

Planned Area Development
and
Preliminary Development Plan

for

Elevation AZ 87

**Southeast Corner of
Arizona Avenue and Elliot Road**

by:

Vedura Residential

Case No.: PLH21-0017

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ELEVATION AZ 87

I. INTRODUCTION

Vedura Residential (“Vedura”) is in escrow to acquire 9.89± gross (7.09± net) acres at the southeast corner of Arizona Avenue and Elliot Road (the “Site”) and develop it with a high-quality residential community known as “Elevation AZ 87.” Vedura anticipates developing the Site as an urban multi-family community with approximately 199± dwellings (28.07 du/net ac) that will be an attractive presence in the area, providing an amenity-rich living alternative to single-family homes and serving as an appropriate and compatible land use for this Site and surrounding area in order to serve the local employment base. To achieve this, Vedura requests the Site be zoned Planned Area Development (PAD) for residential uses and Preliminary Development Plan (PDP) and Mid-Rise Overlay approvals.

Elevation AZ 87 will offer future residents the opportunity to live in a well-located residential community with a wide variety of amenities. A high quality, urban scale multi-family community is an excellent use of this vacant, infill Site and will be a benefit to the adjacent properties. Consistent with the City’s General Plan and good planning principles, this development will provide urban scale residential density within the City’s High Capacity Transportation Corridor and near three major transportation corridors (Arizona Avenue/State Route 87, the Loop 101—approximately three miles to the west, and the U.S. 60—approximately 2.5 miles to the north). The Site is also near to and will support the employment and commercial developments in the immediate area, Downtown and the Arizona Avenue/State Route 87 area. Such planning provides the opportunity for people to live, work, shop, and dine within close proximity to major employment areas and commercial developments, thereby reducing trips, trip lengths, travel times, and environmental impacts.

II. SITE AND SURROUNDING AREA

An *Aerial Map* of the Site is attached as ***Exhibit 1***. The Site is bounded by Arizona Avenue on the west, the Arizona Department of Economic Security and industrial buildings to the east, and Comstock Drive on the south. Additionally, northwest of the Site is a commercial development and north is a future multi-family development known as “Uptown Commons”. The Site is current undeveloped and is zoned PAD for retail shops space, restaurant drive-thru, and bank drive-thru.

The Site is designated on the City’s General Plan as Employment and identifies it being within a High Capacity Transit Corridor. The High Capacity Transit Corridor runs north/south along Arizona Avenue/State Route 87. Urban density residential (18+ du/ac) such as is being proposed by Vedura can be considered within High Capacity Transit Corridors. Consistent with the goals and objectives of the General Plan, rezoning the Site as an urban scale, multi-family residential community will:

- permit increased development intensity along this portion of the High Capacity Transit Corridor;
- complement and provide much needed support to the existing commercial and employment uses in the surrounding area; and
- promote sustainable housing developments including a variety of housing types and higher densities that are compatible with the adjoining land uses.

In addition to the General Plan, the proposed PAD zoning request is supported by the Chandler Mayor's 4-Corner Retail Committee Report dated March 22, 2011 (the "Report"). In the Report, the Committee determined that the City was over-retailed, that retailers were looking for newer buildings and freeway locations (such as the mall and power centers), and that the opening of the Loop 202 shifted traffic patterns, which in turn led to the development of several new power centers. Further, the Committee concluded that the City needs sustainable solutions and should seek the best and highest uses where appropriate. The Site has been zoned for commercial retail uses since approximately 2006 and has failed to develop.

III. PROPOSED PAD AND PDP

A. PAD and PDP Overview

One of the objectives of PAD zoning is "to provide for a coordinated and compatibly arranged variety of land uses through innovative site planning." Another objective is "to provide a maximum choice in the types of environments for residential, commercial, and industrial uses and facilities." The intent of this PAD is to accomplish those objectives by rezoning the Site from the existing PAD to PAD Multi-Family Residential. The proposed zoning change responds to the existing and future needs of the community by providing support to the planned and existing commercial, office, and retail developments in the area and provides additional housing choices for people seeking to live in an urban, infill setting. The proposed PAD Multi-Family Residential accomplishes the PAD zoning objectives.

Careful consideration has gone into planning Elevation AZ 87. The *Site Plan* for Elevation AZ 87 is provided at ***Exhibit 2***. Vedula has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this Site. Elevation AZ 87 is a gated community that will consist of approximately 199 residences at a density of approximately 28.07 du/net ac. The proposed design and layout provide convenient, safe, and attractive pedestrian connections throughout Elevation AZ 87. Particular attention has been given to provide pedestrians with access to centrally located amenities and open space areas. The placement of the buildings and walls provide visual interest by varying the roof lines and orientations and providing a coordinated theme through the amenities, landscape features, and architectural detail.

B. Landscaping

The overall landscape theme is inspired by the Sonoran Desert with accents of lush, native and native adapted, desert oasis landscaping at focal points and pedestrian nodes to create an environment of luxury resort living at the Elevation AZ 87. ***See Exhibit 3, Landscape Plans***. As shown on the Landscape Plans, the design, elements, and materials create a sense of community and neighborhood, while adding a fresh approach to timeless desert environments for Arizona residential communities. The elements and features are designed to create a "sense of place" and a permanence achieved by relating the elements to the "human scale" and integrating with the architecture.

The landscape palette draws from the lush desert look and feel of an adapted Sonoran landscape tempered for the Arizona climate through the use of water consumptive plants. The landscape palette provides a diversity of colorful plant materials that enhance the community environment throughout the year with a variety of compositions, texture and seasonal color. Tree and shrub selections shall be of semi-arid nature utilized to complement the contemporary building architecture, define points of entry/egress, provide shaded pedestrian walkways and gathering

areas, and to define amenity use areas via plant selections, spacings, and use of color and texture. The landscape theme shall be of a semi-arid nature utilizing plant materials that are on the Arizona Department of Water Resources Low Water Use List to create transitional zones within the development that promote the Sonoran Desert environment. Use of turf shall be minimal and limited to the amenity use areas, if incorporated at all. The irrigation system shall be a point delivery drip system with a smart controller to monitor water use and flow and to provide water budgeting capabilities. Special attention will be paid to providing shading to pedestrian walkways, amenity use areas, and parking lots. Tree locations shall take into consideration solar orientation of the building structures to provide shade to reduce energy consumption.

C. *Amenities*

Elevation AZ 87 has been planned with quality amenities consistent with Vedula's desire to create an upscale community where residents will be able to play, relax, or socialize in a pleasing environment. *See Exhibit 4, Amenity Enlargement.* The amenity areas within Elevation AZ 87 are designed to enhance the community character and quality of life by providing recreational opportunities and connectivity for residents through the integration of effective internal and external open spaces. The amenity and theming elements have been designed to maintain the overall "sense of place" and identity of the community. Elevation AZ 87 will contain a centrally located amenity area, providing active and passive open space for residents and guests to enjoy. Additional amenities include a fully equipped fitness center and game room, resident community room, a ride share waiting lounge, a resort style swimming pool/spa and expansive sun deck, an outdoor kitchen, seating areas, fire table and outdoor game activity area, a bike storage / repair room, pet wash and a dog park.

Pedestrian paths are provided throughout the Site, connecting the residences to the amenities and the public sidewalks. Particular attention has been given to the pedestrian experience along Arizona Avenue. A 10-foot wide multi-use path is being provided in a lush landscape setting.

D. *Building Elevations*

Elevation AZ 87 consists of luxurious, upscale living in four-story residential buildings. The architectural character of the development is Desert Contemporary. The design projects an image of sophistication, and luxury living through its use of quality materials and carefully considered proportions. *See Exhibit 5, Perspective and Exhibit 6, Building Elevations.* The building massing is broken into smaller elements and forms that are in keeping with human scale and help the facades relate to the adjacent streetscapes. The massings are organized as a series of elements that include garages, patios, and balconies, adding variety and visual interest to the elevations and enhancing the urban concept. This is accomplished through undulations in the floor plans that articulate and provide shade to the elevations, as well as stepping of the roof parapets that produce a varied skyline. There are three floor plans (Studio, 1-, and 2-bedroom units) ranging in square footage from 630 square feet to 1,254 square feet. *See Exhibit 7, Floor Plans.*

The principal corners of the buildings receive special treatments in the use of full height corner windows and lattice screens. The mid-building entrances are accentuated through special use of color and materials, additional glazing and expressed vertical circulation towers. Horizontal lattice screens provide solar shading and visual interest. The screens are located at strategic locations along the street elevations, as well as helping identify the primary building entrance along Arizona Avenue. These screens are constructed using aluminum battens with a simulated wood

finish that will require minimal maintenance and stand up to prolonged exposure to the harsh desert sun.

Further enhancing the urban theming of the community, the buildings are located around the perimeter of the Site and in close proximity to the streetscape. The roof projections of the buildings have been strategically placed to enhance the visual depth of the community and increase the amount of shade provided to each elevation. The various elements of the development harmoniously blend a contemporary architectural style with color, form, and texture. Colors and materials reference the local Sonoran Desert environment in both tone and texture. The smooth, sharp cornered stucco wall planes in a palette of warm grays contrast with the texture provided by stack bond CMU masonry blocks. Warm, earthy Yellow Ochre is used as an accent color to provide visual interest in the composition and connect the buildings with the surrounding desert landscape. *See Exhibit 8, Color and Material Palette.*

Elevations of the parking canopies and solid waste enclosures are included at *Exhibit 10.*

E. Walls and Entry Monumentation

The entry monument, theme walls, and view fencing have been designed to be consistent with the elevations and landscaping theme. *See Exhibit 9, Wall Plan & Elevations and Exhibit 10, Monument Sign.* These site elements are a mixture of accent metal, wrought iron fencing, and exposed masonry walls. These elements transition into the landscape with the use of a strong foundation planting palette. There is a hierarchy of three wall types that will be used in various locations throughout Elevation AZ 87:

- Main Entry: security steel fence/masonry pilasters and concrete caps.
- Perimeter privacy: steel fence and masonry pilasters concrete caps.
- Perimeter wall: masonry wall and pilasters.

F. Development Standards

Vedura is proposing the following development standards:

Regulation	Development Standard
Building Height (max.)	55 ft.
Building Setback (min.)	
- West (Arizona Avenue)	20 ft. for clubhouse & 25 ft. for all other structures
- North (Elliot Rd.)	25 ft.
- East	10 ft.
- South (Comstock Dr.)	25 ft.
Landscape Setback (min.)	
- West (Arizona Avenue)	25 ft.
- North (Elliot Rd.)	25 ft.
- East	10 ft.
- South (Comstock Dr.)	25 ft.

Vedura is requesting a Mid-Rise Overlay for the proposed 50-foot building height. Consistent with the City's Mid-Rise Development Policy (the "Policy"), the additional height is appropriate as the Site is located near Downtown at an arterial/arterial intersection in the Arizona Avenue Corridor and within an area that is designated on the City's General Plan as Employment.

G. Parking

The development will have 91 open parking spaces, 150 covered parking spaces, 50 enclosed private garage spaces and 50 open tandem spaces for a total of 341 residential parking spaces (where 341 are typically required in a suburban setting).

H. Phasing

Elevation AZ 87 will be constructed in one phase.

I. Grading and Drainage

The ***Preliminary Grading and Drainage Map*** is attached as ***Exhibit 11***. The Site will be graded to convey storm water to the project retention basins. All project drainage systems will be designed and constructed per City standards.

IV. MULTI-FAMILY DESIGN STANDARDS

The City's Zoning Ordinance sets forth additional requirements for multi-family development to encourage creative and innovative design techniques, quality and merit. Elevation AZ 87 provides the following:

1. Open Space

Private and common open space areas are provided as follows:

- Elevation AZ 87 contains approximately 74,212 square feet of usable common open space, an average of approximately 373 square feet per unit. All residents will be able to enjoy the substantial amount of common open space.
- Private open space will be provided for the 1- and 2- bedroom units that is at least 65 ± square feet. The proposed development does not provide private open space for the Studio units. The requirements for private open space are based on traditional suburban development and do not take into account development in an urban-like setting. Elevation AZ 87 has taken great efforts to ensure the usable common open space far exceeds what the City's Code would otherwise require. Additional common open space in this urban-like setting provides better opportunities for residents and guests to interact with each other.

2. Site Circulation and Parking

Safe and convenient pedestrian circulation to and from parking lots throughout the development is provided. A 10-foot meandering sidewalk is located on Arizona Avenue with public sidewalk access. The central area contains parking spaces and ADA van accessible spaces being 11' x 19'. Parking canopy covers are architecturally integrated with the surrounding structures, i.e., color, materials, location, and 10-inch minimum fascia (all four sides). ***See Exhibit 10, Parking Canopies.***

3. Amenity Options

Five amenities are required to be provided in accordance with the following schedule: 180 units to 260 units. The proposed development contains a minimum of eleven amenities which more than doubles the required number of amenities. The amenities that have been provided throughout the development exceed the expectations for quantity and quality of amenities in most

multifamily developments. See Section III.C and *Exhibit 4, Amenity Enlargement*, for additional details.

4. Interface with Single-Family Areas

There are no single-family areas adjacent to the Site.

5. Specific design attention areas

The design of courtyards and pedestrian areas will relate to “human scale.” Large unvaried building facades will be avoided. Common open spaces, rather than parking lots, will be used as central features. The specific design features incorporated into the design of the development are embraced by Vedula as design elements that set their communities apart from other multi-family developments.

6. Energy conservation

Elevation AZ 87 provides shade of the buildings through overhangs and/or trees and shade trees along drives, building perimeters, and ample setbacks. Additional building shading is provided through the use of inset patios and balconies, metal canopies to shade windows, and the use of landscaping.

7. Landscaping

The amount of landscaping is more than sufficient intensity to create a pleasant and comfortable living environment. Special attention is given to the streetscape, the main entry, the office/clubhouse, and amenity area to create an upscale landscape experience.

8. Building Standards

Mechanical equipment is fully screened through the use of parapet walls on the building elevations; they are concealed from view as an integral part of the building.

9. Lighting

Lighting will comply with the City’s Zoning Code. External lighting will be appropriately located and designed to prevent light from spilling onto adjacent properties.

10. Signage

See the discussion in Section III.E for details concerning the proposed signage.

V. PROJECT TEAM

Owner/Builder:

Vedula Residential
Attn: Bruce Hart
Jason O’Clair
6720 North Scottsdale Road, Suite 109
Scottsdale, Arizona 85253

Architect:

Todd & Associates
Attn: Anthony Jaurigue
4019 North 44th Street
Phoenix, Arizona 85018

Civil Engineer

HilgartWilson
Attn: Leslie Kland
2141 E Highland Avenue, Suite 250
Phoenix, Arizona 85016

Landscape:

Todd & Associates
Attn: Brad Winkler
4019 North 44th Street
Phoenix, Arizona 85018

Zoning:

Burch & Cracchiolo, P.A.
Attn: Brennan Ray
1850 North Central Avenue, 17th Floor
Phoenix, Arizona 85004
Phone: (602) 234-8794

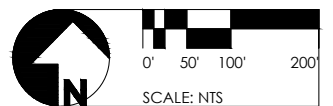
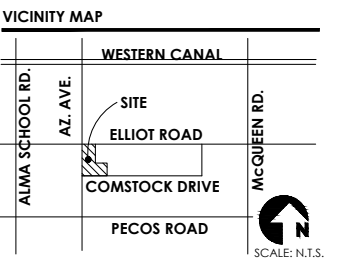
VI. CONCLUSION

Elevation AZ 87 is designed as a high quality, urban scale, multi-family community. The proposed development is an excellent use of this vacant infill property. The development offers an updated perspective on multi-family community living. Great detail has been provided for Elevation AZ 87 to accommodate the growing demands of an employment base that the City continues to foster in the North Arizona Avenue corridor. Elevation AZ 87 conforms to the City's General Plan and is consistent with Site's location in a High Capacity Transit Corridor. The architecture is compatible with the surrounding area and incorporates elements that respects the significance and future of Chandler. The thoughtful design will be an attractive in area and provide support to the substantial employment and commercial developments in the area. We request your approval.

Vedura Residential



Maricopa County Assessor's Office





TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM

20-2010-01

VEDURA
RESIDENTIAL

Elevation AZ 87

Chandler, Arizona

PAD/PDP SUBMITTAL

June 29, 2021

DESIGN TEAM

DEVELOPER: VEDURA RESIDENTIAL
6720 N. SCOTTSDALE RD., #109
SCOTTSDALE, AZ. 85253
BRUCE HART

ARCHITECT: TODD & ASSOCIATES, INC.
4019 N. 44th STREET
PHOENIX, AZ. 85018
602-952-8280
ANTHONY JAURIGUE

CIVIL: HILGARTWILSON
2141 E. HIGHLAND AVE. STE. 250
PHOENIX, AZ 85016
LESLIE KLAND

SITE SYMBOLS

- 1 BUILDING NUMBER
- NEW FIRE HYDRANT
- ACCESSIBLE PARKING SPACE

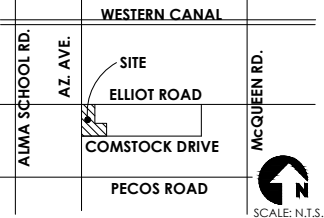
FIRE CODE:
APPENDIX D: THE CITY OF CHANDLER HAS INCLUDED SOME OF THE
APPENDIX D FIRE CODE, SECTION D105.3, PROXIMITY TO BUILDING:
ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS
CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT
GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED
PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE
BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS
POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

FIRE HYDRANT PLACEMENT, HEIGHTS AND CLEARANCES TO BE INSTALLED
PER C-303 AND C-305 GUIDELINES.

CITY OF CHANDLER SITE PLAN NOTES

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE
CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF
OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY
SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE
HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER
THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT
SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO
PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY
UPON WHICH THE LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE
PAINTED TO MATCH THE ADJACENT WALL COLOR.
- SIGNS REQUIRED SEPARATE PERMIT.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY
LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE
RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL
ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF
OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC
EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY
EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY
LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE
BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS
AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND
PERMITS.

VICINITY MAP



SITE DATA

PROJECT NAME & ADDRESS:
APARTMENTS
NEAR SEC ARIZONA AVE. AND ELLIOT RD.
CHANDLER, ARIZONA 85286

NARRATIVE:
A NEW 4-STORY MULTI-FAMILY RESIDENTIAL DEVELOPMENT WITH
CLUBHOUSE, FITNESS AND GARAGES TUCKED UNDER ON THE FIRST
FLOORS OF THE BUILDINGS. THE PROJECT WILL CONSIST OF ONE
AND TWO BEDROOM UNITS, THE AMENITIES TO INCLUDE FITNESS,
POOL, BBQ AREAS, AND CABANAS.

ACCESSOR'S PARCEL NUMBER:
302-35-330
302-29-016A
302-27-017A
(ACCESS DRIVE) PART OF 302-35-529*

ZONING:
EXISTING: PAD
PROPOSED: PAD (MULTI-FAMILY)

SITE AREA:
± 7.09 NET ACRES (308,840.40 S.F.)
± 9.89 GROSS ACRES (430,808.40 S.F.)

LOT COVERAGE:
PROVIDED: ±25.23% (±178,344 SF ± ±706,983 SF)

UNIT MIX:
S STUDIO 12 D.U. (6%)
A1 1 BEDROOM 125 D.U. (63%)
B 2 BEDROOM 62 D.U. (31%)
TOTAL 199 D.U. (100%)

DENSITY:
ALLOWED: MF-2 18 D.U./GROSS ACRE
PROVIDED: ±28.1 D.U./GROSS ACRE

BUILDING HEIGHT:
ALLOWED: 45 FEET
PROPOSED: 4-STORY (55 FEET)

CONSTRUCTION TYPE:
BUILDING 1 V-A (WOOD CONSTRUCTION)
BUILDING 2 V-A (WOOD CONSTRUCTION)

COMMON OPEN SPACE:
REQUIRED:
STUDIO (12 UNITS x 1 BED) = 12 BEDS
1 BR (125 UNITS x 1 BED) = 125 BEDS
2 BR (62 UNITS x 2 BED) = 124 BEDS
TOTAL BEDS 261 BEDS

261 BEDS x 150 SF/BED = 39,150 SF

PROVIDED:
EXTERIOR OPEN SPACE = 74,212 SF (= 69,113 SF
LANDSCAPE AND POOL AREA + 5,099 SF CLUBHOUSE
AND FITNESS)

PRIVATE OPEN SPACE:
PROVIDED: QTY TYPE SF TOTAL FIRST
1st LEVEL UNITS 34 PATIOS 76 2,584 SF
UPPER LEVEL UNITS 165 BALCONIES 84 13,860 SF
TOTAL PRIVATE OPEN SPACE 16,444 SF

BUILDING SETBACK:
MINIMUM SETBACK REQUIRED PROVIDED
FRONT (WEST - ARIZ. AVE.) 50' 20'
SIDE (NORTH - ELLIOT) 50' 25'
SIDE (SOUTH - COMSTOCK) 50' 25'
REAR (EAST) 10' 10'

LOADING ZONES:
REQUIRED: 2 - 10'x22' LOADING ZONE
(1 LOADING ZONE PER 150 DU)
PROVIDED: 2 - 10'x22' LOADING ZONE

LANDSCAPE AREA:
PROVIDED: 120,120.5 SF (27.6 AC)
120,120.5 SF = 27.8% GROSS
308,840.4 SF = 38.9% NET

REQUIRED PARKING:
STUDIO (12 UNITS x 1.0 P.S./D.U.) = 12 P.S.
1 BR (125 UNITS x 1.5 P.S./D.U.) = 188 P.S.
2 BR (62 UNITS x 2.0 P.S./D.U.) = 124 P.S.
TOTAL REQUIRED 324 P.S.

PROVIDED PARKING:
COVERED CARPORT 150 P.S.
SURFACE OPEN 96 P.S.
TANDEM OPEN 50 P.S.
GARAGE 50 P.S.
TOTAL (1.71 P.S./D.U.) 346 P.S.
(TOTAL INCLUDES 7 ACCESSIBLE P.S.)

ACCESSIBLE PARKING REQ. 351 P.S. x .02 7 P.S.
ACCESSIBLE PARKING PROVIDED 7 P.S.
SURFACE OPEN 3 P.S.
COVERED CARPORT 2 P.S.
GARAGE 2 P.S.

GENERAL PARKING DIMENSIONS:
PARKING SPACE 9' x 19'
(9' x 16'-6" w/ 2'-6" OVERHANG)
ACCESSIBLE SPACE 11' x 19'
AISLE WIDTH 25'
FIRE LANE WIDTH 26'
GARAGE 12'x22'

AMENITY REQUIRED:
180 TO 260 UNITS - 5 OR MORE AMENITIES
POOL, CLUBHOUSE, YOGA, OUTDOOR KITCHEN, FIRE PIT,
BIKE STORAGE/REPAIR, RAMADAS

BUILDING AREAS (GROSS):
BUILDING TYPE 1 ±121,914 S.F. x 1 = 121,914 S.F.
FITNESS 1st FLOOR = 1,221 S.F.
2nd FLOOR = 475 S.F.

BUILDING TYPE 2 ±132,202 S.F. x 1 = 132,202 S.F.
TOTAL BUILDING AREA ±253,404 S.F.
= 58.8% GROSS
= 82.0% NET

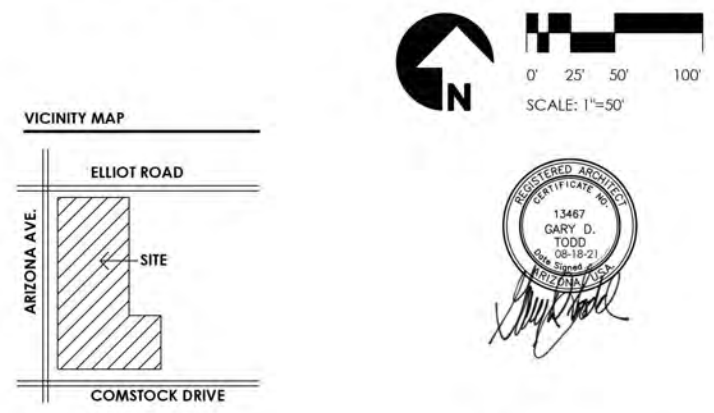


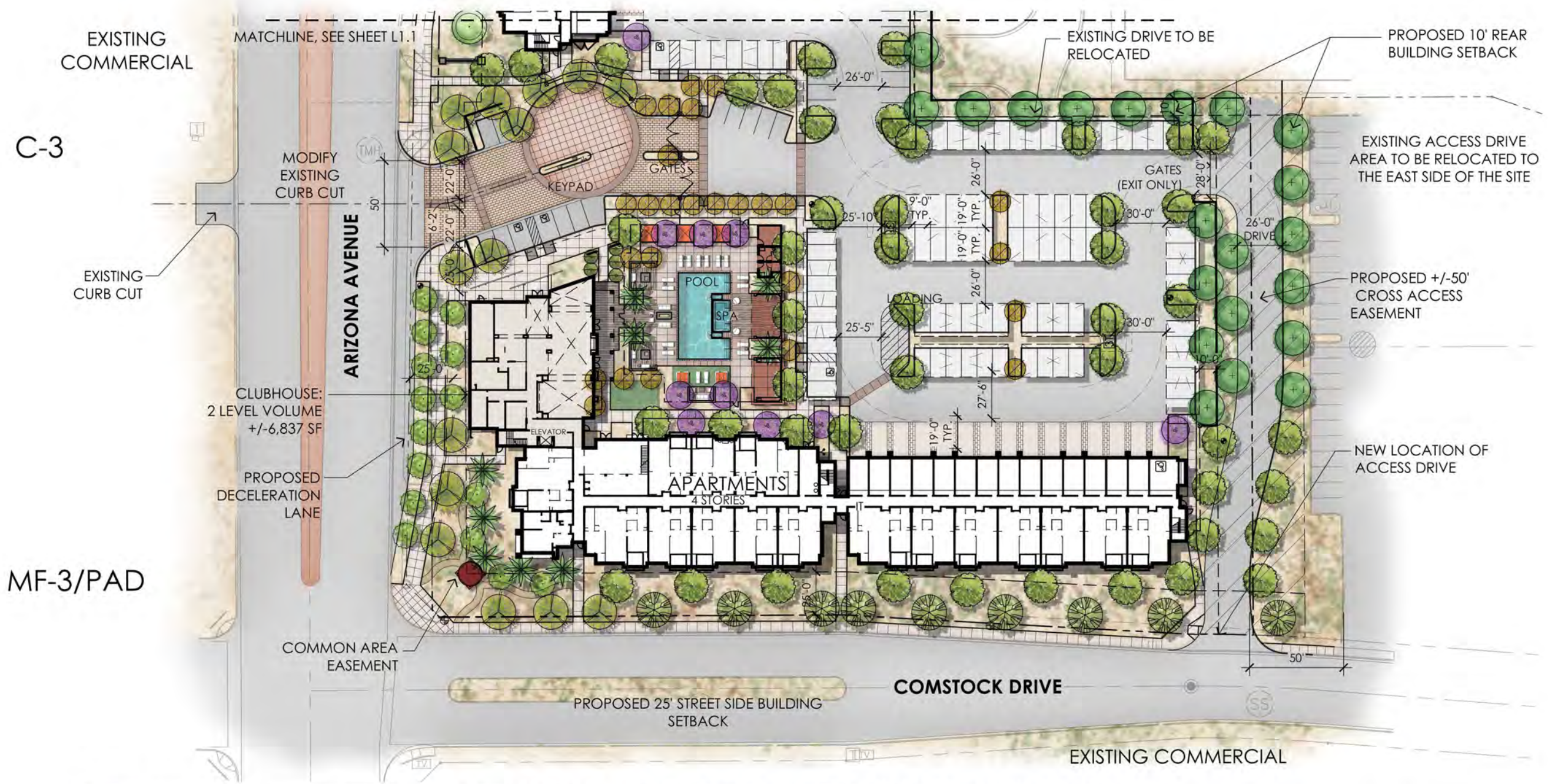
SITE PLAN

A1.2



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES	ACACIA ANEURA	MULGA ACACIA	24" BOX / 2' CAL
	ACACIA SALICINA 'DORIS D'	HYBRID WEeping ACACIA	36" BOX / 2' CAL
	CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	24" BOX / 1" CAL
	CHITALPA TASHKENTENSIS	CHITALPA	24" BOX / 1" CAL
	FRAXINUS VELUTINA	VELVET ASH	36" BOX / 1" CAL
	PARKINSONIA AZT HYBRID	HYBRID PALO VERDE	36" BOX / 2' CAL
	OLEA EUROPAEA 'WILSONII'	FRUITLESS OLIVE	36" BOX / 2' CAL
	QUERCUS VIRGINIANA	LIVE OAK	36" BOX / 2' CAL
	CITRUS SPP.	CITRUS	15 GAL / 1" CAL
PALMS	PHOENIX DACTYLIFERA	DATE PALM	18 TRUNK FOOT
	PHOENIX ROEBELII	PYGMY DATE PALM	15 GAL
SHRUBS	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL
	* CARISSA MACROCARPA 'TUTTLE'	TUTTLE NATAL PLUM	5 GAL
	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL
	EREMOPHILA x SUMMERTIME BLUE	SUMMERTIME BLUE	5 GAL
	RUPELLIA PENINSULARIS	DESERT RUELLIA	5 GAL
	RUSSELLIA EGUSETIFORMIS	CORAL FOUNTAIN	5 GAL
	SIMMONDSIA CHINENSIS 'VISTA'	COMPACT JOJOBA	5 GAL
	TECOMA STANS 'ANGUSTA'	YELLOW BELLS	5 GAL
ACCENTS	AGAVE DESMETTIANA	SMOOTH AGAVE	5 GAL
	ALOE x 'BLUE ELF'	BLUE ELF ALOE	5 GAL
	DASYLIRION TEXANUM	GREEN DESERT SPOON	5 GAL
	* DIETES VEGETA	FORTNIGHT LILY	5 GAL
	HESPERALOE FUNIFERA 'CHANGII'	GIANT YUCCA	15 GAL
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL
	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL
	PEDILANTHUS MACROCARPUS (w/pots)	LADY'S SLIPPER	15 GAL
	OPUNTIA SANTA-RITA 'TUBAC'	PURPLE PRICKLY PEAR	7 GAL
	MUHLENBERGIA CAPILLARIS	REGAL MIST MUHLY	5 GAL
VINES	* BIGNONIA CAPREOLATA	CROSS VINE	5 GAL
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	5 GAL
GROUNDCOVERS	LANTANA x 'DALLAS RED'	DALLAS RED LANTANA	1 GAL
	LANTANA SP. 'NEW GOLD'	NEW GOLD LANTANA	1 GAL
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	PROSTRATE ROSEMARY	5 GAL
	* SETCREASEA PALLIDA	PURPLE HEART	5 GAL
	TETRANEURIS ACAULIS	ANGELITA DAISY	1 GAL
TURF	* BERMUDA 'MIDIRON' SOD AT E. BOSTON STREET FRONTAGE		1,020 SF.
* NOTE: INDICATES MATERIALS NOT ON THE AWA LOW WATER USE LIST, THUS ATTRIBUTED TO THE WATER INTENSIVE LANDSCAPE CALCULATIONS.			
	PET TURF SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT DOG PARKS		
	NYLON 'HEAT MAX' SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT POOL AREA		
DECOMPOSED GRANITE			
	ALL NON-TURF LANDSCAPE	2" DEPTH OF 3/4" WASHED 'EXPRESS BROWN'	
		3'-8" GRANITE COBBLE, 'EXPRESS BROWN'	





C-3

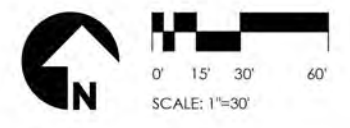
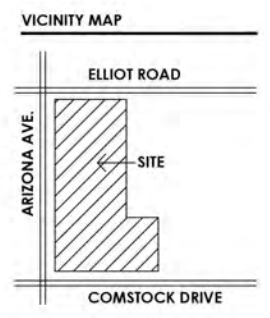
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SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	ACACIA ANEURA	MULGA ACACIA	24" BOX/ 2" CAL.
	ACACIA SALICINA 'DORIS D'	HYBRID WEeping ACACIA	36" BOX/ 2" CAL.
	CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	24" BOX/ 1" CAL.
	CHITALPA TASHKENTENSIS	CHITALPA	24" BOX/ 1" CAL.
	FRAXINUS VELUTINA	VELVET ASH	36" BOX/ 1" CAL.
	PARKINSONIA AZI HYBRID	HYBRID PALO VERDE	36" BOX/ 2" CAL.
	OLEA EUROPAEA 'WILSONI'	FRUITLESS OLIVE	36" BOX/ 2" CAL.
	QUERCUS VIRGINIANA	LIVE OAK	36" BOX/ 2" CAL.
	CITRUS SPP.	CITRUS	15 GAL/ 1" CAL.
	PHOENIX DACTYLIFERA	DATE PALM	18 TRUNK FOOT
	PHOENIX ROEBELII	PYGMY DATE PALM	15 GAL.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.
	* CARISSA MACROCARPA 'TUTTLE'	TUTTLE NATAL PLUM	5 GAL.
	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.
	EREMOPHILA x SUMMERTIME BLUE	SUMMERTIME BLUE	5 GAL.
	RUELLIA PENINSULARIS	DESERT RUELLIA	5 GAL.
	RUSSELLIA EQUESETIFORMIS	CORAL FOUNTAIN	5 GAL.
	SIMMONDSIA CHINENSIS 'VISTA'	COMPACT JOJOBA	5 GAL.
	TECOMA STANS 'ANGUSTA'	YELLOW BELLS	5 GAL.
ACCENTS			
	AGAVE DESMETIANA	SMOOTH AGAVE	5 GAL.
	ALOE x 'BLUE ELF'	BLUE ELF ALOE	5 GAL.
	DASYLIRION TEXANUM	GREEN DESERT SPOON	5 GAL.
	* DIETES VEGETA	FORTNIGHT LILY	5 GAL.
	HESPERALOE FUNIFERA 'CHIANGI'	GIANT YUCCA	15 GAL.
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL.
	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL.
	PEDILANTHUS MACROCARPUS (BEPDS)	LADY'S SLIPPER	15 GAL.
	OPUNTIA SANTA-RITA 'TUBAC'	PURPLE PRICKLY PEAR	7 GAL.
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST MUHLY	5 GAL.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	* BIGNONIA CAPREOLATA	CROSS VINE	5 GAL.
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	5 GAL.
	LANTANA x 'DALLAS RED'	DALLAS RED LANTANA	1 GAL.
	LANTANA SP. 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	PROSTRATE ROSEMARY	5 GAL.
	* SETCREASEA PALLIDA	PURPLE HEART	5 GAL.
	TETRANEURIS ACAULIS	ANGELITA DAISY	1 GAL.
	* BERMUDA 'MIDIRON' SOD AT E. BOSTON STREET FRONTAGE		1,020 SF.
* NOTE: INDICATES MATERIALS NOT ON THE AWA LOW WATER USE LIST, THUS ATTRIBUTED TO THE WATER INTENSIVE LANDSCAPE CALCULATIONS.			
* PET TURF SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT DOG PARKS			
* NYLON 'HEAT MAX' SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT POOL AREA			

DECOMPOSED GRANITE
ALL NON-TURF LANDSCAPE
2" DEPTH OF 3/4" WASHED 'EXPRESS BROWN'
3"-8" GRANITE COBBLE, 'EXPRESS BROWN'



TODD+ ASSOCIATES

602-952-8280 / TODDASSOC.COM

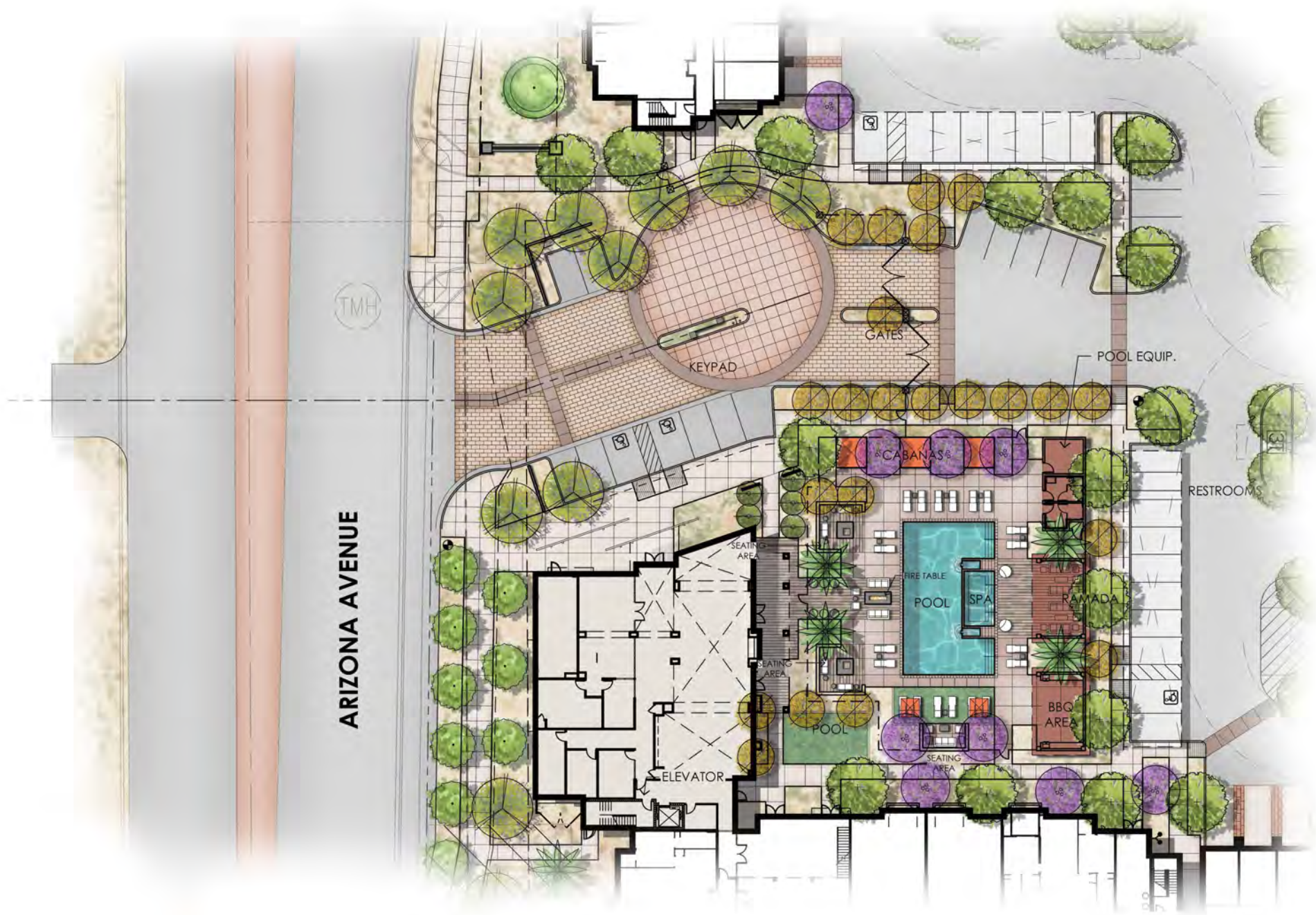
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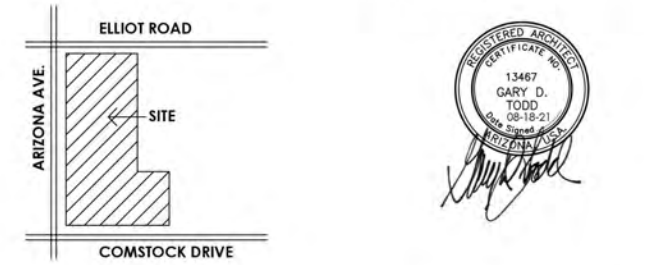
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PAD/PDP SUBMITTAL
August 25, 2021

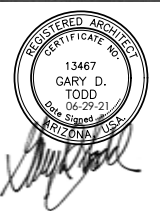
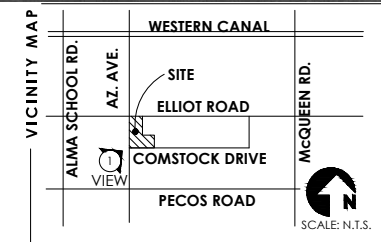
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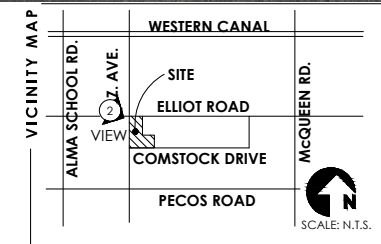
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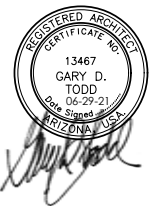
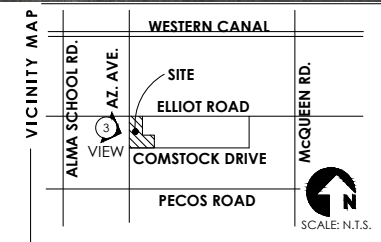


SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
PLANT LEGEND TREES	ACACIA ANEURA	MULGA ACACIA	24" BOX/ 2" CAL.
	ACACIA SALICINA 'DORIS D'	HYBRID WEeping ACACIA	36" BOX/ 2" CAL.
	CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	24" BOX/ 1" CAL.
	CHITALPA TASHKENTENSIS	CHITALPA	24" BOX/ 1" CAL.
	FRAXINUS VELUTINA	VELVET ASH	36" BOX/ 1" CAL.
	PARKINSONIA AZT HYBRID	HYBRID PALO VERDE	36" BOX/ 2" CAL.
	OLEA EUROPAEA 'WILSONII'	FRUITLESS OLIVE	36" BOX/ 2" CAL.
	QUERCUS VIRGINIANA	LIVE OAK	36" BOX/ 2" CAL.
	CITRUS SPP.	CITRUS	15 GAL/ 1" CAL.
	PALMS		
PHOENIX DACTYLIFERA	DATE PALM	18 TRUNK FOOT	
	PHOENIX ROEBELII	PYGMY DATE PALM	15 GAL.
SHRUBS	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.
	* CARISSA MACROCARPA 'TUTTLE'	TUTTLE NATAL PLUM	5 GAL.
	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.
	EREMOPHILA x SUMMERTIME BLUE	SUMMERTIME BLUE	5 GAL.
	RUPELLIA PENINSULARIS	DESERT RUELLIA	5 GAL.
	RUSSELLIA EQUESTIFORMIS	CORAL FOUNTAIN	5 GAL.
	SIMMONDSIA CHINENSIS 'VISTA'	COMPACT JOJOBA	5 GAL.
	TECOMA STANS 'ANGUSTA'	YELLOW BELLS	5 GAL.
	ACCENTS		
	AGAVE DESMETIANA	SMOOTH AGAVE	5 GAL.
ALOE x 'BLUE ELF'	BLUE ELF ALOE	5 GAL.	
	DASYLIRION TEXANUM	GREEN DESERT SPOON	5 GAL.
	* DIETES VEGETA	FORTNIGHT LILY	5 GAL.
	HESPERALOE FUNIFERA 'CHIANGI'	GIANT YUCCA	15 GAL.
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL.
	MUEHLBERGIA RIGENS	DEERGRASS	5 GAL.
	PEDILANTHUS MACROCARPUS (hippos)	LADY'S SLIPPER	15 GAL.
	OPUNTIA SANTA-RITA 'TUBAC'	PURPLE PRICKLY PEAR	7 GAL.
	MUEHLBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST MUHLY	5 GAL.
	VINES		
* BIGNONIA CAPREOLATA	CROSS VINE	5 GAL.	
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA (NOTE: TIE TO TREE TRUNK WHERE NEXT TO PALMS)	5 GAL.
GROUNDCOVERS	LANTANA x 'DALLAS RED'	DALLAS RED LANTANA	1 GAL.
	LANTANA SP. 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	PROSTRATE ROSEMARY	5 GAL.
	* SETCREASEA PALLIDA	PURPLE HEART	5 GAL.
TETRAENEURIS ACAULIS	ANGELITA DAISY	1 GAL.	
	TURF		
* BERMUDA 'MIDIRON' SOD AT E. BOSTON STREET FRONTAGE		1,020 SF.	
	* NOTE: INDICATES MATERIALS NOT ON THE AWA LOW WATER USE LIST, THUS ATTRIBUTED TO THE WATER INTENSIVE LANDSCAPE CALCULATIONS.		
'PET TURF' SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT DOG PARKS			
	NYLON 'HEAT MAX' SYNTHETIC TURF BY SYNTHETIC TURF SYSTEMS AT POOL AREA		
DECOMPOSED GRANITE	2" DEPTH OF 3/4" WASHED 'EXPRESS BROWN'		
	3"-8" GRANITE COBBLE, 'EXPRESS BROWN'		
	ALL NON-TURF LANDSCAPE		











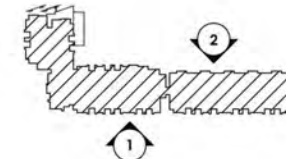
1 SOUTH ELEVATION

SCALE: 1/16"=1'-0"

K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS

LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU	SUPERLITE	"OPAL" 8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT	SHERWIN WILLIAMS	SW ---

FLOOR KEYMAP MAP



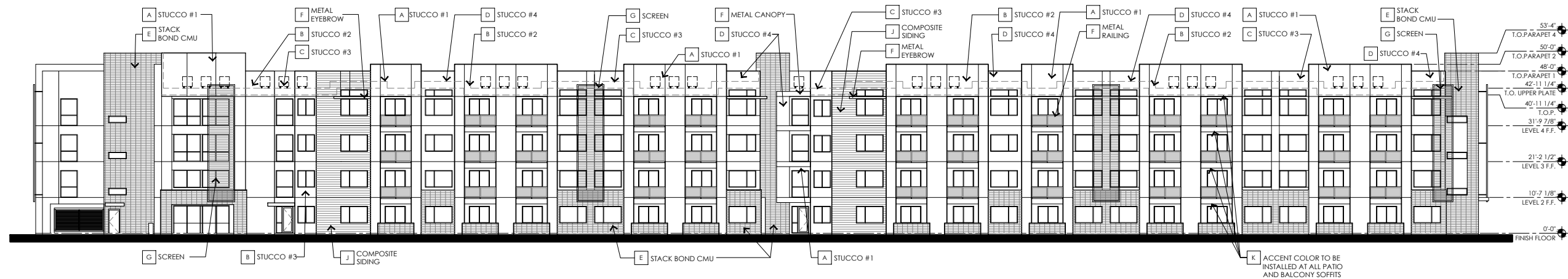
2 NORTH ELEVATION

SCALE: 1/16"=1'-0"



SCALE: 1/16"=1'-0"

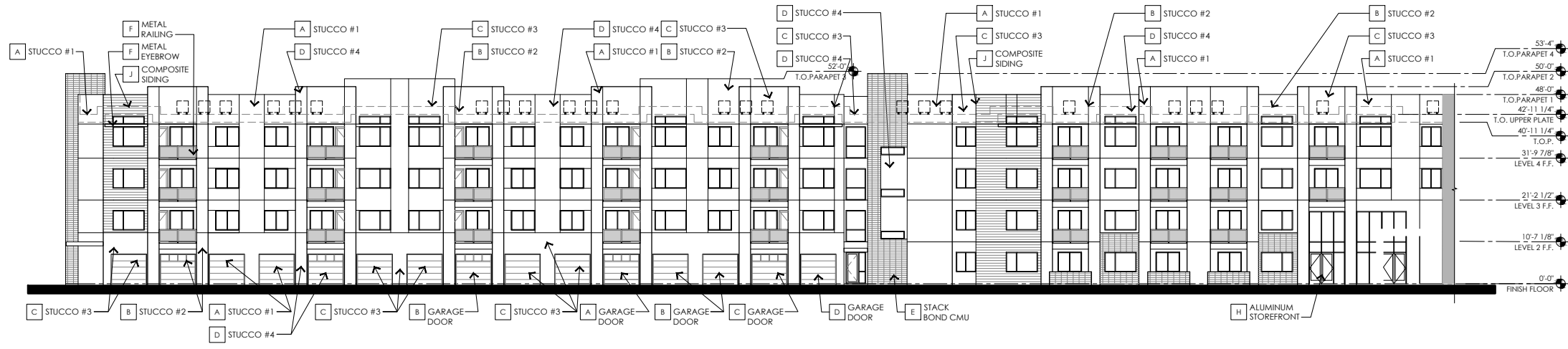




1 SOUTH ELEVATION

SCALE: 1/16"=1'-0"

K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS

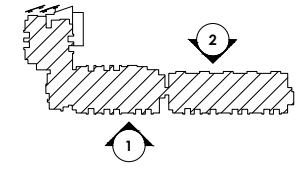


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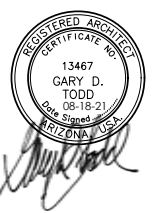
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LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU - STACKED BOND	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"

FLOOR KEYMAP MAP



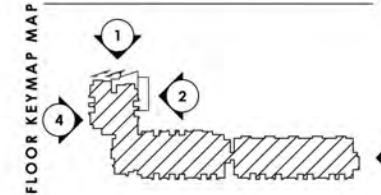
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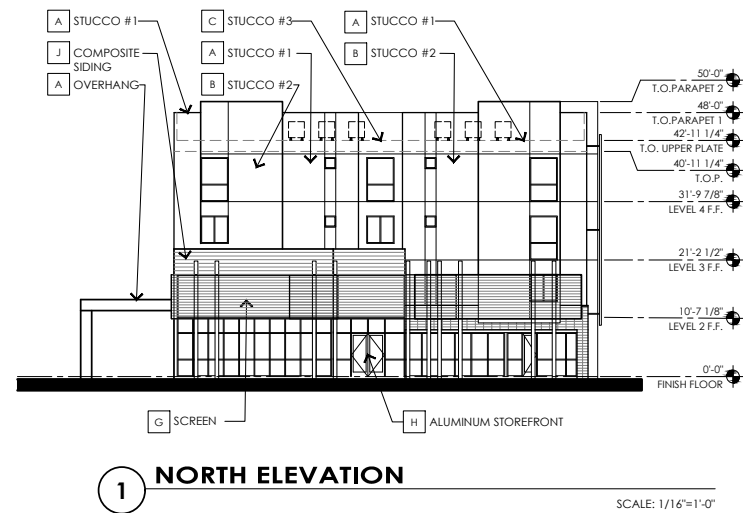
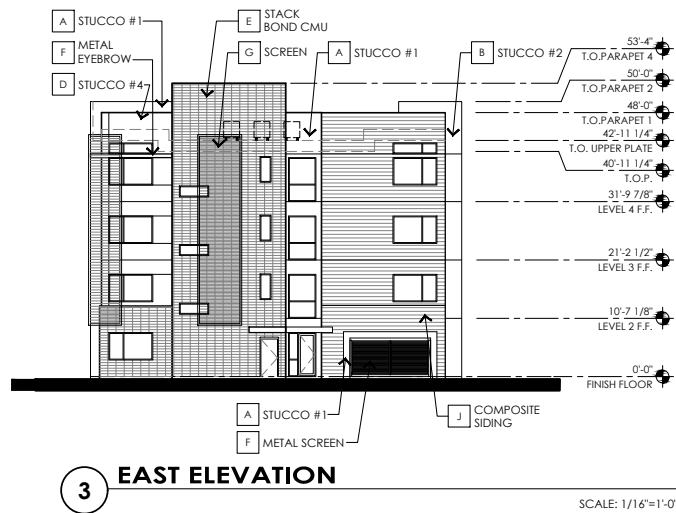
COLOR SCHEDULE

LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"

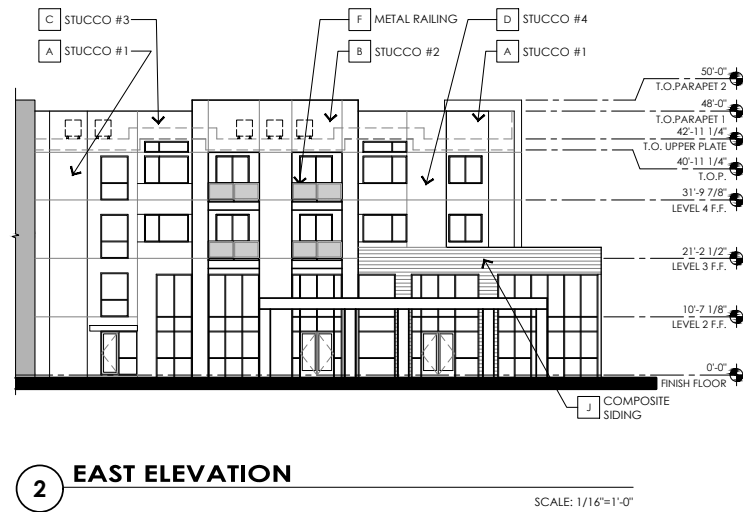
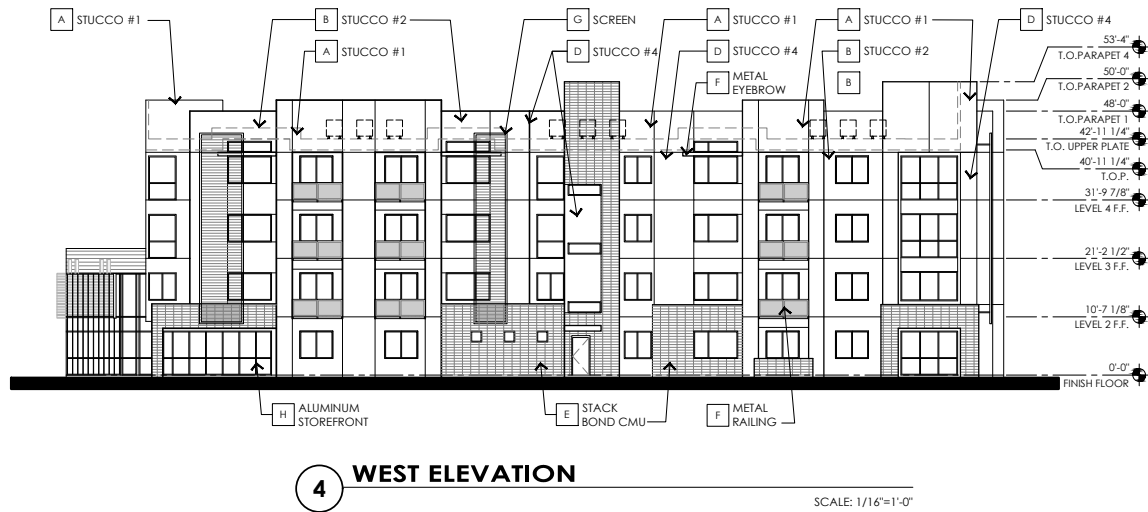


K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS

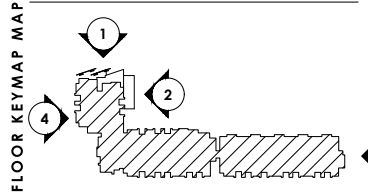




ACCENT COLOR TO BE
INSTALLED AT ALL PATIO
AND BALCONY SOFFITS



LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU - STACKED BOND	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"





1 WEST ELEVATION

SCALE: 1/16"=1'-0"

K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS



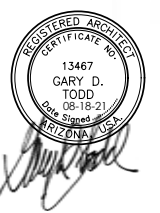
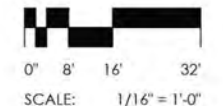
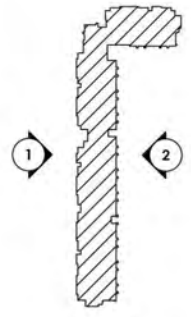
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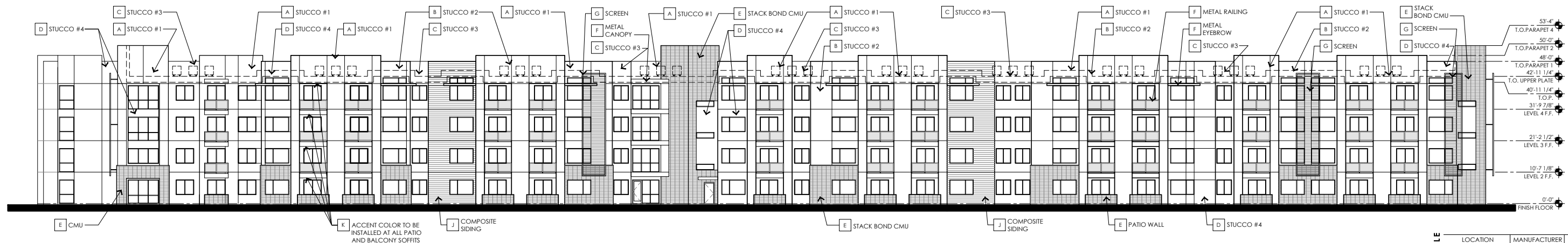
SCALE: 1/16"=1'-0"

COLOR SCHEDULE

LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7426 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU	SUPERLITE	"OPAL" 8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT	SHERWIN WILLIAMS	SW "..."

FLOOR KEYMAP MAP

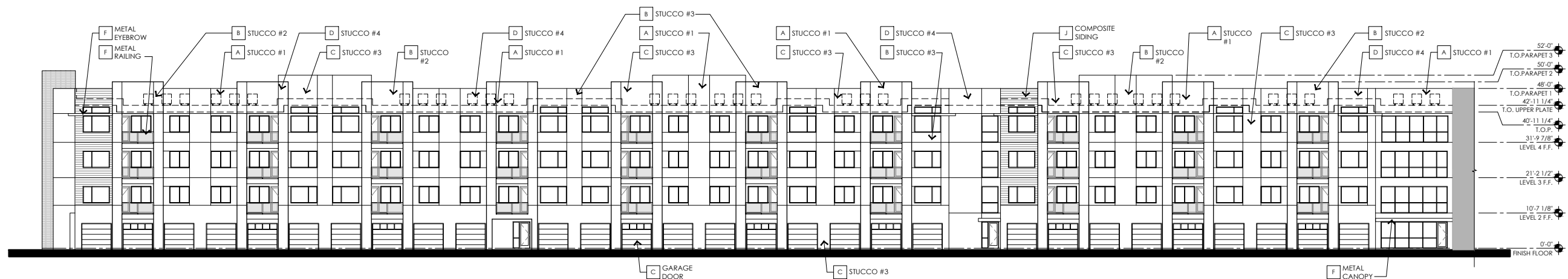




1 WEST ELEVATION

SCALE: 1/16"=1'-0"

K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS

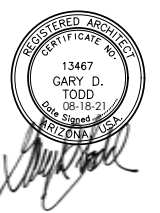
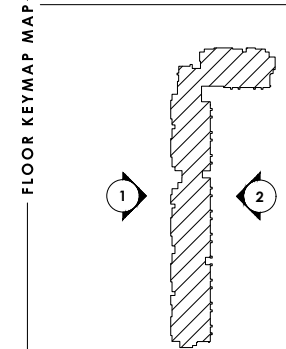


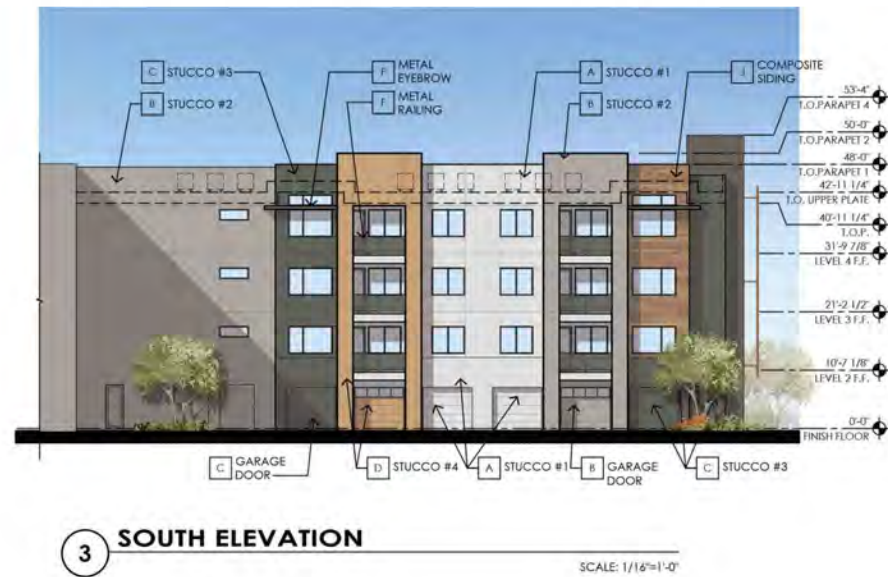
2 EAST ELEVATION

SCALE: 1/16"=1'-0"

COLOR SCHEDULE

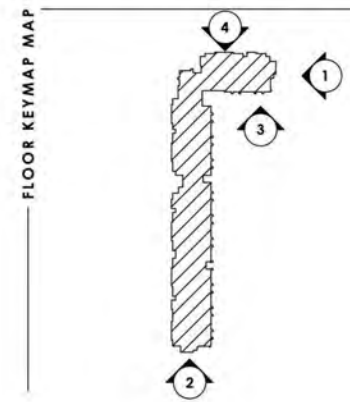
LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU - STACKED BOND	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"



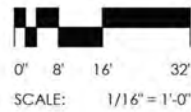


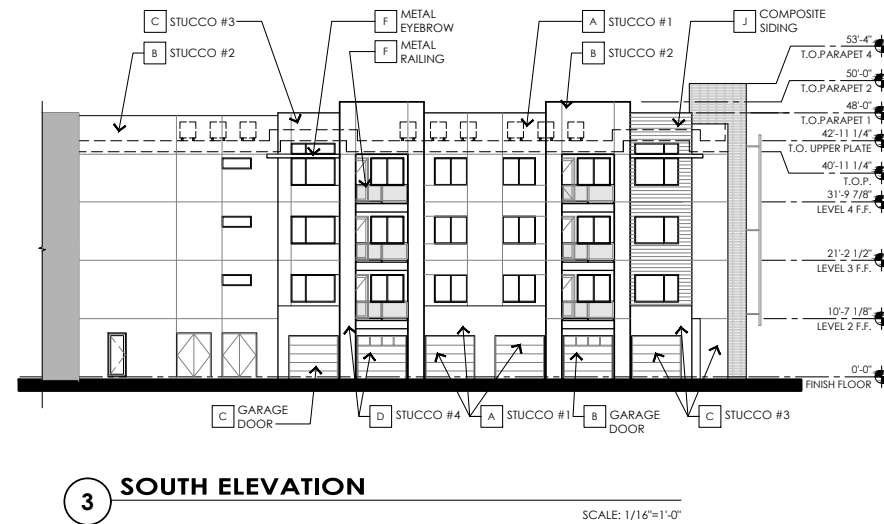
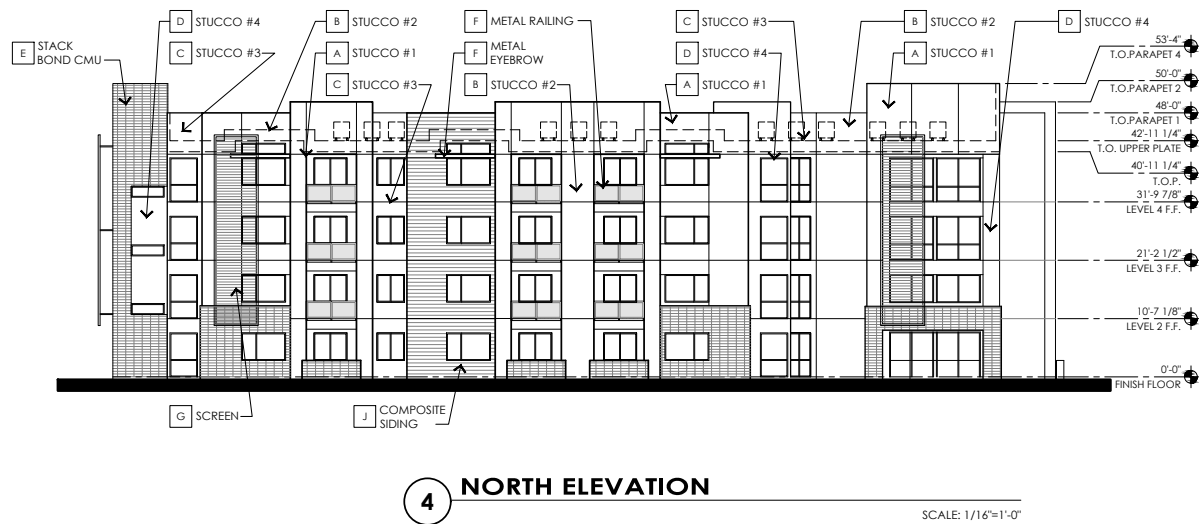
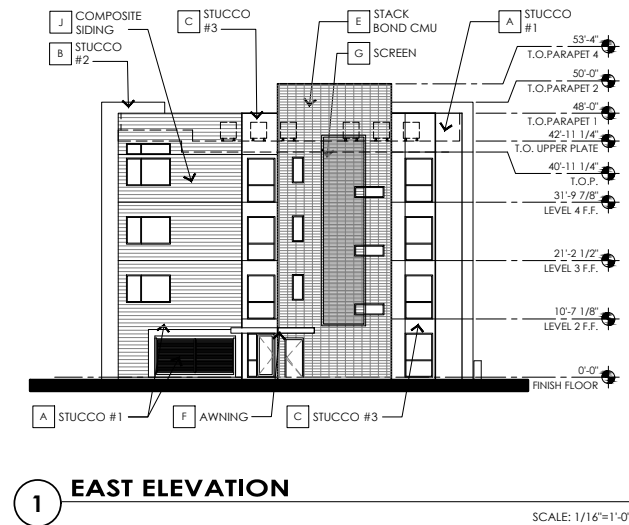
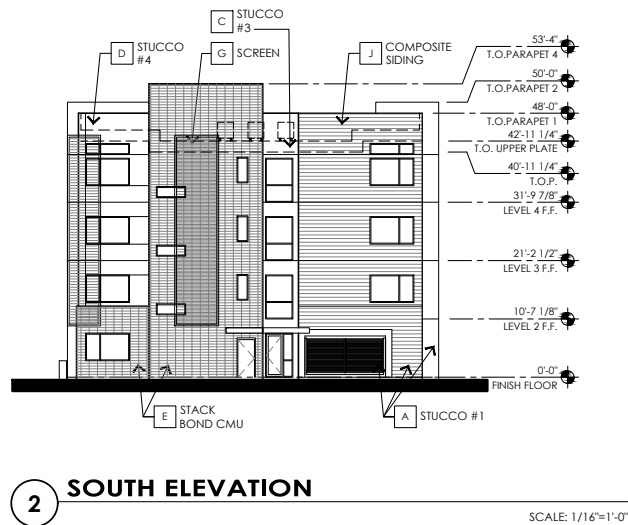
COLOR SCHEDULE

LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 'ZURICH WHITE'
B PAINT 2	SHERWIN WILLIAMS	SW 7045 'INTELLECTUAL GRAY'
C PAINT 3	SHERWIN WILLIAMS	SW 7048 'URBANE BRONZE'
D PAINT 4	SHERWIN WILLIAMS	SW 6130 'MANNERED GOLD'
E CMU	SUPERLITE	'OPAL' 8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 'URBANE BRONZE'
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT	SHERWIN WILLIAMS	SW —

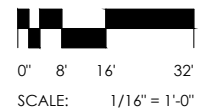
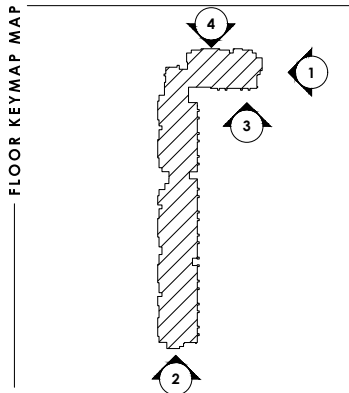


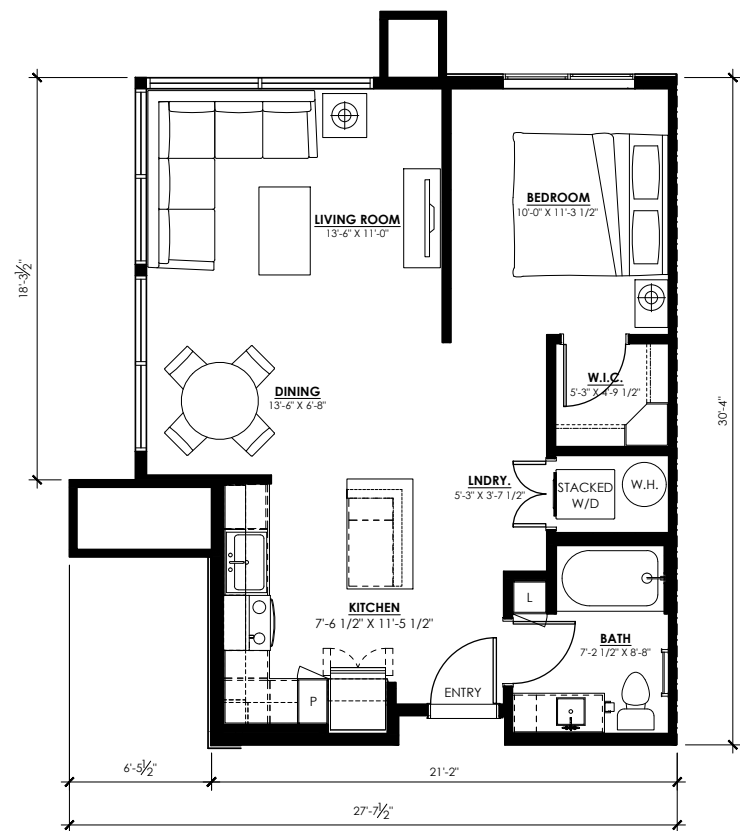
K ACCENT COLOR TO BE INSTALLED AT ALL PATIO AND BALCONY SOFFITS





COLOR SCHEDULE		
LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU - STACKED BOND	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOITTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"

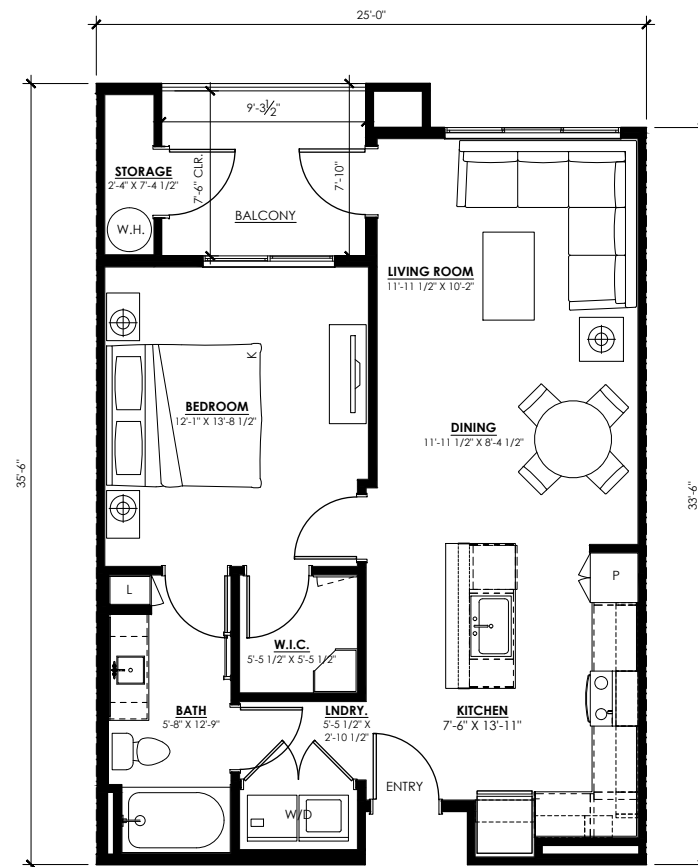




UNIT S2

GROSS LIVABLE	700 SF
BALCONY	0 SF
STORAGE	0 SF
TOTAL	700 SF

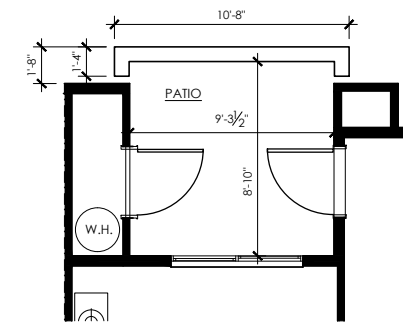
SCALE: 1/4" = 1'-0"



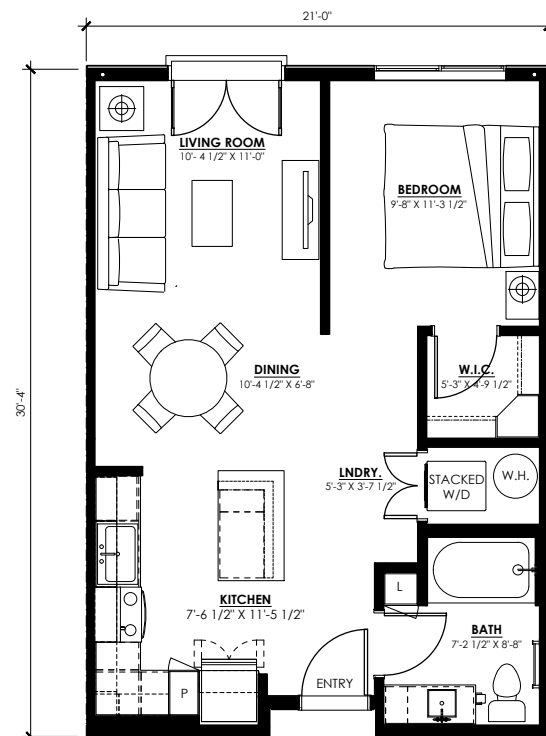
UNIT A2

GROSS LIVABLE	755 SF
BALCONY	73 SF
STORAGE	23 SF
TOTAL	851 SF

SCALE: 1/4" = 1'-0"



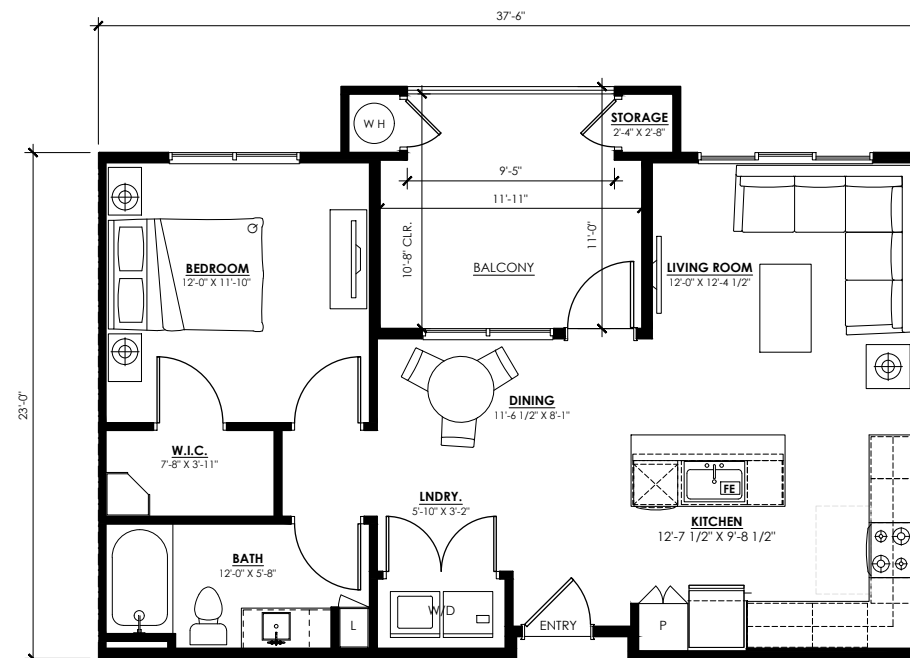
UNIT A2 PATIO



UNIT S1

GROSS LIVABLE	630 SF
BALCONY	0 SF
STORAGE	0 SF
TOTAL	630 SF

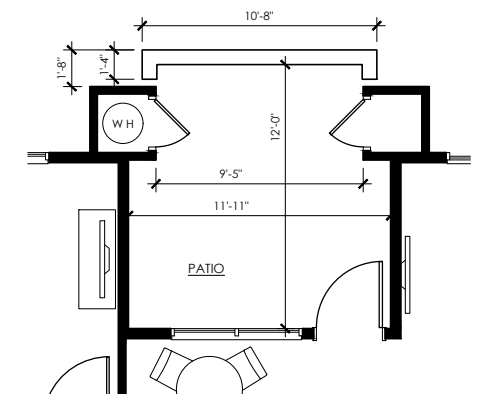
SCALE: 1/4" = 1'-0"



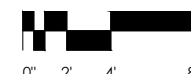
UNIT A1

GROSS LIVABLE	762 SF
BALCONY	123 SF
STORAGE	19 SF
TOTAL	904 SF

SCALE: 1/4" = 1'-0"



UNIT A1 PATIO



SCALE: 1/4" = 1'-0"



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Elevation AZ 87

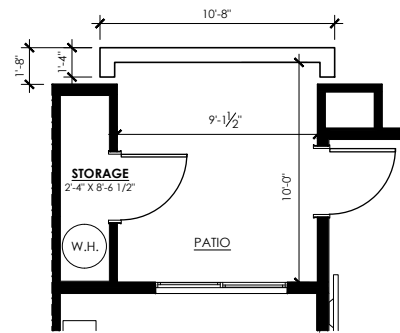
Chandler, Arizona

PAD/PDP SUBMITTAL

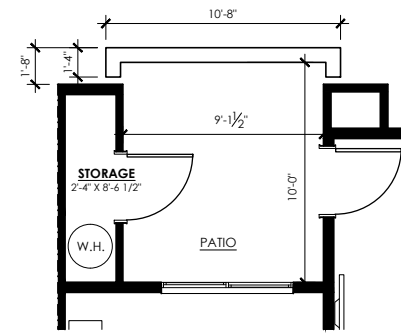
June 29, 2021

LIVING UNITS

A4.2



UNIT B2 PATIO



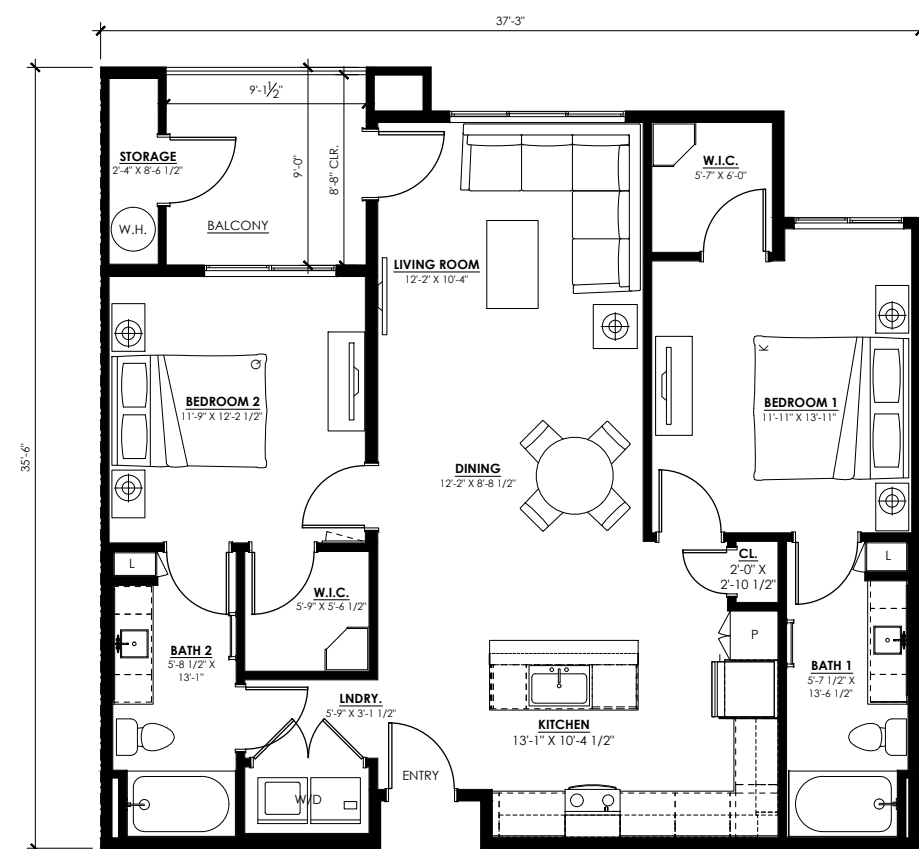
UNIT B1 PATIO



UNIT B2

GROSS LIVABLE	1145 SF
BALCONY	82 SF
STORAGE	27 SF
TOTAL	1254 SF

SCALE: 1/4" = 1'-0"



UNIT B1

GROSS LIVABLE	1123 SF
BALCONY	82 SF
STORAGE	27 SF
TOTAL	1232 SF

SCALE: 1/4" = 1'-0"



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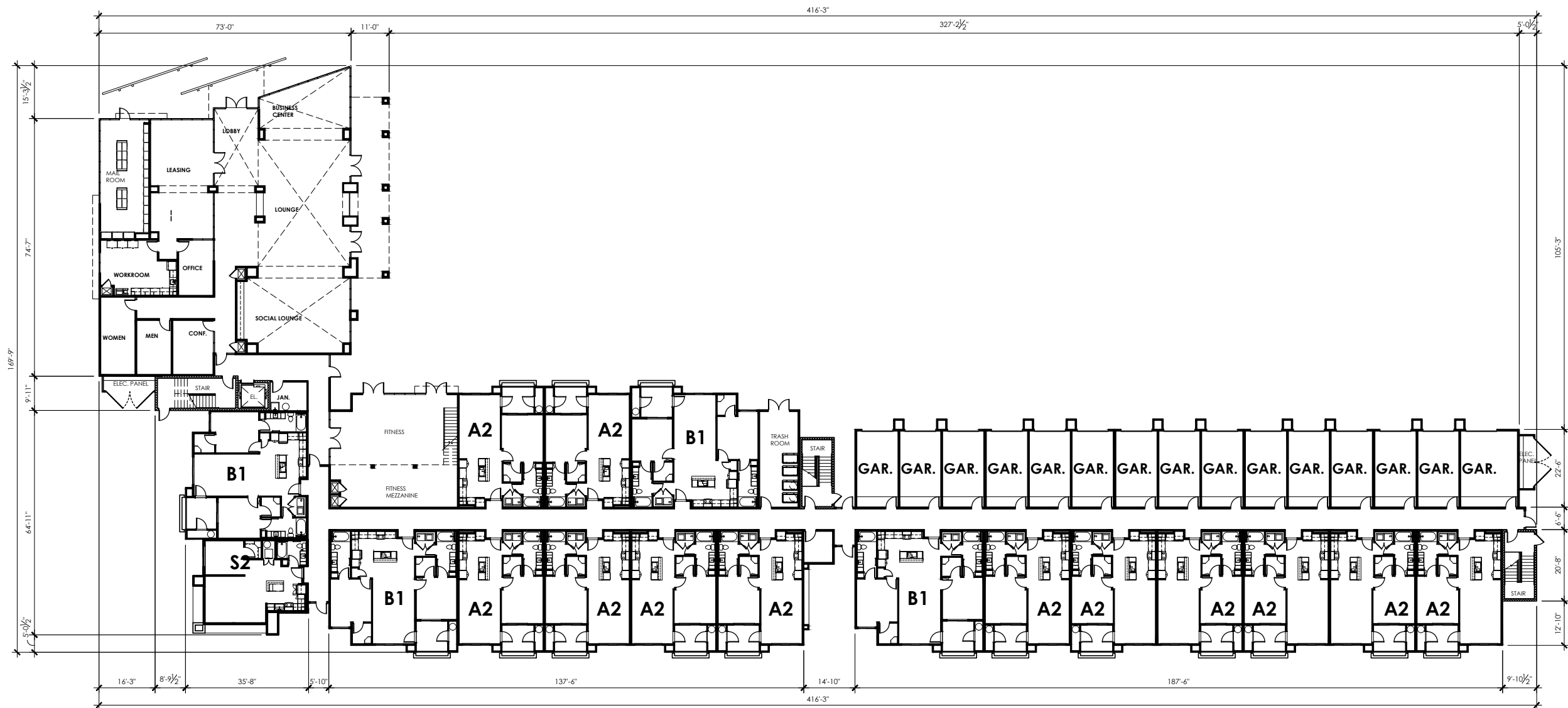
Chandler, Arizona

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LIVING UNITS

A4.3



BUILDING 1 - 1ST FLOOR

4 STORY

SCALE: 1/16"=1'-0"

BUILDING 1 SUMMARY

TOTAL GROSS S.F.:	±121,914 S.F.
UNIT MIX:	
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	15 D.U.
UNIT A2 (1 BED - 1 BATH)	50 D.U.
UNIT B1 (2 BED - 2 BATH)	21 D.U.
UNIT B2 (2 BED - 2 BATH)	5 D.U.
TOTAL	95 D.U.



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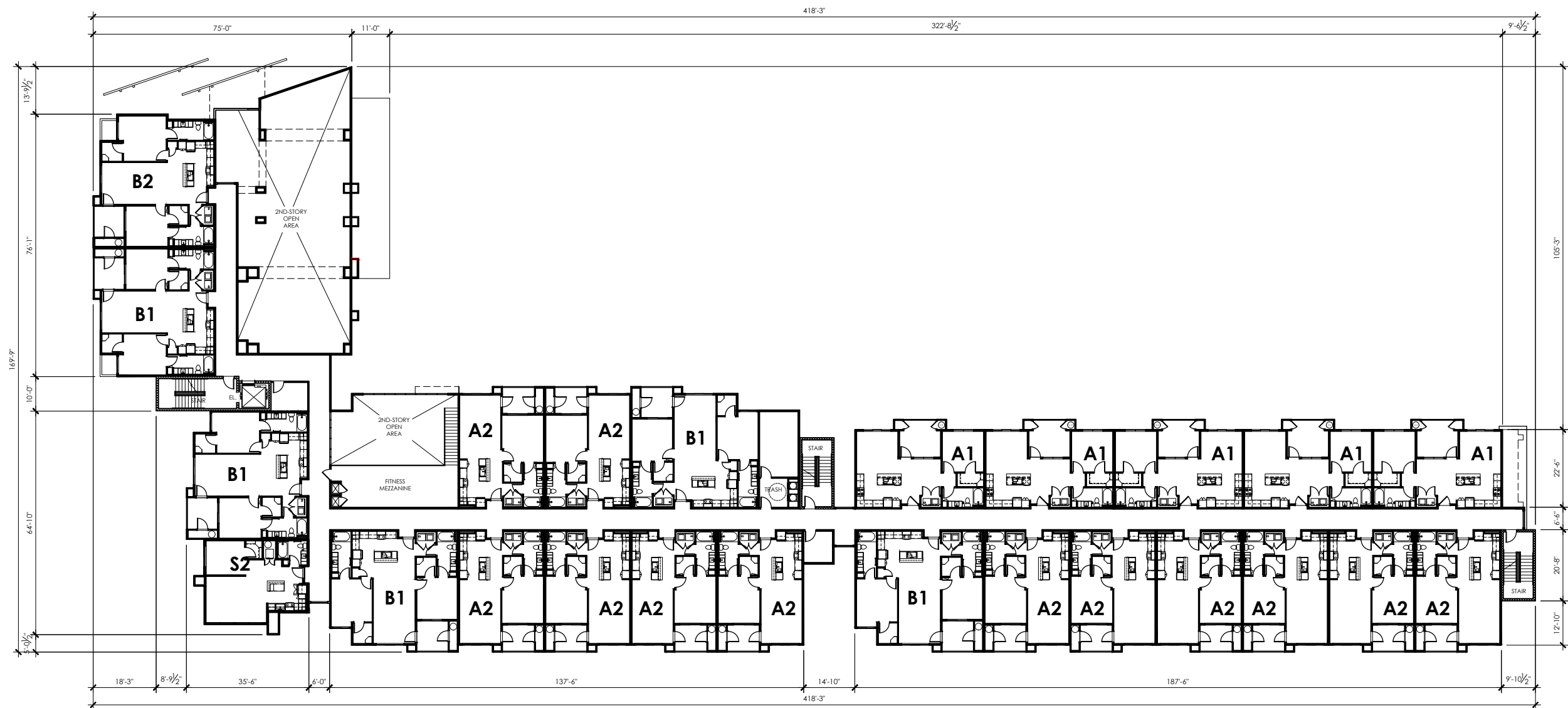
Chandler, Arizona

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BUILDING 1
FIRST FLOOR PLAN

A2.1



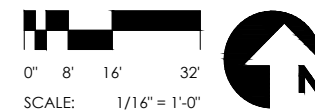
BUILDING 1 - 2ND FLOOR

4 STORY

SCALE: 1/16"=1'-0"

BUILDING 1 SUMMARY

TOTAL GROSS S.F.:	±121,914 S.F.
UNIT MIX:	
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	15 D.U.
UNIT A2 (1 BED - 1 BATH)	50 D.U.
UNIT B1 (2 BED - 2 BATH)	21 D.U.
UNIT B2 (2 BED - 2 BATH)	5 D.U.
TOTAL	95 D.U.



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Elevation AZ 87

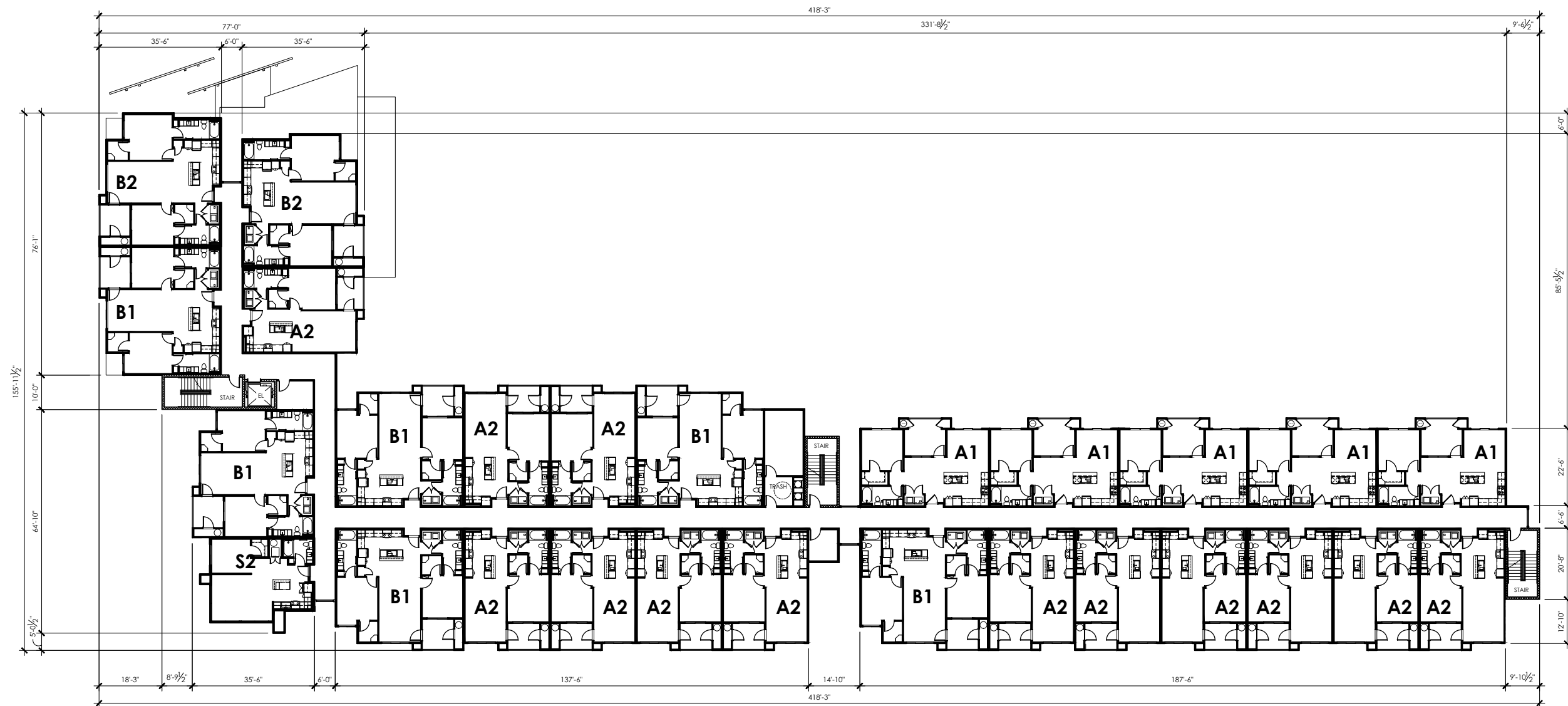
Chandler, Arizona

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BUILDING 1
SECOND FLOOR PLAN

A2.2



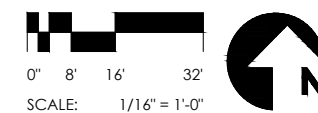
BUILDING 1 - 3RD FLOOR

4 STORY

SCALE: 1/16"=1'-0"

BUILDING 1 SUMMARY

TOTAL GROSS S.F.:	±121,914 S.F.
UNIT MIX:	
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	15 D.U.
UNIT A2 (1 BED - 1 BATH)	50 D.U.
UNIT B1 (2 BED - 2 BATH)	21 D.U.
UNIT B2 (2 BED - 2 BATH)	5 D.U.
TOTAL	95 D.U.



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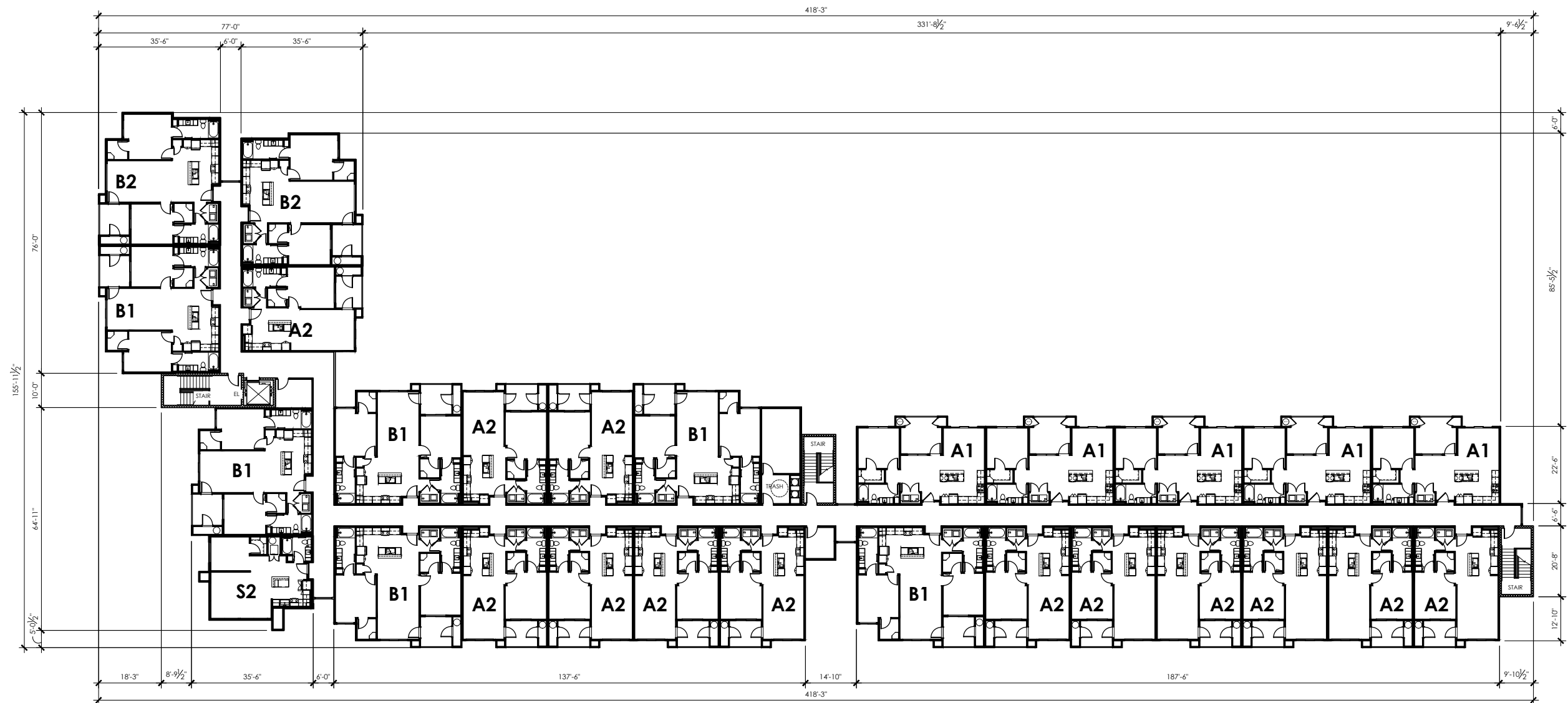
Chandler, Arizona

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BUILDING 1
THIRD FLOOR PLAN

A2.3



BUILDING 1 - 4TH FLOOR

4 STORY

SCALE: 1/16"=1'-0"

BUILDING 1 SUMMARY

TOTAL GROSS S.F.:	±121,914 S.F.
UNIT MIX:	
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	15 D.U.
UNIT A2 (1 BED - 1 BATH)	50 D.U.
UNIT B1 (2 BED - 2 BATH)	21 D.U.
UNIT B2 (2 BED - 2 BATH)	5 D.U.
TOTAL	95 D.U.

0" 8' 16' 32'
SCALE: 1/16" = 1'-0"



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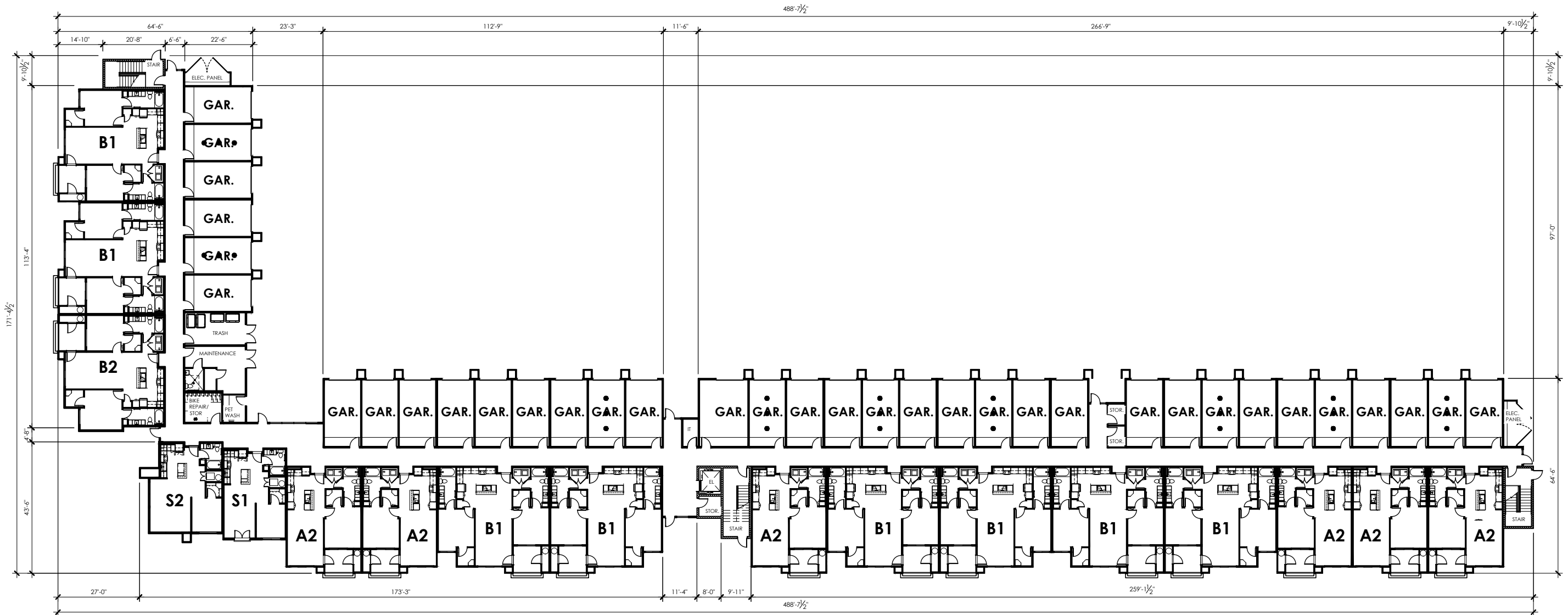
Chandler, Arizona

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BUILDING 1
FOURTH FLOOR PLAN

A2.4



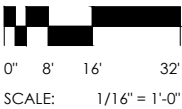
BUILDING 2 - 1ST FLOOR

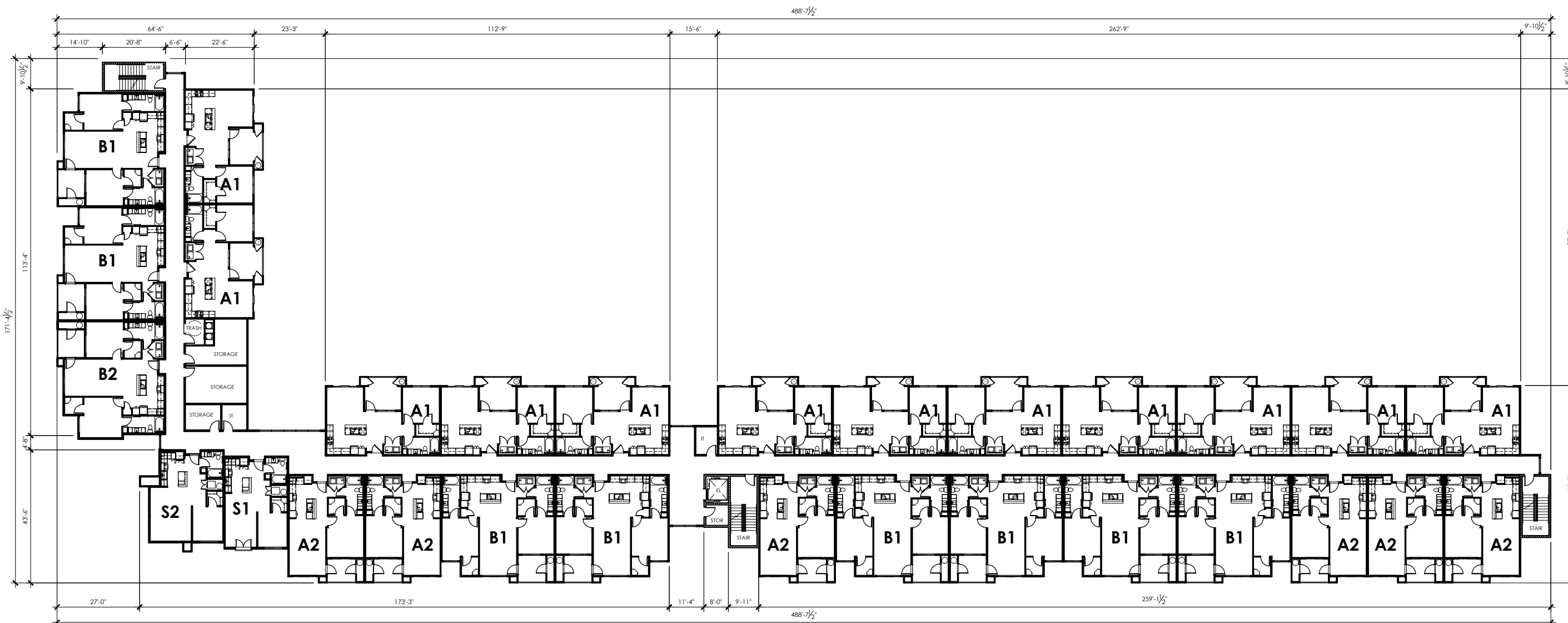
4 STORY

SCALE: 1/16"=1'-0"

BUILDING 2 SUMMARY

TOTAL GROSS S.F.:	±132,202 S.F.
UNIT MIX:	
UNIT S1 (1 BED - 1 BATH)	4 D.U.
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	36 D.U.
UNIT A2 (1 BED - 1 BATH)	24 D.U.
UNIT B1 (2 BED - 2 BATH)	32 D.U.
UNIT B2 (2 BED - 2 BATH)	4 D.U.
TOTAL	104 D.U.





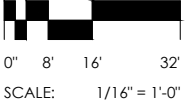
BUILDING 2 - 2ND FLOOR

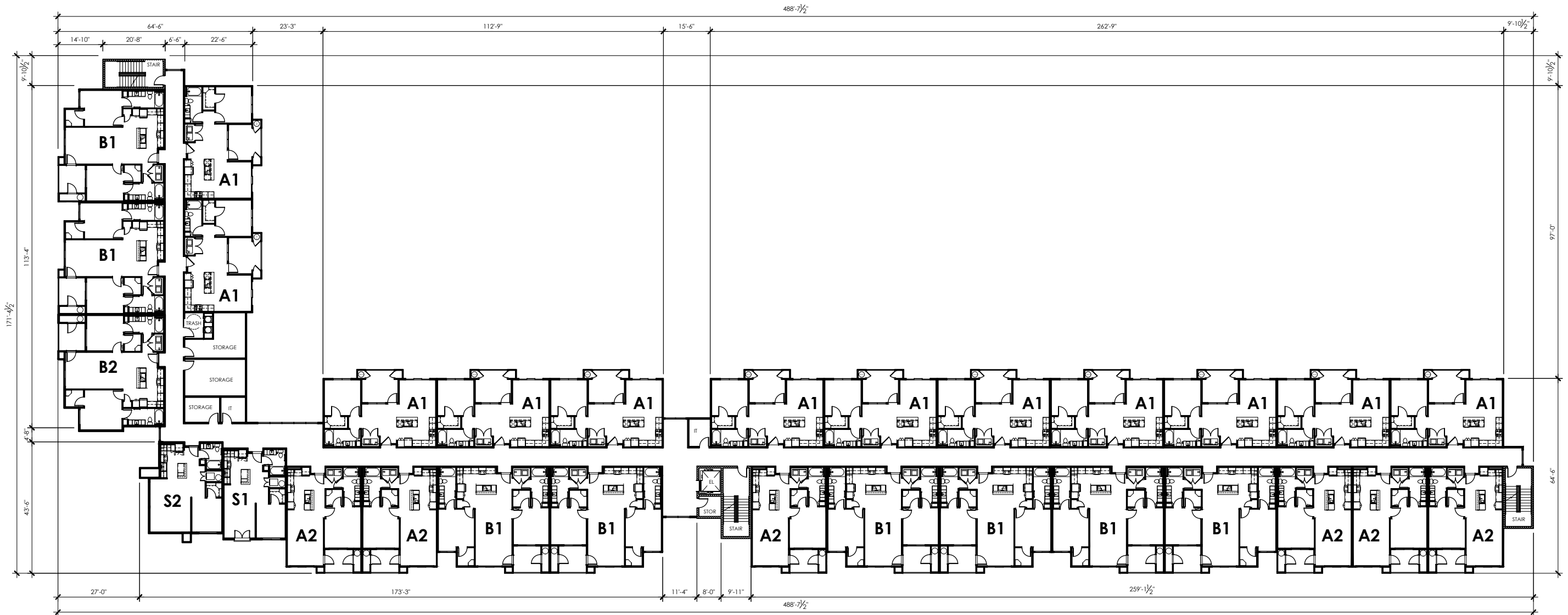
4 STORY

SCALE: 1/16"=1'-0"

BUILDING 2 SUMMARY

TOTAL GROSS S.F.:	±132,202 S.F.
UNIT MIX:	
UNIT S1 (1 BED - 1 BATH)	4 D.U.
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	36 D.U.
UNIT A2 (1 BED - 1 BATH)	24 D.U.
UNIT B1 (2 BED - 2 BATH)	32 D.U.
UNIT B2 (2 BED - 2 BATH)	4 D.U.
TOTAL	104 D.U.





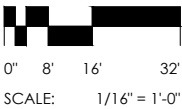
BUILDING 2 - 3RD FLOOR

4 STORY

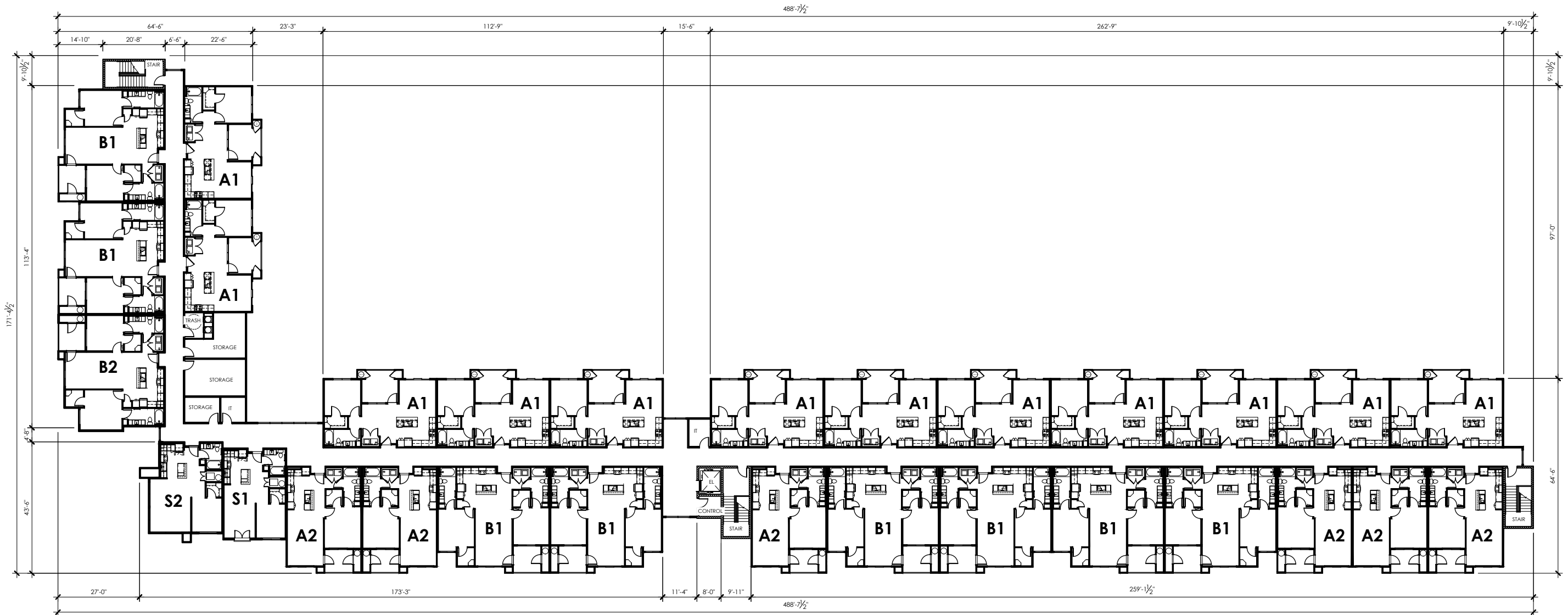
SCALE: 1/8"=1'-0"

BUILDING 2 SUMMARY

TOTAL GROSS S.F.:	±132,202 S.F.
UNIT MIX:	
UNIT S1 (1 BED - 1 BATH)	4 D.U.
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	36 D.U.
UNIT A2 (1 BED - 1 BATH)	24 D.U.
UNIT B1 (2 BED - 2 BATH)	32 D.U.
UNIT B2 (2 BED - 2 BATH)	4 D.U.
TOTAL	104 D.U.



[Signature]



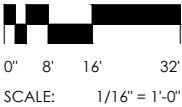
BUILDING 2 - 4TH FLOOR

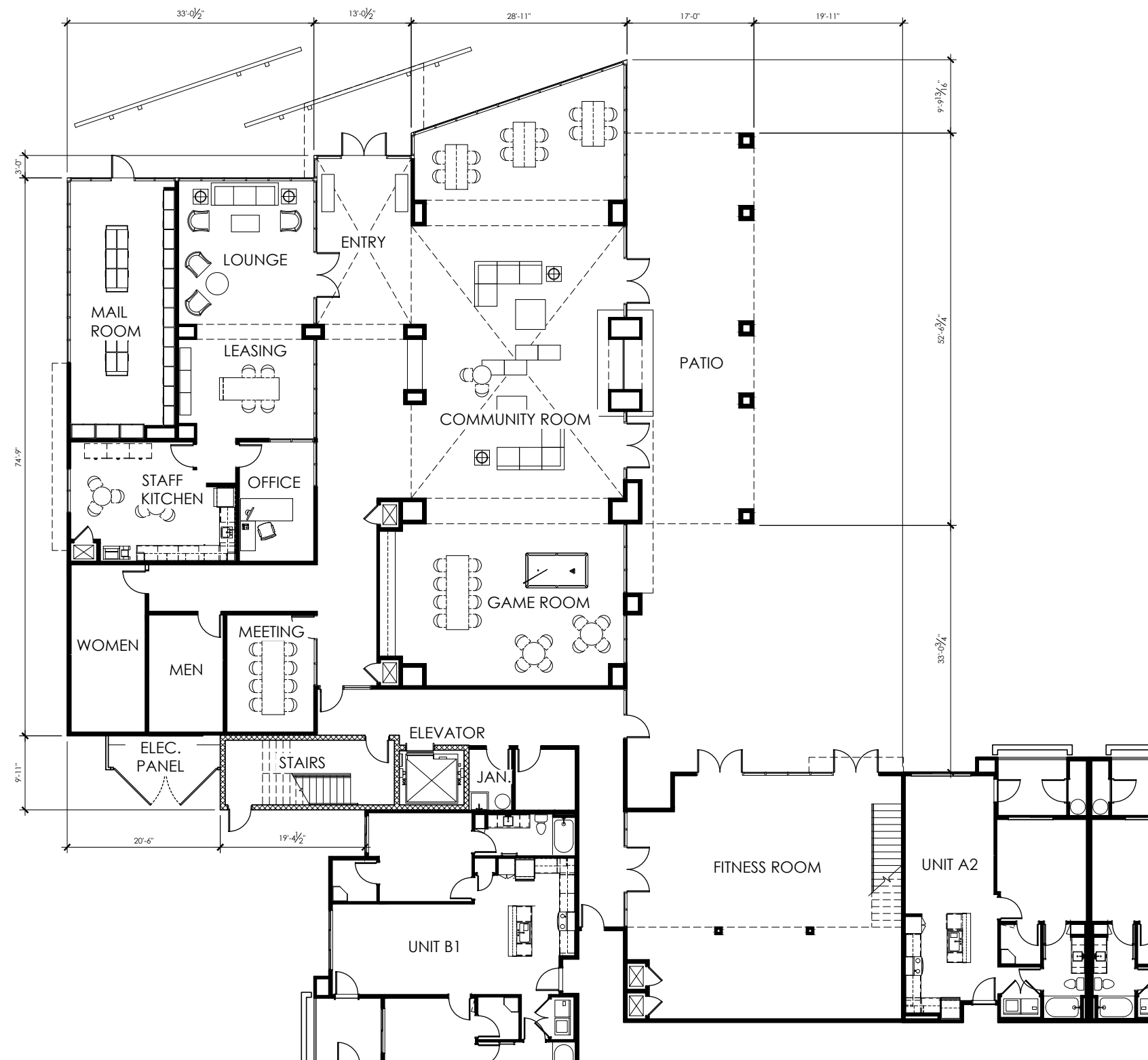
4 STORY

SCALE: 1/16"=1'-0"

BUILDING 2 SUMMARY

TOTAL GROSS S.F.:	±132,202 S.F.
UNIT MIX:	
UNIT S1 (1 BED - 1 BATH)	4 D.U.
UNIT S2 (1 BED - 1 BATH)	4 D.U.
UNIT A1 (1 BED - 1 BATH)	36 D.U.
UNIT A2 (1 BED - 1 BATH)	24 D.U.
UNIT B1 (2 BED - 2 BATH)	32 D.U.
UNIT B2 (2 BED - 2 BATH)	4 D.U.
TOTAL	104 D.U.





BUILDING 1 - CLUBHOUSE

4 STORY

SCALE: 1/8" = 1'-0"



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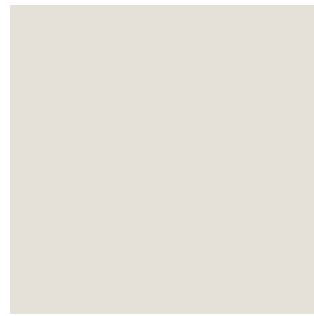
Chandler, Arizona

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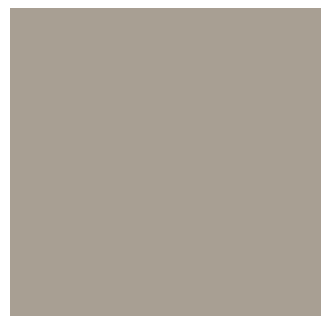
COMMUNITY CLUBHOUSE
& LEASING

A4.1



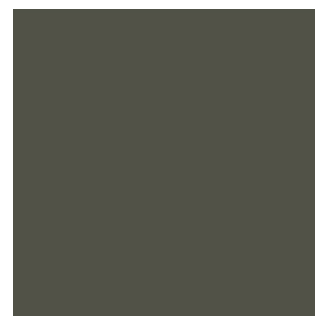
A PAINT #1

COLOR: SW 7626 ZURICH WHITE
MFG: SHERWIN WILLIAMS



B PAINT #2

COLOR: SW 7045 INTELLECTUAL GRAY
MFG: SHERWIN WILLIAMS



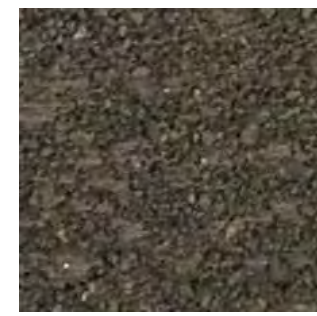
C PAINT #3

COLOR: SW 7048 URBANE BRONZE
MFG: SHERWIN WILLIAMS



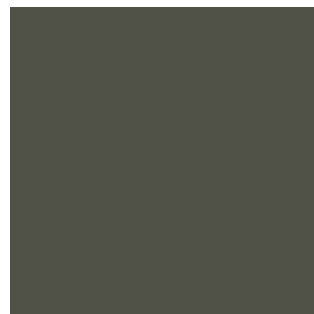
D PAINT #4

COLOR: SW 6130 MANNERED GOLD
MFG: SHERWIN WILLIAMS



E CMU 8X8X16

INTEGRATED COLOR: OPAL
MFG: SUPERLITE



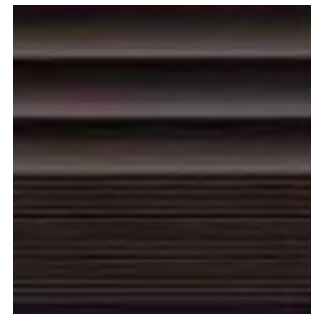
F METAL RAILINGS, AWNINGS & CANOPIES

COLOR: SW 7048 URBANE BRONZE
MFG: SHERWIN WILLIAMS



G COMPOSITE SCREEN

COLOR: DARK KNOTTY PINE
MFG: ALUMABOARD



H WINDOW FRAME

COLOR: DARK BRONZE
MFG: ARCADIA



J COMPOSITE SIDING

COLOR: OLD CHERRY
MFG: WOODTONE



K ACCENT PAINT / SOFFIT

COLOR: SW 6840 "EXUBERANT PINK"
MFG: SHERWIN WILLIAMS



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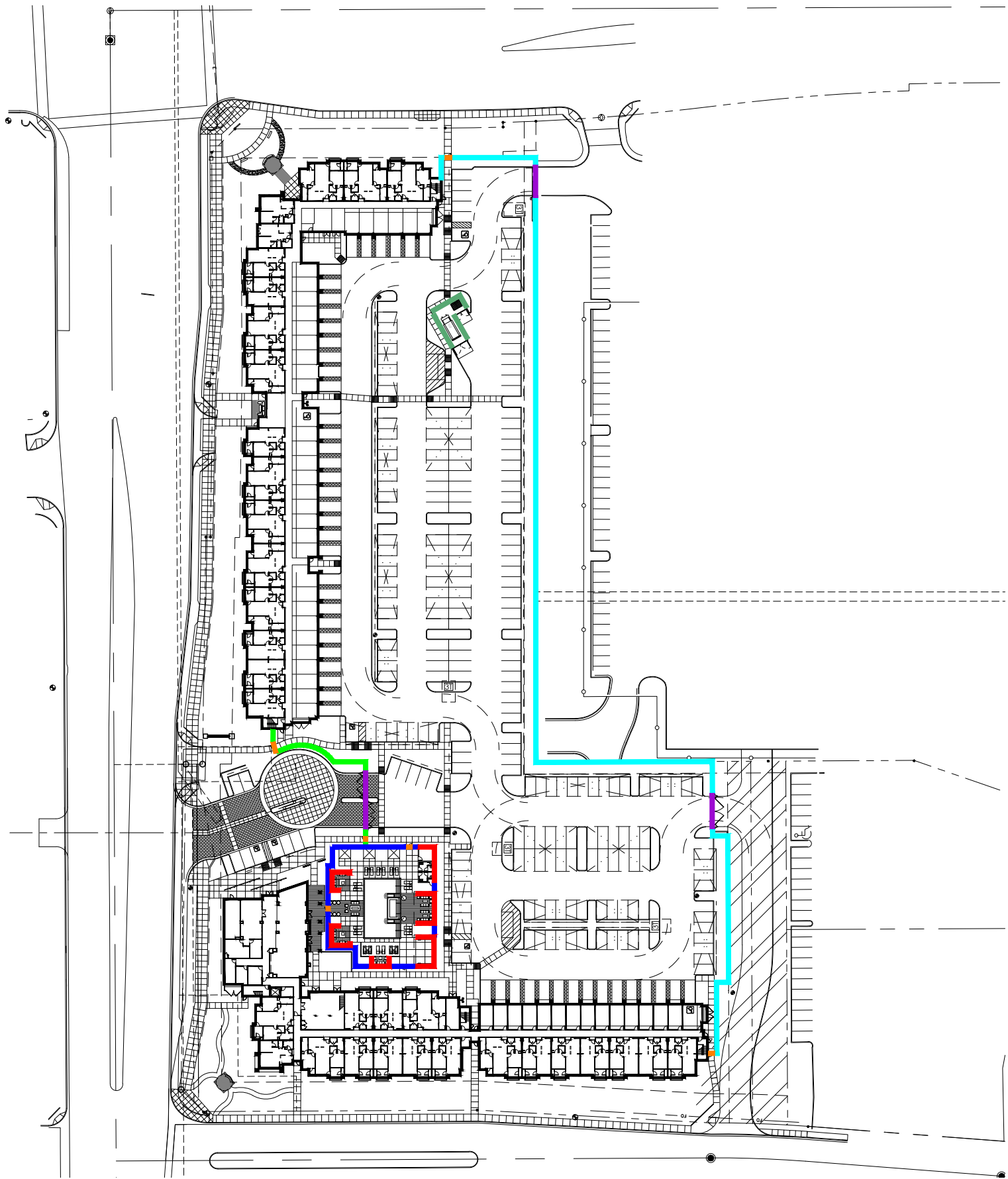
Chandler, Arizona

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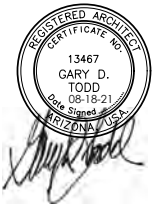
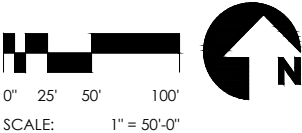
June 29, 2021

MATERIAL BOARD

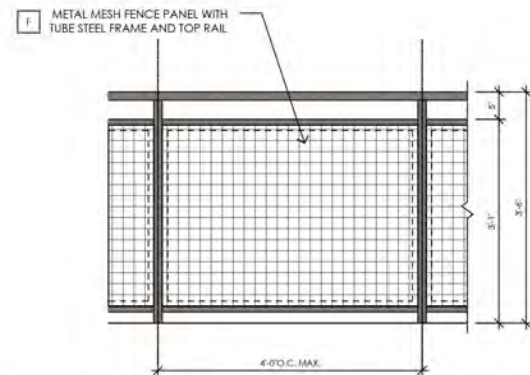
A5.1



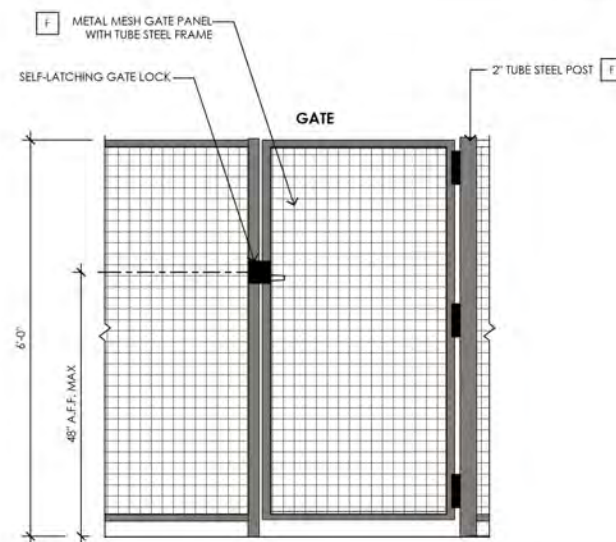
- LEGEND**
- WALLS**
- ① 6'-0" METAL VIEW FENCE WITH CMU COLUMNS.
SEE DETAIL #3 ON SHEET A6.02
 - ② 6'-0" PAINTED CMU WALL WITH COLUMNS.
SEE DETAIL #4 ON SHEET A6.02
 - ③ DECORATIVE CMU WALL, HEIGHT AND FINISH MAY VARY.
 - ④ PEDESTRIAN GATE.
SEE DETAIL #7 ON SHEET A6.02
 - ⑤ 5'-0" METAL POOL FENCE, SIM.
SEE DETAIL #3 ON SHEET A6.02
 - ⑥ VEHICULAR GATE.
SEE DETAILS #1 & #2 ON SHEET A6.02
 - ⑦ COMPACTOR 9'-0 CMU WALL
SEE DETAIL #2 (SIM.) ON SHEET A6.01



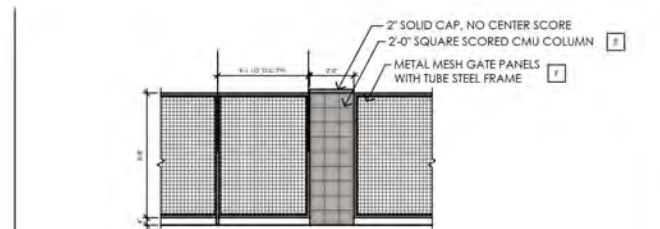
LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU - STACKED BOND	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"



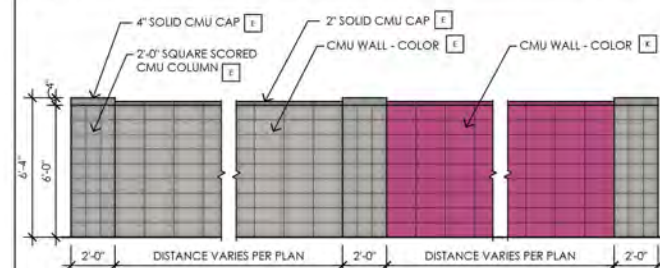
6 BALCONY FENCE
SCALE: 3/4" = 1'-0"



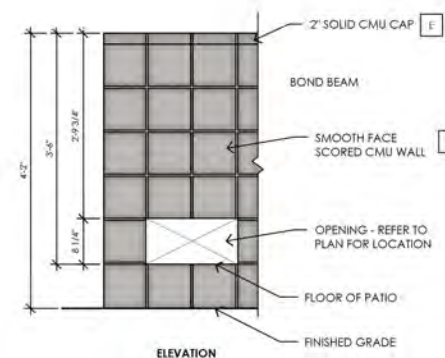
7 PEDESTRIAN GATE
SCALE: 3/4" = 1'-0"



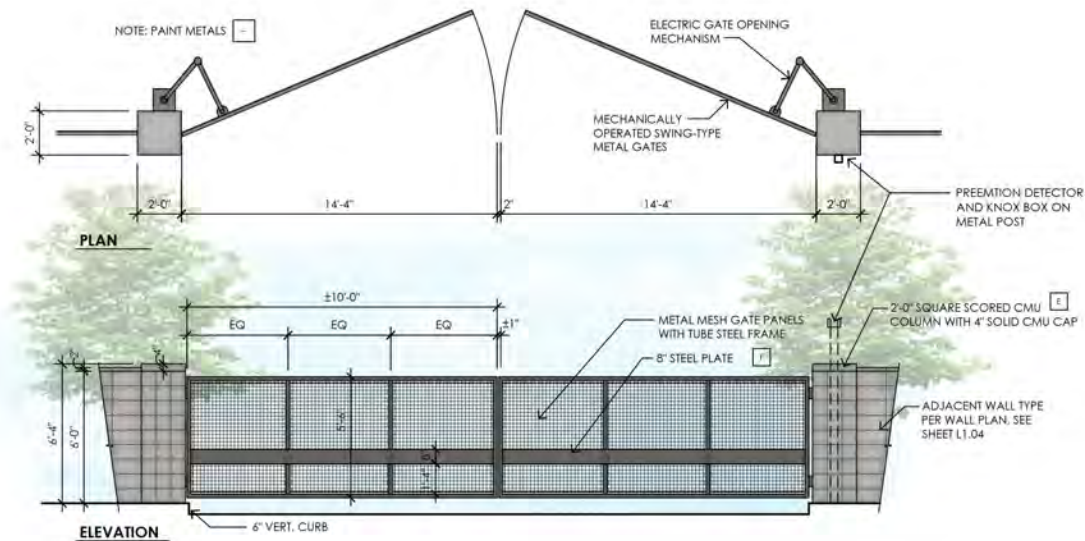
3 PERIMETER VIEW FENCE
SCALE: 1/4" = 1'-0"



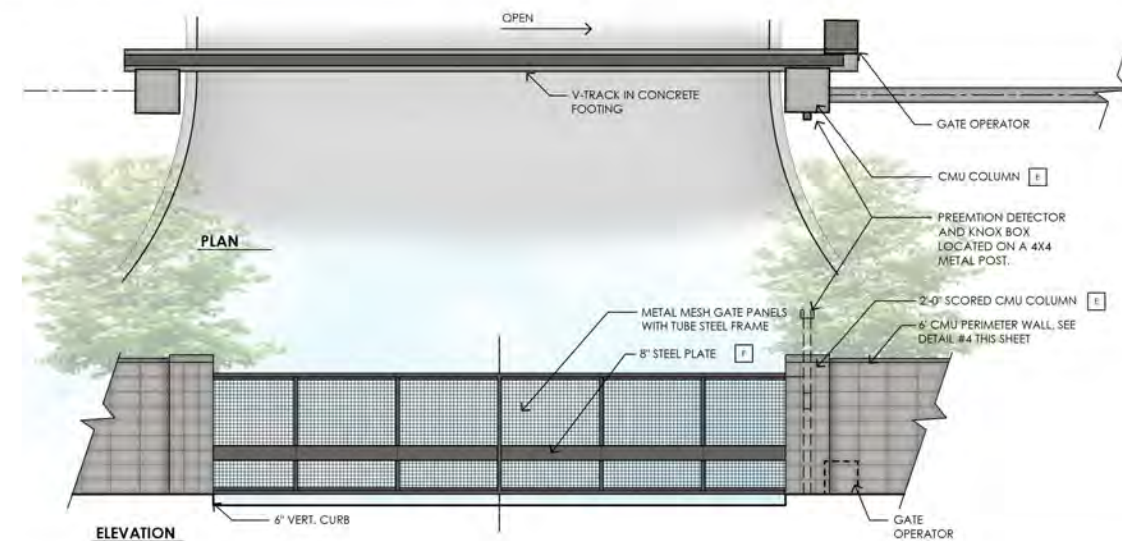
4 CMU PERIMETER WALL
SCALE: 1/4" = 1'-0"



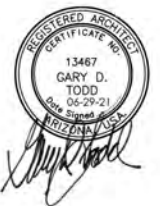
5 PATIO WALL
SCALE: 3/4" = 1'-0"



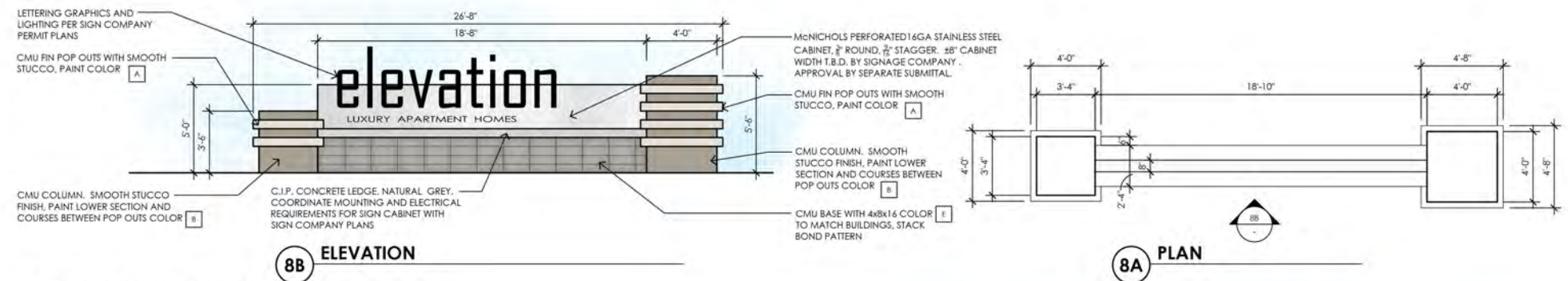
1 VEHICULAR SWING GATES
SCALE: 1/4" = 1'-0"



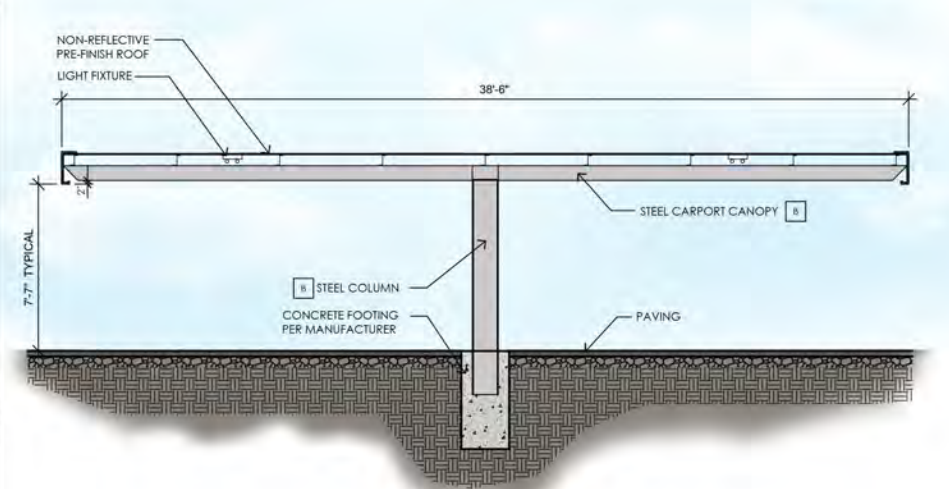
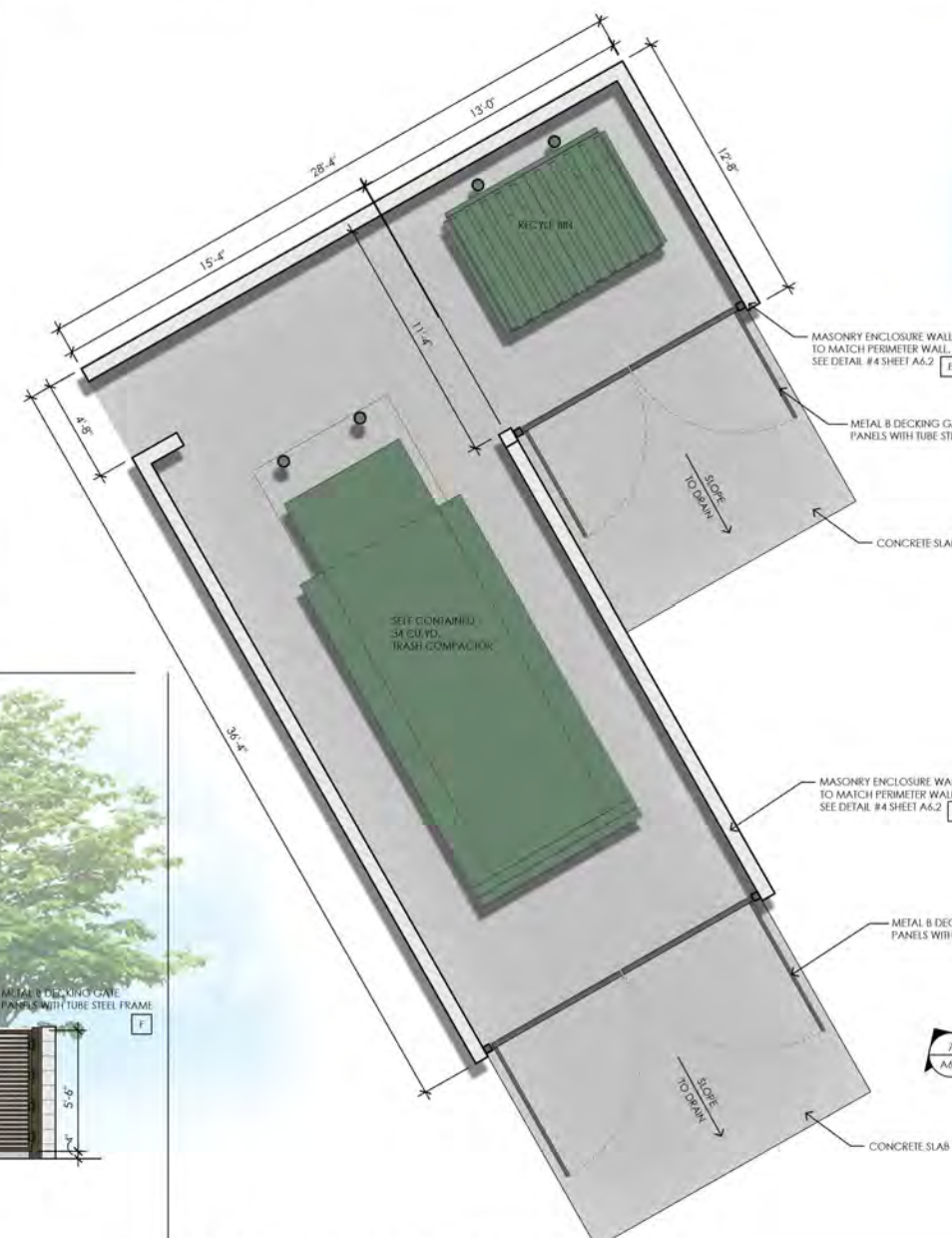
2 VEHICULAR SLIDING GATES
SCALE: 1/4" = 1'-0"



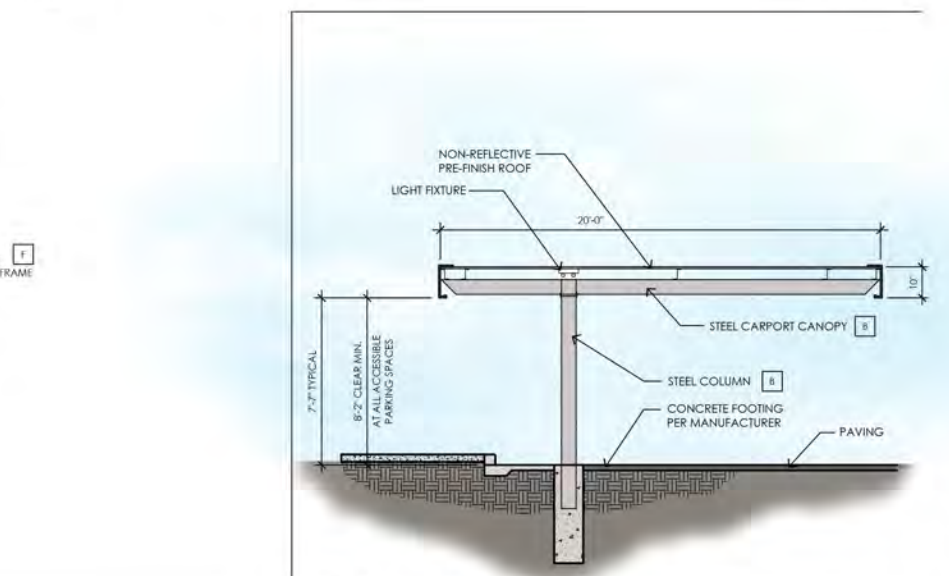
LOCATION	MANUFACTURER	COLOR
A PAINT 1	SHERWIN WILLIAMS	SW 7626 "ZURICH WHITE"
B PAINT 2	SHERWIN WILLIAMS	SW 7045 "INTELLECTUAL GRAY"
C PAINT 3	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
D PAINT 4	SHERWIN WILLIAMS	SW 6130 "MANNERED GOLD"
E CMU	SUPERLITE	"OPAL" 8x8x16
F METAL RAILING, AWNINGS & CANOPIES	SHERWIN WILLIAMS	SW 7048 "URBANE BRONZE"
G COMPOSITE SCREEN	ALUMABOARD	DARK KNOTTY PINE
H ALUMINUM STOREFRONT	ARCADIA	DARK BRONZE
J COMPOSITE SIDING	WOODTONE	OLD CHERRY
K PAINT ACCENT SOFFIT	SHERWIN WILLIAMS	SW 6840 "EXUBERANT PINK"



8 ENTRY MONUMENT SIGN
ALL SIGNS SHALL BE UNDER A SEPERATE PERMIT



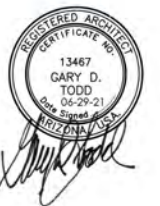
1 DOUBLE COVERED PARKING



2 PARKING CANOPY



7 FRONT ELEVATION



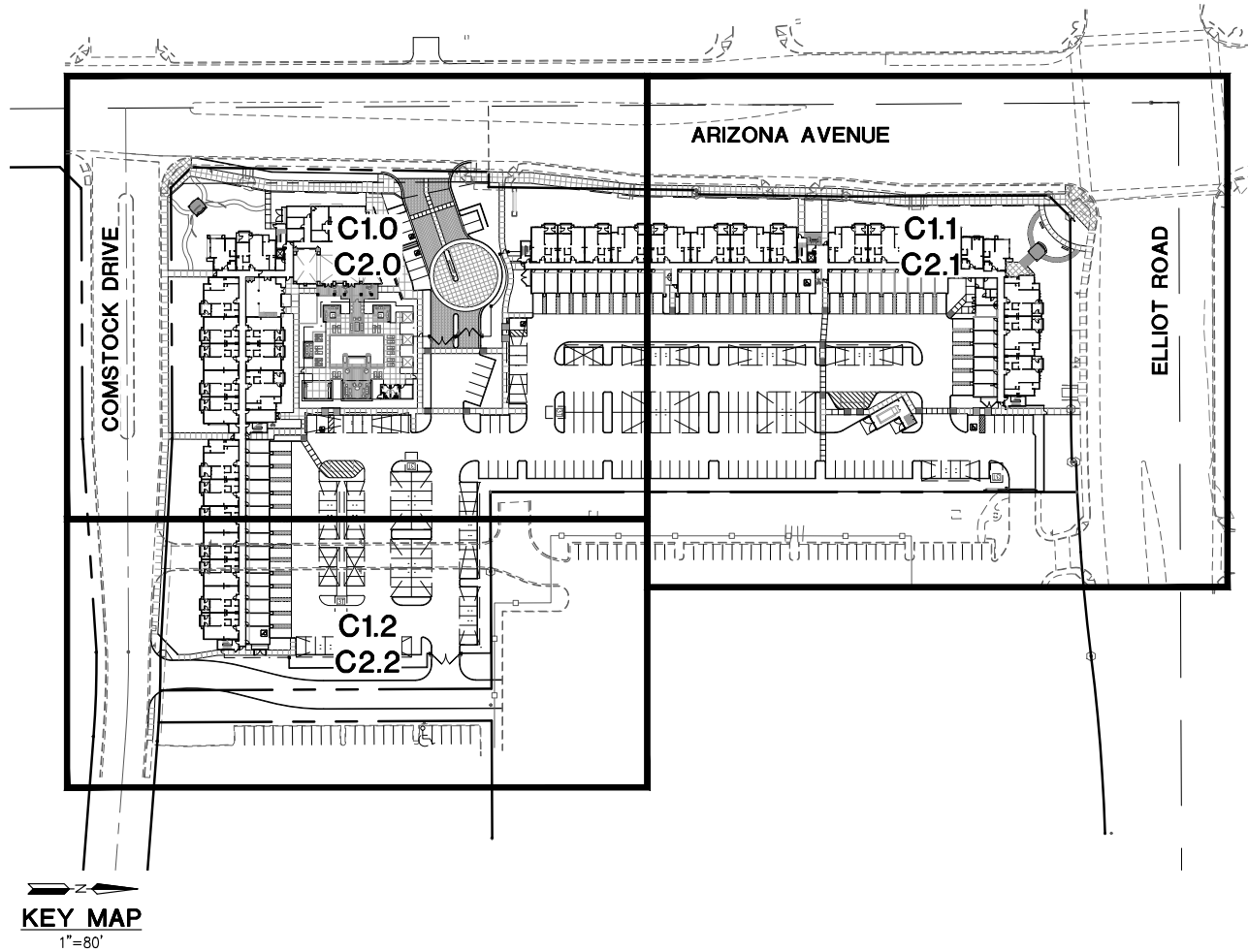
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- LEGEND**
- PROPERTY LINE
 - CENTER LINE
 - EASEMENT LINE
 - OUTFALL ARROW
 - PROPOSED PAVEMENT GRADE BREAK
 - PROPOSED DRYWELL
 - PROPOSED LOOSE RIP-RAP
 - PROPOSED STORM DRAIN PIPE
 - CATCH BASIN
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - EX. WATERLINE
 - EX. SEWERLINE
 - EX. GASLINE
 - EX. ELECTRIC LINE
 - TRIBUTARY AREA
 - ELECTRIC MANHOLE
 - ELECTRIC VAULT
 - ELECTRIC PULL BOX
 - LIGHT POLE W/ARM
 - LIGHT POLE
 - SIGN
 - TELEPHONE PULL BOX
 - FIBER OPTIC PULL BOX
 - FIBER OPTIC VAULT
 - CABLE TV PULL BOX
 - STORM DRAIN MANHOLE
 - IRRIGATION CONTROL VALVE
 - WATER VALVE
 - WATER STUB OUT
 - SANITARY SEWER MANHOLE
 - PALO VERDE TREE
 - TREE (UNKNOWN TYPE)
 - PROPOSED FLOW ARROW
 - TC= TOP OF CURB
 - C= CONCRETE
 - P= PAVEMENT
 - G= GUTTER
 - GR= GRATE
 - RIM= RIM
 - FF= FINISHED FLOOR
 - HW= HIGH WATER ELEVATION
 - BOT= BOTTOM
 - Vp= VOLUME PROVIDED
 - PUE= PUBLIC UTILITY EASEMENT
 - CL= CENTER LINE
 - PL= PROPERTY LINE
 - ROW= RIGHT OF WAY
 - DW= DOMESTIC WATER
 - FL= FIRE LINE
 - SD= STORM DRAIN
 - DIP= DUCTILE IRON PIPE
 - ACP= ASBESTOS CLAY PIPE
 - VCP= VITRIFIED CLAY PIPE
 - CIPP= CURED IN PLACE PIPE

PRELIMINARY IMPROVEMENT PLANS

ELEVATION AZ 87 SEC ARIZONA AVENUE & ELLIOT ROAD CHANDLER, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



DRAINAGE CALCULATIONS

PRELIMINARY RETENTION CALCULATIONS TABLE

Project: ELEVATION AZ 87
Prepared by: HW
Date: Mar. 2021



Volume Required = $C \cdot (P/12) \cdot A$ Where: A= Plan-view area of an individual drainage area

Cw=Weighted Runoff Coefficient (100-Yr)
P=2.18 in (100-Yr, 2-Hr)

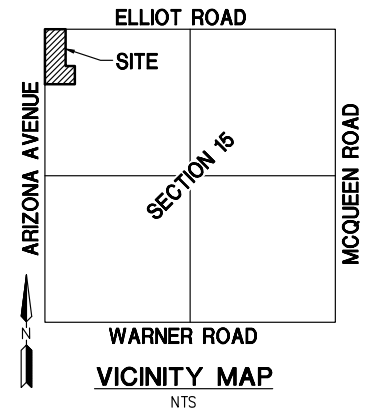
Drainage Area(s)	Area [ft ²]	Area [ac]	Weighted Runoff Coefficient C, 100-Yr	*Onsite Retention Volume Required 100-Yr, 2-Hr [ft ³]	*Offsite Retention Volume Required 100-Yr, 2-Hr [ft ³]	Surface Retention Volume Provided [ft ³]	10" Dia Underground Retention Provided [ft ³]	TOTAL Retention Volume Provided*	Excess Volume [ft ³]	Number of Drywells**
A	131,543	3.0	0.90	23,658	8,148	0	407	31,966	160	3
B	120,380	2.8	0.90	21,850	13,398	0	447	35,107	59	3
Total	251,923	6	-	45,308	-	0	854	67,073	219	6

** N = (Total Retention Volume Provided)/((0.1 ct/s)*(36 hr)*(3600sec/hr))

* Plus 10%

SHEET INDEX

SHEET	SHEET TITLE
C0.0	COVER SHEET
C1.0	PRELIMINARY GRADING & DRAINAGE PLAN
C1.1	PRELIMINARY GRADING & DRAINAGE PLAN
C1.2	PRELIMINARY GRADING & DRAINAGE PLAN
C2.0	PRELIMINARY WATER & SEWER PLAN
C2.1	PRELIMINARY WATER & SEWER PLAN
C2.2	PRELIMINARY WATER & SEWER PLAN



LEGAL DESCRIPTION

REPORT NO. 5349TAZ
LOTS 2, 3 AND THE WEST 15 FEET OF LOT 4, OF ARIZONA CORPORATE PARK UNIT ONE - AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 268 OF MAPS, PAGE 13. EXCEPT THAT PROPERTY AS SET FORTH IN FINAL ORDER OF CONDEMNATION RECORDED AS 2006-0380826 OF OFFICIAL RECORDS.

REPORT NO. 5271TAZ
PARCEL NO. 1:
LOT 2, CHANDLER DES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1286 OF MAPS, PAGE 2.
PARCEL NO. 2:
RECIPROCAL EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS, INGRESS AND EGRESS AS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT RECORDED AS 2007-0538751 OF OFFICIAL RECORDS AND ASSIGNMENT AND ASSUMPTION OF RECIPROCAL EASEMENT AGREEMENT RECORDED AS 2016-0123120 OF OFFICIAL RECORDS.

FLOOD PLAIN DESIGNATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013CC2427M, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DEVELOPER

VEDURA RESIDENTIAL OPERATING, LLC
6720 N. SCOTTSDALE RD., SUITE 109
SCOTTSDALE, ARIZONA 85253
CONTACT: BRUCE HART
PHONE: (480) 922-9200
EMAIL: BHART@VEDURARESIDENTIAL.COM

CIVIL ENGINEER

HILGARTWILSON
2141 E. HIGHLAND AVE. SUITE 250
PHOENIX, ARIZONA 85016
CONTACT: LESLIE KLAND
PHONE: (602) 490-0535
FAX: (602) 368-2436
EMAIL: LKLAND@HILGARTWILSON.COM

ARCHITECT

TODD & ASSOCIATES, INC
4019 N. 44TH ST.
PHOENIX, ARIZONA 85018
CONTACT: ANTHONY JAURIGUE
PHONE: (602) 952-8280
EMAIL: AJAURIGUE@TODDASSOC.COM

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, AS SHOWN IN BOOK 996, PAGE 29, MARICOPA COUNTY RECORDS.
SAID LINE BEARS NORTH 89 DEGREES 46 MINUTES 05 SECONDS EAST.

BENCHMARK

FOUND CITY OF CHANDLER BRASS CAP FLUSH BETWEEN ELLIOT ROAD AND WARNER ROAD +/-450' WEST OF ARIZONA AVENUE AT THE POINT OF TANGENCY OF PALOMINO DRIVE NORTH OF BUILDING 8.
CITY OF CHANDLER DATA - POINT #22
NAVD88
ELEVATION = 1209.44'

SITE DATA

EXISTING ZONING = I-1

GROSS AREA = 299,527 SQFT,
OR 6.876 ACRES,
MORE OR LESS

PRELIMINARY RETENTION CALCULATIONS TABLE

Project: ELEVATION AZ 87
Prepared by: HW
Date: Mar. 2021

Volume Required = $C \cdot (P/12) \cdot A$ Where: A= Plan-view area of an individual drainage area

Cw=Weighted Runoff Coefficient (100-Yr)
P=2.18 in (100-Yr, 2-Hr)

Drainage Area(s)	Area [ft ²]	Area [ac]	Weighted Runoff Coefficient C, 100-Yr	*Retention Volume Required 100-Yr, 2-Hr [ft ³]	Surface Retention Volume Provided [ft ³]	Excess Volume [ft ³]
01	28,771	0.66	0.90	5,174	1,149	-4,026
02	43,111	0.99	0.90	7,754	997	-6,757
03	22,578	0.52	0.90	4,061	1,445	-2,616
04	36,754	0.84	0.90	6,610	1,119	-5,492
05	18,460	0.42	0.90	3,320	1,113	-2,208
06	15,374	0.35	0.90	2,765	2,316	-449
Total	165,048	3.79	-	29,684	8,138	-21,546

** N = (Total Retention Volume Provided)/((0.2 ct/s)*(36 hr)*(3600sec/hr))

* Plus 10%

C.O.C. Log No. CIV21-0025

REV:

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
www.hilgartwilson.com

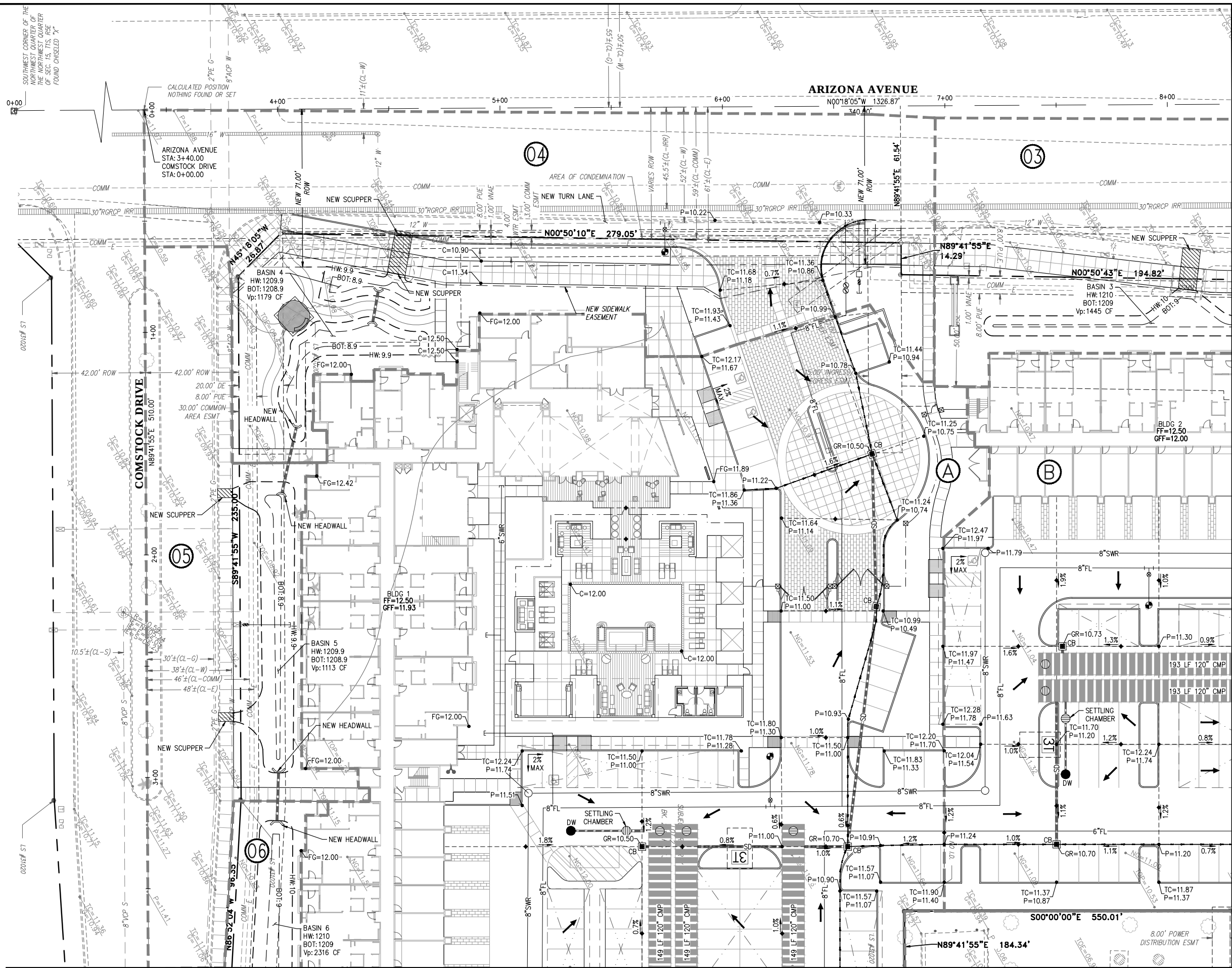
ELEVATION AZ 87
SEC ARIZONA AVENUE & ELLIOT ROAD
CHANDLER, ARIZONA

COVER SHEET

HILGARTWILSON
PROJ NO.: 2325.01
DATE: 8/24/21
SCALE: N.T.S.
DRAWN: MF HC
DESIGNED: TMZ
APPROVED: LK

DWG. NO.
C0.0

SHT. 1 OF 7



SEE C1.1

SEE C1.2

20 10 0 20 40
SCALE: 1" = 20'

C.O.C. Log No. CIV21-0025

ELEVATION AZ 87
SEC ARIZONA AVENUE & ELLIOT ROAD
CHANDLER, ARIZONA

PRELIMINARY GRADING & DRAINAGE PLAN

PROJ. NO.	2325.01	
DATE:	8/24/21	
SCALE:	1" = 20'	
DESIGNED: TMZ	DRAWN: MF HC	APPROVED: LK
REV.		

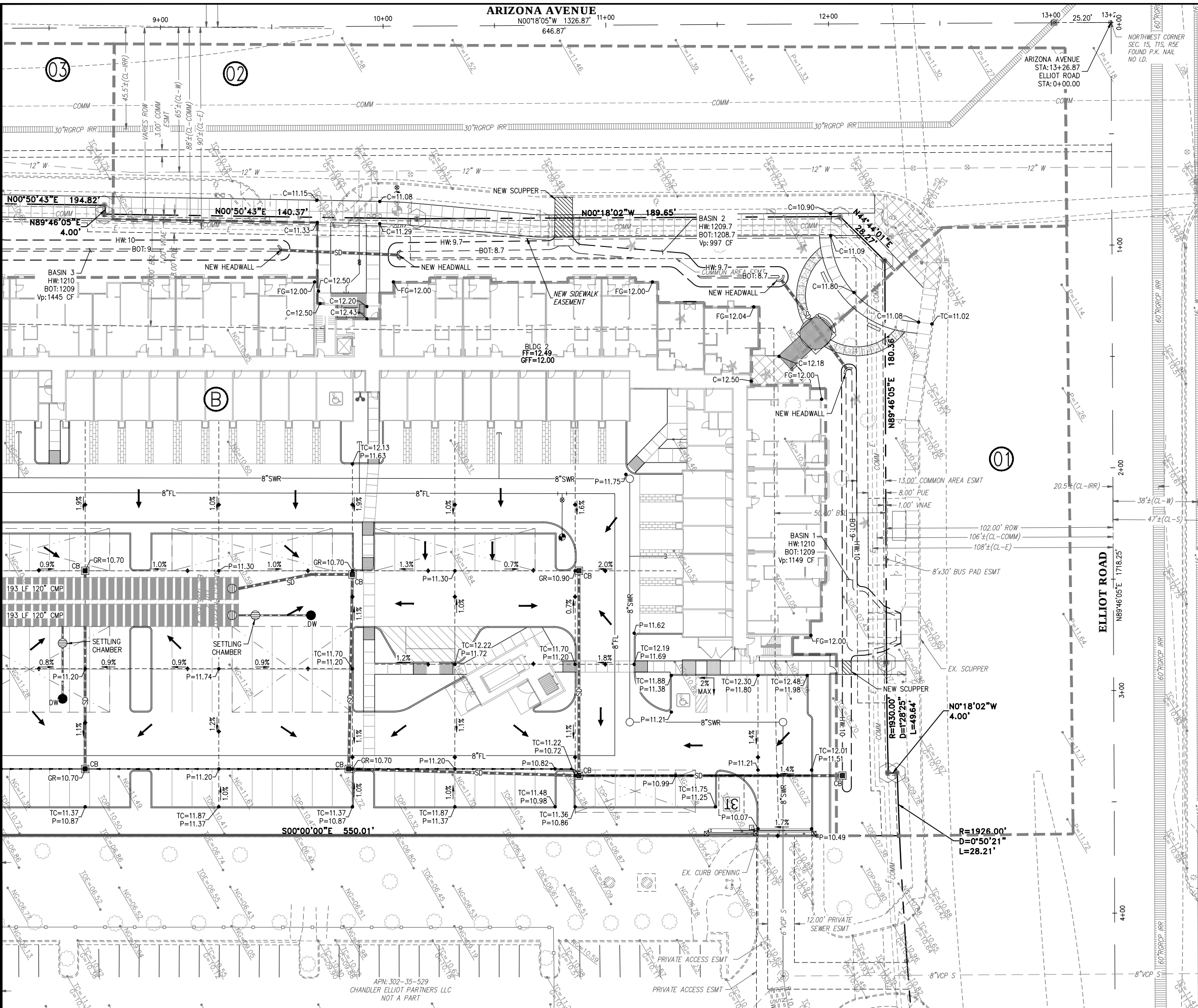
DWG. NO.
C1.0
SHT. 2 OF 7

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SEE C1.0

SEE C1.2



31885
LESLIE J. KLAND
Professional Engineer
Arizona

20 10 0 20 40
SCALE: 1" = 20'

C.O.C. Log No. CIV21-0025

ELEVATION AZ 87
SEC ARIZONA AVENUE & ELLIOT ROAD
CHANDLER, ARIZONA

PRELIMINARY GRADING & DRAINAGE PLAN

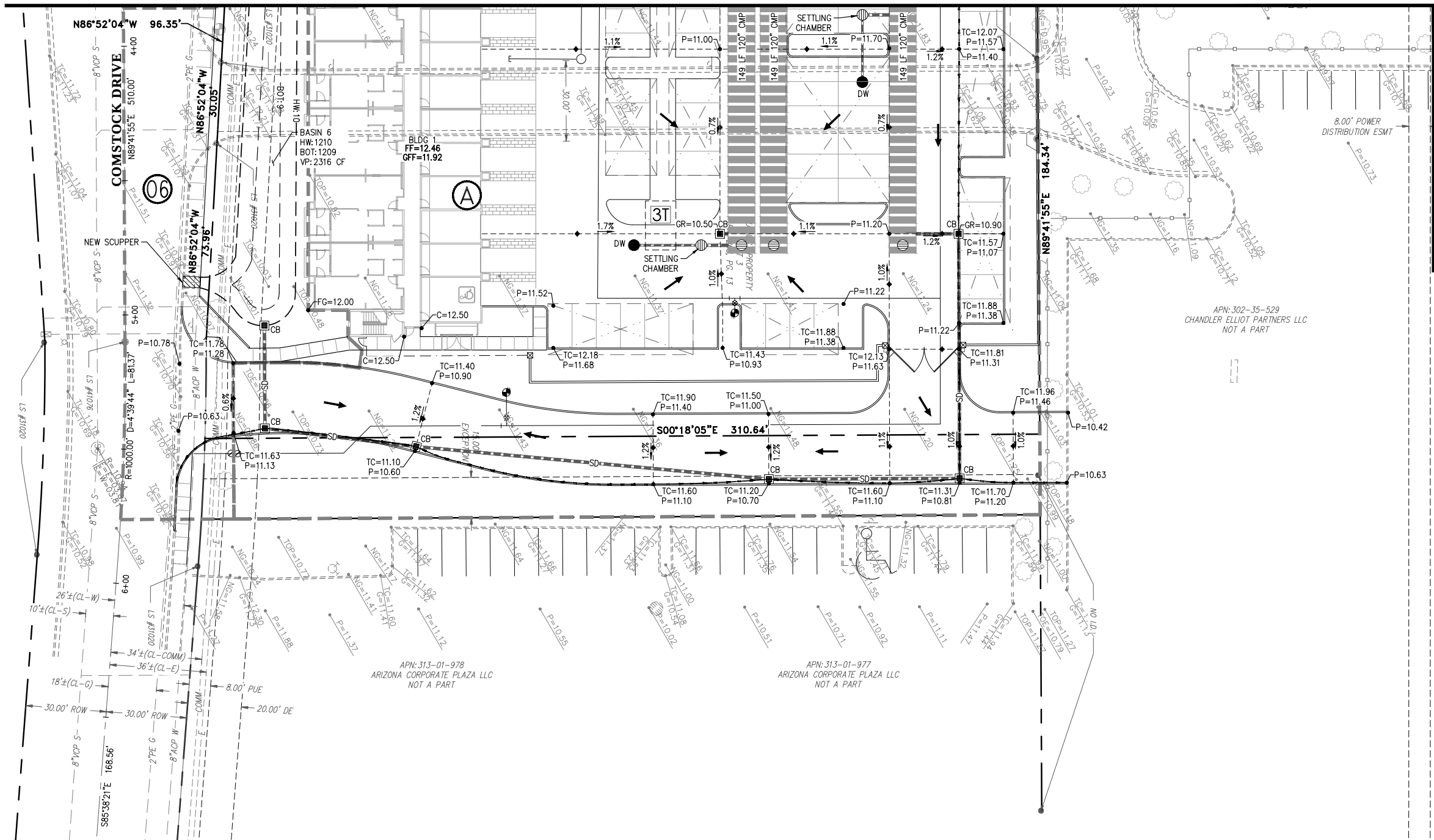
PROJ. NO.	2325.01	
DATE:	8/24/21	
SCALE:	1" = 20'	
DESIGNED: TMZ	DRAWN: MF HC	APPROVED: LK
REV.		

DWG. NO.
C1.1
SHT. 3 OF 7

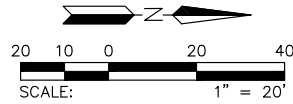
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SEE C1.0



SEE C1.1



C.O.C. Log No. CIV21-0025

ELEVATION AZ 87

SEC ARIZONA AVENUE & ELLIOT ROAD
CHANDLER, ARIZONA

PRELIMINARY GRADING & DRAINAGE PLAN

PROJ. NO. 2325.01
DATE: 8/24/21
SCALE: 1" = 20'

DESIGNED: TMZ

DRAWN: MF HC

APPROVED: LK

REV.

DWG. NO.

C1.2

SHT. 4 OF 7

U:\2300\2325\ENGR\PLANS\PRELIMINARY\2325.01 - C1.2 - GD.dwg 8/24/2021 3:19 PM