Chandler 56

Rezoning, Preliminary Development Plan and Preliminary Plat Request

Case Nos. PLH24-0021, PLT24-0007

Final Submittal: October 28, 2024

3rd Submittal: October 11, 2024

2nd Submittal: September 17, 2024

1st Submittal: May 17, 2024

WITHEY
MORRIS
BAUGH

Development Team

Developer:

2555 East Camelback Road, Suite 100
Phoenix, AZ 85016

Legal Representative:
Withey Morris Baugh PLC
Jason Morris / Stephanie Watney, AICP
2525 East Arizona Biltmore Circle, Suite A-212
Phoenix, Arizona 85016

Architect:
Opus AE Group, L.L.C.
10350 Bren Road West Minnetonka, MN
55343-0110 952-656-4444

Civil Engineer:
Kimley-Horn
7740 N. 16th Street, Suite 300
Phoenix, AZ 85020

Landscape Architect:
Studio DPA
P.O. Box 3489
Gilbert, AZ 85299

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I. PLANNED AREA DEVELOPMENT

A. Introduction and Project Overview

On behalf of Opus Development Company, L.L.C, a national developer of high-quality flex light industrial developments, this application is a request for approval of a Planned Area Development (PAD), Preliminary Development Plan ("PDP") and Preliminary Plat for the property located at the northeast corner of W Detroit Street and 56th Street, otherwise commonly known as Maricopa County Assessor's Parcel Numbers 301-68-006U ("South Parcel") and -006S ("North Parcel") (cumulatively, the "Property") (See **Tab A, Aerial Map**). The North Parcel is approximately 8.82 acres and the South Parcel is approximately 5.09 acres, for a total of approximately 14 acres. The Property is currently utilized as an industrial storage yard which features four (4) existing structures including a 5,000 square foot repair garage and 16,000 square foot storage warehouse, a 2,084 residential-type building and a 6,350 canopy structure. The Property is a prime infill industrial property, surrounded by other I-1 type uses.

As detailed herein, the intent of this PAD is to establish site-specific permitted uses, as well development standards and design criteria for redevelopment of the Property as a high-quality flex industrial development which will provide new employment opportunities within a designated growth area. The proposed Project features approximately 181,030 square feet of building area across three (3) buildings. The proposed development is an appropriate land use for the Property given the character of the surrounding area and site encumbrances including a 60' wide gas easement which runs through the middle of the site, which limits the extent of possible improvements within this area.

Ultimately, this PAD is compatible with existing land use patterns in the area and redevelopment of it will help further the City's goals for this growth area.

B. Relationship to Adjacent Properties

The Property is bound by 56th Street to the west; and, along its east boundary is the Kyrene Branch Canal. The area surrounding the Property consists of I-1 and PAD zoning to the north, east, south. To the west, beyond 56th Street, are I-1 and PAD uses.

C. General Plan and Zoning

The City of Chandler General Plan designation for the Property is "Employment". The "Employment" category is intended to strengthen the City's economic base by expanding growth areas and identifying a variety of employment areas for future growth. Major employers, knowledge-based industries, and industrial/business parks are encouraged within the Employment category. Additionally, a compatible mix of supporting commercial uses may be considered.

The Property is also designated as being within the Loop 202/I-10 Growth Area, which supports warehousing and large manufacturing with smaller support businesses. With the amount of traffic that passes by this area and the regional connectivity provided by the freeways, there is an opportunity to

redevelop the Property with new employment uses. The General Plan outlines policies for this Growth Area such as encouraging "business development that can benefit from strategic connectivity to regional, state, and interstate transportation key commerce corridors." Accordingly, this request conforms to the General Plan.

The North and South Parcel are zoned today with independent Planned Area Development districts for auto-storage and salvage uses. Because the existing PAD's are specific to auto-storage / salvage uses, a rezoning is required to provide a framework for development of the Property as envisioned. Accordingly, this PAD/PDP is requested to allow flex light industrial uses as permitted at the Property, and to establish site layout and building architecture for the Project, as detailed further below. This request will result in the highest and best use of the Property.

D. Permitted Uses

All uses permitted in the Planned Industrial (I-1) District of the Chandler Zoning Ordinance; research and development; tech-related business; and automotive accessory sales and installation uses. School uses shall be prohibited.

II. Preliminary Development Plan

The PDP establishes the site and building standards for development of the Property.

A. Development Standards

All development standards in the I-1 zoning district of the Chandler Zoning Ordinance shall apply to the Property, except as provided herein. In the event of a conflict between a provision of this application and a provision of the Chandler Zoning Ordinance, the provisions of this PAD shall apply. Refer to **Table 1** for a summary of development standards for this proposal.

Table 1 – Development Standards	
Development Standard	**PAD**
Building Height	Max. 55 feet
Building Setbacks (Min)	
Front (56th Street)	50'
Side (North Property Line)	10'
Side (South Property Line)	10'
Rear (East Property Line)	10'
Perimeter Landscape Setbacks (Min)	
Front (56th Street)	20'
Side (North Property Line)	10'
Side (South Property Line)	10' (1)
Rear (East Property Line)	10' (1)
Lot Coverage (Max)	55%

(1) *Perimeter landscaping is not required within the truck court to the east and south of Building C, given its adjacency to existing I-1 industrial uses and potential for conflicts.

B. Site Layout and Design

The proposed project consists of three flex-industrial buildings totaling approximately 181,030 gross square feet. Refer to **Tab B**, **Conceptual Site Plan**. The Project is being developed on a speculative basis, without known tenants, and is designed to accommodate a wide array of industrial users.

Three (3) access drives are proposed along 56th Street. The central access drive aligns with Erie Street and provides full movement for predominantly truck traffic. The central drive serves the truck courts, which are oriented internal to the site and screened from public view by 8-foot-tall walls. The outboard drives provide right-in / right-out movement to access auto parking and the front of the buildings. Auto parking is screened from public view by a combination of 32-inch-tall CMU walls and landscaping. The strategy for the access drives and internal vehicular circulation provides separation between truck and auto traffic to improve site function and safety. Pedestrian sidewalks at the north and south of the site connect the main entrances of the buildings to the existing public sidewalk along 56th Street. Approximately 377 auto parking stalls are provided at a ratio exceeding 2 stalls per 1,000 square feet, and thus meets the City's new parking requirements for flex industrial uses. Provisions for future EV charging stations are integrated into the plan so that charging stations can be installed at a future time with tenant demand.

Two (2) gas lines exist within a 60' wide easement which runs through the middle of the site, thus limiting the extent of possible improvements within this area. However, the gas easement area is planned to include a stabilized decomposed granite fire lane which doubles as a walkway and will be landscaped in a way that encourages pedestrian activity as a means of activating this portion of the site.

C. Architectural Design and Theme

The architectural vernacular of the proposed buildings is a modern character, with clean edges and forms provided. The main entrances to each building are visible from 56th Street and they stand out with a prominent geometric form. The entrance architecture is sculpted in a way that provides shade and integrates with the landscape design to provide pedestrian amenities. The primary building material is tilt-up concrete panels, which are embossed with a series of reveals and painted grey tones with an accent of blue. A mid-tone grey band is provided along the base of each building to visually anchor them to the ground and includes pedestrian scaled details. Windows are provided at eye level where potential office space would go, and clerestory windows are provided higher in the walls to allow daylight to penetrate deep into the space. Vertical banding carries across the façade to provide visual interest and uniformity across all buildings. The site is intended to have a campus-like architectural aesthetic. The project buildings are organized with internal truck courts and external auto parking. See **Tab C, Perspective Renderings, Tab E, Elevations, and Tab F, Colors and Materials Palette**.

D. Landscaping and Walls

Landscaping will be provided in accordance with the Zoning Ordinance, unless otherwise modified herein. The landscape architectural design for Chandler 56 will utilize a mix of regionally appropriate hardscape and planting materials that adhere to City of Chandler requirements, as well as fit with the surrounding area. The hardscape design will feature site amenities at each building entry including a low courtyard wall, bench seating, large-boxed shade trees and a boulder garden. The design of these elements is coordinated with the architectural features of the building, including related shade canopies.

Plant selections are based on low water use, durability, year-round color, and appropriateness of commercial sites. Landscape zones were established within the project limits and include Perimeter, Basins, Entries, Parking and Foundation plantings. Each zone is designed to utilize the best characteristics of the materials and maximize efficiency and aesthetics.

A low water use drip system and smart controller with rain sensors will be used for all landscape irrigation within the project site. No turf is being proposed.

The Project's frontage is planned with formal placements of Red Push Pistache, Evergreen Elm and Desert Willow, as well as strong massings of shrubs and accents, resulting in a strong formal streetscape design. Color, texture and massings will create visual interest for people and cars passing by. See **Tab D, Landscape Plan** and **Tab G, Site Details.**

The Property features an existing perimeter wall along the all sides of the Property excluding the street frontage. Perimeter and parking screen walls will be provided, as appropriate, along the 56th Street frontage to screen auto parking areas and truck dock areas.

E. Parking

As noted, there are 362 parking spaces required for the proposed development and 377 parking spaces are provided, exceeding the code minimums. The provided parking includes eleven (11) EV capable spaces and fifteen (15) accessible parking spaces. Bike racks will also be provided at each building entrance.

F. Signage

Signage for the Project will comply with the City's Zoning Code requirements.

G. Phasing

It is anticipated that the Project will be developed under a single phase, subject to market conditions.

III. Engineering

A. Grading and Drainage

Stormwater retention for the 100-year, 2-hour storm will be retained onsite in a combination of surface and underground retention basins. Retention basins will dissipate within 36-hours by the use of surface percolation and drywells. The site will be graded to drain stormwater runoff into these retention basins by the use of surface conveyance and storm drains pipes. **See *Tab H,* Preliminary Grading and Drainage Plan.** A preliminary plat is also provided herein at **Tab I**.

B. Water and Sewer

This Property is bound on the west by public right-of-way and existing public water and sewer infrastructure. Each building will have a separate domestic water and sanitary sewer service. For fire protection, a fire line will loop around the site with fire hydrants spaced at 500-foot maximum intervals to meet City of Chandler Fire Department requirements.

IV. Summary

Chandler 56 PAD will provide an attractive, high-quality development that will attract employment users to the area and provide new building inventory for businesses and employers who will contribute to the economic vitality of the City. This flexible project will accommodate a variety of business sizes and types to locate or expand their operations in an identified growth area. The proposed PAD/PDP conforms with and promotes the goals and objectives of the City of Chandler General Plan.

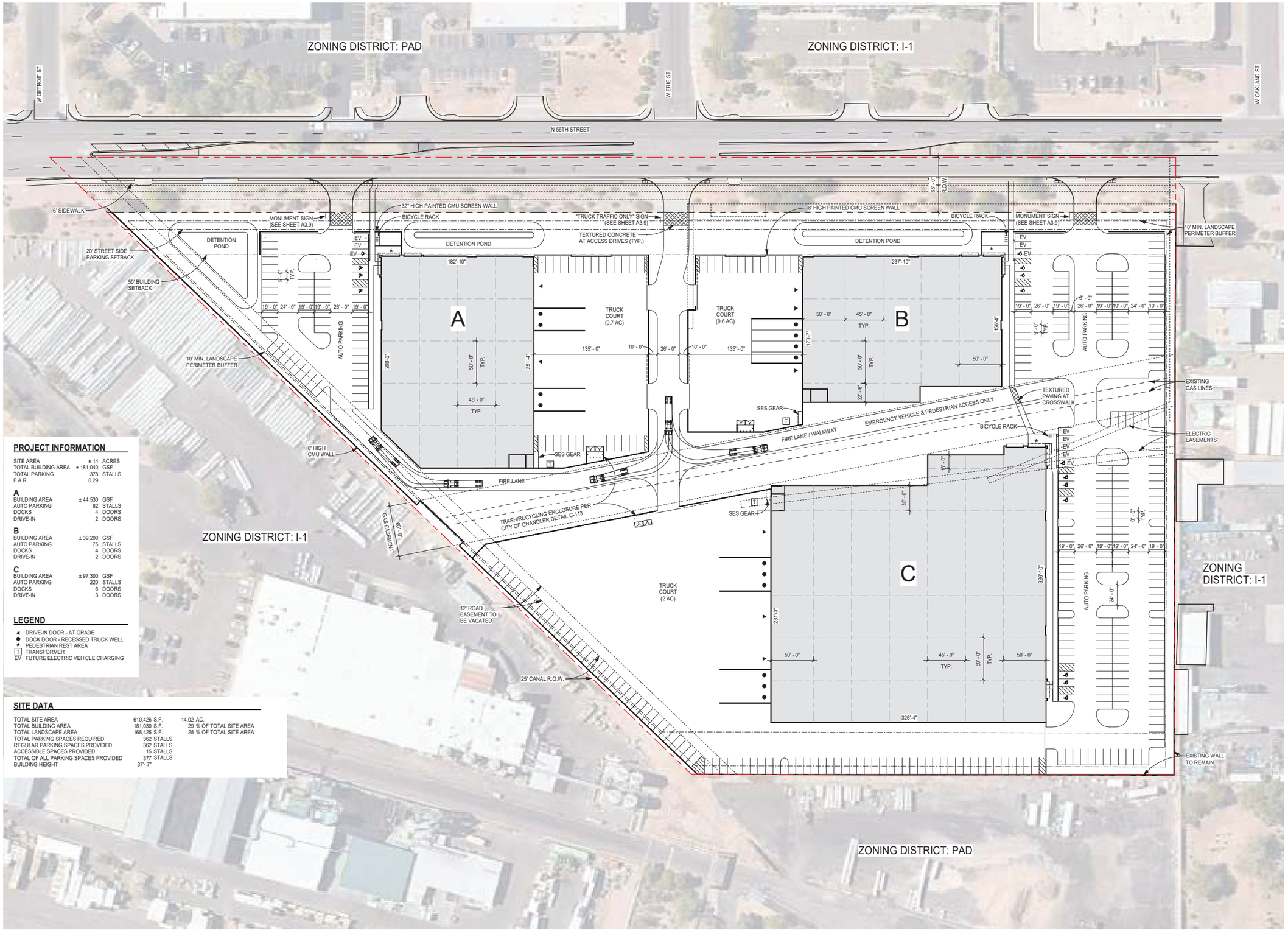
TAB A

SITE AERIAL MAP

WITHEY MORRIS BAUGH

N

TAB B



PROJECT INFORMATION

SITE AREA	± 14	ACRES
TOTAL BUILDING AREA	± 181,040	GSF
TOTAL PARKING	378	STALLS
F.A.R.	0.29	

A

BUILDING AREA	± 44,530	GSF
AUTO PARKING	82	STALLS
DOCKS	4	DOORS
DRIVE-IN	2	DOORS

B

BUILDING AREA	± 39,200	GSF
AUTO PARKING	75	STALLS
DOCKS	4	DOORS
DRIVE-IN	2	DOORS

C

BUILDING AREA	± 97,300	GSF
AUTO PARKING	220	STALLS
DOCKS	6	DOORS
DRIVE-IN	3	DOORS

LEGEND

- ◄ DRIVE-IN DOOR - AT GRADE
- ● DOCK DOOR - RECESSED TRUCK WELL
- ✱ PEDESTRIAN REST AREA
- [T] TRANSFORMER
- EV FUTURE ELECTRIC VEHICLE CHARGING

SITE DATA

TOTAL SITE AREA	610,426	S.F.	14.02 AC.
TOTAL BUILDING AREA	181,030	S.F.	29 % OF TOTAL SITE AREA
TOTAL LANDSCAPE AREA	168,425	S.F.	28 % OF TOTAL SITE AREA
TOTAL PARKING SPACES REQUIRED	362	STALLS	
REGULAR PARKING SPACES PROVIDED	362	STALLS	
ACCESSIBLE SPACES PROVIDED	15	STALLS	
TOTAL OF ALL PARKING SPACES PROVIDED	377	STALLS	
BUILDING HEIGHT	37'- 7"		

PLOT DATE: 10/9/2024 5:02:30 PM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

05/16/24	PDP - 1ST SUBMITTAL
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
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JW
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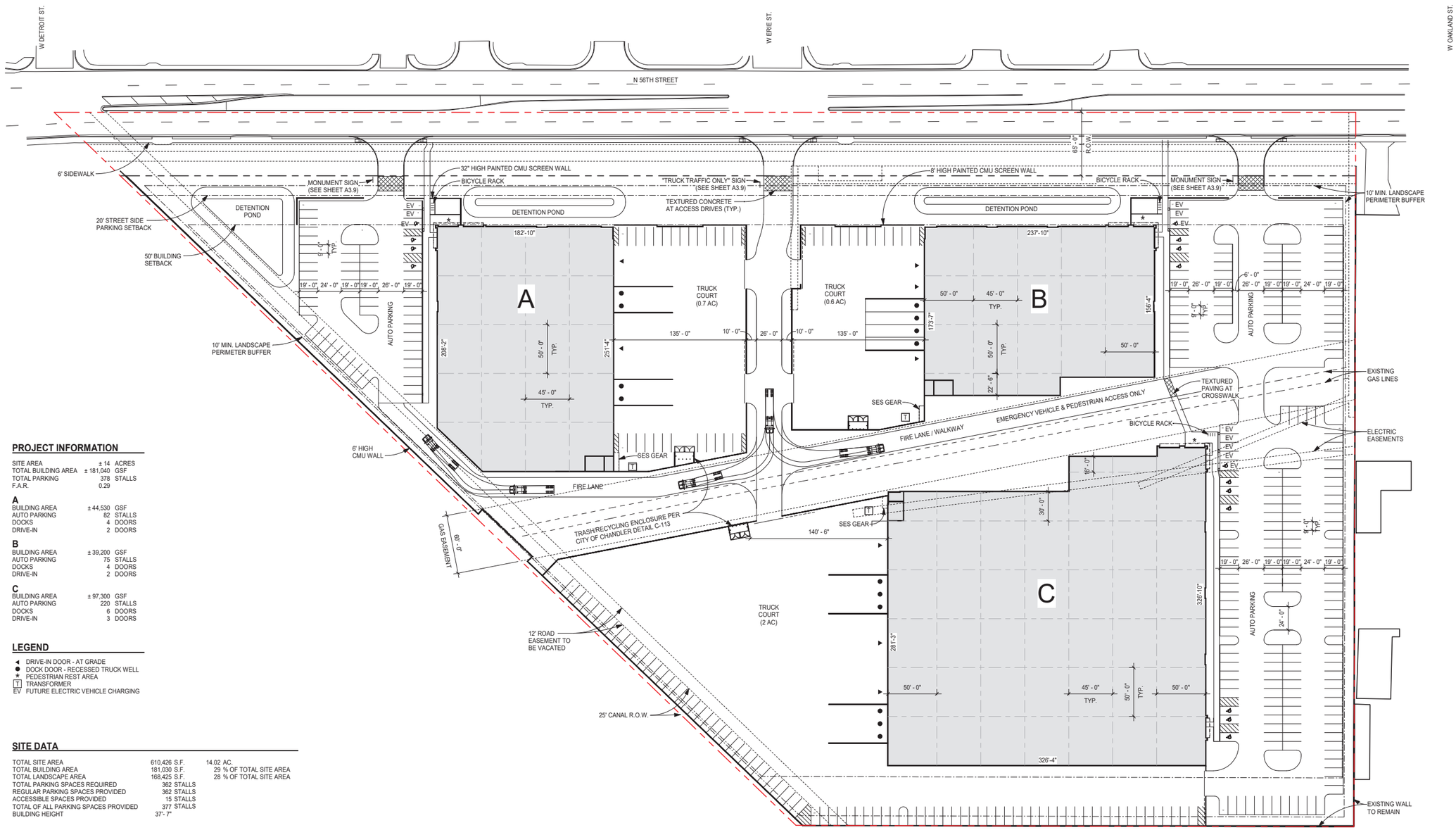
DN

REGISTRATION

SHEET TITLE
Concept Site Plan

SHEET NUMBER
A1.1



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AUTO PARKING	75	STALLS
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DRIVE-IN	2	DOORS

C

BUILDING AREA	± 97,300	GSF
AUTO PARKING	220	STALLS
DOCKS	6	DOORS
DRIVE-IN	3	DOORS

LEGEND

- ◄ DRIVE-IN DOOR - AT GRADE
- ● DOCK DOOR - RECESSED TRUCK WELL
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- EV FUTURE ELECTRIC VEHICLE CHARGING

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TOTAL OF ALL PARKING SPACES PROVIDED	377 STALLS	
BUILDING HEIGHT	37'- 7"	

PLOT DATE: 10/9/2024 4:07:34 PM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

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05/16/24	PDP - 1ST SUBMITTAL
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

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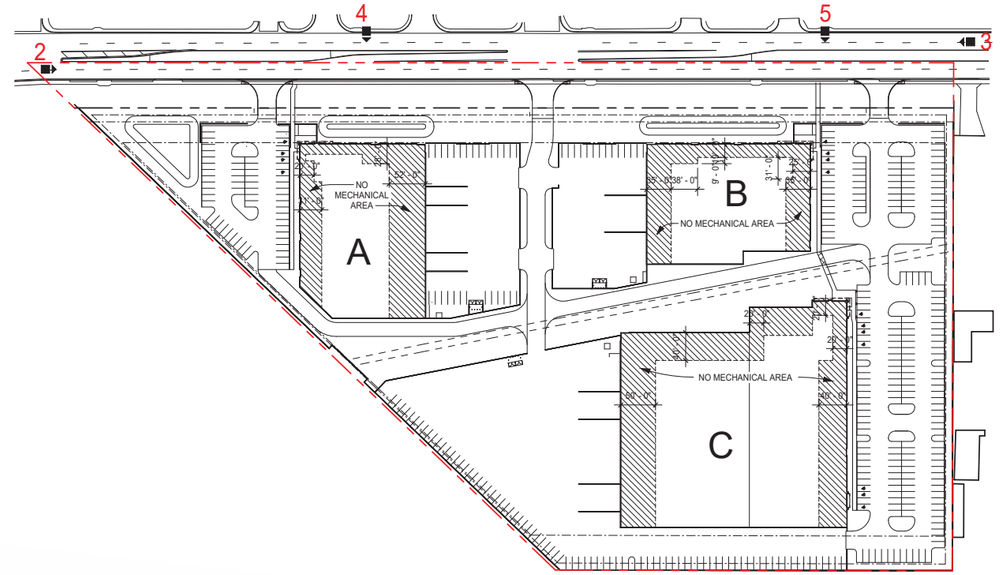
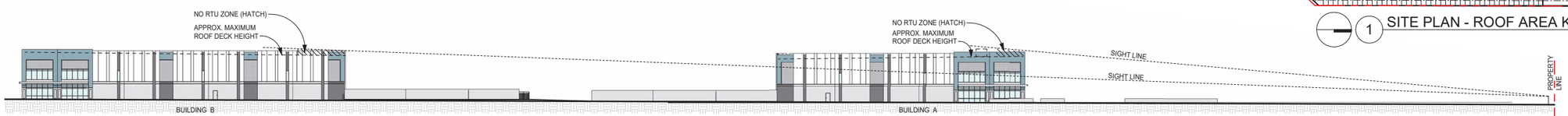
REGISTRATION

SHEET TITLE
Concept Site Plan - B/W

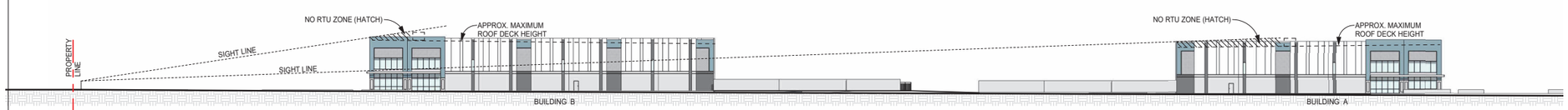
SHEET NUMBER
A1.2



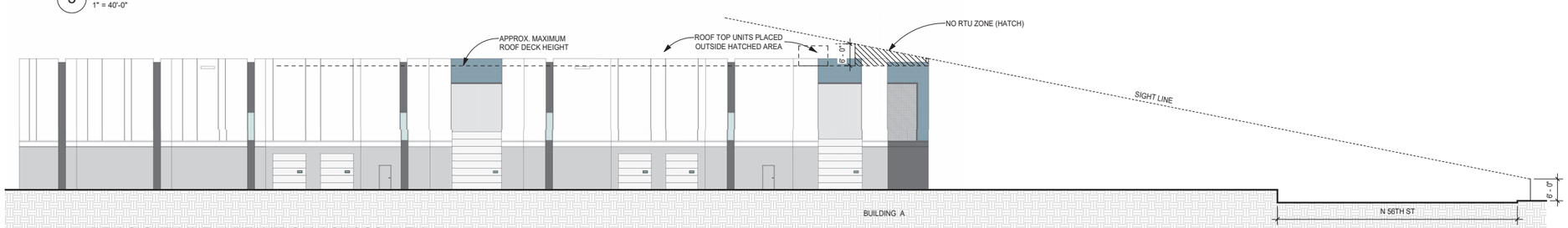
1 SITE PLAN - ROOF AREA KEY PLAN



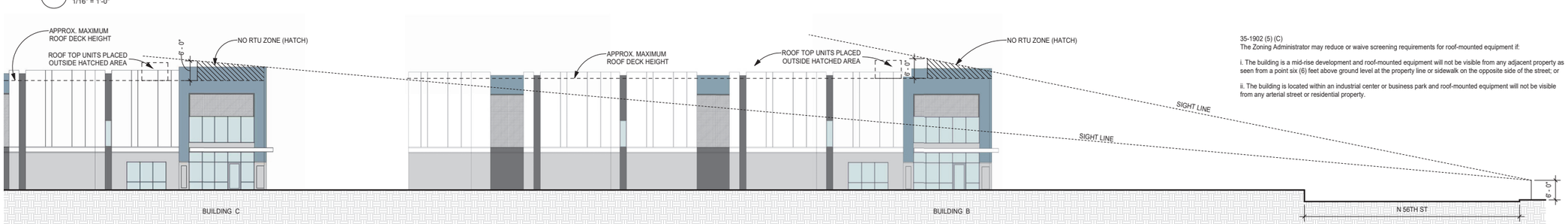
2 RTU SIGHT LINE - LOOKING NORTH ALONG 56TH STREET
1" = 40'-0"



3 RTU SIGHT LINE - LOOKING SOUTH ALONG 56TH STREET
1" = 40'-0"



4 RTU SIGHT LINE - VIEW FROM ACROSS 56TH STREET
1/16" = 1'-0"



5 RTU SIGHT LINE - VIEW FROM ACROSS 56TH STREET
1/16" = 1'-0"

35-1902 (5) (C)
The Zoning Administrator may reduce or waive screening requirements for roof-mounted equipment if:

i. The building is a mid-rise development and roof-mounted equipment will not be visible from any adjacent property as seen from a point six (6) feet above ground level at the property line or sidewalk on the opposite side of the street; or

ii. The building is located within an industrial center or business park and roof-mounted equipment will not be visible from any arterial street or residential property.

PLOT DATE: 10/28/2024 11:16:54 AM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

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10/09/24	PDP - 3RD SUBMITTAL

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Concept Site Plan - Roof Area And Sight Line Views

SHEET NUMBER
A1.3

TAB C

1 CONCEPT RENDERING

PLOT DATE: 10/9/2024 4:36:14 PM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

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Concept Rendering

SHEET NUMBER
A3.10

1 BIRDSEYE VIEW

2 NORTH ACCESS PERSPECTIVE

3 SOUTH ACCESS BIRDSEYE VIEW

4 BUILDING 'A' ENTRANCE PERSPECTIVE

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Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
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602-648-5099

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Concept Perspectives

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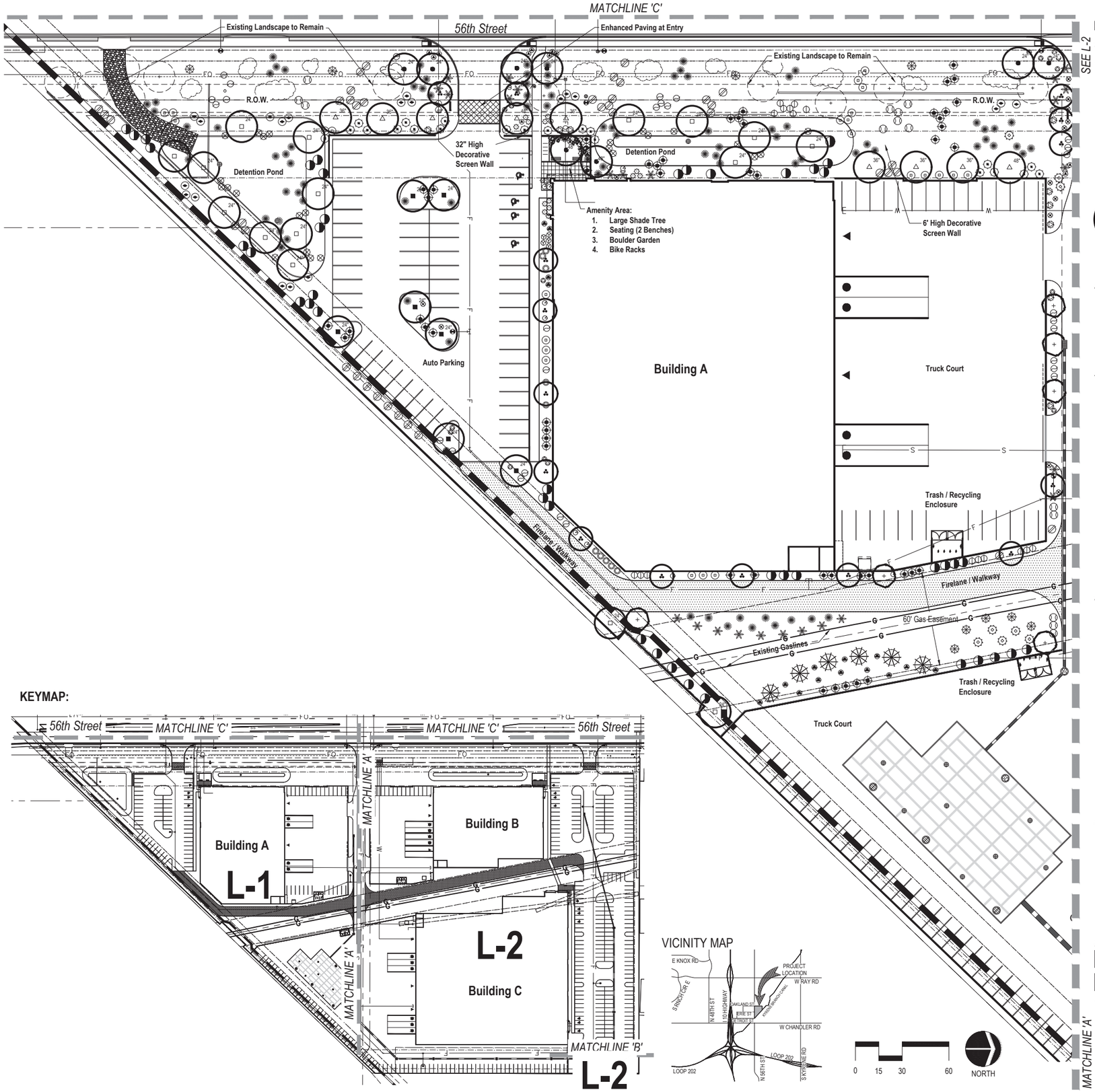
A3.8

PLOT DATE: 10/9/2024 4:07:44 PM

TAB D



PLANT MATERIAL SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QTY	COMMENTS
TREES:				
	Existing Tree to Remain			
	Existing Shrubs to Remain			
	Uhlmus Parvifolia Evergreen Elm	36" Box	13	Single Trunk
		48" Box	6	Single Trunk
	Chitalpa tashkentensis Chitalpa	24" Box	32	Single Trunk
	Chilopsis linearis Desert Willow	24" Box	28	Multi-Trunk
	Pistachia chinensis 'Red Push' Red Push Pistache	24" Box	18	Single Trunk
		48" Box	5	Single Trunk
	Quercus virginiana Southern Live Oak	24" Box	27	Single Trunk
Accent Trees:				
	Caesalpina mexicana Mexican Bird of Paradise	15 gal	37	Single Trunk
	Acacia aneura Mulga	15 gal	13	Single Trunk
ACCENTS, GRASSES AND CACTI				
	Aloe barbadensis / Aloe Vera Aloe (Yellow Blooming Variety)	5 gallon	75	
	Agave weberi Weber's Agave	5 gallon	16	
	Hesperaloe funifera Giant Hesperaloe	5 gallon	42	
	Asclepias subulata Desert Milkweed	5 gallon	55	
	Fouquieria splendens Ocotillo	10 Cane Min.	12	
	Dasylirion wheeleri Desert Spoon	5 gallon	30	
	Hesperaloe parviflora Red Yucca	5 gallon	85	
	Muhlenbergia rigens Deer Grass	5 gallon	189	
	Opuntia violacea 'Santa Rita' Purple Prickley Pear	5 gallon	30	
	Echinocactus grusonii Golden Barrel Cactus	5 gallon	18	
SHRUBS				
	Bougainvillea spp. Bougainvillea	5 gallon	39	
	Calliandra californica Red Fairy Duster	5 gallon	82	
	Dodonea viscosa Hop Bush	5 gallon	109	
	Justicia californica Chuparosa	5 gallon	35	
	Leucophyllum frutescens 'Green Cloud' Green Cloud Texas Sage	5 gallon	116	
	Myrtus communis 'Compacta' Compact Roman Myrtle	5 gallon	26	
	Nerium oleander 'Little Red' Dwarf Red Oleander	5 gallon	78	
	Tecoma x 'Orange Jubilee' Orange Jubilee Tecoma Hybrid	5 gallon	91	
	Simmondsia chinensis Jojoba	5 gallon	38	
	Caesalpinia pulcherrima Red Bird of Paradise	5 gallon	29	
GROUNDCOVERS:				
	Aloe 'Blue Elf' Aloe 'Blue Elf'	1 gallon	30	
	Lantana 'New Gold' New Gold Lantana	1 gallon	44	
	Lantana montevidensis Purple Lantana	1 gallon	47	
	Rosmarinus officinalis 'prostratus' Prostrate Rosemary	1 gallon	23	
	Callistemon viminalis 'Little John' Little John Brittle Bush	1 gallon	29	
ROCK MULCH:				
DG	*1/2", Screened, ROCKPROS USA "CARMEL" 2" Deep in all Landscape Areas*		150,000 SF	
	1/4" Minus Stabilized Decomposed Granite		18,425 SF	
	Granite Boulders - Surface Select Small (1'x1'), Medium (1'x2'), & Large (2'x3')		*10, 8, 6*	

KEYMAP:

VICINITY MAP

0 15 30 60

NORTH

Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

studio DPA
Planning and Landscape Architecture
P.O. Box 3489 - Gilbert, AZ 85299
480.577.5818 | 602.568.6606
www.studioDPA.com

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
38,386
TIM J. DAUGHERTY
10.22.24
Date Signed
ARIZONA, U.S.A.

DATE:
10.22.24

PRELIMINARY LANDSCAPE PLAN

CHANDLER 56

PREPARED FOR: OPUS GROUP

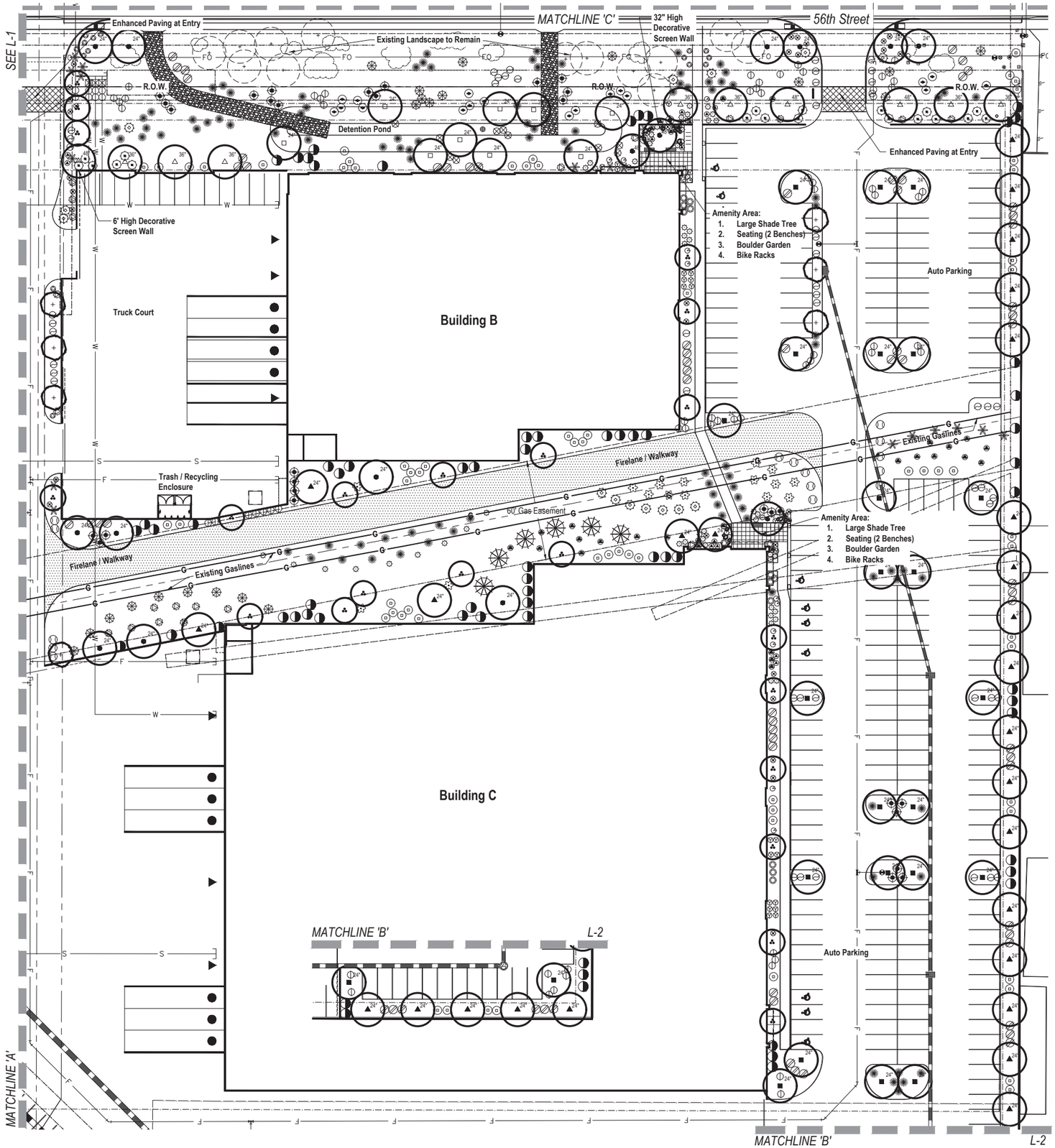
CHANDLER, AZ 85226

DATE: REVISION:

PRELIMINARY LANDSCAPE

SHEET 01 OF 04

L-1



PLANT MATERIAL SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QTY	COMMENTS
TREES:				
	Existing Tree to Remain			
	Existing Shrubs to Remain			
	Uhlmus Parvifolia	36" Box	13	Single Trunk
	Evergreen Elm	48" Box	6	Single Trunk
	Chitalpa tashkentensis	24" Box	32	Single Trunk
	Chitalpa			
	Chilopsis linearis	24" Box	28	Multi-Trunk
	Desert Willow			
	Pistachia chinensis 'Red Push'	24" Box	18	Single Trunk
	Red Push Pistache	48" Box	5	Single Trunk
	Quercus virginiana	24" Box	27	Single Trunk
	Southern Live Oak			
Accent Trees:				
	Caesalpina mexicana	15 gal	37	Single Trunk
	Mexican Bird of Paradise			
	Acacia aneura	15 gal	13	Single Trunk
	Mulga			
ACCENTS, GRASSES AND CACTI				
	Aloe barbadensis / Aloe Vera	5 gallon	75	
	Aloe (Yellow Blooming Variety)			
	Agave weberi	5 gallon	16	
	Weber's Agave			
	Hesperaloe funifera	5 gallon	42	
	Giant Hesperaloe			
	Asclepias subulata	5 gallon	55	
	Desert Milkweed			
	Fouquieria splendens	10 Cane Min.	12	
	Ocotillo			
	Dasylirion wheeleri	5 gallon	30	
	Desert Spoon			
	Hesperaloe parviflora	5 gallon	85	
	Red Yucca			
	Muhlenbergia rigens	5 gallon	189	
	Deer Grass			
	Opuntia violacea 'Santa Rita'	5 gallon	30	
	Purple Prickley Pear			
	Echinocactus grusonii	5 gallon	18	
	Golden Barrel Cactus			
SHRUBS				
	Bougainvillea spp.	5 gallon	39	
	Bougainvillea			
	Calliandra californica	5 gallon	82	
	Red Fairy Duster			
	Dodonea viscosa	5 gallon	109	
	Hop Bush			
	Justicia californica	5 gallon	35	
	Chuparosa			
	Leucophyllum frutescens 'Green Cloud'	5 gallon	116	
	Green Cloud Texas Sage			
	Myrtus communis 'Compacta'	5 gallon	26	
	Compact Roman Myrtle			
	Nerium oleander 'Little Red'	5 gallon	78	
	Dwarf Red Oleander			
	Tecoma x 'Orange Jubilee'	5 gallon	91	
	Orange Jubilee Tecoma Hybrid			
	Simmondsia chinensis	5 gallon	38	
	Jojoba			
	Caesalpinia pulcherrima	5 gallon	29	
	Red Bird of Paradise			
GROUNDCOVERS:				
	Aloe 'Blue Elf'	1 gallon	30	
	Aloe 'Blue Elf'			
	Lantana 'New Gold'	1 gallon	44	
	New Gold Lantana			
	Lantana montevidensis	1 gallon	47	
	Purple Lantana			
	Rosmarinus officinalis 'prostratus'	1 gallon	23	
	Prostrate Rosemary			
	Callistemon viminalis 'Little John'	1 gallon	29	
	Little John Brittle Bush			
ROCK MULCH:				
DG	*1/2", Screened, ROCKPROS USA "CARMEL"*		150,000 SF	
	2" Deep in all Landscape Areas			
	1/4" Minus Stabilized Decomposed Granite		18,425 SF	
	Granite Boulders - Surface Select		*10, 8, 6*	
	Small (1'x1'), Medium (1'x2'),			
	& Large (2'x3')			

0 15 30 60

NORTH

Call at least two full working days before you begin excavation.
ARIZONA 811
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Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

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Planning and Landscape Architecture
P.O. Box 3489 - Gilbert, AZ 85299
480.577.5818 | 602.568.6606
www.studioDPA.com

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
38,386
TIM J. DAUGHERTY
10.22.24
Date Signed
ARIZONA, U.S.A.

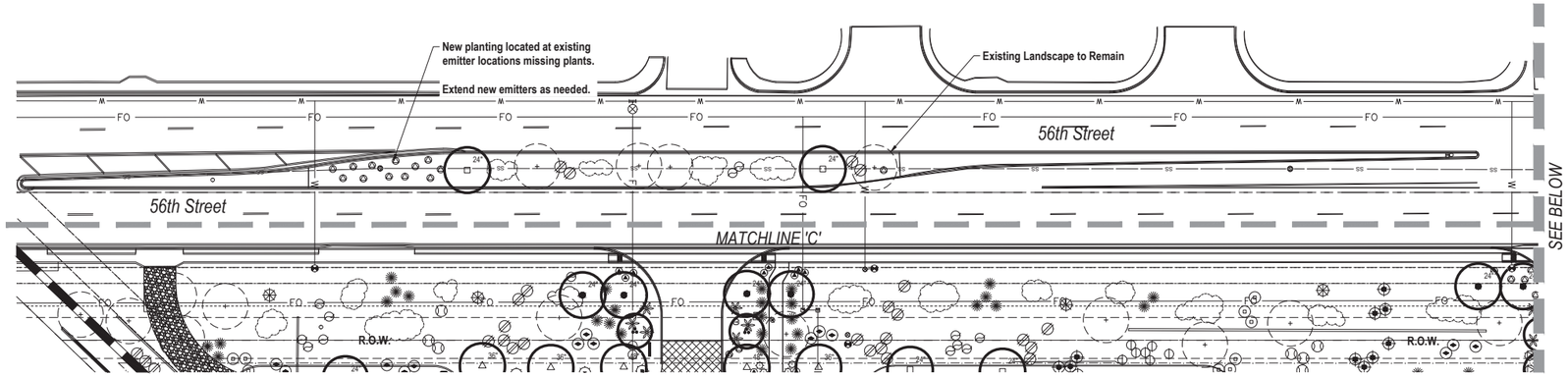
DATE:
10.22.24

PRELIMINARY LANDSCAPE PLAN
CHANDLER 56
PREPARED FOR: OPUS GROUP
CHANDLER, AZ 85226

DATE: REVISION:

PRELIMINARY
LANDSCAPE

SHEET 02 OF 04
L-2



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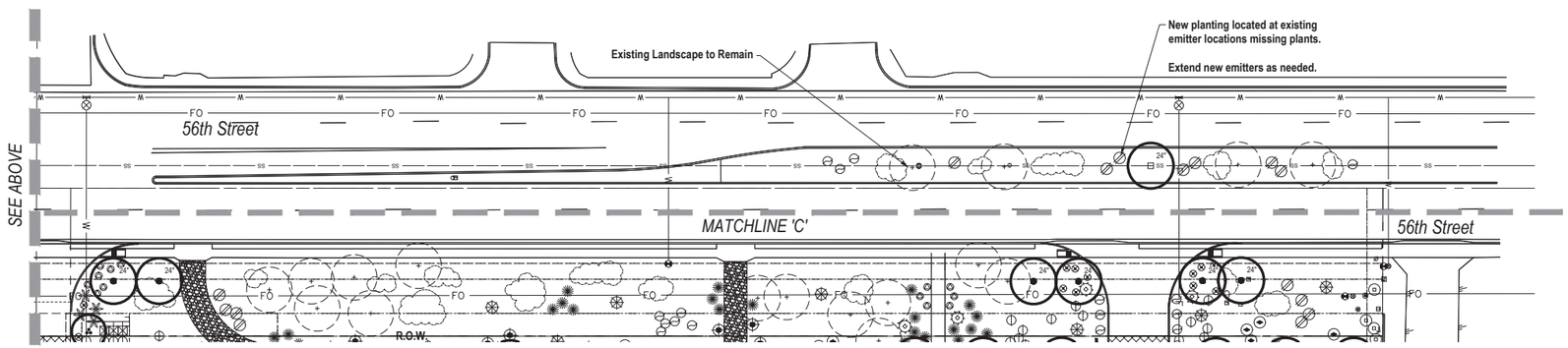
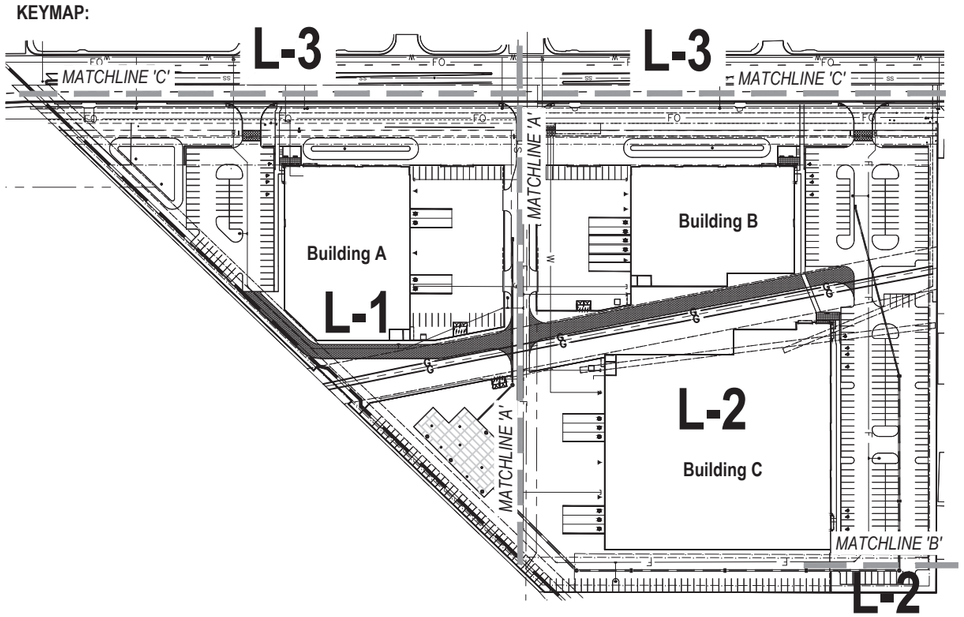
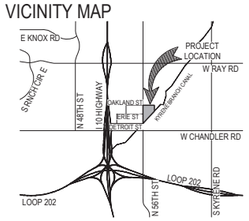


NORTH MEDIAN:

KEYMAP:



VICINITY MAP



0 15 30 60 NORTH

PLANT MATERIAL SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QTY	COMMENTS
TREES:				
	Existing Tree to Remain			
	Existing Shrubs to Remain			
	Uhlmus Parvifolia Evergreen Elm	36" Box 48" Box	13 6	Single Trunk Single Trunk
	Chitalpa tashkentensis Chitalpa	24" Box	32	Single Trunk
	Chilopsis linearis Desert Willow	24" Box	28	Multi-Trunk
	Pistachia chinensis 'Red Push' Red Push Pistache	24" Box 48" Box	18 5	Single Trunk Single Trunk
	Quercus virginiana Southern Live Oak	24" Box	27	Single Trunk
Accent Trees:				
	Caesalpina mexicana Mexican Bird of Paradise	15 gal	37	Single Trunk
	Acacia aneura Mulga	15 gal	13	Single Trunk
ACCENTS, GRASSES AND CACTI				
	Aloe barbadensis / Aloe Vera Aloe (Yellow Blooming Variety)	5 gallon	75	
	Agave weberi Weber's Agave	5 gallon	16	
	Hesperaloe funifera Giant Hesperaloe	5 gallon	42	
	Asclepias subulata Desert Milkweed	5 gallon	55	
	Fouquieria splendens Ocotillo	10 Cane Min.	12	
	Dasylirion wheeleri Desert Spoon	5 gallon	30	
	Hesperaloe parviflora Red Yucca	5 gallon	85	
	Muhlenbergia rigens Deer Grass	5 gallon	189	
	Opuntia violacea 'Santa Rita' Purple Prickley Pear	5 gallon	30	
	Echinocactus grusonii Golden Barrel Cactus	5 gallon	18	
SHRUBS				
	Bougainvillea spp. Bougainvillea	5 gallon	39	
	Calliandra californica Red Fairy Duster	5 gallon	82	
	Dodonea viscosa Hop Bush	5 gallon	109	
	Justicia californica Chuparosa	5 gallon	35	
	Leucophyllum frutescens 'Green Cloud' Green Cloud Texas Sage	5 gallon	116	
	Myrtus communis 'Compacta' Compact Roman Myrtle	5 gallon	26	
	Nerium oleander 'Little Red' Dwarf Red Oleander	5 gallon	78	
	Tecoma x 'Orange Jubilee' Orange Jubilee Tecoma Hybrid	5 gallon	91	
	Simmondsia chinensis Jojoba	5 gallon	38	
	Caesalpinia pulcherrima Red Bird of Paradise	5 gallon	29	
GROUNDCOVERS:				
	Aloe 'Blue Elf' Aloe 'Blue Elf'	1 gallon	30	
	Lantana 'New Gold' New Gold Lantana	1 gallon	44	
	Lantana montevidensis Purple Lantana	1 gallon	47	
	Rosmarinus officinalis 'prostratus' Prostrate Rosemary	1 gallon	23	
	Callistemon viminalis 'Little John' Little John Brittle Bush	1 gallon	29	
ROCK MULCH:				
DG	*1/2", Screened, ROCKPROS USA "CARMEL" 2" Deep in all Landscape Areas*		150,000 SF	
	1/4" Minus Stabilized Decomposed Granite		18,425 SF	
	Granite Boulders - Surface Select Small (1'x1'), Medium (1'x2'), & Large (2'x3')		*10, 8, 6*	

MATCHLINE 'A'

Call at least two full working days before you begin excavation.
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REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 38386
TIM J. DAUGHERTY
Date Signed 10.22.24
ARIZONA U.S.A.

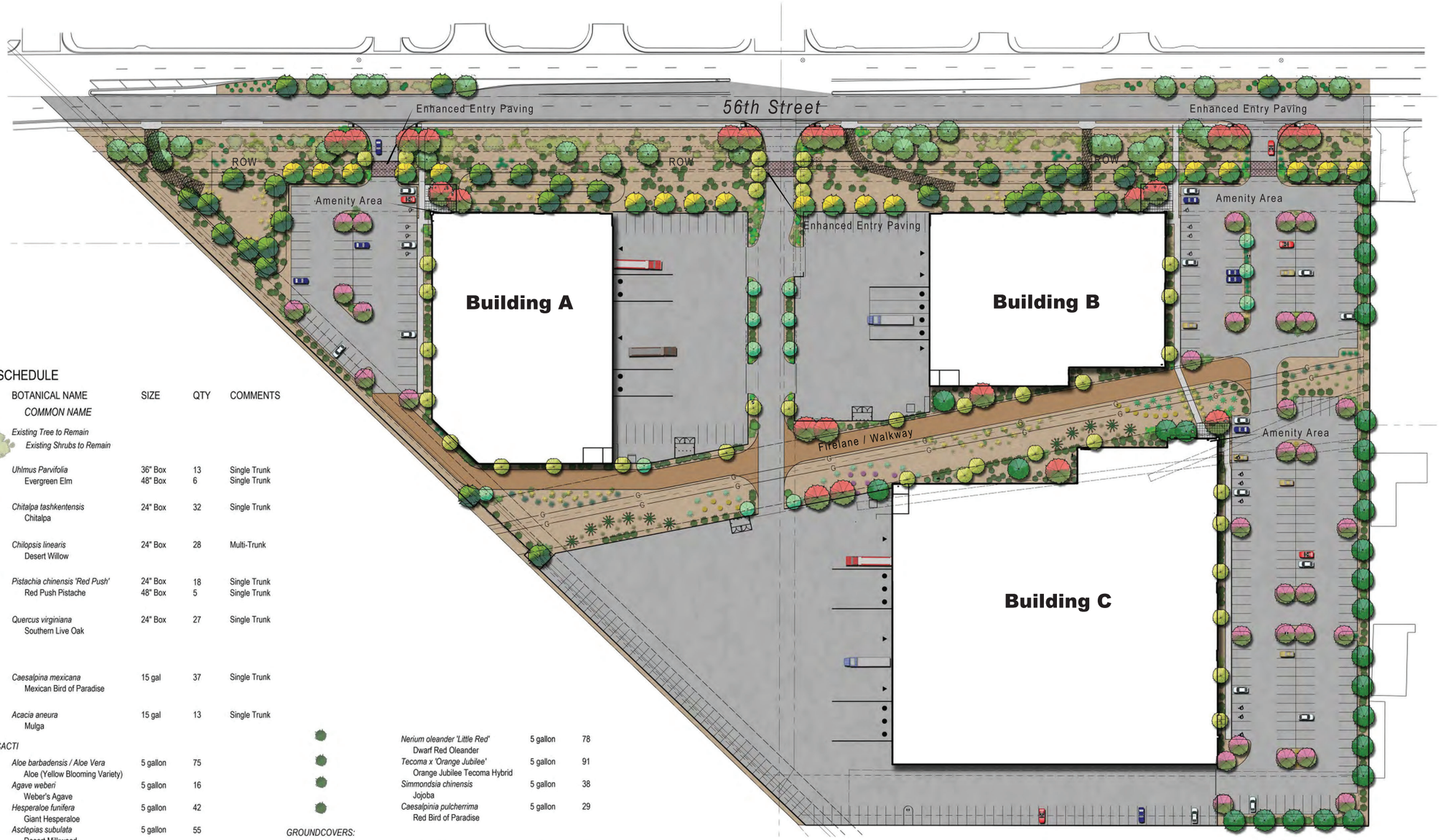
DATE:
10.22.24

PRELIMINARY LANDSCAPE PLAN
CHANDLER 56
PREPARED FOR: OPUS GROUP
CHANDLER, AZ 85226

DATE: REVISION:

PRELIMINARY
LANDSCAPE

SHEET 03 OF 04
L-3



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	Aloe 'Blue Elf'			
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	Granite Boulders - Surface Select			*10, 8, 6*
	Small (1'x1'), Medium (1'x2'),			
	& Large (2'x3')			

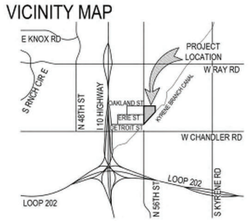
LANDSCAPE NARRATIVE

The landscape architectural design for the Chandler 56 project will utilize a mix of regionally appropriate hardscape and planting materials that adhere to City of Chandler requirements, as well as fit with the surrounding area. The hardscape design will feature site amenities at each building entry including a low courtyard wall, bench seating, large-boxed shade trees and a boulder garden. The design of these elements is coordinated with the architectural features of the building, including related shade canopies.

Plant selections are based on low water use, durability, year-round color, and appropriateness of commercial sites. Landscape zones were established within the project limits and include Perimeter, Basins, Entries, Parking and Foundation plantings. Each zone is designed to utilize the best characteristics of the materials and maximize efficiency and aesthetics. The project site is located along the border of USDA Plant Hardiness Zone 9b and 10a, and Sunset Zone 13. This zone will get occasional frost, but the plant selections for Chandler 56 are generally recognized as being frost tolerant under normal weather conditions.

A low water use drip system and smart controller with rain sensors will be used for all landscape irrigation within the project site. No turf is being proposed.

VICINITY MAP



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REGISTERED LANDSCAPE ARCHITECT CERTIFICATE NO. 38386 TIM J. DAUGHERTY 10.22.24 ARIZONA U.S.A.

DATE:
10.22.24

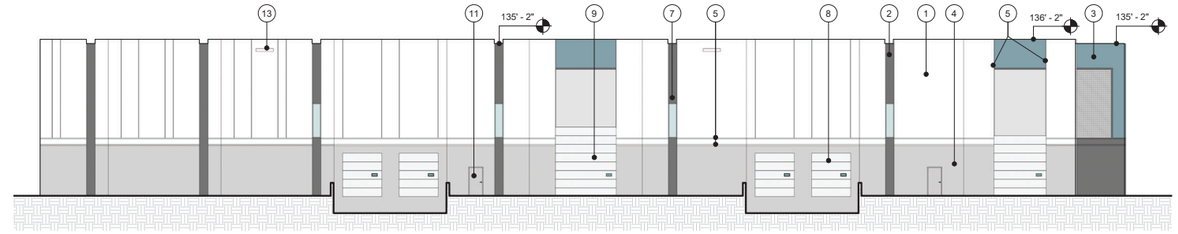
PRELIMINARY LANDSCAPE PLAN
CHANDLER 56
PREPARED FOR: OPUS GROUP
CHANDLER, AZ 85226

DATE: REVISION:
1 2 3 4 5 6 7 8 9

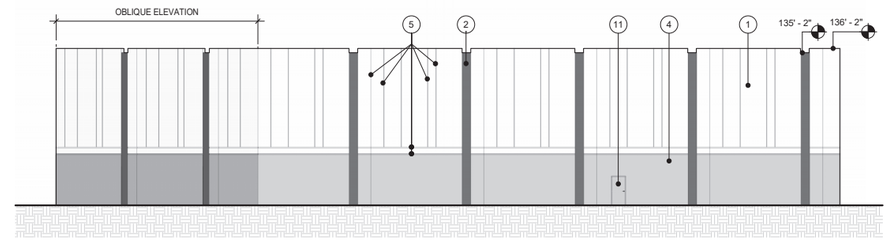
C O L O R
PRELIMINARY
L A N D S C A P E

SHEET 04 OF 04
L-4

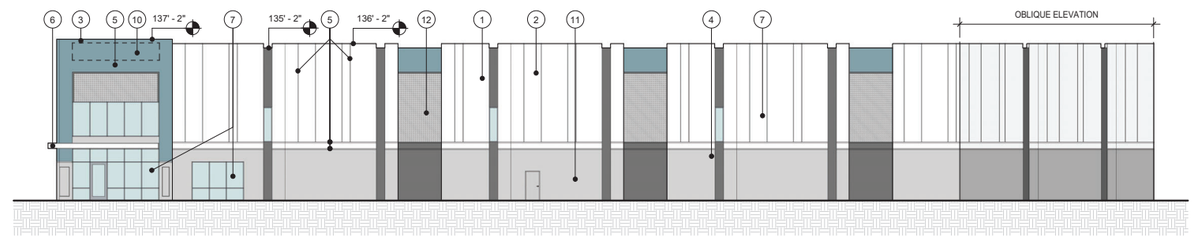
TAB E



1 A - NORTH ELEVATION
1/16" = 1'-0"



2 A - EAST ELEVATION
1/16" = 1'-0"



3 A - SOUTH ELEVATION
1/16" = 1'-0"

KEYNOTE LEGEND

01. CONCRETE PANEL PAINTED COLOR #1
02. CONCRETE PANEL PAINTED COLOR #2
03. CONCRETE PANEL PAINTED COLOR #3
04. CONCRETE PANEL PAINTED COLOR #4
05. REVEAL CAST-IN CONCRETE PANEL
06. STEEL CANOPY WITH WIRE MESH SOFFIT - COLOR #1
07. VISION GLASS WITH ANODIZED ALUMINUM FRAME
08. OVERHEAD DOCK DOOR
09. OVERHEAD DRIVE-IN DOOR
10. TENANT SIGNAGE ZONE
11. FIRE DEPT. ACCESS DOOR
12. FORMLINER CAST-IN CONCRETE PANEL
13. THROUGH-WALL OVERFLOW SCUPPER

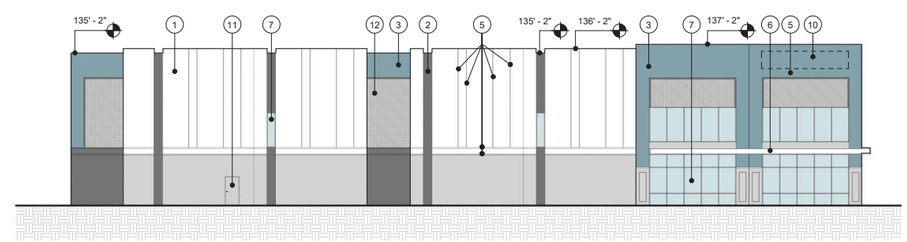
CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:

02. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

03. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (8)(E)(15), ZONING CODE.

04. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (8)(E)13, ZONING CODE.

05. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



4 A - WEST ELEVATION
1/16" = 1'-0"

PLOT DATE: 10/9/2024 4:07:38 PM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

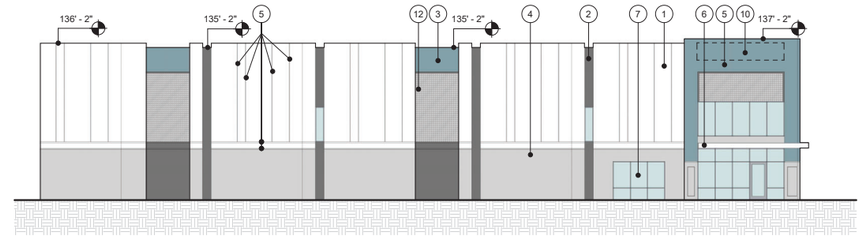
05/16/24	PDP - 1ST SUBMITTAL
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

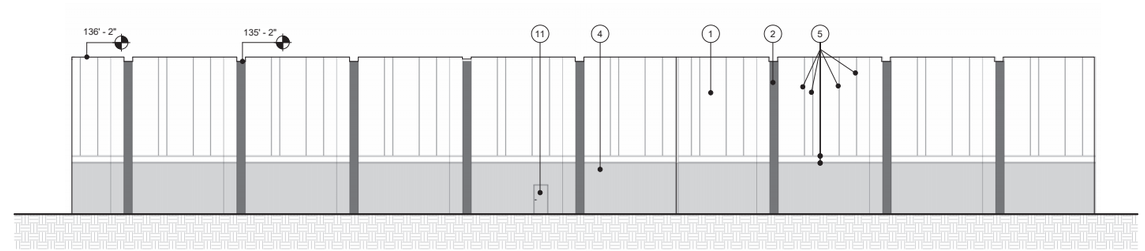
REGISTRATION

SHEET TITLE
Concept Color Elevations
Building A

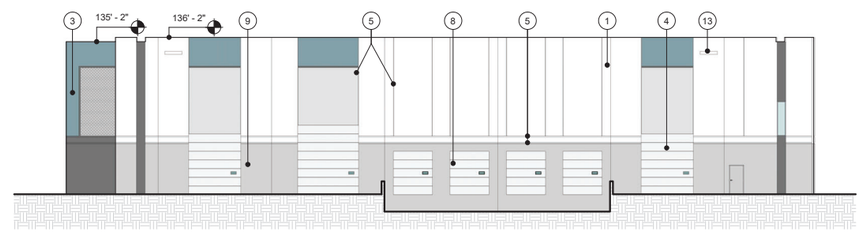
SHEET NUMBER
A3.1



1 B - NORTH ELEVATION
1/16" = 1'-0"



2 B - EAST ELEVATION
1/16" = 1'-0"



3 B - SOUTH ELEVATION
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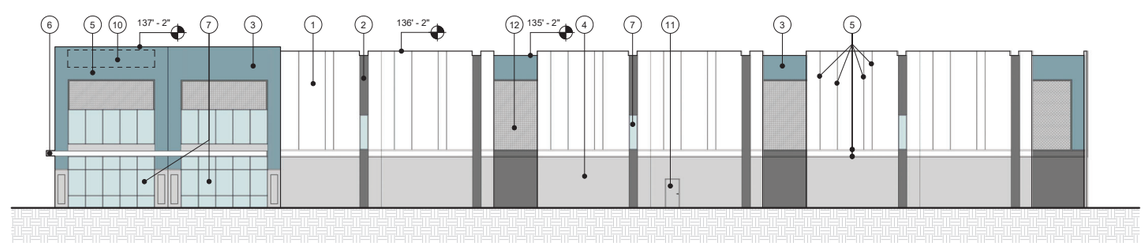

4 B - WEST ELEVATION
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05. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

PLOT DATE: 10/9/2024 4:07:40 PM

OPUS
THE OPUS GROUP

Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
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ISSUE RECORD

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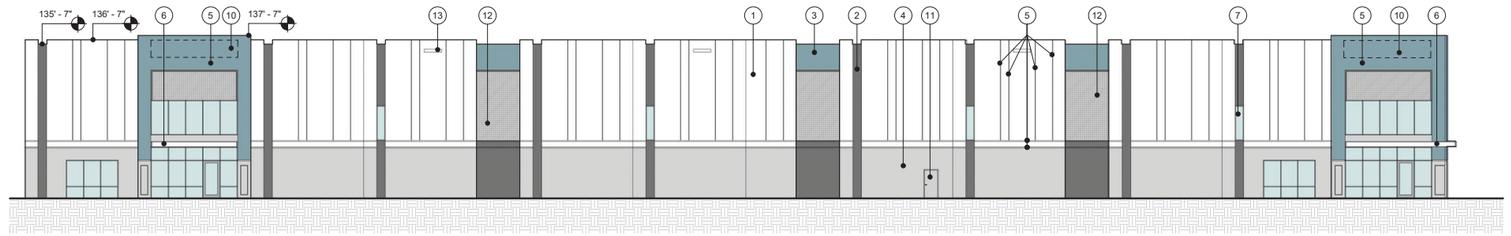
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

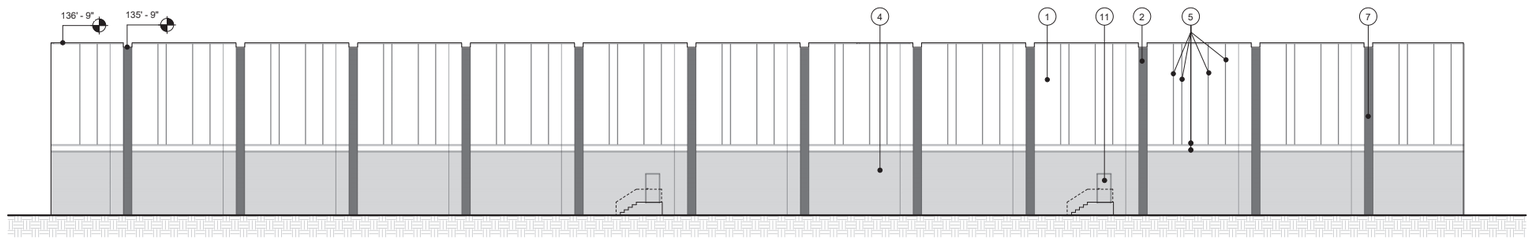
REGISTRATION

SHEET TITLE
Concept Color Elevations
Building B

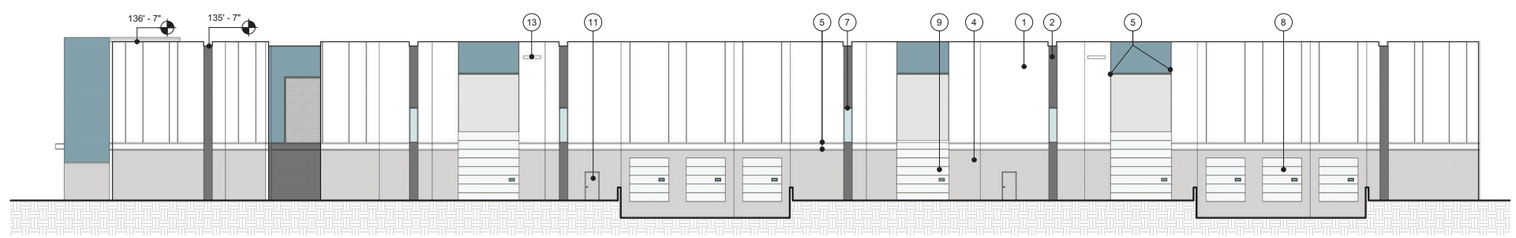
SHEET NUMBER
A3.2



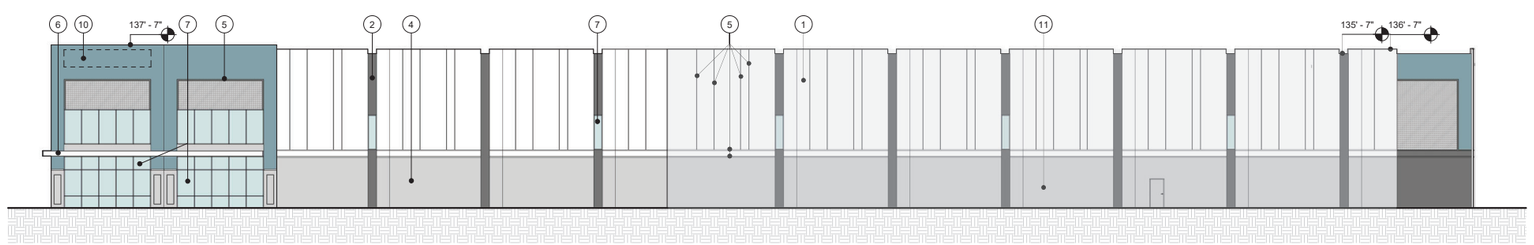
1 C - NORTH ELEVATION
1/16" = 1'-0"



2 C - EAST ELEVATION
1/16" = 1'-0"



3 C - SOUTH ELEVATION
1/16" = 1'-0"



4 C - WEST ELEVATION
1/16" = 1'-0"

KEYNOTE LEGEND

01. CONCRETE PANEL PAINTED COLOR #1
02. CONCRETE PANEL PAINTED COLOR #2
03. CONCRETE PANEL PAINTED COLOR #3
04. CONCRETE PANEL PAINTED COLOR #4
05. REVEAL CAST-IN CONCRETE PANEL
06. STEEL CANOPY WITH WIRE MESH SOFFIT - COLOR #1
07. VISION GLASS WITH ANODIZED ALUMINUM FRAME
08. OVERHEAD DOCK DOOR
09. OVERHEAD DRIVE-IN DOOR
10. TENANT SIGNAGE ZONE
11. FIRE DEPT. ACCESS DOOR
12. FORMLINER CAST-IN CONCRETE PANEL
13. THROUGH-WALL OVERFLOW SCUPPER

CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:

02. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

03. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 35-1902 (8)(E)(15), ZONING CODE.

04. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT. SECTION 35-1902 (8)(E)13, ZONING CODE.

05. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

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OPUS
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Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

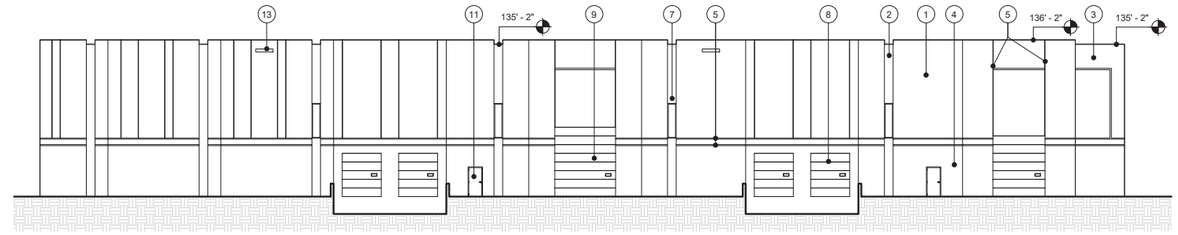
05/16/24	PDP - 1ST SUBMITTAL
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

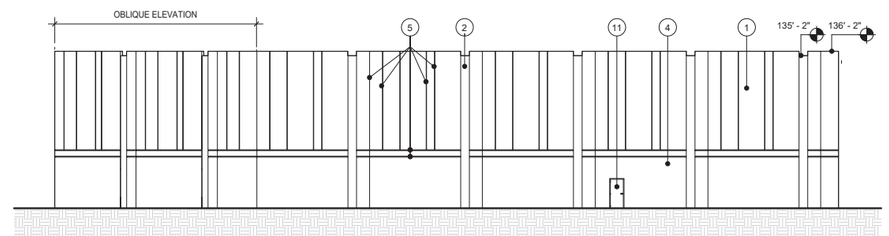
REGISTRATION

SHEET TITLE
Concept Color Elevations
Building C

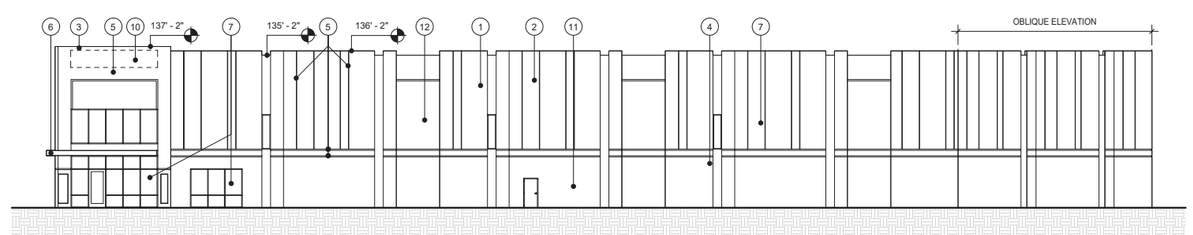
SHEET NUMBER
A3.3



1 A - NORTH ELEVATION
1/16" = 1'-0"



2 A - EAST ELEVATION
1/16" = 1'-0"



3 A - SOUTH ELEVATION
1/16" = 1'-0"

KEYNOTE LEGEND

01. CONCRETE PANEL PAINTED COLOR #1
02. CONCRETE PANEL PAINTED COLOR #2
03. CONCRETE PANEL PAINTED COLOR #3
04. CONCRETE PANEL PAINTED COLOR #4
05. REVEAL CAST-IN CONCRETE PANEL
06. STEEL CANOPY WITH WIRE MESH SOFFIT - COLOR #1
07. VISION GLASS WITH ANODIZED ALUMINUM FRAME
08. OVERHEAD DOCK DOOR
09. OVERHEAD DRIVE-IN DOOR
10. TENANT SIGNAGE ZONE
11. FIRE DEPT. ACCESS DOOR
12. FORMLINER CAST-IN CONCRETE PANEL
13. THROUGH-WALL OVERFLOW SCUPPER

CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:

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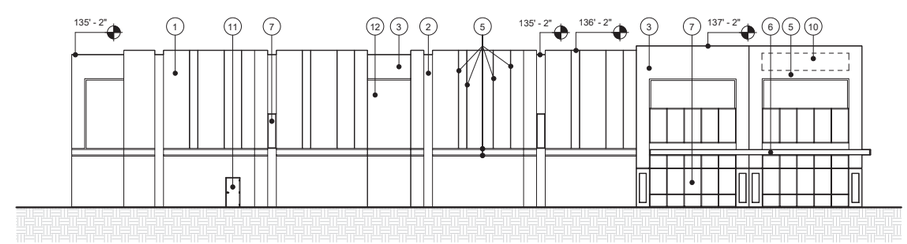
05. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



4 A - WEST ELEVATION
1/16" = 1'-0"

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10350 Bren Road West
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952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

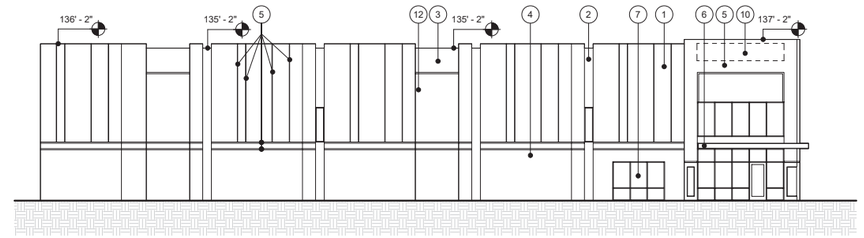
05/16/24	PDP - 1ST SUBMITTAL
09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

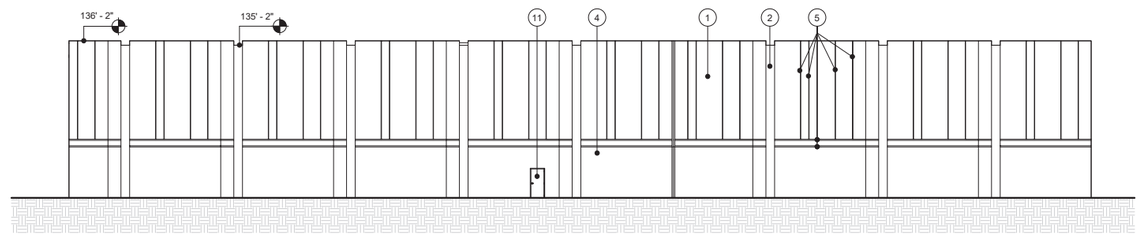
REGISTRATION

SHEET TITLE
Concept B/W Elevations
Building A

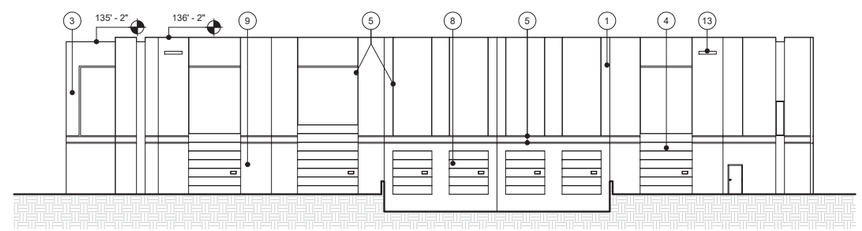
SHEET NUMBER
A3.4



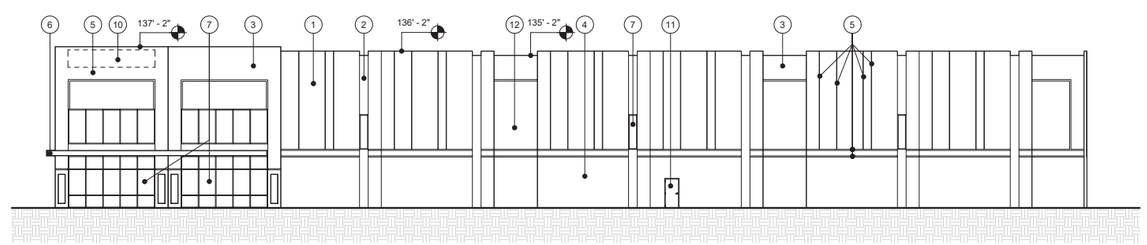
1 B - NORTH ELEVATION
1/16" = 1'-0"



2 B - EAST ELEVATION
1/16" = 1'-0"



3 B - SOUTH ELEVATION
1/16" = 1'-0"



4 B - WEST ELEVATION
1/16" = 1'-0"

KEYNOTE LEGEND

01. CONCRETE PANEL PAINTED COLOR #1
02. CONCRETE PANEL PAINTED COLOR #2
03. CONCRETE PANEL PAINTED COLOR #3
04. CONCRETE PANEL PAINTED COLOR #4
05. REVEAL CAST-IN CONCRETE PANEL
06. STEEL CANOPY WITH WIRE MESH SOFFIT - COLOR #1
07. VISION GLASS WITH ANODIZED ALUMINUM FRAME
08. OVERHEAD DOCK DOOR
09. OVERHEAD DRIVE-IN DOOR
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11. FIRE DEPT. ACCESS DOOR
12. FORMLINER CAST-IN CONCRETE PANEL
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CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:

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952-656-4444

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Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

05/16/24	PDP - 1ST SUBMITTAL
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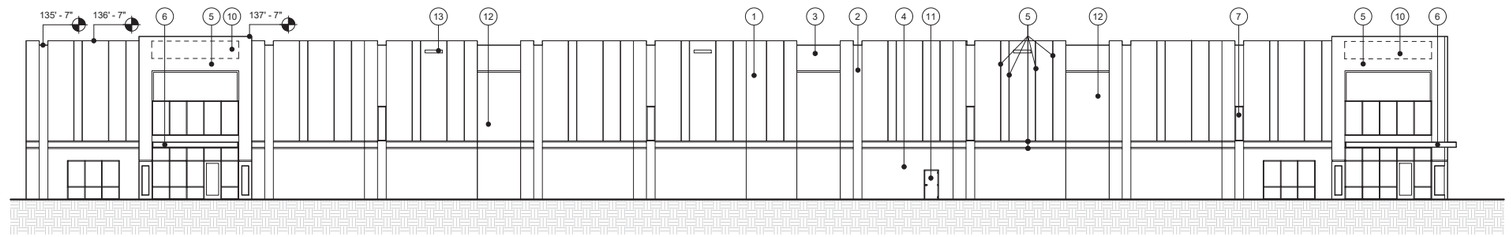
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

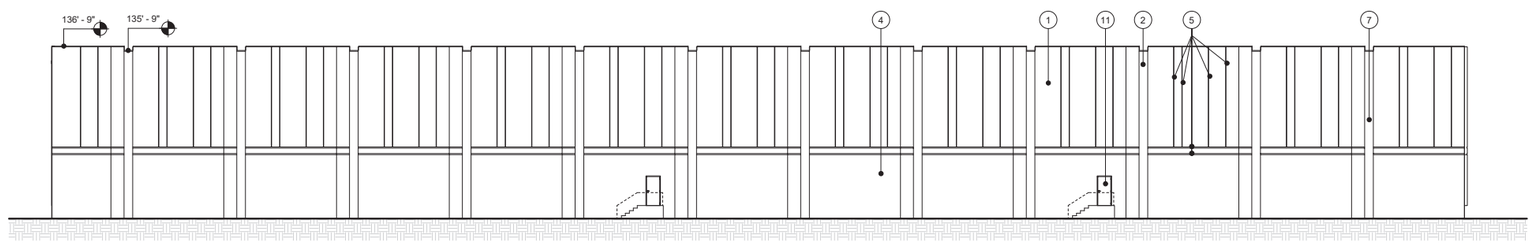
REGISTRATION

SHEET TITLE
Concept B/W Elevations
Building B

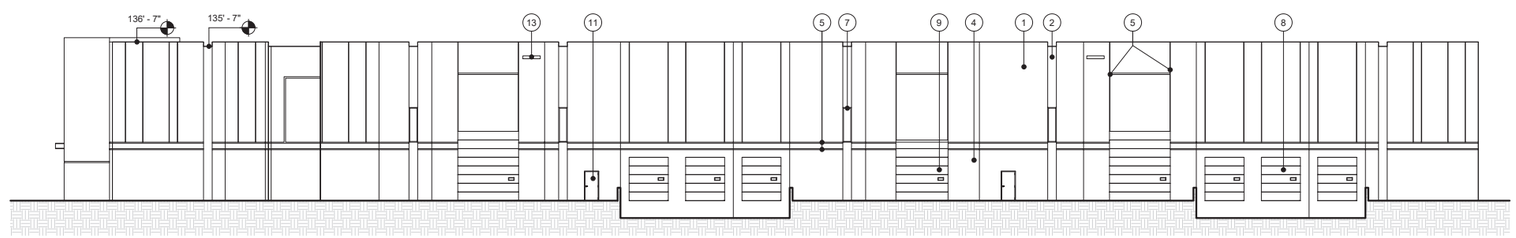
SHEET NUMBER
A3.5



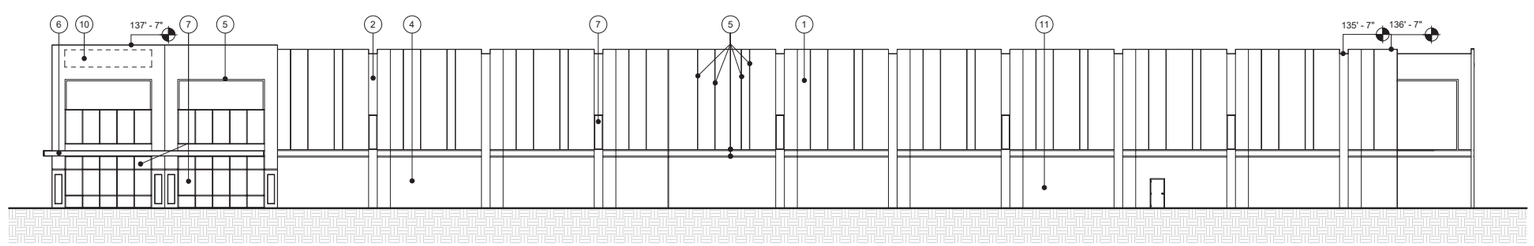
1 C - NORTH ELEVATION
1/16" = 1'-0"



2 C - EAST ELEVATION
1/16" = 1'-0"



3 C - SOUTH ELEVATION
1/16" = 1'-0"



4 C - WEST ELEVATION
1/16" = 1'-0"

KEYNOTE LEGEND

01. CONCRETE PANEL PAINTED COLOR #1
02. CONCRETE PANEL PAINTED COLOR #2
03. CONCRETE PANEL PAINTED COLOR #3
04. CONCRETE PANEL PAINTED COLOR #4
05. REVEAL CAST-IN CONCRETE PANEL
06. STEEL CANOPY WITH WIRE MESH SOFFIT - COLOR #1
07. VISION GLASS WITH ANODIZED ALUMINUM FRAME
08. OVERHEAD DOCK DOOR
09. OVERHEAD DRIVE-IN DOOR
10. TENANT SIGNAGE ZONE
11. FIRE DEPT. ACCESS DOOR
12. FORMLINER CAST-IN CONCRETE PANEL
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CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:

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05. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

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10350 Bren Road West
Minnetonka, MN 55343-0110
952-656-4444

Opus Design Build, L.L.C.
2555 E Camelback Road, Suite 100
Phoenix, AZ 85016
602-648-5099

PROJECT
Envision 56

PROJECT ADDRESS
Chandler, AZ

PROJECT NUMBER
#32338

ISSUE RECORD

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09/11/24	PDP - 2ND SUBMITTAL
10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
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JW

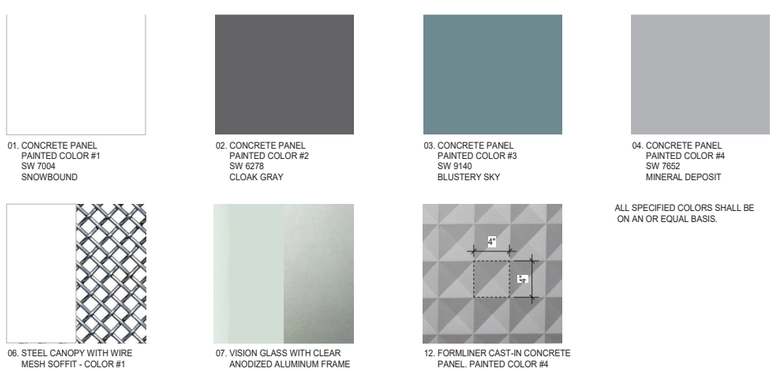
REGISTRATION

SHEET TITLE
Concept B/W Elevations
Building C

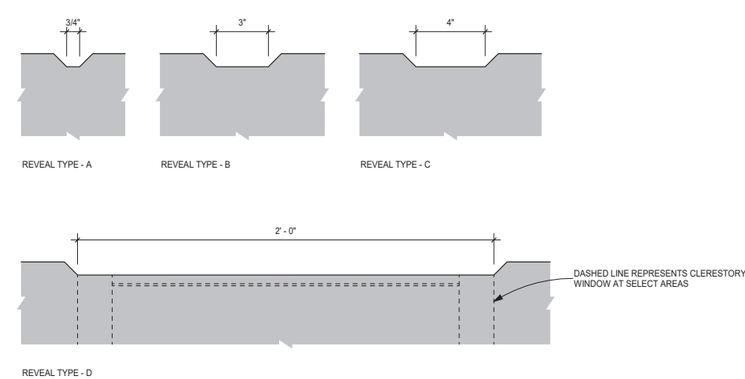
SHEET NUMBER
A3.6

TAB F

1 TYPICAL ENTRANCE PERSPECTIVE



2 MATERIAL PALETTE



3 REVEALS CAST-IN CONCRETE PANELS
3" = 1'-0"

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10350 Bren Road West
Minnetonka, MN 55343-0110
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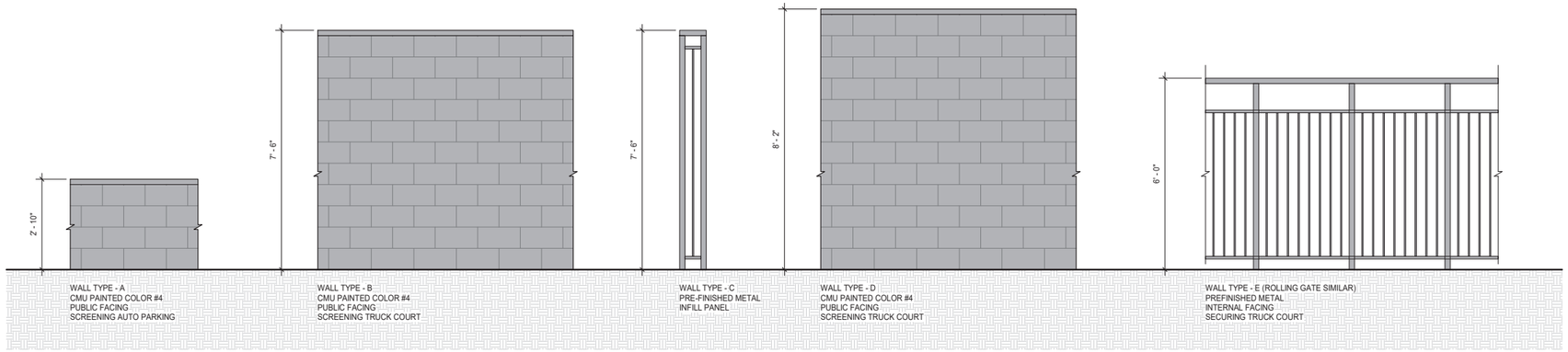
10/09/24
PROJECT MANAGER
CL
DRAWN BY
JW
CHECKED BY
JW

REGISTRATION

SHEET TITLE
Concept Materials and Paint Colors

SHEET NUMBER
A3.7

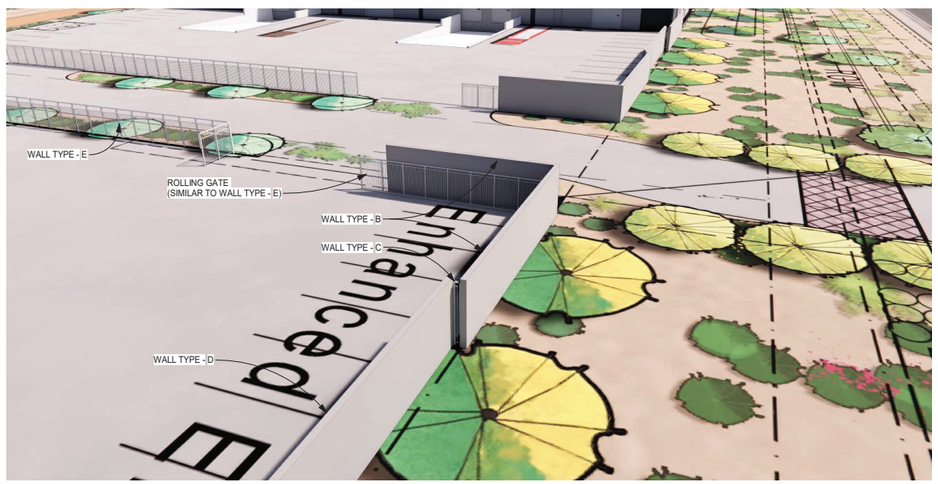
TAB G



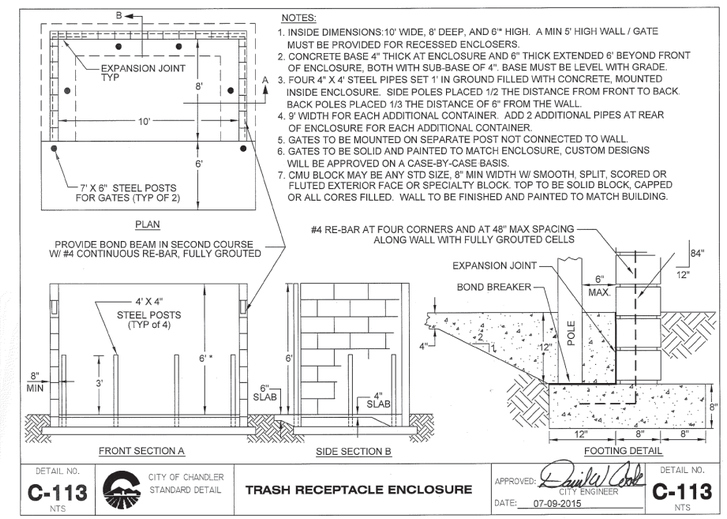
1 SITE WALL TYPES

1/2" = 1'-0"

NOTE: SITE WALLS WILL BE FRONTED BY LANDSCAPING (NOT SHOWN)



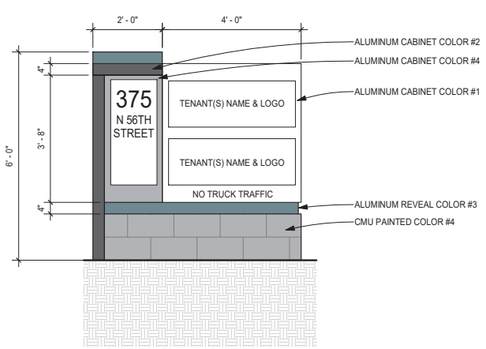
2 WALL & GATE PERSPECTIVE



NOTES:

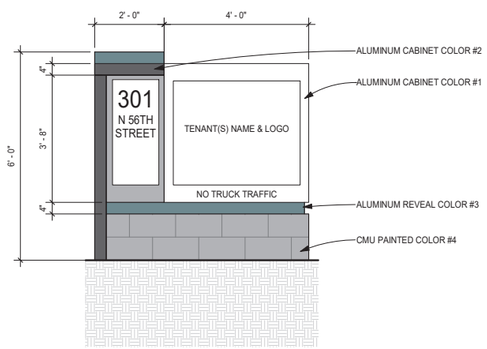
1. INSIDE DIMENSIONS:10' WIDE, 8' DEEP, AND 6"* HIGH. A MIN 5' HIGH WALL / GATE MUST BE PROVIDED FOR RECESSED ENCLOSERS.
2. CONCRETE BASE 4" THICK AT ENCLOSURE AND 6" THICK EXTENDED 6' BEYOND FRONT OF ENCLOSURE, BOTH WITH SUB-BASE OF 4". BASE MUST BE LEVEL WITH GRADE.
3. FOUR 4" X 4' STEEL PIPES SET 1' IN GROUND FILLED WITH CONCRETE, MOUNTED INSIDE ENCLOSURE. SIDE POLES PLACED 1/2 THE DISTANCE FROM FRONT TO BACK. BACK POLES PLACED 1/3 THE DISTANCE OF 6" FROM THE WALL.
4. 9' WIDTH FOR EACH ADDITIONAL CONTAINER. ADD 2 ADDITIONAL PIPES AT REAR OF ENCLOSURE FOR EACH ADDITIONAL CONTAINER.
5. GATES TO BE MOUNTED ON SEPARATE POST NOT CONNECTED TO WALL.
6. GATES TO BE SOLID AND PAINTED TO MATCH ENCLOSURE, CUSTOM DESIGNS WILL BE APPROVED ON A CASE-BY-CASE BASIS.
7. CMU BLOCK MAY BE ANY STD SIZE, 8" MIN WIDTH W/ SMOOTH, SPLIT, SCORED OR FLUTED EXTERIOR FACE OR SPECIALTY BLOCK. TOP TO BE SOLID BLOCK, CAPPED OR ALL CORES FILLED. WALL TO BE FINISHED AND PAINTED TO MATCH BUILDING.

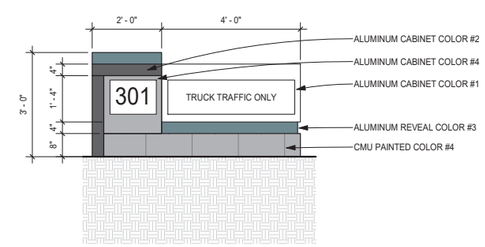
3 TRASH / RECYCLING ENCLOSURE



4 MONUMENT SIGN

1/2" = 1'-0"





5 WAY FINDING SIGN

1/2" = 1'-0"

PLOT DATE: 10/9/2024 4:07:45 PM

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PROJECT
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Chandler, AZ

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ISSUE RECORD

10/09/24	PDP - 3RD SUBMITTAL

DATE
10/09/24
PROJECT MANAGER
CL
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JW
CHECKED BY
JW

REGISTRATION

SHEET TITLE
Concept Site Details

SHEET NUMBER
A3.9

TAB H

PRELIMINARY GRADING PLAN
FOR
56TH STREET INDUSTRIAL
375 N. 56TH STREET
CHANDLER, ARIZONA 85226

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER
OPUS DEVELOPMENT COMPANY, LLC
2555 E. CAMELBACK ROAD, SUITE 100
PHOENIX, ARIZONA 85016
PH: (602) 648-5077
CONTACT: MATTHEW VISNANSKY
EMAIL: MATTHEW.VISNANSKY@OPUS-GROUP.COM

ARCHITECT
OPUS AE GROUP, LLC
10350 BREN ROAD WEST
MINNETONNKA, MN 55343
PH: (952) 656-4563
CONTACT: JOHN WADE, AIA
EMAIL: JOHN.WADE@OPUS-GROUP.COM

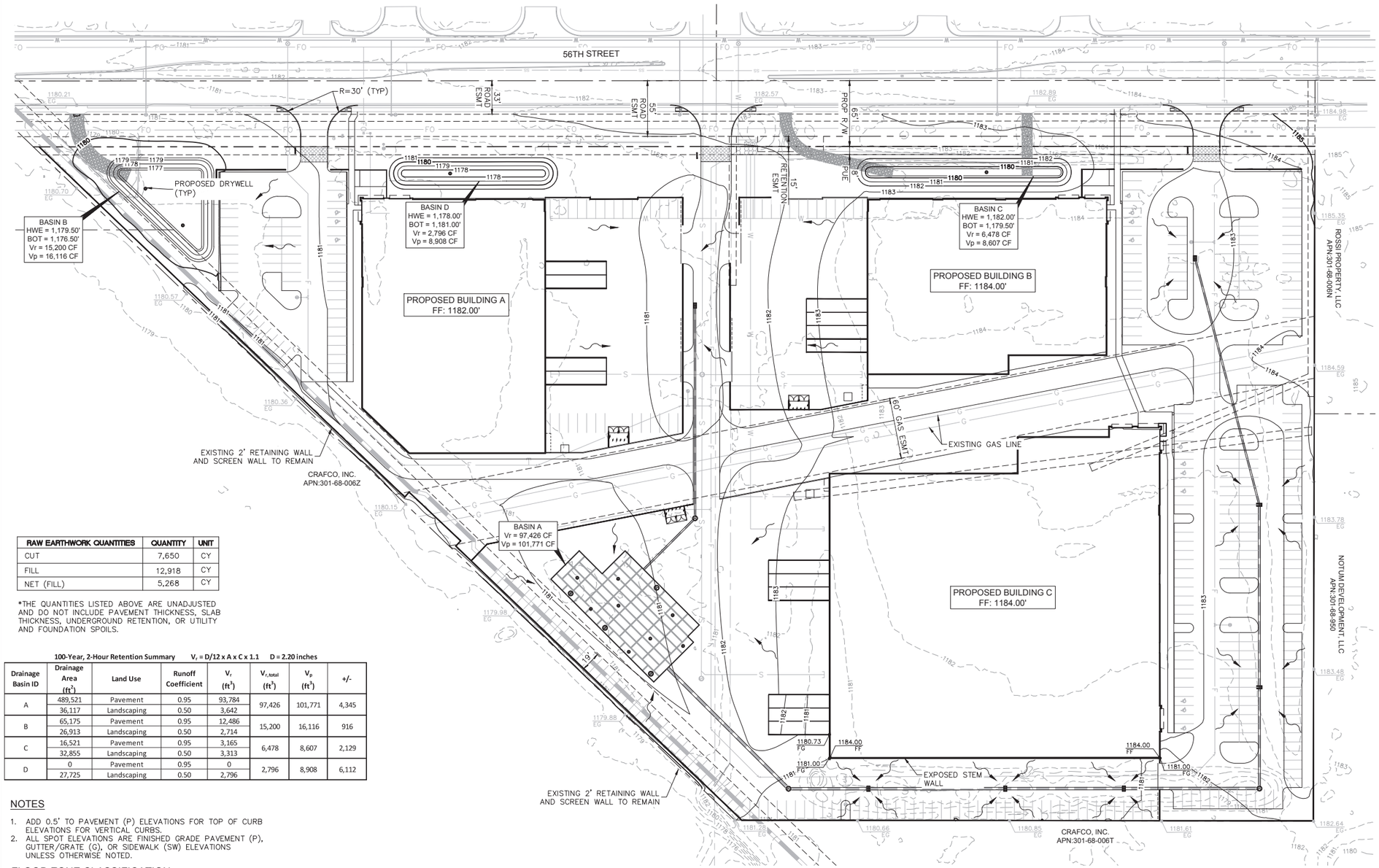
CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1661 E. CAMELBACK RD, SUITE 400
PHOENIX, ARIZONA 85016
PH: (602) 944-5500
CONTACT: CHARLES WURL, PE
EMAIL: CHUCK.WURL@KIMLEY-HORN.COM

LAND SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
7740 N. 16TH STREET, SUITE 300
PHOENIX, ARIZONA 85020
PH: (602) 837-5511
CONTACT: CHAD HUBER, RLS
EMAIL: CHAD.HUBER@KIMLEY-HORN.COM

SITE DATA

ADDRESS:	301 & 357 S 56TH STREET CHANDLER, ARIZONA
EXISTING ZONING:	PAD
APN:	301-68-006S & 301-68-006U
PARCEL AREA:	15.819 ACRES, 689,070 SF

NORTH
VICINITY MAP
CHANDLER, AZ
N.T.S.



LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- STREET CENTERLINE
- EASEMENT LINE
- EXISTING SEWER MAIN
- PROPOSED SEWER MAIN
- EXISTING PUBLIC WATER MAIN
- PROPOSED PUBLIC WATER MAIN
- PROPOSED FIRE LINE
- PROPOSED STORM DRAIN
- EXSTING STORM DRAIN
- HIGH POINT
- PROPOSED CONTOUR
- EXISTING CONTOURS
- PROPOSED PAVEMENT SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED DRYWELL

RAW EARTHWORK QUANTITIES	QUANTITY	UNIT
CUT	7,650	CY
FILL	12,918	CY
NET (FILL)	5,268	CY

*THE QUANTITIES LISTED ABOVE ARE UNADJUSTED AND DO NOT INCLUDE PAVEMENT THICKNESS, SLAB THICKNESS, UNDERGROUND RETENTION, OR UTILITY AND FOUNDATION SPOILS.

100-Year, 2-Hour Retention Summary $V_r = D/12 \times A \times C \times 1.1$ D = 2.20 inches

Drainage Basin ID	Drainage Area (ft^2)	Land Use	Runoff Coefficient	V_r (ft^3)	$V_{r,total}$ (ft^3)	V_p (ft^3)	+/-
A	489,521	Pavement	0.95	93,784	97,426	101,771	4,345
	36,117	Landscaping	0.50	3,642			
B	65,175	Pavement	0.95	12,486	15,200	16,116	916
	26,913	Landscaping	0.50	2,714			
C	16,521	Pavement	0.95	3,165	6,478	8,607	2,129
	32,855	Landscaping	0.50	3,313			
D	0	Pavement	0.95	0	2,796	8,908	6,112
	27,725	Landscaping	0.50	2,796			

NOTES
1. ADD 0.5' TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS.
2. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.

FLOOD ZONE CLASSIFICATION:
THE PARCEL LIES WITHIN FLOOD ZONE "X", 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE AS SHOWN ON FIRM PANEL 04013C2715L WITH A N EFFECTIVE DATE OF OCTOBER 16, 2013.

NORTH
GRAPHIC SCALE IN FEET
0 25 50 100

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
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7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

SCALE (H): 1"=50'
SCALE (V): NONE
DESIGNED BY: CW
DRAWN BY: JHT
CHECKED BY: CW
DATE: 10/1/2024

56TH STREET INDUSTRIAL
PRELIMINARY
GRADING PLAN
375 N. 56TH STREET CHANDLER, ARIZONA 85226

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
ENGINEER C. WURL
PE NO. 61720 DATE 10/24

PROJECT NO.
291591005

DRAWING NAME
PGD

1 OF 1

COC LOG NO. PLT24-0007

K:\PHX_Civil\291591005 - Chandler 56\CADD\Preliminary\291591005_PRE-GD.dwg Oct 07, 2024 CHUCK.WURL
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TAB I

PRELIMINARY PLAT
FOR
56TH STREET INDUSTRIAL

375 N. 56TH STREET
CHANDLER, ARIZONA 85226

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER
OPUS DEVELOPMENT COMPANY, LLC
2555 E. CAMELBACK ROAD, SUITE 100
PHOENIX, ARIZONA 85016
PH: (602) 648-5077
CONTACT: MATTHEW VISNANSKY
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KIMLEY-HORN AND ASSOCIATES, INC.
7740 N. 16TH STREET, SUITE 300
PHOENIX, ARIZONA 85020
PH: (602) 837-5511
CONTACT: CHAD HUBER, RLS
EMAIL: CHAD.HUBER@KIMLEY-HORN.COM

LEGAL DESCRIPTION (PER TITLE REPORT):

PARCEL NO. 1:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING NORTHWESTERLY OF THE CENTER LINE OF THE WESTERN CANAL.

PARCEL NO. 2:

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 28;

THENCE SOUTH 00 DEGREES 04 MINUTES 30 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, 1,327.82 FEET TO A POINT WHICH IS 15.00 FEET NORTH OF THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER AND THE POINT OF BEGINNING;

THENCE SOUTH 89 DEGREES 55 MINUTES 23 SECONDS EAST, ALONG THE NORTH FACE OF AN EXISTING BLOCK WALL AND THE WESTERLY PROLONGATION THEREOF, SAID NORTH FACE BEING 15 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTHWEST QUARTER, 673.39 FEET;

THENCE SOUTH 56 DEGREES 56 MINUTES 33 SECONDS EAST, CONTINUING ALONG SAID NORTH FACE, 27.56 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER;

THENCE NORTH 89 DEGREES 55 MINUTES 23 SECONDS WEST, ALONG SAID SOUTH LINE, 696.47 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER;

THENCE NORTH 00 DEGREES 04 MINUTES 30 SECONDS WEST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, 15.00 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3:

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 28;
THENCE SOUTH 00 DEGREES 04 MINUTES 30 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, 751.95 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 89 DEGREES 55 MINUTES 23 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH THE SOUTH LINE OF SAID NORTHWEST QUARTER, 731.11 FEET;

THENCE SOUTH 00 DEGREES 04 MINUTES 37 SECONDS WEST, ALONG A LINE PERPENDICULAR TO THE LAST COURSE, 571.11 FEET TO A POINT ON THE CENTER LINE OF THE KYRENE CANAL;

THENCE SOUTH 43 DEGREES 44 MINUTES 00 SECONDS WEST, ALONG SAID CENTERLINE, 27.31 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER;

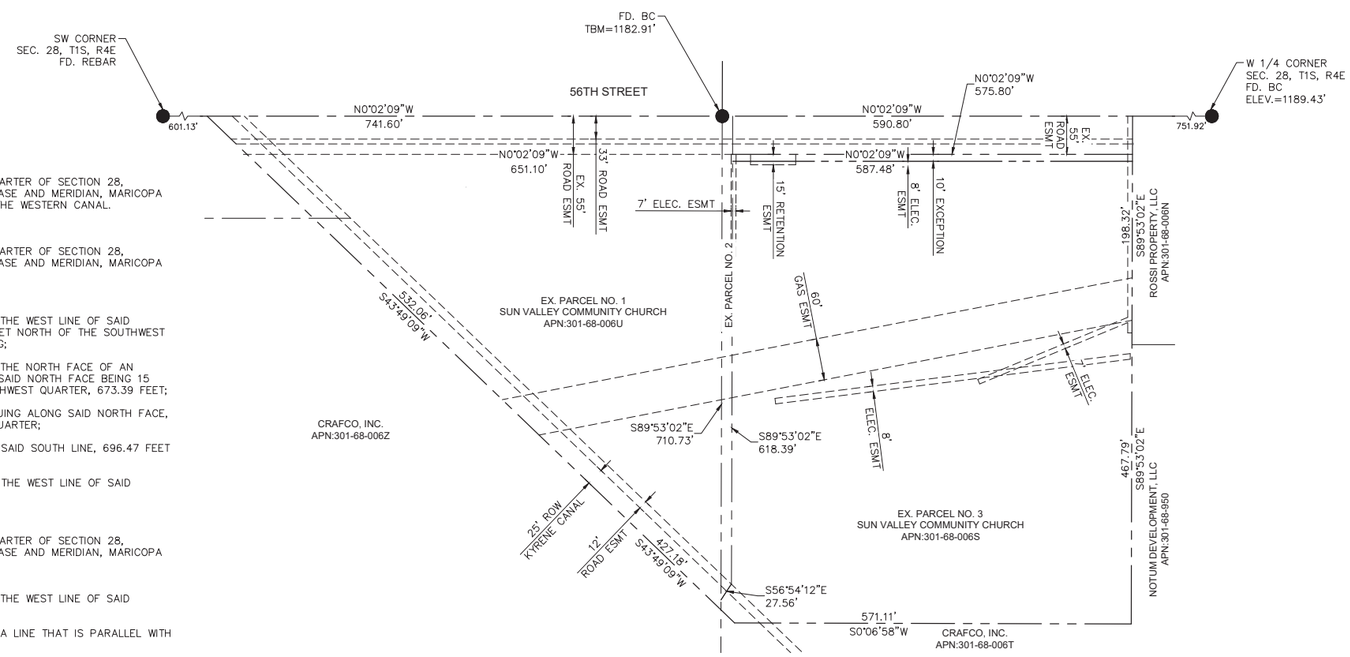
THENCE NORTH 89 DEGREES 55 MINUTES 23 SECONDS WEST, ALONG SAID SOUTH LINE, 14.22 FEET TO A POINT ON THE NORTH FACE OF AN EXISTING BLOCK WALL;

THENCE NORTH 56 DEGREES 56 MINUTES 33 SECONDS WEST, ALONG SAID NORTH FACE, 27.56 FEET;

THENCE NORTH 89 DEGREES 55 MINUTES 23 SECONDS WEST, CONTINUING ALONG SAID NORTH FACE AND THE WESTERLY PROLONGATION THEREOF, SAID NORTH FACE BEING 15 FEET NORTH OF, AND PARALLEL WITH, THE SOUTH LINE OF SAID NORTHWEST QUARTER, 673.39 FEET TO A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER;

THENCE NORTH 00 DEGREES 04 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, 575.87 FEET TO THE POINT OF BEGINNING;

EXCEPT THE EAST 10.00 FEET OF THE WEST 65.00 FEET, THEREOF AS CONVEYED TO THE CITY OF CHANDLER, AN ARIZONA MUNICIPAL CORPORATION IN WARRANTY DEED RECORDED IN DOCUMENT NO. 95-225841 OF OFFICIAL RECORDS AND RE-RECORDED IN DOCUMENT NO. 96-0482329, OF OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.



EXISTING SITE MAP

GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

100-Year, 2-Hour Retention Summary				$V_r = D/12 \times A \times C \times 1.1$		D = 2.20 inches	
Drainage Basin ID	Drainage Area (ft^2)	Land Use	Runoff Coefficient	V_r (ft^3)	$V_{r,total}$ (ft^3)	V_p (ft^3)	+/-
A	495,666	Pavement	0.95	94,961	98,603	101,771	3,168
	36,117	Landscaping	0.50	3,642			
B	64,725	Pavement	0.95	12,400	15,114	18,157	3,043
	26,913	Landscaping	0.50	2,714			
C	16,521	Pavement	0.95	3,165	6,246	8,607	2,361
	30,553	Landscaping	0.50	3,081			
D	0	Pavement	0.95	0	2,453	8,908	6,455
	24,332	Landscaping	0.50	2,453			

VICINITY MAP
CHANDLER, AZ
N.T.S.

NOTE:

THE IMPROVEMENT SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED

LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- STREET CENTERLINE
- EASEMENT LINE
- S — EXISTING SEWER MAIN
- S — PROPOSED SEWER MAIN
- W — EXISTING PUBLIC WATER MAIN
- W — PROPOSED PUBLIC WATER MAIN
- F — PROPOSED FIRE LINE
- PROPOSED STORM DRAIN
- EXSTING STORM DRAIN
- HP — HIGH POINT
- 12 — PROPOSED CONTOUR
- 2 — EXISTING CONTOURS
- 10.00 P — PROPOSED PAVEMENT SPOT ELEVATION
- 10.00 EG — EXISTING SPOT ELEVATION
- FLOW DIRECTION
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED CATCH BASIN

SITE DATA

ADDRESS:	375 N 56TH STREET CHANDLER, ARIZONA
EXISTING ZONING:	PAD
PROPOSED ZONING:	PAD
APN:	301-68-006S & 301-68-006U
GROSS AREA:	15.950 ACRES, 694,828 SF

FLOOD ZONE CLASSIFICATION:

THE PARCEL LIES WITHIN FLOOD ZONE "X", 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE AS SHOWN ON FIRM PANEL 04013C2715L WITH A N EFFECTIVE DATE OF OCTOBER 16, 2013.

BENCHMARK:

THE BENCHMARK FOR THIS PROJECT IS A BRASS CAP AT THE WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, HAVING AN NAVD 88 ELEVATION OF 1189.43'.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS N00°02'09"W. THE BASIS OF BEARING IS BASED ON THE MEASURED BEARING BETWEEN FOUND MONUMENTS.

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

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7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

SCALE (H): 1"=100'
SCALE (V): NONE
DESIGNED BY: CW
DRAWN BY: JHT
CHECKED BY: CW
DATE: 10/07/2024

56TH STREET INDUSTRIAL

PRELIMINARY PLAT COVER SHEET
375 N. 56TH STREET CHANDLER, ARIZONA 85226

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
ENGINEER C. WURL
PE NO. 61720 DATE 10/24

PROJECT NO.
291591005

DRAWING NAME
PP-1

COC LOG NO. PL124-0007

K:\PHX_Civil\291591005 - Chandler 56\CADD\Exhibits\Preliminary Plat\Preliminary Plat.dwg Oct 07, 2024 CHUCK.WURL
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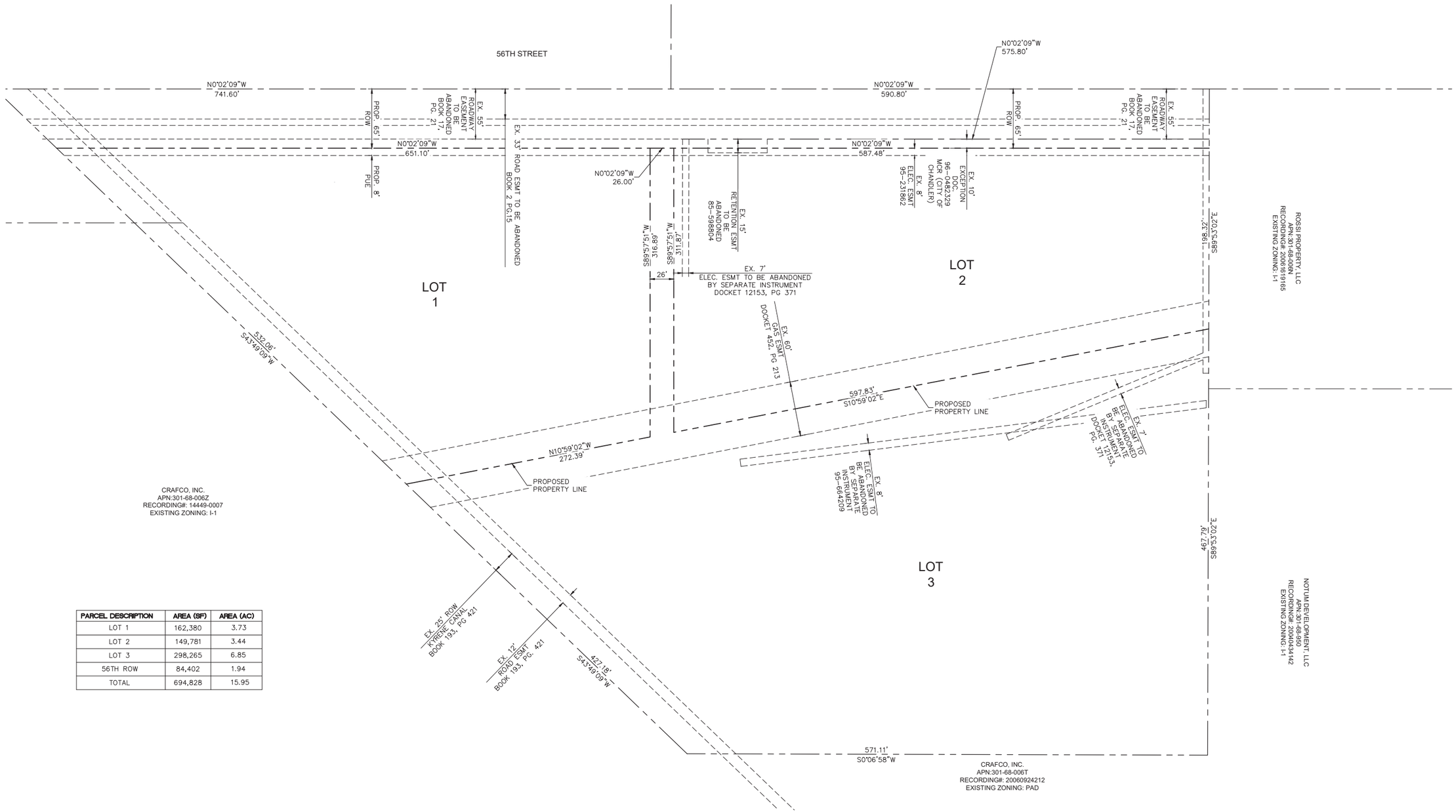

PARCEL DESCRIPTION	AREA (SF)	AREA (AC)
LOT 1	162,380	3.73
LOT 2	149,781	3.44
LOT 3	298,265	6.85
56TH ROW	84,402	1.94
TOTAL	694,828	15.95

NORTH

GRAPHIC SCALE IN FEET
0 25 50 100

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ARIZONA811
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NO.	REVISION	BY	DATE	APPR.

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7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

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DATE: 10/07/2024

56TH STREET INDUSTRIAL

PRELIMINARY PLAT

375 N. 56TH STREET CHANDLER, ARIZONA 85226

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
ENGINEER C. WURL
PE NO. 61720 DATE 10/24

PROJECT NO.
291591005

DRAWING NAME
PP-2

2 OF 3

COC LOG NO. PL.T24-0007

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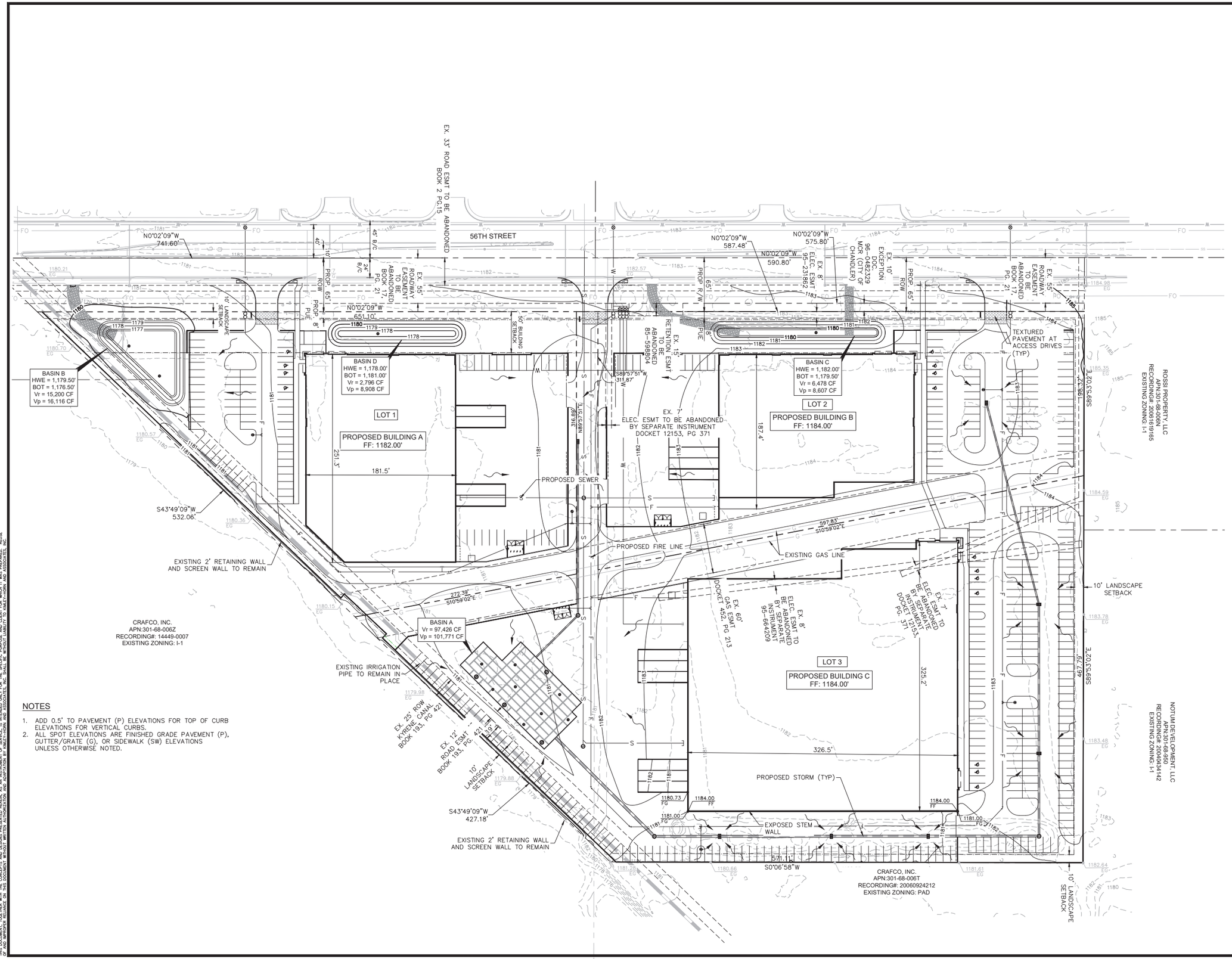

NOTES

1. ADD 0.5' TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS.
2. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.

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ARIZONA 811
Call 811 or click Arizona811.com

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

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7740 North 16th Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

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DATE: 10/07/2024

56TH STREET INDUSTRIAL

EXISTING AND PROPOSED IMPROVEMENTS
375 N. 56TH STREET CHANDLER, ARIZONA 85226

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
ENGINEER C. WURL
PE NO. 61720 DATE 10/24

PROJECT NO.
291591005

DRAWING NAME
PP-3

3 OF 3

COC LOG NO. PLT24-0007

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