

Planning and Zoning Commission Regular Meeting

June 1, 2022 | 5:30 p.m.
Chandler City Council Chambers
88 E. Chicago, Chandler AZ



Commission Members

Chair Rick Heumann
Vice Chair David Rose
Commissioner Erik Morgan
Commissioner Sherri Koshiol
Commissioner Mike Quinn
Commissioner Jeff Velasquez
Commissioner Kyle Barichello

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. § 38-431.02, notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a REGULAR MEETING open to the public on Wednesday, June 1, 2022, at 5:30 p.m., at City Council Chambers, 88 E. Chicago Street, Chandler, AZ. One or more members of the Commission may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.

Planning and Zoning Commission

Regular Meeting Agenda - June 1, 2022

Call to Order/Roll Call

Pledge of Allegiance

Scheduled/Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the Board or Commission, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.

1. **April 20, 2022, Planning and Zoning Commission Meeting Minutes**
Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of April 20, 2022, and Regular Meeting of April 20, 2022.
2. **Rezoning, Preliminary Development Plan, and Preliminary Plat, PLH21-0094/PLT21-0063 Alta Uptown, located at the southeast corner of Arizona Avenue and Corporate Place, more generally located 1/4 mile north of the northeast corner of Arizona Avenue and Warner Road**
Rezoning
Move Planning and Zoning Commission recommend approval of Rezoning PLH21-0094 Alta Uptown, Rezoning from Region Commercial (C-3) to Planned Area Development for multi-family residential, subject to the conditions as recommended by Planning staff.
Preliminary Development Plan
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH21-0094 Alta Uptown for site layout and building architecture, subject to the conditions as recommended by Planning staff.
Preliminary Plat
Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT21-0063 Alta Uptown, subject to the condition as recommended by Planning staff.

3. **Use Permit, PLH22-0016 Thomas Wellness Center, 7030 W. Oakland Street Suite 101, generally located 1/2 mile north of the northwest corner of Chandler Boulevard and 56th street.**

Move Planning and Zoning Commission recommend approval of Use Permit PLH22-0016 Thomas Wellness Center for the operation of an outpatient treatment center, subject to the conditions as recommended by Planning staff.

Member Comments/Announcements

Calendar

4. The next Regular Meeting will be held on Wednesday, June 15, 2022, in the Chandler City Council Chambers, 88 East Chicago Street, Chandler, Arizona.

Adjourn



**Planning & Zoning Commission
22-023**

Development Services Memo No. PZ

Date: June 1, 2022
To: Planning and Zoning Commission
Thru: Kevin Mayo, Planning Administrator
From: Julie San Miguel, Sr Administrative Assistant
Subject: Study Session and Regular Meeting Minutes of April 20, 2022, Planning and Zoning Commission

Proposed Motion:

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of April 20, 2022, and Regular Meeting of April 20, 2022.

Attachments

April 20, 2022, Study Session Minutes
April 20, 2022, Regular Meeting Minutes

Meeting Minutes

Planning and Zoning Commission

Study Session

March 16, 2022 | 5:10 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Chairman Heumann at 5:10 p.m.

Roll Call

Commission Attendance

Chairman Rick Heumann
Vice Chairman David Rose
Commissioner Erik Morgan
Commissioner Sherri Koshiol
Commissioner Michael Quinn
Commissioner Jeff Velasquez

Staff Attendance

David de la Torre, Planning Manager
Lauren Schumann, Senior City Planner
Ben Cereceres, City Planner
Thomas Allen, Assistant City Attorney
Julie San Miguel, Clerk

Scheduled and Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda and Discussion

1. February 16, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Work Session of February 16, 2022.

2. March 2, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of March 2, 2022, and Regular Meeting of March 2, 2022.

3. PLH21-0080 MARTINEZ RESIDENCE

BEN CERECERES, CITY PLANNER presented details regarding the request Use Permit approval to allow for a single-family residence on a property zoned Medium Density Residential District (MF-1). The site is located at 589 N. Delaware Street, generally located ¼ mile east of the southeast corner of Arizona Avenue & Galveston Street.

CHAIRMAN HEUMANN presented statements regarding Staff rewriting City Code due to this type of situation.

4. Cancellation of the April 6, 2022, Planning and Zoning Commission Hearing

Move Planning and Zoning Commission cancel April 6, 2022, Planning and Zoning Commission Hearing.

Action Agenda

5. PLH21-0077/PLT21-0048 HAZELWOOD BY KEYSTONE HOMES

Request Rezoning from Agricultural (AG-1) district to Planned Area Development (PAD) for single-family residential, Preliminary Development Plan approval for subdivision layout and housing product, and Preliminary Plat approval for a 22-lot subdivision on approximately 8.7 acres located at the southeast corner of Chandler Heights Road and 124th Street, approximately ½ mile east of McQueen Road.

CHAIRMAN HEUMANN stated this item is on the Action Agenda and there will be a full presentation and discussion at the Regular Meeting at 5:30 p.m. this date.

Calendar

The next Study Session will be held before the Regular Meeting on Wednesday, April 20, 2022, in the Chandler City Council Chambers, 88 E. Chicago Street.

Adjourn

The meeting was adjourned at 5:15 p.m.



Kevin Mayo, Secretary

Rick Heumann, Chairman

Meeting Minutes

Planning and Zoning Commission

Regular Meeting

March 16, 2022 | 5:30 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Chairman Heumann at 5:30 p.m.

Roll Call

Commission Attendance

Chairman Rick Heumann
Vice Chairman David Rose
Commissioner Erik Morgan
Commissioner Sherri Koshiol
Commissioner Michael Quinn
Commissioner Jeff Velasquez

Staff Attendance

David de la Torre, Planning Manager
Lauren Schumann, Senior City Planner
Ben Cereceres, City Planner
Thomas Allen, Assistant City Attorney
Dana Alvidrez, City Transportation Engineer
Julie San Miguel, Clerk

Pledge of Allegiance

The Pledge of Allegiance was led by Commissioner Koshiol.

Scheduled and Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

CHAIRMAN HEUMAN explained for the Action Agenda, Staff and the Applicant will present, then there will be an opportunity for members of the audience to speak. He further explained, individual audience members will have three minutes to speak and after the Applicant will have the floor again and Staff will be available if needed for questions.

Consent Agenda and Discussion

1. February 16, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Work Session of February 16, 2022.

2. March 2, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of March 2, 2022, and Regular Meeting of March 2, 2022.

3. PLH21-0080 MARTINEZ RESIDENCE

Request for Use Permit approval to allow for a single-family residence on a property zoned Medium Density Residential District (MF-1). The site is located at 589 N. Delaware Street, generally located ¼ mile east of the southeast corner of Arizona Avenue & Galveston Street.

Move Planning and Zoning Commission recommend approval of Use Permit PLH21-0080 Martinez Residence, subject to the conditions as recommended by Planning Staff.

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Use Permit, subject to the following conditions:

1. Substantial expansion or modification beyond the approved exhibits (Narrative, Site Plan, Floor Plan and Elevations), as kept on file in Case No. PLH21-0080, shall void the Use Permit and require new Use Permit application and approval, unless otherwise amended via conditions herein.
2. Use Permit approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Use Permit shall apply.
3. The site shall be maintained in a clean and orderly manner.
4. The Use Permit is non-transferable to other locations.

4. Cancellation of the April 6, 2022, Planning and Zoning Commission Hearing

Move Planning and Zoning Commission cancel April 6, 2022, Planning and Zoning Commission Hearing.

Consent Agenda Motion and Vote

VICE CHAIRMAN ROSE moved to approve the Consent Agenda of the March 16, 2022, Regular Planning and Zoning Commission Meeting; Seconded by COMMISSIONER QUINN.

Motion carried unanimously (6-0).

Action Agenda Item No. 5 and Discussion

5. PLH21-0077/PLT21-0048 HAZELWOOD BY KEYSTONE HOMES

LAUREN SCHUMANN, SENIOR CITY PLANNER presented details regarding the request rezoning from Agricultural (AG-1) district to Planned Area Development (PAD) for single-family residential, Preliminary Development Plan approval for subdivision layout and housing product, and Preliminary Plat approval for a 22-lot subdivision on approximately 8.7 acres located at the southeast corner of Chandler Heights Road and 124th Street, approximately ½ mile east of McQueen Road.

An Addendum Memo was presented to the Commission with a revised Preliminary Plat and additional letters of concern received by Staff after posting of the memo.

CHAIRMAN HEUMANN advised that he would like to hear from the City's Traffic Engineer and asked if the use of 124th Street is within the purview of the Planning and Zoning Commission.

LAUREN SCHUMANN, SENIOR CITY PLANNER stated per the Traffic Engineer the twenty-two lots would create minimal trips down 124th Street and there is no issue.

CHAIRMAN HEUMANN would like the Traffic Engineer to speak as there are several letters stating concerns with 124th Street. He asked staff to present a map and stated one of the concerns is for the proposal to have access on Chandler Heights rather than 124th Street. He asked the Traffic Engineer why Chandler Heights cannot be used for access.

DANA ALVIDREZ, CITY TRANSPORTATION ENGINEER stated on the first iteration the proposal had access; however, staff had access moved to 124th Street due to safety concerns. She explained the City tries to minimize driveways directly on arterial streets especially in this area as it has a frontage along 124th Street and a traffic signal. She stated this is the perfect location to utilize the street to funnel traffic out onto the arterial street and the traffic light allows for safer turning movements and dedicated turning movements.

CHAIRMAN HEUMANN asked if having Chandler Heights Road access would create a danger to students at the school across the street.

DANA ALVIDREZ, CITY TRANSPORTATION ENGINEER stated it would be a challenge with the school and school buses if there was access on Chandler Heights Road. She further stated the alternative is a combination of safety for the school, students, and residents of Hazelwood.

CHAIRMAN HEUMANN confirmed no other Commission Members had questions for the City Transportation Engineer and thanked her for being present for questions.

COMMISSIONER MORGAN asked if staff knew the reason City Council put off the 124th Street improvements.

LAUREN SCHUMANN, SENIOR CITY PLANNER stated the subdivision was not accessing 124th Street as the east side of the street was not within the City boundary. She explained the City would require a full two drive lanes to be improved, so they would have to offset it onto Treeland property and create more of a burden on that subdivision. She further explained the subdivision decided to access 122nd Street because there was already a subdivision at the intersection, and they improved their side. She stated Council made their decision because of the number of concerns from the residents to the south and because the City did not have full right away of 124th Street at the time. She further stated the City would have to offset it and if the side did come in, it would create a skewed road.

BRENNAN RAY, 1850 NORTH CENTRAL AVENUE began the presentation by stating Keystone Homes is a Phoenix based family-owned business that has been making high quality developments throughout the Valley for thirty years. He further stated in Chandler they are responsible for the high-quality communities of Canopy Lane, Madison Park, and Arizona Country. He explained they are a top business with high quality in terms of thoughtfulness and design. He presented statements regarding prior discussions with the neighbors and his appreciation for their willingness to talk and allow him to visit. He explained the project is consistent with the General Plan and the subdivision will consist of twenty-two single story homes. He mentioned the Applicant agrees with everything staff presented and contained in their memo; therefore he would keep his presentation short and would like the opportunity for rebuttal.

CHAIRMAN HEUMANN thanked the Applicant and mentioned he was given speaker cards. He explained the speakers will be given three minutes to speak and they will need to start by stating their name and address for the record.

KEN MCALISTER, 24206 SOUTH 124TH STREET asked the Chairman if he could be given six and a half minutes.

CHAIRMAN HEUMANN announced Ken McAlister will have six minutes.

KEN MCALISTER, 24206 SOUTH 124TH STREET thanked the Commission and explained when this project was first submitted to Staff the design had ingress egress on Chandler Heights, with the

school bus stop drop off and pickup location. He warned once Chandler Heights is improved it will generate more traffic with fast drivers and stated there are several buses that crossover the single lane to enter and exit the school. He stated when Chandler Heights is widened the school busses will cross two or three lines and increase the probability of an accident. He further stated, if there was a single intersection with a dedicated light for a left turn into the school and exiting the school, this would increase the safety of the children. He explained it is not true that putting a traffic signal for ingress egress from Hazelwood would decrease safety, that a signal at Hazelwood is not far enough from another traffic signal, and there is not a requirement for a deceleration lane because of the number of homes. He presented examples of the number of traffic lights on Gilbert Road and the Ryan Project that now houses the Amazon Distribution Center. He mentioned, Staff stated it would not be an Amazon Distribution Center and now it is, he also said, Staff stated traffic calculations did not warrant a control signal at that location and there is one there now. He stated the public requested a north entrance to the facility and the south entrance be removed and Staff stated that would not be approved, but there is one there now with ingress and egress for Amazon. He stated if Staff was wrong about the Ryan Project, they can be wrong about this one. He asked the Commission to think about all the schools in Chandler and asked if there are any on arterial streets with busses that cross traffic without a traffic signal to enter and exit the school safely. He stated there are none, so please do not let this start now. He further stated there were eighteen residents at the Neighborhood Meeting to oppose the ingress egress on 124th Street and wanted it moved to Chandler Heights, which is in opposition to the housing project, so Staff cannot say they have received no opposition to the housing project. He explained having an ingress egress on 124th Street would cause an undue burden on the residents of the area and the county does not maintain these roads and it must be done as a community. He further explained a year ago thirty-five truckloads of milled asphalt were purchased for the road. He stated the cost was \$300 from each homeowner to have this done in front of their homes and it already needs to be done again. He explained a traffic signal on 124th Street will guide more traffic down the dirt road and random people will turn on it thinking it is a through street to find out it dumps onto a dirt road. He further explained, we continue to get fast drivers cutting through and Kevin Mayo, Planning Administrator, knows this to be true as a fast driver cut past him on the dirt road while he was driving to the Treeland Project. He stated the developer has not complied with number eight of the Preliminary Development Plan (PDP) which is to have an agreement with the property served by the ditch. He further stated the developer talked to one owner and there are five other owners that have not had discussions regarding the ditch. He pointed out the improvements to 124th Street was deferred because of the issue with the irrigation ditch and the developer has not gotten permission to do anything with the ditch which is a recorded easement. He explained the City stated they are not involved and have no say, yet the developer says they have no say and they are directed by the City. He further explained there is no resolution to what is going to happen to the ditch. He stated the Commission cannot approve this PDP in good faith with ingress egress onto 124th Street without permission to move the ditch and urges the Planning and Zoning Commission to vote no on the Preliminary Development Plan and the Preliminary Plat.

CHAIRMAN HEUMANN confirmed there were no questions for Ken McAlister and asked the Assistant City Attorney to explain the issue of the easement and clarify if this is an issue between the developer and the residents.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated the resident has brought up several concerns, some regarding traffic engineering decisions and the issue of the irrigation ditch. He explained this is mostly controlled by state law, statutory and/or case law, but this City has design standards that require ditches be moved out of the right of way and the City can require that movement to take place. He further explained it is up to property owners to continue to serve downfield/downstream properties, so to the extent the developer is making changes for City requirements, they cannot do anything that would prevent downstream users from getting their water as long as that is maintained. He stated it is not something the City regulates, so it is between private property owners and they would have to continue to maintain the ditch to the standards before it was moved.

COMMISSIONER VELASQUEZ mentioned he did not see the initial proposal and asked if it stipulated a traffic signal light at the bus alignment and if it was right in and right out.

DANA ALVIDREZ, CITY TRANSPORTATION ENGINEER stated the initial proposal did not have a traffic light with the original driveway. She explained, the only way the City would entertain something else, is it if aligned and original one did not align with the bus entrance. She stated in this situation, it is something we do not recommend due to the school and they have access to a collector street.

COMMISSIONER KOSHIOL mentioned there will be a median in the roadway per the new capital improvement project along Chandler Heights Road. She asked if the future median would prohibit school buses from taking a left turn southbound or able to make a left turn going east. She asked if the buses would be able to make a left turn in and out.

DANA ALVIDREZ, CITY TRANSPORTATION ENGINEER stated there would be an immediate opening at the location for the buses to be able to make movement.

CHAIRMAN HEUMANN called up the next speaker, Teresa Martinez Stoll.

TERESA MARTINEZ STOLL, 23815 SOUTH 124TH STREET stated she is speaking on behalf of herself and husband as their properties are the most effected and they oppose the ingress egress on 124th Street. She asked the City to review the case again and requested the entrance be on Chandler Heights Road. She explained she has lived at the location for many years and recently there have been parked cars and semitrucks on 124th Street. She stated there were City vehicles parked out on her personal property to work on Treeland. She further stated drivers will go 150 miles per hour and nearly miss pedestrians by inches because they are flying up and down 124th Street. She mentioned children ride their bikes down 124th Street and its not safe. She explained

most of their concerns are regarding 124th Street and the development of the road. She stated the City had a Preliminary Development Plant (PDP) for what they wanted to do with the traffic on 124th Street, but she was unable to view it because her father just passed away when it was given to her. She asked to delay the project so she may review the plan, as they own the property where they want to divert the road onto her utility easement for power poles. She asked if anybody has gotten approval regarding the ditch on the west side along Treeland as there was discussion of relocating and removing an electrical pole. She stated no one has spoken to her about the electrical pole or coming on to her property, which is on a county island. She stated the street is considered a dead end and City is going to relocate the sign. She further stated the Applicant is requesting to replace her piping fence with a solid one, which will block her view, she stated the fence needs to be brought up with all the homeowners and the issue with the ditch should also be brought up with all the homeowners. She asked if anyone spoke to the homeowners regarding the ditch and stressed the area is a county island. She suggested "Ranch A" homes do not get built on lots #1 - #8, as the elevations would look over her backyard. She presented concerns regarding the distance from the homes to the back fence line. She stated there are a lot of issues that have not been reviewed, discussed, or agreed on and she believes there needs to be better communication with the City and the Applicant. She pointed out she has only spoke to Brendan once in her home, although he said they have had several communications.

CHAIRMAN HEUMANN asked Teresa Martinez Stoll to finish as she has gone over the allowed time.

TERESA MARTINEZ STOLL, 23815 SOUTH 124TH STREET stated she is a fifth generation Chandler native and her husband is a fourth generation. She explained they have seen a lot of development and growth in Chandler and asked to stop, listen, do not laugh, and show us respect. She asked the Commission to show the rest of the community that we are a City to be proud of and prove to the community that at Chandler we work together. She asked the Commission to delay approval until more communication can be had.

CHAIRMAN HEUMANN thanked the speaker and confirmed there were no questions. He mentioned no one was laughing and stated earlier he was making a comment regarding the timer.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated the bulk of the concerns tonight are related to traffic and those decisions by our traffic engineer to require the entrance be on 124th Street. He further stated. this is a public forum and those are valid concerns, and it is okay to express. He reminded the purview of the Commission is a recommending body to City Council, in specific regard to the rezoning application, the PDP for housing product and subdivision layout and the preliminary plat. He pointed out it is not really within the Commission's purview to make decisions or recommendations about the decisions of the traffic engineer.

CHAIRMAN HEUMANN thanked the Assistant City Attorney for the reminder and asked the next speaker, Brad Peterson, to limit his time to three minutes.

BRAD PETERSON, 24607 SOUTH 123RD STREET stated he has been a resident for 12 years and they moved to this location because it was quiet. He further stated he would like to echo all of Mr. McAllister comments. He explained the residents in this area maintain the streets and gave an example of a gentleman maintains the road with his tractor and will not take money for gas. He stated if the entrance is on 124th Street it is going to draw more cars and traffic down that that road. He further explained Riggs Road is to the south, so 124th Street will be a direct route from the school to Riggs Road. He presented concerns as a portion of the road is one lane and if you are in a truck, you have to stop and let the others come through. He is opposed to 2 ½ homes per acre as the existing homes are acre properties and the proposed is not a good fit in the community. He mentioned if Treeland can have access from Chandler Heights, there is no reason why they cannot do the same thing for this project.

CHAIRMAN HEUMANN thanked the speaker and confirmed there were no questions. He called up the next speaker Dave Shapiro and asked him to begin with his name and address for the record.

DAVE SHAPIRO, 12515 EAST CHANDLER HEIGHTS ROAD stated he bought property in 1980 and built a house on it 37 years ago and since there was only alfalfa and corn at the time, he believes the neighbors may have complained about him moving in. He further stated, unfortunately, this community has grown from the 28,000 that it was when he moved here and started teaching at Chandler High School. He explained his concerns are different from the people on 124th Street as he is located directly to the east of the proposed site. He stated that he and his neighbor's concerns are the irrigation ditch to the east. He further explained no one knows what they are going do with it. He asked if it is covered, how does that get cleaned out and what prevents it from overflowing and flooding into my neighborhood or into my yard. He asked if the seven-foot wall was going to be built and stated that he agreed with the previous speakers regarding traffic with the school buses. He suggested the school district move the bus pickup and drop off to the other side behind where the neighborhood park would be.

CHAIRMAN HEUMANN thanked the speaker and confirmed there were no questions. He asked if anyone else in the audience wanted to speak on this item and called up the Applicant for rebuttal.

BRENNAN RAY, 1850 NORTH CENTRAL AVENUE thanked the Commission and stated there are several things he will not comment on as they are specifically relative to traffic. He further stated the Traffic Engineer has done her job and although one feels they know traffic, there are professional industry training and standards one must achieve to be a Traffic Engineer. He respected the comments of the Assistant City Attorney as to irrigation and the Applicant knows their obligation for existing waterways and the Applicant will be responsible ensuring the ditch is maintained and the water continues to flow as it does today. He explained he knows that is not within the purview of the Commission, but he wanted to confirm maintenance obligations will be on Keystone homes and the future HOA. He further explained the Applicant has an obligation to make sure they not dump extra water or anything onto Mr. Shapiro's property as well. He presented statements regarding the civil improvement process and the request before the

Commission. He asked the Commission to recommend approval to the City Council, in accordance to staff's recommendation.

CHAIRMAN HEUMANN mentioned the elevation with the gabled roof was brought up and asked the Applicant to bring up the image.

BRENNAN RAY, 1850 NORTH CENTRAL AVENUE presented an image as it had a summary of the floor plans and pointed out the max height of the homes are 23 feet. He stated there are no privacy concerns as the homes are single story and there is separation and distance from the existing homes.

CHAIRMAN HEUMANN pointed out the "Ranch A" Elevation and asked if it was the same height as the other elevations.

BRENNAN RAY, 1850 NORTH CENTRAL AVENUE replied yes, and there are no front elevations that will face to the south side.

LAUREN SCHUMANN, SENIOR CITY PLANNER stated before the Commission is an Addendum Memo with a Revised Preliminary Plat as a track was missing along the east side calling out the future irrigation ditch. She explained Staff worked with the engineering team to make it and it will be finalized through a final plat and through a separate instrument. She further stated also attached to the Addendum Memo are additional letters of concern received after posting of the agenda.

CHAIRMAN HEUMANN asked staff when this item will go before the City Council.

LAUREN SCHUMANN, SENIOR CITY PLANNER replied this is scheduled to be on the April 14, 2022 City Council Meeting Agenda.

Action Agenda Item No. 5 Motion and Vote

COMMISSIONER MORGAN moved to approve Action Agenda Item No. 5 of the March 16, 2022, Planning and Zoning Commission Meeting, with revised Preliminary Plat; Seconded by VICE CHAIRMAN ROSE.

Motion carried unanimously (6-0).

Rezoning

Move Planning and Zoning Commission recommend approval of Rezoning PLH21-0077 Hazelwood By Keystone Homes, Rezoning from AG-1 to PAD for a single-family residential, subject to the conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH21-0077 Hazelwood By Keystone Homes for subdivision layout and housing product, subject to the conditions as recommended by Planning staff.

Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT21-0048 Hazelwood By Keystone Homes, subject to the condition as recommended by Planning staff.

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from AG-1 to PAD for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Hazelwood by Keystone Homes" and kept on file in the City of Chandler Planning Division, in File No. PLH21-0077, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Prior to the time of making any lot reservations or subsequent sales agreements, the homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the homebuilder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.

6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
7. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
8. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Front Yard	20 ft. to forward facing garage door
	15 ft. to livable area components of the home
	10 ft. to porch or side-entry garage
	Architectural features and projections, such as pot shelves, ledges, pop outs or similar, may encroach into front yard setback up to 18 inches
Side Yards	5 ft. and 10 ft.
Rear Yard	15 ft. Accessory Structures minimum 5 ft.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hazelwood by Keystone Homes" and kept on file in the City of Chandler Planning Division, in File No. PLH21-0077, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. All lots shall be constructed with single-story homes.
3. The same elevation shall not be built side-by-side or directly across the street from one another.
4. The site shall be maintained in a clean and orderly manner.
5. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.

6. The following enhanced landscape standards shall apply to the common open space and retention area along Chandler Heights Road:
 - a. 50% of required trees shall have a minimum planting size of a 36-inch box and a minimum of 12-feet in height at the time of planting.
 - b. A minimum of one (1) tree and six (6) shrubs per twenty-five (25) lineal feet of frontage on arterial or collector street rights-of-way.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. The existing irrigation ditch located on the Property shall either be undergrounded in compliance with City Code Section 48-12.12 with the agreement of the properties served by the ditch, or left in place and a view fence constructed along the border of the irrigation ditch easement that faces the development. Any alterations to the ditch should be designed and/or approved by a registered civil engineer. The decision of whether to underground the irrigation ditch is purely a private property matter, and the City shall have no role in deciding whether the irrigation ditch will be altered or how it will be maintained in the future.
9. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
10. Each garage shall be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment.
11. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Preliminary Plat

Planning staff recommends the Planning and Zoning Commission move to recommend approval of the Preliminary Plat subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Member Comments/Announcements

CHAIRMAN HEUMANN advised the audience that the Planning and Zoning Commission is a recommending body to the City Council and this item will be on the City Council agenda for April 14, 2022, where the residents will have the opportunity to speak to Council.

Calendar

The next regular meeting will be held on Wednesday, April 20, 2022, in the Chandler City Council Chambers, 88 E. Chicago Street.

Adjourn

The meeting was adjourned at 6:21 p.m.



Kevin Mayo, Secretary

Rick Heumann, Chairman



Planning & Zoning Commission Memorandum Development Services
Memo No. 22-022

Date: June 1, 2022
To: Planning and Zoning Commission
Thru: Kevin Mayo, Planning Administrator
David de la Torre, Planning Manager
From: Lauren Schumann, Senior Planner
Subject: PLH21-0094/PLT21-0063 Alta Uptown
Request: Rezoning from Regional Commercial (C-3) district to Planned Area Development (PAD) for multi-family residential with Mid-Rise Overlay

Preliminary Development Plan approval for site layout and building architecture

Preliminary Plat approval

Location: Southeast corner of Arizona Avenue and Corporate Place, more generally located 1/4 north of the northeast corner of Arizona Avenue and Warner Road

Applicant: Brennan Ray; Burch & Cracchiolo, P.A.

Proposed Motion:

Rezoning

Move Planning and Zoning Commission recommend approval of Rezoning PLH21-0094 Alta Uptown, Rezoning from Region Commercial (C-3) to Planned Area Development for multi-family residential, subject to the conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH21-0094 Alta Uptown for site layout and building architecture, subject to the conditions as recommended by Planning staff.

Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT21-0063 Alta Uptown, subject to the condition as recommended by Planning staff.

Background Data:

- Subject site approximately 9.96 acres and used as parking lot for adjacent automotive dealership
- Site's adjacent to Westech business park, which provides a mix of uses including commercial, industrial, and multi-family: the subject site is not a part of the Westech masterplan
- General Plan's designation of Employment, North Arizona Avenue Growth Area, High Capacity Transit Corridor: Residential can be considered within the Employment designation
- Project consist of 425 units totaling 42.7 units per acre
- In order to meet goals of the General Plan and ultimate street build out, additional right-of-way along Arizona Avenue was required in final review of the preliminary plat. Please note site plan has not been revised to reflect the loss of additional dedication of land thus adjusting the density to 42.7 du/ac. Plans will be updated for City Council

Surrounding Land Use Data:

North	Corporate Place then business park	South	Automotive Dealership zoned C-3
East	Industrial development and multi-family	West	Arizona Avenue then commercial and charter school

General Plan and Area Plan Designations

	Existing	Proposed
General Plan	Employment, North Arizona Avenue Growth Area, High Capacity Transit Corridor	No Change

Proposed Development

Proposed Land Use	<ul style="list-style-type: none">• Multi-family dwelling units• 425 Units• 42.7 dwelling units per acre (du/ac)
-------------------	--

Building Setbacks	<ul style="list-style-type: none"> • Arizona Avenue (west): 20 ft. for multi-family building and 5 ft. for a detached shade structure/accent feature • Corporate Place (north) : 20 ft. and 5 ft. for a shade structure • South Property line: 20 ft. • East: 30 ft.
Height	<ul style="list-style-type: none"> • Mid-Rise Overlay requesting heights up to sixty (60) feet: four stories
Roof Design	<ul style="list-style-type: none"> • Flat parapets of varying heights • Mansard roofs • Stucco Cornice
Facade Materials	<ul style="list-style-type: none"> • French Eclectic Design • Stucco • Brick
Building Accents	<ul style="list-style-type: none"> • Dormer Windows • Chimneys • Metal patio railing • Mansard roofs • Brick Columns
Site Design & Open Space	<ul style="list-style-type: none"> • One L-shaped building located approximately fifty-two (52) feet from back of curb along Arizona Avenue; development will activate the streetscape by providing a tree-lined shaded ten-foot multi-modal path, with common seating areas, private walk up patios, and doorways to internal corridors • Two buildings located approximately twenty-five (25) feet from back of curb along Corporate Place with shaded sidewalk, walk up private patios, on-street parking, and shaded patio seating

	by on-site urban bodega <ul style="list-style-type: none"> • Amenities include pool, lounge pool, spa, bbq area with bar and tables, outdoor game lawn, indoor fitness center, and outdoor fitness area • Exterior open space 86,910 square feet of outdoor common open space
Parking	<ul style="list-style-type: none"> • Required 700 parking spaces • Provided 688 parking spaces provided including private garages, covered, and uncovered spaces

Review and Recommendation

The subject site, which has been zoned for commercial uses since being annexed in 1974 and has yet to develop, is located within the General Plan's North Arizona Avenue Growth Area that encourages higher densities to support future transit efforts along Arizona Avenue, a high capacity transit corridor. This guidance supports the consideration of multi-family with densities exceeding 18 dwelling units per acre within the larger northern Chandler employment area. Further policies for this growth area call for pedestrian and bicycle oriented improvements, transforming commercial centers into more intense mixed-use developments, transitioning land use intensities to be respectful to existing neighborhoods, and enhancing Arizona Avenue as a point of entry through design. The proposed multi-family development aligns with the policies of the North Arizona Avenue Growth Area and the intent of the High-Capacity Transit Corridor as identified within the General Plan by increasing density, developing the corner with a non-commercial use, and by providing enhanced pedestrian and bicyclist improvements including a shaded 10-foot-wide multi-use path along Arizona Avenue. As part of supporting multi-modal transit options, the buildings are pulled closer to the street and provide pedestrian entrances along Arizona Avenue and Corporate Place to encourage pedestrian usage to adjacent businesses and public transit. Additionally, the proposed multi-family will serve as an integral component of Uptown Chandler by adding more residents to the area in North Chandler who may become employees and customers of the existing business parks and commercial centers.

The General Plan also supports the redevelopment of under utilized commercial properties to other uses. In the mid 1990's, a parking lot was constructed to park on the subject site for extra inventory for the adjacent automotive dealership. With

the decline of available vehicles for sale, the adjacent business no longer requires the property. Redevelopment of the site to multi-family is appropriate and provides more housing within the City's boundaries. For these reasons, staff finds the proposed multi-family development aligns with the goals and policies within the General Plan and recommend the Planning and Zoning Commission recommend approval.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- Two neighborhood meetings were held due to the request for Mid-Rise Overlay on April 13 and April 19 of 2022. Only two persons attended one meeting from adjacent businesses. They had general questions about the request.
- As of the writing of this memo, Planning staff is not aware of any opposition to the requests. However, staff received a phone call from an absentee homeowner with concerns about the proposed height to their rental property located approximately a quarter of a mile to the north and west.

Recommended Conditions of Approval:

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from C-3 to PAD for multi-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Alta Uptown" and kept on file in the City of Chandler Planning Division, in File No. PLH21-0094, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. High density residential shall be permitted up to a maximum density of forty-five (45) dwelling units per acre.
3. Building heights shall be limited to a maximum of sixty (60) feet in height.
4. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks,

median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.

5. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
6. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
7. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
8. Minimum building setbacks shall be as follows:

Property Line Location	Minimum Building Setback
Arizona Avenue	20 ft. for multi-family building and 5 ft. for a shade structure/accent feature
Corporate Place	20 ft. for multi-family building and 5 ft. for a shade structure
East	30 ft.
South	20 ft.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Alta Uptown" and kept on file in the City of Chandler Planning Division, in File No. PLH21-0094, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Landscaping plans (including for open spaces, retention, rights-of-way, and street medians) shall be approved by the Planning Administrator.
3. Fifty percent of the trees planted along the arterial streets shall be a minimum of 36-inch box and 12-feet in height at the time of planting.

4. A minimum of three (3) electric vehicle charging stations shall be installed per building.
5. All mechanical equipment, including HVAC, utility meters, etc. shall be screened from view by material(s) that are architecturally integrated and consistent with the proposed buildings.
6. Signage shall be in substantial conformance with the approved Development Booklet and shall follow all applicable criteria of the City of Chandler Sign Code.
7. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
8. The site shall be maintained in a clean and orderly manner.

Preliminary Plat

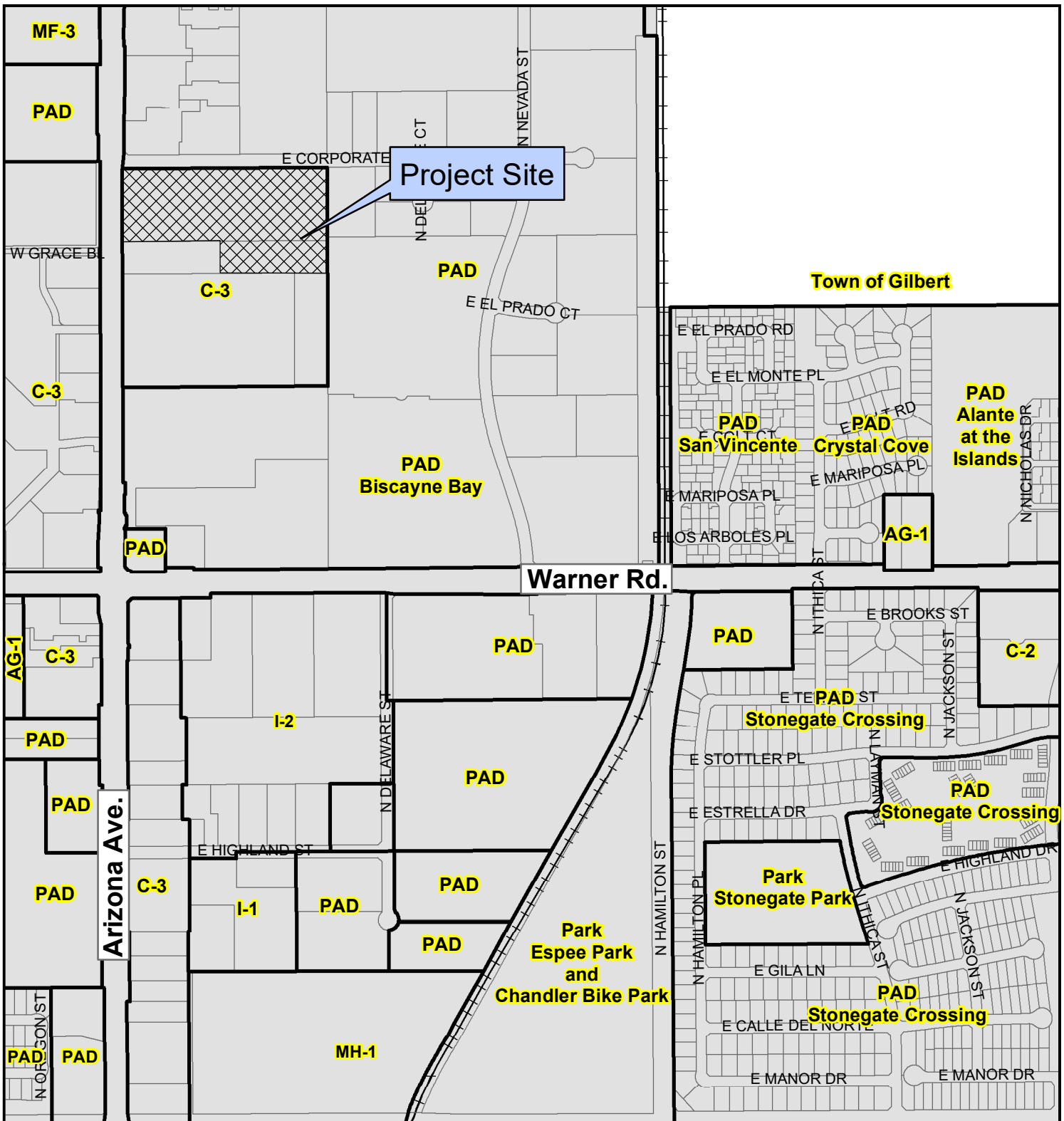
Planning staff recommends the Planning and Zoning Commission move to recommend approval of the Preliminary Plat subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Attachments

Vicinity Maps

Development Booklet



Proposed Project Details

Rezoning with Mid-Rise Overlay, PDP, Preliminary Plat

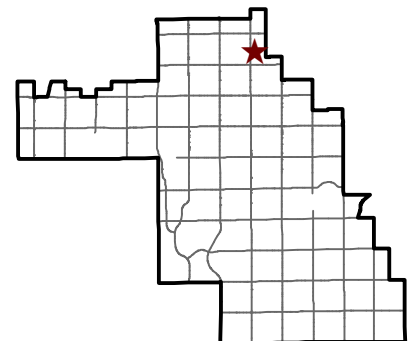
10.23 Acres

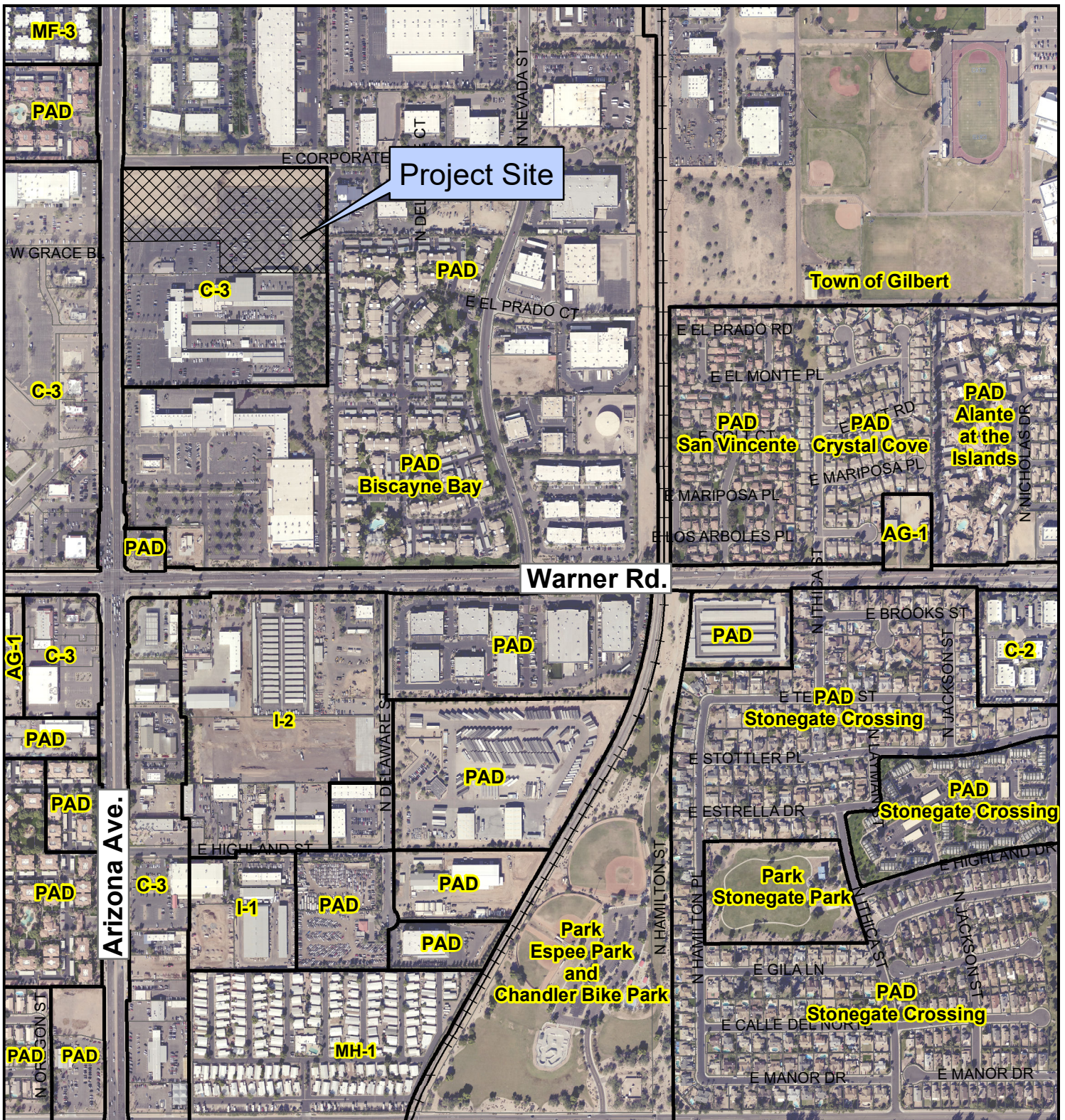
425 Unit Multi-Family

41.5 du/ac



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 For more information visit:
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PLH21-0094/PLT21-0063 Alta Uptown



Proposed Project Details

Rezoning with Mid-Rise Overlay, PDP, Preliminary Plat

10.23 Acres

425 Unit Multi-Family

41.5 du/ac

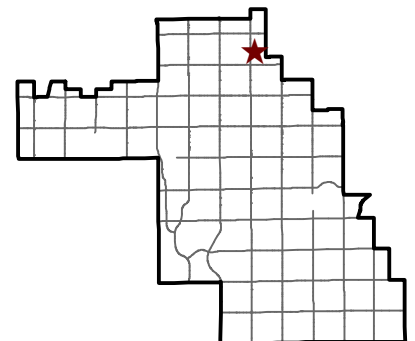


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**Planned Area Development,
Preliminary Development Plan
and
Preliminary Plat**

for

Alta Uptown

**Southeast Corner of
Arizona Avenue and Corporate Place**

by:

Wood Partners

Case No.: PLH21-0094

Submitted: December 9, 2021

Updated: March 29, 2022

Updated: April 12, 2022

Updated: April 25, 2022

TABLE OF CONTENTS

I.	Introduction.....	1
II.	Site and Surrounding Area.....	1
III.	Proposed PAD and PDP	2
A.	PAD and PDP Overview.....	2
B.	Landscaping	2
C.	Amenities	2
D.	Building Elevations.....	3
E.	Theme Walls and Building Sign	4
F.	Development Standards	5
G.	Parking	5
H.	Phasing.....	5
I.	Grading and Drainage	5
IV.	Multi-Family Design Standards.....	5
V.	Preliminary Plat	7
VI.	Project Team	7
VII.	Conclusion	8

TABLE OF EXHIBITS

Exhibit No.	Description
1	Aerial Map
2	Preliminary Site Plan
3	Conceptual Landscape Plans
4	Amenity Enlargement
5	Arizona Ave Enlargement
6	Conceptual Open Space Plan
7	Building Elevations
8	Floor Plans
9	Colors & Materials Palette
10	Wall Plan & Elevations
11	Circulation Plan
12	Preliminary Grading & Drainage
13	Preliminary Plat

ALTA UPTOWN

I. INTRODUCTION

Continuing its reputation of building high-quality, multi-family communities, Wood Partners is the proposed developer of 11.66± gross (10.23± net) acres at the southeast corner of Arizona Avenue and Corporate Place (the “Site”). Wood Partners anticipates developing this infill site with a luxury multi-family development known as “Alta Uptown.” Alta Uptown will consist of 4-story buildings with 425 dwellings (41.5 du/net ac) that will be an attractive presence in the area, providing an amenity-rich living alternative to single-family homes and serving as an appropriate and compatible land use for this Site and surrounding area in order to serve the local employment base. To achieve this, Wood Partners requests the Site be zoned Planned Area Development (PAD) for residential uses and Preliminary Development Plan (PDP) and Mid-Rise Overlay approvals.

Alta Uptown will offer future residents the opportunity to live in a well-located residential community with a wide variety of amenities. A high quality, urban scale multi-family community is an excellent use of this vacant, infill Site and will be a benefit to the adjacent properties. Consistent with the City’s General Plan and good planning principles, this development will provide urban scale residential density within the City’s High-Capacity Transportation Corridor and near three major transportation corridors (Arizona Avenue/State Route 87, the Loop 101—approximately three miles to the west, and the U.S. 60—approximately 2.5 miles to the north). The Site is also near to and will support the employment and commercial developments in the immediate area, Downtown and the Arizona Avenue/State Route 87 area. Such planning provides the opportunity for people to live, work, shop, and dine within close proximity to major employment areas and commercial developments, thereby reducing trips, trip lengths, travel times, and environmental impacts.

II. SITE AND SURROUNDING AREA

An *Aerial Map* of the Site is attached as ***Exhibit 1***. The Site is bounded by Arizona Avenue and commercial uses on the west, Corporate Place and employment uses on the north, industrial and multi-family uses on the east, and Earnhardt Chevrolet on the South. A portion of the Site is undeveloped and the balance is excess parking/vehicular storage for the auto dealership.

The Site is designated on the City’s General Plan as Employment and identifies it being within a High-Capacity Transit Corridor. The High-Capacity Transit Corridor runs north/south along Arizona Avenue/State Route 87. Urban density residential (18+ du/ac) such as is being proposed by Wood Partners can be considered within High-Capacity Transit Corridors. Consistent with the goals and objectives of the General Plan, rezoning the Site as an urban scale, multi-family residential community will:

- permit increased development intensity along this portion of the High-Capacity Transit Corridor;
- complement and provide much needed support to the existing commercial and employment uses in the surrounding area; and
- promote sustainable housing developments including a variety of housing types and higher densities that are compatible with the adjoining land uses.

III. PROPOSED PAD AND PDP

A. *PAD and PDP Overview*

One of the objectives of PAD zoning is “to provide for a coordinated and compatibly arranged variety of land uses through innovative site planning.” Another objective is “to provide a maximum choice in the types of environments for residential, commercial, and industrial uses and facilities.” The intent of this PAD is to accomplish those objectives by rezoning the Site from the existing PAD to PAD Multi-Family Residential. The proposed zoning change responds to the existing and future needs of the community by providing support to the planned and existing commercial, office, and retail developments in the area and provides additional housing choices for people seeking to live in an urban, infill setting. The proposed PAD Multi-Family Residential accomplishes the PAD zoning objectives.

Careful consideration has gone into planning Alta Uptown. The *Preliminary Site Plan* for Alta Uptown is provided at *Exhibit 2*. Wood Partners has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this Site. Alta Uptown is a gated community that will consist of approximately 425 residences at a density of approximately 41.5 du/net ac. The proposed design and layout provide convenient, safe, and attractive pedestrian connections throughout Alta Uptown. Particular attention has been given to provide pedestrians with access throughout the Site and to the amenity areas. *See Exhibit 11, Circulation Plan.*

B. *Landscaping*

The overall landscape theme is inspired by the Sonoran Desert with accents of lush, native, and native adapted, desert oasis landscaping at focal points and pedestrian nodes to create an environment of luxury resort living at Alta Uptown. *See Exhibit 3, Conceptual Landscape Plans.* As shown on the Landscape Plans, the design, elements, and materials create a sense of community and neighborhood, while adding a fresh approach to timeless desert environments for Arizona residential communities. The elements and features are designed to create a “sense of place” and a permanence achieved by relating the elements to the “human scale” and integrating with the architecture.

The landscape palette draws from the vibrant and highly textured Sonoran landscape palette tempered for the Arizona climate through the use of low water consumptive plant life. The landscape palette provides a diversity of colorful plant materials that enhance the community environment throughout the year with a variety of compositions, textures, and seasonal colors. Tree and shrub selections shall be of semi-arid nature utilized to complement the contemporary building architecture, define points of entry/egress, provide shaded pedestrian walkways and gathering areas, and to define amenity use areas via plant selections, spacing, and use of color and texture. Plant materials shall be utilized from the Arizona Department of Water Resources Low Water Use List to create transitional zones within the development that promote the Sonoran Desert environment. Special attention will be paid to providing shading to pedestrian walkways, amenity use areas, and parking lots. Tree locations shall take into consideration solar orientation of the building structures to provide shade to reduce energy consumption.

C. *Amenities*

Alta Uptown has been planned with quality amenities consistent with Wood Partners’ desire to create an upscale community where residents will be able to play, relax, or socialize in a pleasing environment. *See Exhibit 4, Amenity Enlargement.* The amenity areas within Alta

Uptown are designed to enhance the community character and quality of life by providing recreational opportunities and connectivity for residents through the integration of effective internal and external open spaces. The amenity and theming elements have been designed to maintain the overall “sense of place” and identity of the community. Alta Uptown will contain a primary amenity area, providing active and passive open space for residents and guests to enjoy. Additional amenities include a double-height clubhouse with gourmet kitchen area, conference/business center, TV/entertainment lounge area and state-of-the-art fitness center. Outdoor amenities will include an oversized courtyard with a pool, spa and structured shade, outdoor grills, and dog park. The east side of the development includes active program for those health focused residents. A push-up station, pull-up bar, balance beam and stepping blocks, create an integrated circuit training environment. This is enhanced with a stair area to get those steps in for the day leading down to a turf area to round out the day with wind sprints. This additional amenity area adds to the great diversity of active program provided within the Alta Uptown development.

Pedestrian paths are provided throughout the Site, connecting the residences to the amenities and the public sidewalks. *See Exhibit 12, Circulation Plan.* Particular attention has been given to the pedestrian experience along Arizona Avenue. *See Exhibit 5, Arizona Ave Enlargement.* A 10-foot-wide multi-use path is being provided within a highly texturized street scene. Patterned tree canopy provides scale against the building within the pedestrian zone. Plant materials are patterned to bring emphasis to the pedestrian zone, woven in with soft trails that lead to seating areas within a botanical environment. Architectural canopies provide visual emphasis at the key pedestrian connection from Arizona Avenue into the development.

The applicant will work with Staff on the shade features along the Arizona Avenue frontage. The shading will provide vertical scale and repetition. The height of the structure may vary between twelve (12) feet and eight (8) feet to relate to pedestrians and to complement the building architecture. The length of the overall expression shall be proportional to the pedestrian zone and access into the community amenity, not exceeding sixty (60) feet in overall length. The final materials shall be complementary to the proposed building materials. The percentage of shade provided shall be based on the materials proposed on the overhead canopy.

D. Building Elevations

Alta Uptown consists of luxurious, upscale living in four-story residential buildings. *See Exhibit 7, Building Elevations.* There are three floor plans (1-, 2-, and 3-bedroom units) ranging in square footage from 642 square feet to 1,614 square feet. *See Exhibit 8, Floor Plans.*

The architecture for Alta Uptown is loosely based on the French Eclectic style. The French Eclectic style was fashionable in the 1920s and 1930s. The style was utilized most often in residential architecture and emerged from an increased knowledge of French architecture and an appreciation for French culture. Key features of the French Eclectic style were elements of symmetry through entrances, windows, dormers, and chimneys, lending them a sense of formality and grandeur. For the exterior walls, brick or stucco is preferred. Light Earth tones, such as beige and gray, are the most common colors used.

As is shown on the Building Elevations, elements of the French Eclectic style appear through the use of intricate brickwork and variety of shapes and detailing in the roof line and massing of the different facades, rather than imitating the style exactly with mansard roof components or exposed wood detailing that is not compatible with the Arizona climate. Brick and

stucco are used as they would have traditionally been to break up the stories and reduce the sense of mass or flatness of the façade. The brick will be applied in different patterns (i.e., herringbone) at different unique elements of the façade; for example, the chimney-like element for signage next to the front entrance showcases the eclectic nature of the feature. Light earth tones are used as would have been used with the French Eclectic style, with dark accent colors on the windows and canopy/balcony elements to provide contrast in place of what would traditionally have been wood detailing. The design has steered away from using exact symmetry (which is a common theme of the French Eclectic style) and instead decided to use elements of symmetry or balance so that the feel is less formal and more casual.

Particular emphasis has been giving to ensuring the building massing is broken up through the following:

- The buildings will have multiple exterior accent materials such as brick, stucco, and steel that exhibit quality and durability.
- Building facades (street facing and non-street facing) will have compatible colors and materials.
- Multiple colors and cornice types are used throughout the different buildings (five different stucco colors and five different cornice/parapet types shown) to provide visual diversity. The undulating facade and varying heights give the development a casual feel and keep it less formal and rigorous.
- Two different brick selections will be laid in different patterns in specific highly visible places (e.g., at the main entrance).
- Columns at the front entry will establish a truth to the architecture of the development and a feeling of authenticity.
- Facade lengths will not exceed 100 feet without architectural embellishments and detailing such as textural changes, pilasters, offsets, recess, balconies, window fenestrations, and overhead canopies. The parapet/roofline likewise will not be in excess of 100 feet of continuous run without a step of not less than one foot in height at each end of the run.
- Varying throughout the development, building façades will undulate with offsets ranging from one foot to as much as 10 feet.
- The ground level units on the street frontages will have direct pedestrian access from their patio to the public sidewalk, establishing a strong residential character.

Further enhancing the urban theming of the community, the buildings are located around the perimeter of the Site and in close proximity to the streetscape. The roof projections of the buildings have been strategically placed to enhance the visual depth of the community and increase the amount of shade provided to each elevation. The various elements of the development harmoniously blend the architectural style with color, form, and texture. Two different brick selections, five stucco colors, dark bronze railings, and metal awnings will be used. ***See Exhibit 9, Color and Material Palette.***

E. Theme Walls and Building Sign

The theme walls and view fencing have been designed to be consistent with the building elevations and landscaping theme. The walls are clean, modern, and smooth, with horizontal lines accentuating the building massing. Walls are used to define areas along the property street frontages and are used sparingly to emphasize the pedestrian zones. The perimeter walls bordering the south and east side of the development are a painted masonry in a complementary color to the

building. Signage for Alta Uptown is located on the building façade along the Arizona Avenue frontage. The materials and colors complement of overall aesthetic of the building and are scaled appropriately to reflect a true urban character. *See Exhibit 10, Wall Plan & Elevations.*

F. Development Standards

Wood Partners is proposing the following development standards:

Regulation	Development Standard
Building Height (max.)	60 ft.
Building Setback (min.)	
- West (Arizona Ave.)	25 ft.
- North (Corporate Pl.)	20 ft.
- East	30 ft.
- South	20 ft.
Landscape Setback (min.) ¹	
- West (Arizona Ave.)	25 ft.
- North (Corporate Pl.)	20 ft.
- East	30 ft.
- South ²	20 ft.
Arterial/Collector Landscape Setback	Arizona Ave – 35 ft. x 100 ft. Corporate Pl. – 20 ft. x 100 ft.

Wood Partners is requesting a Mid-Rise Overlay for the proposed 60-foot building height. Consistent with the City’s Mid-Rise Development Policy (the “Policy”), the additional height is appropriate as the Site is located near Downtown, along the Arizona Avenue/High-Capacity Transit Corridor, and within an area that is designated on the City’s General Plan as Employment.

G. Parking

The development will have a total of 688 residential parking spaces, where 700 are required.

H. Phasing

Alta Uptown will be constructed in one phase.

I. Grading and Drainage

The *Preliminary Grading and Drainage Map* is attached as *Exhibit 12*. The Site will be graded to convey storm water to the project retention basins. All project drainage systems will be designed and constructed per City standards.

IV. MULTI-FAMILY DESIGN STANDARDS

The City’s Zoning Ordinance sets forth additional requirements for multi-family development to encourage creative and innovative design techniques, quality, and merit. Alta Uptown provides the following:

¹ Stoops, walkways, patios, and balconies are allowed to encroach into the required setback up to 5 feet.

² The landscape setback adjacent to parking areas along the south shall be a minimum of 3 feet. The trash compactor/recycling enclosures are permitted to encroach into the landscape setback.

1. Open Space

The requirements for common and private open space are based on traditional suburban development and do not consider developing in an urban-like setting. Wood Partners has taken great efforts to ensure the usable common open space far exceeds what the City's Code would otherwise require. The amenities throughout the development and within the common open spaces in this urban-like setting provide better opportunities for residents and guests to interact with each other. Approximately 86,910 square feet exterior common open space and 11,609 interior square feet of usable common open space and 20,000± square feet of private open space is provided, a total of approximately 118,877 square feet or 279± square feet per unit. *See Exhibit 6, Conceptual Open Space Plan.*

2. Site Circulation and Parking

Safe and convenient pedestrian circulation to and from parking lots throughout the development is provided. *See Exhibit 11, Circulation Plan.* A 10-foot paved multi-use path is located on Arizona Avenue with public sidewalk access. *See Exhibit 5, Arizona Ave Enlargement.* Code-required parking spaces and ADA van accessible spaces are provided. Parking canopy covers will be architecturally integrated with the surrounding structures, i.e., color, materials, location, and 10-inch minimum fascia (all four sides).

3. Amenity Options

Six amenities are required to be provided in accordance with the following schedule: 260 units or larger. The proposed development exceeds this requirement. Because of the urban, in-fill nature of the Site and proposed community, Wood Partners believes the amount and quality of amenities provided satisfies the spirit and intent of needing to provide a second pool, ramada, etc. The design of the amenities that have been provided throughout the development exceed the expectations for quantity and quality of amenities in most multifamily developments. See Section III.C and *Exhibit 4, Amenity Enlargement*, for additional details.

4. Interface with Single-Family Areas

There are no single-family areas adjacent to the Site.

5. Specific design attention areas

The design of courtyards and pedestrian areas will relate to "human scale." Large unvaried building facades will be avoided. Common open spaces, rather than parking lots, will be used as central features. The specific design features incorporated into the design of the development are embraced by Wood Partners as design elements that set their communities apart from other multifamily developments.

6. Energy conservation

Alta Uptown provides shade of the buildings through overhangs and/or trees and shade trees along drives, building perimeters, and ample setbacks. Additional building shading is provided through the use of inset patios and balconies, metal canopies to shade windows, and the use of landscaping.

7. Landscaping

The amount of landscaping is of sufficient intensity to create a pleasant and comfortable living environment. Special attention is given to the streetscape, the main entry, the office/clubhouse, and amenity area to create an upscale landscape experience.

8. Building Standards

Mechanical equipment is fully screened through the use of parapet walls on the building elevations; they are concealed from view as an integral part of the building.

9. Lighting

Lighting will comply with the City's Zoning Code. External lighting will be appropriately located and designed to prevent light from spilling onto adjacent properties.

10. Signage

See the discussion in Section III.E for details concerning the proposed signage.

V. PRELIMINARY PLAT

The *Preliminary Plat* is included as *Exhibit 13*.

VI. PROJECT TEAM

Owner/Builder:

Wood Partners
Attn: Clay Richardson
8777 E. Via De Ventura, Suite 201
Scottsdale, AZ 85258

Architect:

CCBG Architects
Attn: Joe Fitzpatrick
102 E. Buchanan St.
Phoenix, Arizona 85004

Civil Engineer

Wood Patel
Attn: Derek Nichols
2051 West Northern Avenue, Suite 100
Phoenix, Arizona 85021

Landscape:

ABLA
Attn: Andy Baron
310 E. Rio Salado Parkway
Tempe, AZ 85281

Zoning:

Burch & Cracchiolo, P.A.
Attn: Brennan Ray
1850 North Central Avenue, 17th Floor
Phoenix, Arizona 85004
Phone: (602) 234-8794

VII. CONCLUSION

Alta Uptown is designed as a high quality, urban scale, multi-family community. The proposed development is an excellent use of this infill property. The development offers an updated perspective on multi-family community living. Great detail has been provided for Alta Uptown to accommodate the growing demands of an employment base the City continues to foster in the North Arizona Avenue corridor. Alta Uptown conforms to the City's General Plan and is consistent with Site's location in a High-Capacity Transit Corridor. The architecture is compatible with the surrounding area and incorporates elements that respects the significance and future of Chandler. The thoughtful design will be an attractive in area and provide support to the substantial employment and commercial developments in the area. We request your approval.

Wood Partners

EXHIBIT 1



Map

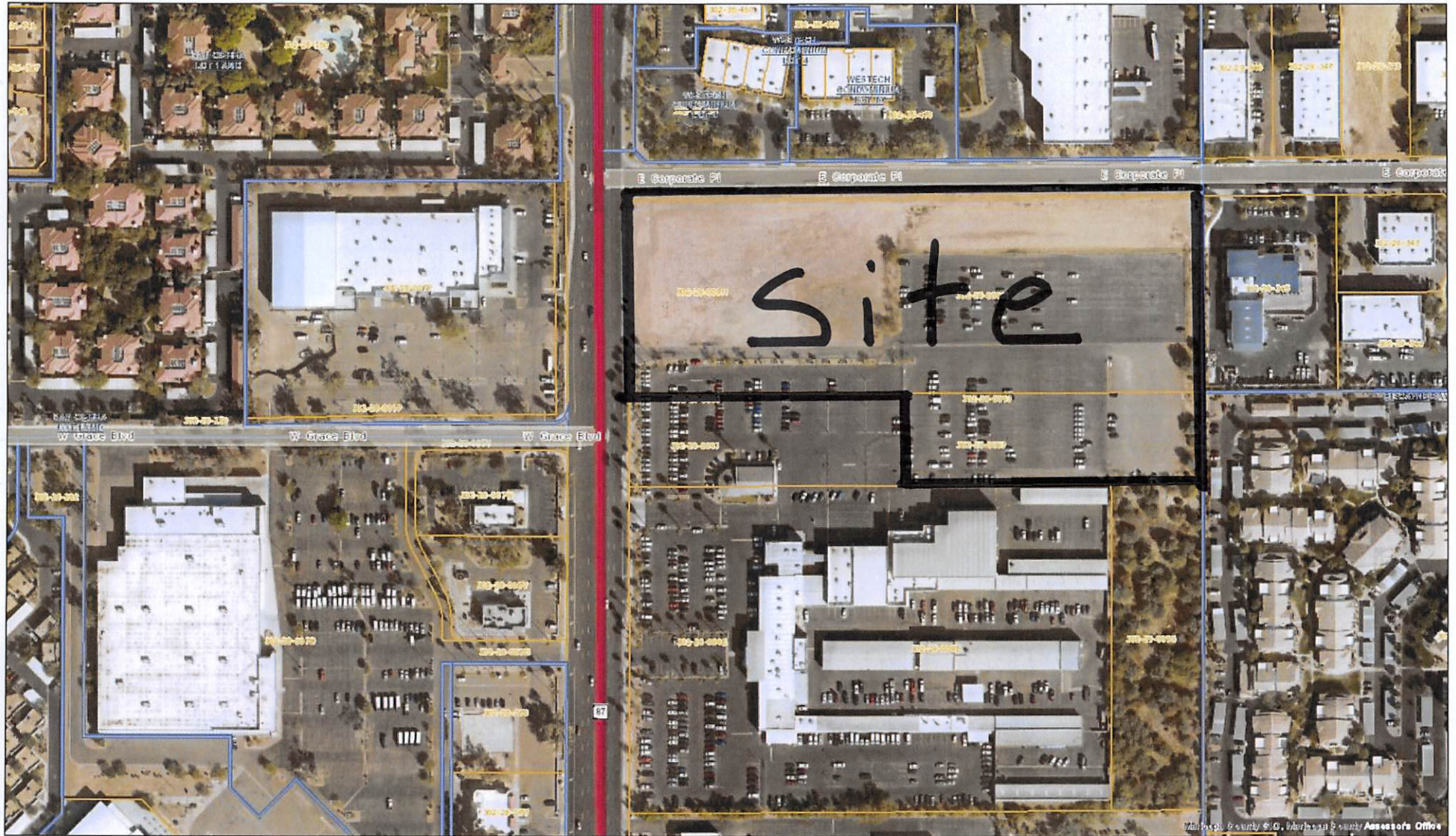


EXHIBIT 2

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NOTES

CITY NOTES

- ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
- SIGNS REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.

PROJECT DATA

DESCRIPTION

A NEW MULTI-FAMILY DEVELOPMENT AND WILL BE MADE UP OF THREE 4-STORY BUILDINGS WITH TUCK UNDER GARAGES. THERE WILL BE 10,000 SQUARE FOOT SET ASIDE FOR INTERIOR AMENITY SPACE INCLUDING A LOBBY/LEASING AREA, GAME/TV AREA AND A FITNESS CENTER. THE PROJECT WILL CONSIST OF 425 UNITS RANGING FROM 642SF -1614SF STUDIO, 1, 2, AND 3 BEDROOMS.

LOCATION

THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF NORTH ARIZONA AVENUE AND EAST CORPORATE PLACE IN CHANDLER, AZ.

SITE INFORMATION

ZONING - PAD

APN - 302-29-009H + 302-29-009J
GROSS - 507,772 SF (11.66 ACRES)
NET - **445,679 SF (10.23 ACRES)**
PROPOSED LOT COVERAGE - 121,925 (BUILDING FOOTPRINT)/445,679 = 27%
PROPOSED OPEN SPACE (HATCHED AREA) - 91,603 SF (EXTERIOR)
- 11,609 SF (INTERIOR)
- 103,212 SF

PROPOSED DENSITY: 425 (UNITS) / 10.23 (NET ACREAGE) = 41.5 UNITS/ACRE
PROPOSED BUILDING SQUARE FOOTAGE - 487,700 SF
PROPOSED BUILDING HEIGHT - 60'-0"

UNIT MIX

BUILDING A	
STUDIO	5
1 BD	151
2 BD	56
3 BD	3
TOTAL	215

BUILDING B	
STUDIO	0
1 BD	92
2 BD	27
3 BD	0
TOTAL	119

BUILDING C	
STUDIO	0
1 BD	53
2 BD	31
3 BD	7
TOTAL	91

PROJECT TOTAL	
STUDIO	5 (1%)
1 BD	296 (70%)
2 BD	114 (27%)
3 BD	10 (2%)
TOTAL	425 UNITS

NRSF **390,772 SF**

PARKING

REQUIRED PARKING		
STUDIO (1 SPACE PER UNIT)	= 5(1)	= 5
1 BD (1.5 SPACES PER UNIT)	= 296(1.5)	= 444
2 BD (2 SPACES PER UNIT)	= 114(2)	= 228
3 BD (2.25 SPACES PER UNIT)	= 10(2.25)	= 23
TOTAL REQUIRED PARKING	= 700 SPACES (1.65 PU)	

PROVIDED PARKING	
STANDARD PARKING	188 SPACES (5 HANDICAP)
COVERED PARKING	340 SPACES (8 HANDICAP)
PARALLEL STREET PARKING	20 SPACES (1 HANDICAP)
GARAGE PARKING	70 SPACES (2 HANDICAP)
TANDEM PARKING	70 SPACES (2 HANDICAP)
TOTAL PARKING	688 SPACES (1.62 PU) (18 HANDICAP)

PROJECT CONTACTS

OWNER DEVELOPER
WOOD PARTNERS
8777 E. VIA DE VENTURA, SUITE 201
SCOTTSDALE, AZ 85258
T: 480.567.0069
CONTACT: CLAY RICHARDSON

ARCHITECT
CCBG ARCHITECTS
102 E. BUCHANAN STREET
PHOENIX, AZ 85004
T: 602.258.2211
CONTACT: JOE FITZPATRICK

LANDSCAPE ARCHITECT
ABLA
310 RIO SALADO PARKWAY
TEMPE, AZ 85281
T: 480.530.0077
CONTACT: CATHERINE RUGGIERO

CIVIL ENGINEER
WOOD PATEL
2051 WEST NORTHERN AVE
PHOENIX, AZ 85021
T: 602.335.8500
CONTACT: DEREK NICHOLS

NEW APARTMENT BUILDING

ALTA UPTOWN

WOOD PARTNERS

2001 NORTH ARIZONA AVE.

CHANDLER, AZ 85225

ISSUE

DATE REV FOR

Drawn

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Checked

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Job Number

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Drawing

PRELIMINARY
SITE PLAN

Sheet

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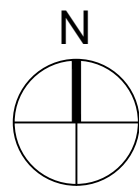
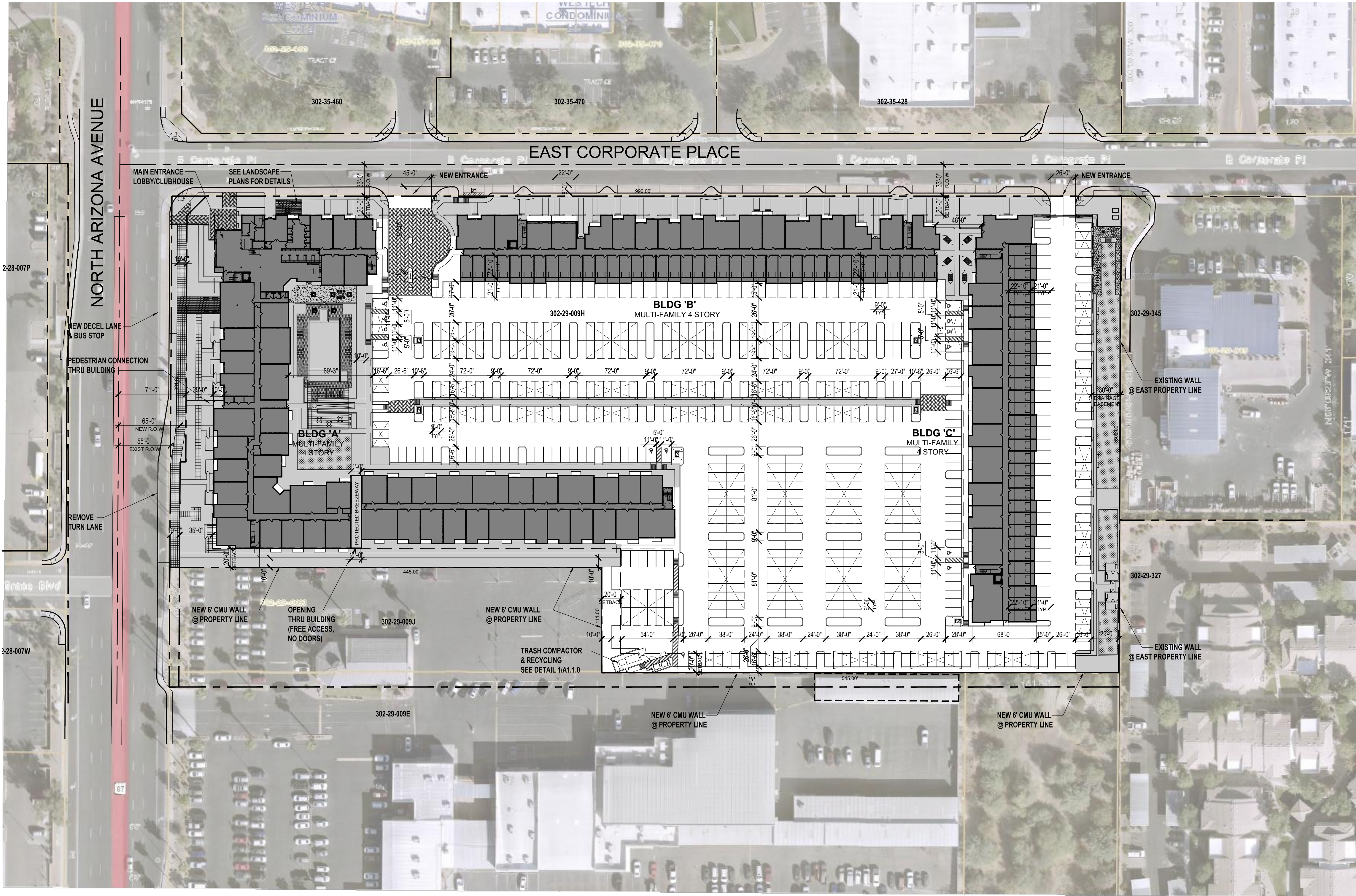


EXHIBIT 3



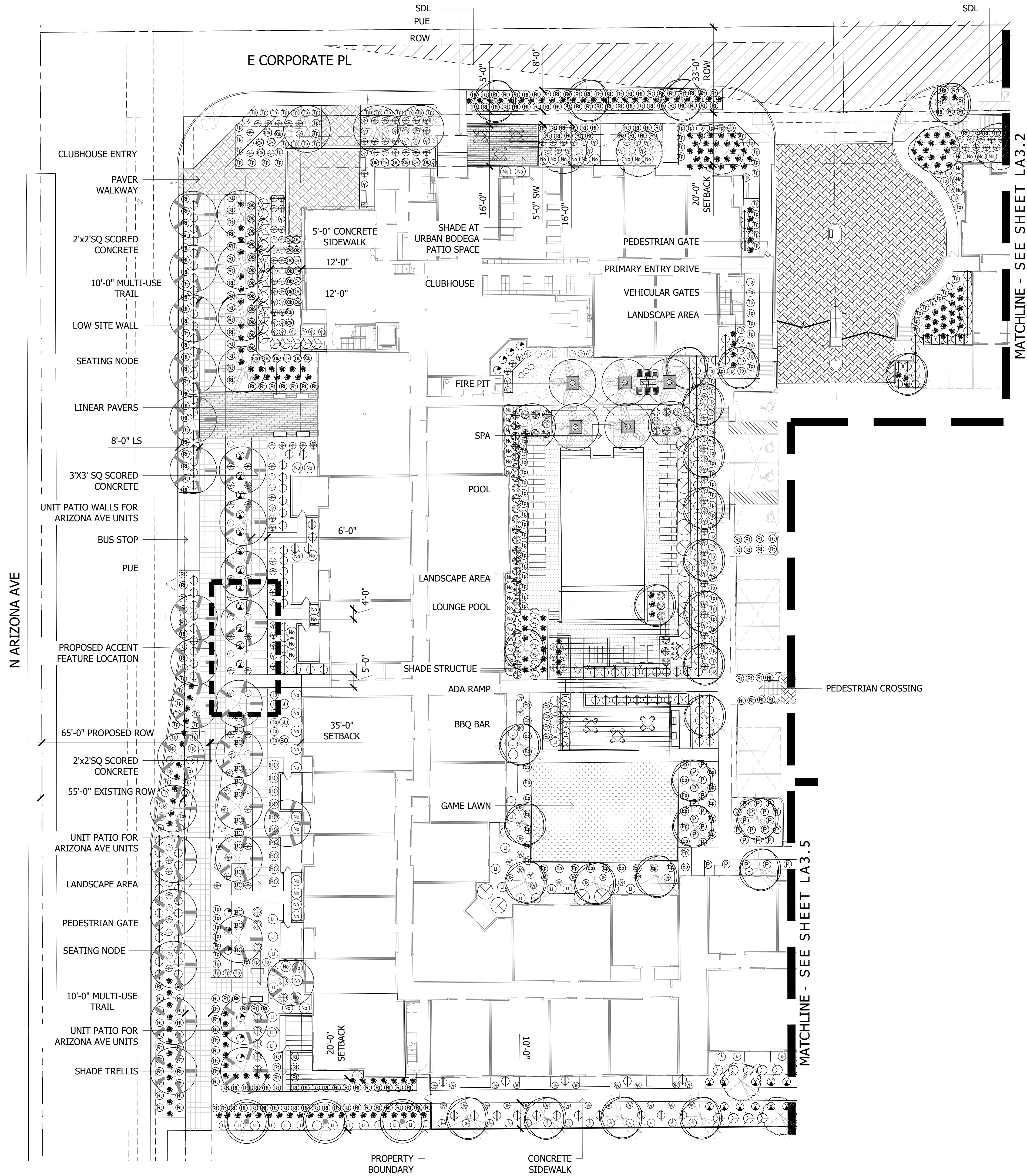
PLANT MATERIALS LEGEND					
Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box (in.)	
Acacia aneura	2"	7'	4'	36"	
Mulga Acacia					
Caesalpinia cacalaco 'Smoothie'	1"	5.0'	3.0'	24"	
Thornless Cascalote					
Eucalyptus papuana	1.25"	7'	3'	24"	
Ghost Gum					
Olea europaea 'Swan Hill'	2"	8'	5'	36"	
Swan Hill Olive					
Phoenix dactylifera	N/A	18.0' TO PINAPPLE			
Date Palm					
Pistacia chinensis	2"	12'	6'	36"	
Chinese Pistache					
Pistacia lentiscus	0.75"	7.0'	2.5'	15gal	
Mastic Tree					
Pithecellobium flexicaule	2"	7'	5'	36"	
Texas Ebony					
Prosopis Hybrid Thornless	2"	8'	7'	36"	
Thornless Mesquite					
Quercus buckleyi	2"	10'	5'	36"	
Texas Red Oak					
Quercus virginiana	2"	10'	5'	36"	
'Cathedral Oak'					
Sophora secundiflora	.75"	3.0"	2.0'	24"	
Texas Mountain Laurel					
Ulmus parvifolia	1.0"	7.0'	3.0'	24"	
'Allee' Elm					
Extra Large Shrubs		Size	Groundcovers		Size
⊙ Bougainvillea 'Rosenka'			Ⓢ Eremophila prostrata 'Outback Sunrise'		
⊙ Bougainvillea	5 gal.		Outback Sunrise Eremophila	gal	
⊙ Caesalpinia gillesii			Ⓢ Lantana montevidensis		
⊙ Yellow Bird of Paradise	5 gal.		Purple Trailing Lantana	1 gal.	
⊙ Cordia Boissieri			Ⓢ Lantana x 'Dallas Red'		
⊙ Anachuita	5 gal.		Dallas Red Lantana	1 gal.	
⊙ Dodonea viscosa			Ⓢ Rosmarinus officinalis 'Prostratus'		
⊙ Green Hopbush	5 gal.		Trailing Rosemary	1 gal.	
⊙ Tecoma sp. 'Sparky			Ⓢ Ruellia brittoniana 'Katie'		
⊙ Sparky	5 gal.		Dwarf Katie Ruellia	1 gal.	
⊙ Vaquelina californica			Ⓢ Teucrium chamaedrys 'prostratum'		
⊙ Arizona Rosewood	15 gal.		Prostrate Germander	1 gal.	
Large Shrubs		Size	Cacti/ Accents		Size
Ⓢ Leucophyllum langmaniae 'Rio Bravo'			Ⓢ Agave americana 'Marginata'		
Ⓢ Rio Bravo Sage	5 gal.		Century Plant	5 gal.	
Ⓢ Salvia clevelandii			Ⓢ Agave geminiflora		
Ⓢ Chaparral Sage	5 gal.		Ⓢ Twin Flowered Agave	5 gal.	
Medium Shrubs		Size			
Ⓢ Eremophila hygrophana Blue Bells			Ⓢ Weber's Agave	1 gal.	
Ⓢ Blue Bells	5 gal.		Ⓢ Aloe barbadensis		
Ⓢ Leucophyllum frutescens 'Lynn's Legacy'			Ⓢ Medicinal Aloe	5 gal.	
Ⓢ Lynn's Legacy	5 gal.		Ⓢ Boutelous gracilis		
Ⓢ Leucophyllum zygophyllum			Ⓢ Blond Ambition	1 gal	
Ⓢ Cimarron Sage	5 gal.		Ⓢ Cereus peruvianus		
Ⓢ Nerium oleander 'Petite Pink'			Ⓢ Cereus	5 gal.	
Ⓢ Oleander 'Petite Pink'	5 gal.		Ⓢ Cereus hildmannianus		
Ⓢ Olea europaea 'Little Ollie'			Ⓢ Twisted Cactus	5 gal.	
Ⓢ Dwarf Olive	5 gal.		Ⓢ Cycas revoluta		
Ⓢ Raphiolepis indica 'Pink Lady'			Ⓢ Sago Palm	5 gal.	
Ⓢ Indian Hawthorn	5 gal.		Ⓢ Euphorbia royleana		
Ⓢ Rosmarinus officinalis 'Upright'			Ⓢ Churee	5 gal.	
Ⓢ Upright Rosemary	5 gal.		Ⓢ Hesperaloe parviflora 'Brakelights'		
Ⓢ Ruellia brittoniana			Ⓢ Brakelights Red Yucca	3 gal.	
Ⓢ Ruellia	5 gal.		Ⓢ Muhlenbergia capillaris		
Ⓢ Xylosma congestum 'Compactum'			Ⓢ 'Regal Mist'	5 gal.	
Ⓢ Dwarf Shiny Xylosma	5 gal.		Ⓢ Muhlenbergia lindheimeri		
Small Shrubs		Size			
Ⓢ Callistemon viminalis 'Little John'			Ⓢ Muhlenbergia rigida 'Nashville'		
Ⓢ Little John Bottle Brush	5 gal.		Ⓢ Nashville Muhly Grass	1 gal.	
Ⓢ Myrtus communis 'compacta'			Ⓢ Opuntia ficus indica		
Ⓢ Dwarf Myrtle	5 gal.		Ⓢ Indian Fig Prickly Pear	8 Pad Min.	
Ⓢ Teucrium chamaedrys			Ⓢ Opuntia sp. Kelly's Choice		
Ⓢ Germander	1 gal.		Ⓢ Kelly's Choice Prickly Pear	5 gal.	
Vines		Size			
Ⓢ Bougainvillea 'Barbara Karst'			Ⓢ Pedilanthus macrocarpus		
Ⓢ Bougainvillea	5 gal		Ⓢ Slipper Plant	5 gal.	
Ⓢ Bougainvillea 'Flame'			Ⓢ Yucca baccata		
Ⓢ Bougainvillea	5 gal.		Ⓢ Banana Yucca	5 Gal.	
Ⓢ Rosa banksiae			Ⓢ Yucca pallida		
Ⓢ Lady Bank's Rose	5 Gal.		Ⓢ Pale Leaf Yucca	5 gal	
			Ⓢ Yucca rostrata		
			Ⓢ Beaked Yucca	20 gal.	
			Ⓢ Yucca rupicola		
			Ⓢ Twisted Leaf Yucca	5 gal.	
			Ⓢ Yucca gloriosa		
			Ⓢ Spanish Dagger		

NOTES:

1. ANY MATERIALS USED IN THE

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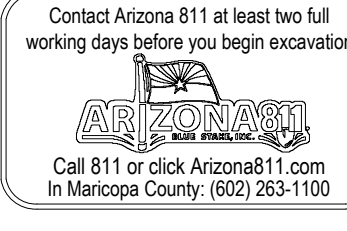
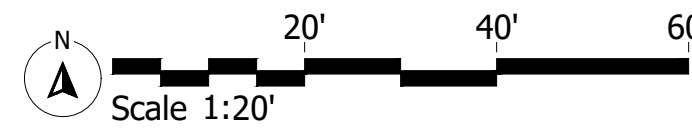
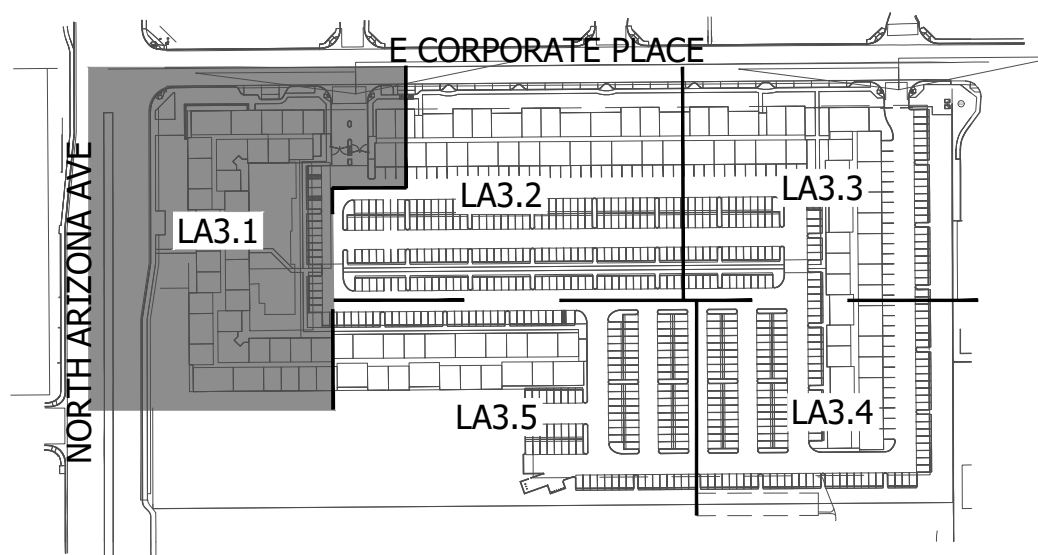


PLANT MATERIALS LEGEND

Tree	Cal (in.)	Height (Ft.)	Width (in.)	Box (in.)
Acacia aneura	2"	7'	4'	36"
Mulga Acacia				
Caesalpinia cocalaco 'Smoothie'	1"	5.0'	3.0'	24"
Thornless Cascalote				
Eucalyptus papuana	1.25"	7'	3'	24"
Ghost Gum				
Olea europea 'Swan Hill'	2"	8'	5'	36"
Swan Hill Olive				
Phoenix dactylifera	N/A	18.0' TO PINAPPLE		
Date Palm				
Pistacia chinensis	2"	12'	6'	36"
Chinese Pistache				
Pistacia lentiscus	0.75"	7.0'	2.5'	15gal
Mastic Tree				
Pithecellobium flexicaule	2'	7'	5'	36"
Texas Ebony				
Prosopis Hybrid Thornless	2"	8'	7'	36"
Thornless Mesquite				
Quercus buckleyi	2"	10'	5'	36"
Texas Red Oak				
Quercus virginiana 'Cathedral Oak'	2"	10'	5'	36"
Sophora secundiflora	.75"	3.0"	2.0'	24"
Texas Mountain Laurel				
Ulmus parvifolia 'Allee' Elm	1.0"	7.0'	3.0'	24"

Extra Large Shrubs	Size	Groundcovers	Size
Bougainvillea 'Rosenka'	5 gal.	Eremophila prostrata 'Outback Sunrise'	gal
Bougainvillea		Outback Sunrise Eremophila	gal
Caesalpinia gillesii	5 gal.	Lantana montevidensis	1 gal.
Yellow Bird of Paradise		Purple Trailing Lantana	1 gal.
Cordia Boissieri	5 gal.	Lantana x 'Dallas Red'	1 gal.
Anacuita	5 gal.	Dallas Red Lantana	1 gal.
Dodonea viscosa	5 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Green Hopbush	5 gal.	Trailing Rosemary	1 gal.
Tecoma sp. 'Sparky'	5 gal.	Ruellia brittoniana 'Katie'	1 gal.
Sparky	5 gal.	Dwarf Katie Ruellia	1 gal.
Vaquelina californica	15 gal.	Teucrium chamaedrys 'prostratum'	1 gal.
Arizona Rosewood	1 gal.	Prostrate Germander	1 gal.
Large Shrubs	Size	Cacti/ Accents	Size
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	Agave americana 'Marginata'	5 gal.
Rio Bravo Sage	5 gal.	Century Plant	5 gal.
Salvia clevelandii	5 gal.	Agave geminiflora	5 gal.
Chaparral Sage	5 gal.	Twin Flowered Agave	5 gal.
Medium Shrubs	Size	Agave weberi	1 gal.
Eremophila hygrophana	5 gal.	Weber's Agave	1 gal.
Blue Bells	5 gal.	Aloe barbadensis	5 gal.
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	Medicinal Aloe	5 gal.
Lynn's Legacy	5 gal.	Bouteloua gracilis	1 gal.
Leucophyllum zygophyllum	5 gal.	Blond Ambition	5 gal.
Cimarron Sage	5 gal.	Cereus peruvianus	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Cereus	5 gal.
Oleander 'Petite Pink'	5 gal.	Cereus hildmannianus	5 gal.
Olea europaea 'Little Ollie'	5 gal.	Twisted Cactus	5 gal.
Dwarf Olive	5 gal.	Cycas revoluta	5 gal.
Rhaphiolepis indica 'Pink Lady'	5 gal.	Sago Palm	5 gal.
Indian Hawthorn	5 gal.	Euphorbia royleana	5 gal.
Rosmarinus officinalis 'Upright'	5 gal.	Churee	5 gal.
Upright Rosemary	5 gal.	Hesperaloe parviflora 'Brakelights'	3 gal.
Ruellia brittoniana	5 gal.	Brakelights Red Yucca	5 gal.
Ruellia	5 gal.	Muhlenbergia capillaris	5 gal.
Xylosma congestum 'Compactum'	5 gal.	'Regal Mist'	5 gal.
Dwarf Shiny Xylosma	5 gal.	Muhlenbergia lindheimeri	5 gal.
Small Shrubs	Size	Dwarf Shiny Yucca	5 gal.
Callistemon viminalis 'Little John'	5 gal.	Muhlenbergia rigida 'Nashville'	1 gal.
Little John Bottle Brush	5 gal.	Nashville Muhly Grass	8 Pad Min.
Myrtus communis 'compacta'	5 gal.	Opuntia ficus indica	5 gal.
Dwarf Myrtle	5 gal.	Indian Fig Prickly Pear	5 gal.
Teucrium chamaedrys	1 gal.	Opuntia sp. Kelly's Choice	5 gal.
Germander	1 gal.	Kelly's Choice Prickly Pear	5 gal.
Vines	Size	Pedilanthus macrocarpus	5 gal.
Bougainvillea 'Barbara Karst'	5 gal.	Slipper Plant	5 gal.
Bougainvillea	5 gal.	Yucca baccata	5 gal.
Bougainvillea 'Flame'	5 gal.	Banana Yucca	5 gal.
Bougainvillea	5 gal.	Yucca pallida	5 gal.
Rosa banksiae	5 gal.	Pale Leaf Yucca	5 gal.
Lady Bank's Rose	5 gal.	Yucca rostrata	20 gal.
		Beaked Yucca	5 gal.
		Yucca rupicola	5 gal.
		Twisted Leaf Yucca	5 gal.
		Yucca gloriosa	5 gal.
		Spanish Dagger	

NOTES:
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KEY MAP

NOT TO SCALE

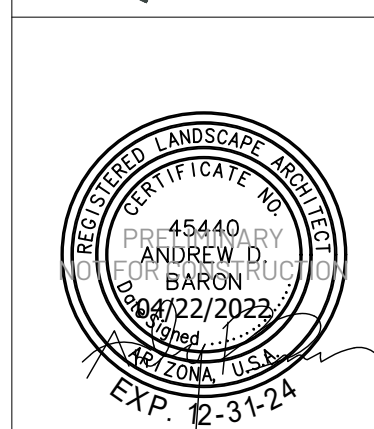
Landscape Improvement Plans

Alta Uptown

N Arizona Ave and E Corporate Place

Chandler, AZ

SHEET TITLE: PLANTING PLAN



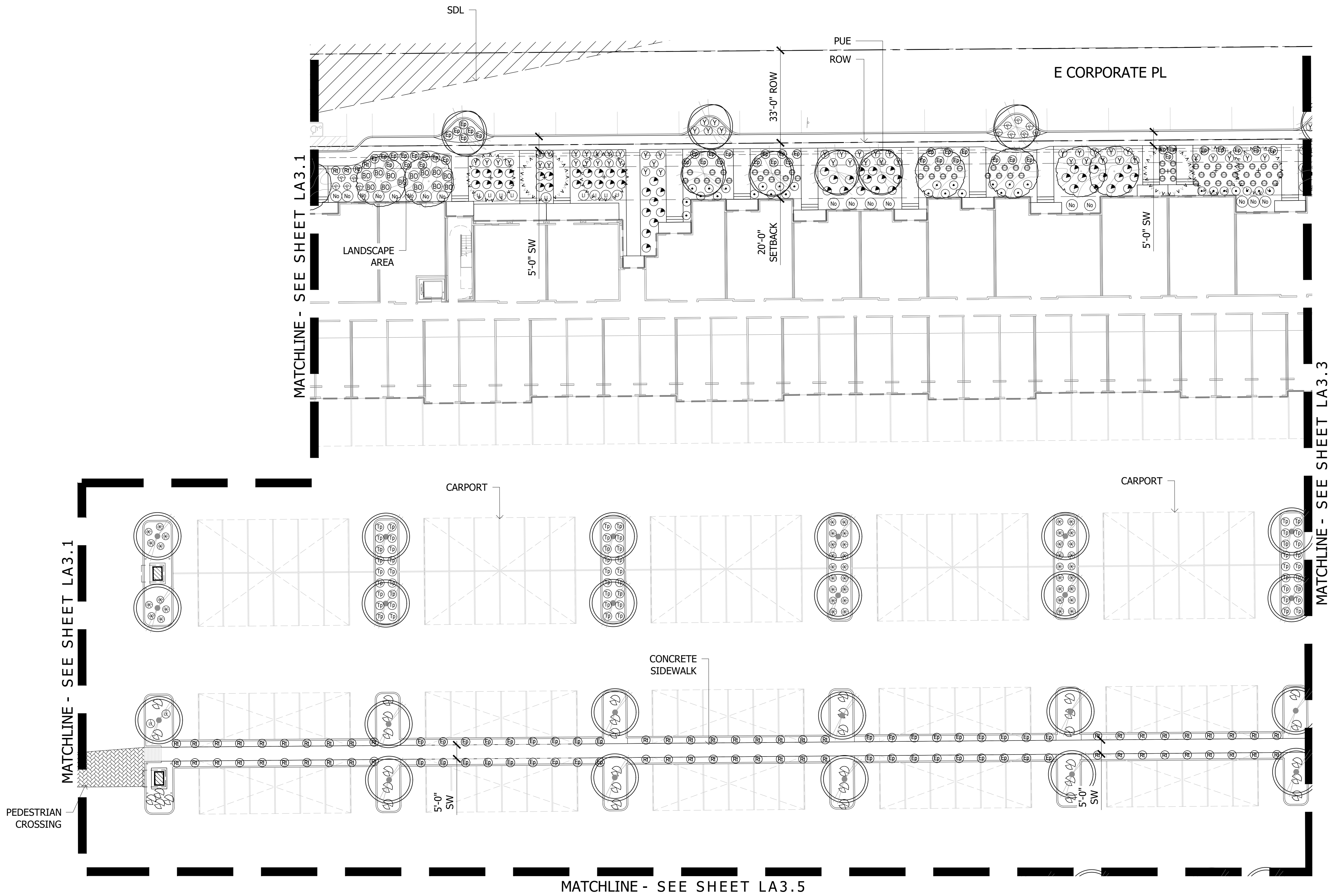
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DATE: 04/22/2022	ISSUED FOR: PDP
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PERMIT NUMBER:	ABLA PROJECT NUMBER: 14-045-21

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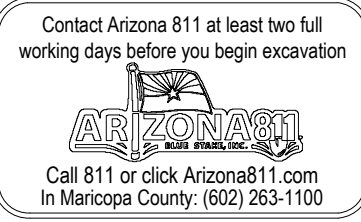
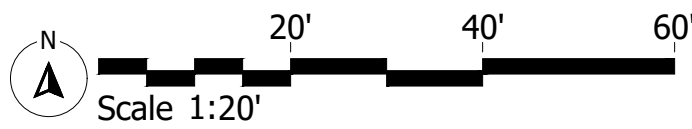
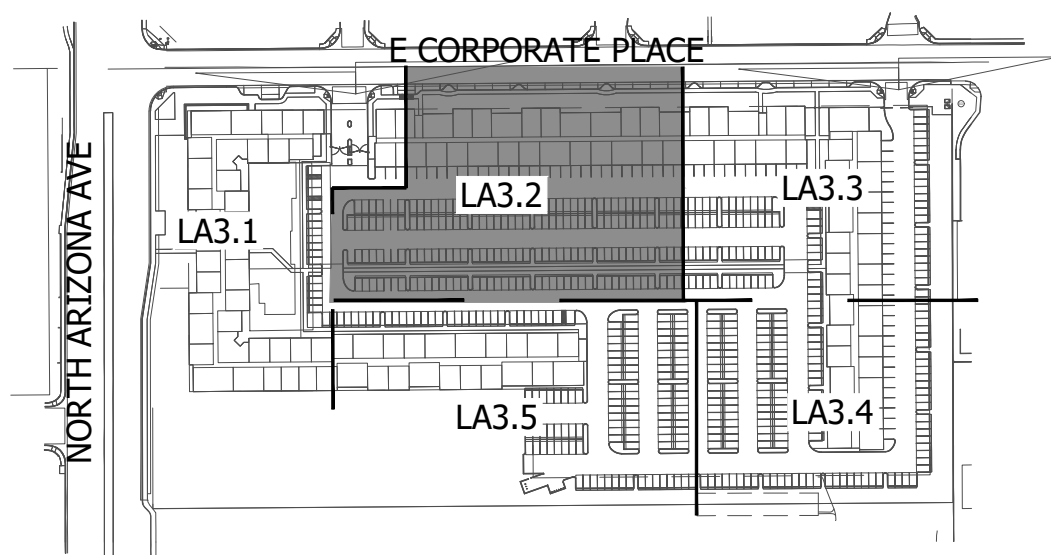


PLANT MATERIALS LEGEND

Tree	Cal (in.)	Height (Ft.)	Width (in.)	Box (in.)
Acacia aneura	2"	7'	4'	36"
Mulga Acacia				
Caesalpinia cocalaco 'Smoothie'	1"	5.0'	3.0'	24"
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Ghost Gum				
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Swan Hill Olive				
Phoenix dactylifera	N/A	18.0' TO PINAPPLE		
Date Palm				
Pistacia chinensis	2"	12'	6'	36"
Chinese Pistache				
Pistacia lentiscus	0.75"	7.0'	2.5'	15gal
Mastic Tree				
Pithecellobium flexicaule	2'	7'	5'	36"
Texas Ebony				
Prosopis Hybrid Thornless	2"	8'	7'	36"
Thornless Mesquite				
Quercus buckleyi	2"	10'	5'	36"
Texas Red Oak				
Quercus virginiana	2"	10'	5'	36"
'Cathedral Oak'				
Sophora secundiflora	.75"	3.0"	2.0'	24"
Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"
'Allee' Elm				

Extra Large Shrubs	Size	Groundcovers	Size
Bougainvillea 'Rosenka'	5 gal.	Eremophila prostrata 'Outback Sunrise'	gal
Bougainvillea		Outback Sunrise Eremophila	gal
Caesalpinia gillesii	5 gal.	Lantana montevidensis	1 gal.
Yellow Bird of Paradise		Purple Trailing Lantana	1 gal.
Cordia Boissieri	5 gal.	Lantana x 'Dallas Red'	1 gal.
Anacardium	5 gal.	Dallas Red Lantana	1 gal.
Dodonea viscosa	5 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Green Hopbush	5 gal.	Trailing Rosemary	1 gal.
Tecoma sp. 'Sparky'	5 gal.	Ruellia brittoniana 'Katie'	1 gal.
Sparky	5 gal.	Dwarf Katie Ruellia	1 gal.
Vaquelina californica	15 gal.	Teucrium chamaedrys 'prostratum'	1 gal.
Arizona Rosewood	15 gal.	Prostrate Germander	1 gal.
Large Shrubs	Size	Cacti/ Accents	Size
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	Agave americana 'Marginata'	5 gal.
Rio Bravo Sage	5 gal.	Century Plant	5 gal.
Salvia clevelandii	5 gal.	Agave geminiflora	5 gal.
Chaparral Sage	5 gal.	Twin Flowered Agave	5 gal.
Medium Shrubs	Size	Agave weberi	1 gal.
Eremophila hygrophana Blue Bells	5 gal.	Weber's Agave	1 gal.
Blue Bells	5 gal.	Aloe barbadensis	5 gal.
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	Medicinal Aloe	5 gal.
Lynn's Legacy	5 gal.	Bouteloua gracilis	1 gal.
Leucophyllum zygophyllum	5 gal.	Blond Ambition	5 gal.
Cimarron Sage	5 gal.	Cereus peruvianus	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Cereus	5 gal.
Oleander 'Petite Pink'	5 gal.	Cereus hildmannianus	5 gal.
Olea europaea 'Little Ollie'	5 gal.	Twisted Cactus	5 gal.
Dwarf Olive	5 gal.	Cycas revoluta	5 gal.
Rhaphiolepis indica 'Pink Lady'	5 gal.	Sago Palm	5 gal.
Indian Hawthorn	5 gal.	Euphorbia royleana	5 gal.
Rosmarinus officinalis 'Upright'	5 gal.	Churee	5 gal.
Upright Rosemary	5 gal.	Hesperaloe parviflora 'Brakelights'	3 gal.
Ruellia brittoniana	5 gal.	Brakelights Red Yucca	5 gal.
Ruellia	5 gal.	Muhlenbergia capillaris	5 gal.
Xylosma congestum 'Compactum'	5 gal.	'Regal Mist'	5 gal.
Dwarf Shiny Xylosma	5 gal.	Muhlenbergia lindheimeri	5 gal.
Small Shrubs	Size	'Autumn Glow'	5 gal.
Callistemon viminalis 'Little John'	5 gal.	Muhlenbergia rigida 'Nashville'	1 gal.
Little John Bottle Brush	5 gal.	Nashville Muhly Grass	1 gal.
Myrtus communis 'compacta'	5 gal.	Opuntia ficus indica	8 Pad Min.
Dwarf Myrtle	5 gal.	Indian Fig Prickly Pear	5 gal.
Teucrium chamaedrys	1 gal.	Opuntia sp. Kelly's Choice	5 gal.
Germander	1 gal.	Kelly's Choice Prickly Pear	5 gal.
Vines	Size	Pedilanthus macrocarpus	5 gal.
Bougainvillea 'Barbara Karst'	5 gal.	Slipper Plant	5 gal.
Bougainvillea	5 gal.	Yucca baccata	5 gal.
Bougainvillea 'Flame'	5 gal.	Banana Yucca	5 gal.
Bougainvillea	5 gal.	Yucca pallida	5 gal.
Rosa banksiae	5 gal.	Pale Leaf Yucca	5 gal.
Lady Bank's Rose	5 gal.	Yucca rostrata	20 gal.
		Beaked Yucca	5 gal.
		Yucca rupicola	5 gal.
		Twisted Leaf Yucca	5 gal.
		Yucca gloriosa	5 gal.
		Spanish Dagger	5 gal.

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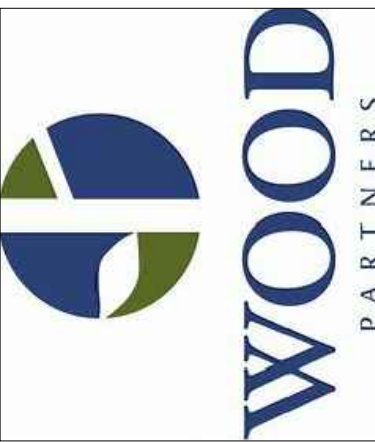


KEY MAP

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Landscape Improvement Plans
Alta Uptown
N Arizona Ave and E Corporate Place
Chandler, AZ
SHEET TITLE: PLANTING PLAN



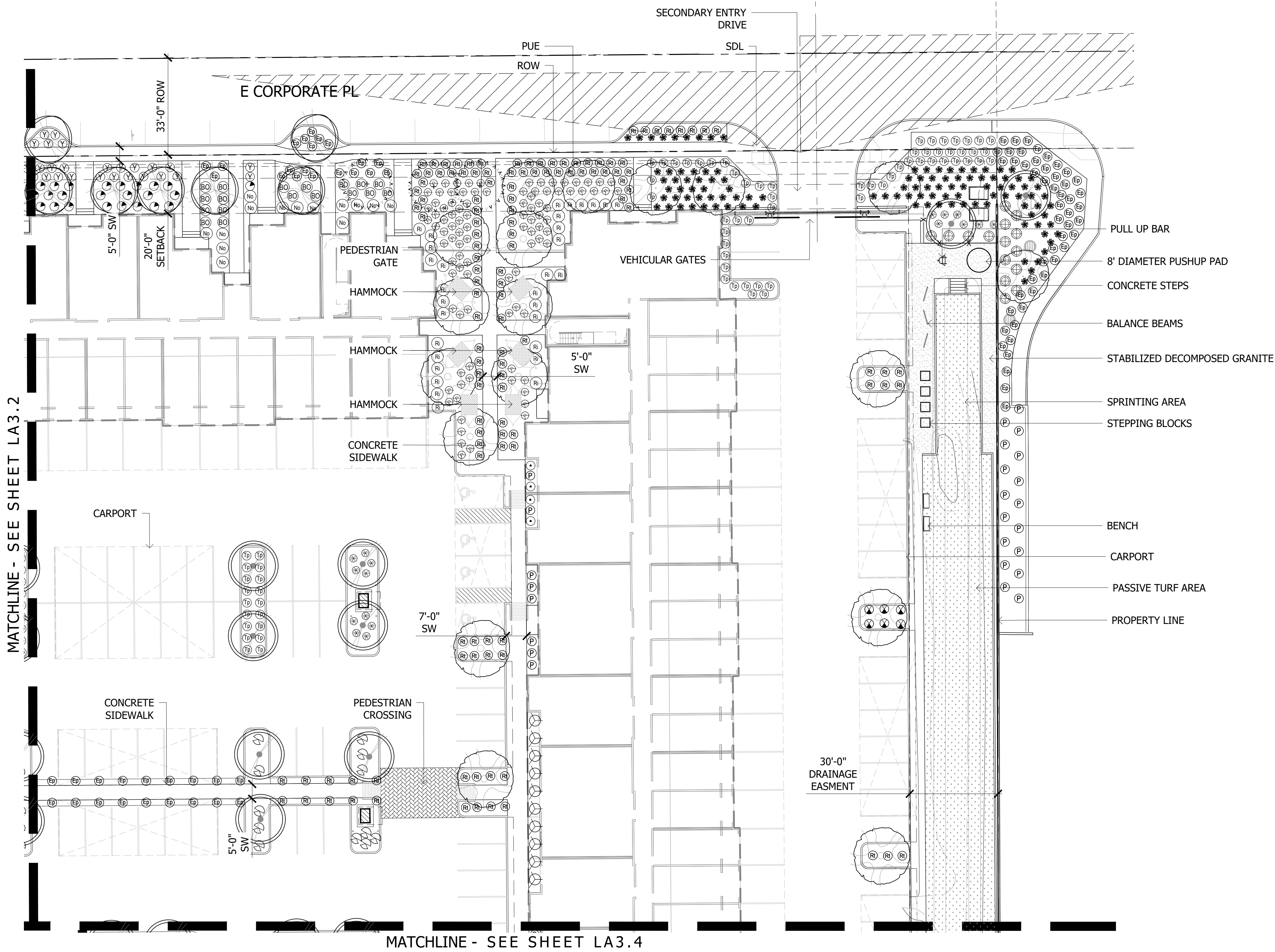
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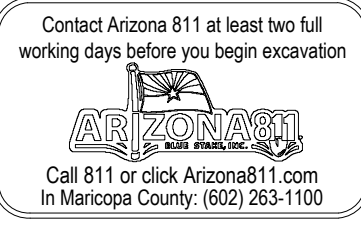
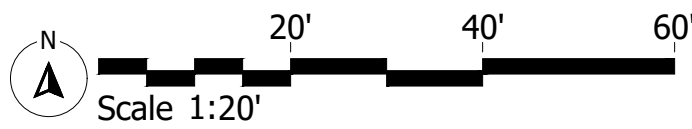
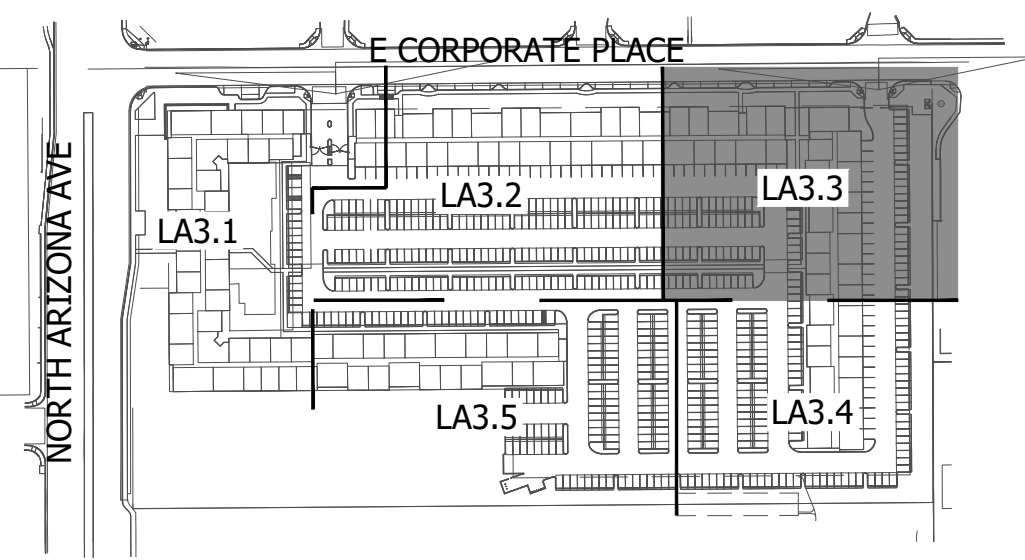


PLANT MATERIALS LEGEND

Tree	Cal (in.)	Height (Ft.)	Width (in.)	Box (in.)
Acacia aneura	2"	7'	4'	36"
Mulga Acacia				
Caesalpinia cocalaco 'Smoothie'	1"	5.0'	3.0'	24"
Thornless Cascalote				
Eucalyptus papuana	1.25"	7'	3'	24"
Ghost Gum				
Olea europea 'Swan Hill'	2"	8'	5'	36"
Swan Hill Olive				
Phoenix dactylifera	N/A	18.0' TO PINAPPLE		
Date Palm				
Pistacia chinensis	2"	12'	6'	36"
Chinese Pistache				
Pistacia lentiscus	0.75"	7.0'	2.5'	15gal
Mastic Tree				
Pithecellobium flexicaule	2'	7'	5'	36"
Texas Ebony				
Prosopis Hybrid Thornless	2"	8'	7'	36"
Thornless Mesquite				
Quercus buckleyi	2"	10'	5'	36"
Texas Red Oak				
Quercus virginiana	2"	10'	5'	36"
'Cathedral Oak'				
Sophora secundiflora	.75"	3.0"	2.0'	24"
Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"
'Allee' Elm				

Extra Large Shrubs	Size	Groundcovers	Size
Bougainvillea 'Rosenka'	5 gal.	Eremophila prostrata 'Outback Sunrise'	gal
Bougainvillea		Outback Sunrise Eremophila	gal
Caesalpinia gillesii	5 gal.	Lantana montevidensis	1 gal.
Yellow Bird of Paradise		Purple Trailing Lantana	1 gal.
Cordia Boissieri	5 gal.	Lantana x 'Dallas Red'	1 gal.
Anacardium	5 gal.	Dallas Red Lantana	1 gal.
Dodonea viscosa	5 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Green Hopbush	5 gal.	Trailing Rosemary	1 gal.
Tecoma sp. 'Sparky'	5 gal.	Ruellia brittoniana 'Katie'	1 gal.
Sparky	5 gal.	Dwarf Katie Ruellia	1 gal.
Vaquelina californica	15 gal.	Teucrium chamaedrys 'prostratum'	1 gal.
Arizona Rosewood	1 gal.	Prostrate Germander	1 gal.
Large Shrubs	Size	Cacti/ Accents	Size
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	Agave americana 'Marginata'	5 gal.
Rio Bravo Sage	5 gal.	Century Plant	5 gal.
Salvia clevelandii	5 gal.	Agave geminiflora	5 gal.
Chaparral Sage	5 gal.	Twin Flowered Agave	5 gal.
Medium Shrubs	Size	Agave weberi	1 gal.
Eremophila hygrophana Blue Bells	5 gal.	Weber's Agave	1 gal.
Blue Bells	5 gal.	Aloe barbadensis	5 gal.
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	Medicinal Aloe	5 gal.
Lynn's Legacy	5 gal.	Bouteloua gracilis	1 gal.
Leucophyllum zygophyllum	5 gal.	Blond Ambition	5 gal.
Cimarron Sage	5 gal.	Cereus peruvianus	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Cereus	5 gal.
Oleander 'Petite Pink'	5 gal.	Cereus hildmannianus	5 gal.
Olea europaea 'Little Ollie'	5 gal.	Twisted Cactus	5 gal.
Dwarf Olive	5 gal.	Cycas revoluta	5 gal.
Rhaphiolepis indica 'Pink Lady'	5 gal.	Sago Palm	5 gal.
Indian Hawthorn	5 gal.	Euphorbia royleana	5 gal.
Rosmarinus officinalis 'Upright'	5 gal.	Churee	5 gal.
Upright Rosemary	5 gal.	Hesperaloe parviflora 'Brakelights'	3 gal.
Ruellia brittoniana	5 gal.	Brakelights Red Yucca	5 gal.
Ruellia	5 gal.	Muhlenbergia capillaris	5 gal.
Xylosma congestum 'Compactum'	5 gal.	'Regal Mist'	5 gal.
Dwarf Shiny Xylosma	5 gal.	Muhlenbergia lindheimeri	5 gal.
Small Shrubs	Size	'Autumn Glow'	5 gal.
Callistemon viminalis 'Little John'	5 gal.	Muhlenbergia rigida 'Nashville'	1 gal.
Little John Bottle Brush	5 gal.	Nashville Muhly Grass	8 Pad Min.
Myrtus communis 'compacta'	5 gal.	Opuntia ficus indica	5 gal.
Dwarf Myrtle	5 gal.	Indian Fig Prickly Pear	5 gal.
Teucrium chamaedrys	1 gal.	Opuntia sp. Kelly's Choice	5 gal.
Germander	1 gal.	Kelly's Choice Prickly Pear	5 gal.
Vines	Size	Pedilanthus macrocarpus	5 gal.
Bougainvillea 'Barbara Karst'	5 gal.	Slipper Plant	5 gal.
Bougainvillea	5 gal.	Yucca baccata	5 gal.
Bougainvillea 'Flame'	5 gal.	Banana Yucca	5 gal.
Bougainvillea	5 gal.	Yucca pallida	5 gal.
Rosa banksiae	5 Gal.	Pale Leaf Yucca	5 gal.
Lady Bank's Rose	5 Gal.	Yucca rostrata	20 gal.
		Beaked Yucca	5 gal.
		Yucca rupicola	5 gal.
		Twisted Leaf Yucca	5 gal.
		Yucca gloriosa	5 gal.
		Spanish Dagger	

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Landscape Improvement Plans

Alta Uptown

N Arizona Ave and E Corporate Place

Chandler, AZ

SHEET TITLE: PLANTING PLAN

AB

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PREPARED LANDSCAPE ARCHITECT
PR: 45440
ANDREW D. BARON
06/22/2022
ARIZONA
EXP. 12-31-24

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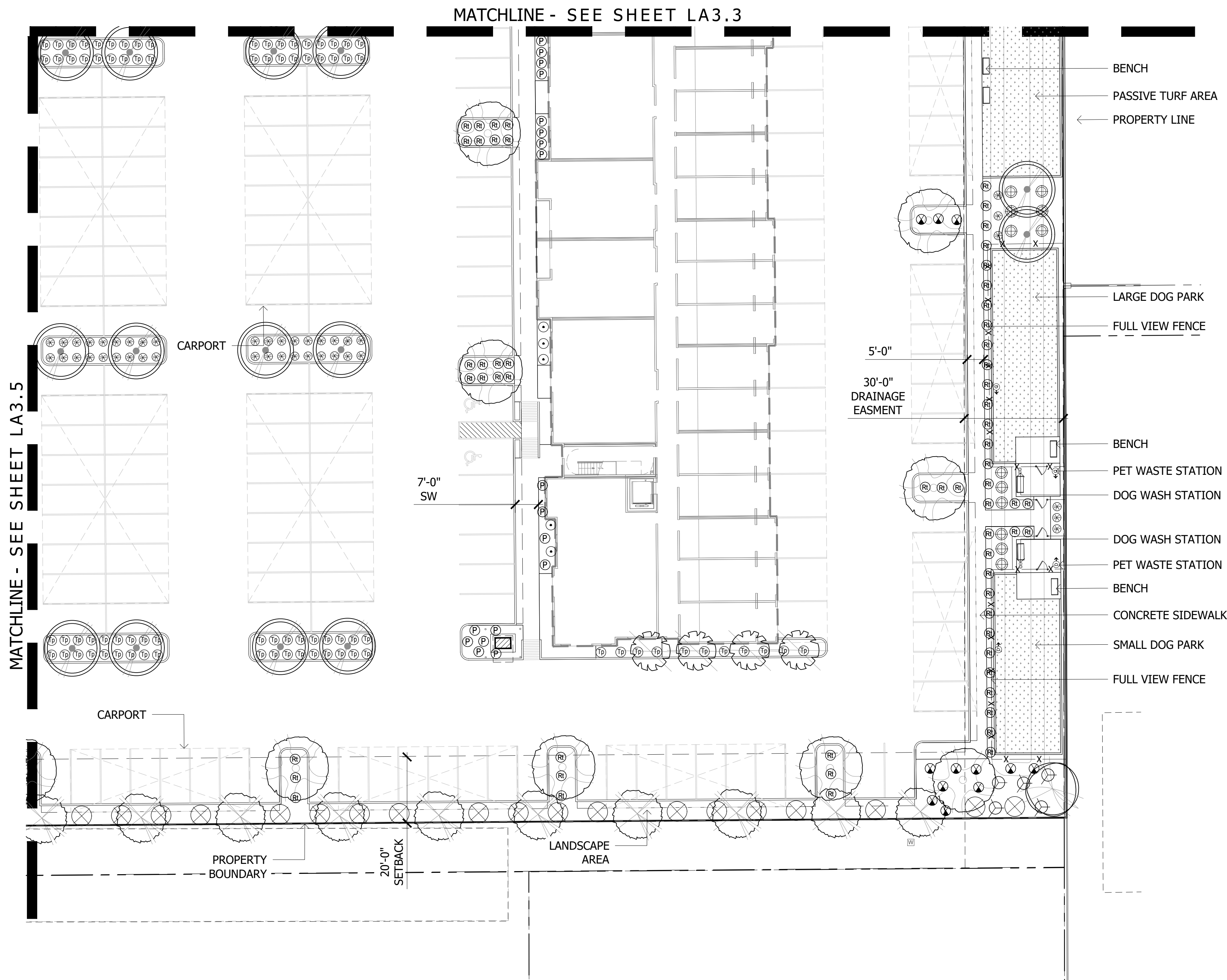
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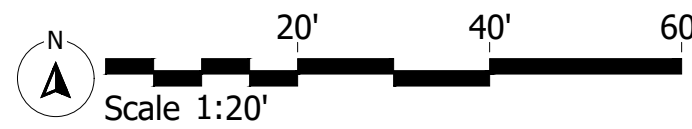
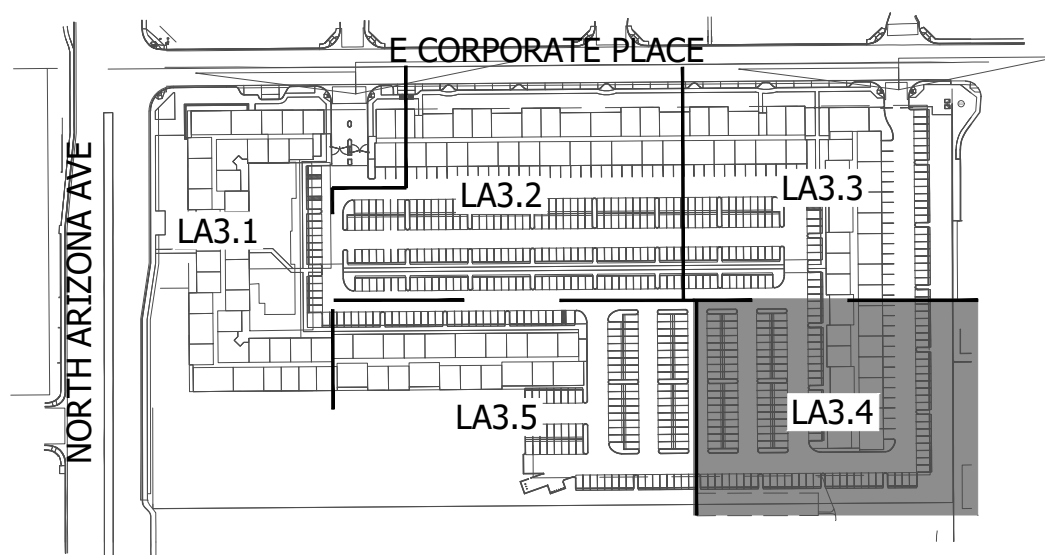


PLANT MATERIALS LEGEND

Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box (in.)
Acacia aneura	2"	7'	4'	36"
Mulga Acacia				
Caesalpinia cocalaco 'Smoothie'	1"	5.0'	3.0'	24"
Thornless Cascalote				
Eucalyptus papuana	1.25"	7'	3'	24"
Ghost Gum				
Olea europea 'Swan Hill'	2"	8'	5'	36"
Swan Hill Olive				
Phoenix dactylifera	N/A	18.0'	TO PINAPPLE	
Date Palm				
Pistacia chinensis	2"	12'	6'	36"
Chinese Pistache				
Pistacia lentiscus	0.75"	7.0'	2.5'	15gal
Mastic Tree				
Pithecellobium flexicaule	2'	7'	5'	36"
Texas Ebony				
Prosopis Hybrid Thornless	2"	8'	7'	36"
Thornless Mesquite				
Quercus buckleyi	2"	10'	5'	36"
Texas Red Oak				
Quercus virginiana	2"	10'	5'	36"
'Cathedral Oak'				
Sophora secundiflora	.75"	3.0"	2.0'	24"
Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"
'Allee' Elm				

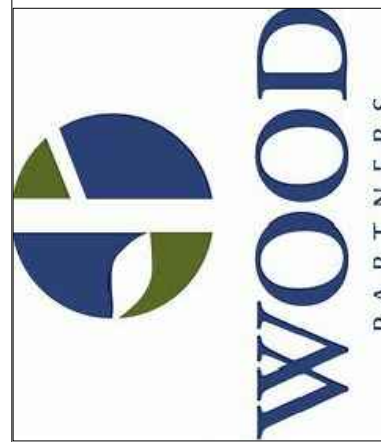
Extra Large Shrubs	Size	Groundcovers	Size
Bougainvillea 'Rosenka'	5 gal.	Eremophila prostrata 'Outback Sunrise'	gal
Bougainvillea		Outback Sunrise Eremophila	gal
Caesalpinia gillesii	5 gal.	Lantana montevidensis	1 gal.
Yellow Bird of Paradise		Purple Trailing Lantana	1 gal.
Cordia Boissieri	5 gal.	Lantana x 'Dallas Red'	1 gal.
Anacardium	5 gal.	Dallas Red Lantana	1 gal.
Dodonea viscosa	5 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Green Hopbush		Trailing Rosemary	1 gal.
Tecoma sp. 'Sparky'	5 gal.	Ruellia brittoniana 'Katie'	1 gal.
Sparky		Dwarf Katie Ruellia	1 gal.
Vaquelina californica	15 gal.	Teucrium chamaedrys 'prostratum'	1 gal.
Arizona Rosewood		Prostrate Germander	1 gal.
Large Shrubs	Size	Cacti/ Accents	Size
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	Agave americana 'Marginata'	5 gal.
Rio Bravo Sage		Century Plant	5 gal.
Salvia clevelandii	5 gal.	Agave geminiflora	5 gal.
Chaparral Sage		Twin Flowered Agave	5 gal.
Medium Shrubs	Size	Agave weberi	1 gal.
Eremophila hygrophana Blue Bells	5 gal.	Weber's Agave	1 gal.
Blue Bells		Aloe barbadensis	5 gal.
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	Medicinal Aloe	5 gal.
Lynn's Legacy		Bouteloua gracilis	1 gal.
Leucophyllum zygophyllum	5 gal.	Blond Ambition	1 gal.
Cimarron Sage		Cereus peruvianus	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Cereus	5 gal.
Oleander 'Petite Pink'		Cereus hildmannianus	5 gal.
Olea europaea 'Little Ollie'	5 gal.	Twisted Cactus	5 gal.
Dwarf Olive		Cycas revoluta	5 gal.
Raphiolepis indica 'Pink Lady'	5 gal.	Sago Palm	5 gal.
Indian Hawthorn	5 gal.	Euphorbia royleana	5 gal.
Rosmarinus officinalis 'Upright'	5 gal.	Churee	5 gal.
Upright Rosemary		Hesperaloe parviflora 'Brakelights'	3 gal.
Ruellia brittoniana	5 gal.	Brakelights Red Yucca	3 gal.
Ruellia		Muhlenbergia capillaris	5 gal.
Xylosma congestum 'Compactum'	5 gal.	'Regal Mist'	5 gal.
Dwarf Shiny Xylosma		Muhlenbergia lindheimeri	5 gal.
Small Shrubs	Size	Muhlenbergia rigida 'Nashville'	1 gal.
Callistemon viminalis 'Little John'	5 gal.	Nashville Muhly Grass	8 Pad Min.
Little John Bottle Brush		Opuntia ficus indica	5 gal.
Myrtus communis 'compacta'	5 gal.	Indian Fig Prickly Pear	5 gal.
Dwarf Myrtle		Opuntia sp. Kelly's Choice	5 gal.
Teucrium chamaedrys	1 gal.	Kelly's Choice Prickly Pear	5 gal.
Germander		Pedilanthus macrocarpus	5 gal.
Vines	Size	Slipper Plant	5 gal.
Bougainvillea 'Barbara Karst'	5 gal.	Yucca baccata	5 gal.
Bougainvillea		Banana Yucca	5 gal.
Bougainvillea 'Flame'	5 gal.	Yucca pallida	5 gal.
Bougainvillea		Pale Leaf Yucca	5 gal.
Rosa banksiae	5 Gal.	Yucca rostrata	20 gal.
Lady Bank's Rose		Beaked Yucca	5 gal.
		Yucca rupicola	5 gal.
		Twisted Leaf Yucca	5 gal.
		Yucca gloriosa	
		Spanish Dagger	

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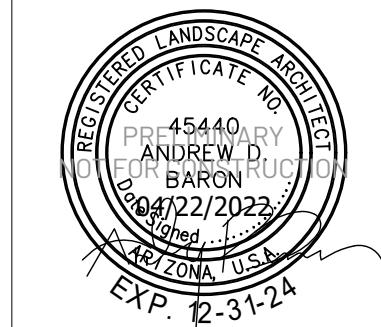


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Landscape Improvement Plans
Alta Uptown
N Arizona Ave and E Corporate Place
Chandler, AZ
SHEET TITLE: PLANTING PLAN



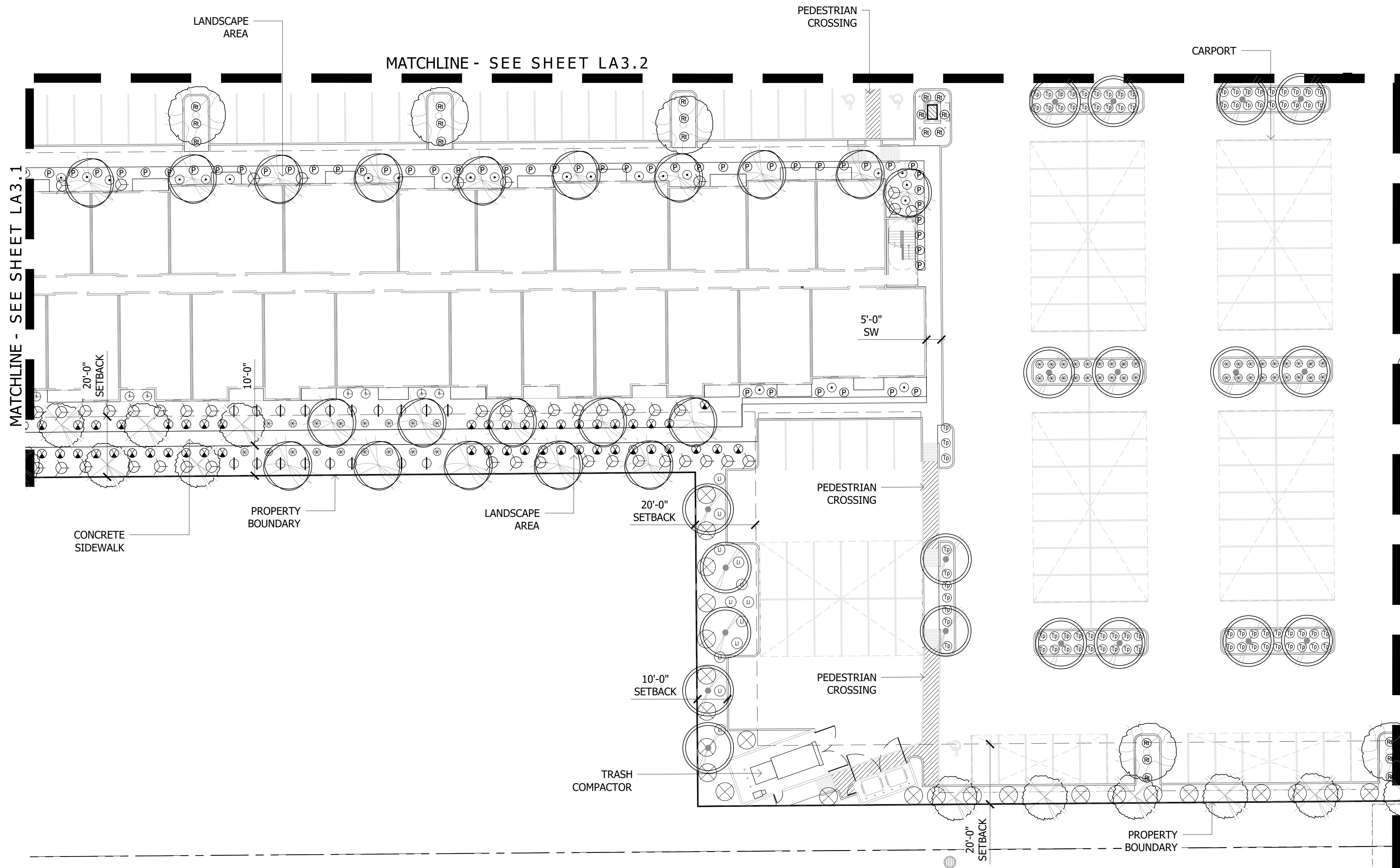
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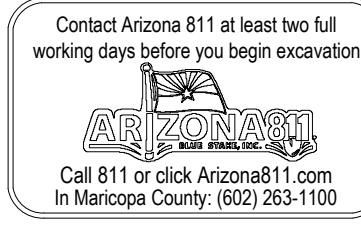
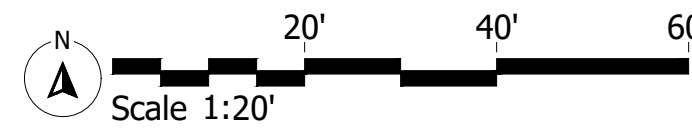
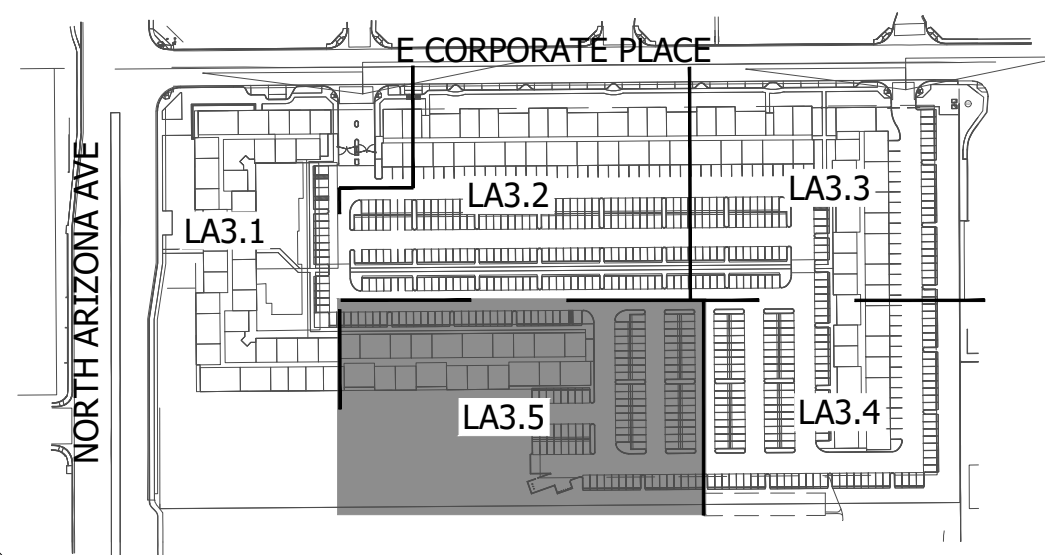


PLANT MATERIALS LEGEND

Tree	Cal (in.)	Height (Ft.)	Width (in.)	Box (in.)
Acacia aneura	2"	7'	4'	36"
Mulga Acacia				
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Swan Hill Olive				
Phoenix dactylifera	N/A	18.0' TO PINAPPLE		
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Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"
'Allee' Elm				

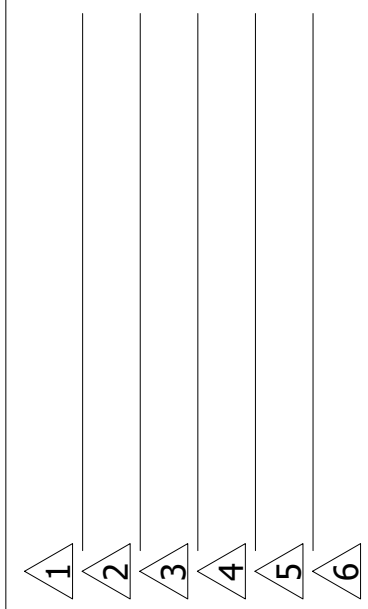
Extra Large Shrubs	Size	Groundcovers	Size
Bougainvillea 'Rosenka'	5 gal.	Eremophila prostrata 'Outback Sunrise'	gal
Bougainvillea		Outback Sunrise Eremophila	gal
Caesalpinia gillesii	5 gal.	Lantana montevidensis	1 gal.
Yellow Bird of Paradise		Purple Trailing Lantana	1 gal.
Cordia Boissieri	5 gal.	Lantana x 'Dallas Red'	1 gal.
Anacardium	5 gal.	Dallas Red Lantana	1 gal.
Dodonea viscosa	5 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Green Hopbush	5 gal.	Trailing Rosemary	1 gal.
Tecoma sp. 'Sparky'	5 gal.	Ruellia brittoniana 'Katie'	1 gal.
Sparky	5 gal.	Dwarf Katie Ruellia	1 gal.
Vaquelina californica	15 gal.	Teucrium chamaedrys 'prostratum'	1 gal.
Arizona Rosewood	1 gal.	Prostrate Germander	1 gal.
Large Shrubs	Size	Cacti/ Accents	Size
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	Agave americana 'Marginata'	5 gal.
Rio Bravo Sage		Century Plant	5 gal.
Salvia clevelandii	5 gal.	Agave geminiflora	5 gal.
Chaparral Sage		Twin Flowered Agave	5 gal.
Medium Shrubs	Size	Agave weberi	1 gal.
Eremophila hygrophana Blue Bells	5 gal.	Weber's Agave	1 gal.
Blue Bells		Aloe barbadensis	5 gal.
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	Medicinal Aloe	5 gal.
Lynn's Legacy		Bouteloua gracilis	1 gal.
Leucophyllum zygophyllum	5 gal.	Blond Ambition	5 gal.
Cimarron Sage		Cereus peruvianus	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Cereus	5 gal.
Oleander 'Petite Pink'		Cereus hildmannianus	5 gal.
Olea europaea 'Little Ollie'	5 gal.	Twisted Cactus	5 gal.
Dwarf Olive		Cycas revoluta	5 gal.
Rhaphiolepis indica 'Pink Lady'	5 gal.	Sago Palm	5 gal.
Indian Hawthorn	5 gal.	Euphorbia royleana	5 gal.
Rosmarinus officinalis 'Upright'	5 gal.	Churee	5 gal.
Upright Rosemary		Hesperaloe parviflora 'Brakelights'	3 gal.
Ruellia brittoniana	5 gal.	Brakelights Red Yucca	5 gal.
Ruellia		Muhlenbergia capillaris	5 gal.
Xylosma congestum 'Compactum'	5 gal.	'Regal Mist'	5 gal.
Dwarf Shiny Xylosma		Muhlenbergia lindheimeri	5 gal.
Small Shrubs	Size	Dwarf Shiny Yucca	5 gal.
Callistemon viminalis 'Little John'	5 gal.	Muhlenbergia rigida 'Nashville'	1 gal.
Little John Bottle Brush		Nashville Muhly Grass	8 Pad Min.
Myrtus communis 'compacta'	5 gal.	Opuntia ficus indica	5 gal.
Dwarf Myrtle		Indian Fig Prickly Pear	5 gal.
Teucrium chamaedrys	1 gal.	Opuntia sp. Kelly's Choice	5 gal.
Germander		Kelly's Choice Prickly Pear	5 gal.
Vines	Size	Pedilanthus macrocarpus	5 gal.
Bougainvillea 'Barbara Karst'	5 gal.	Slipper Plant	5 gal.
Bougainvillea		Yucca baccata	5 gal.
Bougainvillea 'Flame'	5 gal.	Banana Yucca	5 gal.
Bougainvillea		Yucca pallida	5 gal.
Rosa banksiae	5 Gal.	Pale Leaf Yucca	5 gal.
Lady Bank's Rose		Yucca rostrata	20 gal.
		Beaked Yucca	5 gal.
		Yucca rupicola	5 gal.
		Twisted Leaf Yucca	5 gal.
		Yucca gloriosa	
		Spanish Dagger	

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KEY MAP

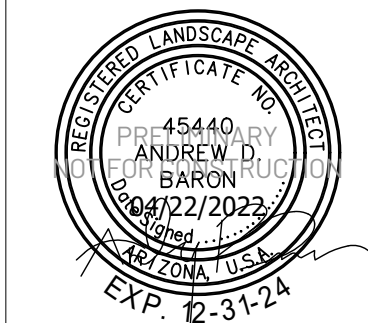
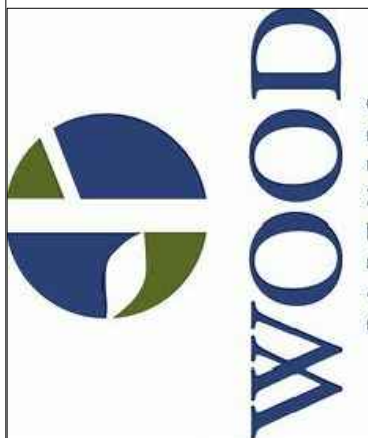
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Landscape Improvement Plans

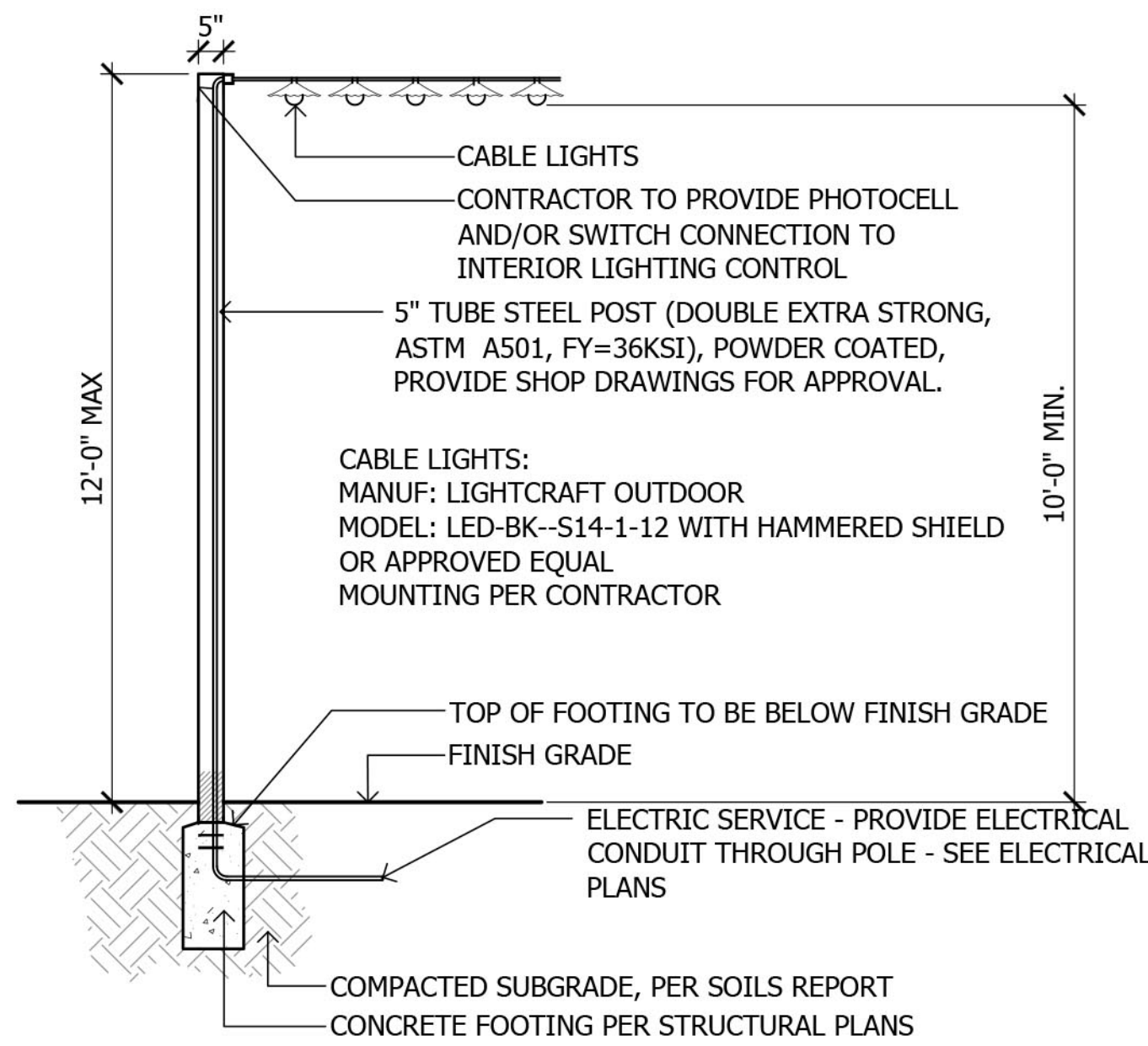
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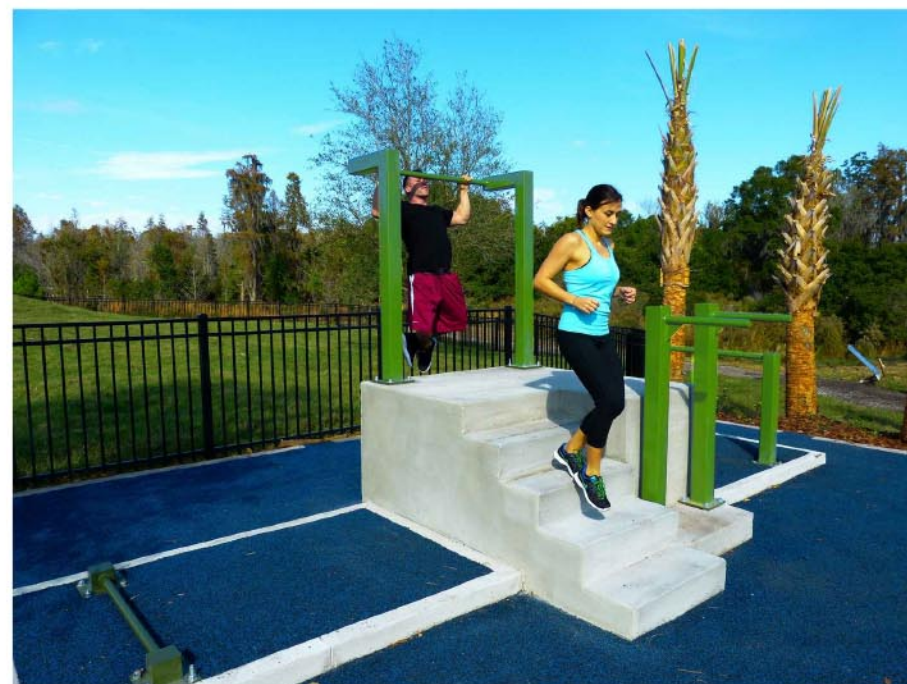
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PERMIT NUMBER:	ABLA PROJECT NUMBER: 14-045-21



1 Festoon Lights
SCALE: 3/8"=1'-0"



5 Bean Bag Toss
SCALE: 1/2"=1'-0"



DESIGN INTENT IMAGE

9 Concrete Steps
SCALE: 1/2"=1'-0"



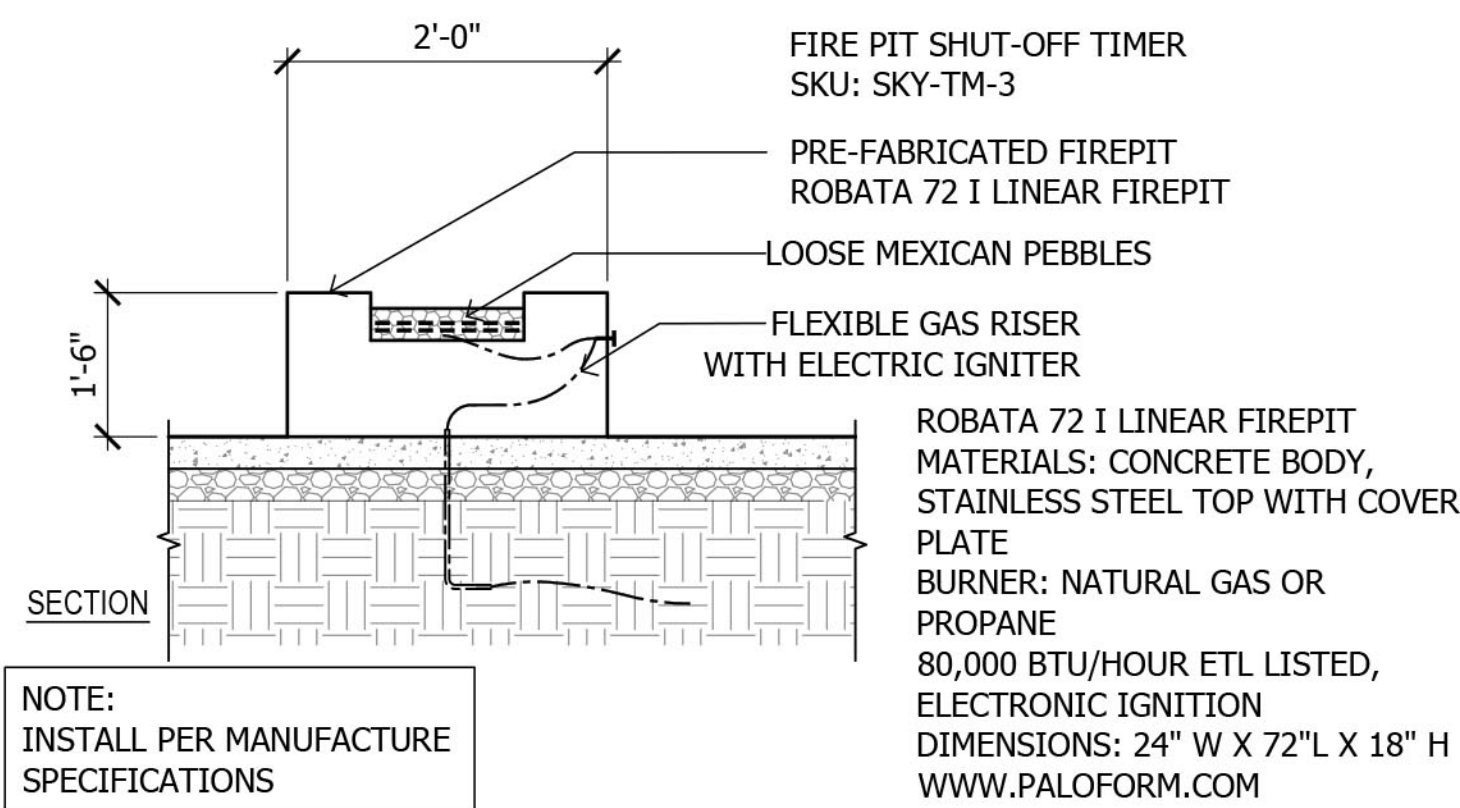
MANUFACTURER: LOLL DESIGN - 1-877-740-3387
MODEL: STANDARD ADIRONDACK CHAIR (FLAT)
COLOR: PER INTERIOR DESIGNER
OR APPROVED EQUAL

BY OWNER

2 Adirondack Chair
SCALE: 1/2"=1'-0"



GENERAL NOTES:
FIRE PIT ACCESSORIES
eFIREPLACE STORE
PHONE: 800-203-1642
WWW.EFIREPLACESTORE.COM
OR APPROVED EQUAL



6 Linear Fire Pit
SCALE: 1/2"=1'-0"



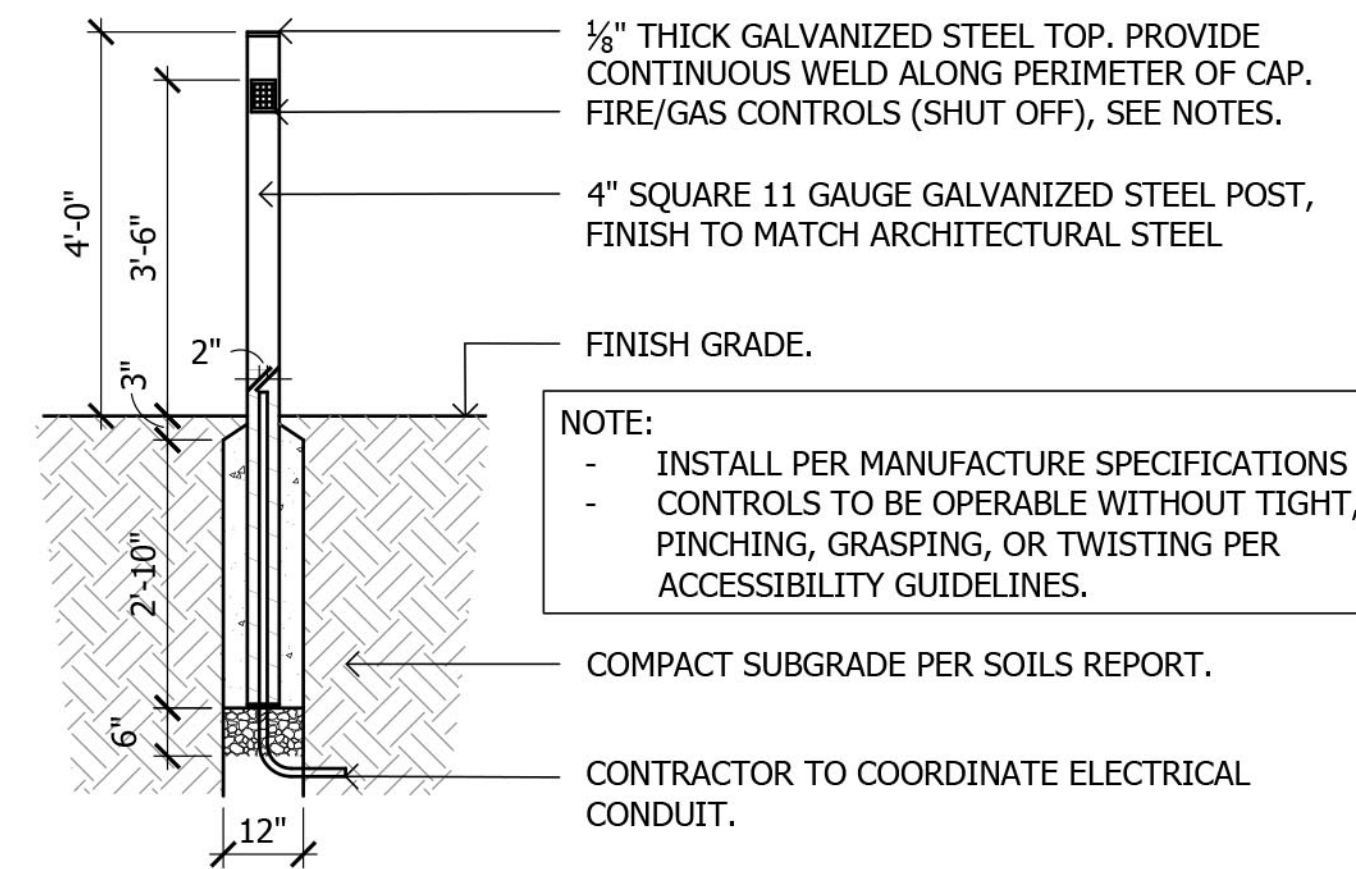
DESIGN INTENT IMAGE

10 8' Diameter Push Up Pad
SCALE: 1/2"=1'-0"

BENCH:
MANUF: LANDSCAPE FORMS
MODEL: PARC-VUE
PV644-08
431 LAWDALE AVENUE
KALAMAZOO, MI 49048
PHONE: (269) 381-0396
FAX: (269) 381-3455
OR APPROVED EQUAL



3 Bench
SCALE: 1/2"=1'-0"



STEEL POST, KEYPAD NOTES:
• CONTRACTOR TO SUBMIT ALL MATERIALS & SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
• CONTRACTOR TO PROVIDE SKYTECH 1.5 HOUR TIMER SKY-TM-3 ON ALL FIRE FEATURES. CONTRACTOR OR MECHANICAL ENGINEER TO PROVIDE SPECIFICATIONS ON GAS LINES, GAS CONNECTIONS, TIMERS, EMERGENCY SHUT OFFS (VALVES), KEY PAD OPERATORS, OR ANY NECESSARY EQUIPMENT OR PARTS TO SAFELY FUNCTION GAS COMPONENTS, INSTALL PER LOCAL CODES.

7 Fire Pit/Spa Controls
SCALE: 1/2"=1'-0"



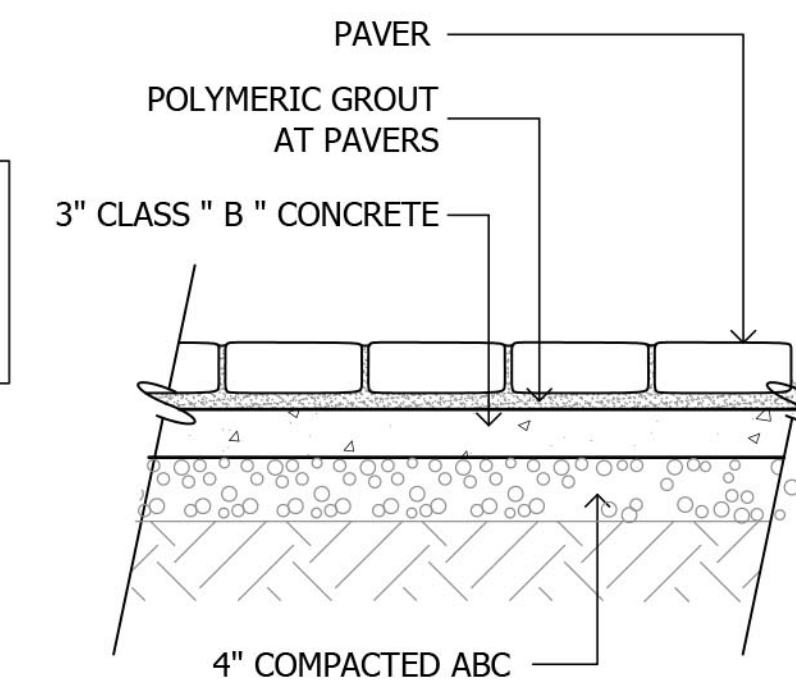
DESIGN INTENT IMAGE

11 Balance Beam
SCALE: 1/2"=1'-0"

TRASH RECEPTACLE:
MANUF: LANDSCAPE FORMS
MODEL: PARC-VUE
PV64-01 W/ URN SHAPED-LINER
431 LAWDALE AVENUE
KALAMAZOO, MI 49048
PHONE: (269) 381-0396
FAX: (269) 381-3455
OR APPROVED EQUAL



4 Trash Receptacle
SCALE: 1/2"=1'-0"



PAVER
MANUFACTURER: BELGARD
MODEL: HOLLAND STONE 60mm
COLOR: SABLE BLEND
SIZE: 3 1/2"x 7 7/8"x 2 3/8" FIELD
PATTERN: RUNNING BOND
NOTE:
INSTALL PER MANUFACTURER SPECS.
OR APPROVED EQUAL

8 Paver Walkway
SCALE: 1"=1'-0"



DESIGN INTENT IMAGE

12 Pull Up Bar
SCALE: 1/2"=1'-0"

EXHIBIT 4



EXHIBIT 5

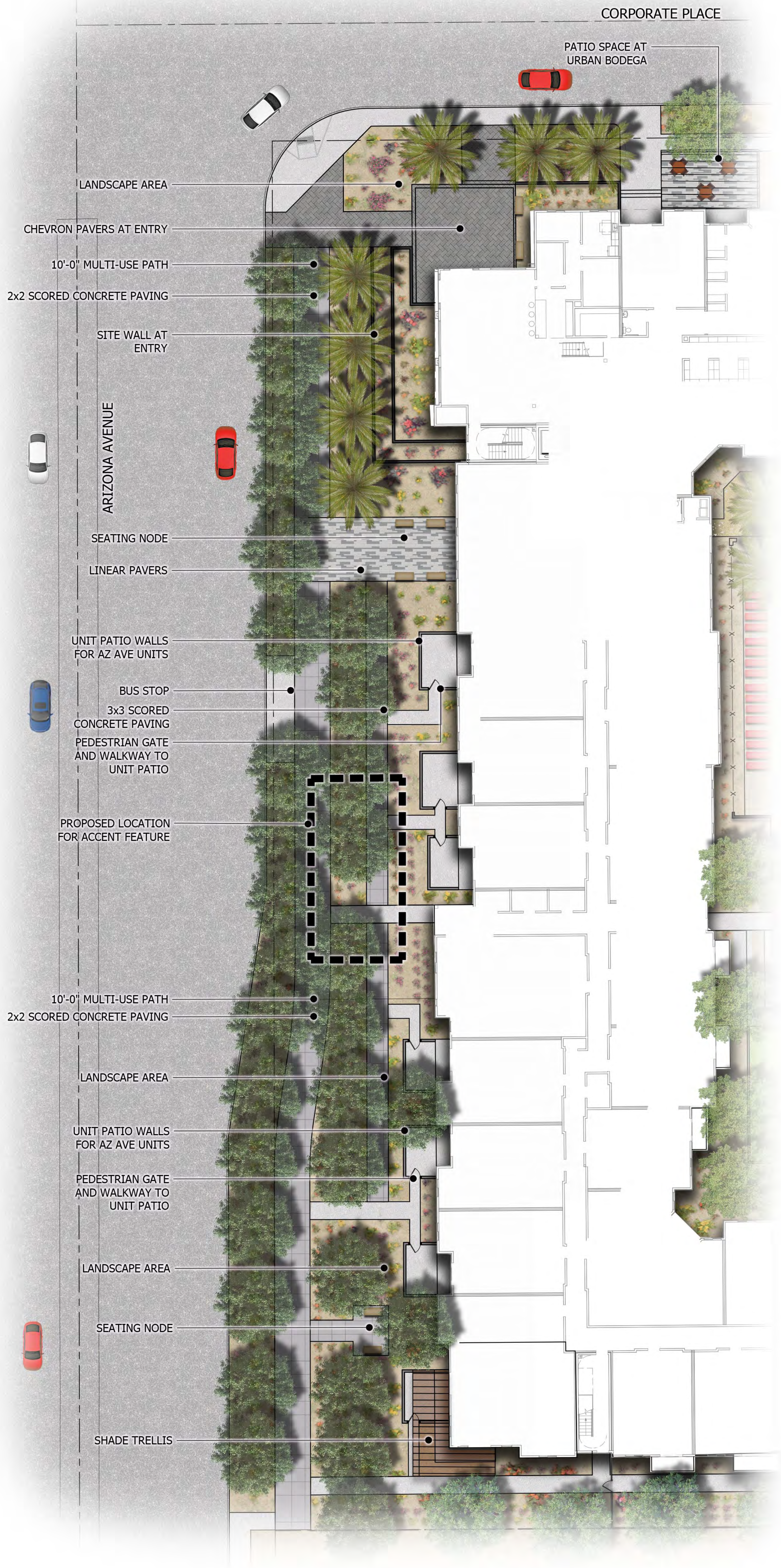





EXHIBIT 6



OPEN SPACE LEGEND		PROVIDED	REQUIRED
SYMBOL	DESCRIPTION		
	SHARED USEABLE EXTERIOR COMMON OPEN SPACE	89,452 S.F	89,025 S.F
	SHARED USEABLE INTERIOR COMMON OPEN SPACE	11,609 S.F	6,968 S.F
	TOTAL COMMON OPEN SPACE	101,061 S.F	95,993 S.F
	*PRIVATE OPEN SPACE	20,358 S.F	20,000 S.F
	*47 S.F AVERAGE PER UNIT AT 425 UNITS		



ALTA UPTOWN

Conceptual Open Space Plan



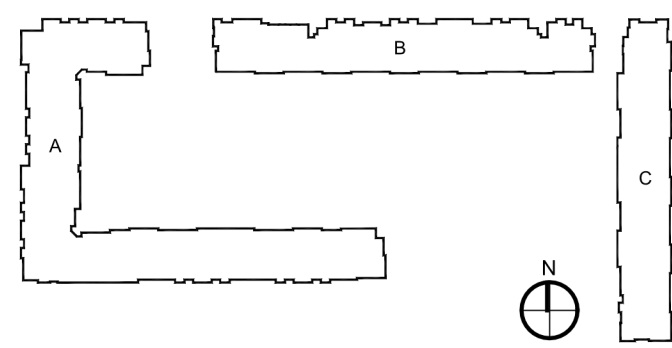
ABLA STUDIO.COM



EXHIBIT 7



BUILDING KEY PLAN



GENERAL NOTES

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED EQUIPMENT.
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- SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

MATERIAL/COLOR KEY

1	- BRICK - MCNEAR SANDMOLD SERIES - CUMBERLAND
2	- BRICK - MCNEAR SANDMOLD SERIES - EMBARCADERO
3	- HORIZONTAL TRIM / HEAD / SILL - SW 7009 PEARLY WHITE
4	- STUCCO - SW 7015 REPOSE GRAY
5	- STUCCO - SW 7520 PLANTATION SHUTTERS
6	- STUCCO - SW 6251 OUTERSPACE
7	- STUCCO - SW 7674 PEPPERCORN
8	- DOOR / WINDOW TRIM - DARK BRONZE
9	- METAL GUARDRAILS / CANOPIES - DARK BRONZE

PRELIMINARY
NOT FOR
CONSTRUCTION

NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

ISSUE			
DATE	REV	FOR	
12/03/2021		PAD/PDP SUBMITTAL	
03/11/2022		PAD/PDP RESUBMITTAL	
04/13/2022		PAD/PDP RESUBMITTAL	

Drawn	JF
Checked	JF
Job Number	2141
Drawing	
EXTERIOR ELEVATIONS - BUILDING #1	
Sheet	

A4.1.0

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NOT FOR
CONSTRUCTION

NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

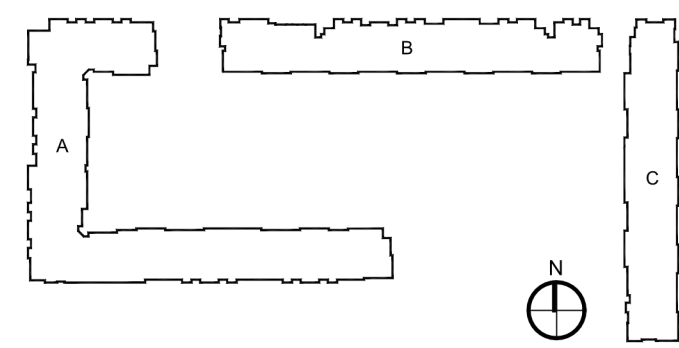
ISSUE		
DATE	REV	FOR
12/03/2021		PAD/PDP SUBMITTAL
03/11/2022		PAD/PDP RESUBMITTAL

Drawn
JF
Checked
JF
Job Number
2141
Drawing
EXTERIOR ELEVATIONS - BUILDING #1
Sheet

A4.1.1



BUILDING KEY PLAN



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MATERIAL/COLOR KEY

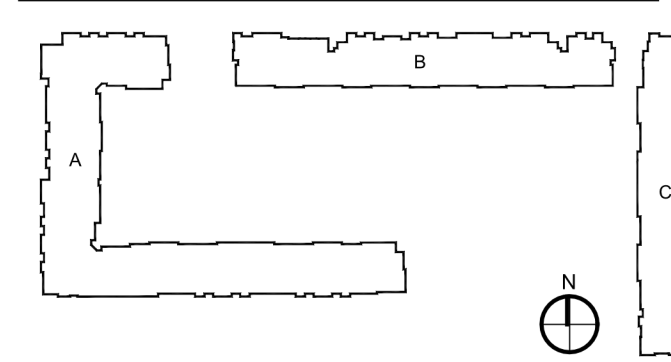
1	- BRICK - MCNEAR SANDMOLD SERIES - CUMBERLAND
2	- BRICK - MCNEAR SANDMOLD SERIES - EMBARCADERO
3	- HORIZONTAL TRIM / HEAD / SILL - SW 7009 PEARLY WHITE
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PRELIMINARY
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NEW APARTMENT BUILDING
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BUILDING KEY PLAN



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ISSUE

DATE	REV	FOR
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03/11/2022		PAD/PDP RESUBMITTAL

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JF

Job Number

2141

Drawing

EXTERIOR

ELEVATIONS -

BUILDING #2

Sheet

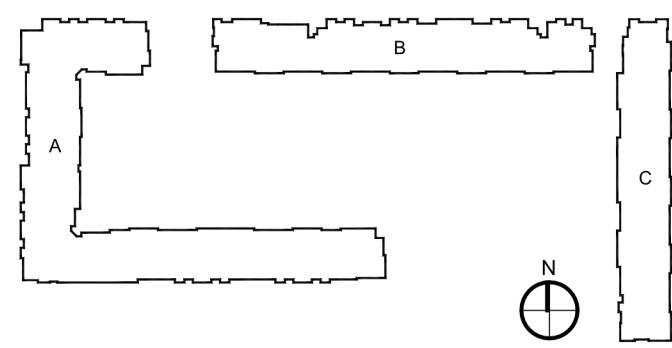
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NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225



BUILDING KEY PLAN



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MATERIAL/COLOR KEY

- | | |
|---|--|
| 1 | - BRICK - MCNEAR SANDMOLD SERIES - CUMBERLAND |
| 2 | - BRICK - MCNEAR SANDMOLD SERIES - EMBARCADERO |
| 3 | - HORIZONTAL TRIM / HEAD / SILL - SW 7009 PEARLY WHITE |
| 4 | - STUCCO - SW 7015 REPOSE GRAY |
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| 6 | - STUCCO - SW 6251 OUTERSPACE |
| 7 | - STUCCO - SW 7674 PEPPERCORN |
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| 9 | - METAL GUARDRAILS / CANOPIES - DARK BRONZE |



EXHIBIT 8

PRELIMINARY
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NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

ISSUE

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04/13/2022		PAD/PDP RESUBMITTAL

Drawn

JF

Checked

JF

Job Number

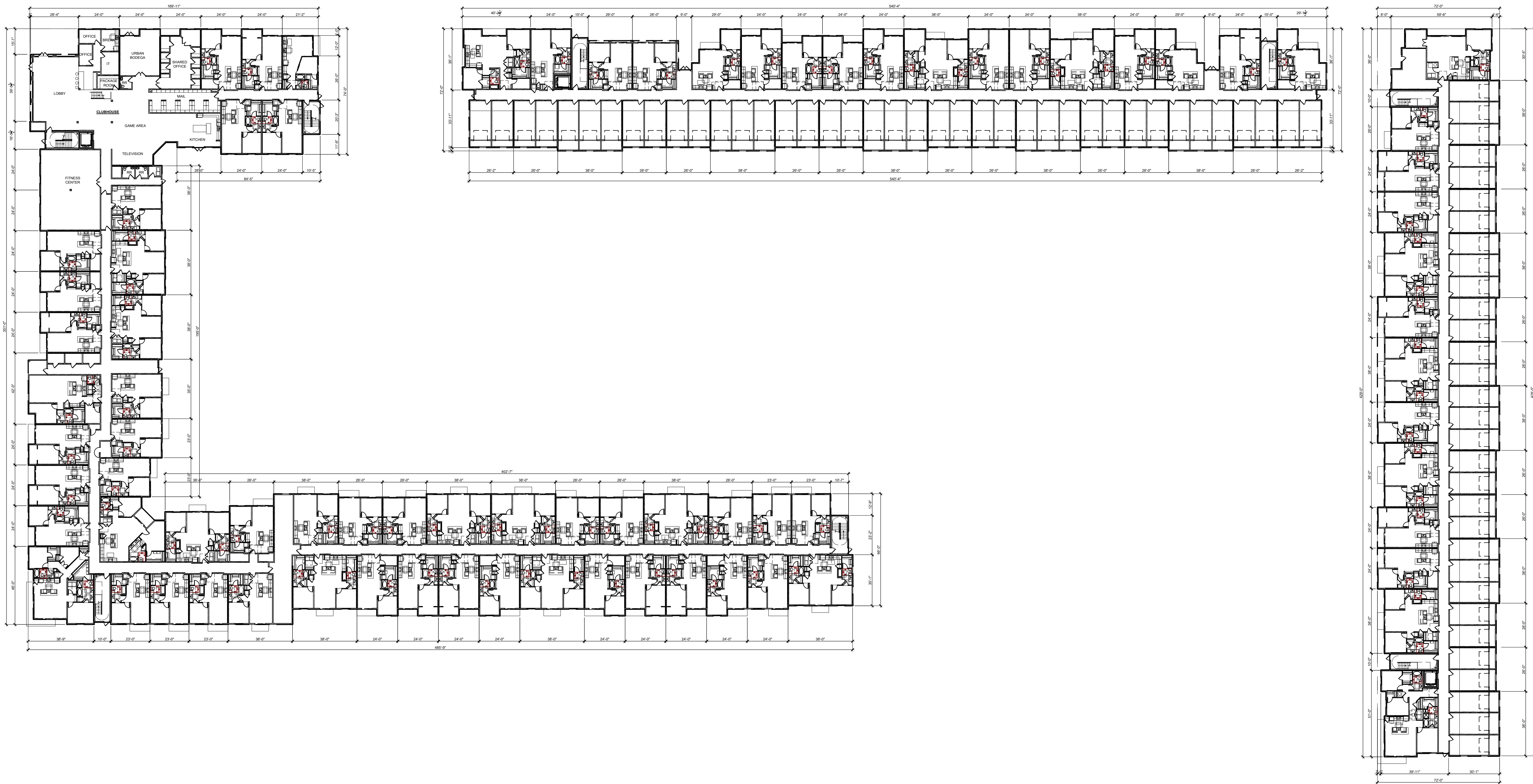
2141

Drawing

FIRST FLOOR PLAN

Sheet

A3.1.0



1 FIRST FLOOR PLAN
1/32" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION

NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

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04/13/2022		PAD/PDP RESUBMITTAL

Drawn

JF

Checked

JF

Job Number

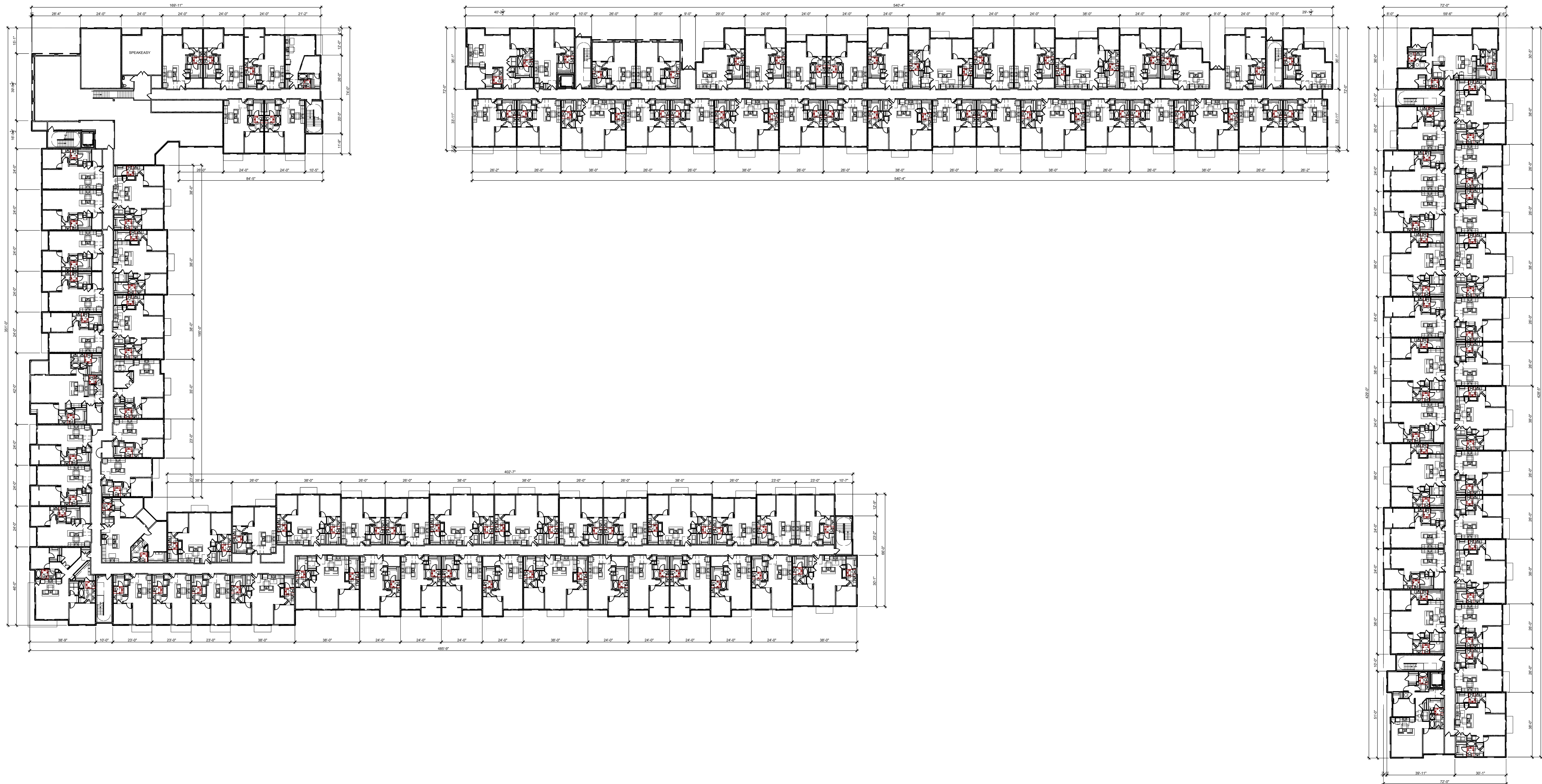
2141

Drawing

SECOND FLOOR PLAN

Sheet

A3.2.0



1 SECOND FLOOR PLAN
1/32" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

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03/11/2022		PAD/PDP RESUBMITTAL
04/13/2022		PAD/PDP RESUBMITTAL

Drawn

JF

Checked

JF

Job Number

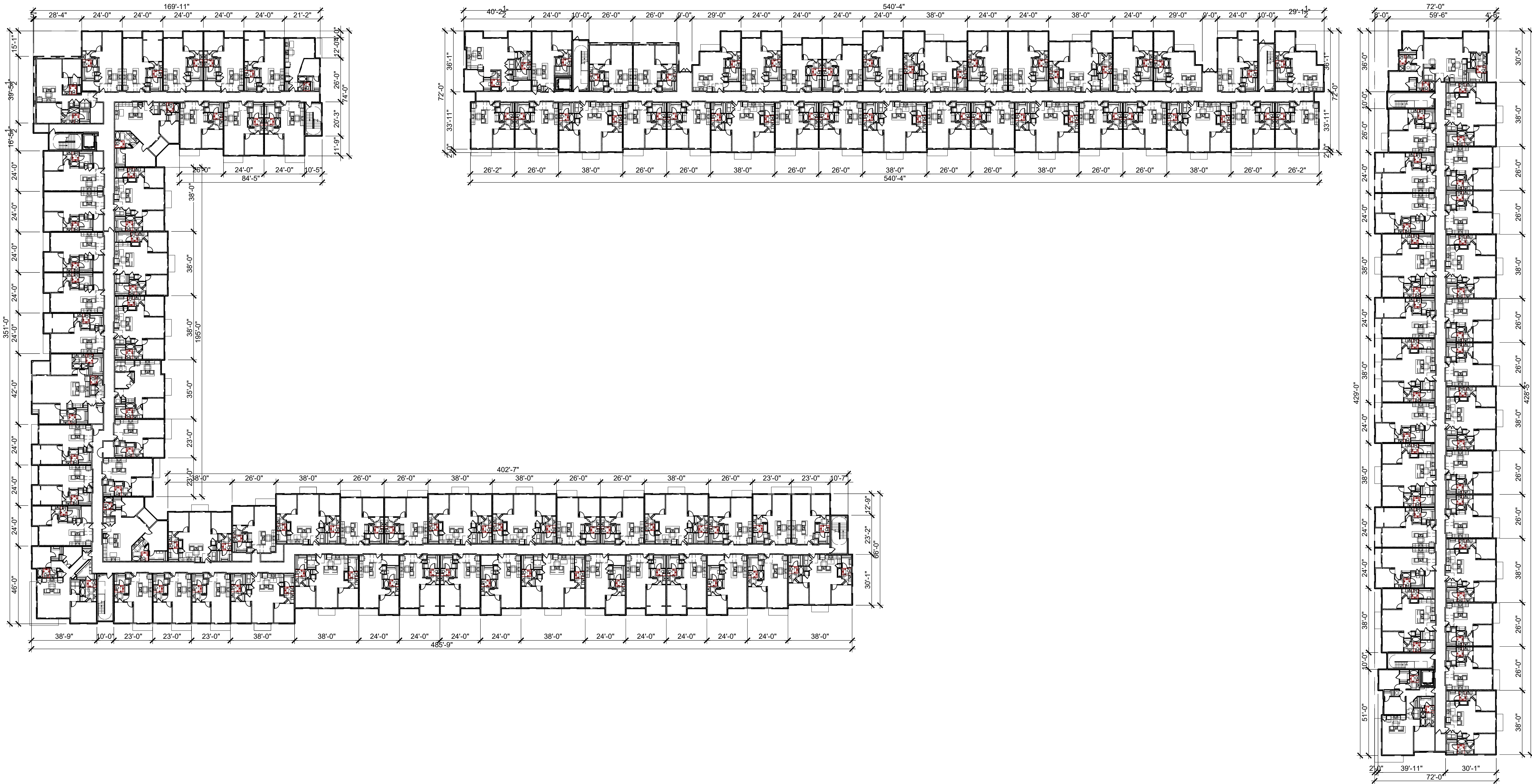
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Drawing

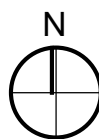
THIRD FLOOR PLAN

Sheet

A3.3.0



1 THIRD FLOOR PLAN
1/32" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION

NEW APARTMENT BUILDING
ALTA UPTOWN
WOOD PARTNERS
2001 NORTH ARIZONA AVE.
CHANDLER, AZ 85225

ISSUE		
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04/13/2022		PAD/PDP RESUBMITTAL

Drawn
JF

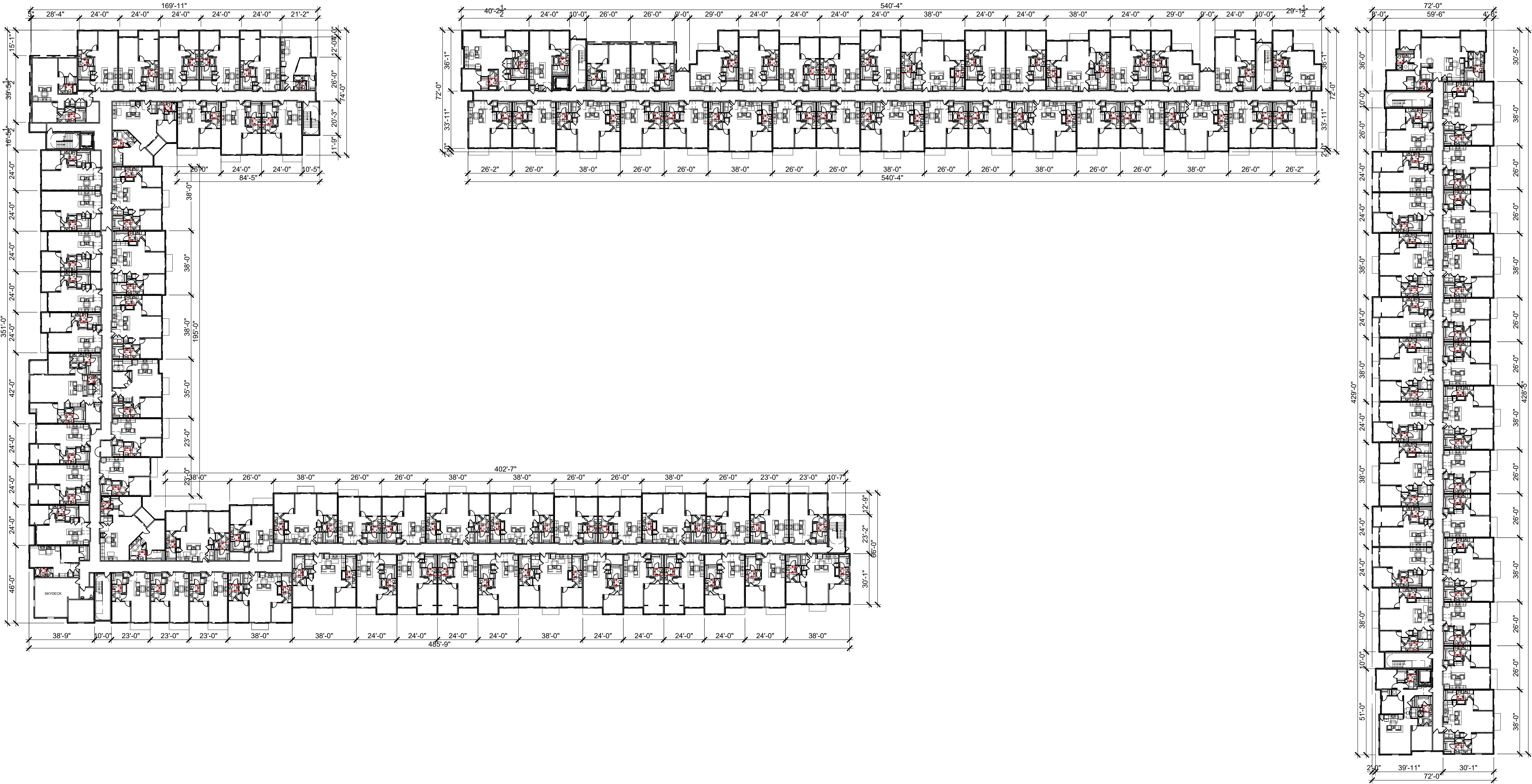
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JF

Job Number
2141

Drawing
FOURTH FLOOR
PLAN

Sheet

A3.4.0



1 FOURTH FLOOR PLAN
1/32" = 1'-0"

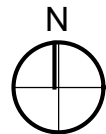


EXHIBIT 9



1. MCNEAR -SANDMOLD SERIES - CUMBERLAND

2. MCNEAR -SANDMOLD SERIES - EMBARCADERO

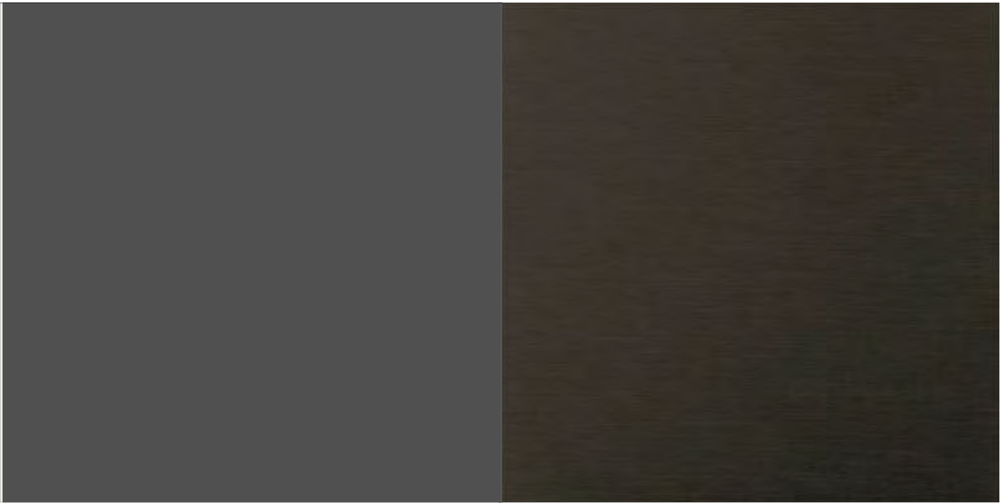
3. SW 7009 PEARLY WHITE



4. SW 7015 REPOSE GRAY

5. SW 7520 PLANTATION SHUTTERS

6. SW 6251 OUTERSPACE



7. SW 7674 PEPPERCORN

8. & 9. DARK BRONZE

MATERIAL/COLOR KEY

1	- BRICK - MCNEAR SANDMOLD SERIES - CUMBERLAND
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3	- HORIZONTAL TRIM / HEAD / SILL - SW 7009 PEARLY WHITE
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CCBG Architects, Inc.

102 E Buchanan Street
Phoenix, AZ 85004
(602) 258-2211
www.ccbgarchitects.com

ALTA Uptown
CHANDLER, ARIZONA
Materials/Colors
Design Review Submittal
WOOD PARTNERS
March 10, 2022



EXHIBIT 10



SYMBOL	DESCRIPTION
	LOW SITE WALL
	GLASS POOL BARRIER
	RETAINING WALL
	8' THEME WALL
	SCREEN WALL
	UNIT PATIO WALL
	6' SECONDARY THEME WALL
	FULL VIEW FENCE
	EXISTING WALL
	VEHICULAR GATE

OUTDOOR FITNESS SPACE

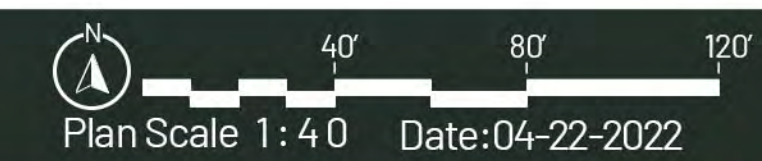
PASSIVE TURF

DOG PARK



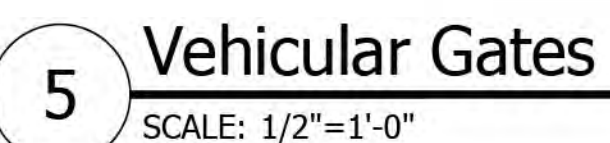
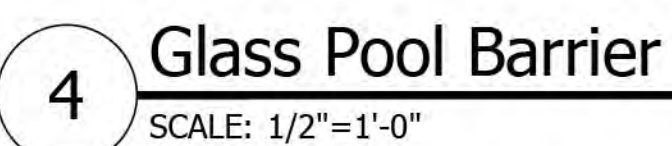
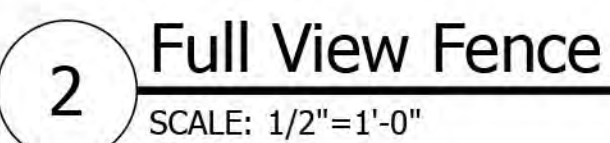
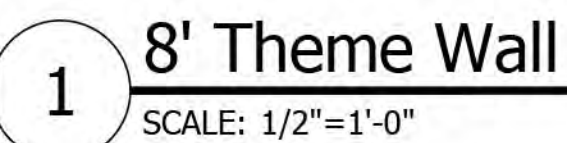
ALTA UPTOWN

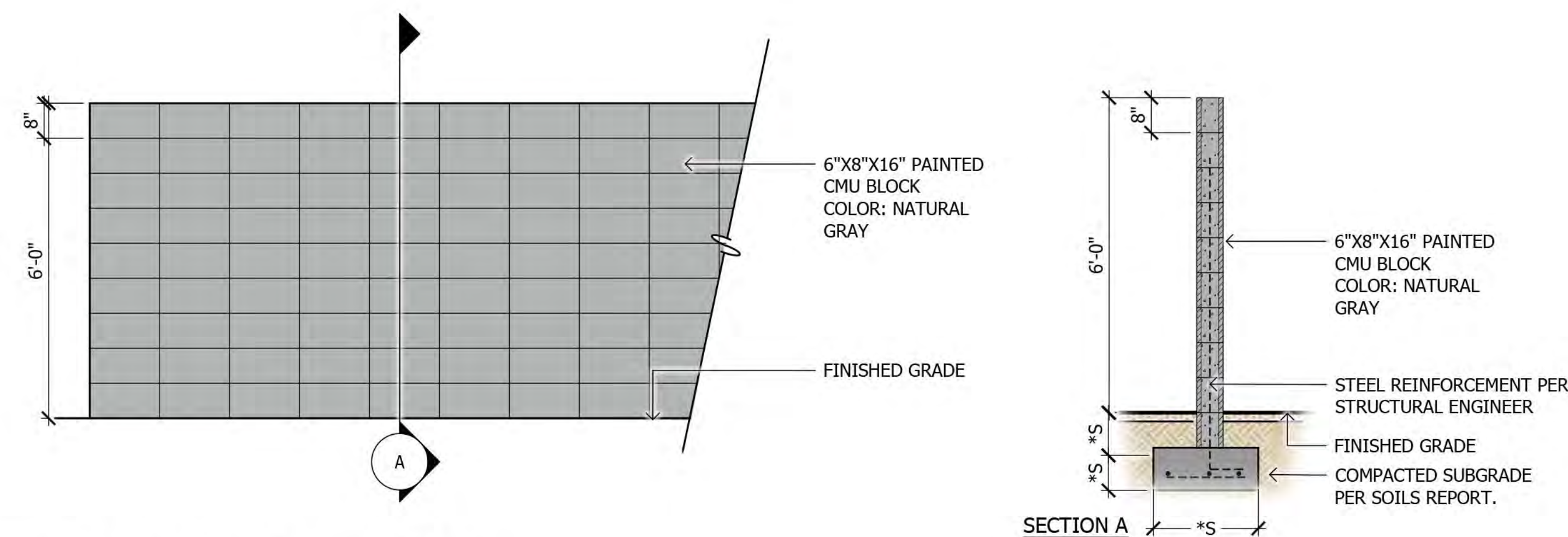
Conceptual Wall Plan



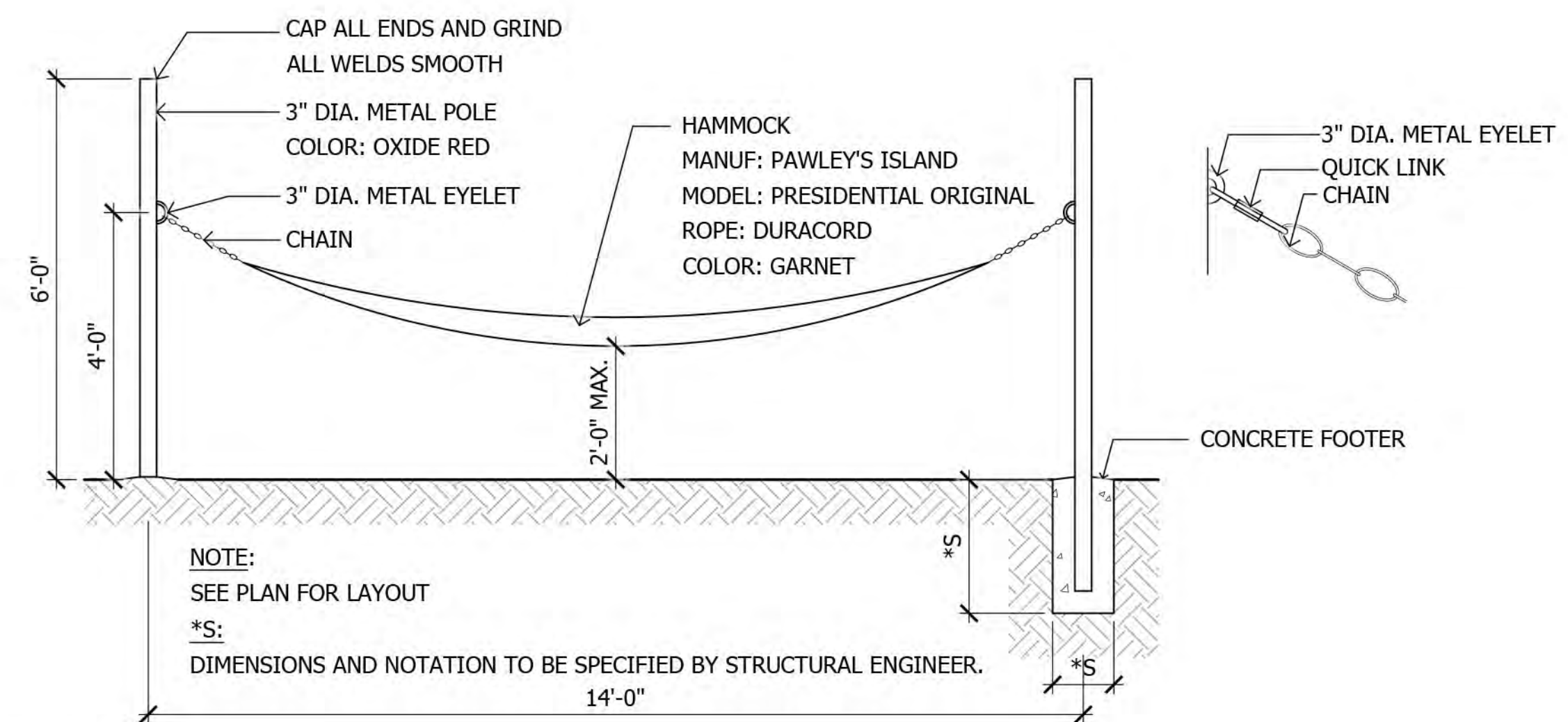
ABLASTUDIO.COM







1 6' Secondary Theme Wall
SCALE: 1/2"=1'-0"



2 Hammock
SCALE: 1/2"=1'-0"



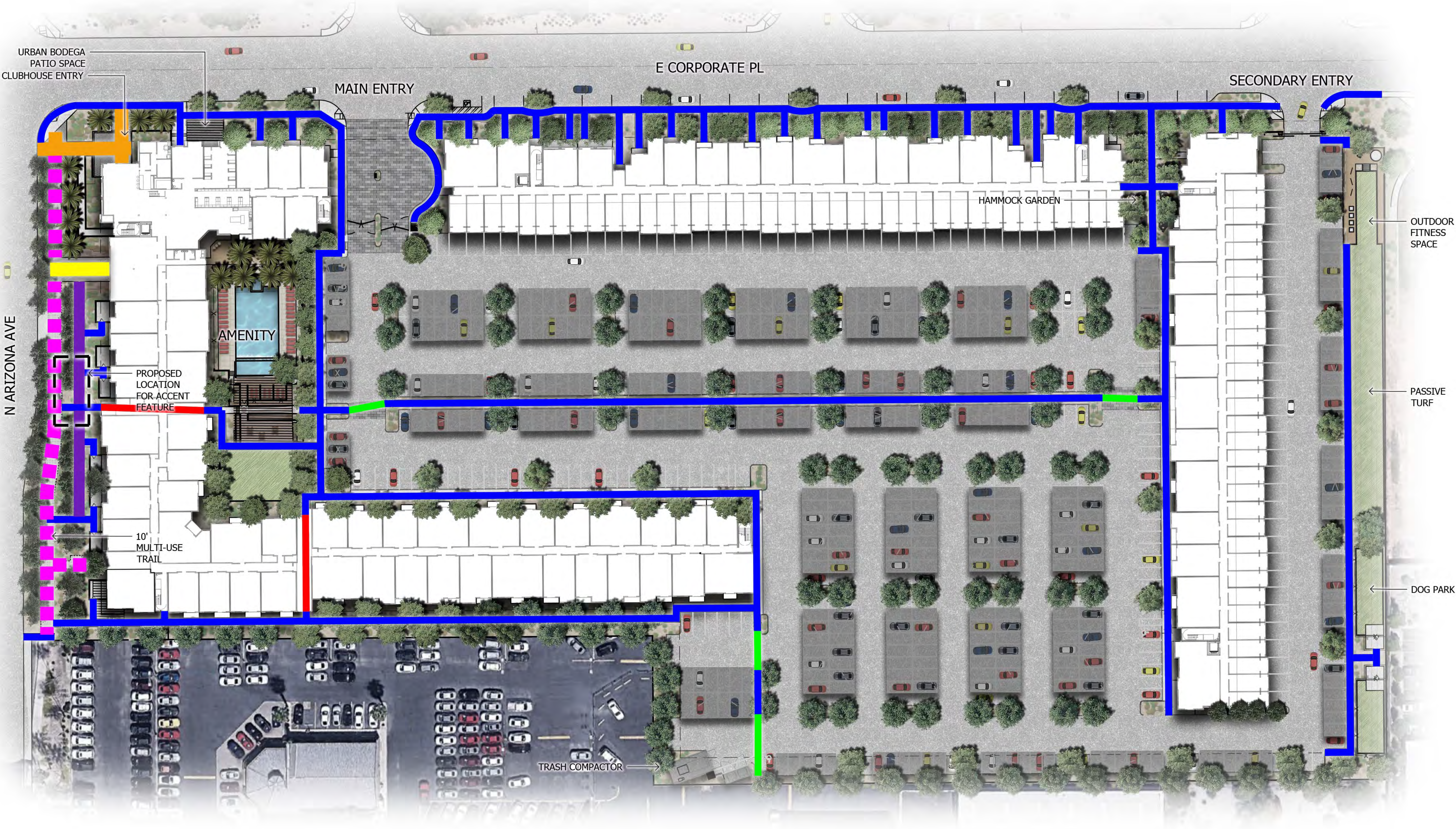
DESIGN INTENT IMAGE

3 Concrete Stepping Blocks
SCALE: 1/2"=1'-0"

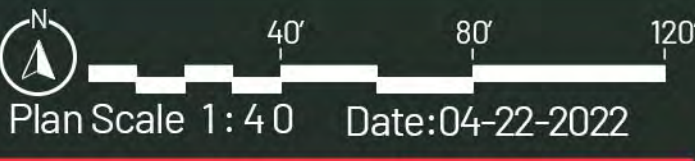
EXHIBIT 11

CIRCULATION PLAN LEGEND

- 10' SCORED CONCRETE MULTI-USE TRAIL
- CONCRETE SIDEWALK
- PAVER CROSS-WALKS
- PEDESTRIAN ACCESS THROUGH BUILDING
- LINEAR PAVER WALKWAY
- HERRINGBONE PAVER WALKWAY
- 3x3 SCORED CONCRETE WALKWAY



ALTA UPTOWN
Conceptual Circulation Plan



ABLASTUDIO.COM



EXHIBIT 12

ALTA UPTOWN
PRELIMINARY GRADING, DRAINAGE, WATER & SEWER PLAN
CHANDLER, ARIZONA

A PORTION OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 5 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

EXISTING/PARENT PARCEL DESISCRPTIONS

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA,
STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE FOLLOWING PROPERTIES:

PARCEL NO. 1:

THE NORTH 356.33 FEET OF THE SOUTH 2022.00 FEET OF THE EAST 1022 FEET OF THE
WEST 1055.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1
SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA;

EXPECT THAT PROPERTY CONVEYED IN QUITCLAIM DEED RECORDED IN RECORDING
NO. 85-319670 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 15;

THENCE NORTH 89 DEGREES 45 MINUTES 58 SECONDS EAST ALONG THE EAST-WEST
MIDSECTION LINE, A DISTANCE OF 33.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH PARALLEL TO AND 33.00 FEET EAST OF THE WEST SECTION LINE OF
SAID SECTION 15, A DISTANCE OF 1699.08 FEET;

THENCE NORTH 89 DEGREE 37 MINUTES 20 SECONDS EAST, A DISTANCE OF 22.00 FEET;

THENCE NORTH, A DISTANCE OF 1699.02 FEET;

THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS WEST, A DISTANCE OF 22.00
FEET ALONG THE EAST-WEST MIDSECTION LINE TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 2:

THE NORTH 160.67 FEET OF THE SOUTH 1665.67 FEET OF THE EAST 1022 FEET OF THE
WEST 1055.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1
SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA;

EXCEPT THAT PROPERTY CONVEYED IN QUITCLAIM DEED RECORDED IN RECORDING
NO. 85-319670 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 15;

THENCE NORTH 89 DEGREES 45 MINUTES 58 SECONDS EAST ALONG THE EAST-WEST
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SAID SECTION 15, A DISTANCE OF 1699.08 FEET;

THENCE NORTH 89 DEGREE 37 MINUTES 20 SECONDS EAST, A DISTANCE OF 22.00 FEET;

THENCE NORTH, A DISTANCE OF 1699.02 FEET;

THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS WEST, A DISTANCE OF 22.00
FEET ALONG THE EAST-WEST MIDSECTION LINE TO THE TRUE POINT OF BEGINNING.

NOTE: EXACT LEGAL DESCRIPTION TO BE FURNISHED PRIOR TO CLOSE OF ESCROW.

LEGEND

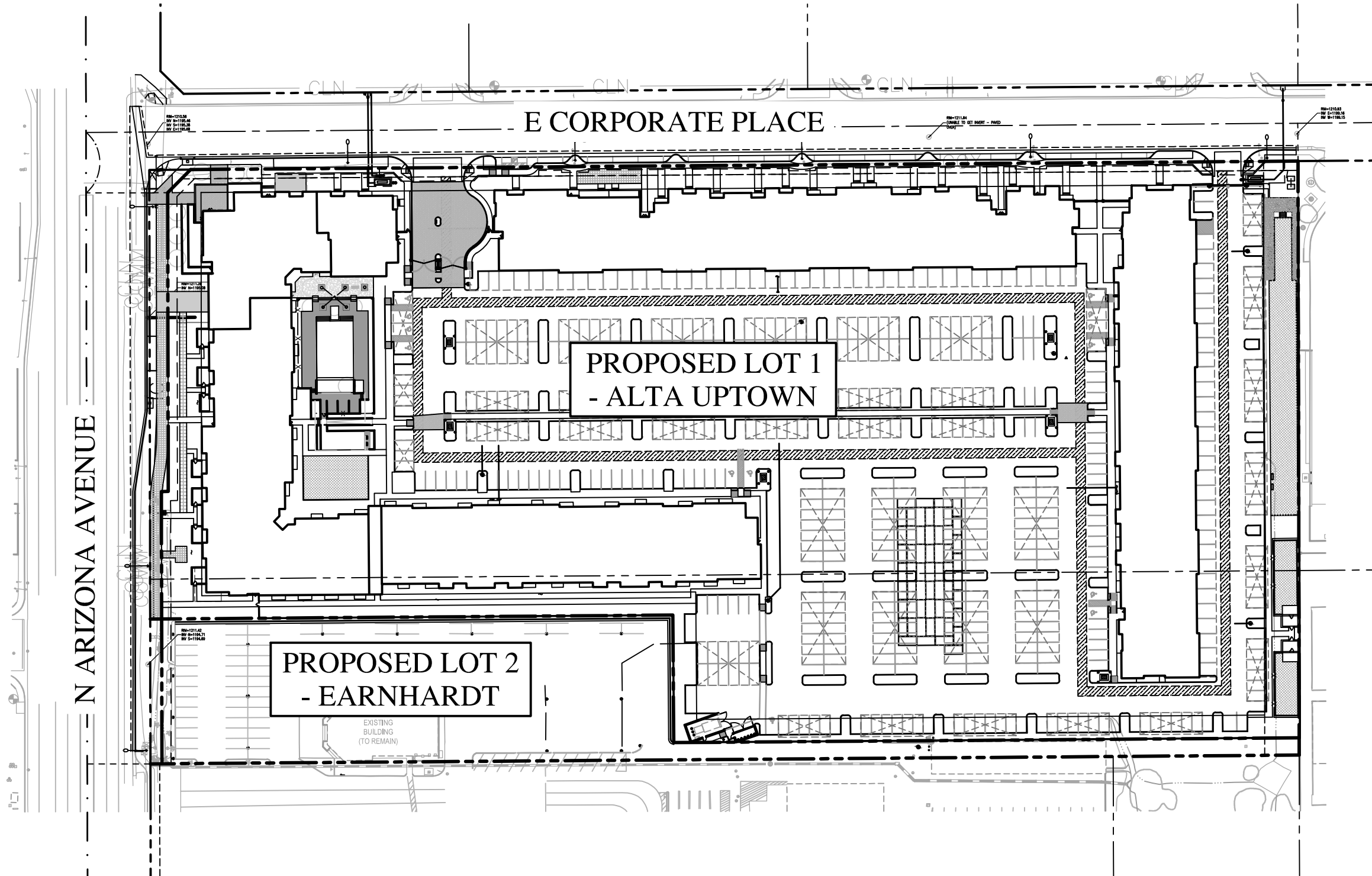
PLEASE REFER TO SHEET 2 FOR LEGEND AND LIST OF ABBREVIATIONS.

DRAINAGE STATEMENT

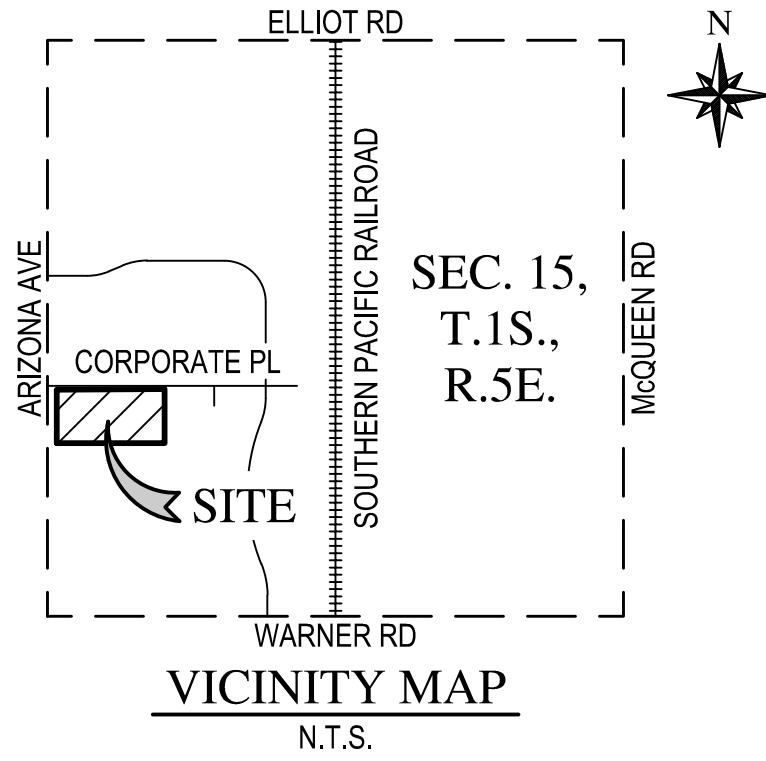
PLEASE REFER TO SHEET 2 FOR DRAINAGE STATEMENT.

RETENTION CALCULATIONS

PLEASE REFER TO SHEET 2 FOR RETENTION CALCULATIONS.



KEY MAP
N.T.S.



SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	NOTES & LEGEND
SHEET 3	PRELIMINARY GRADING & DRAINAGE PLAN
SHEET 4	PRELIMINARY WATER & SEWER PLAN

SURVEY NOTE

TOPOGRAPHIC SURVEY, BOUNDARY AND EASEMENT INFORMATION
USED FOR THIS PROJECT IS FROM THE ALTA/NSPS LAND TITLE SURVEY
FOR EARNHARDT SITE - WOOD PARTNERS PREPARED BY EPS GROUP,
DATED SEPTEMBER 22, 2021.

BENCHMARK

CITY OF CHANDLER BENCHMARK NO. 22, DESCRIBED AS A "3" CITY OF
CHANDLER BRASS CAP IN CONCRETE, FLUSH, BETWEEN ELLIOT RD AND
WARNER RD; 450' WEST OF ARIZONA AVE AT POINT OF TANGENCY OF
PALOMINO DR, STRAIGHT NORTH OF BLDG 8".
ELEVATION: 1209.44' (NAVD'88)

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID BEARING BEING NORTH 0
DEGREES 06 MINUTES 52 SECONDS WEST, AS MEASURED AND
RECORDED IN BOOK 669, PAGE 47 OF MARICOPA COUNTY RECORDS.

PROJECT DESCRIPTION

THIS PROJECT IS A PROPOSED MULTI-FAMILY DEVELOPMENT WITHIN
CHANDLER AT THE SOUTHEAST CORNER OF EAST CORPORATE PLACE &
NORTH ARIZONA AVE. THE PROJECT WILL CONSIST OF THREE (3)
4-STORY BUILDINGS WITH 431 UNITS, TUCK UNDER GARAGES,
COVERED AND UNCOVERED PARKING, LANDSCAPE, HARDSCAPE AND
UTILITY IMPROVEMENTS.

OWNER / DEVELOPER

WOOD PARTNERS
8777 EAST VIA DE VENTURA, SUITE 201
SCOTTSDALE, ARIZONA 85258
CONTACT: CLAY RICHARDSON
PHONE: (480) 567-0520
EMAIL: CLAY.RICHARDSON@WOODPARTNERS.COM

ENGINEER

WOOD, PATEL & ASSOCIATES, INC.
2051 WEST NORTHERN AVENUE, SUITE 100
PHOENIX, ARIZONA 85021
CONTACT: DEREK C. NICHOLS, P.E.
PHONE: (602) 335-8500
EMAIL: DNICHOLS@WOODPATEL.COM

ARCHITECT

CCBG ARCHITECTS, INC.
102 EAST BUCHANAN STREET
PHOENIX, ARIZONA 85004
CONTACT: JOE FITZPATRICK
PHONE: (602) 258-2211
EMAIL: JFITZPATRICK@CCBGARCHITECTS.COM

PROJECT SITE DATA

ASSESSOR PARCEL NUMBER(S):
302-29-009H, 302-29-009J
PROJECT SITE ADDRESS:
THIS PROJECT IS LOCATED ON THE SOUTHEAST
CORNER OF NORTH ARIZONA AVENUE AND
EAST CORPORATE PLACE, CHANDLER, ARIZONA
85225
PROJECT SITE AREA(S)/(PROPOSED LOT 1):
GROSS AREA =11.66 AC
NET AREA (AFTER R/W DEDICATION) =10.23 AC
EXISTING ZONING:
C-3
PROPOSED ZONING:
PAD

PUBLIC UTILITIES

WATER	CITY OF CHANDLER
SEWER	CITY OF CHANDLER
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURYLINK
NATURAL GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS



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ALTA UPTOWN
PRELIMINARY GRADING, DRAINAGE,
WATER & SEWER PLAN
CHANDLER, ARIZONA
COVER SHEET

REV	DATE	DESCRIPTION



SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 05/19/2022
JOB NUMBER 215292
SHEET

1 OF 4

WHEN ON 11X17 SCALE: 1" = 80'

CHECKED BY: DCN DESIGNED BY: TM DRAFTED BY: JRS

DRAINAGE STATEMENT

1. THE PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
2. THE EXISTING SITE RECEIVES OFFSITE FLOW FROM THE ADJACENT HALF-STREETS OF EAST CORPORATE PLACE & NORTH ARIZONA AVENUE.
3. THE PROJECT IS PROVIDED RETENTION FOR ALL ONSITE AREAS AS WELL AS THE ADJACENT HALF-STREETS OF EAST CORPORATE PLACE & NORTH ARIZONA AVENUE.
4. RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT PLUS 10% ADDITIONAL VOLUME.
5. EXTREME STORM OUTFALLS THE SITE AT THE SOUTHEAST CORNER OF THE SITE INTO AN EXISTING RETENTION BASIN WITHIN AN EXISTING DRAINAGE EASEMENT.

RETENTION CALCULATIONS

$V_R = C \times (P/12) \times A \times 1.1$

DESIGN STORM: 100-YEAR, 2-HOUR + 10% ADDITIONAL

RAINFALL DEPTH, P: 2.20 INCHES

$V_F (\text{BASIN}) = 0.5 \times (\text{TOP CONTOUR AREA} + \text{BOTTOM CONTOUR AREA}) \times (\text{TOP CONTOUR ELEVATION} - \text{BOTTOM CONTOUR ELEVATION})$

$V_F (\text{PIPE}) = \pi \times (\text{DIAMETER}/2)^2 \times (\text{LENGTH})$

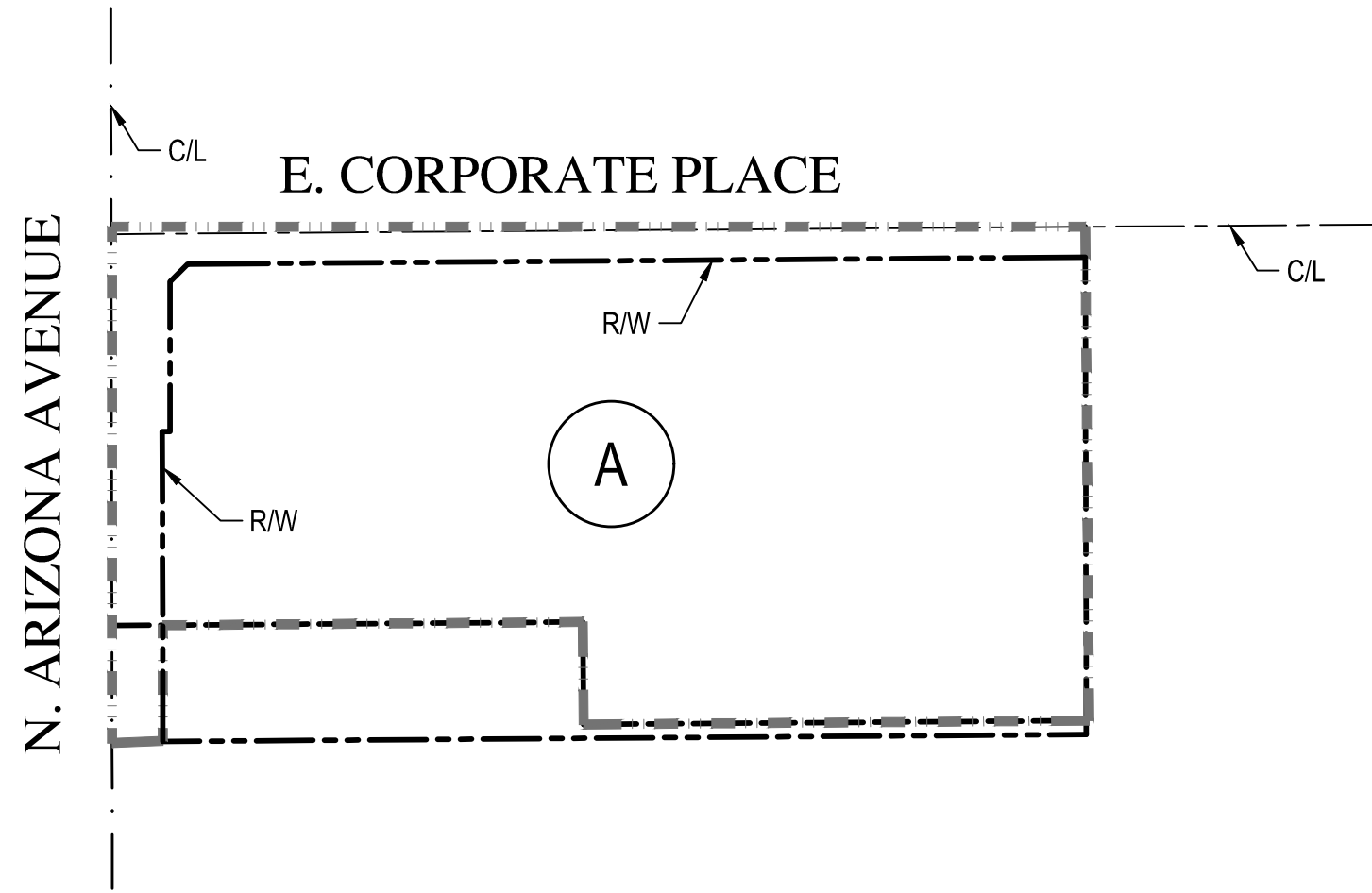
REQUIRED RETENTION VOLUME

BASIN ID	CONTRIBUTING DRAINAGE AREA, A (SF)	WEIGHTED RUNOFF COEFFICIENT, C*	RETENTION VOLUME REQUIRED, V _R (CF)
A	515,953	0.90	93,645

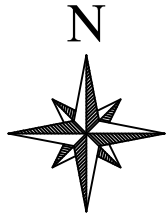
*WEIGHTED COEFFICIENTS DETERMINED USING C=0.95 FOR ROOFS, CONCRETE AND PAVEMENT AND 0.50 FOR LANDSCAPE.

PROVIDED RETENTION VOLUME

BASIN ID	TOP CONTOUR AREA (SF)	BOTTOM CONTOUR AREA (SF)	TOP CONTOUR ELEVATION	BOTTOM CONTOUR ELEVATION	RETENTION VOLUME PROVIDED, V _F (CF)	RETENTION VOLUME REQUIRED, V _R (CF)
A1	STORMCAPTURE CONCRETE CHAMBER SYSTEM: 57 CHAMBERS (8'W x 16'L x 14'D) 4 CORNER CHAMBERS @ 1,530 CF EA 18 PERIMETER CHAMBERS @ 1,550 CF EA 18 INSIDE CHAMBERS @ 1,590 CF EA 17 LINK SLAB CHAMBERS @ 1,860 CF EA				94,260	93,645



PRELIMINARY DRAINAGE MAP
N.T.S.

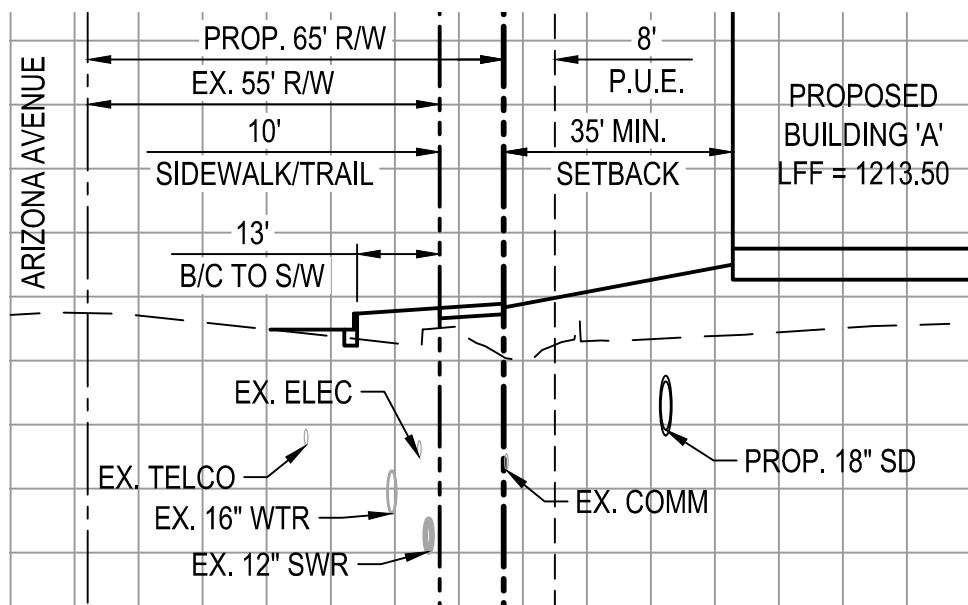


FEMA FIRM NOTE (ZONE X)

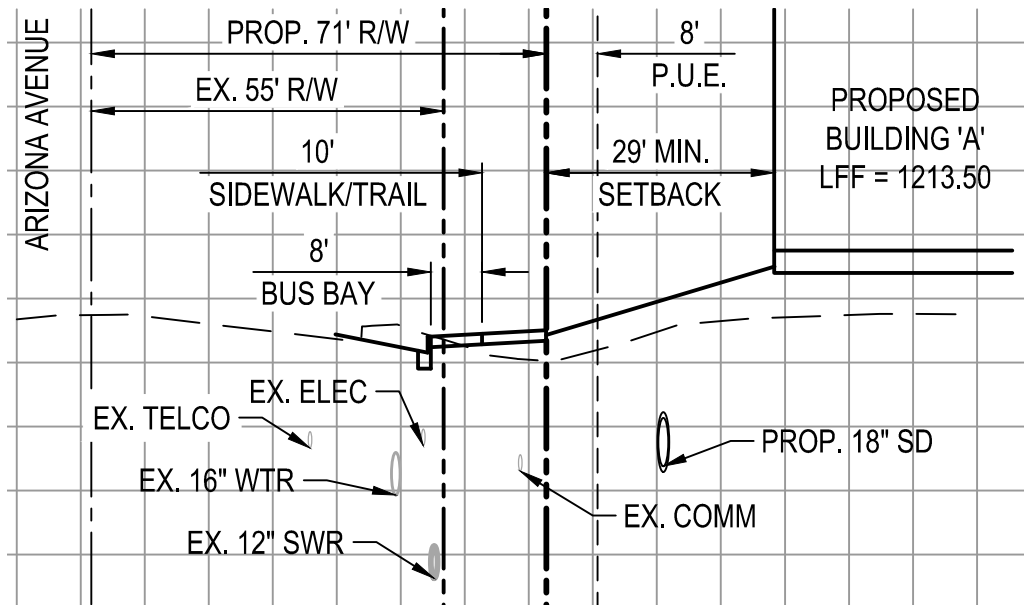
ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN 'OTHER FLOOD AREAS' 'ZONE X' (ZONE X SHADED). ZONE X SHADED IS DESCRIBED AS: 'AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.'

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

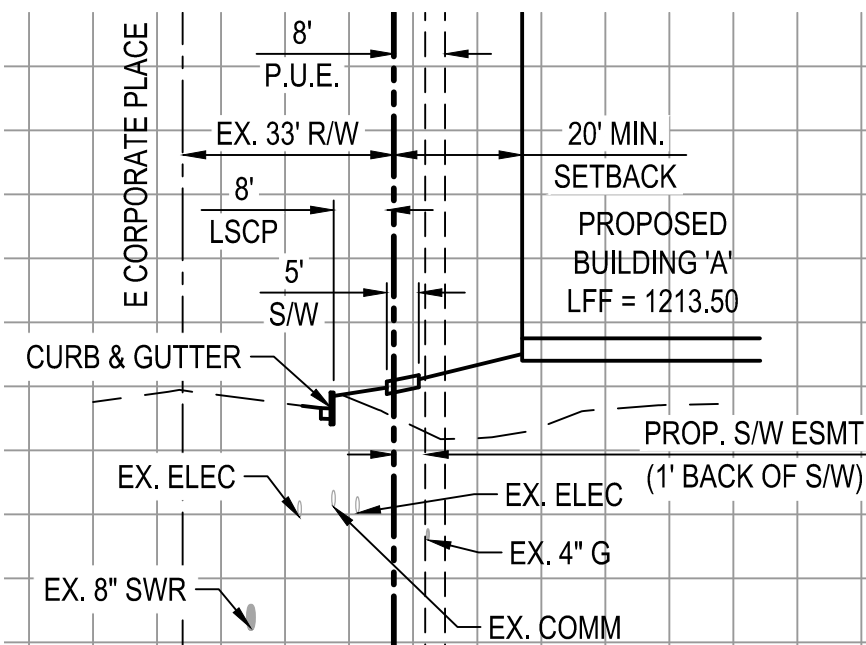
MAP NUMBER	COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	040037	2729	M	11/04/2015	X	N/A



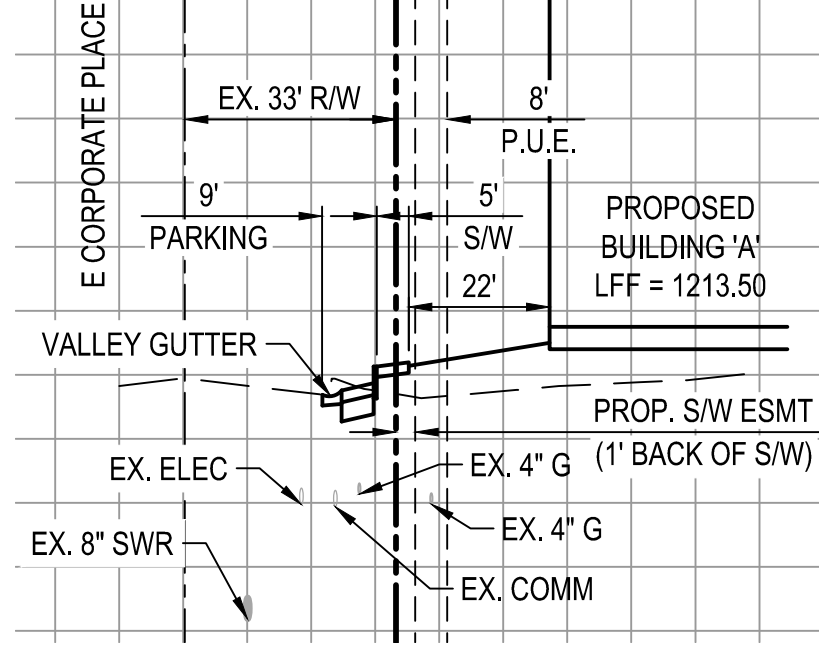
SECTION A
NTS



SECTION B
NTS



SECTION C
NTS



SECTION D
NTS

LEGEND	
EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING
SECTION LINE	MAJOR CONTOUR
RIGHT OF WAY	MINOR CONTOUR
PROPERTY LINE	SPOT ELEVATIONS
ROAD CENTERLINE	STORM DRAIN PIPE
EASEMENT	STORM DRAIN CATCH BASIN
SURVEY MARKER	SLOPE ARROW
UG ELECTRIC (BURIED CABLE)	GRADE BREAK/RIDGE
UG ELECTRIC (CONDUIT)	RIP RAP
UG ELECTRIC (DUCT BANK)	WALL ELEVATION
OHE	ROOF DRAIN/DRAIN ARROW
OHT	OVERHEAD TELEPHONE
UG TELEPHONE	DRYWELL
CABLE TELEVISION	SITE ULTIMATE OUTFALL LOCATION & ELEVATION
OHTV	WALL
T (DUCT BANK)	CONCRETE SIDEWALK
BARBED WIRE FENCE	CONCRETE PAVEMENT
CHAIN LINK FENCE	LIGHT DUTY ASPHALT PAVEMENT
WOOD FENCE	HEAVY DUTY ASPHALT PAVEMENT
BLOCK WALL	STREET/PARKING LIGHT
GAS LINE	
SEWER LINE	
STORM DRAIN PIPE	
IRRIGATION LINE	
WATER LINE	
CURB	
SIDEWALK	
MAJOR CONTOUR	
MINOR CONTOUR	
VEGETATION	
BUILDING	
SEWER MANHOLE	
STORM DRAIN MANHOLE	
TELEPHONE MANHOLE	
SPOT ELEVATION	
SIGN	
JUNCTION BOX/RISER	
FIRE HYDRANT	
WATER VALVE	
STREET/PARKING LIGHT	
UTILITY POLE	
CATCH BASIN	

ABBREVIATIONS			
A.L.	AREA LIGHT	G.M.	GAS METER
ARV	AIR RELEASE VALVE	G.S.	GAS SERVICE
BB	BOTTOM OF BANK	G.T.	GREASE TRAP
BC	BACK OF CURB	G.V.	GAS VALVE
BF	BOTTOM OF FOOTING ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE
B.P.	BARRIER POST	HWE	HIGH WATER ELEVATION
BSL	BUILDING SETBACK LINE	INV	INVERT ELEVATION
BW	BOTTOM OF WALL ELEVATION	I.V.	IRRIGATION VALVE
C	CONCRETE ELEVATION	I.V.B.	IRRIGATION VALVE BOX
C.B.	CATCH BASIN	L.E.	LANDSCAPE EASEMENT
CF	CUBIC FEET	LF	LINEAR FEET
C.J.B.	CABLE TV JUNCTION BOX	LFF	LOWEST FINISHED FLOOR ELEVATION
CL	CENTER LINE	M.U.E.	MULTI-USE EASEMENT
C.O.	CLEAN OUT	NG	NATURAL GROUND ELEVATION
CO	CURB OPENING	P	PAVEMENT ELEVATION
C.T.R.	CABLE TV RISER	PAD	FINISHED PAD ELEVATION
DE	DRAINAGE EASEMENT	P.A.E.	PRIVATE ACCESS EASEMENT
DG	DECOMPOSED GRANITE	P.L.	PARKING LIGHT
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE
D.W.	DRYWELL	P.M.	PARKING METER
EE	ELECTRICAL EASEMENT	P.P.	POWER POLE
E.M.	ELECTRICAL METER	PUE	PUBLIC UTILITY EASEMENT
E.O.	ELECTRICAL OUTLET	R.D.	ROOF DRAIN
E.S.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT	RIM	RIM ELEVATION
FF	FINISHED FLOOR	R/W	RIGHT-OF-WAY
FG	FINISHED GROUND	S	SLOPE
FH	FIRE HYDRANT	SD	STORM DRAIN
FT/FT	FOOT PER FOOT	S.D.E.	STORM DRAIN EASEMENT
FL	FLOW LINE ELEVATION	SDMH	STORM DRAIN MANHOLE
G	GUTTER ELEVATION	SE	SEWER EASEMENT
GB	GRADE BREAK		
		S.J.B.	STREET LIGHT JUNCTION BOX
		S.L.	STREET LIGHT
		S.L.E.	SLOPE EASEMENT
		S.L.M.	STREET LIGHT MAST ARM
		SMH	SEWER MANHOLE
		SS	SEWER SERVICE
		STA	STATION
		S.V.E.	SIGHT VISIBILITY EASEMENT
		S.V.T.	SIGHT VISIBILITY TRIANGLE
		S.W.E.	SIDEWALK EASEMENT
		TB	TOP OF BANK
		TC	TOP OF CURB
		TF	TOP OF FOOTING ELEVATION
		T.J.B.	TELEPHONE JUNCTION BOX
		TRW	TOP OF RETAINING WALL ELEVATION
		TW	TOP OF WALL ELEVATION
		U.E.	UTILITY EASEMENT
		UG	UNDERGROUND
		U.P.	UTILITY POLE
		VCP	VITRIFIED CLAY PIPE
		VG	VALLEY GUTTER
		V _P	VOLUME PROVIDED
		V _R	VOLUME REQUIRED
		W.B.O.	WATER BLOW OFF
		WE	WATER EASEMENT
		W.F.	WATER FAUCET
		WO	WALL OPENING
		W.S.	WATER SERVICE
		WSE	WATER SURFACE ELEVATION
		W&S.E.	WATER & SEWER EASEMENT



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ALTA UPTOWN
PRELIMINARY GRADING, DRAINAGE,
WATER & SEWER PLAN
CHANDLER, ARIZONA
NOTES & LEGEND

DATE				
DESCRIPTION				
REV				

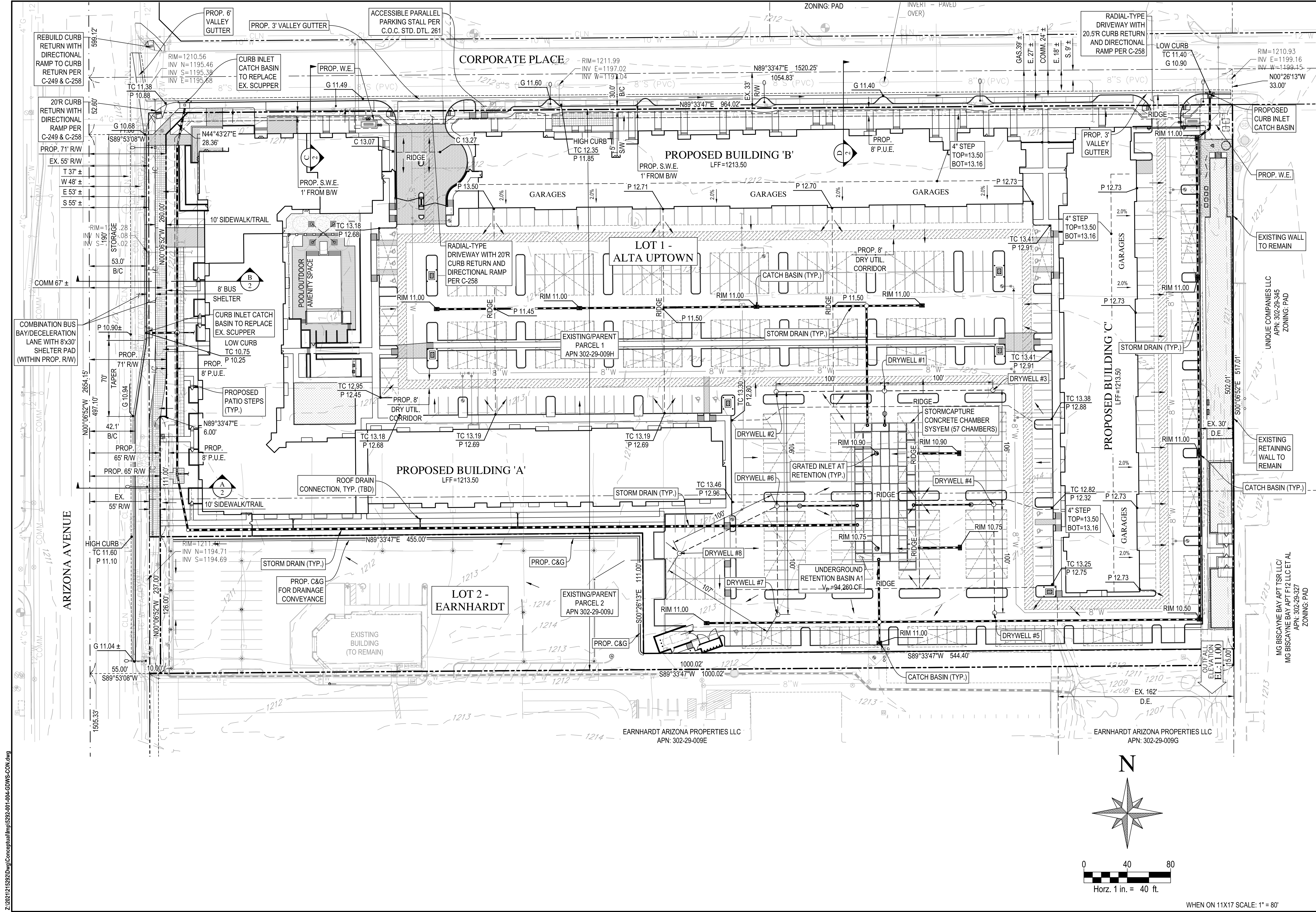


SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 05/19/2022
JOB NUMBER 215292
SHEET

2 OF 4

WHEN ON 11X17 SCALE: 1" = 80'

CHECKED BY: DCN DESIGNED BY: TM DRAFTED BY: JRS



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ARIZONA

Call at least two full working days before you begin excavation.
Dial 811 or 1-800-4-A-STATE (1-800-427-7283)
In Maricopa County, (602) 963-1100

ALTA UPTOWN

PRELIMINARY GRADING, DRAINAGE,
WATER & SEWER PLAN

CHANDLER, ARIZONA

PRELIMINARY GRADING & DRAINAGE PLAN

REV	DESCRIPTION	DATE

61601
DEREK C.
NICHOLS
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 03-31-25

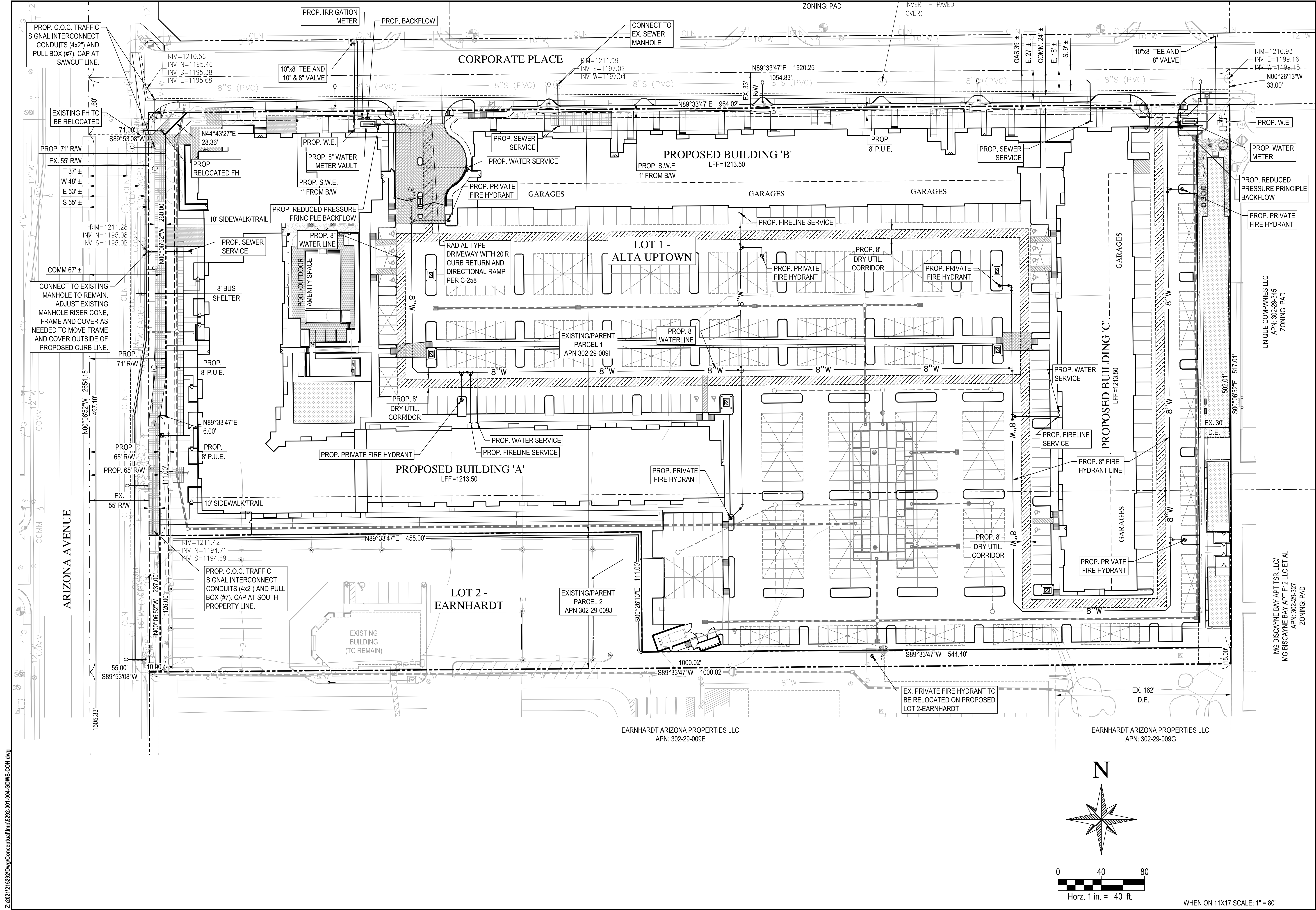
SCALE (HORIZ.) 1" = 40'
SCALE (VERT.) N/A
DATE 05/19/2022
JOB NUMBER 215292
SHEET 3 OF 4

WHEN ON 11X17 SCALE: 1" = 80'

CHECKED BY: DCN DESIGNED BY: TM DRAFTED BY: JRS

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you begin excavation.
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ALTA UPTOWN
PRELIMINARY GRADING, DRAINAGE,
WATER & SEWER PLAN
CHANDLER, ARIZONA
PRELIMINARY WATER & SEWER

REV	DESCRIPTION	DATE



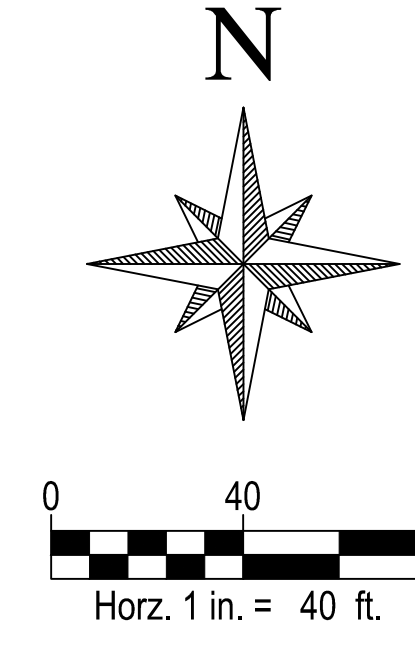
SCALE (HORIZ.) 1" = 40'
SCALE (VERT.) N/A
DATE 05/19/2022
JOB NUMBER 215292
SHEET 4 OF 4

UNIQUE COMPANIES LLC
APN: 302-29-345
ZONING: PAD

MG BISCAYNE BAY APT T&R LLC/
MG BISCAYNE BAY APT F12 LLC ET AL
APN: 302-29-327
ZONING: PAD

EARNHARDT ARIZONA PROPERTIES LLC
APN: 302-29-009E

EARNHARDT ARIZONA PROPERTIES LLC
APN: 302-29-009G



WHEN ON 11X17 SCALE: 1" = 80'

CHECKED BY: DCN DESIGNED BY: TM DRAFTED BY: JRS

EXHIBIT 13

Z:\2022\1215292Dwg\Pre_Plat\Plat5292-001-002-PP.dwg

EXISTING/PARENT PARCEL DESCRIPTIONS

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE FOLLOWING PROPERTIES:

PARCEL NO. 1:

THE NORTH 356.33 FEET OF THE SOUTH 2022.00 FEET OF THE EAST 1022 FEET OF THE WEST 1055.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXPECT THAT PROPERTY CONVEYED IN QUITCLAIM DEED RECORDED IN RECORDING NO. 85-319670 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 15;

THENCE NORTH 89 DEGREES 45 MINUTES 58 SECONDS EAST ALONG THE EAST-WEST MIDSECTION LINE, A DISTANCE OF 33.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH PARALLEL TO AND 33.00 FEET EAST OF THE WEST SECTION LINE OF SAID SECTION 15, A DISTANCE OF 1699.08 FEET;

THENCE NORTH 89 DEGREE 37 MINUTES 20 SECONDS EAST, A DISTANCE OF 22.00 FEET;

THENCE NORTH, A DISTANCE OF 1699.02 FEET;

THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS WEST, A DISTANCE OF 22.00 FEET ALONG THE EAST-WEST MIDSECTION LINE TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 2:
THE NORTH 160.67 FEET OF THE SOUTH 1665.67 FEET OF THE EAST 1022 FEET OF THE WEST 1055.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PROPERTY CONVEYED IN QUITCLAIM DEED RECORDED IN RECORDING NO. 85-319670 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 15;

THENCE NORTH 89 DEGREES 45 MINUTES 58 SECONDS EAST ALONG THE EAST-WEST MIDSECTION LINE, A DISTANCE OF 33.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH PARALLEL TO AND 33.00 FEET EAST OF THE WEST SECTION LINE OF SAID SECTION 15, A DISTANCE OF 1699.08 FEET;

THENCE NORTH 89 DEGREE 37 MINUTES 20 SECONDS EAST, A DISTANCE OF 22.00 FEET;

THENCE NORTH, A DISTANCE OF 1699.02 FEET;

THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS WEST, A DISTANCE OF 22.00 FEET ALONG THE EAST-WEST MIDSECTION LINE TO THE TRUE POINT OF BEGINNING.

NOTE: EXACT LEGAL DESCRIPTION TO BE FURNISHED PRIOR TO CLOSE OF ESCROW.

ALTA UPTOWN				
LAND USE SUMMARY TABLE				
EXISTING ZONING	C-3			
LOT 1 PROPOSED ZONING	PAD			
LOT 2 PROPOSED ZONING	C-3			
TOTAL NUMBER OF LOTS	2			
TOTAL GROSS AREA	580,247	SQ.FT.	13.32	AC
TOTAL NET AREA (BEFORE R/W DEDICATION)	517,008	SQ.FT.	11.87	AC
TOTAL NET AREA (AFTER R/W DEDICATION)	505,822	SQ.FT.	11.61	AC
TOTAL ADDITIONAL R/W DEDICATION	11,186	SQ.FT.	0.26	AC
LOT 1 GROSS AREA	507,778	SQ.FT.	11.66	AC
LOT 1 NET AREA (BEFORE R/W DEDICATION)	451,469	SQ.FT.	10.36	AC
LOT 1 NET AREA (AFTER R/W DEDICATION)	442,551	SQ.FT.	10.16	AC
LOT 1 ADDITIONAL R/W DEDICATION	8,918	SQ.FT.	0.20	AC
LOT 2 GROSS AREA	72,469	SQ.FT.	1.66	AC
LOT 2 NET AREA (BEFORE R/W DEDICATION)	65,539	SQ.FT.	1.50	AC
LOT 2 NET AREA (AFTER R/W DEDICATION)	63,271	SQ.FT.	1.45	AC
LOT 2 ADDITIONAL R/W DEDICATION	2,268	SQ.FT.	0.05	AC

REQUIRED RETENTION VOLUME

BASIN ID	CONTRIBUTING DRAINAGE AREA, A (SF)	WEIGHTED RUNOFF COEFFICIENT, C*	RETENTION VOLUME REQUIRED, V _R (CF)
TOTAL	515,953	0.90	93,645

*WEIGHTED COEFFICIENTS DETERMINED USING C=0.90

FEMA FIRM NOTE (ZONE X)

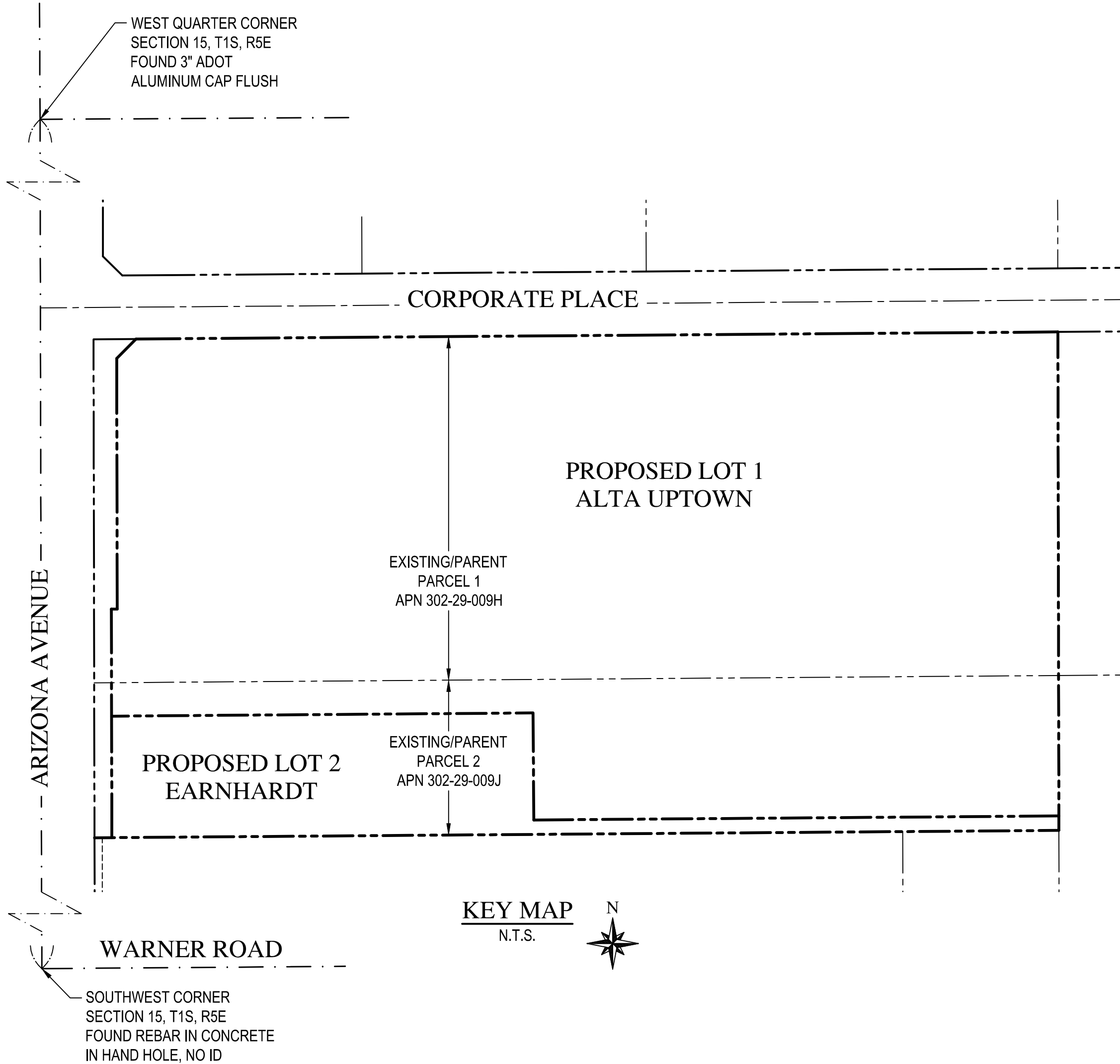
ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN "OTHER FLOOD AREAS" "ZONE X" (ZONE X SHADED). ZONE X SHADED IS DESCRIBED AS: "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

MAP NUMBER	COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	040037	2729	M	11/04/2015	X	N/A

PRELIMINARY PLAT
FOR
"ALTA UPTOWN"
CHANDLER, ARIZONA

A PORTION OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 5 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



SHEET INDEX

SHEET 1 COVER SHEET
SHEET 2 PRELIMINARY PLAT

SURVEY NOTE

TOPOGRAPHIC SURVEY, BOUNDARY AND EASEMENT INFORMATION USED FOR THIS PROJECT IS FROM THE ALTA/NSPS LAND TITLE SURVEY FOR EARNHARDT SITE - WOOD PARTNERS PREPARED BY EPS GROUP, DATED SEPTEMBER 22, 2021.

BENCHMARK

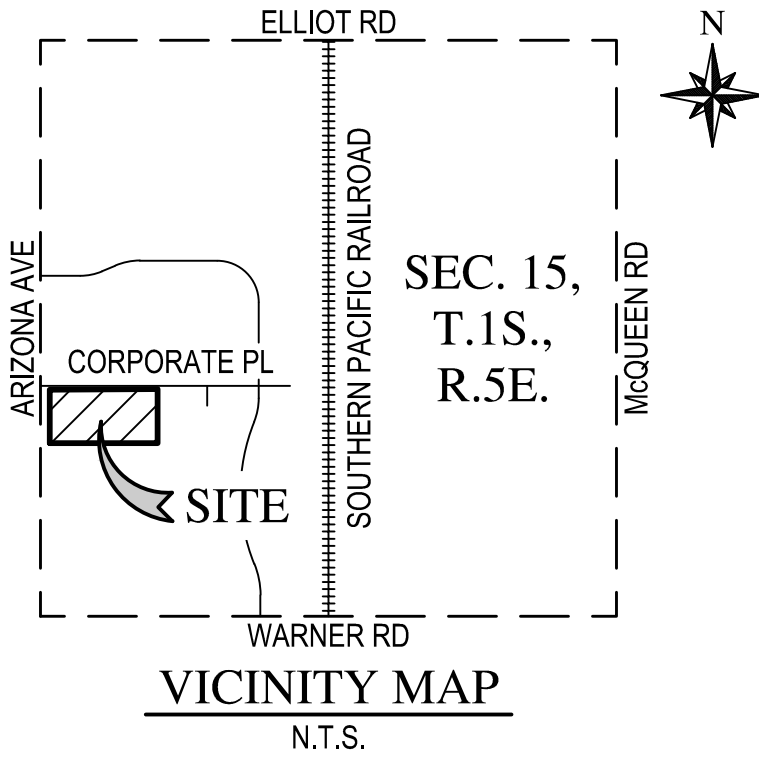
CITY OF CHANDLER BENCHMARK NO. 22, DESCRIBED AS A "3" CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, BETWEEN ELLIOT RD AND WARNER RD; 450' WEST OF ARIZONA AVE AT POINT OF TANGENCY OF PALOMINO DR, STRAIGHT NORTH OF BLDG 8".
ELEVATION: 1209.44' (NAVD'88)

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, SAID BEARING BEING NORTH 0 DEGREES 06 MINUTES 52 SECONDS WEST, AS MEASURED AND RECORDED IN BOOK 669, PAGE 47 OF MARICOPA COUNTY RECORDS.

PROJECT DESCRIPTION

THIS PROJECT IS A PROPOSED MULTI-FAMILY DEVELOPMENT WITHIN CHANDLER AT THE SOUTHEAST CORNER OF EAST CORPORATE PLACE & NORTH ARIZONA AVE. THE PROJECT WILL CONSIST OF THREE (3) 4-STORY BUILDINGS WITH 428 UNITS, TUCK UNDER GARAGES, COVERED AND UNCOVERED PARKING, LANDSCAPE, HARDSCAPE AND UTILITY IMPROVEMENTS.



OWNER / DEVELOPER

WOOD PARTNERS
8777 EAST VIA DE VENTURA, SUITE 201
SCOTTSDALE, ARIZONA 85258
CONTACT: CLAY RICHARDSON
PHONE: (480) 567-0520
EMAIL: CLAY.RICHARDSON@WOODPARTNERS.COM

ENGINEER

WOOD, PATEL & ASSOCIATES, INC.
2051 WEST NORTHERN AVENUE, SUITE 100
PHOENIX, ARIZONA 85021
CONTACT: DEREK C. NICHOLS, P.E.
PHONE: (602) 335-8500
EMAIL: DNICHOLS@WOODPATEL.COM

ARCHITECT

CCBG ARCHITECTS, INC.
102 EAST BUCHANAN STREET
PHOENIX, ARIZONA 85004
CONTACT: JOE FITZPATRICK
PHONE: (602) 258-2211
EMAIL: JFITZPATRICK@CCBGARCHITECTS.COM

PROJECT SITE DATA

ASSESSOR PARCEL NUMBER(S):
302-29-009H, 302-29-009J
PROJECT SITE ADDRESS:
THIS PROJECT IS LOCATED ON THE
SOUTHEAST CORNER OF NORTH ARIZONA
AVENUE AND EAST CORPORATE PLACE,
CHANDLER, ARIZONA 85225
EXISTING ZONING:
C-3
PROPOSED ZONING:
PAD

PUBLIC UTILITIES

WATER CITY OF CHANDLER
SEWER CITY OF CHANDLER
ELECTRIC SALT RIVER PROJECT
TELEPHONE CENTURYLINK
NATURAL GAS SOUTHWEST GAS
CABLE TV COX COMMUNICATIONS

PHASING NOTE

A PROJECT PHASING PLAN, AS APPLICABLE, WILL BE PROVIDED DURING CONSTRUCTION DOCUMENT SUBMITTAL OF THE BUILDING PACKAGE FOR THE PROJECT.

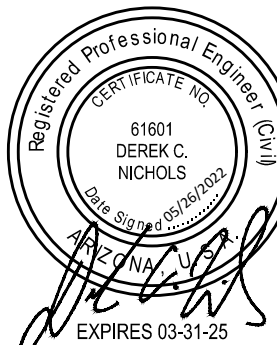


Wood, Patel & Associates, Inc.
Civil Engineering
Water Resources
Land Survey
Construction Management
602.335.8500
www.woodpatel.com



ALTA UPTOWN
PRELIMINARY PLAT
CHANDLER, ARIZONA
COVER SHEET

DATE					
DESCRIPTION					
REV					

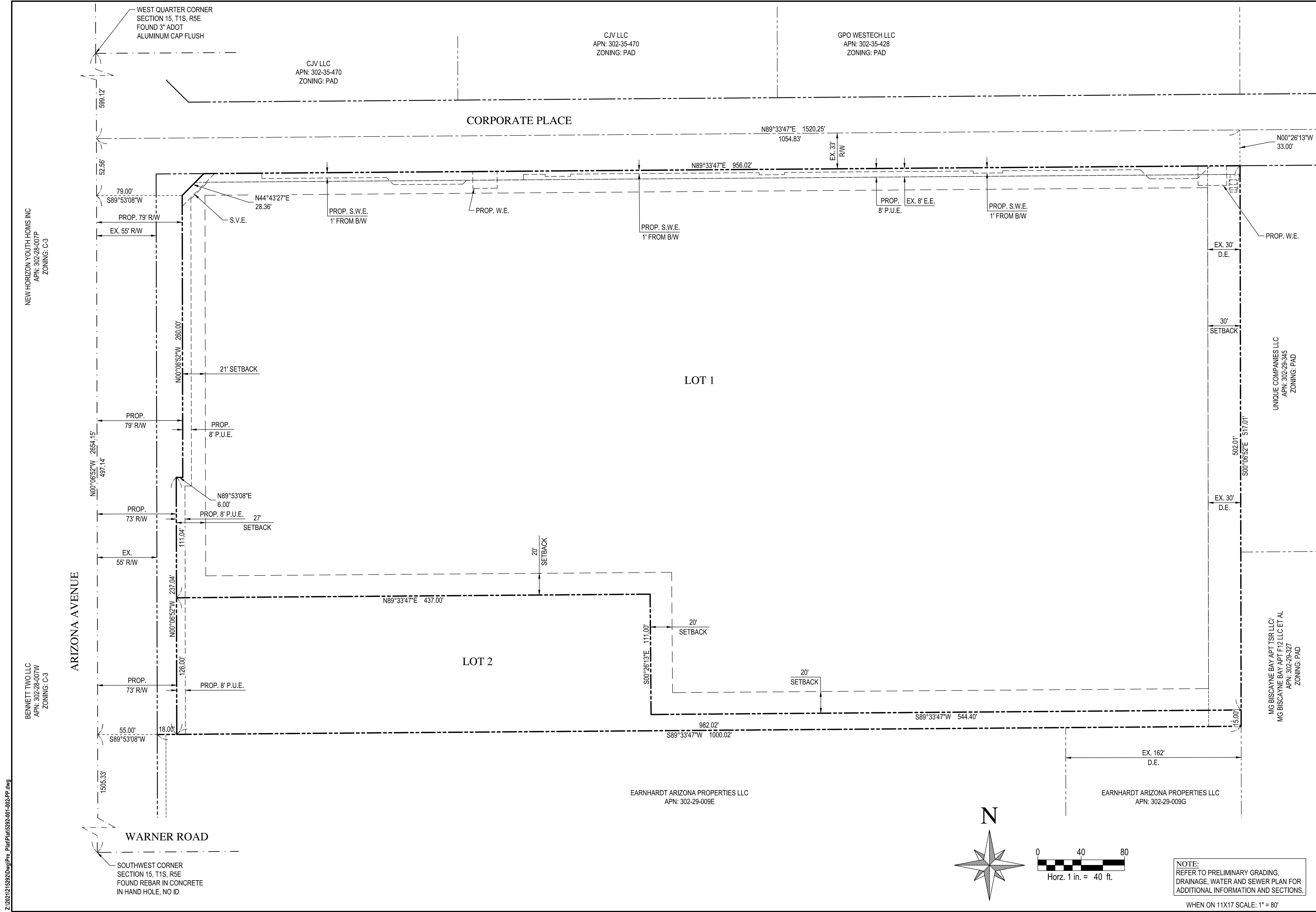


SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	05/26/2022
JOB NUMBER	215292
SHEET	
1	OF 2

WHEN ON 11X17 SCALE: 1" = 80'

CHECKED BY: DCN DESIGNED BY: DCN DRAFTED BY: JRS

C.O.C. LOG NO. PLT21-0063



Wood, Patel & Associates, Inc.
Civil Engineering
Water Resources
Land Survey
Construction Management
602.335.8500
www.woodpatel.com

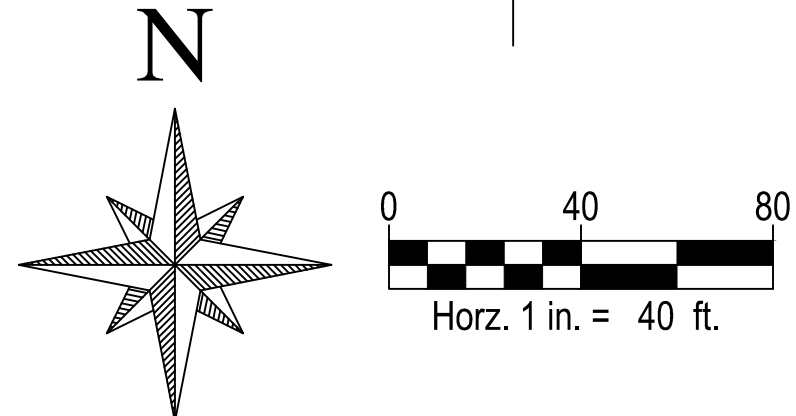


ALTA UPTOWN
PRELIMINARY PLAT
CHANDLER, ARIZONA
PRELIMINARY PLAT

REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1" = 40'
SCALE (VERT.) N/A
DATE 05/26/2022
JOB NUMBER 215292
SHEET 2 OF 2



NOTE:
REFER TO PRELIMINARY GRADING,
DRAINAGE, WATER AND SEWER PLAN FOR
ADDITIONAL INFORMATION AND SECTIONS.
WHEN ON 11X17 SCALE: 1" = 80'

Z:\2022\1215292\Drawings\Pre_Plat\Plat15292-001-002-PP.dwg

C.O.C. LOG NO. PLT21-0063

CHECKED BY: DCN DESIGNED BY: DCN DRAFTED BY: JRS



Planning & Zoning Commission Memorandum
Memo No. 22-021

Development Services

Date: June 1, 2022
To: Planning and Zoning Commission
Thru: Kevin Mayo, Planning Administrator
 David de la Torre, Planning Manager
From: Benjamin Cereceres, City Planner
Subject: PLH22-0016 Thomas Wellness Center
Request: Use Permit for the operation of an outpatient treatment center
Location: 7030 W. Oakland Street, Suite 101, generally located 1/2 mile north of the northwest corner of Chandler Blvd. and 56th Street
Applicant: Tracey Thomas

Proposed Motion:

Move Planning and Zoning Commission recommend approval of Use Permit PLH22-0016 Thomas Wellness Center for the operation of an outpatient treatment center, subject to the conditions as recommended by Planning staff.

Background Data:

- Subject site is zoned I-1 (Planned Industrial District)
- Proposed use may be considered in I-1 with a Use Permit

Surrounding Land Use Data:

North	I-1 (Planned Industrial District)	South	Oakland Street than I-1 (Planned Industrial District)
East	I-1 (Planned Industrial District)	West	I-1 (Planned Industrial District)

Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)

Sq.Ft.	13,300
Hours of Operation	8 am - 4 pm, Monday to Friday
Client Service Hours	10 am - 1 pm, In-person and via telephone, Monday to Friday
Parking Spaces	35 Parking Spaces (4 company vans for client pick-up)
Total number of employees and clients	Approximately 15 employees and 60 clients (1 staff member for every 4 clients)
Maximum number of occupants expected in the tenant space at one time	Approximately 25 - 35 total; 10 - 15 employees and 15 - 20 clients
Signage	Wall signage on suite 101

Review and Recommendation:

Thomas Wellness Center has been in operation since September 2021 at another location in Phoenix with expansion of service to Chandler. Thomas Wellness Center is an outpatient treatment center that offers group therapy as well as one-on-one therapy teaching daily life skills and addiction coping mechanisms with an emphasis on managing sobriety. All clients are picked up and driven home by staff using company vans. There are no walk-in customers. On-site parking is adequate for staff and company vans and no client drives to the business. For these reasons, traffic generated from the business is expected to be minimal.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood notice was posted on social media via NextDoor.
- No neighborhood meeting was held since no residents live within the notification radius.
- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

Recommended Conditions of Approval

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Use Permit, subject to the following conditions:

1. Substantial expansion or modification beyond the approved exhibits (Site Plan, Floor Plan and Narrative) shall void the Use Permit and require new Use Permit application and approval.

2. The Use Permit is non-transferable to any other location.
3. The site shall be maintained in a clean and orderly manner.
4. Window signage shall be limited to business name and/or logo, address, phone number, and days and hours of operation.
5. The Use Permit shall remain in effect for three (3) years from the date of City Council approval. Continuation of the Use Permit beyond the expiration date shall require re-application to and approval by the City of Chandler.

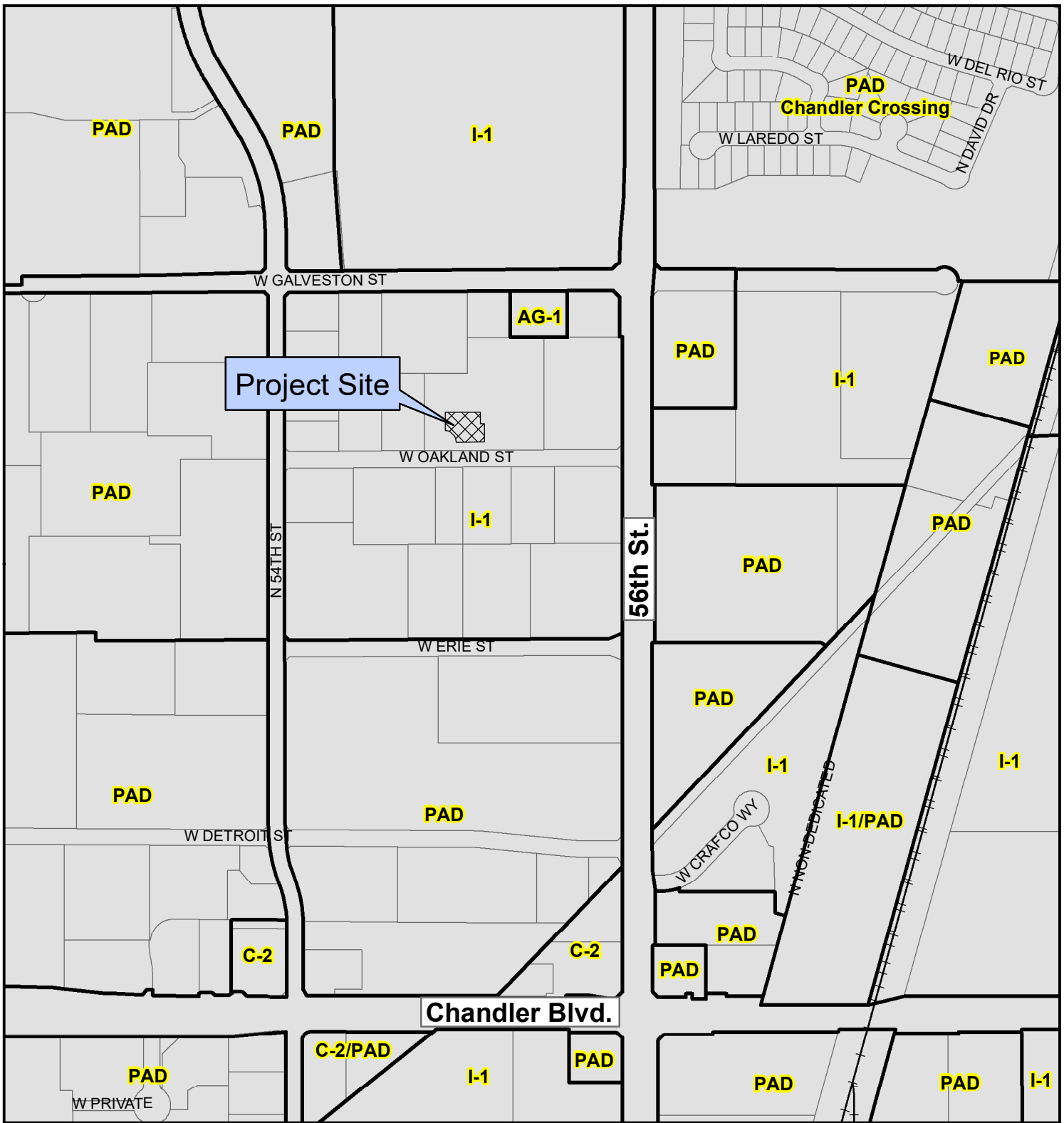
Attachments

Vicinity Maps

Narrative

Site Plan & Floor Plan

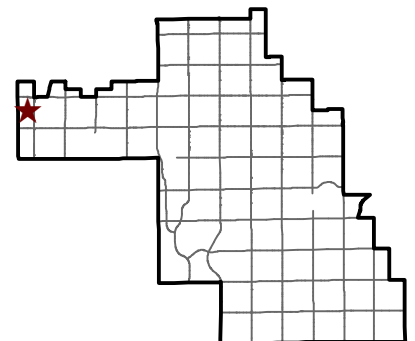
Site Photos



PLH22-0016 Thomas Wellness Center



Project Details
 7030 W. Oakland St, Suite 101
 Use Permit to allow for sobriety
 outpatient therapy treatment center





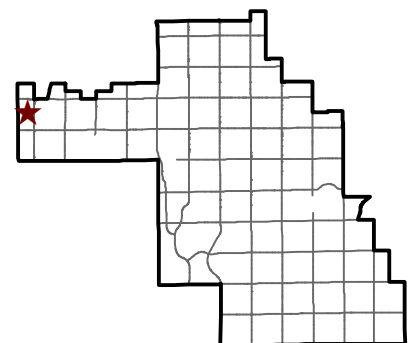
PLH22-0016 Thomas Wellness Center



Project Details
 7030 W. Oakland St, Suite 101
 Use Permit to allow for sobriety
 outpatient therapy treatment center



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



Thomas Wellness Center is a new Outpatient Treatment Center (OTC) located at 7030 West Oakland Street Chandler AZ, 85226 Suite 101. Their business partners have been in operation since September 2021 at another facility named New Life Wellness Center located at 3725 E. Roeser Rd. Suite 15, Phoenix, AZ 85040.

The OTC program offers group therapy sessions as well as one on one therapy. The program teaches daily life skills and addiction coping mechanisms with an emphasis on managing sobriety.

All clients are picked up and driven home by staff using company vans. There are no walk-in customers. On-site parking is adequate for staff and company vans and no clients drive to the business. Traffic generated from the business is minimal with no known impact to the other surrounding businesses.

Surrounding Land Use Data:

North	Parking Lot, then W. Galveston Street	South	W Oakland St, then Business Park
East	Business Park	West	Business Park

Proposed Development:

Sq. Ft.	13,300 sq. ft. in Suite 101
Hours of Operation	8 am - 4 pm, Monday to Friday; Group held for clients 10 am - 1pm Monday to Friday
Parking	35 total spaces approved 4 company vans for client pick up
Number of employees and clients	Ratio of 1 staff member for every 4 clients Approximately 15 staff and 60 clients
Signage	Wall signage on Suite 101

LEGEND

- Property Corner (See Monument Table)
- Property Line
- End Survey Monument (See Monument Table)
- (See Monument Table)
- Schedule "B" Item
- 24 inch Vertical Curb & Gutter
- 6 inch Concrete Curb
- Indicates Driveway (means of access)
- Concrete Surface
- Fence
- Well
- Back Flow Preventer
- Catch Basin
- Drywell Or Catch Basin
- Electric Cabinet
- Electric Transformer
- Fire Indicator Post
- Fire Hydrant
- Flag Pole
- Gas Assembly
- Guard Post or Gate Post
- Disabled Space
- Key Post
- Light Pole
- Mail Box
- Manhole
- Metal Cover
- Sewer Clean Out
- Sewer Manhole
- Sprinkler Hook-Up (fire department)
- Telephone Riser
- TV Junction Box
- Water Meter
- Water Valve
- See Reference Documents
- Measured
- Public Utility Easement

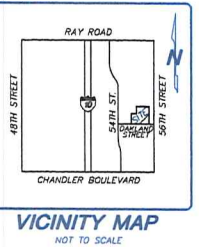
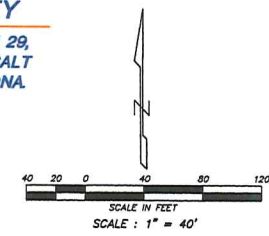
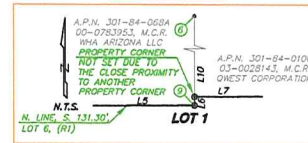
MONUMENT TABLE	
①	E. 1/4 COR. SEC. 29 - FND BRASS CAP FLUSH
②	FND BRASS CAP FLUSH L.S. 41076
③	FND BRASS CAP FLUSH
④	CALCD POSITION PER PREVIOUSLY FND BRASS CAP FLUSH PER (R3, R4, R5)
⑤	NW COR. LOT 6, (R1) - FND 1/2" REBAR W/CAP L.S. 31081
⑥	NE COR. LOT 6, (R1) - FND 1/2" REBAR W/TAG L.S. 19809
⑦	FND 1/2" REBAR W/CAP L.S. 42137 PER (R2)
⑧	FND 1/2" REBAR W/ALLEGIBLE CAP - SET TAG L.S. 31020
⑨	SET 1/2" REBAR W/CAP L.S. 31020
⑩	FND BENT 1/2" REBAR NO I.D. - REHABILITATED & SET CAP L.S. 31020

LINE	BEARING	DISTANCE
L1(R)	S 89°40'27" W	435.76'
L1(W)	S 89°40'27" W	435.15'
L2(R)	N 0°00'30" W	285.00'
L2(W)	N 0°00'44" W	285.12'
L3(R)	N 89°40'27" E	156.59'
L3(W)	N 89°40'27" E	156.55'
L4(R)	N 0°00'30" W	131.30'
L4(W)	N 0°00'31" W	131.30'
L5(R)	N 89°40'27" E	156.55'
L5(W)	N 89°40'27" E	156.55'
L6(R)	N 0°00'03" E	0.01'
L6(W)	N 0°00'01" E	0.01'
L7(R)	N 89°40'27" E	123.70'
L7(W)	N 89°40'06" E	122.67'
L8(R)	N 0°00'03" E	413.31'
L8(W)	S 0°00'30" E	413.40'
L9(R)	N 0°00'30" W	166.70'
L9(W)	N 0°00'31" W	166.99'
L10(R)	N 0°00'03" E	166.69'
L10(W)	N 0°00'11" E	166.74'
L11	S 0°00'10" E	30.00'
L12	S 0°00'44" E	30.00'

ALTA / N.S.P.S. LAND TITLE SURVEY

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

DETAIL



PARCEL DESCRIPTION

Lot 1, OAKLAND TECH II, according to Book 481 of Maps, Page 34, records of Maricopa County, Arizona.

SCHEDULE "B" ITEMS

- ① EASEMENTS, RESTRICTIONS, CONDITIONS, COVENANTS, AND RESERVATIONS, omitting, if any, from the above, any restrictions based on race, color, religion, sex, handicap, familial status or national origin, as shown on the plat: Recorded in Book 233 of Maps, Page 17. (PLOTTABLE MATTERS SHOWN HEREON)
- ② EASEMENTS, RESTRICTIONS, CONDITIONS, COVENANTS, AND RESERVATIONS, omitting, if any, from the above, any restrictions based on race, color, religion, sex, handicap, familial status or national origin, as shown on the plat: Recorded in Book 242 of Maps, Page 3. (PLOTTABLE MATTERS SHOWN HEREON)
- ③ EASEMENTS, RESTRICTIONS, CONDITIONS, COVENANTS, AND RESERVATIONS, including but not limited to any real estate easements, liabilities, obligations or party walls, omitting, if any, from the above, any restrictions based on race, color, religion, sex, handicap, familial status or national origin, as shown on the plat: Recorded in Document No. 1584-275292. (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- ④ EASEMENTS, RESTRICTIONS, CONDITIONS, COVENANTS, AND RESERVATIONS, omitting, if any, from the above, any restrictions based on race, color, religion, sex, handicap, familial status or national origin, as shown on the plat: Recorded in Book 481 of Maps, Page 34. (PLAT DOES NOT CREATE ANY PLOTTABLE EASEMENTS OVER THE SUBJECT PROPERTY)
- ⑤ EASEMENT and rights incident thereto, as set forth in instrument: Recorded in Document No. 1299-0165291. Purpose underground electrical conductors and appurtenant facilities (PLOTTABLE MATTERS SHOWN HEREON)
- ⑥ EASEMENT and rights incident thereto, as set forth in instrument: Recorded in Document No. 2001-0002001. Purpose underground electrical conductors and appurtenant facilities (PLOTTABLE MATTERS SHOWN HEREON)
- ⑦ EASEMENT and rights incident thereto, as set forth in instrument: Recorded in Document No. 2002-0846878. Purpose telecommunication facilities (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE - NO DEFINED EASEMENT AREA)

REFERENCE DOCUMENTS

- (R) PLAT PER BOOK 481, PAGE 34, M.C.R.
- (R1) PLAT PER BOOK 242, PAGE 3, M.C.R.
- (R2) R.O.S. PER BOOK 855, PAGE 40, M.C.R.
- (R3) R.O.S. PER BOOK 925, PAGE 13, M.C.R.
- (R4) R.O.S. PER BOOK 1112, PAGE 27, M.C.R.
- (R5) R.O.S. PER BOOK 1138, PAGE 49, M.C.R.
- (R6) R.O.S. PER BOOK 1362, PAGE 19, M.C.R.
- (R7) M.L.D. PER BOOK 548, PAGE 2, M.C.R.

CERTIFICATION

TO: UMB Bank; Jay Donkerloot; 7030 Tech Center, LLC, a Delaware limited liability company; Landmark Title Assurance Agency of Arizona LLC; and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/N.S.P.S. Land Title Surveys, jointly established and adopted by ALTA and N.S.P.S., and includes Items 1, 2, 4, 7(a), 7(b)(1), 7(c), 8, 9, 13, and 14 of Table A thereof. The fieldwork was completed on July 16, 2019.

July 25, 2019
G. Bryan Goetzberger
R.L.S. 31020



ALTA / N.S.P.S. LAND TITLE SURVEY
7030 W. OAKLAND STREET, CHANDLER, ARIZONA



SHEET: 1 of 1 DATE: 7-25-19 JOB NO: 190720

SITE INFORMATION

ADDRESS: 7030 W. OAKLAND STREET, CHANDLER, ARIZONA

A.P.N. 301-84-208

LAND AREA:

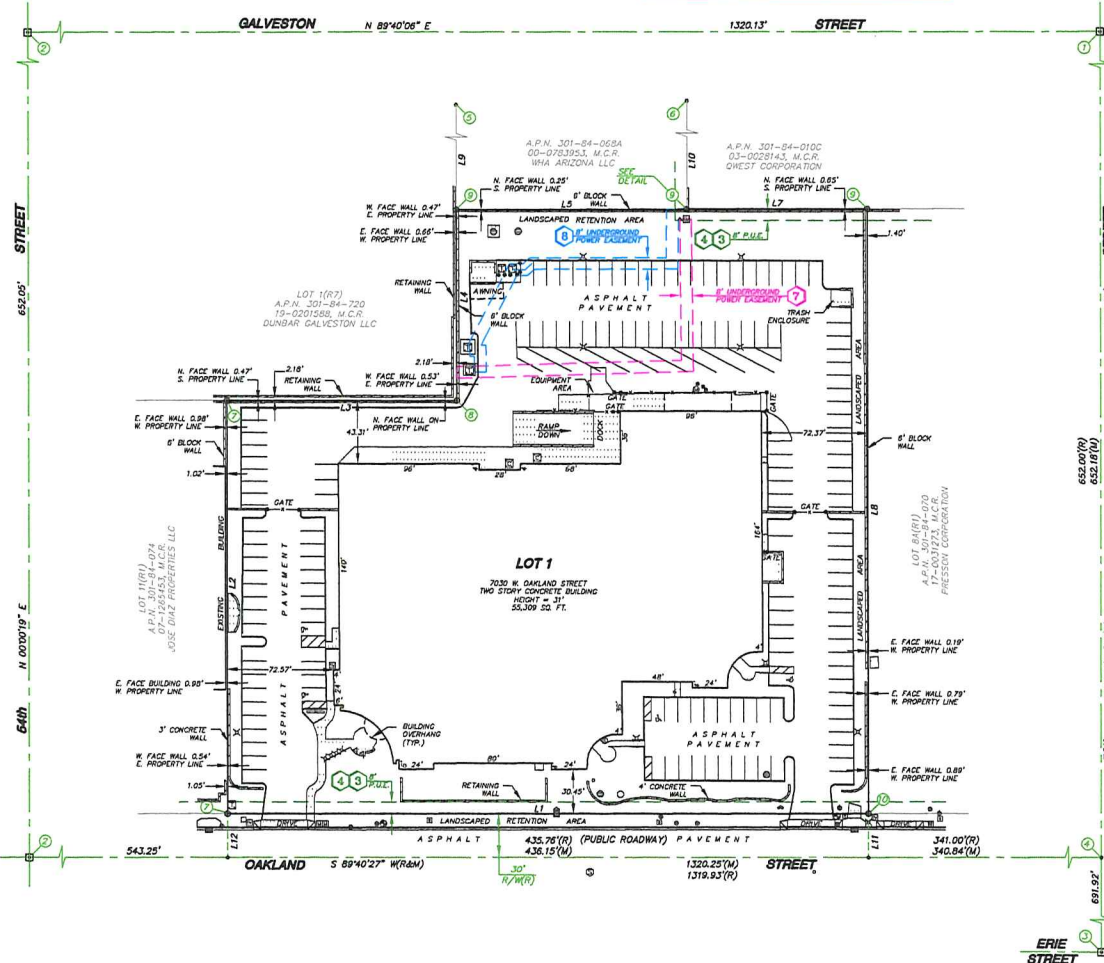
3.663 ACRES - 159,662 SQ. FT.

STANDARD PARKING SPACE TABULATION:

Region: 150
Disabled: 4
Total: 154

SURVEY NOTES

1. This survey and the description used are based on a Commitment for Title Insurance issued by Landmark Title Assurance Agency of Arizona LLC, issuing agent for First American Title Insurance Company, File Number 06163555-128-100, dated July 8, 2019.
2. BASIS OF BEARING: The monument line of Oakland Street, using a bearing of South 89 degrees 40 minutes 27 seconds West, per the Plat of OAKLAND TECH II, recorded in Book 481, Page 34, M.C.R.
3. The bearings and distances depicted indicate actual field or computed measurements performed during the course of this survey. This information may vary from documents of record used for this survey.
4. The building square footage shown is based on exterior measurements of the building footprint at ground level and is not intended to reflect the interior or leaseable area of any building. The building footprint and dimensions depict the general configuration of the building(s).
5. The utility information shown is limited to visible above ground evidence. This survey makes no attempt to depict any underground utilities and there is no guarantee or warranty to the exact location or presence of any underground utilities that may actually exist adjacent to or within the boundaries of the subject property. Prior to any excavation please call an underground utility locator or "BLUE STAKE" at (602)559-7500 for the precise location and extent of all utilities in the area.
6. This Survey has been prepared exclusively for the parties stated in the certification for use in conjunction with the escrow referenced in Survey Note No. 1. Reproduction or use of this survey by any other party for any other transaction or purpose is unauthorized without written authorization from Alliance Land Surveying, LLC. The use of the word "certify" or "certification" by a person or firm that is registered or certified by the board is an expression of professional opinion regarding facts or findings that are the subject of the certification and does not constitute an express or implied warranty or guarantee (A.R.S. 32-151).



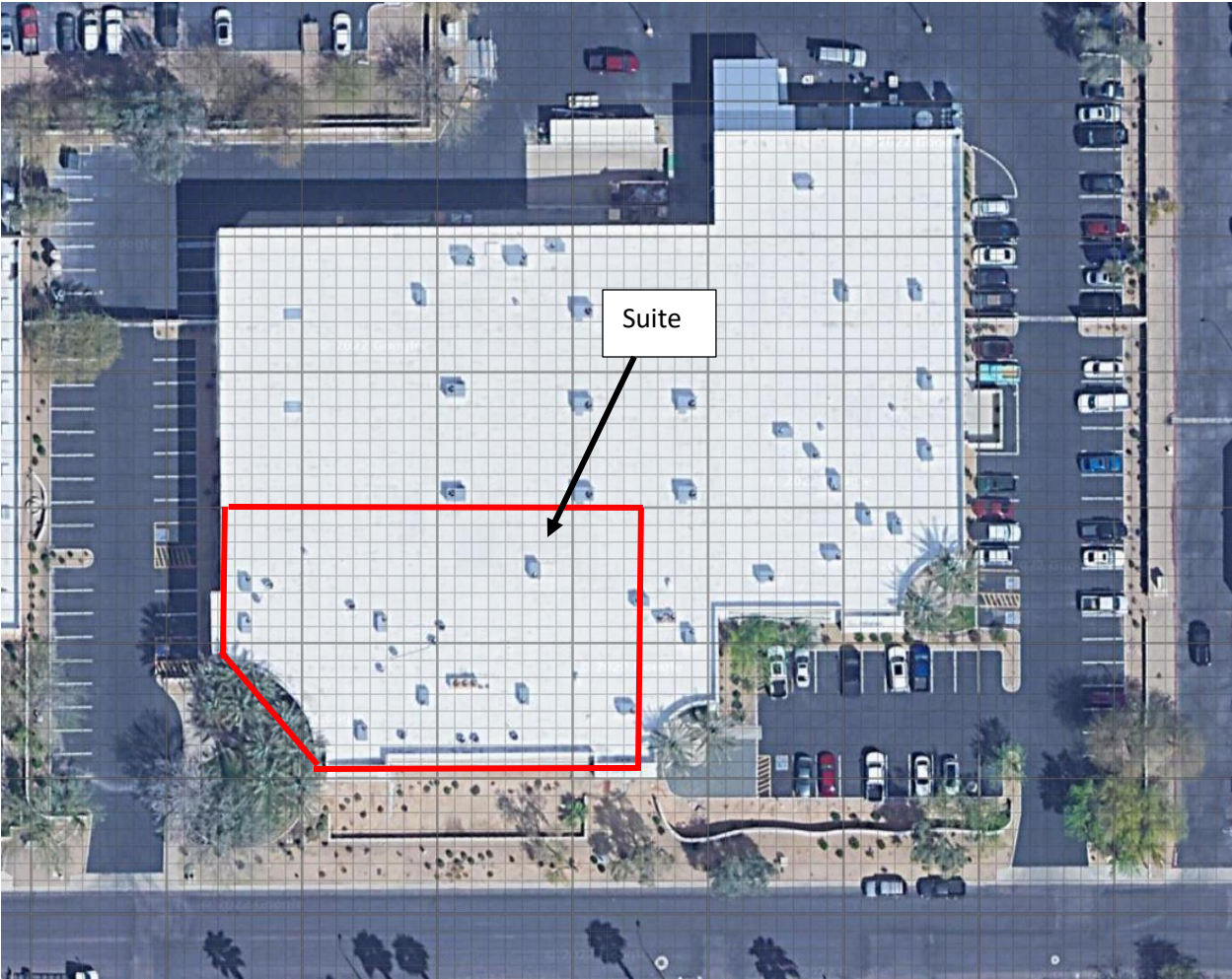
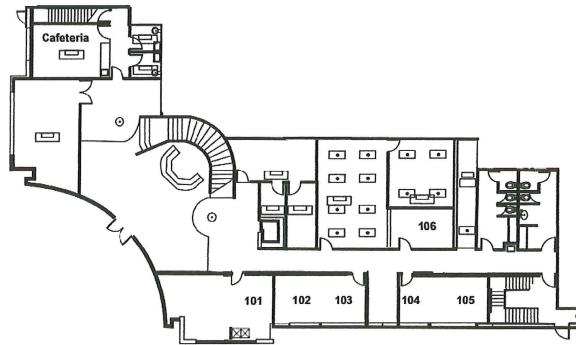
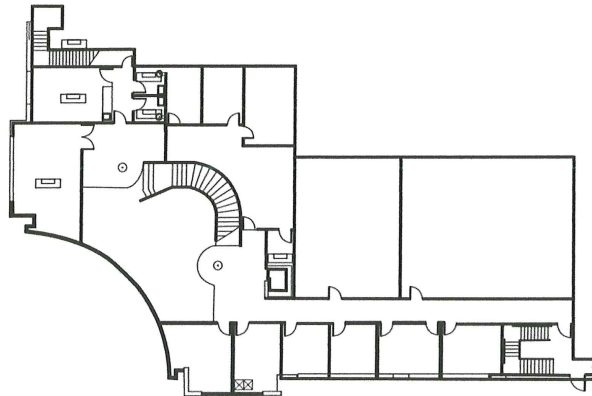


EXHIBIT "A"
DEPICTION OF PREMISES

First Floor



Second Floor



DS
[Signature]

DS
TD

