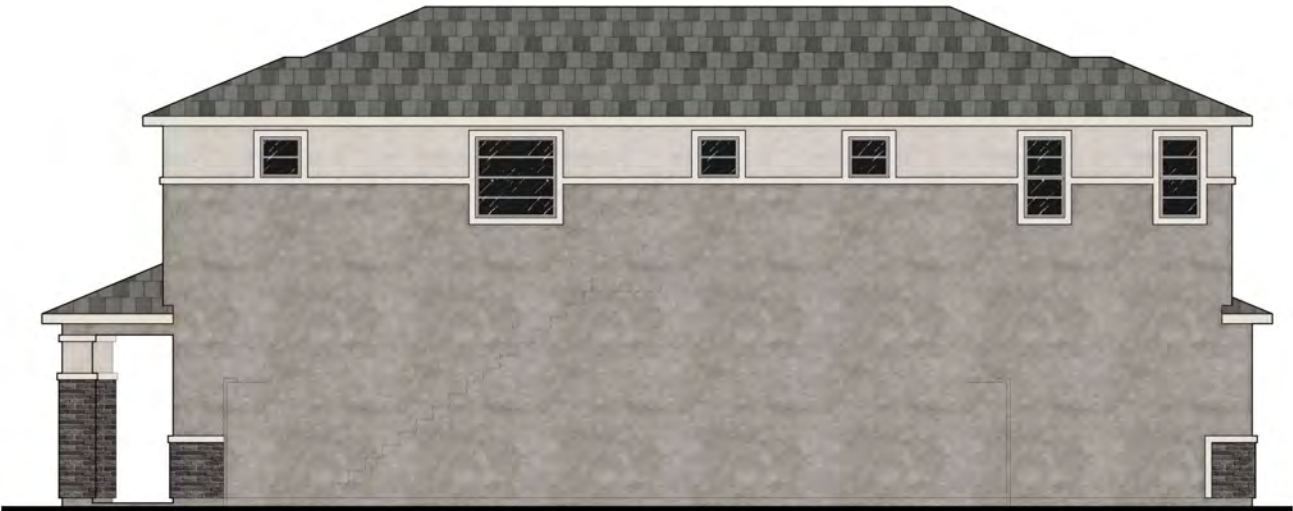
LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



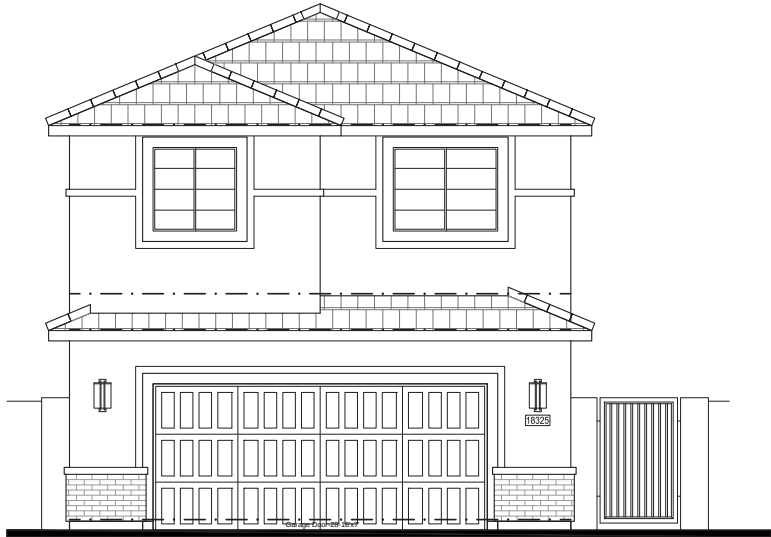
RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



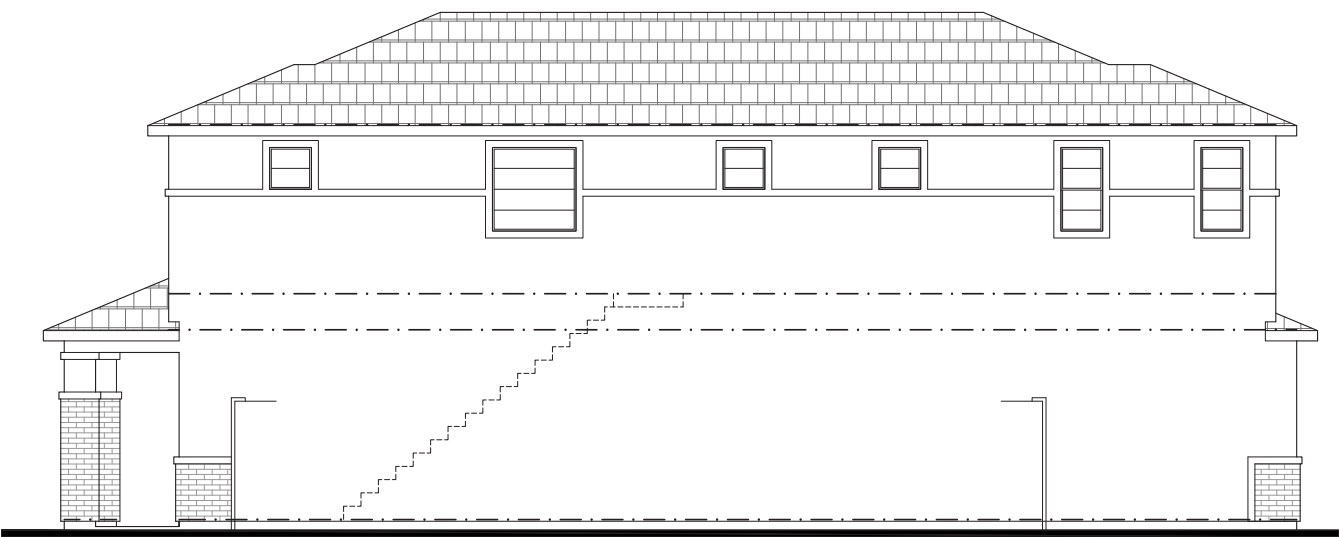
LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



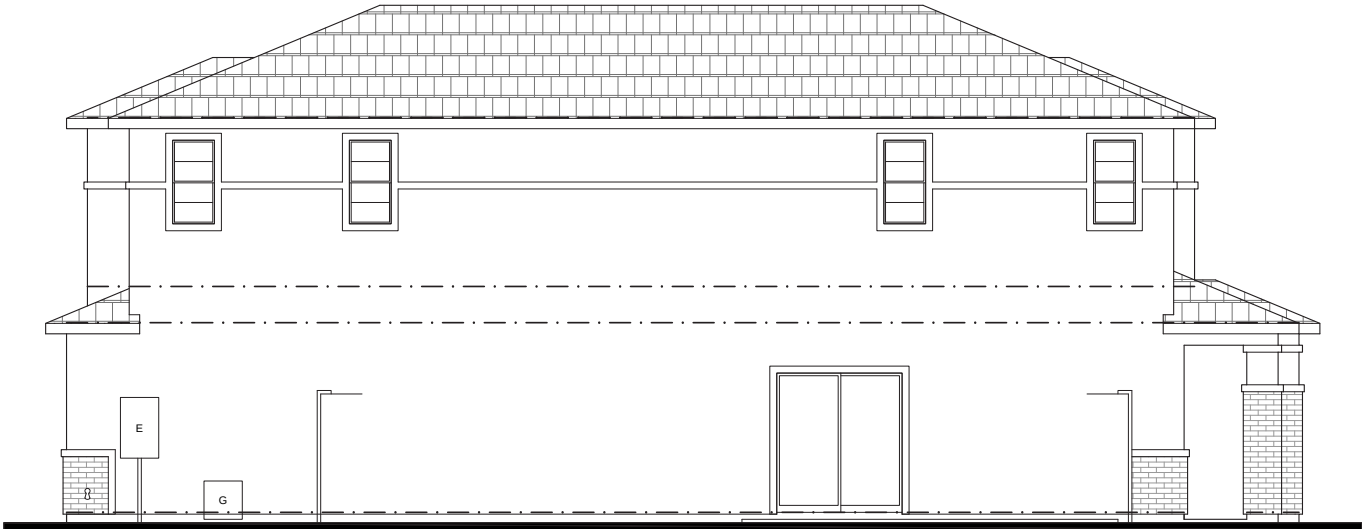
FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



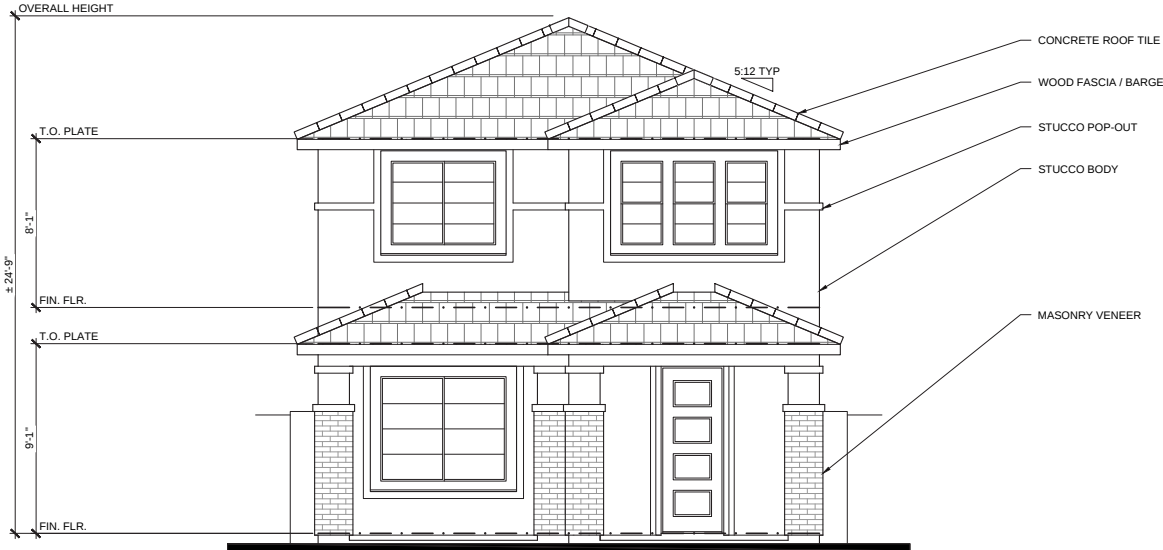
REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

Plan 2 | Parkside | Chandler, Arizona

3-11-2021



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



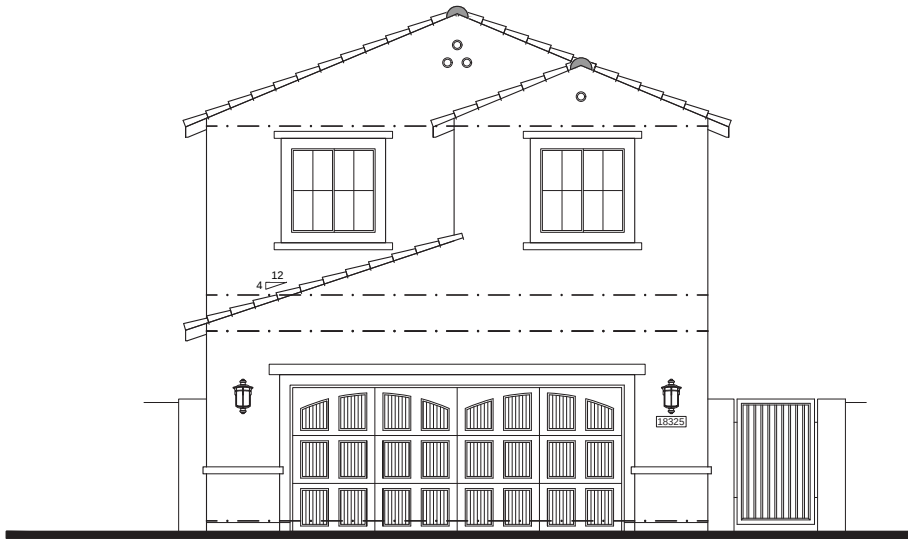
LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



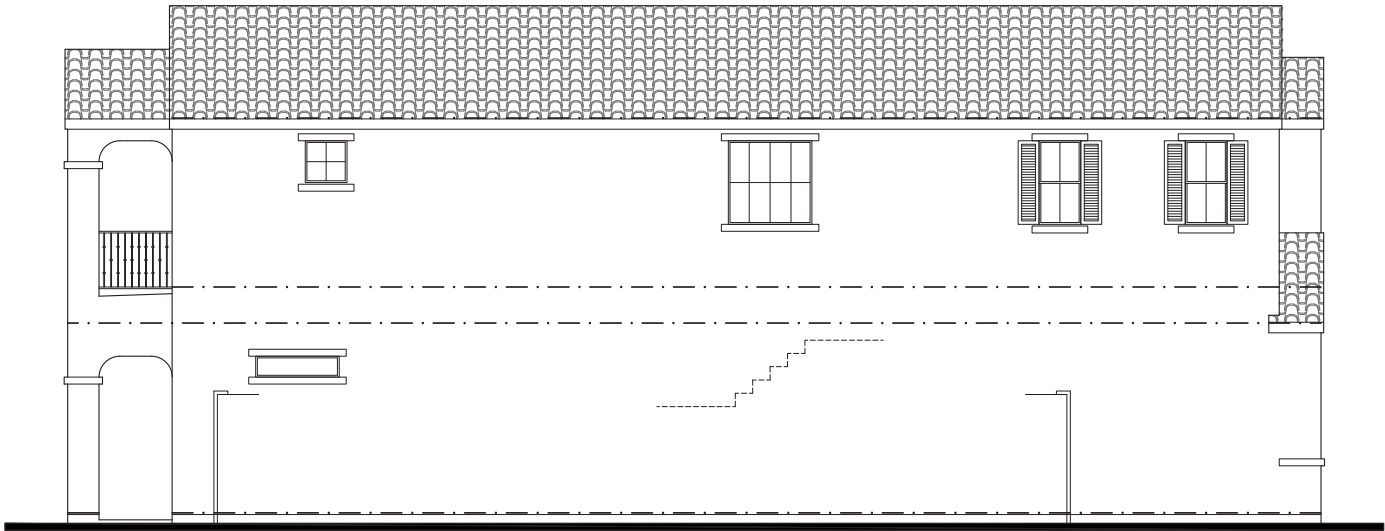
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

3-15-2021



REAR ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

3-11-2021



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



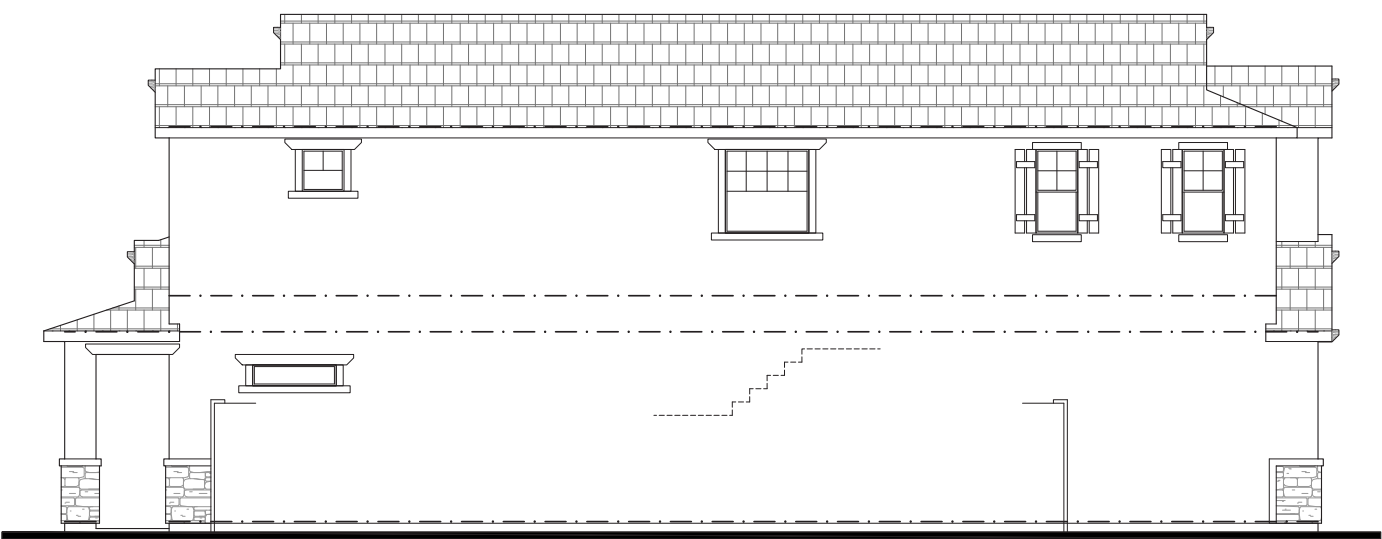
FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

3-15-2021



REAR ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



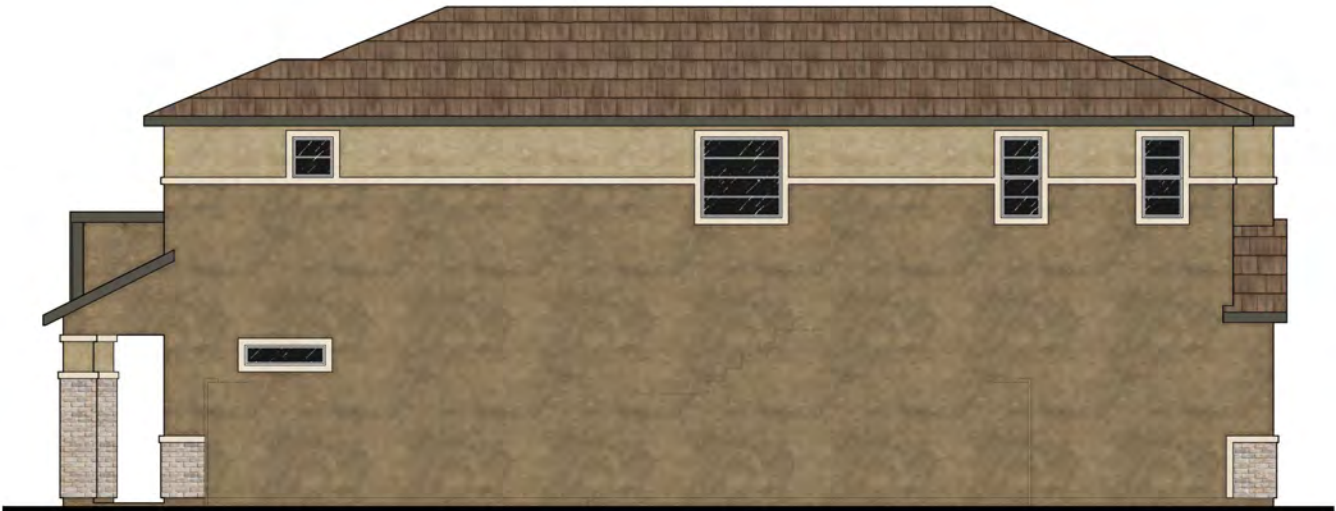
LEFT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



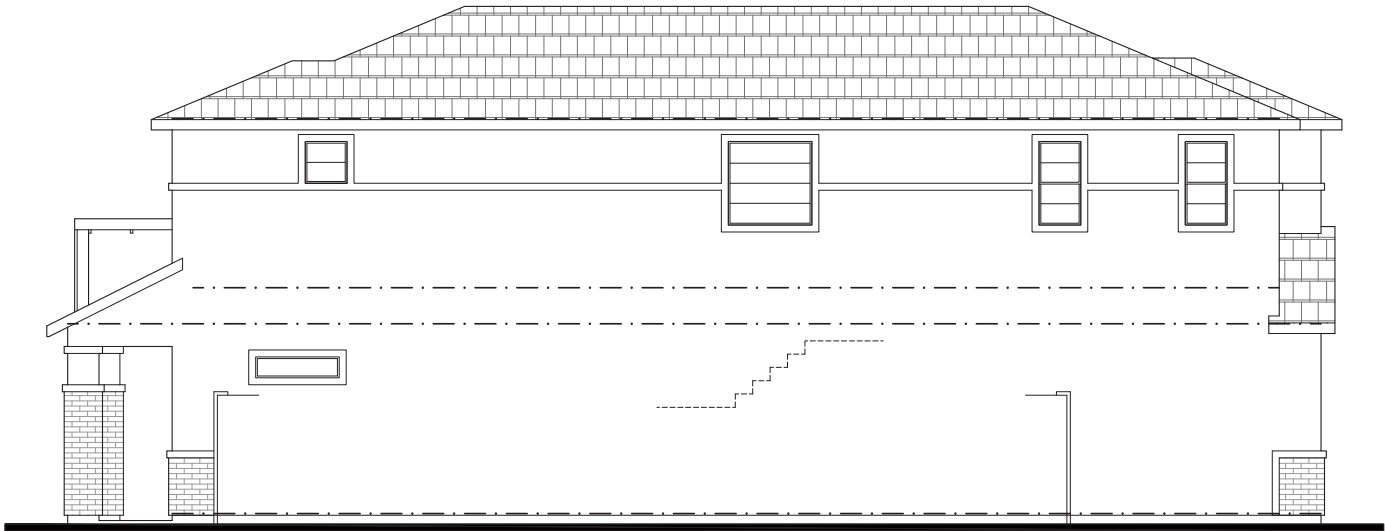
FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

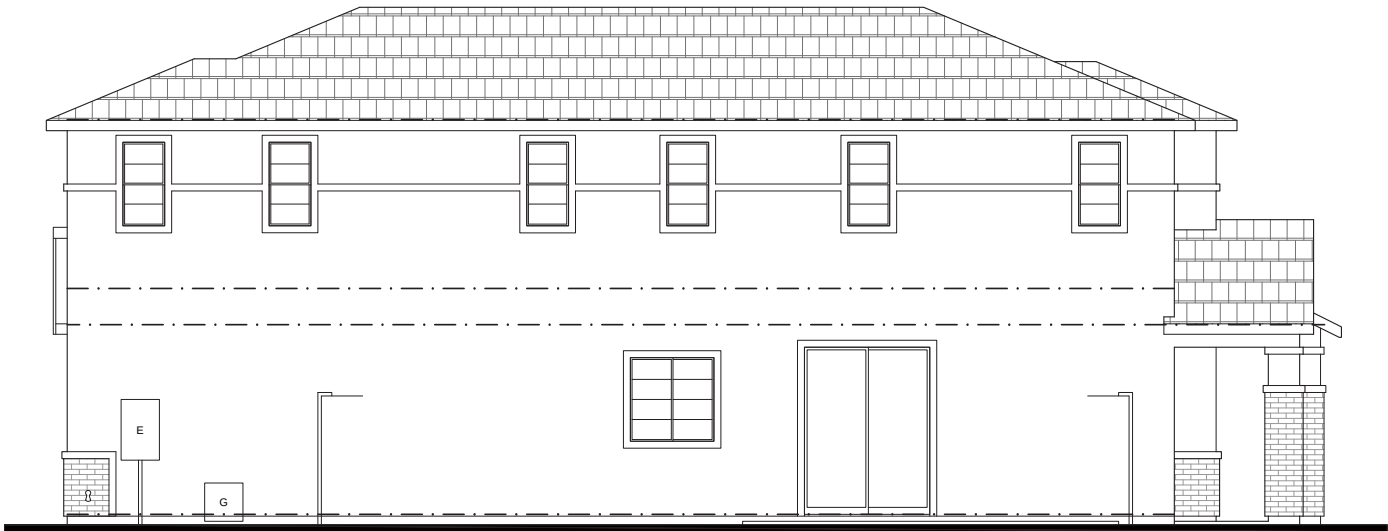
3-15-2021



REAR ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



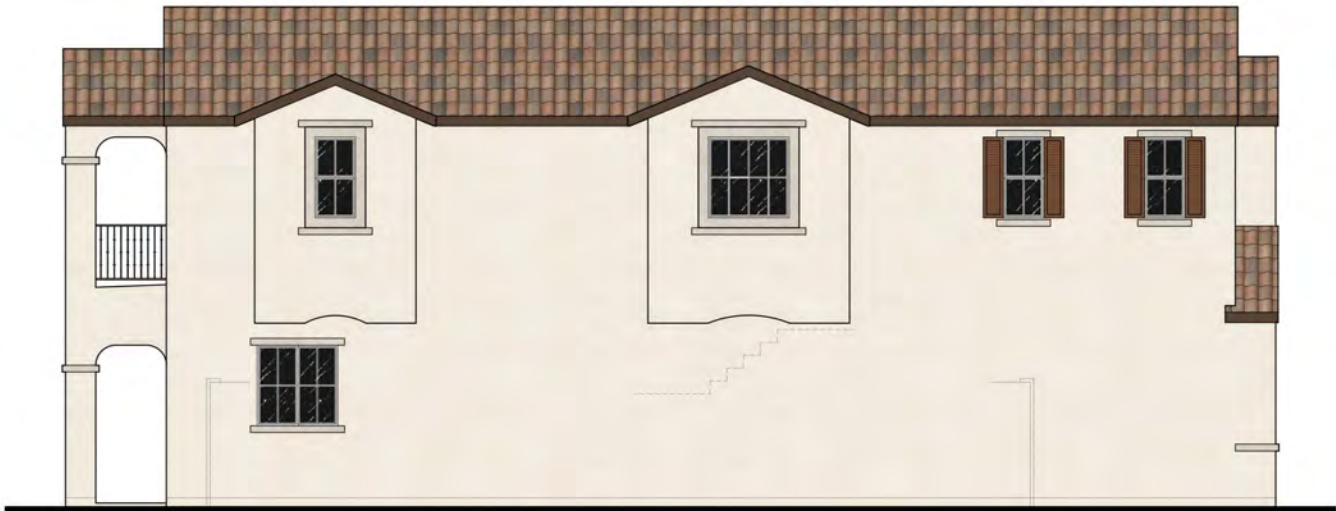
LEFT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

3-11-2021



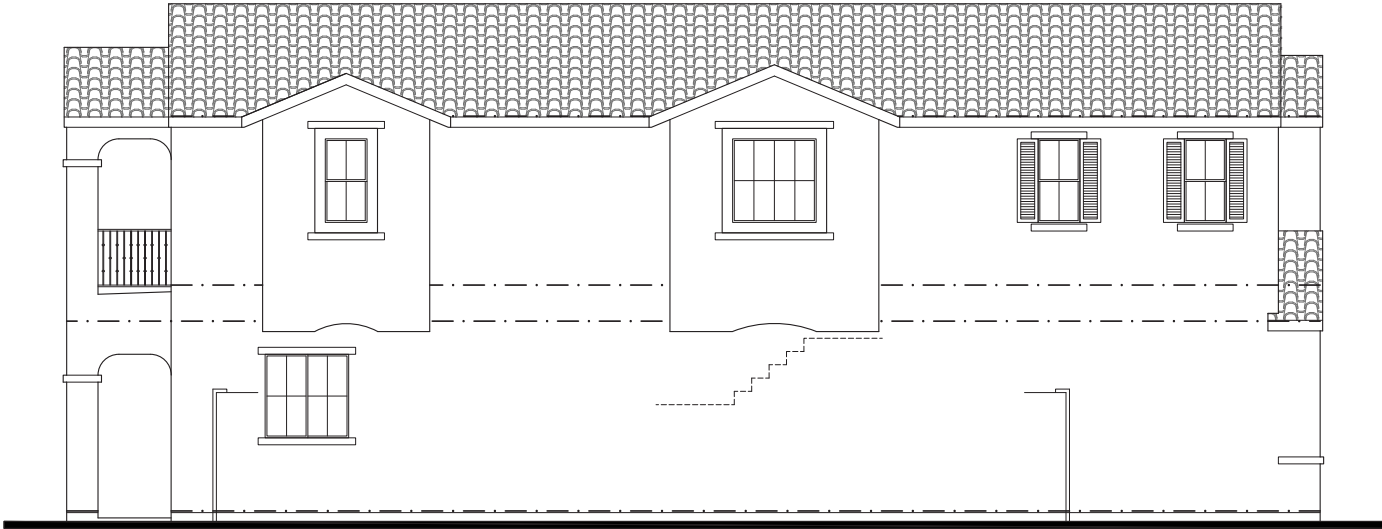
ENHANCED LOT
RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



ENHANCED LOT
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

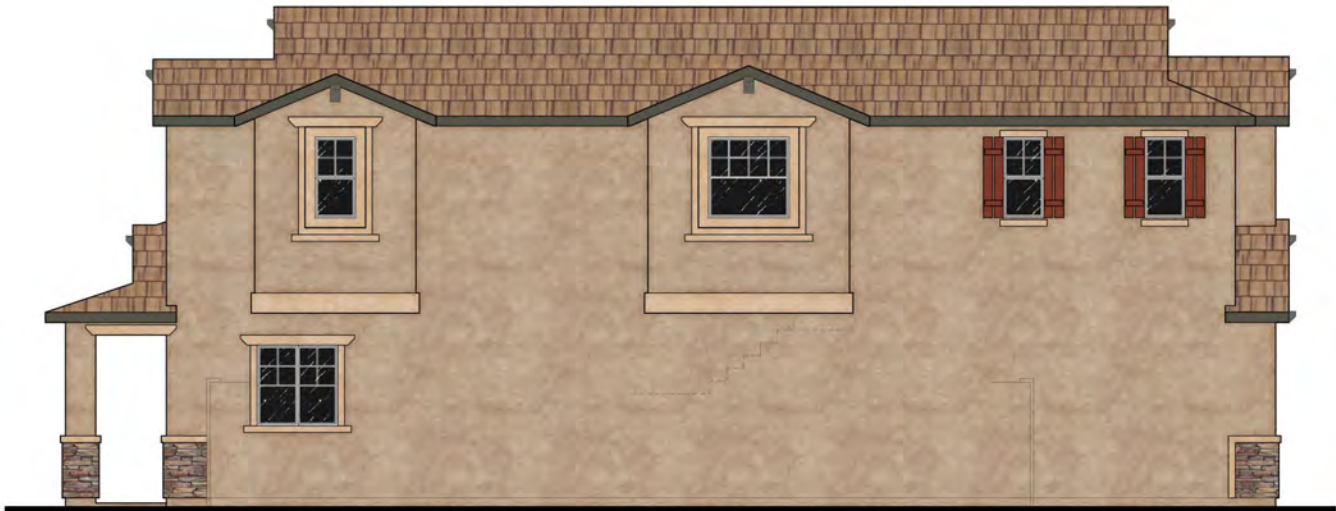
3-15-2021



ENHANCED LOT
RIGHT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



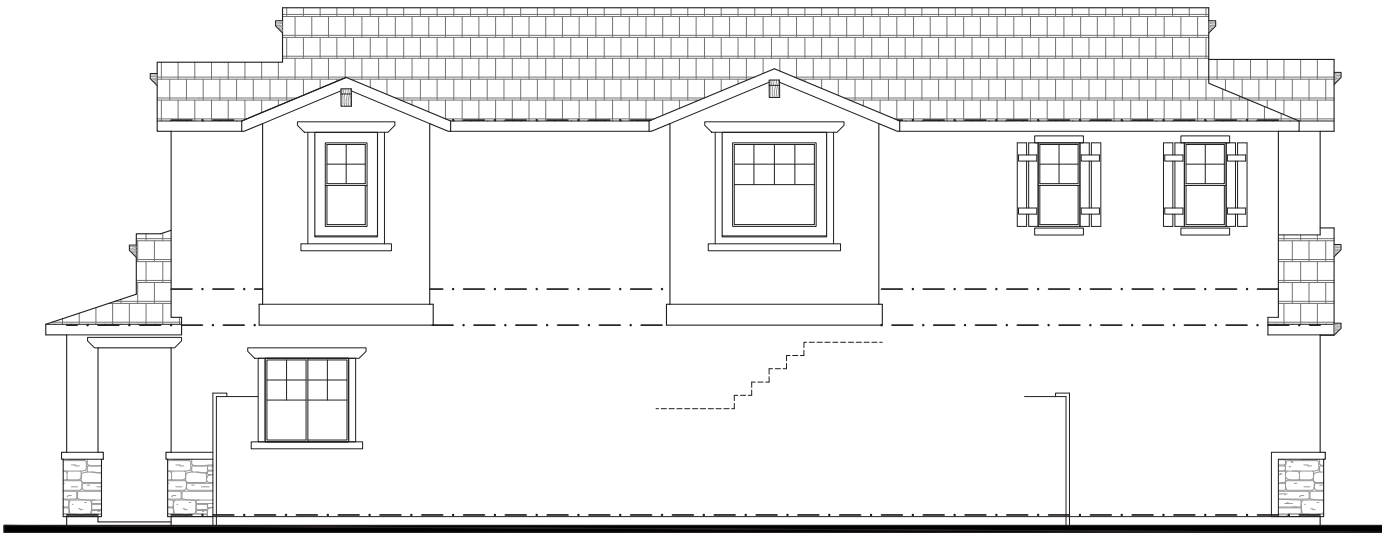
ENHANCED LOT
FRONT ELEVATION
ELEVATION A - SPANISH 1/4" = 1'-0"



ENHANCED LOT
RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



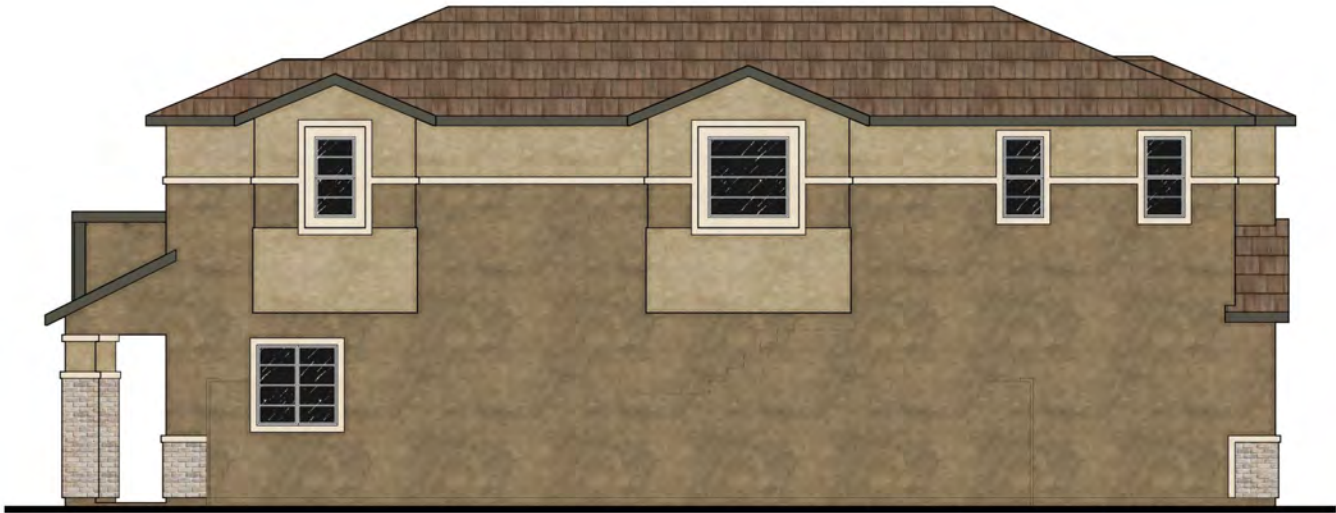
ENHANCED LOT
FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



ENHANCED LOT
RIGHT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



ENHANCED LOT
FRONT ELEVATION
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



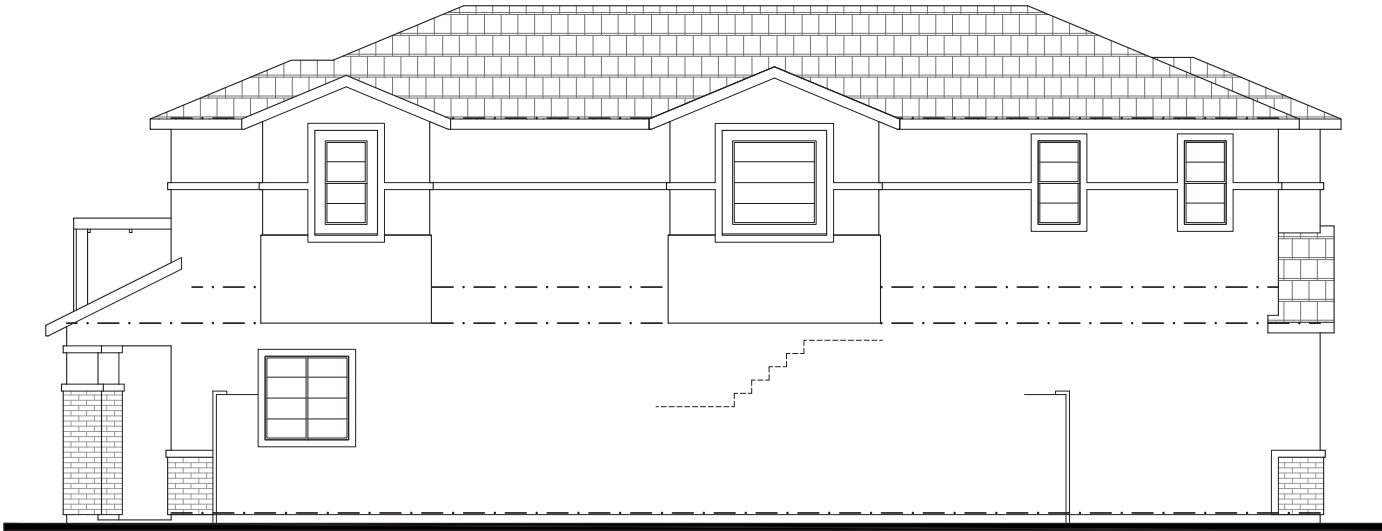
ENHANCED LOT
RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



ENHANCED LOT
FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

Plan 3 | Parkside | Chandler, Arizona

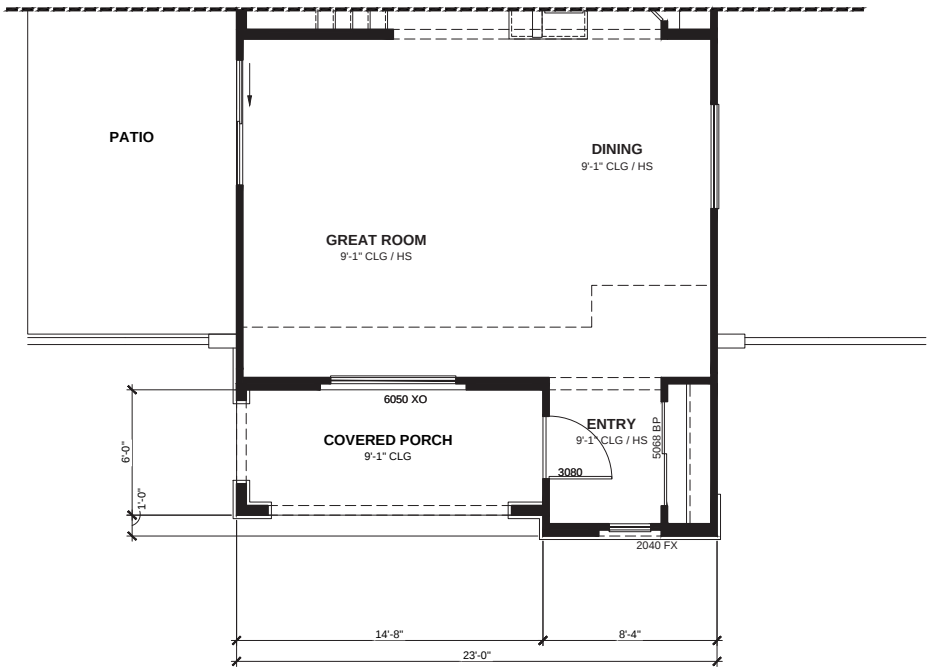
3-15-2021



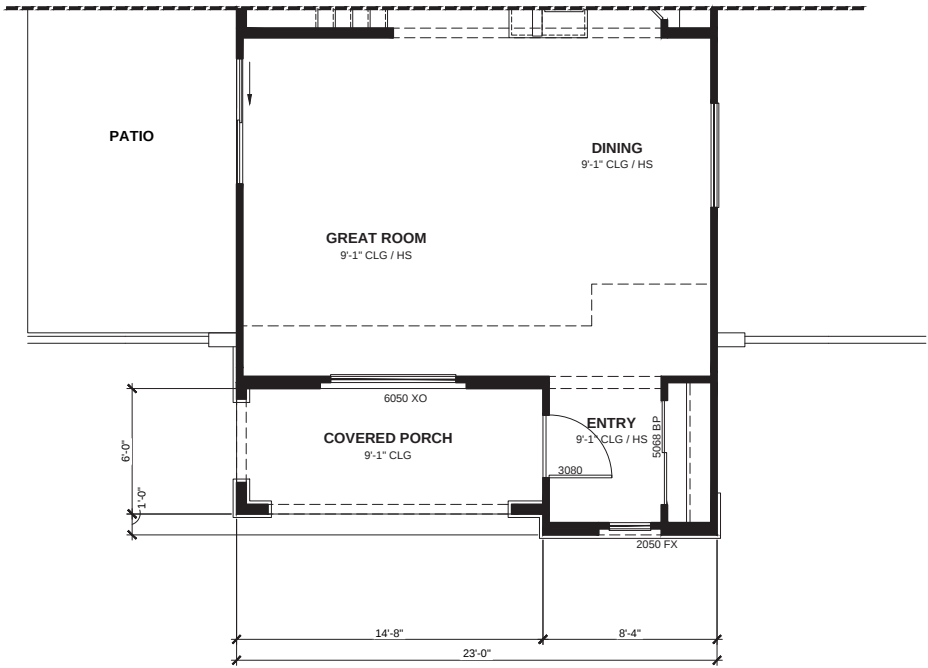
ENHANCED LOT
RIGHT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



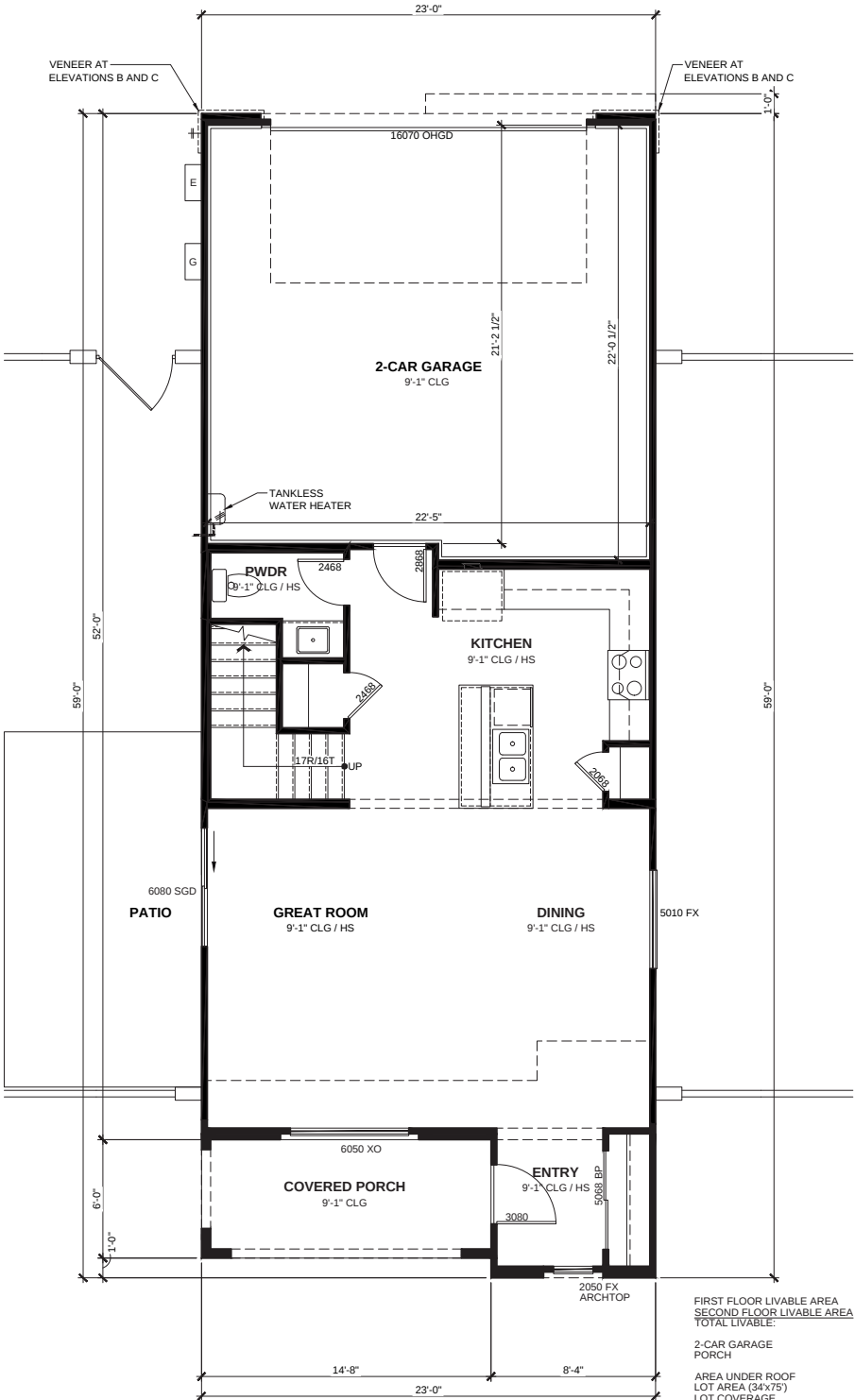
ENHANCED LOT
FRONT ELEVATION
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



FIRST FLOOR PLAN
ELEVATION B - FARMHOUSE 1/4" = 1'-0"

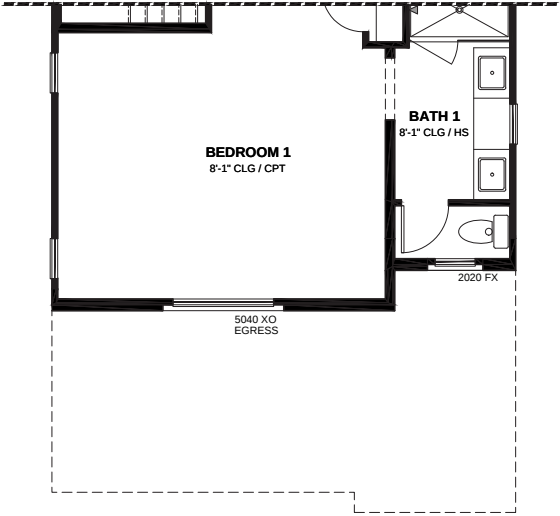


FIRST FLOOR PLAN
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

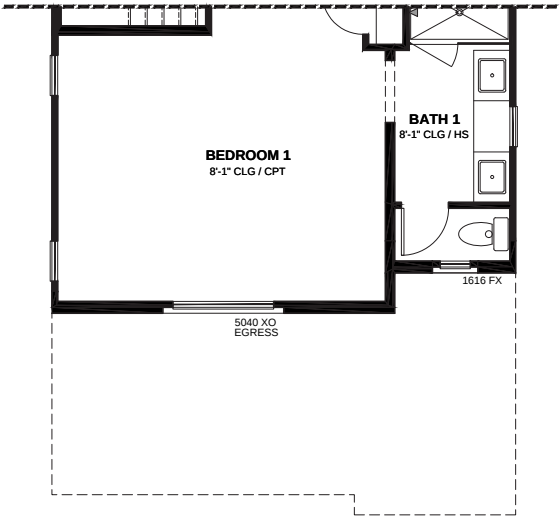


FIRST FLOOR PLAN
ELEVATION A - SPANISH 1/4" = 1'-0"

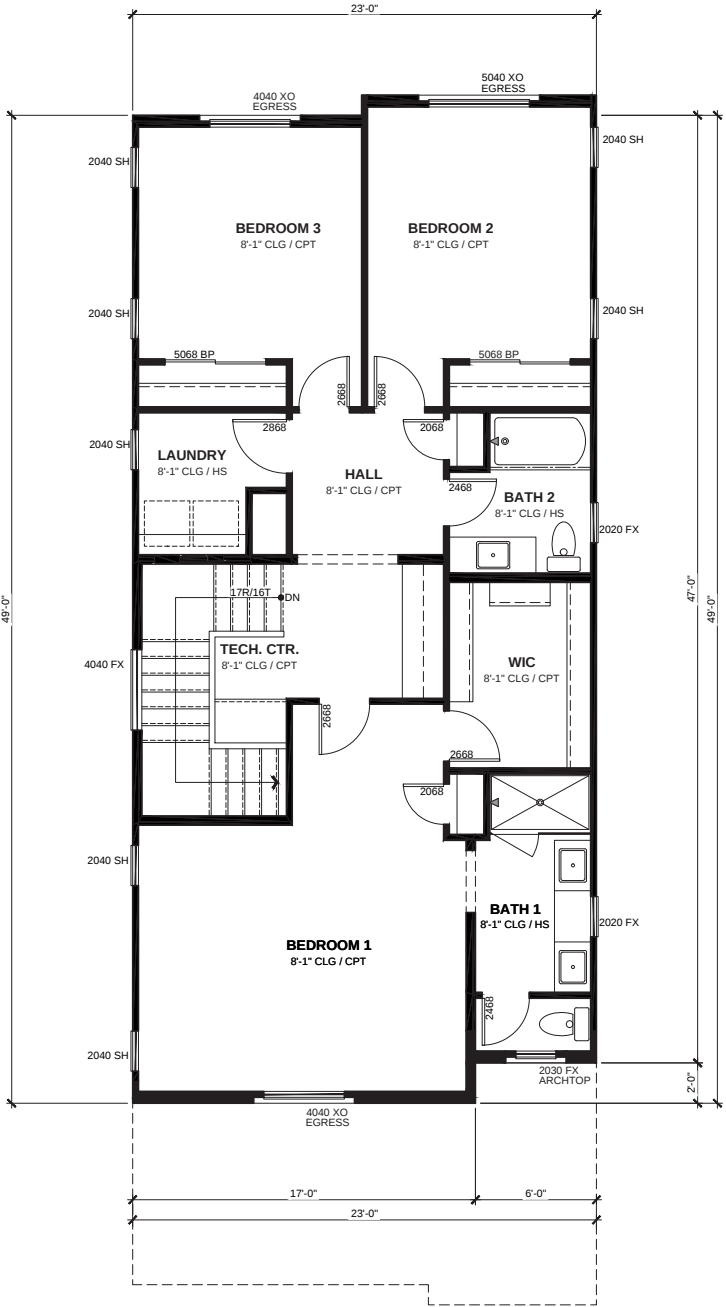
FIRST FLOOR LIVABLE AREA	744 SF
SECOND FLOOR LIVABLE AREA	1055 SF
TOTAL LIVABLE	1799 SF
2-CAR GARAGE PORCH	510 SF
AREA UNDER ROOF LOT AREA (34'x75')	1342 SF
LOT COVERAGE	2550 SF
	52.63 %



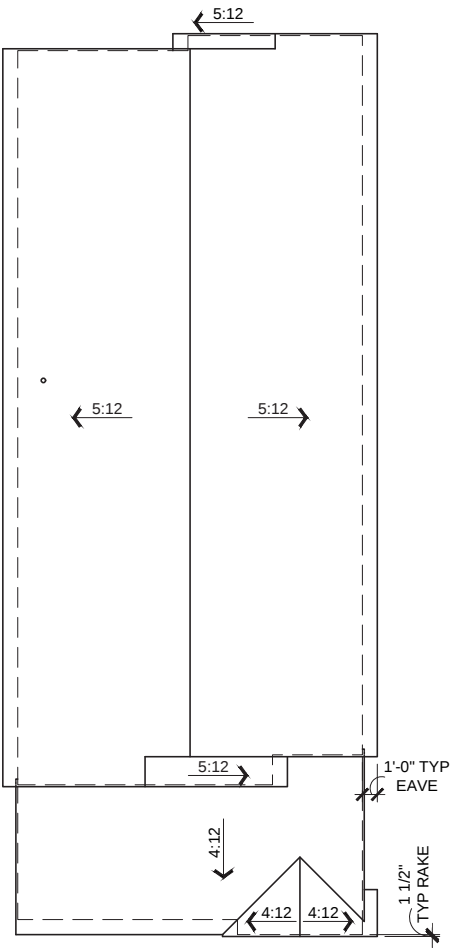
SECOND FLOOR PLAN
ELEVATION B - FARMHOUSE 1/4" = 1'-0"



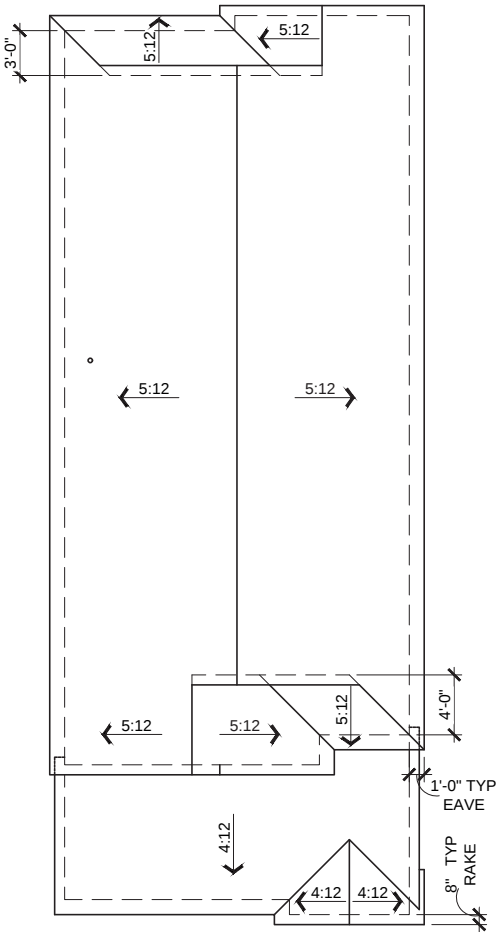
SECOND FLOOR PLAN
ELEVATION C - DESERT MODERN 1/4" = 1'-0"



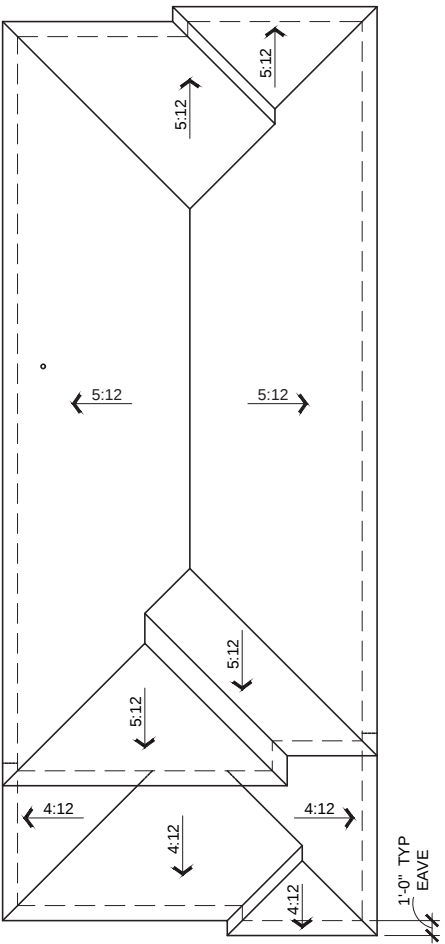
SECOND FLOOR PLAN
ELEVATION A - SPANISH 1/4" = 1'-0"



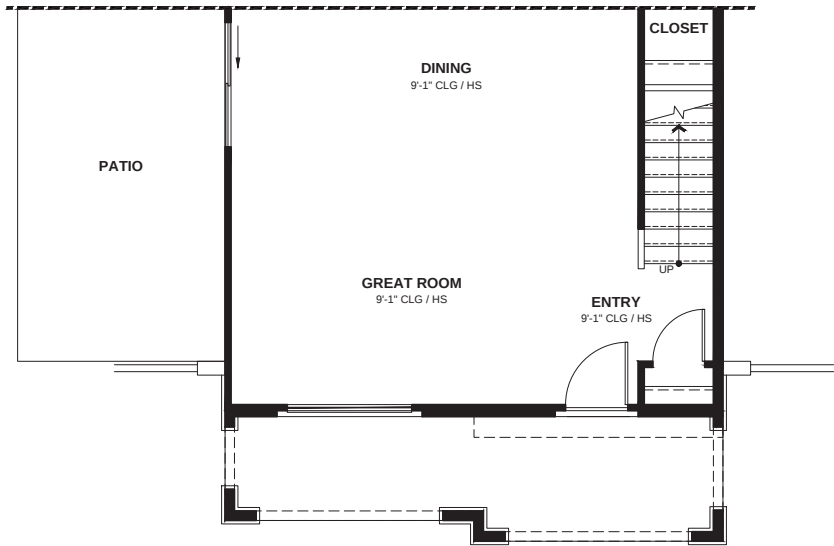
ROOF PLAN
ELEVATION A - SPANISH 3/16" = 1'-0"



ROOF PLAN
ELEVATION B - FARMHOUSE 3/16" = 1'-0"

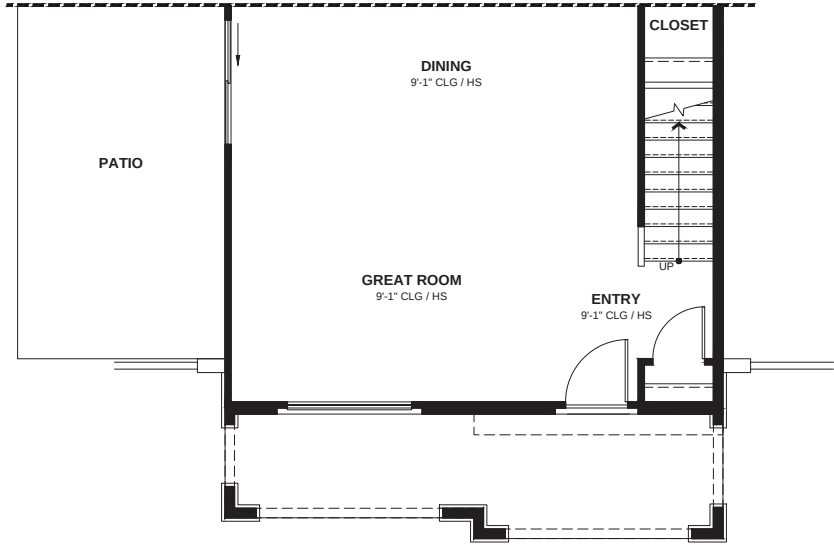


ROOF PLAN
ELEVATION C - DESERT MODERN 3/16" = 1'-0"



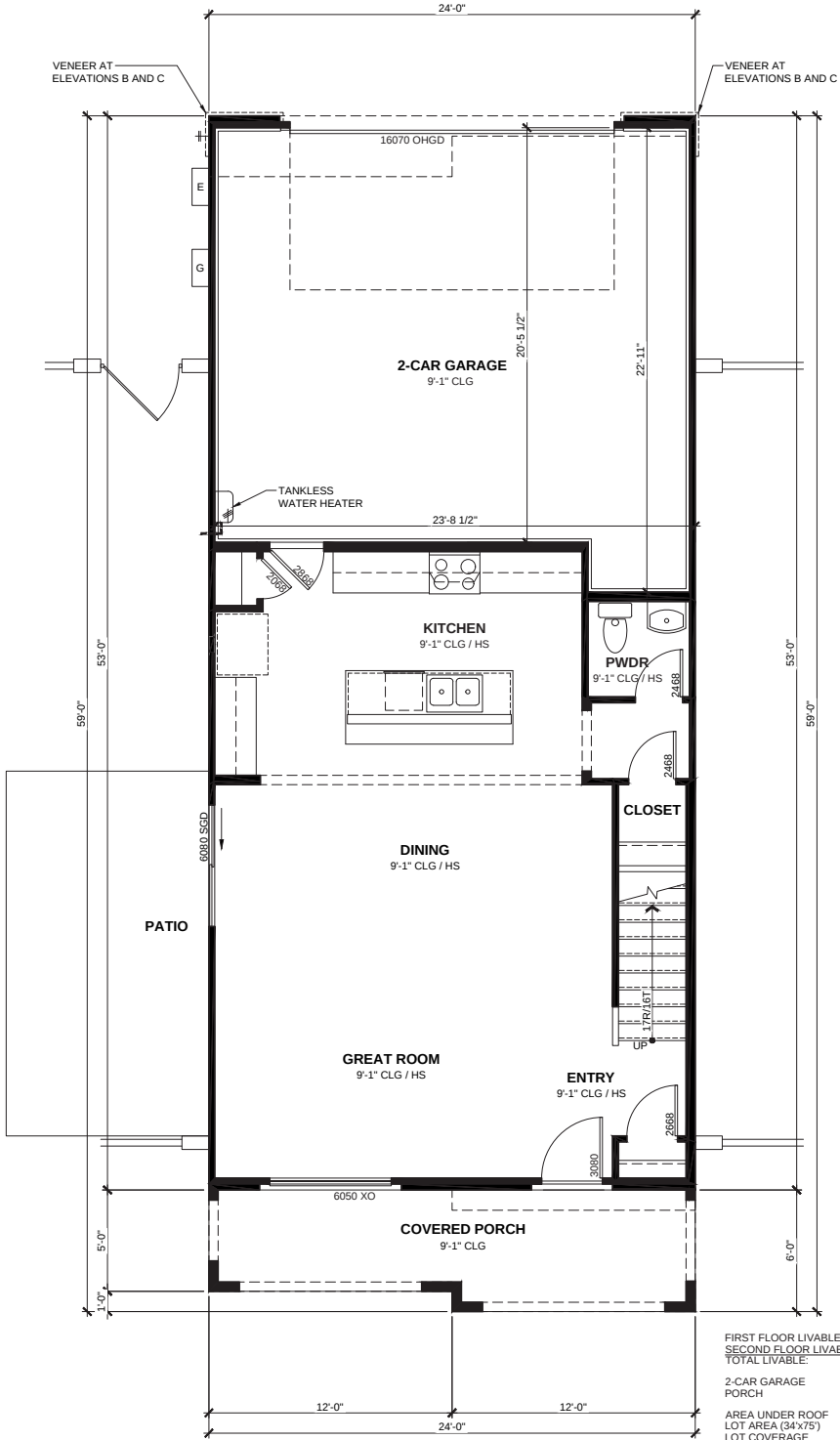
FIRST FLOOR PLAN

ELEVATION B - FARMHOUSE 1/4" = 1'-0"



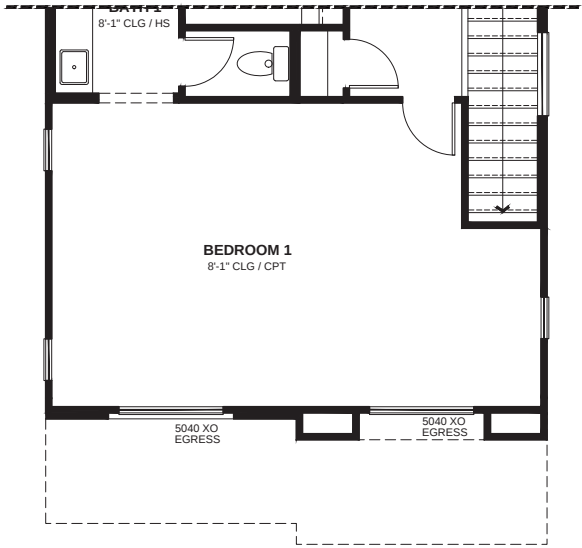
FIRST FLOOR PLAN

ELEVATION C - DESERT MODERN 1/4" = 1'-0"

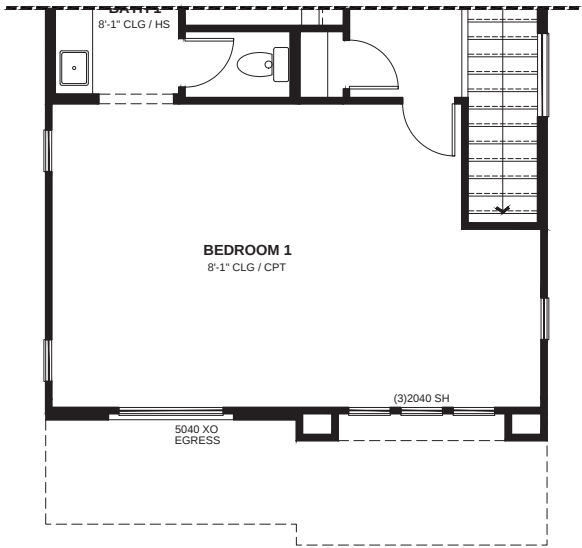


FIRST FLOOR PLAN

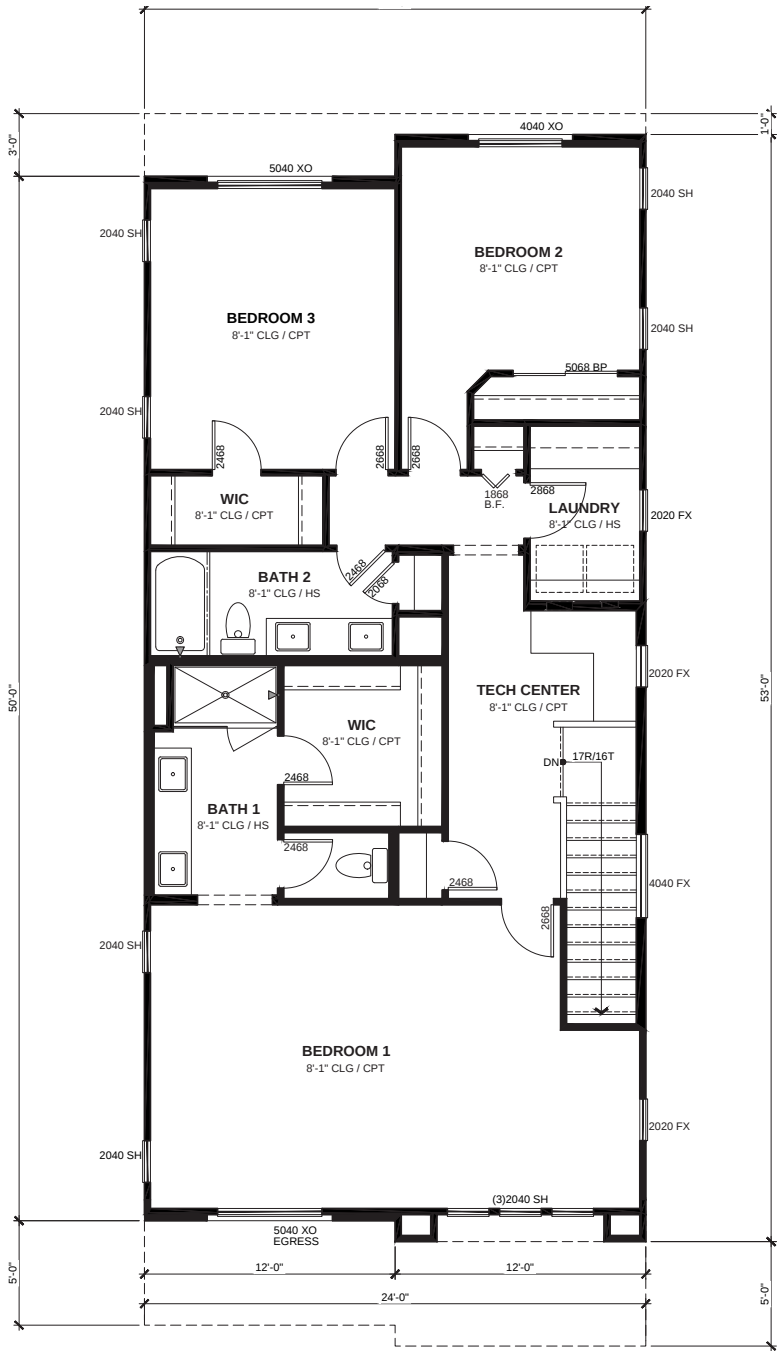
ELEVATION A - SPANISH 1/4" = 1'-0"



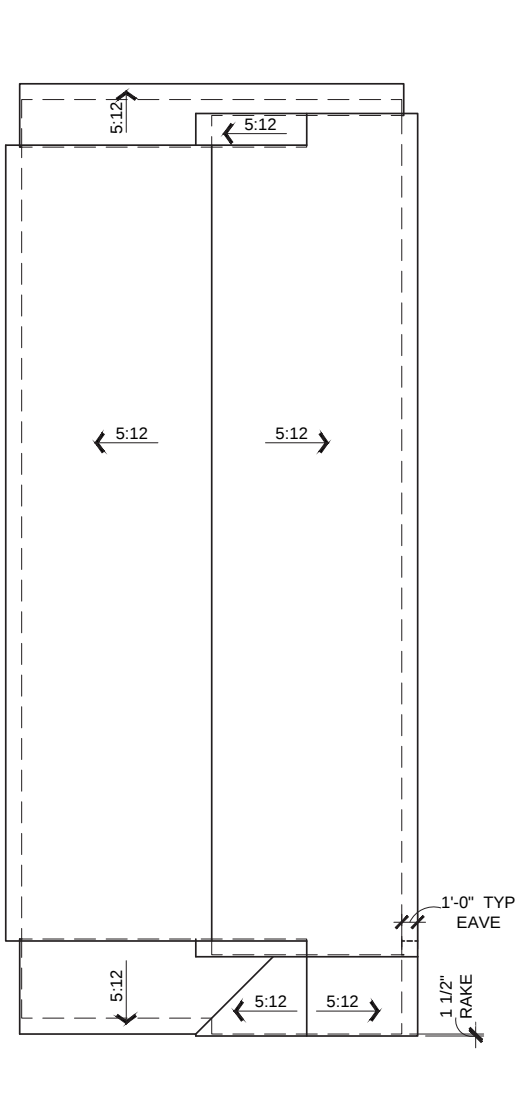
SECOND FLOOR PLAN
ELEVATION B - FARMHOUSE
1/4" = 1'-0"



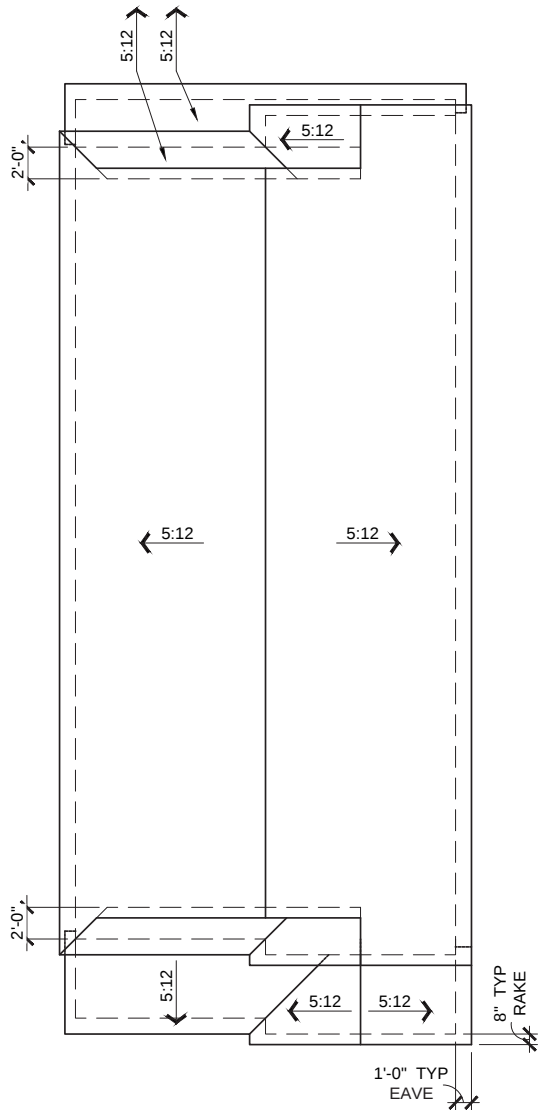
SECOND FLOOR PLAN
ELEVATION C - DESERT MODERN
1/4" = 1'-0"



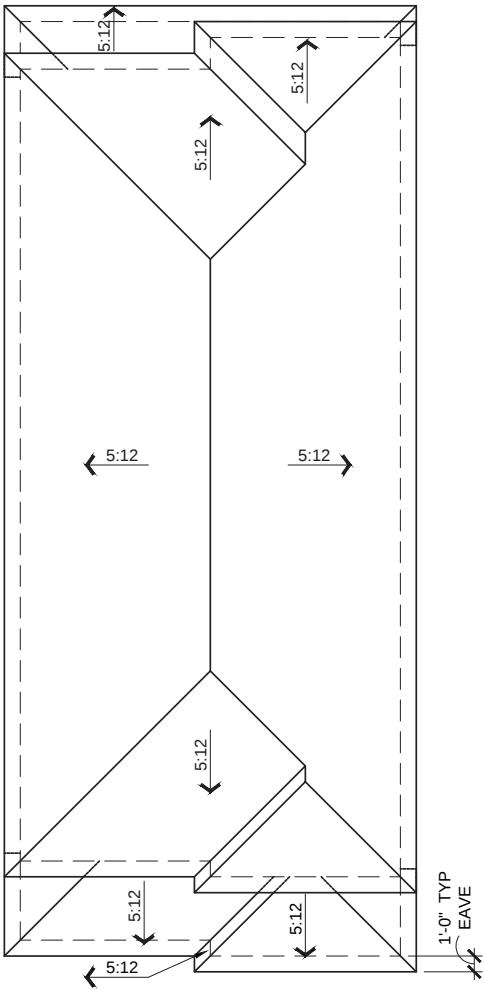
SECOND FLOOR PLAN
ELEVATION A - SPANISH
1/4" = 1'-0"



ROOF PLAN
ELEVATION A - SPANISH 3/16" = 1'-0"

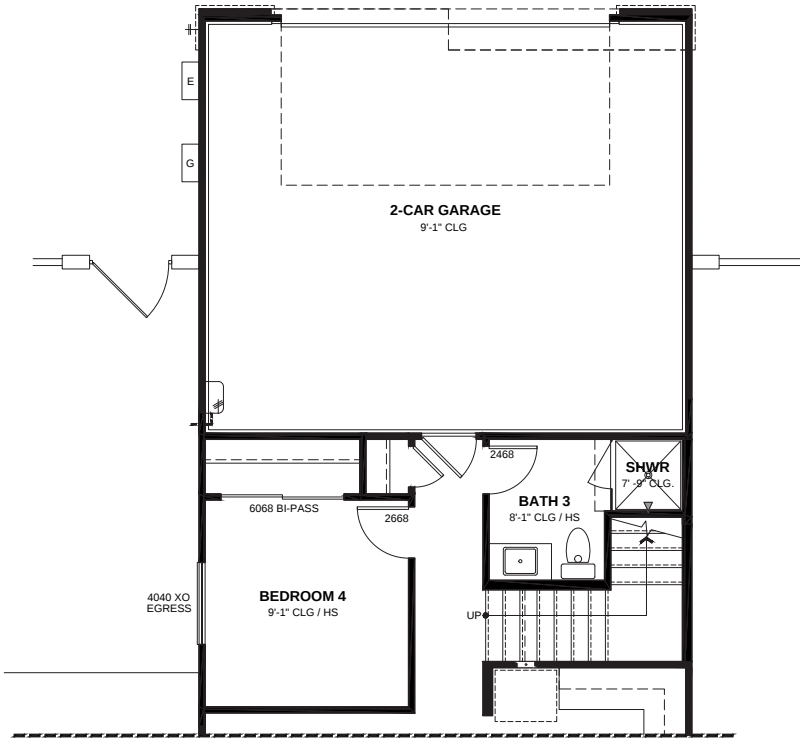


ROOF PLAN
ELEVATION B - FARMHOUSE 3/16" = 1'-0"

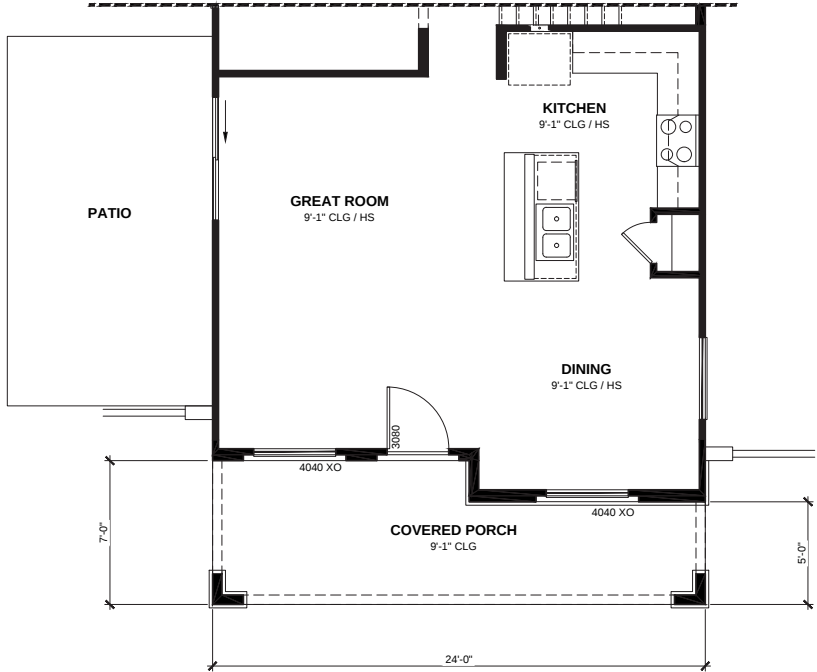


ROOF PLAN
ELEVATION C - DESERT MODERN 3/16" = 1'-0"

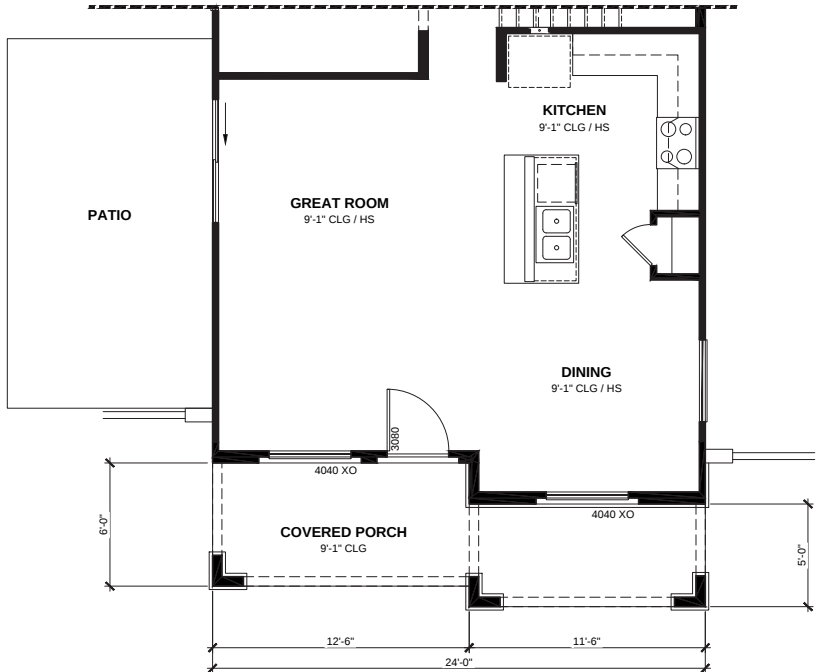
ELEVATIONS & FLOOR PLANS



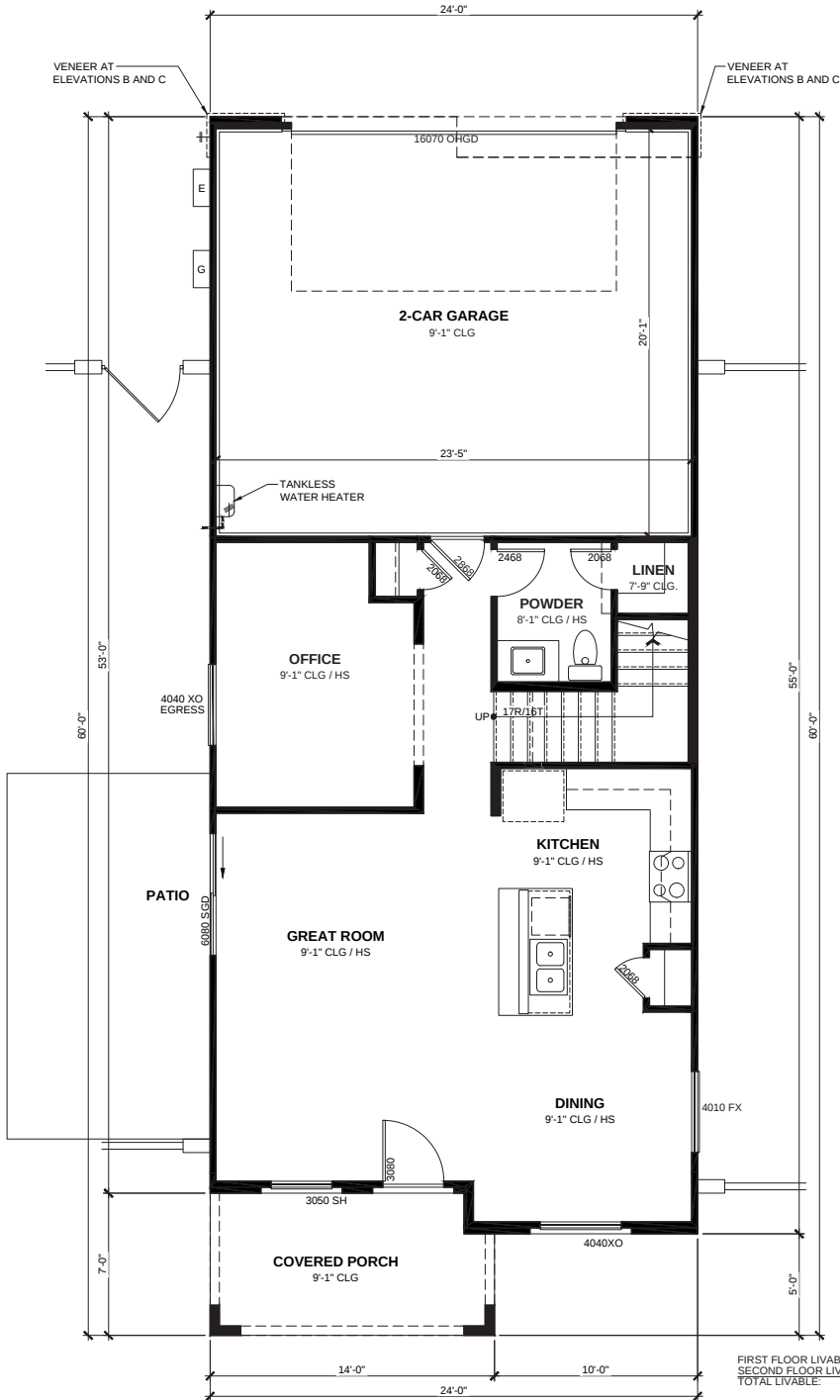
OPTIONAL BEDROOM 4 \ BATH 3
ALL ELEVATIONS 1/4" = 1'-0"



FIRST FLOOR PLAN
ELEVATION B - FARMHOUSE 1/4" = 1'-0"

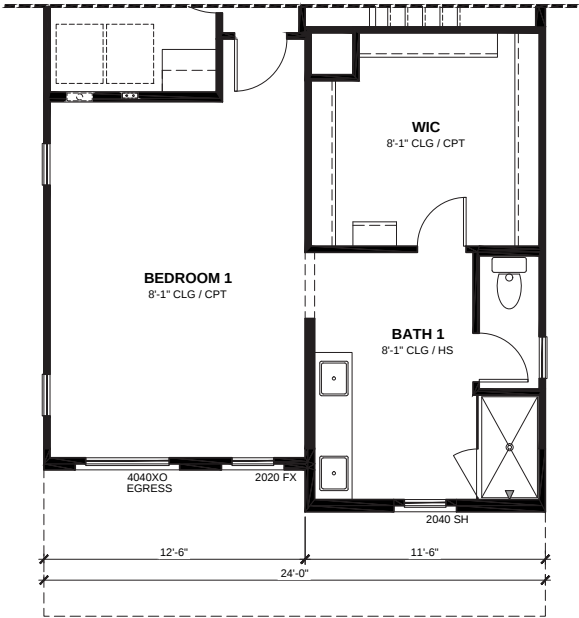


FIRST FLOOR PLAN
ELEVATION C - DESERT MODERN 1/4" = 1'-0"

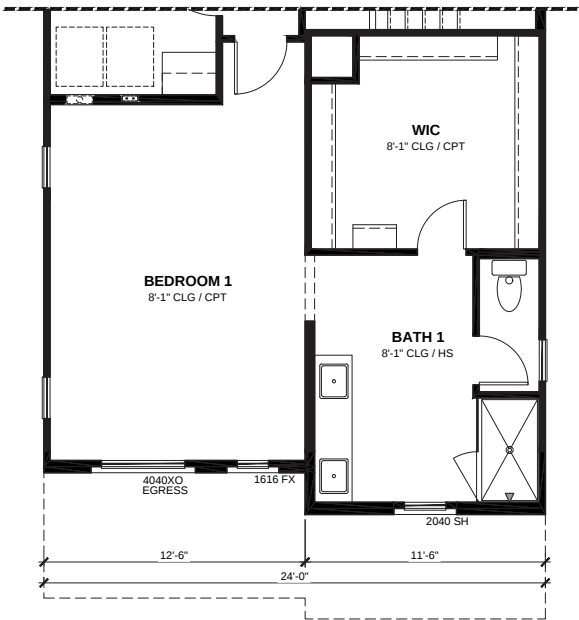


FIRST FLOOR PLAN
ELEVATION A - SPANISH 1/4" = 1'-0"

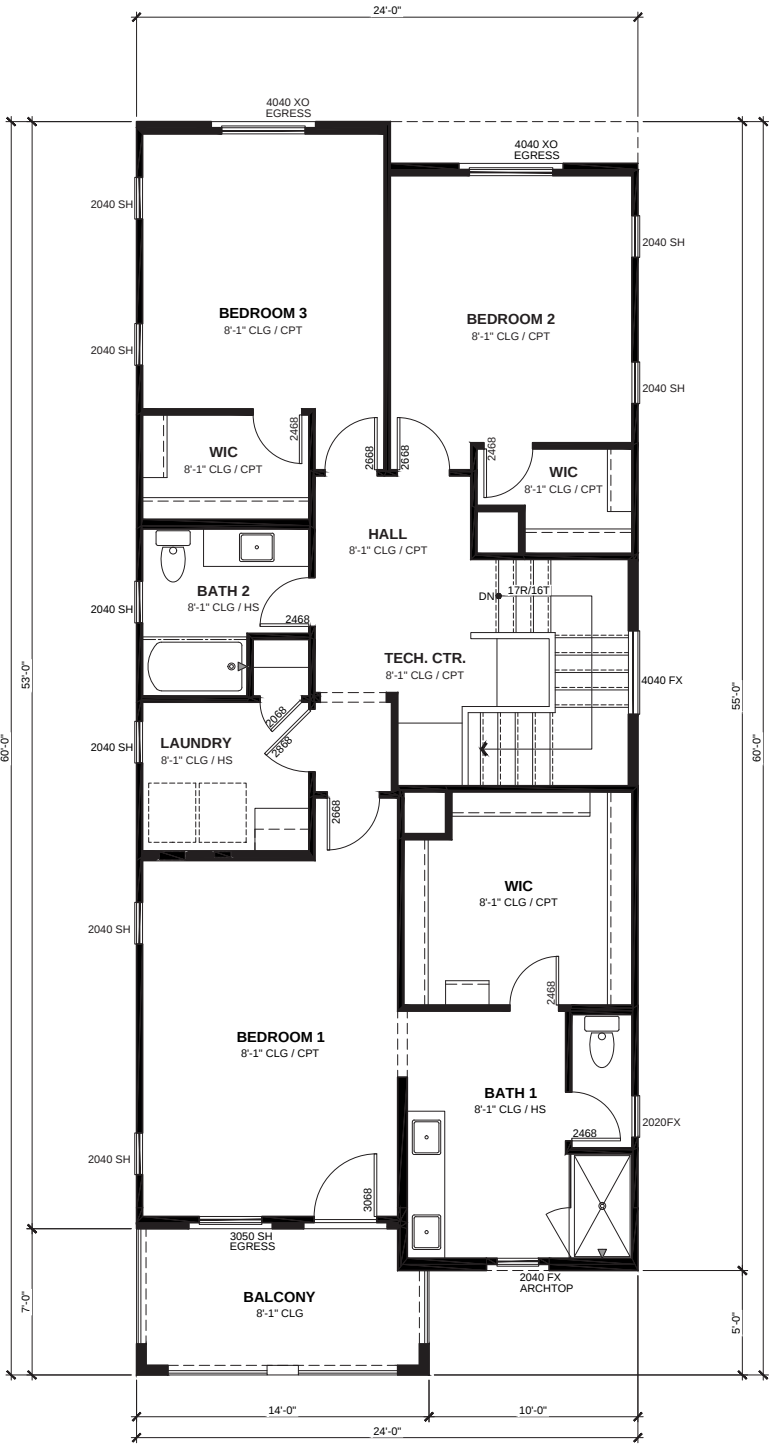
FIRST FLOOR LIVABLE AREA	799 SF
SECOND FLOOR LIVABLE AREA	1204 SF
TOTAL LIVABLE	2003 SF
2-CAR GARAGE	496 SF
PORCH	95 SF
BALCONY	95 SF
AREA UNDER ROOF	1390 SF
LOT AREA (34x75')	2550 SF
LOT COVERAGE	54.51 %



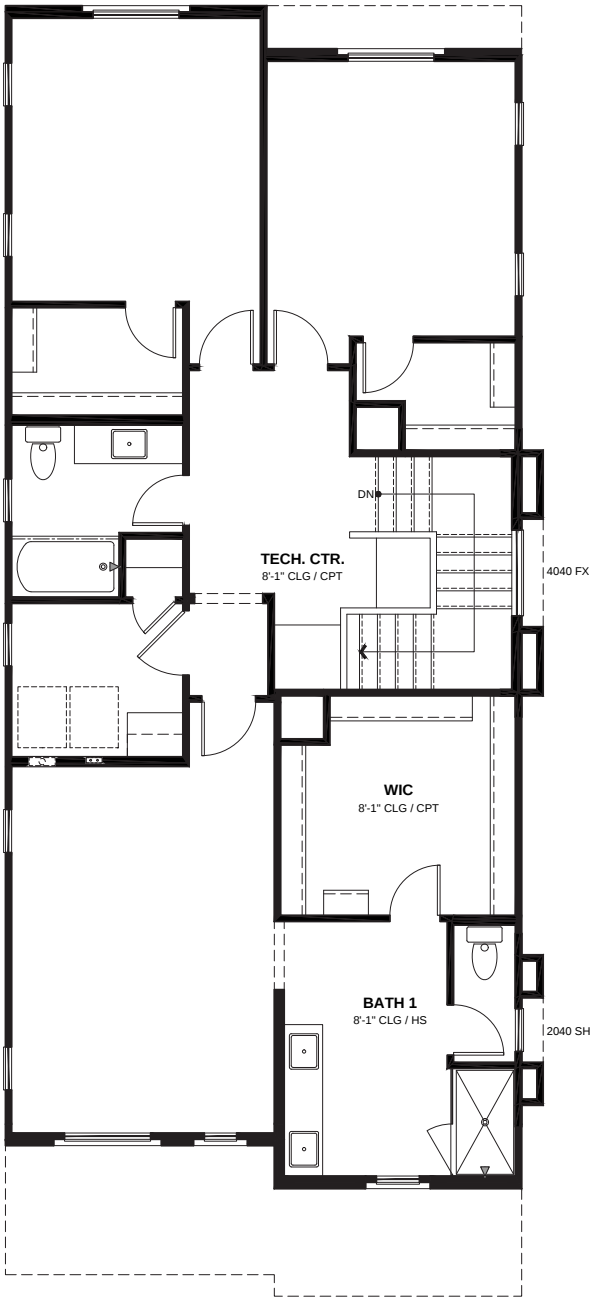
SECOND FLOOR PLAN
ELEVATION B - FARMHOUSE
1/4" = 1'-0"



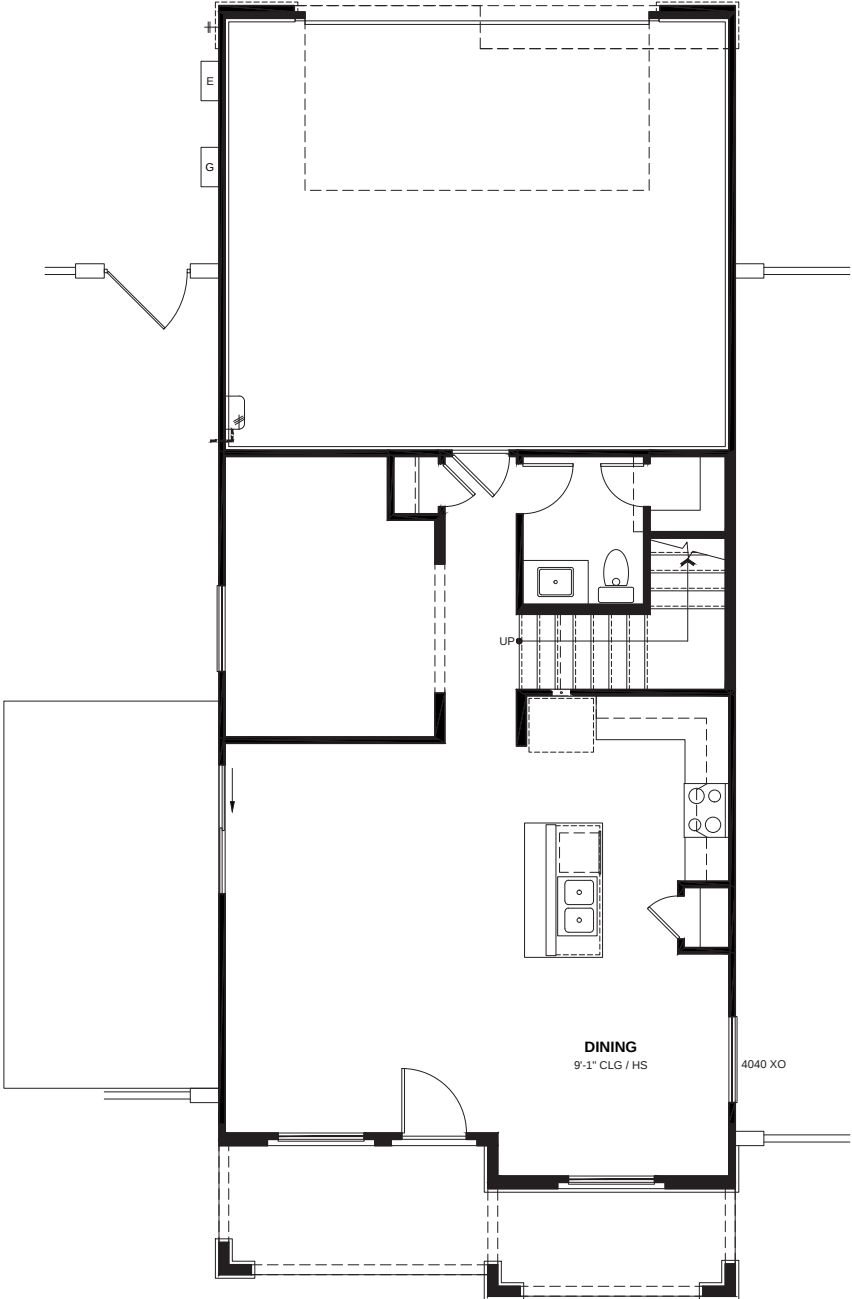
SECOND FLOOR PLAN
ELEVATION C - DESERT MODERN
1/4" = 1'-0"



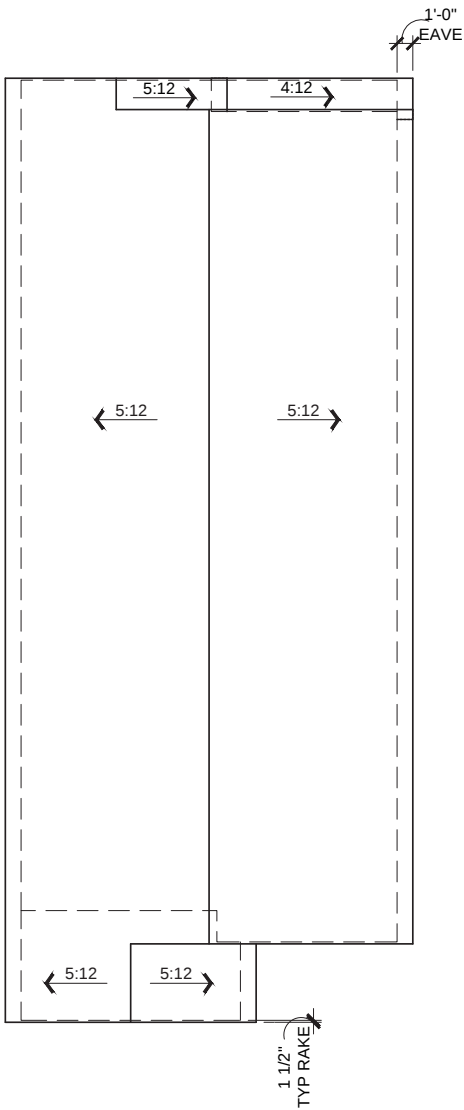
SECOND FLOOR PLAN
ELEVATION A - SPANISH
1/4" = 1'-0"



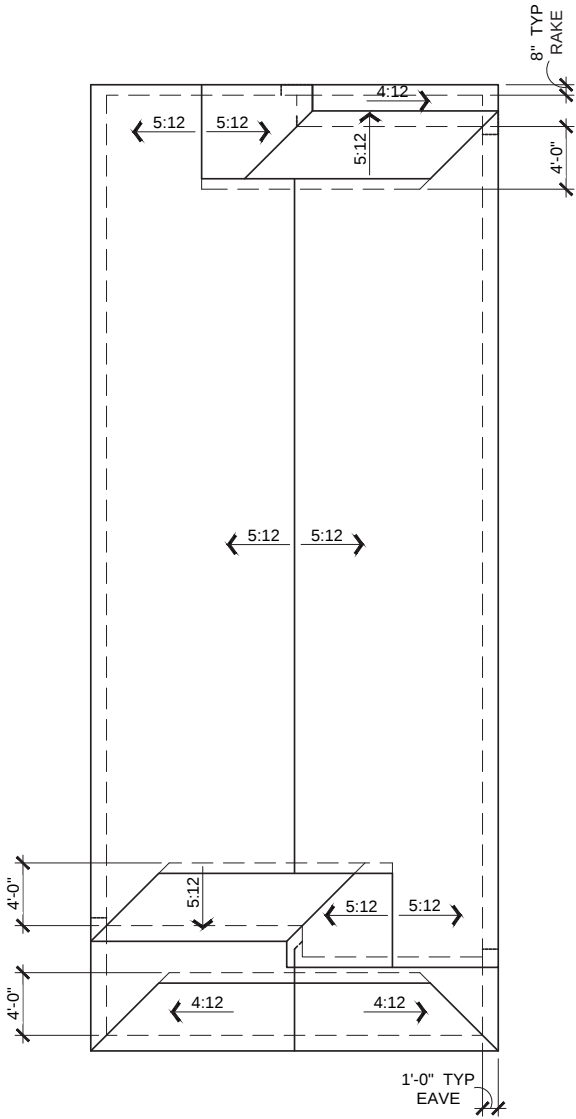
SECOND FLOOR PLAN
ENHANCED LOT
ALL ELEVATIONS 1/4" = 1'-0"



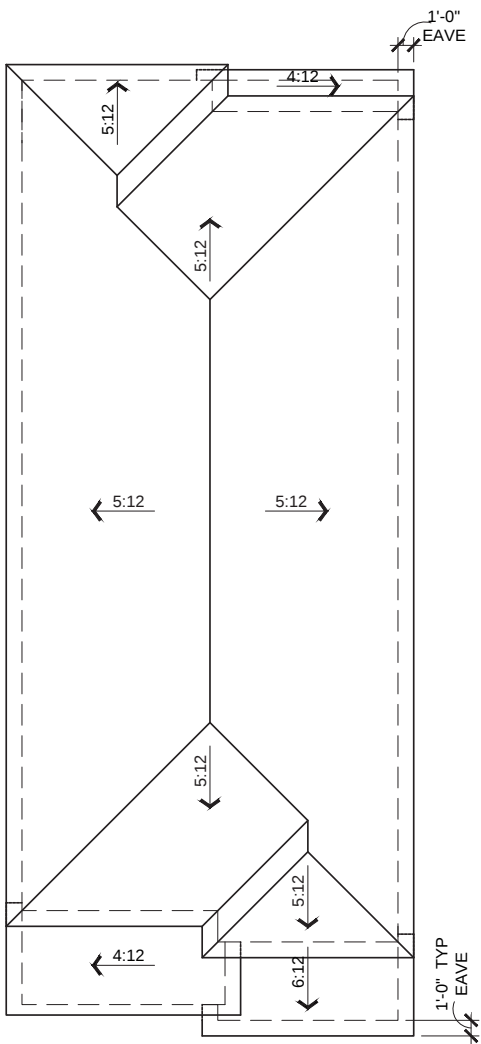
FIRST FLOOR PLAN
ENHANCED LOT
ALL ELEVATIONS 1/4" = 1'-0"



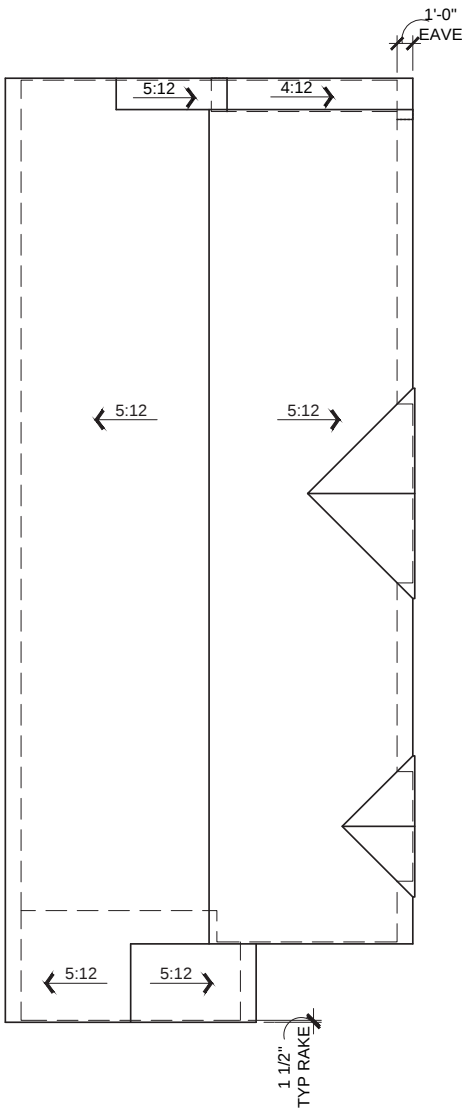
ROOF PLAN
ELEVATION A - SPANISH 3/16" = 1'-0"



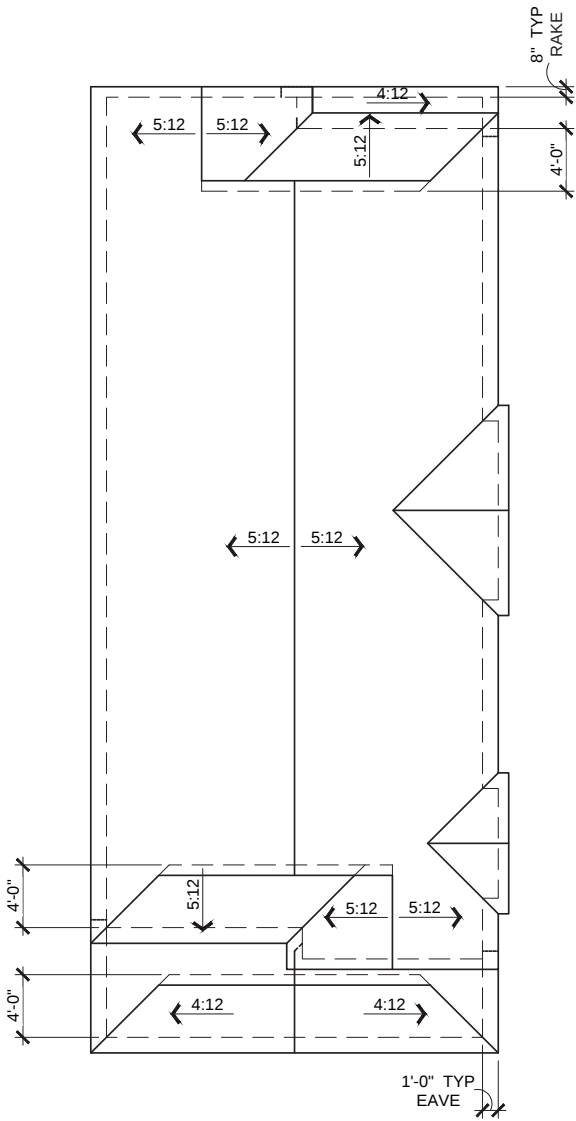
ROOF PLAN
ELEVATION B - FARMHOUSE 3/16" = 1'-0"



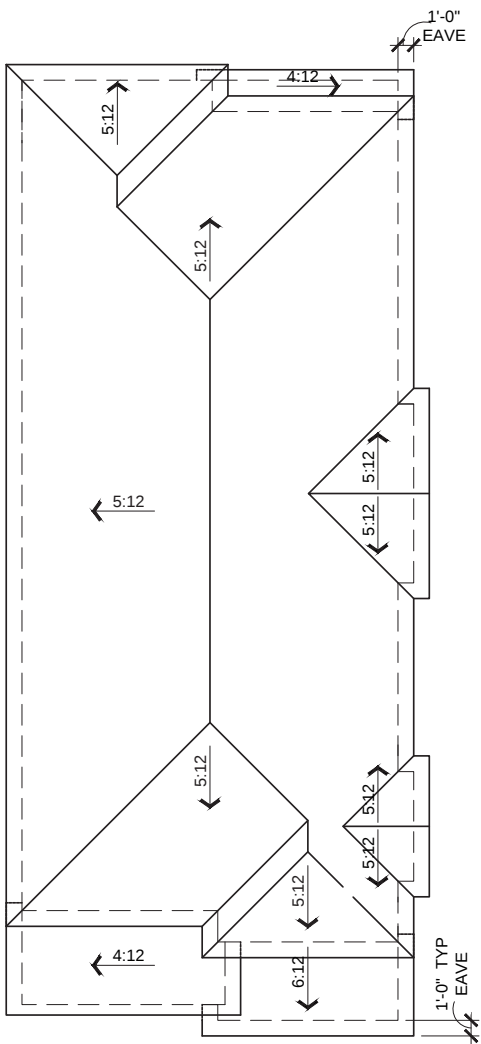
ROOF PLAN
ELEVATION C - DESERT MODERN 3/16" = 1'-0"



ENHANCED LOT
ROOF PLAN
ELEVATION A - SPANISH 3/16" = 1'-0"



ENHANCED LOT
ROOF PLAN
ELEVATION B - FARMHOUSE 3/16" = 1'-0"



ENHANCED LOT
ROOF PLAN
ELEVATION C - DESERT MODERN 3/16" = 1'-0"

Color Scheme 1 - Spanish



Main Body - Creamy
(SW 7012)
Mfg: Sherwin Williams



Trim- Modern Gray
(SW 7632)
Mfg: Sherwin Williams



Front Door & Shutters - Umber Rust
(SW 9100)
Mfg: Sherwin Williams



Garage Door - Griffin
(SW 7026)
Mfg: Sherwin Williams



Fascia - Well-Bred Brown
(SW 7027)
Mfg: Sherwin Williams



Roof
Mission “S” - Salerno Clay
Mfg: Boral Roofing

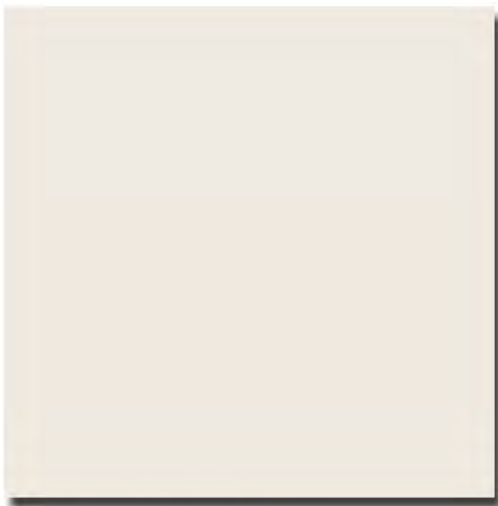
Parkside

03-03-2021

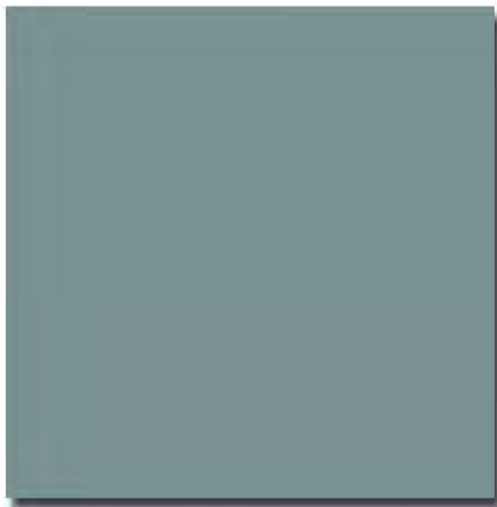
Color Scheme 2 - Spanish



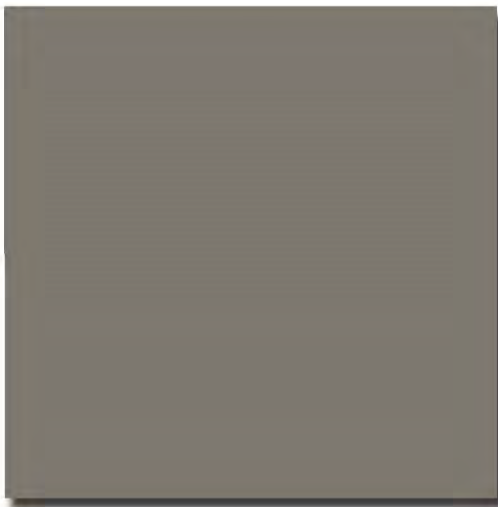
Main Body - Modern Gray
(SW 7632)
Mfg: Sherwin Williams



Trim- Marshmallow
(SW 7001)
Mfg: Sherwin Williams



Front Door & Shutters - Moody Blue
(SW 6221)
Mfg: Sherwin Williams



Garage Door - Settlement
(SW 9594)
Mfg: Sherwin Williams



Fascia - Iron Ore
(SW 7069)
Mfg: Sherwin Williams



Roof
Mission "S"- Charcoal Brown Blend
Mfg: Boral Roofing

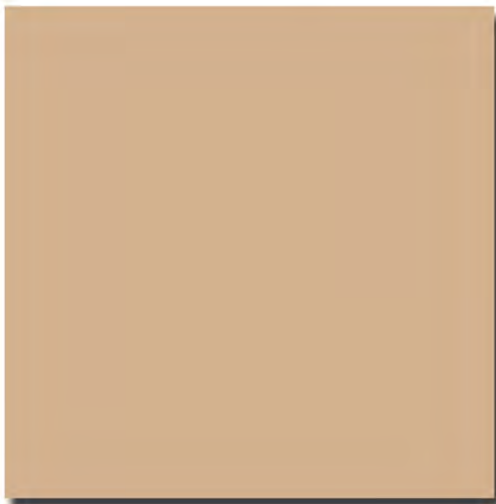
Color Scheme 3 - Farmhouse



Main Body - Craftsman Brown
(SW 2835)
Mfg: Sherwin Williams



Accent Body & Garage Door
Rookwood Brown (SW 2806)
Mfg: Sherwin Williams



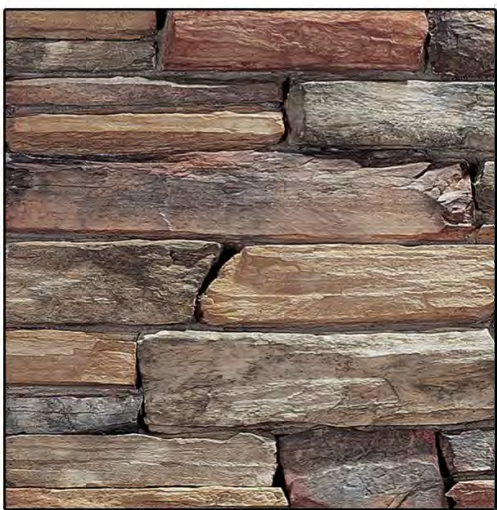
Trim - Ligonier Tan
(SW 7717)
Mfg: Sherwin Williams



Fascia - Roycroft Bronze Green
(SW 2846)
Mfg: Sherwin Williams



Front Door - Roycroft Copper Red
(SW 2839)
Mfg: Sherwin Williams



Stone
Sawtooth - Rustic Ledge
Mfg: Eldorado Stone



Roof
Saxony 900 Shake - Weathered Cedar
Mfg: Boral Roofing

Parkside

03-03-2021

Color Scheme 4 - Farmhouse



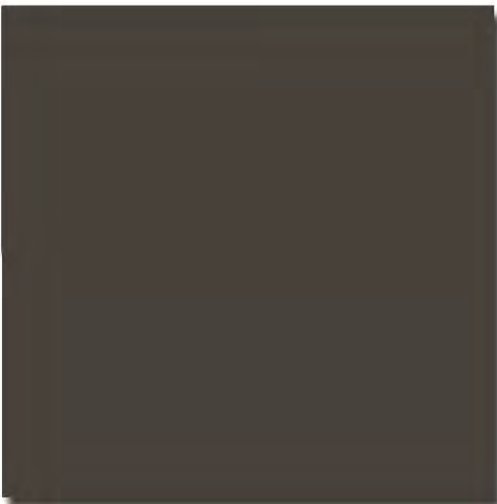
Main Body - Hammered Silver
(SW 2840)
Mfg: Sherwin Williams



Accent Body - Carriage Door
(SW 7594)
Mfg: Sherwin Williams



Trim - Cool Beige
(SW 9086)
Mfg: Sherwin Williams



Fascia - Sealskin
(SW 7675)
Mfg: Sherwin Williams



Front Door & Garage Door
Roycroft Bronze Green (SW 2846)
Mfg: Sherwin Williams



Stone
York - Limestone
Mfg: Eldorado Stone



Roof
Saxony 900 Shake - Charcoal Blend
Mfg: Boral Roofing

Parkside

03-03-2021



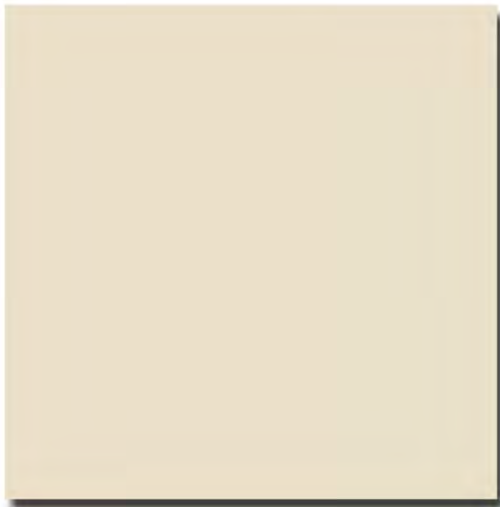
Color Scheme 5 - Desert Modern



Main Body - Roycroft Brass
(SW 2843)
Mfg: Sherwin Williams



Accent Body & Garage Door
Roycroft Suede (SW 2842)
Mfg: Sherwin Williams



Trim - Muslin
(SW 6133)
Mfg: Sherwin Williams



Fascia - Roycroft Bronze Green
(SW 2846)
Mfg: Sherwin Williams



Front Door - Polished Mahogany
(SW 2838)
Mfg: Sherwin Williams



Stone
TundraBrick - Latigo
Mfg: Eldorado Stone

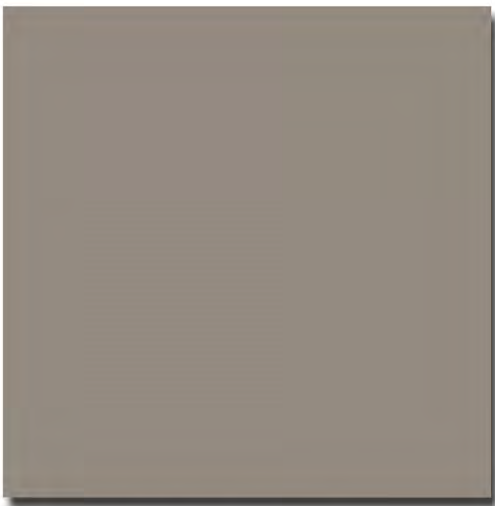


Roof
Saxony 900 Slate - Sierra Cove Brown
Mfg: Boral Roofing

Parkside

03-03-2021

Color Scheme 6 - Desert Modern



Main Body - Dovetail
(SW 7018)
Mfg: Sherwin Williams



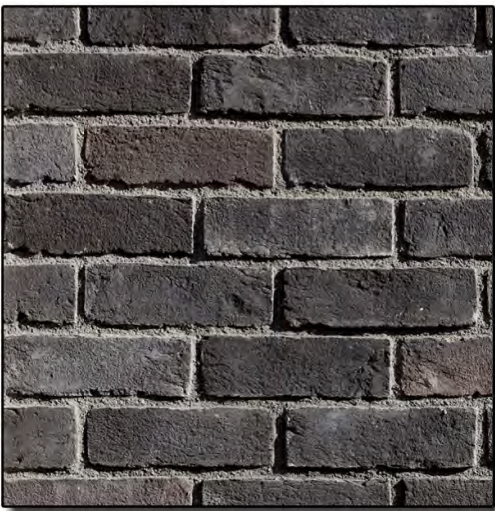
Accent Body & Garage Door
Alpaca (SW 7022)
Mfg: Sherwin Williams



Trim & Fascia - Heron Plume
(SW 6070)
Mfg: Sherwin Williams



Front Door - Charcoal Blue
(SW 2739)
Mfg: Sherwin Williams



Stone
TundraBrick - Ironside
Mfg: Eldorado Stone



Roof
Saxony 900 Slate-Stone Mountain Dark
Mfg: Boral Roofing

Parkside

03-03-2021



COOPER RD LOOKING NORTH

EXHIBIT L: STREET SCENE



INTERIOR LOOKING NORTH

STREET SCENE

20-0381

Aug 02, 2021 12:45pm S:\Projects\2020\20-0381\Planning\Drawings\Preliminary Plats\20-0381 - PP01.dwg ematsoosy

LEGAL DESCRIPTION

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN LYING EAST OF THE EASTERLY RIGHT OF WAY LINE OF THE CONSOLIDATED CANAL;

EXCEPT THE SOUTH 31.00 FEET OF THE WEST 248.00 FEET OF THE EAST 461.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER;

EXCEPT THAT PART DESCRIED IN DEED RECORDED MARCH 21, 1990 AT DOCUMENT NO. 90-124372, AND EXCEPT THAT PART THEREOF LYING NORTH OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 35;

THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS WEST, 517.53 FEET ALONG THE EAST LINE OF SAID SECTION 35 TO THE POINT OF BEGINNING OF THIS LINE DESCRIPTION;

THENCE DEPARTING SAID EAST LINE SOUTH 89 DEGREES 24 MINUTES 22 SECONDS WEST, 307.00 FEET TO THE NORTHEAST CORNER OF THAT PARCEL DESCRIBED IN DOCUMENT NO. 90-124372, MARICOPA COUNTY RECORDER;

THENCE CONTINUING SOUTH 89 DEGREES 24 MINUTES 22 SECONDS WEST, 345.01 FEET ALONG THE NORTHERLY LINE OF SAID PARCEL DESCRIBED IN DOCUMENT NO. 90-124372 TO THE NORTHWEST CORNER OF SAID PARCEL AND TO THE EASTERLY RIGHT OF WAY OF THE CONSOLIDATED CANAL; AND THE END OF THIS LINE DESCRIPTION;

EXCEPT THE PORTION CONVEYED TO CITY OF CHANDLER, AN ARIZONA MUNICIPAL CORPORATION RECORDED MARCH, 12, 1007 AS 1007-293744 OF OFFICIAL RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AREA 1:

THAT PORTION OF A PARCEL OF LAND AS DESCRIBED IN DEED #03-1369175, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 32.00 FEET OF THE EAST 65.00 FEET OF THE FOLLOWING PARCEL:

THAT PART OF HE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN LYING EAST OF THE EASTERLY RIGHT OF WAY LINE OF THE CONSOLIDATED CANAL;

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35;

THENCE NORTH, 1329.55 FEET ALONG THE EAST LINE OF SAID SECTION 35;

THENCE WEST 468.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING WEST 296.33 FEET TO THE EAST RIGHT OF WAY OF THE CONSOLIDATED CANAL;

THENCE NORTH 22 DEGREES 54 MINUTES EAST, 63.19 FEET;

THENCE NORTH 17 DEGREES 33 MINUTES EAST, 135.23 FEET;

THENCE NORTH 8 DEGREES 28 MINUTES EAST, 163.25 FEET;

THENCE NORTH 2 DEGREES 45 MINUTES EAST, 465.28 FEET;

THENCE EAST, 345.11 FEET;

THENCE SOUTH 762.00 FEET;

THENCE WEST 161.58 FEET;

THENCE SOUTH 50.00 FEET TO THE POINT OF BEGINNING;

AND EXCEPT THAT AREA DESCRIBED PER DOCKET NO. 97-237662 AND PER DOCKET NO. 97-237663.

AREA 2:

THAT PORTION OF A PARCEL OF LAND AS DESCRIBED IN DEED # 03-1369175, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35, BEING MONUMENTED WITH A BRASS CAP IN HAND HOLE FROM WHICH THE EAST QUARTER CORNER OF SECTION 35 BEARS NORTH 00 DEGREES 03 MINUTES 46 SECONDS EAST A DISTANCE OF 2659.20 FEET, SAID LINE BEING THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35 AND THE BASIS OF BEARING FOR THIS DESCRIPTION;

THENCE NORTH 00 DEGREES 03 MINUTES 46 SECONDS EAST, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1329.60 FEET, TO THE PROLONGATION OF THE SOUTH DEED LINE OF THE PARCEL OF LAND AS DESCRIBED IN DEED #03-1369175;

THENCE SOUTH 89 DEGREES 23 MINUTES 56 SECONDS WEST, ALONG SAID SOUTH DEED LINE, A DISTANCE OF 33.00 FEET, TO A POINT ON THE EAST DEED LINE OF THE PARCEL OF LAND AS DESCRIBED IN DEED #03-1369175;

THENCE, CONTINUING ALONG SAID SOUTH DEED LINE, SOUTH 89 DEGREES 23 MINUTES 56 SECONDS WEST, A DISTANCE OF 32.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE, CONTINUING ALONG SAID SOUTH DEED LINE, SOUTH 89 DEGREES 23 MINUTES 56 SECONDS WEST, A DISTANCE OF 15.00 FEET;

THENCE NORTH 00 DEGREES 03 MINUTES 46 SECONDS EAST, PARALLEL TO AND 80.00 FEET WEST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 50.00 FEET;

THENCE NORTH 44 DEGREES 43 MINUTES 51 SECONDS EAST, A DISTANCE OF 21.34 FEET;

THENCE SOUTH 00 DEGREES 03 MINUTES 46 SECONDS WEST, PARALLEL TO AND 65.00 FEET WEST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING.

AND ALSO EXCEPT THE PORTION CONVEYED TO CITY OF CHANDLER, AN ARIZONA MUNICIPAL CORPORATION RECORDED MARCH 12, 2007 AS 2007-293745 OF OFFICIAL RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE EAST 33.00 FEET OF THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN LYING EAST OF THE EASTERLY RIGHT OF WAY LINE OF THE CONSOLIDATED CANAL;

EXCEPT THE SOUTH 31.00 FEET OF THE WEST 248.00 FEET OF THE EAST 461.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER;

EXCEPT THAT PART DESCRIBED IN DEED RECORDED MARCH 21, 1990 AT DOCUMENT NO. 90-124372;

AND EXCEPT THAT PART THEREOF LYING NORTH OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 35;

THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS WEST, 517.53 FEET ALONG THE EAST LINE OF SAID SECTION 35 TO THE POINT OF BEGINNING OF THIS LINE DESCRIPTION;

THENCE DEPARTING SAID EAST LINE SOUTH 89 DEGREES 24 MINUTES 22 SECONDS WEST, 345.01 FEET ALONG THE NORTHERLY LINE OF SAID PARCEL DESCRIBED IN DOCUMENT NO. 90-124372 TO THE NORTHWEST CORNER OF SAID PARCEL AND TO THE EASTERLY RIGHT OF WAY OF THE CONSOLIDATED CANAL; AND THE END OF THIS LINE DESCRIPTION;

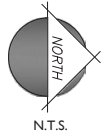
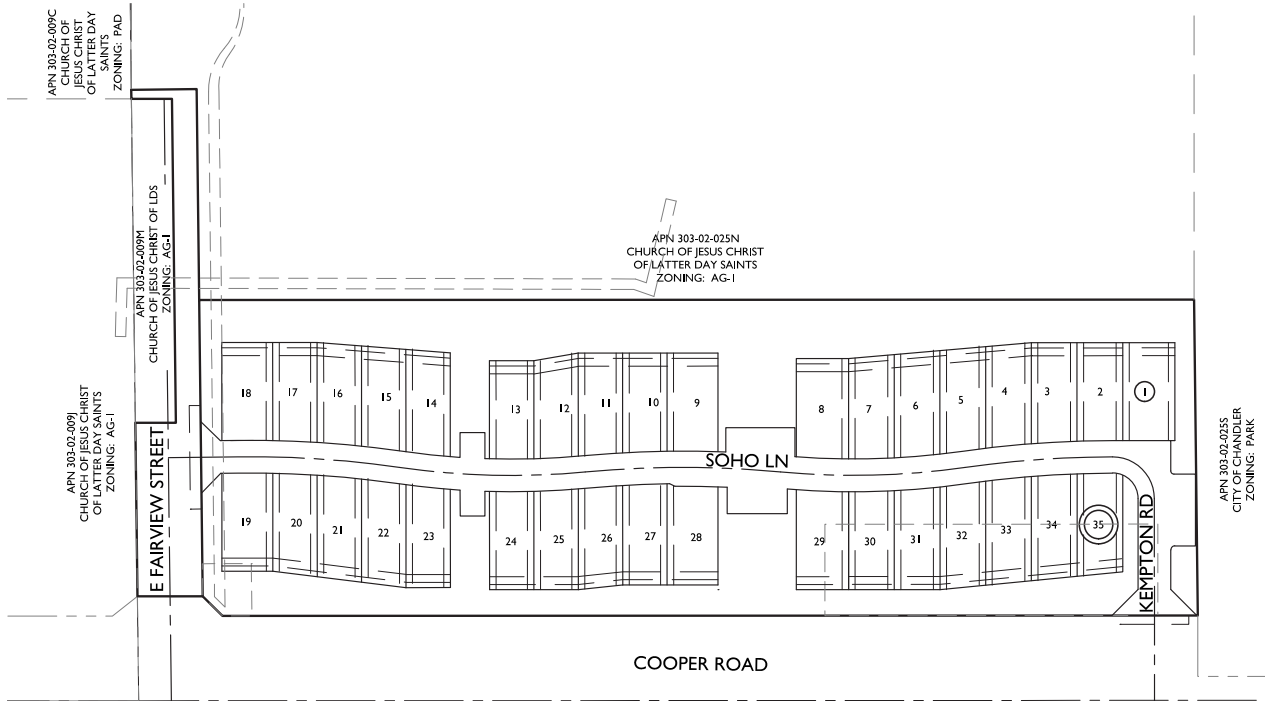
CONTAINING 4.5000 ACRES [196,020 SQUARE FEET] MORE OR LESS.

GENERAL NOTES

- THE IMPROVEMENTS ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND.

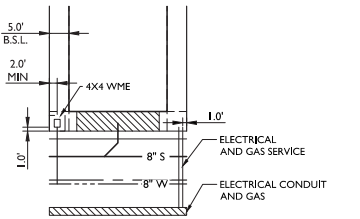
PRELIMINARY PLAT
FOR
PARKSIDE

BEING A PORTION OF THE SOUTHEAST QUARTER, SECTION 35, TOWNSHIP 1
SOUTH, RANGE 5, OF THE GILA & SALT RIVER BASE & MERIDIAN,
MARICOPA COUNTY, ARIZONA



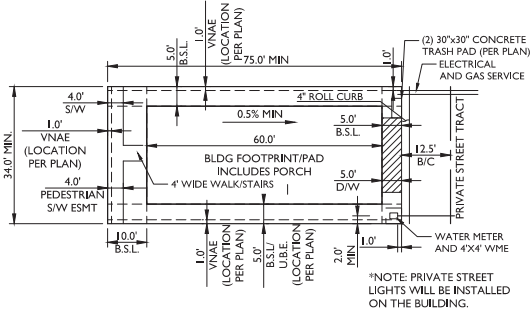
LEGEND

- BOUNDARY LINE
- SECTION LINE
- RIGHT OF WAY
- CENTERLINE
- EASEMENT LINE
- LOT LINE
- PROPERTY EASEMENT LINE
- WATERLINE
- PROPOSED CONTOUR
- BERM
- STORM DRAIN
- SEWERLINE
- SIDEWALK
- SCUPPER
- EXISTING GRADE ELEVATION
- USE BENEFIT EASMENT
- BUILDING SETBACK LINE
- LANDSCAPE EASEMENT
- PUBLIC UTILITY EASMENT
- RIGHT OF WAY
- EASEMENT
- SIDEWALK
- TOP OF CURB
- BACK OF CURB
- HIGHWATER
- BOTTOM
- WATER METER EASEMENT
- VEHICLE NON-ACCESS EASEMENT



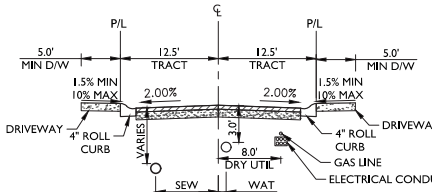
TYPICAL UTILITIES

N.T.S.



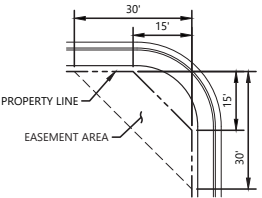
TYPICAL LOT DIAGRAM

N.T.S.



TYPICAL PRIVATE STREET SECTION

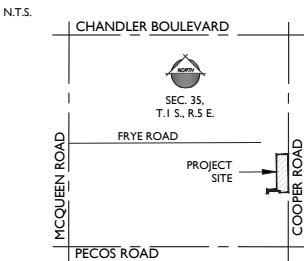
N.T.S.



TYPICAL VISIBILITY EASEMENT DETAIL

N.T.S.

VICINITY MAP



PROJECT TEAM

DEVELOPER
INNOVATION COMMUNITIES AT
PARKSIDE VILLAS, LLC
C/O MATRIX EQUITIES, INC.
10446 N. 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
CELL: (214)-789-6088
DIRECT: (480)-540-5292
CONTACT: RONALD SMITH
RON@MATRIX-EQUITIES.COM

ENGINEER:
EPS GROUP, INC.
1130 N. ALMA SCHOOL ROAD, SUITE 120
MESA, AZ 85201
TEL: (480)-503-2250
FAX: (480)-503-2258
CONTACT: JOE PETRUCCI
JOE.PETRUCCI@EPSGROUPINC.COM

LANDSCAPE ARCHITECT

ABLA
310 E RIO SALADO PARKWAY
TEMPE, AZ 85281
CELL: (480)-772-5321
OFFICE: (480)-530-0077
CONTACT: TOM DURANT
tom.durant@ablstudio.com

PROJECT DATA

A.P.N.: 303-20-025W
EXISTING ZONING: AG-1
PROPOSED ZONING: PAD
GROSS AREA: +/- 5.04 ACRES
NET AREA: +/- 4.23 ACRES
NO. OF LOTS: 35
NET DENSITY: 8.27 DU / AC.
OPEN SPACE: +/- 1.48 ACRES
OPEN SPACE (%): +/- 35% OF NET AREA
AVG. LOT AREA: 2,711 SQ. FT.
MIN. LOT AREA: 2,554 SQ. FT.
MAX. LOT AREA: 3,050 SQ. FT.
*NOTE
INFRASTRUCTURE WILL BE BUILT ALL AT ONCE.

BENCHMARK

BRASS CAP IN CONCRETE FOUND 130' NORTH & 50' EAST THE INTERSECTION OF COOPER ROAD & PECOS ROAD, LOCATED IN SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
ELEVATION = 1237.82' (NAVD 88 DATUM)

BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

BEARING N00°01'32"W, (ASSUMED BEARING)

UTILITIES

WATER CITY OF CHANDLER
RECLAIMED WATER CITY OF CHANDLER
SEWER CITY OF CHANDLER
GAS SOUTHWEST GAS
ELECTRIC SALT RIVER PROJECT
TELEPHONE CENTURYLINK / COX COMMUNICATION
REFUSE CITY OF CHANDLER
CABLE TV CENTURYLINK / COX COMMUNICATION

FLOOD ZONE CERTIFICATION

FLOOD INSURANCE RATE MAP NUMBER 0401C2741M, EFFECTIVE DATE OF NOVEMBER 04, 2015

ZONE "AH": THE SUBJECT PROPERTY IS LOCATED WITHIN SHADED ZONE "AH" DEFINED AS: THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR.

FLOOD ZONE DESIGNATION PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

RETENTION CALCULATIONS

B1: VP= 78.129
B2: VP=2.592
B3: VP=4.210
B4: VP=1.235
TOTAL VOLUME PROVIDED = 86,164
VOLUME REQUIRED FOR SITE = 81,498

SHEET INDEX

SHEET 1 PP01 COVER SHEET
SHEET 2 PP02 PRELIMINARY PLAT

TRACT USE TABLE

TRACT	USE	AREA (SF)	AREA (AC)
TRACT A	LANDSCAPE / OPEN SPACE / RETENTION	25828	0.592
TRACT B	LANDSCAPE / OPEN SPACE / RETENTION / AMENITY	38629	0.887
TOTAL OPEN SPACE		64457	1.479
TRACT PS	WATER SEWER ACCESS EASEMENT / PRIVATE STREET TRACT	24562	0.564
TOTAL OPEN SPACE		89019	2.043



Preliminary Plat for Parkside

Cover Sheet

Project: Chandler, AZ

Revisions:

AUGUST 12, 2020 - 1ST PRELIMINARY PLAT SUB.	
---	--



Designer:
Drawn by: EPS



Job No.
20-0381

PP01

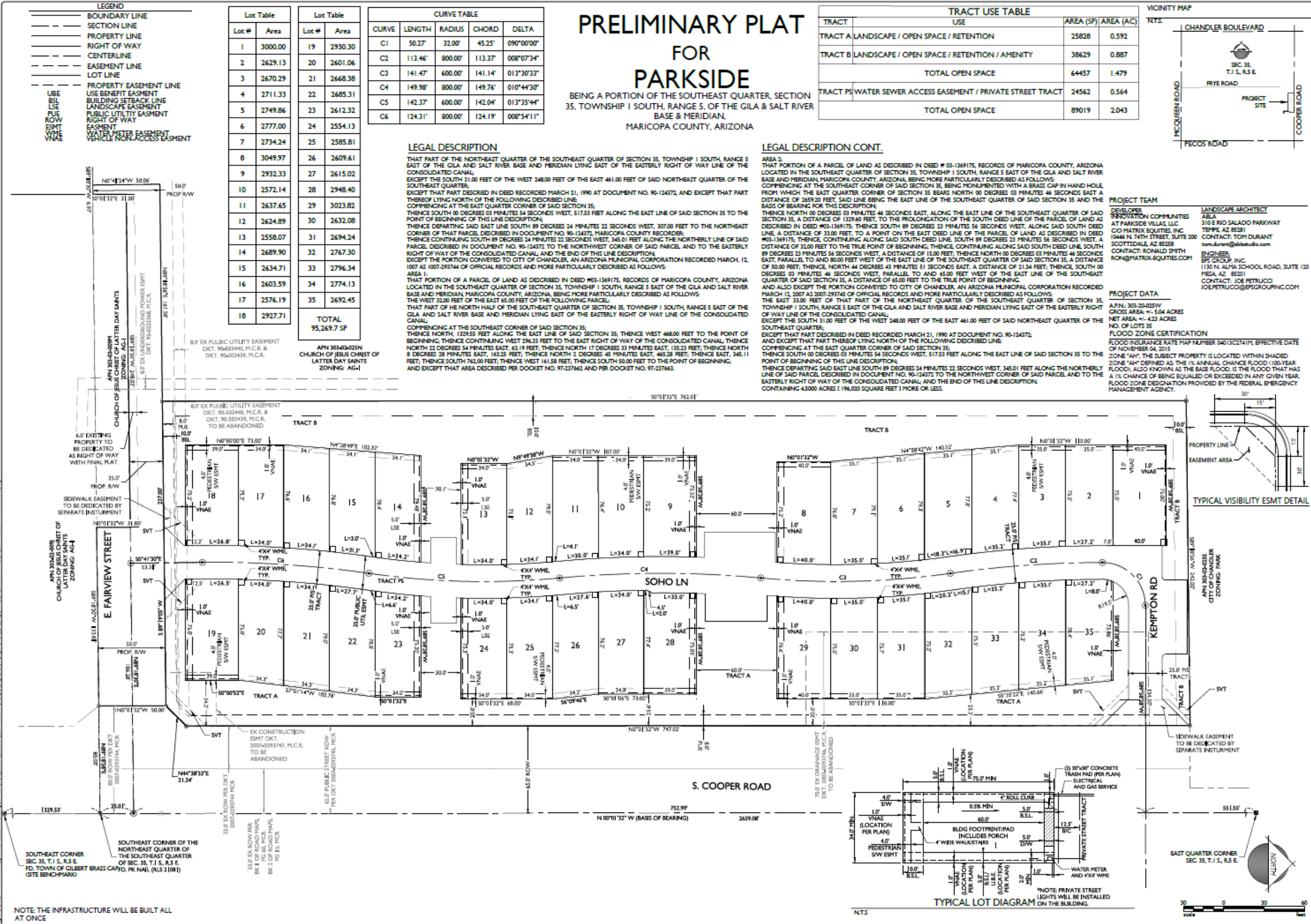
Sheet No.

1
of 2

C.O.C. LOG NO. PLT71-0018

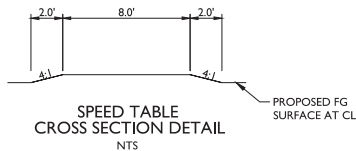
20-0381

Aug. 09, 2021 2:34pm S:\Projects\20-0381\Planning\Drawings\Plat\20-0381 - PP01.dwg



Preliminary Plat for Parkside
Preliminary Plat

August 12, 2020 - LIST PRELIMINARY PLAT SUB
Revisions:
Designed by: EPS
Drawn by: EPS
Job No: 20-0381
PP01
Sheet No. 1 of 1
C.O.C. LOG NO PLT21-0018

Page 1 of 1

NAVD 88 ELEVATION 1237.82

NOTE:
THE SUBJECT PROPERTY IS LOCATED WITHIN SHADED ZONE "AH"
DEFINED AS "FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF
PONDING); BASE FLOOD ELEVATIONS DETERMINED" PER FIRM MAP NO.
04013C2741M DATED NOVEMBER 4, 2015.

Project:	 1130 N. Alma School Road Suite 120 Mesa, AZ 85201 T: 480.503.2250 F: 480.503.2258 www.epsgroupinc.com
Revisions:	Preliminary Grading and Drainage Plan
Call or faxed two full working days before project start date.  1000 W. McDowell Blvd., Suite 200, Tempe, AZ 85283 Tel: (480) 966-4444 Fax: (480) 966-4445	Designer: SET Drawn by: SET
	
Job No.	
20-0381	
PG01	
Sheet No.	
1	
of 1	