Honeysuckle Trail – K. Hovnanian Homes

NWC of Warner Road & Bullmoose Drive

PRELIMINARY DEVELOPMENT PLAN BOOKLET

Submitted by:

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On Behalf of:
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20830 N Tatum Blvd Suite 250
Phoenix, AZ 85050

Case Numbers: PLH22-0018 & PLT22-0017

May 16, 2023

Development Team

Applicant/Developer

K. Hovnanian Homes

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Attachments

1. Aerial / Vicinity Map
2. Architectural Site Plan with site data (Color & B/W)
3. Preliminary Landscape Plan (Color & B/W)
4. Building elevations/ Housing product (Color & B/W)
5. Dimensioned Floor Plans (typical plot plans)
6. Perspective renderings
7. Amenity and Site Plan Details (entry monument, vignettes, pedestrian courtyards, etc.)
8. Wall elevations /details (Color)
9. Color and Materials Palette
10. Preliminary Grading & Drainage
11. Preliminary Plat (Single-family platted lots)

Introduction

Pew and Lake, PLC, on behalf of K. Hovnanian Homes, is pleased to submit to City of Chandler's Planning Division Honeysuckle Trail, a rezoning request with Preliminary Plat. Honeysuckle Trail is located at the northwest corner of Warner Road and Bullmoose Drive. The property is further identified by the Maricopa County Assessor as a portion of parcel number 302-79-503. The property is approximately 7.99 net acres as shown in Figure 1 below:

Figure 1- Site Aerial

Request

The Applicant requests the following to the City of Chandler:

- Rezoning of the property from SF-33 to Planned Area Development (PAD) for single-family residential and City Park
- Preliminary Development Plan (PDP) for subdivision layout and housing product.
- Preliminary Plat approval
- Rezone the retention basin to PAD for City Park.

Site Background & Context

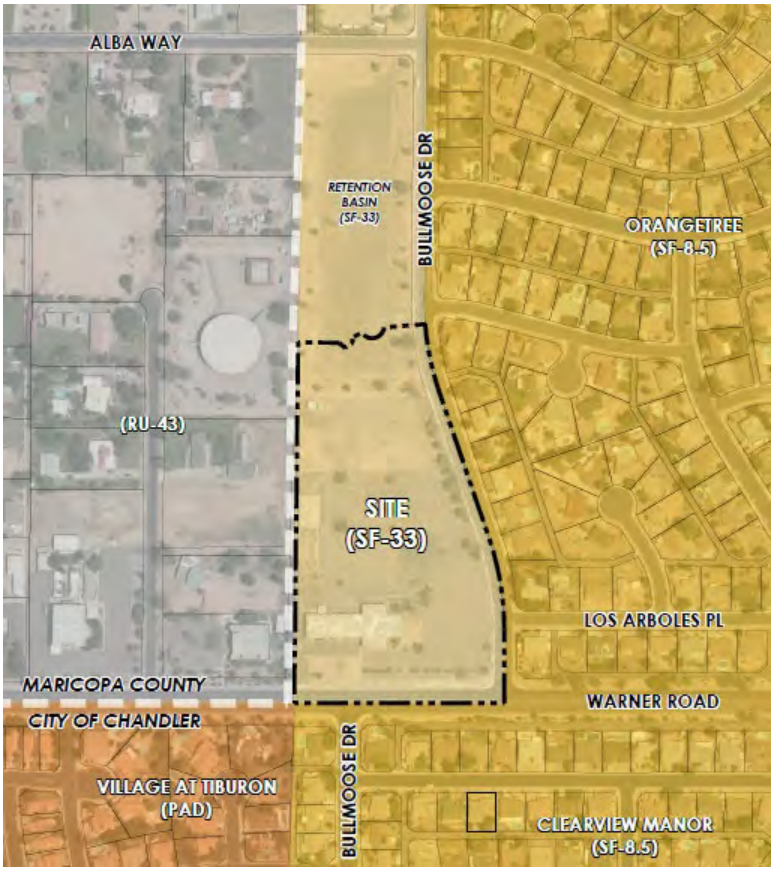
The subject 7.99 net acres has for years served as the worship center for the Cathedral of Praise Church. As shown in Figure 2 on the next page, the Property is currently zoned SF-33. Honeysuckle Trail proposes 48 lots with a minimum of 4,000 square feet in size, with typical dimensions of 40 feet wide by 100 feet deep. Directly to the north is an existing retention basin. A Development Agreement is provided with the City of Chandler regarding ownership, design, and maintenance of the park and retention basin. The Orangetree Subdivision (SF 8.5) is directly east, Clearview Manor & Village at Tiburon subdivisions are directly south (SF 8.5 & PAD). Unincorporated Maricopa County land is to the west of the site where larger lot single family homes currently exist (RU-43). The property is an infill parcel that is ideally suited for smaller lot residential development. The proposed development will provide a density gradation that is compatible with the existing residential uses.

At the request of staff, and to avoid parallel walls creating nonpermeable access, the sliver parcel on the western boundary of the property will be conveyed to the adjacent property owners upon close of escrow.

Table 1- Relationship to Surrounding Properties

Direction	Area Plan Designation	Zoning Classification	Existing Use
North	Neighborhood	Retention Basin	Retention Basin
East	Neighborhood	SF 8.5	Orangetree Subdivision
South	Neighborhood	SF 8.5 & PAD	Clearview Manor & Village at Tiburon
West	Neighborhood	RU-43	Homes
Project Site	Neighborhood	SF-33	Church

Figure 2- Current Zoning



General Plan Designation

The City of Chandler General Plan land use designation for this site is 'Neighborhood'. The adopted 2016 General Plan provides the flexibility in the Neighborhood Land Use Classification for a range of residential densities. Furthermore, the City has matured and is now grown to the point where large developable land parcels are few and infill or redevelopment is how most future development will occur.

The consideration of medium-density single-family residential in this location is warranted as can be demonstrated with the following elements and policies of the City's General Plan:

- Medium-density residential (3.5-12 dwelling units per acre) can be considered for infill parcels in areas located between land uses of different intensities where a transitional use or density gradation is advisable, or as a component of a mixed-use development. Medium-density residential may be located along arterial roads, freeway corridors, adjacent to employment and commercial areas, regional parks, or major recreation facilities, or as part of an approved neighborhood or area plan where compatibility, transition, or other justifications warrant approval.

Honeysuckle Trail is located along an arterial, Warner Road, and surrounded by a range of densities. The community offers a compatible and complimentary residential use adjacent to single-family subdivisions.

- Land Use & Development Policy 1.1.1(f) Encourage compatible infill projects.
- Housing & Neighborhoods Policy 1.1.2 (a), 1.1.2 (b) Provide for a variety of housing choices for all income levels and promote a compatible mix of housing types in infill areas.
- Growth Areas: It is important to note that there are infill lots and parcels that will be redeveloped outside of these growth areas. Chandler encourages infill and redevelopment to occur in appropriate areas throughout Chandler.
- Infill: Development of vacant lands in predominantly built-up portions of the community or redevelopment of properties that are underutilized so as to make the most efficient use of existing infrastructure and attain higher economic return from real estate.

The proposed development offers a housing product at 6 DU/AC which is truly an asset to the City by bringing to the market the highly demanded, but often overlooked "Missing Middle" housing option. Most residential development either focuses on single-family at or just below 4 DU/AC or multi-family over 12 DU/AC. There is a gap in the housing that should be provided and is needed. As an infill parcel, this development is at a great location and provides an appropriate transition from the surrounding higher density developments.

Residential Development Standards

Honeysuckle Trail has been thoughtfully designed in compliance with the City's Residential Design Standards. The proposal consists of 48 residential lots on 7.99 net acres, with two entries on Bullmoose Drive. The relatively small parcel is located near developed residential neighborhoods, but the physical barriers of the retention basin to the north, Warner Road, and Bullmoose Drive, preclude expansion making it a prime location for infill.

The community offers 20% open space with an amenity park in the northeast corner of the project. The lots are a minimum of 4,000 square feet with detached single family housing product. Front setbacks are 13 feet minimum to livable space or side loaded garage; 20 feet minimum to front facing garage from back of sidewalk. Side setbacks are 5 feet minimum and rear setbacks are a minimum of 10 feet.

Amenities & Open Space

Over an acre of open space is provided and the community is thoughtfully landscaped (See Landscape Plan). The curvilinear streets and sidewalks will guide drivers and pedestrians through the neighborhood that ends at a cul-de-sac and amenity area located in the future Public Park area immediately north of the site which will include a "tot lot", ramada, and seating. Additionally, open space is planned along the project perimeters. Concurrent to developing Honeysuckle Trail, K. Hovnanian will develop a public park on the north end of the site. The park will be dedicated to the City upon completion.

Entry, Walls, Signage

A single-entry monument shall be located on the northwest corner of Bullmoose Drive and the proposed Los Arboles Place, positioned to maximize visibility as the majority of traffic is expected to be coming north from Warner Road. The monument shall incorporate a variety of materials including natural stone tile, split face block, smooth face block, & a vertical trellis backing the brushed aluminum sign lettering. Ground mounted lighting shall be provided to illuminate the monument as well as accent larger box trees immediately adjacent.

Along the western perimeter of the project, including the retention basin portion, Dooley wall will separate the development from the existing residential homes. Dooley wall is also proposed within the community on lots 35, 36, and 48, where the side yard is adjacent to the street. The north, east, and south perimeter of the retention basin will utilize 100% view fencing to secure the basin. Theme wall will be present along the eastern and southern portion of the community.

Subdivision Layout Diversity

As further described below, Honeysuckle Trail demonstrates that the residential proposal incorporates several of the Subdivision Diversity Elements. The plan satisfies six of the required Subdivision Diversity Elements and five of the optional Diversity Elements, as follows:

Table 2 – Subdivision Layout Diversity

Element Number	Required Diversity Element
1	Sense of neighborhood arrival
2	Distinctive project themes
5	Irregular shaped retention basins
6	Design and improve retention areas to be useable and accessible
7	Provide a minimum 10- foot landscape parkway from ROW link to fence in a common are when lots back onto an arterial street and 5 feet when backed to a local collector
8	Provide staggers or other visual breaks in perimeter fence walls adjoining arterial streets
Element Number	Optional Diversity Element
1	Provide a curvilinear street system
12	Provide landscape open spaces visible from arterial street and residential street view with maximum 4:1 slope along street frontages
19	Locate a continuous enlarged landscape tract at least ½ the total frontage in length along the arterial or collector streets with a depth equal to the average lot depth and no more than 5 lots backing up to the tract. Landscape areas not to include solid walls creating a visual barrier
20	Provide a minimum 20-foot landscape parkway along arterial streets, measured from the ROW line to the fence.

Development Standards

Below are the development standards proposed for the Honeysuckle Trail residential subdivision. The lots are a minimum of 4,000 square feet with typical dimensions of 40 feet wide by 100 feet deep. Lot variation ranges from 4,108 square feet up to 6,859 square feet. Each garage is proposed to be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment. The table on the next page outlines the proposed development standards.

Table 3 – Proposed Development Standards

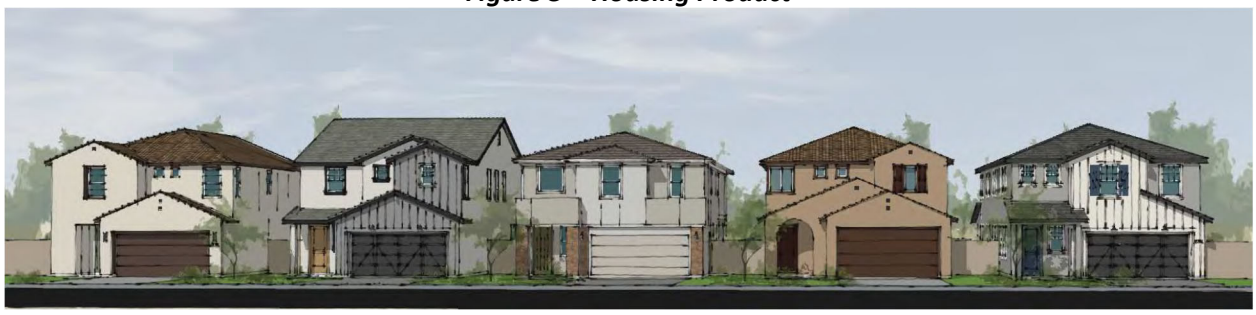
Standard	Proposed PAD
Front Setback	20’ from Back of Sidewalk to garage 13’ for livable/porch
Rear Setback *The rear yard setback for an accessory building shall be a minimum of 5 feet.	10’
Side Setback	5’-5’
Building Height	30’
Density (Maximum)	6.0 du/ac
Common Open Space	20%
Lot coverage	60%

Housing Product

The Honeysuckle Trail community will provide high quality architecture that represents a combination of Spanish Modern, Farmhouse and Contemporary styles. Four-sided architecture has been provided on all homes throughout the community. Each style has 4 different design options provided to further enhance the character and uniqueness of the community. Additionally, each architectural style will incorporate specific details, some examples of the details are, window trim, shutters, board and batten siding, masonry veneer, corbels, parapets, window girds, and stucco control joints.

The homes will be two story and range in size from 1,979 SF to 2,640 SF. All home designs include front doors and covered entry/porches that are visible from the street. The garage styles, locations, and coach lights further diversify the design and deemphasize garage fronts. The image below illustrates the diversity of design and the unique collection of architectural styles.

Figure 3 – Housing Product



As previously discussed, the proposed housing product meets the City’s Architectural Diversity Standards and is demonstrated by specially meeting the following elements outlined in the tables on the next pages.

Table 4 – Architectural Diversity Standards (Required)

ARCHITECTURAL DIVERSITY STANDARDS	
REQUIRED 9 ELEMENTS	
1. Provide four-sided architecture especially for portions of building visible from arterial street	Four-sided architectural design has been provided on all homes/elevations by incorporating design elements including stucco window pop outs, window mullions, shutters, stucco control joints, gable vents, varied roof and massing designs, and soffit treatments to all side/rear elevations. Spanish rear elevation patios have been revised to include arched features and Contemporary elevations have added masonry veneer to rear patios to match front elevations.
2. De-emphasize garage fronts	The home designs provide a mix of garage locations, garage forward and porch forward, to promote diversity. Further by varying garage massing and roof lines, garage door designs, and coach lights all promote diversity and de-emphasizing garage fronts.
3. Front door or courtyard entry to be visible from street	All home designs include front doors and covered entry/porches that are visible from the street.
4. Single-story or combination one- and two-story homes on all corner lots	Two story homes are acceptable as this project is considered infill.
5. Enhanced rear elevations along arterial and collector streets and open spaces	All homes/elevations include four-sided architecture that represent the style of architecture from all sides and vantage points.
6. Variety of roofing colors, textures, and shapes	Each elevation character will have style specific color schemes and roof tile colors and profiles including both concrete S and flat tiles. The varied use of gables, hips, and parapets promote building mass diversity.
7. Durable exterior materials and finishes (brick, masonry, stone, stucco facades)	Durable exterior finishes include stucco, engineered wood composite board and batten siding, masonry veneer, and concrete roof tiles.
8. Box-on-box (two-story) homes to include a single-story element on rear elevations or second story plan changes or multiple roof designs	All home designs include single story, elements, mass offsets, and varied roof designs at the rear elevations.
9. Standard covered rear patios on all floor plans	All home designs include a standard covered patio at the rear of the home.

Table 5- Architectural Diversity Standards (Optional)

ARCHITECTURAL DIVERSITY STANDARDS	
OPTIONAL ELEMENTS (MINIMUM REQUIRED - 7 POINTS)	
1. Provide at least 3 significant architectural style differences	Three architectural styles are proposed in Spanish Modern, Farmhouse, and Contemporary elevation characters.
2. Prohibit the same front elevation on adjoining homes or across the street	To promote street scene diversity, no identical plan and elevation will be allowed adjacent to or across from one another regardless of color scheme.
3. Standard feature stone, brick, or accent façade material on at least one elevation for each floor plan available	Masonry veneer will be standard on the Contemporary elevations and board and batten siding is a standard material on the Farmhouse elevations.
4. Provide distinctive architectural details on all elevations; covered front porches, covered front entries, door & window details, roof features, etc.	Each architectural style incorporates style specific details, materials, colors, and massing. Examples include window trim, shutters, board and batten siding, masonry veneer, corbels, parapets, window grids, stucco control joints among others.
5. Provide screening or other accommodation for trash bins, recycling bins, household tools and equipment	Trash/recycle bins will be stored in garage or behind the side yard gate. A/C condensers are also located behind the side yard fence return.
10. Provide a variety of front yard landscape packages installed by builder	K. Hovnanian will offer a choice of (3) three distinct front yard landscape packages available to the buyer and installed by the builder.
11. Utilize at least one elevation per floor plan having a flat roof	Contemporary elevation incorporates flat roof/parapet accent roofs appropriate to the style.
12. Provide four-sided architecture throughout subdivision	Four-sided architectural design has been provided on all homes/elevations throughout the community.

Conclusion

With the development of this property, K Hovnanian will inject a new type of housing product into this established part of Chandler. Of equal importance is the drainage solution that will be provided to the benefit of the surrounding community. The applicant and K. Hovnanian look forward to working with the City of Chandler Planning and Engineering staff to design a sustainable community that brings with it a practical benefit to the City of Chandler.

Legal Descriptions

LEGAL DESCRIPTION
FOR
Honeysuckle Trails

A PORTION OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPACOUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 18;

THENCE NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 55.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WARNER ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST, ALONG SAID EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 841.47 FEET;

THENCE SOUTH 89 DEGREES 22 MINUTES 47 SECONDS EAST, A DISTANCE OF 103.00 FEET;

THENCE SOUTH 46 DEGREES 42 MINUTES 13 SECONDS EAST, A DISTANCE OF 18.73 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS SOUTH 46 DEGREES 42 MINUTES 13 SECONDS EAST A DISTANCE OF 52.00 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 25.22 FEET AND A CENTRAL ANGLE OF 27 DEGREES 47 MINUTES 02 SECONDS;

THENCE DEPARTING SAID CURVE NORTH 18 DEGREES 55 MINUTES 11 SECONDS WEST, A DISTANCE OF 7.91 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 71 DEGREES 04 MINUTES 49 SECONDS EAST A DISTANCE OF 5.00 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 7.13 FEET AND A CENTRAL ANGLE OF 81 DEGREES 41 MINUTES 39 SECONDS;

THENCE DEPARTING SAID CURVE NORTH 62 DEGREES 46 MINUTES 27 SECONDS EAST, A DISTANCE OF 24.74 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 57 DEGREES 59 MINUTES 39 SECONDS EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE A DISTANCE 74.46 FEET AND A CENTRAL ANGLE OF 142 DEGREES 12 MINUTES 48 SECONDS;

THENCE NORTH 85 DEGREES 20 MINUTES 46 SECONDS EAST, A DISTANCE OF 69.99 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 85 DEGREES 20 MINUTES 46 SECONDS EAST A DISTANCE OF 733.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE A DISTANCE 181.48 FEET AND A CENTRAL ANGLE OF 14 DEGREES 11 MINUTES 09 SECONDS;

THENCE SOUTH 18 DEGREES 50 MINUTES 10 SECONDS EAST, A DISTANCE OF 387.56 FEET;

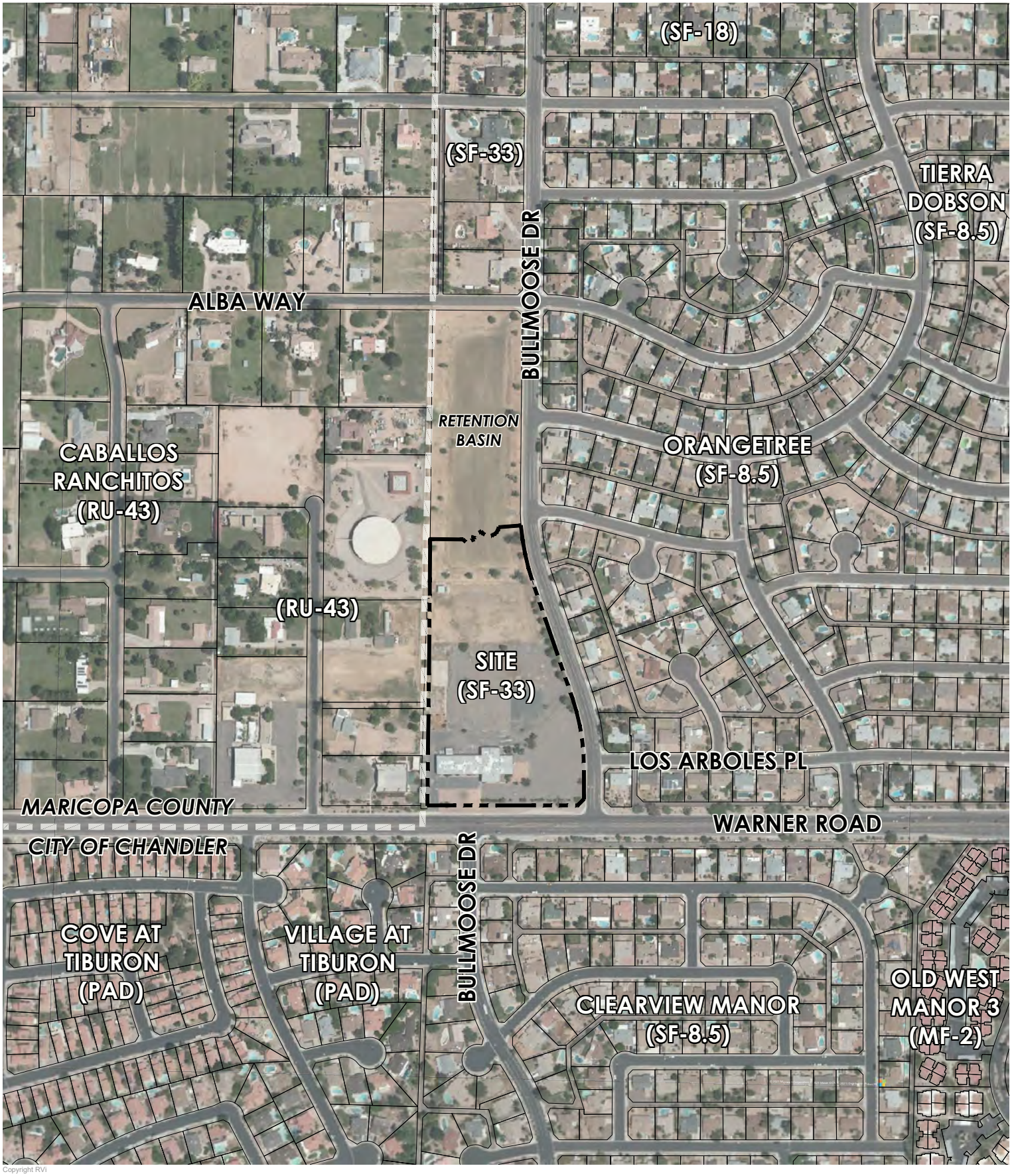
THENCE SOUTHWESTERLY A DISTANCE OF 219.27 FEET ALONG A CURVE WHOSE CENTER BEARS SOUTH 71 DEGREES 09 MINUTES 50 SECONDS WEST A DISTANCE OF 667.00 FEET;

THENCE SOUTH 00 DEGREES 00 MINUTES 02 SECONDS EAST, A DISTANCE OF 105.00 FEET;

THENCE SOUTH 44 DEGREES 59 MINUTES 52 SECONDS WEST, A DISTANCE OF 28.29 FEET;

THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS WEST, A DISTANCE OF 471.35 FEET TO THE POINT OF BEGINNING;

Aerial / Vicinity Map



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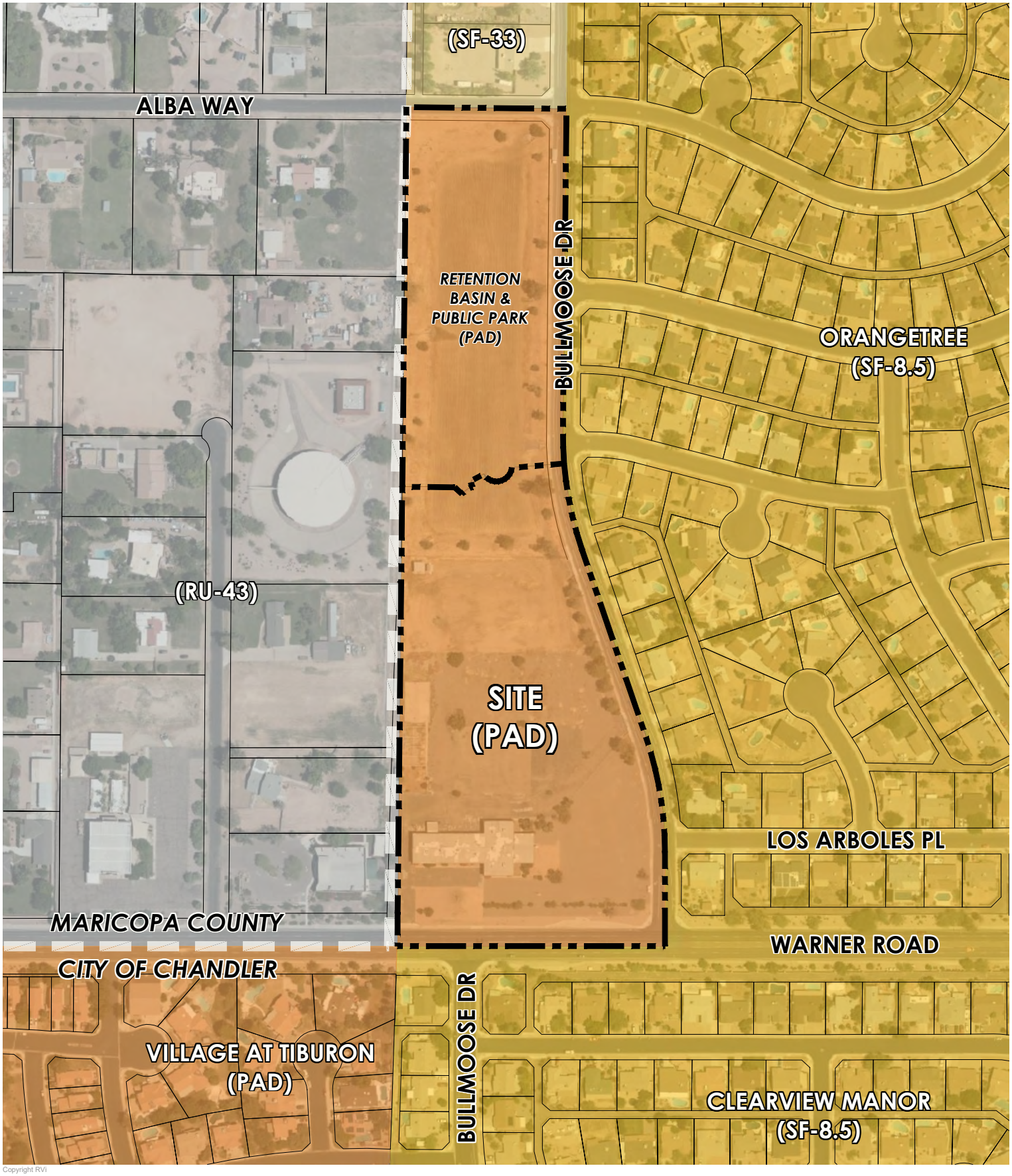
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **CONTEXT AERIAL**

CHANDLER, AZ
2023-03-13
21005353
K HOVNANIAN

0 200' 400'
SCALE: 1" = 400'-0"

Information furnished regarding this property is from sources deemed reliable. RVi has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.



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HONEYSUCKLE TRAIL • **PROPOSED ZONING**

CHANDLER, AZ
2023-04-25
21005353
K HOVNANIAN

0 125' 250'
SCALE: 1" = 250'

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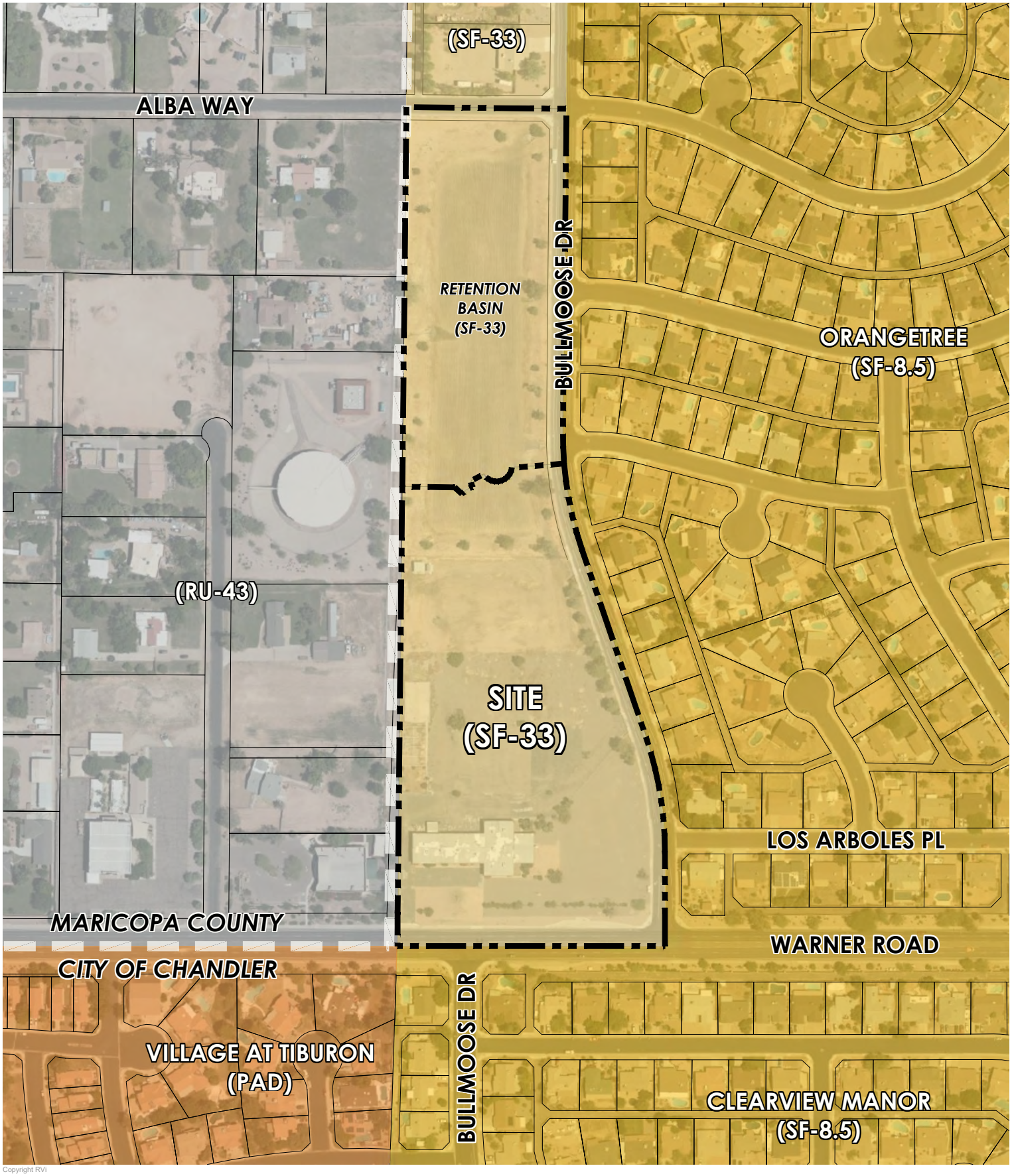

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Tel: 480.994.0994
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HONEYSUCKLE TRAIL • **EXISTING ZONING**

CHANDLER, AZ
2023-04-25
21005353
K HOVNANIAN

0 125' 250'
SCALE: 1" = 250'

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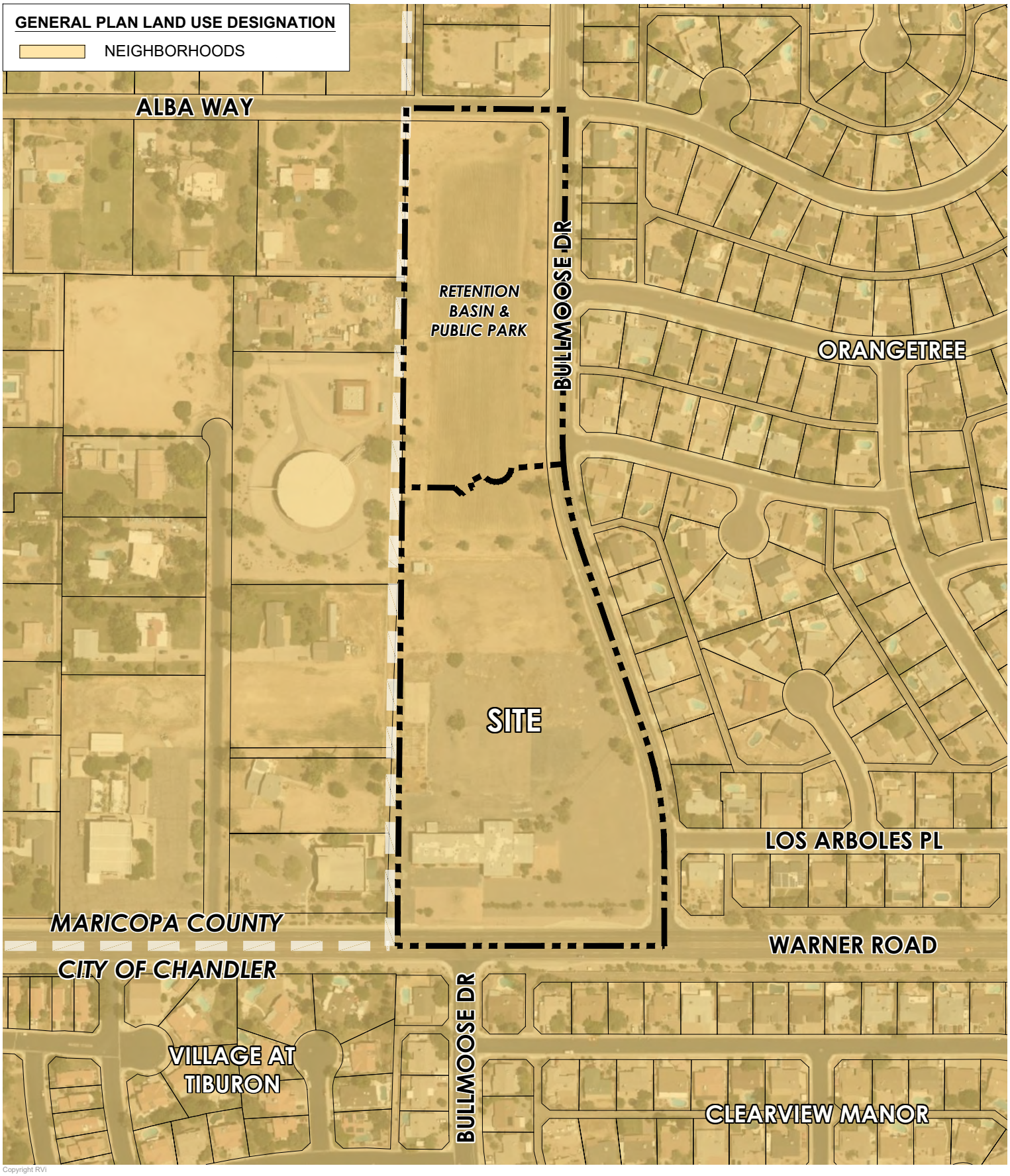

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HONEYSUCKLE TRAIL • **GP LAND USE**

CHANDLER, AZ
2023-04-25
21005353
K HOVNANIAN

0 125' 250'
SCALE: 1" = 250'

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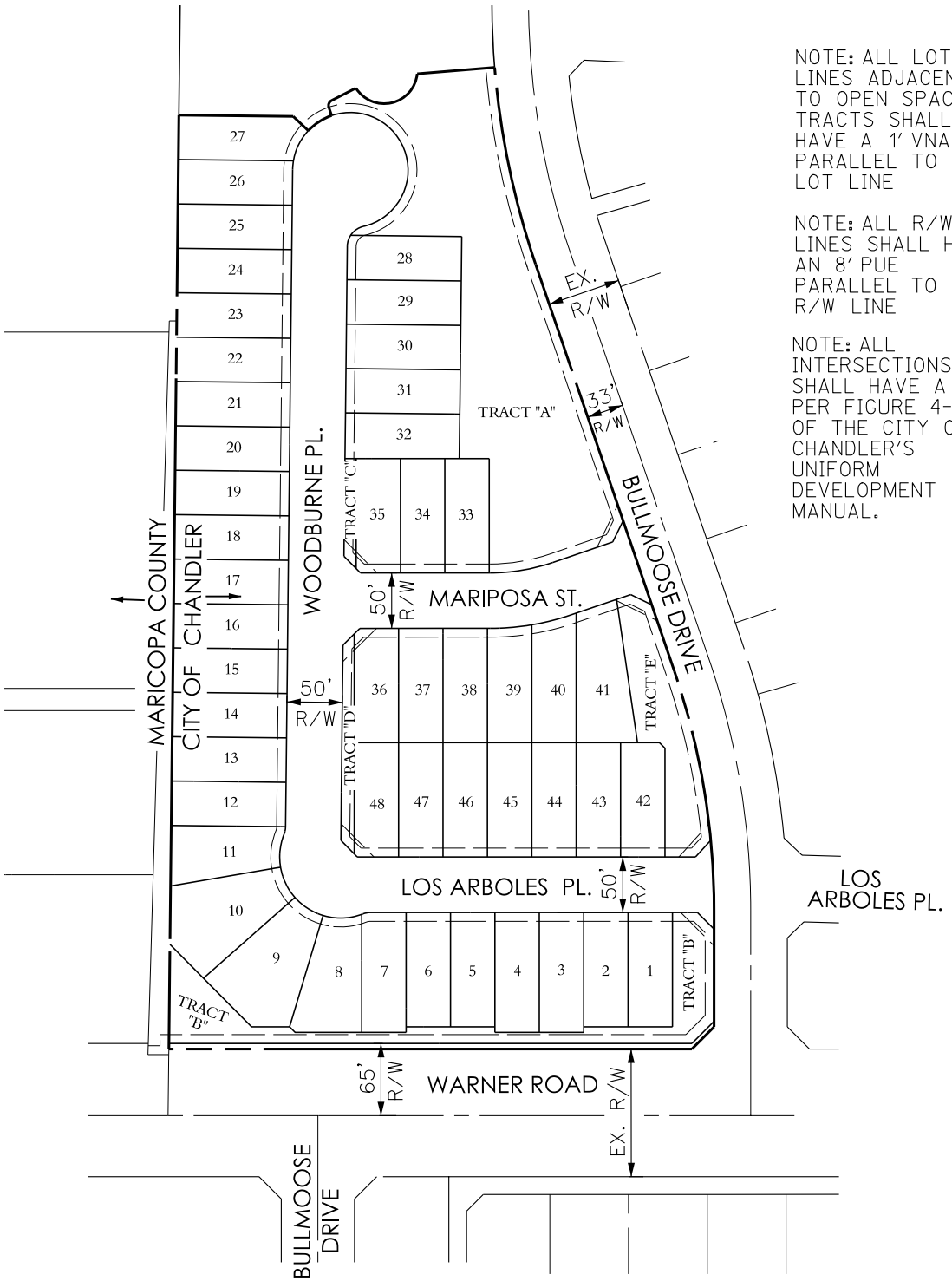
Architectural Site Plan

HONEYSUCKLE TRAIL

PRELIMINARY SITE PLAN



NOTE: ALL LOTS LINES ADJACENT TO OPEN SPACE TRACTS SHALL HAVE A 1' VNAE PARALLEL TO THE LOT LINE

NOTE: ALL R/W LINES SHALL HAVE AN 8' PUE PARALLEL TO THE R/W LINE

NOTE: ALL INTERSECTIONS SHALL HAVE A SVT PER FIGURE 4-D OF THE CITY OF CHANDLER'S UNIFORM DEVELOPMENT MANUAL.

1"=150'

3engineering

planning civil engineering surveying

PROJECT NO.: 5232
DATE: 3/6/23

3 ENGINEERING, LLC
6370 E. THOMAS ROAD, SUITE # 200 - SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387 - FAX: (602) 490-3230

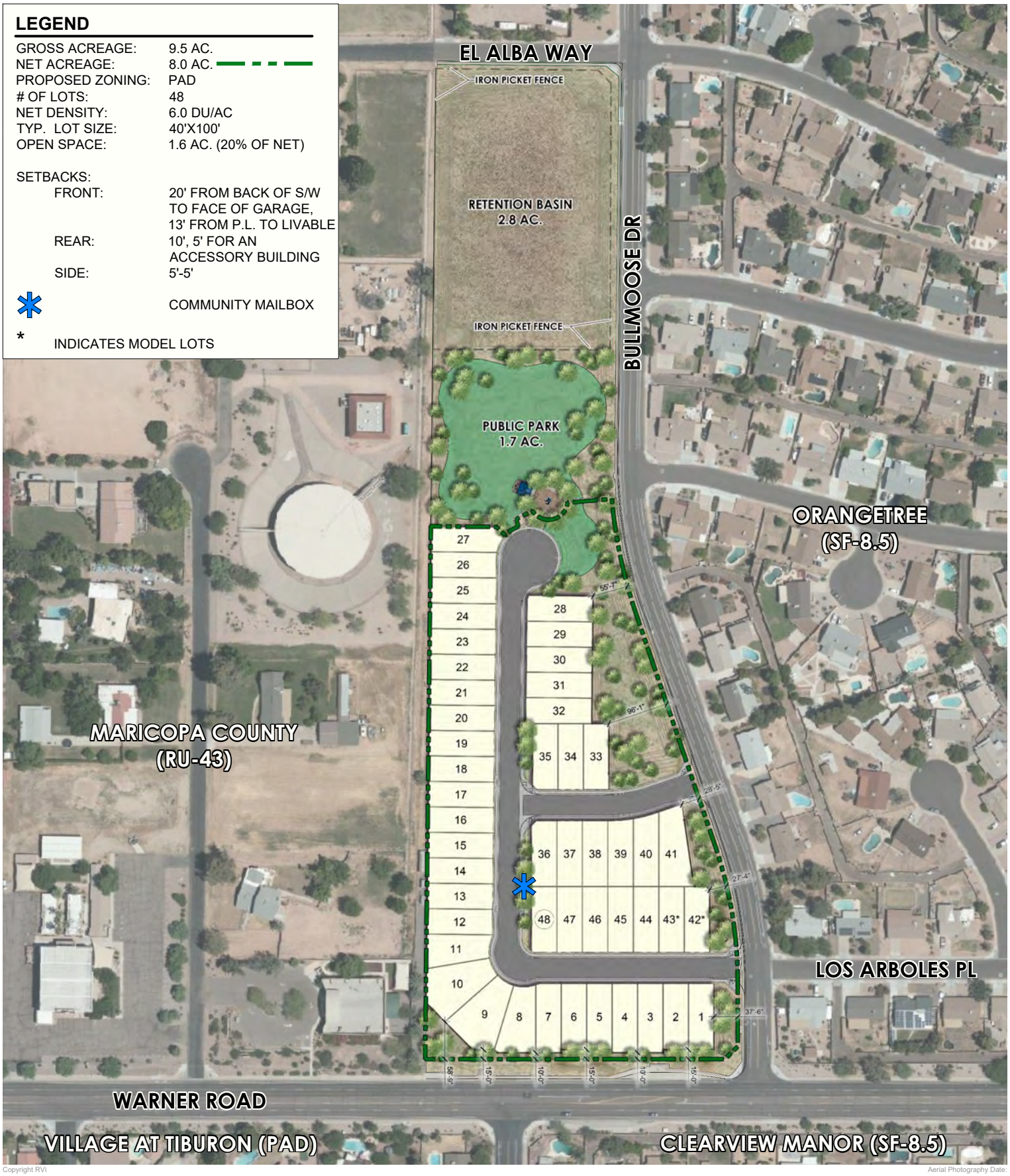
LEGEND

GROSS ACREAGE:	9.5 AC.
NET ACREAGE:	8.0 AC.
PROPOSED ZONING:	PAD
# OF LOTS:	48
NET DENSITY:	6.0 DU/AC
TYP. LOT SIZE:	40'X100'
OPEN SPACE:	1.6 AC. (20% OF NET)

SETBACKS:

FRONT:	20' FROM BACK OF S/W TO FACE OF GARAGE, 13' FROM P.L. TO LIVABLE
REAR:	10', 5' FOR AN ACCESSORY BUILDING
SIDE:	5'-5'
*	COMMUNITY MAILBOX

* INDICATES MODEL LOTS



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Aerial Photography Date:

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Tempe, Arizona 85281
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HONEYSUCKLE TRAIL • **SITE PLAN**

CHANDLER, AZ

2023-04-25

21005353

K HOVNANIAN

0 100' 200'

SCALE: 1" = 200'-0"

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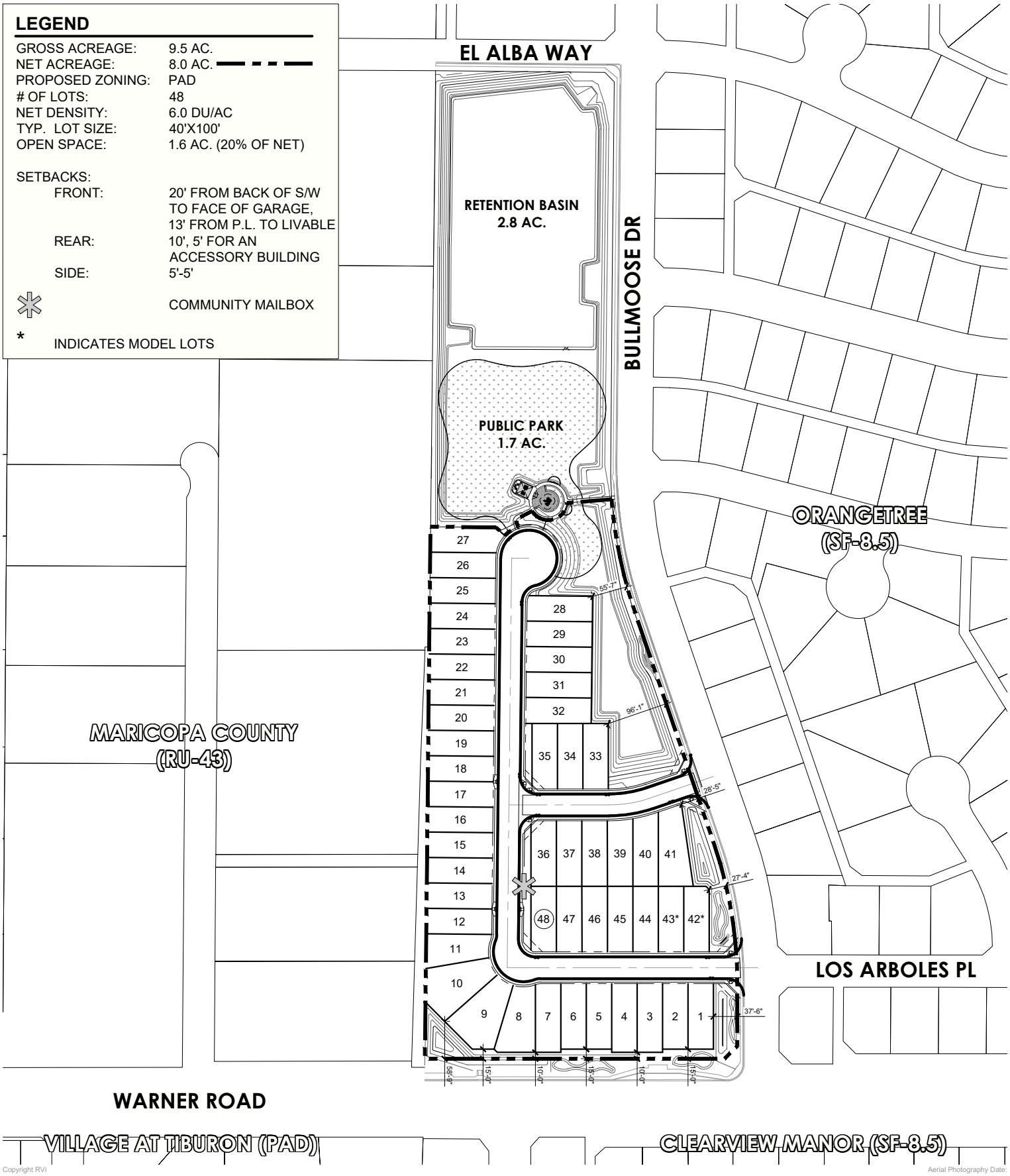
LEGEND

GROSS ACREAGE:	9.5 AC.
NET ACREAGE:	8.0 AC.
PROPOSED ZONING:	PAD
# OF LOTS:	48
NET DENSITY:	6.0 DU/AC
TYP. LOT SIZE:	40'X100'
OPEN SPACE:	1.6 AC. (20% OF NET)

SETBACKS:

FRONT:	20' FROM BACK OF S/W TO FACE OF GARAGE, 13' FROM P.L. TO LIVABLE
REAR:	10', 5' FOR AN ACCESSORY BUILDING
SIDE:	5'-5'
*	COMMUNITY MAILBOX

* INDICATES MODEL LOTS



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Aerial Photography Date:

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Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **SITE PLAN**

CHANDLER, AZ
2023-04-25
21005353
K HOVNANIAN

0 100' 200'
SCALE: 1" = 200'-0"

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Preliminary Landscape Plan

PLANT PALETTE

STREET TREES

BOTANICAL NAME	COMMON NAME
Acacia aneura	Mulga Acacia
Acacia stenophylla	Shoestring Acacia
Quercus virginiana 'Heritage'	Heritage Live Oak

INTERNAL SITE TREES

BOTANICAL NAME	COMMON NAME
Acacia aneura	Mulga Acacia
Acacia stenophylla	Shoestring Acacia
Chitalpa tashkentensis 'Pink Dawn'	Chitalpa
Caesalpinia X 'Sierra Sun'	Hybrid Mexican Bird-of-Paradise
Quercus virginiana 'Heritage'	Heritage Live Oak
Ulmus Parvifolia	Chinese Evergreen Elm

SHRUBS / ACCENTS / VINES

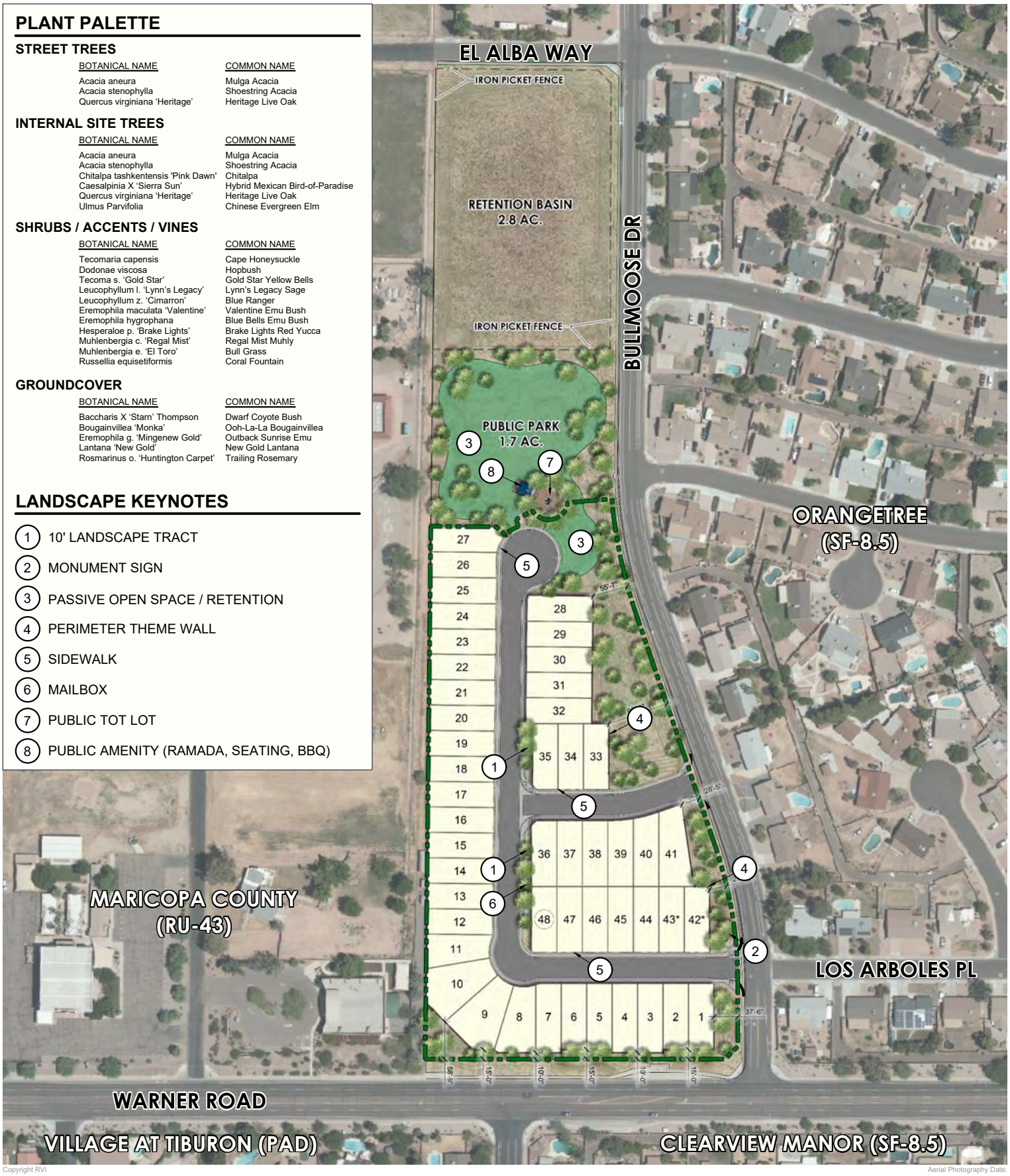
BOTANICAL NAME	COMMON NAME
Tecomaria capensis	Cape Honeysuckle
Dodonae viscosa	Hopbush
Tecoma s. 'Gold Star'	Gold Star Yellow Bells
Leucophyllum l. 'Lynn's Legacy'	Lynn's Legacy Sage
Leucophyllum z. 'Cimarron'	Blue Ranger
Eremophila maculata 'Valentine'	Valentine Emu Bush
Eremophila hygrophana	Blue Bells Emu Bush
Hesperaloe p. 'Brake Lights'	Brake Lights Red Yucca
Muhlenbergia c. 'Regal Mist'	Regal Mist Muhly
Muhlenbergia e. 'El Toro'	Bull Grass
Russellia equisetiformis	Coral Fountain

GROUNDCOVER

BOTANICAL NAME	COMMON NAME
Baccharis X 'Starn' Thompson	Dwarf Coyote Bush
Bougainvillea 'Monka'	Ooh-La-La Bougainvillea
Eremophila g. 'Mingenew Gold'	Outback Sunrise Emu
Lantana 'New Gold'	New Gold Lantana
Rosmarinus o. 'Huntington Carpet'	Trailing Rosemary

LANDSCAPE KEYNOTES

1. 10' LANDSCAPE TRACT
2. MONUMENT SIGN
3. PASSIVE OPEN SPACE / RETENTION
4. PERIMETER THEME WALL
5. SIDEWALK
6. MAILBOX
7. PUBLIC TOT LOT
8. PUBLIC AMENITY (RAMADA, SEATING, BBQ)



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Aerial Photography Date:

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **LANDSCAPE PLAN**

CHANDLER, AZ
2023-04-28
21005353
K HOVNANIAN

0 100' 200'
SCALE: 1" = 200'-0"

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L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVi-5353-4TH-PLANNED AREA DEVELOPMENT.dwg

PLANT PALETTE

STREET TREES

BOTANICAL NAME	COMMON NAME
Acacia aneura	Mulga Acacia
Acacia stenophylla	Shoestring Acacia
Quercus virginiana 'Heritage'	Heritage Live Oak

INTERNAL SITE TREES

BOTANICAL NAME	COMMON NAME
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SHRUBS / ACCENTS / VINES

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GROUNDCOVER

BOTANICAL NAME	COMMON NAME
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Rosmarinus o. 'Huntington Carpet'	Trailing Rosemary

LANDSCAPE KEYNOTES

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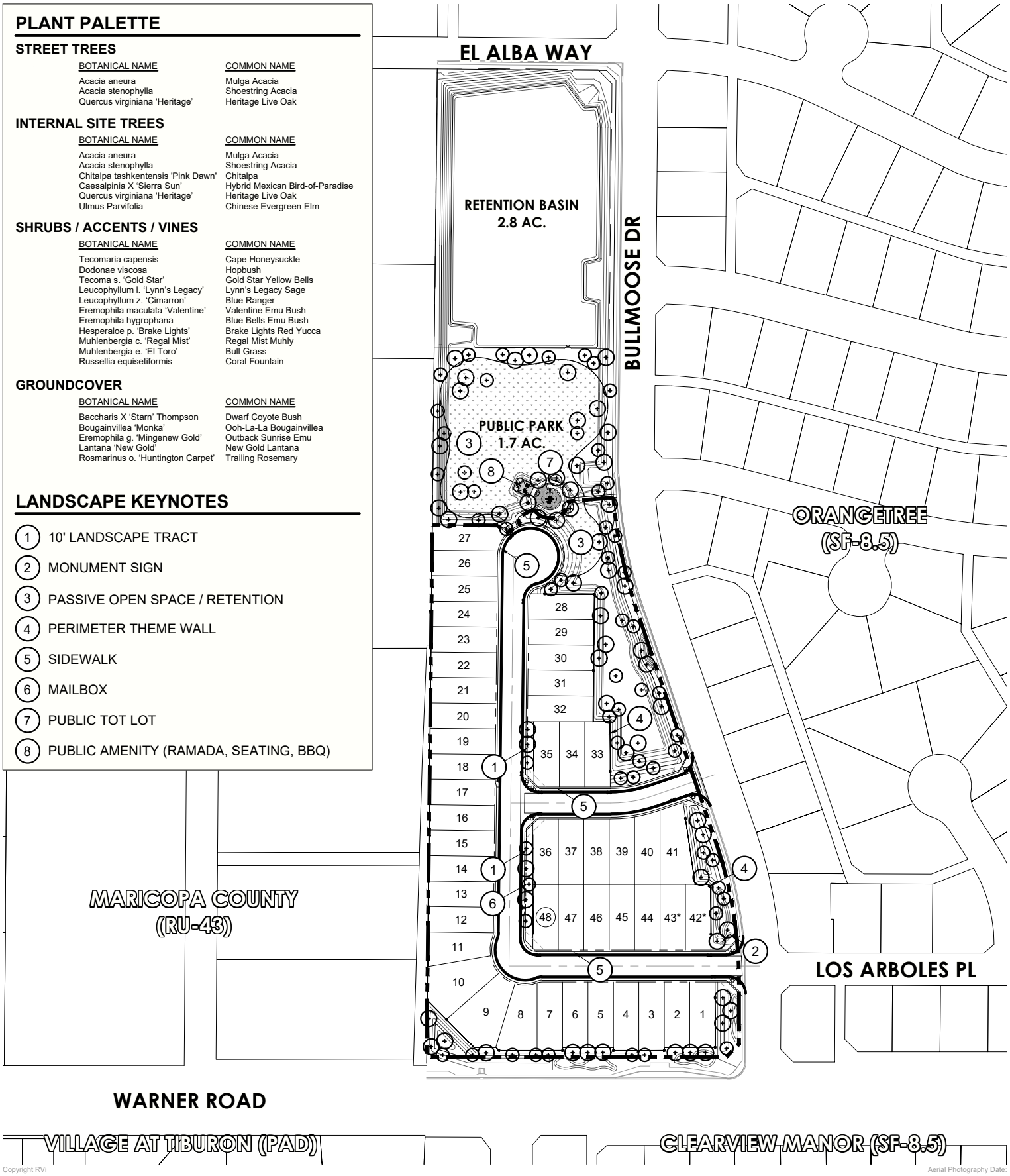
2. MONUMENT SIGN
3. PASSIVE OPEN SPACE / RETENTION
4. PERIMETER THEME WALL
5. SIDEWALK
6. MAILBOX
7. PUBLIC TOT LOT
8. PUBLIC AMENITY (RAMADA, SEATING, BBQ)



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HONEYSUCKLE TRAIL • **LANDSCAPE PLAN**

CHANDLER, AZ
2023-04-28
21005353
K HOVNANIAN

0 100' 200'
SCALE: 1" = 200'-0"

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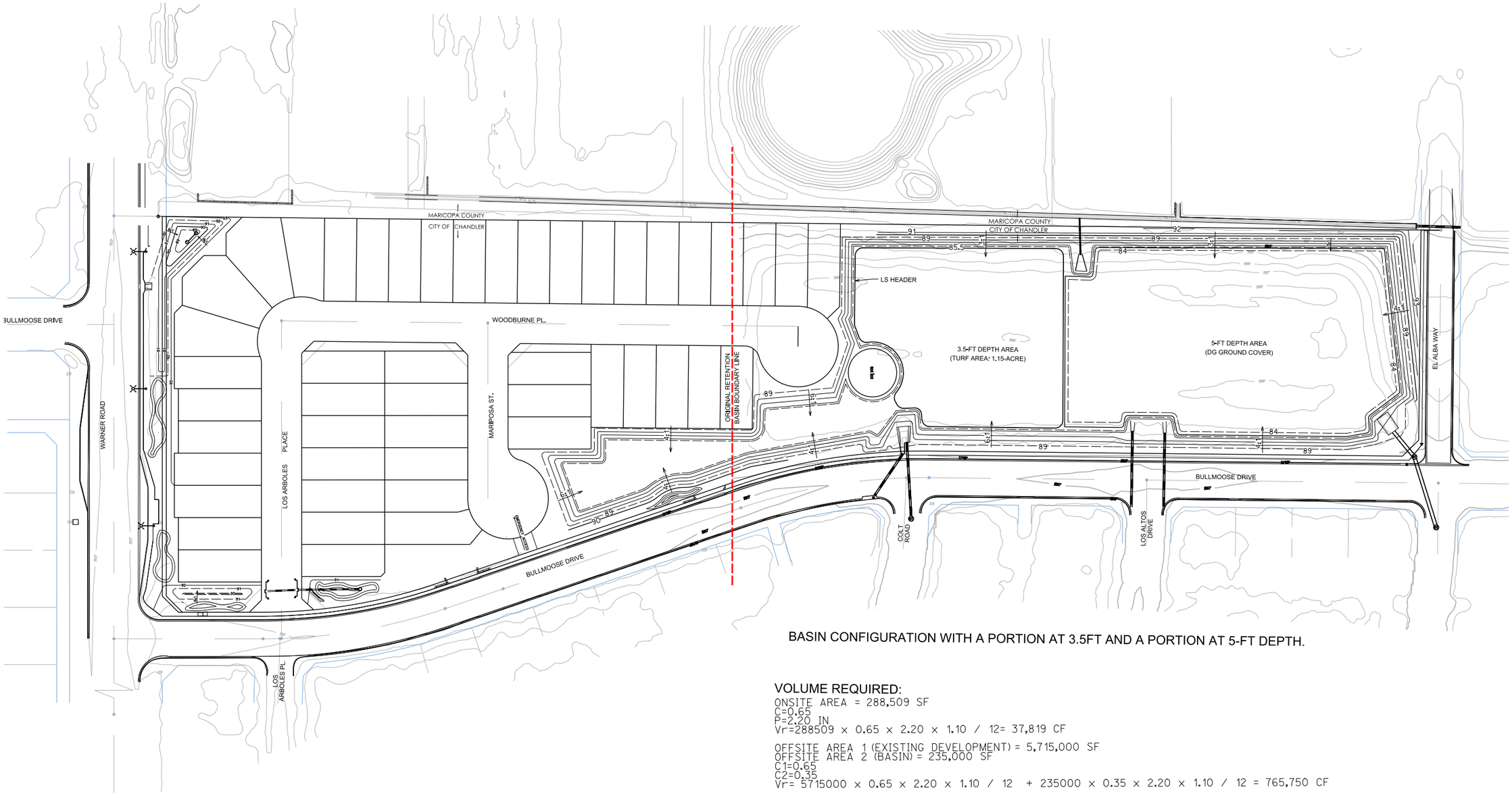
L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVi-5353-4TH-PLANNED AREA DEVELOPMENT.dwg

Basin Exhibit



BASIN CONFIGURATION WITH A PORTION AT 3.5FT AND A PORTION AT 5-FT DEPTH.

VOLUME REQUIRED:

ONSITE AREA = 288,509 SF
C=0.65
P=2.20 IN
Vr=288509 x 0.65 x 2.20 x 1.10 / 12= 37,819 CF

OFFSITE AREA 1 (EXISTING DEVELOPMENT) = 5,715,000 SF
OFFSITE AREA 2 (BASIN) = 235,000 SF
C1=0.65
C2=0.35
Vr= 5715000 x 0.65 x 2.20 x 1.10 / 12 + 235000 x 0.35 x 2.20 x 1.10 / 12 = 765,750 CF

TOTAL Vr = 37,819 + 765,750 = 803,569 CF

VOLUME PROVIDED:

Vp (AS SHOWN) = 803,802 CF

1"=60'

3engineering
planning civil engineering surveying

3 ENGINEERING, LLC
6370 E. THOMAS ROAD, SUITE # 200 - SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387 - FAX: (602) 490-3230
WWW.3ENGINEERING.COM

DATE:	PROJECT NO.
9/26/22	5232

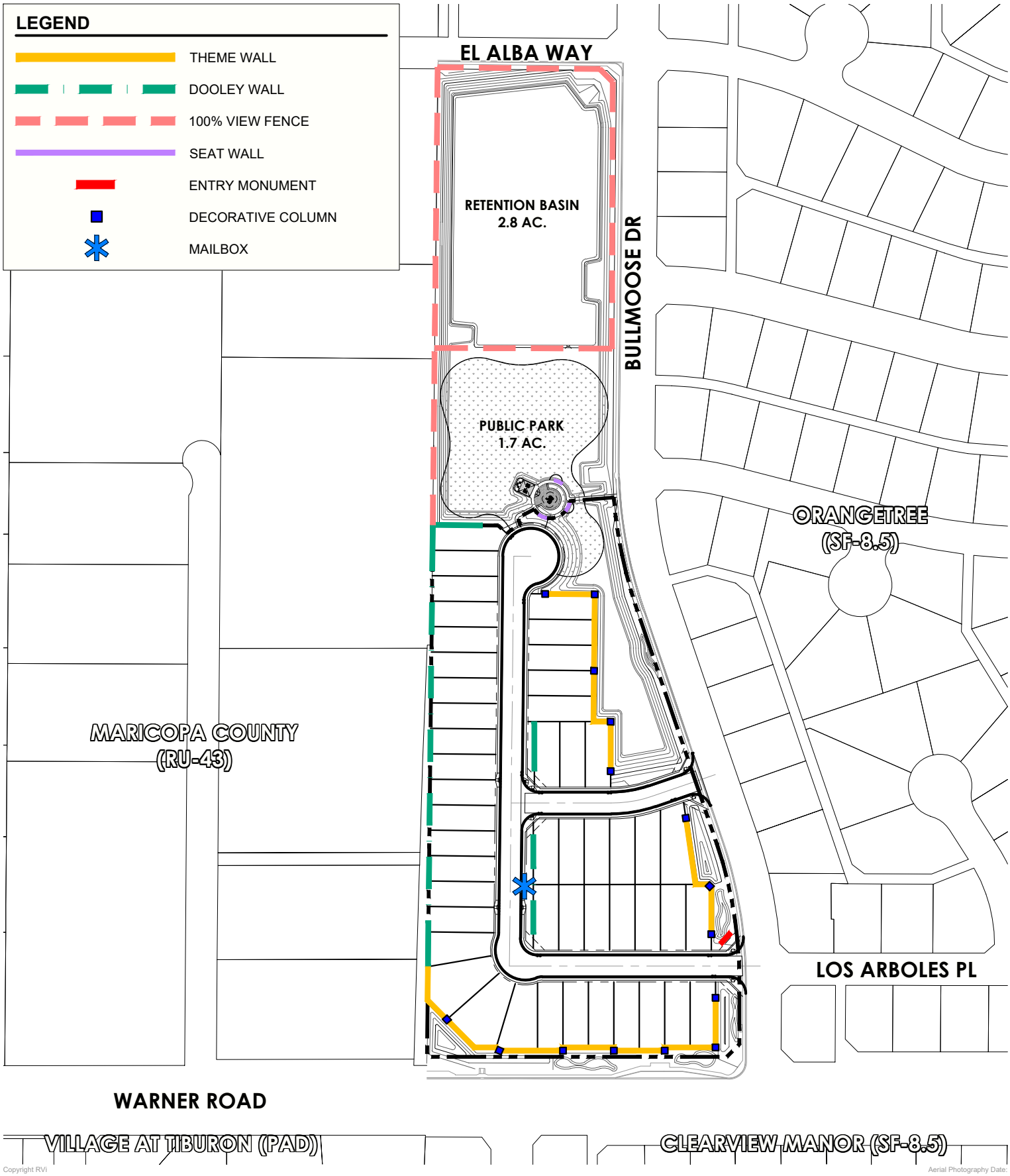
HONEYSUCKLE TRAILS

BASIN EXHIBIT - 3.5-FT & 5-FT BASIN

COPYRIGHT 2022 3 ENGINEERING, LLC

C:\My SecuriSync\Projects_5000\5232_Warner & Dobson\temp_new prelim grading concept05.dgn

Wall Elevations / Details



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HONEYSUCKLE TRAIL • **WALL PLAN**

CHANDLER, AZ

2023-04-20

21005353

K HOVNANIAN

0 100' 200'

SCALE: 1" = 200'-0"

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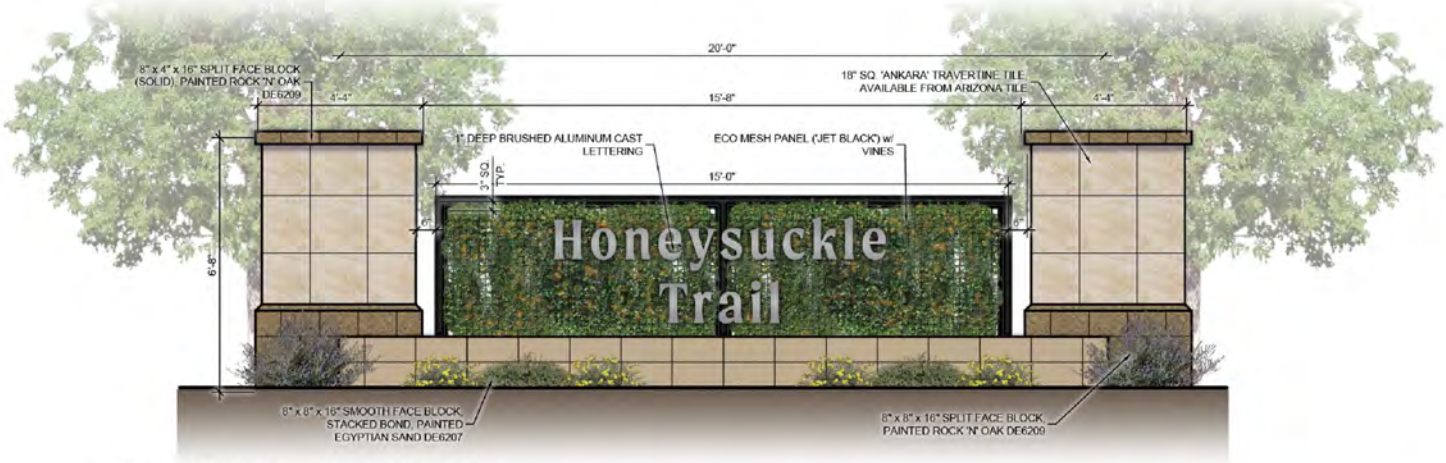
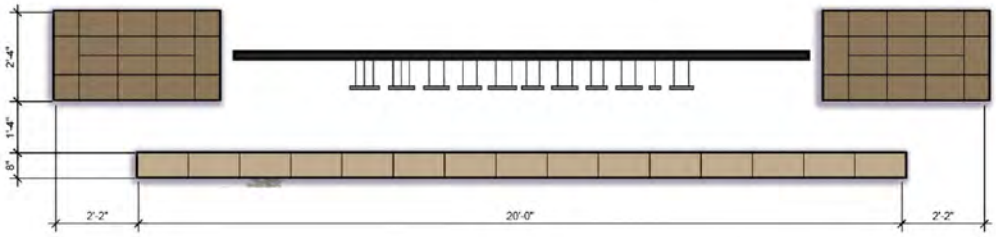
L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVI-5353-3RD-PLANNED AREA DEVELOPMENT.dwg



5 ENTRY MONUMENT ELEVATION

SCALE: 1/2" = 1'-0"



6 ENTRY MONUMENT PLAN

SCALE: 1/2" = 1'-0"

7 MAIL BOX ELEVATION

SCALE: 1/2" = 1'-0"

L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVi-5353-3RD-PLANNED AREA DEVELOPMENT.dwg

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HONEYSUCKLE TRAIL • **WALL DETAILS**

CHANDLER, AZ

2022-07-15

21005353

K HOVNANIAN

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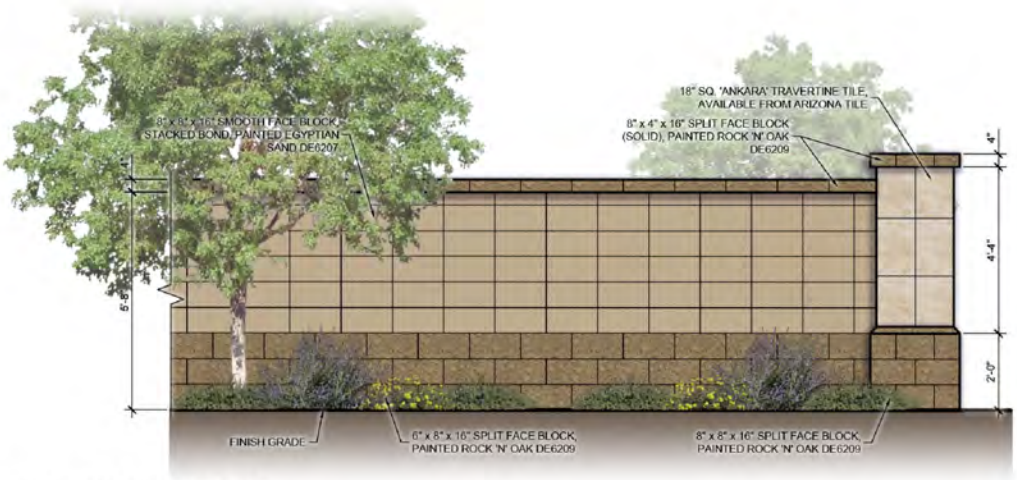
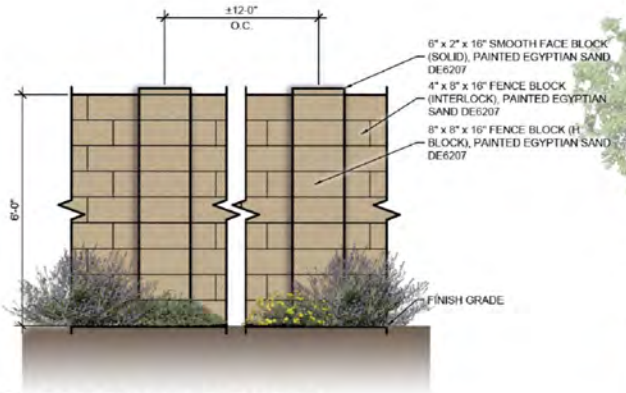
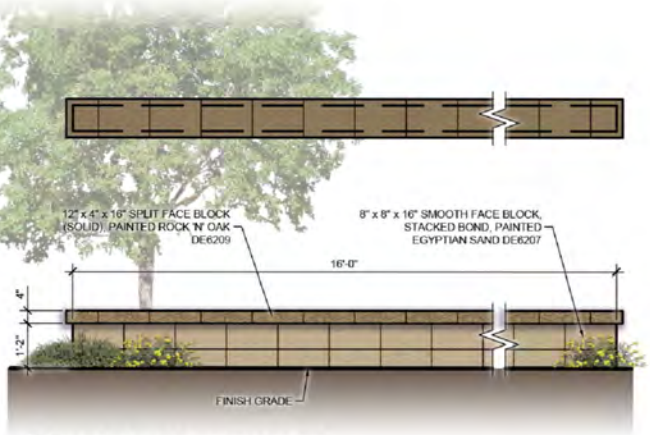


1 THEME WALL ELEVATION
SCALE: 1/2" = 1'-0"



2 DOOLEY WALL ELEVATION
SCALE: 1/2" = 1'-0"



3 SEAT WALL ELEVATION
SCALE: 1/2" = 1'-0"

4 100% VIEW FENCE ELEVATION
SCALE: 1/2" = 1'-0"

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Aerial Photography Date:

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Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **WALL DETAILS**

CHANDLER, AZ
2023-03-20
21005353
K HOVNANIAN

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L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVi-5353-3RD-PLANNED AREA DEVELOPMENT.dwg

Building Elevations, Housing Product & Dimensioned Floor Plans

April 25, 2023

SERIES WIDTH
30'

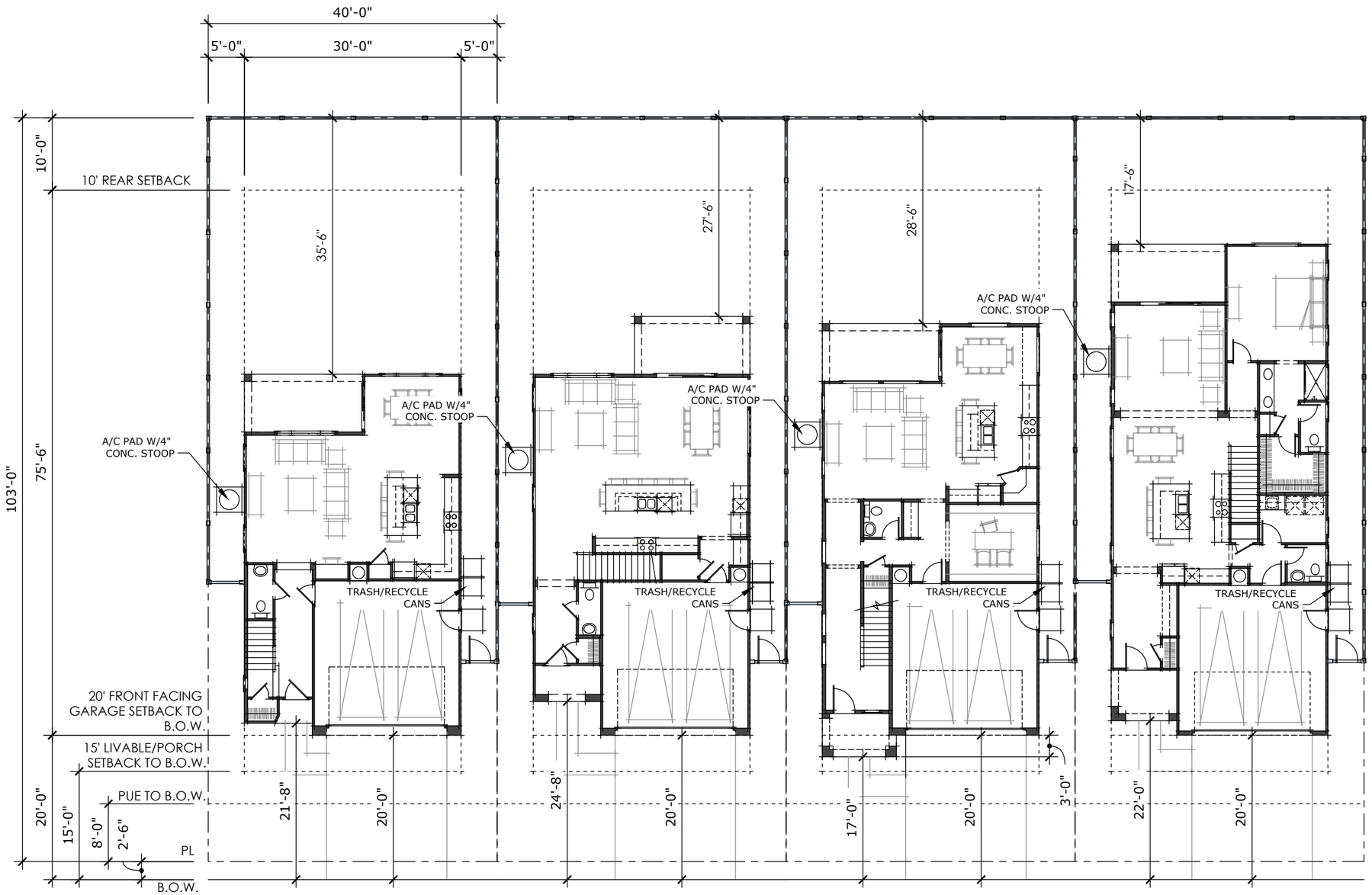
STREET SCENE PERSPECTIVE
SCALE: NTS

KHovnanian Homes

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA
DESIGN REVIEW - 04.25.2023

April 25, 2023

SERIES WIDTH
30'



PLAN #3011	PLAN #3012	PLAN #3008	PLAN #3015
(1,979 SF)	(2,250 SF)	(2,467 SF)	(2,640 SF)
2-STORY	2-STORY	2-STORY	2-STORY

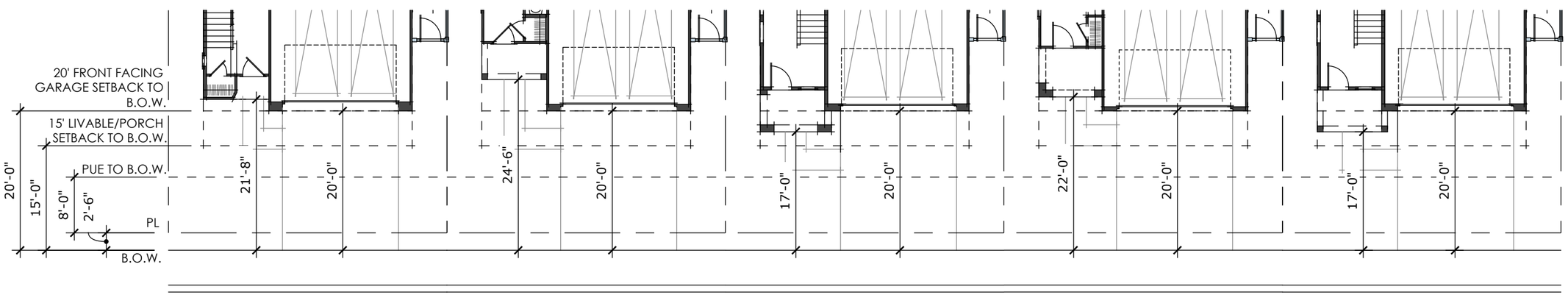
KHovnanian Homes

SETBACK EXHIBIT - MAX HOUSE OPT.
SHOWN WITH 3' STAGER
PRODUCT WIDTH 30' | 40x103 TYP. LOT SIZE
SCALE: 1/16" = 1'-0"

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

April 25, 2023

SERIES WIDTH
30'



PLAN #3011	PLAN #3012	PLAN #3008	PLAN #3015	PLAN #3008
(1,979 SF)	(2,250 SF)	(2,467 SF)	(2,640 SF)	(2,467 SF)
2-STORY	2-STORY	2-STORY	2-STORY	2-STORY

KHovnanian Homes

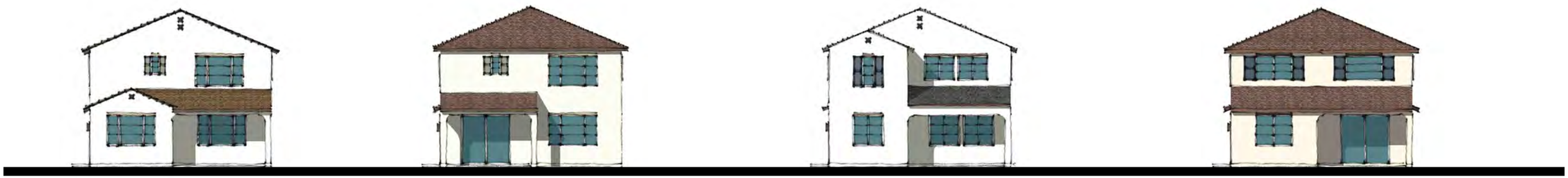
STREET SCENE
SHOWN WITH 3' STAGER
PRODUCT WIDTH 30' | 40x103 TYP. LOT SIZE
SCALE: 1/16" = 1'-0"

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

SERIES WIDTH
30'

PLAN 1 - #3011 | **PLAN 2 - #3012** | **PLAN 3 - #3008** | **PLAN 4 - #3015**

UA - FRONT SPANISH MODERN



UA - REAR SPANISH MODERN

UA - RIGHT SPANISH MODERN

UA - LEFT SPANISH MODERN

UA - SPANISH MODERN
ELEVATION MATRIX
SCALE: NTS

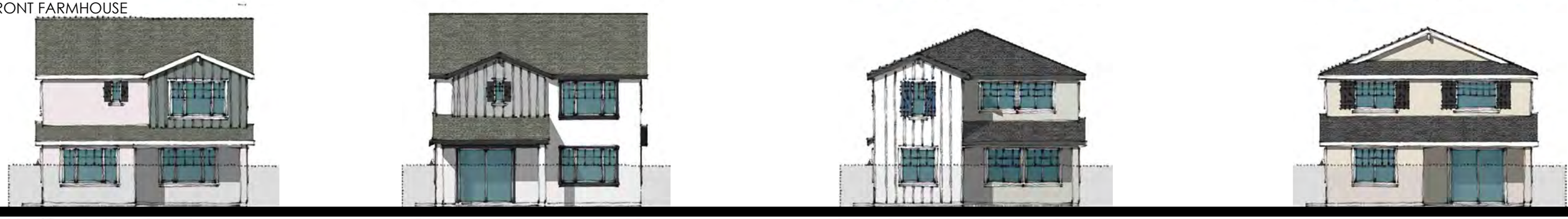
KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04/25/2023

SERIES WIDTH
30'

PLAN 1 - #3011	PLAN 2 - #3012	PLAN 3 - #3008	PLAN 4 - #3015

WA - FRONT FARMHOUSE



WA - REAR FARMHOUSE

WA - RIGHT FARMHOUSE

WA - LEFT FARMHOUSE

WA - FARMHOUSE
ELEVATION MATRIX
SCALE: NTS

KHovnanian Homes

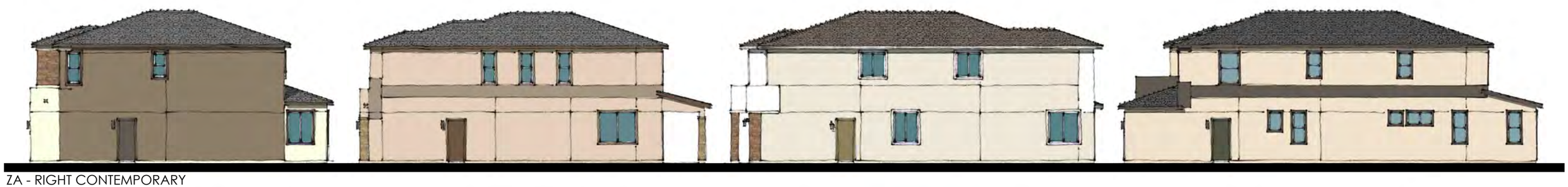
HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04/25/2023

SERIES WIDTH
30'

PLAN 1 - #3011 | **PLAN 2 - #3012** | **PLAN 3 - #3008** | **PLAN 4 - #3015**

ZA - FRONT CONTEMPORARY

ZA - REAR CONTEMPORARY



ZA - RIGHT CONTEMPORARY

ZA - LEFT CONTEMPORARY

ZA - CONTEMPORARY
ELEVATION MATRIX
SCALE: NTS

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04/25/2023

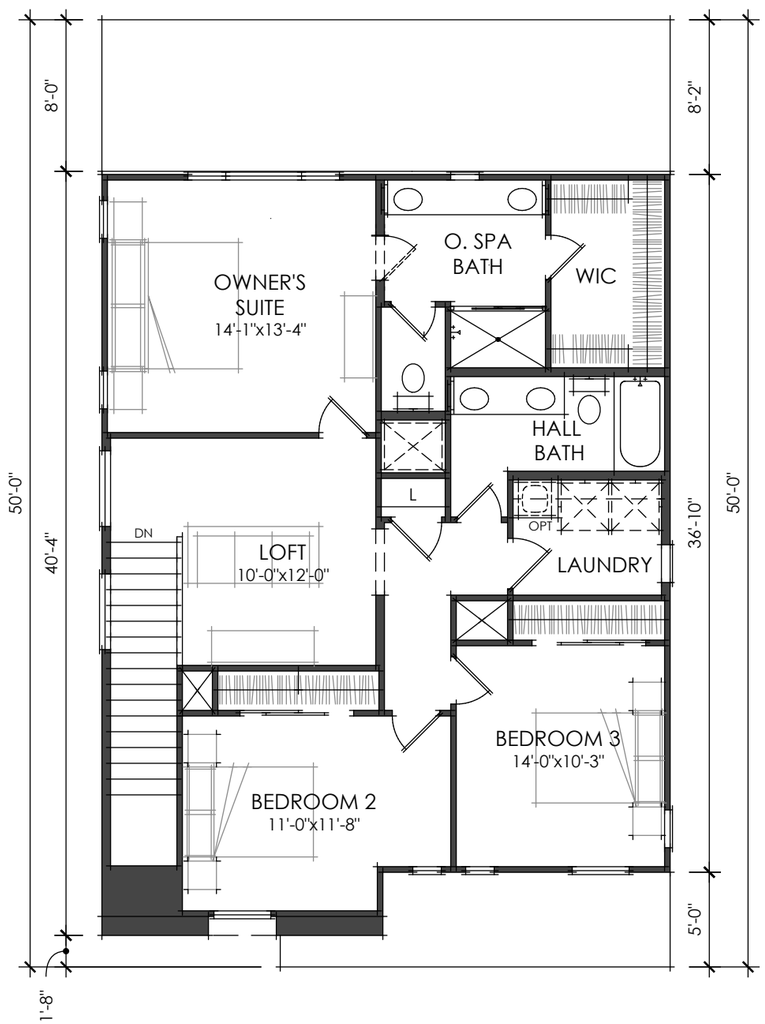
April 25, 2023

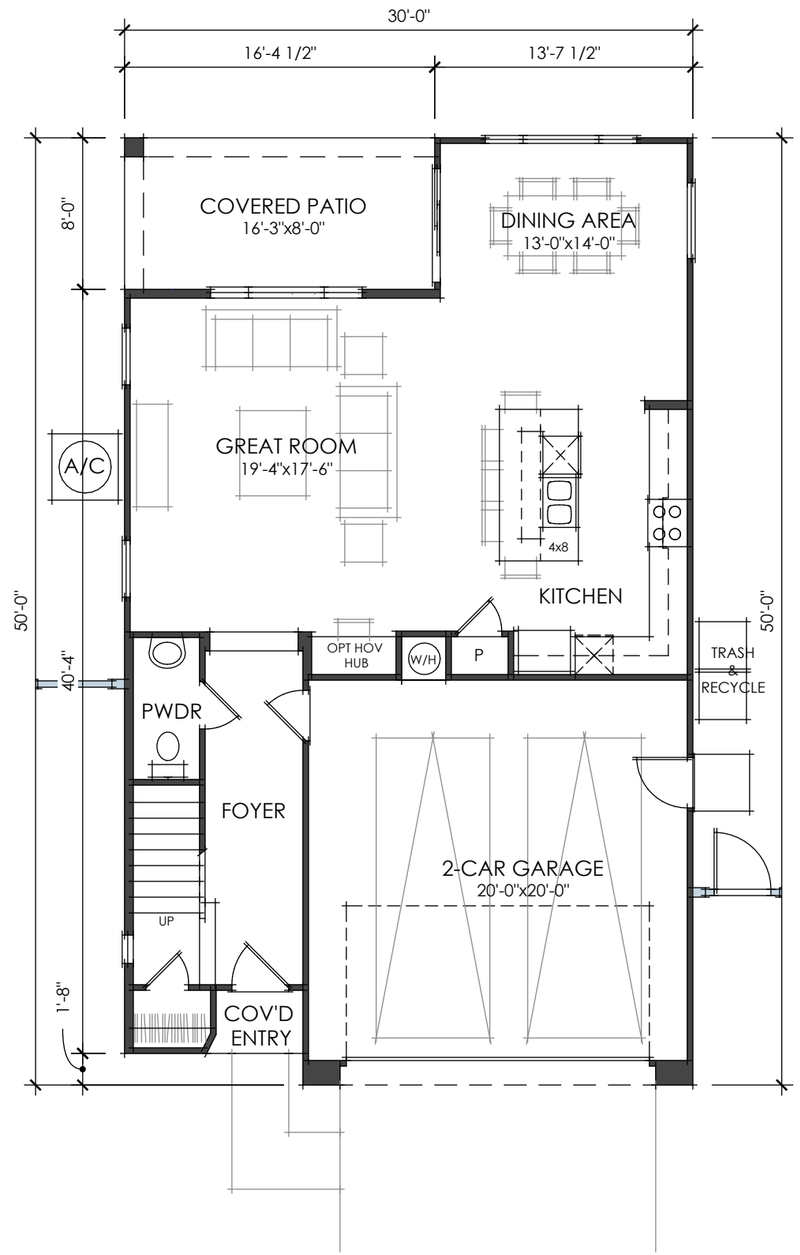
SERIES WIDTH
30'

LIV. SF:	**1,979 SF**
PLAN WIDTH:	**30'**
PLAN #:	3011
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	3
BATH	2.5
CAR	2
CEILING	9' | 9'





2ND FLOOR
8'-1" CEILING

UA - 'SPANISH MODERN' PLAN

1ST FLOOR
9'-1" CEILING

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

April 25, 2023

SERIES WIDTH
30'

LIV. SF:	**1,979 SF**
PLAN WIDTH:	**30'**
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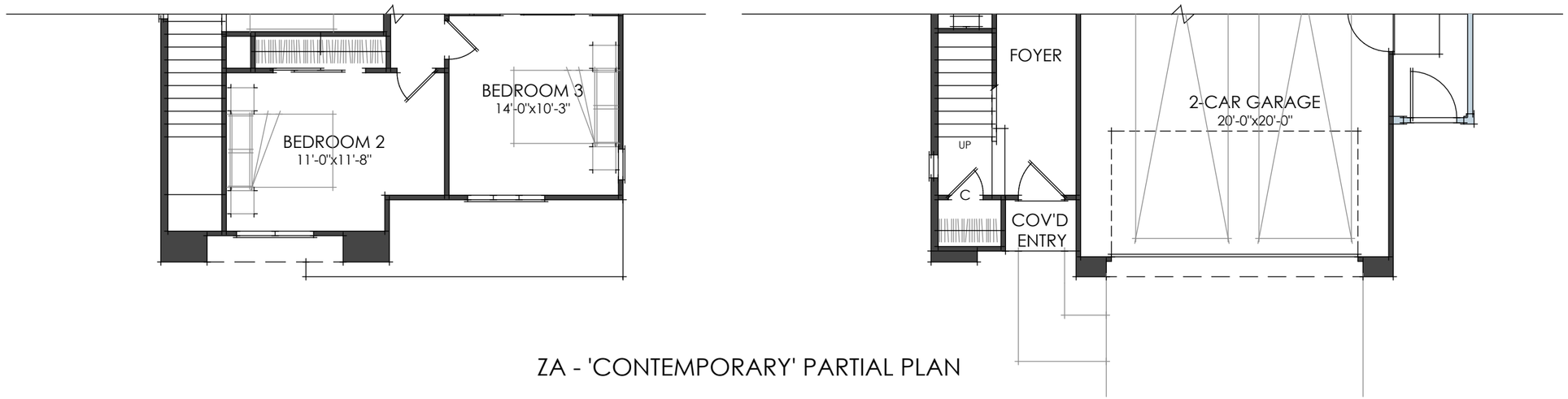


ZA - 'CONTEMPORARY' PARTIAL PLAN

2ND FLOOR
8'-1" CEILING

1ST FLOOR
9'-1" CEILING

2ND FLOOR
8'-1" CEILING

WA - 'FARMHOUSE' PARTIAL PLAN

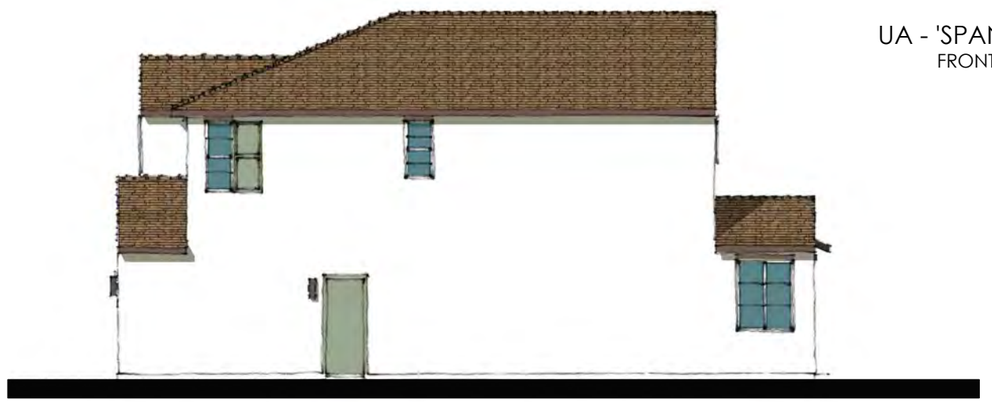
1ST FLOOR
9'-1" CEILING

KHovnanian Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

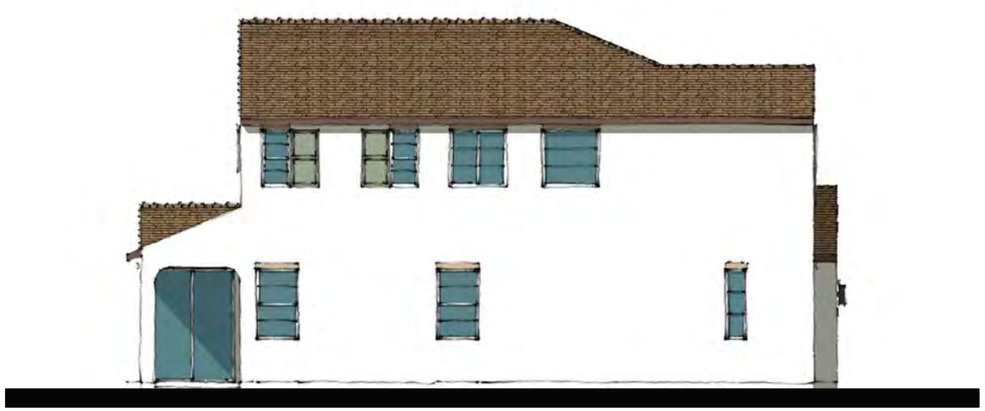
April 25, 2023

UA - 'SPANISH MODERN'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

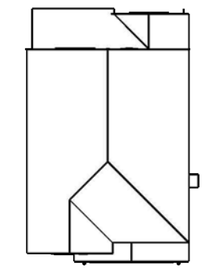


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**1,986 SF**
PLAN WIDTH:	**30'**
PLAN #:	3011
ELEV:	*UA - SPANISH MODERN*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1 PROMINENT GABLES

2 CONCRETE 'S' TILES

3 0" RAKES AND 12" EAVES

4 DECORATIVE GABLE DETAILS

5 DECORATIVE SHUTTERS

6 4:12 ROOF PITCH

7 STD. COACH LIGHTS

8 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.

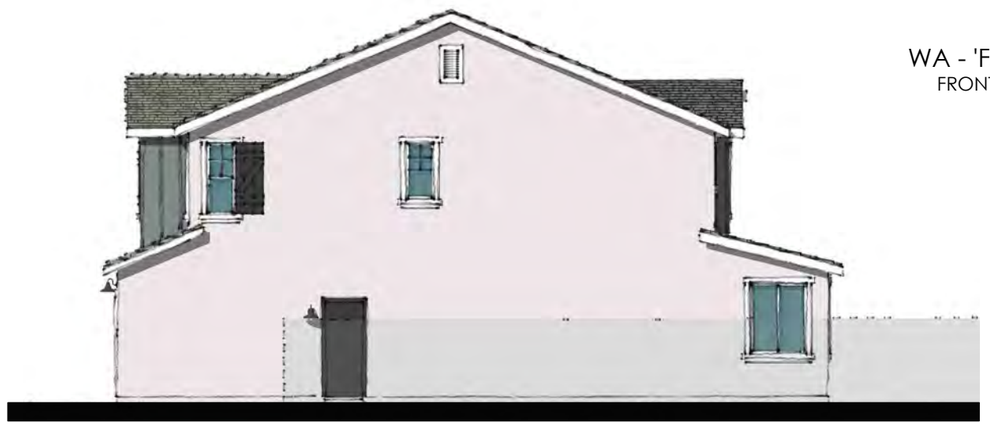
9 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

KHovnanian Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

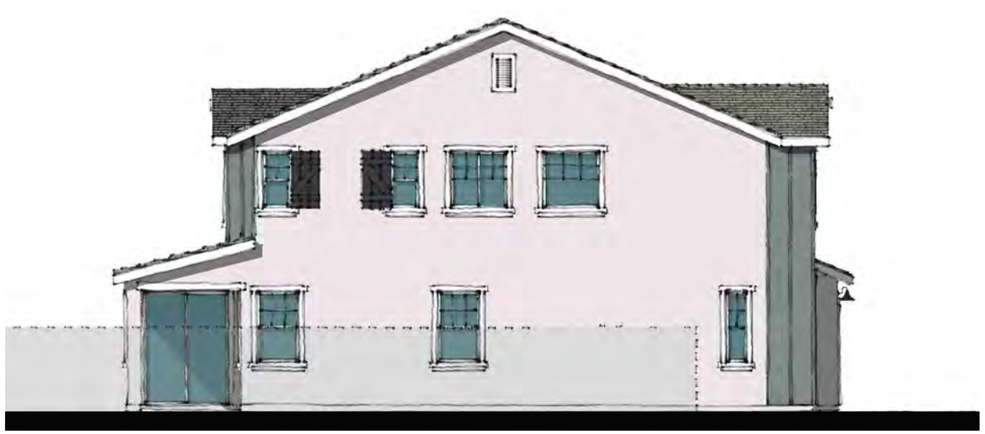
April 25, 2023

WA - 'FARMHOUSE'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

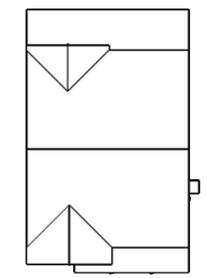


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**1,986 SF**
PLAN WIDTH:	**30'**
PLAN #:	3011
ELEV:	*WA - FARMHOUSE*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

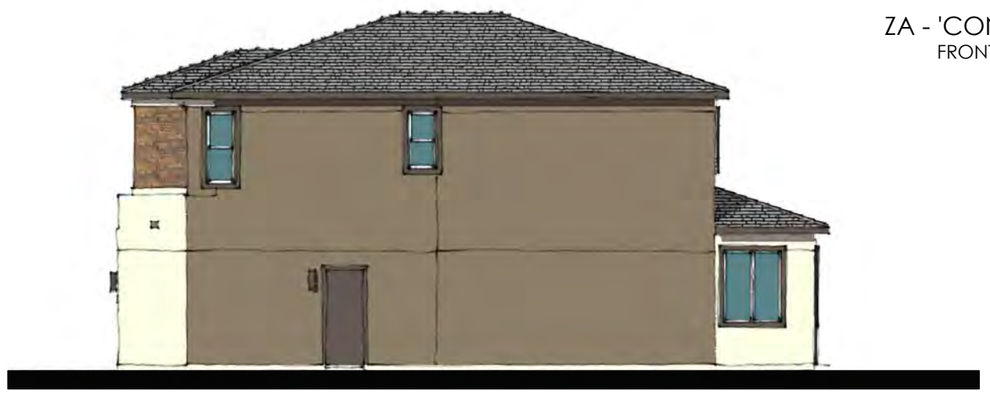
1 PROMINENT GABLES
2 CONCRETE 'FLAT' TILES
3 12" EAVES
4 DECORATIVE CORBELS
5 DECORATIVE BOARD & BATTON
6 DECORATIVE SHUTTERS
7 5:12 ROOF PITCH
8 STD. COACH LIGHTS
9 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
10 WINDOW HEADER - 8'-0" / 8'-0" A.F.F

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

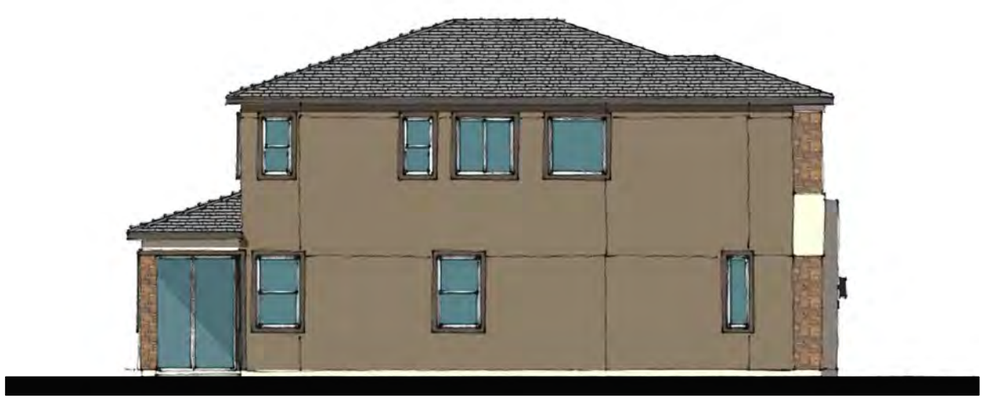
April 25, 2023

ZA - 'CONTEMPORARY'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

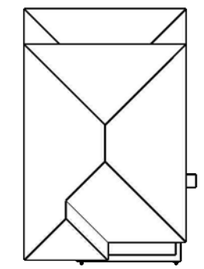


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**1,986 SF**
PLAN WIDTH:	**30'**
PLAN #:	3011
ELEV:	*ZA - CONTEMPORARY*



ROOF PLAN
SCALE: N.T.S.

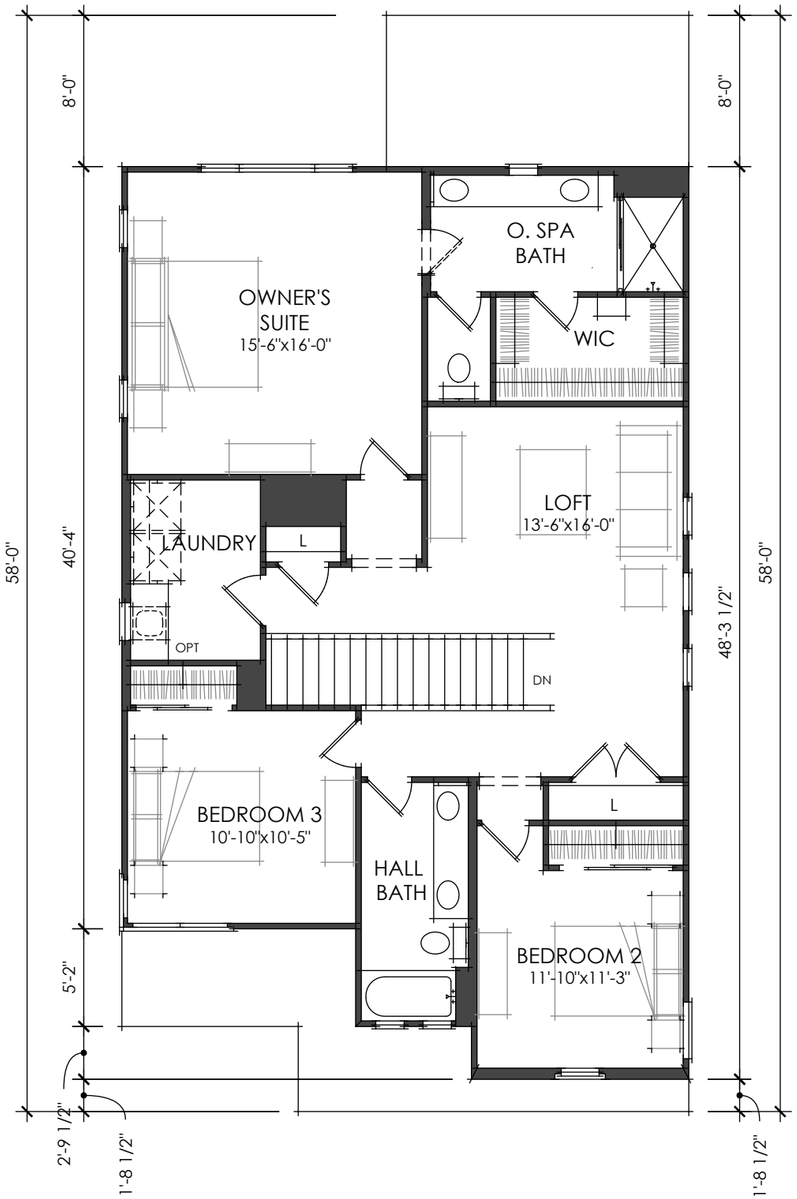
STYLE LEGEND:

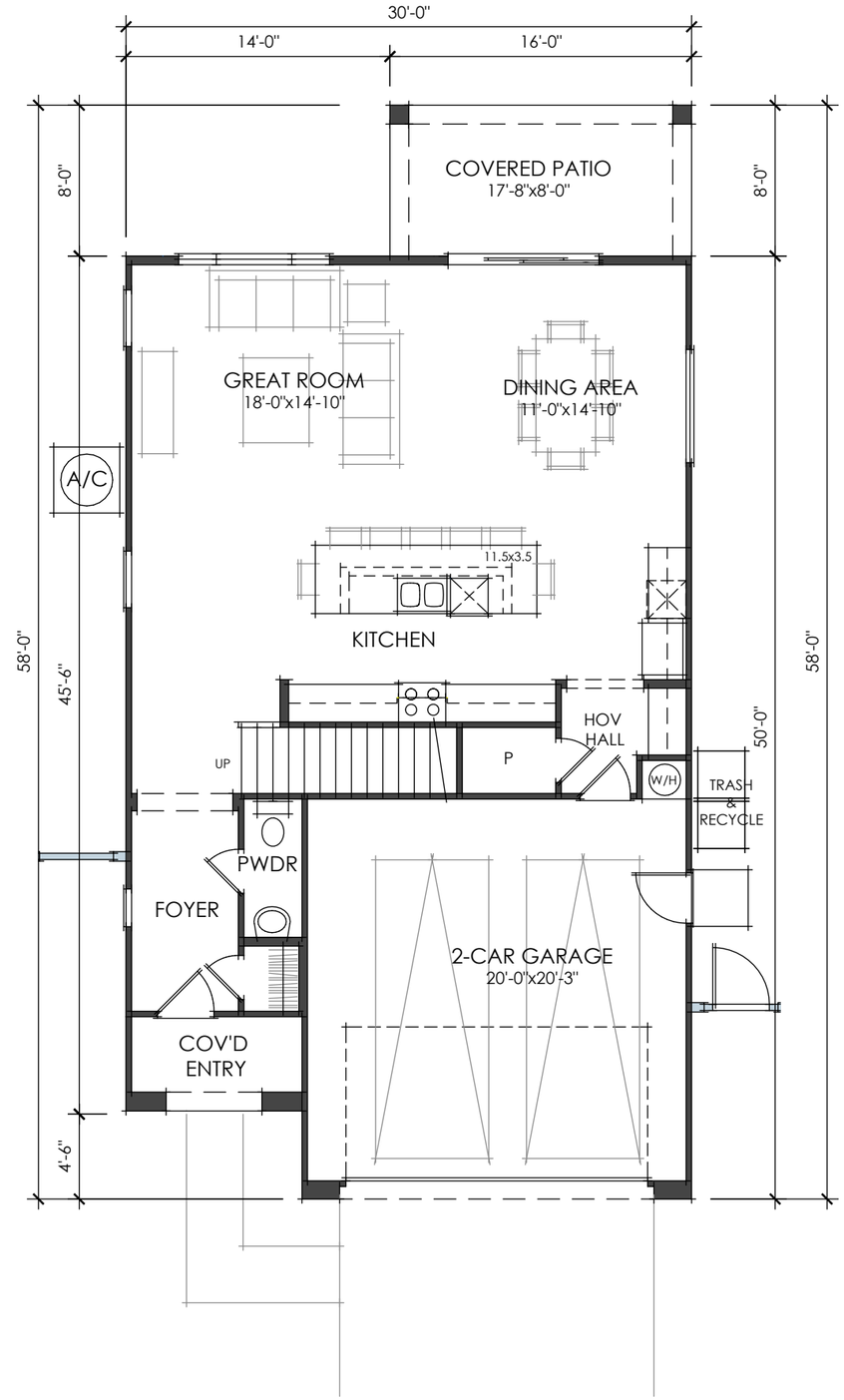
1. PROMINENT HIPS
2. CONCRETE 'FLAT' TILES
3. 12" EAVES
4. DECORATIVE MASONRY
5. 4:12 ROOF PITCH
6. STD. COACH LIGHTS
7. DECORATIVE STUCCO CONTROL JOINTS
8. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
9. WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023





SERIES WIDTH
30'

LIV. SF:	**2,250 SF**
PLAN WIDTH:	**30'**
PLAN #:	3012
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	3
BATH	2.5
CAR	2
CEILING	9' | 9'

KHovnanian Homes

2ND FLOOR
8'-1" CEILING

UA - 'SPANISH MODERN' PLAN

1ST FLOOR
9'-1" CEILING

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

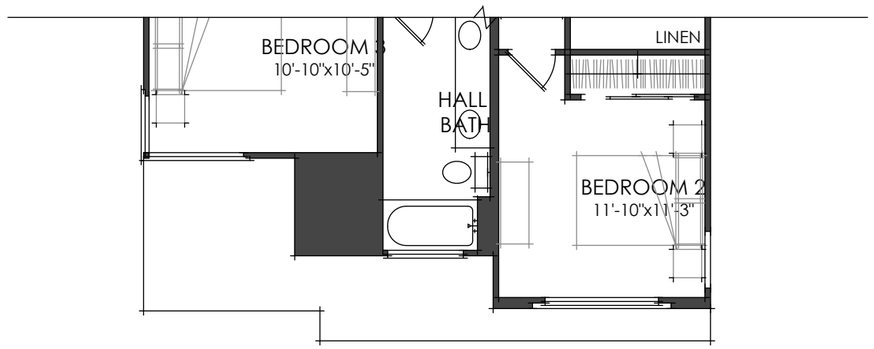
April 25, 2023

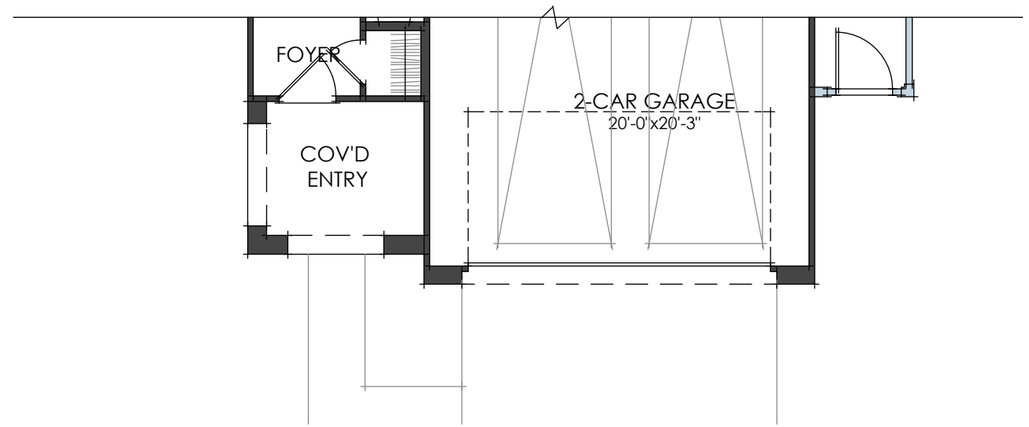
SERIES WIDTH
30'

LIV. SF:	**2,250 SF**
PLAN WIDTH:	**30'**
PLAN #:	3012
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	3
BATH	2.5
CAR	2
CEILING	9' | 9'

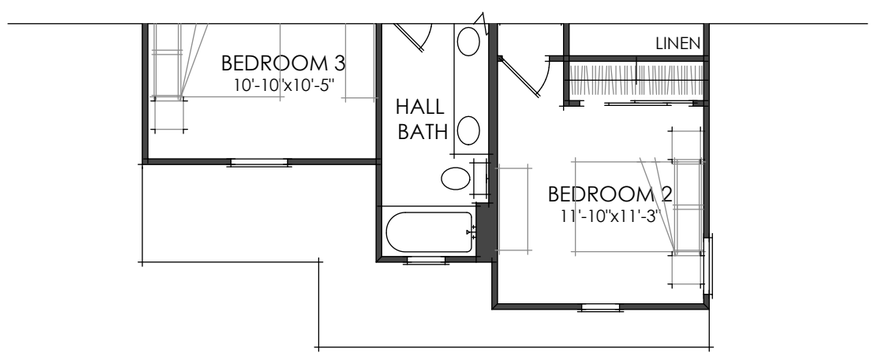


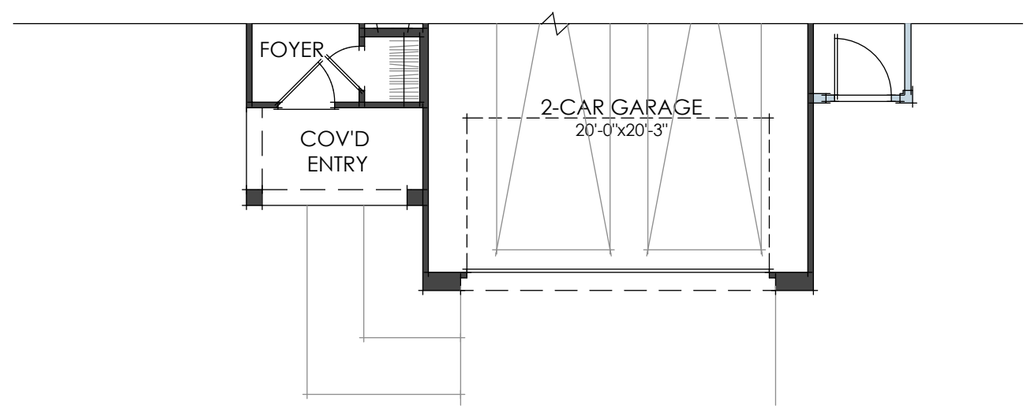


ZA - 'CONTEMPORARY' PARTIAL PLAN

2ND FLOOR
8'-1" CEILING

1ST FLOOR
9'-1" CEILING





WA - 'FARMHOUSE' PARTIAL PLAN

2ND FLOOR
8'-1" CEILING

1ST FLOOR
9'-1" CEILING

KHovnanian Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

April 25, 2023

UA - 'SPANISH MODERN'
FRONT VIEW: N.T.S.

RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

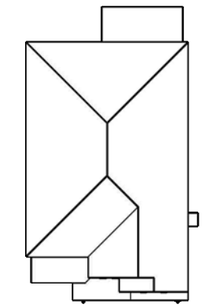
REAR ELEVATION
SCALE: 3/32" = 1'-0"

LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,255 SF**
PLAN WIDTH:	**30'**
PLAN #:	3012
ELEV:	*UA- SPANISH MODERN*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1. PROMINENT HIPS
2. CONCRETE 'S' TILES
3. 0" RAKES AND 12" EAVES
4. DECORATIVE GABLE DETAILS
5. DECORATIVE SHUTTERS
6. 4:12 ROOF PITCH
7. STD. COACH LIGHTS
8. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
9. WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023

WA - 'FARMHOUSE'
FRONT VIEW: N.T.S.

RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

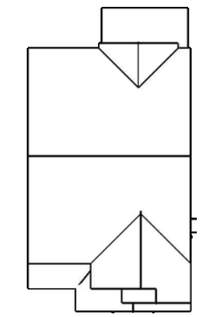
REAR ELEVATION
SCALE: 3/32" = 1'-0"

LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,255 SF**
PLAN WIDTH:	**30'**
PLAN #:	3012
ELEV:	*WA - FARMHOUSE*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1 PROMINENT GABLES
2 CONCRETE 'FLAT' TILES
3 12" EAVES
4 DECORATIVE GABLE DETAILS
5 DECORATIVE BOARD & BATTON
6 DECORATIVE SHUTTERS
7 5:12 ROOF PITCH
8 STD. COACH LIGHTS
9 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
10 WINDOW HEADER - 8'-0" / 8'-0" A.F.F

KHovnanian® Homes

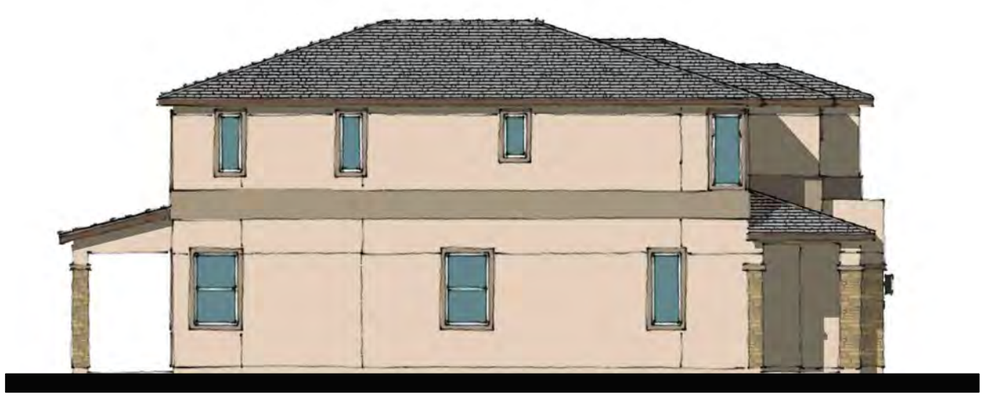
HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023

ZA - 'CONTEMPORARY'
FRONT VIEW: N.T.S.

RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

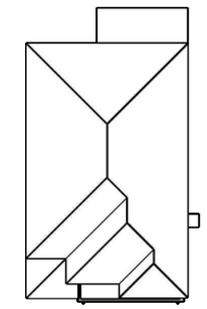


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,255 SF**
PLAN WIDTH:	**30'**
PLAN #:	3012
ELEV:	*ZA - CONTEMPORARY*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1. PROMINENT HIPS
2. CONCRETE 'FLAT' TILES
3. 12" EAVES
4. DECORATIVE MASONRY
5. 4:12 ROOF PITCH
6. STD. COACH LIGHTS
7. DECORATIVE STUCCO CONTROL JOINTS
8. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
9. WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

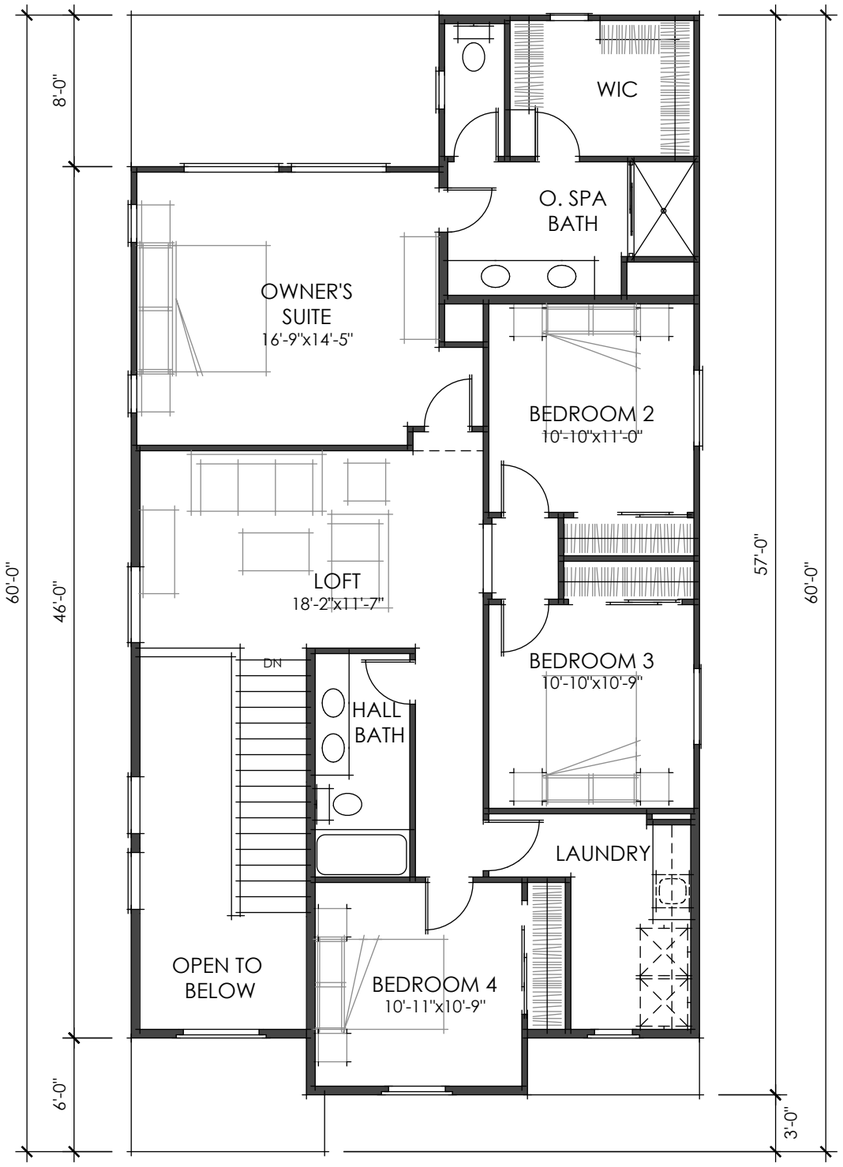
April 25, 2023

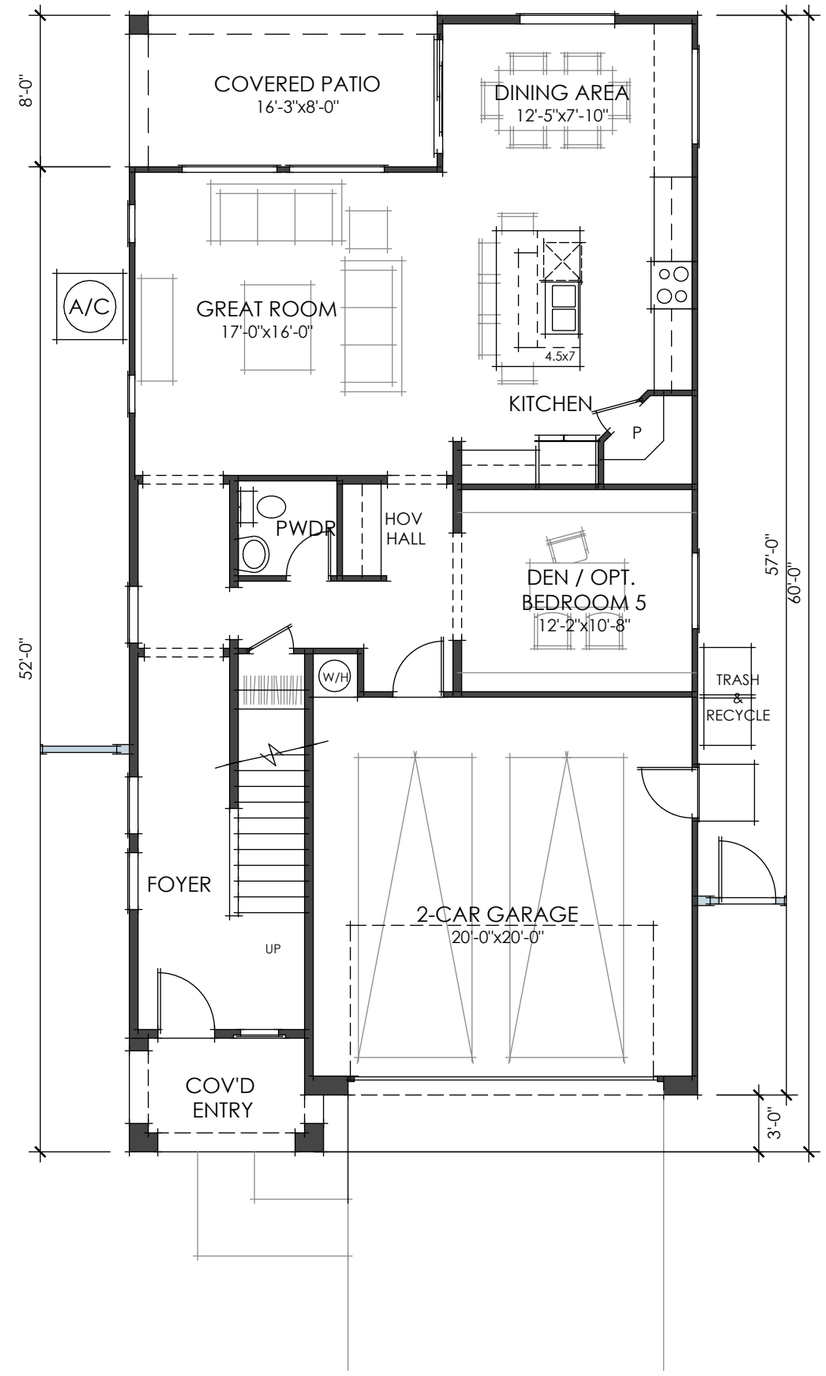
SERIES WIDTH
30'

LIV. SF:	**2,467 SF**
PLAN WIDTH:	**30'**
PLAN #:	3008
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	4/5
BATH	2.5
CAR	2
CEILING	9' | 9'





2ND FLOOR
8'-1" CEILING

UA - 'SPANISH MODERN' PLAN

1ST FLOOR
9'-1" CEILING

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

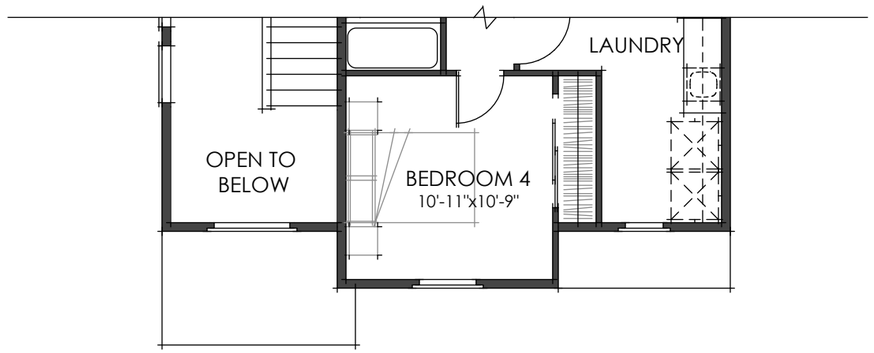
April 25, 2023

SERIES WIDTH
30'

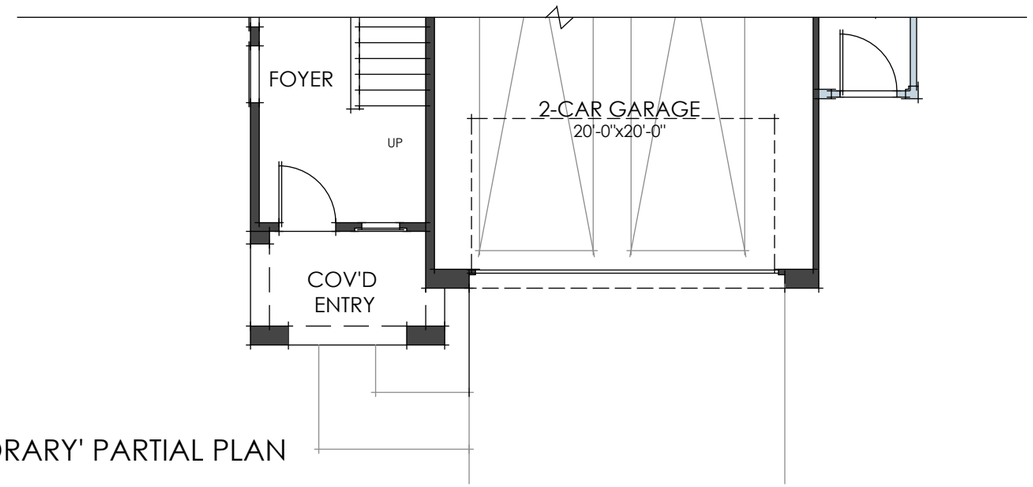
LIV. SF:	**2,467 SF**
PLAN WIDTH:	**30'**
PLAN #:	3008
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	4/5
BATH	2.5
CAR	2
CEILING	9' | 9'

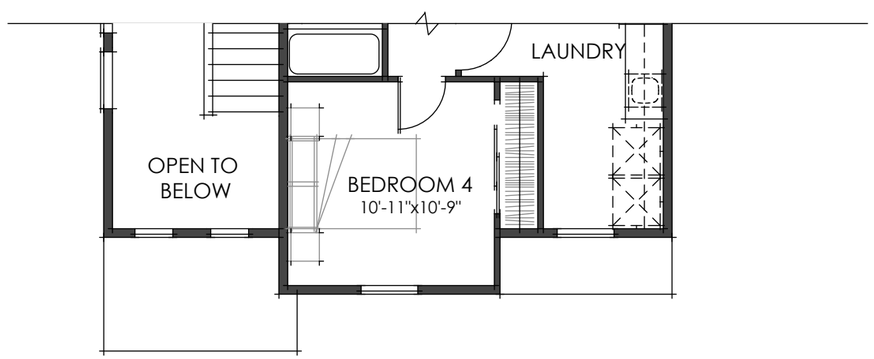


2ND FLOOR
8'-1" CEILING

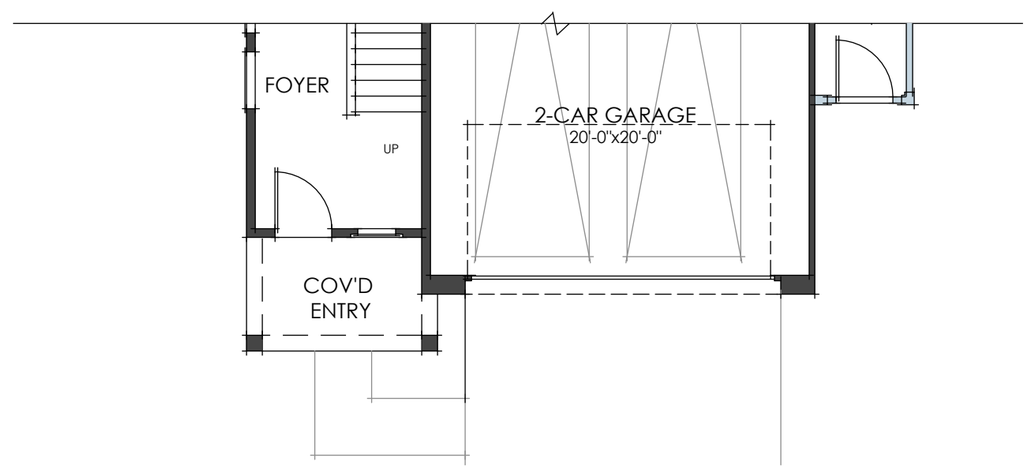


1ST FLOOR
9'-1" CEILING

ZA - 'CONTEMPORARY' PARTIAL PLAN



2ND FLOOR
8'-1" CEILING



1ST FLOOR
9'-1" CEILING

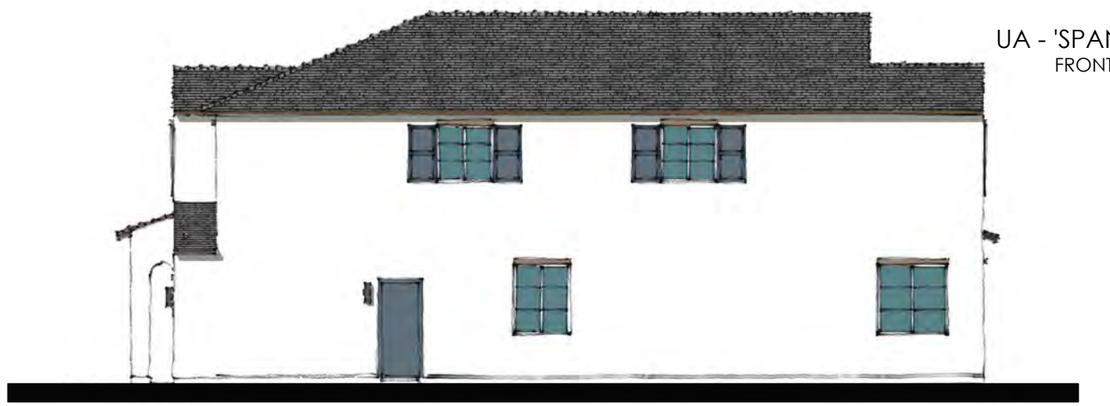
WA - 'FARMHOUSE' PARTIAL PLAN

KHovnanian Homes

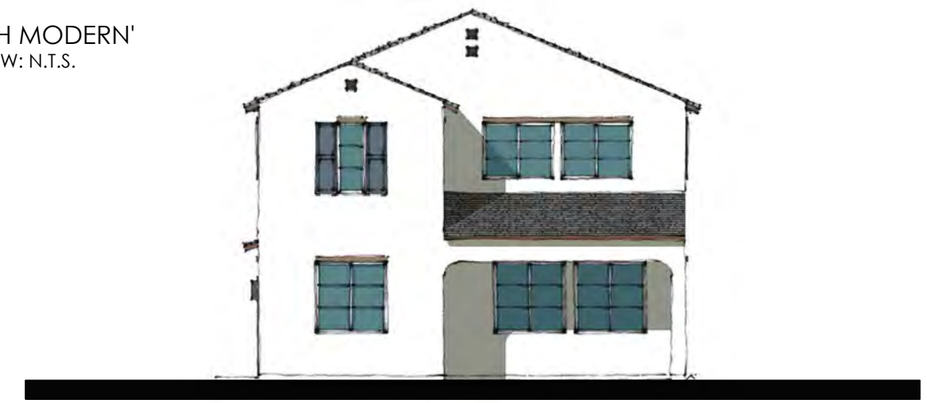
HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

April 25, 2023

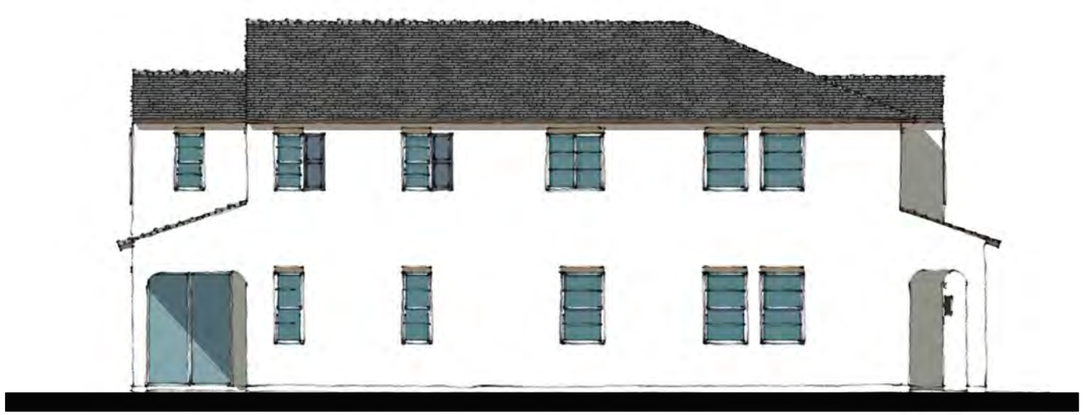
UA - 'SPANISH MODERN'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



REAR ELEVATION
SCALE: 3/32" = 1'-0"

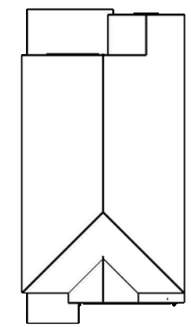


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,467 SF**
PLAN WIDTH:	**30'**
PLAN #:	3008
ELEV:	*UA - SPANISH MODERN*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1. PROMINENT GABLES
2. CONCRETE 'S' TILES
3. 0" RAKES AND 12" EAVES
4. DECORATIVE GABLE DETAILS
5. DECORATIVE SHUTTERS
6. STD. COACH LIGHT
7. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
8. WINDOW HEADER - 8'-0" / 8'-0" A.F.F.
9. 4:12 ROOF PITCH

KHovnanian® Homes

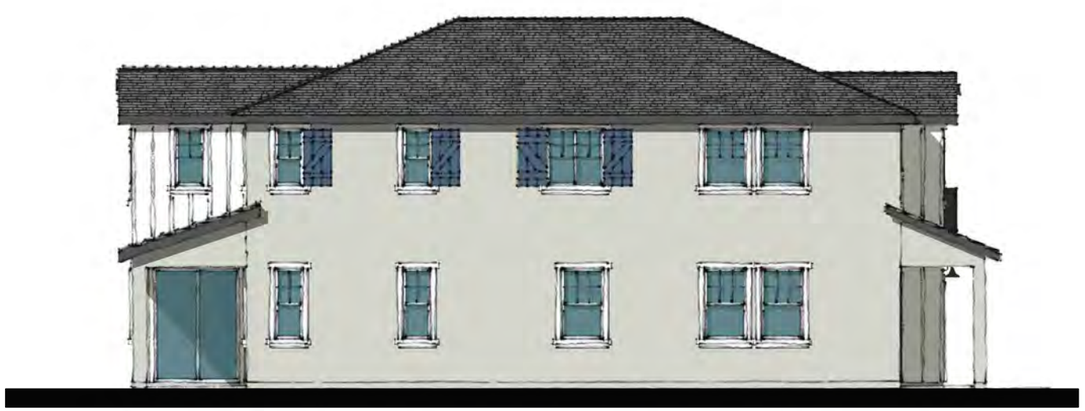
HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023

WA - 'FARMHOUSE'
FRONT VIEW: N.T.S.

RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

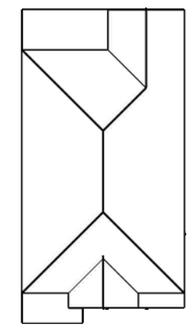


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,467 SF**
PLAN WIDTH:	**30'**
PLAN #:	3008
ELEV:	*WA - FARMHOUSE*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

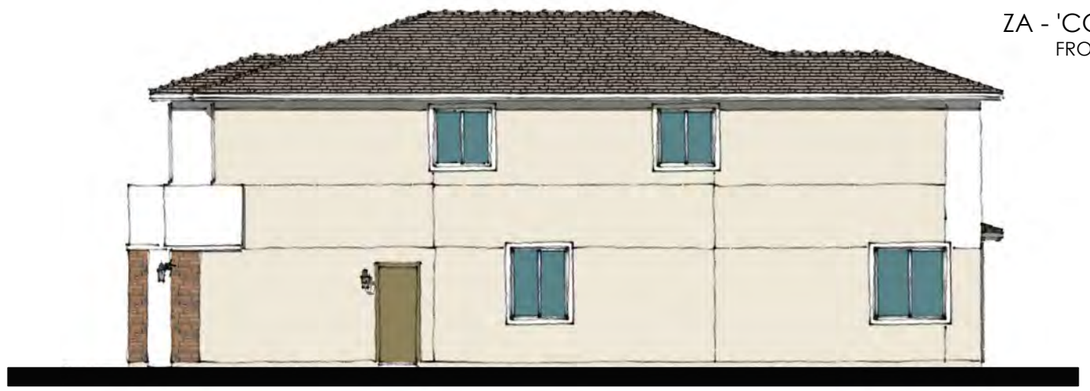
1 PROMINENT HIPS
2 CONCRETE 'S' TILES
3 12" EAVES
4 DECORATIVE CORBELS
5 DECORATIVE BOARD & BATTON
6 DECORATIVE SHUTTERS
7 STD. COACH LIGHTS
8 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
9 WINDOW HEADER - 8'-0" / 8'-0" A.F.F
10 5:12 ROOF PITCH

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023

ZA - 'CONTEMPORARY'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

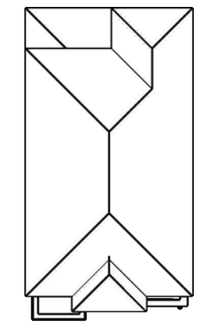
REAR ELEVATION
SCALE: 3/32" = 1'-0"

LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,467 SF**
PLAN WIDTH:	**30'**
PLAN #:	3008
ELEV:	*ZA - CONTEMPORARY*



ROOF PLAN
SCALE: N.T.S.

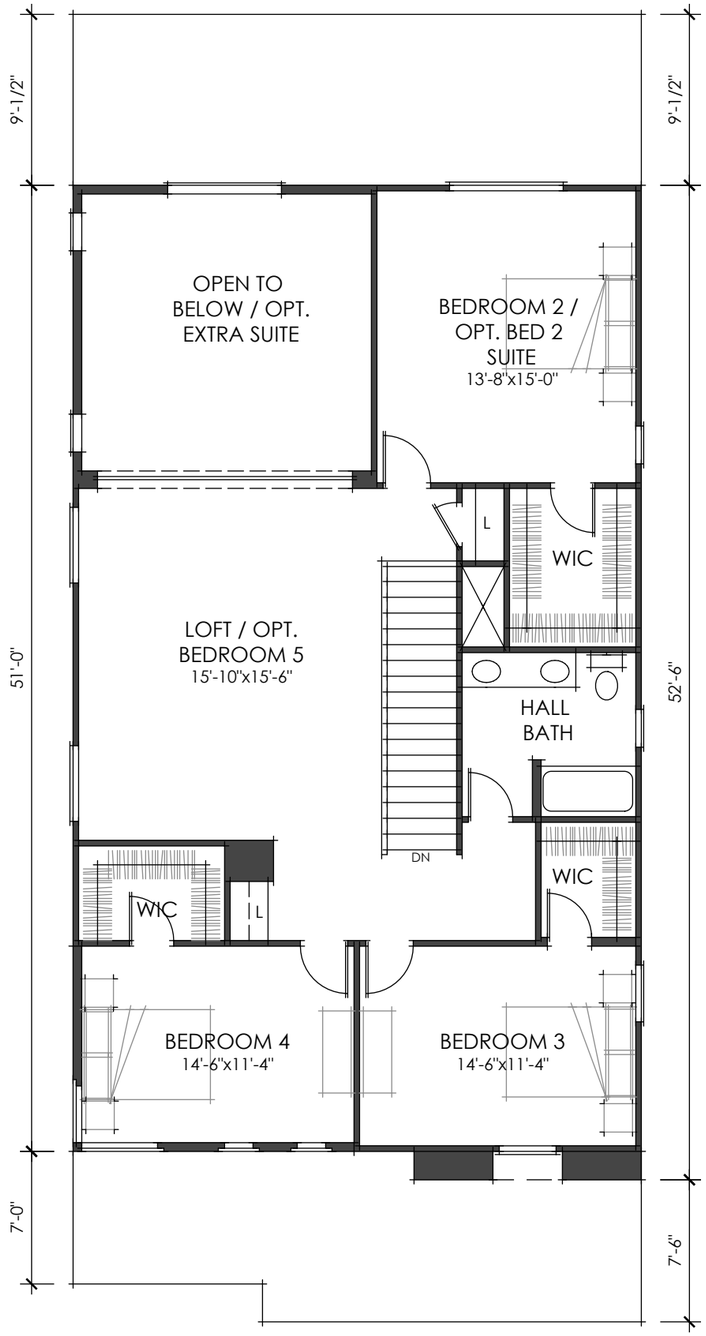
STYLE LEGEND:

1. PROMINENT HIPS
2. CONCRETE 'FLAT' TILES
3. 12" EAVES
4. DECORATIVE MASONRY
5. STD. COACH LIGHTS
6. DECORATIVE STUCCO CONTROL JOINTS
7. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
8. WINDOW HEADER - 8'-0" / 8'-0" A.F.F.
9. 4:12 ROOF PITCH

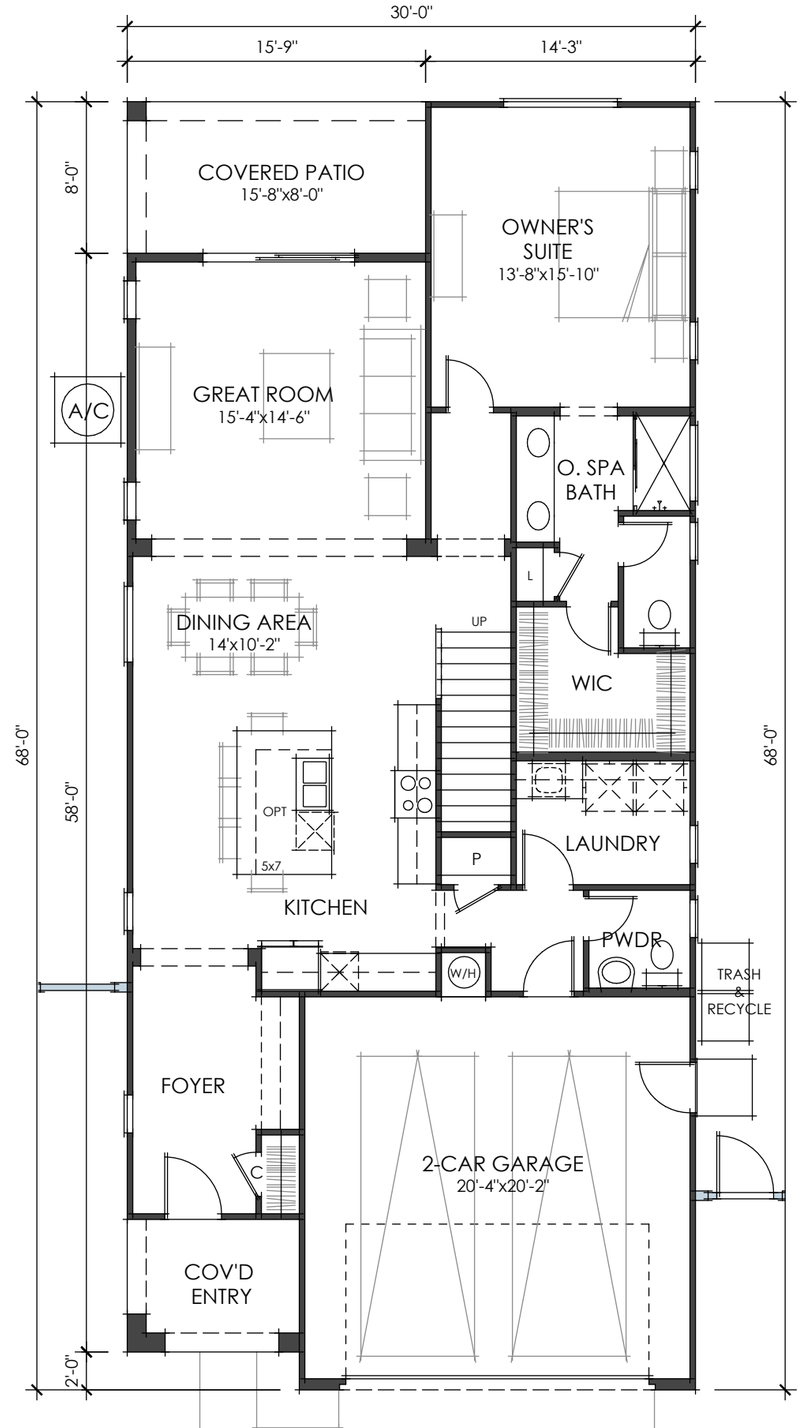
KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023



2ND FLOOR
8'-1" CEILING



1ST FLOOR
9'-1" CEILING

UA - 'SPANISH MODERN' PLAN

SERIES WIDTH
30'

LIV. SF:	**2,640 SF**
PLAN WIDTH:	**30'**
PLAN #:	3015
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	4
BATH	2.5
CAR	2
CEILING	9' | 9'

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

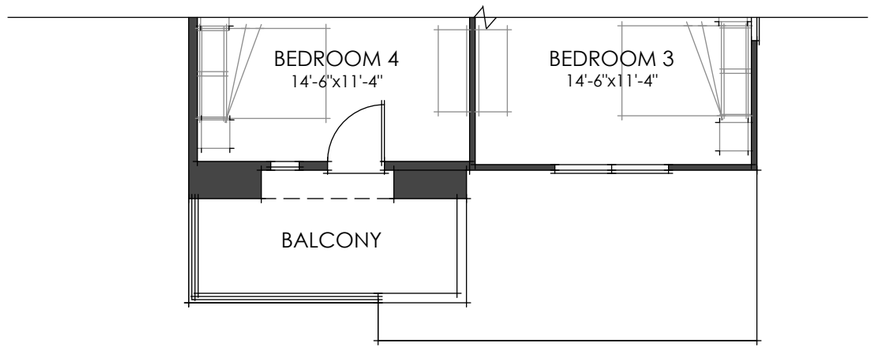
April 25, 2023

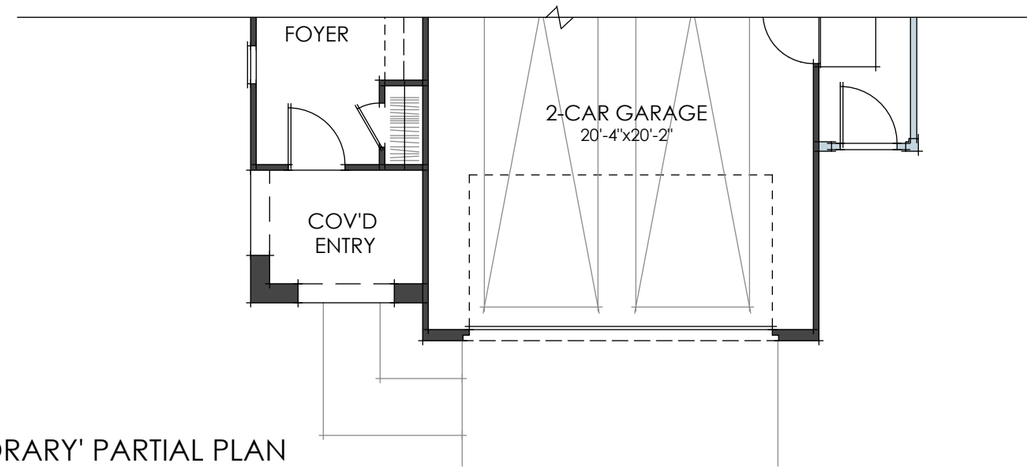
SERIES WIDTH
30'

LIV. SF:	**2,640 SF**
PLAN WIDTH:	**30'**
PLAN #:	3015
SCALE:	1/8" = 1'-0"

VITAL STATS

BEDROOM	4
BATH	2.5
CAR	2
CEILING	9' | 9'

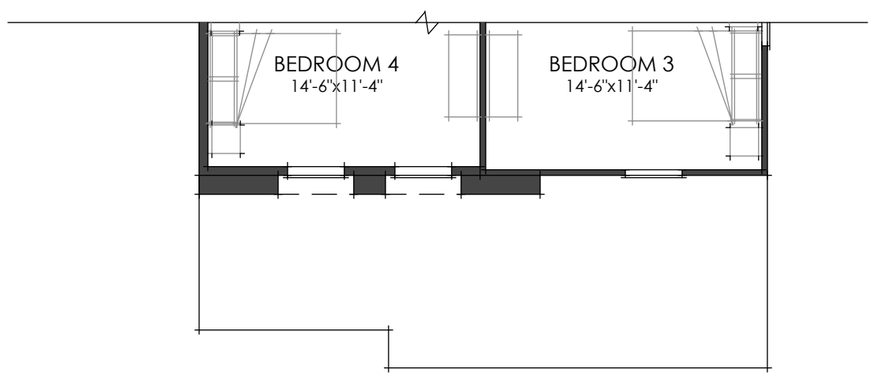


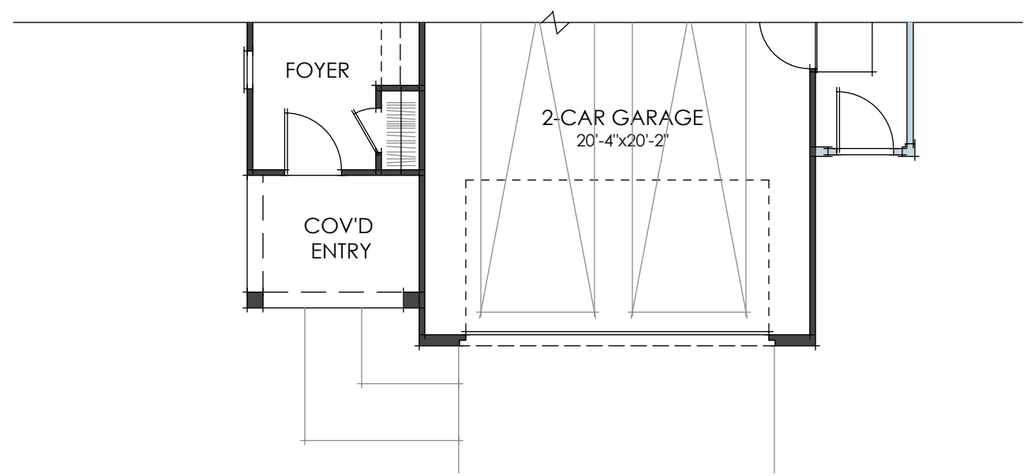


ZA - 'CONTEMPORARY' PARTIAL PLAN

2ND FLOOR
8'-1" CEILING

1ST FLOOR
9'-1" CEILING





WA - 'FARMHOUSE' PARTIAL PLAN

2ND FLOOR
8'-1" CEILING

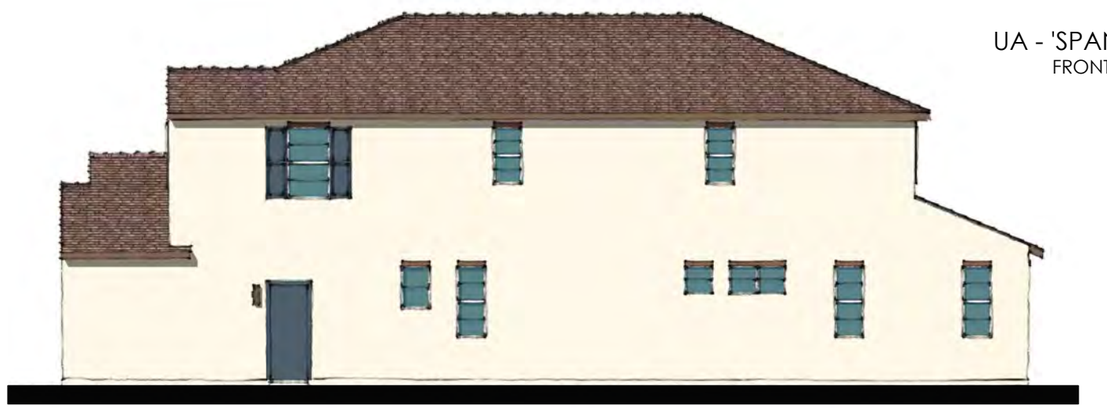
1ST FLOOR
9'-1" CEILING

KHovnanian Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
04.25.2023

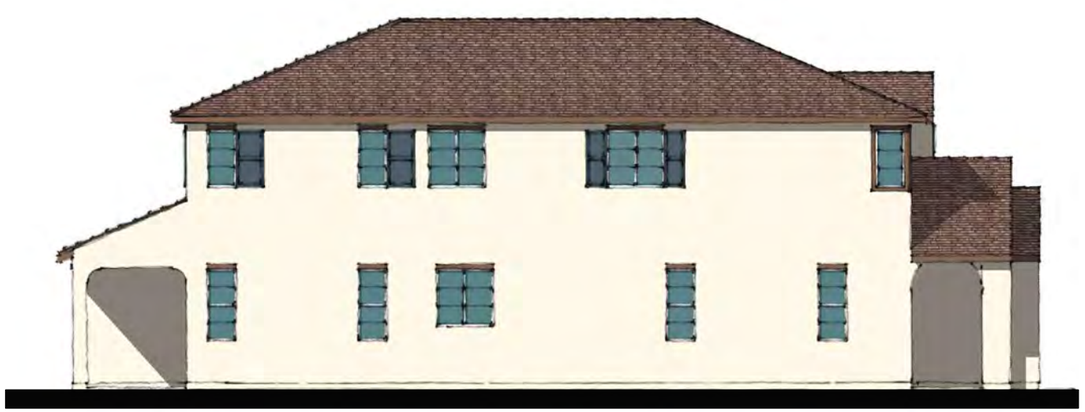
April 25, 2023

UA - 'SPANISH MODERN'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

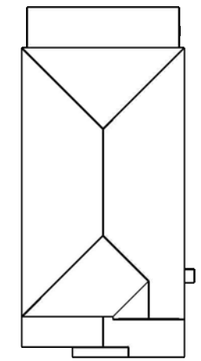


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,840 SF**
PLAN WIDTH:	**30'**
PLAN #:	3015
ELEV:	*UA - SPANISH MODERN*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1 PROMINENT HIPS

2 CONCRETE 'S' TILES

3 0" RAKES AND 12" EAVES

4 DECORATIVE GABLE DETAILS

5 DECORATIVE SHUTTERS

6 STD. COACH LIGHTS

7 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.

8 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

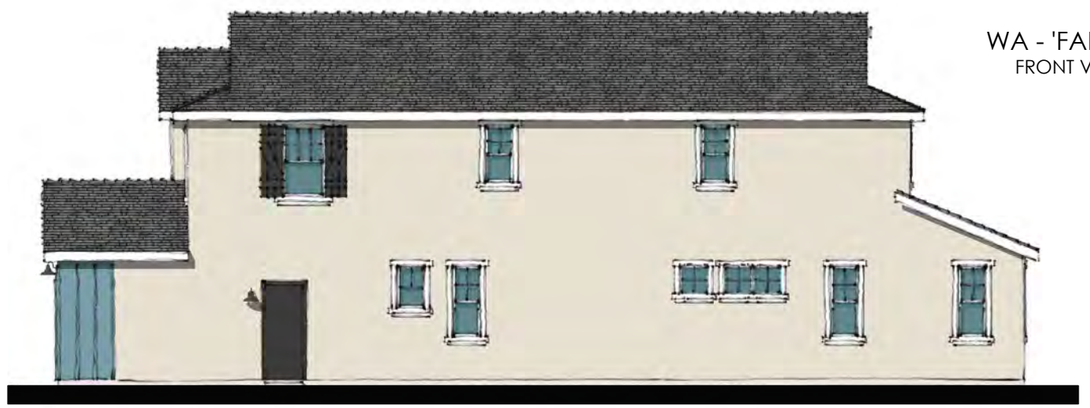
9 4:12 ROOF PITCH

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

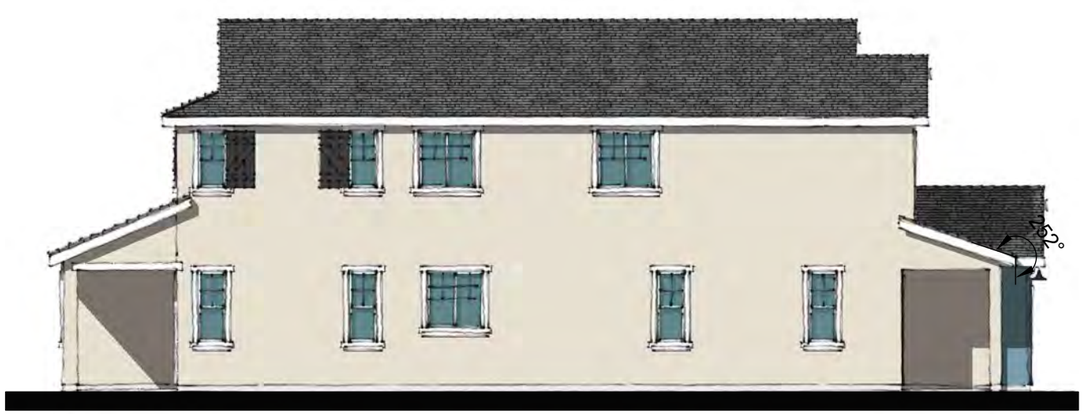
April 25, 2023

WA - 'FARMHOUSE'
FRONT VIEW: N.T.S.



RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

REAR ELEVATION
SCALE: 3/32" = 1'-0"

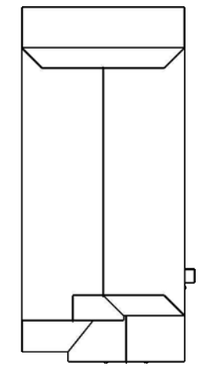


LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,840 SF**
PLAN WIDTH:	**30'**
PLAN #:	3015
ELEV:	*WA - FARMHOUSE*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1. PROMINENT DUTCH GABLE
2. CONCRETE 'FLAT' TILES
3. 12" EAVES
4. DECORATIVE CORBELS
5. DECORATIVE BOARD & BATTON
6. DECORATIVE SHUTTERS
7. STD. COACH LIGHTS
8. PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.
9. WINDOW HEADER - 8'-0" / 8'-0" A.F.F
10. 5:12 ROOF PITCH

KHovnanian® Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

April 25, 2023

ZA - 'CONTEMPORARY'
FRONT VIEW: N.T.S.

RIGHT ELEVATION
SCALE: 3/32" = 1'-0"

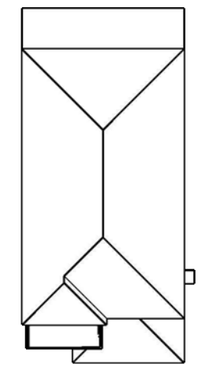
REAR ELEVATION
SCALE: 3/32" = 1'-0"

LEFT ELEVATION
SCALE: 3/32" = 1'-0"

FRONT ELEVATION
SCALE: 3/32" = 1'-0"

SERIES WIDTH
30'

LIV. SF:	**2,840 SF**
PLAN WIDTH:	**30'**
PLAN #:	3015
ELEV:	*ZA - CONTEMPORARY*



ROOF PLAN
SCALE: N.T.S.

STYLE LEGEND:

1 PROMINENT HIPS

2 CONCRETE 'FLAT' TILES

3 12" EAVES

4 DECORATIVE MASONRY

5 STD. COACH LIGHTS

6 DECORATIVE STUCCO CONTROL JOINTS

7 PLATE HEIGHT - 9'-1"A.S.F.F. / 9'-1"A.F.F.

8 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

9 4:12 ROOF PITCH

KHovnanian Homes

HONEYSUCKLE TRAIL
AZD - CHANDLER, ARIZONA
April 25, 2023

Color and Materials Pallet

KHovnanian Homes

AZD Honeysuckle Trail - Color Scheme Menu

Chandler, Arizona

Date: 7/7/2022
Rev 1: 8/1/2022
Rev 2: 4/28/2023
Rev 3:

Elevation Style	Color Scheme #	Body (A)		Siding / B&B / 2nd Body (S)		Trim (B)	Fascia (C)	Garage Door (D)	Entry (E)	Shutters (H)	Finial & Select Front Trim	Prefab Pipe Vents (if occur)	Gutters (if occur)	Concrete Roof Tile		Veneer*
	MFG:	Sherwin Williams		Sherwin Williams		Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	NA	Eagle Roof Tile		Coronado Stone
	NOTE:		LRV		LRV									Barrel-Tile	Flat	
UA - Spanish Modern	2001	7011 Natural Choice	73	NA		2827 Colonial Revival Stone	7510 Chateau Brown	7510 Chateau Brown	6186 Dried Thyme	6186 Dried Thyme	NA	6990 Caviar	Musket	3646 Sunset Blend	NA	NA
UA - Spanish Modern	2003	6119 Antique White	72	NA		6081 Down Home	9091 Half-Caff	7508 Tavern Taupe	6990 Caviar	6990 Caviar	NA	6990 Caviar	Musket	3687 Brown Gray Range	NA	NA
UA - Spanish Modern	2004	7036 Accessible Beige	58	NA		7520 Dark Brown	7520 Dark Brown	7520 Dark Brown	7615 Sea Serpent	7615 Sea Serpent	NA	6990 Caviar	Musket	3636 Piedmont Blend	NA	NA
UA - Spanish Modern	2006	7641 Colonnade Gray	53	NA		7048 Urbane Bronze	7048 Urbane Bronze	6990 Caviar	6990 Caviar	6990 Caviar	NA	6990 Caviar	Musket	3687 Brown Gray Range	NA	NA
WA - Farmhouse	3000	7636 Origami White	76	7636 Origami White	76	7636 Origami White	7069 Iron Ore	7069 Iron Ore	6214 Underseas	7069 Iron Ore	NA	NA	Musket	NA	4595 Dark Charcoal	NA
WA - Farmhouse	3001	7014 Eider White	73	7669 Summit Gray	30	6258 Tricorn Black	6258 Tricorn Black	6258 Tricorn Black	6258 Tricorn Black	6258 Tricorn Black	NA	NA	Musket	NA	4502 Arcadia Canyon Brown	NA
WA - Farmhouse	3003	7023 Requisite Gray	45	6228 Refuge	9	7049 Nuance	7049 Nuance	7049 Nuance	6990 Caviar	6990 Caviar	NA	NA	Musket	NA	5699 Charcoal Range	NA
WA - Farmhouse	3004	7650 Ellie Gray	40	8917 Shell White	83	8917 Shell White	8917 Shell White	7069 Iron Ore	7602 Indigo Batik	7602 Indigo Batik	NA	NA	Musket	NA	5699 Charcoal Range	NA
ZA - Contemporary	6140	7042 Shoji White	74	6004 Mink	21	6004 Mink	6990 Caviar	6990 Caviar	6990 Caviar	NA	NA	NA	Musket	NA	5699 Charcoal Range	CS: 3" Split Limestone Black Forest
ZA - Contemporary	6141	7029 Agreebale Gray	60	7026 Griffin	13	7026 Griffin	7026 Griffin	7061 Night Owl	7749 Laurel Woods	NA	NA	NA	Musket	NA	4689 Brown Range	CS: 3" Split Limestone Walnut
ZA - Contemporary	6142	7641 Colonade Gray	53	7566 Westhighland White	86	7566 Westhighland White	7027 Hickory Smoke	7027 Hickory Smoke	6988 Bohemian Black	NA	NA	NA	Musket	NA	4503 Sierra Madre	CS: 3" Split Limestone Walnut
ZA - Contemporary	6143	7506 Loggia	48	7645 Thunder Gray	9	7645 Thunder Gray	7645 Thunder Gray	6201 Thunderous	7645 Thunder Gray	NA	NA	NA	Musket	NA	4595 Dark Charcoal	CS: 3" Split Limestone Genoa Sands

* All veneer stone grout to be gray
** Decorative tile grout to match stucco body color
***

Approved By:		Date and Signature
Dan A. Cronin	Sherwin Williams - National Account Representative	
Patsy Hawk:	Eagle Roofing - Senior Accounts Representative	
Clarice Nielsen:	Coronado Stone - Senior Accounts Representative	

COLOR SCHEME #2001

UA - SPANISH MODERN

KHovnanian Homes

(A)

Color Legend

(A) Body: SW 7011 Natural Choice (LRV:73)

(B) Trim: SW 2827 Colonial Revival Stone

(C) Fascia: SW 7510 Chateau Brown

(D) Garage Door: SW 7510 Chateau Brown

(E) Entry: SW 6186 Dried Thyme

(H) Shutters: SW 6186 Dried Thyme

(B)

(C)

(D)

(E)

(H)

Prefab Pipe Vents: SW 6990 Caviar

Roof: Eagle - 3646 Sunset Blend

COLOR SCHEME #2003

UA - SPANISH MODERN

KHovnanian Homes

(A)

Color Legend

(A) Body: SW 6119 Antique White (LRV:72)

(B) Trim: SW 6081 Down Home

(C) Fascia: SW 9091 Half-Caff

(D) Garage Door: SW 7508 Tavern Taupe

(E) Entry: SW 6990 Caviar

(H) Shutters: SW 6990 Caviar

(B)

(C)

(D)

(E)

(H)

Prefab Pipe Vents: SW 6990 Caviar

Roof: Eagle - 3687 Brown Gray Range

COLOR SCHEME #2004

UA - SPANISH MODERN

KHovnanian Homes

(A)

Color Legend

(A) Body: SW 7036 Accessible Beige (LRV:58)

(B) Trim: SW 7520 Dark Brown

(C) Fascia: SW 7520 Dark Brown

(D) Garage Door: SW 7520 Dark Brown

(E) Entry: SW 7615 Sea Serpent

(H) Shutters: SW 7615 Sea Serpent

(B)

(C)

(D)

(E)

(H)

Prefab Pipe Vents: SW 6990 Caviar

Roof: Eagle - 3636 Piedmont Blend

COLOR SCHEME #2006

UA - SPANISH MODERN

KHovnanian Homes

(A)

Color Legend

(A) Body: SW 7641 Colonnade Gray (LRV:53)

(B) Trim: SW 7048 Urbane Bronze

(C) Fascia: SW 7048 Urbane Bronze

(D) Garage Door: SW 6990 Caviar

(E) Entry: SW 6990 Caviar

(H) Shutters: SW 6990 Caviar

(B)

(C)

(D)

(E)

(H)

Prefab Pipe Vents: SW 6990 Caviar

Roof: Eagle - 3687 Brown Gray Range

COLOR SCHEME #3000

WA - FARMHOUSE

KHovnanian Homes

(A)

(S)

(B)

(C)

(D)

(E)

(H)

Color Legend

(A) Body: SW 7636 Origami White (LRV:76)

(S) Siding/Board and Batten: SW 7636 Origami White (LRV:76)

(B) Trim: SW 7636 Origami White

(C) Fascia: SW 7069 Iron Ore

(D) Garage Door: SW 7069 Iron Ore

(E) Entry: SW 6214 Underseas

(H) Shutters: SW 7069 Iron Ore

Roof: Eagle - 4595 Dark Charcoal

COLOR SCHEME #3001

WA - FARMHOUSE

KHovnanian Homes

(A)

(S)

Color Legend

(A) Body: SW 7014 Eider White (LRV:73)

(S) Siding/Board and Batten: SW 7669 Summit Gray (LRV:30)

(B) Trim: SW 6258 Tricorn Black

(C) Fascia: SW 6258 Tricorn Black

(D) Garage Door: SW 6258 Tricorn Black

(E) Entry: SW 6258 Tricorn Black

(S) Shutters: SW 6258 Tricorn Black

(B)

(C)

(D)

(E)

(H)

Roof: Eagle - 4502 Arcadia Canyon Brown

COLOR SCHEME #3003

WA - FARMHOUSE

KHovnanian Homes

(A)

(S)

Color Legend

(A) Body: SW 7023 Requisite Gray (LRV: 45)

(S) Siding: SW 6228 Refuge

(B) Trim: SW 7049 Nuance

(C) Fascia: SW 7049 Nuance

(D) Garage Door: SW 7049 Nuance

(E) Entry: SW 6990 Caviar

(H) Shutters: SW 6990 Caviar

(B)

(C)

(D)

(E)

(H)

Roof Tile: Eagle Rooftile - 5699 Charcoal Range

COLOR SCHEME #3004

WA - FARMHOUSE

KHovnanian Homes

(A)

(S)

(B)

(C)

(D)

(E)

(H)

Color Legend

(A) Body: SW 7650 Ellie Gray (LRV:73)

(S) Siding/Board and Batten: SW 8917 Shell White

(B) Trim: SW 8917 Shell White

(C) Fascia: SW 8917 Shell White

(D) Garage Door: SW 7069 Iron Ore

(E) Entry: SW 7602 Indigo Batik

(H) Shutters: SW 7602 Indigo Batik

Roof: Eagle - 5699 Charcoal Range

COLOR SCHEME #6140

CONTEMPORARY

KHovnanian Homes

(A)

(S)

(B)

(C)

(D)

(E)

Color Legend

(A) Body: SW 7042 Shoji White (LRV:74)

(S) Siding: SW 6004 Mink (LRV:21)

(B) Trim: SW 6004 Mink

(C) Fascia: SW 6990 Caviar

(D) Garage Door: SW 6990 Caviar

(E) Entry: SW 6990 Caviar

Veneer: Coronado Stone - 3" Split Limestone - Black Forest

Roof: Eagle - 5699 Charcoal Range

COLOR SCHEME #6141

CONTEMPORARY

KHovnanian Homes

(A)

(S)

(B)

(C)

(D)

(E)

Color Legend

(A) Body: SW 7029 Agreeable Gray(LRV:60)

(S) Siding: SW 7026 Griffin (LRV:13)

(B) Trim: SW 7026 Griffin

(C) Fascia: SW 7026 Griffin

(D) Garage Door: SW 7061 Night Owl

(E) Entry: SW 7749 Laurel Woods

Veneer: Coronado Stone - 3" Split Limestone - Walnut

Roof: Eagle - 4689 Brown Range

COLOR SCHEME #6142

CONTEMPORARY

KHovnanian Homes

(A)

(S)

(B)

(C)

(D)

(E)

Color Legend

(A) Body: SW 7641 Colonnade Gray (LRV: 53)

(S) Siding: SW 7566 Westhighland White (LRV:86)

(B) Trim: SW 7566 Westhighland White

(C) Fascia: SW 7027 Hickory Smoke

(D) Garage Door: SW 7027 Hickory Smoke

(E) Entry: SW 6988 Bohemian Black

Veneer: Coronado Stone - 3" Split Limestone - Walnut

Roof: Eagle - 4503 Sierra Madre

COLOR SCHEME #6143

CONTEMPORARY

KHovnanian Homes

(A)

(S)

Color Legend

(A) Body: SW 7506 Loggia (LRV:48)

(S) Siding: SW 7645 Thunder Gray (LRV:9)

(B) Trim: SW 7645 Thunder Gray

(C) Fascia: SW 7645 Thunder Gray

(D) Garage Door: SW 6201 Thunderous

(E) Entry: 7645 Thunder Gray

(B)

(C)

(D)

(E)

Veneer: Coronado Stone - 3" Split Limestone - Genoa Sands

Roof: Eagle - 4595 Dark Charcoal

Perspective Renderings

Copyright RVi

L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RVi-5353-3RD-PLANNED AREA DEVELOPMENT.dwg

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **PERSPECTIVE 2 - SIGNAGE**

CHANDLER, AZ
2022-07-15
21005353
K HOVNANIAN

Information furnished regarding this property is from sources deemed reliable. RVi has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.

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120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

HONEYSUCKLE TRAIL • **PERSPECTIVE 1 - PRODUCT**

CHANDLER, AZ

2022-07-15

21005353

K HOVNANIAN

Information furnished regarding this property is from sources deemed reliable. RVi has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.

L:\21005353 - Warner & Bullmoose - K-Hov\5-PLANNING\1-CAD\7-SITE PLAN\RV-5353-3RD-PLANNED AREA DEVELOPMENT.dwg

Trip Generation

CivTech

January 6, 2023

Chuck Chisholm
K. Hovnanian Phoenix Division, Inc.
20830 North Tatum Boulevard, Suite 250
Phoenix, Arizona 85050

RE: TRIP GENERRATION AND COMPARISON STATEMENT FOR HONEYSUCKLE TRAILS – NORTHWEST CORNER OF WARNER ROAD AND BULLMOOSE DRIVE – CHANDLER, ARIZONA

Dear Mr. Chisholm:

Thank you for retaining CivTech to provide a trip generation and comparison statement for K. Hovnanian Phoenix Division, Inc. (the "Client") development, consisting of approximately 48 dwelling units of single-family residences, proposed to redevelop one (1) parcel of approximately 12.48-acres on the northwest corner of Warner Road and Bullmoose Drive in the City of Chandler, Arizona. The one (1) existing parcel is currently utilized as a church. The project vicinity is shown in Figure 1.

Figure 1 – Vicinity Map

CivTech Inc. • 10605 North Hayden Road • Suite 140 • Scottsdale, AZ 85260

Phone: 480.659.4250 • Fax: 480.659.0566

BACKGROUND AND PURPOSE

This Trip Generation and Comparison Statement has been prepared document the expected number of daily and peak hour trips generated by the site, the number of daily and peak hour trips generated by the existing land use, with a comparison between the existing and proposed land uses.

METHODOLOGY

The Trip Generation and Comparison Statement is a reduced scope traffic study following the requirements described in the City of Chandler document Scope of Work for Traffic Impact Studies, July 2019. The Trip Generation and Comparison Statement is not intended to meet the requirements of a full scope Traffic Impact Analysis.

EXISTING CONDITIONS

The one (1) existing parcel is currently developed, with an existing church on the south half and an existing retention basin on the north half. The existing church facility is approximately 12,490 square feet (SF) of building area. There are three (3) existing access points on Bullmoose Drive from the existing church.

EXISTING ROADWAY NETWORK

Roadway classifications are from the *City of Chandler General Plan 2016, Circulation Plan Map*.

Warner Road is a five (5) lane roadway, classified as a Major Arterial, with two (2) lanes of travel in each direction and a center continuous two way left turn lane (TWLTL). Warner Road begins to the west in the community of Ahwatukee, within the City of Phoenix, where it loops to the north and becomes Elliot Road. East of the project, Warner Road breaks between Ellsworth Road and Signal Butte Road and then ends at Meridian Road in the City of Mesa. There are curb, gutter, sidewalk facilities and bike lanes on both sides of the roadway with a posted speed limit of 45 mph within the vicinity of the site.

Bullmoose Drive is a two (2) lane roadway, with one (1) lane of travel in each direction. Without a roadway classification indicated on the *Circulation Plan Map*, Bullmoose Drive is wider than a local roadway and located on the typical ½-mile spacing of a collector street and is therefore assumed to be a Collector Street. Bullmoose Drive begins to the north at Mesquite Street and ends to the south at Knox Road, with a significant offset as it crosses Warner Road. There are curb, gutter, sidewalk facilities, and bike lanes on both sides of the roadway with a posted speed limit of 25 mph within the vicinity of the site. There is also on-street parking on both sides of the roadway north of Los Arboles Place.

Los Arboles Place is a two (2) lane unstriped residential roadway, classified as a Local Street, with one (1) lane of travel in each direction. Los Arboles Places begins at Bullmoose Drive and ends a short distance to the east at an alley just east of Salida Del Sol. There are curb, gutter, and sidewalk facilities on both sides of the roadway with an assumed speed limit of 25 mph within the vicinity of the site.

The intersection of Warner Road and Bullmoose Drive operates as an unsignalized T-intersection with stop control on the north approach, while the east and west approaches are free-flow. The east

DRAFT

approach consists of one (1) through lane and one (1) shared through/right-turn lane. The west approach consists of one (1) exclusive left-turn lane and two (2) through lanes. The north approach consists of one exclusive left-turn lane and one right-turn lane. There are curb, gutter, and sidewalk facilities and no crosswalks at this intersection.

The intersection of Los Arboles Place and Bullmoose Drive operates as an unsignalized T-intersection with stop control on the east approach, while the north and south approaches are free-flow. The east approach consists of one (1) shared left-turn/right-turn lane. The south approach consists of one (1) shared through/right-turn lane. The north approach consists of one shared left-turn/through lane. There are curb, gutter, and sidewalk facilities and no crosswalks at this intersection.

PROPOSED DEVELOPMENT

The K. Hovnanian Phoenix Division Inc project would redevelop a single parcel of approximately 13 acres with approximately 48 dwelling units (DUs) of single-family residential housing land use, replacing an existing church facility. Access to the proposed development would be from a new west leg at the existing intersection of Los Arboles Place and Bullmoose Drive.

The existing retention basin located on the north half of the parcel would be reconstructed and remain as a retention basin.

The site plan for the proposed development analyzed in this study has been included in Attachment A.

TRIP GENERATION

The potential trip generation for the southern portion of the Honeysuckle Trail Housing was estimated utilizing the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition* and *Trip Generation Handbook, 3rd Edition*. The ITE *Trip Generation Manual* contains data collected by various transportation professionals for a wide range of different land uses. The data are summarized in the report and average rates and equations have been established that correlate the relationship between an independent variable that describes the development size and generated trips for each categorized land use. Table 1 provides the proposed trip generation for the single-family homes site and for the existing church. Detailed trip generation calculations for each land use are provided in Attachment B.

DRAFT

Table 1 – Trip Generation and Comparison

Land Use	ITE Code	ITE Land Use Name	Quantity	Units+	AM Distribution		PM Distribution	
					In	Out	In	Out
Proposed Land Use								
Single Family Detached	210	Single-Family Detached Housing	48	DUs	26%	74%	63%	37%
Existing Land Use								
Church and Parish House (Weekday)	560	Church	12.490	KSF	62%	38%	44%	56%

Land Use	ADT		AM Peak Hour				PM Peak Hour			
	Rate	Total	Rate	In	Out	Total	Rate	In	Out	Total
Proposed Land Use										
Single Family Detached	10.70	514	0.80	10	28	38	1.04	32	18	50
Existing Land Use										
Church and Parish House (Weekday)	7.6	94	0.22	2	1	3	0.49	3	3	6
Difference (Reduction)		420		8	27	35		29	15	44

+ KSF = kilo square feet, multiply value by 1,000 for square feet; DU's = dwelling units

The proposed Honeysuckle Trails is estimated to generate a total of 514 weekday daily trips with 38 trips (10 in/28 out) occurring during the AM peak hour and 50 trips (32 in/18 out) occurring during the PM peak hour.

The existing church land use is anticipated to currently be generating 94 weekday trips with 3 trips (2 in/ 1 out) occurring during the AM peak hour and 6 trips (3 in/3 out) occurring during the PM peak hour.

When comparing the trip generation of the proposed land to the existing land use, the proposed Honeysuckle Trails is anticipated to generate 420 more weekday trips with 35 more trips (+8 in/ +27 out) occurring in AM peak hour and 44 more trips (+29 in/+15 out) occurring during the PM peak hour.

DRAFT

CONCLUSIONS

From the above, the following can be concluded:

GENERAL

- The proposed Honeysuckle Trails development would redevelop a single parcel with approximately 48 dwelling units of single-family residences, while removing an existing church.

- The proposed Honeysuckle Trails is estimated to generate a total of 514 weekday daily trips with 38 trips (10 in/28 out) occurring during the AM peak hour and 50 trips (32 in/18 out) occurring during the PM peak hour.

- The existing church land use is anticipated to currently be generating 94 weekday trips with 3 trips (2 in/ 1 out) occurring during the AM peak hour and 6 trips (3 in/3 out) occurring during the PM peak hour.

- When comparing the trip generation of the proposed land to the existing land use, the proposed Honeysuckle Trails is anticipated to generate 420 more weekday trips with 35 more trips (+8 in/ +27 out) occurring in AM peak hour and 44 more trips (+29 in/+15 out) occurring during the PM peak hour.

Thank you for allowing CivTech to assist you on this project. Please contact me with any questions you may have on this Trip Generation Memo.

Sincerely,

CivTech

Benjamin A. Good, P.E., PTOE
Senior Project Manager/Senior Traffic Engineer

Attachments (2)

A. Site Plan
B. ITE Trip Generation Worksheet

DRAFT

Methodology Overview

This form facilitates trip generation estimation using data within the Institute of Transportation Engineer's (ITE) Trip Generation Manual, 11th Edition and methodology described within ITE's Trip Generation Handbook, 3rd Edition. These references will be referred to as Manual and Handbook, respectively. The Manual contains data collected by various transportation professionals for a wide range of different land uses, with each land use category represented by a land use code (LUC). Average rates and equations have been established that correlate the relationship between an independent variable that describes the development size and generated trips for each categorized LUC in various settings and time periods. The Handbook indicates an established methodology for how to use data contained within the Manual when to use the fitted curve instead of the average rate and when to adjustments to the volume of trips are appropriate and how to do so. The methodology steps are represented visually in boxes in Figure 3.1. This worksheet applies calculations for each box if applicable.

Box 1 - Define Study Site Land Use Type&Site Characteristics, | **Box 2 - Define Site Context** | **Box 3 - Define Analysis Objectives** Trip Types&Time Period

The analyst is to pick an appropriate LUC(s) based on the subject's zoning/land use(s)/future land use(s). The size of the land use(s) is described in reference to an independent variable(s) specific to (each) the land use (example: 1,000 square feet of building area is relatively common). Context assessment is to "simply determine whether the study sites is in a multimodal setting" and "could have persons accessing the site by walking, bicycling, or riding transit." This assessment is used in Box 4. The Manual separates data into 4 setting categories - Rural, General Urban/Suburban, Dense Multi-Urban Use and Center City Core. This worksheet uses the following abbreviations, respectively: R, G, D, and C. The Manual does not have data for all settings of all land use codes. The "General Urban/Suburban" setting is used by default.

This tool will focus on vehicular trips for a 24-hour period on a typical weekday as well as its AM peak hour and PM peak hour. Other time period(s) may be of interest.

Land Use Types and Size

Proposed Use	Amount	Units	ITE LUC	ITE Land Use Name
Single Family Detached	48	Dwelling Units	210	Single-Family Detached Housing
Church and Parish House (Weekday)	12.490	1,000 square feet	560	Church

Box 4 - Is Study Site Multimodal?

Per the Handbook, "if the objective is to establish a local trip generation rate for a particular land use or study site, the simplified approach (Box 9) may be acceptable but the Box 5 through 8 approach is required if the study site is located in an infill setting, contains a mix of uses on-site, or is near significant transit service."

Box 5/Box 9 - Estimate Baseline Trips/Estimate Vehicular Trips (Determine Equation)

Vehicle trips are estimated using rates/equations applicable to each LUC. When the appropriate graph has a fitted curve, the Handbook has a process (Figure 4.2) to determine when to use it versus using the weighted average rate or collecting local data. The methodology requires for engineering judgement in some circumstances and permits engineering judgement to override or make adjustments when appropriate to best project (example 1: study site is expected to operate differently than data in the applicable land use code - such as restaurant that is closed in the morning or in the evening; example 2: LUC data in a localized area fails to be represented by the typically selected fitted curve/weighted average rate - a small shop/LUC 820, AM peak hour is skewed by the high y-intercept).

Equation Type: Equation Used [Equated Rate] (Type Abbreviations: Weighted Average Rate ("WA"), Fitted Curve **Type: Equation Used [Equated Rate]**

Proposed Use	ADT	AM Peak Hour	PM Peak Hour	(not used)
Single Family Detached	FC: LN(T)=0.92*LN(X)+2.68 [10.70]	FC: LN(T)=0.91*LN(X)+0.12 [0.80]	FC: LN(T)=0.94*LN(X)+0.27 [1.04]	
Church and Parish House (Weekday)	WA: T=X*7.6 [7.60]	FC: T=0.37*X-1.84 [0.22]	WA: T=X*0.49 [0.49]	

Box 5/Box 9 - Estimate Baseline Trips/Estimate Vehicular Trips (Apply Equations and in/out Distributions)

Baseline Vehicular Trips

Proposed Use	ADT				AM Peak Hour				PM Peak Hour				(not used)			
	% In	In	Out	Total	% In	In	Out	Total	% In	In	Out	Total	% In	In	Out	Total
Single Family Detached	50%	257	257	514	26%	10	28	38	63%	32	18	50				
Church and Parish House (Weekday)	50%	47	47	94	62%	2	1	3	44%	3	3	6				
Difference (Redution)		**210**	**210**	**420**		**8**	**27**	**35**		**29**	**15**	**44**				

Preliminary Utility Plan

PRELIMINARY UTILITY PLAN
FOR
HONEYSUCKLE TRAILS

LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION:

A PORTION OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPACOUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 18;

THENCE NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 55.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WARNER ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST, ALONG SAID EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 841.47 FEET;

THENCE SOUTH 89 DEGREES 22 MINUTES 47 SECONDS EAST, A DISTANCE OF 103.00 FEET;

THENCE SOUTH 46 DEGREES 42 MINUTES 13 SECONDS EAST, A DISTANCE OF 18.73 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS SOUTH 46 DEGREES 42 MINUTES 13 SECONDS EAST A DISTANCE OF 52.00 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 25.22 FEET AND A CENTRAL ANGLE OF 27 DEGREES 47 MINUTES 02 SECONDS;

THENCE DEPARTING SAID CURVE NORTH 18 DEGREES 55 MINUTES 11 SECONDS WEST, A DISTANCE OF 7.91 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 71 DEGREES 04 MINUTES 49 SECONDS EAST A DISTANCE OF 5.00 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 7.13 FEET AND A CENTRAL ANGLE OF 81 DEGREES 41 MINUTES 39 SECONDS;

THENCE DEPARTING SAID CURVE NORTH 62 DEGREES 46 MINUTES 27 SECONDS EAST, A DISTANCE OF 24.74 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 57 DEGREES 59 MINUTES 39 SECONDS EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE A DISTANCE 74.46 FEET AND A CENTRAL ANGLE OF 142 DEGREES 12 MINUTES 48 SECONDS;

THENCE NORTH 85 DEGREES 20 MINUTES 46 SECONDS EAST, A DISTANCE OF 69.99 FEET TO A POINT ON A CURVE WHOSE CENTER BEARS NORTH 85 DEGREES 20 MINUTES 46 SECONDS EAST A DISTANCE OF 733.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE A DISTANCE 181.48 FEET AND A CENTRAL ANGLE OF 14 DEGREES 11 MINUTES 09 SECONDS;

THENCE SOUTH 18 DEGREES 50 MINUTES 10 SECONDS EAST, A DISTANCE OF 387.56 FEET;

THENCE SOUTHWESTERLY A DISTANCE OF 219.27 FEET ALONG A CURVE WHOSE CENTER BEARS SOUTH 71 DEGREES 09 MINUTES 50 SECONDS WEST A DISTANCE OF 667.00 FEET;

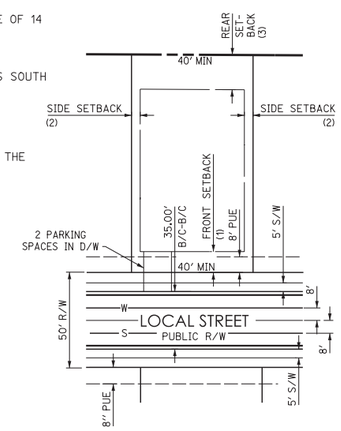
THENCE SOUTH 00 DEGREES 00 MINUTES 02 SECONDS EAST, A DISTANCE OF 105.00 FEET;

THENCE SOUTH 44 DEGREES 59 MINUTES 52 SECONDS WEST, A DISTANCE OF 28.29 FEET;

THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS WEST, A DISTANCE OF 471.35 FEET TO THE POINT OF BEGINNING;

TRACT F (BASIN C) NOTE:

TRACT F CONSISTS OF A PORTION OF BASIN C THAT CAPTURES STORM WATER FROM THE ORANGETREE DEVELOPMENT TO THE NORTH AND EAST. THIS PROPTION OF THE BASIN IS BEING EXPANDED, AT THE REQUEST OF THE CITY OF CHANDLER, TO HANDLE THE APPROPRIATE FLOW BEING DISCHARGED TO IT. THIS TRACT IS NOT BEING CONSIDERED A PART OF THIS DEVELOPMENT AND IS DESIGNED TO CAPTURE AND STORM WATER RUNOFF FROM THE DEVELOPED SITE. BASINS A THROUGH C ARE DESIGNED TO RETAIN THE STORM WATER RUNOFF FROM THE SITE.

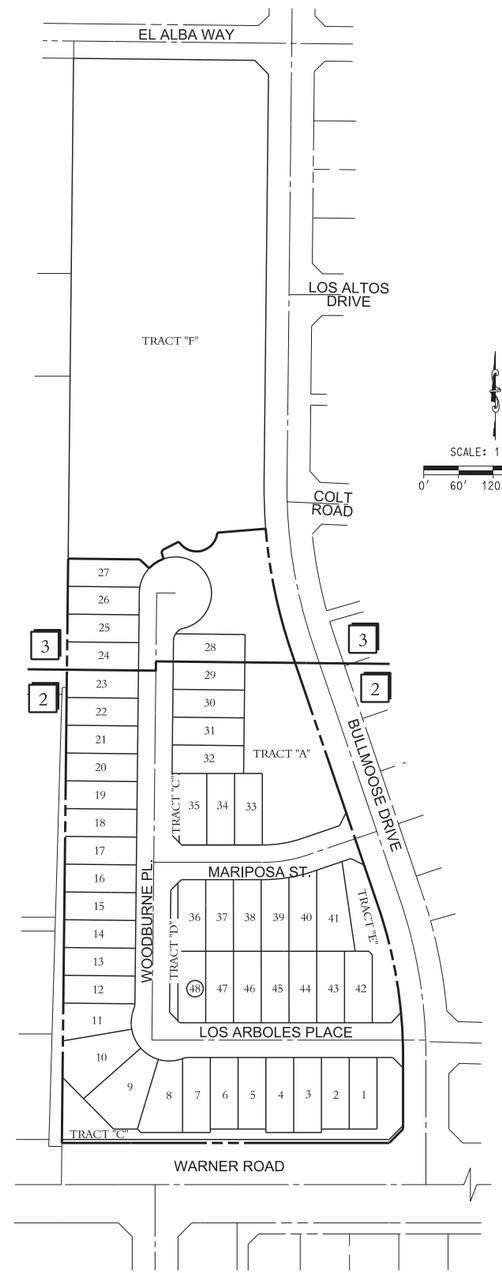


TYPICAL LOT LAYOUT - 40' WIDE MIN.

(1) 13' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM BACK OF SIDEWALK

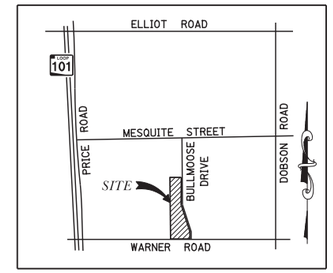
(2) 5' MIN.

(3) 10' MIN.



SCALE: 1"=120'

0' 60' 120' 240'



VICINITY MAP

N.T.S.

APPLICANT/OWNER/DEVELOPER:

K HOVNANIAN GREAT WESTERN HOMES, LLC
20830 N. TATUM BLVD., SUITE 250
PHOENIX, AZ 85050

CONTACT: CHUCK CHISHOLM
EMAIL: CCHISHOLM@KHOV.COM
PHONE: (480) 824-4175

ENGINEER:

3 ENGINEERING
6370 E. THOMAS ROAD
SUITE 200
SCOTTSDALE, ARIZONA 85251
CONTACT: MATTHEW J. MANCINI, P.E.
PHONE: (602) 334-4387
EMAIL: MATT@3ENGINEERING.COM

PROJECT DESCRIPTION:

THIS PROJECT IS PROPOSED AS A DETACHED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A NET DENSITY OF 6.01 LOTS/AC. STANDARD LOT SIZES VARY WITH A MINIMUM LOT DIMENSION OF 40' x 100'. THE PROJECT PROPOSES A TOTAL OF 48 LOTS WITH PUBLIC ROADWAYS, PUBLIC WATER, AND PUBLIC SEWER.

UTILITIES:

TELEPHONE	- CENTURY LINK/ COX
ELECTRIC	- SALT RIVER PROJECT (SRP)
GAS	- SOUTHWEST GAS COMPANY
CABLE TV	- COX COMMUNICATIONS
SEWER	- CITY OF CHANDLER
WATER	- CITY OF CHANDLER
POLICE/FIRE	- CITY OF CHANDLER
REFUSE	- CITY OF CHANDLER

ASSESSORS PARCEL NO.

APN 302-79-503

BASIS OF BEARING:

THE BASIS OF BEARING IS THE WEST LINE OF TRACT "A", BEARS NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST PER BK.213 PG. 22 M.C.R.

BENCHMARK:

CITY OF CHANDLER BENCHMARK 19A - SECTION 17, T1S, R5E, NEW 3" CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, BETWEEN ELLIOT RD AND WARNER RD, 290' EAST OF DOBSON RD AT INTERSECTION OF SHAWNEE DR AND YUCCA ST. (NORTHING, 852701.682, EASTING, 712690.766)
ELEV. = 1192.622
EQUATION = 1.834
ELEV. = 1194.46 (NAVD '88)

LEGEND

	PROPERTY / BOUNDARY LINE
	CENTERLINE
	EASEMENT
LP	EXISTING LIGHT POLE
ET	INDICATES EXISTING ELECTRIC TRANSFORMER
EB	EXISTING ELECTRIC BOX
WM	EXISTING WATER METER
BWV	EXISTING BACKFLOW PREVENTER VALVE
T	EXISTING BURIED TELEPHONE CONDUIT
E	EXISTING BURIED ELECTRIC CONDUIT
8"W WV	EXISTING WATER LINE,VALVE & SIZE
FH	EXISTING FIRE HYDRANT
8"S	EXISTING SEWER LINE & SIZE
8"W	PROPOSED WATER
8"S	PROPOSED SEWER
	PROPOSED MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED MONUMENT
	SUBDIVISION CORNER
	TAPPING SLEEVE & VALVE
PUE	PUBLIC UTILITY EASEMENT
VNAE	VEHICULAR NON-ACCESS EASEMENT
B/C	BACK OF CURB
LS	LANDSCAPE
(TYP)	TYPICAL
C&G	CURB & GUTTER
S/W	SIDEWALK
R/W	RIGHT-OF-WAY
D/W	INDICATES REQUIRED D/W LOCATION
SWE	SIDEWALK EASEMENT
SVE	SIGHT VISIBILITY EASEMENT

INDEX OF SHEETS	
	DESCRIPTION
PUP01	COVER SHEET
PUP02-03	PRELIMINARY UTILITY PLAN

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or Click Arizona811.com

BENCHMARK

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA
COVER SHEET

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
Date Signed 03/7/23
ARIZONA, U.S.A.

EXPIRES: 12/31/2024

3engineering
planning civil engineering surveying

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ENGINEER D. MANN | DESIGNER D. MANN | CAD TECH PHILIP Y.

3 ENGINEERING, LLC
6370 E. THOMAS ROAD
SUITE # 200
SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387
FAX: (602) 490-3200
WWW.3ENGINEERING.COM

DATE: 3/7/23

PROJECT NO. 5232

SHEET NO. PUP01
1 of 3

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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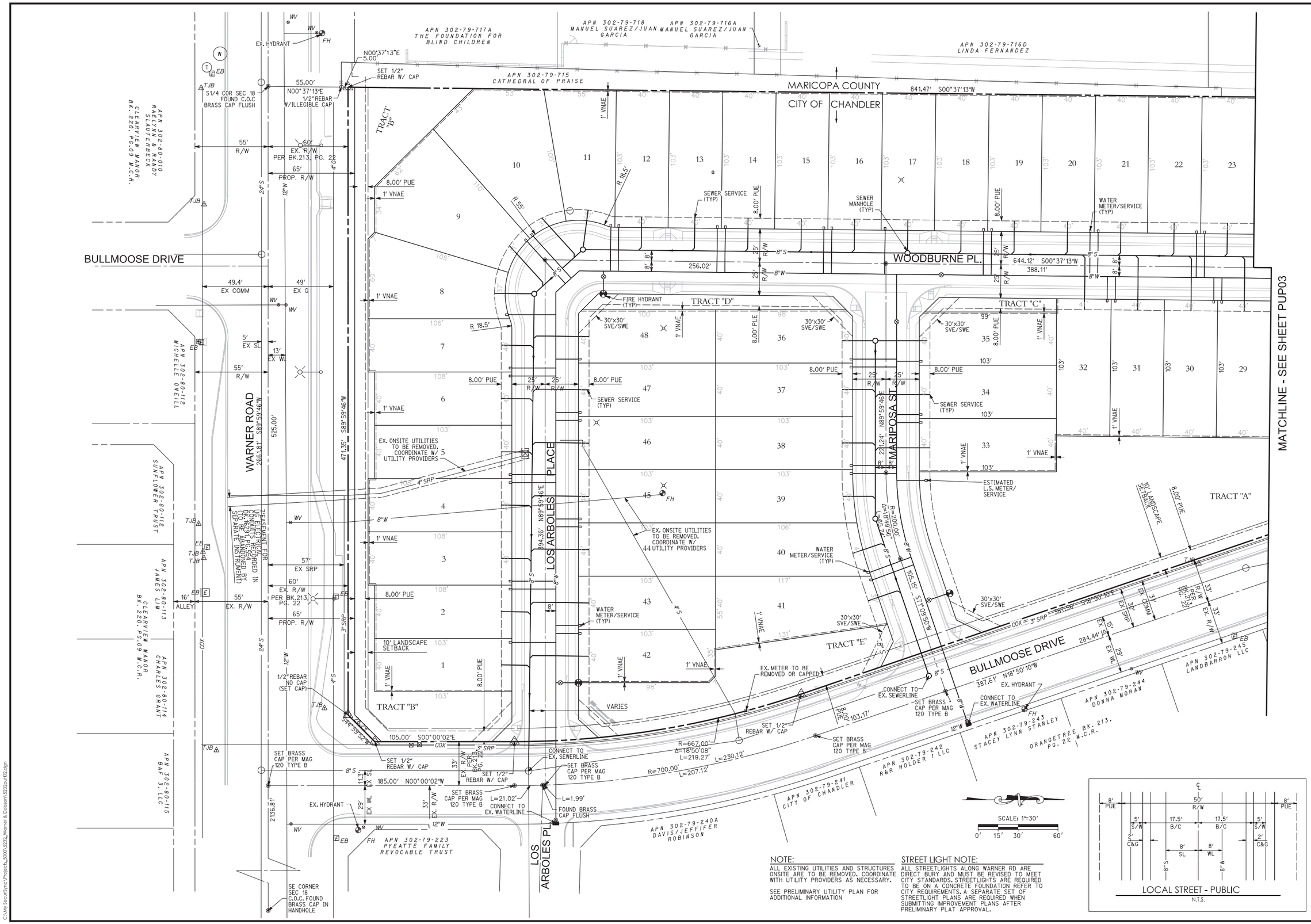

NOTE:
ALL EXISTING UTILITIES AND STRUCTURES ONSITE ARE TO BE REMOVED. COORDINATE WITH UTILITY PROVIDERS AS NECESSARY.

SEE PRELIMINARY UTILITY PLAN FOR ADDITIONAL INFORMATION

STREET LIGHT NOTE:
ALL STREETLIGHTS ALONG WARNER RD ARE DIRECT BURY AND MUST BE REVISED TO MEET CITY STANDARDS. STREETLIGHTS ARE REQUIRED TO BE ON A CONCRETE FOUNDATION REFER TO CITY REQUIREMENTS. A SEPARATE SET OF STREETLIGHT PLANS ARE REQUIRED WHEN SUBMITTING IMPROVEMENT PLANS AFTER PRELIMINARY PLAT APPROVAL.

Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or Click Arizona811.com

REVISIONS

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

PRELIMINARY UTILITY PLAN

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
3/7/23
Date Signed
ARIZONA, U.S.A.
EXPIRES: 12/31/2024

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civil engineering surveying planning

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SCOTTSDALE, ARIZONA 85251
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WWW.3ENGINEERING.COM

DATE: 3/7/23

PROJECT NO. 5232

SHEET NO. PUP02 2 of 3

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

DESIGNER: D. MANN | PM: P.M.B. | QC TECH: D. MANN

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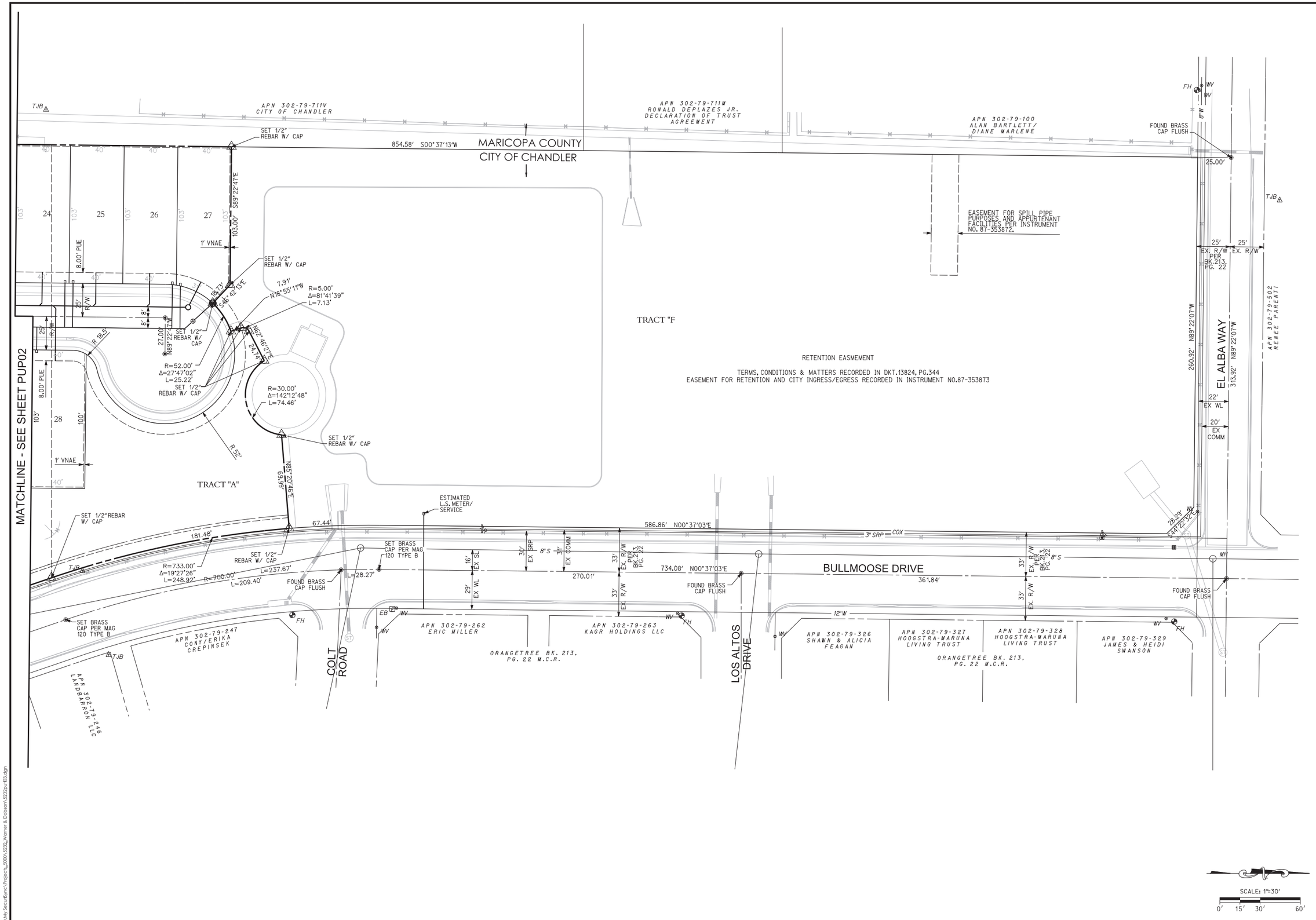

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Call 811 or Click Arizona811.com

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

PRELIMINARY UTILITY PLAN

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
3/7/23
Date Signed
ARIZONA, U.S.A.

EXPIRES: 12/31/2024

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planning civil engineering surveying

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CAD/TECH PHUE "X"
DESIGNER D. MANN
ENGINEER D. MANN

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DATE: 3/7/23

PROJECT NO.
5232

SHEET NO.
PUP03
3 of 3

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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Preliminary Drainage and Grading

PRELIMINARY GRADING PLAN FOR HONEYSUCKLE TRAIL

LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION:

A PORTION OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPACOUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 18;

THENCE NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST, ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 55.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WARNER ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;

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THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 25.22 FEET AND A CENTRAL ANGLE OF 27 DEGREES 47 MINUTES 02 SECONDS;

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THENCE NORTHEASTERLY ALONG SAID CURVE A DISTANCE 7.13 FEET AND A CENTRAL ANGLE OF 81 DEGREES 41 MINUTES 39 SECONDS;

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THENCE SOUTH 89 DEGREES 59 MINUTES 46 SECONDS WEST, A DISTANCE OF 471.35 FEET TO THE POINT OF BEGINNING;

RETENTION REQUIRED (100-yr 2-hr)

Sub-Area	Area	C-Value	P	10%	Volume	Volume
	(SF)	-	inches	-	CF	AF
A	46328	0.65	2.20	1.10	6073	0.14
B	4215	0.65	2.20	1.10	553	0.01
C	288509	0.65	2.20	1.10	37819	0.87
Total	**339052**				**44444**	**1.02**

V=1.1 x P x A x C

RETENTION REQUIRED (100-yr 2-hr) - AREA DRAINING TO EXISTING BASIN IN TRACT E

Sub-Area	Area	C-Value	P	10%	Volume	Volume
	(SF)	-	inches	-	CF	AF
Ex. Area 1	5715000	0.65	2.20	1.10	749141	17.20
Ex. Area 2	235300	0.35	2.20	1.10	16608	0.38
Total	**5950300**				**765750**	**17.58**

V=1.1 x P x A x C

Basin A

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
89	449			0.00
90	1159	304	804	0.02
91	3036	2098	2902	0.07
92	6112	4574	7476	0.17
		TOTAL	**7476**	**CF**

Volume Required	
Subbasin	
A	
(CF)	
6073	
Volume OK	CF

Basin B

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
-				0.00
-		0	0	0.00
90	93	47	47	0.00
91	1235	664	711	0.02
		TOTAL	**711**	**CF**

Volume Required	
Subbasin	
B	
(CF)	
553	
Volume OK	CF

Basin C

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
84	85623			0.00
85	90347	87985	87985	2.02
85.5	163068	63354	151339	3.47
86	169413	83120	234459	5.38
87	184072	176743	411202	9.44
88	198181	191127	602328	13.83
89	210963	204572	806900	18.52
		TOTAL	**806900**	**CF**

Volume Required	
Subbasin	
Existing Area 1 & 2 & C	
803568	
(CF)	
0	
Volume OK	CF

SEE TRACT F (BASIN C) NOTE ABOVE:

LEGEND

	PROPERTY / BOUNDARY LINE
1183	EXISTING CONTOUR ELEVATION
85	PROPOSED CONTOUR ELEVATION
+ 86.34	EXISTING ELEVATION
15.0	PROPOSED GROUND ELEVATION
1%	DIRECTION OF FLOW & SLOPE
G◆B	PROPOSED GRADE BREAK
PAD=	PROPOSED PAD ELEVATION
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAIN PIPE
D	PROPOSED DRYWELL
	TAPPING SLEEVE & VALVE
PUE	PUBLIC UTILITY EASEMENT
B/C	BACK OF CURB
LS	LANDSCAPE
C&G	CURB & GUTTER
LP	EXISTING LIGHT POLE
ET	INDICATES EX. ELECTRIC TRANSFORMER
EB	EXISTING ELECTRIC BOX
WM	EXISTING WATER METER
BWV	EX. BACKFLOW PREVENTER VALVE
T	EXISTING BURIED TELEPHONE CONDUIT
E	EXISTING BURIED ELECTRIC CONDUIT
8"W WV	EXISTING WATER LINE,VALVE & SIZE
FH	EXISTING FIRE HYDRANT
8"S	EXISTING SEWER LINE & SIZE
8"W	PROPOSED WATER
8"S	PROPOSED SEWER
	PROPOSED MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED MONUMENT
	SUBDIVISION CORNER
S/W	SIDEWALK
R/W	RIGHT-OF-WAY
SVE	SIGHT VISBILITY EASEMENT
SWE	SIDEWALK EASEMENT
93.00	TOP OF CURB ELEVATION

SCALE: 1"=120'

0' 60' 120' 240'

RETENTION SUMMARY

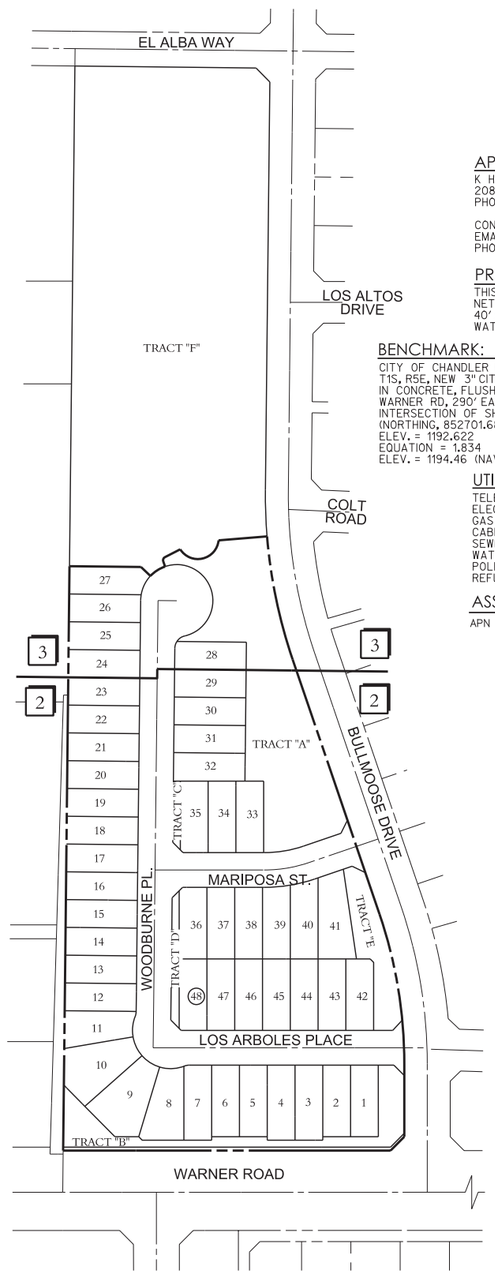
Basin	Volume Required	Volume Provided	Overflow to other Basin	Excess Volume	Notes
	CF	CF	CF	CF	-
A	6073	7476		1403	
B	553	711		158	
C	803568	806900		3332	
Total	**810194**	**815086**		**4892**	

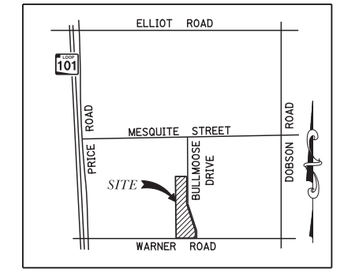
TOTAL EXCESS VOLUME 4892 CY

Basin Percolation Rates

BASIN	Design Rate of Bleedoff	Basin Volume Required (NOT INC. OFFSITE)	Dry-Up Time	Drywells Needed (36 hrs)	Drywells Used
	(cfs)	(cf)	(hr)	#	#
A	0.1	6073	16.9	0.47	1
B	0.1	553	1.5	0.04	1
C	0.1	37819	105.1	2.92	3

NOTES:
USE 1 DRYWELL
NO DRYWELL - 1FT BASIN
USE 3 DRYWELL





VICINITY MAP
N.T.S.

APPLICANT/OWNER/DEVELOPER:

K HOVNANIAN GREAT WESTERN HOMES, LLC
20830 N. TATUM BLVD., SUITE 250
PHOENIX, AZ 85050

CONTACT: CHUCK CHISHOLM
EMAIL: CCHISHOLM@KHOV.COM
PHONE: (480) 824-4175

ENGINEER:

3 ENGINEERING
6370 E. THOMAS ROAD
SUITE 200
SCOTTSDALE, ARIZONA 85251
CONTACT: MATTHEW J. MANCINI, P.E.
PHONE: (602) 334-4387
EMAIL: MATT@3ENGINEERING.COM

PROJECT DESCRIPTION:

THIS PROJECT IS PROPOSED AS A DETACHED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A NET DENSITY OF 6.01 LOTS/AC. STANDARD LOT SIZES VARY WITH A MINIMUM LOT DIMENSION OF 40' x 100'. THE PROJECT PROPOSES A TOTAL OF 48 LOTS WITH PUBLIC ROADWAYS, PUBLIC WATER, AND PUBLIC SEWER.

BENCHMARK:

CITY OF CHANDLER BENCHMARK 19A - SECTION 17, T1S, R5E, NEW 3" CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, BETWEEN ELLIOT RD AND WARNER RD, 290' EAST OF DOBSON RD AT INTERSECTION OF SHAWNEE DR AND YUCCA ST. (NORTHING, 852701.682, EASTING, 712690.766)
ELEV. = 1192.622
EQUATION = 1.834
ELEV. = 1194.46 (NAVD '88)

BASIS OF BEARING:

THE BASIS OF BEARING IS THE WEST LINE OF TRACT "A", BEARS NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST PER BK.213 PG. 22 M.C.R.

FLOODPLAIN INFORMATION:

FIRM: 04013C2710L
PANEL NUMBER: 2710
PANEL DATE: 10/16/2013
SUFFIX: L
FIRM DATE: 10/16/2013
FIRM ZONE: X-SHADED
BASE FLOOD ELEV.: N/A

UTILITIES:

TELEPHONE	- CENTURY LINK/ COX
ELECTRIC	- SALT RIVER PROJECT (SRP)
GAS	- SOUTHWEST GAS COMPANY
CABLE TV	- COX COMMUNICATIONS
SEWER	- CITY OF CHANDLER
WATER	- CITY OF CHANDLER
POLICE/FIRE	- CITY OF CHANDLER
REFUSE	- CITY OF CHANDLER

ASSESSORS PARCEL NO.

APN 302-79-503

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
PGD01	COVER SHEET
PGD02-03	PRELIMINARY GRADING AND DRAINAGE PLANS
PGD04	SECTIONS

STORM WATER DISPOSAL:

STORM WATER RETENTION CALCULATIONS FOR THE SITE ARE SHOWN HEREON. REFER TO THE PRELIMINARY GRADING & DRAINAGE PLANS SHEETS FOR STORM DRAINAGE SYSTEM LAYOUT. THE SITE IS REQUIRED TO DISPOSE OF ALL STORM WATER WITHIN 36 HOURS, AND IS PROPOSED TO DO SO VIA DRYWELL SYSTEMS.

MISCELLANEOUS NOTES:

RETAINING WALLS TO BE DETERMINED AT FINAL DESIGN.

STREET LIGHTS TO BE DETERMINED AT FINAL DESIGN.

NATIVE PLANT INVENTORY TO BE COMPLETED DURING FINAL DESIGN.

TRACT F (BASIN C) NOTE:

TRACT F CONSISTS OF A PORTION OF BASIN C THAT CAPTURES STORM WATER FROM THE ORANGETREE DEVELOPMENT TO THE NORTH AND EAST. THIS PROPTION OF THE BASIN IS BEING EXPANDED, AT THE REQUEST OF THE CITY OF CHANDLER, TO HANDLE THE APPROPRIATE FLOW BEING DISCHARGED TO IT. THIS TRACT IS NOT BEING CONSIDERED A PART OF THIS DEVELOPMENT AND IS DESIGNED TO CAPTURE AND STORM WATER RUNOFF FROM THE DEVELOPED SITE. BASINS A THROUGH C ARE DESIGNED TO RETAIN THE STORM WATER RUNOFF FROM THE SITE.

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or Click Arizona811.com

ENGINEER

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
Date Signed 3/7/23
ARIZONA, U.S.A.
EXPIRES: 12/31/2024

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CAD/TECH PHUE "X"
DESIGNER D. MANN
ENGINEER D. MANN

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DATE: 3/7/23

PROJECT NO. 5232

SHEET NO. PGD01
1 of 4

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

COVER SHEET

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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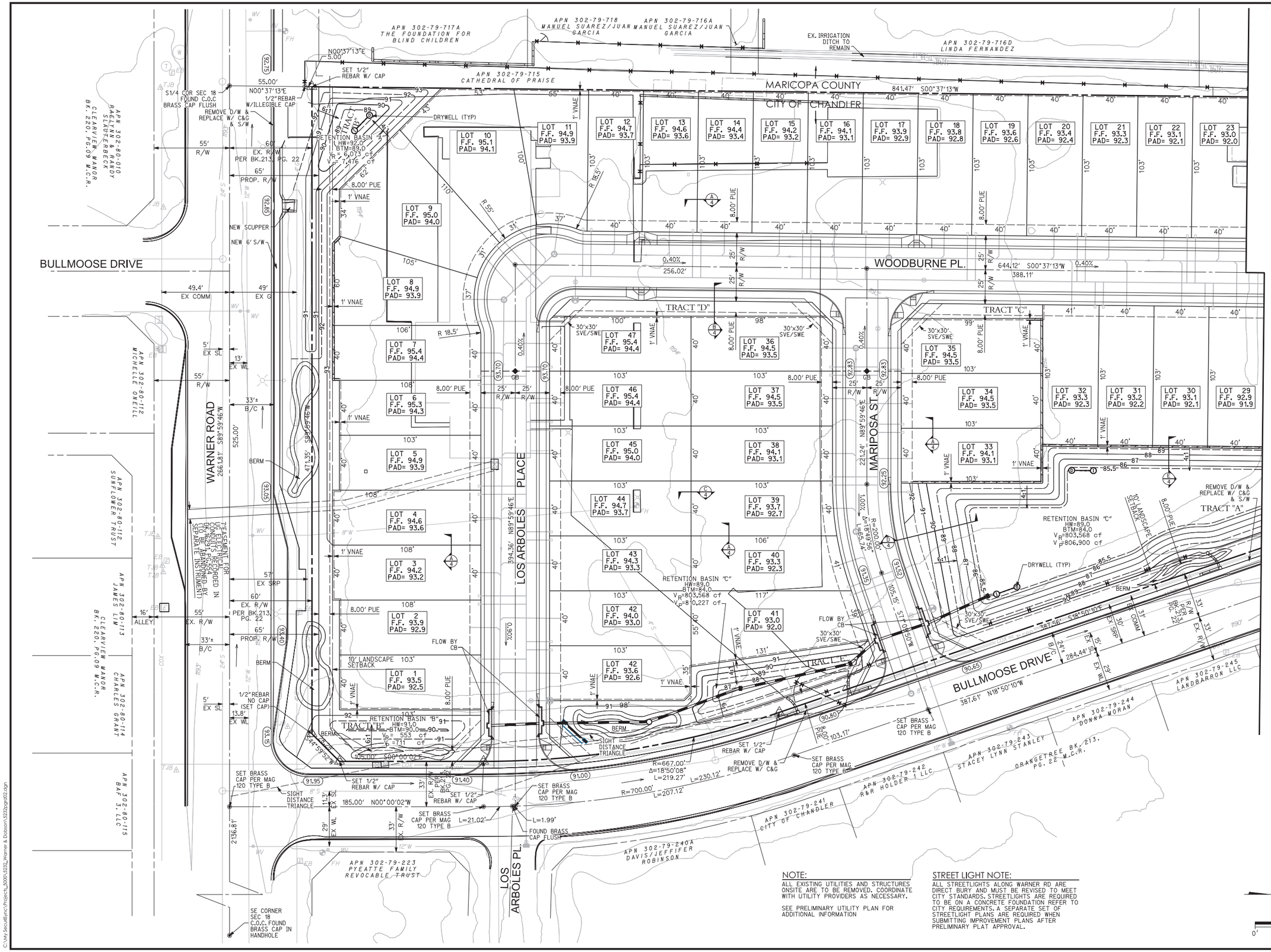

MATCHLINE - SEE SHEET PGD03

NOTE:

ALL EXISTING UTILITIES AND STRUCTURES ONSITE ARE TO BE REMOVED. COORDINATE WITH UTILITY PROVIDERS AS NECESSARY.

SEE PRELIMINARY UTILITY PLAN FOR ADDITIONAL INFORMATION

STREET LIGHT NOTE:

ALL STREETLIGHTS ALONG WARNER RD ARE DIRECT BURY AND MUST BE REVISED TO MEET CITY STANDARDS. STREETLIGHTS ARE REQUIRED TO BE ON A CONCRETE FOUNDATION REFER TO CITY REQUIREMENTS. A SEPARATE SET OF STREETLIGHT PLANS ARE REQUIRED WHEN SUBMITTING IMPROVEMENT PLANS AFTER PRELIMINARY PLAT APPROVAL.

SCALE: 1"=30'

0' 15' 30' 60'

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ENGINEER

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3/7/23
Date Signed
ARIZONA, U.S.A.
EXPIRES: 12/31/2024

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

PRELIMINARY GRADING PLAN

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ENGINEER: D. MANN | DESIGNER: D. MANN | CAD TECH: PHUB V.

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DATE: 3/7/23

PROJECT NO. 5232

SHEET NO. PGD02
2 of 4

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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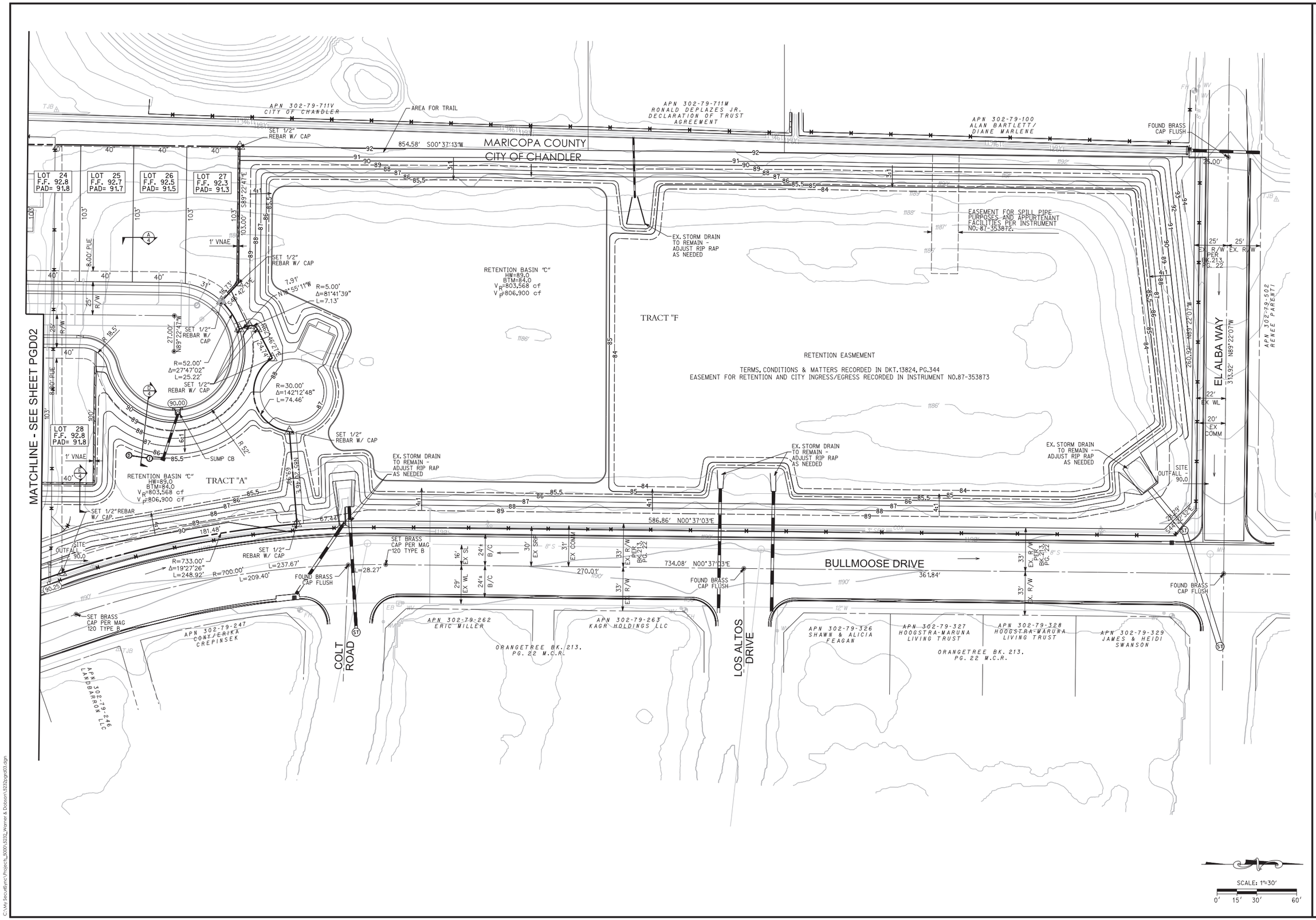

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SNOWBASIN

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

PRELIMINARY GRADING PLAN

Registered Professional Engineer (Civil)
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3/7/23
Date Signed
ARIZONA, U.S.A.

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DATE: 3/7/23

PROJECT NO.
5232

SHEET NO.
PGD03
3 of 4

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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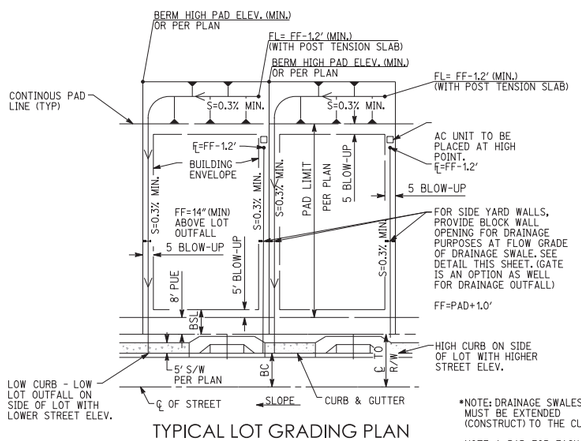
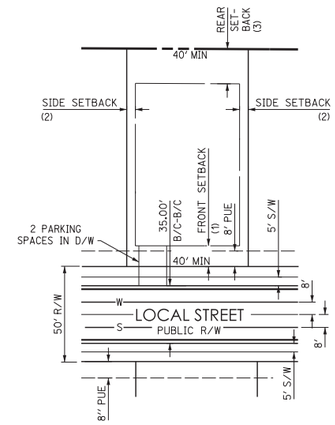


TYPICAL LOT GRADING PLAN DRAINAGE TO FRONT YARD

N.T.S

- NOTE: DRAINAGE SWALES MUST BE EXTENDED (CONSTRUCT) TO THE CURB.
- NOTE: A PAD FOR EACH BUILDING LOT SHALL BE ESTABLISHED AND ROUGH GRADING OF EACH BUILDING LOT MUST BE ESTABLISHED AT TIME OF STEM WALL INSPECTION.
- NOTE: LOTS WITH SIDE YARDS LESS THAN 5-FEET SHALL PLACE THE A/C CONDENSER UNITS IN THE REAR YARD.

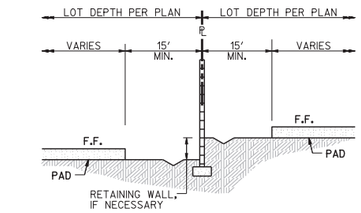


TYPICAL LOT LAYOUT - 40' WIDE MIN.

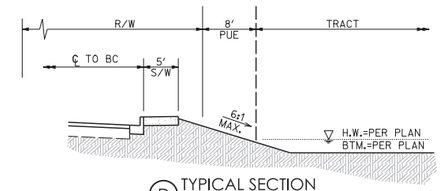
(1) 13' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM BACK OF SIDEWALK

(2) 5' MIN.

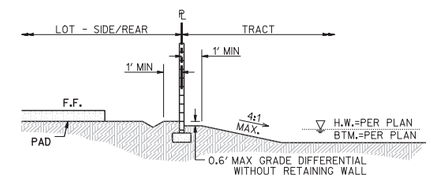
(3) 10' MIN.



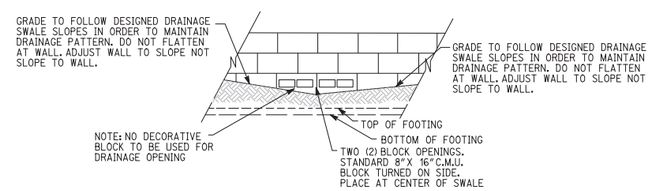
Ⓒ TYPICAL SECTION
N.T.S. TYPICAL REAR TO REAR LOTS



Ⓓ TYPICAL SECTION
N.T.S.



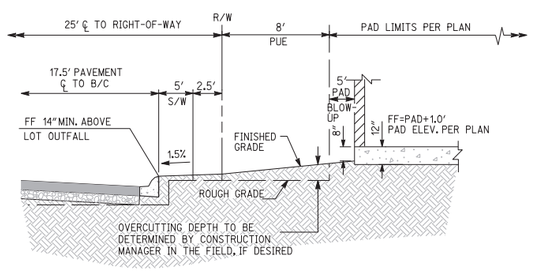
Ⓔ TYPICAL SECTION
N.T.S.



WALL OPENING DETAIL AT SIDE YARD SWALES

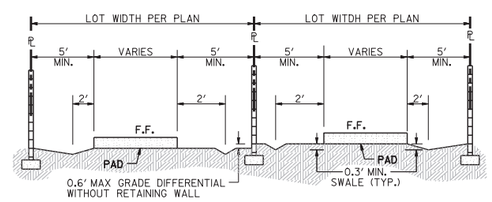
N.T.S.

NOTE: THIS IS TO BE AT TIME OF HOME CONSTRUCTION

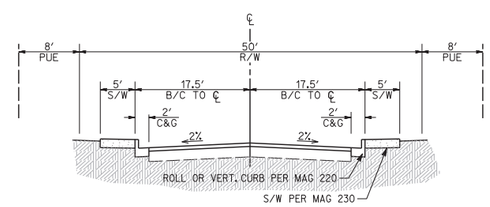


TYPICAL FRONT YARD SECTION

N.T.S.

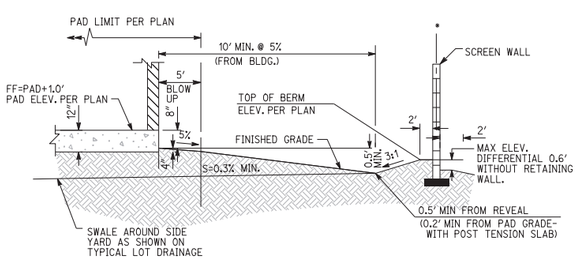


Ⓐ TYPICAL SECTION
N.T.S. TYPICAL SIDE LOTS



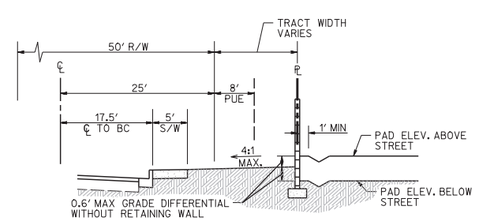
LOCAL STREET - PUBLIC R/W

N.T.S.

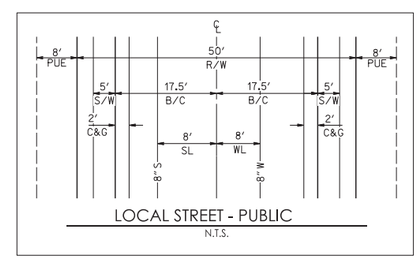


TYPICAL REAR YARD SECTION DRAINAGE TO FRONT YARD

N.T.S.



Ⓑ TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



LOCAL STREET - PUBLIC

N.T.S.

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ENGINEER

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA

PRELIMINARY SECTIONS

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
3/7/23
Date Signed
ARIZONA, U.S.A.

EXPIRES: 12/31/2024

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DATE: 3/7/23

PROJECT NO. 5232

SHEET NO. PGD04
4 of 4

CITY OF CHANDLER LOG. NO. PLH22-0018 & PLT22-0017

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Preliminary Plat

PRELIMINARY PLAT FOR HONEYSUCKLE TRAIL

LOCATED IN A PORTION SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION:

A PORTION OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A, ORANGETREE, ACCORDING TO THE PLAT RECORDED IN BOOK 213 OF MAPS, PAGE 22, RECORDS OF MARICOPA COUNTY, ARIZONA.

TRACT AREA AND USE TABLE

TRACT	AREA	USE
A	1.12 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
B	0.29 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
C	0.02 AC	LANDSCAPE, DRAINAGE, PUE
D	0.05 AC	LANDSCAPE, DRAINAGE, PUE
E	0.20 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
TOTAL	1.68 AC	

TRACT F AREA = 4.55 ACRES

LOT TABLE

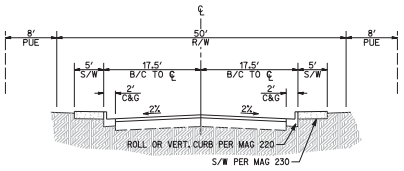
LOT #	AREA (SF)	AREA (ACRES)
1	4,111	0.09
2	4,120	0.09
3	4,320	0.10
4	4,320	0.10
5	4,120	0.09
6	4,120	0.09
7	4,316	0.10
8	5,272	0.12
9	6,859	0.16
10	6,724	0.15
11	4,531	0.10
12	4,120	0.10
13	4,120	0.10
14	4,120	0.10
15	4,120	0.10
16	4,120	0.10
17	4,120	0.10
18	4,120	0.10
19	4,120	0.10
20	4,120	0.10
21	4,120	0.10
22	4,120	0.10
23	4,120	0.10
24	4,120	0.10
25	4,120	0.10
26	4,122	0.10
27	4,358	0.10
28	4,111	0.10
29	4,120	0.10
30	4,120	0.10
31	4,120	0.10
32	4,178	0.10
33	4,120	0.10
34	4,120	0.10
35	4,112	0.10
36	4,108	0.09
37	4,120	0.10
38	4,120	0.10
39	4,160	0.10
40	4,433	0.10
41	5,694	0.13
42	4,114	0.09
43	4,120	0.10
44	4,120	0.10
45	4,120	0.10
46	4,120	0.10
47	4,120	0.10
48	4,108	0.09

NOTES:

VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

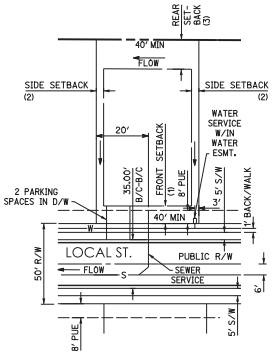
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.



LOCAL STREET - PUBLIC R/W

N.T.S.



TYPICAL LOT LAYOUT - 40' WIDE MIN.

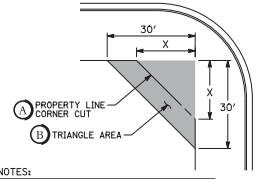
(1) 13' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM BACK OF SIDEWALK

(2) 5' MIN.

(3) 10' MIN. (5'MIN. ACCESSORY STRUCTURE)

THE CITY'S MUNICIPAL CODE CHAPTER 48-10.2 (PUBLIC WORKS - SUBDIVISION) SPECIFIES A RANGE OF TRIANGULAR CUTOFFS FOR THE CORNER PROPERTY LINE AT INTERSECTIONS. ADDITIONALLY, FIGURE 4-D BELOW REQUIRES THAT THE 30'x30' AREA BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN 2' AND 6' IN HEIGHT.

FIGURE 4-D
TRIANGLE AREA



NOTES:

(A) X= 10' FOR ALLEYS
15' FOR LOCAL-LOCAL INTERSECTIONS.
20' FOR ALL OTHER INTERSECTIONS.

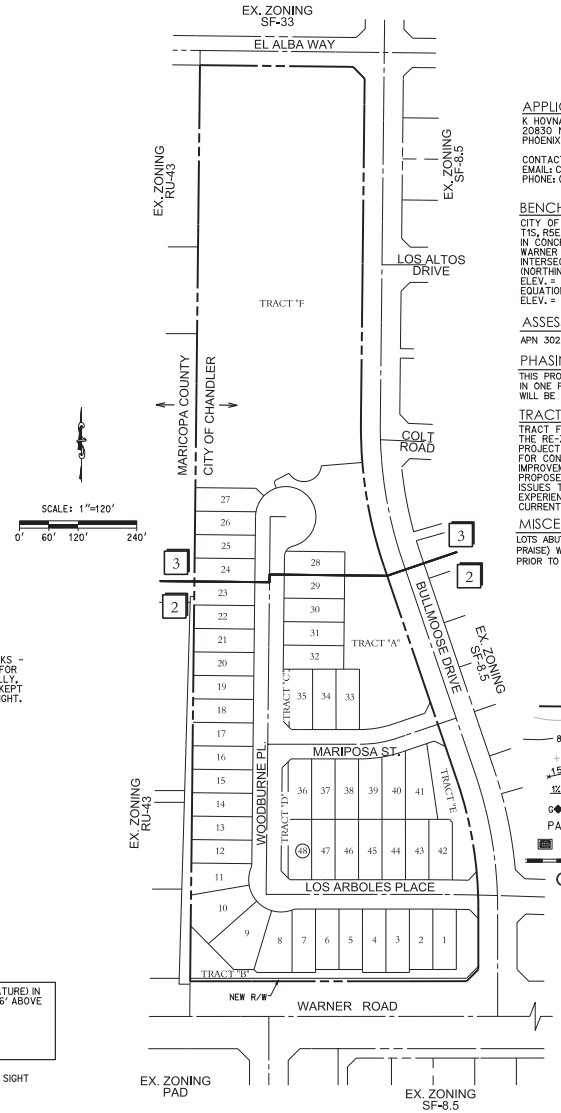
PER MUNICIPAL CODE CHAPTER 48-10.2

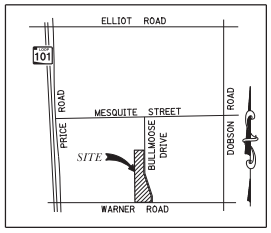
(B) GROUND COVER, FLOWERS, AND GRANITE LESS THAN 2' (MATURE) IN HEIGHT AND/OR TREES WITH BRANCHES NOT LESS THAN 6' ABOVE GROUND IN THIS AREA.

TREES SHALL NOT BE SPACED LESS THAN 8' APART

PER MUNICIPAL CODE CHAPTER 35-2205

SEE STANDARD DETAIL NO. C-246, C-247 AND C-248 FOR SIGHT DISTANCE REQUIRED AT DRIVEWAYS AND INTERSECTIONS.





VICINITY MAP

N.T.S.

APPLICANT/OWNER/DEVELOPER:

K HOVNANIAN GREAT WESTERN HOMES, LLC
20830 N. TATUM BLVD., SUITE 250
PHOENIX, AZ 85050

CONTACT: CHUCK CHISHOLM
EMAIL: CCHISHOLM@KHOV.COM
PHONE: (480) 824-4175

ENGINEER:

3 ENGINEERING
6370 E. THOMAS ROAD
SUITE 200
SCOTTSDALE, ARIZONA 85251
CONTACT: MATTHEW J. MANCINI, P.E.
PHONE: (602) 334-4387
EMAIL: MATT@3ENGINEERING.COM

BENCHMARK:

CITY OF CHANDLER BENCHMARK 19A - SECTION 17, T1S, R5E, NEW 3" CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, BETWEEN ELLIOT RD AND WARNER RD, 290' EAST OF DOBSON RD AT INTERSECTION OF SHAWNEE DR AND YUCCA ST. (NORTHING, 852701.682, EASTING, 712690.766)
ELEV. = 1192.622
EQUATION = 1.834
ELEV. = 1194.46 (NAVD '88)

BASIS OF BEARING:

THE BASIS OF BEARING IS THE WEST LINE OF TRACT "A", BEARS NORTH 00 DEGREES 37 MINUTES 13 SECONDS EAST PER BK.213 PG. 22 M.C.R.

FLOODPLAIN INFORMATION:

FIRM: 04013C2710L
PANEL NUMBER: 2710
PANEL DATE: 10/16/2013
SUFFIX: L
FIRM DATE: 10/16/2013
FIRM ZONE: X-SHADED
BASE FLOOD ELEV.: N/A

ASSESSORS PARCEL NO.

APN 302-79-503

PHASING NOTE:

THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE. ALL INFRASTRUCTURE WILL BE COMPLETED IN ONE PHASE.

TRACT F ZONING:

TRACT F IS NOT BEING CONSIDERED WITH THE RE-ZONE APPLICATION FOR THIS PROJECT. IT IS SHOWN ON THIS PRE-PLAT FOR CONTEXT PURPOSES AND TO SHOW THE IMPROVEMENTS TO THE BASIN THAT ARE PROPOSED IN ORDER TO ELEVIATE DRAINAGE ISSUES THE CITY OF CHANDLER IS EXPERIENCING WITHIN THE BASIN THAT CURRENTLY EXISTS AT THIS LOCATION.

MISCELLANEOUS NOTES:

LOTS ABUTTING PARCEL 302-79-715 (CATHEDRAL OF PRAISE) WILL BE DEEDED TO INDIVIDUAL HOMEOWNERS PRIOR TO CIVIL IMPROVEMENT PLAN APPROVAL

SITE DATA:

TOTAL LOTS	48
GROSS AREA	8.05 ACRES
NET AREA	7.99 ACRES
NET DENSITY	6.01 DU/AC
MAX. BLDG. HEIGHT	30' (2-STORY)
SETBACKS	SEE TYPICAL LOT DETAIL ON SHEET 1
AREA OF LOTS	4.68 ACRES
AREA OF OPEN SPACE	1.68 ACRES (20.87% GROSS, 21.03% NET)
AREA OF NEW OFFSITE R/W	0.06 ACRES
AREA OF NEW LOCAL STREETS R/W	1.63 ACRES
LOT SALES PROPOSED	YES
EX. ZONING	SF-33
PROPOSED ZONING	PAD

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
PP01	COVER SHEET
PP02-PP03	PRELIMINARY PLAT

LEGEND

	PROPERTY / BOUNDARY LINE
1183	EXISTING CONTOUR ELEVATION
85	PROPOSED CONTOUR ELEVATION
+ 86.34	EXISTING ELEVATION
15.0	PROPOSED GROUND ELEVATION
1%	DIRECTION OF FLOW & SLOPE
G◆B	PROPOSED GRADE BREAK
PAD=	PROPOSED PAD ELEVATION
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAIN PIPE
(D)	PROPOSED DRYWELL
	TAPPING SLEEVE & VALVE
PUE	PUBLIC UTILITY EASEMENT
MUTE	MULTI-USE TRAIL EASEMENT
B/C	BACK OF CURB
LS	LANDSCAPE
C&G	CURB & GUTTER
LP	EXISTING LIGHT POLE
ET	INDICATES EX. ELECTRIC TRANSFORMER
EB	EXISTING ELECTRIC BOX
WM	EXISTING WATER METER
BMV	EX. BACKFLOW PREVENTER VALVE
T	EXISTING BURIED TELEPHONE CONDUIT
E	EXISTING BURIED ELECTRIC CONDUIT
8"W WV	EXISTING WATER LINE, VALVE & SIZE
FH	EXISTING FIRE HYDRANT
8"S	EXISTING SEWER LINE & SIZE
8"W	PROPOSED WATER
8"S	PROPOSED SEWER
	PROPOSED MANHOLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED MONUMENT
	SUBDIVISION CORNER
S/W	SIDEWALK
R/W	RIGHT-OF-WAY
SVE	SIGHT VISIBILITY EASEMENT
SWE	SIDEWALK EASEMENT
93.00	TOP OF CURB ELEVATION

C.OC. LOG. NO. PLT22-0017

Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or visit Azbluestake.com

SHEET 1 OF 3

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA
COVER SHEET

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
Date Signed 5/8/23
ARIZONA, U.S.A.
EXPIRES: 12/31/2024

3engineering
planning civil engineering surveying
COPYRIGHT 2023 3 ENGINEERING, LLC
CHECKED: T.L.B.
DRAWN: D. HAWK
DESIGNED: D. HAWK

3 ENGINEERING, LLC
6370 E. THOMAS ROAD
SUITE # 200
SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387
FAX: (602) 494-5230
WWW.3ENGINEERING.COM

DATE: 5/8/23

PROJECT NO. 5232

SHEET NO. PP01
1 of 3

C.O.C. LOG. NO. PLT22-0017

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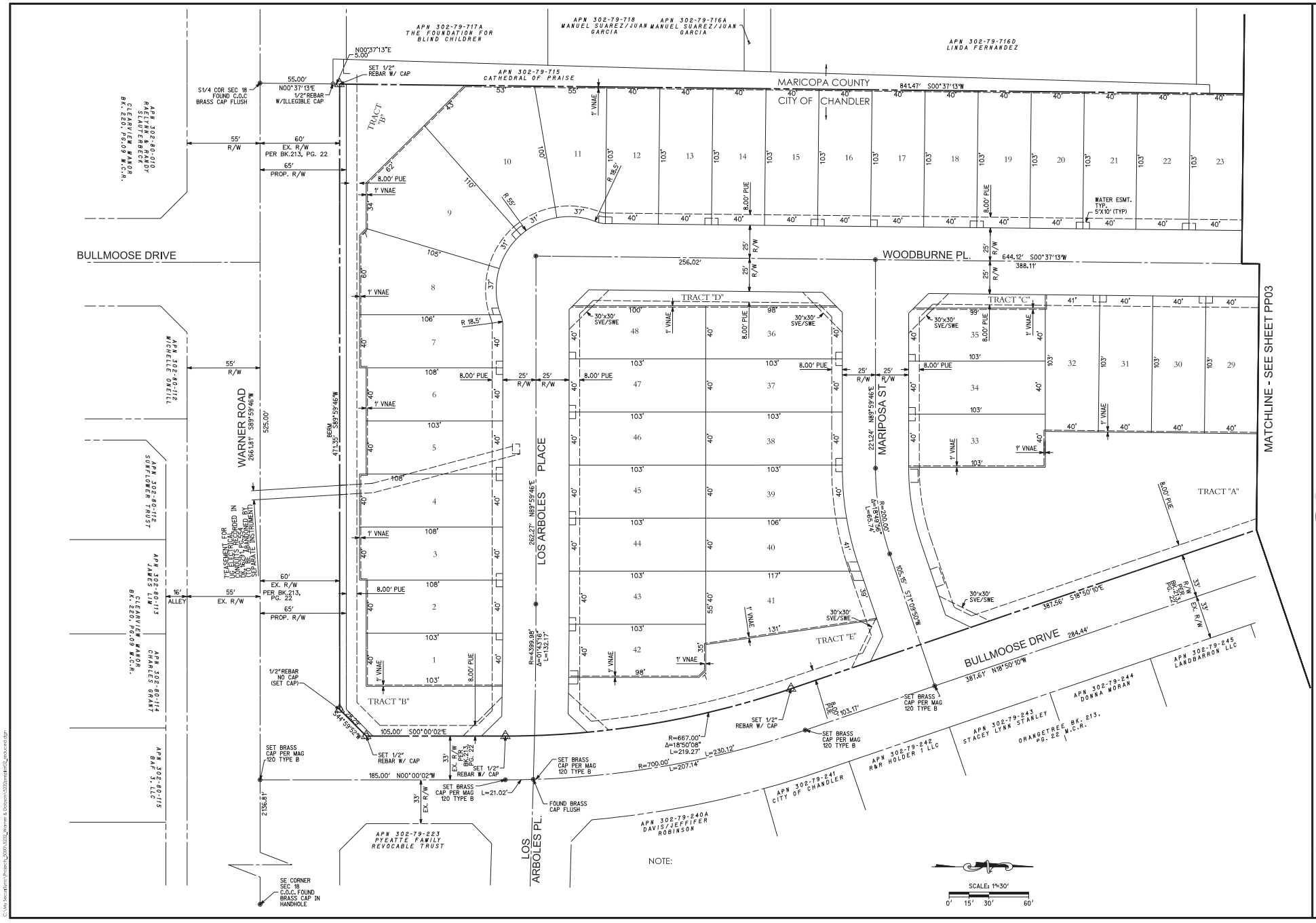

NOTE:

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA
PRELIMINARY PLAT

Registered Professional Engineer (Civil) CERTIFICATE NO. 45652 MATTHEW J. MANONI 5/8/23 ARIZONA, U.S.A.

EXPIRES: 12/31/2024

3 engineering
planning civil engineering surveying

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DRAWN: D. HAWK
CHECKED: D. HAWK

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WWW.3ENGINEERING.COM

DATE: 5/8/23

PROJECT NO. 5232

SHEET NO. PP02
2 of 3

C.O.C. LOG. NO. PLT22-0017

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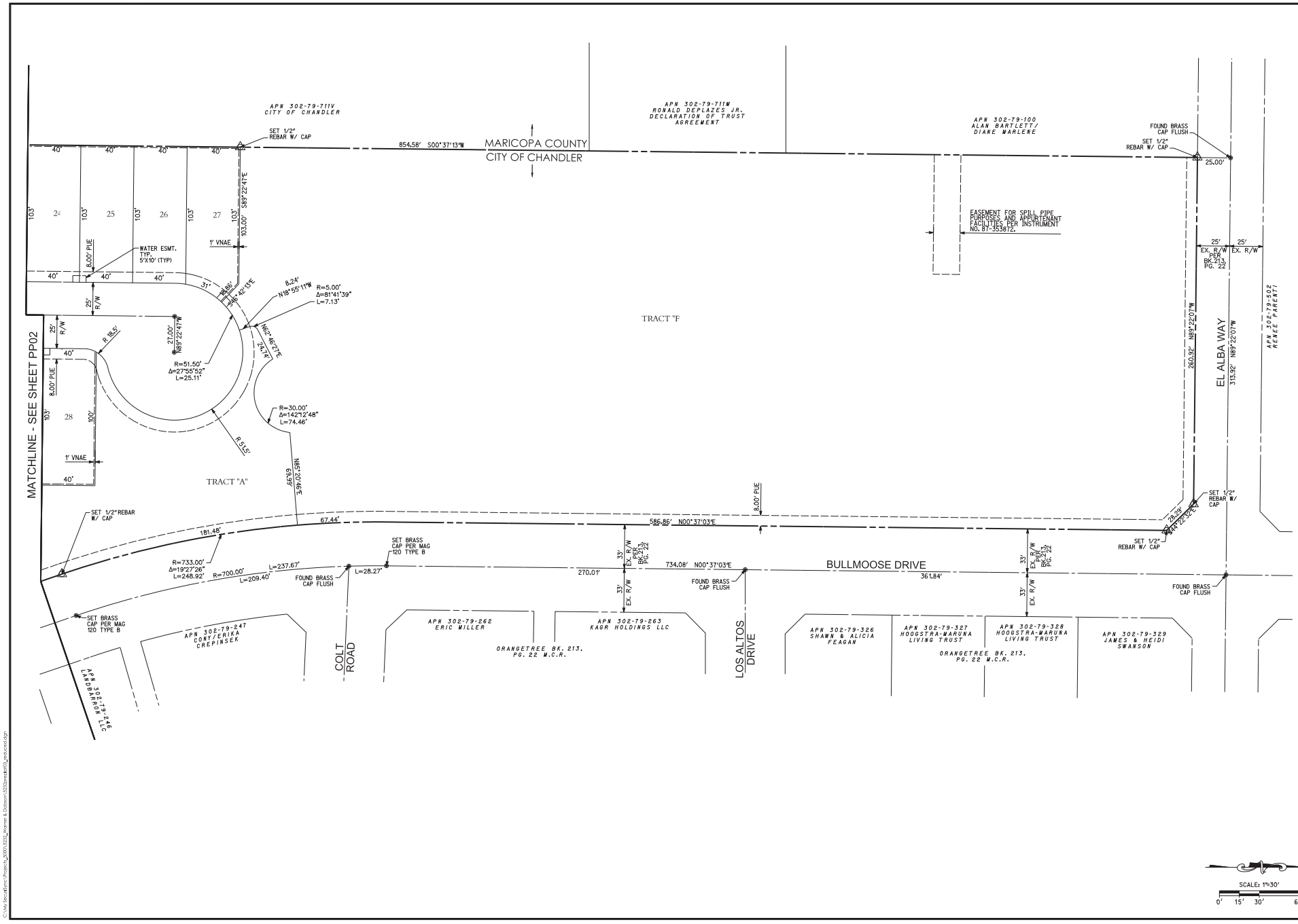

HONEYSUCKLE TRAIL
CHANDLER, ARIZONA
PRELIMINARY PLAT

Registered Professional Engineer (Civil)
CERTIFICATE NO. 45652
MATTHEW J. MANCINI
5/8/23
ARIZONA, U.S.A.

EXPIRES: 12/31/2024

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WWW.3ENGINEERING.COM

DATE: 5/8/23

PROJECT NO.
5232

SHEET NO.
PP03
3 of 3

C.O.C. LOG. NO. PLT22-0017