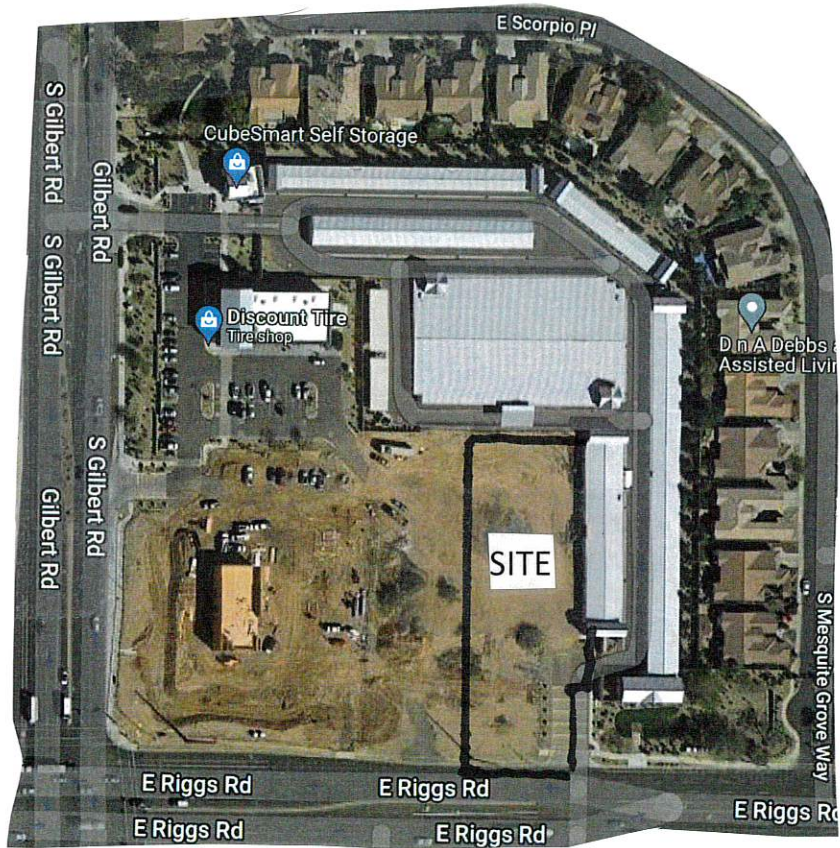


BRAKE MASTERS at MESQUITE GROVES



PDP & COMPREHENSIVE SIGN PACKAGE

RE: East Portion NEC Riggs & Gilbert Roads; Mesquite Grove, Chandler AZ

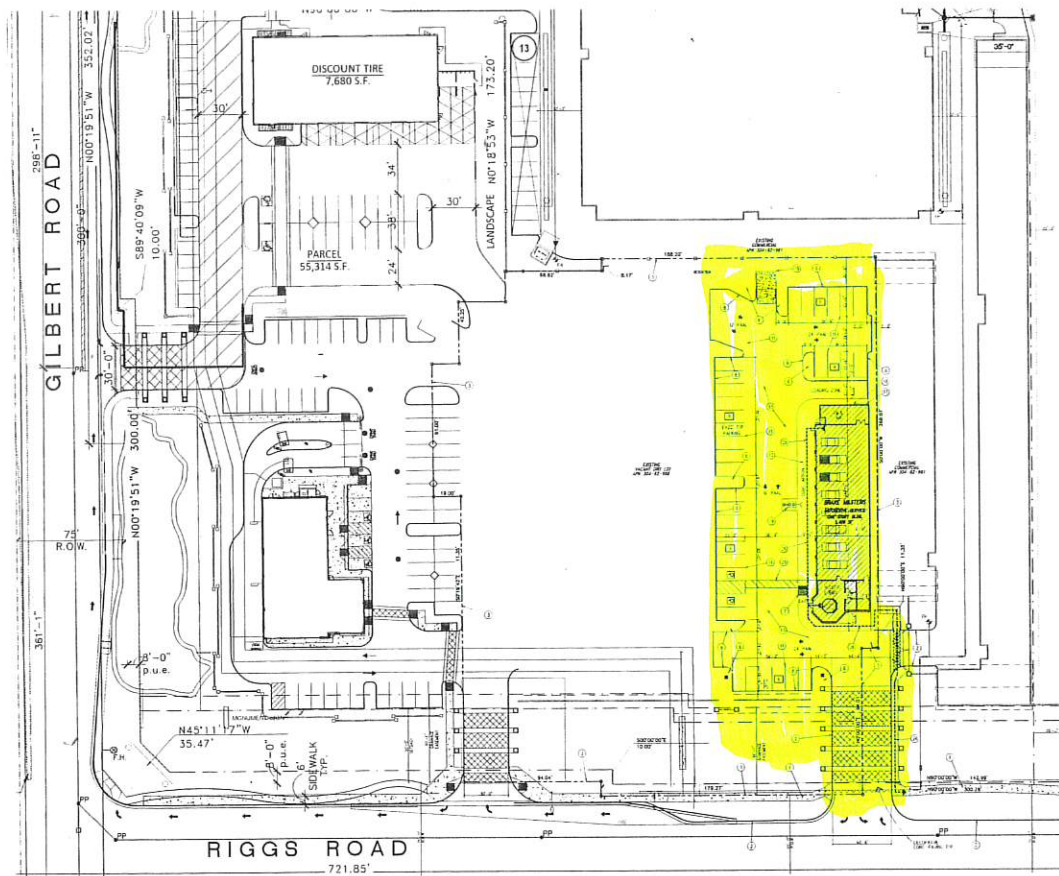


APPLICANT: HEIGHTS PROPERTIES, LLP 6179 E. Broadway Blvd., Tucson AZ 85711 520.631.9000

Summary

We as Applicant do propose to develop a Brake Masters Automotive Maintenance Facility on the eastern portion of the Commercial Development known as Mesquite Grove located East of the North East Corner of Riggs and Gilbert.

The property is in a planned area development known as Mesquite Grove made up of commercial single stand-alone buildings on the frontage of Riggs and Gilbert Roads and a Self- Storage facility on the transition around the commercial property. We are requesting rezoning from Planned Area Development (PAD) for Neighborhood Commercial (C-1) uses to PAD for C-1 uses and motor vehicle repairs and Preliminary Development Plan for site layout and building architecture for an automotive repair shop on an approximate 1-acre site.



The portion of the area we will develop is approximately a 41,744 square foot pad. In placing the building as proposed we will place our back to the Self- Storage facility and in doing so provide a significant buffer to the arterial avenue. By placing the service area away from the housing further to the east we will be unobtrusive to area residents.

We are incorporating the unique design criteria and color and materials at Mesquite Grove Marketplace for overall architectural harmony. We will focus the vegetation and landscaping toward Riggs Road to enhance the existing basin and plant environment. We shall incorporate the approved Landscape Masterplan for the overall Mesquite Grove Development. While plants are important to soften and create interest we will work to mitigate water waste by incorporating runoff capture basins.

PRELIMINARY DEVELOPMENT PLAN

We will position the building on east end of the North East Corner of Riggs and Gilbert, access will be from a wide inviting shared drive with the Self Storage to the east. The Brake Masters building is approximately 5,400 square feet and is uniquely designed to blend into this rural concept designed development. We have simply never built a building like this. The planning staff in conjunction with our design team have come up with spatial integration that allows our floor plan and elevations to settle into this development.



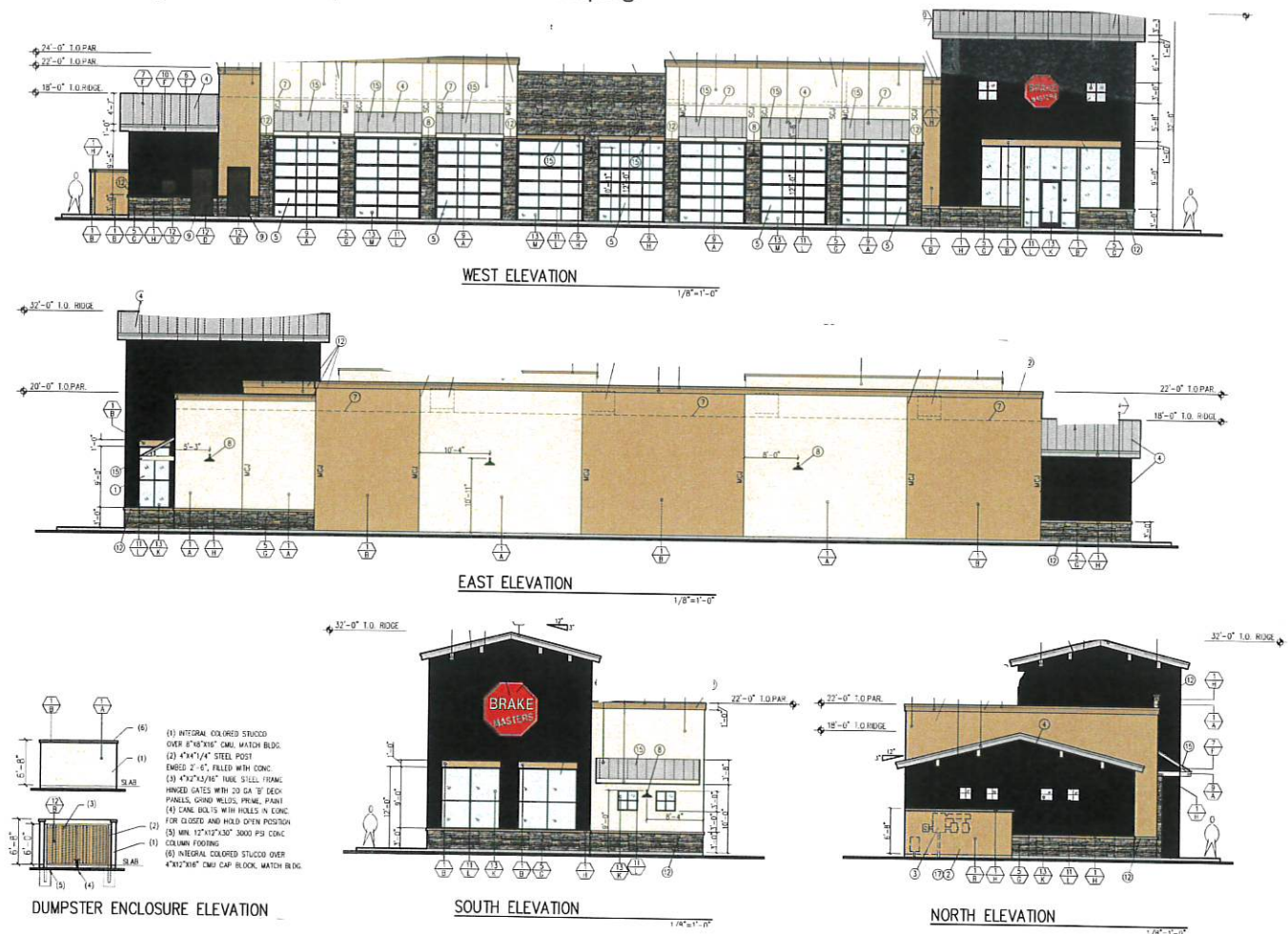
View looking North on Riggs Road

Business Operations:

Brake Masters started in 1983 by two brothers that still own the company today. This will be an addition in the Chandler area however we have one location at Chandler and Dobson, Chandler AZ as well as twenty-four additional locations in the Phoenix Metro Area with six locations in development. Our hours of operation are 7:30 AM to 5:30 PM Monday thru Saturday. We are closed on Sundays to give our employees the time to be with their families. They have over 100 locations in the Markets we serve and on average throughout the system we have an average daily car count of 20 customers per location. This location will employ 12 full time management and specialized technicians We provide a significant commitment to the communities we serve and support local and regional causes.

Elevations:

Brake Masters Design team has incorporated the Architectural and Materials Pallet of Mesquite Grove to reflect the approved designs, colors and materials present in the existing development. We will turn the business side of the building away from the streets and will mitigate the store operations with landscaping.



Above is representative only Elevation Detail is found on the 8.5 X 11 attached later in booklet

Exhibits

SITE PLAN

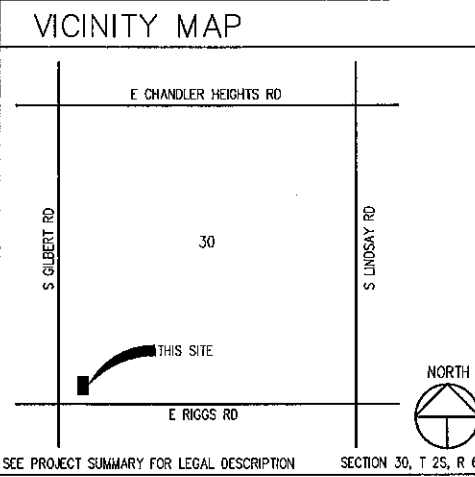
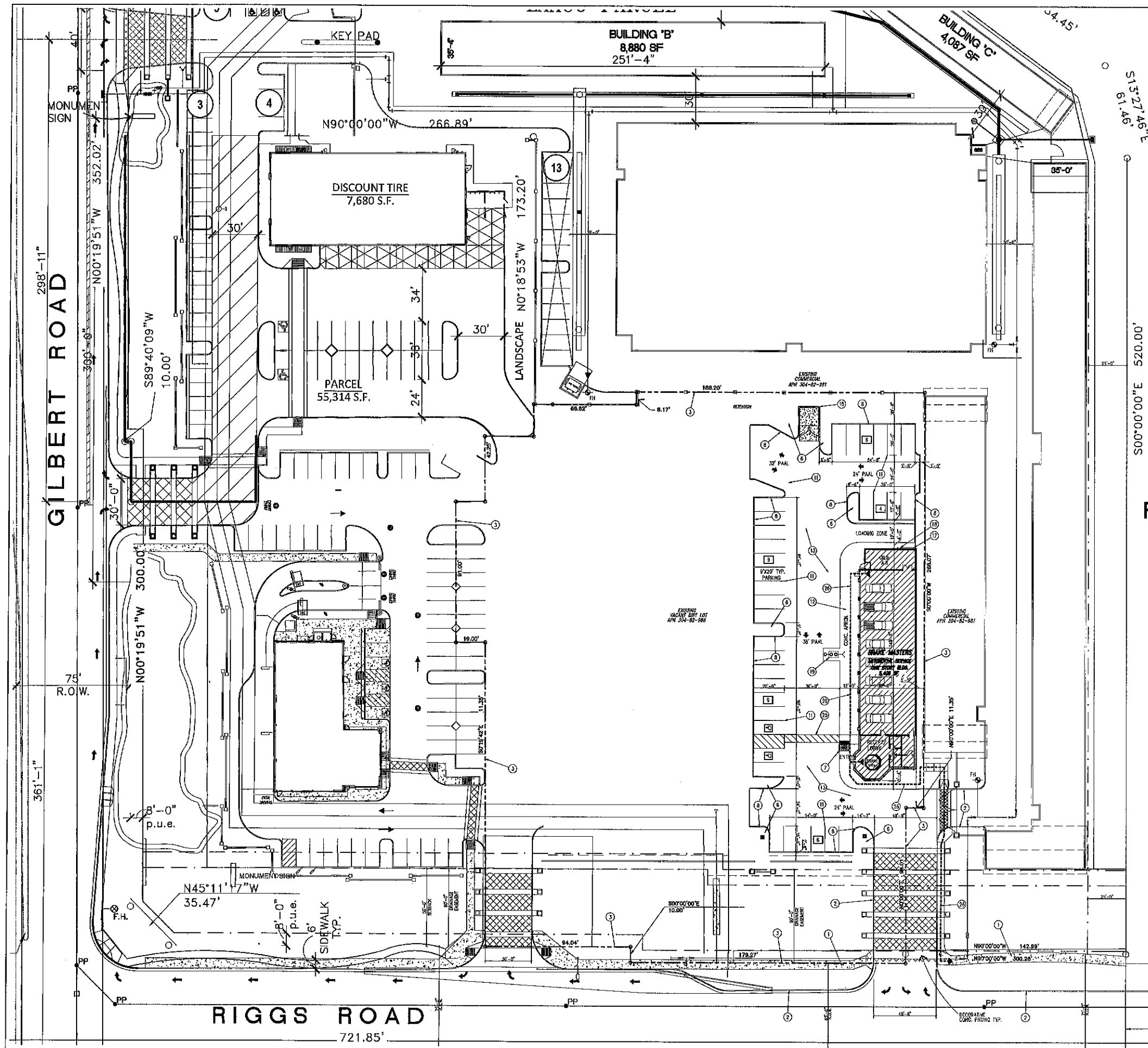
LANDSCAPE PLAN

COLOR ELEVATIONS

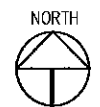
SIGN PACKAGE

CIVIL IMPROVEMENT PLAN

SITE PLAN



- ### KEYNOTES
- 1 EXISTING CONCRETE SIDEWALK
 - 2 EXISTING CONCRETE CURB
 - 3 PROPERTY LINE
 - 4 EXISTING WATER LINE STUB, SEE CIVIL
 - 5 NEW CONCRETE SIDEWALK, SEE CIVIL PLANS
 - 6 NEW LANDSCAPE AREA, SEE LANDSCAPE PLANS
 - 7 NEW CONCRETE CURB RAMP, SEE CIVIL PLANS
 - 8 NEW CONCRETE CURB, SEE CIVIL PLANS
 - 9 REMOVE EXISTING CONCRETE CURB
 - 10 EXISTING SEWER LINE STUB, SEE CIVIL
 - 11 NEW PARKING LOT STRIPING
 - 12 NEW CONCRETE APRON AT SERVICE BAY ENTRANCE, FLUSH WITH PAVING
 - 13 NEW ASPHALT PAVING, SEE CIVIL PLANS
 - 14 NEW SIDEWALK SCUPPER, STEEL TUBE, FOR ROOF DRAIN, SEE CIVIL
 - 15 NEW DUMPSTER ENCLOSURE
 - 16 NEW POWER COMPANY PAD MTD TRANSFORMER, SEE ELECTRICAL PLANS
 - 17 NEW BUILDING ELECTRICAL SES, SEE ELECTRICAL PLANS
 - 18 NEW BUILDING PHONE SERVICE LOCATION, SEE ELECTRICAL PLANS
 - 19 NEW OIL/SAND INTERCEPTOR, SEE CIVIL AND PLUMBING PLANS
 - 20 NEW WATER METER AND BACK FLOW, SEE CIVIL AND PLUMBING PLANS
 - 21 NEW BUILDING SEWER AND CLEAN OUT, SEE CIVIL AND PLUMBING PLANS
 - 22 NEW BIKE PARKING POST, SEE CIVIL
 - 23 NEW MONUMENT SIGN FOR BRAKE MASTERS UNDER SEPARATE PERMIT
 - 24 EXISTING MULTI USE TRAIL
 - 25 PAINT STRIPED, PEDESTRIAN CROSS WALK
 - 26 ACCESSIBLE ROUTE
 - 27 NEW SITE LIGHT POLE, REFER TO ELECTRICAL PLANS
 - 28 EXISTING STORM DRAIN, SEE CIVIL
 - 29 NEW FDC, SEE PLUMBING
 - 30 FIRE DEPARTMENT KEY LOCK BOX


 SCALE 1"=30'-0"
**ARCHITECTURAL
SITE PLAN**

RESERVED FOR GOVERNMENT APPROVAL STAMPS


kbp architecture, llc
 design ■ planning ■ construction
 KBP Architecture, LLC
 11635 E. Tanque Verde Rd.
 Tucson, Arizona 85749
 Tel 520.982.2019 Fax 520.760.6640
 email: kbp@kbparch.com
 Kevin B. Petrick, Architect/Builder
 Arizona Architect Registrant # 34273
 Arizona Contractor KB-1 ROC 285911


 Preliminary
 Not For
 Construction

Project:

BRAKE MASTERS
 New Development
 at
 Mesquite Grove
 Marketplace
 Riggs Rd / Gilbert Rd
 Chandler, AZ 85249

These drawings are project specific and have been developed for the client's use for this project; they may not be reused or duplicated for any other project without the written consent of the Architect.

drawing issue log:		
Delta	Date	Description

kbp project no:
 date:
 sheet title:
 sheet number:

2652
 March 31, 2021
**ARCHITECTURAL
SITE PLAN**
AS.1.1

BRAKE MASTERS - RIGGS / GILBERT - CHANDLER, AZ

LANDSCAPE PLAN

BRAKE MASTERS - MESQUITE GROVE MARKETPLACE

project consultants

owner:
HEIGHTS PROPERTIES, LLP
6179 E BROADWAY BLVD
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email:jim@heightspropertiesllp.com

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TUCSON, AZ 85749
PROJECT CONTACT: KEVIN B. PETRICK
PHONE: 520.982.2019
EMAIL:kbp@petrick@cox.net

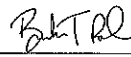
civil engineering:
CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PROJECT CONTACT: JEFF HUNT
PHONE: 623.282.2498
EMAIL:jphunt@cypresscivil.com

landscape architecture:
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7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL:bpaul@designethic.net

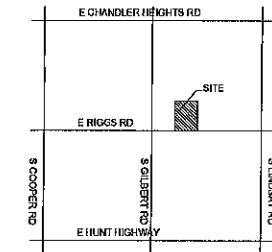
sheet index

SHEET	TITLE
L01	COVER SHEET & NOTES
L02	PRELIMINARY PLANTING PLAN

I HEREBY CERTIFY THAT NO TREE OR BOULDER IS DESIGNED CLOSER THAN SIX (6) FEET TO THE FACE OF THE PUBLIC STREET CURB.


REGISTERED LANDSCAPE ARCHITECT

04.20.2022
DATE

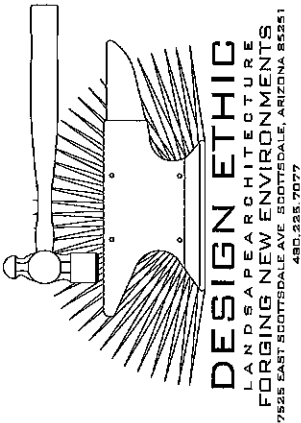


vicinity map



city of chandler notes

1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. NO OBSTRUCTIONS TO VIEW SHALL BE ERRECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA, ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6' CURB ELEVATION, ALL SHRUBS IN THIS AREA MAY NOT REACH A MATURE HEIGHT OVER 24".
3. ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
4. TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
5. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6)(H).
6. PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1903(6)(C)(4).
7. ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NONLIVING MATERIALS (I.E. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH, ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903(6)(C)(11), ZONING CODE.
8. TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESS-WAYS. SHRUBS MUST BE, AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, PIV. OR FDC. SEE SECTION 1903(6)(J)(1), ZONING CODE.
9. ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR IN COMPLIANCE WITH THE ZONING CODE. SEE SECTION 1903(6)(H), ZONING CODE.
10. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED AND/OR CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
11. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
12. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.



BRAKE MASTERS
MESQUITE GROVE MARKETPLACE
CHANDLER, ARIZONA

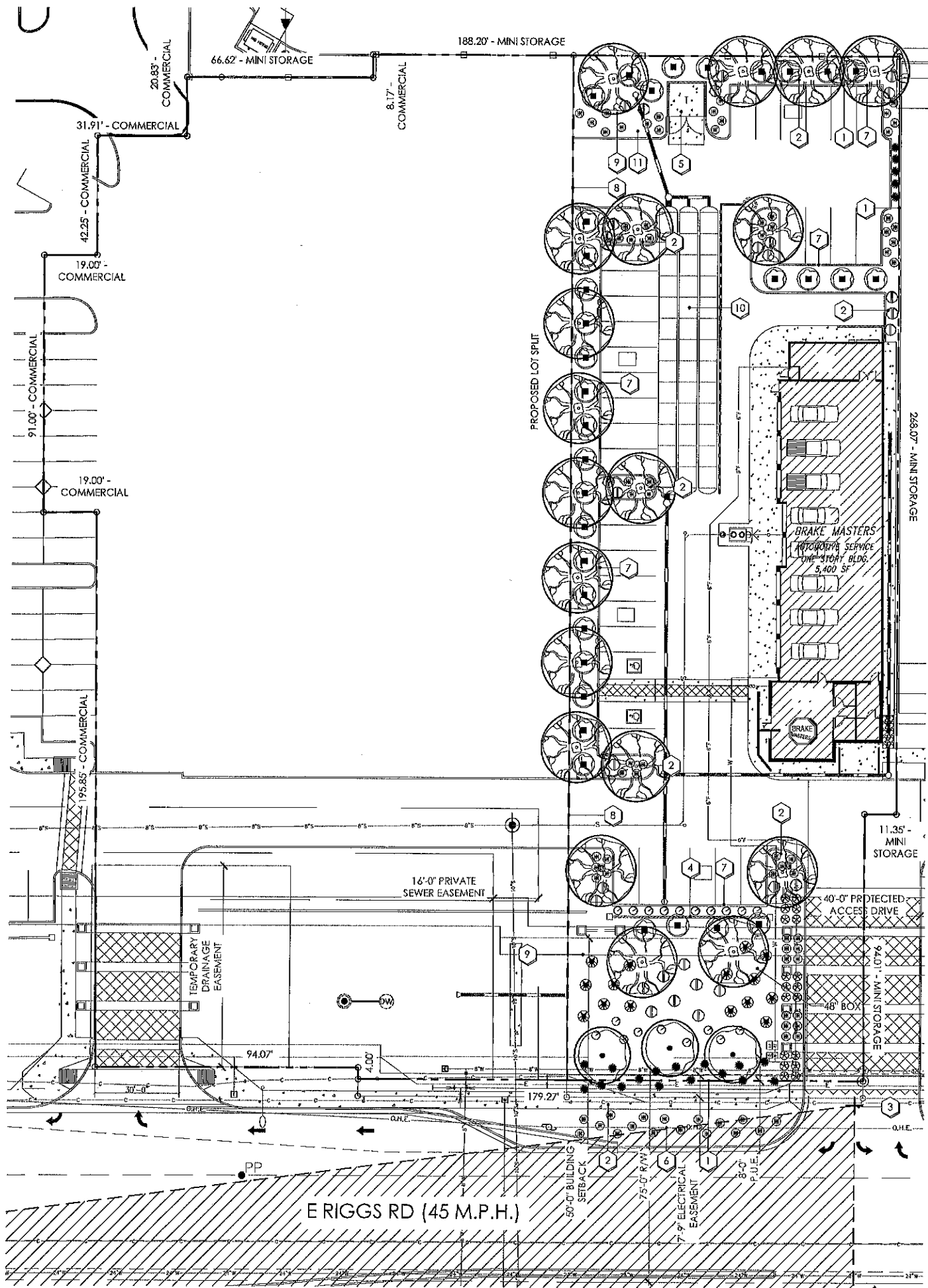
COVER SHEET & NOTES

PROJECT:

SHEET TITLE:

JOB NO: 21-105
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.01.2022
REVISED:

SHEET
L.01 of L.02



plant legend

	botanical name common name	emitters	size	qty	comments
trees					
	PARKINSONIA X. 'DESERT MUSEUM' DESERT MUSEUM	(5 @ 1.0 GPH)	36" BOX	3	12.0H., 5.0W., 1.75CAL. STAKE IN PLACE
	PROSOPIA SEEDLESS HYBRID 'AZITM' 'AZITM' SEEDLESS HYBRID MESQUITE	(5 @ 1.0 GPH)	24" 48" BOX	18 1	5.0H., 6.0W., 1.25CAL. 12.0H., 9.0W., 2.75CAL. STAKE IN PLACE
shrubs					
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	(1 @ 1.0 GPH)	5 GAL.	15	PLANT AT 4' O.C.
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD	(1 @ 1.0 GPH)	5 GAL.	19	PLANT AT 3' O.C.
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	35	PLANT AT 8' O.C.
	RUELLIA PENINSULARIS BAJA RUELLIA	(1 @ 1.0 GPH)	5 GAL.	30	PLANT AT 4' O.C.
accents					
	HESPERALOE PARVIFLORA RED YUCCA		5 GAL.	21	PLANT AT 3' O.C.
groundcover					
	CONVOLVULUS CNEORUM BUSH MORNING GLORY		1 GAL.	18	PLANT AT 3' O.C.
	LANTANA 'NEW GOLD' NEW GOLD LANTANA		1 GAL.	78	PLANT AT 4' O.C.
inerts					
	1/2" SCREENED DECOMPOSED GRANITE MADISON GOLD		1/2" S.F.		2" MINIMUM IN ALL PLANTERS

planting key notes

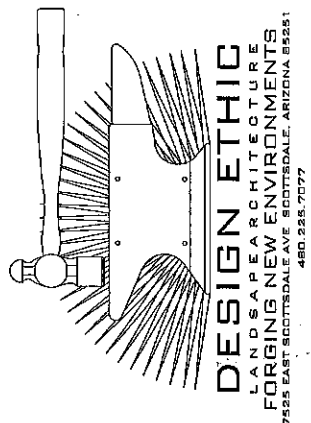
- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4 (VERIFY HEIGHT) SCREEN WALL. SEE ARCH. PLANS.
- 5 TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN.
- 6 OVER HEAD ELECTRIC LINE(O.H.E.).
- 7 CURB. SEE CIVIL ENG. PLANS.
- 8 PROPOSED LOT SPLIT. SEE ARCHITECT'S SITE PLAN.
- 9 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 10 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- 11 RIP RAP. SEE CIVIL ENG. PLANS.

general landscape notes

1. CONTRACTOR TO VERIFY ALL QUANTITIES.
2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.
3. MAINTAIN 3' TO 5' TREE AND SHRUB CLEARANCE FROM WALLS.
4. MAINTAIN 1' TO 2' TREE AND SHRUB CLEARANCE FROM SIDEWALKS.
5. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF 6'-8".
6. ALL MATURE TREES AND PALM CANOPIES MUST BE A MINIMUM OF 5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS.

planting requirements

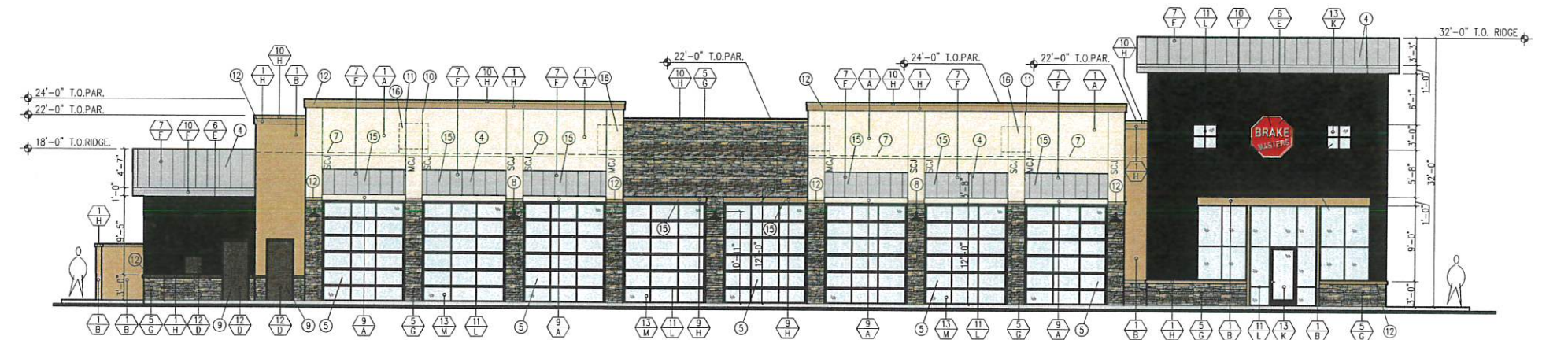
STREET RIGHT-OF-WAY - INTERSECTION SETBACK AREA: INTERSECTION SQUARE FEET: 4,013 S.F.	REQUIRED TREES=5	REQUIRED SHRUBS=30
REQUIRED: 50% - 24" BOX.	2	
25% - 36" BOX.	2	
25% - 48" BOX.	1	
	PROVIDED TREES=5	PROVIDED SHRUBS=48



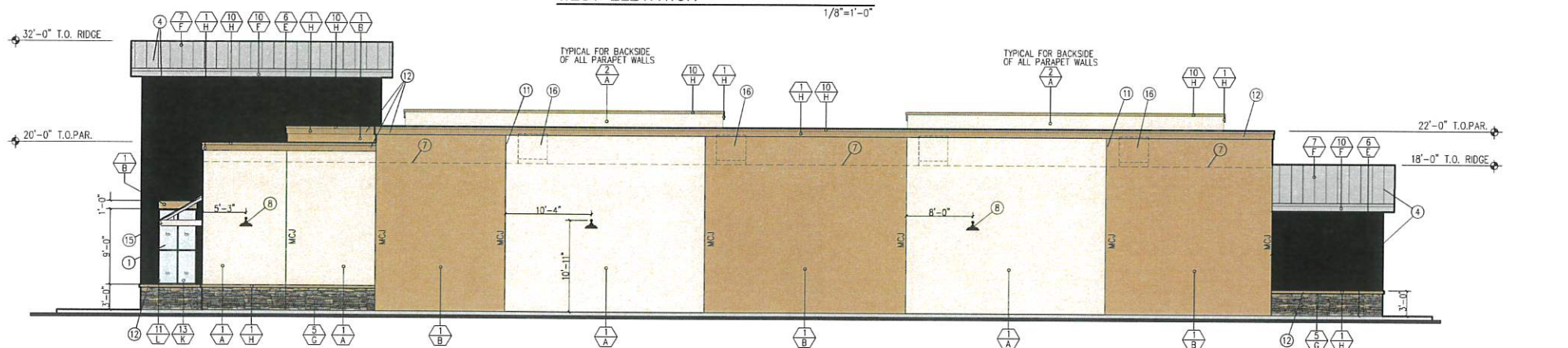
BRAKE MASTERS
MESQUITE GROVE MARKETPLACE
CHANDLER, ARIZONA
PRELIMINARY PLANTING PLAN

PROJECT:
JOB NO: 21-105
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.01.2022
REVISED:

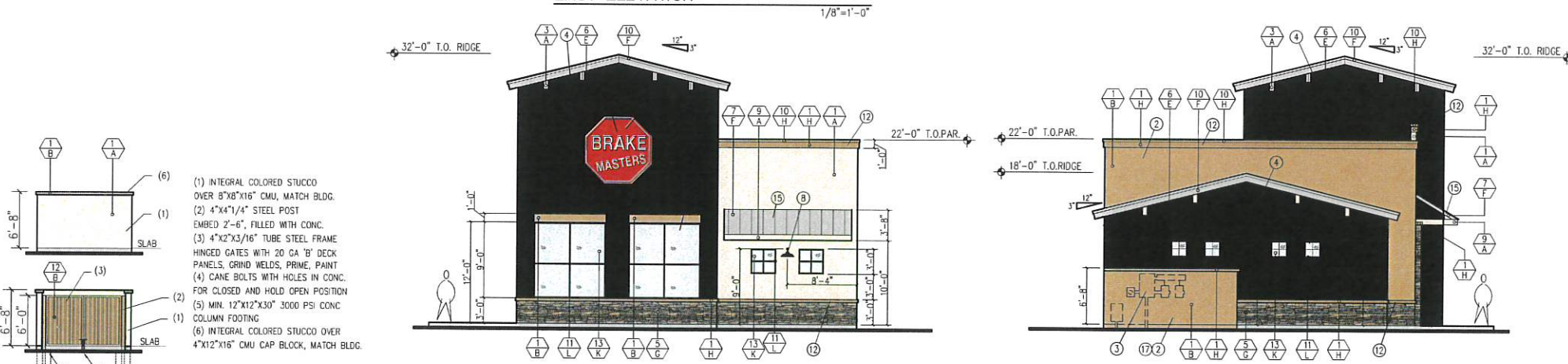
Color Elevations



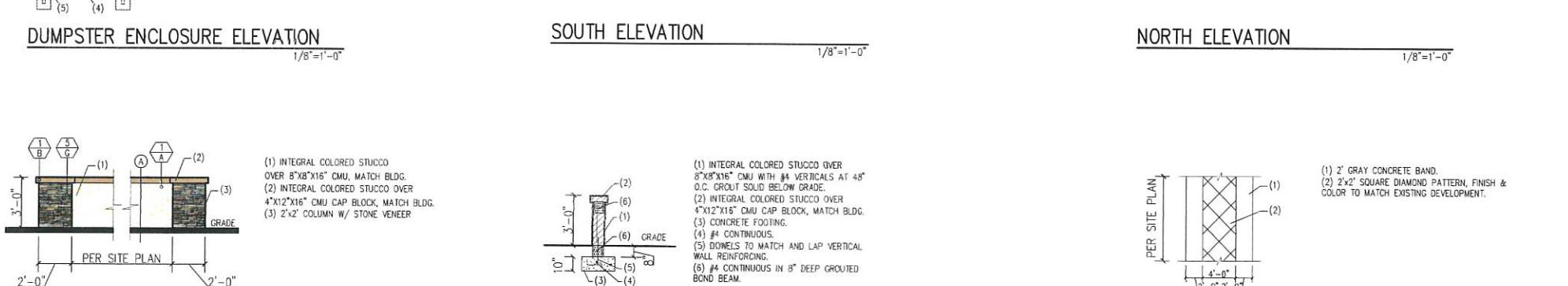
WEST ELEVATION



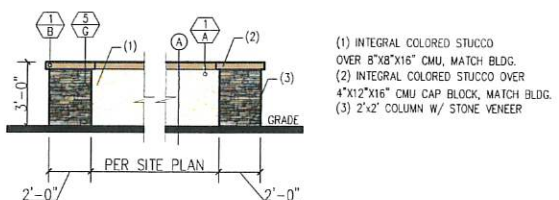
EAST ELEVATION



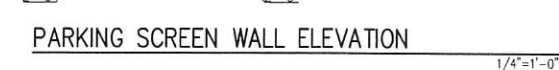
SOUTH ELEVATION



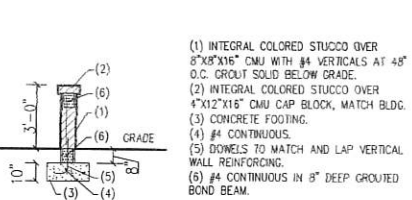
NORTH ELEVATION



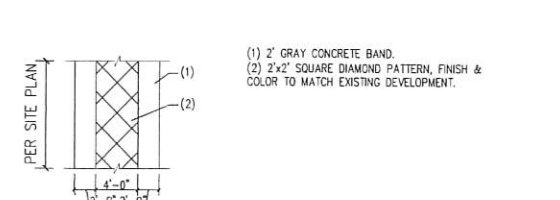
DUMPSTER ENCLOSURE ELEVATION



PARKING SCREEN WALL ELEVATION



PARKING SCREEN WALL SECTION



CROSS WALK DETAIL

GENERAL NOTES

- ALUMINUM-GLASS STOREFRONT:
 - STOREFRONT ALUMINUM FRAMES:
 - 2"x4 1/2" ALUMINUM FRAMES, CENTERED GLASS, THERMAL BREAK
 - COLOR PER FINISH SCHEDULE
 - GLAZING:
 - SOLARBAN 70, OLD CASTLE MFR., 1" INSULATED PANELS
 - 1/2" TINTED BRONZE EXTERIOR GLASS
 - 1/2" LOW E INTERIOR GLASS
 - 1/2" AIR SPACE
 - U VALUE = 0.50 OR BETTER
 - SHGC VALUE = 0.25
- PLASTER-STUCCO SYSTEM:
 - OVER CMU WALLS: (DRYVT PER ICC-ES EVALUATION REPORT ESR-1232 DATED JANUARY 2015 AS APPLICABLE)
 - BROWN COAT: MIN. 1/2"-5/8" THICK CEMENT PLASTER
 - SEALER COAT: DRYVT COLOR TINTED PRIMER
 - FINISH COAT: DRYVT SYNTHETIC COLOR MIN. 3/8" THICK, "SAND PEBBLE FINE" FINISH TEXTURE
 - (INSTALL PER MANUFACTURER'S RECOMMENDATIONS, SPECS & ESR-1232)

KEYNOTES

- ALUMINUM FRAME WINDOW
- INTEGRAL COLOR SYNTHETIC DRYVT FINISH SYSTEM
- ELECTRICAL SERVICE ENTRANCE SECTION (SES) & PHONE CAB'T. BEHIND UTILITY SCREEN WALL. STONE VENEER WAINSCOT TO CONTINUE BEHIND SCREEN WALL.
- METAL ROOF & WALL PANEL.
- ALUMINUM OVERHEAD SECTIONAL GARAGE DOOR
- EXTERIOR SIGNAGE, UNDER SEPARATE PERMIT, BY OWNER.
- LINE OF ROOF BEHIND PARAPET
- DECORATIVE DARK BRONZE LIGHT FIXTURE
- HOLLOW METAL DOOR, PAINT
- MASONRY AND/OR STUCCO CONTROL JOINT, DETAIL 4/A.3.0
- MASONRY CONTROL JOINT PER DETAIL 1/A.3.0
- STUCCO POP-OUT
- ILLUMINATED BUILDING ADDRESS NUMBERS ARE TO BE MINIMUM OF 8" HIGH, WITH 1" STROKE, AND CONTRASTING COLOR
- METAL ACCESS DOOR FOR OIL ROOM, PER DOOR SCHEDULE
- METAL CANOPY
- HVAC EQUIPMENT SHOWN DASHED ON ROOF BEHIND PARAPET. ALL ROOF MOUNTED EQUIPMENT SHALL BE COMPLETELY SCREENED BY TOP OF PARAPET.
- UTILITY SCREEN WALL. STONE VENEER WAINSCOT TO CONTINUE BEHIND SCREEN WALL.

FINISH LEGEND

MATERIALS	FINISH/COLORS
(1) INTEGRAL COLOR STUCCO	(A) COLOR "ANTIQUE WHITE" SW 6119
(2) BLOCK FILL & PAINT	(B) COLOR "OAK BARREL" SW 7714
(3) METAL CORBEL	(C) NOT USED
(4) NOT USED	(D) COLOR "SEAL SKIN" SW 7675
(5) WAINSCOT STONE VENEER	(E) COLOR "WEATHERED COPPER" MFR: AEP SPAN, COOL PRODUCT
(6) METAL WALL PANELS, 10" FLEX BY AEP SPAN	(F) COLOR "METALLIC SILVER" MFR: AEP SPAN, COOL PRODUCT
(7) METAL ROOF PANELS, AEP SPAN, 16" DESIGN SPAN HP	(G) MFR: CULTURED STONE PRODUCT: SOUTHERN LEDGESTONE COLOR: "FOG" INSTALL: DRY STACKED
(8) TUBE STEEL	(H) COLOR "CRAFTSMAN BROWN" SW 2835
(9) STEEL COMPONENTS	(I) NOT USED
(10) PREFINISHED METAL TRIM	(J) 1" INSULATED LOW E GLASS SOLARBAN 70 - OLD CASTLE
(11) ANODIZED ALUMINUM FRAMES	(K) DARK BRONZE-ANODIZED ALUMINUM
(12) METAL DOORS/FRAMES	(L) 1/8" CLEAR TEMPERED GLASS
(13) GLAZING	(M) PAINT TO MATCH ADJACENT MATERIAL FINISH COLOR

SEAL ALL MASONRY & STONE EXTERIOR WITH "PROSOCO WEATHERSEAL WB"



kbp architecture, llc
design - build

design ■ planning ■ construction

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Tucson, Arizona 85749
Tel 520.982.2019 Fax 520.760.6640
email: kbp@kbparch.com

Kevin B. Petrick, Architect/Builder

Arizona Architect Registrant # 34273
Arizona Contractor KB-1 ROC 285911



Project:

BRAKE MASTERS
New Development
at
Mesquite Grove
Marketplace
Riggs Rd / Gilbert Rd
Chandler, AZ 85249

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drawing issue log:

Delta	Date	Description

kbp project no: 2652

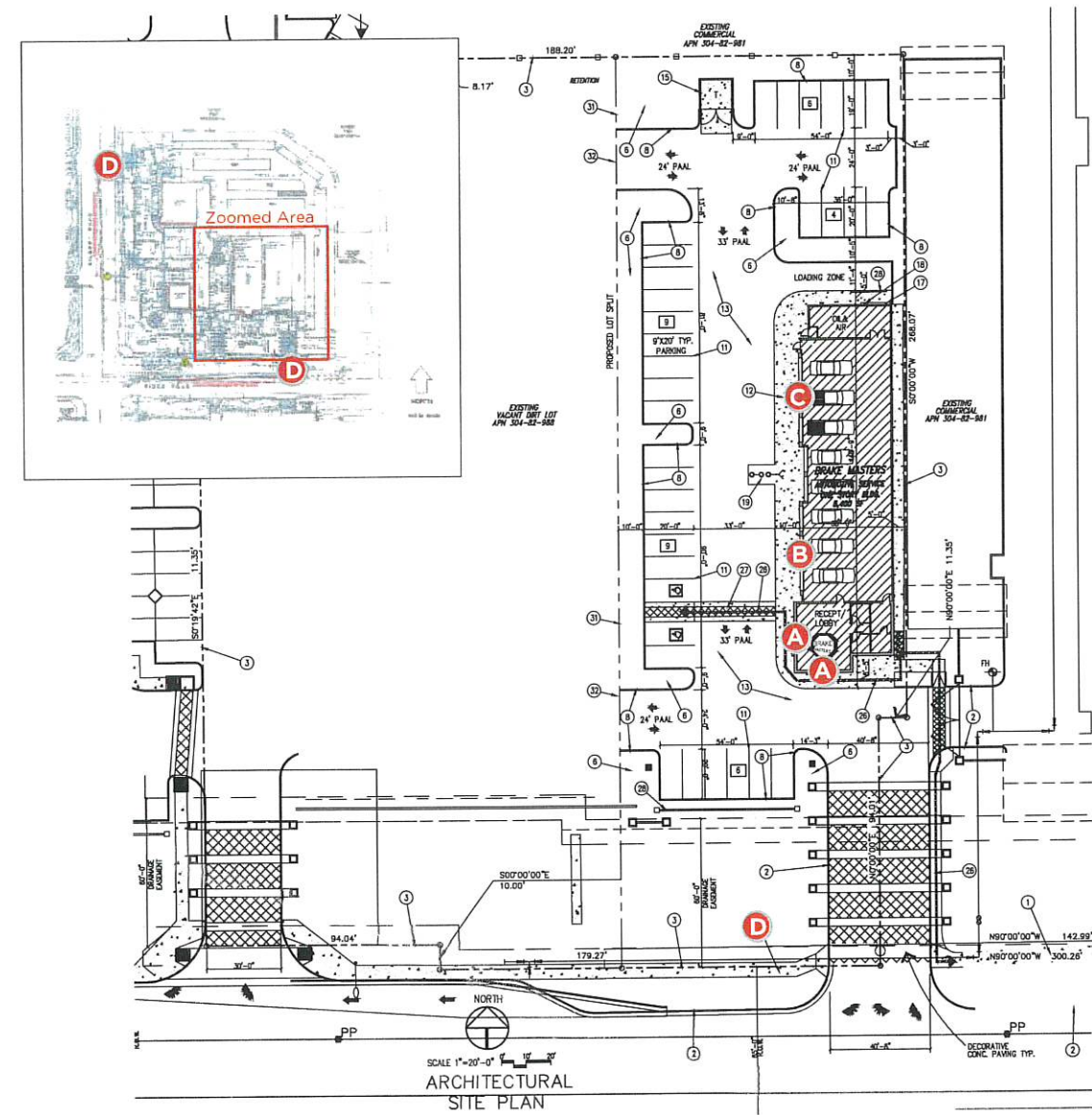
date: April 22, 2022

sheet title: EXTERIOR ELEVATIONS

sheet number:

BRAKE MASTERS - RIGGS / GILBERT - CHANDLER, AZ

SIGN PACKAGE



Vicinity Map

Siteplan Legend

- A Logo 1
- B Complete Car Care
- C Quick Oil Change
- D MID (Location TBD)



**PROMOTION PLUS
SIGN CO., INC.**
"The Imaging Experts"

Check Us Out On
promotionplus.com

21034 Osborne St.
Canoga Park, CA 91304

State License: 853228

(P) 818.993.5406
(F) 818.993.3174

Owner Electric

Part of the
PROMOTION PLUS
SIGN CO., INC. Family



Job Location

3046 E Riggs Rd,
Chandler, Arizona 85249

Bill Information

Brake Masters of Sacramento, Inc.
6179 E. Broadway Blvd.
Tucson, AZ 85711-4208
(520) 512-0000
Shalom Latin
shalom.latin@brakemasters.com

Project Information

Project: Job Name
Date: 02.28.2022

Approval

Owner

I have reviewed all renderings and I am satisfied with the look and the scope of work listed within.

Date

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CONCEPT

West Elevation (LOGO)

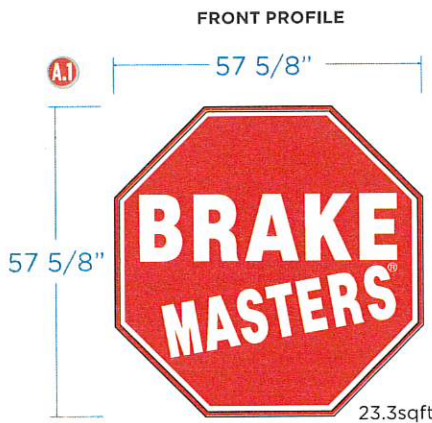
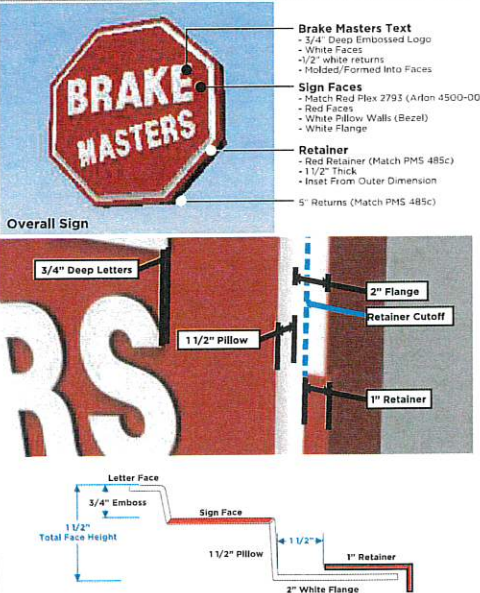


Electrical Specifications

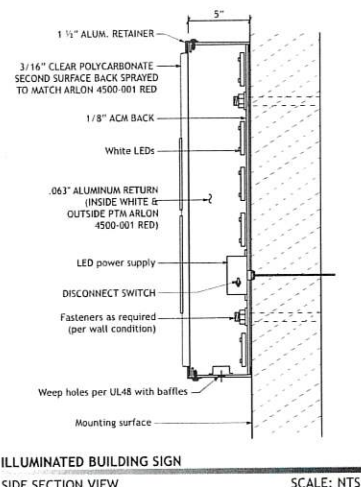
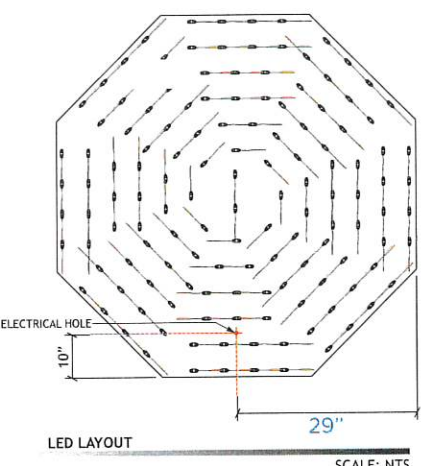
(130) WHITE LED MODULES @ 0.72W EA= 93.60W TOTAL
(1) 12V 100W POWER SUPPLIES @ 2.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD:
2.2 AMPS @ 120 VAC

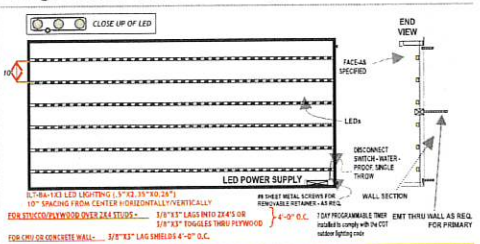
Sign Detail



Building Logo | Single Face | 1:36
5" Red Returns | 1" Red Retainer | Pan Formed Faces
Internally Illuminated - LED | Install Flush Mount



Single Face Aluminum Sign



PMS 122c	Yellow Plexiglass 2037 3M 3630-235 Autumn Yellow
PMS 485c	Red Plexiglass 2793 Spraylat To match Arlon 4500-001 RED

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21034 Osborne St.
Canoga Park, CA 91304
State License: 853228

(P) 818.993.5406
(F) 818.993.3174

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API
CERTIFIED

Job Location
3046 E Riggs Rd.
Chandler, Arizona 85249

Bill Information
Brake Masters of Sacramento, Inc.
6179 E. Broadway Blvd.
Tucson, AZ 85711-4208
(520) 512-0000
Shalom Latin
shalom.latin@brakemasters.com

Project Information
Project: Job Name
Date: 02.28.2022

Approval

Owner
I have reviewed all renderings and I am satisfied with the look and the scope of work listed within.

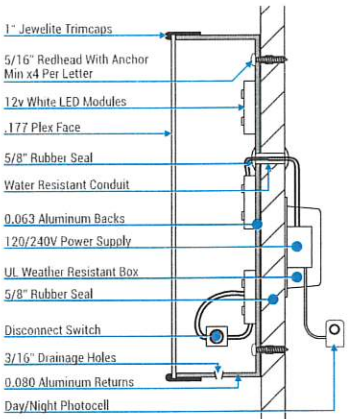
Date
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CONCEPT

West Elevation (Letters)



Electrical Specifications



31"

207"

44.56sqft

COMPLETE

192 3/4"

41.4sqft

CAR CARE

Front Illuminated Channel Letters | Front illuminated | x1

Internally Illuminated - LED | Install Flush Mount | Size Reduced By 1" To Fit On Fascia

3" Black Returns | 1" Black Jewelite Trimcap | White & Red LED's

NTS

136"

70 7/8"

182 7/8"

32"

30.22sqft

15.75sqft

40.63sqft

QUICK OIL CHANGE

Front Illuminated Channel Letters | Front illuminated | x1

3" Black Returns | 1" Black Jewelite Trimcap | White & Red LED's

NTS

Black Returns

Black Trimcaps

Color Faces

Black Returns

Black Trimcaps

Color Faces

CARE

RETURNS:	3" DEEP .040 ALUMINUM
BACKS:	.040 ALUMINUM
FACE MATERIAL:	3/16" RED AND YELLOW PLEX
TRIM CAP:	1"BLACK
LIGHTING:	WHITE BEHIND YELLOW LETTERS,
INSTALL METHOD:	RED BEHIND RED LETTERS
EXTRAS:	FLUSH MOUNT
	PACKAGE AND SHIP TO SITE FOR
	INSTALL
PMS 122c	Yellow Plexiglass 2037
	3M 3630-235 Autumn Yellow
PMS 485c	Red Plexiglass 2793
	Arlon 4500-001 RED

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Q

LATITUDE

Job Location
3046 E Riggs Rd,
Chandler, Arizona 85249

Bill Information
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6179 E. Broadway Blvd.
Tucson, AZ 85711-4208
(520) 512-0000
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Date

CONCEPT

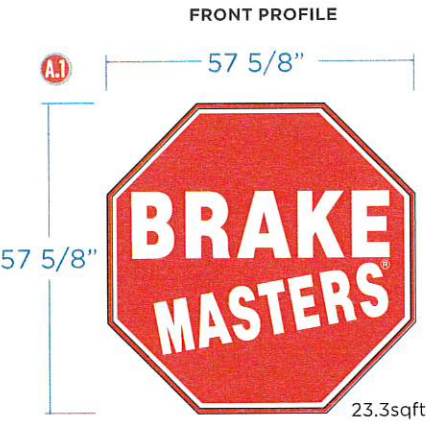
Brakemasters

South Elevation

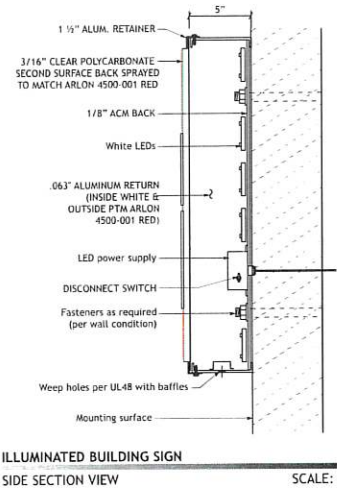
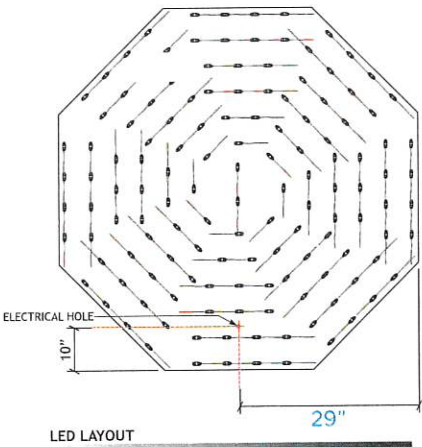
4



1:260



Building Logo | Single Face | 1:36
5" Red Returns | 1" Red Retainer | Pan Formed Faces
Internally Illuminated - LED | Install Flush Mount

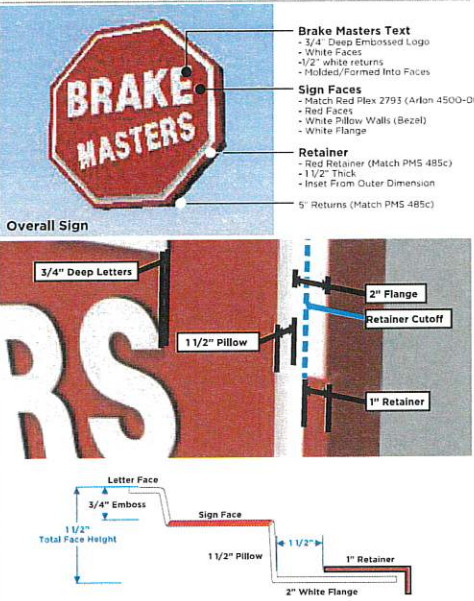


Electrical Specifications

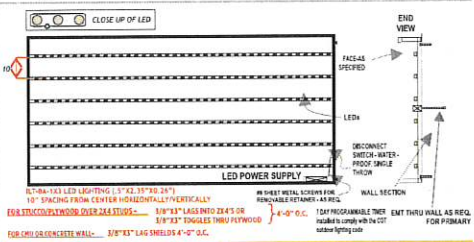
- (130) WHITE LED MODULES @ 0.72W EA= 93.60W TOTAL
- (1) 12V 100W POWER SUPPLIES @ 2.2 AMPS EA.
- (1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD:
2.2 AMPS @ 120 VAC

Sign Detail



Single Face Aluminum Sign



PMS 122c	Yellow Plexiglass 2037 3M 3630-235 Autumn Yellow
PMS 485c	Red Plexiglass 2793 Spraylat To match Arlon 4500-001 RED



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CONCEPT

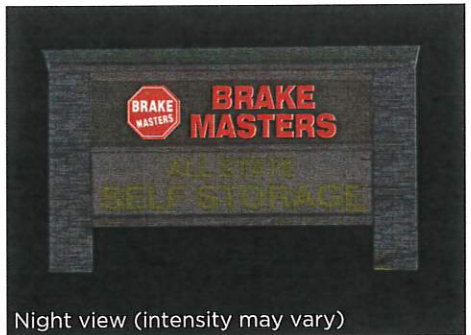


MID Faces (Monument Location TBD)
Aluminum Face With Front Illuminated Pushthrough
3/4" Clear Acrylic With Vinyl First Surface
Install On Existing Sign

Existing Sign

TBD

Night View



Night view (intensity may vary)

Details

Cabinet	Reface Existing
Faces	Lexann/Poly

PMS 485c | Red Plexiglass 2793
Arion 4500-001 RED



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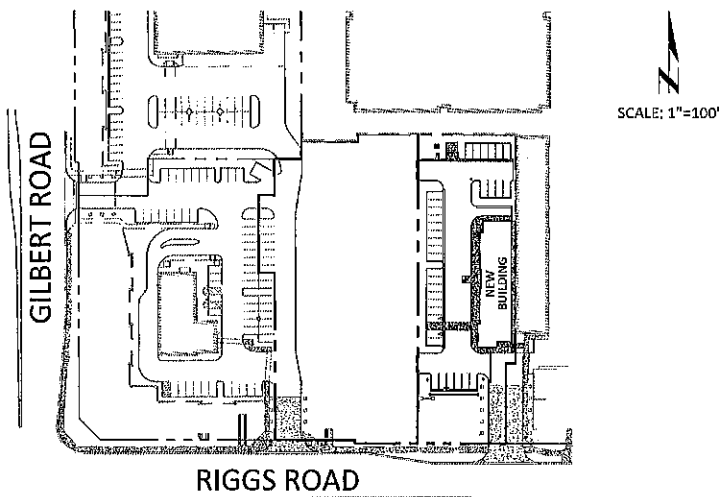
Date

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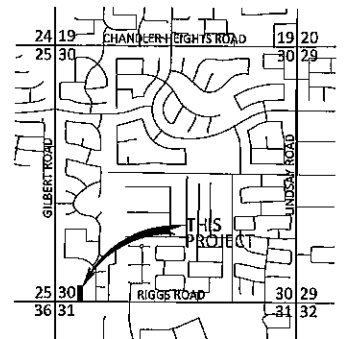
CIVIL IMPROVEMENT PLAN

PRELIMINARY IMPROVEMENT PLAN for
BRAKE MASTERS - RIGGS AND GILBERT

NEC RIGGS ROAD & GILBERT ROAD CHANDLER, ARIZONA
A PORTION SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



PROJECT OVERVIEW



IN THE SW 1/4 OF THE SW 1/4 OF SECTION 30,
T. 2 S., R. 6 E., G. & S. R.M.,
CITY OF CHANDLER, MARICOPA COUNTY, ARIZONA
LOCATION MAP
3" = 1 MILE

CYPRESS CIVIL
4450 North 12th Street
Suite 228
Phoenix, Arizona 85014
P: 623.282.2498
E: jphunt@cypresscivil.com

NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
BRAKE MASTERS - RIGGS AND GILBERT
NEC RIGGS ROAD & GILBERT ROAD CHANDLER, ARIZONA

cover

PROJECT INFORMATION

PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE-STORY VEHICLE SERVICE BUILDING WITH ALL REQUIRED GRADING & DRAINAGE, UTILITY AND PAVING IMPROVEMENTS.

ADDRESS:
NEC RIGGS ROAD & GILBERT ROAD
CHANDLER, ARIZONA 85249

APN: 304-82-988

ZONING: PAD

SITE AREA: 102,260 SF (2.348 AC)

SURVEY NOTES

1. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
SUPERIOR SURVEYING SERVICES, INC.
2122 WEST LONE CACTUS DRIVE, SUITE 11
PHOENIX, ARIZONA 85027
PH: 623-869-0223
CONTACT: DAVID S. KLEIN, R.L.S.
2. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF RIGGS ROAD, ALSO BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, USING A BEARING OF SOUTH 90°00'00" WEST PER THE MINOR LAND DIVISION FOR MESQUITE GROVE DISCOUNT TIRE, BOOK 1437 OF MAPS, PAGE 20, RECORDS OF MARICOPA COUNTY, ARIZONA.
3. THE BASIS OF ELEVATION FOR THIS PROJECT IS THE CITY OF CHANDLER SURVEY BENCHMARK NO. 54A BEING A 3" BRASS CAP IN CONCRETE 79 FEET SOUTH AND 65 FEET WEST OF INTERSECTION OF RIGGS ROAD AND GILBERT ROAD, 2 FEET WEST OF BACK OF CURB HAVING AN ELEVATION OF 1253.53', NAVD88.

BENCHMARK

THE BENCHMARK USED FOR THIS PLAN IS THE CITY OF CHANDLER SURVEY BENCHMARK NO. 54A BEING A 3" BRASS CAP IN CONCRETE 79 FEET SOUTH AND 65 FEET WEST OF INTERSECTION OF RIGGS ROAD AND GILBERT ROAD, 2 FEET WEST OF BACK OF CURB HAVING AN ELEVATION OF 1253.53', NAVD88.

LEGAL DESCRIPTION

LOT 182:
A PORTION OF LOT 18 OF MESQUITE GROVE DISCOUNT TIRE, ACCORDING TO BOOK 1437 OF MAPS, PAGE 20, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 18;
THENCE SOUTH 90°00'00" WEST, ALONG THE SOUTH LINE OF SAID LOT 18 A DISTANCE OF 179.27 FEET;
THENCE CONTINUING ALONG SAID SOUTH LINE, NORTH 00°00'00" EAST, A DISTANCE OF 4.00 FEET;
THENCE CONTINUING ALONG SAID SOUTH LINE, NORTH 90°00'00" WEST, A DISTANCE OF 94.04 FEET;
THENCE DEPARTING SAID SOUTH LINE, NORTH 00°19'52" WEST, A DISTANCE OF 195.85 FEET;
THENCE SOUTH 89°40'08" WEST, A DISTANCE OF 19.00 FEET;
THENCE NORTH 00°19'52" WEST, A DISTANCE OF 91.00 FEET;
THENCE NORTH 89°40'08" EAST, A DISTANCE OF 19.00 FEET;
THENCE NORTH 00°19'52" WEST, A DISTANCE OF 42.25 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 18;
THENCE ALONG THENCE ALONG THE LOT LINE OF SAID LOT 18 THE REMAINING COURSES:
THENCE SOUTH 90°00'00" EAST, A DISTANCE OF 31.87 FEET;
THENCE NORTH 00°18'54" WEST, A DISTANCE OF 20.83 FEET;
THENCE NORTH 90°00'00" EAST, A DISTANCE OF 66.62 FEET;
THENCE NORTH 00°00'00" EAST, A DISTANCE OF 8.17 FEET;
THENCE NORTH 90°00'00" EAST, A DISTANCE OF 188.20 FEET;
THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 268.07 FEET;
THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 11.35 FEET;
THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 94.01 FEET TO THE POINT OF BEGINNING.

PROJECT RETENTION

REQUIRED RETENTION (100-YEAR, 2-HOUR)
VOLUME [CF] = C x [P (IN) / 12] x AREA [SF] x 110%

OFFSITE
Cw = [(0.5 x 15,480 SF) + (0.95 x 23,200 SF)] / 38,680 SF
Cw = 0.77

V = 0.77 x (2.2/12) x 38,680 x 1.1
V = 6,006 CF

PROVIDED RETENTION:
SURFACE BASIN: 4,050 CF + 2,020 CF = 6,070 CF

ONSITE
Cw = [(0.5 x 3,937 SF) + (0.95 x 33,945 SF)] / 37,882 SF
Cw = 0.90

V = 0.90 x (2.2/12) x 37,882 x 1.1
V = 6,875 CF

PROVIDED RETENTION:
SURFACE BASIN: 430 CF
39 STORMTECH MC-3500 CHAMBERS: 6,825 CF
TOTAL PROVIDED RETENTION: 7,255 CF

DRYWELL CALCULATIONS

DRYWELL DISSIPATION RATE = 0.1 CFS

TIME (SEC) = VOLUME [CF] / RATE [CFS]

OFFSITE (EXISTING DRYWELL)
TOTAL VOLUME = 6,006 CF

t = 6,006 / 0.1 = 60,060 SEC = 16.7 HOURS

ONSITE (NEW DRYWELL)
TOTAL VOLUME = 6,006 CF

t = 6,875 / 0.1 = 68,750 SEC = 19.1 HOURS

DRAINAGE STATEMENT

-SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
-OFFSITE FLOWS AFFECT THIS SITE - YES, RIGGS ROAD HALF ROW.
-RETENTION PROVIDED IS 100-YEAR, 2-HOUR
-EXTREME STORM OUTFALLS THE SITE AT THE SOUTH PARKING LOT AT THE ELEVATION OF 1254.30.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C3105M, DATED NOVEMBER 4, 2015 THE PARCEL IS LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

LEGEND

---	PROJECT RIGHT-OF-WAY	---	NEW ASPHALT
---	EXISTING RIGHT-OF-WAY	---	NEW CONCRETE
---	PROJECT/NEW PROPERTY LINE	---	NEW WALL
---	EXISTING PROPERTY LINE	---	NEW CURB
---	ROADWAY CENTERLINE	---	NEW PAINT STRIPE
---	EXISTING EASEMENT	---	NEW STORM DRAIN PIPE
---	EXISTING CONTOUR	---	NEW SEWER LINE
---	NEW CONTOUR	---	NEW WATER LINE
---	EXISTING CONCRETE	---	NEW FIRE SERVICE
---	EXISTING WALL	---	NEW FIRE BACKFLOW PREVENTER
---	EXISTING CURB	---	NEW WATER VALVE
---	EXISTING PAINT STRIPE	---	NEW WATER METER
---	EXISTING FENCE	---	NEW BACKFLOW PREVENTER
---	EXISTING STORM DRAIN PIPE	---	NEW FIRE BACKFLOW PREVENTER
---	EXISTING UNDERGROUND ELECTRIC	---	NEW WATER STUB
---	EXISTING COMMUNICATION LINE	---	NEW SINGLE CHAMBER DRYWELL
---	EXISTING OVERHEAD ELECTRIC	---	SURVEY MONUMENT AS NOTED
---	EXISTING SEWER LINE	---	SPOT ELEV. (EXIST. GRADE)
---	EXISTING WATER LINE	---	SPOT ELEV. (NEW GRADE)
---	EXISTING FIRE SERVICE	---	RIGHT-OF-WAY
---	EXISTING SEWER MANHOLE	---	BACK OF CURB
---	EXISTING WATER STUB	---	BACK OF SIDEWALK
---	EXISTING WATER VALVE	---	RECORDED VALUE
---	EXISTING WATER METER	---	MEASURED VALUE
---	EXISTING BACKFLOW PREVENTER	---	PAVEMENT (ASPHALT)
---	EXISTING FIRE HYDRANT	---	CONCRETE
---	EXISTING FIRE CONNECTION	---	GUTTER
---	EXISTING FIRE BACKFLOW PREVENTER	---	TOP OF CURB
---	EXISTING STORM DRAIN MANHOLE	---	FINISHED GRADE
---	EXISTING DRYWELL	---	LOW POINT
---	EXISTING STREET LIGHT	---	HIGH POINT
---	EXISTING ELECTRIC PULL BOX	---	GRADE BREAK
---	EXISTING UTILITY POLE	---	FINISHED FLOOR ELEVATION
---	EXISTING UNKNOWN UTILITY	---	

OWNER/DEVELOPER

HEIGHT PROPERTIES, LLP
6719 EAST BROADWAY BOULEVARD
TUCSON, ARIZONA 85711
PH: 520-631-9000
ATTN: JIM EGAN

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: JEFF HUNT, PE

ARCHITECT

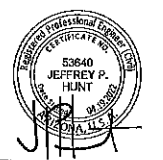
KBP ARCHITECTURE, LLC
11635 EAST TANQUE VERDE ROAD
TUCSON, ARIZONA 85749
PH: 520-982-2019
ATTN: KEVIN PETRICK

UTILITIES

WATER: CITY OF CHANDLER
SEWER: CITY OF CHANDLER
ELECTRIC: SALT RIVER PROJECT
GAS: SOUTHWEST GAS
TELEPHONE: CENTURYLINK
CABLE: COX COMMUNICATIONS

SHEET INDEX

1. COVER SHEET
2. GRADING AND DRAINAGE PLAN
3. ONSITE UTILITY PLAN



DRAWN:	PT
DESIGNED:	DS
CHECKED:	JH
DATE:	04-19-2022
JOB NO:	21.213
SHEET NUMBER	





THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING

KEYNOTES

- 1 EXISTING ASPHALT TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 5 EXISTING SCUPPER AND RIP RAP SPILLWAY TO REMAIN.
- 6 EXISTING DRY WELL TO REMAIN.
- 7 EXISTING MASONRY SCREEN WALL TO REMAIN.
- 8 NEW ASPHALT PAVEMENT.
- 9 NEW CONCRETE PAVEMENT.
- 10 NEW CONCRETE VERTICAL CURB.
- 11 NEW CONCRETE VERTICAL CURB AND GUTTER.
- 12 NEW VALLEY GUTTER.
- 13 NEW CONCRETE SIDEWALK.
- 14 NEW ACCESSIBLE ACCESS RAMP.
- 15 NEW CURB OPENING.
- 16 NEW RIP RAP SPILLWAY.
- 17 NEW TRASH ENCLOSURE AND CONCRETE APRON.
- 18 NEW MASONRY SCREEN WALL.
- 19 NEW STORM DRAIN INLET.
- 20 NEW STORM DRAIN PIPE.
- 21 NEW BASIN EQUALIZER PIPE.
- 22 NEW STORMTECH MC-3500 STORM WATER CHAMBERS.
TOTAL INSTALLED VOLUME = 6,825 CF.
- 23 NEW SINGLE-CHAMBER DRYWELL.
- 24 ROOF DOWNSPOUT LOCATION.
- 25 NEW CONCRETE GUTTER.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 00°19'52" E	195.85'
L2	N 89°40'08" E	19.00'
L3	S 00°15'52" E	91.00'
L4	S 89°40'08" W	19.00'
L5	S 00°19'52" E	42.25'
L6	N 90°00'00" E	31.88'
L7	N 00°18'54" W	20.83'
L8	N 90°00'00" E	66.62'
L9	N 00°00'00" E	8.17'
L10	N 90°00'00" E	188.20' (R) / 188.18' (M)
L11	S 00°00'00" W	268.07' (R) / 268.08' (M)
L12	S 90°00'00" W	11.35'
L13	S 00°00'00" W	94.01'
L14	S 90°00'00" W	179.27'
L15	N 00°00'00" E	4.00'
L16	S 90°00'00" W	94.04'

**CYPRESS
CIVIL**
4450 north 12th street
suite 228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

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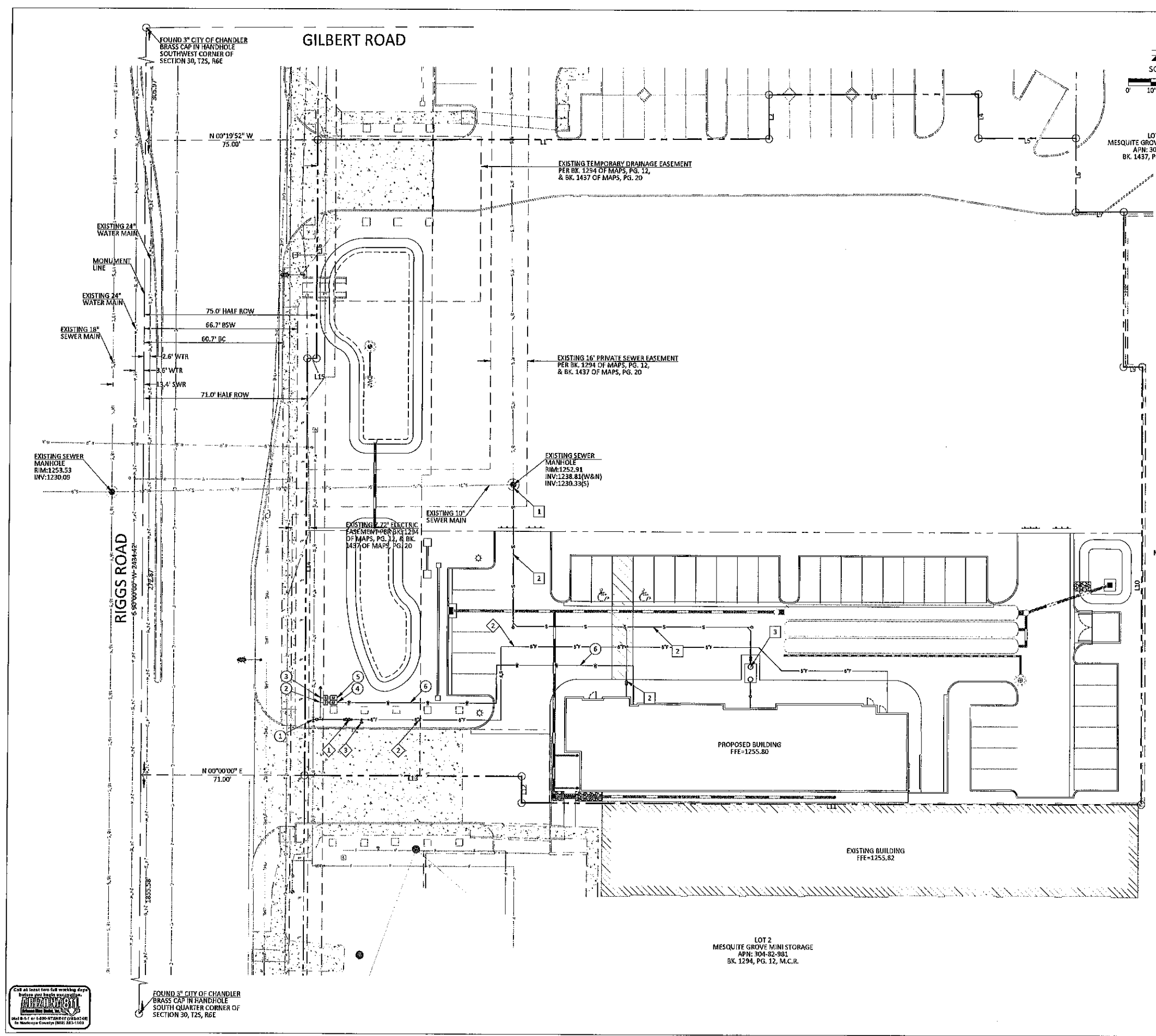
**PRELIMINARY IMPROVEMENT PLAN for
BRAKE MASTERS - RIGGS AND GILBERT
NEC RIGGS ROAD & GILBERT ROAD CHANDLER, ARIZONA**

grading and drainage plan

grading and drainage plan



DRAWN:	PT
DESIGNED:	DS
CHECKED:	JH
DATE:	04-19-2022
JOB NO:	21.213
SHEET NUMBER	



- PRIVATE WATER KEYNOTES**
- 1 NEW MULTI-METER TAP PER CITY OF CHANDLER DETAIL C-301.
 - 2 NEW DOMESTIC WATER METER.
 - 3 NEW IRRIGATION WATER METER.
 - 4 NEW DOMESTIC BACKFLOW PREVENTER.
 - 5 NEW IRRIGATION BACKFLOW PREVENTER.
 - 6 NEW DOMESTIC WATER LINE.
- PRIVATE FIRE LINE KEYNOTES**
- 1 NEW 6" BACKFLOW PREVENTER.
 - 2 NEW 6" DIP FIRE LINE.
 - 3 NEW REMOTE FDC LOCATION.
- PRIVATE SEWER KEYNOTES**
- 1 TAP EXISTING SEWER MANHOLE WITH DROP SEWER CONNECTION.
 - 2 NEW 6" PVC SDR-35 SEWER LINE.
 - 3 NEW SAND/OIL INTERCEPTOR.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 00°19'52" E	195.89'
L2	N 89°40'08" E	19.00'
L3	S 00°19'52" E	91.00'
L4	S 89°40'08" W	19.00'
L5	S 00°19'52" E	42.25'
L6	N 90°00'00" E	31.88'
L7	N 00°18'54" W	20.83'
L8	N 90°00'00" E	66.62'
L9	N 00°00'00" E	8.17'
L10	N 90°00'00" E	188.20' (R) / 188.18' (M)
L11	S 00°00'00" W	268.07' (R) / 268.08' (M)
L12	S 90°00'00" W	11.35'
L13	S 00°00'00" W	94.01'
L14	S 90°00'00" W	179.27'
L15	N 00°00'00" E	4.00'
L16	S 90°00'00" W	94.04'

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NO.	REVISION	DATE

**PRELIMINARY IMPROVEMENT PLAN for
BRAKE MASTERS - RIGGS AND GILBERT**
NEC RIGGS ROAD & GILBERT ROAD CHANDLER, ARIZONA

onsite utility plan

DRAWN: PT
DESIGNED: DS
CHECKED: JH
DATE: 04-19-2022
JOB NO: 21.213
SHEET NUMBER



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING