

Preliminary Development Plan

Amendment

for

***Cooper Park
Marketplace – Shops A***

North of the Northwest Corner of Chandler Boulevard & Cooper Road

by:

Diversified Partners, LLC

Case No: PLH24-0009

Submitted: March 19, 2024

Updated: July 16, 2024

Updated: August 12, 2024

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TABLE OF EXHIBITS

Exhibit No.	Description
1	Aerial Map
2	Site Comparison
3	Site Plan
4	Building Elevations
5	Color & Materials Board
6	Illustrative Landscape Plan
7	Preliminary Grading & Drainage Plan

I. INTRODUCTION

Diversified Partners (“Diversified”) is the proposed developer of approximately 0.83 acres located north of the northwest corner of Chandler Boulevard and Cooper Road (the “Site”). *See Exhibit 1, Aerial Map.* This very challenging, infill site is part of a larger commercial development known as “Cooper Park Marketplace” that has developed with a Wal-Mart Neighborhood Market, Goodwill, Basis Charter School, and a Burger King. The Site was identified in the 2005 Planned Area Development and Preliminary Development Plan approvals as a 6,650 square-foot shops building (“Shops A”) that was to be developed next to the Wal-Mart. Since Cooper Park Marketplace was approved, the largest growth periods in commercial and residential real estate (2005 – 2008 and 2010 – 2022) have occurred yet the shops space never developed. Almost twenty years after the original approval, it is necessary to reevaluate the vision for this undeveloped, infill parcel and find a viable and sustainable solution for this vacant, challenging Site. Diversified seeks to amend the 2005 Preliminary Development Plan for an approximately 3,350-square-foot drive-thru restaurant with complementary architecture and landscaping to the existing center.

This use is appropriate for the area, center, and Site—which was designated for retail uses. Given the reduction in intensity from what was originally approved to what has been built in the overall center today, the addition of this drive-thru use—where only retail was planned—does not overwhelm the center or add an inappropriate intensity. Further, this Site, located near the intersection of two arterial roads, is appropriate for a drive-thru use. Overall, this proposed development will make good use of this underutilized Site that has failed to be developed despite its commercial zoning.

II. SITE, SURROUNDING AREA, AND EXISTING ZONING

The Site is designated on the City’s General Plan as Neighborhoods. The Neighborhoods designation allows a variety of residential and non-residential uses.

The Site is zoned PAD and designated for retail uses and designated on the PDP as “Shops A.” Per the 2005 approval, Cooper Park Marketplace was envisioned as a retail and office center. In addition to the Wal-Mart and “Shops A”, additional commercial and office pads were contemplated (“Pads A, B, and C” and “Offices A, B, C, D, and E”). No office uses have developed, being replaced with a charter school and a Goodwill and Burger King that was developed on the commercial portion. *See Exhibit 2, Site Comparison.* The center has developed inconsistently with what was originally approved and envisioned. It is necessary to reinvision what is appropriate and suitable for the last developable portion of the center because of the significant changes in what was approved versus what exists today. This request will allow for this challenging Site to be developed with a sustainable use and will complete the center in a way that is complimentary and beneficial to the center and area.

III. PROPOSED PRELIMINARY DEVELOPMENT PLAN

A. Site Layout

This proposed development is designed to be compatible and complimentary to the existing development. *See Exhibit 3, Site Plan.* The proposed building is planned to be approximately 3,350 square feet. The building has been placed as close as possible to the adjacent Wal-Mart and significantly setback from Cooper Road. This design: (1) is respectful of the original layout envisioned for the PDP; (2) will ensure there is no opportunity for queuing or traffic from this Site to impact Cooper Road; and (3) will screen the queuing from Cooper Road. No changes are proposed to the access points from Cooper Road or Chandler Boulevard. This proposed layout has

been thoughtfully designed to make the best use of a challenging, in-fill site and allow safe and efficient circulation to the Site and center.

B. Architecture

The overall theme for the building is a modern southwest look that is attractive and consistent with the existing architecture in the center. ***See Exhibit 4, Building Elevations.*** The architecture features varied massing, roof heights, and architectural features to break up the massing. The building has also been designed to be pedestrian-friendly, with a shade structure above the pedestrian entrance. Building materials include stucco as well as stone and metal elements. A variety of neutral colors including tans, sand, and white tones have been utilized to be fitting for the desert background and are consistent and appropriate with the surrounding building context. ***See Exhibit 5 Color & Materials Board.***

C. Landscaping

Landscaping has been designed to help create an attractive presence on Site, provide shade in appropriate locations, and buffer the Site. ***See 6 Exhibit, Illustrative Landscape Plan.*** Landscaping will be a mixture of new and existing trees, shrubs, and groundcovers that are consistent with the approved landscape palette. An existing retention area on the east side of the Site, adjacent to Cooper Road, will help screen the Site and create an attractive presence for customers and passers-by. The landscaping theming creates a sustainable, colorful, and approachable plant palette for that will create an attractive presence on the Site. The landscape plan features an ample hierarchy of plant material, and patterning to arrange a mixture of textures, colors to provide a year-round quality appearance.

IV. PROJECT TEAM

Developer:

Diversified Partners
Attn: Emma Barreca
7339 E. McDonald Drive
Scottsdale, AZ 85250

Architect:

RKAA Architects
Attn: Rajesh Gore
2233 E Thomas Road
Phoenix, AZ 85016

Civil Engineer:

EPS Group
Attn: John Holman
1130 N Alma School Road #120
Mesa, AZ 85201

Zoning:

Burch & Cracchiolo, P.A.
Attn: Brennan Ray/Madison Leake
1850 North Central Avenue, Suite 1700
Phoenix, AZ 85004

V. CONCLUSION

This request proposes a thoughtful plan that will facilitate much-needed commercial development. This proposal will allow for additional commercial services and employment opportunities on this challenging, infill, underutilized Site. We request your approval.

Diversified Partners

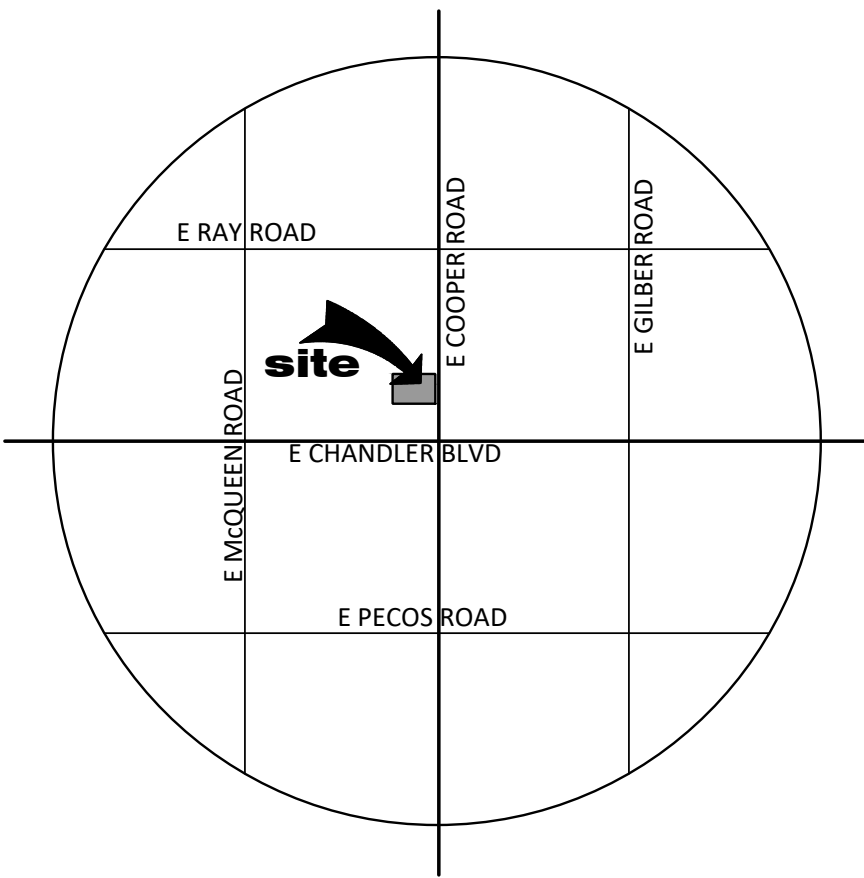
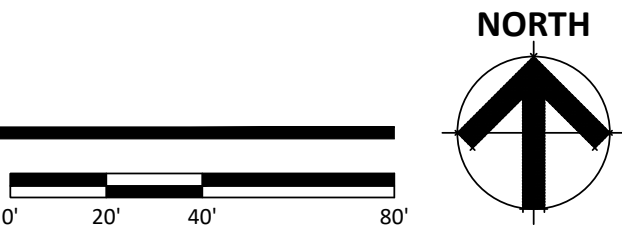
Exhibit 1

PROJECT DIRECTORY

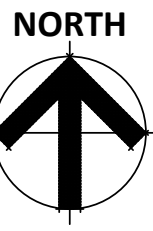
ARCHITECT:
RKA ARCHITECTS, INC.
2233 EAST THOMAS ROAD
PHOENIX, ARIZONA 85016
CONTACT: NEIL FEASER
PHONE: (602) 955-3900
FAX: (602) 955-0496
E-MAIL: nfeaser@rkaa.com



AERIAL MAP
SCALE: 1" = 40'-0"



VICINITY MAP
SCALE: N.T.S.



THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

CHANDLER AND COOPER
300 N COOPER ROAD
CHANDLER ARIZONA 85225
DATE: 02-29-2024 (PRELIMINARY)

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SP-2

RKAA# 23065.50



Exhibit 2

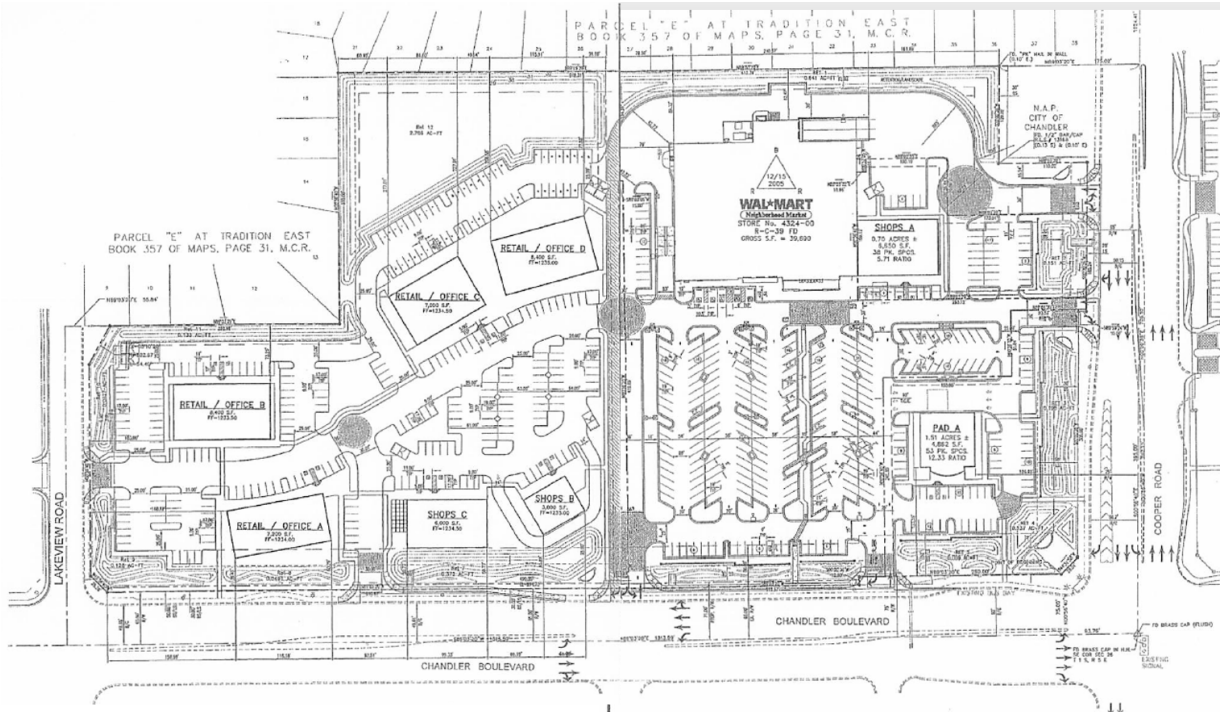
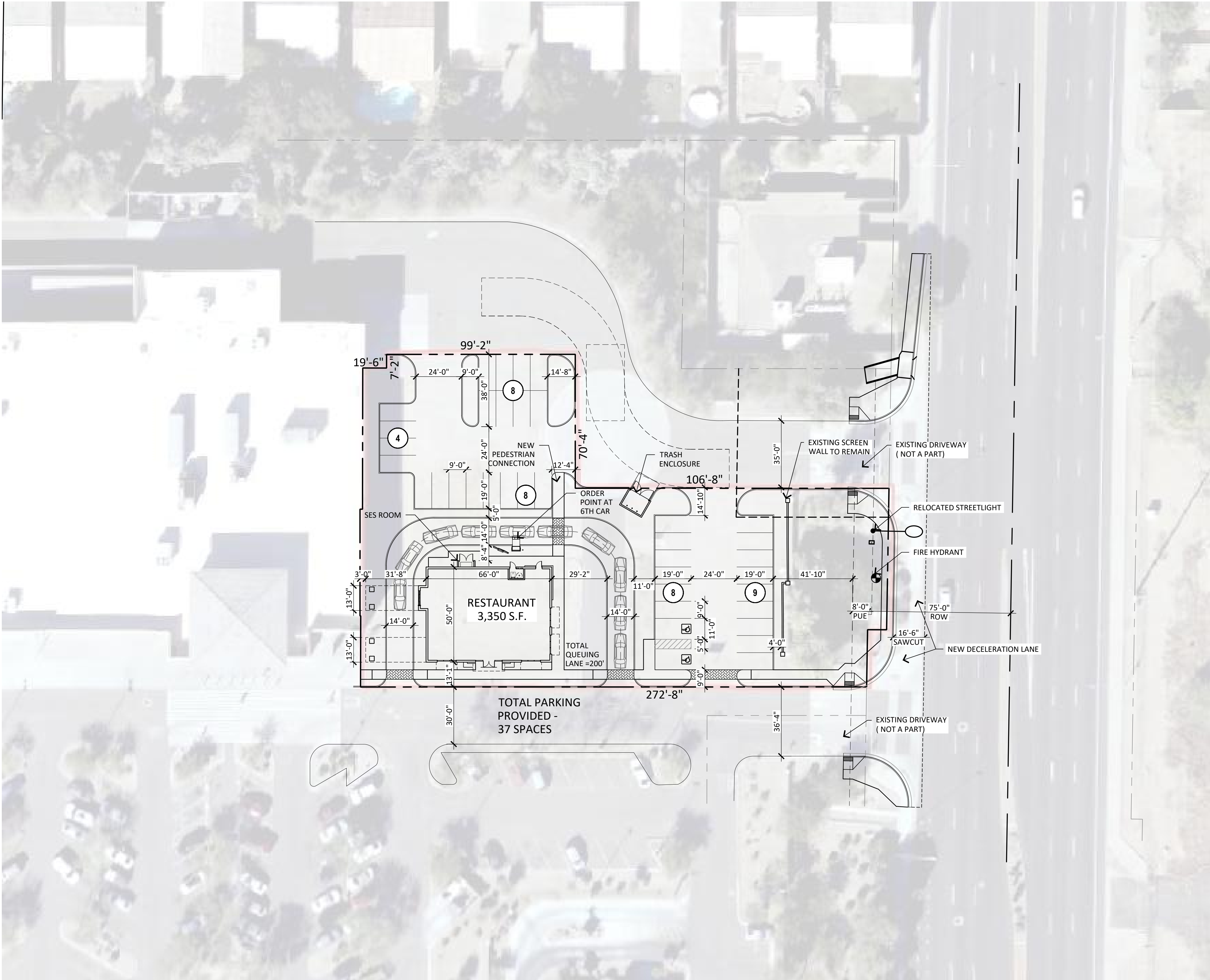
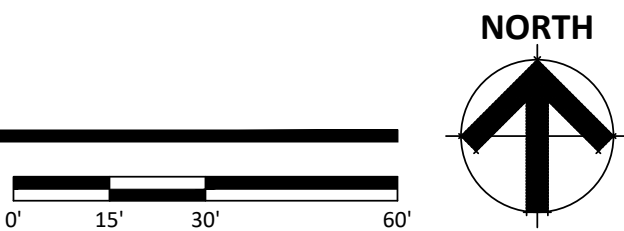


Exhibit 3



SITE PLAN

SCALE: 1" = 30'-0"

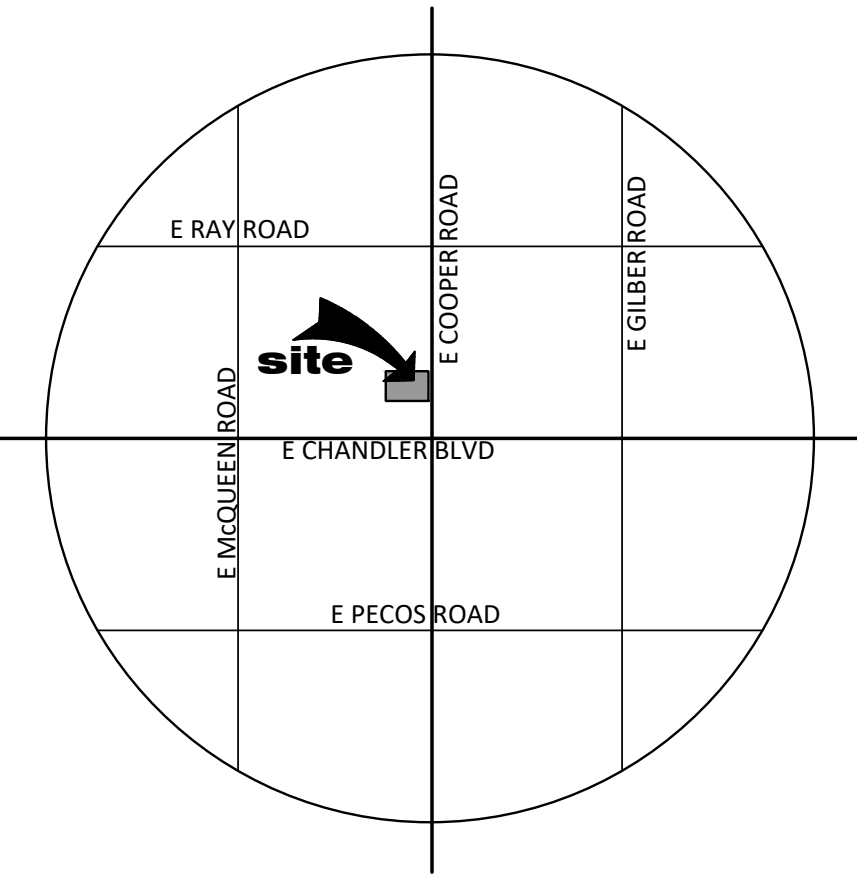


PROJECT DIRECTORY

ARCHITECT:
RKAA ARCHITECTS, INC.
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PHOENIX, ARIZONA 85016
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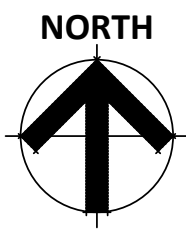
SITE DATA

PARCEL NUMBER:	302-84-944
EXISTING ZONING:	PAD
SITE AREA:	0.834 ACRES (36,320 S.F.)
PROPOSED USE:	RESTAURANT
BUILDING AREA:	3,350 S.F.
PARKING REQUIRED:	
RESTAURANT : SEATING: 1350 / 1 PER 50	27 SPACES
RESTAURANT : PREP - OTHER: 2000 / 1 PER 200	10 SPACES
TOTAL PARKING REQUIRED:	37 SPACES
TOTAL PARKING PROVIDED:	37 SPACES
ACCESSIBLE SPACES REQUIRED:	02 SPACES
ACCESSIBLE SPACES PROVIDED:	02 SPACES



VICINITY MAP

SCALE: N.T.S.



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CHANDLER AND COOPER

300 N COOPER ROAD
CHANDLER ARIZONA 85225
DATE: 07-26-2024 (PRELIMINARY)

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SP-1

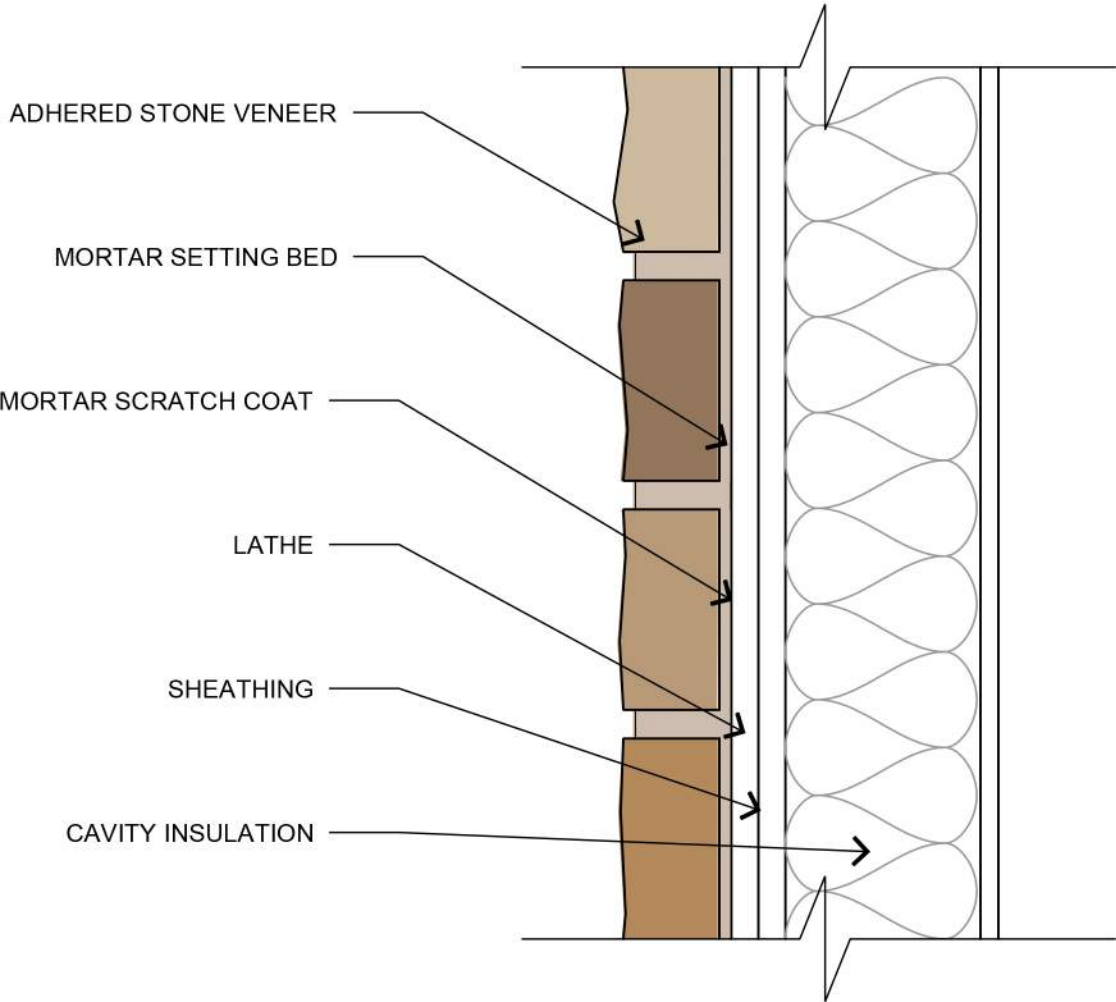
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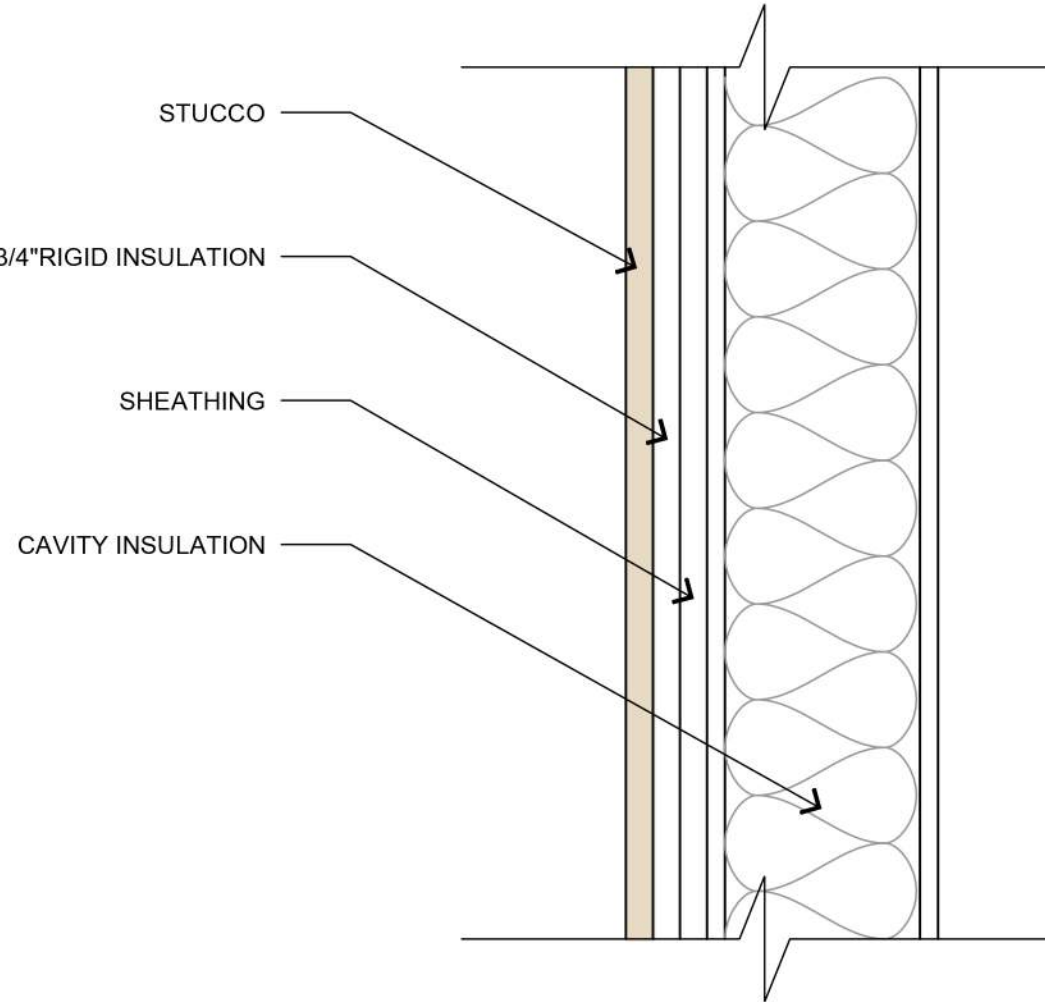
Exhibit 4

MATERIALS & COLORS

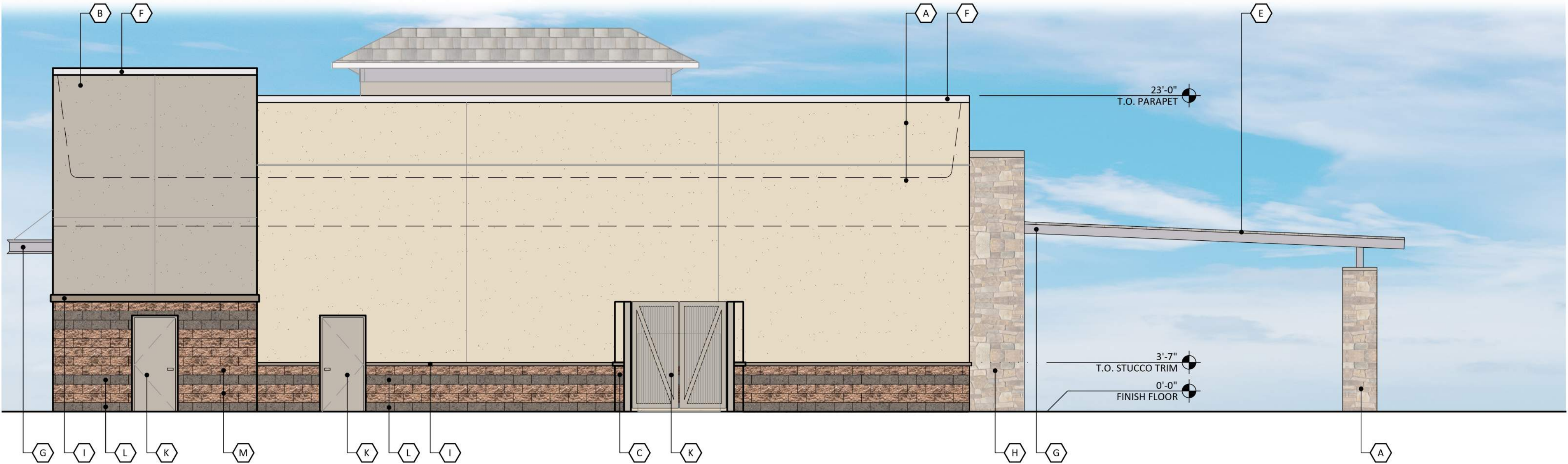
- A PAINTED STUCCO:**
MFG: GLIDDEN
COLOR: CAMEL TAN
- D PAINTED METAL CAP FLASHING:**
MFG: GLIDDEN
COLOR: WRIGHT STONE TAN
- G PAINTED METAL AWNING:**
MFG: ICI (OR EQUIVALENT)
COLOR: RENDEZVOUS ICI 1599
- J ALUMINUM STOREFRONT:**
MFG: KAWNEER
COLOR: DARK BRONZE
- M 4" CMU VENEER:**
MFG: ECHELON MASONRY (OR EQUIVALENT)
TYPE: SPLIT FACE
COLOR: AUTUMN
- B PAINTED STUCCO:**
MFG: GLIDDEN
COLOR: SILVER CLAMSHELL
- E TILE ROOF:**
MFG: MONIER (OR EQUIVALENT)
COLOR: KOCONO
- H 2" STONE VENEER:**
MFG: CULTURED STONE (OR EQUIVALENT)
COLOR: TEHAMA
- K PAINTED HOLLOW METAL DOORS:**
MFG: GLIDDEN
COLOR: SILVER CLAMSHELL
- C PAINTED STUCCO:**
MFG: GLIDDEN
COLOR: WRIGHT STONE TAN
- F PAINTED METAL CAP FLASHING:**
MFG: GLIDDEN
COLOR: RAINDROP WHITE
- I PAINTED STUCCO BANDING:**
MFG: GLIDDEN
COLOR: WRIGHT STONE TAN
- L 4" CMU VENEER:**
MFG: ECHELON MASONRY
TYPE: SPLIT FACE
COLOR: UMBER BROWN



EXTERIOR STONE VENEER SYSTEM



EXTERIOR STUCCO SYSTEM



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

CHANDLER AND COOPER
300 N COOPER ROAD
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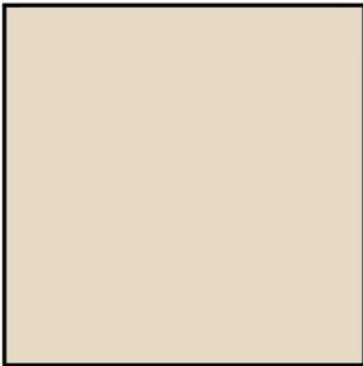
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EL-1

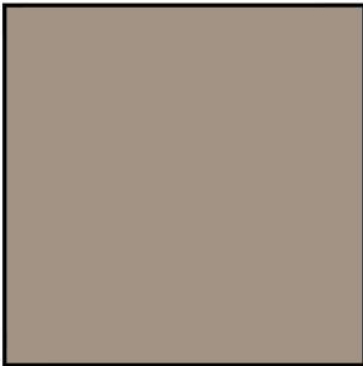
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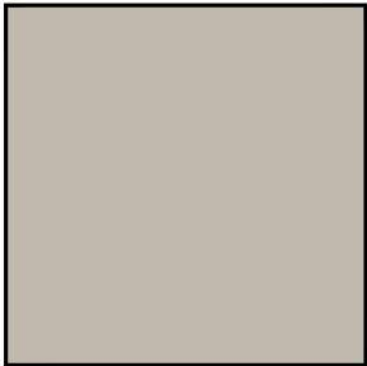
Exhibit 5



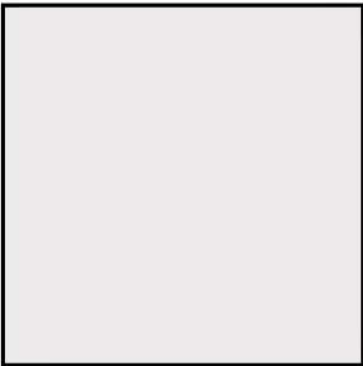
SMOOTH FINISH STUCCO
PAINTED
GLIDDEN
CAMEL TAN (PPG12-13)



SMOOTH FINISH STUCCO PAINTED
GLIDDEN
WRIGHT STONE TAN
(10YY 30/106)



SMOOTH FINISH STUCCO PAINTED
GLIDDEN
SILVER CLAMSHELL
(30YY 49/071)



SMOOTH FINISH STUCCO PAINTED
GLIDDEN
RAINDROP WHITE
(30GG 83/006)



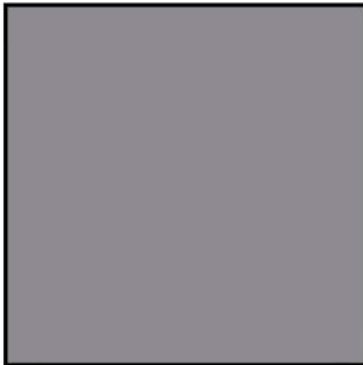
STONE VENEER
CULTURED STONE (OR EQUIVALENT)
TEHAMA



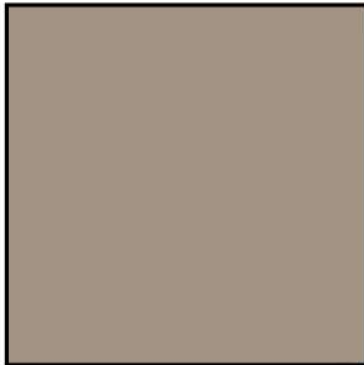
CMU VEENER
ECHELON MASONRY
SPLIT FACE
UMBER BROWN



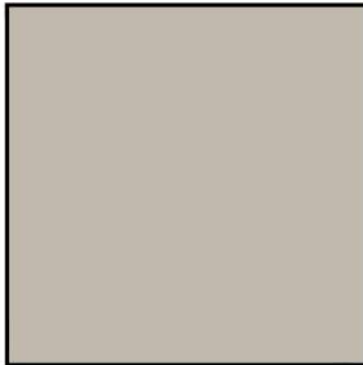
CMU VEENER
ECHELON MASONRY (OR EQUIVALENT)
SPLIT FACE
AUTUMN



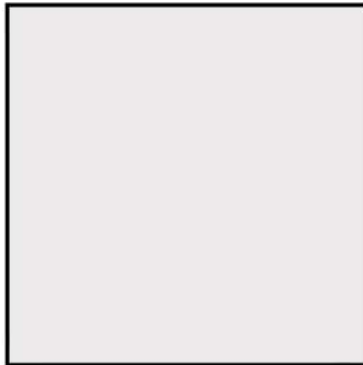
METAL AWNINGS PAINTED
ICI (OR EQUIVALENT)
RENDEZVOUS
(ICI 1599)



METAL PARAPET CAP PAINTED
GLIDDEN
WRIGHT STONE TAN
(10YY 30/106)



HOLLOW METAL DOORS PAINTED
GLIDDEN
SILVER CLAMSHELL
(30YY 49/071)



METAL PARAPET CAP PAINTED
GLIDDEN
RAINDROP WHITE
(30GG 83/006)

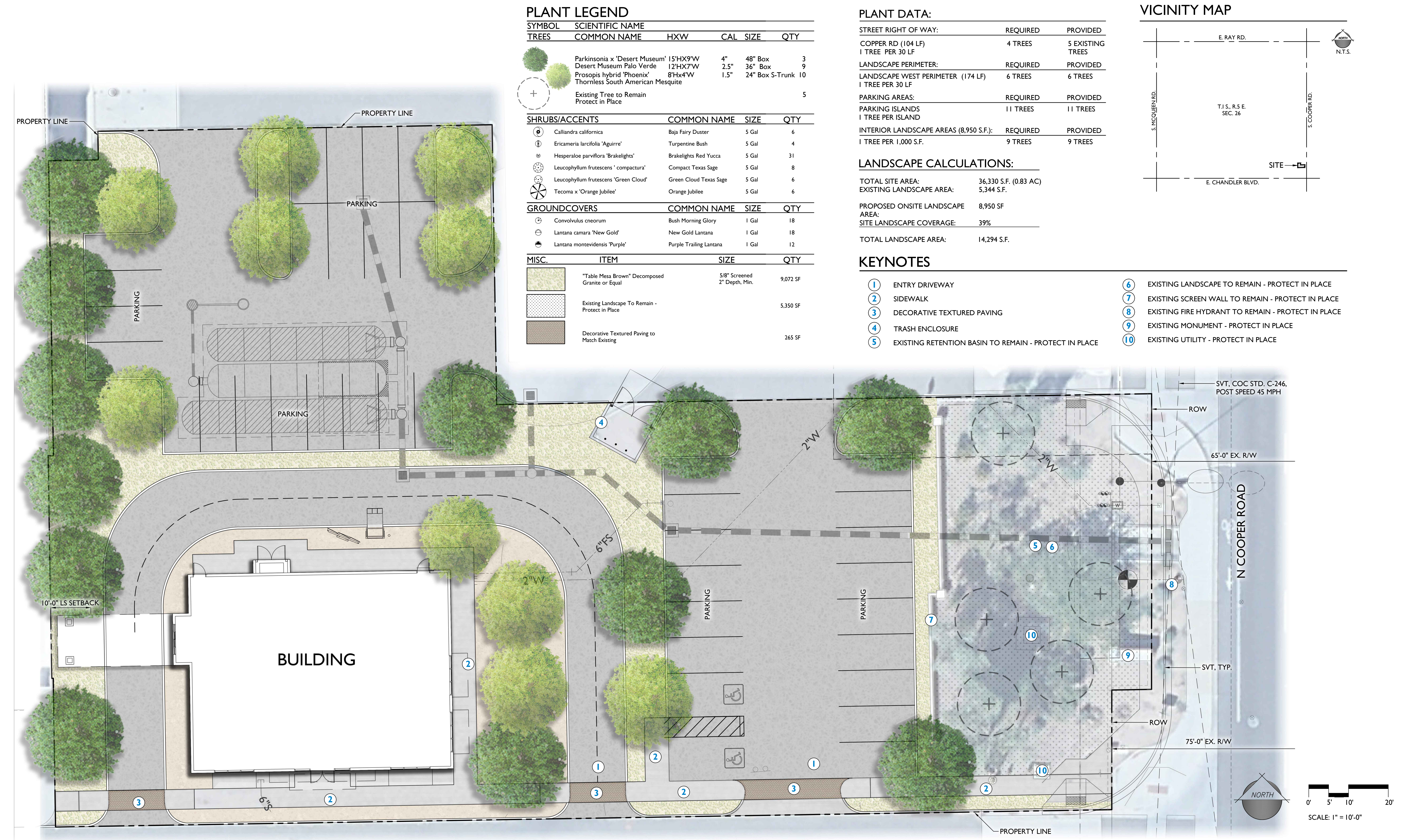


STOREFRONT/MULLIONS
KAWNEER
DARK BRONZE



TILE ROOF
MONIER (OR EQUIVALENT)
KOCONO

Exhibit 6



PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	HXW	CAL	SIZE	QTY
TREES						
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	15'Hx9"W	4"	48" Box	3
	Prosopis hybrid 'Phoenix'	Thornless South American Mesquite	12'Hx7"W	2.5"	36" Box	9
	Prosopis hybrid 'Phoenix'	Thornless South American Mesquite	8'Hx4"W	1.5"	24" Box S-Trunk	10
	Existing Tree to Remain	Protect in Place				5

SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
	Calliandra californica	Baja Fairy Duster	5 Gal 6
	Ericameria larcifolia 'Aguirre'	Turpentine Bush	5 Gal 4
	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca	5 Gal 31
	Leucophyllum frutescens 'compactura'	Compact Texas Sage	5 Gal 8
	Leucophyllum frutescens 'Green Cloud'	Green Cloud Texas Sage	5 Gal 6
	Tecoma x 'Orange Jubilee'	Orange Jubilee	5 Gal 6

GROUNDCOVERS	COMMON NAME	SIZE	QTY
	Convolvulus cneorum	Bush Morning Glory	1 Gal 18
	Lantana camara 'New Gold'	New Gold Lantana	1 Gal 18
	Lantana montevidensis 'Purple'	Purple Trailing Lantana	1 Gal 12

MISC.	ITEM	SIZE	QTY
	"Table Mesa Brown" Decomposed Granite or Equal	5/8" Screened 2" Depth, Min.	9,072 SF
	Existing Landscape To Remain - Protect in Place		5,350 SF
	Decorative Textured Paving to Match Existing		265 SF

PLANT DATA:

STREET RIGHT OF WAY:	REQUIRED	PROVIDED
COPPER RD (104 LF) 1 TREE PER 30 LF	4 TREES	5 EXISTING TREES
LANDSCAPE PERIMETER:	REQUIRED	PROVIDED
LANDSCAPE WEST PERIMETER (174 LF) 1 TREE PER 30 LF	6 TREES	6 TREES
PARKING AREAS:	REQUIRED	PROVIDED
PARKING ISLANDS 1 TREE PER ISLAND	11 TREES	11 TREES
INTERIOR LANDSCAPE AREAS (8,950 S.F.):	REQUIRED	PROVIDED
1 TREE PER 1,000 S.F.	9 TREES	9 TREES

LANDSCAPE CALCULATIONS:

TOTAL SITE AREA:	36,330 S.F. (0.83 AC)
EXISTING LANDSCAPE AREA:	5,344 S.F.
PROPOSED ONSITE LANDSCAPE AREA:	8,950 SF
SITE LANDSCAPE COVERAGE:	39%
TOTAL LANDSCAPE AREA:	14,294 S.F.

KEYNOTES

- 1 ENTRY DRIVEWAY

2 SIDEWALK

3 DECORATIVE TEXTURED PAVING

4 TRASH ENCLOSURE

5 EXISTING RETENTION BASIN TO REMAIN - PROTECT IN PLACE
- 6 EXISTING LANDSCAPE TO REMAIN - PROTECT IN PLACE

7 EXISTING SCREEN WALL TO REMAIN - PROTECT IN PLACE

8 EXISTING FIRE HYDRANT TO REMAIN - PROTECT IN PLACE

9 EXISTING MONUMENT - PROTECT IN PLACE

10 EXISTING UTILITY - PROTECT IN PLACE

VICINITY MAP

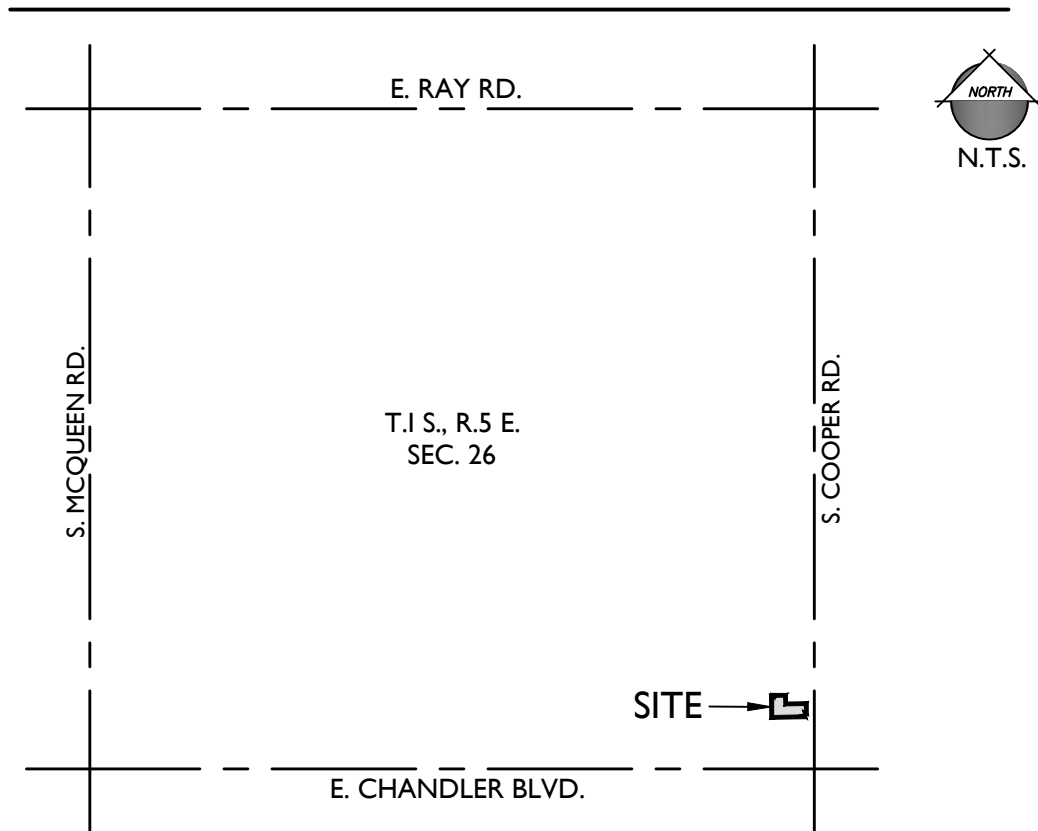


Exhibit 7

