

CONCORD HOSPITALITY

**PRELIMINARY DEVELOPMENT PLAN
CASE NUMBER: PLH23-0012**



SEC of Cooper Road and Yeager Drive

2nd SUBMITTAL: MAY 2023
1st SUBMITTAL: FEBRUARY 2023

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Concord Hospitality

Extended Stay America

I. Introduction

A. Site Overview and Zoning History

The subject property is located at the southeast corner of Cooper Road and Yeager Drive and encompasses approximately 2.67 gross acres (the "Property").

The Property was zoned Planned Area Development (PAD) for C-2 Commercial uses in case Nos. DVR04-0037 and DVR09-0023 as part of the Chandler Airport Center PAD. The PAD designates this site as C-2 uses and a hotel is a permitted use in the C-2 zoning district in the Chandler Zoning Ordinance. The purpose of this application is to request Preliminary Development Plan (PDP) approval for a new 124-room hotel.

B. Proposed Development

Concord Hospitality (the "**Applicant**") proposes to develop a 4-story Extended Stay America hotel on the Property. As detailed further below, the development will be a 124-room hotel, 45' tall, and will include nearly 54,000 sf of building area. The proposed development will include amenities such as on-site laundry, a fitness center, and grab-n-go breakfast options. All rooms will be equipped with stocked kitchenettes for guests to take advantage of during longer business stays.

C. Relationship to Adjacent Properties

The Property is currently vacant. The Property is bordered by Yeager Drive to the north that an Arco gas station zoned C-2; Cooper Road to the west is vacant land zoned C-2; to the south which is vacant land zoned C-2, and to the east are office buildings zoned C-2. The surrounding properties are part of the Chandler Airport Center PAD.

D. General Plan Conformance

This request conforms to the City of Chandler General Plan which designates the Property as Employment uses, which allows C-2 and hotel uses.

E. Airpark Area Plan Conformance

The Property is located within the Chandler Airpark Area Plan which designates the Property as Innovation. The Innovation District support research and development, technical, creative and technology-forward businesses. The innovation zone encompasses more than 200+ contiguous acres, and it is expected that supporting retail and ancillary service uses are needed to support the employment expected within that District. Accordingly, a hotel use is consistent with the area plan and Innovation zone.

II. PDP

A. Process

This PDP will establish the site plan, development standards and development guidelines for the Property. Upon approval of this case, this document will set forth and establish a PDP and development guidelines.

B. Site Design

The site improvements and building location is ideally situated for this rectangular-shaped Property. The Property is designed around a large monumentation easement at the northwest corner of the site, and has ample landscape setbacks along its two street frontages consistent with the landscape and design them aesthetic represented in the Chandler Airport Center PAD.

The Property is accessed from each adjoining arterial street and utilizing a shared driveway with the property to the east. The primary entrance is on off Cooper Road where the main entry and lobby face. Secondary and tertiary entrances are accessed via public roads and/or via cross access easements with adjoining parcels. 139 parking spaces are evenly spaced around the building and meet city standard requirements, including the provision of required parking screen walls.

C. Development Standards

This PDP is subject to the PAD and C-2 zoning district of the Chandler Zoning Ordinance. Refer to Table 1 for a summary of development standards for this proposal.

Table 1 – Development Standards	
Development Standard	PDP
Building Height	45'
Building Setbacks	
Front (Cooper Road)	101'
Front (Yeager Dr)	102'
Side (east)	75'
Rear (south)	124'
Rear (Property Line Non-Street)	20'
Parking Lot Setbacks	
Along Cooper Road	30'
Along Yeager Dr.	39'
Required Parking	Parking Required: 124 spaces (1 sp/unit + 100sf/mtg) Parking Provided: 139 spaces

D. Architectural Design and Theme

It is the intent of this PDP to establish design criteria that will create an attractive, high-quality development, incorporating a sophisticated architectural style.

i. Building Massing & Articulation

The Premier Suites is the top of the line offering by Extended Stay America. The building scale is compatible with the surrounding developments, standing at just forty-five feet in height. The proposed building is of a quality and appearance that is consistent with the surrounding structures with earthy gray, beige, and brown finishes.

Upon arriving on the site, you are guided to the building entrance by the recognizable “picture frame” entry feature that is unique to the Premier Suites. This feature makes the primary entrance identifiable from the street, creating an approachable building with a sense of association within the community. The exterior walls to each side of this feature are recessed to aid in drawing focus to the building entry.

The Premier Suites exterior is broken up by projecting and recessing the exterior walls, with no exterior wall being more than fifty feet in length. These building intervals are emphasized by vertical pilaster which act as transitional massing elements, aiding in breaking up the horizontal nature of the building. The vertical pilasters extend above the adjacent roof line, creating three-dimensional treatments which enhance the architectural characteristics of the roof line as well as add interest and character to the building. The lowest level is separated from the upper portion with a distinct cornice located at the second-floor line, creating a wainscot with an earthy brown tone that grounds the building with the surrounding site. Vertical and horizontal reveals strategically placed around the perimeter tie the materials and design features together to provide an attractive and durable structure that will complement and improve the surrounding community.

ii. Building Materials

The building materials for the Premier Suites provide texture and scale that help the building fit into its surroundings. A combination of an exterior insulation and finish system, brick at the entry, metal coping along the roof lines, and metal canopies give a sense of permanence. The exterior color palette is made up of four different earthy browns and beiges to help emphasize the exterior features. High quality, non-operable Low-E windows, along with the added thermal resistance of the continuous exterior insulation system, provide an energy efficient building that is climatically responsive.

E. Landscaping

i. Landscape Theme

The proposed landscape theme for the site has been developed to complement the existing character in the Chandler Airport Center and provide a welcoming environment for hotel guests. The landscape palette has been selected primarily from the Arizona Department of Water Resources Low Water Use Plant List and from varieties that are arid adapted species common to the area. From these selections, native-drought tolerant highly adaptive-xeric plantings will be provided, along with a select assortment of trees and shrubs which offer seasonal interest, texture, form, color, and size.

The theme aims to soften the ground, middle, and overhead planes and provide curb appeal through a variety of plant sizes, and additional elements, all of which are organized in a manner that provides a clean and open landscape consistent with the area. The landscape palette will provide unity and continuity throughout the property.

The ROW improvements that have already been established along Cooper Road and Yeager Drive will be preserved in place where possible. Water intensive turf areas disturbed with grading activities for retention will be removed and planted with new low water use plant varieties. Enhanced landscaping will be provided at both the Cooper Road and Yeager Drive entrances to provide a welcoming sense of arrival and to emphasize wayfinding to the site access points. Three-foot-six-inch-tall decorative screen walls consisting of smooth and split-face CMU block will be located along the perimeter of the property to screen parking.

Landscaping will be provided in accordance with the Chandler Zoning Ordinance, unless otherwise modified herein.

ii. Landscape Setbacks

The landscape setbacks are shown on the site plan (see architectural). All front yard areas and street right-of-way areas located between developed on-site improvements and the back of existing or future public sidewalks or street curbs will be landscaped, except needed access driveways. The landscaping densities will be in accordance with the code required 1 (one) tree and six (6) shrubs per 30 lineal feet. Landscaping will meet or exceed all landscaping required by the Code.

F. Grading & Drainage Summary

The existing Property was previously graded to convey existing flows to temporary retention basins located near the western, and northern boundaries of the site. The Property slopes generally to the southwest to an existing retention basin at the southwest corner that extends across the western boundary of the site. There is a second retention basin along E. Yeager Drive which currently treats flows from the E. Yeager Drive right-of-way, but only accepts a minor amount of flow from the Property.

The proposed grading will be per the City of Chandler design standards and the site finish floor elevations will be set as to ensure failure of any regional drainage structures will not result in flooding of new structures. The Property will convey stormwater runoff as sheet flow to a series of storm drain inlets and curb openings spread throughout the Property. Onsite storm drainage will be routed to an underground retention storage area and at grade retention basins located throughout the site.

This project will be required to provide permanent retention for the adjacent half street right of way for both E. Yeager Drive and S. Cooper Road. Storm water from S. Cooper Road will be conveyed to a retention basin along the roadway frontage. The above ground retention basin along E. Yeager Drive will be sized for the 100-year 2-hour storm conditions plus the additional 10% per City of Chandler requirements. This configuration is consistent with its existing drainage conditions. All retention systems will be sized to retain the 100yr-2hr storm plus an additional 10% per Chandler requirements. All above ground and underground retention systems will be bled-off via natural percolation and drywells within the required 36-hours.

G. Utilities

Offsite public water and sewer were completed by the master developer. Onsite water and sewer will be private systems. Fire systems will have a separate fire service line to service the building. Backflow devices will be installed near the street entry off of E. Yeager Drive with FDC connections located on the building. All fire hydrants are currently existing which will service the building.

Domestic water and irrigation water will be serviced by meters at the right of way line along E. Yeager Drive.

Domestic sewer will be discharged to a proposed sewer service from an existing on sewer manhole which then conveys flows to S. Cooper Road.

H. Signage

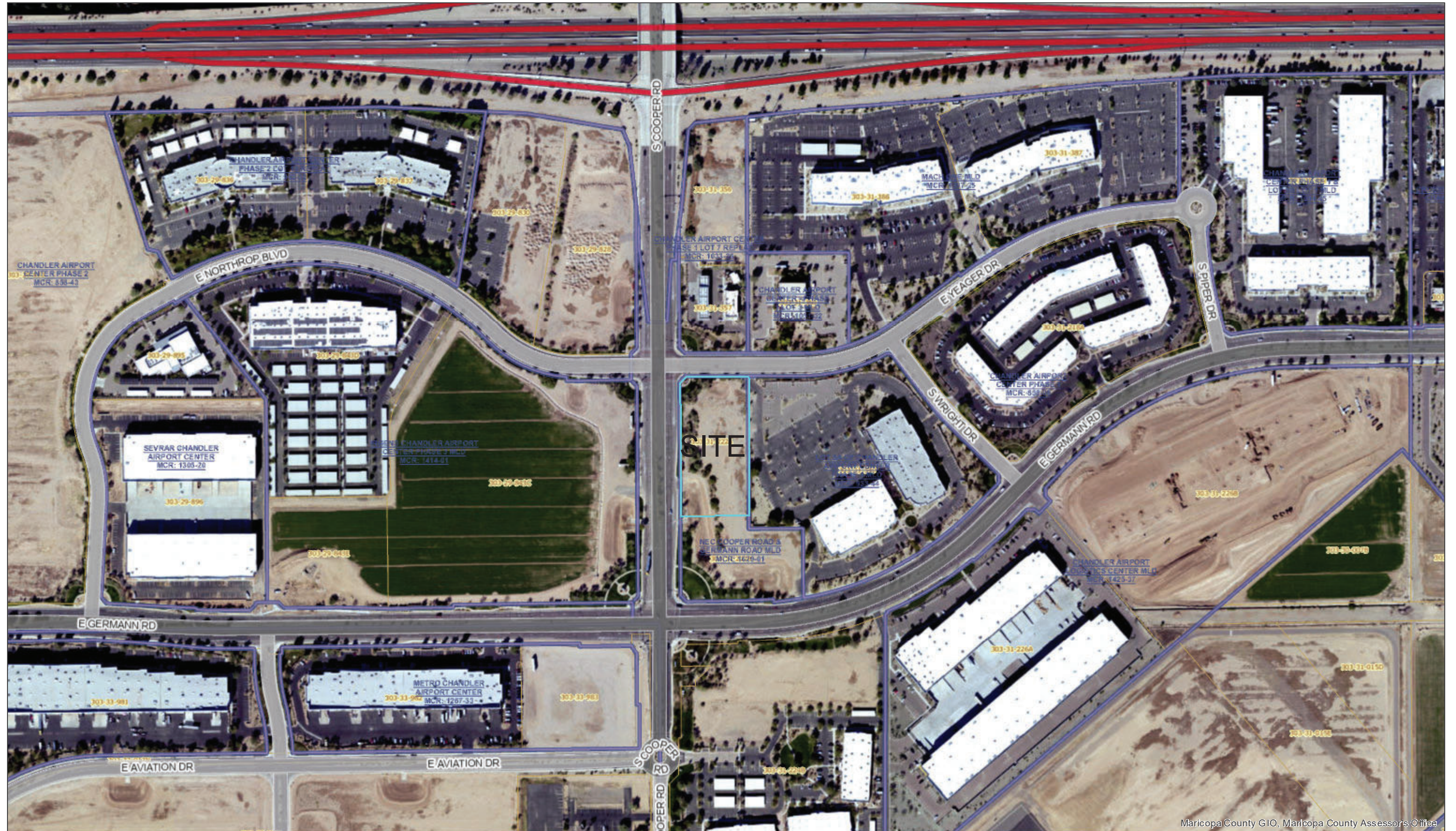
All signage shall conform with the City of Chandler Sign Code.

III. Summary

The proposed PDP is in full conformance with the General Plan and underlying commercial zoning. The PDP sets forth exceptional site development and architectural design criteria that will have a positive influence on the area. Because the intended use of this Property is compatible with the surrounding land use patterns, this request will not alter acceptable land use patterns to the detriment of the area. The proposed use and request are compatible and consistent with the surrounding area.

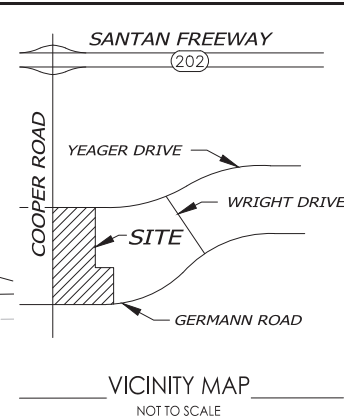
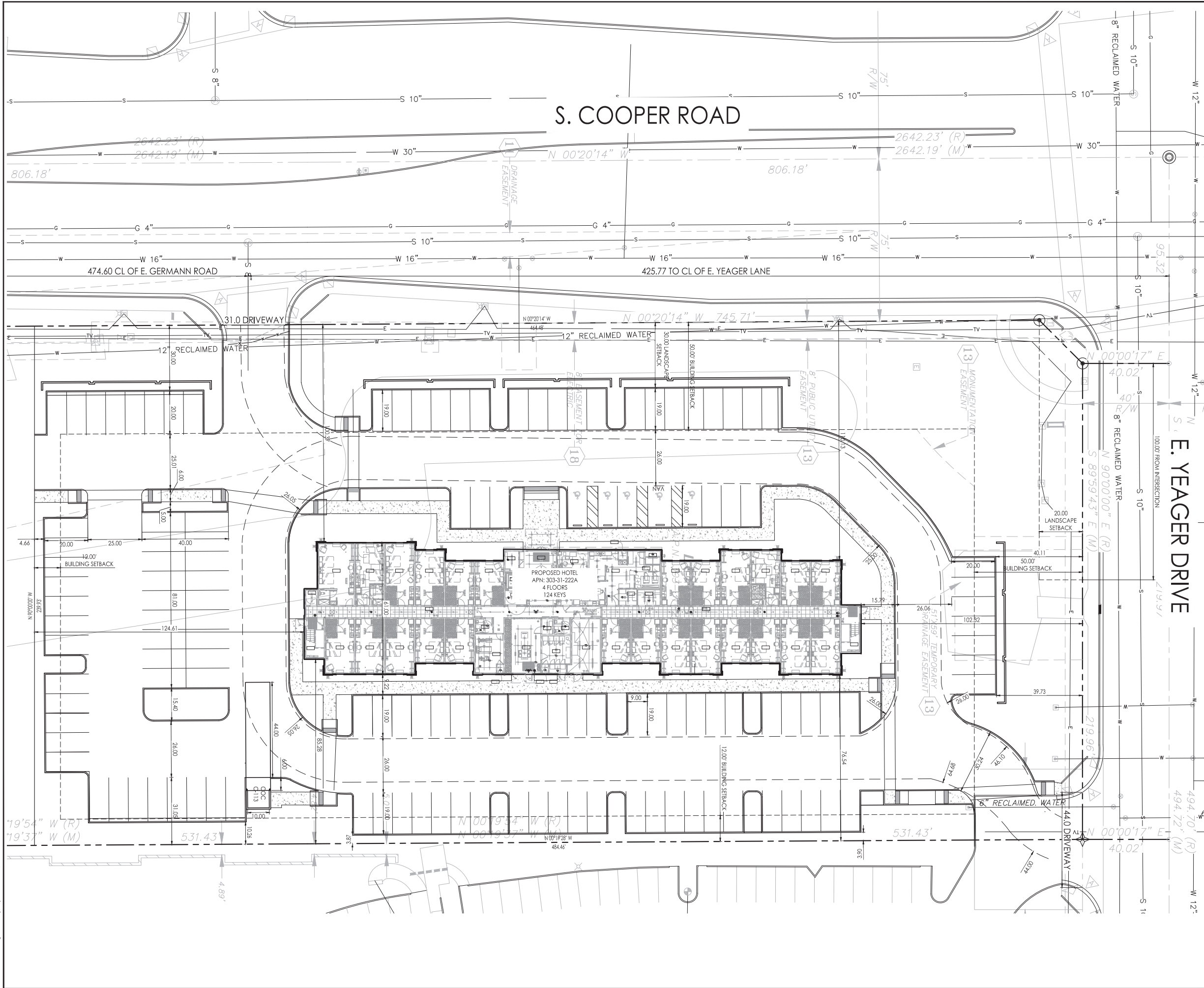
TAB A

SITE AERIAL MAP



TAB B

107401 SITE PLAN.dwg modified by kbellel on Mar 20, 23 12:06 PM



DEVELOPMENT STANDARDS	
PERIMETER LANDSCAPE SETBACKS	
COOPER ROAD	30'
E YEAGER DRIVE (FIRST 100 FT FROM INTERSECTION)	30'
EAST SIDE YARD (PER 35-1902 (4) (a) 1d)	N/A
SOUTH SIDE YARD/SHARED INTERIOR LOT LINE (PER 35-1902 (4) (A) 1D)	N/A
PERIMETER BUILDING SETBACKS	
COOPER ROAD/ FRONT YARD	50'
EAST SIDE YARD	12'
SOUTH SIDE YARD/SHARED	12'
BUILDING HEIGHT	
BUILDING HEIGHT	45'
LOT COVERAGE 13,727 SF /115,869.6 SF =	11.85%
PARKING	
REQUIRED: 1 SP/UNIT + 100 SF/MTG	124
ADA SPACES	5
PARKING REQUIRED	124
PARKING PROVIDED	129

OVERALL SITE DATA	
NET DEVELOPABLE AREA:	116,228 SF OR 2.67 AC.
PARCEL NUMBER:	303-31-222A
ZONING:	PAD - CHANDLER AIRPORT CENTER- DVR04-0037 DB / DVR09-0023
BUILDING INFORMATION:	4 FLOORS, 124 KEYS
TOTAL BUILDING SQUARE FOOTAGE:	53,877 SF
BUILDING CONSTRUCTION TYPE:	5A
OCCUPANCY:	R-1
AUTOMATIC FIRE SPRINKLER SYSTEM:	NFPA 13

OWNER:
CHANDLER AIRPORT CENTER CAC, INC.
2021 SHIPWAY LANE
NEWPORT BEACH CALIFORNIA
CONTACT: DOUG STRODE
PH: 213.247.2519
EMAIL: DOUGSTRODE@GMAIL.COM

DEVELOPER
CONCORD WP COL GP HOLDINGS II, LLC
11410 COMMON OAKS DRIVE
RALEIGH, NORTH CAROLINA 27614
CONTACT: BRIAN DUNCAN
PH: 714.727.7431
EMAIL: BRIAN.DUNCAN@CONCORDHOTELS.COM

CIVIL ENGINEER:
KBELL ENGINEERING, LLC
1355 N. 86TH PLACE
MESA, AZ 85207
CONTACT: KELLY J. BELL, PE
PH: 602.980.8246
EMAIL: KBELL@KBELLENG.COM

ARCHITECT
SMP DESIGN
11500 NORTHLAKE DRIVE
SUITE 330
CINCINNATI, OHIO 45249
CONTACT: JASON DOBROZSI, AIA
PH: 513.445.8490
EMAIL: JASON.DOBROZSI@SMP.DESIGN



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PH: 602.980.8246 Copyright © 2023

CERTIFICATE NO. 57116
KELLY J. BELL
Professional Engineer
State of Arizona U.S.A.

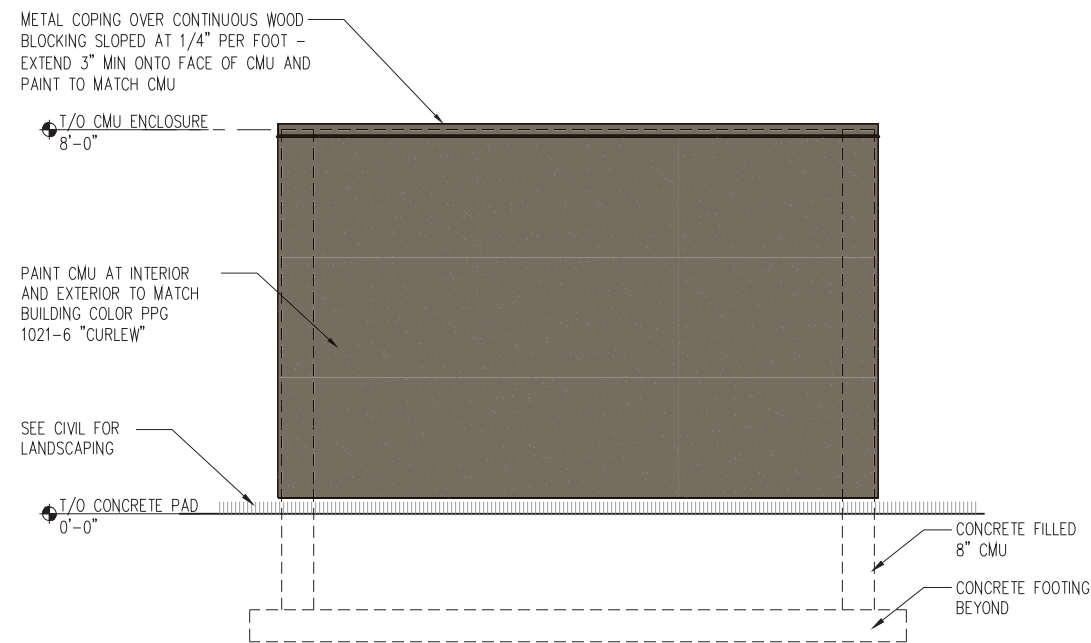
NOT FOR CONSTRUCTION

CLIENT:
CONCORD
HOSPITALITY
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11410 COMMON OAKS DRIVE
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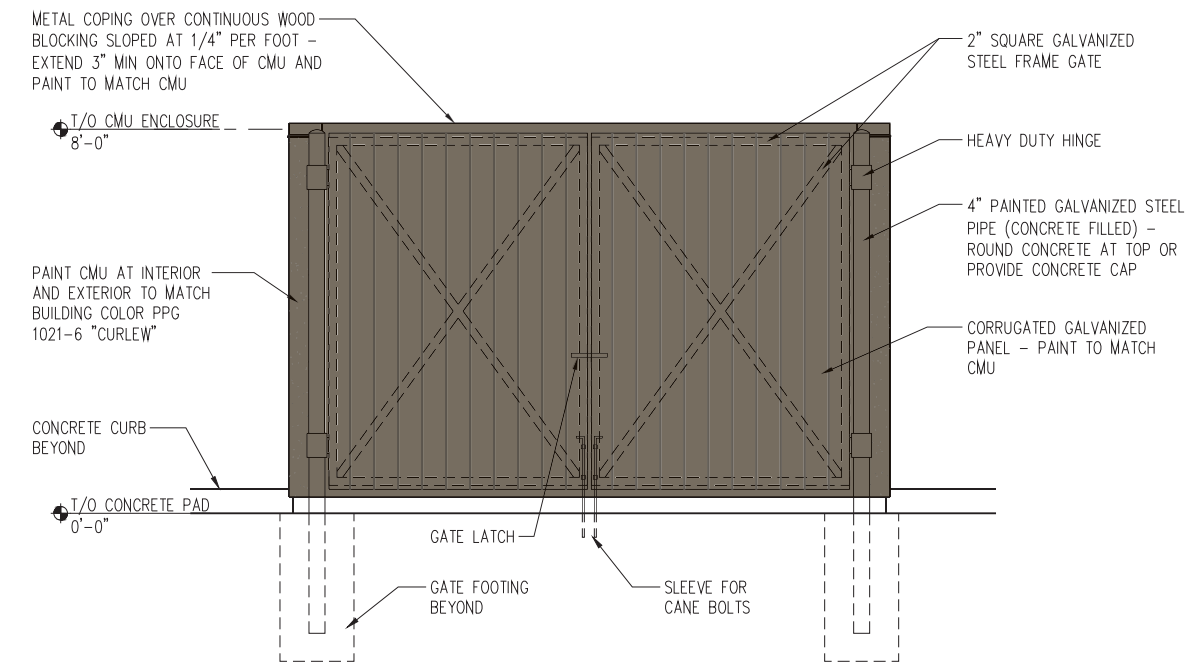
CLIENT:
CONCORD HOSPITALITY
PROJECT NAME/ ADDRESS:
EXTENDED STAY AMERICA
SHEET NAME:
PRELIMINARY TECHNICAL SITE PLAN

PROJECT NO: 1074-01
DESIGNED BY: KJB
DRAWN BY: KJB

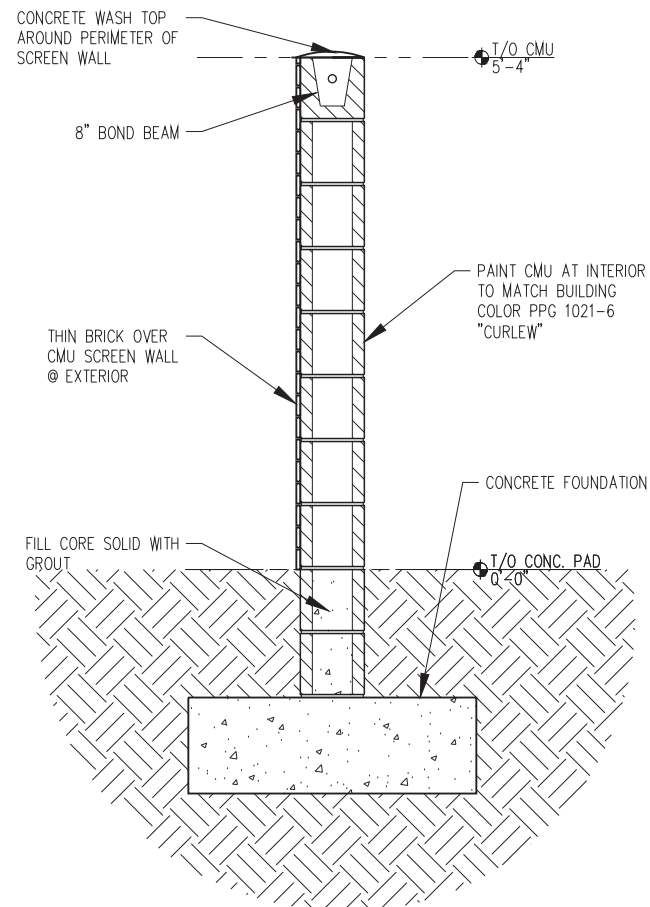
SHEET
C-1



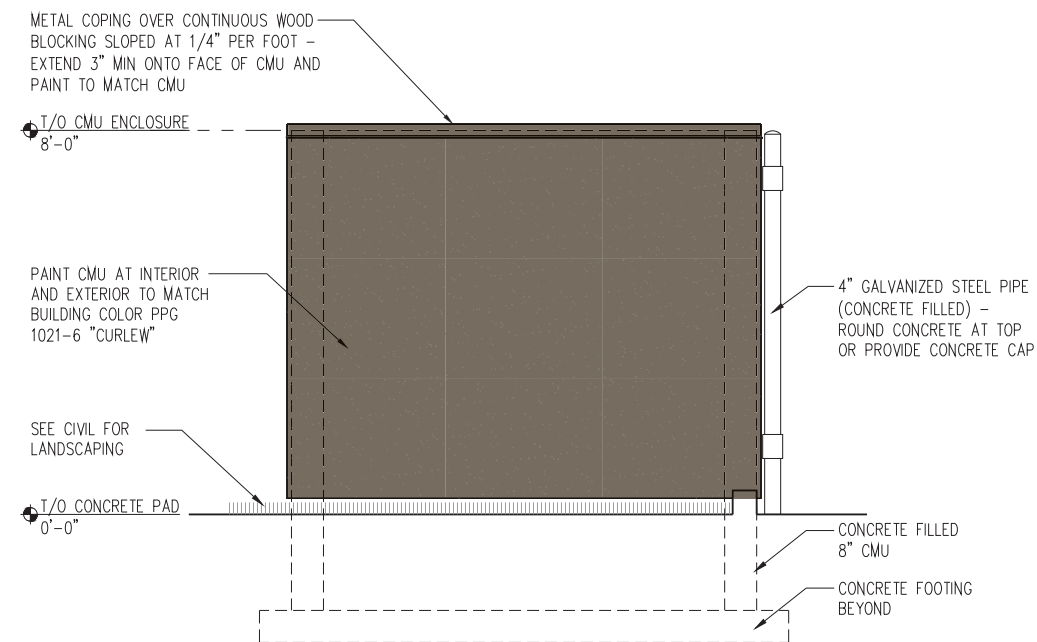
4 DUMPSTER ENCLOSURE REAR ELEVATION
Scale: 1/4" = 1'-0"



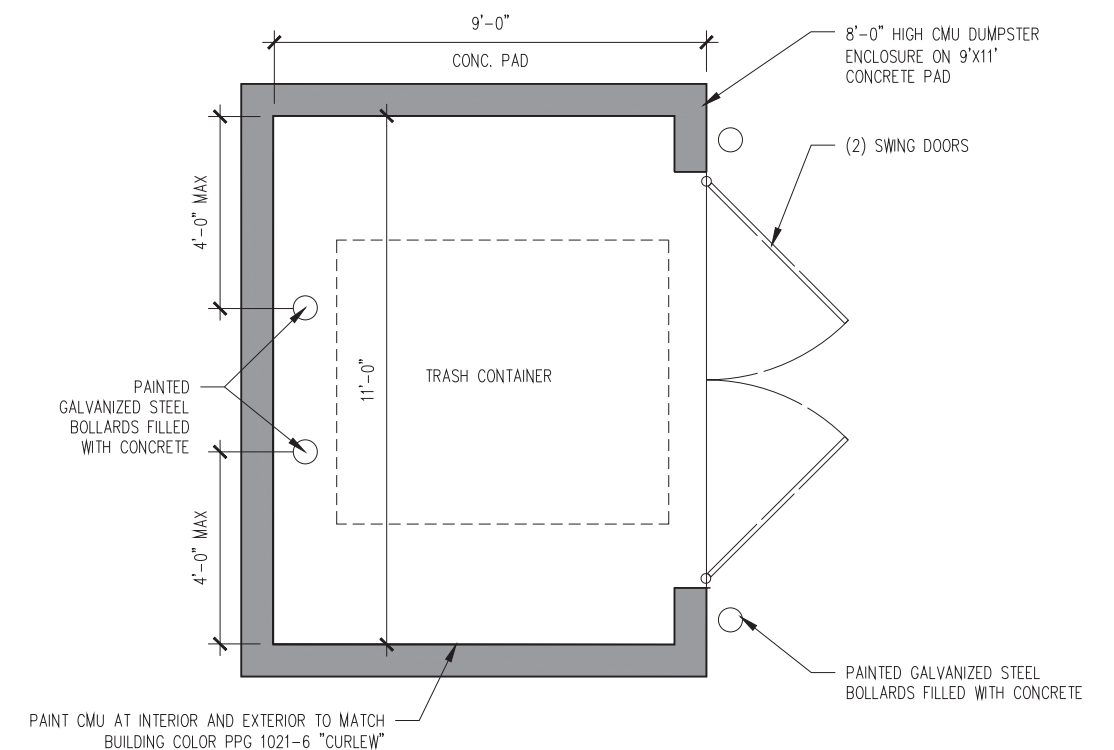
2 DUMPSTER ENCLOSURE FRONT ELEVATION
Scale: 1/4" = 1'-0"



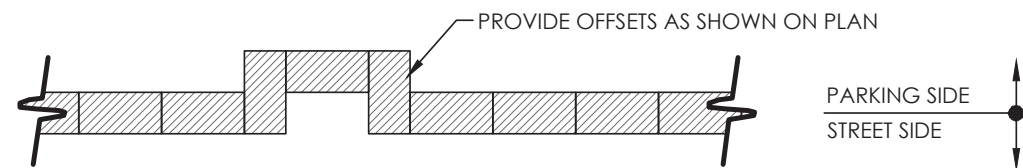
5 SCREEN WALL SECTION
Scale: 1/2" = 1'-0"



3 DUMPSTER ENCLOSURE SIDE ELEVATION
Scale: 1/4" = 1'-0"

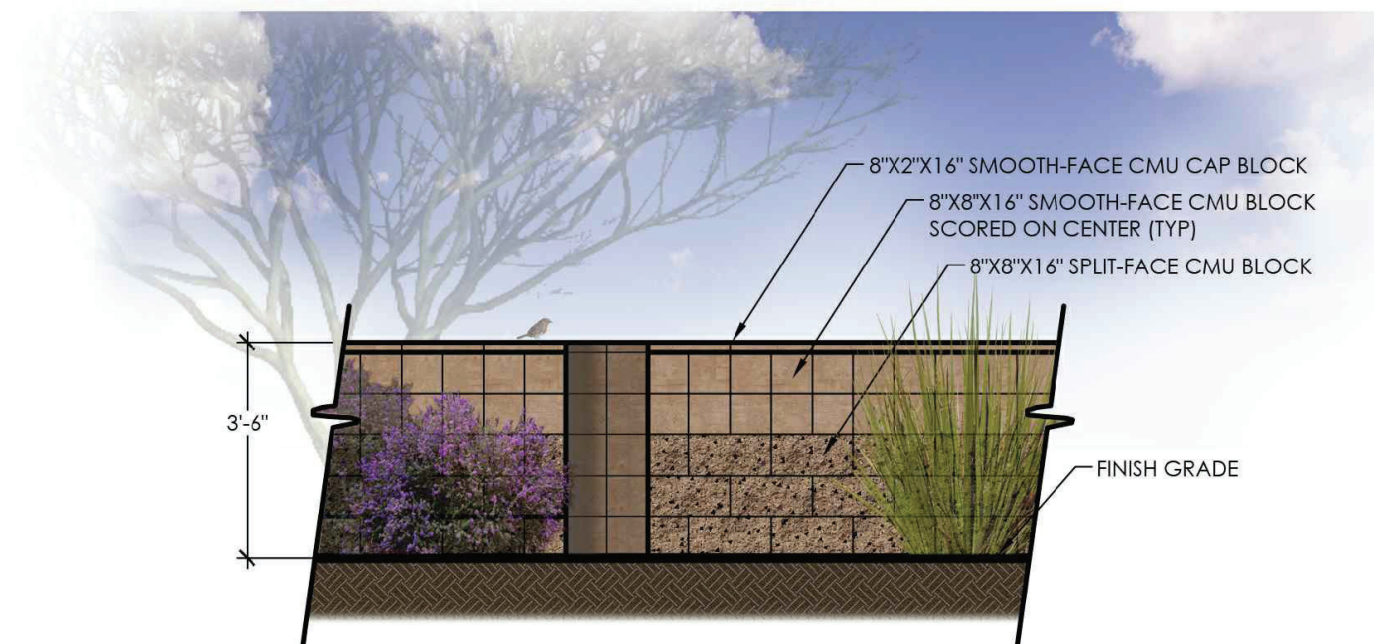


1 ENLARGED DUMPSTER ENCLOSURE
Scale: 1/4" = 1'-0"



PLAN VIEW

(NOTE: SCREEN WALL IS TO BE PAINTED TO MATCH EXISTING SCREEN WALLS ADJACENT TO SITE. FIELD VERIFY COLOR.)



1
L1.2

PARKING LOT SCREEN WALL

SCALE: 1/4" = 1'-0"



CHANDLER | AZ | 85286

DATE :
03/31/23
JOB NO:
2 2 4 4

EXHIBIT NO:
L2.2



young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312

TAB C

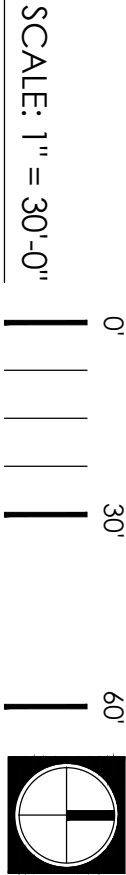


PLANT SCHEDULE

**NOT PLANTED IN PUBLIC R.O.W. OR REQUIRED PLANTING AREAS

EXISTING VEGETATION			ACCENTS			GROUNDCOVER		
EXISTING TREE (VARIOUS SPECIES)	SIZE / REMARKS	QTY	DESERT SPOON	SIZE	QTY	EREMOPHILA GLABRA 'M. GOLD'	1 GAL	59
EXISTING TURF	PRESERVE IN PLACE	PER PLAN	HESPERALOE FUNIFERA	5 GAL	30	OUTBACK SUNRISE EMU	1 GAL	73
EXISTING MASS PLANTING (TRAILING ACACIA)	PRESERVE IN PLACE	PER PLAN	GIANT HESPERALOE	5 GAL	93	LANTANA 'NEW GOLD'	1 GAL	44
EXISTING SHRUB / G.COVER / ACCENT	PRESERVE IN PLACE	PER PLAN	HESPERALOE PARVIFLORA	5 GAL	116	NEW GOLD LANTANA	1 GAL	
TREES			RED YUCCA			LANTANA 'RADIATION'		
CHILOPSIS LINEARIS	36" BOX, MULTI-TRUNK, MATCHED	19	MUHLENBERGIA RIGENS	5 GAL		RADIATION LANTANA		
DESERT WILLOW	24" BOX, STANDARD TRUNK, MATCHED	30	DEER GRASS			INERT MATERIALS		
ULMUS PARVIFOLIA 'TRUE GREEN'	36" BOX, STANDARD TRUNK, MATCHED	7	SHRUBS			DECOMPOSED GRANITE 'PAINTED DESERT (ROCK PROS USA)	1/2" SCREENED, 27" MIN DEPTH	PER PLAN
TRUE GREEN ELM	24" BOX, MULTI-TRUNK, MATCHED	5	BOUGAINVILLEA 'LA JOLLA'	5 GAL	27	PAINTED DESERT (ROCK PROS USA)	3-8" DIA.	PER PLAN
FRAXINUS VELUTINA	36" BOX, STANDARD TRUNK, MATCHED	10	LA JOLLA BOUGAINVILLEA	5 GAL	25	RIP RAP	SIZE PER PLAN	2 / 6 / 8
PROSOPIS SEEDLESS HYB. 'AZT'			**CARISSA GRANDIFLORA 'TUTTLET'	5 GAL	31	GRANITE BOULDERS		
SEEDLESS HYBRID MESQUITE			DODONAEA VISCOSA	5 GAL	155	SURFACE SELECT		
QUERCUS VIRGINIANA			LEUCOPHYLLUM LANGMANIAE	5 GAL	36			
LIVE OAK			RIO BRAVO 'SAGE	5 GAL	138			
			LEUCOPHYLLUM LAEVIGATUM	5 GAL	56			
			CHIHUAHUA SAGE	5 GAL	32			
			NERIUM OLEANDER 'P. PINK					
			PETITE PINK OLEANDER					
			RUELLIA BRITTONIANA					
			BRITISH RUELLIA					
			TECOMA X 'ORANGE JUBILEE'					
			ORANGE JUBILEE					

PRELIMINARY LANDSCAPE PLAN



CHANDLER | AZ | 85286

D A T E : 03/31/23
J O B N O : 2 2 4 4

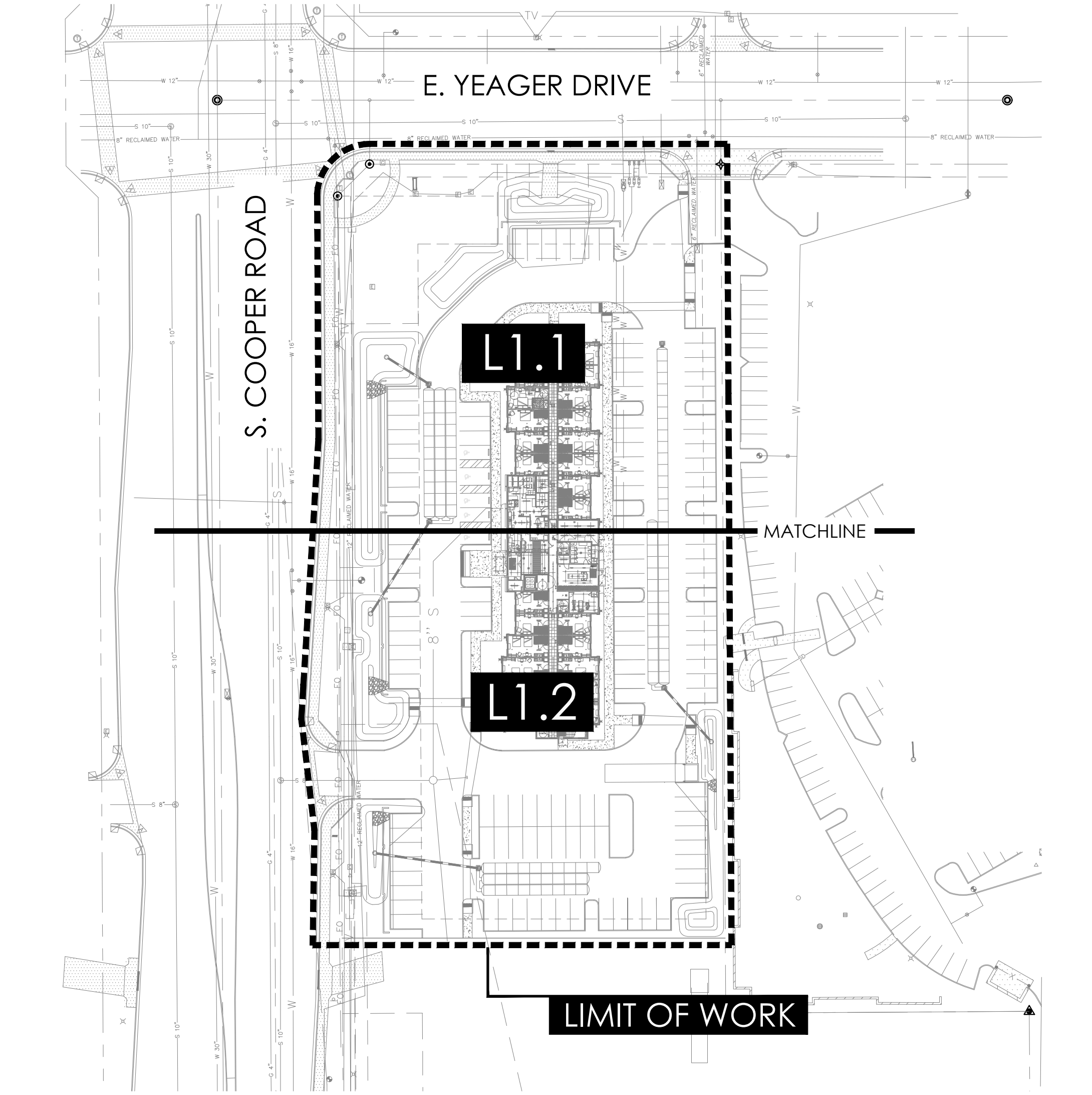
EXHIBIT NO: L2.1



Young | Design | Group
Landscape Architecture
+ Land Planning
7234 east shoshon lane
scottsdale, arizona 85251
tel. 480.257.3312

GENERAL NOTES

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF "SUPERTHRIVE" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:
 - BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GAL. OF WATER.
 - TREES: APPLY 4 GALLONS OF BASIC MIX.
 - SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.: APPLY 1 GALLON OF BASIC MIX.
 - SHRUBS AND SUCCULENTS 15 GAL.: APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL BOULDERS ARE TO BE GRANITE SURFACE SELECT, SIZE PER PLAN. ALL BOULDERS ARE TO BE BURIED 1/3 IN SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3x3", 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- ALL TURF IS TO BE 'MID-IRON' HYBRID VARIETY.
- ALL HEADER IS TO BE CAST IN PLACE CONCRETE. COLOR TO BE SELECTED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP RAP AREA, TYP.
- CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING Z-LOTS).
- ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITHIN STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
- JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER.
- WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE, REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANTY AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNER'S CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.
- TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 6 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT.
- AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
- NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
- TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
- ANY DISTURBED AREAS AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
- TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.



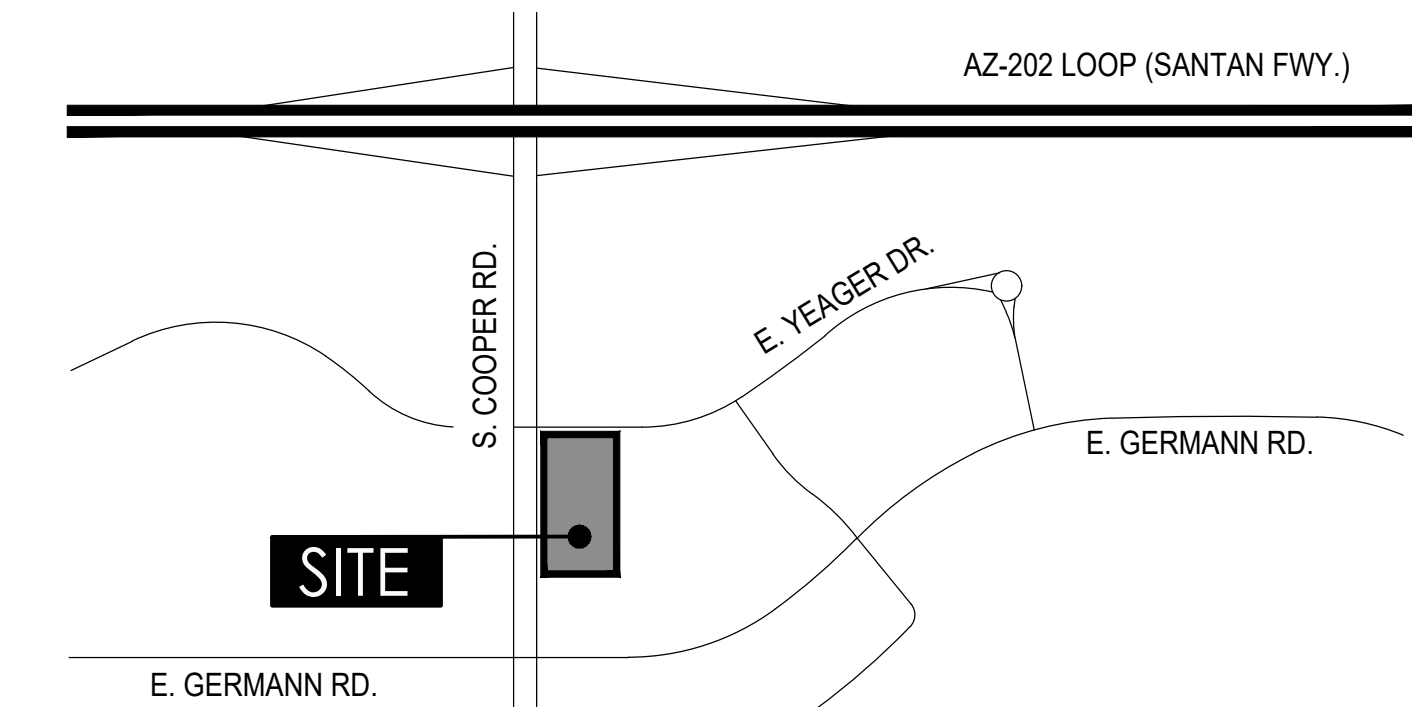
OVERALL SITE PLAN

CITY OF CHANDLER GENERAL NOTES

- TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESSWAYS. SHRUBS MUST BE, AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT. INDICATE HYDRANT LOCATIONS ON THE LANDSCAPE PLANS.
- ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF OR D.G.) MUST BE GRADED TO 1½" BELOW CONCRETE OR OTHER PAVED SURFACES.
- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN THE PHASE.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED / CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT / PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
- TREES, SHRUBS, VINES, GROUNDCOVER AND TURF THAT HAVE TO BE REPLACED UNDER THE TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
- ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6) (h).
- PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1903 (6)(c)(4), ZONING CODE.
- ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE "ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS." SEE SECTION 1903 (6)(a), ZONING CODE.

VICINITY MAP

NO SCALE



PROJECT TEAM

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CONTACT: JOE YOUNG
jyoung@youngdg.com

SHEET INDEX

L0.1	COVER SHEET + NOTES
L1.1 THRU L1.2	PRELIMINARY LANDSCAPE PLAN

CITY OF CHANDLER DESIGN STANDARDS

THE FOLLOWING REQUIREMENTS SHALL BE MET AS DEFINED BY CITY OF CHANDLER ZONING ORDINANCE AND SITE DEVELOPMENT STANDARDS:

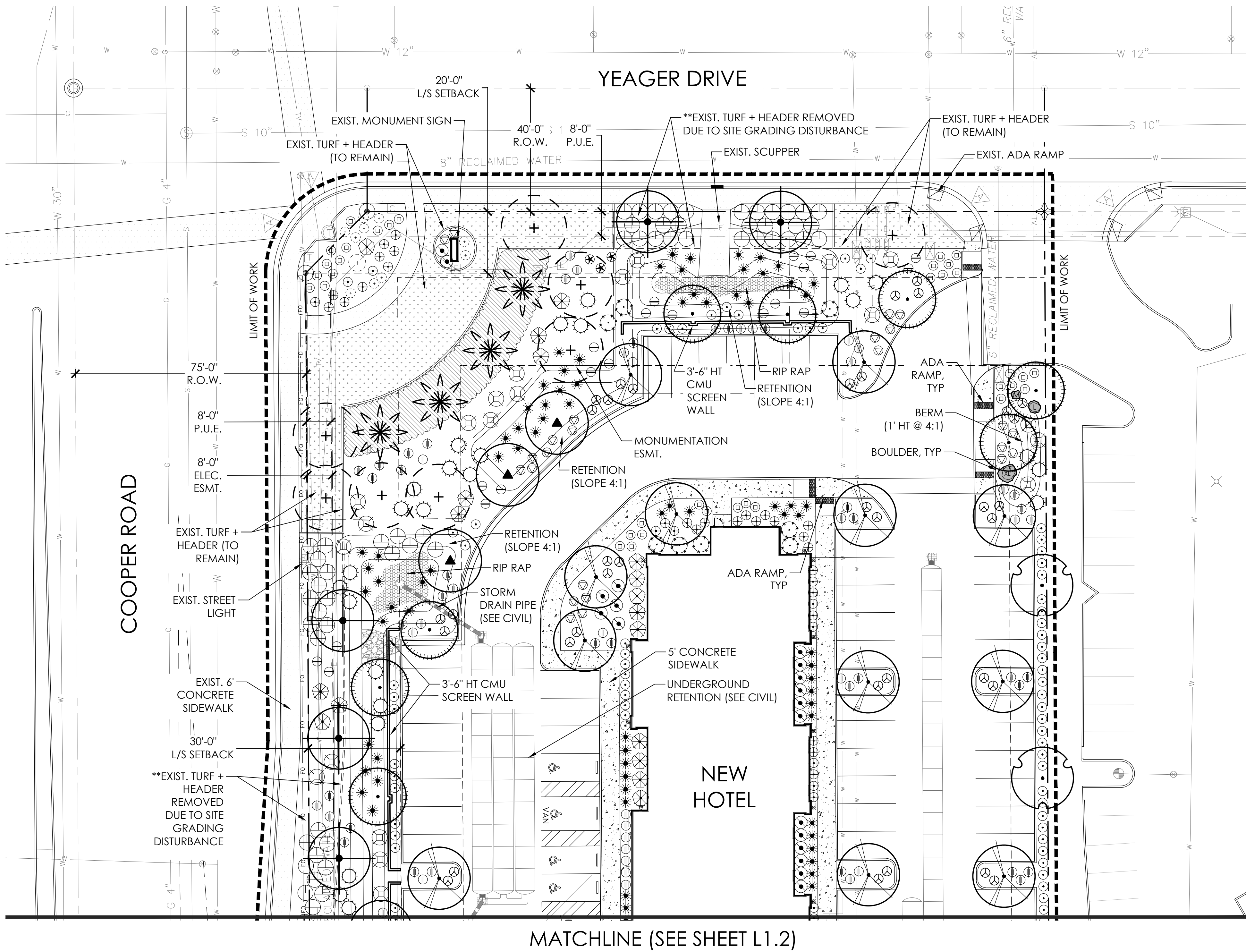
- PERIMETER AREAS SHALL HAVE TREES AT 30'-0" O.C. WITH 6 SHRUBS PER TREE PLUS SHRUB AND GROUNDCOVER COVERAGE OF 50% OF THE TOTAL AREA.
- IN COMMERCIAL, OFFICE OR INSTITUTIONAL USES, PROVIDE 1 TREE AND 6 SHRUBS PER 750 S.F. OF INTERIOR OPEN SPACE PLUS SHRUB AND GROUND COVERAGE OF 50% OF TOTAL AREA. SECTION 1903(6)(2) ZONING CODE.
- SINGLE ROW PLANTER ISLANDS MUST CONTAIN A MINIMUM OF 1 TREE AND 5 SHRUBS. SECTION 1903 (6)(C)(4) ZONING CODE.
- MINIMUM PLANTING SIZE FOR TREES FOR OFFICE AND COMMERCIAL DEVELOPMENTS ADJOINING ARTERIAL STREETS ARE TO BE THE FOLLOWING:
 - 24" BOX (50% OF REQUIRED TREES)
 - 36" BOX (25% OF REQUIRED TREES)
 - 48" BOX (25% OF REQUIRED TREES)
- MINIMUM PLANTING SIZE FOR INTERIOR AREAS OF OFFICE AND COMMERCIAL DEVELOPMENTS SHALL BE THE FOLLOWING:
 - 15 GALLON (50% OF REQUIRED TREES)
 - 24" BOX (50% OF REQUIRED TREES)
- DATE PALM OR FAN PALM TREES IN EXCESS OF 15' IN TRUNK HEIGHT MAY QUALIFY AS A REQUIRED 36" BOX OR 48" BOX PLANTING SIZE.

I HEREBY CERTIFY THAT NO TREE OR BOULDER IS DESIGNED CLOSER THAN SIX (6) FEET TO THE FACE OF PUBLIC STREET CURB.


REGISTERED LANDSCAPE ARCHITECT

02/06/2023

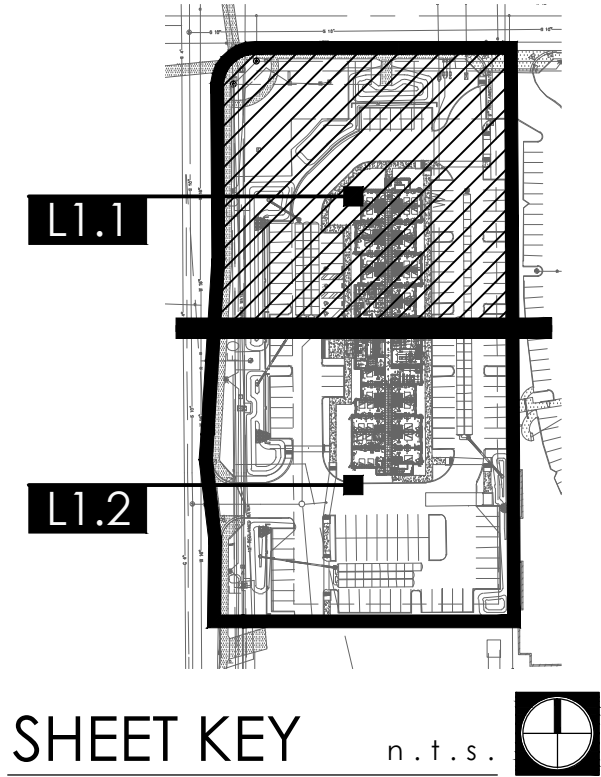
DATE



PRELIMINARY LANDSCAPE PLAN



PLANT SCHEDULE			
**NOT PLANTED IN PUBLIC R.O.W. OR REQUIRED PLANTING AREAS			
EXISTING VEGETATION	SIZE / REMARKS	QTY	
EXISTING TREE (VARIOUS SPECIES)	PRESERVE IN PLACE	PER PLAN	
EXISTING TURF	PRESERVE IN PLACE	PER PLAN	
EXISTING MASS PLANTING (TRAILING ACACIA)	PRESERVE IN PLACE	PER PLAN	
EXISTING SHRUB / G.COVER / ACCENT	PRESERVE IN PLACE	PER PLAN	
TREES	SIZE / REMARKS	QTY	
CHILOPSIS LINEARIS DESERT WILLOW	36" BOX, MULTI-TRUNK, MATCHED	19	
ULMUS PARVIFOLIA 'TRUE GREEN' TRUE GREEN ELM	24" BOX, STANDARD TRUNK, MATCHED	30	
FRAXINUS VELUTINA ARIZONA ASH	36" BOX, STANDARD TRUNK, MATCHED	7	
PROSOPIS SEEDLESS HYB 'AZT' SEEDLESS HYBRID MESQUITE	24" BOX, MULTI-TRUNK, MATCHED	5	
QUERCUS VIRGINIANA 'CATHEDRAL' CATHEDRAL LIVE OAK	36" BOX, STANDARD TRUNK, MATCHED	10	
ACCENTS	SIZE	QTY	
DASYLIRION WHEELERI DESERT SPOON	5 GAL	20	
HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL	30	
HESPERALOE PARVIFLORA RED YUCCA	5 GAL	93	
MUHLENBERGIA RIGENS DEER GRASS	5 GAL	116	
SHRUBS			
BOUGAINVILLEA 'LA JOLLA' LA JOLLA BOUGAINVILLEA	5 GAL	27	
**CARISSA GRANDIFLORA 'TUTTLE' TUTTLE'S NATAL PLUM	5 GAL	25	
DODONEA VISCOSA HOPSEED BUSH	5 GAL	31	
LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL	155	
LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL	36	
NERIUM OLEANDER 'P. PINK' PETITE PINK OLEANDER	5 GAL	138	
RUPELLIA BRITTONIANA BRITISH RUELLIA	5 GAL	56	
TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL	32	
GROUNDCOVER			
EREMOPHILA GLABRA 'M. GOLD' OUTBACK SUNRISE EMU	1 GAL	59	
LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL	73	
LANTANA 'RADIATION' RADIATION LANTANA	1 GAL	44	
INERT MATERIALS			
D.G. DECOMPOSED GRANITE 'PAINTED DESERT' (ROCK PROS USA)	1/2" SCREENED, 2" MIN DEPTH	PER PLAN	
RIP RAP 'PAINTED DESERT' (ROCK PROS USA)	3-8" DIA.	PER PLAN	
GRANITE BOULDERS 'SURFACE SELECT'	SIZE PER PLAN	2 / 6 / 8	



DATE:	02/06/23
JOB NO:	2244
DRAWN BY:	JMY / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	03/31/23
SUBMITTED FOR:	

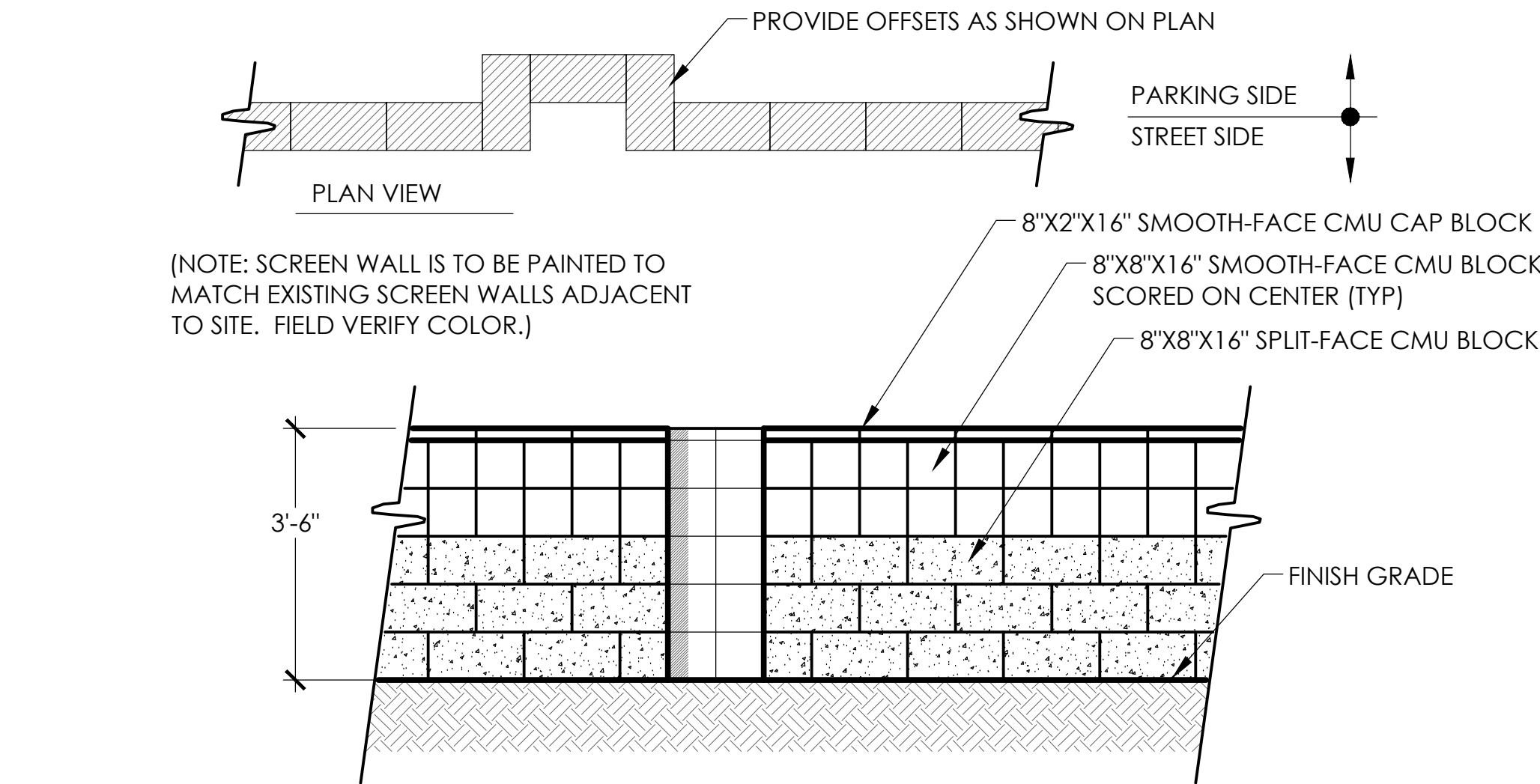
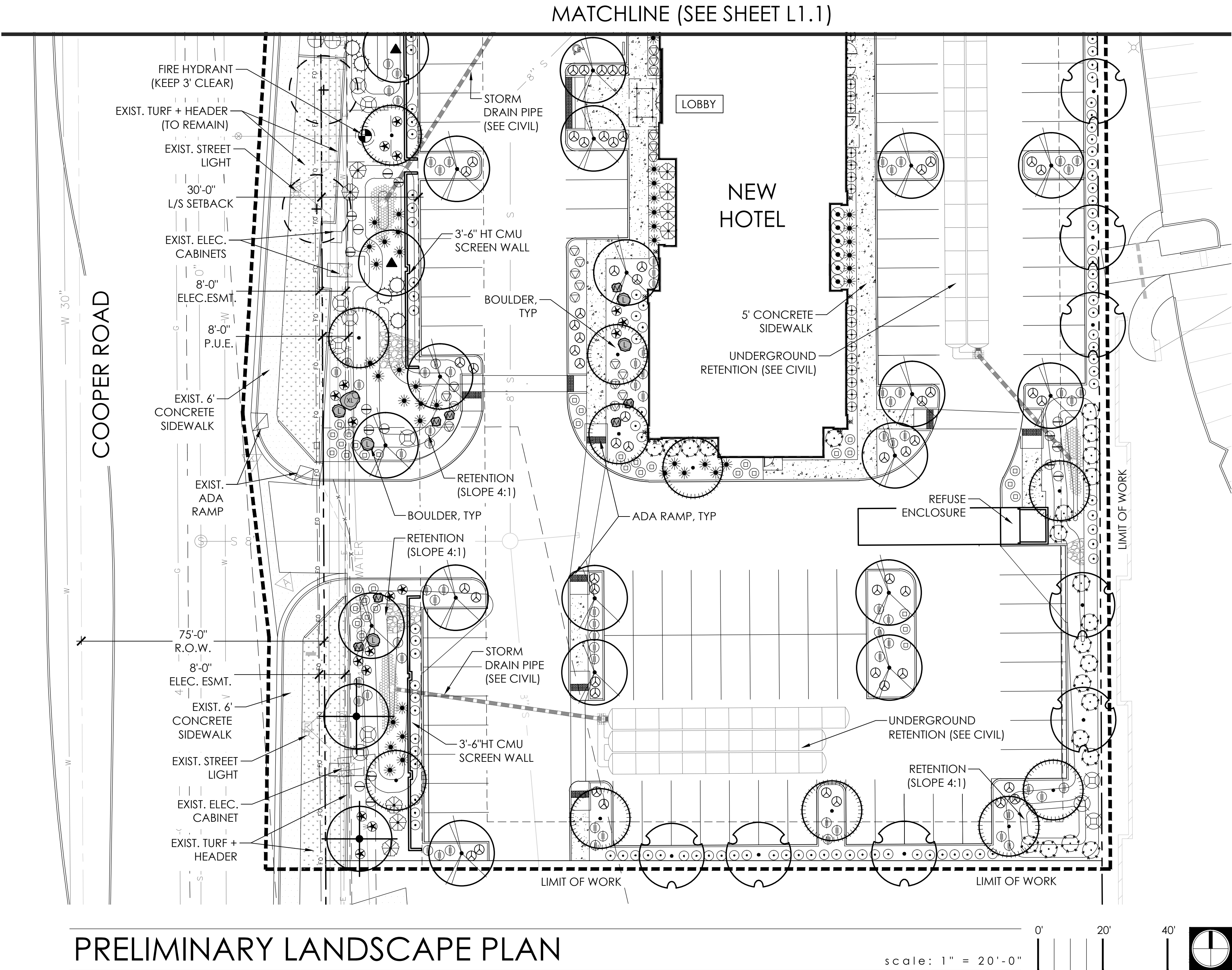
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REVIEW

SHEET NO.

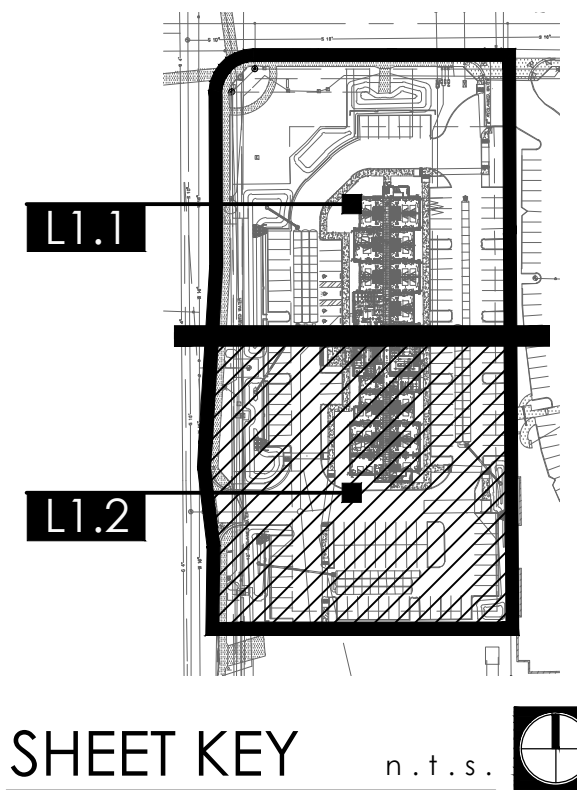
L1.1

2 OF 3

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PLANT SCHEDULE			**NOT PLANTED IN PUBLIC R.O.W. OR REQUIRED PLANTING AREAS	
EXISTING VEGETATION		SIZE / REMARKS	QTY	
	EXISTING TREE (VARIOUS SPECIES)	PRESERVE IN PLACE	PER PLAN	
	EXISTING TURF	PRESERVE IN PLACE	PER PLAN	
	EXISTING MASS PLANTING (TRAILING ACACIA)	PRESERVE IN PLACE	PER PLAN	
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tel. 480.257.3312



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CHANDLER | AZ | 85286



DATE:	02/06/23
JOB NO:	2244
DRAWN BY:	JMY / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	03/31/23
SUBMITTED FOR:	

DESIGN
REVIEW

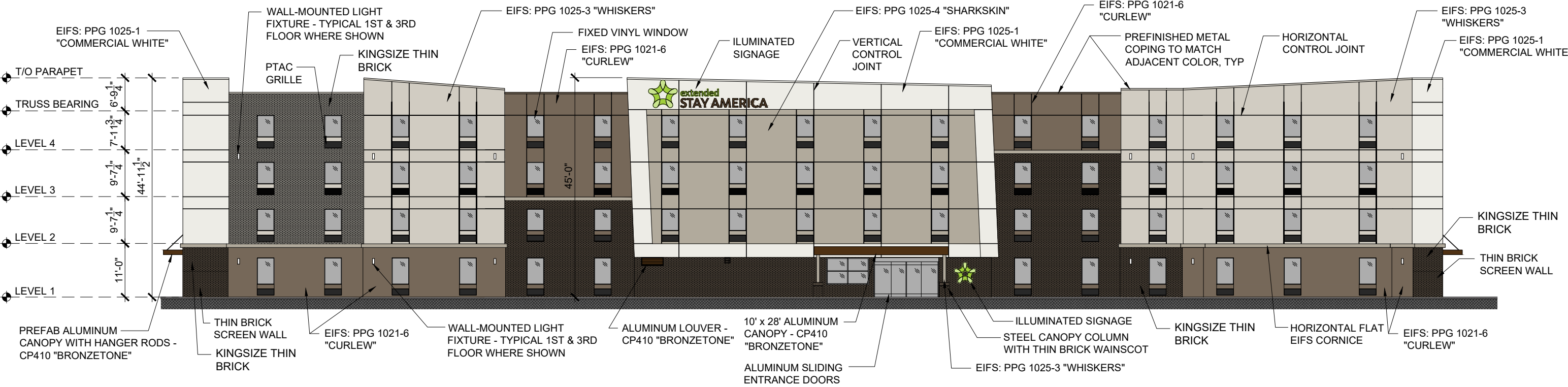
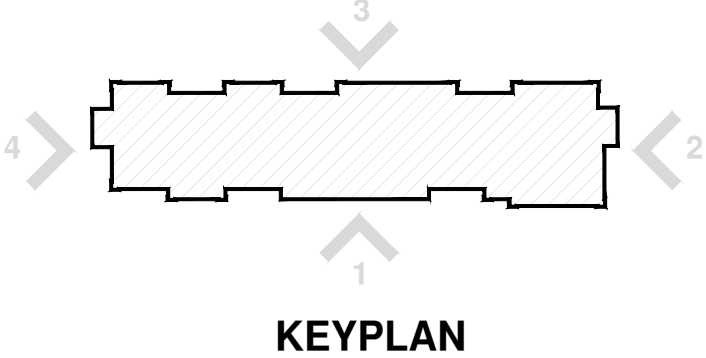
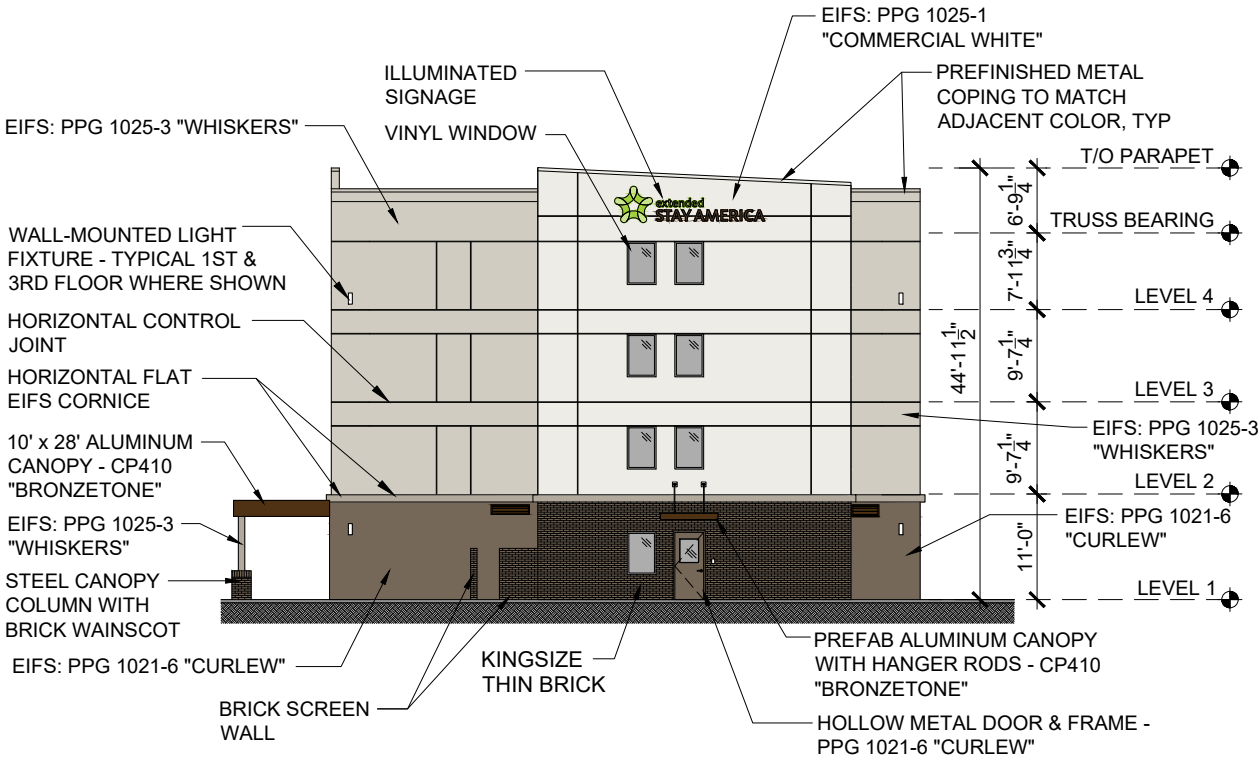
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3 OF 3

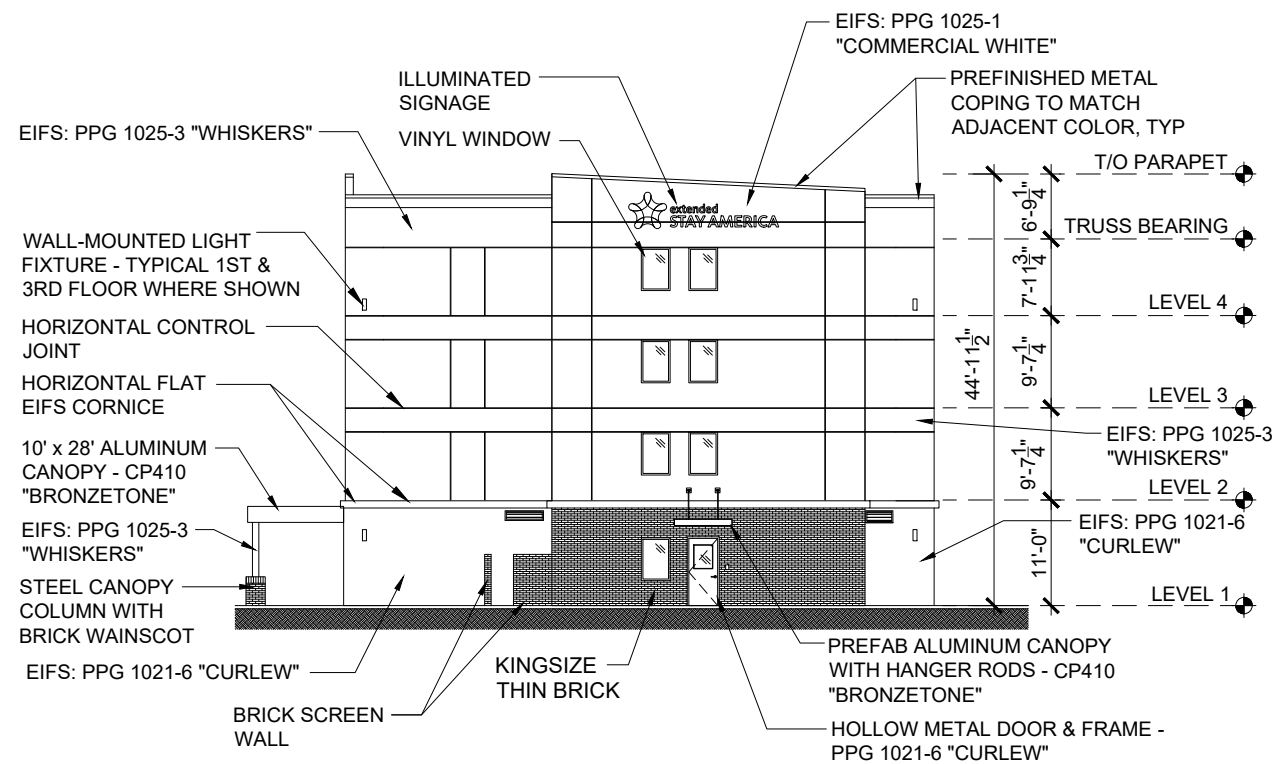
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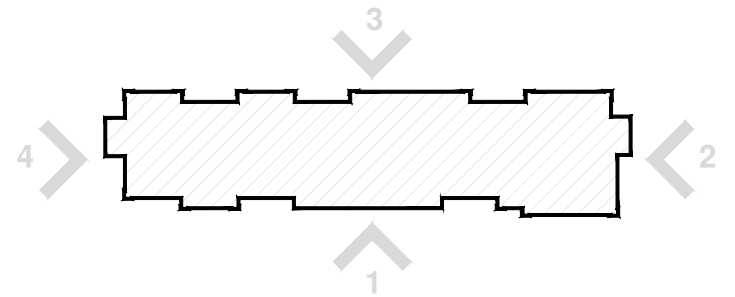
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- EIFS: PPG 1021-6 "CURLEW"
- EIFS: PPG 1025-1 "COMMERCIAL WHITE"
- EIFS: PPG 1025-3 "WHISKERS"
- EIFS: PPG 1025-4 "SHARKSKIN"
- EXTERIOR TRIM: CP410 "BRONZETONE"
- KINGSIZE BRICK BY ACME BRICK

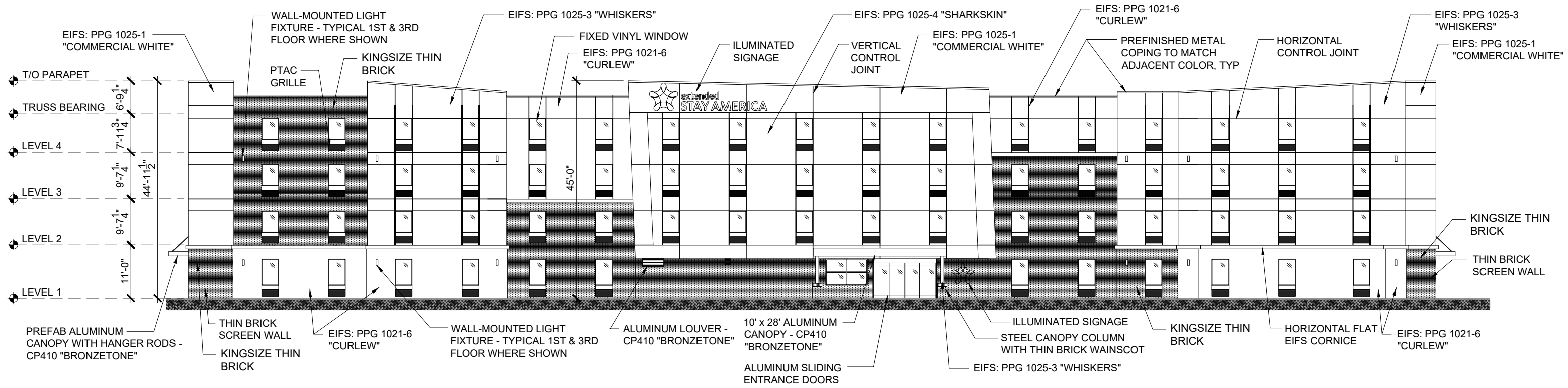




2 SIDE ELEVATION



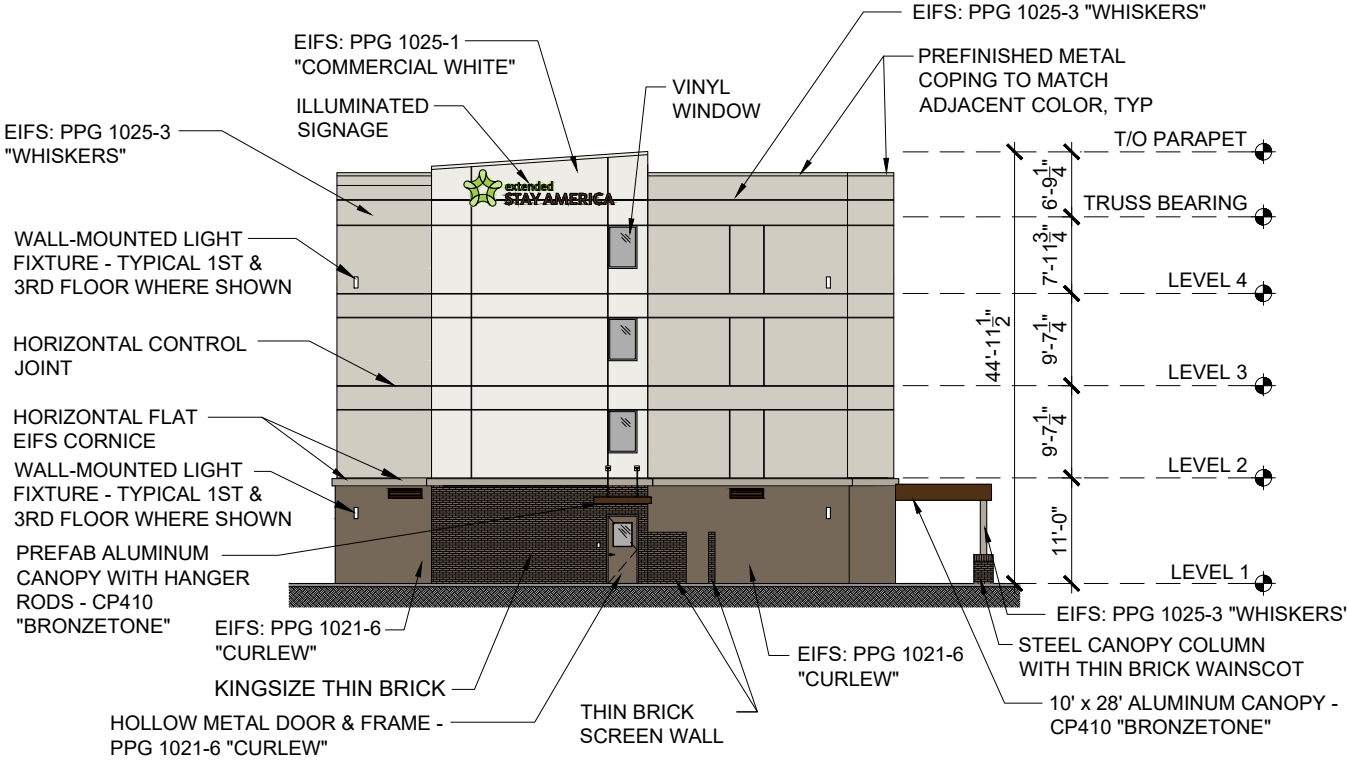
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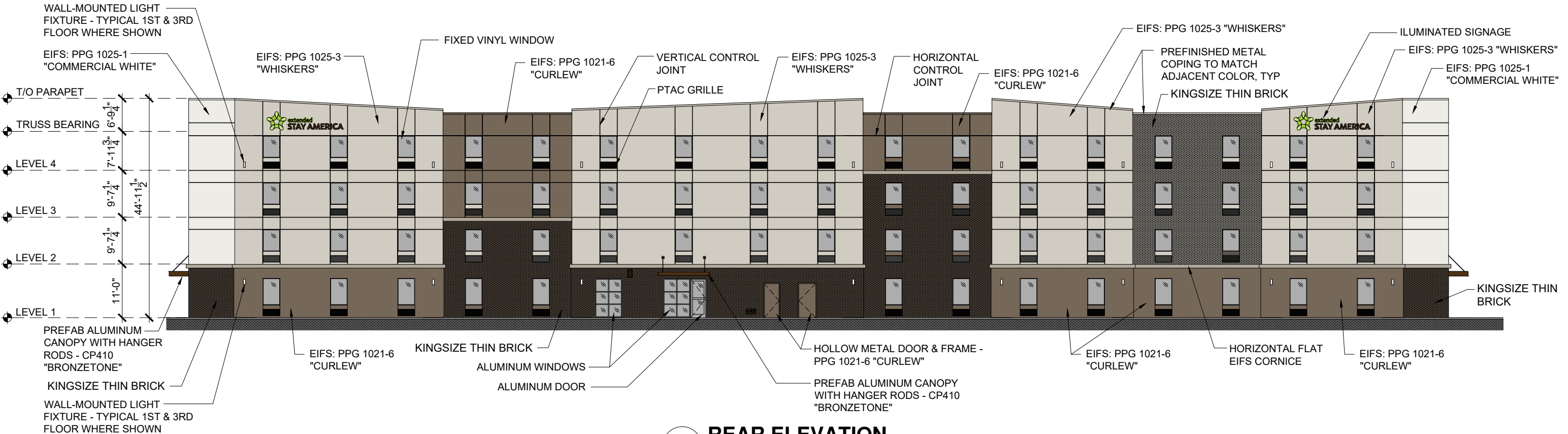
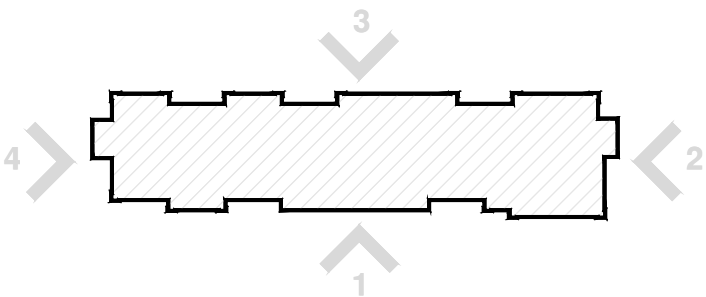
1 FRONT ELEVATION

COLOR / MATERIAL LEGEND

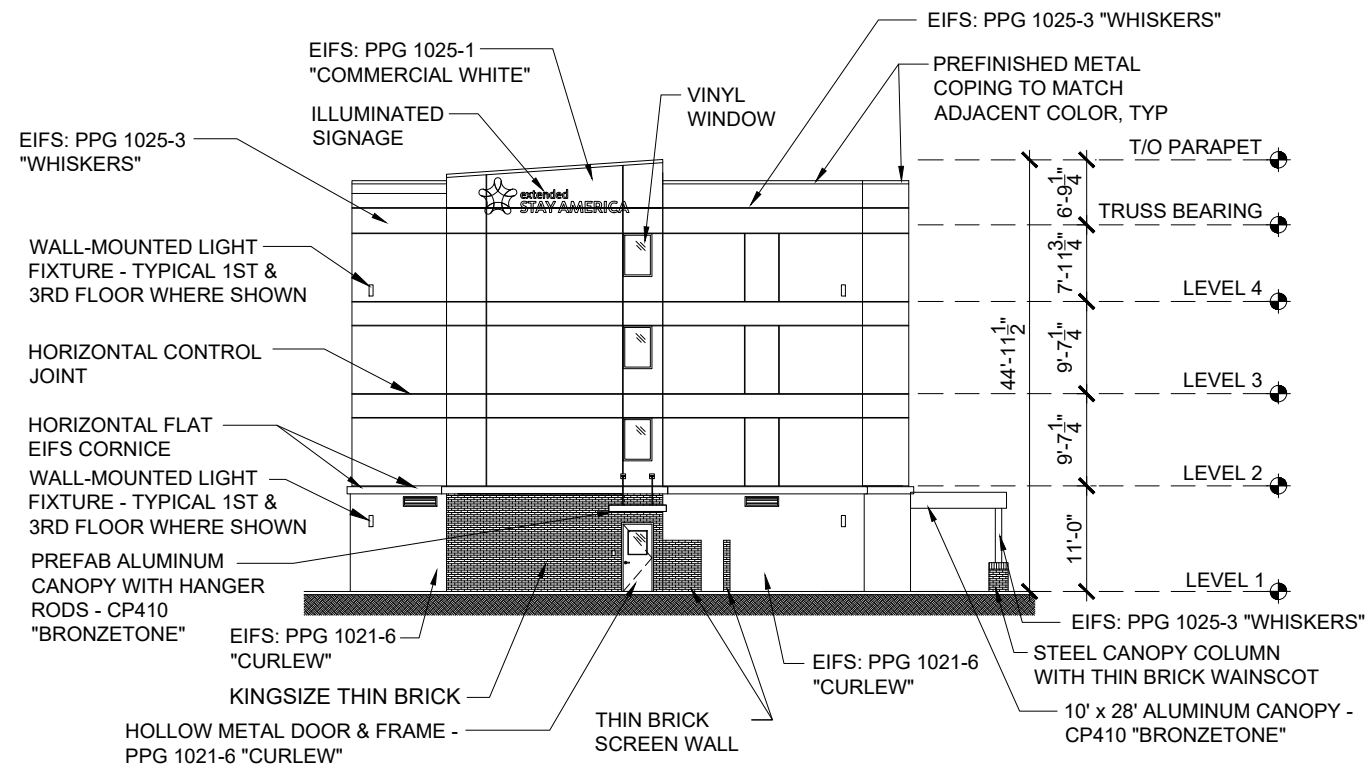
- EIFS: PPG 1021-6 "CURLEW"
- EIFS: PPG 1025-1 "COMMERCIAL WHITE"
- EIFS: PPG 1025-3 "WHISKERS"
- EIFS: PPG 1025-4 "SHARKSKIN"
- EXTERIOR TRIM: CP410 "BRONZETONE"
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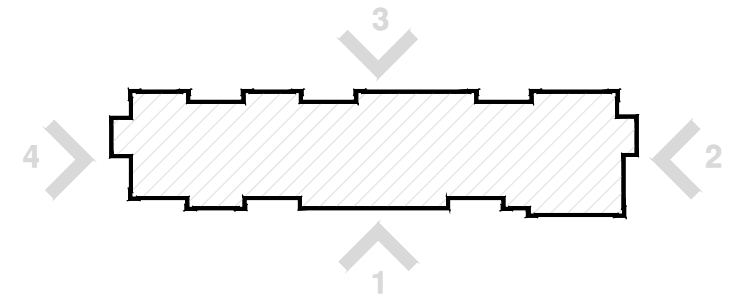
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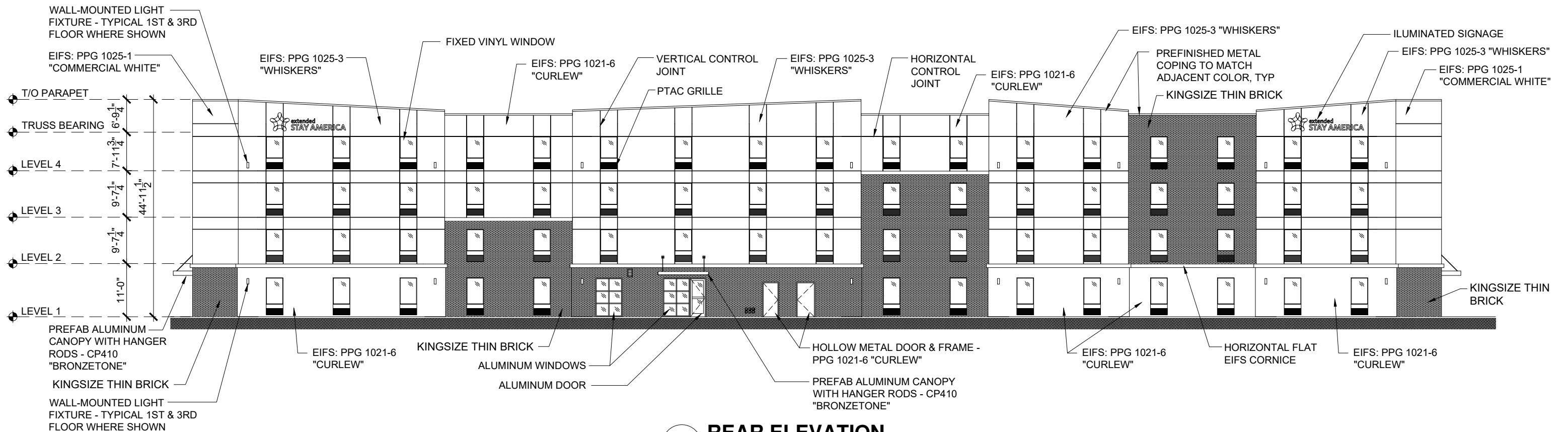
3 REAR ELEVATION



4 SIDE ELEVATION



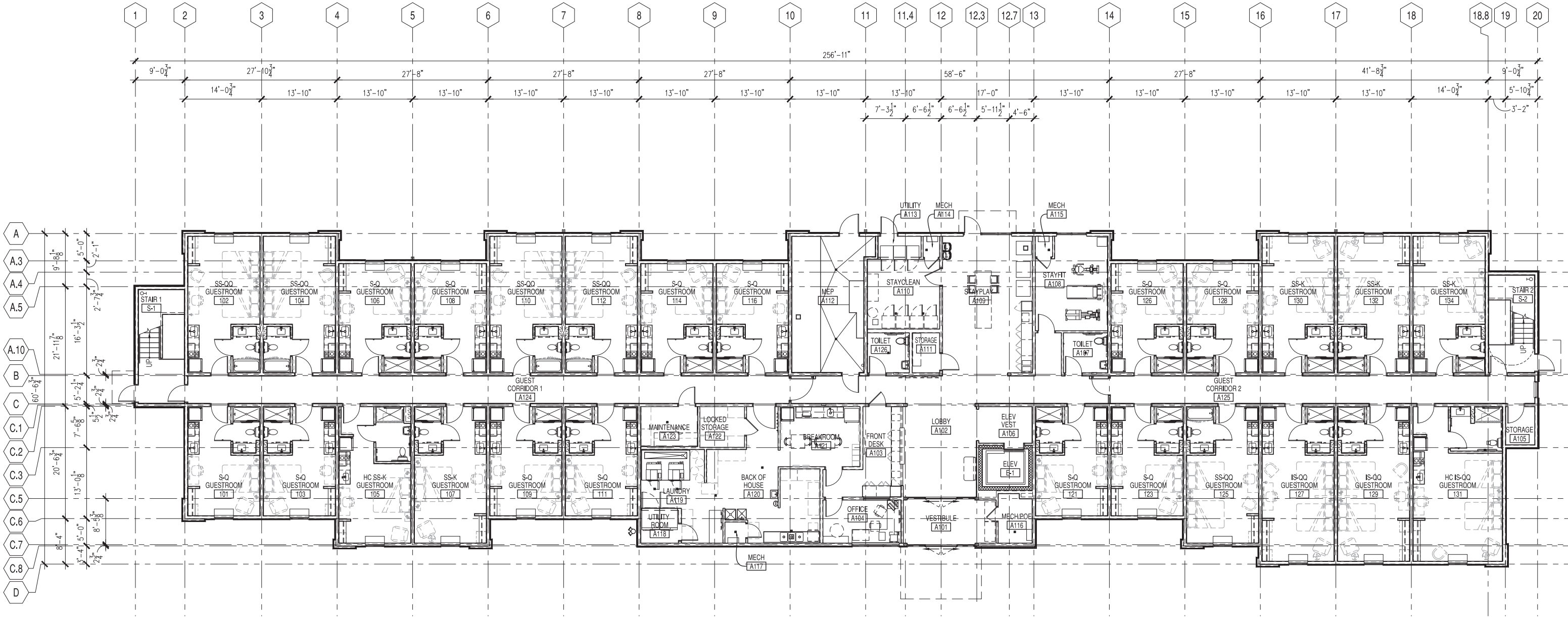
KEYPLAN



3 REAR ELEVATION

BUILDING INFORMATION

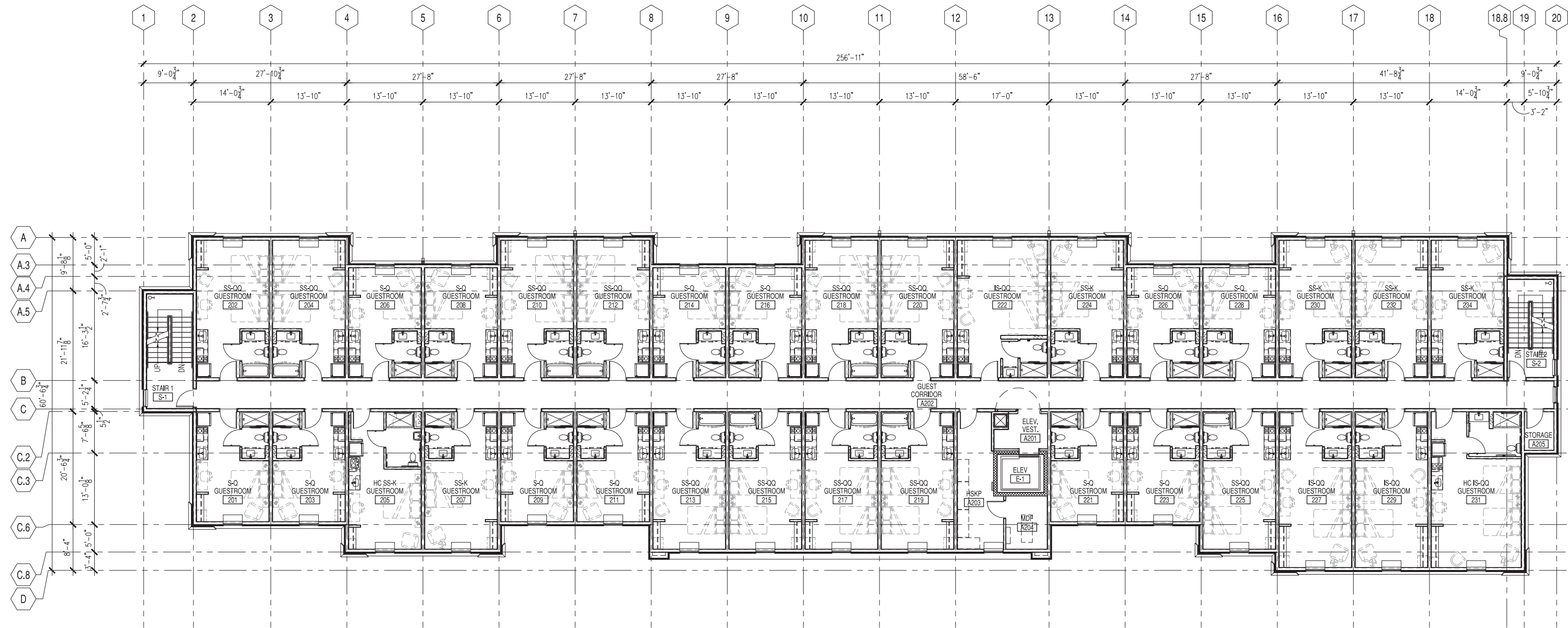
- GUEST ROOMS: 124
- TYPE OF CONSTRUCTION: 5-A
- OCCUPANCY TYPE: R-1
- STORIES: 4
- SQUARE FOOTAGE:
 - 1st = 13,500 SF
 - 2nd = 13,500 SF
 - 3rd = 13,500 SF
 - 4th = 13,500 SF
- TOTAL = 54,000 SF



LEVEL ONE PLAN

BUILDING INFORMATION

- GUEST ROOMS: **124**
- TYPE OF CONSTRUCTION: **5-A**
- OCCUPANCY TYPE: **R-1**
- STORIES: **4**
- SQUARE FOOTAGE:
 - 1st = 13,500 SF
 - 2nd = 13,500 SF
 - 3rd = 13,500 SF
 - 4th = 13,500 SF
- TOTAL = 54,000 SF**



LEVEL TWO - FOUR PLAN

TAB E





TAB F

PROPOSED BUILDING MATERIALS

STUCCO



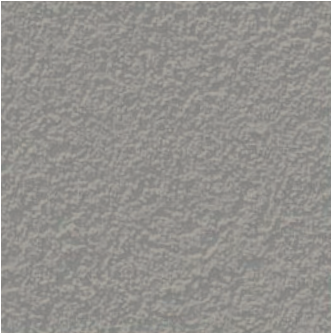
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CURLEW



PPG 1025-1
COMMERCIAL
WHITE



PPG 1025-3
WHISKERS



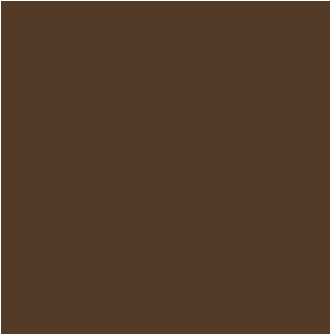
PPG 1025-4
SHARKSKIN

EXTERIOR BRICK



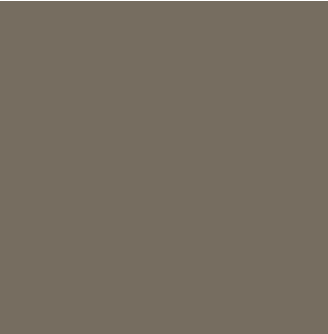
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DOVE GRAY

CANOPIES / LOUVERS

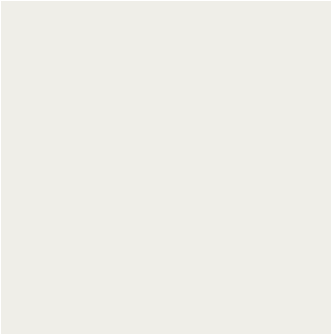


CP 410
BRONZETONE

METAL TRIM / SCUPPERS / DOWNSPOUTS



PPG 1021-6
CURLEW



PPG 1025-1
COMMERCIAL
WHITE



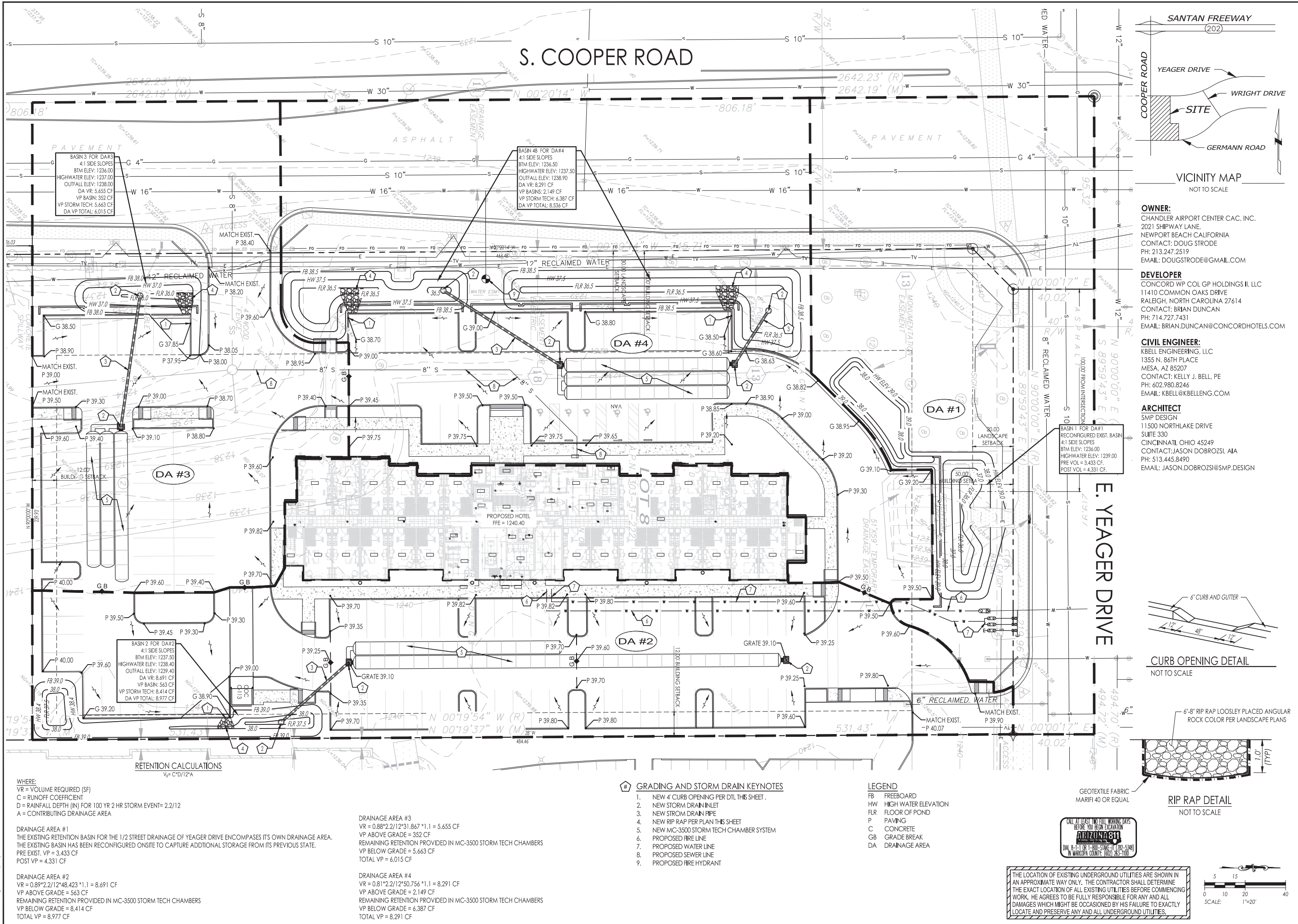
PPG 1025-3
WHISKERS



PPG 1025-4
SHARKSKIN

TAB G

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PH: 602.980.8246 Copyright © 2023

REGISTERED PROFESSIONAL ENGINEER
STATE OF ARIZONA
57116
KELLY J. BELL
EXPIRATION DATE 12/31/2025

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CONCORD HOSPITALITY
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OWNER:
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2021 SHIPWAY LANE
NEWPORT BEACH CALIFORNIA
CONTACT: DOUG STRODE
PH: 213.247.2519
EMAIL: DOUGSTRODE@GMAIL.COM

DEVELOPER
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CONTACT: JASON DOBROZSI, AIA
PH: 513.445.8490
EMAIL: JASON.DOBROZSI@SMP.DESIGN

PROJECT NO: 1074-01
DESIGNED BY: KJB
DRAWN BY: KJB

SHEET
C-2

PRELIMINARY GRADING AND DRAINAGE PLAN