

McQueen Live Work

2160 North McQueen Road
Chandler, Arizona 85225

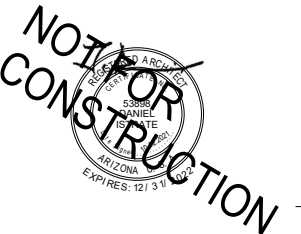
43rd AVENUE COMMONS
11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

COVER SHEET

SCALE

-052

PROJECT NUMBER

A00

DRAWING NUMBER



KONTEXTURE

architecture | interiors | urban planning

PLH21-0089

Development Booklet

Plot Date:

PLH21-0089

October 6, 2022

RE: City of Chandler Rezoning and Site Plan Review:
McQueen Live Work
2160 North McQueen Road
Chandler, AZ 85225

To whom it may concern,

Please see the attached sheets regarding the above project for your record. Let us know if you have any questions or concerns.

Attachments:**1. Architectural**

- 1 sets of Architectural sheets, including:
 - A00, A0.1, A0.3, A1.0, A1.2, A3.0, A4.1, and A4.1 (black and white)
 - Project team, table of contents, project narrative, site plan, and site plan details are provided on Sheet A0.1
 - Color site plan provided (with landscaping) on Sheet A0.3
 - Perspectives provided on Sheet A00 with additional views included on sheet A7.0
 - Landscape plan provided on Sheet A0.3
 - Signage location, approximate size, and notes provided on Sheet A4.1
 - Preliminary Grading and Drainage and Plat will be provided as soon as possible, pending completion by the Civil Engineer / Surveyor

Let us know if you have any questions or concerns. Thank you for your time.

Sincerely,

Jorge Toscano, AIA Assoc.
Principal | Design Director
KONTEXTURE, LLC
3334 N. 20th Street
Phoenix, AZ 85016
P.602.875.6221
D.602.875.6230
C.520.979.5197
F.602.875.6239
www.kontexture.com

October 6, 2022

City of Chandler
Planning and Development
215 E Buffalo St
Chandler, AZ 85225

Project Narrative

**Re: McQueen Live Work-Project
PLH21-0089
2160 McQueen Road
Chandler, Arizona 85225**

The McQueen Live Work project will consist of two (2) buildings with a total footprint of 12,786 square feet. The new buildings will be connected with a gabled architectural feature that will open to a pedestrian breezeway between the structures for access to the west side (rear) of the site to the parking and residential amenities. The architectural character of this project is to resemble the adjacent buildings in the existing commercial center. The new structures will be placed on two combined lots on the west side of mc queen road in chandler Arizona. All parking and circulation will be on site. Trash, landscape, and floodwater retention will be in accordance with the City of Chandler ordinance. The building will house 9 residential live/work units with work area with private ADA bathrooms on the lower level and a full 2-bedroom, 2 bath living unit on the upper level.

The property is zoned PAD with Land Use Mixed Use.

The stipulations for this project are:

1. Development of the overall site shall be in substantial conformance with the Development Booklet kept on file in the City of Chandler Planning Division, in File No. PLH21-0089, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Permitted uses include Medium Density Residential and Neighborhood Commercial subject to the following:
 - a. Medium Density Residential shall not exceed a density of eight (8) dwelling units per acre.
 - b. Permitted commercial uses shall be those permitted in the Neighborhood Commercial District except:
 1. Restaurants or cafés shall not exceed two hundred and fifty (250) square feet of serving area, and
 2. The following commercial uses shall be prohibited: Dental offices, medical offices, medical clinics including veterinarians, bars, cocktail lounges, automotive repair services, animal daycare, recreational assembly, entertainment activities, childcare, preschools, educational facilities offering any grades from kindergarten to 12th grade, churches and other places of worship, gymnasiums, fitness centers, martial arts studios, laundromats, drive-through uses, and music or dancing conservatories or schools.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
4. The landscaping and all other improvements in all open-spaces shall be maintained by the property owner or property owners' association and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.

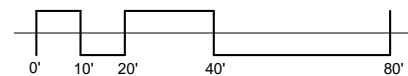
*The landscape plan provided does not reflect the final building plan, this is conceptual and will be finalized with the help of a Landscape Architect in Building Review.

If you have any questions or comments regarding this project, please contact.

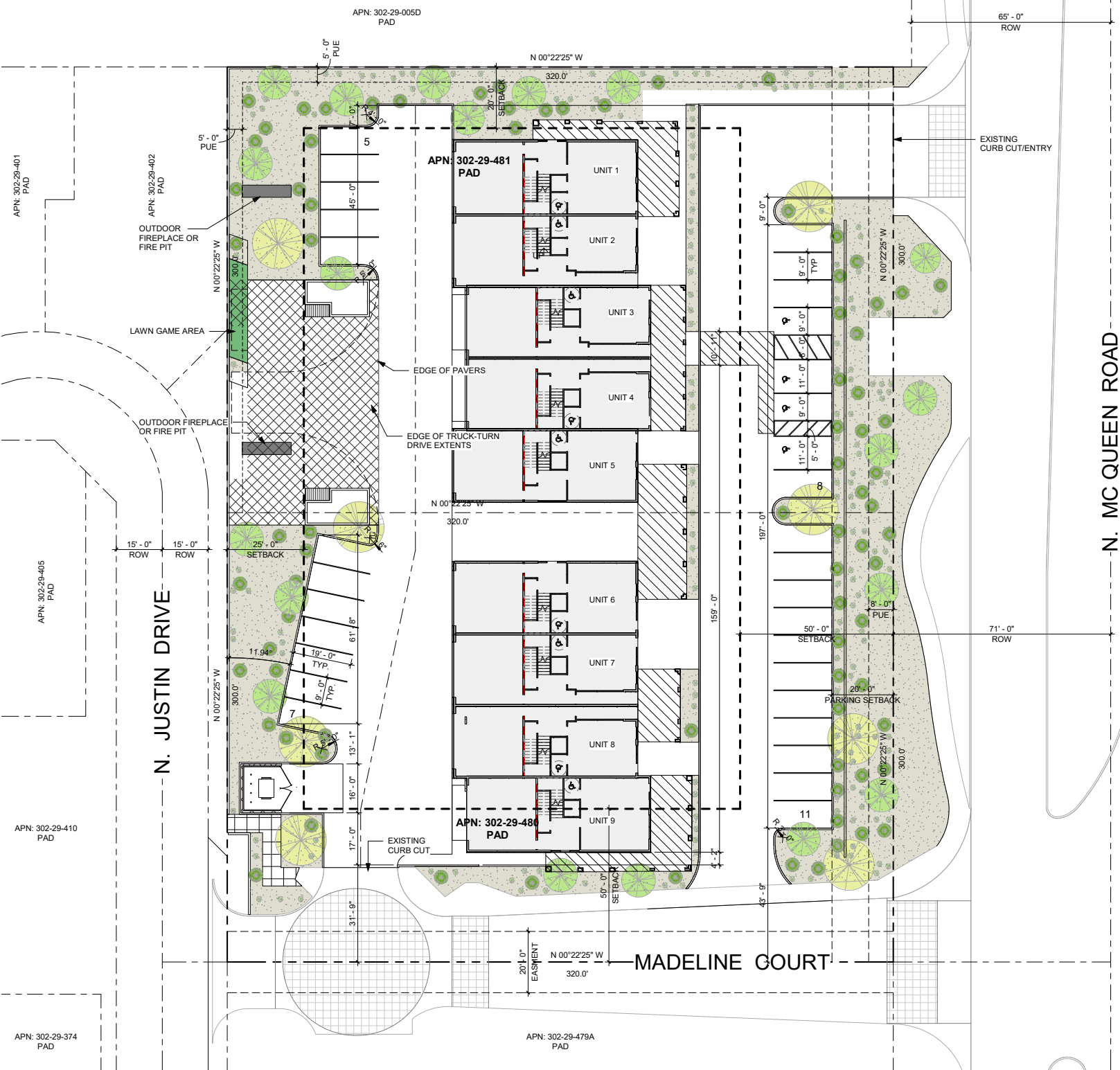
Jorge Toscano, AIA assoc. Principal at 602-875-6221 or jorge.toscano@kontexture.com

A handwritten signature in black ink, appearing to read 'Jorge Toscano', with a stylized flourish at the end.





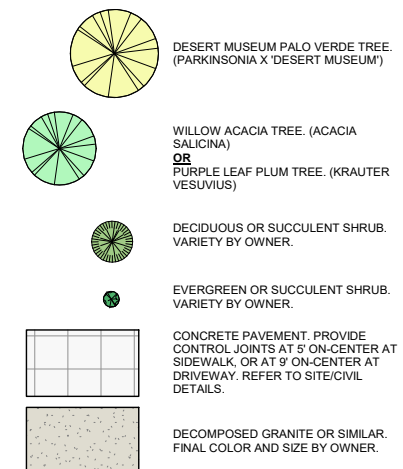
A0.1



GENERAL NOTES

- A. ALL FINISHES/FIXTURES/APPLIANCES TO BE COMPLETED BY OWNER.
- B. PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- C. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- D. ALL GAS FIREPLACES TO INCLUDE A PERMANENTLY INSTALLED APPROVED GAS LOG SET.
- E. SHOWER DOORS SHALL HAVE SAFETYGLAZING AND SWING OUTWARD (R308.4).
- F. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN. DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 506.3).
- H. PROVIDE STAIRWAY ILLUMINATION PER (R303.6).
- I. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS... PER R703.8.
- J. ALL INTERIOR WALLS, CLGS AND SFFS TO HAVE SQUARE CORNER BEAD.
- K. ALL DRYER VENTS TO BE FINISHED LEVEL TO MATCH EXISTING.
- L. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- M. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. VERIFY LOCATIONS WITH OWNER.
- N. ALL OUTSIDE STUCCO CORNERS TO MATCH EXISTING WITH REINFORCEMENTS.
- O. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER.
- P. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS, AND VENTS... PER R703.8.
- Q. FOR DOOR SCHEDULE SEE SCHED AT 7.0.
- R. FOR SMOKE DETECTORS SEE RCP SHEETS.
- S. EACH WALL CURB CUT SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.

LANDSCAPE LEGEND



LANDSCAPE NOTES

- | | |
|----|--|
| A. | TREES SHALL HAVE A 10-GALLON MINIMUM CONTAINER SIZE. |
| B. | ALL PLANT MATERIAL UTILIZED FOR SCREENING OF PARKING, REFUSE, SERVICE AND UTILITY AREAS SHALL HAVE A MINIMUM FIVE-GALLON CONTAINER SIZE AND SHALL BE INSTALLED IN A PATTERN WITH SPACING THAT WILL PROVIDE A CONTINUOUS SCREEN UPON MATURE SIZE OF THE PLANT MATERIAL. |
| C. | ALL SHRUBS UTILIZED ON SITE SHALL HAVE A MINIMUM FIVE-GALLON CONTAINER SIZE. |
| D. | ALL GROUNDCOVERS UTILIZED ON SITE SHALL HAVE A MINIMUM ONE-GALLON CONTAINER SIZE. |
| E. | LANDSCAPE AREAS SHALL BE DESIGNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THE LIGHT, LOCATION, AND SIGHT VISIBILITY REQUIREMENTS AS SET FORTH IN THE CITY OF CHANDLER ZONING CODE. |

43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE

architecture | interiors | urban planning

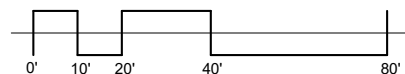
KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

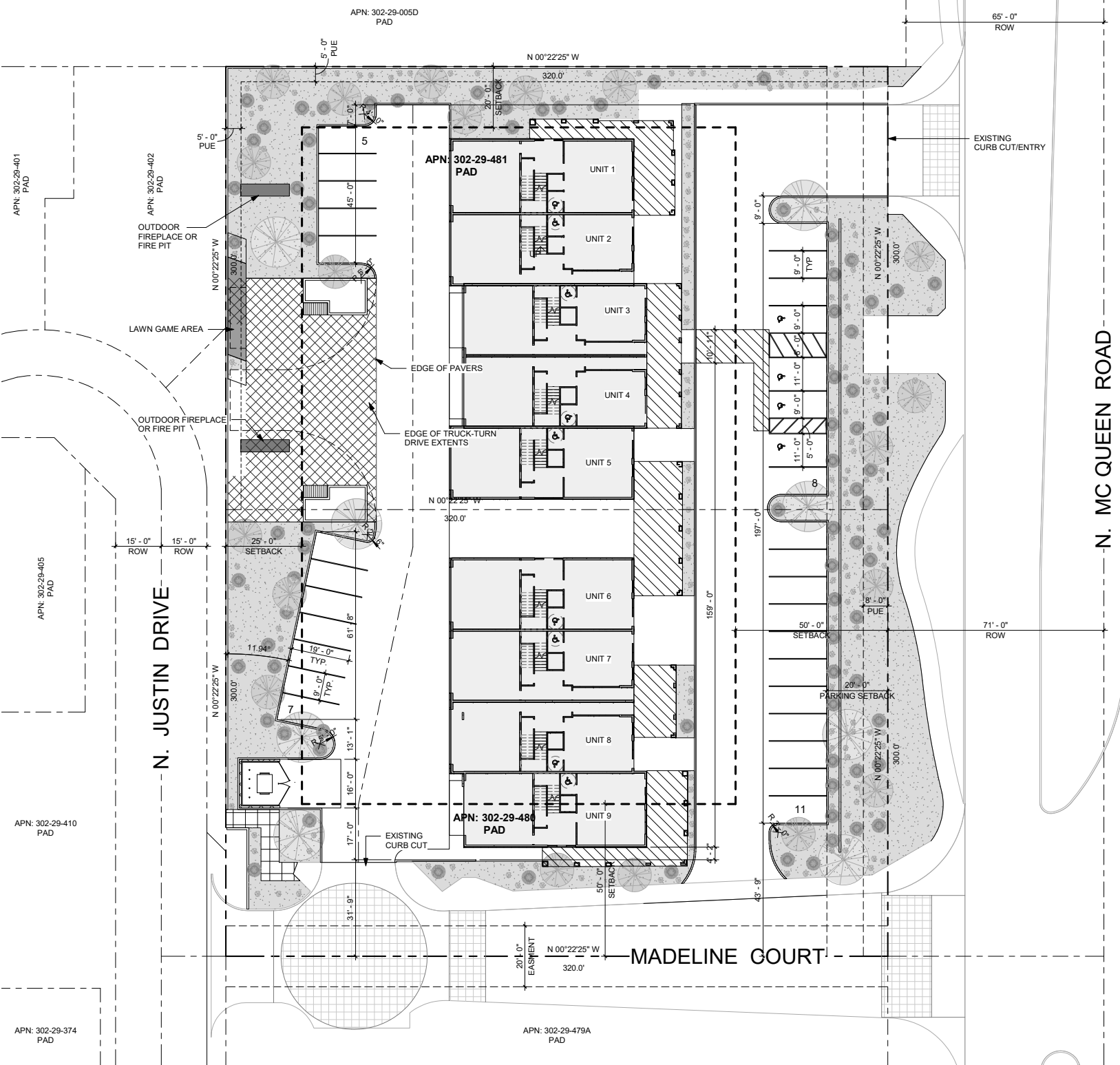
[illegible]

SEALS AND SIGNATURES



KEYPLAN

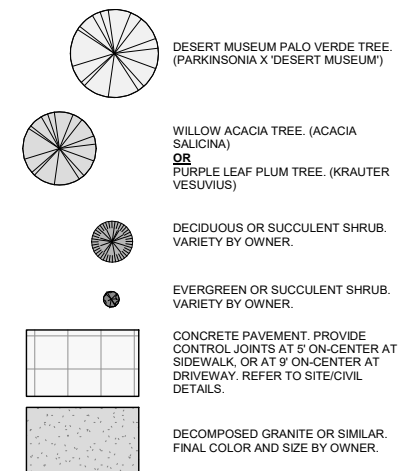




GENERAL NOTES

- A. ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER.
- B. PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- C. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- D. ALL GAS FIREPLACES TO INCLUDE A PERMANENTLY INSTALLED APPROVED GAS LOG SET.
- E. SINKHOLE DROPS SHALL HAVE SAFETYGLAZING AND SWING OUTWARD (R308.4).
- F. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3).
- H. PROVIDE STAIRWAY ILLUMINATION PER (R303.6).
- I. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS... PER R703.8.
- J. ALL INTERIOR WALLS, CLGS AND SFFITS TO HAVE SQUARE CORNER BEAD.
- K. ALL DRY TO THE FINISHED LEVEL TO MATCH EXISTING.
- L. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- M. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. VERIFY LOCATIONS WITH OWNER.
- N. ALL OUTSIDE STUCCO CORNERS TO MATCH EXISTING WITH REINFORCEMENTS.
- O. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER.
- P. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS, AND VENTS... PER R703.8.
- Q. FOR EACH DOOR SCHEDULE SEE SHEET A7.0.
- R. FOR SMOKE DETECTORS SEE ROP SHEETS.
- S. EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.

LANDSCAPE LEGEND



LANDSCAPE NOTES

- | | |
|----|--|
| A. | TREES SHALL HAVE A 10-GALLON MINIMUM CONTAINER SIZE. |
| B. | ALL PLANT MATERIAL UTILIZED FOR SCREENING OF PARKING, REFUSE, SERVICE AND UTILITY AREAS SHALL HAVE A MINIMUM FIVE-GALLON CONTAINER SIZE AND SHALL BE INSTALLED IN A PATTERN WITH SPACING THAT WILL PROVIDE A CONTINUOUS SCREEN UPON MATURE SIZE OF THE PLANT MATERIAL. |
| C. | ALL SHRUBS UTILIZED ON SITE SHALL HAVE A MINIMUM FIVE-GALLON CONTAINER SIZE. |
| D. | ALL GROUNDCOVERS UTILIZED ON SITE SHALL HAVE A MINIMUM ONE-GALLON CONTAINER SIZE. |
| E. | LANDSCAPE AREAS SHALL BE DESIGNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THE LIGHT, LOCATION, AND SIGHT VISIBILITY REQUIREMENTS AS SET FORTH IN THE CITY OF CHANDLER ZONING CODE. |

43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE

architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

LANDSCAPE PLAN

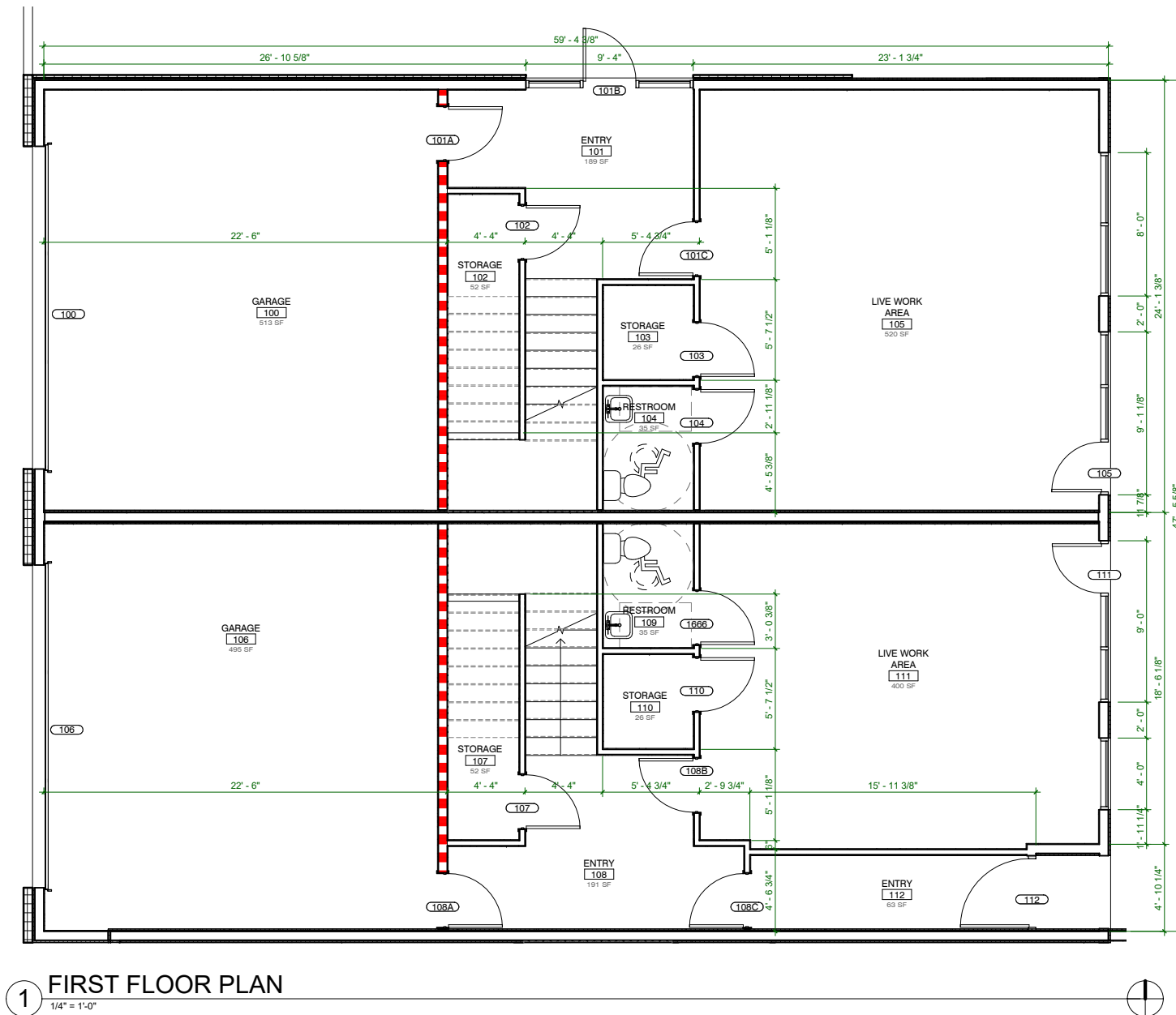
As indicated

SCALE

PROJECT NUMBER

DRAWING NUMBER

A0.3



GENERAL NOTES:

- A. REFLECT TO SHEET A.0.0 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI-GLASS LATEX REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED
- H. NOT USED
- I. USE MOISTURE RESISTANT GYPSUM BOARD AT WALLS AND BEHIND PLUMBING FIXTURES.
- J. DIMENSIONS ARE TO FACE OF STUD. UNO
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 5/8" ABOVE FINISH CEILING.
- M. CONTRACTOR SHALL PROVIDE A 6" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- N. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES:

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES

ABBREVIATION &
SYMBOLS LEGEND:

	ROOM TAG
	DOOR TAG
	WINDOW TAG
	WALL TAG
	DETAIL TAG
	SECTION CUT
	ELEVATION MARK

WALL TYPES:

DRAWING TITLE

FLOOR PLAN

 $1/4" = 1'-0"$

SCALE 21-052

DRAWING NUMBER

A1.0

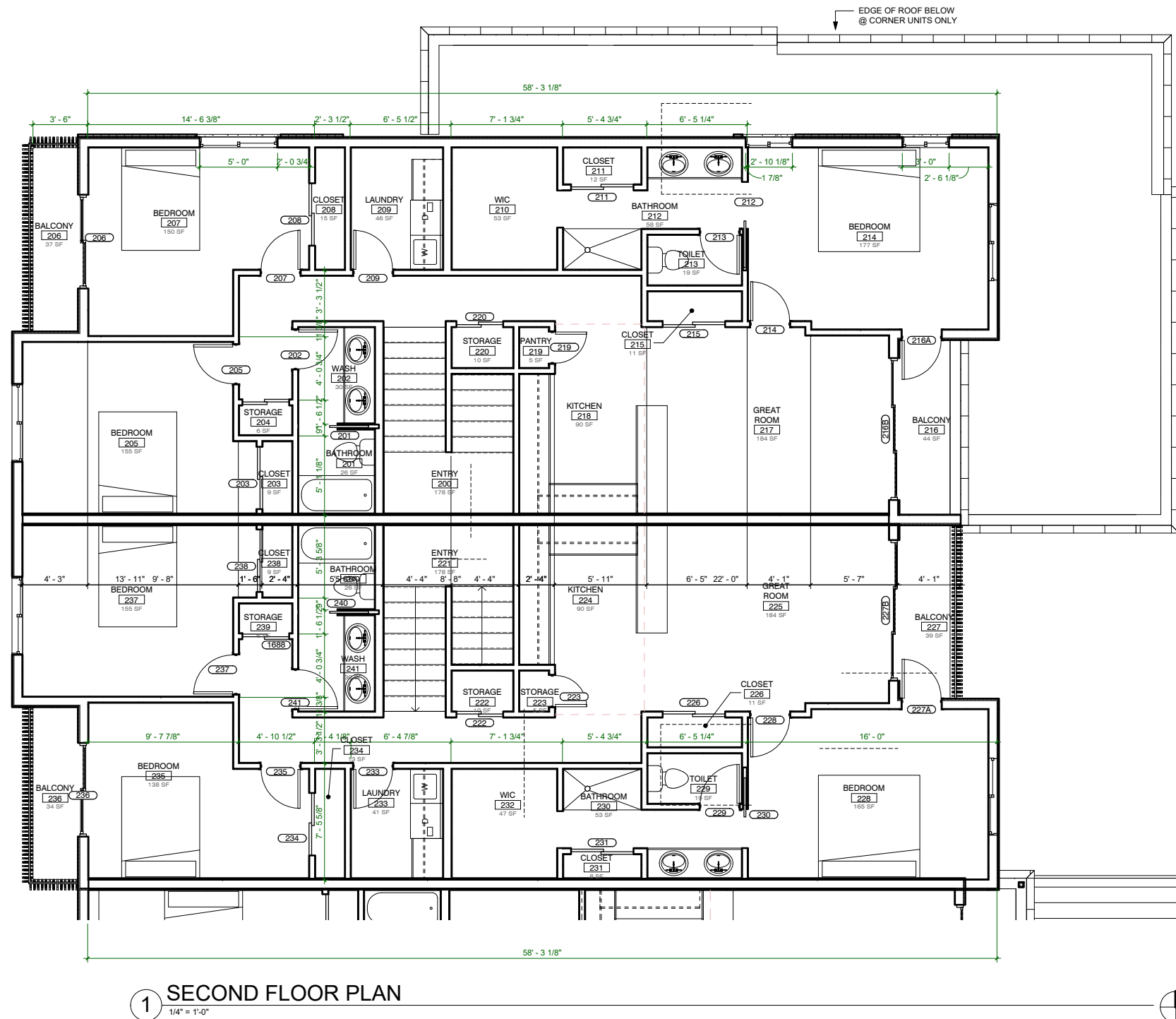
43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

NOT FOR CONSTRUCTION

KEYPLAN



GENERAL NOTES:

- A. REFER TO SHEET A0.0 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMILOGSS LATEX REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED
- H. NOT USED
- I. USE MOISTURE RESISTANT GYPSUM BOARD AT WALLS AND BEHIND PLUMBING FIXTURES.
- J. DIMENSIONS ARE TO FACE OF STUD. UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR RECORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 6" ABOVE FINISH CEILING.
- M. CONTRACTOR SHALL PROVIDE A 6" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- N. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES:

ABBREVIATION &
SYMBOLS LEGEND:

	ROOM TAG
	DOOR TAG
	WINDOW TAG
	WALL TAG
	DETAIL TAG
	SECTION CUT
	ELEVATION MARK

WALL TYPES:

43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES

KEYPLAN

DRAWING TITLE

FLOOR PLAN - 2ND
FLOOR

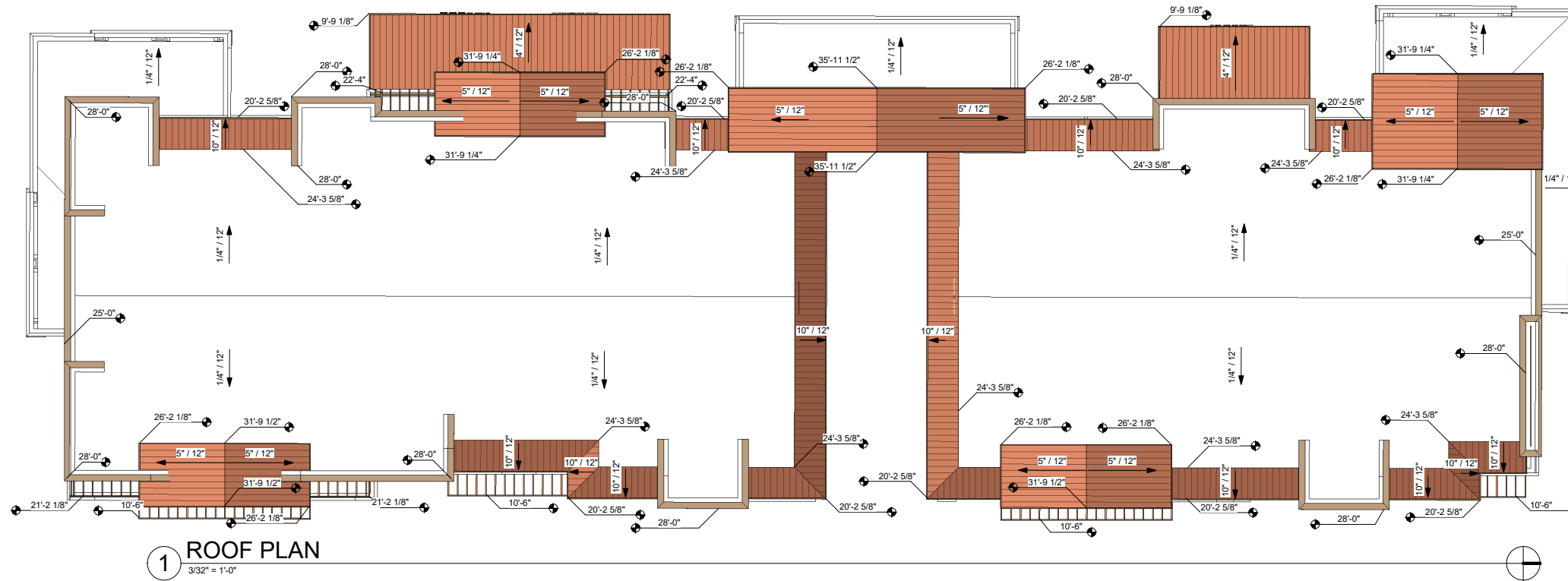
$$1/4'' = 1'-0''$$

21-052

DRAWING NUMBER

A1.2

Plot Date:



GENERAL NOTES:

- A. REFLECT TO SHEET A0.0 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI GLOSS TEX REF EXCEPT TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED
- H. I. USE MOISTURE RESISTANT GYPSUM BOARD AT WALL WALLS AND BEHIND PLUMBING FIXTURES.
- J. DIMENSIONS ARE TO FACE OF STUD. UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LAY OUT PROVIDED WALL SUBSTRATE IS INSTALLED MIN 6" ABOVE FINISH CEILING.
- M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- N. ALL EXTERIOR DOOR LANDINGS GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES:

43rd AVENUE COMMONS

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

ROOF PLAN

3/32" = 1'-0"

SCALE

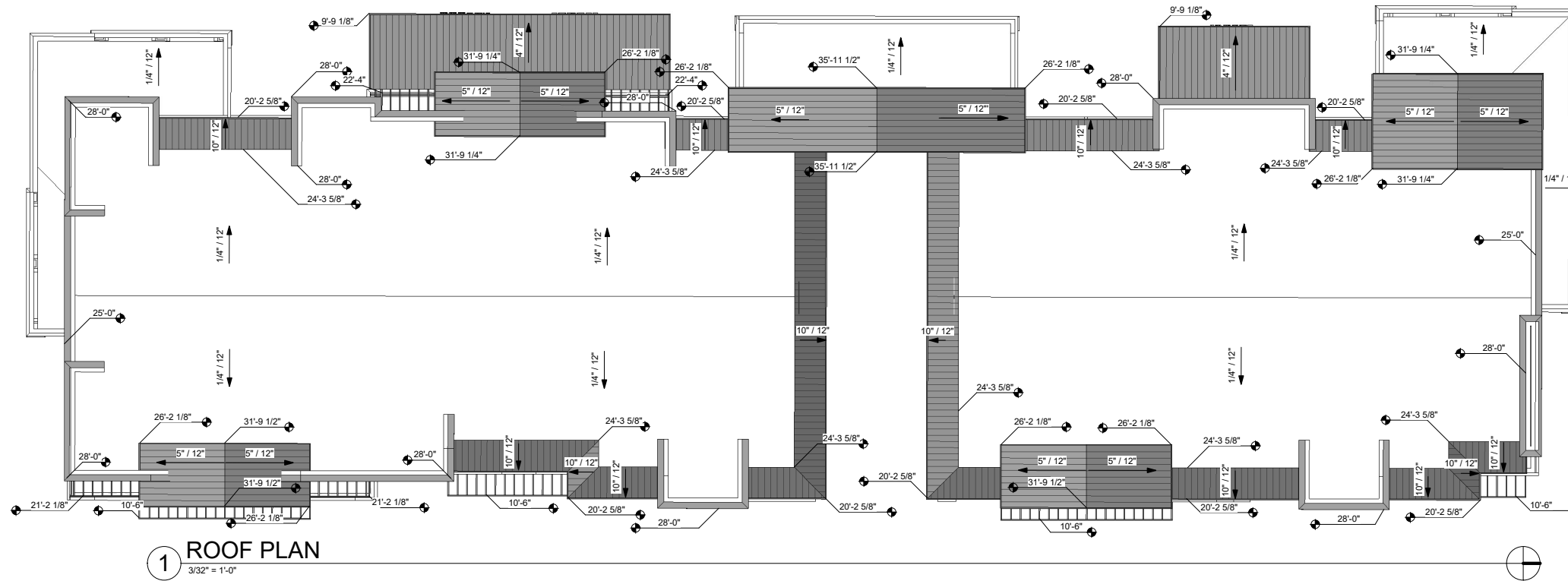
PROJECT NUMBER

DRAWING NUMBER

21-052

21-052

A3.0



GENERAL NOTES:

- A. REFLECT TO SHEET A0.0 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI GLOSS TEX REF EXCEPT TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED
- H. I. USE MOISTURE RESISTANT GYPSUM BOARD AT WALL WALLS AND BEHIND PLUMBING FIXTURES.
- J. DIMENSIONS ARE TO FACE OF STUD. UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LAY OUT PROVIDED WALL SUBSTRATE IS INSTALLED MIN 6" ABOVE FINISH CEILING.
- M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- N. ALL EXTERIOR DOOR LANDINGS GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES:

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

ROOF PLAN

$$\frac{3}{32}'' = 1'-0''$$

SCALE _____ 21-052

PROJECT NUMBER

DRAWING NUMBER

43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

A3.0

SIZE AND LOCATION APPROXIMATELY >2 SQ.FT. PER LINEAR FT. OF BUSINESS FRONTAGE PER ZONING REGULATIONS AND ATTACHED ON FACE OF STUCCO PROJECTIONS PER ELEVATIONS BELOW.



ROOF TILE:

RT-1
TERRA COTTA TILE
SPANISH STYLE

STONE

ST-1
ELDORADO STONE
GRAND BANKS - LIM

PT-1

PT-2

PT-3

PT-4

11990 N 43rd Ave
Glendale, Arizona 85304

architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

ELEVATIONS

As indicated

21-052

PROJECT NUMBER _____

DRAWING NUMBER _____

A4.1

SIZE AND LOCATION APPROXIMATELY >2 SQ.FT. PER LINEAR FT. OF BUSINESS FRONTAGE PER ZONING REGULATIONS AND ATTACHED ON FACE OF STUCCO PROJECTIONS PER ELEVATIONS BELOW.



SW 6153

Protégé Bronze

Interior / Exterior

Location Number: 207-C7

PT-4

SW 6153
Protégé Bronze
Interior / Exterior
Location Number: 207-C7

PT-4

21-052

A4.1

DRAWING NUMBER



43rd AVENUE COMMONS

1190 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEYPLAN

DRAWING TITLE

VIEWS

SCALE

1-052

PROJECT NUMBER

A7.0

DRAWING NUMBER

Plot Date:



43rd AVENUE COMMONS

11990 N 43rd Ave
Glendale, Arizona 85304

KONTEXTURE
architecture | interiors | urban planning

KONTEXTURE, LLC
ARCHITECT
3334 N. 20TH STREET
PHOENIX, AZ, 85016
T: 602.875.6221
F: 602.875.6239

[illegible]

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

VIEWS

SCALE _____ 21-052

PROJECT NUMBER

A7.0

DRAWING NUMBER