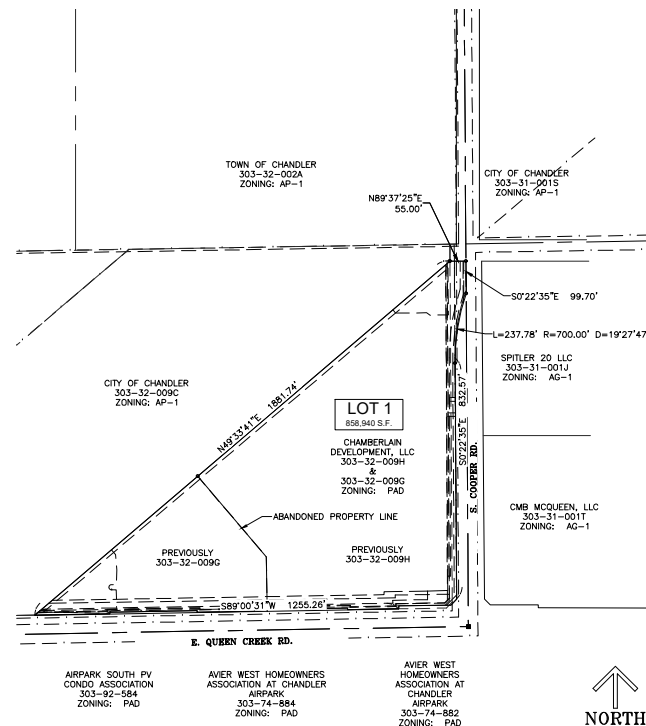


A PRELIMINARY PLAT EXHIBIT
FOR
CHANDLER AIRPORT BUSINESS CENTER
A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF
SECTION 11, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

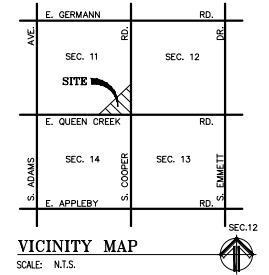
LAND AREA TABLE		
	SQUARE FEET	ACRES
PARCEL 303-32-009H	649,209 SF	14.90 AC
PARCEL 303-32-009G	209,731 SF	4.81 AC
OLD NET TOTAL	858,940 SF	19.72 AC
ROW ABAND. (+)	24,998 SF	0.57 AC
ROW DED. 1 (-)	1,805 SF	0.04 AC
ROW DED. 2 (-)	1,927 SF	0.04 AC
NEW NET TOTAL AREA	880,206 SF	20.21 AC
TOTAL GROSS AREA	1,023,905 SF	23.51 AC



KEY MAP

NOTES:

- CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES, FENCING AND DRIVEWAYS.
- IN EASEMENTS FOR EXCLUSIVE USE OF WATER, RECLAIM WATER, SANITARY SEWER OR ANY COMBINATION THEREOF, ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN THE EASEMENT AREA. NO TREES ARE ALLOWED.
- NO STRUCTURES OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF WATER THROUGH THE EASEMENTS MAY BE CONSTRUCTED, PLANTED OR ALLOWED TO GROW WITHIN DRAINAGE EASEMENTS.
- VISIBILITY EASEMENT RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24\"/>
- EASEMENTS FOR SHARED FACILITIES WILL BE DEDICATED BY SEPARATE INSTRUMENT WHEN APPLICABLE. THESE EASEMENTS WILL BE FOR PRIVATE SANITARY SEWER FACILITIES, PRIVATE WATER LINE FACILITIES, PRIVATE FIRELINE UTILITIES, PRIVATE DRAINAGE, AND SHARED VEHICULAR AND PEDESTRIAN ACCESS.
- THIS SUBDIVISION IS WITHIN CHANDLER MUNICIPAL AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION OR AVIGATION EASEMENT SHALL BE PROVIDED AT THE TIME OF FINAL PLATTING.
- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.



BASIS OF BEARING

BASIS OF BEARING IS ALONG THE MONUMENT LINE OF EAST QUEEN CREEK ROAD, ALSO BEING THE SECTION LINE AND SOUTH LINE OF THE SOUTH HALF OF SECTION 11, USING A BEARING OF S 89°00'24\"/>

BENCHMARK

BM#1
COC BM #42
NGVD 29 ELEVATION = 1237.900
SECTION 12, T2S, R5E, 3\"/>

FLOOD INFO. - FIRM DATA

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 0401SC2748M DATED NOVEMBER 04, 2015, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DESCRIBED AS: "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

ABBREVIATIONS

P.U.E.	PUBLIC UTILITY EASEMENT
DOC.	DOCUMENT
ROW	RIGHT OF WAY
C.O.C.	EASEMENT LINE
S.F.	SQUARE FEET
AC	ACRES
ADOT	ARIZONA DEPARTMENT OF TRANSPORTATION
MCR	MARICOPA COUNTY RECORDS
V.N.A.E.	VEHICLE NO ACCESS EASEMENT

LEGEND

---	PROPERTY BOUNDARY
- - - -	SECONDARY BOUNDARY LINE
---	LOT LINE
- - - -	EASEMENT LINE
- . - . -	RIGHT-OF-WAY (ROW)
---	CENTER LINE
- - - -	PROPERTY TIE
---	ADJOINER LINE
⊙	BRASS CAP MONUMENT (SUBDIVISION CORNER)
⊙	1/2\"/>