

PLH23-0002 Raising Cane's
Conceptual Exhibits



DEVELOPER/OWNER



RAISING CANE'S RESTAURANTS, LLC
6800 BISHOP ROAD
PLANO, TEXAS 75024
PH: (972) 769-3364
CONTACT: LUARON FOSTER

CIVIL ENGINEER



KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE, SUITE 131
MESA, ARIZONA 85210
PH: (602) 552-3171
CONTACT: HEATHER ROBERTS, PE
(47693)

LAND SURVEYOR

KIMLEY-HORN AND ASSOCIATES, INC
7740 N 16TH STREET, SUIT 300
PHOENIX, ARIZONA 85020
PH: (602) 837-5511
CONTACT: CHAD HUBER

SITE DATA TABLE	
RAISING CANE'S RESTAURANT #989 CHANDLER BLVD & SOUTHGATE DR	
PARCEL NUMBER	301-84-118A
ZONING DESIGNATION	PAD
ZONING CASE	
BUILDING SETBACKS (FRONT-SIDE-REAR)	0/50/0
LANDSCAPE SETBACK (N, S, E, W)	10/10/10/20
ALLOWED BUILDING HEIGHT	2 STORIES, 30 FT
PARKING REQUIRED/ PROVIDED	
ONE (1) SPACE PER 50 SF OF PUBLIC AREA (INDOOR & OUTDOOR) / 50 SF	28 SPACES
1,000 SF + 400 SF / 50 SF = 28	
ONE (1) SPACE PER 200 SF OF KITCHEN AND PREP AREA	6 SPACES
1,655 SF / 200 SF = 8	
TOTAL PARKING REQUIRED	34
REGULAR PARKING PROVIDED	32
ACCESSIBLE PARKING PROVIDED	2 SPACES
TOTAL PARKING PROVIDED	34 SPACES
SITE AREA	58,989 SF OR 1.35 ACRES
BUILDING SQUARE FOOTAGE	2,913 SF
LOT COVERAGE	4.94%
FLOOD ZONE	X (MAP #04013C27151)
EXISTING USE	RESTAURANT
PROPOSED USE	RESTAURANT

LEGAL DESCRIPTION

LOT 3, CHANDLER TECHNOLOGY CENTER, ACCORDING TO BOOK 311 OF MAPS, PAGE 9, RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT NARRATIVE

PROPOSED CONSTRUCTION OF 2-LANE DRIVE THROUGH RESTAURANT. DEMOLITION OF EXISTING STRUCTURES AND HARDSCAPE WITHIN PROJECT LIMITS. IMPROVEMENTS INCLUDE 2-LANE DRIVE THROUGH RESTAURANT, CURB, SIDEWALK, & LANDSCAPING.

APN:

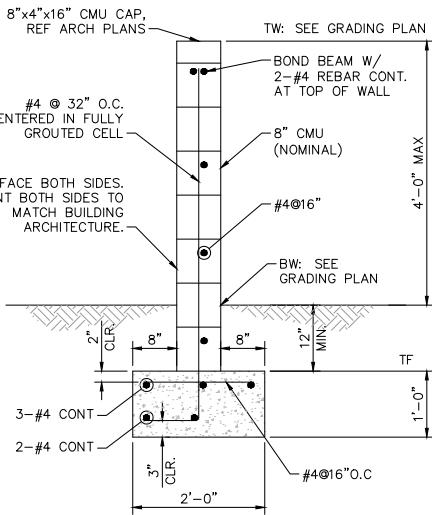
301-84-118A

SITE AREA:

58,989 SF OR 1.354 AC

ZONING:

PAD (EXISTING & PROPOSED)

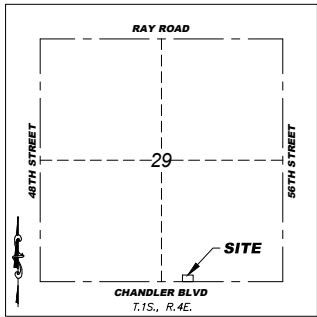


3' AND 4' SCREEN WALL SECTION

N.T.S.

SITE NOTES

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- SIGNS REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.
- ALL SITE SIGNAGE SHALL COMPLY WITH CITY OF CHANDLER CODE REQUIREMENTS.



VICINITY MAP

N.T.S.

Store:

7450 W. CHANDLER BLVD.

CHANDLER, AZ 85226

Restaurant #C989

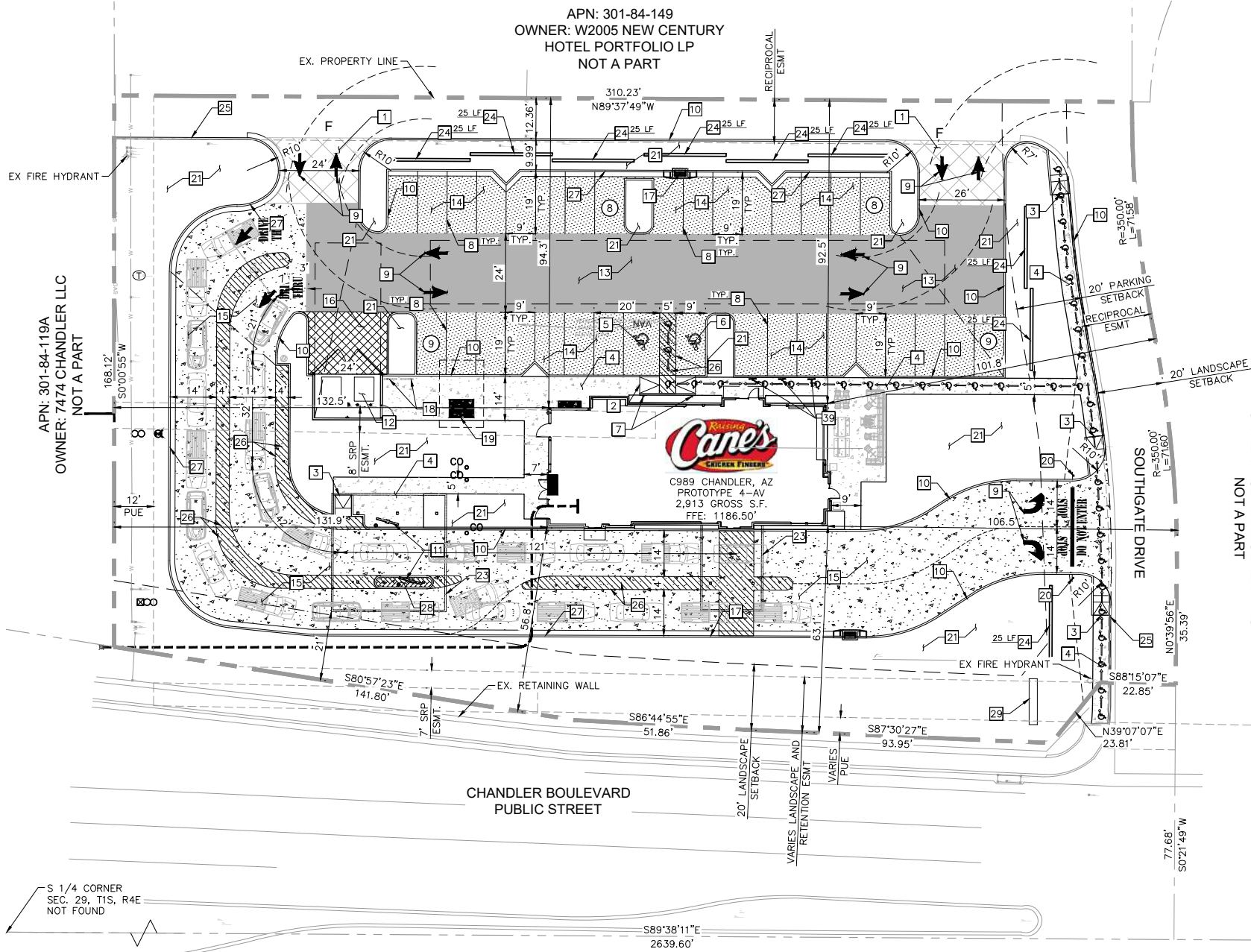
P4-AV SCHEME A



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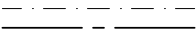
KEN MCCracken, ARCHITECT



SITE KEYNOTES

1	TYPE II DRIVEWAY ENTRANCE - ATTACHED SIDEWALK PER MAG STD DET 250-2. TEXTURED PAVING TREATMENT.
2	PERPENDICULAR CURB RAMP, PER MAG STD DET 238-1.
3	CURB RAMP (MID BLOCK) PER MAG STD DET 238-4.
4	CONCRETE SIDEWALK PER MAG STD DET 230.
5	ACCESSIBLE VAN PARKING SPACE, SEE PAVEMENT MARKING DET ON SHT 08.
6	ACCESSIBLE PARKING SPACE, SEE PAVEMENT MARKING DET ON SHT 08.
7	ACCESSIBLE PARKING SIGN, SEE SIGN DET ON SHT 08.
8	4" WIDE WHITE 90° SOLID PARKING STRIPE, TWO COATS MIN.
9	DIRECTIONAL PAVEMENT MARKING, REFERENCE DET ON SHT 08.
10	CONSTRUCT VERTICAL CURB FORMED HEIGHT=6" PER MAG STD DET 222 TYPE A.
11	ORDER BOARD, CONTRACTOR SHALL POTHOLE ELECTRICAL LINE PRIOR TO INSTALLATION.
12	INSTALL TRASH RECEPTACLE ENCLOSURE PER COC STD DET C-113.
13	3" HEAVY DUTY ASPHALT PAVEMENT ON 6" OF ABC PER GEOTECHNICAL REPORT. SEE DET ON THIS SHT.
14	3" STANDARD DUTY ASPHALT PAVEMENT ON 4" ABC PER GEOTECHNICAL REPORT. SEE DET ON THIS SHT.
15	5" STANDARD DUTY CONCRETE PAVEMENT ON 4" ABC PER GEOTECHNICAL REPORT. SEE DET ON THIS SHT.
16	6" HEAVY DUTY CONCRETE PAVEMENT ON 4" ABC PER GEOTECHNICAL REPORT. SEE DET ON THIS SHT.
17	DRAINAGE STRUCTURE.
18	PROPOSED BIKE RACK PER DET ON SHT 13.
19	PROPOSED TRANSFORMER.
20	DIRECTIONAL SIGNAGE, REFER TO ARCH PLANS FOR MORE DETAIL.
21	LANDSCAPE AREA, REFERENCE LANDSCAPE PLANS.
22	SITE LIGHT, REFER TO ARCH PLANS FOR MORE DETAIL.
23	DRIVE-THRU CANOPY WITH BUILT IN C.O.D.
24	4' SCREENWALL PER DETAIL ON SHT 13. LENGTH PER PLAN.
25	MATCH EXISTING.
26	4" WIDE AT 45° @ 2" O.C. PARKING STRIPE, TWO COATS MIN.
27	CONSTRUCT VERTICAL CURB AND GUTTER FORMED HEIGHT=6" PER MAG STD DET 225-1 TYPE A.
28	BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRING BONE/ BASKET WEAVE PATTERN. CHARCOAL OR SIMILAR GRAY COLOR. INSTALLATION PER MAG STD DET 225.
29	7.58'x2.5' MONUMENT SIGN, REFER TO SIGN PLANS FOR MORE DETAIL.

LEGEND



SECTION LINE
CENTER LINE
PROPERTY LINE
EXISTING RIGHT-OF-WAY LINE
FULL DRIVEWAY
RIGHT OUT DRIVEWAY

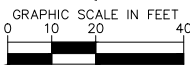
PROPOSED ADA PATH
INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) 6" STANDARD DUTY CONCRETE PAVEMENT.
HEAVY DUTY ASPHALT PAVEMENT. REFER TO PAVEMENT SECTION
HEAVY DUTY CONCRETE PAVEMENT AT TRASH ENCLOSURE PRE COC REQUIREMENTS
STANDARD DUTY ASPHALT REFER TO PAVEMENT SECTION

FIRE TURNING RADIUS

PARKING SPACE COUNT

CAUTION!

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



ISSUED:

1	03/16/2022	80% CLIENT REVIEW SET
2		
3		
4		

REVISION:

1		
2		
3		
4		

Sheet Title:

SITE KEYNOTE PLAN

Date:

04/21/2023

Project Number:

RAC22038.0

Drawn By:

KLS

Reviewed By:

HDR

Sheet Number:

C05

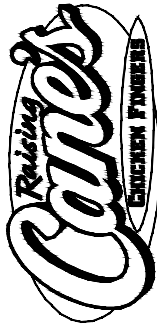
05 OF 15

SUBMITTALS

SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE	TEE-LOCK PANEL	TERRA-COTTA	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-2	METAL CAP FLASHING	BERRIDGE		SHASTA WHITE	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-3	HOT-ROLLED STEEL	SIGNAGE SUPPLIER		CLEAR SATIN	HOT-ROLLED STEEL WITH CLEAR COAT FINISH
EM-4	WOOD FASCIA	N/A	CUSTOM	PAINT TO MATCH CAP FLASHING	2X WOOD FASCIA
EW-1	STONE VENEER	CORONADO STONE	ROCKY MT. LEDGE	COPPER CANYON	
EW-2	ELASTOMERIC COATING	DRYVIT	SANDEBBLE E	432 CHIFFON	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.
EW-3	CAST STONE LEDGE	MARCSTONE		6658 ARCHITECT'S GREY	MORTAR: ARGOS MAGNOLIA MASON'S MIX
EW-4	BRICK VENEER	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRON SPOT	1/2 RUNNING BAND. REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10X LIGHT BLUF.F. JOINT PROFILE: WEATHER-STRUCK
EW-5	ELASTOMERIC COATING	DRYVIT	SANDEBBLE E	391 BURNT OAK	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL.
EW-6	ELASTOMERIC COATING	DRYVIT	SANDEBBLE E	456 OYSTER SHELL	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL.
EWS-1	DRIVE-THRU WINDOW	QUIKSERVE	SCT 4860	REFER TO WINDOW SCHEDULE	
EWS-2	ALUMINUM STOREFRONT	KAWNEER	TRI-FAB 451	REFER TO WINDOW SCHEDULE	
P-5	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P24)	PAINT TO MATCH WALL MATERIAL - SEMI GLOSS	TWO COATS REQUIRED - EXTERIOR PIPE AND CONDUIT
P-10	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P23)	BUCKSKIN - LOW LUSTRE	TWO COATS REQUIRED - PATIO STEEL, DOORS & FRAMES

SYMBOL LEGEND	
	WINDOW DESIGNATION
	KEY NOTE
	DOOR DESIGNATION
	ROOM NAME & NUMBER
	DETAIL OR SECTION DESIGNATION
	INTERIOR ELEVATION MARK
	EXTERIOR ELEVATION MARK
	FINISH TAG
	EXTERIOR LIGHT FIXTURE TAG, SEE ELECTRICAL DRAWINGS

KEYNOTES	
1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL).
2	PARAPET LIGHTING, PROVIDED BY OWNER & INSTALLED BY AGI. FINISH TO MATCH EM-2. RE: ELECTRICAL DWGS.
3	WALL ART BY OWNER
4	NOT USED
5	CONTROL JOINT
6	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY. 2X WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS.
7	8" ACCENT BAND
8	ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
9	GAS METER AND PIPING, PAINT TO MATCH ADJACENT CLADDING MATERIAL. RE: PLUMB.
10	OUTLINE OF ROOF EQUIPMENT BEYOND. RE: A1.50
11	LINE OF ROOF BEYOND. RE: A1.50 & SECTIONS
12	METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED. RE: A0.10 FOR CONTINUATION
13	ROOF SCUPPER AND DOWNSPOUT, OMIT STUCCO BAND AT DOWNSPOUT, EM2
14	CAST STONE SILL
15	WIRE SCREEN MESH, FINISH TO MATCH P-10
16	ELECTRICAL SWITCHGEAR, PAINT TO MATCH ADJACENT CLADDING MATERIAL. RE: ELECT.
22	BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
28	EXTERIOR SPEAKERS - MOUNTED AT 10'-0"
29	SECONDARY SCUPPER, RE: S1 A8.40 AND 6/ A8.40.
30	DT CANOPY, RE: CANOPY VENDOR DRAWINGS.
31	4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.22
32	2X WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS.
33	DARPRO OUTLET AND SECURITY BOX.
34	ORIA 4-DIGIT KEY STORAGE BOX
35	CO2 PORT
GENERAL NOTES	
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SEALANT NOTES	
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Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

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Restaurant #C989
P4-AV SCHEME A



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CONTACT: CHUCK BENNETT
PHONE: 623.432.0596
EMAIL: CBENNETT@PMDINC.COM

KEN MCCrackEN, ARCHITECT



Prototype :	P4-AV 2021 - 2.0 RELEASE
Prototype Issue Date:	09-11-2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
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PERMIT SET

ISSUED:	
1	05/12/2023 PDP RESUBMITTAL
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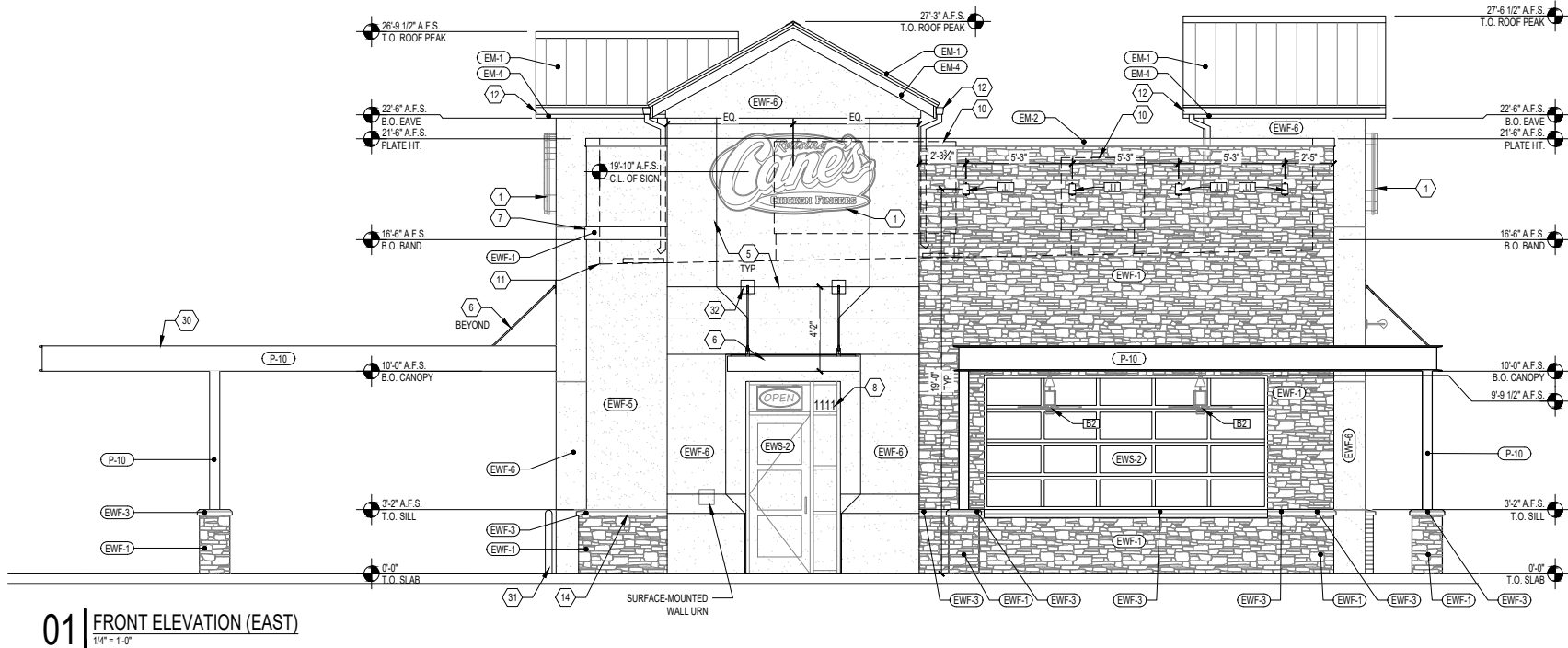
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EXTERIOR ELEVATIONS

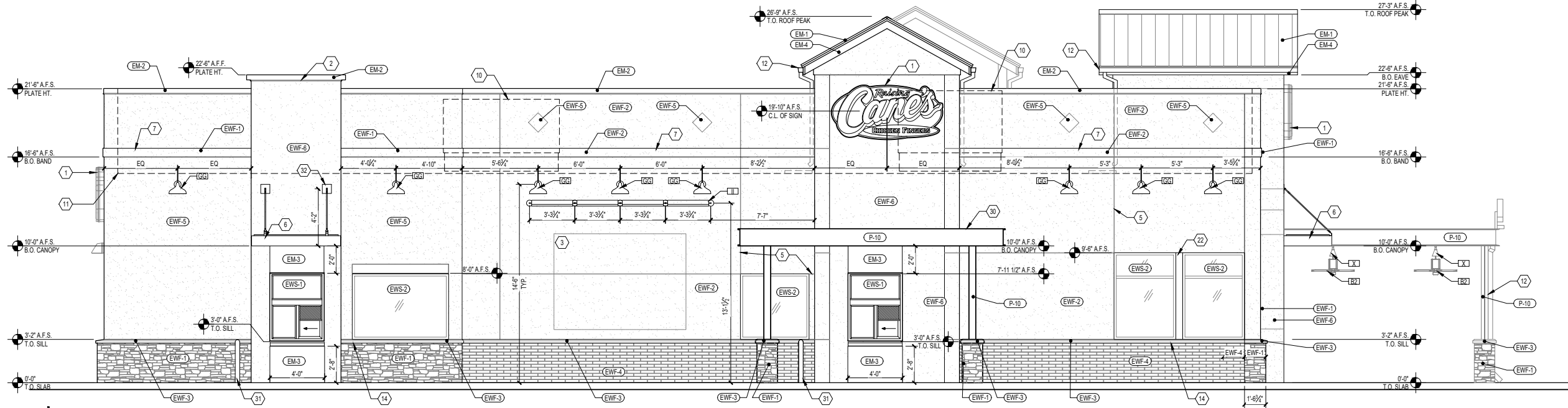
Date:	05/12/2023
Project Number:	RAC22038.0
Drawn By:	KA
Reviewed By:	CB
Sheet Number:	

A4.10

SUBMITTALS



01 FRONT ELEVATION (EAST)
1/4" = 1'-0"



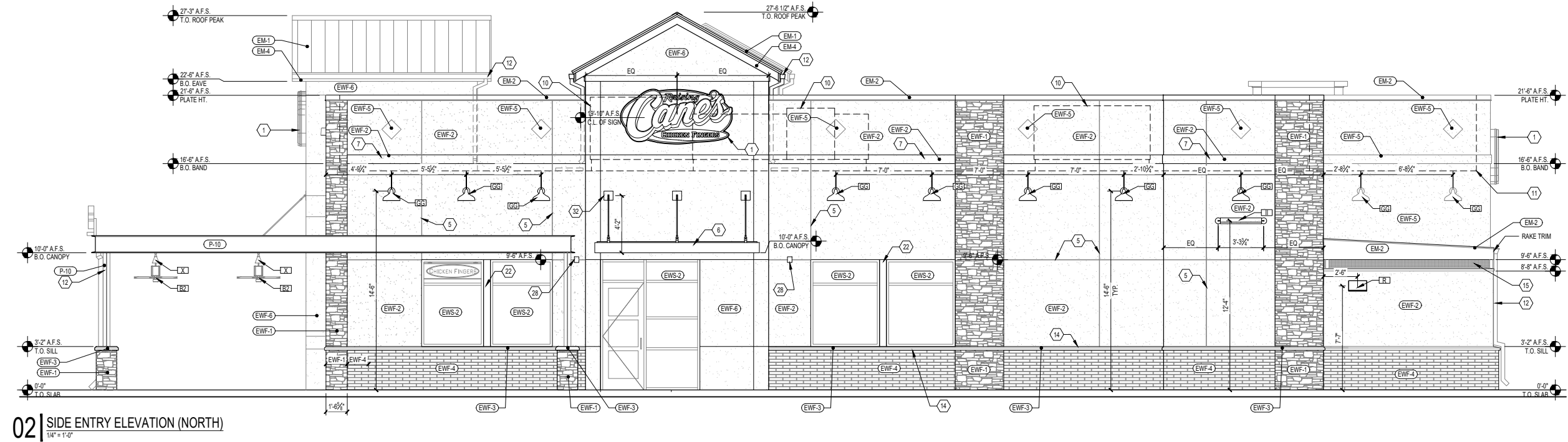
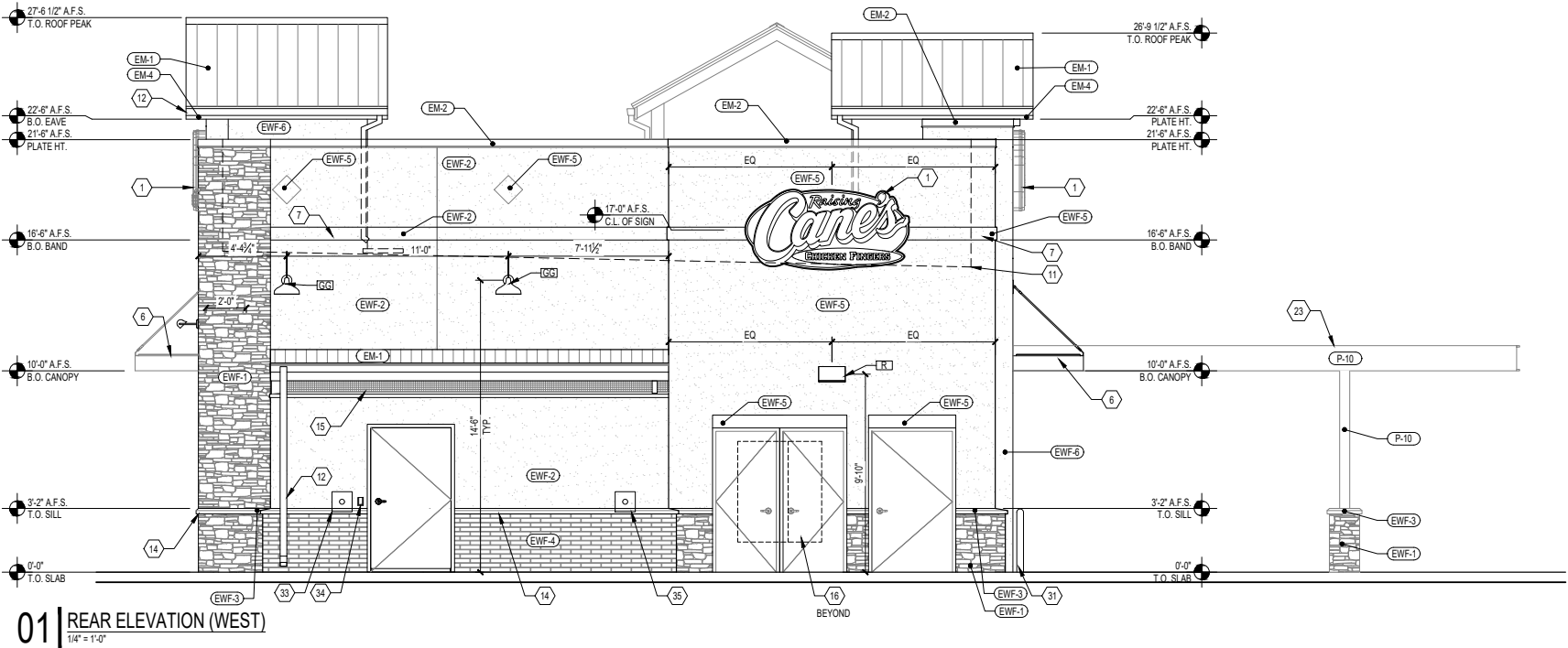
02 DRIVE-THRU ELEVATION (SOUTH)
1/4" = 1'-0"

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Prototype Issue Date:	09-11-2021
Design Bulletin Updates:	--
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PERMIT SET

ISSUED:		
1	05/12/2023	PDP RESUBMITTAL
2		
3		
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Sheet Title:

EXTERIOR ELEVATIONS

Date:	05/12/2023
Project Number:	RAC22038.0
Drawn By:	KA
Reviewed By:	CB
Sheet Number:	

A4.20



DRIVE THRU ELEVATION



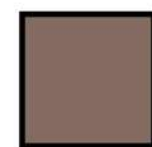
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



GALVANIZED STEEL SHEET
SHERWIN WILLIAMS FLUOROPON
BUCKSKIN



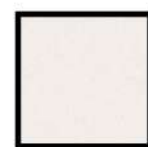
METAL CAP FLASHING
SHERWIN WILLIAMS FLUOROPON
BONE WHITE



CORONADO STONE
ROCKY MOUNTAIN LEDGE
COPPER CANYON



BELDEN BRICK COMPANY
MEDIUM RANGE IRONSPOT



PORTLAND CEMENT STUCCO
456 OYSTER SHELL



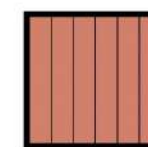
PORTLAND CEMENT STUCCO
432 CHIFFON



PORTLAND CEMENT STUCCO
391 BURNT OAK



ALUMINUM STOREFRONT
SYSTEM ANODIZED BLACK



WESTERN STATES METAL
ROOFING - WESTERN LOCK
STANDING SEAM - TERRA
COTTA

#C989 - CHANDLER & SOUTHGATE - CHANDLER, AZ





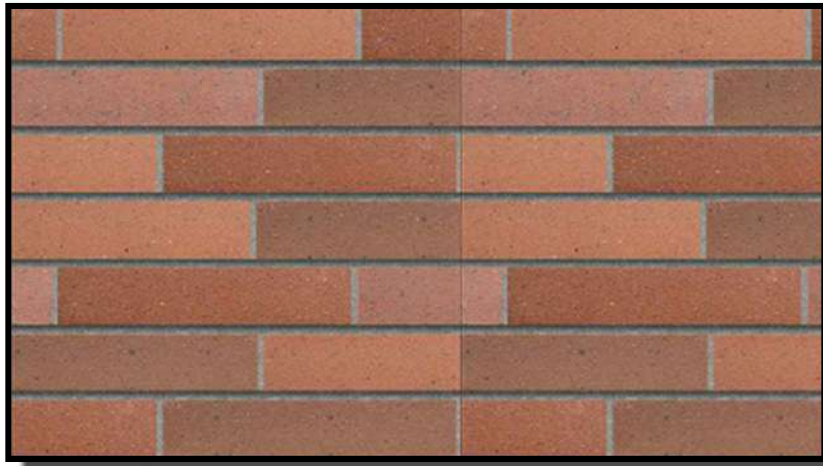
GALVANIZED STEEL SHEET
SHERWIN WILLIAMS FLUROPON
BUCKSKIN



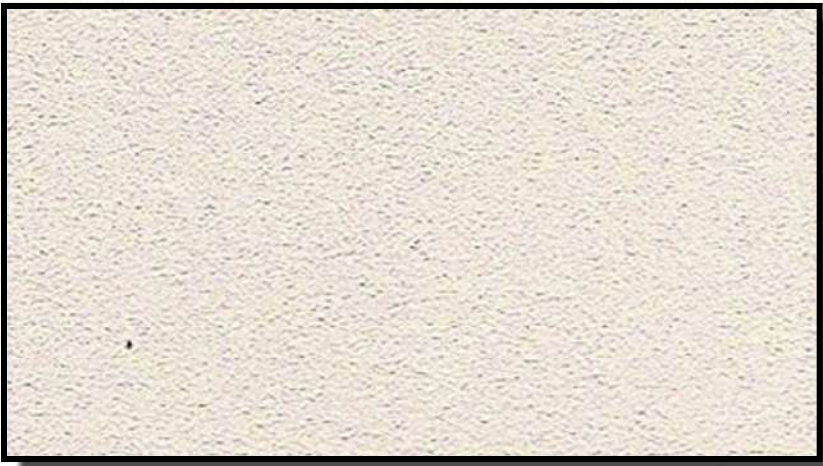
METAL CAP FLASHING
SHERWIN WILLIAMS FLUROPON
BONE WHITE



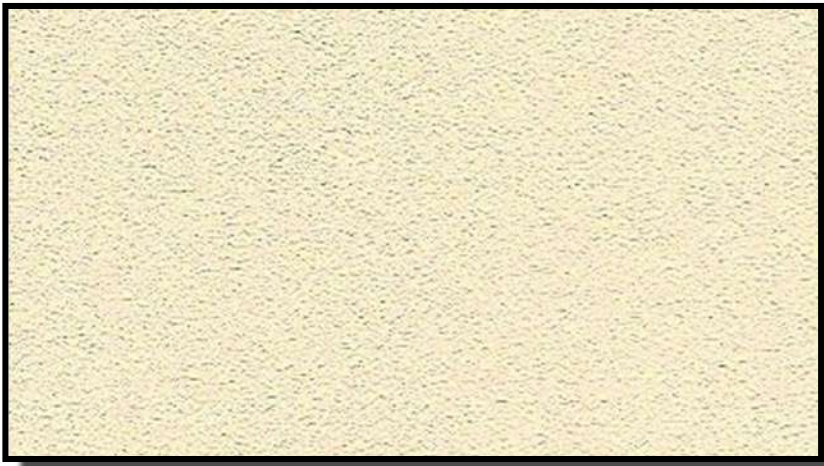
CORONADO STONE
ROCKY MOUNTAIN LEDGE
COPPER CANYON



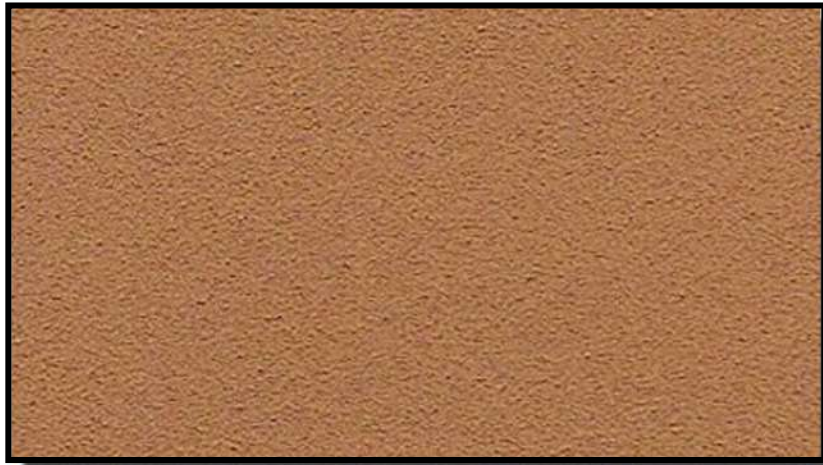
BELDEN BRICK COMPANY
MEDIUM RANGE IRONSPOT



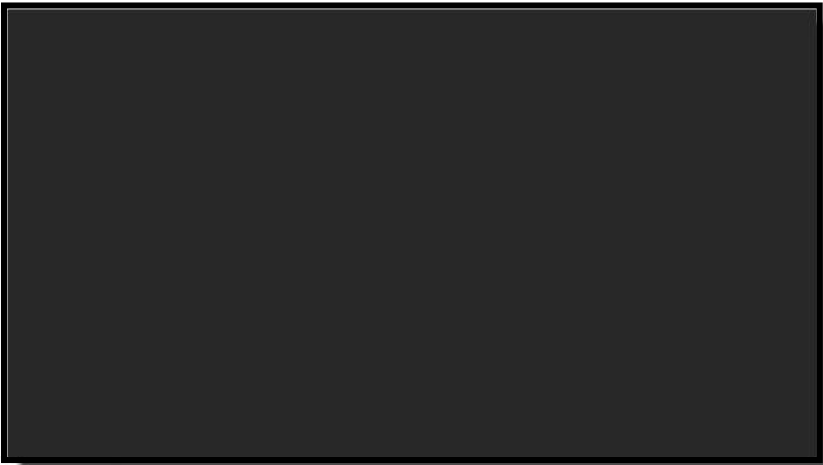
PORTLAND CEMENT STUCCO
456 OYSTER SHELL



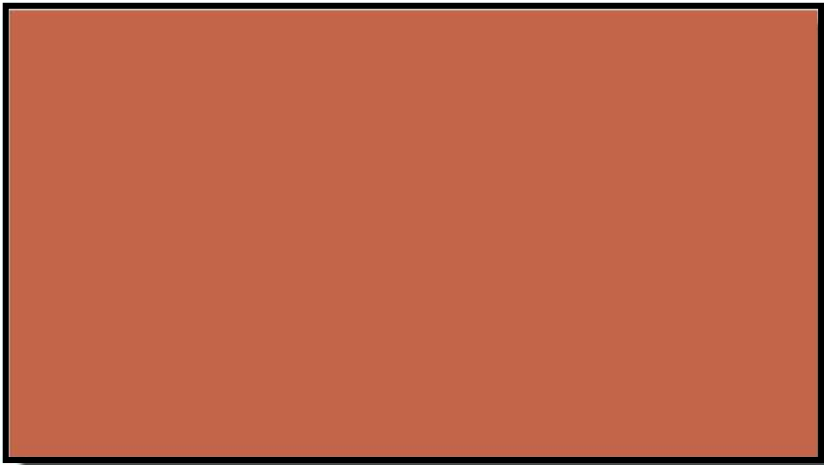
PORTLAND CEMENT STUCCO
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ALUMINUM STOREFRONT SYSTEM
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WESTERN STATES METAL ROOFING.
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TERRA COTTA



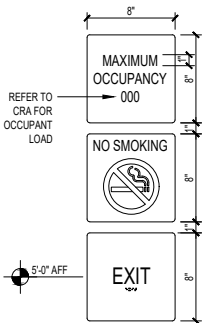








NOTE: ALL SIGNAGE SHALL BE BLACK BACKGROUND WITH WHITE TEXT.



2 | SIGNAGE DETAILS

1 1/2" = 1'-0"

FIRE EXTINGUISHERS

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED AS REQUIRED PER GFC CHAPTER 9, SECTION 906, LOCATIONS AS REQUIRED BY THE LOCAL FIRE JURISDICTION.

- KITCHEN: SUPPLY AND INSTALL ONE (1) 8LB 40 BC, CLASS 'K'
- DINING: SUPPLY AND INSTALL TWO (2) 8LB 2A10 BC

GENERAL NOTES

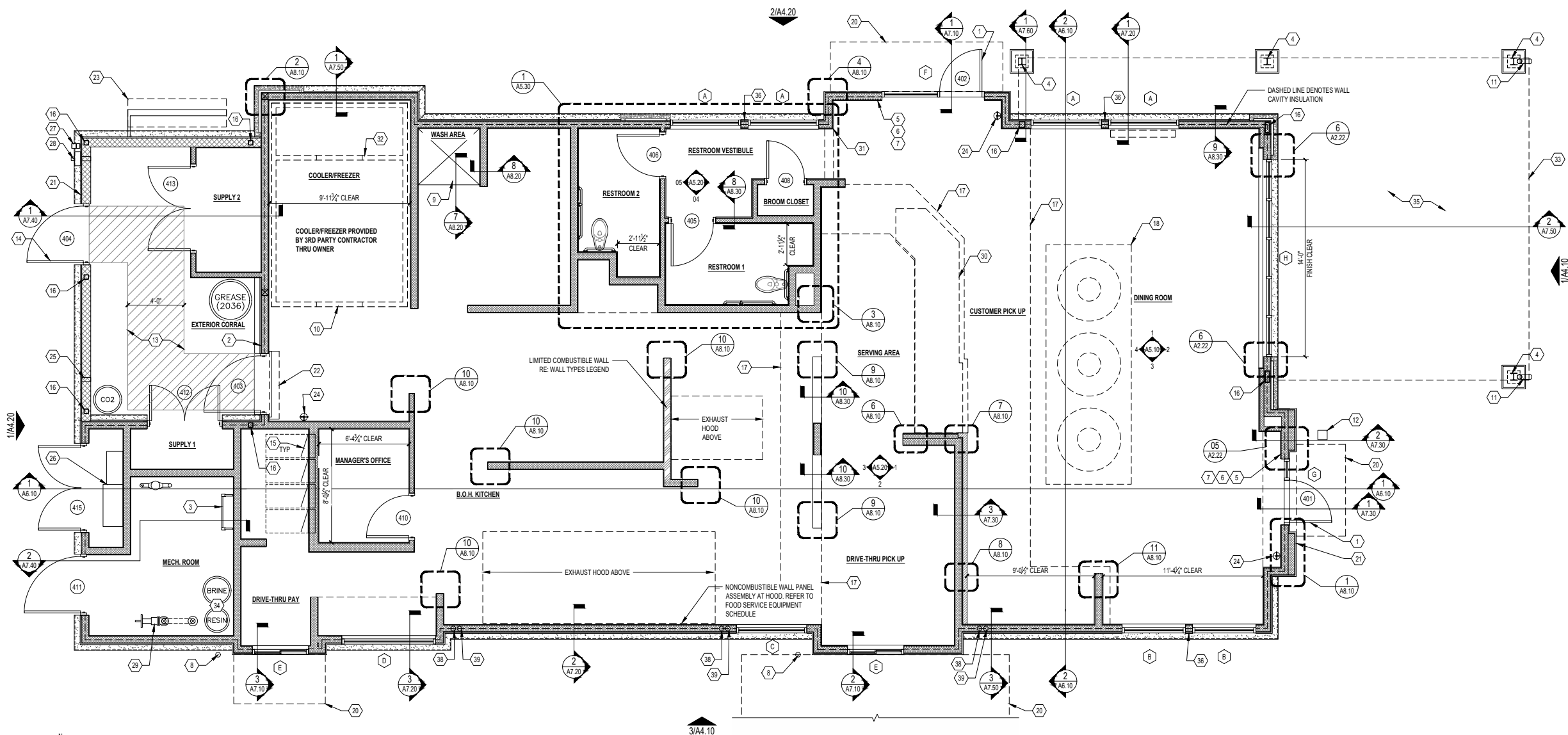
- A. ALL KITCHEN AREA AND WET WALLS TO HAVE "DUROCK" BRAND CEMENT BOARD FROM F.F. TO 1" A.F.F. W/ 1/2" PLYWOOD ABOVE. FINISH AS SCHEDULED.
- B. REFER TO SHEET FS1 FOR ADDITIONAL OWNER PROVIDED MILLWORK, INSTALLED BY G.C.
- C. ALL EXTERIOR LANDINGS TO BE FLUSH WITH FINISH FLOOR, TYPICAL.
- D. PROVIDE BRaille AND RAISED LETTERING EXIT SIGNAGE PER SEC. 11B-703 AND ACCESSIBLE DETAIL AS SHEETS.
- E. NON-REMOVABLE EXTERIOR HINGE PINS (NRP) REQUIRED ON OUT SWINGING EXTERIOR DOORS.
- F. PROVIDE SOUND ATTENUATION BATT INSULATION AT RESTROOM WALL.
- G. AT ROUGH INSTALLATION AND DURING STORAGE ON THE PROJECT SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE SEALED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY COLLECT IN THE SYSTEM, GREEN CODE SECTION 5.504.3.
- H. REFER TO WALL LEGEND SHEET A1.20
- I. G.C. TO COORD. PERIMETER BLOCKING WITH MILLWORK CONTRACTOR.

SYMBOL LEGEND

- 00 WINDOW DESIGNATION
- 00 KEY NOTE
- 000 DOOR DESIGNATION
- ROOM NAME ROOM NAME
- 00 00 00 DETAIL OR SECTION DESIGNATION
- 00 00 00 INTERIOR ELEVATION MARK
- 0/A0.00 EXTERIOR ELEVATION MARK
- XXXXX FINISH TAG

KEYED NOTES

- 1 INSTALL DOOR STOP AT MID PANEL TO ALLOW 90 DEGREE SWING MIN. VERIFY MAX. SWING WILL NOT IMPACT ADJACENT BRICK. SEE A2.10 HARDWARE SET #1
- 2 PROVIDE BUZZER, RE: ELEC. DWGS.
- 3 ROOF ACCESS LADDER, RE: 2/A7.40 & 6/A8.10
- 4 STEEL COLUMN, RE: STRUCTURAL AND CANOPY DWGS. FINISH SCHEDULE A3.10 & A3.20
- 5 BRaille & RAISED LETTERING EXIT SIGNAGE PER ADAAG 703, RE: 2/A1.10 & A5 SHEETS
- 6 MAXIMUM OCCUPANCY SIGN, RE: 2/A1.10 & A5 SHEETS
- 7 NO SMOKING SIGN, RE: 2/A1.10 & A5 SHEETS
- 8 PIPE BOLLARD W/ BLACK SLEEVE COVER, RE: 2/A0.30
- 9 EDGE OF MOP SINK SLOPE 1:3, RE: PLUMB. DWGS. & 7/A8.20
- 10 ENCLOSE AREA ABOVE WALK-IN COOLER FULLY TO CEILING
- 11 3" PVC DRAIN LINE TO CURB OUTLET. DO NOT DISCHARGE TO LANDSCAPING
- 12 SQUARE UPLIGHT RECESSED INTO PAVING, RE: ELEC. FOR INSTALLATION DETAIL
- 13 PAINTED EGRESS PATH, MUST REMAIN CLEAR AT ALL TIMES
- 14 DOOR MOUNTED SIGN "EGRESS PATH MUST REMAIN CLEAR AT ALL TIMES"
- 15 ELECTRICAL PANELS, RE: ELEC. DWGS.
- 16 TUBE STEEL COLUMNS, RE: STRUCTURAL
- 17 LINE OF SOFFIT ABOVE, RE: A1.30
- 18 LINE OF CEILING CLOUD AND DISCO BALL ABOVE (BY OTHERS) RE: A1.30
- 19 NOT USED
- 20 PREFABRICATED AWNING BY OTHERS. G.C. SHALL COORD. WITH STRUCTURAL DWGS. PART OF DEFERRED SUBMITTAL
- 21 KNOX BOX PER LOCAL FIRE DEPARTMENT JURISDICTION.
- 22 AIR CURTAIN (MARS LPN2-42), RE: MECHANICAL DWGS.
- 23 GAS METER, RE: MECHANICAL & CIVIL DWGS.
- 24 FIRE EXTINGUISHER, RE: CRA SHEET
- 25 PROVIDE PIPE SLEEVE FOR BULK CO2 TANK SERVICE LINE. G.C. TO COORDINATE EXACT LOCATION AND REQUIREMENTS WITH RC PM AND CO2 SUPPLIER - SEE EQUIPMENT PLAN FS1.10
- 26 INTERIOR ELECTRICAL EQUIPMENT, RE: ELECTRICAL DWGS.
- 27 DOWNSPOUT TO STORM SEWER, RE: 3/A7.50 AND CIVIL/PLUMBING DWGS.
- 28 PROVIDE PIPE SLEEVE FOR GREASE STORAGE TANK CONNECTION. G.C. TO COORDINATE LOCATION AND REQUIREMENTS WITH RC PM AND GREASE TANK MFR. - SEE EQUIP. PLAN FS1.10 AND PLBG DWGS. - TANK BASE CONNECTION: 5/8" O A.B. W/ 4 1/2" MIN. EMBEDMENT INTO CONCRETE (TYP. EA. LEG) - REFER TO VENDOR'S SEISMIC CALCULATIONS.
- 29 FIRE RISER - UNDER DEFERRED SUBMITTAL
- 30 LINE OF COUNTERTOP/CASEWORK, RE: MILLWORK DWGS & 7/A8.31
- 31 MOUNT CONVEX MIRROR AT 80" AFF. CLR. FROM BOTTOM OF MIRROR FOR RESTROOM VESTIBULE SURVEILLANCE.
- 32 INSTALL A HARDWIRED COMMUNICATION DEVICE IN WALK-IN FREEZER FOR EMERGENCY ASSISTANCE IN THE EVENT OF A LOCK-IN.
- 33 LINE OF PATIO ROOF, RE: SHEET A1.50 & STRUCT.
- 34 WATER SOFTENER, RE: PLUMBING DWGS.
- 35 PATIO AREA, RE: 1/A0.11
- 36 BRAKE METAL BETWEEN WINDOWS TO MATCH WINDOW FRAME.
- 37 LINE OF DRIVE THRU EXPO CANOPY, RE: CANOPY VENDOR DRAWINGS
- 38 PRIMARY ROOF DRAIN RAIN LEADER TO DAYLIGHT @ 12" A.F.F., RE: 7/A8.41
- 39 OVERFLOW ROOF DRAIN RAIN LEADER TO DAYLIGHT @ 12" A.F.F., RE: 7/A8.41



1 | KEYNOTE FLOOR PLAN

1/4" = 1'-0"



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P4-AV SCHEME A



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KEN MCCrackEN, ARCHITECT



Prototype: P4-AV 2021 - 2.0 RELEASE

Prototype Issue Date: 09-11-2021

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

PERMIT SET

ISSUED:		
1	05/12/2023	PDP RESUBMITTAL
2		
3		
4		

Sheet Title:

KEYED NOTE FLOOR PLAN

Date: 05/12/2023

Project Number: RAC22038.0

Drawn By: KA

Reviewed By: CB

Sheet Number:

A1.10

1. CANOPY VENDOR SHALL PROVIDE AND INSTALL DRIVE-THRU CANOPY STRUCTURE, LIGHTS, FANS, HEATERS, AND MISTERS. GC SHALL STUB-OUT ELECTRICAL POWER SUPPLY.
2. MIST PUMP SHALL BE SUPPLIED BY CANOPY VENDOR, INSTALLED BY GC NEAR CREW AMENITY STATION (CAS) UNDER TOW BOX. GC TO PROVIDE AND INSTALL WATER SUPPLY LINES FROM MIST PUMP TO CANOPY MISTERS.
3. PRIMED COLUMNS AND SPLASH GUARDS PROVIDED BY VENDOR. PAINT BY GC
4. GC TO PROVIDE CANOPY FOOTINGS. CANOPY VENDOR TO SUPPLY ANCHOR BOLTS AND TEMPLATE FOR GC INSTALLATION AT TIME OF SLAB POUR. TOP OF FOOTING IS TO BE 2'-4" BELOW THE LOWEST TOP OF GRADE COLUMN. REF CIVIL DRAWINGS.
5. IT TEAM TO INSTALL AND CONNECT WAP INCLUDING CONDUIT TO DATA COLUMN

TO PREVENT INTERFERENCE DATA AND POWER CABLES ARE
TO BE RUN IN INDEPENDENT CONDUITS:

DATA UTILITIES

(2) 1 1/2" CONDUIT FOR (2) CAT 5 CABLES, 2 CAMERA
CONDUCTIONS

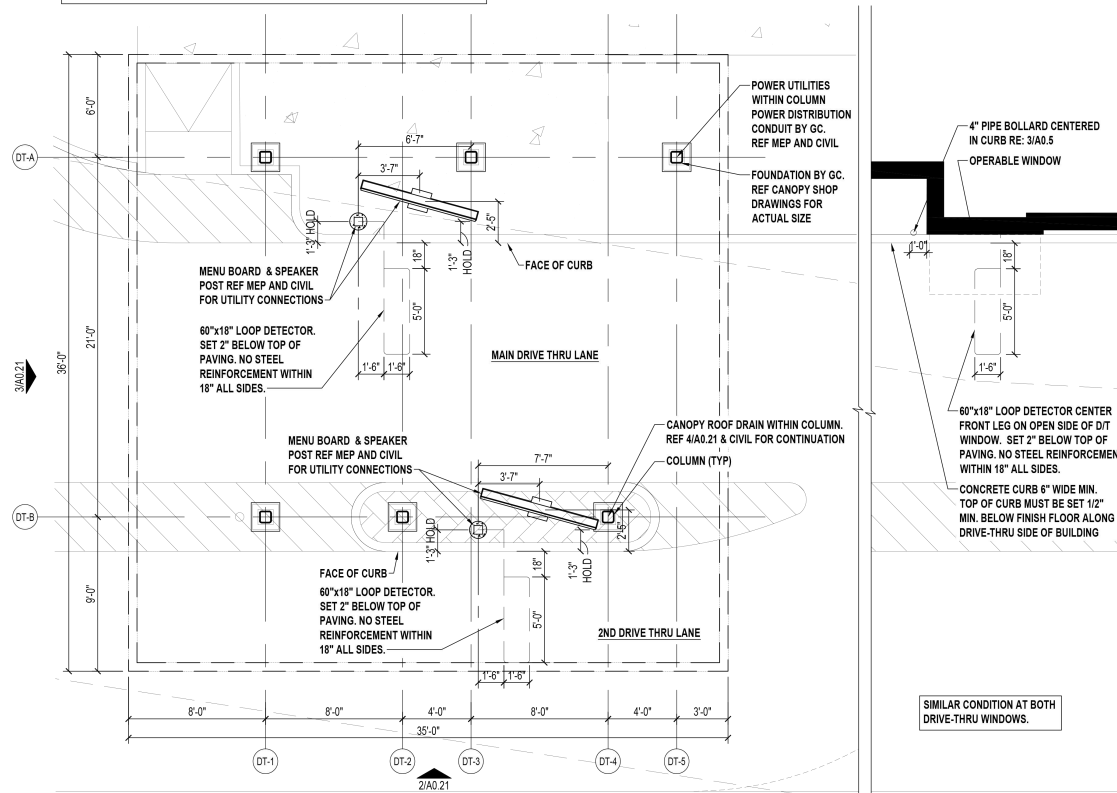
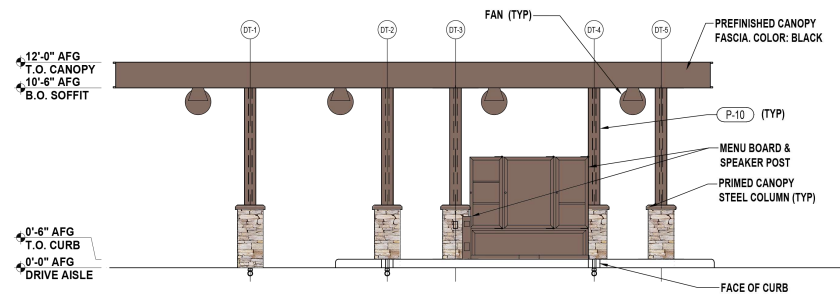
(1) 1" CONDUIT FOR WIRELESS ACCESS POINT DATA CABLE

POWER UTILITIES

(2) 1" CONDUIT FOR DRIVE THRU CANOPY AMENITIES
(FANS/MISTERS/HEATERS)

(1) CONDUIT FOR POWER TO WIRELESS ACCESS POINT

- DRIVE-THRU CANOPY AMENITIES**
1. ☐ COLD: FANS & HEATERS
2. ☐ VERY COLD: FANS & HEATERS+
3. ☐ MIXED-HUMID: FANS
4. ☐ HOT-HUMID: FANS & MISTERS
5. ☒ HOT-DRY / MIXED-DRY: FANS & MISTERS
6. ☐ MARINE: FANS
7. ☐ CUSTOM - _____

[illegible]

Architectural section drawing of a canopy structure. The drawing shows two columns, labeled DTG and DTA, supporting a canopy. The canopy is shown in two sections: a top section labeled '11'-10" AFG T.O. CANOPY' and a bottom section labeled '10'-4" AFG B.O. SOFFIT'. The columns are labeled 'CANOPY UTILITIES WITHIN COLUMN' and 'PRIMED CANOPY STEEL COLUMN (TYP)'. A 'MENU BOARD & SPEAKER POST' is shown on each column. The base of the columns is labeled '0'-4" AFG T.O. CURB' and '0'-0" AFG DRIVE AISLE'. A 'CANOPY DOWNSPOUT WITHIN COLUMN' is shown on the right column. The drawing includes various dimensions and labels for materials and components.

A technical diagram showing a side view of a speaker post assembly. A horizontal rectangular speaker post is shown with a circular base. A vertical electrical conduit is attached to the side of the post. Dimensions include a total width of 3'-7" for the base area, a vertical offset of 1'-3" for the conduit, and a vertical distance of 7'-5" from the base to the top of the conduit. Labels include 'FOUNDATION RE. STRUCTURAL ELECTRICAL CONDUITS', 'SPEAKER POST, BE FLECT', 'FACE OF CURB', and 'ELECTRICAL CONDUITS'. A 'HOLD' label points to a small square on the conduit.

Technical drawing showing the front and side views of a cabinet installation. The front view shows a cabinet with a width of $6'-10\frac{5}{8}"$ and a height of $5'-1\frac{1}{2}"$. The side view shows a depth of $1'-2\frac{1}{2}"$. The drawing includes the following labels and dimensions:

- CABINET BY MENUBOARD MANUFACTURER
- SPEAKER POST. RE. STRUCTURAL & ELECT.
- REMOVABLE ACCESS PANEL
- BASE PLATE
- $3/4"$ X $3"$ - $0"$ THREADED J BOLT ANCHOR
- $3/4"$ CONDUIT FOR LOW VOLTAGE AND 120V POWER. POWER AND DATA SHALL BE SEPARATED TO REDUCE INTERFERENCE
- SIGN CONCRETE FOUNDATION RE STRUCTURAL
- Dimensions: $6'-10\frac{5}{8}"$, $5'-1\frac{1}{2}"$, $1'-2\frac{1}{2}"$, $6"$, $1'-2\frac{1}{2}"$

3"x5" ELECTRICAL OPENING (ON OPPOSITE SIDE OF COLUMN FROM DRAIN HOLE).
 INTERNAL P.V.C. DRAINAGE.
 ELECTRICAL CONDUIT
 TOP OF GRADE. REF CIVIL
 ROOF DRAIN, EITHER SURFACE DRAIN OR TO STORM WATER. REF CIVIL FOR CONNECTION TYPE
 COLUMN
 ANCHOR BOLTS
 TOP OF FOOTING

REF SHOP DRAWINGS
 8'-0"
 2'-6"
 4'-6"

Diagram illustrating the height detector pole setup for a drive thru lane. The pole is 10'0" MAX high. A preview board is mounted at the top, 2'-4" from the pole. A height detector pole is mounted at 5'-10" from the pole. A height detector pole is mounted at 2'-9" from the pole. The pole is labeled "DRIVE THRU LANE".

[illegible]

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Restaurant #C989
P4-AV SCHEME A



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MCCRACKEN, ARCHITECT



P4-AV 2021 - 2.0 RELEASE

Prototype Issue Date: 09-11-2021

Sign Bulletin Updates: --

Issued: Bulletin Number:

100-100	100-100
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ERMIT SET

[illegible]

Sheet Title:

DRIVE THRU CANOPY DETAILS

05/12/2023

Project Number: BAC22038.0

Will By. _____

Reviewed By: CE

A0.21

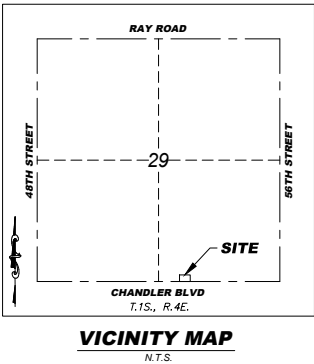
STORMWATER RETENTION CALCULATIONS

Overall Retention Summary								
Drainage Area	Land Use	Area [A]		Runoff Coefficient [C]	Precipitation Depth [P]	Required Storage (plus 10%) (V _{req} = CPA/12)		Retention Basin
		sf	ac			cf	ac-ft	
ON 1	Hardscape	40,318	0.93	0.95	2.20	7,724.26	0.177	UG1
ON 2	Landscape	18,737	0.43	0.50	2.20	1,889.31	0.043	UG1
TOTAL	-	59,055	1.36	-	-	9,614	0.221	-

Basin	Land Use	Runoff Coefficient	Drainage Area (ft²)	Required Volume (ft³)	Provided Volume (ft³)	Surplus (ft³)
UG1	Hardscape	0.95	40,318	7,724		
UG1	Landscape	0.50	18,737	1,889		
			59,055	10,575	10,996	421

UG 1	Required Volume	Diameter	Required Length	Provided Length	Provided Storage
	cf	ft	lf	lf CMP	cf
UG 1	10,575	10	135	140	10,996

Drywell Summary				
Retention Basin	Volume	Percolation Rate	Drywells Required	Drain Time
	cf	cfs	ea	hr
UG 1	10,575	0.1	2	15



LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	CENTER LINE
---	LIMITS OF GRADING
---	PROPOSED GRADE BREAK
---	PROPOSED HIGH POINT
---	PROPOSED STORM DRAIN PIPE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED PAVEMENT/TOP OF CURB ELEVATION
---	PROPOSED PAVEMENT/MATCH EXISTING SPOT ELEVATION
---	PROPOSED PAVEMENT SPOT ELEVATION
---	PROPOSED FINISHED FLOOR SPOT ELEVATION
---	EXISTING GRADE SPOT ELEVATION

GRADING AND DRAINAGE NOTES

- TYPE 'E' CATCH BASIN PER MAG STD DET 534.
- HDPE STORM DRAIN PIPE. SIZE AND SLOPE PER PLAN. BEDDING AND BACKFILL PER FINAL DESIGN PLANS.
- HDPE 45° BEND WITH FITTINGS PER MANUFACTURER'S SPECIFICATIONS.
- MAINTAIN 2% MAX SLOPE IN ALL DIRECTIONS AT ADA STALLS.
- CONCRETE ISLAND TO BE INSTALLED WITH TOP OF CONCRETE AT EQUAL ELEVATION AT ALL POINTS.
- CONNECT STORM DRAIN PIPE TO UNDERGROUND RETENTION TANK PER MANUFACTURER'S DETAILS.
- INSTALL MC-7200 STORMTECH SYSTEM PER MANUFACTURER DETAILS.

UNDERGROUND RETENTION TANK NOTE

THE UNDERGROUND RETENTION TANK INSTALLATION WILL REQUIRE THIRD-PARTY INSPECTION AND MUST MEET ALL MANUFACTURED RECOMMENDATIONS. ALL CERTIFIED INSPECTION RECORDS MUST BE SUBMITTED TO THE INSPECTOR PRIOR TO PLACEMENT OF PAVEMENT OR LANDSCAPE.

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2715L, DATED 10/16/2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARING

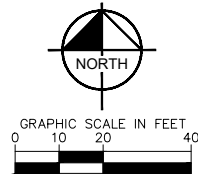
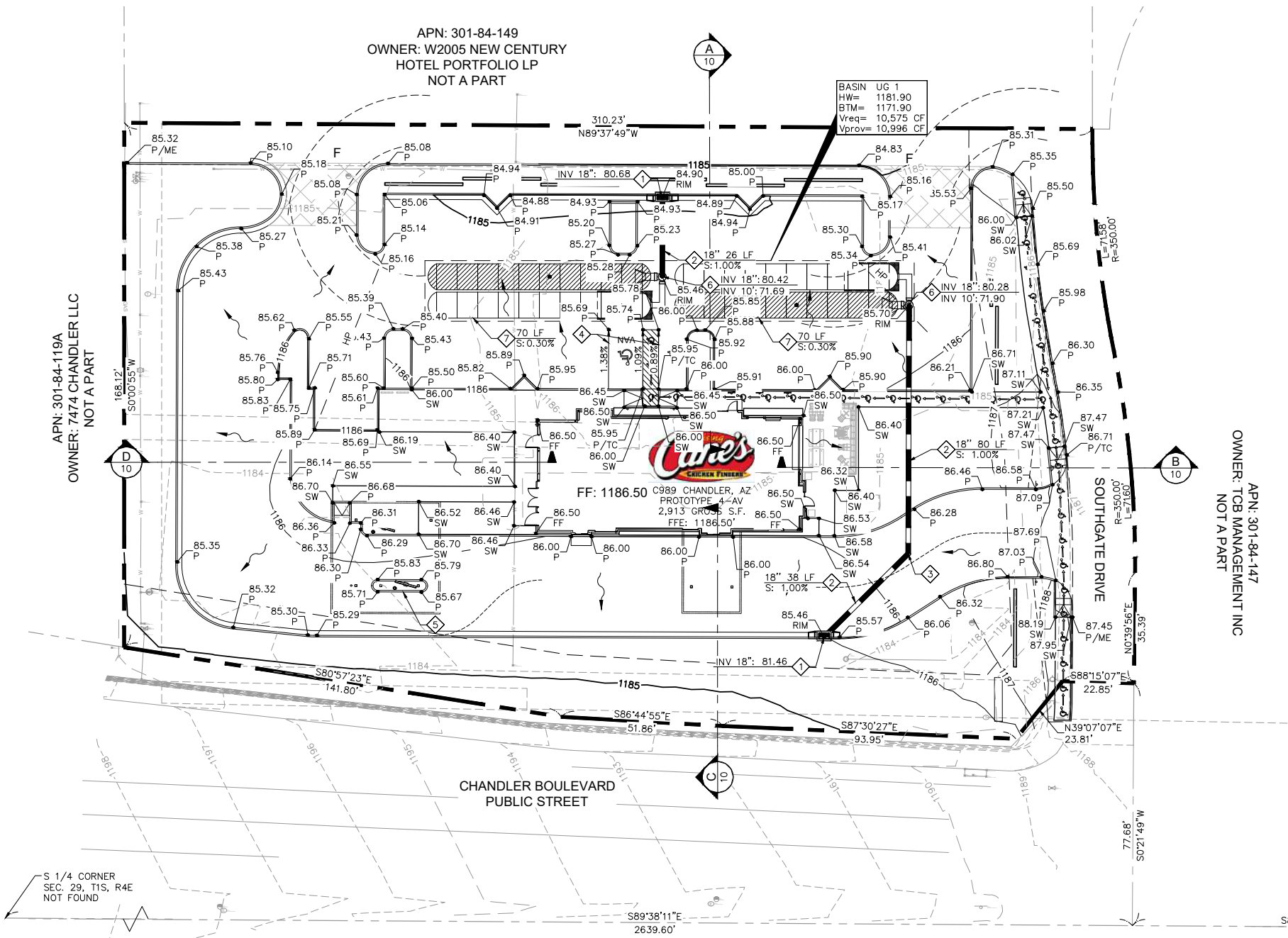
THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29, T. 1 S., R. 4 E., G&SRM, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS S89°38'11"E.

NOTE

- ADD 1100' TO ALL SPOT ELEVATIONS
- ADD 0.5' TO PAVEMENT ELEVATIONS FOR TOP OF CURB ELEVATIONS
- SIDEWALKS AND ADA CROSSWALKS TO HAVE A MINIMUM CROSS SLOPE OF 2% AND A 5% MAXIMUM LONGITUDINAL SLOPE PER ADA CODE.
- ALL CUT/FILL SLOPES 4:1 MAX UNLESS OTHERWISE NOTED.
- ROOF DRAINS TO SPLASH TO GRADE. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. UTILIZE SCUPPERS AS NEEDED AT SIDEWALK CROSSINGS.

DRYWELL REGISTRATION NOTE

CONTRACTOR TO PROVIDE DRYWELL REGISTRATION LETTER, DRYWELL REGISTRATION NUMBERS, AND DRYWELL APPLICATION DATE.



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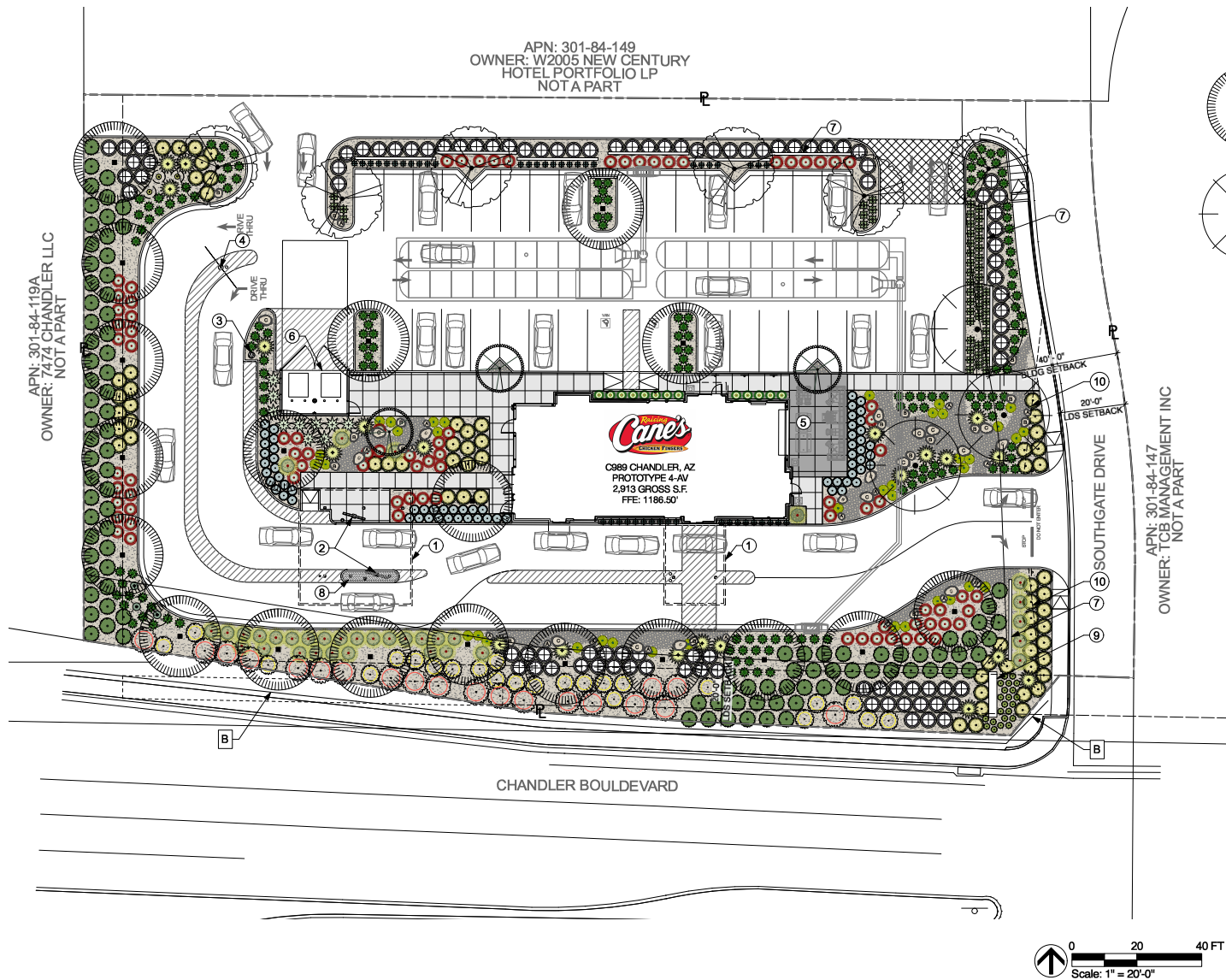


Prototype :	P4-AV 2021 - 2.0 RELEASE
Prototype Issue Date:	09-11-2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number: --
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ISSUED:		
1	03/16/2022	80% CLIENT REVIEW SET
2		
3		
4		
REVISION:		
1		
2		
3		
4		

Sheet Title:	GRADING AND DRAINAGE PLAN
Date:	03/20/2023
Project Number:	RAC22038.0
Drawn By:	KA
Reviewed By:	CB
Sheet Number:	

GD-01



Existing Tree Protection
& Removal Notes

All existing plant material to remain and be protected unless otherwise noted.

- (E) tree symbol
- (E) shrub
- (E) to be removed symbol

Tree Requirement Calculations per Predevelopment Findings

- A MIN. of 10% of the interior surface of all parking lots must be landscaped.
- Trees shall have a MIN. clear canopy distance of (5) feet and achieve a mature canopy width of (20) feet.
- Diamond planters shall contain a MIN. of (1) tree.
- 1 planter and 2 diamond planters shall occur every 12 spaces.
- All trees within the line of sight will maintain a canopy height above 6' curb elevation, all shrubs in this area may not reach a mature height over 24'.
- Parking lot trees must have a MIN. clear canopy distance of 5'.
- Trees must be placed a MIN. of 5' from sidewalks and public access-ways.
- A landscape strip a MIN. of 10' wide must be provided along all site boundary lines with 1 tree and 6 shrubs (5 gallon size) per 30 LF.
- Provide 1 tree and 6 shrubs per 1,000 SF of interior open space plus sufficient ground cover that upon maturity a MIN. of 50% of landscape surface (non-hardscape) areas shall be covered with shrubs and ground cover.
- Single row planter islands (9' x 19') must contain a MIN. of 1 tree and 5 shrubs (5 gallon size).
- Double row planter islands (9' x 38') must contain a MIN. of 2 trees and 10 shrubs (5 gallon size) and 1 additional shrub for each additional 25 SF.
- Front yard/street ROW along 20' set back areas must include 1 tree and 6 shrubs (5 gallon) per 30 LF plus sufficient vegetative ground cover that upon maturity making a MIN. of 50% of landscape surface (non-hardscape) areas shall be covered with shrubs and ground cover.
- All trees shall comply with the latest amended edition of the Arizona Landscape Contractors' Association (azlca.com).
- All landscape must comply with Low Water Use Plant List published by Arizona Department of Water Resources.
- MIN. planting size:
 - Trees (adjoining arterial streets) 24" box (50% of required trees) 36" box (25% of required trees) 48" box (25% of required trees)
 - Trees (exceed MIN. requirements) 15 gallon
 - Shrubs 5 gallon
 - Ground cover 1 gallon
 - Vines 1 gallon
 - Annuals 4" pots or flats

Plant List

Symbols	Botanical Name	Common Name	Size	Qty	Mature Height	Size Width
Trees						
	<i>Acacia smallii</i> (Std.)	Sweet Acacia	36" box	3	30 ft	30 ft
	<i>Acacia stenophylla</i> (Std.)	Shoestring Acacia	24" box	19	20 - 30 ft	20 - 25 ft
	<i>Chilopsis linearis</i> 'Bubba' (Std.)	Seedless Desert Willow	48" box	6	25 ft	30 ft
	<i>Sophora secundiflora</i> (Std.)	Texas Mountain Laurel	24" box	3	10 - 25 ft	8 - 10 ft
Shrubs						
	<i>Caesalpinia gilliesii</i>	Yellow Bird of Paradise	15 gal	24	8 to 10 ft	8 to 10 ft
	<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise	15 gal	20	8 to 10 ft	8 to 10 ft
	<i>Eremophila glabra</i> 'Mingenew Gold'	Outback Sunrise Emu	5 gal	64	1 ft	6 ft
	<i>Eremophila hydroparane</i>	Blue Bells	15 gal	63	3 ft	5 ft
	<i>Leucophyllum langmaniae</i> 'Rio Bravo'	Rio Bravo® Texas Ranger	15 gal	93	3 - 5 ft	4 - 7 ft
	<i>Simmondsia Chinensis</i>	Jojoba	15 gal	100	6 ft.	6 ft.
Succulents						
	<i>Agave americana</i> var. <i>marginata</i>	Variegated Century Plant	15 gal	21	4 - 8 ft	6 - 12 ft
	<i>Agave desertiana</i>	Smooth Agave	15 gal	148	3 - 4 ft	3 ft
	<i>Aloe 'Blue Elf'</i>	Aloe 'Blue Elf'	5 gal	47	15 - 18 in	2 ft
	<i>Aloe vera</i>	Aloe Vera	5 gal	51	2 - 3 ft.	1 - 2 ft.
	<i>Carnegiea gigantea</i>	Saguaro Cactus	4' H. MIN.	3	40 - 50 ft	2 ft
	<i>Echinocactus grusonii</i>	Barrel Cactus	15 gal	22	1 - 4 ft	1 - 2 ft
	<i>Fouquieria splendens</i> *	Ocotillo *	15 gal	3	12 ft	10 ft
	<i>Hesperaloe funifera</i>	Giant Hesperaloe	15 gal	34	6 ft	6 - 8 ft
	<i>Hesperaloe parviflora</i>	Red Yucca	5 gal	83	3 - 4 ft	4 - 5 ft
	<i>Pedilanthus bracteatus</i>	Tail Slipper Plant	15 gal	13	6 ft	4 ft
	<i>Yucca baccata</i>	Banana Yucca	5 gal	10	4 ft	6 ft
Grasses						
	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	5 gal	38	3 ft	3 ft
* <i>Fouquieria splendens</i> / Ocotillo to have 8 cane MIN.						

Materials Legend

Material	Size	Area
Decomposed granite, Desert Gold or equal 1/2" screened	1/2"	16,608SF
Local rip rap, Desert Gold or equal	4-8" DIA	1,562 SF
Belgard Holland Stone Legacy pavers (non-vehicular use) Herringbone bone pattern Charcoal or LArch approved EQ. color	4" x 8"	47 SF
Direct Colors® Smokestack Grey 102 - 5lb integral colored concrete W/ 3/8" saw cut joints. Finish: TOPCAST ® #05	N/A	564 SF
Natural colored concrete W/ 3/8" saw cut joints. Finish: TOPCAST ® #05	N/A	2,245 SF
"A"	18" - 24" DIA	16 (QTY)
"B"	24" - 36" DIA	19 (QTY)
"C"	36" - 48" DIA	17 (QTY)

Supplier contact: SiteOne Landscape Supply, Erika Treptow (562) 315-3139

Proposed Notes

- (P) overhead canopy structure per architect
- (P) order board per architect
- (P) pre-order board per architect
- (P) headache bar per architect
- (P) patio furniture per architect
- (P) trash enclosure per architect
- (P) decorative screen wall per civil
- (P) pavers per Materials Legend
- (P) monument sign per architect
- (P) sight visibility triangle

Existing Notes

- (E) fire hydrant
- (E) retaining wall

Project No. 22-55



KIESEL • DESIGN

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Submittals:

#	DATE	NAME
1	11-04-22	Administrative Design Review
2	01-20-23	1st PDP Submittal
3	03-21-23	80% QA/QC
4	03-31-23	2nd PDP Submittal
5	06-08-23	3rd PDP Submittal



Type: PDP Submittal

Initial Setup Date:
Nov 01, 2022

Drawn By:
NAME DATE
B.Jordan 03/2023

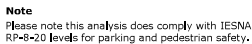
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Title:

Preliminary
Landscape Plan

Sheet Number:

L0.1



Note

1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
2. Please refer to the "luminaire locations" table for mounting heights.
3. Product information can be obtained at www.AcuityBrands.com.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE THRU		1,3 fc	2,2 fc	0,5 fc	4,4:1	2,6:1
PARKING LOT		0,9 fc	1,4 fc	0,5 fc	2,8:1	1,8:1
SITE CALCULATIONS		0,4 fc	2,2 fc	0,0 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	XXX	1	Lithonia Lighting	DSXL LED 1" 40K 70CRI LCCO	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Left Corner Cutoff Extreme Backlight Control	1	5573	0,9	50,9
	YYY	1	Lithonia Lighting	DSXL LED 1" 40K 70CRI RCCO	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Right Corner Cutoff Extreme Backlight Control	1	5573	0,9	50,9
	ZZZ	6	Lithonia Lighting	DSXL LED 1" 40K 70CRI BLCA	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Type 4 Extreme Backlight Control	1	5705	0,9	50,9

Note
Acuity Brands Lighting Inc. This document contains confidential and proprietary information of Acuity Brands Lighting. This document may only be used by or for the benefit of Acuity Brands Lighting's representatives and Customers.

Far-field photometric/radiometric data is not a professional engineering drawing and the design, including reported data and calculated results, is provided for informational purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations made using Visual Lighting application software, photometric/radiometric data measured in a laboratory, and cartian computational and modeling assumptions.

Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is generally not representative of near-field geometric conditions. When using the far-field photometric/radiometric data, the Visual software applies certain generalizing assumptions to approximate near-field performance. These assumptions may result in significant inaccuracies in individual calculated luminance and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point.

The modeling of radiant flux exchange used in the Visual software requires a uniform exitance across each reflecting surface. The Visual software approximates the uniform surface exitance condition by adaptively subdividing surfaces with non-uniform exitance into subsurfaces with sufficiently uniform exitance gradients, introducing potential discretization error into the calculated values.

Calculations performed by Visual software assume that all reflected flux is reflected in a perfectly diffuse (Lambertian) and spectrally uniform manner across the spectral range being analyzed; if actual reflectance characteristics differ from these assumptions, observed luminous and/or radiant power quantities may differ from the predicted quantities.

As a result of the computational limitations and simplifying modeling assumptions described above, and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiation dose calculation may be adversely affected.

In addition, the accuracy of the application design may be adversely affected if information about the physical space provided to Acuity Brands Lighting is incomplete, inaccurate, outdated or not in the required format (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications) if incorrect assumptions are made because of because such are not appropriate for the space. Furthermore, actual actual field performance may differ from performance calculated using laboratory measurement as a result of mischaracterizations related to deficiencies in the information provided about the physical space, degradation factors in the end-use environment (including, but not limited to, voltage variation and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and/or depreciation in lamp radiant intensity may result in performance over time that differs from what was calculated.

It is the obligation of the end-user to consult with appropriately qualified Professional Engineer (s) to determine whether this application design meets the applicable requirements for performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands Lighting be responsible for any less resulting from any use of this design.