



221 East Indianola Avenue
Phoenix, Arizona 885012
602.899.1099

PROJECT: Mexicano Chandler – Tenant Improvement
PROJECT NO: 2401
CASE # PLH24-0022 The Mexicano
DATE: 12 JUL 2024

Entertainment Use Permit Narrative

Emergency Contact

Maggiore Group
14747 N Northsight Blvd., Ste 106
Scottsdale, AZ 85260
Maggioregroup.com

Contact person for any neighbors or interested residents in the event of any disturbances:

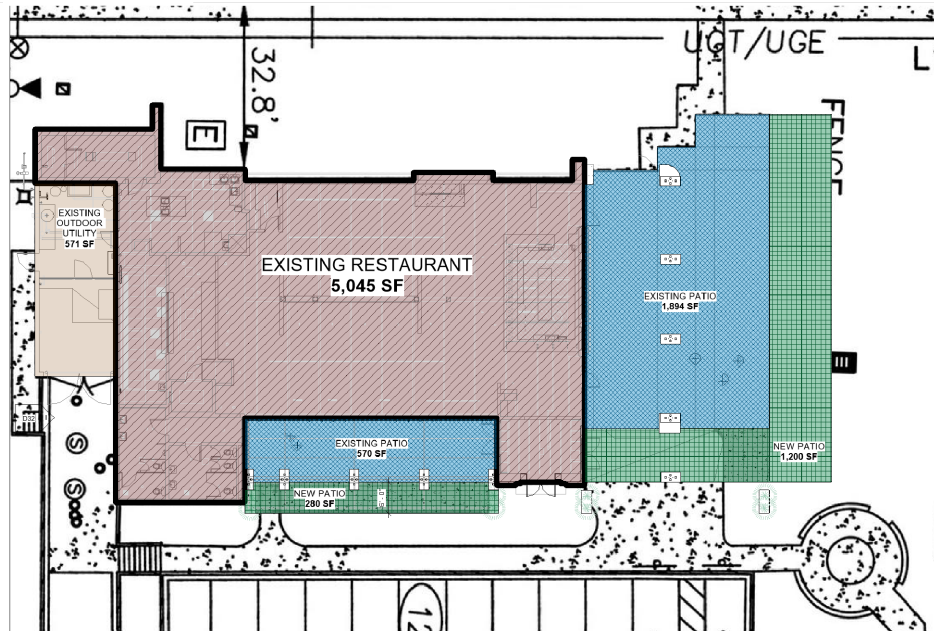
Seth Widdes
Vice President of Operations
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seth@maggioregroup.com

Introduction

This project submission is for the remodel of a former restaurant space into the new location of the The Mexicano restaurant by The Maggiore Group. The interior of the restaurant will be modernized and the kitchen will be modified to accommodate The Maggiore Group throughput standards. The exterior will receive visual upgrades, including newer painted steel shade structures over both patios to replace the deteriorating wooden ones, extended patio areas, and general finish upgrades. Parking numbers were compliant with the previous restaurant use, and will be unchanged and compliant with this use.

The areas of the new work are:

Existing restaurant (unchanged)	5,045 SF
North Patio	
Existing	1,894 SF
Extended	1,200 SF
East Patio	
Existing	570 SF
Extended	280 SF
Outdoor Utility	571 SF
	9,560 SF



The North Patio is to be extended 1,200 SF by extending 12'-0" from the current edge of patio, and will extend up to the revised retention area (see updated civil drawings). The new painted shade structure will utilize the existing column bases to receive new steel column groupings. Existing bases will be wrapped in a new painted steel facing (black) to be more related to the new design. The window wall under the North canopy will be slightly expanded to introduce more glass into this wall – the large bar opening as shown in the drawings for the North Patio is a Crown SST-II Bi-Fold system.

The East Patio is much smaller than the North, but will receive the same painted steel structure and treatment to the existing column bases. The patio flatwork will extend 6'-0" into the existing landscape area, which will be slightly regraded to establish the same retention capacity as the original design. The 3 openings in the East patio are larger multiglide sliders – Fleetwood and the configuraion shown below.

002A	9' - 0"	7' - 0"	0' - 0 3/4"	7' - 0 1/2"	9' - 1"	ANNOD ALUM	ALUM	BY MFR	Sliding Glass Wall - PXXXXP Configuration
002B	9' - 0"	7' - 0"	0' - 0 3/4"	7' - 0 1/2"	9' - 1"	ANNOD ALUM	ALUM	BY MFR	Sliding Glass Wall - PXXXXP Configuration
002C	9' - 0"	7' - 0"	0' - 0 3/4"	7' - 0 1/2"	9' - 1"	ANNOD ALUM	ALUM	BY MFR	Sliding Glass Wall - PXXXXP Configuration

Proposed exterior materials are shown on sheet G5 Exterior Finishes

General Scope of work:

- Remodel – Old existing Majerle's Sports Grille
- New interior construction scope
 - Kitchen would add a hot line in front of the current hot line. The existing hot line would become the back prep line. This would push the kitchen food pass forward where they are currently showing a server area.
 - The bar area would adjust slightly. As we will add the BYO Margarita area to the bar facing the new entrance.
 - No change at bathrooms
- New Exterior scope
 - Enlarge Patio space (see red one on attached image below)
 - Exterior Facelift – TBD, no structural anticipated
 - Kitchen equipment layout / cutsheets will be provided by kitchen designer

APN: 301-65-891B

OWNER:

PROPERTY ADDRESS: 3095 West Chandler Blvd, Chandler, AZ 85226

LEGAL DESCRIPTION:

SITE INFORMATION

APN: 301-65-891B
OWNER:
PROPERTY ADDRESS: 3095 West Chandler Blvd, Chandler, AZ 85226
LEGAL DESCRIPTION:

ZONING: PAD (PLANNED AREA DEVELOPMENT DISTRICT)
LOT SIZE: 342,538 SF (7.862 AC)
SUBDIVISION:
CONSTRUCTION YEAR

RESTAURANT

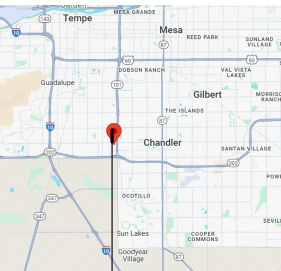
BUILDING HEIGHT: 36'-0"
ALLOWED: 24'-0"
PROVIDED:
CONSTRUCTION TYPE: V-B (FULLY SPRINKLERED)
OCCUPANCY: A-3 (RESTAURANT)

EXISTING PARKING DATA:
UNCHANGED

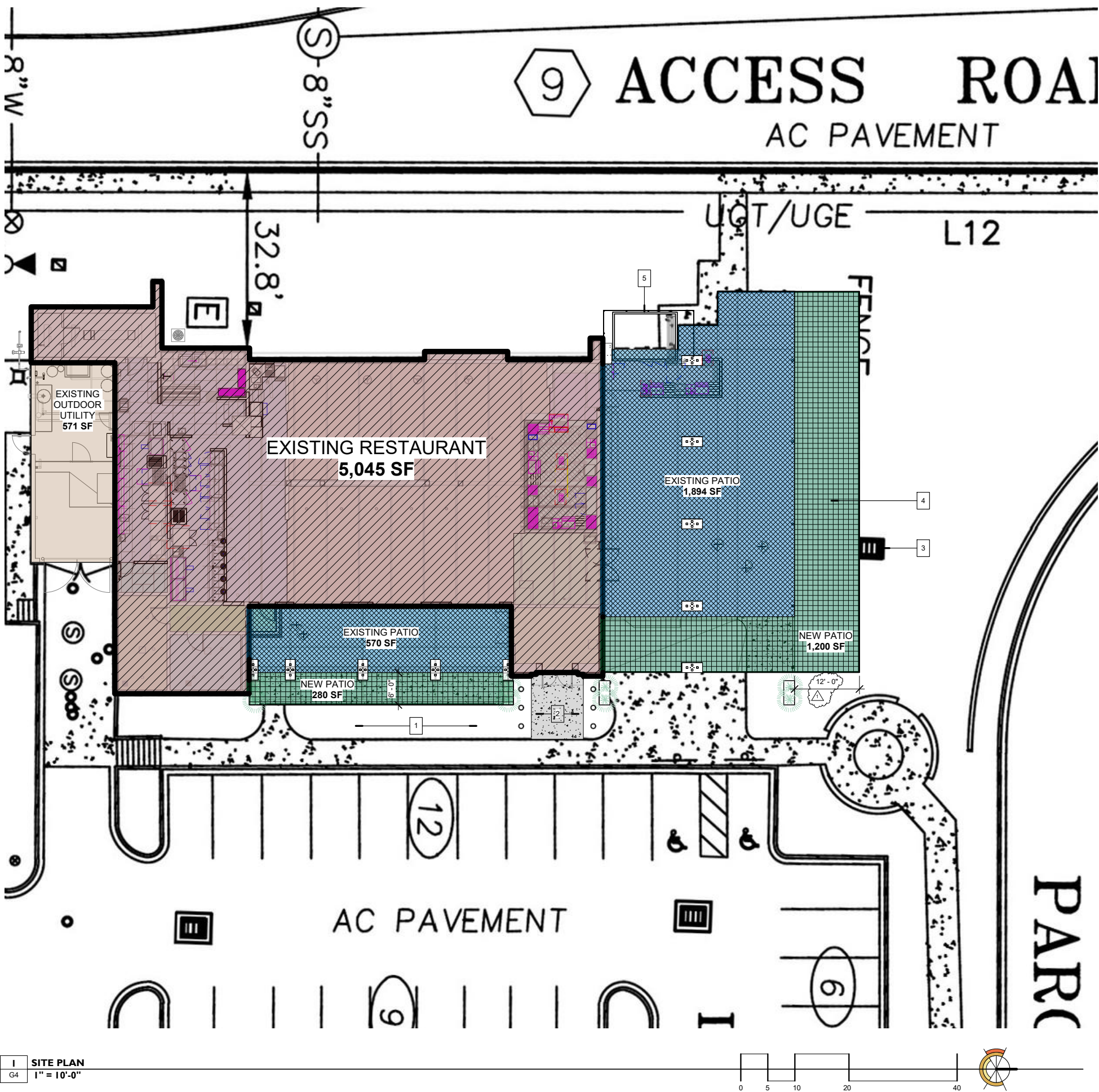
SITE STANDARD NOTES

1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. NO OBSTRUCTIONS TO VIEW SHALL BE ERECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA. ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6' CURB ELEVATION. ALL SHRUBS IN THIS AREA MAY NOT REACH A MATURE HEIGHT OVER 24".
3. ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
4. TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
5. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6)(H).
6. PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1903(6)(C)(4).
7. ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NONLIVING MATERIALS (I.E. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH, ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903(6)(C)(11), ZONING CODE.
8. TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS AND PUBLIC ACCESS-WAYS. SHRUBS MUST BE, AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, PIV OR FDC. SEE SECTION 1903(6)(J) (1), ZONING CODE.
9. ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR IN COMPLIANCE WITH THE ZONING CODE. SEE SECTION 1903(6)(H), ZONING CODE.
10. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL AND THAT SUCH MUST BE RELOCATED AND/OR CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
11. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPE OR WALLS, SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING OR WALL COLOR.
12. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.
13. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED

VICINITY



3095 West Chandler Blvd,
Chandler, AZ 85226



I SITE PLAN
G4 1" = 10'-0"

KEYNOTES

1. MODIFY EXISTING RETENTION AREA AS REQUIRED TO PROVIDE SAME LEVEL OF RETENTION AS ORIGINAL DESIGN AFTER EXTENSION OF PATIO HARDSCAPE.
2. NEW SIDEWALK
3. EXISTING DRAINAGE GRATE AND RIP RAP - EXISTING TO REMAIN.
4. EXTENDED DECK TO NORTH TO BE CREATED AS SLAB ON GRADE (ADA ACCESSIBLE. SEE G5 FOR MORE INFORMATION) - SEE G&D FOR MORE INFORMATION
5. EXTERIOR WALK IN - SCREEN WALL PROVIDED, SEE ELEVATION SHEETS FOR MORE INFORMATION

GENERAL NOTES

1 - INFORMATION TAKEN FROM FITCH ADD APPROVED SITE PLAN, 11/16/2001

FIRE NOTES

1. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. (IFC 505.1)
2. Addressing shall be in accordance with City Standards. (FD151)
3. Address numbers shall contrast with their background.
4. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.
5. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole, or other means shall be used to identify the structure.
6. Address numbers shall be maintained at all times.
7. Trees, when fully mature, shall not encroach on the fire lanes or cover any required addressing.
8. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall contain keys to gain necessary access as required by the fire code official.
A. Buildings designed to use a "key fob" system shall also install a numeric keypad at the entrance of at least one door.
9. The key box is to be visible and readily accessible from the front entrance of the building.
10. A 2nd key box shall be installed at the riser room door if it is remote from the front door.
11. Additional key box(s) may be required for large buildings.
12. The top of the key box to be located no more than six (6) feet high on the wall and no lower than four (4) feet from the finished grade.
13. Chandler Fire Department requires one grand master key for the building that will open all the doors, including the Fire Sprinkler Riser Room and the Fire Alarm Room. If there are multiple tenants, multiple grand master keys are required.
14. The key box shall be large enough to hold the number of keys required for the building. Where electronic swipe fobs/cards are used in addition to the required grand master key, the key box shall be large enough to hold all key swipe fobs/cards and keys for the building or multiple boxes at the entrance may be required.
15. A red identification sticker will be applied to the main entrance door.
16. The Operator of the building shall immediately notify the Chandler Fire Department at 480-782-2120 and provide the new key when a lock is changed or rekeyed.
17. Key box(s) may be obtained by going to www.knoxbox.com (enter Chandler when asked for the city).

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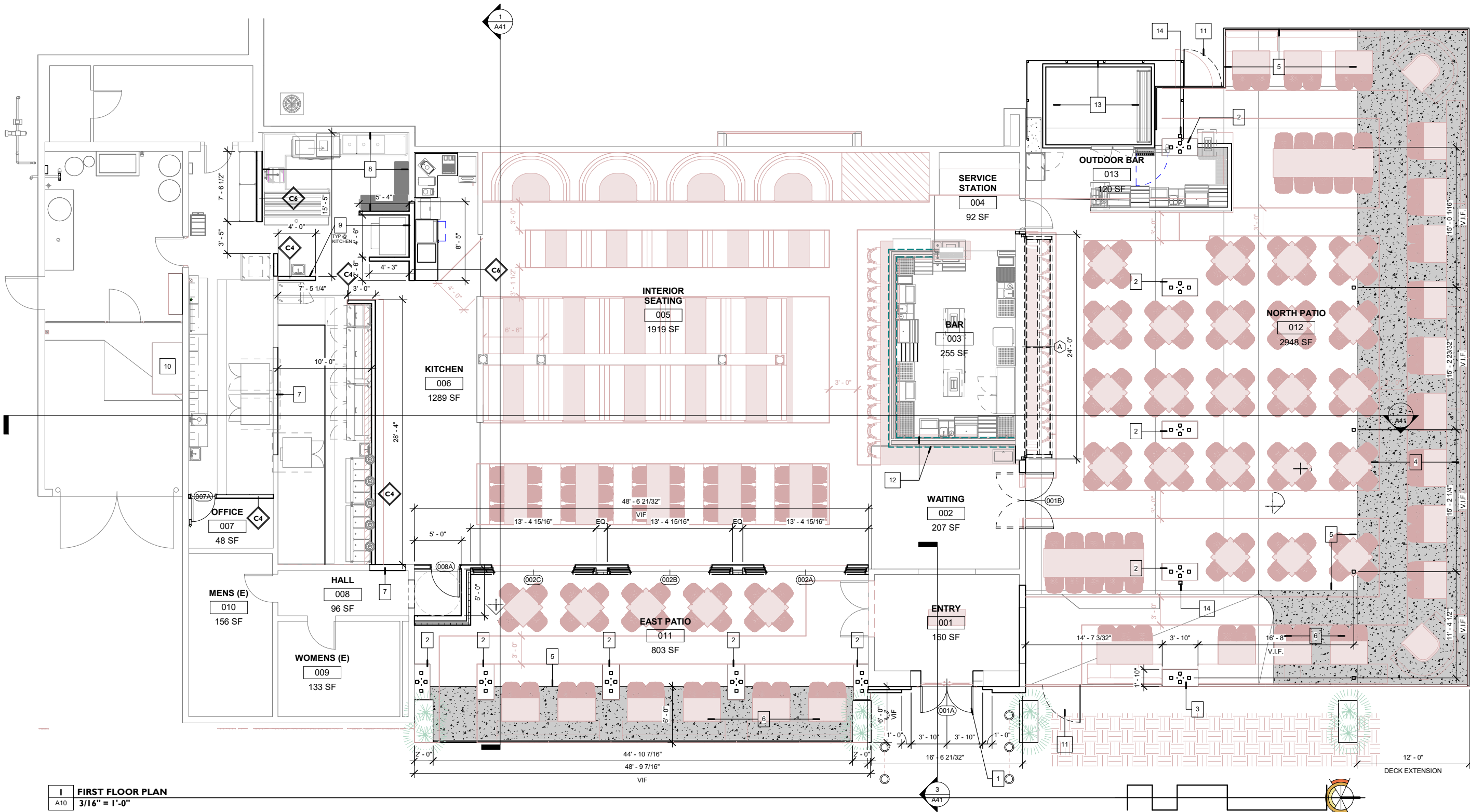
TENANT IMPROVEMENT

Mexicano Chandler

Revision Schedule	
Description	Date
Revision 1	Date 1
Plan Review	02/29/24
Plan Review	03/01/24
Plan Review	03/06/24
ADMIN DR	03/08/24
PATIO EXTEN	03/12/24
WALK IN	03/15/24
DEMO	04/19/24
PERMIT	05/24/24
ADR REV1	05/29/24

SITE PLAN

G4



I FIRST FLOOR PLAN
A10 3/16" = 1'-0"

KEYNOTES

- NEW ENTRY LOCATION - UPDATED FACINGS
- REUSE COLUMN BASES FOR NEW SHADE STRUCTURE, TYPICAL
- NEW COLUMN BASE FOR NEW SHADE STRUCTURE, MATCH EXISTING HEIGHT, MATCH NEW FACNG
- PERVIOUS DECK EXTENSION - STEEL GRATING ALLOWING DRAINAGE TO EXISTING SYSTEMS - NO ADDITIONAL LOAD TO BASIN.
- LINE OF EXISTING DECK
- NEW CONCRETE POUR - DECK EXTENSION. FINAL FINISH TBD, MATCH EXISTING FINISHES.
- INFIL EXISTING WALL - MATCH THICKNESS
- PROVIDE FULL HEIGHT STAINLESS STEEL WALL PANELS AT ENTIRE DISHWASH AREA, TYP.
- PROVIDE FULL WOOD BACKING AT ALL KITCHEN WALL, TYP.
- EXISTING SES
- NEW PATIO GATE.
- LED LIGHTS - 2700K TAPE LIGHT 2.2W/FT IN EXTRUSION. COORDINATE FINAL PLACEMENT IN FIELD WITH OWNER
- OUTDOOR WALK IN COOLER - CUSTOM SCREEN
- 4" DOWNSPOUT - RUN TO DRAINAGE RETENTION AREA

GENERAL NOTES

- PROVIDE SHOP DRAWINGS FOR BAR. OWNER / ARCHITECT APPROVAL OF BAR REQUIRED PRIOR TO FABRICATION

HEALTH DEPT.

- FLOOR AND COVERED BASE IN KITCHEN AREAS TO BE DURABLE, LIGHT COLORED, SMOOTH, NON-ABSORBENT AND EASILY CLEANABLE.
- WALLS AND CEILING IN KITCHEN AREAS TO BE DURABLE, LIGHT COLORED, SMOOTH, NON-ABSORBENT AND EASILY CLEANABLE.
- T-BAR CEILINGS IN KITCHEN AREAS TO BE 2 X 4 LAY-IN WITH WASHABLE MYLAR COATED PANELS.
- ALL EQUIPMENT AND INSTALLATIONS TO MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARDS OR EQUIVALENT.
- ALL EXTERIOR DOORS FROM KITCHEN AREAS TO OPEN OUTWARD AND BE SELF CLOSING.
- A MINIMUM OF 20 FOOT CANDLES OF LIGHT MEASURES 30" ABOVE FINISHED FLOOR TO BE PROVIDED IN ALL KITCHEN AREAS, INCLUDING FOOD PREP, DISHWASHING, AND DURING GENERAL CLEANUP.
- LIGHT FIXTURES IN FOOD PREP AREAS, STORAGE, AND CLEANUP AREAS TO BE OF SHATTERPROOF CONSTRUCTION OR PROTECTED WITH SHATTERPROOF SHIELDS.
- ALL SINKS AND LAVATORIES IN KITCHEN AREAS TO BE SUPPLIED WITH HOT (MIN, 120 DEGREES FAHRENHEIT) AND COLD RUNNING WATER UNDER PRESSURE WITH A COMBINATION FAUCET.

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EXPIRES 30 SEP 2026

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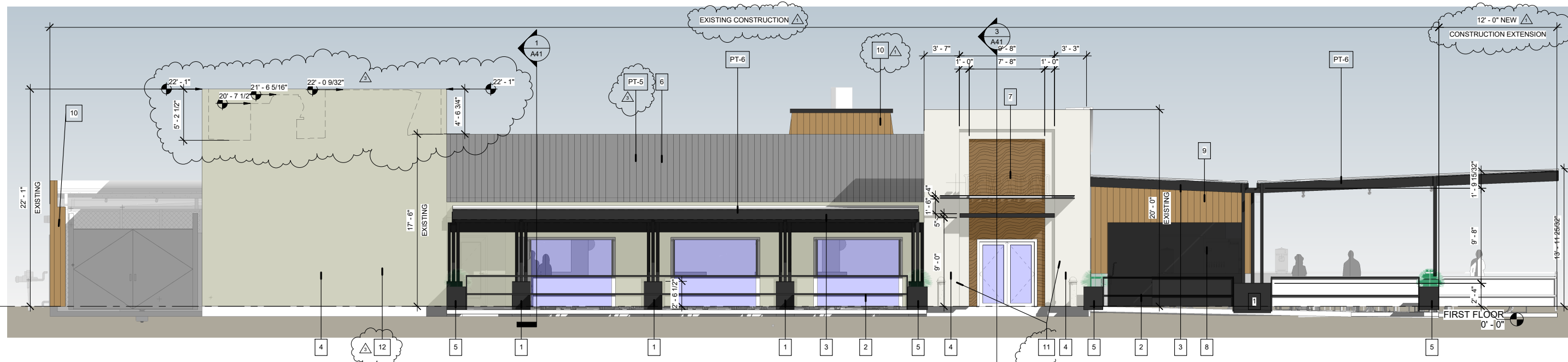
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FLOOR PLAN

A10



2 NORTH ELEVATION - COLORED
A31C 3/16" = 1'-0"



1 EAST ELEVATION - COLORED
A31C 3/16" = 1'-0"

EXTERIOR STUCCO (OR EQUAL - PROVIDE SAMPLE)

STUCCO: CEMENTITIOUS
BRAND: STO POWERWALL CI (OR EQUAL)

COLOR: STO 16004
FINISH: NORTH
NORTH

SEALER: OMEGA AKROTIQUE PIGMENTED ACRYLIC SEALER (OR EQUAL)

AkroTique is a pigmented acrylic sealer designed to create a rustic, mottled finish similar to the timeless beauty of century old plaster. AkroTique offers an "Old World" look that does not take a lifetime to create.

AkroTique is used as an antique stain and/or sealer over acrylic-based, lime-based or cement-based finishes.

31137
77 C1 O
RGB: 230,229,216

31134
54 C1 O
RGB: 196,197,175

METAL WALL PANEL

WESTERN STATES METAL ROOFING
SPECIALTY PAINT PRINTS

7/8" CORRUGATED

WRC CHANNEL LAP SIDING PATTERN MILLED PROFILE

TYPE: MFR: CEDAR SHIP LAP SIDING
SIZE: FINISH: BUFFALO LUMBER CO. OR EQUAL
1 X 6 SEALED

EXTERIOR WOOD AT ENTRY FEATURE

WRC CHANNEL LAP SIDING PATTERN MILLED PROFILE

TYPE: MFR: CEDAR SHIP LAP SIDING
SIZE: FINISH: BUFFALO LUMBER CO. OR EQUAL
1 X 6 SEALED

1" SHIPLAP

CORTEN STEEL SHEETS - SCREEN WALL

TYPE: UNFINISHED
FINISH: SEALER:

ASTM A588 OR A606 TYPE 4 FLAT STOCK TO BE DETERMINED PER SPECIFIC DETAIL

ASTM A588 covers high-strength low-alloy structural steel shapes, plates, and bars for welded, riveted, or bolted construction but intended primarily for use in welded bridges and buildings where savings in weight or added durability are important. The atmospheric corrosion resistance of this steel in most environments is substantially better than that of carbon structural steels with or without copper addition. When properly exposed to the atmosphere, this steel is suitable for many applications in the bare (unpainted) condition. A606-4 is a type of high strength low alloy steel that is known for its rusted appearance. It's popular because it can be made into metal panels and has a rusted appearance. Corten flat sheets will not arrive pre-rusted. Weathering steel will rust naturally when exposed to the weather.

PAINT COLORS

PT-5 AFTER THE STORM PPG1036-4 EXISTING METAL ROOFING

PT-6 STARLESS SKY PPG0995-7 EXTERIOR STEEL DETAILING

CHANDLER NOTES

1. All roof mounted mechanical equipment shall be fully screened by parapet walls equal to, or greater than, the highest point on the mechanical equipment.
2. Solid masonry walls and gates equal to, or greater than, the highest point on the mechanical equipment shall screen all ground-mounted mechanical equipment.
3. Any roof access ladders shall be located inside the building. Roof drainage shall utilize interior roof drains or be architecturally integrated into the building design. Architecturally integrated roof drains shall require additional articulation beyond paint accents. Section 35-1902 (B)(e)(15), Zoning Code.
4. Screening shall be architecturally integrated for the Service Entrance Section (SES) and all utilities. All ground mounted equipment shall be screened from public view by a concrete or masonry wall with solid gates, equal to or greater in height than the mechanical equipment. Section 35-1902 (B)(e)(13), Zoning Code.
5. Signs require a separate submittal and permit.

KEYNOTES

- 1 PAINTED EXISTING COLUMN BASE, PT-6
- 2 PATIO RAILING - PAINTED, PT-6, TYP
- 3 NEW STEEL SHADE PATIO STRUCTURE - PAINTED, PT-6, TYP
- 4 STUCCO - SEE G5. REMOVE EXISTING FAILING FINISHES AND PREP FOR NEW FINISHES
- 5 PLANTER BOX
- 6 EXISTING METAL ROOFING - PAINT PT-5
- 7 SIGNAGE - NIC
- 8 EXTERIOR WALK IN - CUSTOM COLOR BLACK. SEE G5 FOR MORE INFO.
- 9 SOLID SCREEN WALL - METAL PANEL WRAP
- 10 METAL PANEL - SEE G5 FOR COLOR AND FINISH. REMOVE EXISTING FAILING FINISHES AND PREP FOR NEW PANEL INSTALLATION
- 11 STUCCO COLOR 1
- 12 STUCCO COLOR 2



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PERMIT REV1	06/28/24
ADR REV2	06/28/24
ADR REV3	07/19/24
ADR REV4	09/04/24

EXTERIOR ELEVATIONS - COLORED

A31C