

# Planning and Zoning Commission Study Session

November 16, 2022 | 5:00 p.m.  
Chandler City Council Chambers  
88 E. Chicago, Chandler AZ



## Commission Members

Chair Rick Heumann  
Vice Chair David Rose  
Commissioner Erik Morgan  
Commissioner Sherri Koshiol  
Commissioner Mike Quinn  
Commissioner Jeff Velasquez  
Commissioner Kyle Barichello

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. § 38-431.02, notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a STUDY SESSION open to the public on Wednesday, November 16, 2022, at 5:00 p.m., at City Council Chambers, 88 E. Chicago Street, Chandler, AZ. One or more members of the Commission may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.

# **Planning and Zoning Commission**

## **Study Session Agenda - November 16, 2022**

### **Call to Order/Roll Call**

### **Scheduled/Unscheduled Public Appearances**

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

### **Consent Agenda**

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the Board or Commission, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.

1. **October 19, 2022, Planning and Zoning Commission Meeting Minutes**  
Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of October 19, 2022, and Regular Meeting of October 19, 2022.
2. **Area Plan Amendment, Rezoning, Preliminary Development Plan, PLH22-006/PLH22-0007 Avenir, located on the northwest corner of Pecos Road and Pennington Drive, approximately ¼ mile east of Dobson Road.**  
**Area Plan**  
Move Planning and Zoning Commission recommend approval of Gateway Area Plan amendment, PLH22-0007 Avenir, as recommended Planning staff.  
**Rezoning**  
Move Planning and Zoning Commission recommend approval of Rezoning PLH22-0006 Avenir, Rezoning from PAD for Assisted Living to PAD for general office and medical office, subject to the conditions as recommended by Planning staff.  
**Preliminary Development Plan**  
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH22-0006 Avenir for site layout and building architecture, subject to the conditions as recommended by Planning staff.



3. **Rezoning and Preliminary Development Plan PLH22-0019 Hartford Square, located north of the northeast corner of Warner Road and Hartford Street.**  
**Rezoning**  
Move Planning and Zoning Commission recommend approval of Rezoning PLH22-0019 Hartford Square, Rezoning from AG-1 to PAD for medium density residential, subject to the conditions as recommended by Planning staff.  
  
**Preliminary Development Plan**  
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH22-0019 Hartford Square for site layout and building architecture, subject to the conditions as recommended by Planning staff.
4. **Preliminary Development Plan Amendment, PLH22-0031 Dobson Town Place - Medical Office, located north of the northeast corner of Alma School and Queen Creek roads**  
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan Amendment, PLH22-0031 Dobson Town Place - Medical Office, allowing 100% Medical Office on an existing office development, subject to the conditions as recommended by Planning staff.
5. **Use Permit, PLH22-0005 Crown Castle Wireless, located at 2055 S Stearman Drive at the southeast corner of Germann Road and Stearman Drive, approximately 1/4 mile west of Gilbert Road**  
Move Planning and Zoning Commission continue PLH22-0005 Crown Castle Wireless to January 18, 2023 for the purpose of discussing the item in a Design Review Committee to be held on December 7, 2022, as recommended by Planning staff.

## Discussion

## Member Comments/Announcements

## Calendar

6. The next Study Session will be held before the Regular Meeting on Wednesday, December 7, 2022, in the Chandler City Council Chambers, 88 East Chicago Street, Chandler Arizona.

## Adjourn



**Planning & Zoning Commission  
22-053**

**Development Services Memo No. PZ**

**Date:** 11/16/2022  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
**From:** Julie San Miguel, Sr Administrative Assistant  
**Subject:** October 19, 2022, Planning and Zoning Commission Meeting Minutes

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**Proposed Motion:**

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of October 19, 2022, and Regular Meeting of October 19, 2022.

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**Attachments**

October 19, 2022 Study Session Minutes  
October 19, 2022 Regular Meeting Minutes

# Meeting Minutes

## Planning and Zoning Commission

### Study Session

October 19, 2022 | 5:00 p.m.  
Chandler City Council Chambers  
88 E. Chicago St., Chandler, AZ



### Call to Order

The meeting was called to order by Chairman Heumann at 5:00 p.m.

### Roll Call

#### Commission Attendance

Chairman Rick Heumann  
Vice Chairman David Rose  
Commissioner Erik Morgan  
Commissioner Sherri Koshiol  
Commissioner Michael Quinn  
Commissioner Jeff Velasquez  
Commissioner Kyle Barichello

#### Staff Attendance

Derek Horn, Development Services Director  
Kevin Mayo, Planning Administrator  
David de la Torre, Planning Manager  
Lauren Schumann, Senior City Planner  
Alisa Petterson, Senior City Planner  
Harley Mehlhorn, City Planner  
Tulili Tuiteleleapaga – Howard, Planning Intern  
Thomas Allen, Assistant City Attorney  
Julie San Miguel, Clerk

### Scheduled/Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

### Consent Agenda and Discussion

#### 1. September 7, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of September 7, 2022, and Regular Meeting of September 7, 2022.

CHAIRMAN HEUMANN confirmed there were no questions or comments from the Commission regarding this item.

## **2. PLH22-0053 DATA CENTERS**

KEVIN MAYO, PLANNING ADMINISTRATOR presented details regarding City of Chandler initiative amending the city zoning code by adding a section regulating data centers. Proposed amendments include clarifying permitted use, regulations for sound attenuation and acoustic testing, as well as regulations for backup power generation.

COMMISSIONER BARICHELLO stated a PAD can be anywhere throughout the city, however he assumed data centers are focused in industrial or commercial designated areas per the general plan. He asked if staff is seeing any proposals or anticipating proposals in a neighborhood designated area or something similar.

KEVIN MAYO, PLANNING ADMINISTRATOR responded the general plan does not actually specify data centers, and although staff encourages them to certain areas, the general plan is silent. He explained it would be an industrial type use, therefore staff would steer them into that direction, but there are not areas left in the city that would be appropriate. He further explained, he is not sure what the future looks like as this industry evolves, but staff would steer any type of proposal to an industrial area.

## **3. PLH21-0089 MCQUEEN LIVE WORK**

HARLEY MEHLHORN, CITY PLANNER presented details regarding the request for rezoning from Planned Area Development (PAD) for commercial uses to Planned Area Development (PAD) for a mixed-use development and Preliminary Development Plan approval for site layout and building architecture on approximate 1.5-acre site, located north of the northwest corner of McQueen and Warner Roads.

COMMISSIONER VELASQUEZ asked how is the onsite retention being handled or what is the Applicant planning for that.

HARLEY MEHLHORN, CITY PLANNER replied they are doing a combination of both underground tanks and retention along McQueen, he further stated details are illustrated in the grading and drainage plan.

CHAIRMAN HEUMANN presented concerns with the landscape plan as it mentioned ten-gallon trees. He asked staff to work out a stipulation regarding landscaping.

COMMISSIONER VELASQUEZ stated the desert museum is a weak rooted tree and occasionally blows over, he asked staff to look into that while addressing landscaping.



#### **4. PLH22-0035 THE DISTRICT DOWNTOWN**

LAUREN SCHUMANN, PRINCIPAL PLANNER presented details regarding the request for rezoning from Planned Area Development (PAD) for office, retail, and hotel to PAD for mixed used development including multi-family, office, commercial uses as permitted under Community Commercial (C-2) type uses with Mid-Rise Overlay allowing for heights up to 120 feet, as well as Preliminary Development Plan (PDP) approval for site layout and conceptual building architecture for approximately 44.7 acres located at the northwest corner of Arizona Avenue and the SanTan 202 Freeway.

COMMISSIONER VELASQUEZ thanked staff and stated it's exciting to see this coming south of downtown. He stated the area has come along way in the past fifteen years and presented statements regarding the importance of being outstanding on aesthetics and materials on entrances and the southwest corner of Pecos and Arizona Avenue.

CHAIRMAN HEUMANN pointed out the first phase is to build multifamily and two-story office buildings at the same time and presented concerns as other phasing plans do not match. He stated he spoke with the Applicant and asked for the commercial along Arizona Avenue to be built before the second multifamily phase, therefore, there will be more in the area than just multifamily. He further stated the Applicant was okay with that and he would like to add this as a stipulation that the commercial be built before or at the same time as the second multifamily. He stated there was a stipulation he asked staff to add wording to ensure if this project goes through the administrative approval process and the design is not meeting the standards of staff that it be processed as a PDP. He presented positive statements about the project and admitted to voting against this project when he was on council in 2012 as it proposed six drive throughs. He stated the two proposed drive throughs are appropriate and there is some flexibility to work with.

#### **5. PLT22-0013 CHANDLER AIRPORT BUSINESS CENTER**

HARLEY MEHLHORN, CITY PLANNER presented details request for Preliminary Plat approval for a new industrial development located at the northwest corner of Queen Creek and Cooper roads.

CHAIRMAN HEUMANN confirmed there were no questions or comments from the Commission regarding this item.

#### **6. Cancellation of the November 2, 2022, Planning and Zoning Commission Hearing**

Move Planning and Zoning Commission cancel November 2, 2022, Planning and Zoning Commission Hearing.



## Action Agenda

### 7. PLH21-0063 BACKYARD CHICKENS

City of Chandler initiative amending the city code to allow chickens to be kept on single-family residential lots. Proposed amendments include adding the definition of a chicken coop to Chapter 35-Land Use and Zoning and modifying Chapter 14-Animals to regulate the keeping of chickens in residential backyards.

## Calendar

The next Study Session will be held before the Regular Meeting on Wednesday, November 16, 2022, in the Chandler City Council Chambers, 88 E. Chicago Street.

## Adjourn

The meeting was adjourned at 5:30 p.m.



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Kevin Mayo, Secretary

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Rick Heumann, Chairman

# Meeting Minutes

## Planning and Zoning Commission

### Regular Meeting

October 19, 2022 | 5:30 p.m.  
Chandler City Council Chambers  
88 E. Chicago St., Chandler, AZ



### Call to Order

The meeting was called to order by Chairman Heumann at 5:40 p.m.

#### Roll Call

##### Commission Attendance

Chairman Rick Heumann  
Vice Chairman David Rose  
Commissioner Erik Morgan  
Commissioner Sherri Koshiol  
Commissioner Michael Quinn  
Commissioner Jeff Velasquez  
Commissioner Kyle Barichello

##### Staff Attendance

Derek Horn, Development Services Director  
Kevin Mayo, Planning Administrator  
David de la Torre, Planning Manager  
Lauren Schumann, Senior City Planner  
Alisa Petterson, Senior City Planner  
Harley Mehlhorn, City Planner  
Tulili Tuiteleleapaga – Howard, Planning Intern  
Thomas Allen, Assistant City Attorney  
Julie San Miguel, Clerk

### Pledge of Allegiance

The Pledge of Allegiance was led by Vice Chairman Rose.

### Scheduled and Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

CHAIRMAN HEUMANN announced the Consent Agenda would be voted on by one motion and confirmed there were no questions or comments regarding said agenda. He further announced the Action Agenda would be heard following the vote of the Consent Agenda.

# Consent Agenda and Discussion

## 1. September 7, 2022, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of September 7, 2022, and Regular Meeting of September 7, 2022.

## 2. PLH22-0053 Data Centers

City of Chandler initiative amending the city zoning code by adding a section regulating data centers. Proposed amendments include clarifying permitted use, regulations for sound attenuation and acoustic testing, as well as regulations for backup power generation.

Move Planning and Zoning Commission recommend approval of an amendment to Chapter 35 - Land Use and Zoning for PLH22-0053 Data Centers, by adding a section regulating Data Centers.

## 3. PLH21-0089 MCQUEEN LIVE WORK

Request Rezoning from Planned Area Development (PAD) for commercial uses to Planned Area Development (PAD) for a mixed-use development and Preliminary Development Plan approval for site layout and building architecture on approximate 1.5-acre site, located north of the northwest corner of McQueen and Warner Roads.

Move Planning and Zoning Commission recommend approval of PLH21-0089 McQueen Live Work, Rezoning from Planned Area Development (PAD) for commercial uses to Planned Area Development (PAD) for a mixed-use development, subject to the conditions as recommended by Planning staff.

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from Planned Area Development (PAD) for commercial uses to Planned Area Development (PAD) for a mixed-use development, subject to the following conditions:

### Rezoning

1. Development of the overall site shall be in substantial conformance with the Development Booklet kept on file in the City of Chandler Planning Division, in File No. PLH21-0089, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Permitted uses include Medium Density Residential and Neighborhood Commercial subject to the following:



- A. Medium Density Residential shall not exceed a density of eight (8) dwelling units per acre.
- B. Permitted commercial uses shall be those permitted in the Neighborhood Commercial District except:
  - i. Restaurants or cafés shall not exceed two hundred and fifty (250) square feet of serving area.
  - ii. The following commercial uses shall be prohibited: Dental offices, medical offices, excluding psychiatry and counseling services, medical clinics including veterinarians, bars, cocktail lounges, automotive repair services, animal daycare, recreational assembly, entertainment activities, childcare, preschools, educational facilities offering any grades from kindergarten to 12th grade, churches and other places of worship, gymnasiums, fitness centers, martial arts studios, laundromats, drive-through uses, and music or dancing conservatories or schools.
- 3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
- 4. The landscaping and all other improvements in all open-spaces shall be maintained by the property owner or property owners' association and shall be maintained at a level consistent with or better than at the time of planting.
- 5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.

#### Preliminary Development Plan

- 1. Development of the overall site shall be in substantial conformance with the Development Booklet kept on file in the City of Chandler Planning Division, in File No. PLH21-0089, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
- 2. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.

3. Signage shall be designed in coordination with landscape plans, planting materials, storm water basins, site contours, utility pedestals, and other site appurtenances or features so as not to create problems with sign visibility or prompt the removal of required or proposed landscaping.
4. All mechanical equipment shall be fully screened on all sides. Said screening shall be architecturally integrated with the building.
5. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

*Note: Stipulation No. 6 was added as a result of the Planning and Zoning Commission's discussion during the Study Session:*

6. Fifty percent of the trees planted along McQueen Road shall be a minimum of 36-inch box and a minimum 12-feet in height at the time of planting and fifty percent of trees planted along McQueen Road shall be a minimum of 48-inch box at the time of planting.

CHAIRMAN HEUMANN asked staff to read aloud the added stipulation.

HARLEY MEHLHORN, CITY PLANNER read aloud added stipulation No. 6 reflected under the Preliminary Development Plan stipulations.

#### **4. PLH22-0035 THE DISTRICT DOWNTOWN**

Request Rezoning from Planned Area Development (PAD) for office, retail, and hotel to PAD for mixed used development including multi-family, office, commercial uses as permitted under Community Commercial (C-2) type uses with Mid-Rise Overlay allowing for heights up to 120 feet, as well as Preliminary Development Plan (PDP) approval for site layout and conceptual building architecture for approximately 44.7 acres located at the northwest corner of Arizona Avenue and the SanTan 202 Freeway.

##### **Rezoning**

Move Planning and Zoning Commission recommend approval of Rezoning PLH22-0035 The District Downtown, Rezoning from Planned Area Development (PAD) for office, retail, and hotel to PAD for mixed used development including multi-family, office, and commercial uses as permitted under Community Commercial (C-2) type uses with Mid-Rise Overlay allowing for building heights up to 120 feet, subject to the conditions as recommended by Planning staff.



## Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH22-0035 The District Downtown for site layout and conceptual building architecture, subject to the conditions as recommended by Planning staff.

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from PAD for office, retail, and hotel to PAD for mixed used development including multi-family, office, and commercial uses as permitted under Community Commercial (C-2) type uses with Mid-Rise Overlay allowing for building heights up to 120 feet, subject to the following conditions:

### Rezoning

1. Development shall be in substantial conformance with the conceptual plans included in the Development Booklet, entitled, "The District Downtown" and kept on file in the City of Chandler Planning Division, in File No. PLH22-0035, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
2. Building heights shall not exceed 120 (one hundred and twenty) feet in height as measured to the top of parapet of the building façade.
3. Commercial development must occur prior to any multi-family use under Phase I.
4. Residential density shall be permitted up to a maximum density of forty-five (45) dwelling units per acre for Parcel 5 and fifty-two (52) dwelling units per acre for Parcel 4.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting, to achieve conformance with City codes, standard details, and design manuals.
6. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
8. The landscaping and all other improvements in all open-spaces shall be maintained by the property owner or property owners' association and shall be maintained at a level consistent with or better than at the time of planting.

9. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.

10. Minimum building setbacks shall be as follows:

Property Line Location	Minimum Building Setback
Arizona Avenue	30 feet
Pecos Road	30 feet
West	20 feet
South	10 feet

*Note: Stipulation No. 11 was added as a result of the Planning and Zoning Commission's discussion during the Study Session:*

11. Commercial development must occur adjacent to Arizona Avenue in Parcels 1 and 2, excluding any mixed-use building, prior to any multi-family use on Parcel 4, as depicted within the development booklet on the site plan.

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

#### Preliminary Development Plan

1. Development shall be in substantial conformance with the conceptual plans included in the Development Booklet, entitled, "The District Downtown" and kept on file in the City of Chandler Planning Division, in File No. PLH22-0035, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
2. As part of the Administrative Design Review process, where staff determines the proposed site improvements do not achieve a high-quality interconnected mixed-use development, the request may be reverted to Council for approval of a revised Preliminary Development Plan.

*Note: Stipulation No. 3 was modified as a result of the Planning and Zoning Commission's discussion during the Study Session:*

3. As part of the Administrative Design Review process, where staff determines that the proposed building design does not achieve a high-quality architectural design as rendered in exhibits within the Development Booklet, the request shall require an amended Preliminary Development Plan.
4. Phase 1 shall include all off-site improvements and landscaping along Arizona Avenue and Pecos Road.

5. The developer shall provide tree-lined sidewalks connecting all uses within the development.
6. The developer shall provide at a minimum a passenger loading area for each multi-family parcel, office, and one for each commercial parcel (1 & 2).
7. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
8. Fifty percent of the trees planted along Arizona Avenue and Pecos Road shall be a minimum of 36-inch box and 12-feet in height at the time of planting.
9. Except as shown in the Development Booklet, all signs shall comply with Chapter 39, Sign Code, of the Chandler City Code.
10. Signage shall be designed in coordination with landscape plans, planting materials, storm water basins, site contours, utility pedestals, and other site appurtenances or features so as not to create problems with sign visibility or prompt the removal of required or proposed landscaping. Building signage shall be architecturally coordinated with the respective façade.
11. All roof-mounted mechanical equipment shall be fully screened on all sides. Said screening shall be architecturally integrated with the building.
12. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
13. The mesquite tree species shall be replaced with another species from the City approved low-water use plant list.
14. Electric vehicle charging stations shall be provided in each parcel.

CHAIRMAN HEUMANN asked staff to read aloud the added and modified stipulation.

LAUREN SCHUMANN, PRINCIPAL PLANNER read aloud added Zoning stipulation No. 11 and modified stipulation No. 3 of the Preliminary Development Plan.

## **5. PLT22-0013 CHANDLER AIRPORT BUSINESS CENTER**

Request Preliminary Plat approval for a new industrial development located at the northwest corner of Queen Creek and Cooper roads.



Move Planning Commission recommend approval of Preliminary Plat PLT22-0013 Chandler Airport Business Center, as recommended by Planning staff.

#### **6. Cancellation of the November 2, 2022, Planning and Zoning Commission Hearing**

Move Planning and Zoning Commission cancel November 2, 2022, Planning and Zoning Commission Hearing.

### **Consent Agenda Motion and Vote**

Vice Chairman Rose moved to approve the Consent Agenda of the October 19, 2022, Regular Planning and Zoning Commission Meeting, with added stipulation No. 6 on Consent Agenda Item No. 3 and added Zoning stipulation No. 11 and modified stipulation No. 3 of the Preliminary Development Plan on Consent Agenda Item No. 4; Seconded by Commissioner Morgan.

Motion carried unanimously (7-0).

### **Action Agenda**

#### **7. PLH21-0063 BACKYARD CHICKENS**

LAUREN SCHUMANN, PRINCIPAL PLANNER presented details regarding City of Chandler initiative amending the city code to allow chickens to be kept on single-family residential lots. Proposed amendments include adding the definition of a chicken coop to Chapter 35-Land Use and Zoning and modifying Chapter 14-Animals to regulate the keeping of chickens in residential backyards.

CHAIRMAN HEUMANN clarified the purview of the Planning and Zoning Commission regarding Action Agenda Item No. 7 is the definition of a chicken coop and the fact of having chickens or not having chickens will be the purview of Mayor and Council on November 10, 2022. He asked the Assistant City Attorney for further clarification.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated the Action Agenda Item No. 7 is simply a vote on the definition of a chicken coop that is going in Chapter 35 of the City Code. He explained the public will have a chance to address the City Council on November 10, 2022, when the actual vote is about allowing chickens or not. He reiterated tonight is to discuss the definition of a chicken coop.

CHAIRMAN HEUMANN asked of the one-hundred eighty-five people who were vocal online in favor of chickens, how many live within a homeowners association (HOA).

LAUREN SCHUMANN, PRINCIPAL PLANNER stated that information is unknown at this time but she would get it.

CHAIRMAN HEUMANN asked staff to have that number when this is presented to Council as this doesn't pertain to those who live in HOAs, as they are likely to have their own rules regarding chickens.

COMMISSIONER BARICHELLO thanked staff for the presentation. He pointed out if someone were to have a one hundred twenty square foot chicken coop, they could not build an accessory building. He asked if people with larger lots would have to choose between a chicken coop and an accessory building or if they could have both. He asked if staff had any suggestions for people who could want both.

LAUREN SCHUMANN, PRINCIPAL PLANNER explained if the structure is one hundred twenty square feet and not taller than seven feet, then it is considered a chicken coop and when it goes larger than one hundred twenty square feet or taller than seven feet then it becomes an accessory building. She further explained, an accessory building must meet setbacks and maximum lot coverage and could have a chicken coop attached to it as part of the building.

COMMISSIONER QUINN asked if the coop is larger than one hundred twenty square feet, would it take place of your accessory building or it could be built in conjunction with an accessory building. He further asked if it is below one hundred twenty square feet if it replaces a storage shed.

LAUREN SCHUMANN, PRINCIPAL PLANNER clarified one will be able to have one storage shed and one chicken coop.

CHAIRMAN HEUMANN pointed out the image on the presentation has a very nice chicken coop, but, he has seen homemade chicken coops that are made of chicken wire, plywood, and painted many colors. He pointed out there was an example of a twenty-seven hundred square foot lot on the presentation and presented concerns for smaller lots. He asked where the chicken coop could go on a smaller lot.

LAUREN SCHUMANN, PRINCIPAL PLANNER stated the setback is used to create a buffer from the adjacent neighbors. She explained the ones she looked at were pretty tight and five feet would almost seem impossible for them to get chickens as they would not be able to put them in a coop.

CHAIRMAN HEUMANN pointed out numerous other cities were mentioned in the presentation and stated, although we would like to compare, Chandler is on a different level than other cities. He confirmed there were no further questions or comments from the commission for staff.

CHAIRMAN HEUMANN stated the individual speakers will be given three minutes and called up the first speaker.



DAVID DELGADO, 2160 E HALET DR stated he was not for or against chickens, but he has several questions and asked if a permit would be required or would chickens just be allowed. He presented concerns regarding lost and abandoned dogs and cats and asked how the city is going to deal with lost or abandoned chickens. He suggested the chickens be micro-chipped and tracked; therefore, code enforcement can scan them to find the owner. He mentioned the presentation contained a list of cities that allow chickens and he asked how long those ordinances have been in effect. He further suggested if the chickens do not require permits, that there be inspections to ensure upkeep. He stated there should be a height requirement on fences from neighbor to neighbor and asked if a chicken run would count towards the measurements of the chicken coop and what the ground would be like inside the chicken run. He asked if somebody has an existing shed a couple of feet from a wall and they want to have chickens, would they have to attach the chicken coop to the shed and does that five-feet requirement now kicking in. He asked how the chickens were going to be fed and if it was in a confined area like the coop as the food could attract other birds and lead to issues with wild birds waiting on roof tops for pet chickens to be fed.

CHAIRMAN HEUMANN asked staff to address David Delgado's questions.

LAUREN SCHUMANN, PRINCIPAL PLANNER explained staff discussed a permit requirement with City Council during work session meetings, but ultimately it was turned down, therefore no chicken permit would be required. She further explained there would be too much red tape with verify signatures for a permit requirement and was not sure how micro-chipping chickens would work. She clarified the chicken run would be considered part of the chicken coop, therefore, it could not be separate and would need to be attached to the coop. she further clarified there are no regulations regarding the ground material for the chicken run. She explained if somebody had an existing shed, which does not require a building setback, and they were to attach a chicken coop to it; it would need to meet the setback, because then it would be considered a chicken coop.

CHAIRMAN HEUMANN stated he has several speaker cards asking for Leslie Minkus to speak on their behalf and pointed out there were several more speaker cards than people present. He announced that Leslie Minkus would be given fifteen minutes and reminded the audience that the Commission's purview is regarding chicken coops. He stated the following cards were presented this date indicating that they would like Leslie Minkus to speak on their behalf:

Miriam Jones, 2734 E Birchwood Place - Oppose  
Phyllis Minkus, 3372 E Gemini Court - Oppose  
Brian Fox, 1871 W Longhorn Drive - Neutral  
Linda Sawyer, 1158 W Linda Lane - Oppose  
Robert Sawyer, 1158 W Linda Lane - Oppose  
Caroyn Arkins, 1180 W Linda Lane - Oppose  
Debbie Oehler, 1180 W Linda Lane - Oppose  
Wayne Oehler, 1180 W Linda Lane - Oppose  
Darlene Ankle, 750 N Karen Drive - Oppose

Robert Stevens, 740 N Karen Drive - Oppose  
Richard Yanno, 780 N Karen Drive - Oppose  
Mary Yanno, 780 N Karen Drive - Oppose  
Mary Smith, 875 N Apache Drive - Oppose  
Joanne Noble, 1101 W Ivanhoe - Oppose  
Dalton Smith, 875 N Apache Drive - Oppose  
Loretta Miller, 800 N Alma School Road - Oppose  
Craig Davis, 780 N Chippewa Drive - Not Indicated

CHAIRMAN HEUMANN asked the clerk to set the timer at fifteen minutes and reminded the audience that the Commission is not voting on whether chickens are allowed or not and that is Mayor and Councils purview.

LESLIE MINKUS, 3372 E GEMINI COURT stated nine years ago, he argued the same situation as the city and the voters did not have the interest in having backyard chickens and it was defeated at that time. He explained the city has grown substantially population-wise to about 280,000 people and commercially/business-wise and although the presentation listed off cities that allow chickens, not all of them are cities. He further explained, Gilbert is not a city and that is why it has a town council. He stated the characteristics of a city is there is more non-agricultural activity than agricultural activity. He further stated there was a number presented indicating if people were yay or nay and he did not believe staff extended out communication as hard as they should had to figure the number of residents in Chandler that really want an amendment to the ordinance that would allow chickens. He presented concerns regarding the nuisance that can occur on smaller properties for neighbors. He presented further concerns regarding the City Clerk's Office losing a petition containing three hundred signatures of Chandler residents that are opposed to backyard chickens and losing his presentation for tonight that he turned in the day prior. He stated fortunately he had his presentation with him tonight and they were able to upload it again; however, it is wrong that the City Clerk's Office cannot find things provided to them that is in opposition to backyard chickens. He presented images of code and alley violations and stated there are several violations throughout the community going on for years without being corrected. He further stated when asked about chickens code enforcement stated they anticipate most complaints being noise and smell and that these kinds of complaints are hard to measure and enforce. He further stated code enforcement typically works during regular business hours 8:00 a.m. - 5:00 p.m. Monday through Friday; therefore, if one wanted to report something outside those hours or on the weekend, they would have to wait until the next business day. He explained there are various health issues such as upper respiratory diseases and asthma and furthermore, a study that was conducted, September 22 of 2022 by the CDC that showed 40,700,000 birds, including backyard chickens and commercial chicken, were infected by H5N1. He further explained this is happening mostly in other states, but infected bird could fly over and leave droppings in a backyard and infect chickens and other birds. He presented concerns with the banding and slaughtering of chickens for meat and due to the danger of viruses being transmitted to humans. He presented slides illustrating how chickens are able to escape their backyards and



enclosures and stated these issues would have to be enforced by code enforcement; however, they are not allowed to enter somebody's backyard without a warrant or court order, so they can only enforce what they can see from the periphery of the property. He stated while HOAs have CCNRs to protect their members from having farm animals in their properties, they cannot enforce this rule on therapy pets, and chickens can be used as a therapy animal. He further stated even if a HOA does not allow chickens, they could still be a nuisance to those who live bordering areas without HOAs. He further stated they could get chickens in their yard who have escaped, noise, and feathers due to molting. He explained that chickens can attract predators such as raccoons, coyotes, and hawks. He further explained these predators could be lured into neighborhoods by the chickens, but then attack dogs, cats, and children. He mentioned PETA could have issues with the mistreatment of chickens due to the heat exposure chickens would have to endure during the summer. In concluding his presentation, he showed images of predators, a study conducted by the CDC, and Next-Door posts in opposition to backyard chickens.

CHAIRMAN HEUMANN confirmed the Commission did not have any questions and thanked the speaker.

COMMISSIONER MORGAN asked if there are any kind of stipulations that can be added regarding how the coops have to be made or amenities to ensure the safety of the chickens.

KEVIN MAYO, PLANNING ADMINISTRATOR stated all aspects of the regulation of chickens, if approved will be in Chapter 14 and the only thing regarding chickens in Chapter 35 is the definition of a coop, in the definition section of the zoning code. He explained we do not regulate through definitions, as we regulate through various sections within the zoning code, but nothing about chickens is going to be in the zoning code. He stated it would not be appropriate to regulate how it is constructed or that it must be locked at night or secure. He further stated all regulation would be in Chapter 14.

LESLIE MINKUS, 3372 E GEMINI COURT stated he would like to point out the Council vote is being pushed through December 2022. He further stated, the new Council members are going to be sworn in January 2023 and there is no reason for this item to be pushed through until the new Council members come on. He explained the Council members who are leaving will not have any responsibility or obligation to the community and there is no reason why they cannot wait until January when the new Council members come in.

CHAIRMAN HEUMANN thanked Mr. Minkus for bringing up those points and explained it would be up to the Council to make that decision. He stated the Planning and Zoning Commission is a recommending body to Council and tonight the Commission's purview is on the definition of chicken coops. He thanks Mr. Minkus again and stated many of the points he brought up were valid, but he would want to direct them more towards City Council.

RUTH JONES, 2734 EAST BIRCHWOOD PLACE thanked the Commission as she was once a Planning and Zoning Commissioner and appreciates their service. She presented concern as she felt the presentation tonight was disingenuous as it was about allowing chickens, although the Commission is only voting on the definition of chicken coops. She stated an individual who notated their opposition did not show on the list of opposing voices and there are many people who are not being heard. She presented further concerns for materials and standards of the chicken coop and asked for the code to be clearer regarding the definition. She explained only listing the measurement requirements is not sufficient and asked if the structure will be required to match the building as all other cities that have this in their code. She stated other cities also require coops to match the building and be aesthetically pleasing. She further explained most cities that allow chickens also include a requirement for a chicken run that must be enclosed, and the chickens must remain for the purpose of the animal's safety. She echoed the statements of Mr. Minkus regarding predators and stated if the definition for the structure does not create protection than the Commission is allowing a menace into our community. She asked before approval that the code have a clearer definition regarding the appearance of the structure, materials, percentage of chicken wire to building etc. She urged the Commission to have staff write a definition that is more complete and works for the city. She stated chickens are going to be decided by the Council and asked for the Commission not to approve the definition until it is properly written.

CHAIRMAN HEUMANN confirmed the Commission did not have any questions and thanked the speaker. He further confirmed there were no members of the audience who would like to speak on this item and closed the floor. He asked the Assistant City Attorney to clarify if chicken coop quality is under the purview of the Commission, as he does not wish to have a requirement regarding the amount of chicken wire to building, but this is Chandler and we have great quality here.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated the item on the agenda tonight is for the definition of a coop and to the extent the Commission wishes to tie in any additional recommendations to Council to that definition. He stated how the Commission wants to word that is up to them and they have the ability to make recommendations to Council as they see fit; therefore, the Commission can add recommendations as are related to a chicken coop.

CHAIRMAN HEUMANN presented concerns regarding the sight of chicken coops in traditional neighborhoods and stated he would like to see the wording change that the coop cannot be above the fence line from the property line as some fences could be five or six feet. He asked how the wording could be changed to address quality and the concerns brought up by Commissioner Morgan and Ruth Jones.

COMMISSIONER QUINN stated staff has made a good gesture, as the coops are to be no larger than one hundred twenty square feet. He explained the city is not managing sheds until it hits over one hundred twenty square feet or over seven feet tall, then one must go through the building permit process. He further explained once the structure is over that amount, then it is a



more substantial structure that will have to go through full plan review that verifies the structure and foundation and the measurements in the definition will lead most to go purchase a coop from a retail store. He stated the definition leads us to a level of the quality.

COMMISSIONER BARICHELLO stated he is hesitant to add too much in the definition would like to avoid it becoming a long-convoluted definition. He explained the comments and input received by the city is not going unnoticed. He stated if there is a need for review of quality of design, perhaps the square footage or height should be lower.

COMMISSIONER KOSHIOL presented concerns regarding the structural integrity of makeshift coops made of pallets and chicken wire versus something more structurally sound, regardless of whether it is more or less than one hundred twenty feet. She stated she would like there to be further definition requirements regarding safety to ensure the structure is safe from the inside out.

CHAIRMAN HEUMANN stated the points made here tonight are very valid and it is important that the chickens be confined so they do not get loose in neighborhoods. He mentioned he was at the Council Work Session where there was discussion of feral chickens, and he does not believe microchipping or putting collars on chickens would work.

COMMISSIONER MORGAN presented concerns as the definition reads "a small structure that is used as a cage or housing enclosure". He stated using the word cage could allow people to put up chicken wire and posts for their coop.

VICE CHAIRMAN ROSE stated he is concerned with safety and mentioned he saw a coyote earlier today. He further mentioned what strong monsoon winds do to trampolines and would like to prevent that from happening to chicken coops. He would like to look further into this and code enforcement regarding how to regulate what is safe for the neighborhoods.

CHAIRMAN HEUMANN thanked the Commission Members for their comments. He stated he feels strongly about coops being no higher than the fence line and asked staff for their thoughts in terms of adding quality and confinement for the purpose of safety.

KEVIN MAYO, PLANNING ADMINISTRATOR stated staff can help guide the Commission through this discussion and mentioned in the recent past an amendment was added to codify the requirement that an accessory structure must carry the same architectural style as the primary structure. He presented statements regarding visibility from neighboring properties and stated most fences and walls in Chandler subdivisions are six feet tall. He stated as written if coops are greater than one hundred twenty square feet and seven feet in height, it would count as your accessory structure that must follow the architectural requirements to tie back to the primary structure. He mentioned the possibility of limiting coops to under the six feet, therefore they cannot be seen from a neighboring property and the accessory structure requirements must be



followed by anything taller. He stated that could be one way to change the definition to help regulate.

CHAIRMAN HEUMANN stated that is an interesting concept asked if wording could be added to change the height requirement to be "below the fence line" and for the chicken coop to be "secure" to prevent free roaming chickens.

KEVIN MAYO, PLANNING ADMINISTRATOR stated to regulate how a structure is used and if someone left is gate open, are they now in violation is not in definitions, but would be found in animal regulations Chapter 14. He stated the Commission could probably pass recommendations for Council to consider and staff can put that in in our notes. He further stated the Commission is looking for something that is voted on and the Commission can vote on comments to forward to Council, but those things do not belong in the definition. He explained the code definition does not have anything about the aesthetic of accessory buildings or sheds as it only describes what it is. He further explained the regulation is found elsewhere in the code and as the Planning Administrator he believes it is imperative that regulations are placed appropriately in the code what goes into the definitions.

CHAIRMAN HEUMANN asked the Assistant City Attorney if a motion was made say, the definition of a chicken coop is no higher than the fence line and we are recommending to the Council that Chapter 14 regulate coops in in such a way that they are a secure facility so chickens are not free roaming, would that suffice in terms of a motion this Commission can make.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated that would be appropriate and further stated the motion should be clear that the Commission is approving the definition of chicken coop as presented by staff with the recommendation that the definition be amended to the height you want in the definition. He explained to make the motion that includes height to the definition with additional recommendations to Council for items go that under Chapter 14.

CHAIRMAN HEUMANN asked if setbacks could be added.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY stated setbacks would be a recommendation for the Council to consider.

COMMISSIONER QUINN stated he rather have a clear height for the definition. He further stated the wording, "below the fence line", has the potential for homes to have different rules others. He explained if my fence is taller than your fence, I have a higher height requirement. He stated if the Commission is going to make a recommendation on height, it should be a maximum six feet tall as most walls in neighborhoods are six feet tall. He explained if the coop is under that height of six feet, it will not count as accessory building, regardless of its size.

CHAIRMAN HEUMANN stated if the definition of the height is no higher than the wall, they will have to get approval for the coop if the height is taller than the wall, no matter if the wall heights are different.

COMMISSIONER QUINN stated that creates different rules for the city to follow on what gets permitted. He gave an example if my fence is four feet ten inches, my chicken coop can only be at that height, but you have a six-foot fence and can have a six-foot high coop and I would have to get a permit to have the same thing.

CHAIRMAN HEUMANN asked staff to clarify the requirement for a permit.

KEVIN MAYO, PLANNING ADMINISTRATOR stated as part of the group who enforces our zoning code, it is very challenging to have something that says "no higher than the fence line" because the grades can be different on either side of the fence. He further stated there are different heights of fences some are four feet, some are ten feet, there are some people who have fourteen-foot sound walls. He explained I understand what you are trying to do with the fence height, but it will be challenging to enforce and challenging for a property owner to see somebody next door that has a six-foot coop when they can only have a four foot. He further explained it just becomes challenging to enforce.

CHAIRMAN HEUMANN stated he understood where staff is coming from and mentioned below the fence line is a clearer definition. He explained he does not want to see chicken coops and they have the right to build a taller fence.

COMMISSIONER KOSHIOL asked how staff arrived at the seven-foot height as outlined in the recommendation and asked if its commensurate with what an accessory structure.

KEVIN MAYO, PLANNING ADMINISTRATOR replied yes, with other structures already permitted the code like a storage shed or accessory structure it slotted within those. He stated if a storage shed is above seven feet, it requires a permit and we would count as an accessory structure.

COMMISSIONER KOSHIOL thanked staff and stated if there is a concern with setting a height, I would suggest we could consider six-feet instead of the seven-feet.

CHAIRMAN HEUMANN asked staff to present the definition and asked staff to add to the definition the chicken coop cannot be visible from above the wall and cannot be larger than seven feet in height. He asked staff if they could also create wording a recommendation to Council to make the structure more secure and address the comments brought up by the citizens tonight.

DAVID DE LA TORRE, PLANNING MANAGER presented statements regarding changes made to the definition and read aloud the revised definition as follows: A small structure that is secure and used as a housing enclosure for chickens. A chicken coop includes any "chicken run" or attached



enclosure in which chickens are allowed to roam. A chicken coop shall not exceed the height of the surrounding property wall. A chicken coop exceeding on hundred and twenty (120) square feet in size or seven (7) feet in height, requires a building permit and is considered an accessory building for purposes of Section 35-2202.

CHAIRMAN HEUMANN stated he liked the changes and asked the Planning Administrator if this addresses the discussion earlier regarding the changes in code.

KEVIN MAYO, PLANNING ADMINISTRATOR responded that is correct and presented statements regarding the square footage and height.

CHAIRMAN HEUMANN stated he would like to make a motion if there are no further questions or comments.

THOMAS ALLEN, ASSISTANT CITY ATTORNEY suggested the motion be the Commission is recommending approval of the definition as amended by staff.

## **Action Agenda Motion and Vote**

Chairman Heumann moved to approve the Action Agenda of October 19, 2022, Regular Planning and Zoning Commission Meeting; the Commission is recommending approval of the definition as amended by staff; Seconded by Commissioner Velasquez.

Motion carried (5-2), Vice Chair Rose and Commissioner Quinn dissenting.

## **Member Comments/Announcements**

COMMISSIONER KOSHIOL stated that this Saturday, October 22, 2022, is For Our City Day. She explained For Our City Day is opportunity for citizens of Chandler help revitalize neighborhoods and spend time doing great things for those in the community. She stated it is an annual event held in October and encouraged everyone whose interested in participating to look online for volunteer opportunities on Saturday.

CHAIRMAN HEUMANN thanked Commissioner Koshiol for mentioning For Our City Day and stated hundreds of people volunteer and are sent to different areas of the city to help clean up. He stated it's a great program and thanked the Commissioner again for bringing it up.

## **Calendar**

The next regular meeting will be held on Wednesday, November 16, 2022, in the Chandler City Council Chambers, 88 E. Chicago Street.



## Adjourn

The meeting was adjourned at 6:58 p.m.



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Kevin Mayo, Secretary

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Rick Heumann, Chairman



**Planning & Zoning Commission Memorandum**  
**Memo No. 22-050**

**Development Services**

**Date:** 11/16/2022  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
David de la Torre, Planning Manager  
  
**From:** Benjamin Cereceres, City Planner  
**Subject:** PLH22-0006/PLH22-0007 Avenir  
**Request:** Area Plan amendment to the Gateway Area Plan to change land use from Assisted Living to Office  
  
Rezone from Planned Area Development (PAD) for Assisted Living to PAD for general office and medical office  
  
Preliminary Development Plan approval for site layout and architecture on approximately 3.6 acres  
**Location:** located on the northwest corner of Pecos Road and Pennington Drive, approximately ¼ mile east of Dobson Road  
**Applicant:** Corey Wissenback; PSWC Architects

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**Proposed Motion:**

**Area Plan**

Move Planning and Zoning Commission recommend approval of Gateway Area Plan amendment, PLH22-0007 Avenir, as recommended Planning staff.

**Rezoning**

Move Planning and Zoning Commission recommend approval of Rezoning PLH22-0006 Avenir, Rezoning from PAD for Assisted Living to PAD for general office and medical office, subject to the conditions as recommended by Planning staff.

## Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH22-0006 Avenir for site layout and building architecture, subject to the conditions as recommended by Planning staff.

### Background Data:

- Subject site is approximately 3.6 acres
- Subject site currently zoned PAD for assisted living
- Gateway Area Plan designates the property as Assisted Living
- Project consist of a two-story 46,874 square-foot office and medical office building

### Surrounding Land Use Data:

North	Assisted Living zoned PAD	South	Across Pecos Road: PAD for Single-family residential
East	Across Pennington Drive: Assisted Living zoned PAD	West	Vacant parcel planned for future Medical Office/Commercial

### General Plan and Area Plan Designations

	Existing	Proposed
General Plan	Neighborhoods	Neighborhoods
Gateway Area Plan	Assisted Living	General Office & Medical Office

### Proposed Development

Building Square Footage	46,874 Square Feet
Building Height	41'-4" Top of Mechanical Screening
Parking Spaces Required	282 with 10% Parking Reduction (312 Spaces prior to reduction)
Parking Spaces Provided	282



## **Review and Recommendation**

The proposed two-story general office and medical office building will be approximately 46,874 square feet. The shell buildings' interior tenant improvements will be built out as the spaces are leased and is intended to house medical office and general office space that serves the adjacent community. The applicant will provide a passenger loading area at the east entrance of the building to alleviate the parking demand as permitted per zoning code. City Code allows the overall parking demand to be reduced by 10% with the proposed passenger drop-off/loading area. This brings the parking requirement down from 312 parking spaces to 282 parking spaces, with 282 parking spaces proposed on-site.

The request was reviewed for compliance with design standards established within the City of Chandler Zoning code, including landscaping and signage. The proposed building will utilize compatible exterior finishes to the adjacent building to the north with a slightly more modern and updated look. Exterior finishes will be glass, CMU, simulated wood planking, metal fascia panels and stucco. The roof will be flat with parapets tall enough to conceal all the buildings roof mounted mechanical units. Staff finds the proposal to be consistent with the goals of the General Plan

## **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- A neighborhood meeting was held on October 5, 2022 and no neighbors were in attendance.
- As of the writing of this memo, Planning staff is not aware of any concerns or opposition to the request.

## **Recommended Conditions of Approval:**

### **Rezoning**

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from Planned Area Development (PAD) for Assisted Living to PAD for general office and medical office, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Avenir" and kept on file in the City of Chandler Planning Division, in File No. PLH22-0006, modified by such conditions included at the time the

Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.

3. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.

4. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.

5. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.

6. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.

### **Preliminary Development Plan**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Avenir" and kept on file in the City of Chandler Planning Division, in File No. PLH22-00-0006, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The site shall be maintained in a clean and orderly manner.

3. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

4. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

5. A minimum of two electric vehicle charging stations shall be provided.

6. Fifty percent of trees planted along the arterial streets shall be a minimum of 36-inch box and be a minimum of 12-feet in height at the time of planting.

7. The desert museum palo verde tree shall be replaced with another tree that is on the lower water plant list that has a similar canopy, size and characteristic as

the palo verde but shall exclude the mesquite tree.

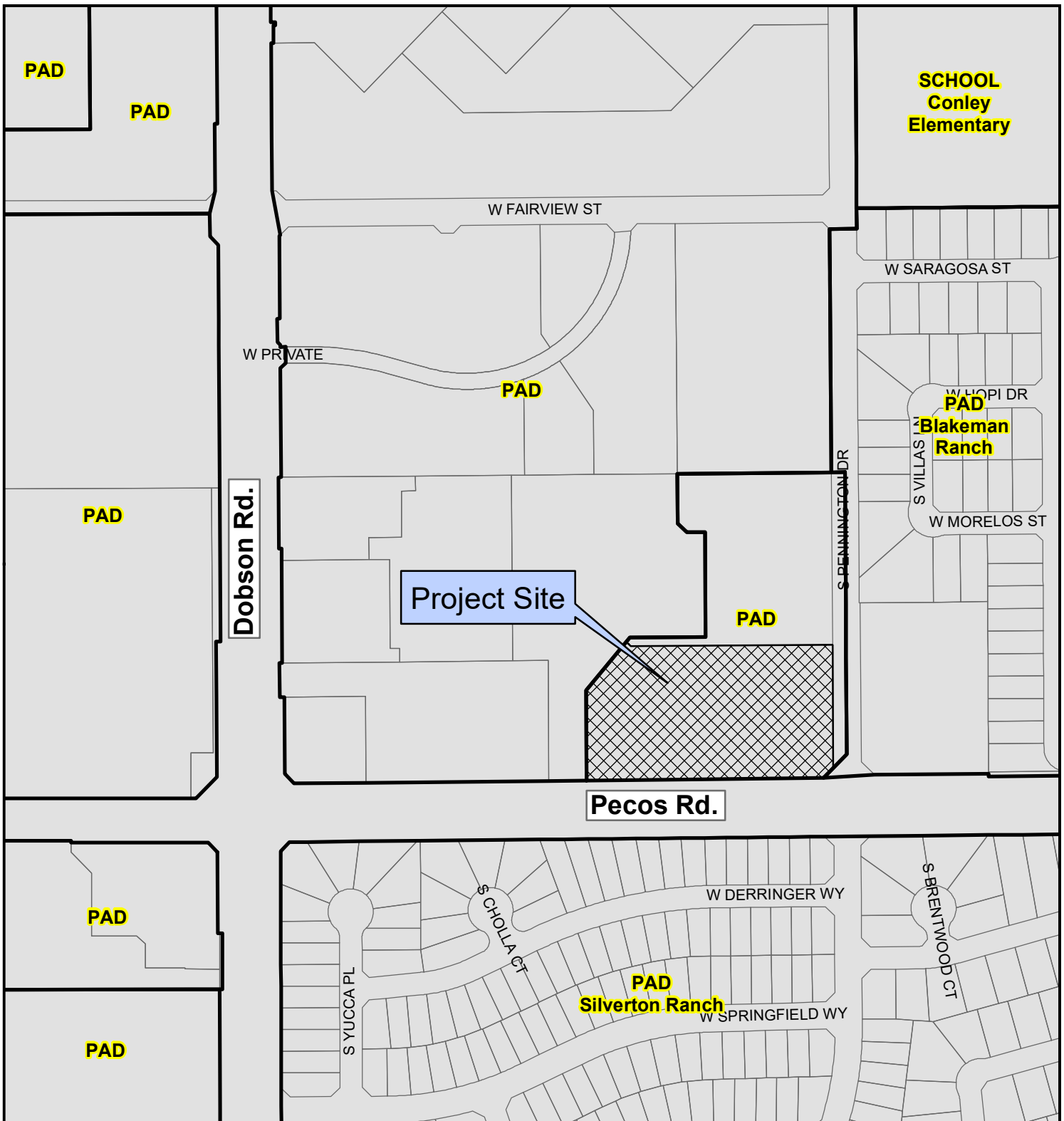
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## **Attachments**

Vicinity Maps

Development Booklet - Avenir

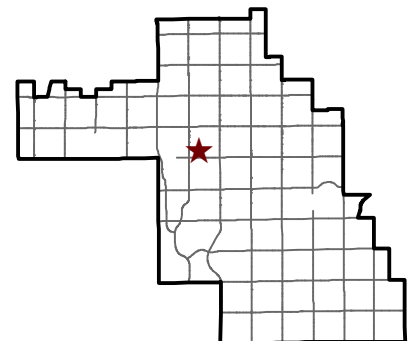




**PLH22-0006/PLH22-0007 Avenir**



**Proposed Project Details**  
**AREA PLAN AMENDMENT/REZONE/PDP**  
 3.6 Acres  
 46,874 Sq. Ft. Office/Medical Office Building



City of Chandler Planning Division  
[chandleraz.gov/planning](https://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>

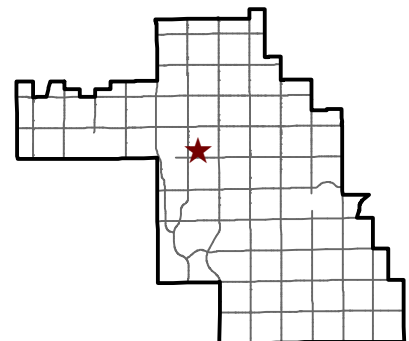




**PLH22-0006/PLH22-0007 Avenir**



**Proposed Project Details**  
**AREA PLAN AMENDMENT/REZONE/PDP**  
**3.6 Acres**  
**46,874 Sq. Ft. Office/Medical Office Building**



City of Chandler Planning Division  
[chandleraz.gov/planning](https://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>





## PSWC Architects

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

October 21, 2022

City of Chandler, Development Services Dept. Planning Division  
215 E Buffalo St, Chandler,  
AZ 85225

Subject: PROJECT NARRATIVE FOR REZONING AND AREA PLAN  
AMENDMENT FOR A PROPOSED NEW 2-STORY SHELL GENERAL  
OFFICE AND MEDICAL OFFICE BUILDING - PLH22-0006/PLH22-0007  
Assessor's parcel number: 303-63-31

To whom it may concern:

The proposed project is a new 2-story, 47k s.f. shell office building. This project is proposed for rezoning and Area Plan amendment for use as general office and medical office.

A parking reduction and landscape setback reduction is being requested. Additionally, an additional landscape setback is requested on the east property line from 20' to 18' to accommodate the additional 26' wide drive access around the building as requested by the Fire Department.

### DEVELOPMENT OVERVIEW

#### Architectural Features:

The project is designed utilizing compatible exterior finishes to the adjacent memory care with a slightly more modern and updated look that is desired for an office building of this type. The building will be of Type Vb construction (any material permitted by code) with a main lobby, public restrooms, central core elevators, egress stairs at the lobby and building ends. Exterior finishes will be glass, CMU, simulated wood planking, metal fascia panels and stucco. The roof will be flat roof with parapets tall enough to conceal all of the building's mechanical units. The interior tenant improvements will be built out as the spaces are leased and is intended to house medical office and general office space to serve the adjacent community.



Site Design Features:

The site will accommodate the storm water runoff generated from the required rainfall event. The design will incorporate both surface as well as underground storm water retention. Drainage of the storm water will be through an onsite drywall. The site contains a paved parking area with stalls in compliance with the Chandler parking standard for a medical office building use. The site will contain concrete walkways as required to serve the building and site.

The site parking will all be above ground and designed to meet the Chandler zoning code. There are two consecutive passenger loading zones for drop-off and pickup of patients.

Signage:

All signage shall comply with the City of Chandler's Sign code.

Landscaping Design Features:

The landscape design intent is to match the existing adjacent memory care and comply with the City of Chandler landscaping requirements. We will be using low water use, attractive, flowering trees, shrubs and ground cover. The irrigation system will be a low flow, high efficiency drip system guaranteeing 100% coverage to all landscape areas.

Probable Rezoning Impact on Cost of Constructing Housing:

The rezoning of this parcel and proposed project will have no effect on the cost of constructing housing in the area.

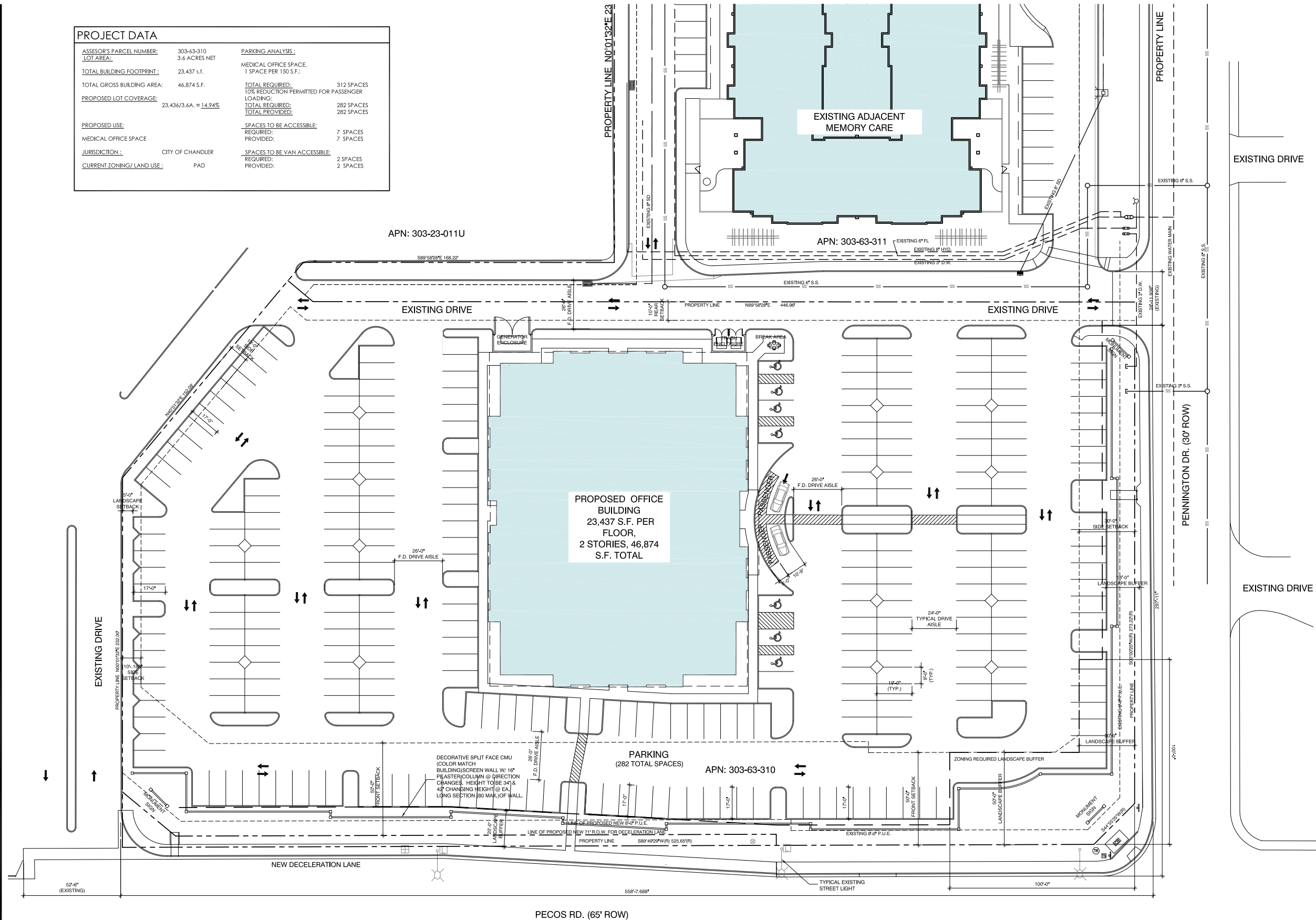
Sincerely,



Corey Wissenback AIA, NCARB  
Project Architect

PROJECT DATA

ASSESSOR'S PARCEL NUMBER:	303-63-310	PARKING ANALYSIS:	
LOT AREA:	3.6 ACRES NET	MEDICAL OFFICE SPACE:	1 SPACE PER 150 S.F.:
TOTAL BUILDING FOOTPRINT:	23,437 s.f.	TOTAL REQUIRED:	312 SPACES
TOTAL GROSS BUILDING AREA:	46,874 S.F.	10% REDUCTION PERMITTED FOR PASSENGER LOADING:	
PROPOSED LOT COVERAGE:	23,436/3.6A. = 14.94%	TOTAL REQUIRED:	282 SPACES
		TOTAL PROVIDED:	282 SPACES
PROPOSED USE:		SPACES TO BE ACCESSIBLE:	
MEDICAL OFFICE SPACE		REQUIRED:	7 SPACES
		PROVIDED:	7 SPACES
JURISDICTION:	CITY OF CHANDLER	SPACES TO BE VAN ACCESSIBLE:	
CURRENT ZONING/ LAND USE:	PAD	REQUIRED:	2 SPACES
		PROVIDED:	2 SPACES



PROPOSED SITE PLAN - CHANDLER, AZ

SCALE : 1" = 20'-0"

PRELIMINARY NOT FOR CONSTRUCTION - FOR CITY REVIEW ONLY

Signature

Architect

**PSWC Architects**  
ARCHITECTURAL  
PLANNING  
INTERIOR DESIGN

1800 VILLAGE CENTER CIR.  
SUITE 3-475  
LAS VEGAS, NEVADA 89134  
TELEPHONE: (702) 259-0011  
FACSIMILE: (702) 259-0080

OWNER

**AVENIR**

11648 E. Shea Blvd.  
#101  
Scottsdale, Az, 85259

Project

**PROPOSED  
CONSTRUCTION  
FOR THE:  
CHANDLER  
SHELL  
OFFICE  
BUILDING**

1760 W. Pecos Rd.  
Chandler, Az 85224  
APN:303-63-310

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building being subject and/or liable.

REVISION:	DATE:

DATE:	10-21-22
PSWC JOB NO.:	
DRAWN BY:	CW
CHECKED BY:	TW
SCALE:	AS NOTED

SHEET TITLE:

**PRELIMINARY  
SITE PLAN**

SHEET NO:

**SITE-1**









PROPOSED SOUTHWEST PERSPECTIVE RENDERING VIEW

SCALE : N.T.S.

**Architect**  
**PSWC Architects**  
ARCHITECTURAL  
INTERIOR DESIGN

908 VILLAGE CENTER DR.  
SUITE 5475  
LAS VEGAS, NEVADA 89134  
TELEPHONE: (702) 254-0400  
FACSIMILE: (702) 254-6302

**OWNER**  
**AVENIR**

11648 E. Shea Blvd.  
#101  
Scottsdale, AZ 85258

**Project**  
**PROPOSED**  
**CONSTRUCTION**  
**FOR THE:**  
**CHANDLER**  
**SHELL**  
**OFFICE**  
**BUILDING**

1780 W. Beards Rd.  
Chandler, AZ 85224  
APN# 060-03-018

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REVISION	DATE

DATE:	4-26-22
PROJECT NO.:	
DRAWN BY:	CF
CHECKED BY:	TW
SCALE:	AS NOTED

**SHEET TITLE**





Signature

Architect



1800 VILLAGE CENTER CIR.  
SUITE 3-475  
LAS VEGAS, NEVADA 89134

TELEPHONE: (702) 259-0011

FACSIMILE: (702) 259-0080

OWNER

AVENIR

11648 E. Shea Blvd.  
#101  
Scottsdale, Az, 85259

Project

PROPOSED  
CONSTRUCTION  
FOR THE:  
**CHANDLER  
SHELL  
OFFICE  
BUILDING**

1760 W. Pecos Rd.  
Chandler, Az 85224  
APN#303-63-310

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right to sell the design and the copyright of the design. Under such protection, unauthorized use of these plans, work or  
forms represented on legal result in the creation of such construction or  
building being subject and/or liable.

REVISION:	DATE:

DATE:	4-26-22
PSWC JOB NO.:	
DRAWN BY:	CW
CHECKED BY:	TW
SCALE:	AS NOTED

SHEET TITLE:  
**PRELIMINARY  
ELEVATIONS**

SHEET NO:  
**SITE-3**



PROPOSED WEST ELEVATION (REAR)

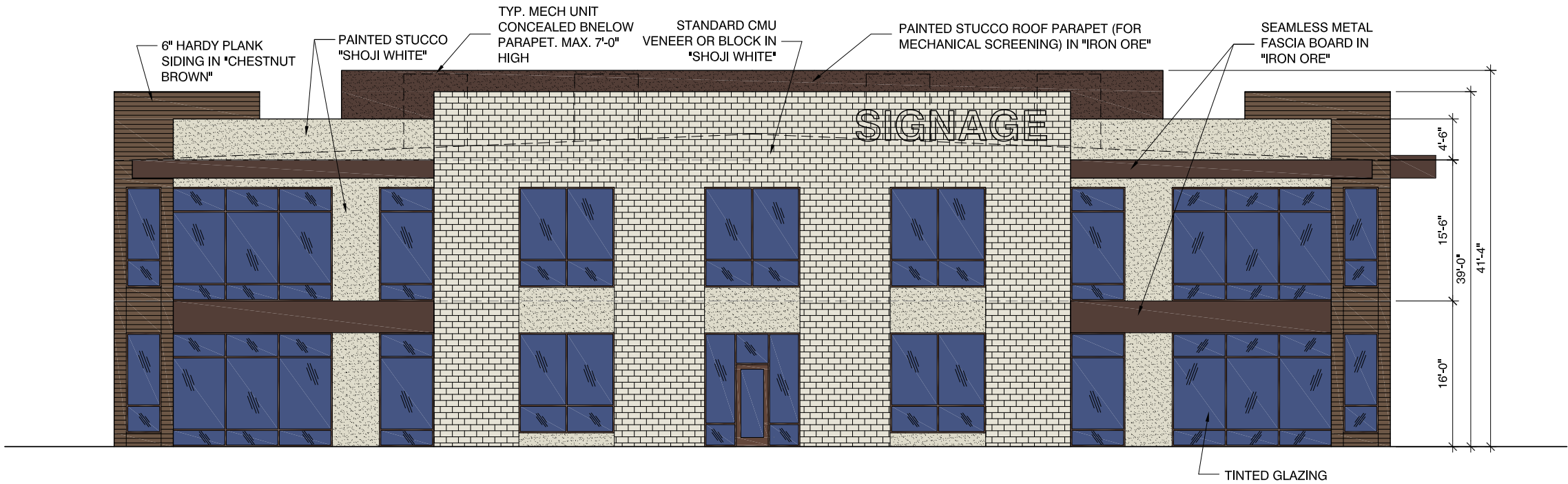
SCALE : 3/16" = 1'-0"



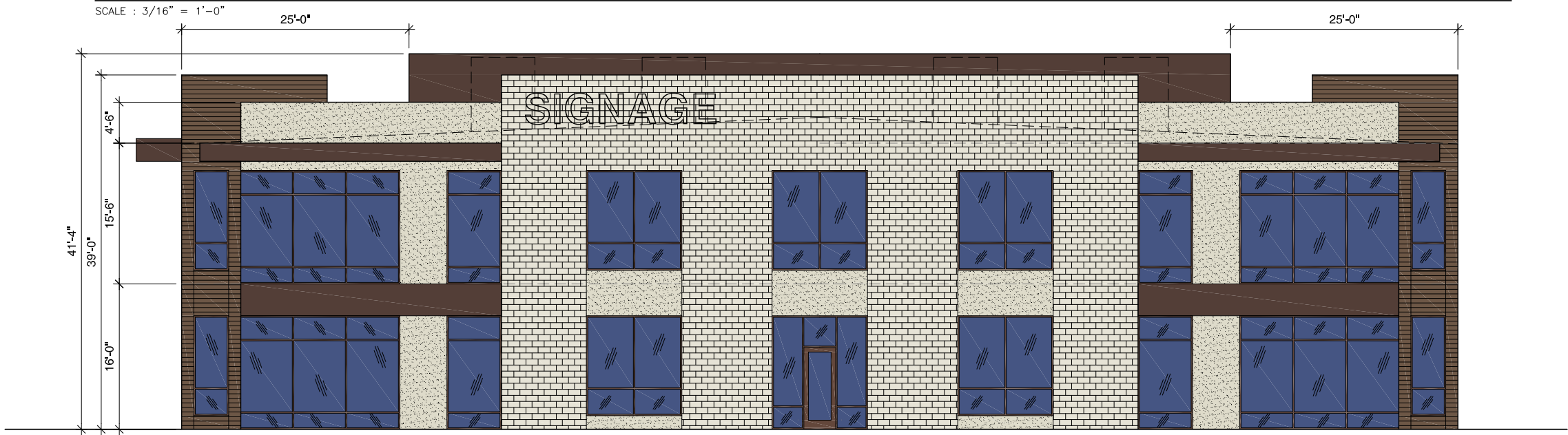
PROPOSED EAST ELEVATION (FRONT)

SCALE : 3/16" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION - FOR CITY REVIEW ONLY



PROPOSED SOUTH ELEVATION (SIDE)



PROPOSED NORTH ELEVATION (SIDE)

Signature

Architect

PSWC Architects

ARCHITECTS

PLANNING

PERFORM DESIGN

1800 VILLAGE CENTER CIR.  
SUITE 3-475  
LAS VEGAS, NEVADA 89134  
TELEPHONE: (702) 259-0011  
FACSIMILE: (702) 259-0380

OWNER

**AVENIR**

11648 E. Shea Blvd.  
#101  
Scottsdale, Az, 85259

Project

**PROPOSED  
CONSTRUCTION  
FOR THE:  
CHANDLER  
SHELL  
OFFICE  
BUILDING**

1760 W. Pecos Rd.  
Chandler, Az 85224  
APN#303-63-310

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REVISION:	DATE:

DATE:	4-26-22
PSWC JOB NO.:	
DRAWN BY:	CW
CHECKED BY:	TW
SCALE:	AS NOTED

SHEET TITLE:

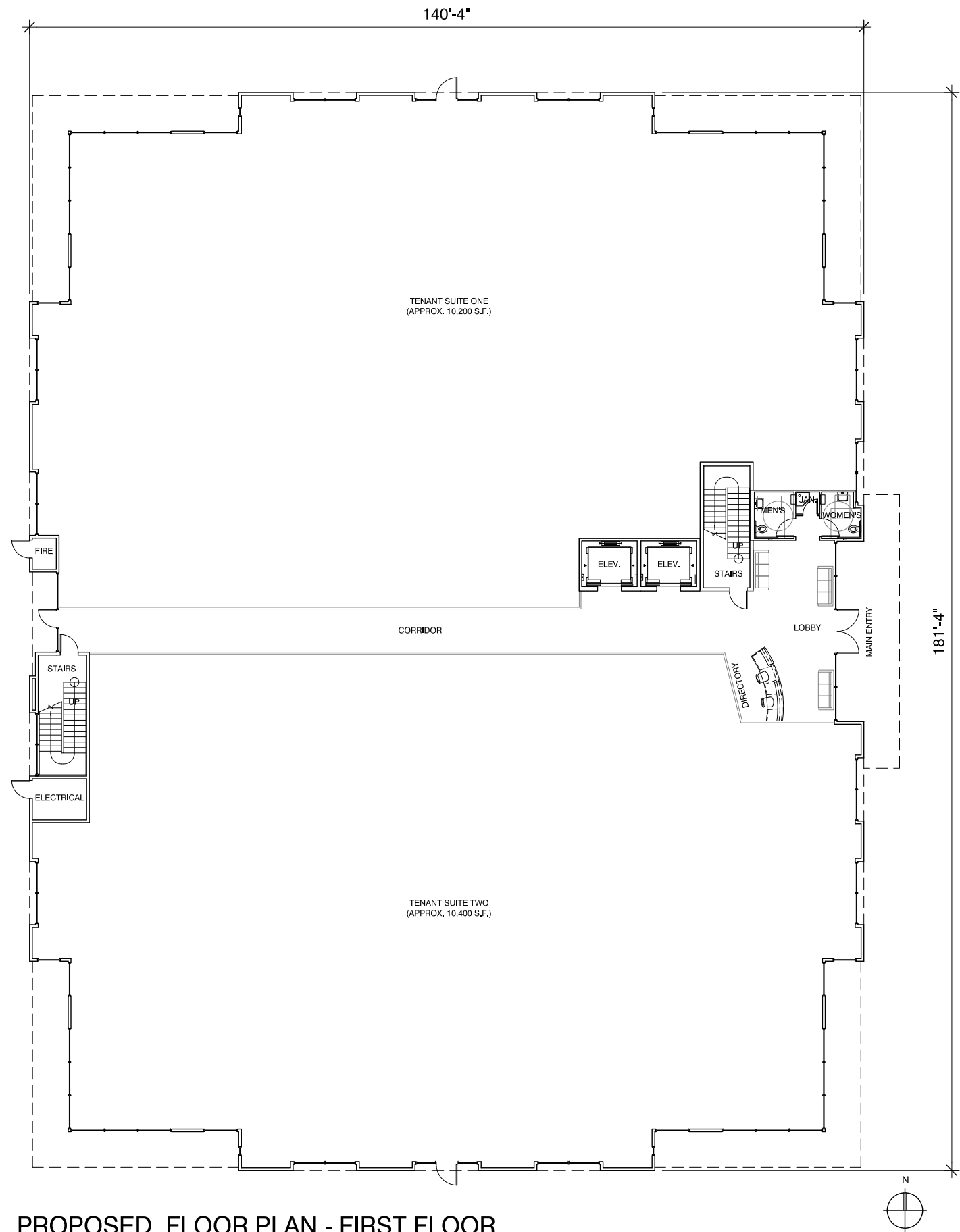
**PRELIMINARY  
ELEVATIONS**

SHEET NO:

**SITE-4**

PRELIMINARY NOT FOR CONSTRUCTION - FOR CITY REVIEW ONLY






PROPOSED FLOOR PLAN - FIRST FLOOR

SCALE : 3/32" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION - FOR CITY REVIEW ONLY

Signature

Architect



PSWC Architects  
ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

1800 VILLAGE CENTER CIR.  
SUITE 3-475  
LAS VEGAS, NEVADA 89134  
TELEPHONE: (702) 259-0011  
FACSIMILE: (702) 259-0380

OWNER

AVENIR

11648 E. Shea Blvd.  
#101  
Scottsdale, Az, 85259

Project

PROPOSED  
CONSTRUCTION  
FOR THE:  
CHANDLER  
SHELL  
OFFICE  
BUILDING

1760 W. Pecos Rd.  
Chandler, Az 85224  
APN#303-63-310

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plans. Under such protection, unauthorized use of these plans, with or  
without payment of royalties, shall constitute an infringement of the copyright in the  
plans and shall be subject to the remedies available under applicable law.

REVISION:	DATE:

DATE:	1-21-22
PSWC JOB NO.:	
DRAWN BY:	CW
CHECKED BY:	TW
SCALE:	AS NOTED

SHEET TITLE:

PRELIMINARY  
FLOOR PLAN  
(FIRST FLOOR)

SHEET NO:

SITE-5







AVENIR OFFICE

NWC PECOS ROAD & PENNINGTON DR, CHANDLER

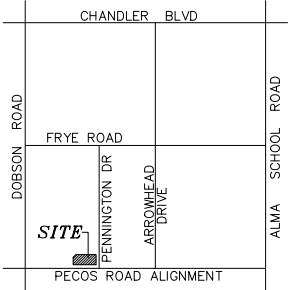
PRELIMINARY GRADING & DRAINAGE PLAN

APN: 303-63-311  
CHANDLER MEMORY CARE, LLP

**OWNER / DEVELOPER**  
PALMS SENIOR LIVING LLLP  
11648 E SHEA BLVD STE 101  
SCOTTSDALE AZ 85259  
MATT WHALEN  
480.451.8200

**ARCHITECT**  
COREY WISSENBACK, AIA  
PSWC ARCHITECTS  
702.259.0011

**SURVEYOR**  
S&W LAND SURVEYING SERVICES  
11042 N 24TH AVE, S104  
PHOENIX AZ 85029  
602.368.8644



**VICINITY MAP**  
SW 1/4, SECTION 32, T1S, R5E  
(NOT TO SCALE)

**LEGAL DESCRIPTION**  
LOT 1, PALMS RESORT RETIREMENT COMMUNITY,  
MINOR LAND DIVISION, AS RECORDED IN BOOK  
1066 OF MAPS, PAGE 26, RECORDS OF MARICOPA  
COUNTY, ARIZONA.

**SITE DATA**  
APN: 303-63-310  
ZONING: PAD  
NET LOT AREA: 158,084 SF = 3.6 ACRES  
TOTAL ON-SITE DISTURBED AREA: 3.6 ACRES

**BENCHMARK**  
FOUND BRASS CAP IN HANDHOLE AT THE INTERSECTION  
OF FAIRVIEW STREET AND THE SOUTH ENTRY TO  
CHANDLER HOSPITAL; 830 FEE EAST OF DOBSON ROAD,  
ONE QUARTER MILE NORTH OF PECOS ROAD.

ELEVATION = 1195.85 NAVD'88 (CITY OF CHANDLER  
BENCH MARK 37A)

**FEMA FIRM**  
PER MAP 04013C2740M, DATED 11/4/2015, THE  
PROPERTY IS WITHIN FLOOD ZONE X.

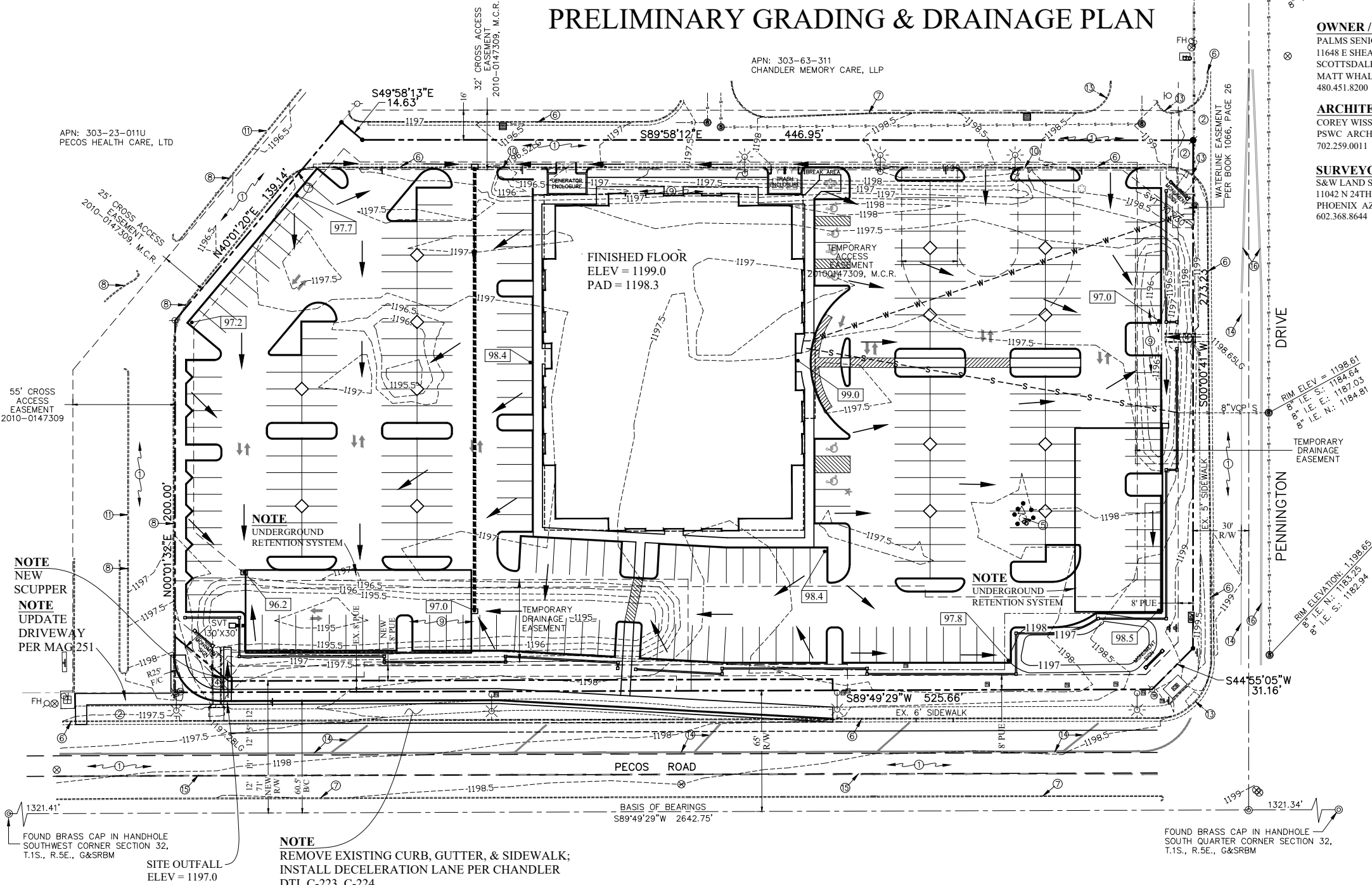
**RETENTION CALCS**  
RETENTION PROVIDED FOR THE LOT PLUS THE 2 HALF  
STREETS.

VOLUME CALCULATIONS  
 $V = (1.1)(2.2' / 12)(204,728 \text{ SF})(0.90) = 37,158 \text{ CF}$   
LOT AREA: 158,084 SF  
HALF STREET AREA: 46,644 SF  
LANDSCAPE AREA: 23,610 SF  
HARDSCAPE: 181,118 SF  
 $CW = [(0.95)(181,118) + (0.5)(23,610)] / 204,728 = 0.90$

VOLUME TO BE PROVIDED WITH A HIGH WATER OF  
1196.0 (AT LEAST 12" LOWER THAN LOWEST STREET  
SCUPPER). THE SYSTEM WILL BE DESIGNED SO THAT  
NO MORE THAN 6" WILL POND ON THE PAVEMENT

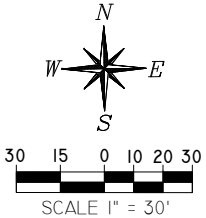
USING THE MC-3500 STORMTECH SYSTEM  
WITH 9" STONE BASE, 178.9 CF OF VOLUME PER  
CHAMBER: 178.9 X 207 CHAMBERS = 37,032 CF  
THE REMAINING MINOR RETENTION WOULD BE  
WITHIN A LANDSCAPED RETENTION BASIN(S) OR ON  
PARKING SURFACES. DURING FINAL DESIGN PLANS  
SOME ADJUSTMENTS COULD BE MADE; HOWEVER, THE  
BULK OF THE RETENTION WILL BE PLACED  
UNDERGROUND. THE UNDERGROUND SYSTEM WILL  
BE CONNECTED TO DRYWELLS; FURTHERMORE, THE 2  
SYSTEMS WILL BE CONNECTED FOR EQUALIZATION.

SITE WILL OUTFALL TO THE RIGHT OF WAY AT THE  
SOUTHWEST CORNER AT THE NEW SCUPPER LIP  
ELEVATION  $\approx 1197.0$   
DRY-UP IS BY PERCOLATION AND DRYWELLS

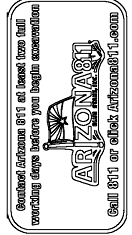


TOPOGRAPHIC SYMBOL LEGEND	
	BACKFLOW PREVENTER VALVE
	FIRE HYDRANT
	WATER VALVE
	FIRE DEPARTMENT CONNECTION VALVE
	WATER VAULT
	SRP IRRIGATION CONTROL BOX
	CATCH BASIN
	IRRIGATION CONTROL VALVE
	SANITARY SEWER MANHOLE
	TELEPHONE RISER
	TRAFFIC SIGNAL CONTROL BOX
	POSSIBLE POWER VAULT
	STREET LIGHT POLE
	SIGN
	CUT OFF METAL/CONCRETE SIGN BASE
	2 INCH METAL PIPE BOLLARD
	6 INCH CUT OFF STEEL SIGN BASE POLE
	TREE
	PALM TREE
	HAND RAIL

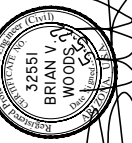
EXISTING TOPOGRAPHIC NOTES	
①	ASPHALT SURFACE
②	CONCRETE DRIVEWAY
③	CONCRETE SIDEWALK
④	CONCRETE SCUPPER
⑤	MISCELLANEOUS CONCRETE
⑥	CURB AND GUTTER
⑦	SINGLE CURB
⑧	EXTRUDED CURB
⑨	RETENTION BASIN
⑩	3 FOOT CURB OPENING
⑪	2 FOOT CURB OPENING
⑫	EXISTING GROUND
⑬	HANDICAP RAMP
⑭	SOLID WHITE PAINT STRIPE
⑮	DASHED WHITE PAINT STRIPE
⑯	SOLID DOUBLE YELLOW PAINT STRIPE



LEGEND	
	DRAINAGE DIRECTION
	FINISHED ELEVATION
	EX. CONTOUR ELEVATION



**GRADING & DRAINAGE ENGINEERS, INC**  
6612 WEST GOLD MOUNTAIN PASS, PHOENIX AZ 85083  
602-381-3371  
INFO@GDEENGINEERS.COM  
God is the builder of everything. -HEBREWS 3:4



**AVENIR OFFICE**  
NWC PECOS RD & PENNINGTON DR  
PRELIM. GRADING & DRAINAGE PLAN

05/05/22

JOB NO.  
21-1839

SHEET

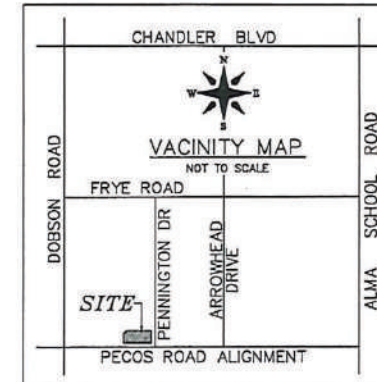
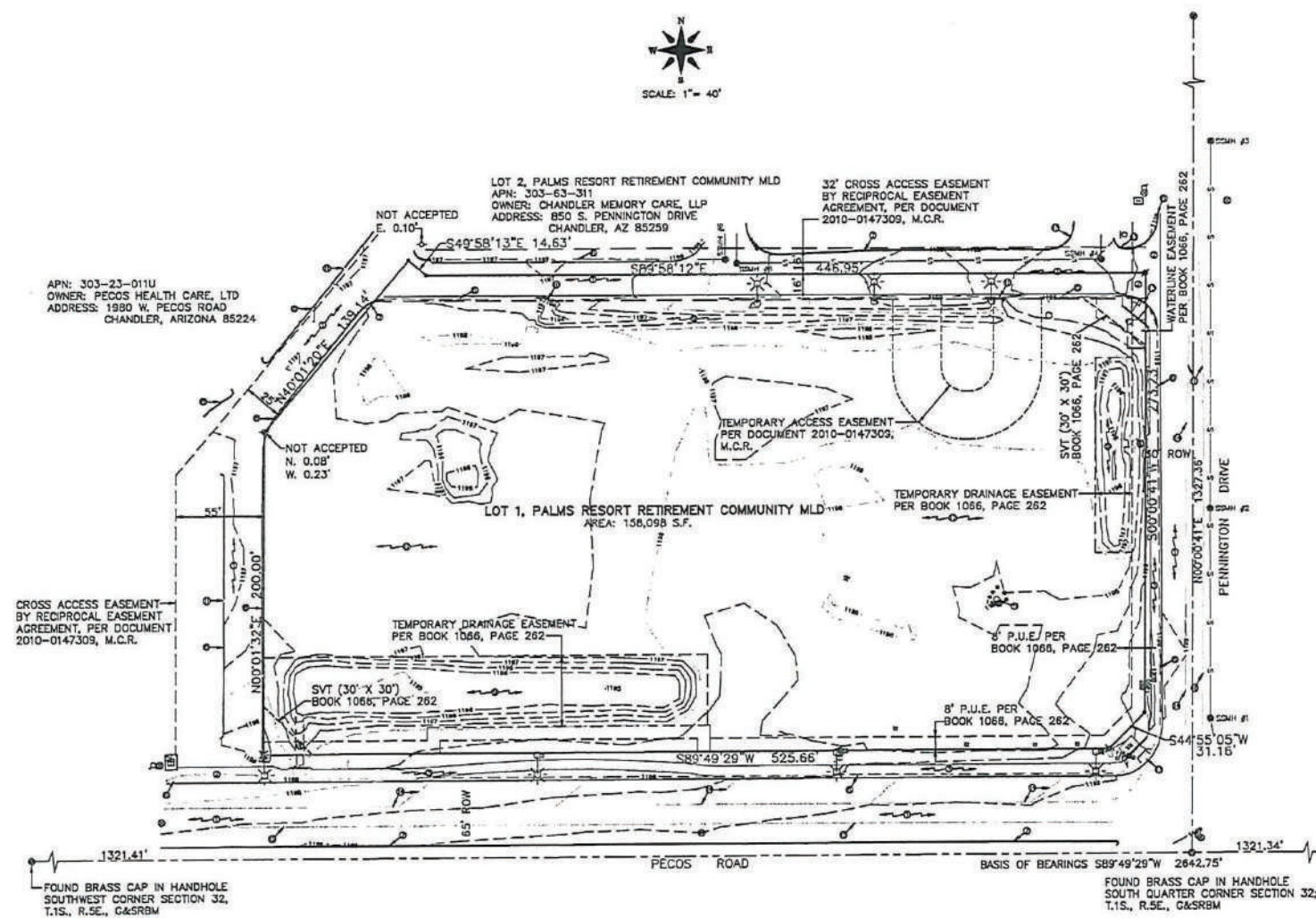
1 OF 1

PRE 21-0033



# BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 1, PALMS RESORT RETIREMENT COMMUNITY MINOR LAND DIVISION, AS RECORDED IN BOOK 1066 OF MAPS, PAGE 26, MARICOPA COUNTY RECORDS, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



## PROPERTY OWNER

PALMS SENIOR LIVING LLP  
11648 E. SHEA BLVD, STE 101  
SCOTTSDALE, AZ 85259  
CONTACT: MATT WHALEN  
PH: 480-451-8200

## PROPERTY ADDRESS

NO ADDRESS CURRENTLY ASSIGNED  
APN 303-83-310  
CHANDLER, ARIZONA 85224

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES AS SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## FLOOD ZONE INFORMATION

FLOOD INSURANCE RATE MAP NUMBER 04013C2740M  
MAP REVISION DATE OF NOVEMBER 04, 2015

ZONE "X", AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

FLOOD ZONE DESIGNATION PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

## REFERENCE DOCUMENTS

PALMS RESORT RETIREMENT COMMUNITY MLD PER BOOK 1066 OF MAPS, PAGE 26, M.C.R.

## BASIS OF BEARINGS

SOUTH 89 DEGREES 49 MINUTES 29 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE MERIDIAN, AS SHOWN ON THE MINOR LAND DIVISION OF PALMS RESORT RETIREMENT COMMUNITY, RECORDED IN BOOK 1066 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA.

## LEGAL DESCRIPTION

LOT 1, PALMS RESORT RETIREMENT COMMUNITY, MINOR LAND DIVISION, AS RECORDED IN BOOK 1066 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA.

## BENCHMARK

FOUND BRASS CAP IN HANDHOLE AT THE INTERSECTION OF FAIRVIEW STREET AND THE SOUTH ENTRY TO CHANDLER HOSPITAL; 830 FEET EAST OF DOBSON ROAD, ONE QUARTER MILE NORTH OF PECOS ROAD.

ELEVATION: 1195.85 FEET NAVD83 (CITY OF CHANDLER BENCH MARK 37A)

## SURVEYOR'S NOTES

1.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS OF RECORD.

## SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS RESULT OF SURVEY MAP CONSISTING OF 1 SHEET WAS MADE IN ACCORDANCE WITH THE "ARIZONA BOUNDARY SURVEY MINIMUM STANDARDS" AND REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF DECEMBER, 2021; THAT THE SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE MONUMENTS SHOWN ACTUALLY EXIST AND THAT SAID MONUMENT ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

*Richard A. Stockman*  
RICHARD A. STOCKMAN  
ARIZONA R.L.S.#36328

## TOPOGRAPHIC SYMBOL LEGEND

- BACKFLOW PREVENTER VALVE
- FIRE HYDRANT
- WATER VALVE
- FIRE DEPARTMENT CONNECTION VALVE
- WATER VAULT
- SRP IRRIGATION CONTROL BOX
- CATCH BASIN
- IRRIGATION CONTROL VALVE
- SANITARY SEWER MANHOLE
- TELEPHONE RISER
- TRAFFIC SIGNAL CONTROL BOX
- POSSIBLE POWER VAULT
- STREET LIGHT POLE
- SIGN
- CUT OFF METAL/CONCRETE SIGN BASE
- 2 INCH METAL PIPE BOLLARD
- 6 INCH CUT OFF STEEL SIGN BASE POLE
- TREE
- PALM TREE
- HAND RAIL

## TOPOGRAPHIC NOTES

- ASPHALT SURFACE
- CONCRETE DRIVEWAY
- CONCRETE SIDEWALK
- CONCRETE SOUPPER
- MISCELLANEOUS CONCRETE
- CURB AND CUTTER
- SINGLE CURB
- EXTRUDED CURB
- RETENTION BASIN
- 3 FOOT CURB OPENING
- 2 FOOT CURB OPENING
- EXISTING GROUND
- HANDICAP RAMP
- SOLID WHITE PAINT STRIPE
- DASHED WHITE PAINT STRIPE
- SOLID DOUBLE YELLOW PAINT STRIPE

## BOUNDARY SYMBOL LEGEND

- FOUND CITY OF CHANDLER BRASS CAP IN HANDHOLE
- FOUND CITY OF CHANDLER BRASS CAP FLUSH
- FOUND 1/2" IRON ROD WITH CAP MARKED LS 19857
- FOUND P.K. NAIL WITH WASHER MARKED LS 42137
- SET 1/2" IRON ROD WITH CAP MARKED RLS 36328
- SET P.K. NAIL WITH WASHER MARKED RLS 36328

## SANITARY SEWER MANHOLE #1

RIM ELEVATION: 1,198.65'  
1" I.E. N.: 1183.25'  
1" I.E. S.: 1182.94'

## SANITARY SEWER MANHOLE #2

RIM ELEVATION: 1,198.61'  
1" I.E. S.: 1184.64'  
1" I.E. E.: 1187.03'  
1" I.E. N.: 1184.81'

## SANITARY SEWER MANHOLE #3

RIM ELEVATION: 1,198.76'  
1" I.E. S.: 1187.24'  
1" I.E. W.: 1188.49'  
1" I.E. N.: 1187.20'

## SANITARY SEWER MANHOLE #4

RIM ELEVATION: 1,199.04'  
1" I.E. N.: 1189.60'  
1" I.E. W.: 1189.68'

## SANITARY SEWER MANHOLE #5

RIM ELEVATION: 1,197.88'  
1" I.E. E.: 1186.89'  
1" I.E. N.: 1189.94'

## SANITARY SEWER MANHOLE #6

RIM ELEVATION: 1,197.56'  
12" I.E. W.: 1191.08'  
12" I.E. N.: 1191.05'

11042 N. 24TH AVE, STE 104  
PHOENIX, ARIZONA 85029  
PHONE :602-366-8644  
WWW.SWLANDSURVEYING.COM

LAND  
SURVEYING  
SERVICES

S&W

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 2, PALMS RESORT RETIREMENT COMMUNITY MINOR LAND DIVISION, AS RECORDED IN BOOK 1066 OF MAPS, PAGE 26, MARICOPA COUNTY RECORDS, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

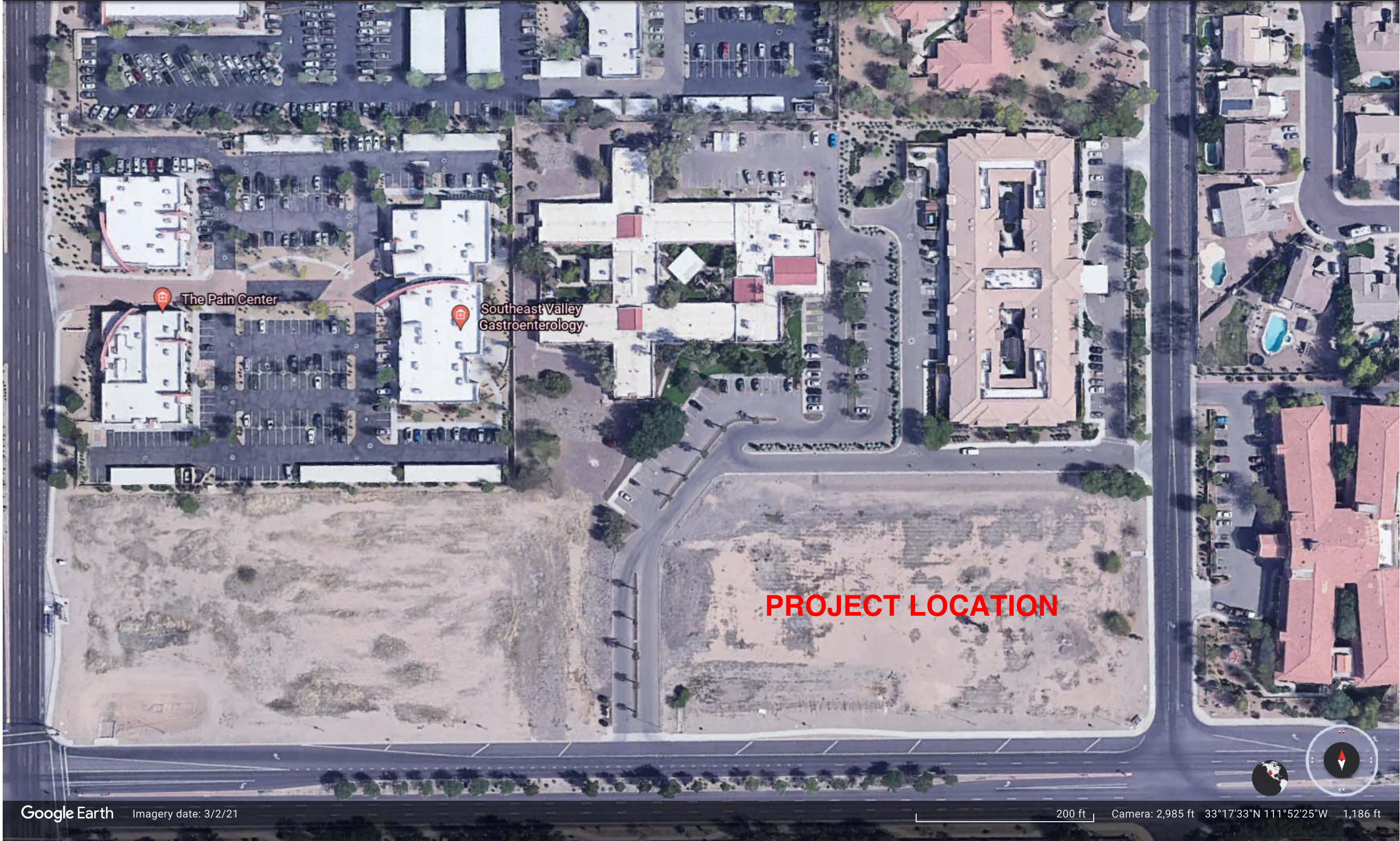


EXPRES 6/30/22

SHEET

1 OF 1







Legal Description  
APN 303-63-310

LOT 1, PALMS RESORT RETIREMENT COMMUNITY,  
MINOR LAND DIVISION, AS RECORDED IN BOOK  
1066 OF MAPS, PAGE 26, RECORDS OF MARICOPA  
COUNTY, ARIZONA.

PARCEL NO. 1

COMMENCING at the Southwest corner of Section 32, Township 1 South, Range 5 East of the  
Gila and Salt River Base and Meridian, Maricopa County, Arizona;  
Thence North 89 degrees 49 minutes 29 seconds East, along the South line of said Section 32, a distance of  
743.70 feet to a point;

Thence North 00 degrees 01 minutes 32 seconds East. 33.00 feet to the TRUE POINT Of  
BEGINNING;

Thence North 00 degrees 01 minutes 32 seconds East, a distance of 232.00 feet

Thence North 40 degrees 01 minutes 32 seconds East, a distance of 152.09 feet

Thence South 89 degrees 58 minutes 28 seconds East, a distance of 168.22 feet;

Thence North 00 degrees 01 minutes 32 seconds West, a distance of 232.00 feet

Thence North 89 degrees 58 minutes 28 seconds West, a distance of 40.00 feet

Thence North 44 degrees 58 minutes 28 seconds West, a distance of 28.28 feet

Thence North 00 degrees 01 minutes 32 seconds East, a distance of 110.00 feet

Thence North 89 degrees 54 minutes 19 seconds East, a distance of 371.58 feet

Thence South 00 degrees 00 minutes 53 seconds West, a distance of 409.37 feet (measured),  
409.30 feet (record) to a point on the Northeast corner of properly described in Document No.  
2003-1608392, records of Maricopa County, Arizona;

Thence along the North line of above mentioned property, South 89 degrees 49 minutes 29  
seconds West, a distance of 300.00 feet to the Northwest corner of property described in above  
said document;

Thence along the West line of above mentioned property, South 00 degrees 00 minutes 53  
seconds West, a distance of 300.00 feet to the North right-of-way line of Pecos Road;

Thence South 89 degrees 49 minutes 29 seconds West, a distance of 277.70 feet along said North  
right-of-way line to the TRUE POINT OF BEGINNING.

EXCEPT that portion conveyed to the City of Chandler, on Arizona municipal Corporation in General Warranty  
Deed recorded in Document No. 2003-869630, Maricopa County Records, described as follows:  
The North 32.00 feet of the South 65.00 feet of thereof.



**Planning & Zoning Commission Memorandum  
Memo No. 22-051**

**Development Services**

**Date:** 11/16/2022  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
David de la Torre, Planning Manager  
**From:** Lauren Schumann, Principal Planner  
**Subject:** PLH22-0019 Hartford Square  
**Request:** Rezoning from Agricultural (AG-1) district to Planned Area Development (PAD) for medium density residential

Preliminary Development Plan for site layout and building architecture

**Location:** North of the northeast corner of Warner Road and Hartford Street

**Applicant:** Rudy Ing, Tenax

---

**Proposed Motion:**

**Rezoning**

Move Planning and Zoning Commission recommend approval of Rezoning PLH22-0019 Hartford Square, Rezoning from AG-1 to PAD for medium density residential, subject to the conditions as recommended by Planning staff.

**Preliminary Development Plan**

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH22-0019 Hartford Square for site layout and building architecture, subject to the conditions as recommended by Planning staff.

**Background Data:**

- Subject site .998 acres and vacant
- General Plan designates the site as Neighborhoods and borders the North Arizona Avenue Growth Area
- Project consists of townhouse and two-family units; totaling 11 units

## Surrounding Land Use Data:

North	Residential patio homes	South	Preschool
East	Single-family residential	West	Medical offices

## General Plan and Area Plan Designations

	Existing	Proposed
General Plan	Neighborhoods	No change

## Proposed Development

Units	One townhouse with five units Three duplex units with six units 11 units total
Unit Square Footage	Townhouse: 3-bedrooms ~ 1,810 sq. ft. Duplex: 2-bedrooms ~1,007 sq. ft.
Parking	<ul style="list-style-type: none"><li>• Townhouse units: two-vehicle garage</li><li>• Duplex units: one-vehicle garage with one-vehicle drive-way partially covered</li><li>• Eight guest spaces</li><li>• No on-street parking</li></ul>
Building Setbacks	West (front): 20 feet North: 10 feet East: 10 feet South: 5 feet
Building Height	Townhouse: two-story 25 feet Duplex: one-story 17 feet
Building Design	Contemporary design Materials used stucco, metal awnings, and inset windows Flat parapets
Open Space	Each unit ground level private patio not secured Two-story units upper patio Outdoor amenity area with ramada, tables, fire-pit, and lush landscaping



## **Review and Recommendation**

The subject site is an approximate one-acre infill parcel located between an existing commercial uses fronting an arterial street and patio-home residential subdivision. The proposed medium-density housing product is designed as to be compatible by providing one-story duplexes adjacent to existing single-family patio homes and two-story townhouses are proposed adjacent to commercial. Furthermore, a dissimilar landscape strip with trees planted at twelve feet in height will provide additional buffer to existing residents. Two parking spaces are provided for each unit and additional guest spaces are provided on-site by common amenity areas. Each unit will also provide a private patio. The proposed medium density residential provides a variety of housing options for while being a compatible land use with surrounding existing land-uses.

Planning staff finds the proposed rezoning and preliminary development plan aligns with the goals of the General Plan. The General Plan identifies the site as Neighborhoods and bordering the North Arizona Avenue growth area, which allows for consideration of varying degrees of density depending on the site's specific circumstances. The proposed density is consistent with the General Plan guidance, which allows for medium densities up to 12 dwelling units per acre for infill parcels used to serve as transitional land use. As such, staff recommends Planning and Zoning Commission recommend approval, subject to conditions.

## **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- A neighborhood meeting was held on October 20, 2022. Six property owners, the applicant's team, and staff attended the meeting. Questions regarding the development of the infill property included perimeter landscaping, construction timelines, prohibiting use of the adjacent homeowner's association open space, and increasing wall height along the south separating the proposed development and the existing special education school. The developer/future property owner provided their contact number as a point of direct contact for construction concerns or future operational concerns.
- As of the writing of this memo, Planning staff is not aware of any concerns or opposition to the request.

## **Recommended Conditions of Approval:**

### **Rezoning**

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from AG-1 to PAD for medium density residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Hartford Square" and kept on file in the City of Chandler Planning Division, in File No. PLH22-0019, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Medium density residential shall be permitted up to a maximum density of twelve (12) dwelling units per acre.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
4. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
7. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
8. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Property Line	Building Setback
West (Hartford Street)	20 feet
North	10 feet

East	10 feet
South	5 feet

## **Preliminary Development Plan**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Hartford Square" and kept on file in the City of Chandler Planning Division, in File No. PLH22-0019, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by Chandler City Council.
2. Units along the north and east property lines shall be constructed with single-story units only.
3. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator
4. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
5. Each garage shall be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment.
6. All mechanical equipment, including HVAC, utility meters, etc. shall be fully screened on all sides. Said screening shall be architecturally integrated with the building.
7. The site shall be maintained in a clean and orderly manner.

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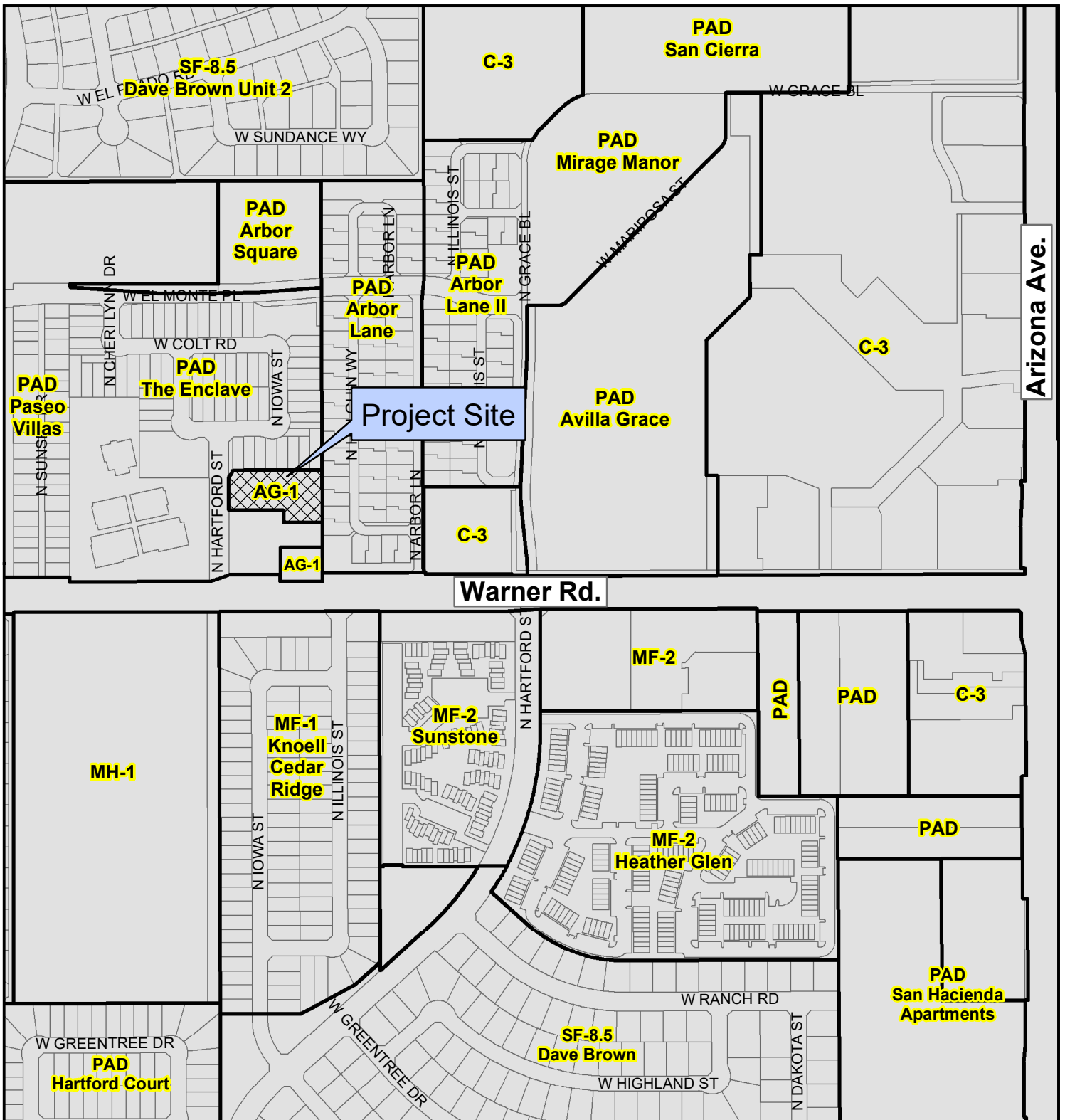
## **Attachments**

Vicinity Maps

Development Booklet







## PLH22-0019 Hartford Square



### Proposed Project Details REZONE/PDP

Approx. 1 Acre

11 Medium Density Residential Units

11.1 Dwelling units per acre

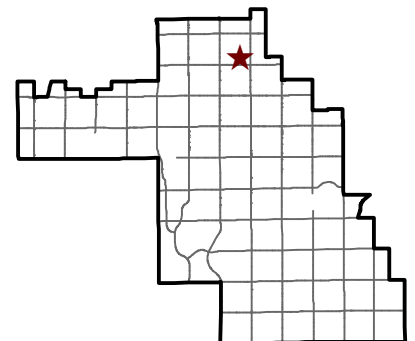


City of Chandler Planning Division

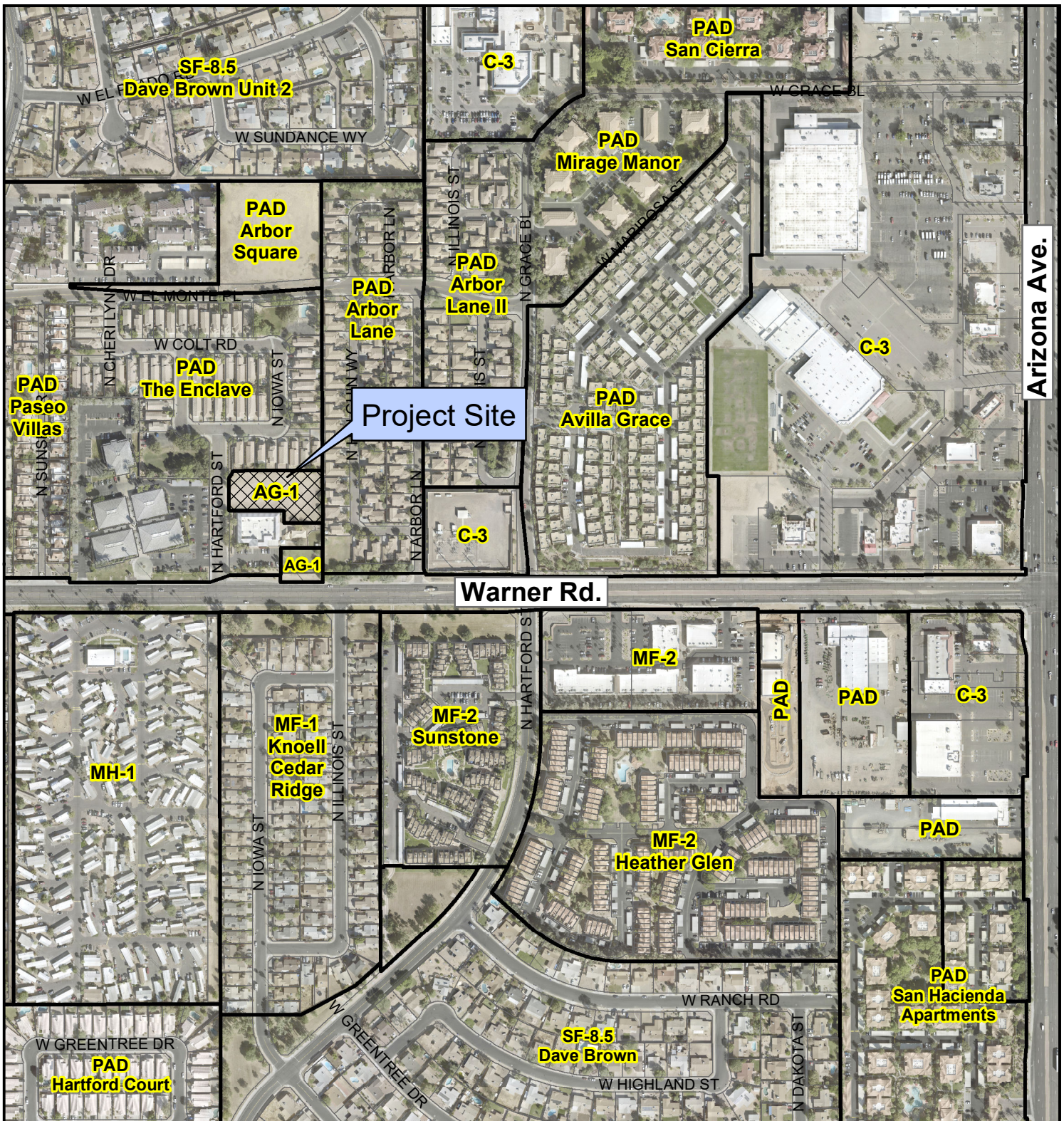
[chandleraz.gov/planning](http://chandleraz.gov/planning)

For more information visit:

<https://gis.chandleraz.gov/planning>







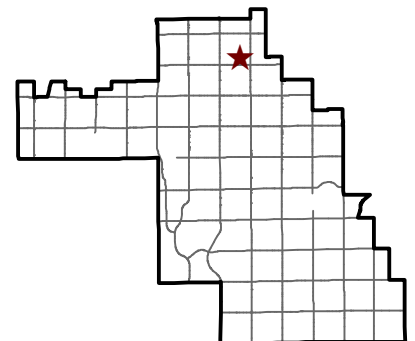
## PLH22-0019 Hartford Square



**Proposed Project Details**  
**REZONE/PDP**  
 Approx. 1 Acre  
 11 Medium Density Residential Units  
 11.1 Dwelling units per acre



City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>







# REZONE + PDP BOOK

CHANDLER RESIDENTIAL COMMUNITY

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PROJECT

**Hartford Square**

APN

**302-28-001M**

SUBMITTED BY

**Tenax LLC**

SUBMITTED

**11.04.2022**

CASE

**PLH22-0019**



## Table of Contents

1	Development Team
2	Aerial Map
3	Overview + Proposed Zoning
4	Project Narrative
9	ALTA Survey
10	Site Plan
11	Floorplans
13	Elevations
15	Renderings
21	Detail Sheets
25	Grading Plan
26	Utility Plan
27	Landscape Plan
28	Color + Material Board

DEVELOPER

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info@champagneinc.com



SURVEYOR

**RLF Consulting**

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ARCHITECT

**Burton & Associates Architects**

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Tucson, AZ 85712  
richard.burtonarch@gmail.com









Location:	N Hartford St & W Warner Rd	Existing Zoning:	AG-1
Parcel:	302-28-001M	Proposed Zoning:	PAD

## Overview

The Hartford Square project proposes to rezone a vacant 0.986 acre site located at N Hartford St and W Warner Rd from AG-1 (Agricultural) to PAD (Planned Area Development) for multifamily development.

The property consists of one (1) parcel (APN: 302-28-001M). The site is currently vacant and well positioned for a rezone development that transitions from the commercial uses to the south and west to the single-family residential use to the north and east.

The project was submitted for staff review under presubmittal PRE21-0111 as well as under case PLH22-0019. The enclosed zoning change request and PDP documents are responsive to city staff formal review comments as well as advice and direction from staff during informal site concept revisions. The proposed zoning helps achieve the goals of the General Plan and is an enhancement to the neighborhood and the City of Chandler.

## Proposed Zoning

Hartford Square seeks PAD zoning at a density level identified in The Chandler General Plan as "Medium-density residential (3.5-12du/ac). The Chandler General Plan states that:

"Medium-density residential (3.5-12 dwelling units per acre) can be considered for infill parcels in areas located between land uses of different intensities where a transitional use or density gradation is advisable, or as a component of a mixed-use development."

"Medium-density residential may be located along arterial roads, freeway corridors, adjacent to employment and commercial areas, regional parks or major recreation facilities, or as part of an approved neighborhood or area plan where compatibility, transition, or other justifications warrant approval."



## Compatibility

The site is located on the west boundary and central to the North Arizona Avenue Growth Area as shown on the General Plan map to the right. The site borders the “Regional Commercial” designation and is less than 2,000 feet west of the “Employment” designation. Providing high-quality residential development within close proximity to these growth areas and designations will attract a strong employee pool.

The site is designated on the Chandler General Plan Land Use Map as “Neighborhoods”. This designation allows for a “range of densities.” Hartford Square is exactly the type of housing that is in demand. It provides a living experience in a community that bridges between apartments and traditional single-family residential.

Given Hartford Square’s close proximity to “Regional Commercial” and “Employment” designations, residents have the opportunity for bicycle commuting as well as great walkability to surrounding amenities. This includes walk times of four minutes to public transit, six minutes to Walmart, and three to five minutes to over 20 eateries.

The combination of density below 12 du/ac, variation of one and two stories, and exceptional design creates the optimal balance of providing density while complementing the neighboring single-family properties.

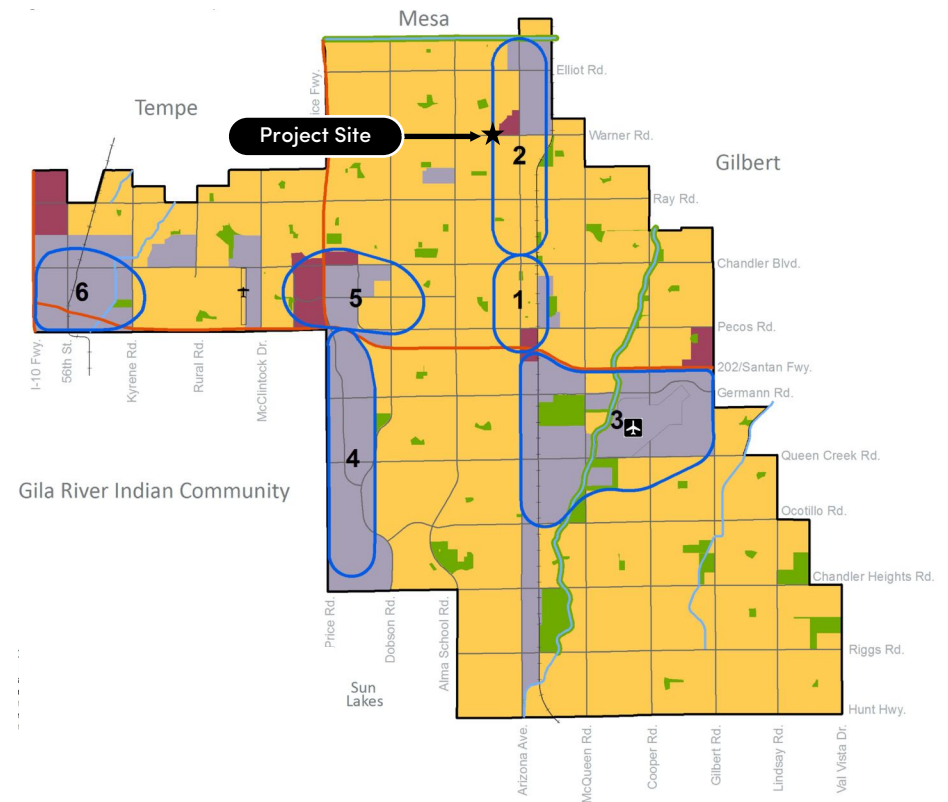
The Chandler General Plan seeks to promote comprehensive direction for the growth, conservation and development of all physical aspects of the City. The proposed rezone meets or exceeds the following goals outlined in the General Plan, as detailed below.

## General Plan 2016

“The city has matured and is now land-locked where large developable land parcels are few and infill or redevelopment is how future development will occur.”

Hartford Square accomplishes the goals of infill development in Chandler. The subject property has been a vacant dirt lot surrounded by developed properties for over two decades. The proposed development provides the opportunity for high-quality residential density near Chandler’s North Arizona Avenue Growth Area. Located on the west edge of the North Arizona Avenue Growth Area, Hartford Square aligns with the Growth Area’s goals of bringing more density to support local businesses.

## Chandler General Plan Map



## Map Key

### GROWTH AREAS

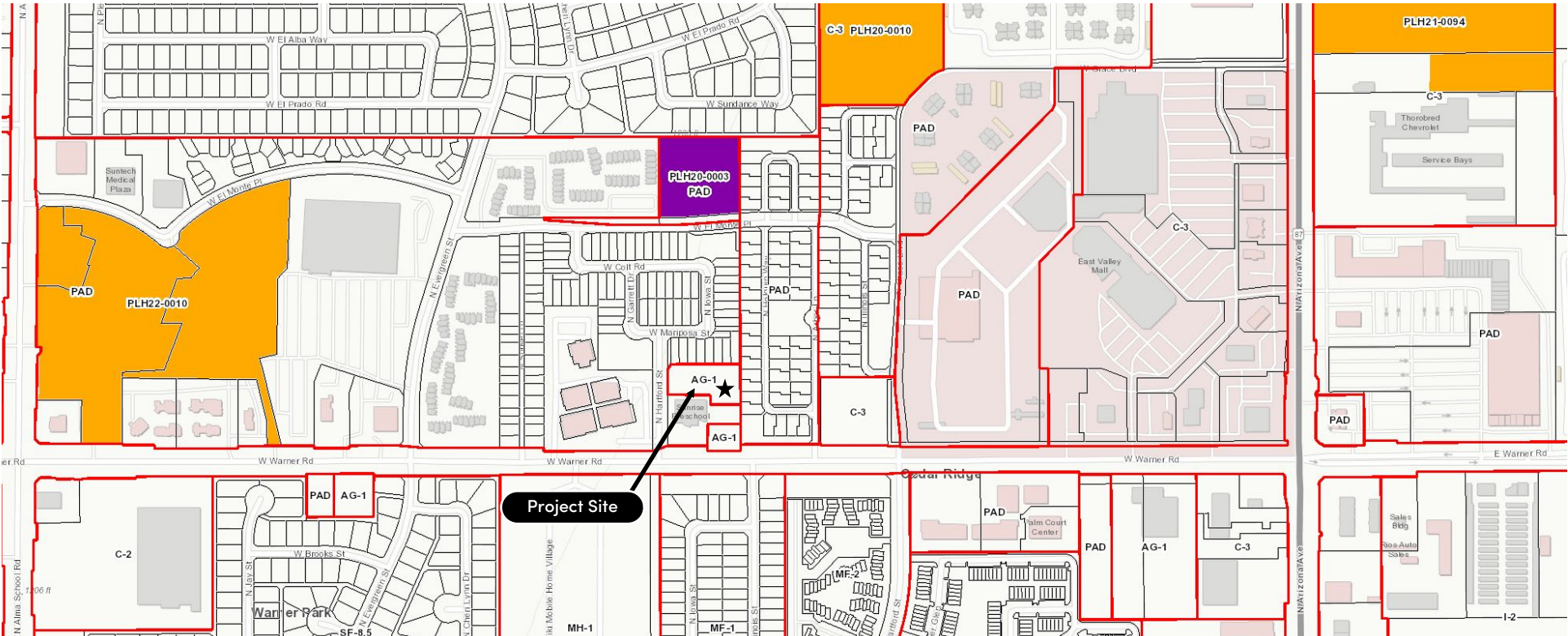
1. Downtown Chandler
2. North Arizona Avenue
3. Chandler Airport
4. South Price Road Corridor
5. Medical/Regional Loop
6. I-10/Loop 202

### GP LAND DESIGNATION

- Neighborhoods**
- Regional Commercial
- Employment
- Recreation/Open Space



Zoning Map



Existing Conditions

PROPERTY	GP LAND DESIGNATION	ZONING	CURRENT LAND USE
Subject Site	Neighborhoods	AG-1	Vacant
North	Neighborhoods	PAD	Residential
East	Neighborhoods	PAD	Residential
South	Neighborhoods	PAD	Commercial / School
West	Neighborhoods	PAD	Commercial / Office

## Site Design

The site design takes into consideration the lot's surrounding properties. The development is a mixture of six (6) single-story units and five (5) two-story units. Feedback from planning staff provided guidance for the site layout. Single-story units are situated adjacent to the residential homes to the north and east, while two-story units are situated adjacent to the commercial uses to the south and west.

The subject project's single level units along the north and east property lines are a lower linear count than the adjacent houses mirrored along the same north and east boundaries. There are eight homes along the north property line, while Hartford Square has five units along the same boundary. The development to the east has approximately four homes along the property line, while Hartford Square has two units along the same boundary. Additionally several of the homes along the north and east boundaries are two stories, while Hartford Square maintains single-story along the same boundaries.

Hartford Square units have been provided with attached garages and designated shaded parking spaces to further provide a single-family home experience, thereby eliminating a large apartment like parking area.

## Building Architecture

The development is designed with a contemporary architectural theme. Various high quality materials and finishes were carefully selected ensuring a pleasing combination of cohesiveness and diversity. All materials, landscaping, and parking will be in accordance with code requirements and standards.

Variation in facade depths, parapets, and rooflines in conjunction with overhangs creates visual interest from both the main street as well as within the property. These points of differentiation also break up the massing and create the feel of individual homes as seen on the elevations and renderings. Features such as covered patios and private open space with unencumbered area extend the interior space to the exterior.

All two-story homes in Hartford Square are approximately 1,810 square feet per unit and will consist of a three-bedroom floor plan with generous private outdoor space and a two-car garage. The single-story product that we have introduced in accommodation to the neighbors to the north and east will be approximately 1,007 square feet per unit. This product has been designed for residents who desire the privacy and features of a single-family home though require less maintenance.

## Proposed Landscaping

The landscape design for Hartford Square will be in compliance with the City of Chandler Landscape Design Guidelines. Hartford Square will feature a lush, low water landscaping environment.

As shown on the enclosed Preliminary Landscape Plan the shrub and groundcover plant material is a mix of seasonal flowering plants with yellow, pink, and purple color. Integrated into the design are medium to large canopy trees to shade sidewalks and driveways as well as to buffer the existing residential properties to the north and east of the site.

At the residential site boundaries (north and east) a 10' dissimilar land use buffer is provided with a 6' screen wall and evergreen trees and four shrubs planted 20' on center. The trees used along the buffer are Acacia Aneura and Acacia Stenophylla.

The required parking on the site is exceeded by 25%. Two-bedroom units are provided with a one-car garage and one covered parking space while three-bedroom units are provided with a two-car garage, thereby exceeding the required covered parking requirements by 100%. The eight "extra" parking spaces will be available for guests of which five will be covered. Additionally, one van accessible handicap space is provided.

The trash enclosure for the property is well concealed and is thoughtfully located well outside of a building setback and distant from the main street.

The Hartford Road landscape buffer consists of a mixture of low ground cover, grass, and more mature trees. A shallow detention basin is provided to create mounding and heavier landscape density at the front of the lot.

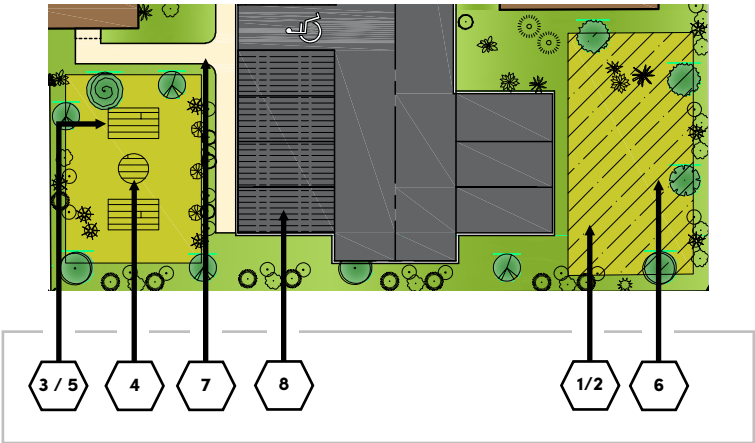
The landscape will be watered through automatic irrigation to ensure maximum water conservation.

# An Elevated Experience

Hartford Square will be a well-designed residential community that incorporates open space and recreational area to provide residents an exceptional quality of life. Inviting frontages, as well as forward thinking design will create an interactive community.

Centralized amenities include an open recreation area as well as a community area amenity with bench seating options, covered pavilion and fire table with lounge chairs, all of which encourage outdoor gatherings. Additionally, residents will have access to outdoor games including bean bag toss and large scale tic tac toe.

These outdoor games and gathering spaces will not only inspire resident interaction, but also provide an open play area. The combination of inviting outdoor amenities with beautiful landscaping will create a truly enjoyable environment.



## Unit Features

- |                            |                            |
|----------------------------|----------------------------|
| + Fully Appointed Kitchens | + Direct Access Garages    |
| + Contemporary Bathrooms   | + Contemporary Fixtures    |
| + Spacious Living Areas    | + LED Recessed Lighting    |
| + Large Master Bedrooms    | + Generous Ceiling Heights |
| + Attractive Color Palette | + Private Outdoor Spaces   |

## Community Features

- |                      |                           |
|----------------------|---------------------------|
| 1. Bean Bag Toss     | 6. Recreation Area        |
| 2. Large Tic Tac Toe | 7. Landscaped Grounds     |
| 3. Outdoor Pavilion  | 8. Ample Visitor Parking  |
| 4. Fire Table        | + Forward Thinking Design |
| 5. Community Seating | + Attractive Architecture |





### **Analysis of Probable Impact**

The proposed rezoning will not impact the cost of constructing housing.

### **Deviations**

The project seeks a deviation for a setback reduction from 25' to 20' along the Hartford Road frontage. The proposed setback of 20' is identical to that of the residential community to the north. The adjacent community has a block wall at 22' (from back of curb), whereas the subject project maintains 28' clear from back of curb to wall structure.

As additional mitigation, the project provides increased landscape density along the frontage and increased plant sizing by using the next larger container size (e.g. 5-gallon versus 3-gallon). Given the full build-out of the community, the traffic volume on Hartford will not require road width expansion and the 28' feet from back of curb is generous.

One final consideration is the site is constrained by narrow and deep dimensions, thereby requiring a "hammerhead" access for fire vehicles. Engineering attempted many different configurations and this final configuration works well, but requires the setback reduction. The deviation is small, matches the adjacent property and is mitigated by increased landscape, more mature landscape and the eight feet of right of way.

### **Constraints**

The subject property is an infill site. Infill development can be challenging for multiple reasons. Most notably, because infill development occurs after an area has already been developed and therefore the price of land has greatly increased. This can financially constrain the viability of infill projects.

The long time vacancy of this lot is evidence to its development challenges. At under 1-acre, it takes creativity to fit a project on this site that provides enough density to make the project developable while still buffering the residential neighbors to the north and east as much as possible.

### **Conclusion**

Hartford Square is consistent with the surrounding zoning and land uses and provides a quality solution for this vacant infill site. If left undeveloped, vacant parcels can have a tendency to degrade the surrounding area. The quality design proposed for this vacant parcel will undoubtedly enhance and improve the immediate and surrounding area.

Hartford Square helps fill the housing need from the Chandlers' expanding employment growth. Hartford Square will be a quality addition to the neighborhood by providing a beautifully designed product that will provide an ideal transition between the single-family developments to the north and east and the commercial uses to the south and west.

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BRG.
C1	25.00	55.00	26°02'46"	N32°19'34"E 24.79

### LEGAL DESCRIPTION (TITLE REPORT)

THE SOUTH HALF OF THE WEST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA: EXCEPT THAT PORTION LYING WITHIN, THE ENCLAVE, ACCORDING TO BOOK 453 OF MAPS, PAGE 31, RECORDS OF THE MARICOPA COUNTY, ARIZONA.

AND ALSO EXCEPT THAT THE PART OF SAID SOUTH HALF OF THE WEST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, LYING IMMEDIATELY ADJACENT TO AND SOUTH OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 16; THENCE NORTH (ASSUMED), A DISTANCE OF 40.00 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 40 SECONDS EAST, A DISTANCE OF 30.00 FEET; THEN NORTH (ASSUMED), A DISTANCE OF 230.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 89 DEGREES 56 MINUTES 40 SECONDS WEST A DISTANCE 171.17 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 49 SECONDS WEST, A DISTANCE OF 42.00 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 40 SECONDS EAST, A DISTANCE OF 130.00 FEET TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16, AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED LINE.

### TITLE REPORT SCHEDULE "B II" ITEMS

- SECOND INSTALLMENT OF 2021 TAXES, A LIEN, PAYABLE ON OR BEFORE MARCH 1, 2022, AND DELINQUENT MAY 1, 2022. (SURVEYOR'S NOTE: NOT A SURVEY MATTER)
- THE LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY REASON OF: (A) INCLUSION THEREOF WITHIN THE BOUNDARIES OF THE SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT; (B) MEMBERSHIP OF THE OWNER THEREOF IN THE SALT RIVER VALLEY WATER USERS' ASSOCIATION, AN ARIZONA CORPORATION; AND (C) THE TERMS OF ANY WATER RIGHT APPLICATION MADE UNDER THE RECLAMATION LAWS OF THE UNITED STATES FOR THE PURPOSE OF OBTAINING WATER RIGHTS FOR SAID LAND. (ALL ASSESSMENTS DUE AND PAYABLE ARE PAID.) (SURVEYOR'S NOTE: MAY AFFECT, NOT PLOTTABLE)
- AN EASEMENT FOR RIGHT OF WAY AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 13659, PAGE 1497 (SURVEYOR'S NOTE: DOES NOT AFFECT, NOT SHOWN, 10' WIDE COMMUNICATION EASEMENT)
- AN EASEMENT FOR RIGHT OF WAY AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 13659, PAGE 1499 (SURVEYOR'S NOTE: DOES NOT AFFECT, NOT SHOWN, 10' WIDE COMMUNICATION EASEMENT)
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (SURVEYOR'S NOTE: MAY AFFECT, NOT PLOTTABLE)
- WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY. (SURVEYOR'S NOTE: MAY AFFECT, NOT PLOTTABLE)

### REFERENCE DOCUMENTS

- (R) SPECIAL WARRANTY DEED, AS RECORDED IN DOCUMENT NUMBER 2005-1492431, MARICOPA COUNTY RECORDS, (M.C.R.)
- (R1) FINAL PLAT FOR ARBORLANE, AS RECORDED IN BOOK 595 OF MAPS, PAGE 31, M.C.R.

### BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

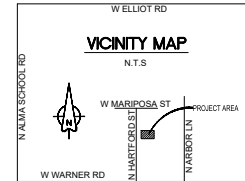
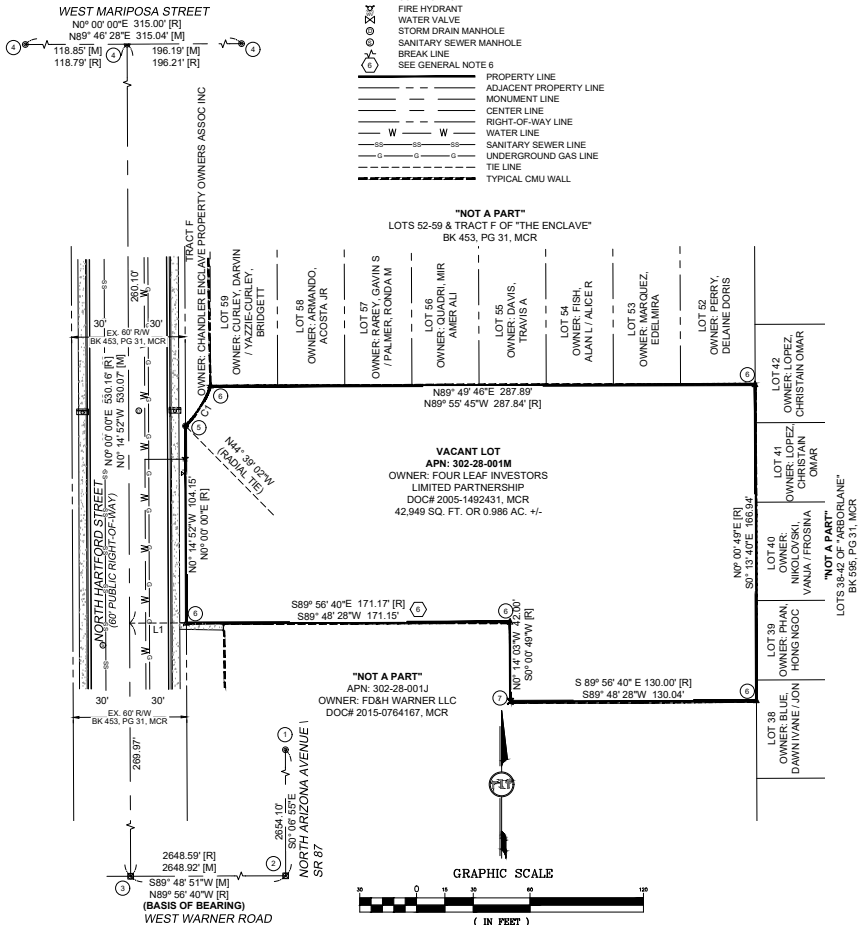
SOUTH 89° 48' 51" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 5 EAST, ALSO BEING THE MONUMENT LINE OF WARNER ROAD.

# ALTA/NSPS LAND TITLE SURVEY

OF PARCEL B OF SPECIAL WARRANTY DEED, AS RECORDED IN DOCUMENT NO. 2005-1492431, MARICOPA COUNTY RECORDERS OFFICE, (M.C.R.), SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER MERIDIAN, CITY OF CHANDLER, MARICOPA COUNTY, ARIZONA:

### LEGEND

- ① FOUND 3" ALUMINUM CAP FLUSH, STAMPED "A.D.O.T. HIGHWAY DIV", EAST 1/4 CORNER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 5 EAST
- ② FOUND STEM OF BRASS CAP IN HANDHOLE, S.E. COR. OF SEC. 16
- ③ FOUND 3" BRASS CAP IN HANDHOLE, STAMPED "CITY OF CHANDLER", S. 1/4 COR. OF SEC. 16
- ④ FOUND BRASS CAP FLUSH, STAMPED "CITY OF CHANDLER"
- ⑤ FOUND BAR WITH BROKEN PLASTIC CAP
- ⑥ SET PK NAIL WITH WASHER STAMPED "RLS 35113"
- ✕ SCRIBED "X" IN CONCRETE
- (M) MEASURED
- (R) RECORD
- EX EXISTING
- BK, PG BOOK, PAGE
- MCR MARICOPA COUNTY RECORDS
- R/W RIGHT-OF-WAY
- CATCH BASIN
- CONTROL POINT
- FIRE HYDRANT
- WATER VALVE
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- BREAK LINE
- SEE GENERAL NOTE 6
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- MONUMENT LINE
- CENTER LINE
- RIGHT-OF-WAY LINE
- WATER LINE
- SANITARY SEWER LINE
- UNDERGROUND GAS LINE
- TIE LINE
- TYPICAL CMU WALL



### GENERAL NOTES

- GLOBAL POSITIONING SATELLITE (G.P.S.) INSTRUMENTATION WAS USED DURING THE COURSE OF THE FIELD SURVEY. ALL DISTANCES REFERENCED HEREON HAVE BEEN CALCULATED TO GROUND DISTANCES USING A COMBINED SCALE FACTOR OF 1.000152663654.
- MEASUREMENTS SHOWN HEREON FALL WITHIN ACCEPTABLE TOLERANCES AS DEFINED BY THE ARIZONA MINIMUM BOUNDARY STANDARDS UNLESS OTHERWISE NOTED.
- DISTANCES AND BEARINGS ARE MEASURED VALUES UNLESS NOTED OTHERWISE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN COMMITMENT FOR TITLE INSURANCE ORDER NO. 620943, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED FEBRUARY 24, 2022, 2022 AT 7:30 A.M. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- THERE WAS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP DURING THE COURSE OF THIS SURVEY. EXCEPT AS SHOWN HEREON THERE WAS NO EVIDENCE OF RIGHT-OF-WAY LINES EITHER EXISTING OR PROPOSED DURING THE COURSE OF THIS SURVEY.
- IN DOCUMENT NO. 2005-1492431, M.C.R., THE FIFTH LINE OF TEXT DESCRIBED IN THE SECOND EXCEPTION FOR PARCEL NO. 2, MOST LIKELY INTENDED TO BE "SOUTH 89 DEGREES 56 MINUTES 40 WEST A DISTANCE OF 171.17 FEET" INSTEAD OF "SOUTH 89 DEGREE 56 MINUTES 40 WEST A DISTANCE OF 171.17 FEET".

### TABLE 'A' NOTES

- MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER.
- NO SITE ADDRESS. THE VACANT LOT IS DIRECTLY NORTH OF 550 W WARNER RD, CHANDLER, AZ 85225.
- GROSS LAND AREA: 42,949 SQ. FT. OR 0.986 AC. MORE OR LESS
- THERE WERE NO SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE WERE 0 CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS AND IN PARKING STRUCTURES. STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS.
- EVIDENCE OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY (IN ADDITION TO THE OBSERVED EVIDENCE OF UTILITIES REQUIRED PURSUANT TO SECTION 5.E.I.V.) AS DETERMINED BY: A. PLANS AND/OR REPORTS PROVIDED BY CLIENT (WITH REFERENCE AS TO THE SOURCES OF INFORMATION)
- NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL."
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PURSUANT TO SECTIONS 5 AND 6 (AND APPLICABLE SELECTED TABLE A ITEMS, EXCLUDING TABLE A ITEM 1), INCLUDE AS PART OF THE SURVEY ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.

### CERTIFICATION

TO:  
FOUR LEAF INVESTORS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP  
CONSTANTIA DEVELOPMENT, LLC  
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 8, 9, 11A, 13, 16 & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 03/11/2022.

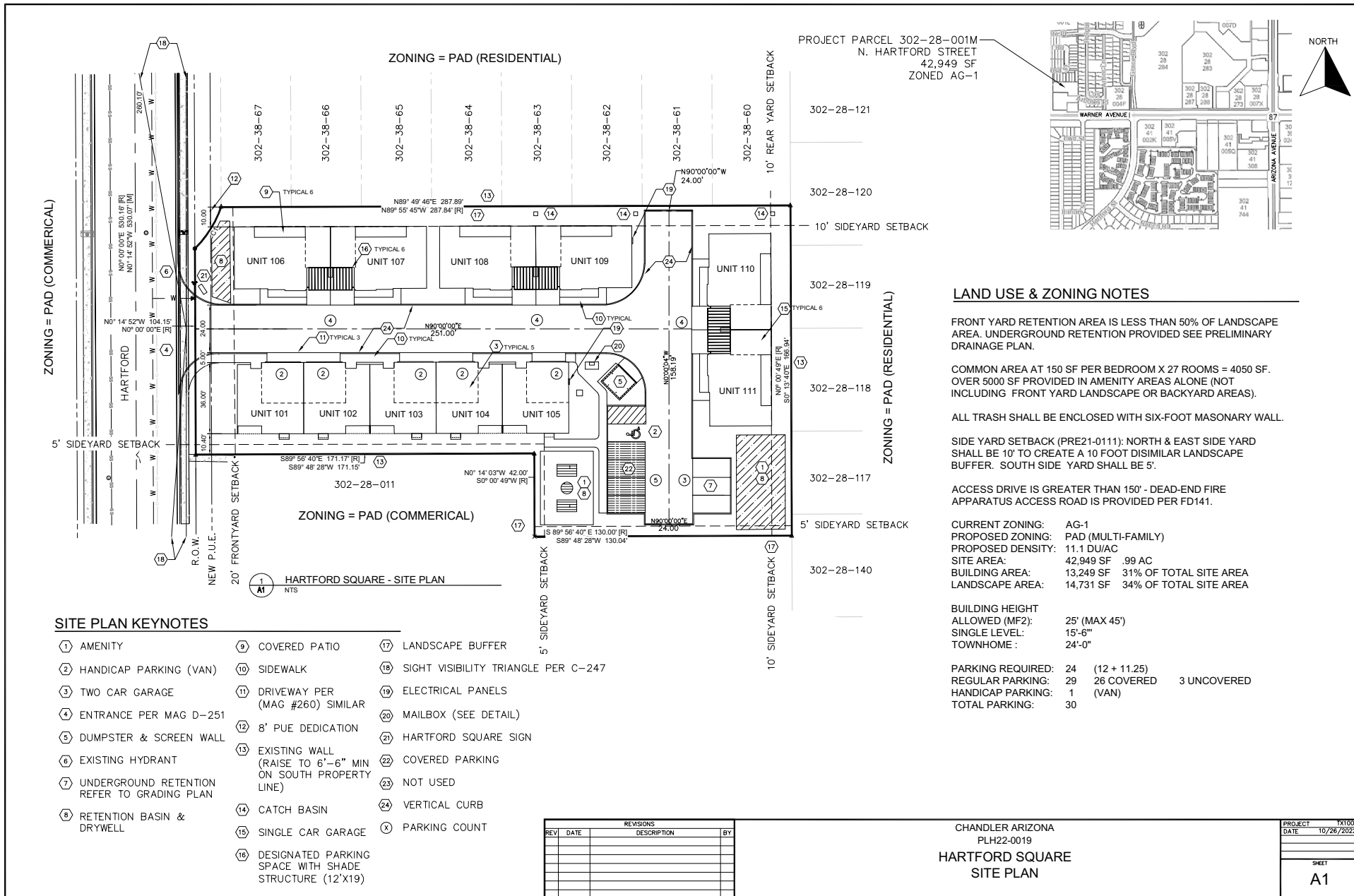
BY:  DATE: 03/15/2022  
MICHAEL E. FODREN  
REGISTERED LAND SURVEYOR # 35113



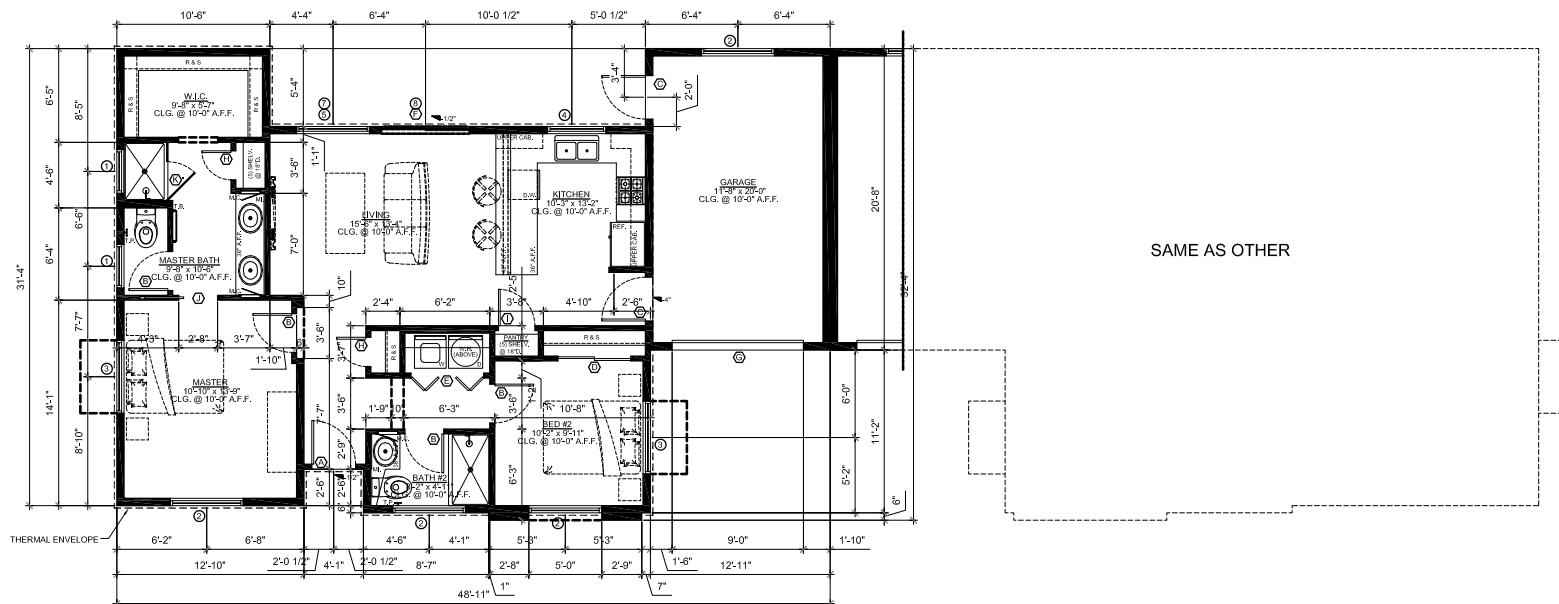
SECTION: 16  
 TOWNSHIP: 1 N  
 RANGE: 5 E  
 JOB NO.: 2022016  
 SCALE: N/A  
 SHEET: 1 OF 1

ALTA/NSPS LAND TITLE SURVEY

OF PARCEL B OF SPECIAL WARRANTY DEED, AS RECORDED IN DOCUMENT NO. 2005-1492431, MARICOPA COUNTY RECORDERS OFFICE, (M.C.R.), SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER MERIDIAN, CITY OF CHANDLER, MARICOPA COUNTY, ARIZONA.







FLOOR PLAN - LOWER LEVEL

- FLOOR PLAN GENERAL NOTES: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK AS APPLIED TO THIS PROJECT, AND ANY AND ALL ORDINANCES GOVERNED BY THE CITY OF PALM BEACH COUNTY.
1. EXTERIOR WALL CONSTRUCTION:
- \* 2 X 4 WOOD STUDS
- \* 1/2" OSB EXTERIOR SHEATHING AS SPECIFIED BY SHEAR DIAPHRAGM CONSTRUCTION AMENDMENTS
- MIN. PANELS PER I.R.C. SEC. R602, TABLE 602.3.1 (1), (2) (3).
- \* 12% GRADE "D" PAPER AN UNDERLAMENT,
- \* 1" EXTRUDED FOAM INSULATION.
- \* METAL WIRE FOR ONE-COAT STUCCO SYSTEM, WITH EXPANDED METAL LATH AT ALL CORNERS, AND INSTALLED PER I.C.B.O. REPORT #3899.
- \* 1/2" INTERIOR GYPS. TAPE, TEXTURED, AND PAINTED.
- \* SHEAR DIAPHRAGM SHEAR DIAPHRAGM SHALL CONFORM WITH THE CURRENT AND ADOPTED I.R.C. SEC. R602.10., AND DIAPHRAGM PANELS. SEE DETAIL FOR INSTRUCTIONS.
2. FLOORS AND FLOOR COVERINGS TO BE:
3. PROVIDE MOISTURE PROTECTED GWB, OR 1/2" WONDERBOARD, ON WALLS AT SHOWER ENCLOSURES, PER I.R.C. SEC. R903.1.
4. ANY/ALL PATIO/PORCH AND GARAGE FLOORS TO HAVE MIN. 2% SLOPE.
5. SLEEPING ROOMS SHALL HAVE AT LEAST ONE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS. THE MIN. NET CLEAR OPENING SHALL BE 5.7 SQ. FT. MIN. OPENING WIDTH OF 20" MIN. OPENING HEIGHT OF 24" AND FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR PER I.R.C. R310.
6. ALL DOOR AND WINDOW OPENINGS ARE NOMINAL AND ARE TO BE VERIFIED WITH DOOR AND WINDOW MANUFACTURERS AS TO EXACT DIMENSIONS PRIOR TO CONSTRUCTION. ALL WINDOW SIZES TO BE 24" X 48" MIN. PER I.R.C. R310B, & R310E, NOTE: BUICK ALL WINDOWS W/ 2 X 4 ALL AROUND, TO THE INSIDE FACE OF EXTERIOR STUDWALL.
7. ALL HABITABLE ROOMS SHALL HAVE A MINIMUM GLAZING AREA EQUAL 1/10 THE FLOOR AREA OF PARTICULAR ROOM PER I.R.C. SEC. R303.
8. WINDOW GLAZING SHALL BE OF OPERABLE EXTERIOR OPENINGS SHALL BE REQUIRED, AND NOT LESS THAN 1/20TH THE FLOOR AREA WITH A MINIMUM OF 5 SQ. FT. OR PROVIDE MECHANICAL VENTILATION PER I.R.C. SEC. R303.
9. VERIFY CABINET LAYOUT(S) W/ OWNER PRIOR TO ROUGH FRAMING WHICH MAY INVOLVE CAB. INST.
10. INTERIOR WALL FINISH SHALL BE 1/2" GWB WITH GK & TROWEL FINISH, WITH 1 3/4" ROUNDED CORNER HEADS AT ALL BY CODE. UNLESS OTHERWISE NOTED, PAINT FINISH PER OWNER'S SPECIFICATIONS, AND CODE REQUIREMENTS.
11. RAISE FLOOR 18" A.F.F.
12. WATER CLOSET SPACE SHALL BE NO LESS THAN 30" WIDE, WITH WIC CENTERED, AND HAVE NO LESS THAN 12" IN FRONT OF FACE OF WIC.
13. BATH INSULATION:
- ALL EXTERIOR WALLS: R-13 MIN. FULL BATT w/ EXT. INSUL. PER M.E.B.
- ALL BATHROOM WALLS: R-19 FULL BATT
- ALL HVAC ROOM WALLS: R-13 FULL BATT
- ROOF: R-38 MIN. BATTS

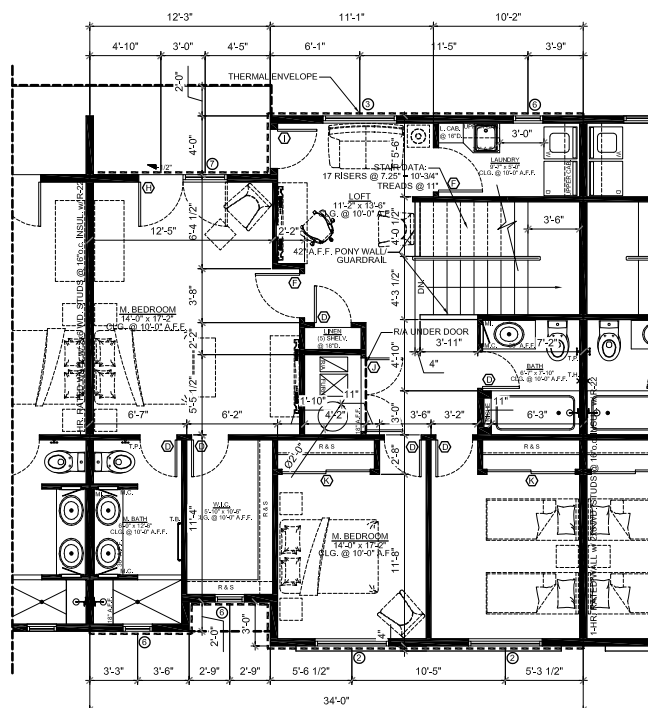
DOOR SCHEDULE									
Ø	#	SIZE	TYPE	REMS.	Ø	#	SIZE	TYPE	REMS.
A	1	3070	S.C.	1 3/4"	B	1	pr. 2070	S.C.	
C	1	3068	S.C.	BELF CLOSING	D	8	2670	S.C.	
E	1	pr. 3070	S.C.	FRENCH TRAP (1) OPERABLE	F	2	3070	S.C.	
G	1	16070	O.H.G.		H	1	3070	S.C.	FRENCH TRAP
I	1	2670	S.C.	FRENCH TEMP.	J	1	pr. 2670	STL.	FRENCH HIGH & LOW
K	2	6070	B.P.		L				

NOTE: UNDERCUT ALL INTERIOR DOORS TO ASSURE ADEQUATE VENTILATION.

NOTE: ALL EXTERIOR SLIDING & FRENCH DOORS TO HAVE MUNTIN ON INSIDE OF OUTSIDE PANEL.

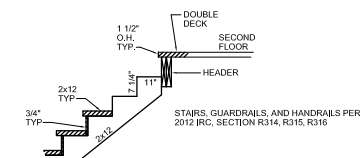
WINDOW SCHEDULE									
○	#	SIZE	TYPE	REMARKS	○	#	SIZE	TYPE	REMARKS
1	1	1470	FIX	TEMP. SPLITLIGHT	2	3	5040	X.O.	
3	2	5050	X.O.		4	1	4030	X.O.	TEMP.
5	2	3050	FIX		6	4	2020	FIX	TEMP.
7	1	3070	FIX	TEMP. SPLITLIGHT	8				

NOTE: ALL WINDOWS TO BE INSET.  
NOTE: ALL WINDOWS TO BE LOW-E.  
\*NOTE: TEMPERED WINDOW AT BATH & LAUNDRY ONLY



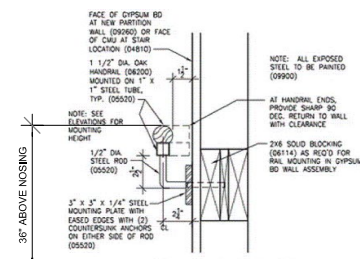
FLOOR PLAN - UPPER LEVEL

SCALE: 1/4" = 1'-0"



STAIR SECTION DETAIL

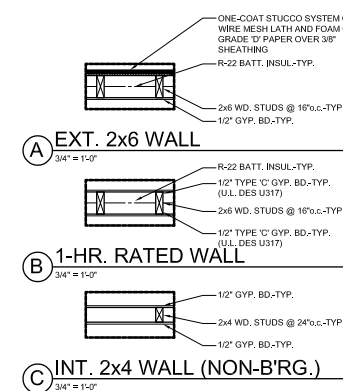
**2012 IRC R316.2 GUARD OPENING LIMITATIONS:**  
GUARDS RAISED ON OPEN SIDES OF  
STAIRWAYS, RAISED FLOOR AREAS, BALCONIES  
AND PORCHES SHALL HAVE INTERMEDIATE  
RAILS OR ORNAMENTAL CLOSURES THAT DO  
NOT ALLOW PASSAGE OF A SPHERE 4 INCHES  
(102mm) IN DIAMETER. REQUIRED GUARDS  
SHALL NOT BE CONSTRUCTED WITH  
HORIZONTAL RAILS OR OTHER ORNAMENTAL  
PATTERN THAT RESULTS IN A LADDER EFFECT.



Ⓟ HANDRAIL SECTION DET.

NTS

**NOTE:**  
ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION OF THE SURROUNDING SPACES. IRC SECTION N1102.2.4



REVISIONS

CONDOMINIUM DUPLEX

TUCSON, AZ.

FLOOR PLAN(S)

Project No. 2216

A2

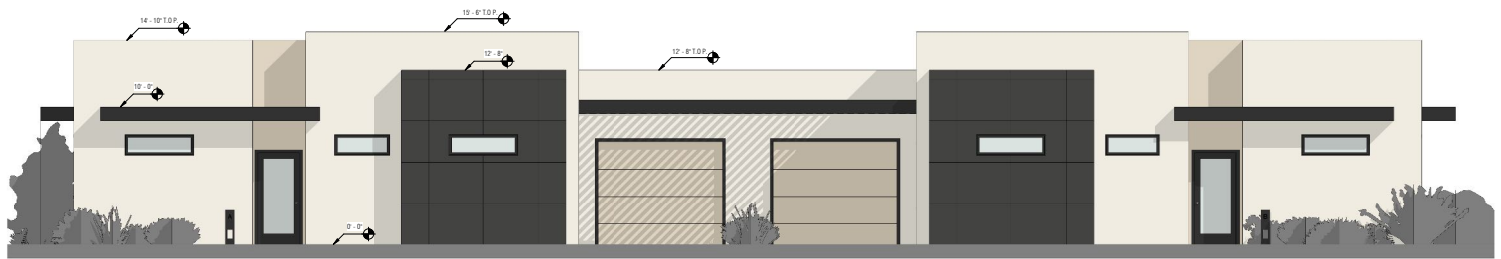
19-May-22

**BURTO**  
*and Associates*  
ARCHITECT

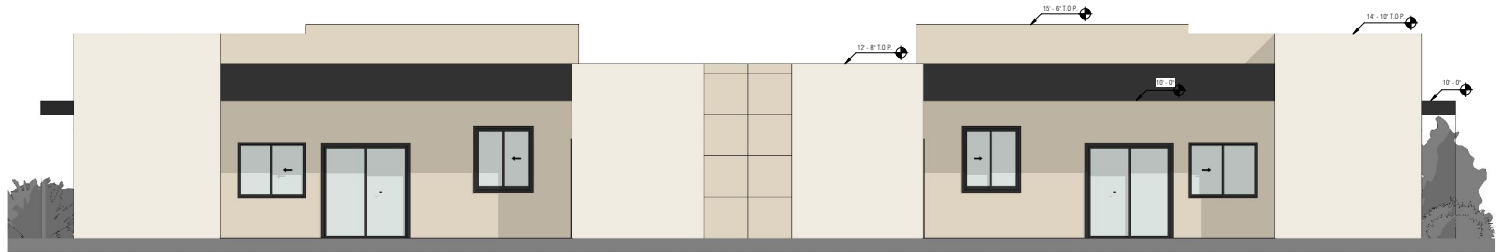
4572 E. CAMP LOWELL DR.  
TUCSON, AZ 85712  
CELL (301) 471-8072



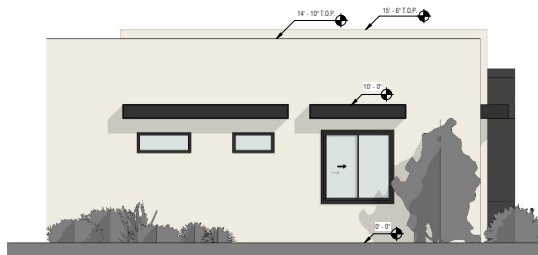
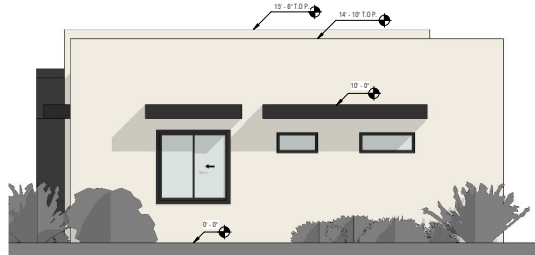
2-Bed Front Elevation



2-Bed Rear Elevation



2-Bed Side Elevations





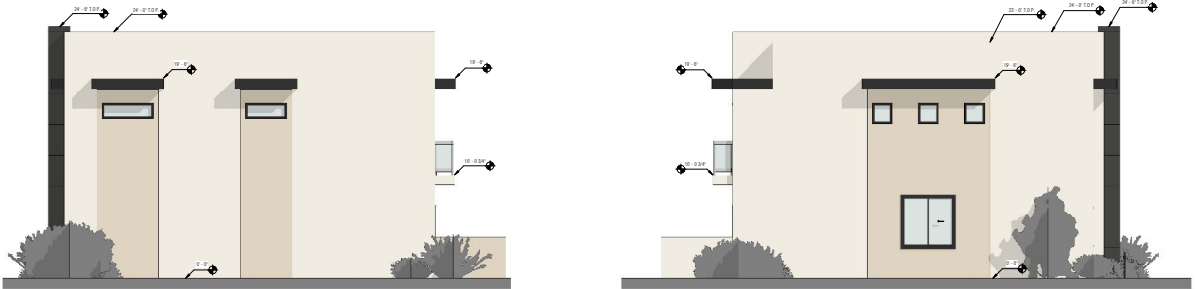
3-Bed Front Elevation



3-Bed Rear Elevation



3-Bed Side Elevations



# Seamless Neighborhood Integration



# Single Family Home Feel





## Beautiful Open Space





# Luxury Outdoor Amenities



# Direct Access Living



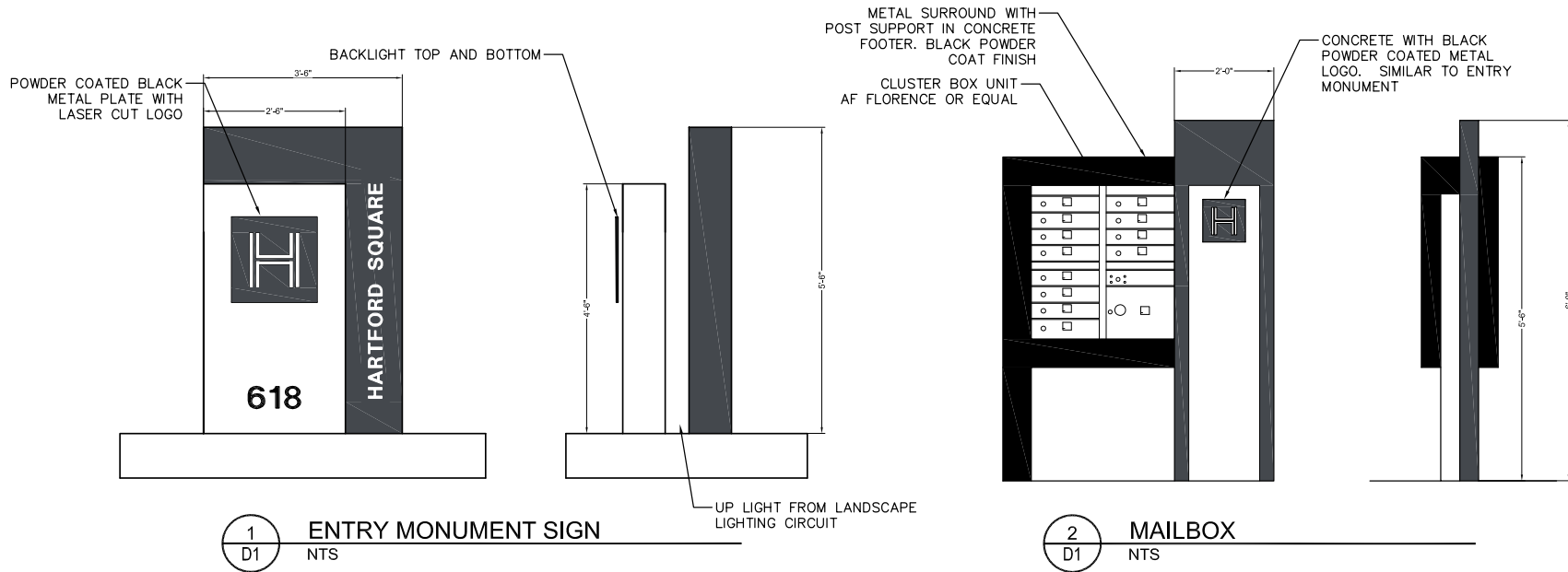


# Cohesive Monument Sign



# Integrated Mailboxes

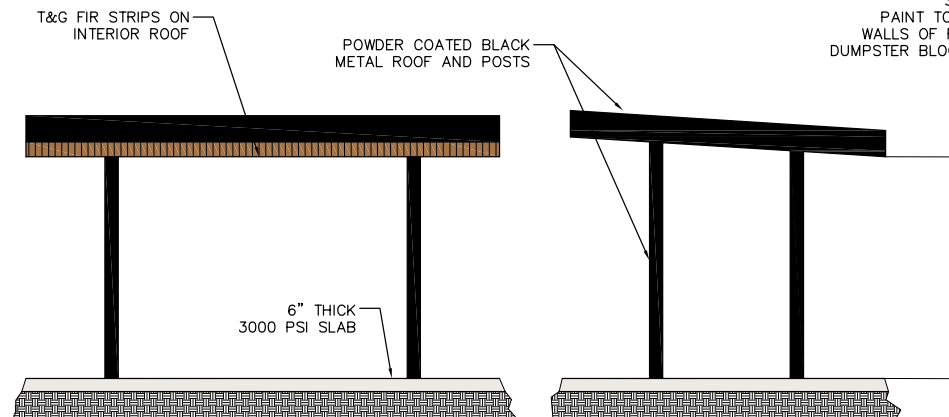
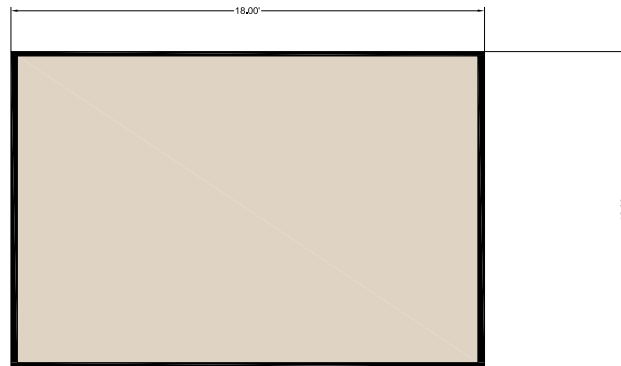




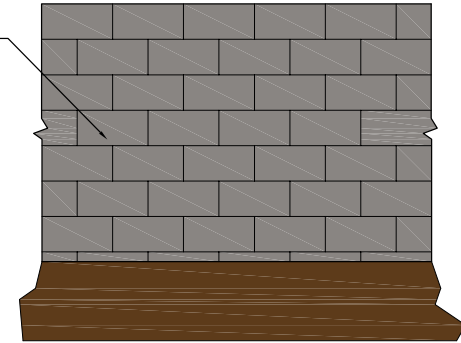
REVISIONS			
REV	DATE	DESCRIPTION	BY

CHANDLER, ARIZONA  
PLH22-0019  
HARTFORD SQUARE  
DETAIL SHEET - SIGN & MAILBOX

PROJECT	TX1001
DATE	05/23/2022
SHEET	D1



EXISTING UNFINISHED BLOCK WALL SURROUNDING PROPERTY



STUCCO COAT AND PAINT TO MATCH EXTERIOR WALLS OF RESIDENTIAL UNITS  
DUMPSTER BLOCK SCREEN WALLS (SIMILAR)



2 SITE WALL EXISTING/PROPOSED  
D2 NTS

1 RAMADA STRUCTURE  
D2 NTS

REVISIONS			
REV	DATE	DESCRIPTION	BY

CHANDLER, ARIZONA  
PLH22-0019  
HARTFORD SQUARE  
DETAIL SHEET - RAMADA & SITE WALL

PROJECT	TX1001
DATE	05/24/2022
SHEET	D2





1  
D3

PLAN & ELEVATION VIEW - GARAGE SHADE STRUCTURE  
NTS

REVISIONS			
REV	DATE	DESCRIPTION	BY

CHANDLER, ARIZONA  
PLH22-0019  
HARTFORD SQUARE  
DETAIL SHEET - SHADE STRUCTURE

PROJECT	TX1001
DATE	08/24/2022
SHEET	D3



1  
D4

## RAIL AND LIGHT DETAIL

NTS

REVISIONS			
REV	DATE	DESCRIPTION	BY

TWO STORY ELEVATION  
CHANDLER, ARIZONA  
N HARTFORD MULTIFAMILY  
CHANDLER, ARIZONA

PROJECT	TX1001
DATE	10/10/2022
SHEET	
D4	



HARTFORD

R.O.W.  
NEW P.U.E.

1  
C2  
NTS

HARTFORD SQUARE - PRELIMINARY GRADING PLAN

#### PLAN KEYNOTES

- ① DETENTION BASIN
- ② U/G DETENTION BASIN OR DRYWELL
- ③ GRADE BREAK
- ④ CATCH BASIN
- ⑤ CURB CUT

20 0 20 40  
SCALE IN FEET

REVISIONS			
REV	DATE	DESCRIPTION	BY

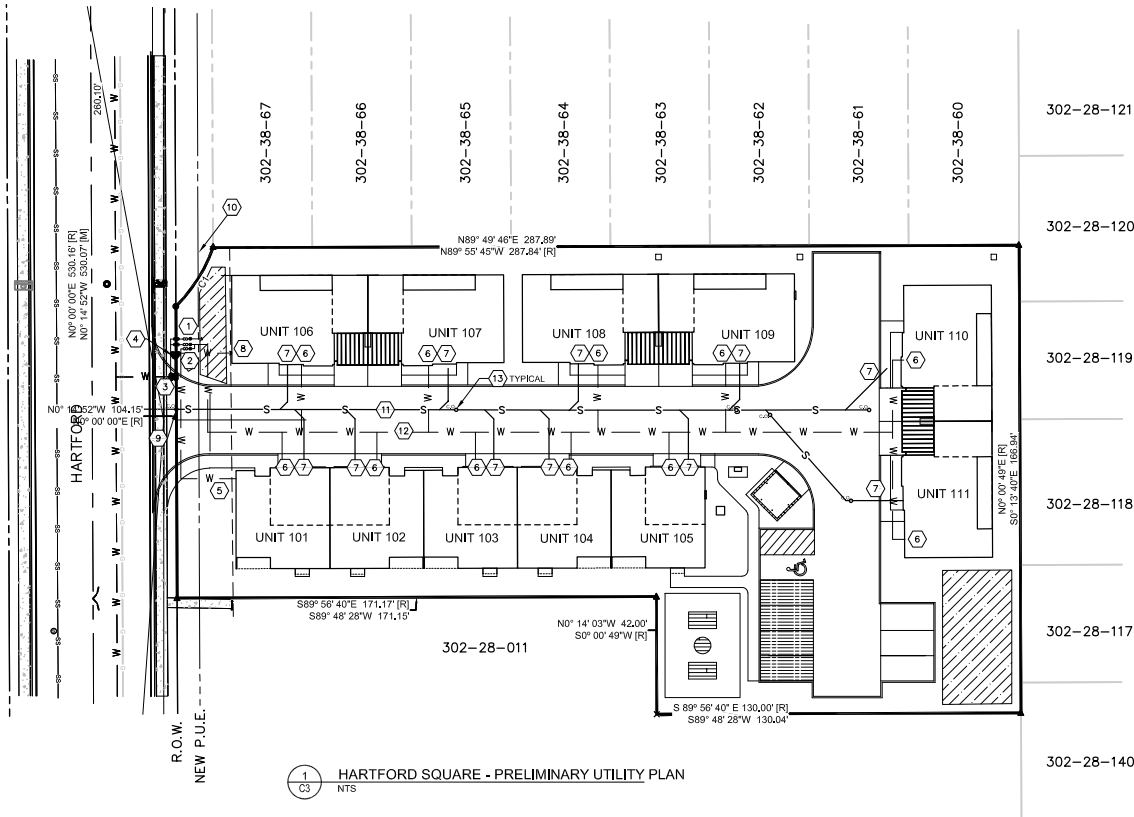
#### PRELIM GRADING PLAN NOTES

1. ELEVATIONS ON PLANS ARE BASED ON NAVD88. REFER TO ALTA SURVEY FOR BASIS OF ELEVATION REF MONUMENT.
2. GRADING IS CONCEPTUAL ONLY AND SHOWS THE GENERAL DRAINAGE PATTERNS THAT WILL BE ACCOMPLISHED WITH IMPROVEMENT PLANS. FINISHED FLOOR ELEVATIONS AND SPOT ELEVATIONS SHOWN MAY CHANGE AS REQUIRED TO BALANCE THE SITE FOR EARTHWORK.
3. FLOOD HAZARD FOR THIS SITE IS ZONE X. "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE."
4. SITE SLOPES FROM EAST TO WEST AT APPROXIMATELY 0.75%. SITE IS BOUND BY SCREEN WALLS ON THE NORTH, SOUTH AND EAST PROPERTY LINES. THERE ARE NO OFFSITE FLOWS CONTRIBUTING TO ONSITE DRAINAGE.
5. ONSITE RETENTION CONSISTS OF ABOVE GRADE AND UNDERGROUND RETENTION. RETENTION IS DESIGNED TO ACCOMMODATE THE 100-YEAR 2-HOUR STORM ONSITE RUNOFF PLUS 10%.
6. REQUIRED RETENTION: 6605 CUBIC FEET  
RETENTION BASIN 1: 2349 CUBIC FEET  
RETENTION BASIN 2: 500 CUBIC FEET  
RETENTION BASIN 3: 2800 CUBIC FEET  
U/G RETENTION: 956 CUBIC FEET  
RETENTION PROVIDED: 6605 CUBIC FEET
7. UNDERGROUND RETENTION VOLUME IS 956 CUBIC FEET USING STORMTECH SC-740 CHAMBERS.
8. A MAXIMUM OF 50% OF STREET FRONTAGE LANDSCAPE AREA MAY BE USED FOR STORMWATER RETENTION. SOIL EXCAVATED FOR RETENTION BASINS MUST BE USED TO CREATE COMPLIMENTARY EARTH MOUNDS. HEIGHT OF EARTH BERMS SHALL BE MEASURED FROM ADJACENT STREET CURB ELEVATIONS.

CHANDLER, ARIZONA  
PLH22-0019  
HARTFORD SQUARE  
PRELIM GRADING PLAN

PROJECT YK1001  
DATE 10/26/2022  
SHEET  
C1





## UTILITY NOTES

1. CONSTRUCTION PLANS WILL HAVE CITY REQUIRED NOTES FOR WATER AND SEWER RESPECTIVELY.
2. ONSITE WATER AND SEWER MAINS MUST BE PRIVATE.
3. REDUCED PRESSURE ASSEMBLIES PER CHANDLER DETAIL C-311 FOR DOMESTIC AND IRRIGATION LINES. SPINKLER WILL USE DOUBLE CHECK PER FD102. THERE ARE NO PRIVATE HYDRANTS ON SITE. BACKFLOW ASSEMBLIES WILL MEET FCC&HR CRITERIA AND SHALL BE UL LISTED.
4. COMBINED WATER/FIRE SERVICE METER. WATER SERVICE INSTALLATION PER C-301 FOR DOMESTIC AND IRRIGATION SERVICES.
5. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MAG SECTION 610. BEDDING SHALL CONFORM TO C-308.
6. SEWER PIPE BEDDING DETAIL SHALL CONFORM TO C-402.
7. UTILITY LINES SHALL HAVE PIPE LOCATOR WIRE AND ID TAPE PER CHANDLER DETAIL C-408.
8. ONE FIRE HYDRANT MUST BE INSTALLED AT ALL SUBDIVISION ENTRANCES. REFER TO KEYNOTE 4.
9. WATER/SEWER SEPARATION SHALL CONFORM TO MAG 404-1 WHERE REQUIRED.
10. SEWER PLAN SHALL BEAR THE APPROVAL OF MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT (MCSED) PRIOR TO SUBMITTING TO THE CITY. DESIGN SHALL BE IN ACCORDANCE WITH AAC R18-9-E301.401 SEWAGE COLLECTION SYSTEMS.
11. CLEANOUTS USED IN LIEU OF MANHOLES SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET AND SHALL MEET SECTION 708 OF THE INTERNATIONAL PLUMBING CODE.
12. SEWER TAP SHALL BE 4-1/2 FEET DEEP AT THE PROPERTY LINE.
13. MINIMUM SEWER SERVICE TAP SIZE FOR MULTIFAMILY IS 6".

## UTILITY PLAN KEYNOTES

- |   |   |
|---|---|
| (1) BACKFLOW AND METER (IRRIGATION)           | (8) FDC CONNECTION                        |
| (2) BACKFLOW AND METER (DOMESTIC/FIRE)        | (9) PRIVATE SEWER TIE-IN TO SEWER STUB    |
| (3) EXISTING 8" WATER SERVICE ISOLATION VALVE | (10) PUBLIC UTILITY EASEMENT              |
| (4) EXISTING HYDRANT                          | (11) 6" GRAVITY SEWER                     |
| (5) FIRE RISER                                | (12) 2-1/2" DOMESTIC WATER                |
| (6) DOMESTIC WATER SERVICE                    | (13) "CO" SEWER CLEANOUT (100' INTERVALS) |
| (7) SEWER HOUSE SERVICE CONNECT (4")          |   |

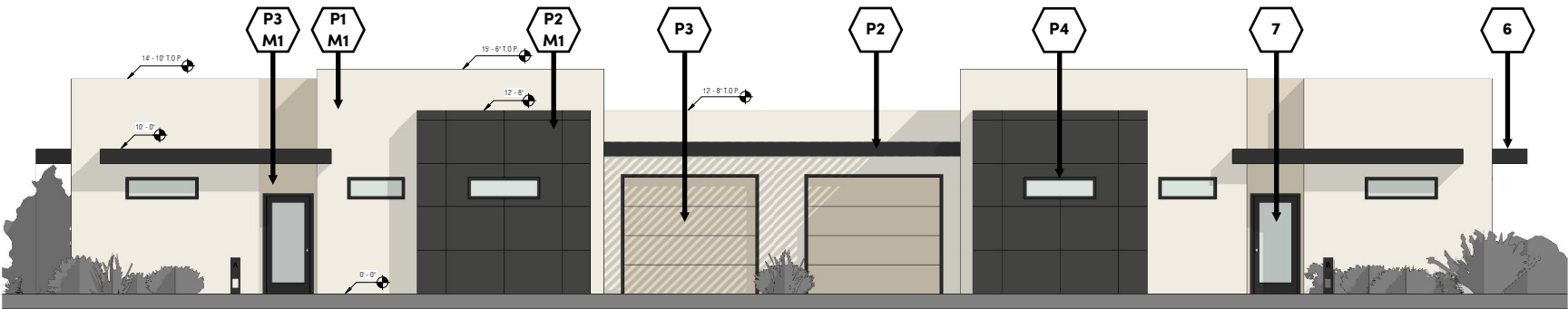
REVISIONS			
REV	DATE	DESCRIPTION	BY

CHANDLER, ARIZONA  
PLH22-0019  
HARTFORD SQUARE  
PRELIM UTILITY PLAN

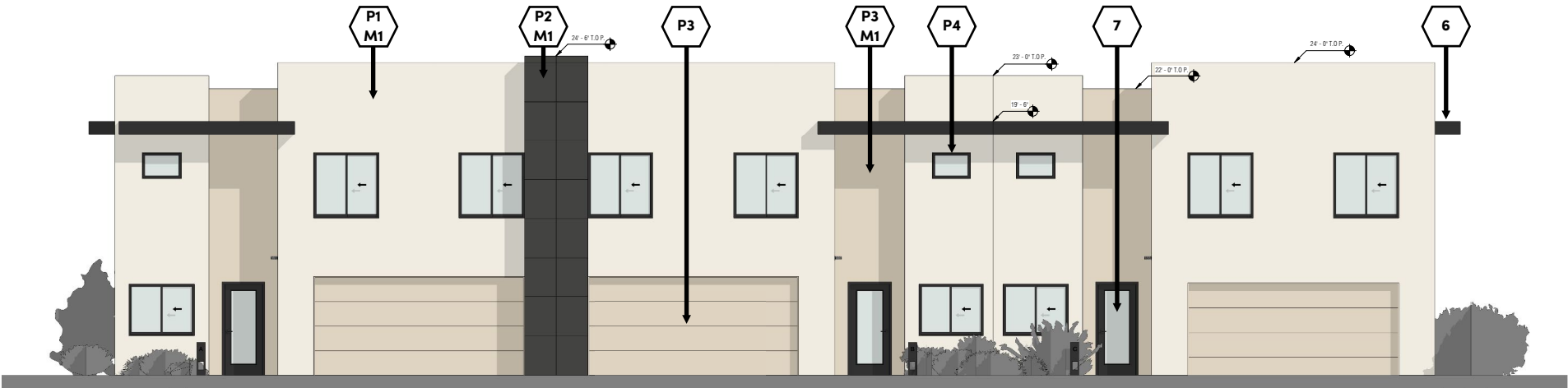
PROJECT	YK1001
DATE	10/27/2022
SHEET	C2



2-Bedroom Model

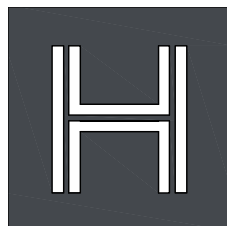


3-Bedroom Model



<p>P1 Main Color</p>  <p><b>Green Villa</b> SW 7551</p>	<p>P2 Accent Color</p>  <p><b>Iron Ore</b> SW 7069</p>	<p>P3 Accent Color</p>  <p><b>Mason Blanche</b> SW 7526</p>	<p>P4 Trim Color</p>  <p><b>Tricorn Black</b> SW 6258</p>	<p>M1 Stucco</p>  <p>Stucco texture</p>	<p>6 Window Overhangs</p>  <p>Cohesive overhangs</p>	<p>7 Glass Doors</p>  <p>Glass doors</p>
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[HARTFORDSQUAREHANDLER.COM](http://HARTFORDSQUAREHANDLER.COM)



**Planning & Zoning Commission Memorandum      Development Services**  
**Memo No. PZ22-016**

**Date:** 11/16/2022  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
 David de la Torre, Planning Manager  
**From:** Harley Mehlhorn, City Planner  
**Subject:** PLH22-0031 Dobson Town Place - Medical Office  
**Request:** Preliminary Development Plan (PDP) Amendment to modify a stipulation to allow for 100% Medical Office on an existing office development  
**Location:** North of the northeast corner of Alma School and Queen Creek Roads  
**Applicant:** Dennis Newcombe, Senior Planner, Gammage and Burnham, PLC

**Proposed Motion:**

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan Amendment, PLH22-0031 Dobson Town Place - Medical Office, allowing 100% Medical Office on an existing office development, subject to the conditions as recommended by Planning staff.

**Background Data:**

- Approximately 5.6 acre site
- Subject site zoned Planned Area Development (PAD) for Commercial Office in 1997 under the Carino Estates masterplan
- PDP approved for Commercial Office in 2006
- Initial PDP had a stipulation limiting tenant space for medical office to 40% due to concerns regarding parking

**Surrounding Land Use Data:**

North	PAD Single Family	South	PAD Commercial
-------	-------------------	-------	----------------

East	PAD Single Family	West	Alma School Road, then PAD Single Family
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### **Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)**

Total Building Square Footage	43,968 sq ft
Existing Parking	253 Spaces
Parking required for 100% Medical Office	294 Spaces
Requested reduction	41 Spaces

### **Review and Recommendation:**

The subject site was rezoned in 1997 under the Carino Estates zoning case, which required the commercial aspects of the development to come back through for a PDP. The PDP for the subject case was filed in 2005 and approved in 2006 under case number PDP05-0029 Dobson Town Place. The PDP exhibited five buildings to be used for a split of medical and general office, which is what exists today. The PDP features a stipulation regarding the split of medical and general office due to parking concerns, reading: "6. A maximum of 17,800 square feet may be used for medical uses (40% of the total square footage)." This stipulation was imposed to ensure that the site could contain its parking. The applicant is requesting herein to remove that stipulation and allow for 100% medical office with a contingency plan for additional parking if required. Per the provided parking demand study, which reflects existing site conditions and is used for the calculations above, the site currently has 253 spaces, going to a full medical use would require 294 if code were to be met at 1 space / 150 square feet.

Staff finds the requested parking reduction of 41 spaces to be reasonable in context. Firstly, the parking ratio for general office has, since the approval of the 2005 PDP, been amended from 1/200 to 1/250, thus reducing the parking burden that general office is taking on the site and allowing more room for medical. Secondly, the applicant has provided a parking analysis which concluded adequate parking per the demand as provided by the Institute of Transportation Engineers (ITE). Lastly, the parking reduction is, even by hard code standards a minimal reduction as code allows the Zoning Administrator to administratively reduce up to 40% of required parking in certain cases. Even with 100% medical uses within the center, the parking reduction of 41 spaces is only a 13% reduction. This case must be heard by Planning and Zoning Commission and City Council



due to the aforementioned stipulation. All other stipulations of PDP05-0029 are to remain.

Upon staff's request, the applicant has provided a parking contingency plan (enclosed as an attachment to this memo) that serves as a failsafe should the reduction yield a result in which adequate parking is not provided for the intensity of 100% medical uses. The plan proposes the construction of 34 additional spaces which would nearly meet 100% of the requirement. Further, as a part of the contingency, a passenger drop off/loading space may be entertained as a further way to reduce the burden of parking which by code offers a 10% reduction. A stipulation is proposed herein which states that the applicant must submit an updated parking analysis and that upon any externalities or negative impacts on surrounding developments, the Zoning Administrator may require the parking contingency plan to be constructed.

Staff has reviewed this proposal and finds it consistent with the General Plan and the existing zoning.

### **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- A neighborhood meeting was held on October 26, 2022, at which no residence attended.
- As of the writing of this memo, Planning staff is not aware of any concerns or opposition to the request.

### **Recommended Conditions of Approval**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan amendment, subject to the following conditions:

1. Stipulation number 6 in case PDP05-0029 Dobson Town Place shall be eliminated, thus allowing 100% medical uses within the existing office development. All other stipulations approved in case PDP05-0029 Dobson Town Place shall remain in effect.
2. The applicant shall submit an updated parking analysis which reflects the

used inventory of parking one year from the date of Council approval. Said analysis shall be reviewed by staff through an Administrative Design Review application.

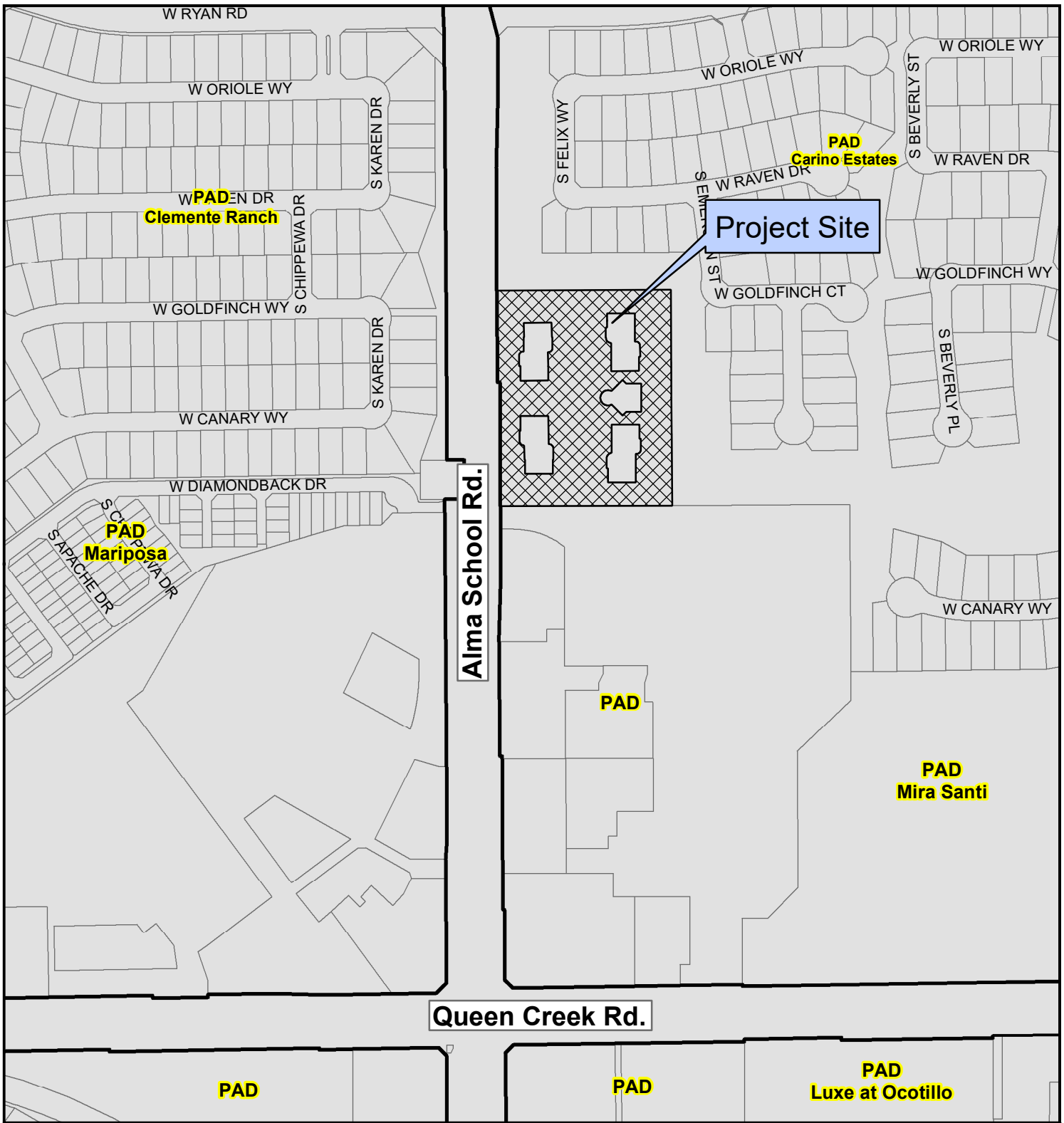
3. Should the analysis indicate the need for additional parking, the additional spaces and a passenger drop off area as outlined in the Development Booklet under "Parking Contingency Plan" shall be constructed.
4. Should the analysis indicate that the existing amount of parking is sufficient for 100% medical uses in the center, staff reserves the right to require an additional parking analysis to be reviewed through an Administrative Design Review application in the future should parking concerns arise.

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## **Attachments**

Vicinity Maps

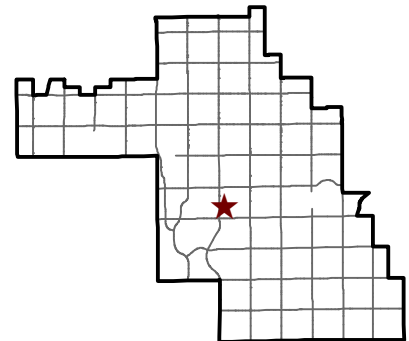
Development Booklet



## PLH22-0031 Dobson Town Place-Medical Office



**Proposed Project Details**  
PDP Amendment to allow for 100% medical uses  
5.6 Acres



City of Chandler Planning Division  
[chandleraz.gov/planning](https://chandleraz.gov/planning)  
For more information visit:  
<https://gis.chandleraz.gov/planning>

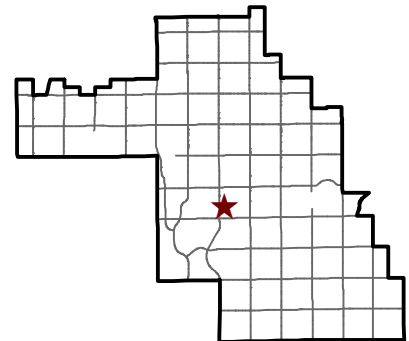




## PLH22-0031 Dobson Town Place-Medical Office



**Proposed Project Details**  
PDP Amendment to allow for 100% medical uses  
5.6 Acres



City of Chandler Planning Division  
[chandleraz.gov/planning](https://chandleraz.gov/planning)  
For more information visit:  
<https://gis.chandleraz.gov/planning>



# PLH22-0031 Dobson Town Place PDP Amendment



## Development Booklet

# **Contents**

3... Narrative

7... Site Plan

8... Parking Contingency Plan

10... PDP05-0029 Conditions of Approval

12... Parking Demand Study



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November 4, 2022

## **VIA DIGITAL SUBMITTAL**

Harley Mehlhorn, City Planner  
City of Chandler Development Services  
Planning Division  
Chandler, Arizona 85225

Re: Dobson Medical Office [Case: PLH22-0031]  
Proposed Plan of Development Plan (PDP05-0029).  
Stipulation Amendment for a Proposed Medical Office Use/Parking Reduction.  
Existing Zoning Planned Area Development for Community Commercial (C-2).  
2715 South Alma School Road.

Dear Harley:

As you know, we represent Stratton Road Realty LLC ("Stratton") regarding their approximately 5.6-acre commercial office center located at 2715 South Alma School Road, which is north of the northeast corner of Alma School and Queen Creek Roads (the "Site"). Stratton purchased the Site in 2021 to expand the need of medical office within this area of Chandler. The Plan of Development Plan ("PDP") associated with the Site was approved in 2005 (Case: PDP05-0029) for some medical office square footage (i.e., 40%), but Stratton now wants to expand/convert that remaining general office square footage to 100% medical office. To accomplish this endeavor, we need to delete the following 2005 stipulation below from the prior PDP approval.

### **[CURRENT] Case PDP05-0029 – Stipulation Number 6:**

A maximum of 17,800 square feet may be used for medical uses (40% of the total square footage).

### **[PROPOSED] Case PDP05-0029 – Deletion of Stipulation Number 6:**

~~A maximum of 17,800 square feet may be used for medical uses (40% of the total square footage).~~

With that being said, we believe this is a reasonable and necessary request due to the current market for medical office in the area, the current industry standards for parking medical office users, the typical logistics of a medical office today, and to maintain long-term, sustainable economic viability at this commercial office center. The following are some background points to assist in the review of this request.

1. Stratton purchased the Site in July of 2021. The current occupancy is almost 40% full of medical office users today or meeting the 2005 stipulation with plenty of parking to spare.
2. There is a severe lack of medical office buildings available in this area of Chandler. As such, there are a lot of medical practices that want to service this area and need a specific amount of office space but are locating further away or in other cities due to lack of options. Seven (7) competitive properties have a combined vacancy of 1.2% further exemplifying lack of medical office supply in the market.
3. J.T. Taylor, Vice President, Healthcare Real Estate, with ORION Investment Real Estate has stated in his enclosed letter to the city of Chandler that (emphasis added):

“Without a doubt, medical **tenants are currently having the hardest time finding medical office space to buy or lease in the southeast valley; specifically in Gilbert & Chandler.** The medical office cluster area near Chandler's Dignity Regional Hospital and in the medical office condominium developments near or south of Loop-202 have **less than 2% vacancy.**”

...

“This **shortage of available space** is **reducing medical provider options for Chandler residents** and giving submarket landlords the ability to charge higher rents and offer less terms which can **potentially be passed on to residents as higher medical costs.**”

*(See Enclosed: T. Taylor, Vice President, Healthcare Real Estate, with ORION Investment Real Estate Letter Dated September 1, 2022)*

4. The existing/2005 PDP approved site plan will not be changing, and the layout of the parking areas, landscaping, buildings, etc. will remain as shown – only the specific user/parking ratio will change. (*See Enclosed: Site Plan Amendment 2022*)
5. Due to the current market demand/function of medical office users (e.g., telemedicine/telecommuting, reserved parking, patient visits by appointment only, etc.) the parking needs are much less and the current parking at this Site can more than handle the increased square footage of medical office.

6. Parking is not a “static” principle and as such: as society/technology evolves; as areas develop/infill; as greater multi-modal options become available, etc. and as such parking requirements/dynamics along with reasonable/justifiable relief of parking for users has been occurring in Chandler and throughout the Valley for years.

Specifically, we are proposing to “shore-up” our request and to prove we have more than sufficient parking today by utilizing the City of Chandler’s Code of Ordinances, Section 35-1807, to effectuate a “parking reduction.” (*See Enclosed: Lōkahi, LLC Parking Demand Study for the Site, Dated May 3, 2022*) The Lōkahi Parking Demand Study states that if the Site is parked as 100% medical office, per the City Code, we would be required to have 294 parking spaces and, with the existing 253 parking spaces, this represents a reduction of 41 parking spaces or a 13.9% reduction (i.e., the City’s Code has an allowance for a 40% maximum reduction) to park the Site.

To justify this nominal reduction, the City Code permits “parking demand estimates” to be calculated using parking generation studies from ITE and ULI, which both show a significant surplus of available parking spaces would exist (i.e., 50-111 spaces). Clearly the proposed 100% use of the Site for medical office along with the existing number of parking spaces will more than meet the need – in fact there would be a significant parking excess as a buffer too.

Suffice to say, the ownership and our office believe we will not have any issue parking the Site sufficiently onsite with the existing parking spaces. However, to provide some comfort/certainty, we would be willing to stipulate a 1-year review with city Staff to review the status of the parking situation and, if necessary, work with the city Staff on providing either a passenger loading zone for autonomous/ride sharing (City Code provides a 10% reduction, per passenger loading zone space) and/or some additional parking spaces (as needed). The proposed “Contingency Parking Plan” shows how we could accommodate up to 34 additional parking spaces. (*See Enclosed: Contingency Parking Plan*)

Accordingly, the proposed request for deletion of the 2005 stipulation along with the current market need and parking study provided demonstrates this request will not have any adverse impacts on the adjoining properties but will help maintain this longstanding commercial office center and better align it for continued success well into the future.

Should you have any questions regarding this letter, or the materials, please do not hesitate to contact me at (602) 256-4446 or via [dnewcombe@gblaw.com](mailto:dnewcombe@gblaw.com).

Very truly yours,

GAMMAGE AND BURNHAM, PLC

*Dennis M. Newcombe*

Dennis M. Newcombe  
Senior Land Use Planner

**Enclosures:** As stated.



TO: City Manager, City of Chandler  
FROM: J.T. Taylor, Vice President, Healthcare Real Estate  
DATE: September, 1<sup>st</sup> 2022  
  
SUBJ: City of Chandler Medical Office Shortage

I am writing to inform you about the shortage of available medical office in the City of Chandler and the adverse impact this may have on Chandler's residents.

I specialize in Healthcare Real Estate and have 7 years of experience working in the Phoenix metro. Over this period, I've completed more than \$120,000,000 in sales and lease transactions on behalf of investors, landlords, and medical practices across the metro area.

Without a doubt, medical tenants are currently having the hardest time finding medical office space to buy or lease in the southeast valley; specifically in Gilbert & Chandler. The medical office cluster area near Chandler's Dignity Regional Hospital and in the medical office condominium developments near or south of Loop-202 have less than 2% vacancy.

A healthy vacancy rate for a market/submarket is considered to be between 5%-10%. This vacancy supports absorption of new tenants into the submarket and provides some variety in the sizes of space needed by tenants. However, Chandler's current vacancy rate is severely restricting new medical tenants from entering the submarket. This shortage of available space is reducing medical provider options for Chandler residents and giving submarket landlords the ability to charge higher rents and offer less terms which can potentially be passed on to residents as higher medical costs.

I recommend that the City of Chandler allow more existing office to be considered for medical use in order to address its extremely low medical office vacancy levels.

Please contact me at [jt.taylor@orionprop.com](mailto:jt.taylor@orionprop.com) to discuss further.

Thank you,



J.T. Taylor  
Vice President, Healthcare Real Estate  
ORION Investment Real Estate





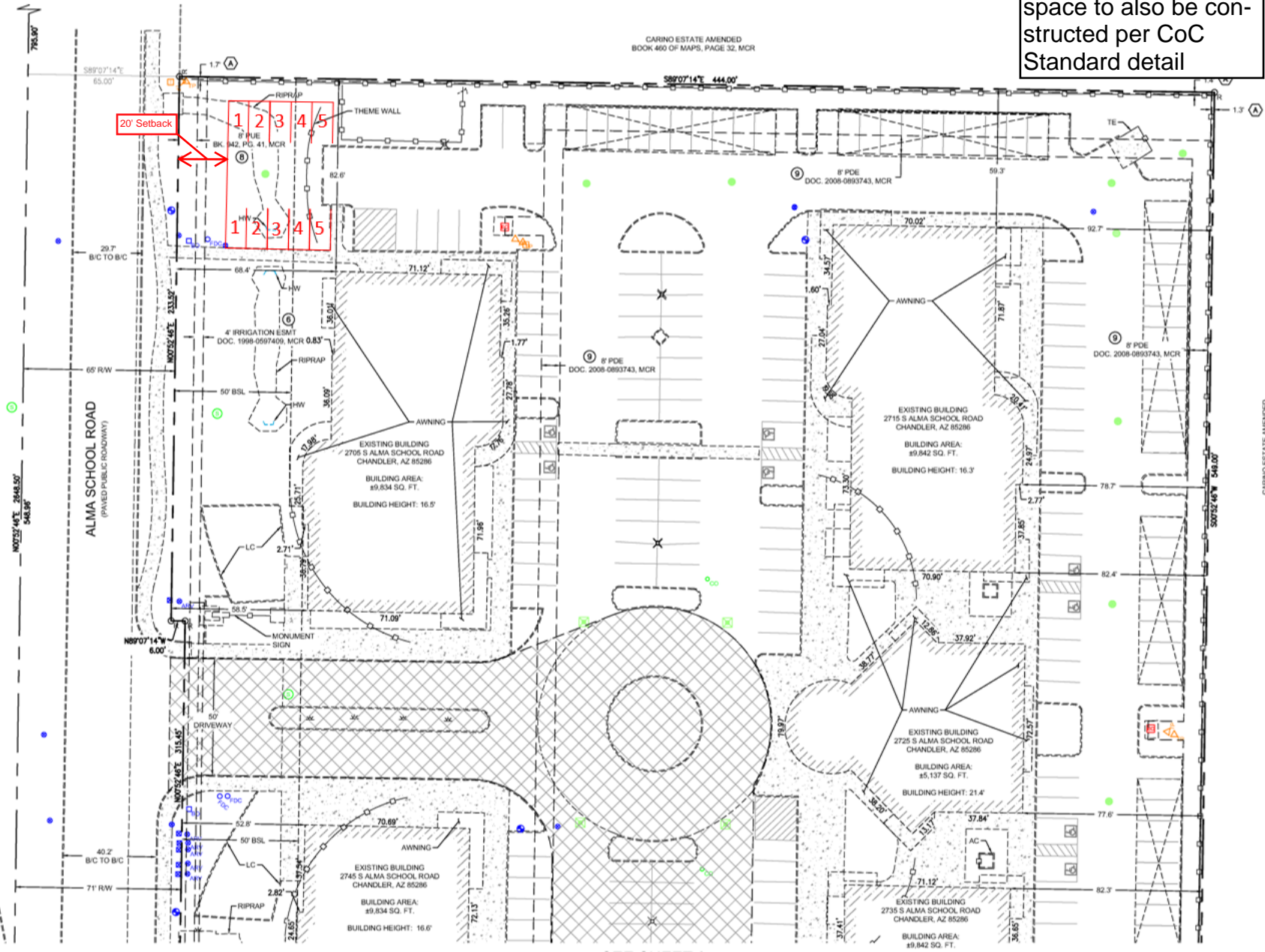


# Dobson Town Place - Contingency Parking Plan

Drop-off Loading  
space to also be constructed per CoC  
Standard detail

CARINO ESTATE AMENDED  
BOOK 460 OF MAPS, PAGE 32, MCR

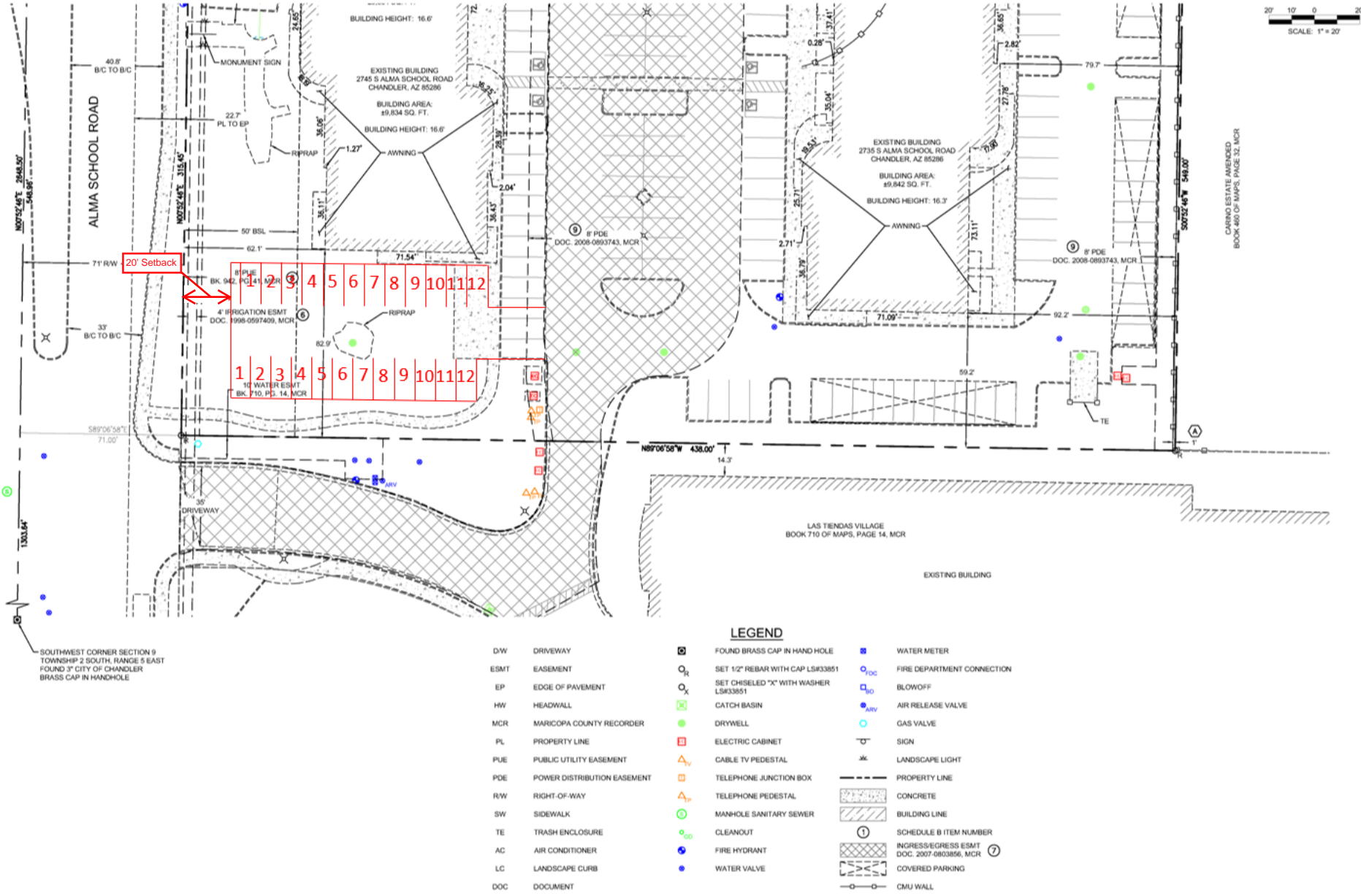
20' 10' 0' 20'  
SCALE: 1" = 20'



CARINO ESTATE AMENDED  
BOOK 460 OF MAPS, PAGE 32, MCR



## Dobson Town Place - Contingency Parking Plan



Previous approval  
with Stipulation to be  
removed boxed in red



**NOTICE OF  
COUNCIL ACTION  
CITY OF CHANDLER,  
ARIZONA**

PAUL CARLSON  
LAMB ARCHITECTS LLC.  
7038 E. 5<sup>th</sup> AVE.  
SCOTTSDALE, AZ 85251

**CASE: PDP05-0029 DOBSON TOWN PLACE**

**MEETING DATE: THURSDAY, JANUARY 12, 2006**

**APPROVAL:** ☒

**REZONING:** ☐

**DENIAL:** ☐

**VARIANCE:** ☐

**WITHDRAWAL:** ☐

**USE PERMIT:** ☐

**CONTINUED:** ☐

**SUBDIVISION:** ☐

**PRELIMINARY DEVELOPMENT PLAN ☒ PRELIMINARY PLAT ☐**

**SUBJECT TO THE FOLLOWING CONDITIONS:**

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled Dobson Town Place kept on file in the City of Chandler Planning Services Division, in File No. PDP05-029, except as modified by condition herein.
2. Compliance with original stipulations adopted by the City Council as Ordinance No. 2703, in case PL96-155 CARINO ESTATES, except as modified by condition herein.
3. Sign packages shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
4. Trees planted along Alma School Road are to be comprised of 25%-48" box trees, 25% 36" box trees, and 50% 24" box trees as per the Commercial Design Standards.

5. All trees along the north and east property line are to be 12' tall at planting, spaced at 20' on center to achieve a dissimilar land use buffer.
6. A maximum of 17,800 square feet may be used for medical uses (40% of the total square footage).
7. All building signage shall be reverse pan channel, halo illuminated.
8. All building signage oriented toward the adjacent residential development to the north and east shall be non-illuminated.
9. The applicant shall work with Staff to provide additional pedestrian features with art or water features.



# Dobson Town Place

## Parking Demand Study



Prepared for:

Stratton Road Realty  
17310 Red Hill Avenue, Suite 145  
Irvine, CA 92614



*Shelly Sorensen*

Prepared by:



Lōkahi, LLC  
10555 N 114<sup>th</sup> St, Suite 105  
Scottsdale, AZ 85259

Project Number: 22.5358  
May 3, 2022



## TABLE OF CONTENTS:

1. Executive Summary .....	1
2. Introduction .....	3
2.1 Scope of Study .....	3
2.2 Study Area .....	3
3. Proposed Development .....	5
3.1 Proposed Parking .....	5
4. City of Chandler Required Parking .....	7
4.1 Parking and Loading Regulations .....	7
5. ITE Parking Generation .....	8
6. ULI Shared Parking .....	10
7. Conclusions .....	11

## FIGURES:

Figure 1 – Vicinity Map .....	4
Figure 2 – Site Plan .....	6

## TABLES:

Table 1 – City of Chandler Parking Requirement .....	7
Table 2 – ITE Parking Demand (Average – Weekday) .....	8
Table 3 – ITE Parking Demand (85 <sup>th</sup> Percentile – Weekday) .....	8
Table 4 – ULI Shared Parking Demand (Weekday) .....	10

## APPENDICES:

Appendix A – Proposed Site Plan .....	A
Appendix B – City of Chandler Code of Ordinances – Parking Schedule .....	B



## 1. EXECUTIVE SUMMARY

Lōkahi, LLC (Lōkahi) was retained by Stratton Road Realty to complete a Parking Demand Study for the proposed Dobson Town Place, located at 2815 S. Alma School Road in Chandler, Arizona.

Dobson Town Place proposes to utilize the existing five-building complex, totaling 43,968 square feet, for medical-dental office use only and is requesting the approval to use the existing 253 parking spaces. It has been observed that a number of patients/customers of the existing medical-dental tenants are dropped-off/picked-up and that the existing parking lot is underutilized.

The objective of this Parking Demand Study is to establish that the existing **253 on-site parking spaces will provide sufficient parking** to meet the anticipated demand of the development.

### City of Chandler Required Parking

Utilizing the criteria provided in Section 35-1804. *Parking Schedule* of the City of Chandler Code of Ordinances, the City of Chandler requires 294 parking spaces for the proposed medical-dental office building land use. Therefore, with 253 parking spaces provided, this represents a **reduction of 41 (13.9%) parking spaces** for the development. The City has an allowance for a 40% maximum reduction in parking spaces from the required amount, therefore the number of parking spaces proposed by Dobson Town Place is in compliance with this stipulation. Additionally, the City permits parking demand estimates to be calculated using parking generation studies from ITE and ULI. These parking demand estimates result in a surplus of available parking spaces.

### ITE Parking Generation

The average weekday peak period of parking demand was calculated for the proposed development using the Institute of Transportation Engineers (ITE) publication *Parking Generation*, 5<sup>th</sup> Edition. The average weekday parking demand calculations, based upon the gross floor area (GFA), results in a parking **surplus of 111 (78.2%) parking spaces** for the proposed development.

The 85<sup>th</sup> percentile weekday peak period of parking demand was calculated for the proposed development using the ITE publication, *Parking Generation*, 5<sup>th</sup> Edition. The 85<sup>th</sup> percentile weekday parking demand calculations, based upon the gross floor area (GFA) results in a parking **surplus of 51 (25.2%) parking spaces** for the proposed development.

### ULI Shared Parking

The weekday parking demand was calculated for the proposed development utilizing the Urban Land Institute (ULI) publication, *Shared Parking*, 3<sup>rd</sup> Edition. The weekday parking demand calculations result in a parking **surplus of 50 (24.6%)** for the proposed development.





### Parking Summary

	Reference Table	Parking Spaces	Surplus
<b>City of Chandler Code of Ordinances</b>			
Article XVIII. - Parking and Loading Regulations	1	294	-41
<b>ITE Parking Generation, 5th Edition</b>			
Average - Weekday	2	142	111
85th Percentile - Weekday	3	202	51
<b>ULI Shared Parking, 3rd Edition</b>			
Weekday	4	203	50

In conclusion, the request by Dobson Town Place to utilize the existing 253 parking spaces will provide sufficient parking to meet and exceed the parking demand of 43,968 square feet of medical-dental office space.



## 2. INTRODUCTION

Lōkahi, LLC (Lōkahi) was retained by Stratton Road Realty to complete a Parking Demand Study for the proposed Dobson Town Place, located at 2815 S. Alma School Road in Chandler, Arizona.

Dobson Town Place proposes to utilize the existing five-building complex, totaling 43,968 square feet, for medical-dental office use only. The existing development is currently utilized for office, medical office, personal service (spa), and childcare center land uses.

### 2.1 SCOPE OF STUDY

The objective of this Parking Demand Study is to establish that the existing 253 on-site parking spaces will provide sufficient parking to meet the anticipated demand of the development.

This Parking Demand Study calculates the number of parking spaces required for the development based on criteria respective to the City of Chandler Code of Ordinances, ITE Parking Generation, 5<sup>th</sup> Edition, and ULI Shared Parking, 3<sup>rd</sup> Edition. According to the City of Chandler Code of Ordinances Section 35-1807. – Parking Reductions (3) d. Parking demand estimates using parking generation studies from the ITE or ULI are recognized by the City.

### 2.2 STUDY AREA

The existing 5.55-acre site is located at along Alma School Road approximately three-tenths of a mile north of Queen Creek Road, in Chandler, Arizona. The study area generally consists of residential and commercial land uses. The existing development is bordered directly by residential developments to the west, north and east, and a commercial development to the south. See **Figure 1** for a vicinity map.



FIGURE 1 | VICINITY MAP





### 3. PROPOSED DEVELOPMENT

The proposed development consists of approximately 5.55 acres, located along Alma School Road approximately three-tenths of a mile north of Queen Creek Road, in Chandler, Arizona.

Dobson Town Place proposes to utilize the existing five-building complex, totaling 43,968 square feet, for medical-dental office use only.

Medical-dental land uses are typically operational within the following hours of operation:

- Monday – Friday                      8:00 am to 6:30 pm
- Saturday-Sunday                      Closed

It should be noted that the hours of operation for the existing medical-dental offices vary. Variances in hours of operation allows for staggered peak hours between offices and greater parking availability throughout the duration of the weekday.

#### 3.1 PROPOSED PARKING

The proposed development will utilize the existing 253 parking spaces. This includes 12 handicap spaces and 70 covered parking spaces.

See **Figure 2** and **Appendix A** for the proposed site plan.

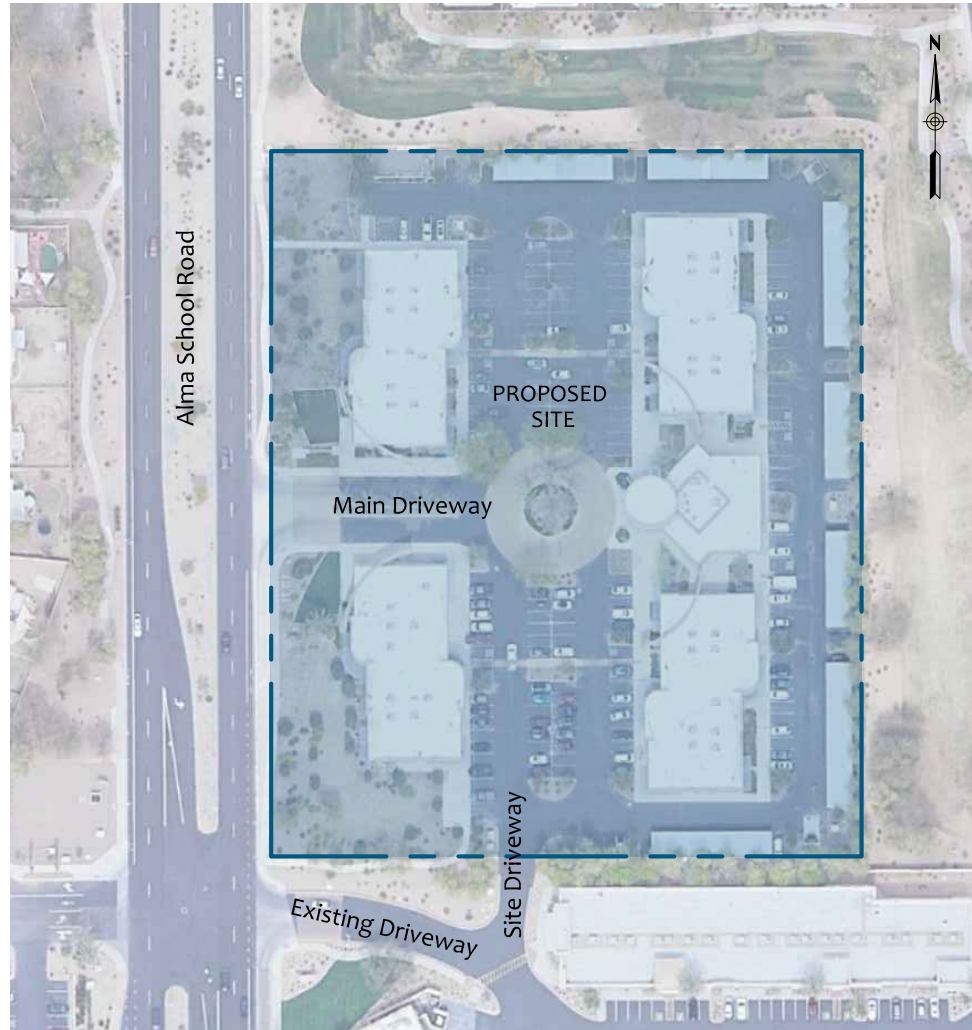


FIGURE 2 | SITE PLAN



## 4. CITY OF CHANDLER REQUIRED PARKING

The proposed Dobson Town Place development will consist of 43,968 square feet of medical-dental office space located within the existing five-building complex.

### 4.1 PARKING AND LOADING REGULATIONS

Section 35-1804. *Parking Schedule*, within the *City of Chandler Code of Ordinances*, provides the minimum parking spaces required for individual stand-alone uses. See [Appendix B](#) for Section 35-1804. *Parking Schedule*. The following type of land use and parking requirements are relevant to the proposed development:

- Medical, dental office, clinics  
1 space per 150 square feet

Applying this formula to the proposed Dobson Town Place development results in the following parking requirement, see [Table 1](#).

**Table 1 – City of Chandler Parking Requirement**

Land Use	Rate	Quantity	Units	Parking Spaces
Medical, dental offices, clinics	1.0 per 150 square feet	43,968	Square Feet	294
Total Parking Spaces Required				294

#### Conclusion:

Based on the *City of Chandler Parking and Loading Regulations*, the City of Chandler requires 294 parking spaces for the proposed medical-dental office building land use. Dobson Town Place proposes to utilize the existing 253 on-site parking spaces, which represents a reduction of 41 (13.9%) parking spaces for the proposed development. The City has an allowance for up to 40% maximum reduction in parking spaces from the required amount, therefore the number of parking spaces proposed by Dobson Town Place is in compliance with this stipulation. Additionally, the City permits parking demand estimates to be calculated using parking generation studies from ITE and ULI. These parking demand estimates result in a surplus of available parking spaces.





## 5. ITE PARKING GENERATION

The Institute of Transportation Engineers (ITE) publication titled *Parking Generation*, 5<sup>th</sup> Edition is utilized for estimating parking demand based on research and experiences of transportation engineering and planning standards.

The ITE land use code which characterizes the proposed Dobson Town Place development is Land Use Code 720 – Medical-Dental Office Building. ITE provides two methods of calculating parking demand for the Medical-Dental Office Building land use. The first method is based on the proposed gross floor area (GFA) as the independent variable and the second method is based on the proposed number of employees as the independent variable. For the purposes of this report, only the method which considers the gross floor area as the independent variable is estimated.

The average weekday peak period parking demand for a general urban/suburban (no nearby rail transit) location is 3.23 parking spaces per 1,000 sq. ft. GFA. The average weekday ITE peak period of parking demand calculations are shown in **Table 2**.

**Table 2 – ITE Parking Demand (Average – Weekday)**

Land Use	Rate	Quantity	Units	Parking Spaces
Medical, dental offices, clinics	1.0 per 150 square feet	43,968	Square Feet	294
Total Parking Spaces Required				294

In addition to the average peak period of parking demand, the 85<sup>th</sup> percentile peak period of parking demand is provided in the *ITE Parking Generation*, 5<sup>th</sup> Edition. The 85<sup>th</sup> percentile rate represents the parking demand rate that 85 percent of the collected data points are parking at or below. For the range of values provided for each land use, it represents the high range, or the rate that would be greater than 85 percent of the other rates.

The 85<sup>th</sup> percentile weekday peak period of parking demand for a general urban/suburban (no nearby rail transit) location is 4.59 parking spaces per 1,000 sq. ft. GFA. The 85<sup>th</sup> percentile weekday ITE peak period of parking demand calculations are shown in **Table 3**.

**Table 3 – ITE Parking Demand (85<sup>th</sup> Percentile – Weekday)**

Land Use	ITE Code	Average Weekday Rate	Quantity	Units	Parking Spaces
Medical-Dental Office Building	720	3.23 per 1000 sq. ft. GFA	43,968	1000 sq. ft. GFA	142
Total Average Weekday Parking Demand					142



### Conclusion

According to the *ITE Parking Generation, 5<sup>th</sup> Edition*, the average weekday parking demand, based upon the gross floor area (GFA), is 142 parking spaces. Dobson Town Place provides 253 existing parking spaces, which represents a surplus of 111 (78.2%) parking spaces for the proposed development.

Additionally, the 85<sup>th</sup> percentile weekday parking demand, based upon the gross floor area (GFA), is 202 parking spaces. Dobson Town Place provides 253 existing parking spaces, which represents a surplus of 51 (25.2%) parking spaces for the proposed development.

Therefore, the existing number of parking spaces at the Dobson Town Place development meets and exceeds the anticipated parking demand of 43,968 square feet of medical-dental office space, in accordance with *ITE Parking Generation, 5<sup>th</sup> Edition*.



## 6. ULI SHARED PARKING

The Urban Land Institute (ULI) publication entitled *Shared Parking, 3<sup>rd</sup> Edition* is an additional source for estimating parking demand based on research and experienced planners, government agencies, consultants, and engineers. Similar to the *ITE Parking Generation* publication, ULI's *Shared Parking* publication provides base parking demand ratios based on various land uses.

### Weekday

The following land use and parking spaces per unit land use ratios are relevant to the proposed medical-dental use of the Dobson Town Place development:

- Medical/dental office
  - Employees 1.60 per 1000 sq. ft. GFA
  - Visitor 3.00 per 1000 sq. ft. GFA

Applying the above base parking demand ratios to the proposed residential development results in the following anticipated parking demand as shown in **Table 4**:

**Table 4 – ULI Shared Parking Demand (Weekday)**

Land Use	Weekday Rate		Quantity	Units	Parking Stalls
Medical/dental office	Employees	1.60 per 1000 sq. ft. GFA	44	1000 sq. ft. GFA	71
	Visitors	3.00 per 1000 sq. ft. GFA	44	1000 sq. ft. GFA	132
Total Weekday Parking Demand					203

According to the ULI *Shared Parking, 3<sup>rd</sup> Edition*, the weekday parking demand, based upon the gross floor area (GFA), is 203 parking spaces. Dobson Town Place provides 253 existing parking spaces, which represents a surplus of 50 (24.6%) parking spaces for the proposed development.

### Conclusion

Therefore, the existing number of parking spaces at the Dobson Town Place development meets and exceeds the anticipated parking demand of 43,968 square feet of medical-dental office space, in accordance with ULI *Shared Parking, 3<sup>rd</sup> Edition* for a typical weekday.





## 7. CONCLUSIONS

Dobson Town Place proposes to utilize the existing five-building complex, totaling 43,968 square feet, for medical-dental office use only. Through this Parking Demand Study, Dobson Town Place is requesting the approval to use the existing 253 parking spaces. This represents a reduction of 41 (13.9%) parking spaces for the development per the City of Chandler Parking and Loading Regulations. It has been observed that a number of patients/customers of the existing medical-dental tenants are dropped-off/picked-up and that the existing parking lot is underutilized.

The City has an allowance for a 40% maximum reduction in parking spaces from the required amount, therefore the number of parking spaces proposed by Dobson Town Place is in compliance with this stipulation. Additionally, the City permits parking demand estimates to be calculated using parking generation studies from ITE and ULI.

Based on the parking demand estimates respective to the ITE Parking Generation and ULI Shared Parking, 253 parking spaces will provide sufficient parking to meet and exceed the parking demand for Dobson Town Place to be utilized as medical-dental office space with a total of 43,968 square feet.

**In conclusion, the request by Dobson Town Place to utilize the existing 253 parking spaces will provide sufficient parking to meet and exceed the parking demand of 43,968 square feet of medical-dental office space.**

### Parking Summary

	Reference Table	Parking Spaces	Surplus
<b>City of Chandler Code of Ordinances</b>			
Article XVIII. - Parking and Loading Regulations	1	294	-41
<b>ITE Parking Generation, 5th Edition</b>			
Average - Weekday	2	142	111
85th Percentile - Weekday	3	202	51
<b>ULI Shared Parking, 3rd Edition</b>			
Weekday	4	203	50



## Appendix A – Proposed Site Plan

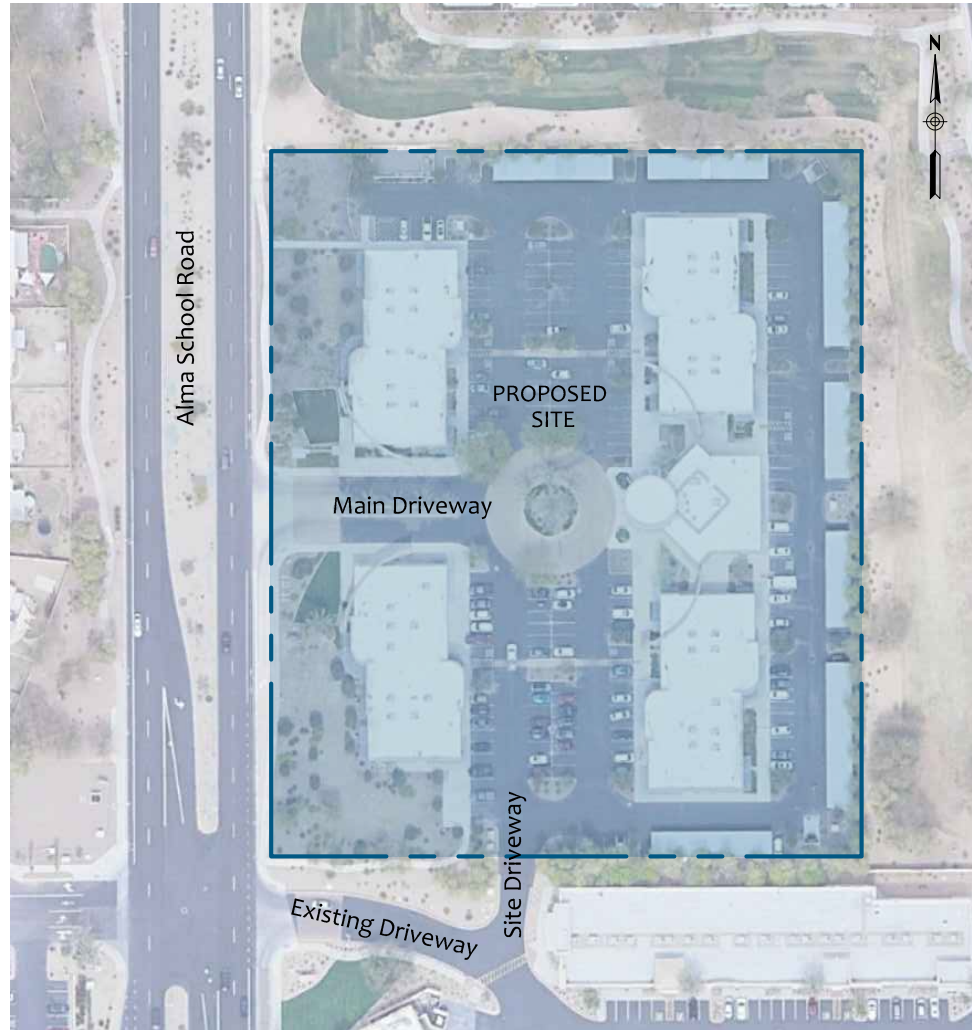


FIGURE 2 | SITE PLAN





## Appendix B – City of Chandler Code of Ordinances – Parking Schedule

The following schedule provides the minimum parking spaces required for individual stand-alone uses. Parking shared by multiple uses shall be subject to parking requirements for shopping centers where permitted by the underlying zoning and/or shared parking requirements pursuant to Section 35-1807(2) Shared Parking. All parking requirements are based on gross floor area unless otherwise stated.

(1) *Residential:*

Single-family	** <u>2</u> spaces/unit
Two-family	** <u>2</u> spaces/unit
Townhouse, patio home	** <u>2</u> spaces/unit
Multi-family: Efficiency or studio One-bedroom Two-bedroom Each additional bedroom	*** 1 space/unit *** 1.5 spaces/unit *** <u>2</u> spaces/unit *** 0.25 spaces
Mobile home subdivision or park	*** <u>2</u> spaces/home or trailer

\*\*2 spaces per unit shall be covered

\*\*\*1 space per unit shall be covered

(Note: The entire space nine (9) by nineteen (19) feet as defined in Section 35-1802(1) shall be covered.)

(2) *Institutional:*

Elementary and junior high school	One (1) space/classroom Plus one (1) space for each two hundred (200) square feet of floor area in office use
High schools, colleges	One (1) space/two hundred (200) square feet gross floor space

Trade or business schools	One (1) space/two hundred (200) square feet
Library	One (1) space/two hundred fifty (250) square feet
Museum	One (1) space/two hundred fifty (250) square feet
Churches	One (1) space/four (4) seats
Hospitals	Three (3) space/bed
Convalescent homes	One (1) space/three (3) beds
Government offices	One (1) space/two hundred (200) square feet
Elderly care housing	0.75 spaces/unit Plus one (1) additional space per project employee/attendant

(3) *Commercial:*

Auditorium, theaters, stadium or similar place of assembly	One (1) space/two hundred (200) square feet or one (1) space/five (5) seats, whichever is greater
Private clubs, lodges (no overnight accommodations)	One (1) space/two hundred (200) square feet or one (1) space/five (5) seats, whichever is greater
Dance halls	One (1) space/two hundred (200) square feet
Health club or fitness club with multiple amenities (Gymnasium, fitness center and other recreational uses offering multiple amenities such as swimming pools, ball courts, and exercise equipment)	One (1) space/two hundred (200) square feet



Recreational community centers with multiple amenities (public or nonprofit facilities providing multiple amenities and recreational services such as swimming pools, ball courts, outdoor athletic fields, meeting rooms, classes, fitness center, day care, locker rooms, and lounge/snack area)	One (1) space/two hundred (200) square feet
Single use recreational facilities (athletic training, family recreational, or other recreational facilities specializing in a single use such as amusement centers, skating rinks, bounce gyms, party places, baseball/batting training facility, cheerleading training, dance studio, swimming, martial arts studio, yoga/pilates studio, personal training, fencing, laser tag, indoor paintball, boxing training) not hosting tournaments, exhibitions or other similar events	One (1) space/three hundred (300) square feet
Single use recreational facilities hosting tournaments, exhibitions or other similar regional events	To be determined by a parking demand study based on seating capacity prepared specifically for the subject use
Funeral homes	One (1) space/four (4) seats in main assembly area or one (1) space/three hundred (300) square feet, whichever is greater
Medical, dental offices, clinics	One (1) space/one hundred fifty (150) square feet
General offices, nonretail, excluding call centers	One (1) space/two hundred fifty (250) square feet
Call Center	One (1) space/one hundred fifty (150) square feet

Hotels, motels, boarding homes	One (1) spaces for each sleeping room Plus one (1) space/one hundred (100) square feet of meeting, banquet and restaurant space not solely intended for hotel guests and/or staff
Restaurants, cafes, bars, cocktail lounges	One (1) space/fifty (50) square feet of public serving area Plus one (1) space/two hundred (200) square feet of preparation area
Shopping centers (less than ten (10) gross acres in size)	Five and one-half (5.5) spaces/one thousand (1,000) square feet
Shopping centers (ten (10) gross acres or larger in size)	One (1) space/two hundred fifty (250) square feet
Retail sales	One (1) space/two hundred fifty (250) square feet
Childcare or Child daycare	One (1) space/three hundred (300) square feet
Bulky merchandise sales, nurseries, building materials, equipment rental	One (1) space/three hundred (300) square feet
Banks and personal service	One (1) space/one hundred fifty (150) square feet
Bowling alleys	Four (4) spaces/lane
Tennis, handball courts	Three (3) spaces/court
Golf course	One (1) space/two hundred (200) square feet in main building Plus four (4) spaces per green
Motor vehicle repair	Three and one-half (3.5) spaces/vehicle service bay

Motor vehicle sales and rental	One (1) space/two hundred fifty (250) square feet of interior display space and office Plus three and one-half (3.5) spaces/vehicle service bay
Motor vehicle wash	Two (2) spaces minimum Plus other uses (Retail sales, motor vehicle repair, restaurant, office)

(4) *Industrial:*

Manufacturing	One (1) space/one thousand (1,000) square feet gross floor area (Ord. No. 1506, 8-11-85) Plus one (1) space/two hundred fifty (250) square feet of office space
Warehousing	One (1) space/five hundred (500) square feet for the first ten thousand (10,000) square feet Plus one (1) space/five thousand (5,000) square feet for remaining warehouse Plus one (1) space/two hundred and fifty (250) square feet of office space

(5) *City Center District:* All required off-street parking within the City Center District shall be in accordance with Section 35-3204(F).

(6) *Parking Districts:* Any use which participates in a parking district shall be subject to the requirements of said parking district.

(7) *Unlisted uses:* In cases of unlisted uses or unusual circumstances, the Zoning Administrator may determine specific parking requirements based on the unique needs of the individual case, the requirements for the most comparable use, and any other relevant data regarding parking demand. In order to make this



determination, the Zoning Administrator may require the applicant to submit a parking demand study pursuant to Section 35-1807(3) Parking Demand Studies.

(8) *Maximum Parking Spaces*: The number of parking spaces provided by any development shall not exceed one hundred twenty-five (125) percent of the minimum required spaces in the parking schedule, except as follows:

- (a) Parking within the building footprint of a structure (e.g. rooftop parking, below grade parking, multi-level parking structure);
- (b) When a change in use to an existing development causes a lower parking requirement;
- (c) Parking spaces managed for shared parking;
- (d) Phased projects do not need to comply with the maximum space requirement until the final phase is constructed;
- (e) A site specific parking demand study justifies the need to exceed the maximum parking and a minimum fifty (50) percent of the site's parking area (including parking spaces, driveways, and sidewalks) is provided with one (1) or any combination of the following options to help mitigate the heat island effect:
  - 1. Paving materials shall have a minimum solar reflectance index as required by the latest amended edition of the "International Green Construction Code" approved by the International Code Council;
  - 2. Shade is provided by architectural devices or structures that have a minimum Solar Reflectance Index as required by the latest amended edition of the "International Green Construction Code", except for solar photovoltaic systems which shall not be required to comply with said minimum Solar Reflectance Index;
  - 3. Shade is provided by open trellis-type structures that are designed to be covered with plant material and achieve mature coverage within five (5) years from the date of occupancy;
  - 4. Shade is provided by trees. Hardscape areas located directly beneath trees shall be measured based on anticipated five-year canopy growth beginning from the date of occupancy. Duplicate shading credit shall not be granted for those areas where multiple trees shade the same hardscape;
  - 5. Open-grid pavers and/or other permeable paving materials approved by the City Engineer that are less than fifty (50) percent impervious are utilized.

(Ord. No. 1291, § I, 1-9-84; Ord. No. 1421, II, 1-10-85; Ord. No. 1506, 8-11-85; Ord. No. 3063, § 3, 11-18-99; Ord. No. 3262, § 1, 5-10-01; Ord. No. 4375, § I, 8-13-12)



**Planning & Zoning Commission Memorandum**  
**Memo No. 22-052**

**Development Services**

**Date:** 11/16/2022  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
 David de la Torre, Planning Manager  
**From:** Benjamin Cereceres, City Planner  
**Subject:** PLH22-0005 Crown Castle Wireless  
**Request:** Request Use Permit approval to install a wireless communication facility.  
**Location:** 2055 S. Stearman Drive at the southeast corner of Germann Road and Stearman Drive  
**Applicant:** Declan Murphy; VoloGroup

**Proposed Motion:**

Move Planning and Zoning Commission continue PLH22-0005 Crown Castle Wireless to January 18, 2023 for the purpose of discussing the item in a Design Review Committee to be held on December 7, 2022, as recommended by Planning staff.

**Background Data:**

- Planned Area Development (PAD) for Business Park.
- Zoning code requires a use permit for a wireless facility that is not co-located on an existing pole and which creates a new pole holding a wireless facility.

**Surrounding Land Use Data:**

North	Across Germann Road: PAD for commercial	South	Charter school
East	PAD for commercial	West	Across Stearman Drive: PAD for office and light industrial

## **Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)**

Type of Tower	Broadleaf Tree
Total height to top of Broadleaf Tree	80'
Center of T-Mobile Antenna	76'
Center of Future Carrier (1)	66'
Center of Future Carrier (2)	56'

### **Review and Recommendation:**

This Use Permit request is to establish a broadleaf tree wireless telecommunication facility. During review, Planning staff tried to work with the applicant to address a couple of concerns; 1) proposed height and 2) providing a facility that is visually unobtrusive and natural looking.

Staff asked the applicant to reduce the height of the proposed 80' wireless facility to 65' and to enhance the design of the facility so that it is not considered visibly or physically intrusive. Historically the City of Chandler has approved wireless telecommunication facilities that are a maximum height of 65'. Planning staff has conducted research of approved wireless communication facilities since 2010 and the maximum height permitted within the last 12 years has been 62'.

The applicant is required to provide a list of wireless communication facilities that are equal to or taller than the proposed height within 1 square mile of the proposed location. According to the applicant, there is one location that is within Maricopa County's jurisdiction and the height is called out at 70' which is still lower by 10' than the proposed 80' tall facility. In addition, an inventory of wireless communication facilities within two (2) miles of the site was provided with the tallest site being a light pole within the Town of Gilbert school property with a height of 75'.

Staff finds that the proposed broadleaf tree design is visually obtrusive as it more closely resembles a pipe cleaner rather than a tree with a natural look. For this reason, staff asked the applicant to modify the tree type from a broad leaf tree to a palm. As an alternative to a monopalm, staff is also open to a more natural looking tree design. However, the applicant has stated that the proposed broadleaf tree is desired due to better screening of the proposed wireless provider



equipment, and it provides co-location opportunities for a total of three (3) wireless facilities being able to locate on the broadleaf tree.

Currently, no existing wireless telecommunication facilities exist on site. A wireless communication facility is not permitted by right and must receive Use Permit approval in order to have a wireless communication facility on the property that is not collocated on an existing pole. Staff has reviewed the request and finds that it's not consistent with the General Plan and Zoning code.

### **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- No neighborhood meeting was held since no residents live within the notification area.
- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

### **Recommended Conditions of Approval**

Planning staff recommends Planning and Zoning Commission continue PLH22-0005 Crown Castle Wireless to January 18, 2023 for the purpose of discussing the item in a Design Review Committee to be held on December 7, 2022.

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### **Attachments**

Vicinity Maps

Narrative

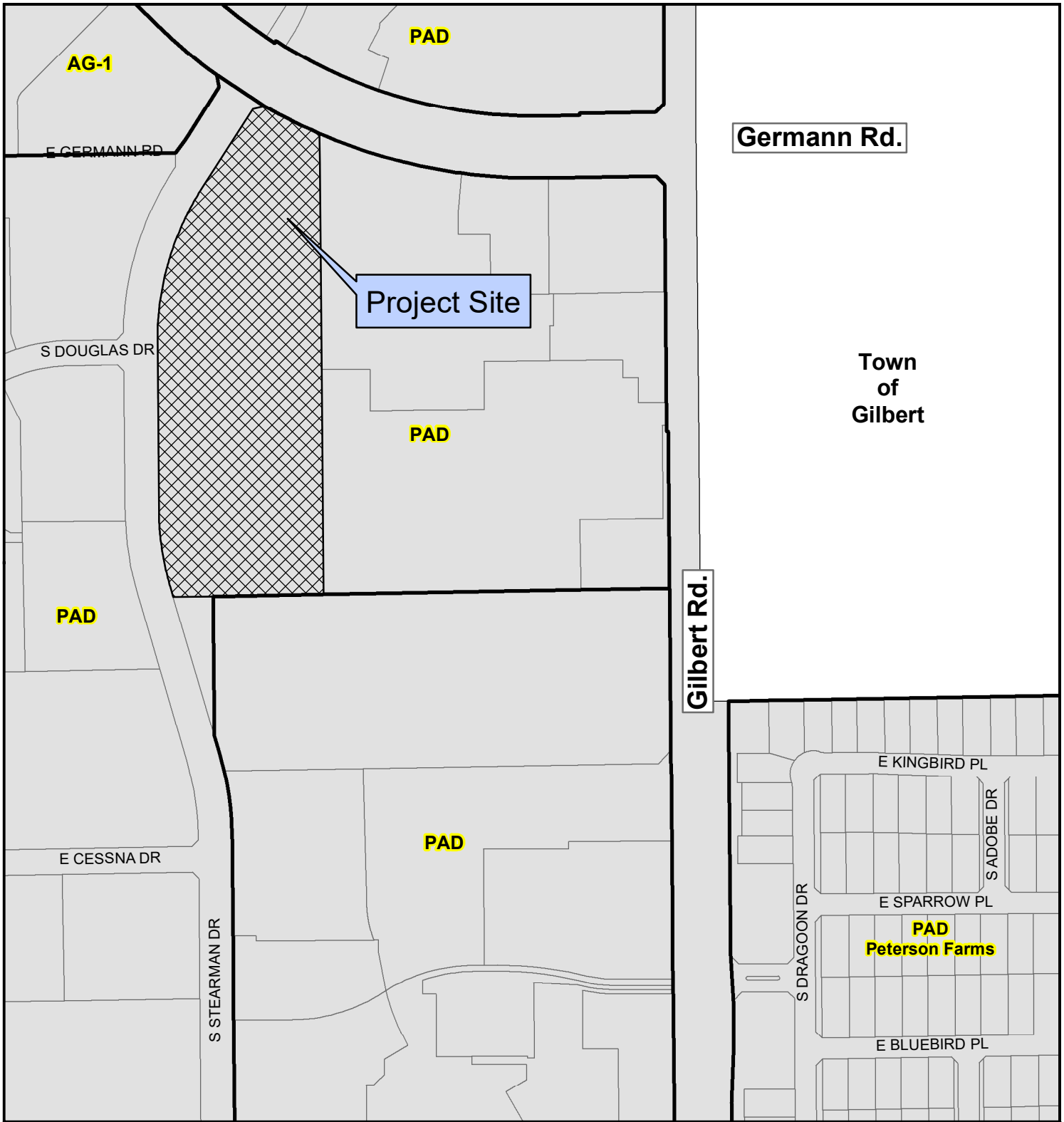
FAA Approval

Inventory of Structure Equal to or Greater within 1 Square Mile

Inventory of Structures within 2 Miles

Site Plan and Elevations

Photo Simulations



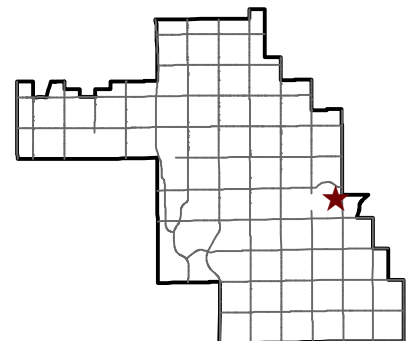
**PLH22-0005 Crown Castle Wireless**



**Proposed Project Details**  
2055 S. Stearman Dr.  
Request Use Permit approval to install  
a wireless communication facility



City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
For more information visit:  
<https://gis.chandleraz.gov/planning>







## PLH22-0005 Crown Castle Wireless



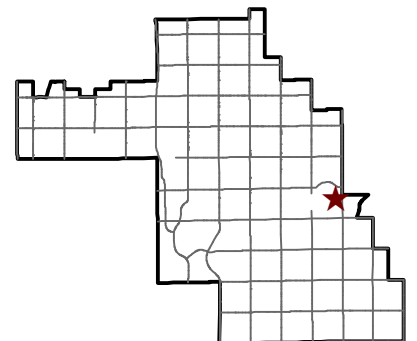
### Proposed Project Details

2055 S. Stearman Dr.

Request Use Permit approval to install  
a wireless communication facility



City of Chandler Planning Division  
[chandleraz.gov/planning](https://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>







PH69342A - Crown Jewel  
2055 S Stearman Drive, Chandler AZ 85286  
APN: 303-31-370

### **Purpose of Request**

T-Mobile is committed to improving coverage and expanding network capacity to meet customer demand throughout the City of Chandler. T-Mobile in cooperation with Crown Castle is proposing a new Wireless Communication Facility (WCF) to be located at 2055 S Stearman Drive, Chandler.

The proposed WCF will provide residents, visitors and businesses with improved high quality reliable wireless service for both personal & business, in addition to enhancing emergency services in the area.

### **Details of Request**

T-Mobile is trying to address a GAP in coverage in the vicinity of the subject property. The first choice from a cost/speed to market perspective is always to co-locate. Unfortunately, there are no suitable co-location options in the immediate area where the GAP in coverage exists.

T-Mobile has no option but to pursue a new WCF to address the network issues. The proposed site will be disguised as an 80' Broadleaf Tree, and designed to accommodate multiple carriers.

There are other carriers that have expressed interested in co-locating on the proposed WCF. It's fair to assume that accommodating multiple carriers on a single WCF is more appealing from a jurisdiction perspective, as opposed to promoting the proliferation of additional sites in the immediate area.

We believe that the proposed site type/height is practical for this location (far removed from the nearest residential), and should eliminate the need for any new WCF's in the immediate area going forward.

The FAA has approved 80' at the proposed location. Please let me know if you need any additional information.

Sincerely,

A handwritten signature in black ink that reads 'Declan Murphy'.

Declan Murphy  
Coal Creek Consulting for T-Mobile  
8283 N Hayden Road, Suite 258, Scottsdale AZ 85258  
Tel: (602) 326-0111  
Email: dmurphy@coal-creek.com



ASAC SITE SPECIFIC EVALUATION  
FOR

Site Name: Crown Jewel

Site Number: 831380

Site Location: Gilbert, AZ.

Requestors Name: Jessica Madsen

Company Name: Crown Castle

Street Address: 2055 S. Stearman Drive

City and Zip: Chandler, AZ. 85286

This is an evaluation based on application of surfaces identified in Federal Aviation Regulation (FAR) Part 77 and Federal Communication Commission (FCC) Rules Part 17.

EXECUTIVE SUMMARY

- ✚ The max height that can be built at this site without notice to the FAA is 23 feet AGL or 1272 feet AMSL.
- ✚ The max No Extended Study height at this site is 144 AGL, or 1393 AMSL.
- ✚ The max no hazard height at this site is 144 AGL, or 1393 AMSL.
- ✚ The max no marking and lighting height at this site is 144 AGL, or 1393 AMSL.

SITE DATA

Structure Type: Antenna Tower

Coordinates of site:	Lat:	33°16'33.68"
	Long:	111°47'33.49"
	Datum:	NAD 83

Site ground elevation:	1249
Total height above the ground of the entire structure (AGL):	144
Total height above mean sea level (AMSL):	1393

### AIRPORT/HELIPORT INFORMATION

Nearest public use or Government Use (DOD) facility: Chandler Municipal.

This structure will be located 1.0 NM or 6173 FT from the airport on a bearing of 246 degrees true to the airport.

Nearest private use landing facility is: Mercy Gilbert Medical Center.

This structure will be located 2.1 NM from the helipad on a bearing of 70 degrees true to the helipad.

### STUDY FINDINGS

FAA FAR Part 77 paragraph 9 (FAR 77.9): (Construction or Alteration requiring notice.) (These are the imaginary surfaces that the FAA has implemented to provide general criteria for notification purposes.)

This structure does require notification to the FAA.

FAA FAR Part 77 paragraph 17(FAR 77.17): (Standards for Determining Obstructions.)(These are the imaginary surfaces that the FAA has implemented to protect aircraft safety. If any of these surfaces are penetrated, the structure may pose a Hazard to Air Navigation.)

This structure does not exceed these surfaces.

FCC Notice Requirements:  
(FCC Rules, Part 17)

This structure does require notification to the FAA or FCC based on these rules.

FAA EMI:  
(The FAA protects certain air navigational aids, radio transmitters, and RADAR facilities from possible interference. The distance and direction are dependent on the type of facility being evaluated. Some of these transmission and receiver facilities are listed in the National Flight Data Center (NFDC) database.)

This site would not affect any FAA air navigational aids or transmitters.



Military Airspace:

(This would include low level visual and instrument routes along with operations areas and special use airspace.)

This structure will not affect this airspace.

AM Facilities:

(The FCC protects AM radio stations from possible interference for a distance of 3.0 km for directional facilities, and 1.0 km for non-directional facilities. New changes to the FCC critical distances are calculated based on the AM transmission Movement Method Proof evaluation.)

This site was evaluated against the FCC's AM antenna database using the Movement Method proof calculations and no further action is required.

MARKING AND LIGHTING

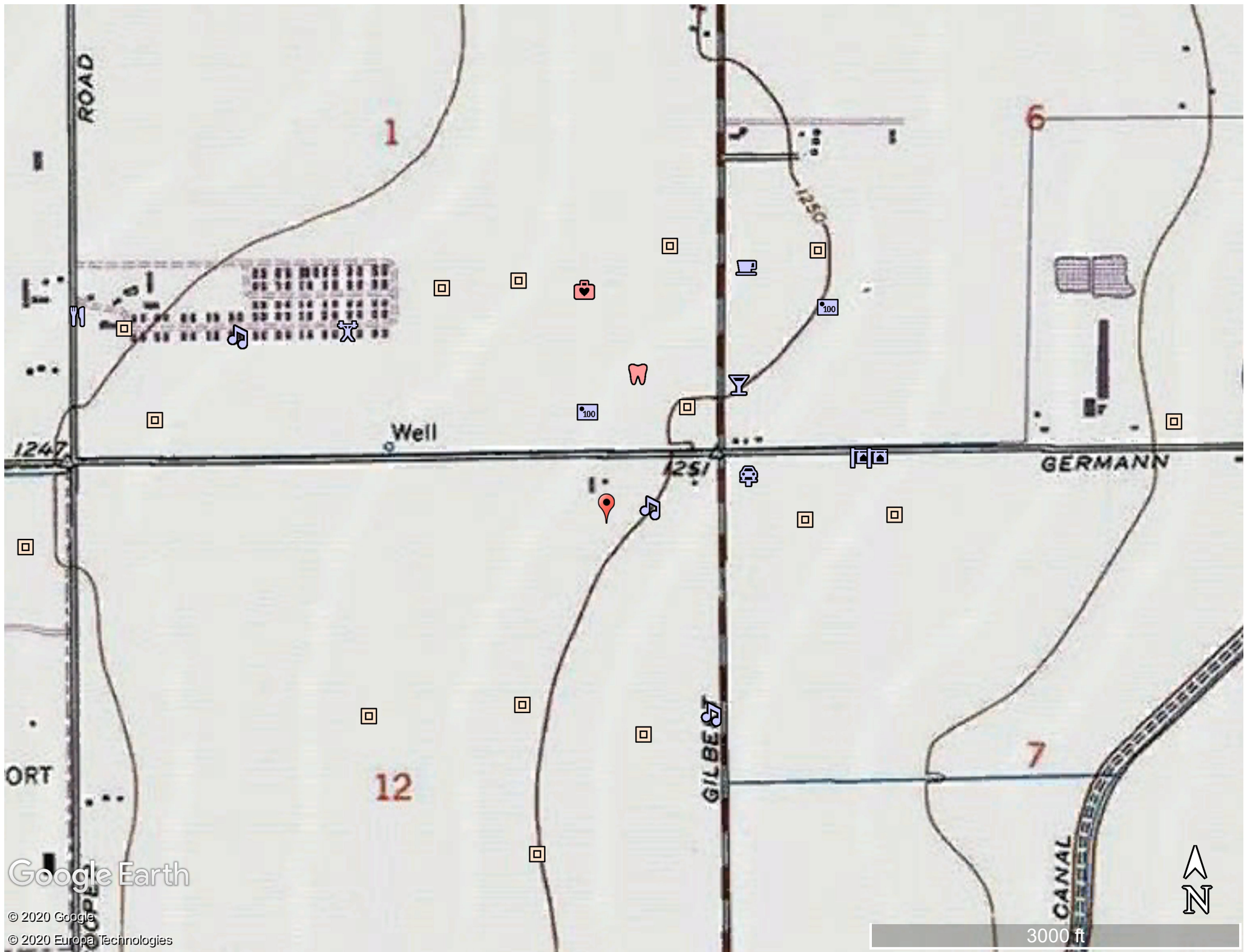
FAA Advisory Circular 70/7460-1:

Marking and lighting is not required for this structure.

RECOMMENDATIONS

This site was evaluated in accordance with the requirements specified by the FAA under Federal Aviation Rules part 77, and found not to be a hazard to air navigation.

This site is located 1243' from the end of the runway at Chandler airport. This site is located below the VFR horizontal surface. This surface is at 144' AGL (1393' AMSL) and a penetration to this airspace would be considered a Hazard to Air Navigation by the FAA.

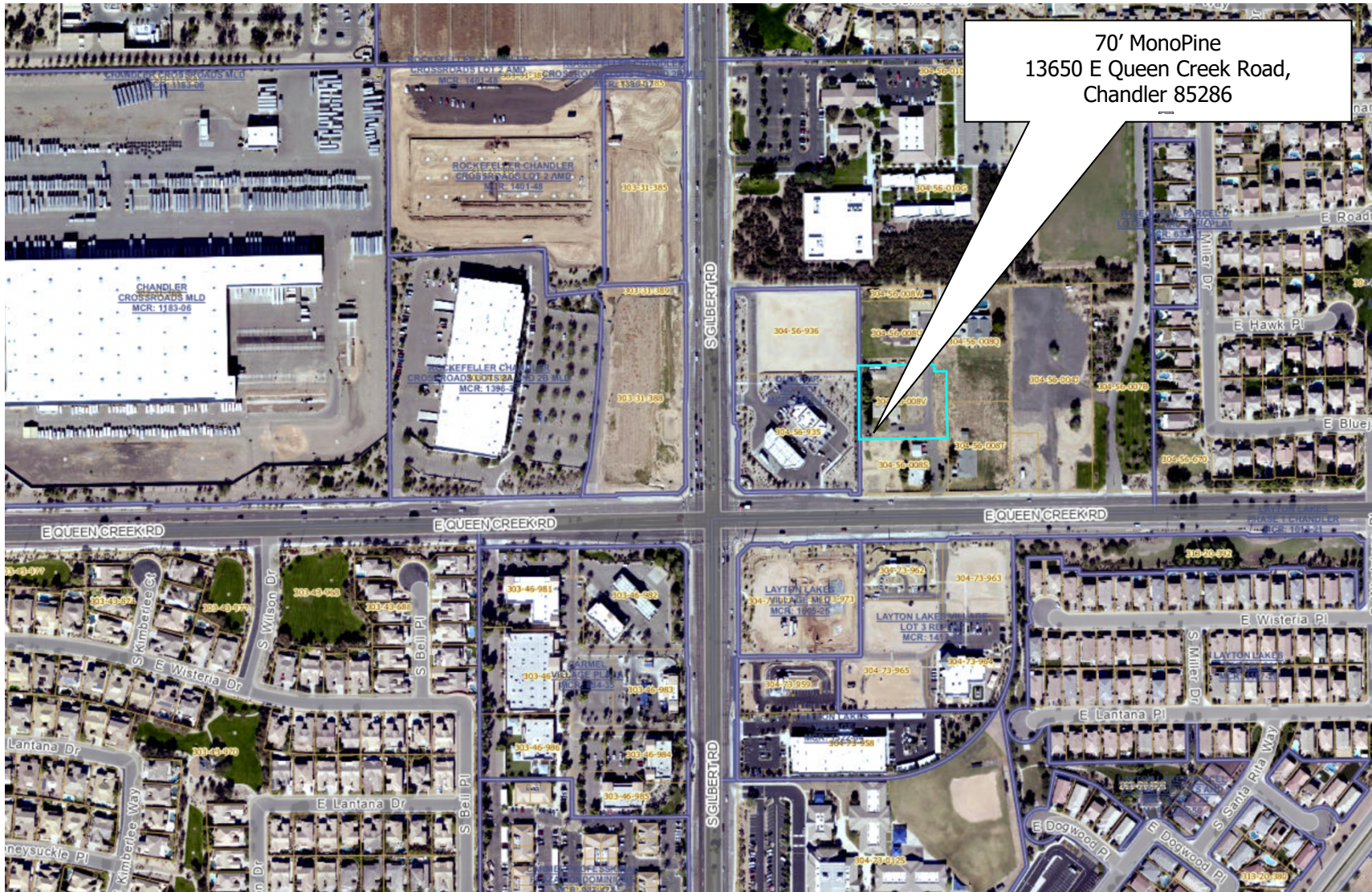


Google Earth

© 2020 Google  
© 2020 Europa Technologies



## Inventory of Vertical Structures Equal or Greater





**Inventory of Vertical Structures Equal or Greater**





### Sites within two (2) Miles of Proposed Site



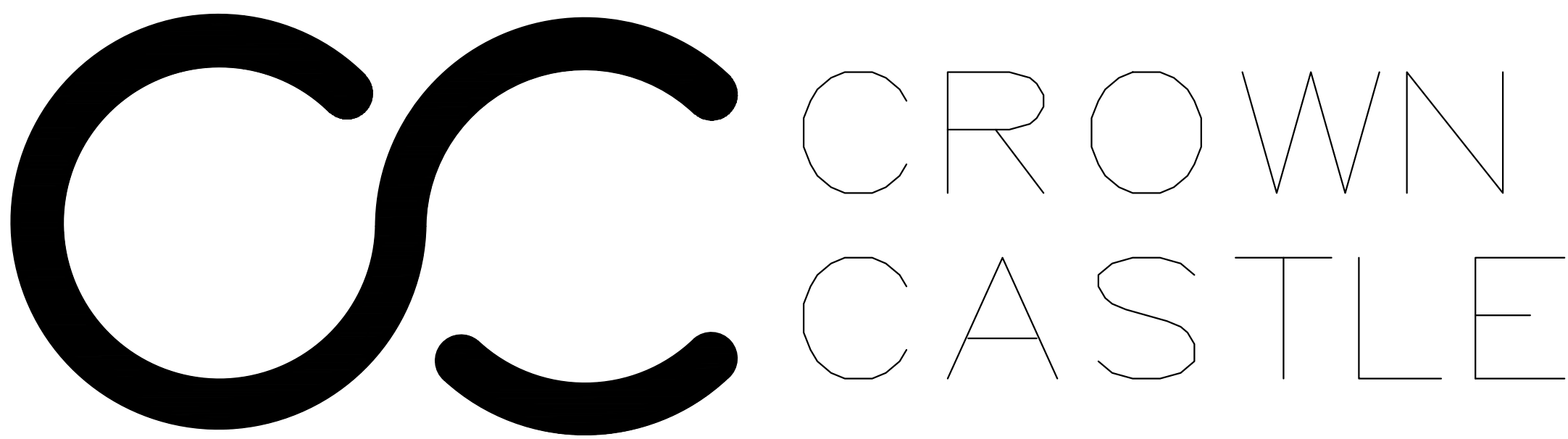




**Sites within two (2) Miles of Proposed Site**

- PH10531A – 65' MonoPalm (18412 S. Lindsay Rd Gilbert AZ 85296)
- PH10523E – 70' MonoPole (2100 South Cooper Rd. Chandler AZ 85249)
- PH30541A – 40' In Building (2777 S Gilbert Road, Chandler AZ 85249)
- PH10539B - 65' MonoPalm (22128 S 132nd St Chandler AZ 85249)
- PH7234WA – 40' In Building (2975 E Ocotillo Road, Chandler AZ 85249)
- PH30547H - 65' MonoPole (21501 S 146<sup>th</sup> Street, Gilbert AZ 85298)
- PH30414A - 70' Lightpole (2626 E. Pecos Rd. Gilbert AZ 85225)
- PH30507E – 55' MonoPalm (2025 E Chandler Blvd Chandler AZ 85225)
- PH30413A – 60' In Building (3275 S Market St Gilbert AZ 85297)
- PH10406G – 75' Lightpole (5021 S. Key Biscayne Dr Chandler AZ 85298)





SITE #:  
SITE NAME:  
STATE:  
COUNTY:  
DESIGN TYPE:

PH69342A  
CROWN JEWEL (831830)  
ARIZONA  
MARICOPA  
NEW SITE BUILD

CLIENT

CROWN  
CASTLE

2055 S. STEARMAN DRIVE  
CHANDLER, AZ 85286  
OFFICE: (602) 845-1722

CONSULTANT

COAL CREEK  
CONSULTING

8283 N. HAYDEN RD., STE 258  
SCOTTSDALE, ARIZONA 85258  
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD

SEAL

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2017 NATIONAL ELECTRICAL CODE/NFPA-70

ACCESSIBILITY REQUIREMENTS:

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL BUILDING CODE.

PROJECT SUMMARY

PROPERTY OWNER:  
CROWN CASTLE USA INC.  
4017 WASHINGTON RD. PMB 353  
MCMURRAY PA, 15317

APN: 303-31-370  
ZONING CLASSIFICATION: PAD  
JURISDICTION: CITY OF CHANDLER  
LAT: 33°16'36.466"N (33.276796) NAD83  
LONG: 111°47'33.496"W (-111.792638) NAD83  
GROUND ELEV: 1249.0' A.M.S.L. (NAVD88)

PROJECT DESCRIPTION

CROWN PROPOSES TO INSTALL THE FOLLOWING ITEMS:  
REMOVE EXISTING CONCRETE CURBING  
ADD A 18'X40' BLOCK WALL COMPOUND 8' HIGH  
ADD 600 AMP METER/DISCONNECT  
ADD (2) 6"Ø CONCRETE BOLLARDS  
ADD (1) 12' WIDE ROLLING ACCESS GATE  
ADD A 80' HIGH BROADLEAF TREE  
ADD NEW CONCRETE CURBING

T-MOBILE PROPOSES TO INSTALL THE FOLLOWING ITEMS:  
ADD A WEATHERPROOF LIGHT SWITCH AND (4) LED TECH LIGHTS  
ADD A PPC AND CIENA ON H-FRAME  
ADD A 8'X13' CONCRETE SLAB  
ADD (1) BATTERY EXPANSION CABINET  
ADD (1) SITE SUPPORT CABINET  
ADD (2) JUNCTION BOXES ON H-FRAME  
ADD AN EXCESS FIBER BOX ON H-FRAME  
ADD AN ICE BRIDGE TO BASE OF POLE  
ADD (2) HYBRID CABLES WITH PENDANTS ATTACHED TO END  
ADD A 3-SECTOR ANTENNA MOUNT WITH STIFF ARMS  
ADD (6) RADIO MODULES, (2) PER SECTOR  
ADD (6) ANTENNAS, (2) PER SECTOR  
ADD (6) ANTENNA SOCKS, (1) PER ANTENNA

PROJECT TEAM

PROJECT MANAGER:  
T-MOBILE  
1330 W. SOUTHERN AVE., STE A-102  
TEMPE, AZ 85282

CONSTRUCTION MANAGER:  
COAL CREEK CONSULTING  
8283 N. HAYDEN RD. SUITE 258  
SCOTTSDALE, ARIZONA 85258  
CONTACT: MIKE PIETRANTONI  
PHONE: (480) 225-3630

SITE ACQ. CONSULTANT:  
COAL CREEK CONSULTING  
8283 N. HAYDEN RD. SUITE 258  
SCOTTSDALE, ARIZONA 85258  
CONTACT: TINA ENAMORADO  
PHONE: (949) 278-9424

A&E DESIGN:  
COAL CREEK CONSULTING  
8283 N. HAYDEN RD. SUITE 258  
SCOTTSDALE, ARIZONA 85258  
CONTACT: SHAWN EVANS  
PHONE (602) 758-5829

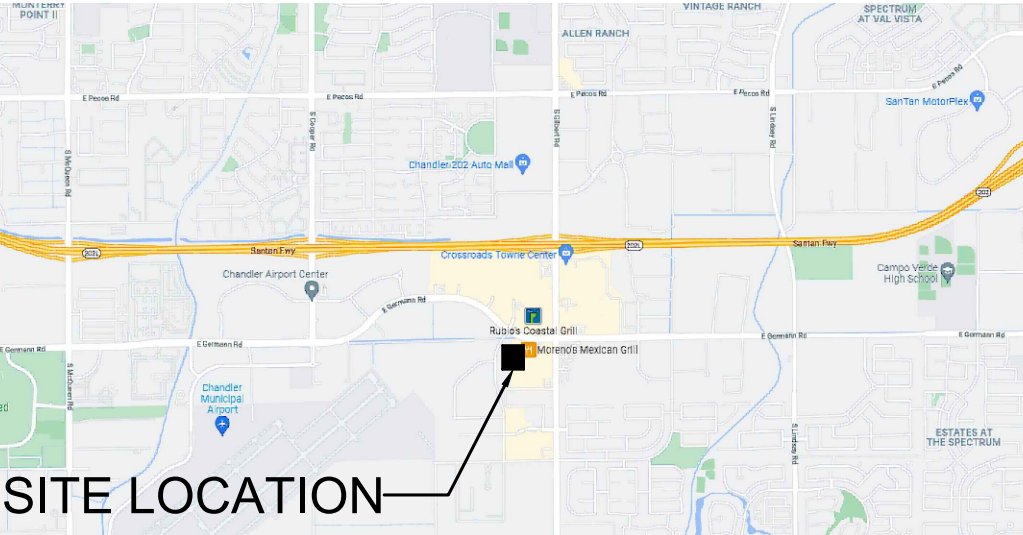
SURVEYOR:  
RLF CONSULTING  
1214 N. STADEM DR.  
TEMPE, AZ 85281  
CONTACT: RYAN FIDLER  
PHONE (480) 445-9189

SHEET INDEX

T-1 TITLE SHEET, VICINITY MAP & GENERAL INFO.  
LS-1 TOPOGRAPHIC SURVEY  
LS-2 TOPOGRAPHIC SURVEY  
LS-3 LEGAL DESCRIPTIONS

ZONING:  
Z-1 OVERALL SITE PLAN  
Z-2 SITE PLAN  
Z-3 ENLARGED SITE, ANTENNA AND DIMENSION PLAN  
Z-4 ELEVATIONS  
Z-5 ELEVATIONS

VICINITY MAP



DRIVING DIRECTIONS

FROM THE T-MOBILE OFFICE: TAKE PRIEST DR. S. AND TURN LEFT TO MERGE ONTO THE AZ-60 E.. TAKE EXIT 176A AND MERGE ONTO THE 101 LOOP SOUTH. TAKE EXIT 61C AND MERGE ONTO THE 202 LOOP E.. TAKE EXIT 45 AND TURN RIGHT ON S. COOPER RD.. TURN LEFT ON E. GERMANN RD.. TURN RIGHT ON S. STEARMAN DR. THE EXISTING PROPERTY WILL BE ON THE LEFT. NEW COMPOUND WILL BE LOCATED ON THE E. SIDE OF THE PROPERTY.

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

PROJECT INFORMATION  
JOB: 15-018-03

PH69342A  
CROWN JEWEL  
(831830)

2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286

SHEET TITLE

TITLE SHEET, VICINITY  
MAP & GENERAL  
INFORMATION

JURISDICTIONAL APPROVAL

SHEET NUMBER

T-1

RFDS VER 1 DATED 8/24/2021 AT 3:8:58 PM



SURVEYOR NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO.: 34973482 EFFECTIVE DATE: 07/22/2021.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C2743M DATED 11/04/15.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

SCHEDULE B EXCEPTIONS

- TAXES TYPE OF TAX: COUNTY CALENDAR YEAR: 2020  
AMOUNT: \$181,663.98 ANNUALLY PARCEL ID #: 303-31-370  
PAID THROUGH: 2020 ASSESSMENT: \$8,882,454.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY)
- ROAD DECLARED RECORDED JULY 21, 1970 IN DEED BOOK 8230, PAGE 477. (OUTSIDE PARENT PARCEL)
- RESOLUTION ADOPTING STATE ROUTE PLAN RECORDED ON MAY 9, 1985 IN INSTRUMENT NO. 85-212890. (BLANKET IN NATURE - COVERS MULTIPLE SECTIONS)
- EASEMENT IN FAVOR OF STATE OF ARIZONA, BY AND THROUGH ITS DEPARTMENT OF TRANSPORTATION, ITS SUCCESSORS OR ASSIGNS SET FORTH IN INSTRUMENT RECORDED ON NOVEMBER 15, 2002 IN INSTRUMENT NO. 20021213047. (EASEMENT LIES OUTSIDE PARENT PARCEL)
- DECLARATION OF EASEMENT, BY EXETER REAL ESTATE INVESTORS XXII, AN ARIZONA LIMITED PARTNERSHIP, RECORDED ON MAY 4, 2004 IN INSTRUMENT NO. 20040490775. (EASEMENT LIES OUTSIDE PARENT PARCEL)
- SPECIAL WARRANTY DEED OF DEDICATION DATED APRIL 29, 2004 BY AND BETWEEN EXETER REAL ESTATE INVESTORS XXII, AN ARIZONA LIMITED PARTNERSHIP, AS GRANTOR, AND CITY OF CHANDLER, AN ARIZONA MUNICIPAL CORPORATION, AS GRANTEE, RECORDED ON AUGUST 24, 2004 IN INSTRUMENT NO. 2004-0980864. (REFERENCED ON SURVEY)
- PUBLIC UTILITY EASEMENT IN FAVOR OF EXETER REAL ESTATE INVESTORS XXII, AN ARIZONA LIMITED PARTNERSHIP SET FORTH IN INSTRUMENT RECORDED ON AUGUST 24, 2004 IN INSTRUMENT NO. 2004-0980865. (REFERENCED ON SURVEY)
- ORDER OF IMMEDIATE POSSESSION IN FAVOR OF CITY OF CHANDLER, AN ARIZONA MUNICIPAL CORPORATION, RECORDED ON JUNE 1, 2004 IN INSTRUMENT NO. 2004-0613698. (REFERENCED ON SURVEY)
- POWER DISTRIBUTION EASEMENT IN FAVOR OF SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT, AN AGRICULTURAL IMPROVEMENT DISTRICT ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF ARIZONA, ITS THEIR RESPECTIVE SUCCESSORS AND ASSIGNS SET FORTH IN INSTRUMENT RECORDED ON OCTOBER 1, 2004 IN INSTRUMENT NO. 20041154100. (BLANKET IN NATURE - UNABLE TO LOCATE PLACEMENT)
- LOCATION NOTICE OF IRRIGATION FACILITIES RECORDED ON FEBRUARY 9, 2010 IN INSTRUMENT NO. 20100111197. (BLANKET IN NATURE - UNABLE TO LOCATE PLACEMENT)
- ORDINANCE NO. 4565 RECORDED ON JANUARY 7, 2015 IN INSTRUMENT NO. 20150007500. (REFERENCED ON SURVEY)
- EXCEPT THE COAL, OIL, GAS AND OTHER MINERALS UNDERLYING THE SURFACE OF SAID LAND AND ALL RIGHTS AND EASEMENTS IN FAVOR OF THE ESTATES OF SAID COAL, OIL, GAS AND OTHER MINERALS; INCLUDING, BUT NOT LIMITED TO, EXPRESS OR IMPLIED EASEMENTS IN, OVER AND UNDER THAT ESTATE FOR THE ENTRY AND REMOVAL OF MINERALS. THIS POLICY SHOULD NOT BE CONSTRUED AS INSURING AGAINST LOSS OR DAMAGE RESULTING TO THE SURFACE OF THE LAND OR ANY IMPROVEMENTS THEREON CAUSED BY SURFACE ENTRY OR BY THE REMOVAL OF THE OIL, GAS, AND OTHER MINERALS LYING THEREUNDER. SEE INSTRUMENT RECORDED IN INSTRUMENT NO. 20150700831. (NO PLOTTABLE EASEMENTS OR LEASE AREAS)
- MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN PLAT BOOK 16, PAGE 15. (DOES NOT CONTAIN ANY EASEMENTS OR LEASE AREAS)
- MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN PLAT BOOK 17, PAGE 23. (DOES NOT CONTAIN ANY EASEMENTS OR LEASE AREAS)
- MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN INSTRUMENT NO. 20150234091. (REFERENCED ON SURVEY)

ITEMS 1 THRU 5, 9, 10, AND 12 THRU 14 OF THE CLIENT PROVIDED TITLE REPORT DO NOT CONTAIN GRAPHICALLY PLOTTABLE EASEMENTS, SETBACKS, RESTRICTIONS OR OTHER ENCUMBRANCES. THE SURVEYOR CANNOT GUARANTEE THAT NON-PLOTTABLE ENCUMBRANCES DO NOT EXIST THAT MAY AFFECT THE SUBJECT LEASED PREMISES.

LESSOR'S LEGAL DESCRIPTION (APN 303-31-370)

PROPERTY LOCATED IN MARICOPA COUNTY, ARIZONA

LOT 1, OF CROWN CASTLE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 1224 OF MAPS, PAGE 36.

AND BEING THE SAME PROPERTY CONVEYED TO CROWN CASTLE USA INC., A PENNSYLVANIA CORPORATION FROM MDB CC CHANDLER, LLC, AND ARIZONA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED DATED SEPTEMBER 29, 2015 AND RECORDED SEPTEMBER 29, 2015 IN INSTRUMENT NO. 20150700831.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/10/2020 & 08/20/2021.

LEGEND

- BRASS CAP FLUSH (BCFL)
- BRASS CAP IN HANDHOLE (BCHH)
- ELECTRICAL PULL BOX
- ELECTRICAL CABINET
- TELEPHONE PEDESTAL
- TELEVISION RISER
- FIBER CABINET
- LIGHT POST
- FIRE HYDRANT
- WATER VALVE
- IRRIGATION CONTROL VALVE
- STORM MANHOLE
- SANITARY SEWER CLEANOUT
- CATCH BASIN
- HANDICAP
- DECIDUOUS TREE
- SIGN
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- MONUMENT LINE
- EASEMENT LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT

CURVE TABLE

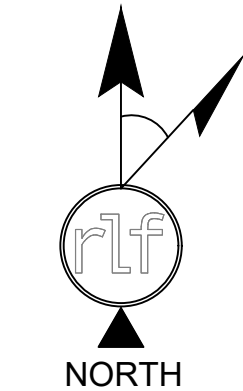
CURVE	LENGTH	RADIUS	DELTA	CHORD BRG.	CHORD LENGTH
C1	18.83	12.00	89°55'22"	S45° 02' 19"E	16.96
C2	18.86	12.00	90°02'24"	S45° 05' 50"E	16.98

LINE TABLE

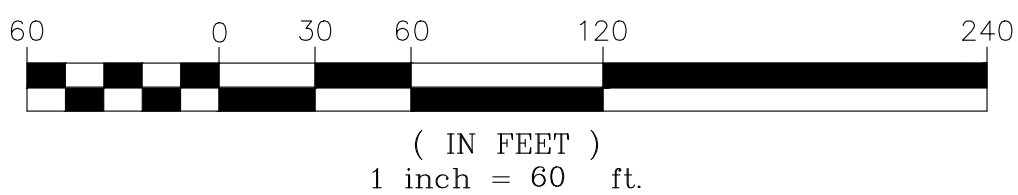
LINE	LENGTH	BEARING
L1	19.97	N90° 00' 00"W
L2	82.29	N0° 00' 00"E
L3	27.45	N90° 00' 00"E
L4	2.50	N0° 00' 00"E
L5	18.00	N90° 00' 00"W
L6	40.00	N0° 00' 00"E
L7	18.00	N90° 00' 00"E
L8	40.00	S0° 00' 00"E
L9	6.00	N90° 00' 00"W
L10	39.42	N0° 00' 00"E
L11	9.68	N11° 07' 33"W
L12	34.87	N0° 00' 00"E
L13	223.30	N90° 00' 00"W
L14	41.56	N55° 01' 24"W
L15	38.24	N86° 39' 35"E

LINE TABLE

LINE	LENGTH	BEARING
L16	46.15	N90° 00' 00"E
L17	12.88	S0° 04' 38"E
L18	280.82	N89° 49' 33"E
L19	22.45	N89° 49' 33"E
L20	54.20	N0° 00' 00"E
L21	6.61	N90° 00' 00"E
L22	2.50	S0° 00' 00"E
L23	21.38	N90° 00' 00"E
L24	40.58	N0° 00' 00"E
L25	548.48	N0° 28' 25"W
L26	13.26	N90° 00' 00"W
L27	18.00	N90° 00' 00"W
L28	40.00	N0° 00' 00"E
L29	18.00	N90° 00' 00"E
L30	40.00	S0° 00' 00"E



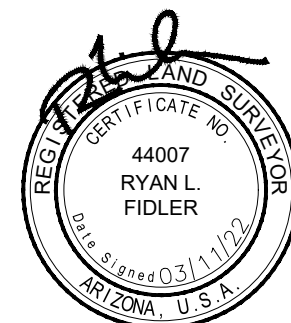
GRAPHIC SCALE



FIELD BY:	JMM
DRAWN BY:	GAC
CHECKED BY:	RLF

REVISIONS

NO.	DATE	DESCRIPTION
4	04/12/22	REVISION
3	03/11/22	REVISION
2	11/16/21	FINAL
1	08/23/21	TITLE REVIEW/ ADD. TOPO
0	07/16/20	PRELIMINARY



REUSE OF DOCUMENT  
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PROJECT No.  
**15006177**  
SITE NAME:  
PH69342A - CROWN JEWEL (831830)

SITE ADDRESS:  
2055 S STEARMAN DR  
CHANDLER, AZ 85286

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NO.  
**LS-1**  
REVISION:  
**4**



SHEET NO. <b>LS-2</b>	REVISION: <b>4</b>
--------------------------	-----------------------



PROPOSED LEASE AREA 2  
PROPERTY LOCATED IN MARICOPA COUNTY, ARIZONA

BEING A PORTION OF LOT 1, OF CROWN CASTLE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 1224 OF MAPS, PAGE 36.

AND BEING THE SAME PROPERTY CONVEYED TO CROWN CASTLE USA INC., A PENNSYLVANIA CORPORATION FROM MDB CC CHANDLER, LLC, AND ARIZONA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED DATED SEPTEMBER 29, 2015 AND RECORDED SEPTEMBER 29, 2015 IN INSTRUMENT NO. 20150700831, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1, THENCE ALONG THE EAST LINE OF SAID LOT 1 NORTH 00°28'25" WEST, 548.48 FEET; THENCE DEPARTING SAID EAST LINE NORTH 90°00'00" WEST, 13.26 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 90°00'00" WEST, 18.00 FEET; THENCE NORTH 00°00'00" EAST, 40.00 FEET; THENCE NORTH 90°00'00" EAST, 18.00 FEET; THENCE SOUTH 00°00'00" EAST, 40.00 FEET TO THE POINT OF BEGINNING.

PROPOSED 5' UTILITY EASEMENT 2  
PROPERTY LOCATED IN MARICOPA COUNTY, ARIZONA

A STRIP OF LAND 5.00 FEET IN WIDTH BEING A PORTION OF LOT 1, OF CROWN CASTLE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 1224 OF MAPS, PAGE 36.

AND BEING THE SAME PROPERTY CONVEYED TO CROWN CASTLE USA INC., A PENNSYLVANIA CORPORATION FROM MDB CC CHANDLER, LLC, AND ARIZONA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED DATED SEPTEMBER 29, 2015 AND RECORDED SEPTEMBER 29, 2015 IN INSTRUMENT NO. 20150700831.

A 5.00 FOOT STRIP OF LAND LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A BRASS CAP MARKING THE INTERSECTION OF SOUTH STEARMAN DRIVE AND SOUTH DOUGLAS DRIVE; THENCE NORTH 86°39'35" EAST, 38.24 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1 AND THE POINT OF BEGINNING;

THENCE NORTH 90°00'00" EAST, 46.15 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 12.00 FEET, THROUGH A CENTRAL ANGLE OF 89°55'22", AN ARC LENGTH OF 18.83 FEET; THENCE SOUTH 00°04'38" EAST, 12.88 FEET TO THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 12.00 FEET, THROUGH A CENTRAL ANGLE OF 90°02'24", AN ARC LENGTH OF 18.86 FEET; THENCE NORTH 89°49'33" EAST, 280.82 FEET; THENCE NORTH 00°00'00" EAST, 54.20 FEET; THENCE NORTH 90°00'00" EAST, 6.61 FEET; THENCE SOUTH 00°00'00" EAST, 2.50 FEET TO THE POINT OF BEGINNING;

THENCE THENCE NORTH 90°00'00" EAST, 21.38 FEET; THENCE NORTH 00°00'00" EAST, 40.58 FEET TO THE POINT OF TERMINUS.

ALL LINES ARE TO BE EXTENDED OR SHORTENED TO FORM ONE CONTIGUOUS PARCEL.

PROPOSED 12' ACCESS EASEMENT 2  
PROPERTY LOCATED IN MARICOPA COUNTY, ARIZONA

A STRIP OF LAND 12.00 FEET IN WIDTH BEING A PORTION OF LOT 1, OF CROWN CASTLE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 1224 OF MAPS, PAGE 36.

AND BEING THE SAME PROPERTY CONVEYED TO CROWN CASTLE USA INC., A PENNSYLVANIA CORPORATION FROM MDB CC CHANDLER, LLC, AND ARIZONA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED DATED SEPTEMBER 29, 2015 AND RECORDED SEPTEMBER 29, 2015 IN INSTRUMENT NO. 20150700831.

A 12.00 FOOT STRIP OF LAND LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A BRASS CAP MARKING THE INTERSECTION OF SOUTH STEARMAN DRIVE AND SOUTH DOUGLAS DRIVE; THENCE NORTH 86°39'35" EAST, 38.24 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1 AND THE POINT OF BEGINNING;

THENCE NORTH 90°00'00" EAST, 46.15 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 12.00 FEET, THROUGH A CENTRAL ANGLE OF 89°55'22", AN ARC LENGTH OF 18.83 FEET; THENCE SOUTH 00°04'38" EAST, 12.88 FEET TO THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 12.00 FEET, THROUGH A CENTRAL ANGLE OF 90°02'24", AN ARC LENGTH OF 18.86 FEET; THENCE NORTH 89°49'33" EAST, 280.82 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A"; THENCE CONTINUING NORTH 89°49'33" EAST, 22.45 FEET TO THE POINT OF TERMINUS;

TOGETHER WITH, A 12.00 FOOT WIDE STRIP OF LAND, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

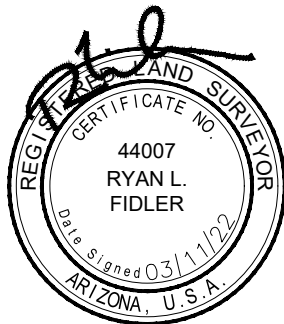
BEGINNING AT THE ABOVE DESCRIBED POINT "A"; THENCE NORTH 00°00'00" EAST, 54.20 FEET TO THE POINT OF TERMINUS.

ALL LINES ARE TO BE EXTENDED OR SHORTENED TO FORM ONE CONTIGUOUS PARCEL.



FIELD BY:	JMM
DRAWN BY:	GAC
CHECKED BY:	RLF

REVISIONS		
4	04/12/22	REVISION
3	03/11/22	REVISION
2	11/16/21	FINAL
1	08/23/21	TITLE REVIEW/ ADD. TOPO
0	07/16/20	PRELIMINARY
NO.	DATE	DESCRIPTION



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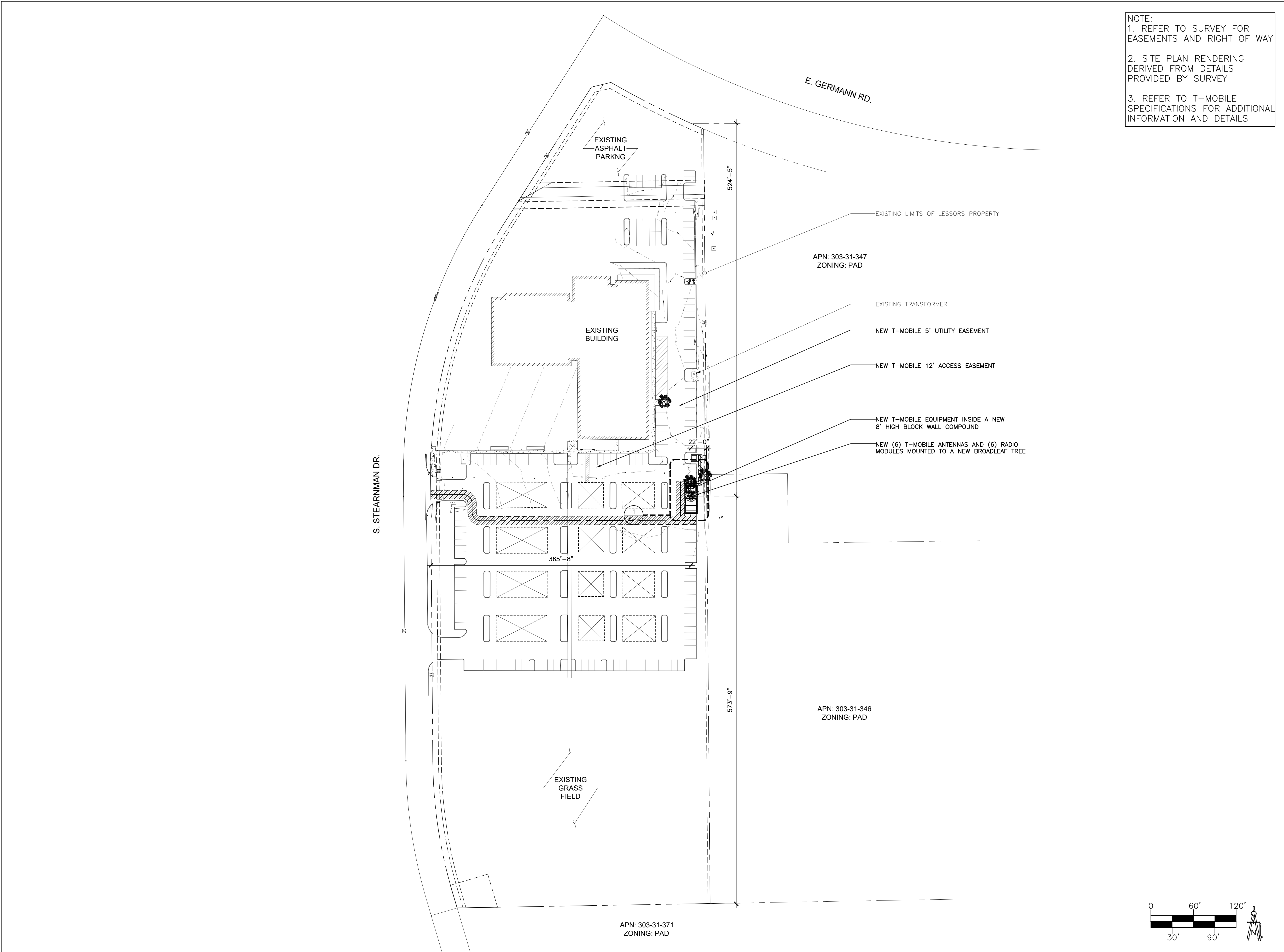
PROJECT No.  
**15006177**

SITE NAME:  
**PH69342A - CROWN JEWEL (831830)**

SITE ADDRESS:  
**2055 S STEARMAN DR  
CHANDLER, AZ 85286**

SHEET TITLE:  
**LEGAL DESCRIPTIONS**

SHEET NO. <b>LS-3</b>	REVISION: <b>4</b>
--------------------------	-----------------------



NOTE:  
1. REFER TO SURVEY FOR EASEMENTS AND RIGHT OF WAY  
2. SITE PLAN RENDERING DERIVED FROM DETAILS PROVIDED BY SURVEY  
3. REFER TO T-MOBILE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS

CLIENT  
**CROWN CASTLE**  
2055 S. STEARMAN DRIVE  
CHANDLER, AZ 85286  
OFFICE: (602) 845-1722

CONSULTANT  
**COAL CREEK CONSULTING**  
8283 N. HAYDEN RD., STE 258  
SCOTTSDALE, ARIZONA 85258  
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD

SEAL

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

PROJECT INFORMATION  
JOB: 15-018-03

PH69342A  
CROWN JEWEL  
(831830)

2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286

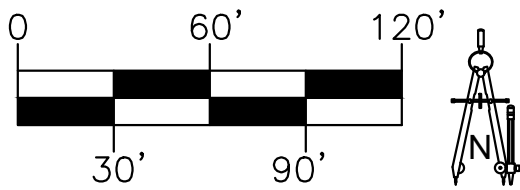
SHEET TITLE

OVERALL SITE PLAN

JURISDICTIONAL APPROVAL

SHEET NUMBER

Z-1



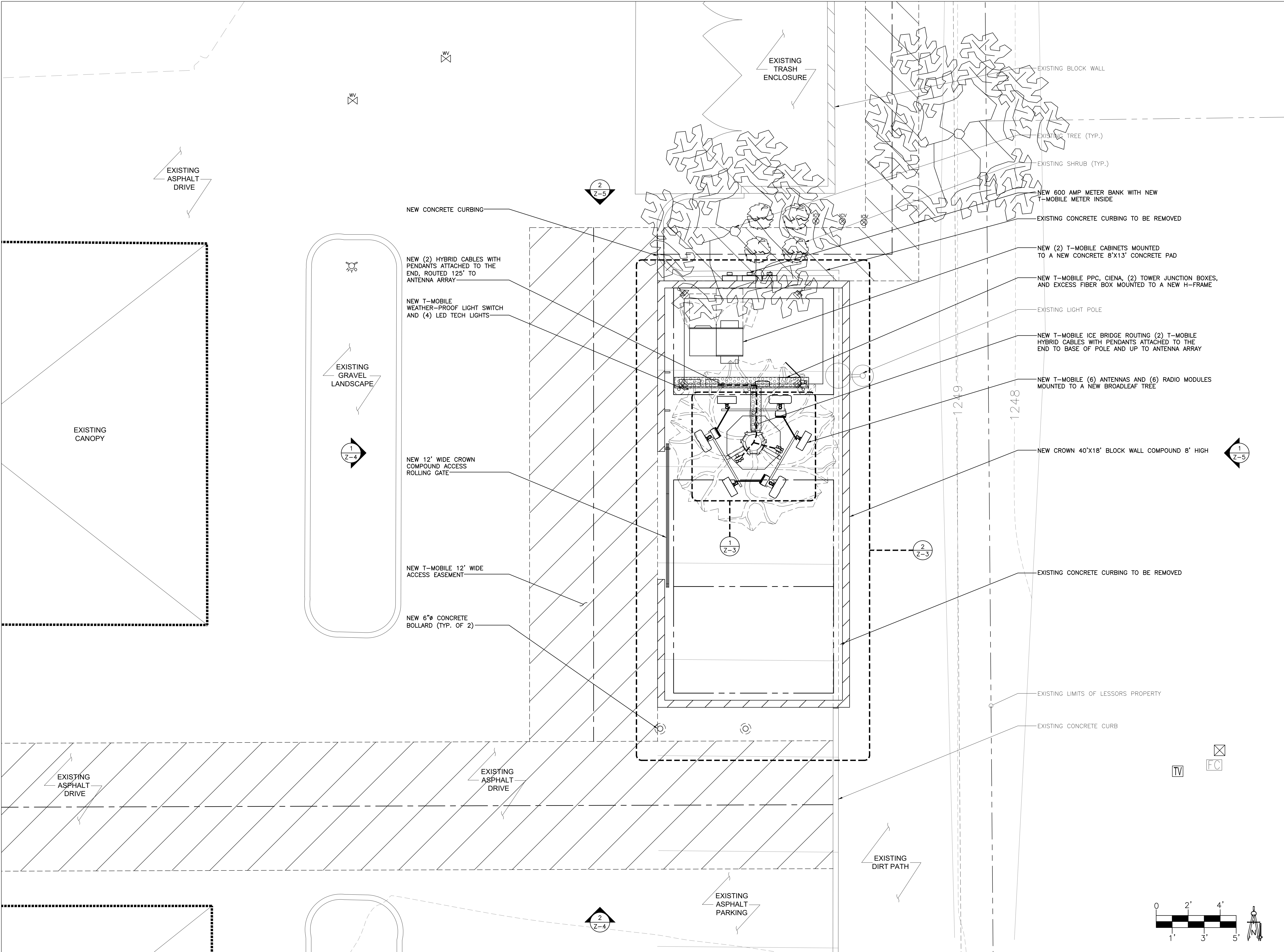
SCALE: 1" = 60'

1

OVERALL SITE PLAN

RFDS VER 1 DATED 8/24/2021 AT 3:8:58 PM





CLIENT  
**CROWN CASTLE**  
2055 S. STEARMAN DRIVE  
CHANDLER, AZ 85286  
OFFICE: (602) 845-1722

CONSULTANT  
**COAL CREEK CONSULTING**  
8283 N. HAYDEN RD., STE 258  
SCOTTSDALE, ARIZONA 85258  
PHONE: (602) 429-0533 FAX: (480) 638-2852  
ENGINEER OF RECORD

SEAL

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

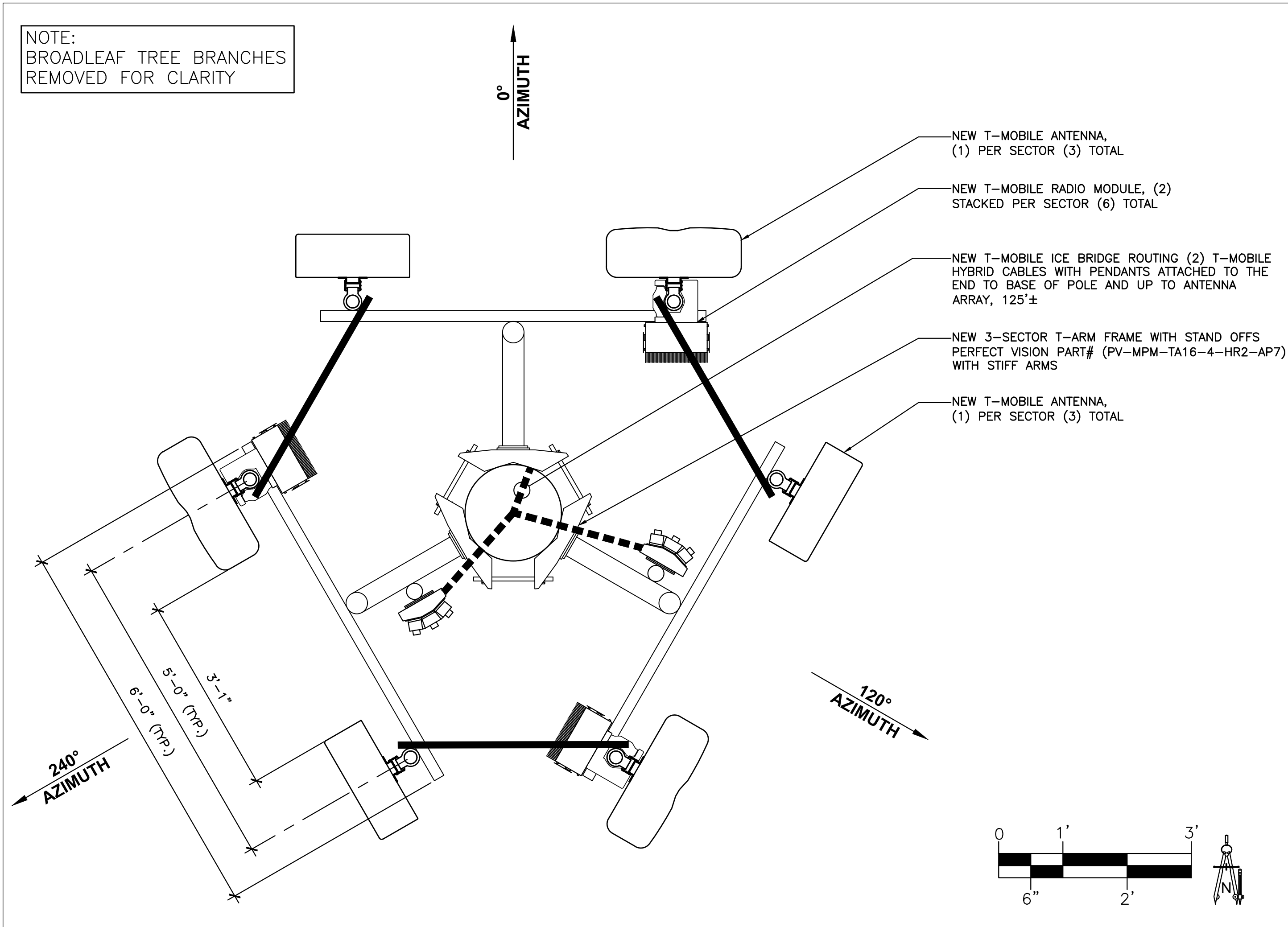
PROJECT INFORMATION  
JOB: 15-018-03  
**PH69342A  
CROWN JEWEL  
(831830)**  
2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286  
SHEET TITLE

**SITE PLAN**

JURISDICTIONAL APPROVAL

SHEET NUMBER  
**Z-2**





ENLARGED ANTENNA PLAN

SCALE: 3/4" = 1'-0"

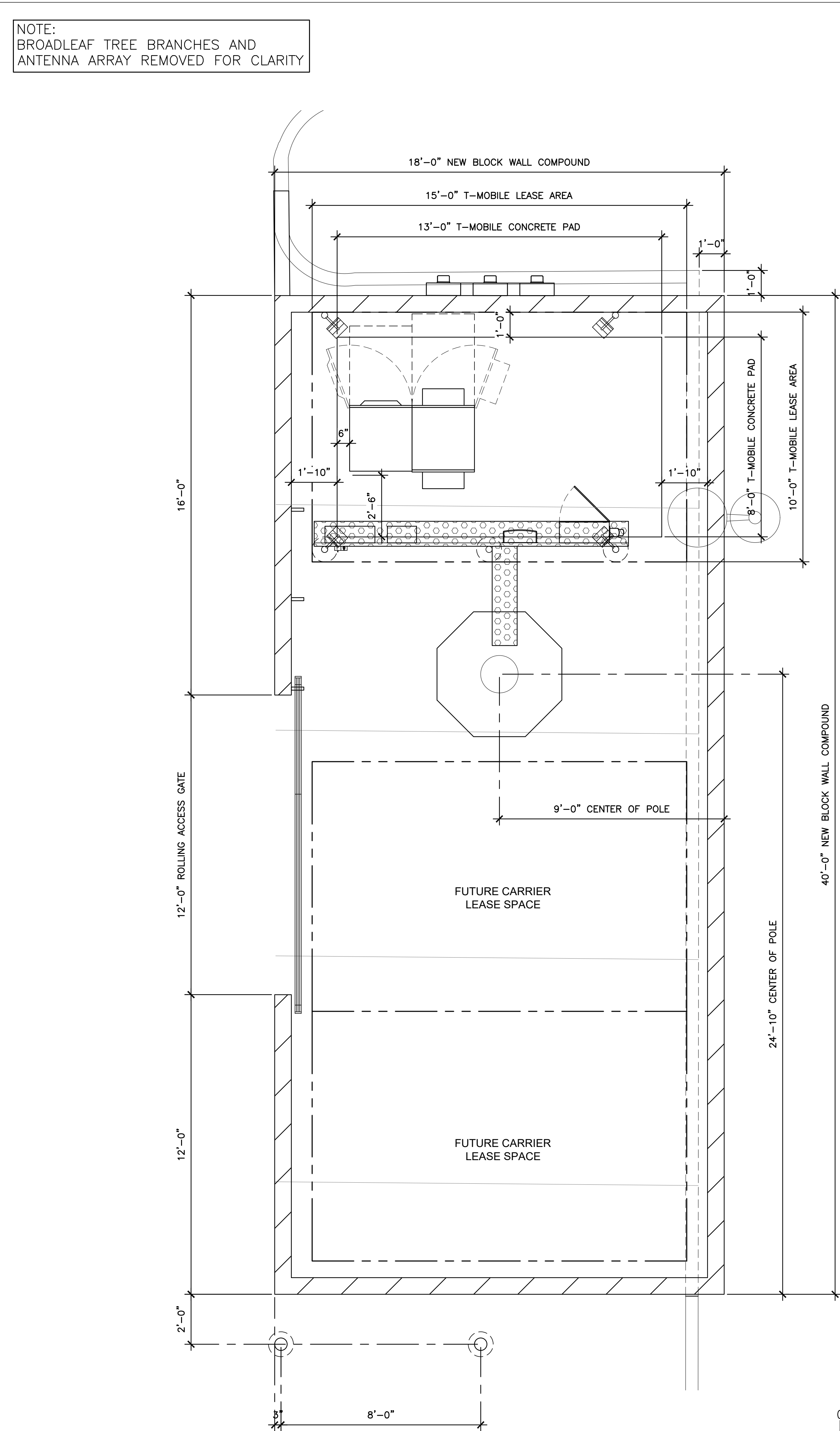
2



NOT USED

SCALE: N.T.S.

4



ENLARGED DIMENSION PLAN

SCALE: 1/4" = 1'-0"

1

CLIENT

**CROWN CASTLE**

2055 S. STEARMAN DRIVE  
CHANDLER, AZ 85286  
OFFICE: (602) 845-1722

CONSULTANT

**COAL CREEK CONSULTING**

8283 N. HAYDEN RD., STE 258  
SCOTTSDALE, ARIZONA 85258  
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD

SEAL

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

PROJECT INFORMATION

JOB: 15-018-03

**PH69342A**  
**CROWN JEWEL**  
**(831830)**

2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286

SHEET TITLE

**ENLARGED DIMENSION  
AND ANTENNA PLAN**

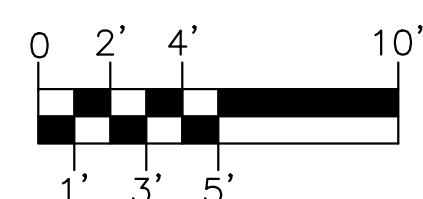
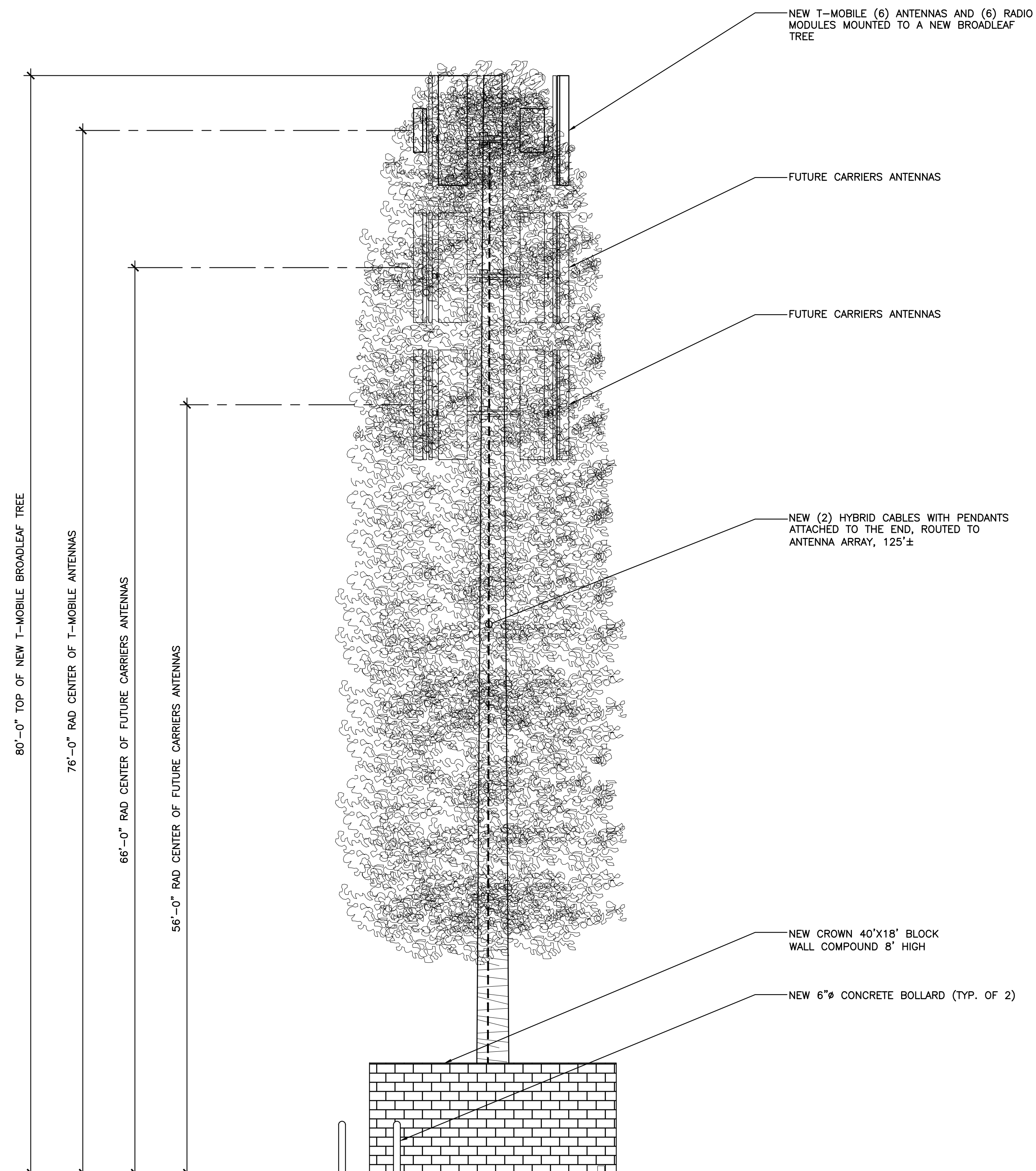
JURISDICTIONAL APPROVAL

SHEET NUMBER

**Z-3**

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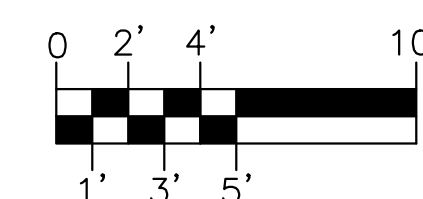
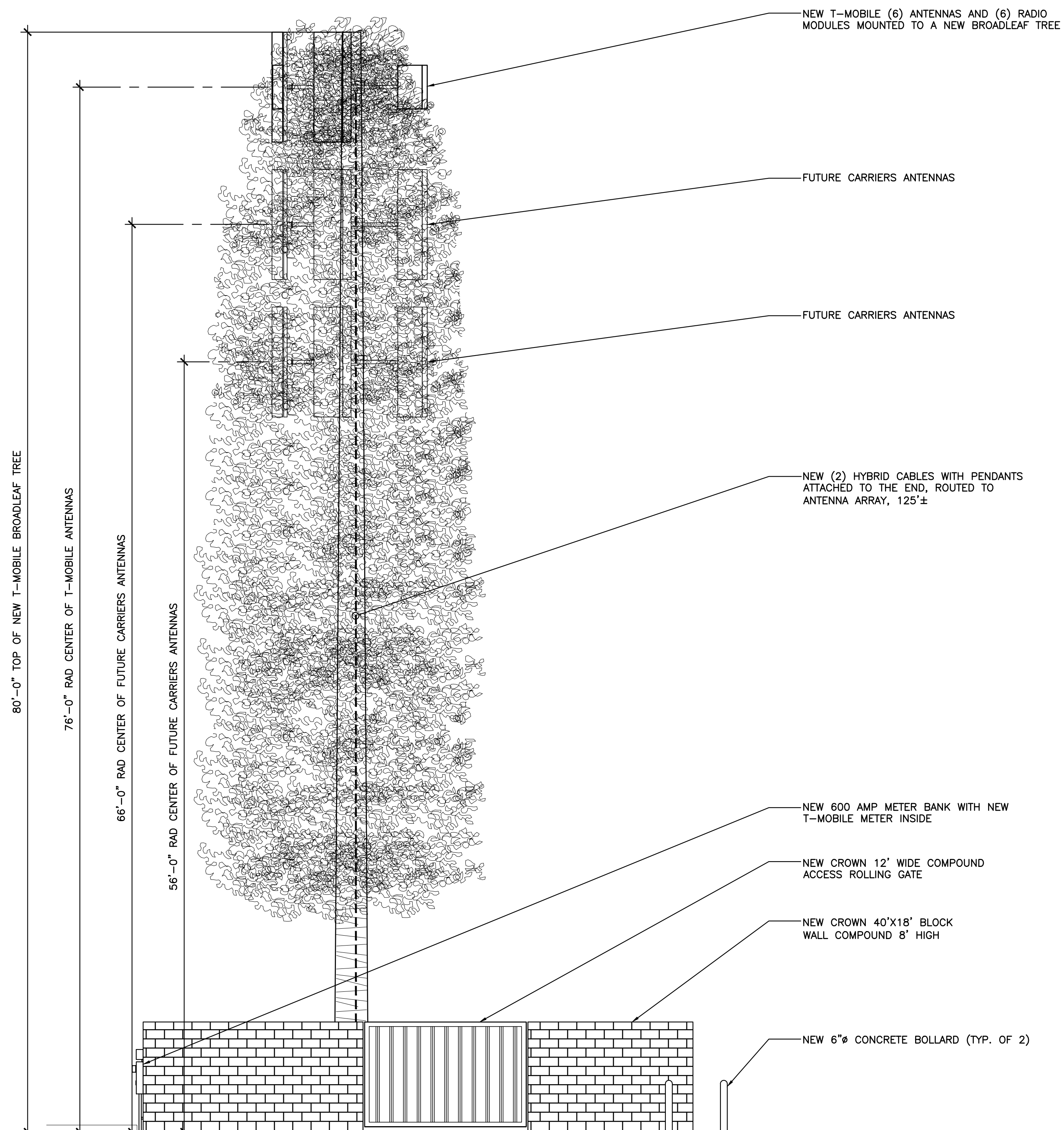




SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

2



WEST ELEVATION

SCALE: 3/16" = 1'-0"

1

NOTE:  
STRUCTURAL ANALYSIS MUST BE PERFORMED  
BEFORE INSTALLATION OF ANY NEW ANTENNAS.  
STRUCTURAL ANALYSIS PROVIDED BY OTHERS

NOTE:  
ADD AN ANTENNA SOCK TO EACH ANTENNA

— CLIENT —



2055 S. STEARMAN DRIVE  
CHANDLER, AZ 85286  
OFFICE: (602) 845-1722

— CONSULTANT



8283 N. HAYDEN RD., STE 258

PHONE: (602) 429-0533 FAX: (480) 638-2852

—ENGINEER OF RECORD.

—SEAL

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

—PROJECT INFORMATION—  
JOB: 15-018-03

PH69342A  
CROWN JEWEL  
(831830)

2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286

— SHEET TITLE

## ELEVATIONS

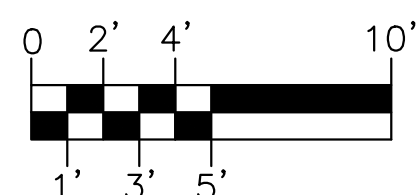
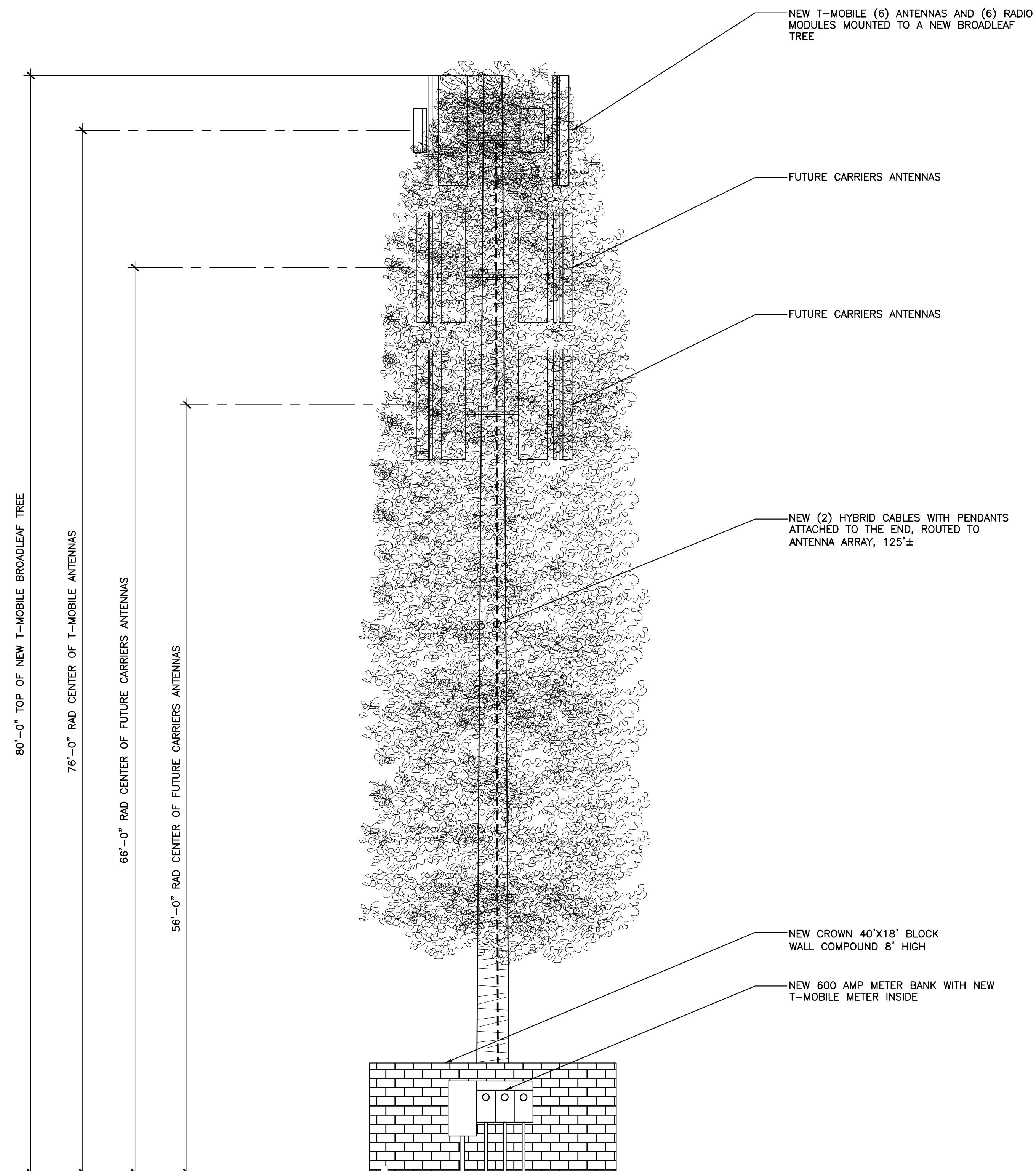
—JURISDICTIONAL APPROVAL—

—SHEET NUMBER

Z-4

RFDS VER 1 DATED 8/24/2021 AT 3:8:58 PM

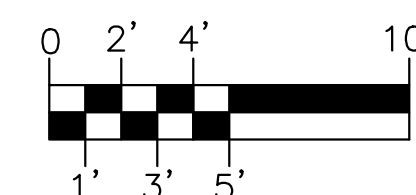
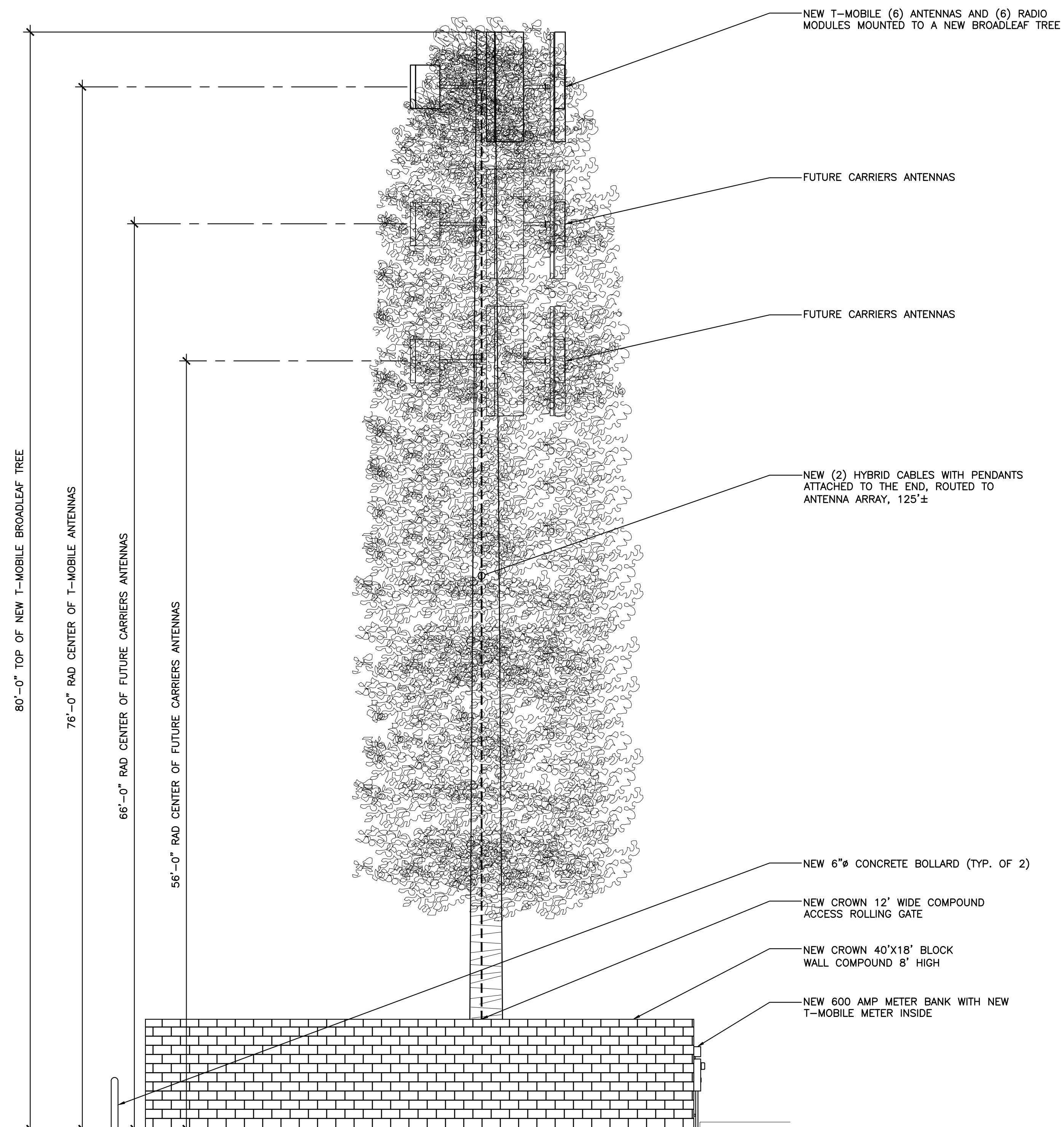




NORTH ELEVATION

SCALE: 3/16" = 1'-0"

2



EAST ELEVATION

SCALE: 3/16" = 1'-0"

1

NOTE:  
STRUCTURAL ANALYSIS MUST BE PERFORMED  
BEFORE INSTALLATION OF ANY NEW ANTENNAS.  
STRUCTURAL ANALYSIS PROVIDED BY OTHERS

NOTE:  
ADD AN ANTENNA SOCK TO EACH ANTENNA

— CLIENT —



— CONSULTANT —



PHONE: (602) 429-0533 FAX: (480) 638-2852

—SEAL—

NO.	DATE	DESCRIPTION	BY
3	10/28/21	REVISION 2	SPE
4	11/09/21	REVISION 3	SPE
5	12/08/21	REVISION 4	DRK
6	02/16/22	REVISION 5	SPE
7	09/07/22	REVISION 6	SPE

PROJECT INFORMATION  
JOB: 15-018-03

PH69342A  
CROWN JEWEL  
(831830)

2055 S. STEARMAN DR.  
CHANDLER, ARIZONA 85286

—SHEET TITLE—

## ELEVATIONS

—JURISDICTIONAL APPROVAL—

—SHEET NUMBER—

**Z-5**

RFDS VER 1 DATED 8/24/2021 AT 3:8:58 PM



# PHOTO SIMULATION

T-MOBILE SITE #PH40163C

CROWN CASTLE-CROWN BUILDING



## SITE ADDRESS:

2055 S. STREAMAN DR.  
CHANDLER, ARIZONA 85286

T Mobile

COAL CREEK  
CONSULTING

Disclaimer: This photo simulation is an artistic representation of the potential final build. It is an attempt to match, as accurately as the artist is possible, the proposed specifications and outcomes. A photo simulation may not be an exact representation of the final construction.

BEFORE



VIEW #1 NORTH



AFTER





BEFORE



VIEW #2 SOUTH WEST

T Mobile

COAL CREEK  
CONSULTING

CC CROWN  
CASTLE

AFTER

