

# Planning and Zoning Commission Regular Meeting

May 1, 2024 | 5:30 p.m.  
Chandler City Council Chambers  
88 E. Chicago Street, Chandler, AZ



## Commission Members

Chair Rick Heumann  
Vice Chair Sherri Koshiol  
Commissioner Mike Quinn  
Commissioner Kyle Barichello  
Commissioner Rene Lopez  
Commissioner Charlotte Golla

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. § 38-431.02, notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a REGULAR MEETING open to the public on Wednesday, May 1, 2024, at 5:30 p.m., at City Council Chambers, 88 E. Chicago Street, Chandler, AZ. One or more members of the Commission may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.

# Planning and Zoning Commission Regular Meeting Agenda - May 1, 2024

## Call to Order/Roll Call

## Pledge of Allegiance

## Scheduled/Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

## Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the Board or Commission, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.

- 1. April 17, 2024, Planning and Zoning Commission Meeting Minutes**  
Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of April 17, 2024, and Regular Meeting of April 17, 2024.
- 2. Rezoning and Preliminary Development Plan, PLH23-0063 CBREIM Frye, located at 2500 W. Frye Road, generally located one-half mile south and east of Chandler Boulevard and Price Road**  
Move Planning and Zoning Commission continue PLH23-0063 CBREIM Frye, Rezoning from Planned Industrial (I-1) District to Planned Area Development (PAD) for a data center with Mid-Rise Overlay to allow building heights up to 95 feet and Preliminary Development Plan approval to expand an existing data center facility to the June 5, 2024 meeting, as requested by the applicant.
- 3. Area Plan Amendment, Rezoning, Preliminary Development Plan, and Preliminary Plat, PLH24-0012/PLH23-0056/PLT23-0022 Viviendo, located at the southeast corner of Ocotillo and McQueen roads**  
Area Plan  
Move Planning and Zoning Commission recommend approval of Section 23 Area Plan amendment, PLH24-0012, as recommended Planning staff.  
  
Rezoning  
Move Planning and Zoning Commission recommend approval of Rezoning PLH23-0056 Viviendo, Rezoning from PAD for Neighborhood Commercial and congregate care to PAD for single-family residential on approximately 15.4 acres, subject to the conditions as recommended by Planning staff.

## Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH23-0056 Viviendo for subdivision layout and housing product, subject to the conditions as recommended by Planning staff.

## Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT23-0022 Viviendo, a 76-lot single-family subdivision, subject to the condition as recommended by Planning staff.

4. **Use Permit, PLH23-0067 All Copy, located at the northwest corner of Chicago Street and Beck Avenue, generally located ¼ mile east and south of 56th Street and Chandler Boulevard.**

Move Planning and Zoning Commission recommend approval of Use Permit, PLH23-0067 for office/warehouse building, subject to the conditions as recommended by Planning staff.

5. **Use Permit, PLH24-0005 Gold Trust Realty, 200 S Dobson Road, generally located north of the northwest corner of Dobson and Frye roads.**

Move Planning and Zoning Commission recommend approval of Use Permit, PLH24-0005 Gold Trust Realty, for the continued use of a residential home zoned Single-Family District (SF-8.5) as a real estate office, subject to the conditions as recommended by Planning staff.

## Discussion

## Member Comments/Announcements

## Calendar

6. The next Regular Meeting will be held on Wednesday, May 15, 2024, in the Chandler City Council Chambers, 88 E. Chicago Street, Chandler, AZ.

## Adjourn



**Planning & Zoning Commission  
24-028**

**Development Services Memo No. PZ**

**Date:** May 01, 2024  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
**From:** Julie San Miguel, Senior Administrative Assistant  
**Subject:** April 17, 2024, Planning and Zoning Commission Meeting Minutes

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**Proposed Motion:**

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of April 17, 2024, and Regular Meeting of April 17, 2024.

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**Attachments**

- April 17, 2024 Study Session Minutes
- April 17, 2024 Regular Meeting Minutes

# Meeting Minutes

## Planning and Zoning Commission

### Study Session

April 17, 2024 | 5:00 p.m.  
Chandler City Council Chambers  
88 E. Chicago Street, Chandler, AZ



### Call to Order

The meeting was called to order by Chairman Heumann at 5:00 p.m.

### Roll Call

#### Commission Attendance

Chairman Rick Heumann  
Vice Chair Sherri Koshiol  
Commissioner Kyle Barichello  
Commissioner Jeff Velasquez  
Commissioner Rene Lopez  
Commissioner Charlotte Golla

#### Staff Attendance

David de la Torre, Planning Manager  
Alisa Petterson, Senior Planner  
Mika Liburd, Associate Planner  
Thomas Allen, Assistant City Attorney  
Julie San Miguel, Clerk

#### Absent

Commissioner Michael Quinn - Excused

### Scheduled/Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

### Consent Agenda and Discussion

#### 1. March 20, 2024, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of March 20, 2024, and Regular Meeting of March 20, 2024.

CHAIRMAN HEUMANN confirmed there were no questions or comments from the Commission Members.

## **2. PLH23-0063 – CBREIM Frye**

Rezoning from Planned Industrial (I-1) District to Planned Area Development (PAD) for a data center with Mid-Rise Overlay to allow building heights up to 95 feet and Preliminary Development Plan approval to expand an existing data center facility. The subject site is located at 2500 W. Frye Road, generally located ½ mile south and east of Chandler Boulevard and Price Road.

Move Planning and Zoning Commission continue the request to the May 1, 2024, meeting for Rezoning and Preliminary Development Plan PLH23-0063 CBREIM Frye, due to applicant's requesting additional time, as recommended by Planning staff.

CHAIRMAN HEUMANN confirmed there were no questions or comments from the Commission Members.

## **3. PLH23-0048 ECHO SUITES EXTENDED STAY BY WYNDHAM**

ALISA PETERSON, SENIOR PLANNER presented details regarding the request for Preliminary Development Plan approval for site layout and building architecture for a four-story hotel on approximately 2.54 acres. The subject property is located in the Chandler Airport Center at the southeast corner of Cooper Road and the Loop 202 Santan Freeway.

COMMISSIONER VELASQUEZ pointed out the pedestrian seating area upfront, noting the site plan calls it as a fabric shade structure then a hardened steel cover. He mentioned that the steel option appeared more elegant and permanent.

ALISA PETERSON, SENIOR PLANNER confirmed staff requested the Applicant to provide a covered canopy at that location, which would align with the Porte-cochère to provide a unified architectural theme and be quality, longer lasting, and durable.

CHAIRMAN HEUMANN asked if the project includes electric charging stations.

ALISA PETERSON, SENIOR PLANNER stated there are no specific stipulations for electric charging stations and will need to confirm with the Applicant if the project will include the charging stations.

CHAIRMAN HEUMANN suggested staff ask the Applicant to add a stipulation to include two or three electric charging stations as City Council may have the Applicant add a stipulation anyways.

CARTER RISE, APPLICANT stated it is their intent to provide electric charging stations and mentioned that while the exact locations are undecided, they typically add four stations to their sites.

CHAIRMAN HEUMANN confirmed that the Applicant is agreeable to add a stipulation to include electric vehicle charging stations to ensure it does not overlook.

ALISA PETTERSON, SENIOR PLANNER sought clarification on the stipulation to be added.

CHAIRMAN HEUMANN clarified that the stipulation should note the addition of the electric vehicle chargers but does not have to specify a number.

COMMISSIONER BARICHELLO sought clarity on the source of the charging station requirement, questioning if it was expected to be a standard stipulation moving forward.

CHAIRMAN HEUMANN explained that the practice began a few years ago based on the preference of Councilmember Stewart.

COMMISSIONER LOPEZ advised Councilmember Stewart advocated for the addition of electric vehicle chargers, but it was not formal code requirement. He further stated the consideration was typically on a case-by-case basis, mostly for apartment complexes.

CHAIRMAN HEUMANN agreed and stated the stipulation was typically added to apartments and town homes. He mentioned whether a stipulation is added or not, it sounded like the Applicant was going to add the chargers which is a good business decision.

DAVID DE LA TORRE, PLANNING MANAGER confirmed stipulations regarding electronic vehicle charging stations are handled on a case-by-case basis as there is no code requirement. He explained the stipulation were a directive of City Council and have been incorporated into new proposed developments, across various land uses, such as, multifamily, commercial, and industrial.

CHAIRMAN HEUMANN confirmed there were no further questions or comments from the Commission Members.

### **3. PLH23-0068 WIN BEAUTY SALON**

MIKA LIBURD, ASSOCIATE PLANNER presented details regarding the request for Use Permit time extension for a beauty salon located on a property zoned Single-Family District (SF-8.5). The business is located at 284 S Dobson Road, at the northwest corner of Dobson and Frye roads.

CHAIRMAN HEUMANN confirmed there were no questions or comments from the Commission Members and commented the Applicant in cleaning up and enhancing this property. He mentioned this property is a good use properties located on Chandler Boulevard that have been converted into businesses. He further stated this is a good use and recognized that the last approval was for a five-year extension and this approval will have no time stipulation.

## Calendar

The next Study Session will be held before the Regular Meeting on Wednesday, May 1, 2024, in the Chandler City Council Chambers, 88 E. Chicago Street, Chandler, Arizona.

## Adjourn

The meeting was adjourned at 5:14 p.m.

 for KM

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Kevin Mayo, Secretary

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Rick Heumann, Chairman



# Meeting Minutes

## Planning and Zoning Commission

### Regular Meeting

April 17, 2024 | 5:30 p.m.  
Chandler City Council Chambers  
88 E. Chicago Street, Chandler, AZ



#### Call to Order

The meeting was called to order by Chairman Heumann at 5:30 p.m.

#### Roll Call

##### Commission Attendance

Chairman Rick Heumann  
Vice Chair Sherri Koshiol  
Commissioner Kyle Barichello  
Commissioner Jeff Velasquez  
Commissioner Rene Lopez  
Commissioner Charlotte Golla

##### Staff Attendance

David de la Torre, Planning Manager  
Alisa Petterson, Senior Planner  
Mika Liburd, Associate Planner  
Thomas Allen, Assistant City Attorney  
Julie San Miguel, Clerk

##### Absent

Commissioner Michael Quinn - Excused

#### Pledge of Allegiance

The Pledge of Allegiance was led by Commissioner Velazquez.

#### Scheduled and Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

#### Consent Agenda and Discussion

##### 1. March 20, 2024, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve Planning and Zoning Commission meeting minutes of the Study Session of March 20, 2024, and Regular Meeting of March 20, 2024.

**2. PLH23-0063 – CBREIM Frye**

Rezoning from Planned Industrial (I-1) District to Planned Area Development (PAD) for a data center with Mid-Rise Overlay to allow building heights up to 95 feet and Preliminary Development Plan approval to expand an existing data center facility. The subject site is located at 2500 W. Frye Road, generally located ½ mile south and east of Chandler Boulevard and Price Road.

Move Planning and Zoning Commission continue the request to the May 1, 2024, meeting for Rezoning and Preliminary Development Plan PLH23-0063 CBREIM Frye, due to applicant's requesting additional time, as recommended by Planning staff.

**3. PLH23-0048 ECHO SUITES EXTENDED STAY BY WYNDHAM**

Request for Preliminary Development Plan approval for site layout and building architecture for a four-story hotel on approximately 2.54 acres. The subject property is located in the Chandler Airport Center at the southeast corner of Cooper Road and the Loop 202 Santan Freeway.

CHAIRMAN HEUMANN advised that an additional stipulation was added during the study session prior to the regular meeting. He requested staff read aloud the additional stipulation to the commission and audience.

ALISA PETERSON, SENIOR PLANNER read aloud the additional Preliminary Development Plan Stipulation reflected under No. 10.

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH23-0048 Echo Suites Extended Stay by Wyndham for site layout and building architecture for our four-story hotel on approximately 2.54 acres, subject to conditions as recommended by Planning staff.

Recommended Conditions of Approval:

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Echo Suites: Chandler, AZ" and kept on file in the City of Chandler Planning Division, in File No. PLH23-0048, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by the Chandler City Council.
2. The site shall be maintained in a clear and orderly manner.

3. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
4. Landscaping shall be maintained at a level consistent with or better than at the time of planting.
5. Fifty percent of the trees planted along the arterial streets shall be a minimum of 36-inch box and be a minimum of 12-feet in height at the time of planting.
6. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
7. All mechanical equipment, including HVAC, utility meters, etc. shall be screened from view by material(s) that are architecturally integrated and consistent with the proposed buildings.
8. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
9. Chandler Airport Center requires all parking to be fully screened from view by 3-foot-high screen walls that match existing screen walls. Applicant shall work with staff to meet this requirement.

Note: Stipulation #10 was added as a result of the Planning and Zoning's discussion during the study session:

10. Applicant shall provide charging stations within the parking area.

### **3. PLH23-0068 WIN BEAUTY SALON**

Request for Use Permit time extension for a beauty salon located on a property zoned Single-Family District (SF-8.5). The business is located at 284 S Dobson Road, at the northwest corner of Dobson and Frye roads.

Move Planning and Zoning Commission recommend approval of Use Permit PLH23-0068 Win Beauty Salon, a time extension for the operation of a beauty salon, subject to the conditions as recommended by Planning staff.

#### Recommended Conditions of Approval

Planning staff recommends Planning and Zoning Commission move to recommend approval of

the Use Permit, subject to the following conditions:

1. Substantial expansion or modification beyond the approved exhibits (Site Plan, Floor Plan and Narrative) shall void the Use Permit and require new Use Permit application and approval.
2. The Use Permit is non-transferable to any other property.
3. Increases in on-site employment over that as represented as equivalent to three (3) full time employees shall require a new Use Permit application and approval by the City of Chandler.
4. The site shall be maintained in a clean and orderly manner.

## **Consent Agenda Motion and Vote**

COMMISSIONER BARICHELLO moved to approve the Consent Agenda of the April 17, 2024, Regular Planning and Zoning Commission Meeting with stipulations presented by staff and added Stipulation No. 10 on Item No. 3; Seconded by COMMISSIONER LOPEZ.

## **Member Comments/Announcements**

DAVID DE LA TORRE, PLANNING MANAGER announced that the City Clerk's office had informed staff earlier today that this would be Commissioner Velasquez's final meeting. He expressed his gratitude for the Commissioner's time and expertise. He acknowledged Commissioner Velasquez was managing a demanding schedule, contributing to both the Historic Preservation Commission and the Planning and Zoning Commission. He further expressed staff's deep appreciation for his insights and contributions for these Commissions.

COMMISSIONER VELASQUEZ thanked the Chair, Commission, and staff. He expressed that it was truly awesome serving with everyone.

CHAIRMAN HEUMANN stated that he tried to persuade Commissioner Velasquez against leaving and expressed hope that Commissioner Velasquez might once again serve on the Planning and Zoning Commission.

## **Calendar**

The next regular meeting will be held on Wednesday, May 1, 2024, in the Chandler City Council Chambers, 88 E. Chicago Street, Chandler, Arizona.

## **Adjourn**

The meeting was adjourned at 5:32 p.m.

*Kevin Mayo for KM*

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Kevin Mayo, Secretary

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Rick Heumann, Chairman



**Planning & Zoning Commission      Development Services      Memo No. 24-027**

**Date:** May 01, 2024  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
David de la Torre, Planning Manager  
**From:** Alisa Petterson, Senior Planner  
**Subject:** PLH23-0063 CBREIM Frye

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**Proposed Motion:**

Move Planning and Zoning Commission continue PLH23-0063 CBREIM Frye, Rezoning from Planned Industrial (I-1) District to Planned Area Development (PAD) for a data center with Mid-Rise Overlay to allow building heights up to 95 feet and Preliminary Development Plan approval to expand an existing data center facility to the June 5, 2024 meeting, as requested by the applicant.

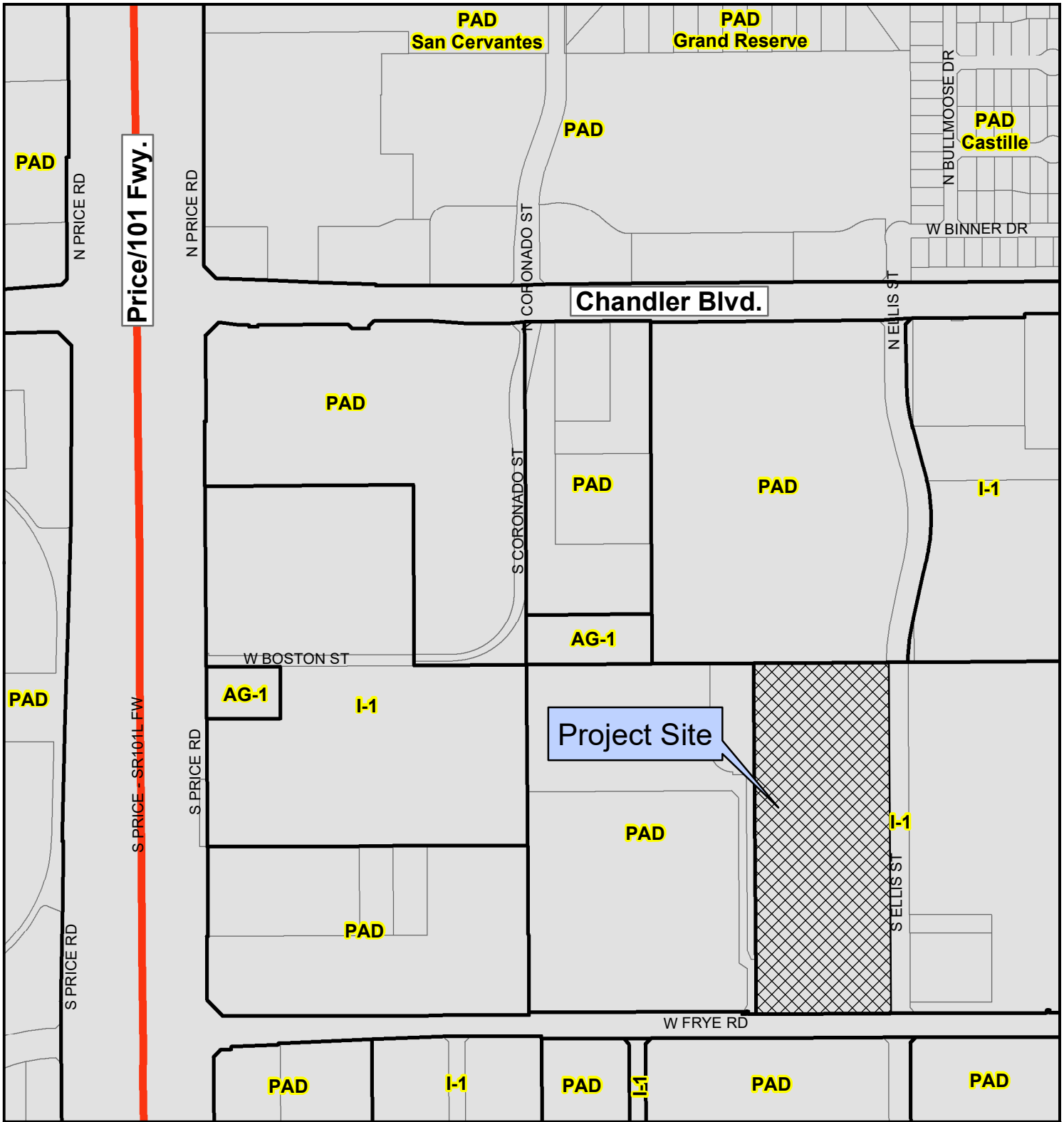
**Background/Discussion**

The applicant requests a continuance to the June 5, 2024 meeting in order to allow additional time to complete engineering due diligence needed to inform the terms of the development agreement.

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**Attachments**

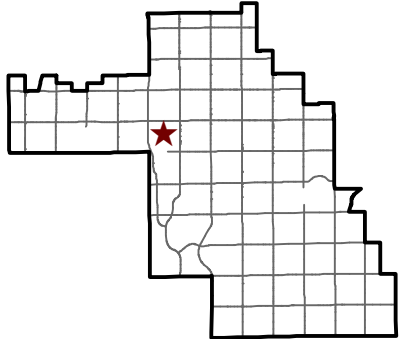
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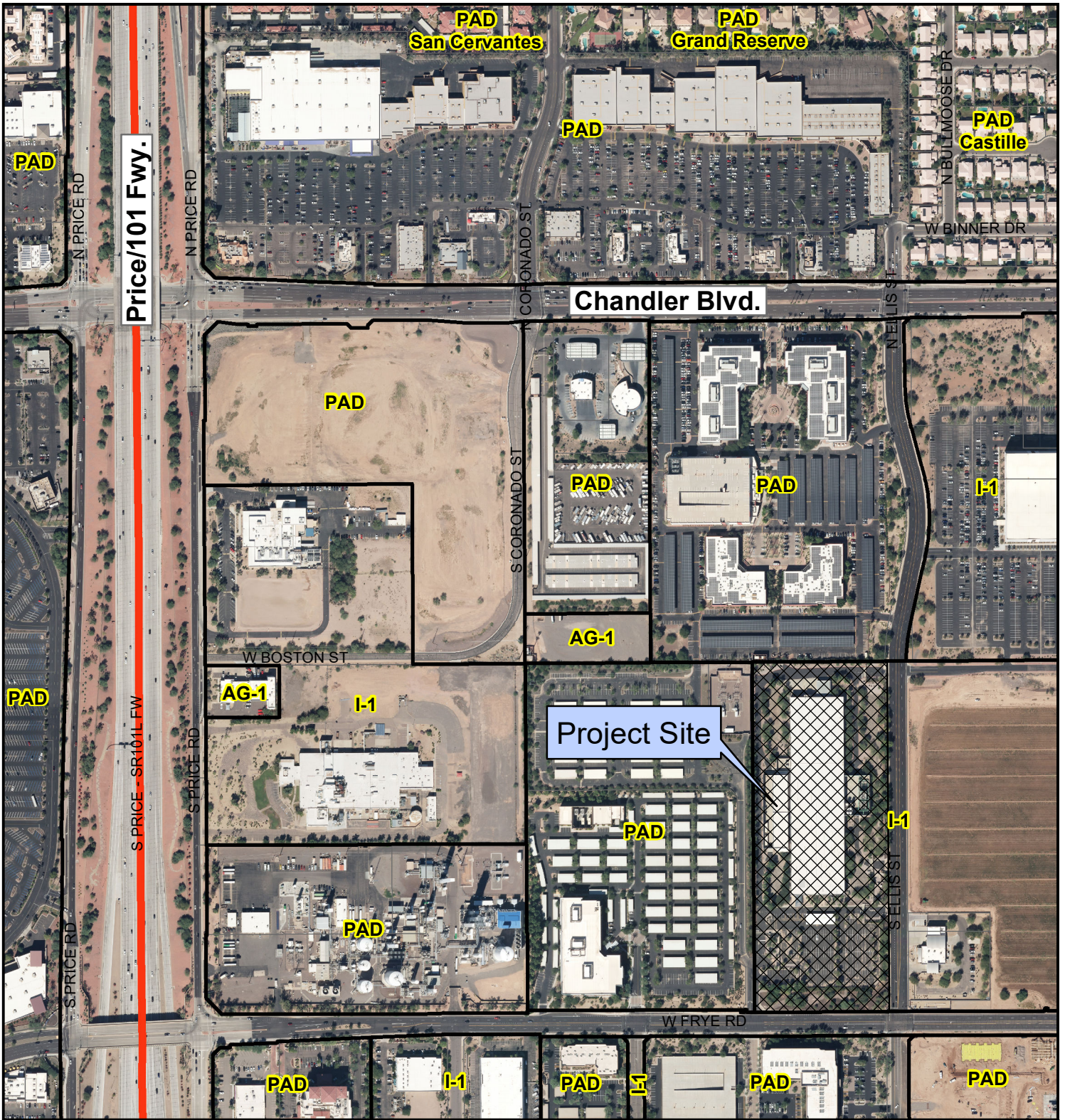
**PLH23-0063 CBREIM Frye**



**Proposed Project Details**  
 Request for Rezone/PDP with Mid-Rise Overlay  
 14.49 Acres



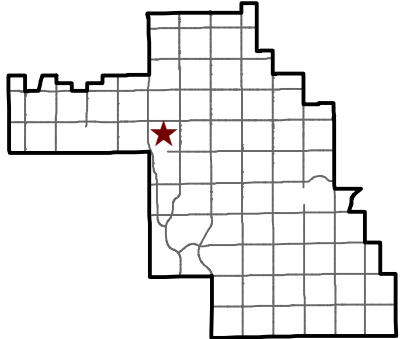
City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>



**PLH23-0063 CBREIM Frye**



Proposed Project Details  
 Request for Rezone/PDP with Mid-Rise Overlay  
 14.49 Acres



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**Planning & Zoning Commission Memorandum      Development Services**  
**Memo No. 24-022**

**Date:** May 01, 2024  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
 David de la Torre, Planning Manager  
**From:** Lauren Schumann, Planning Senior Program Manager  
**Subject:** PLH24-0012/PLH23-0056/PLT23-0022 Viviendo  
**Request:** Amendment to Section 23 Area Plan from Neighborhood Commercial to Residential

Rezoning from Planned Area Development (PAD) for Neighborhood Commercial and congregate care to PAD for single-family residential

Preliminary Development Plan approval for subdivision layout and housing product

Preliminary Plat approval for a 76-lot single-family subdivision on approximately 15.4 acres

**Location:** Southeast corner of Ocotillo and McQueen roads

**Applicant:** Ralph Pew, Pew and Lake, PLC

**Proposed Motion:**

Area Plan

Move Planning and Zoning Commission recommend approval of Section 23 Area Plan amendment, PLH24-0012, as recommended Planning staff.

Rezoning

Move Planning and Zoning Commission recommend approval of Rezoning PLH23-0056 Viviendo, Rezoning from PAD for Neighborhood Commercial and congregate care to PAD for single-family residential on approximately 15.4 acres, subject to the conditions as recommended by Planning staff.

## Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH23-0056 Viviendo for subdivision layout and housing product, subject to the conditions as recommended by Planning staff.

## Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT23-0022 Viviendo, a 76-lot single-family subdivision, subject to the condition as recommended by Planning staff.

### Background Data:

- Subject site zoned under 120-acre Geneva Lake Estates plan as PAD for Neighborhood Commercial (C-1) and congregate care/office; 2000
- Approved for major anchor center with free-standing pads and congregate care on southern portion along McQueen Road; commercial development never occurred
- QuickTrip submitted rezoning to develop fuel station, convenient store, and Sun Devil automotive repair at immediate corner. Case withdrawn due to opposition from surrounding neighbors; 2020
- Southeast Chandler Area Plan (SECAP) encourages maximizing density at 3.5 du/ac; approved 1999
- Geneva Estates contains 268 single-family homes on approximately 97 acres; 2.76 du/ac
- The request uses aggregate density for the overall Geneva Estates changing vacant commercial to 76 single-family lots; total aggregate density is 3.06 du/ac

### Surrounding Land Use Data:

North	Ocotillo Road, then residential condos	South	Single-family residential
East	Single-family residential	West	McQueen Road, then commercial shops

### General Plan and Area Plan Designations

Plan	Existing	Proposed
General Plan	Neighborhoods	No Change
Southeast Chandler Area Plan (SECAP)	Traditional Suburban Character	No Change

**Proposed Development**

	Single-family Subdivision
Number of Lots	76 single-family lots
Density	15.33 net acres  Isolated density: 4.96 du/ac Aggregate Density (including overall Geneva Estates master planned area): 3.06 du/ac
Building Setbacks	Front: 20 ft. back of sidewalk to garage; 13 ft. to liveable/porch  Sides: 5 ft. & 5 ft.  Rear: 10 ft. with reduced setback for accessory building 5 ft. Lots 10, 37, 32, 41, 47, 49, 58, 60,67, 70, & 76 2nd story feature shall be setback 40 ft. from rear
Minimum Lot Size	4,922 square feet 45 ft. x 107 ft.
Lot Coverage (max.)	60%
Building Height	Mix 1 and 2-story homes Max. height 30 ft.
Architecture Themes	Contemporary, Spanish Modern, Hacienda
Number of Elevations	12
House Size	2,084 to 3,352 square feet
Number of Floor Plans	4 floor plans
Parking	Each lot provides a two-vehicle garage with a driveway for two additional vehicles; each garage pre-wired for electric vehicles (240V)  Gated subdivision; on-street parking provided on one side of street

## **Review and Recommendation**

The General Plan allows medium-density residential (3.5-12) to be considered as a transitional land use on infill parcels when located adjacent to an arterial street. The subject site has been zoned for commercial uses since 2000 and remains vacant. Aggregate density can be considered if the proposed development is a part of a larger master planned development. Through aggregate density, the proposal may be considered if designed appropriately and compatible with surrounding lots.

Since the site is located within the SECAP, design elements are required in order to achieve a density greater than 2.5 du/ac. The request is for a density of 4.96 du/ac with overall proposed aggregate density of Geneva Estates totaling 3.06 du/ac. When the SECAP was adopted the design requirements provided options, such as common area lakes that were intended for larger residential developments. The proposed development will include a common ramada seating area, tot lot, and a secured dog park for residents meeting the intent of the SECAP. Due to the infill nature of the site, the Residential Development Standards (RDS) for subdivision layout are not applicable. However, the RDS guidelines remain applicable to the architectural design of the homes. The proposed single family residential subdivision meets the intent of the development standards, residential design guidelines, and the SECAP.

The proposed housing provides one, two, and combination one/two story detached single-family homes to provide variety of housing types within the proposed subdivision. The adjacent subdivision has a mix of one and two story homes; therefore, the home builder has indicated which lots are limited to single-story and combination one/two story homes to match and buffer existing homes in the adjacent Geneva Estates lots and to create variety along the arterial streets.

Planning staff has reviewed the request and supports the proposal, citing consistency with the General Plan. The proposal is consistent with policies of the General Plan, which call for a variety of housing choices and a compatible mix of housing types within the Neighborhood designation. Furthermore, the site is located at an arterial intersection and is an infill parcel with an appropriate transition between land uses of different intensities. For these reasons, Planning staff recommends approval subject to conditions.

## **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- The applicant conducted a neighborhood meeting prior to submitting the rezoning application to receive comments from surrounding residents; staff was not in attendance. A neighborhood meeting was held on December 14, 2023. The applicant's team, staff, and approximately 14 residents attended the in-person neighborhood meeting. Residents were concerned about an increase in traffic from the new development and, more specifically, the secondary access proposed south to Alamosa Drive, which is currently used as a collector street to McQueen Road for two separate subdivisions. Attendees raised concerns regarding the proposed density, use of existing green belts in adjacent subdivisions, and overburdening the school's capacity for new families. Following the neighborhood meeting, K. Hovnanian reduced the amount of homes from 84 to 76 lots and added single-story floor plans. The applicant conducted additional community outreach through door-to-door meetings with the surrounding neighbors.
- As of the writing of this memo, Planning staff is aware of surrounding property owners in support and against the project. Residents in support of the proposal prefer to see the property develop as residential in lieu of intense commercial development. Residents against the request state the development is too dense and will increase traffic in the area. Attached to this memo are two letters in opposition, two letters in support, and two with general comments.

## **Recommended Conditions of Approval:**

### **Area Plan Amendment**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Area Plan Amendment to the Section 23 Area Plan from Neighborhood Commercial to Residential.

### **Rezoning**

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from PAD for Neighborhood Commercial and congregate care to PAD for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Viviendo" and kept on file in the City of Chandler Planning Division, in File No. PLH23-0056, modified by such conditions including at the

time the Booklet was approved by the Chandler City Council and/or as therefore amended, modified or supplemented by Chandler City Council.

2. Uses permitted shall be single-family dwellings, with a minimum lot size of 4,500 square feet.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
4. The landscaping in all private open-spaces shall be maintained by the property owner or property's association, and shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all rights-of-ways shall be maintained by the adjacent property owner or property owner's association.
6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s) the developer shall be required to upgrade such landscaping to meet current City Standards.
7. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
8. Lot coverage shall not exceed sixty percent (60%) of each lot area.
9. Minimum setbacks shall be as provided below and further detailed in the Development Booklet:

Property Line	Building Setback
Front Yard	20 ft. from back of sidewalk to garage door 13 ft. from property line to livable
Side Yards	5 ft. for each side
Rear Yard	10 ft.; Accessory buildings 5 ft.

### **Preliminary Development Plan**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the

following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled, "Viviendo" and kept on file in the City of Chandler Planning Division, in File No. PLH23-0056, modified by such conditions including at the time the Booklet was approved by the Chandler City Council and/or as therefore amended, modified or supplemented by Chandler City Council.
2. The same elevation shall not be built side-by-side or directly across the street from one another.
3. Lots shall be restricted to single-story or a combination of one-story with two story elements as indicated in the Viviendo- Site Plan.
4. The site shall be maintained in a clean and orderly manner.
5. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
6. The following enhanced landscape standards shall apply to the common open space and retention area along Ocotillo and McQueen roads:
  - a. 50% of required trees shall have a minimum planting size of a 36-inch box and a minimum of 12-feet in height at the time of planting.
  - b. A minimum of one (1) tree and six (6) shrubs per twenty-five (25) lineal feet of frontage on arterial or collector street rights-of-way.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
9. Each garage shall be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment.

10. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

### **Preliminary Plat**

Planning staff recommends the Planning and Zoning Commission move to recommend approval of the Preliminary Plat subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

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### **Attachments**

Vicinity Maps

Section 23 Area Plan

2004 Approved Geneva Estates Plan

Viviendo- Site Plan

Development Booklet

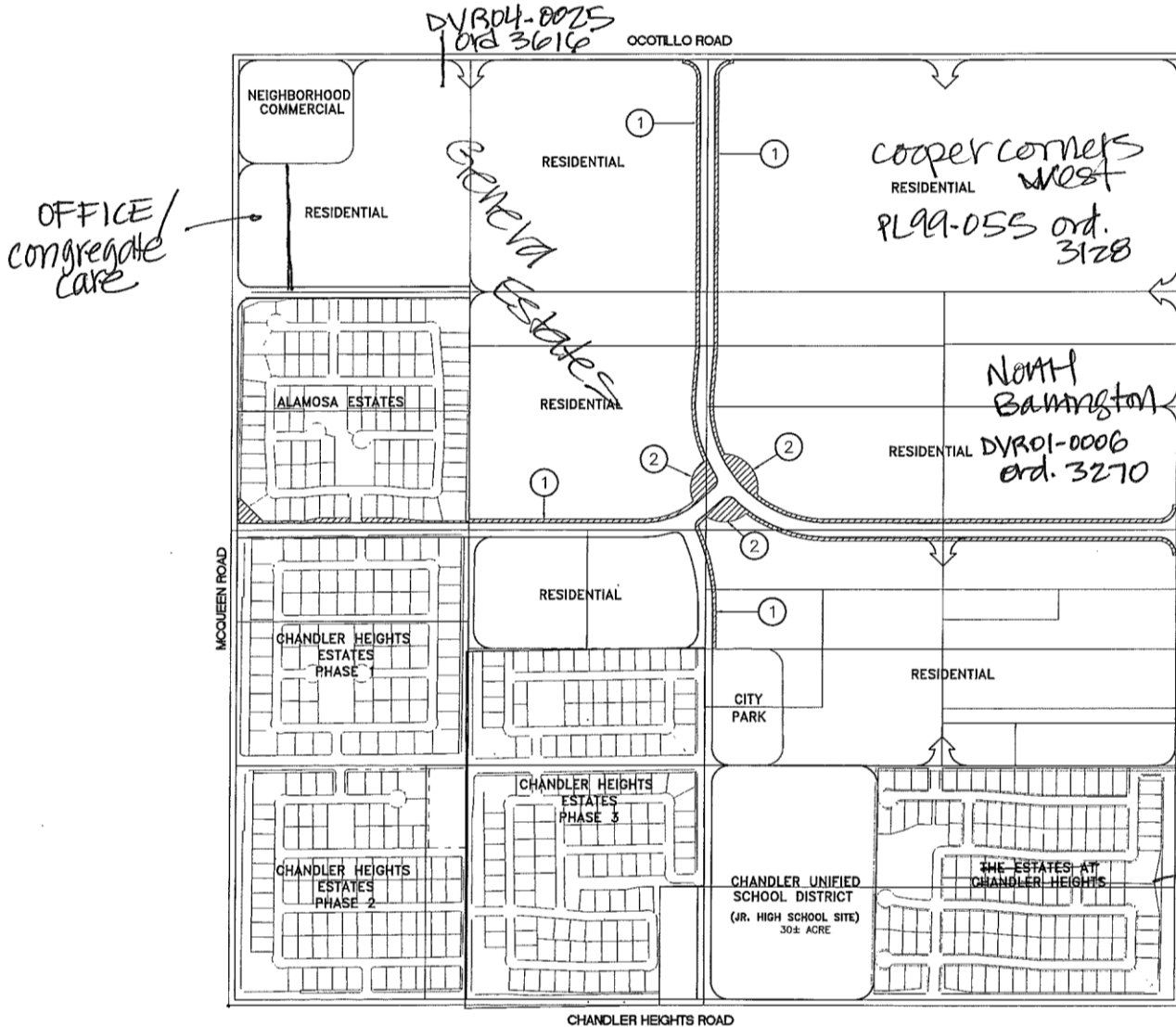
Public Comments



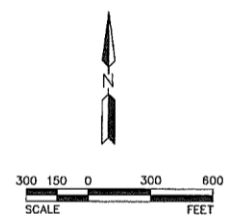




# AREA PLANNING AND CIRCULATION EXHIBIT



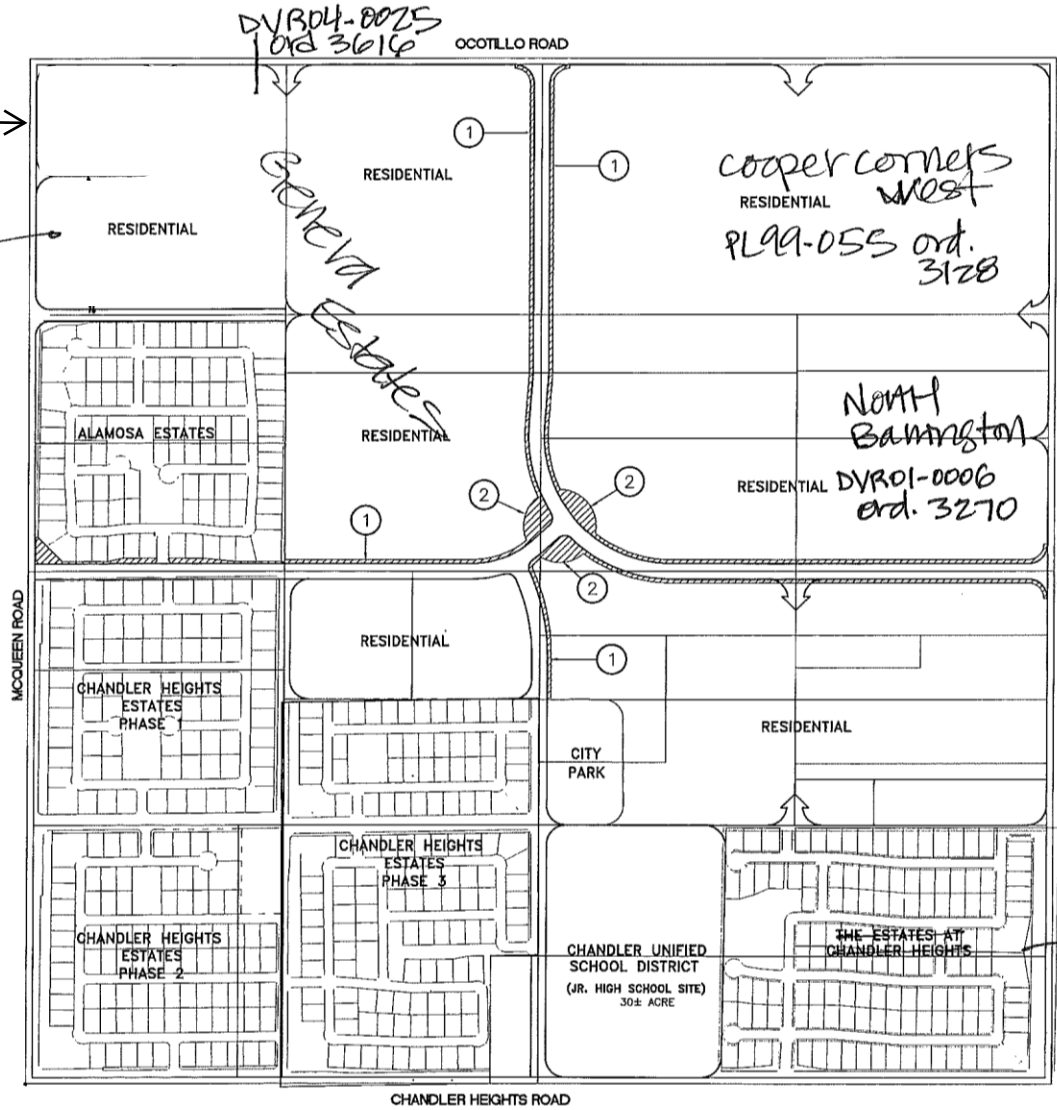
- OPEN SPACE ELEMENTS**
- ① 10' - 20' WIDE (15' AVERAGE) OPEN SPACE TRACT ALONG RESIDENTIAL COLLECTOR STREETS.
  - ② COMMON-USE OPEN SPACE AT INTERSECTION OF COLLECTOR STREETS, EXACT SIZE AND CONFIGURATION TO BE DETERMINED DURING SUBDIVISION PLANNING FOR EACH PARCEL. OPEN SPACE AREAS TO INCLUDE PEDESTRIAN AMENITIES SUCH AS MEANDERING PATHS, BENCHES, PLANTERS AND/OR FOUNTAINS. (AREA ENLARGED AND NOT SHOWN TO SCALE ON THIS PLAN.)



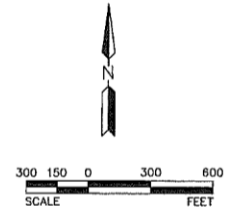
# AREA PLANNING AND CIRCULATION EXHIBIT

PLH24-0012  
Amendment

~~OFFICE/  
congregate  
care~~



- OPEN SPACE ELEMENTS**
- ① 10' - 20' WIDE (15' AVERAGE) OPEN SPACE TRACT ALONG RESIDENTIAL COLLECTOR STREETS.
  - ② COMMON-USE OPEN SPACE AT INTERSECTION OF COLLECTOR STREETS, EXACT SIZE AND CONFIGURATION TO BE DETERMINED DURING SUBDIVISION PLANNING FOR EACH PARCEL. OPEN SPACE AREAS TO INCLUDE PEDESTRIAN AMENITIES SUCH AS MEANDERING PATHS, BENCHES, PLANTERS AND/OR FOUNTAINS. (AREA ENLARGED AND NOT SHOWN TO SCALE ON THIS PLAN.)



Creekside Ranch  
PL98-120  
ord 2897



**Southeast Chandler Area Standards**

- Incorporated within this plan are the following:
1. Average 45' wide landscape setback (measured from the curb line to the fence wall) along arterial streets.
  2. Reduced number of homes backing onto arterial streets (less than 50%).
  3. Perimeter fence walls adjoining arterial streets will include rural character open-view fencing. Solid fencing will have staggers or material changes occurring at least every 100 feet.
  4. Rural character elements including stone, brick, boulevard medians, view openings, and enhanced landscaping, incorporated into entry features.
  5. Four sided elevations with a diverse architectural palette, and varied rooflines at rear elevations along arterial and collector streets.

**Increased Density Requirements and Options**

- A-1 Play-lots/pocket parks (noted on the plans as Amenity Areas) are no greater than 1,320 feet from any dwelling unit.
- A-4 Open space exceeds standard requirement of 10% by a minimum of 2.5%.
- A-6 Open space exceeds standard requirement of 10% by a minimum of 7.5%.
- A-9 Looped drive around centralized common space for park/focal point.
- A-12 Provide visible open space with view corridors, to the SanTan Mountains, with a minimum width of 100'.
- A-20 Recreational facilities and amenities with comprehensive streetscape and neighborhood furniture palettes. Two points are earned for the combined provision of multiple amenities including benches in open space and gathering areas, decorative lighting, a neighborhood landscape planting theme, ramadas, tot lots and a sport court. Each ramada will include picnic benches and decorative trash containers.

**Subdivision Diversity Elements - REQUIRED**

1. Sense of neighborhood arrival.
2. Distinctive project themes.
3. Vehicular access to rear yards.
4. Deeper rear yard setbacks (for two-story dwellings).
5. Irregular shaped retention areas.
6. Retention areas to be usable and accessible.
7. Landscaped parkway (minimum 10' width along arterials).
8. Staggers and breaks in perimeter walls.

**Subdivision Diversity Elements - OPTIONAL**

- minimum 10 points required**
1. Curvilinear street system.
  2. Cul-de-sacs with a diversity feature or access to common open space.
  3. View fencing along arterial and collector streets.
  4. Group wider side yards.
  5. Wider corner lots (10 ft. wide landscape tract on street side).
  6. Provide a mix of garage orientations.
  7. Stagger the rear setback lines.
  8. Landscaped open spaces (visible from arterial streets).
  9. 20 ft landscaped parkway (along arterial streets).
  10. Other subdivision features (cul-de-sac islands & solar orientation).

**Site Legend**

- (A) Low Accent Wall With Columns
- (B) 6' High Theme Wall
- (C) 2 Rail Fence
- (D) 6' High View Wall
- (E) Existing CMU Wall
- (F) 6' High, 4" CMU Wall
- (G) Amenity Area  
Typical Area Would Include:  
Sport Court  
Ramada  
Tot Lot  
Picnic Table  
BBQ  
Benches
- (H) 8' Wide Concrete Paseo
- (I) Water Feature

**Site Data**

planned area development

Zone	Net Area In Acres	Total Units	Du/acre	Total Gross Acres
PAD	99.19	268	2.70	102.34

Minimum Lot Dimensions	Lot Size along Arterials 75' x 150' (10,125 SF)
	Interior Lot Size 73' x 128' (9,344 SF)

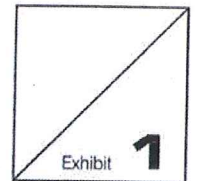
  

Percentage in open space	17.59% 17.76 ac
Arterial RW	3.22 ac

**Site Plan**






**PDSA**  
LAND PLANNERS / LANDSCAPE ARCHITECTS  
PD/SAUREY ASSOCIATES  
3850 EAST BASELINE ROAD, SUITE 117  
MESA, AZ 85206 (480) 833-9569



**LEGEND**

GROSS SITE AREA:	18.8 AC.
NET SITE AREA:	15.33 AC.
PROPOSED ZONING:	PAD
# OF LOTS:	76
NET SITE DENSITY:	4.9 DU/AC
MIN. LOT SIZE:	46'X106'
GENEVA ESTATES AREA:	97.02 + 15.33 = 112.35 AC
PROP. TOTAL LOT COUNT:	268 + 76 = 344 UNITS
PROP. OVERALL DENSITY:	344 / 112.35 = 3.06 DU/AC
REQ. USEABLE O/S	
PER SECAP:	17.5% (2.7 AC)
PROV. USEABLE O/S:	18% (2.8 AC)
PROV. TOTAL O/S:	23% (3.5 AC)

**SETBACKS:**  
**FRONT:** 20' FROM BACK OF S/W TO FACE OF GARAGE,  
 13' FROM P.L. TO LIVABLE  
**REAR:** 10', 5' FOR AN ACCESSORY BUILDING  
**SIDE:** 5'-5'

-  COMMUNITY MAILBOX
-  LOTS W/ SINGLE-STORY RESTRICTION
-  LOTS W/ 40' MIN. REAR STBK TO 2ND STORY ELEMENTS







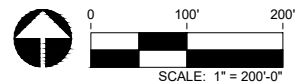
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Aerial Photography Date:



**VIVIENDO • SITE PLAN**

-  CHANDLER, AZ
-  2024-04-16
-  # 23003921
-  K.HOVNANIAN



Information furnished regarding this property is from sources deemed reliable. RVI has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.

L:\23003921-VIVIENDO KH\01\08 PLANNING\02 CAD\03 SITE PLAN\RV\23003921-VIVIENDO PLANNED AREA DEVELOPMENT.dwg

# Viviendo – K. Hovnanian Homes

## SEC McQueen & Ocotillo

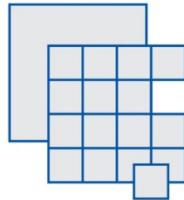
### PROJECT NARRATIVE

### PLH23-0056 & PLH24-0012

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#### **Pew & Lake, P.L.C.**

Ralph Pew  
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Mesa, AZ 85204  
Phone: (480) 461-4670



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

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120 South Ash Avenue Suite 201  
Tempe, AZ 85281  
Phone: (480) 994-0994



*On Behalf of:*

K. Hovnanian Homes  
20830 N Tatum Blvd Suite 250  
Phoenix, AZ 85050



April 16, 2024

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## Introduction

Pew & Lake PLC., on behalf of our client, K. Hovnanian Homes, is pleased to submit this request for a single-family residential development on approximately 15.33 net acres of property located at the southeast corner of Ocotillo Road and McQueen Road. The overall project site is shown below, outlined in blue. It is currently vacant and zoned PAD in support of Commercial uses in the City of Chandler.

*Figure 1 – Site Aerial*



## Request

The Applicant requests the following to the City of Chandler:

1. Rezoning from PAD in support of Commercial uses to PAD in support of Single-Family Residential with a Preliminary Development Plan (PDP).

## Existing Site Conditions

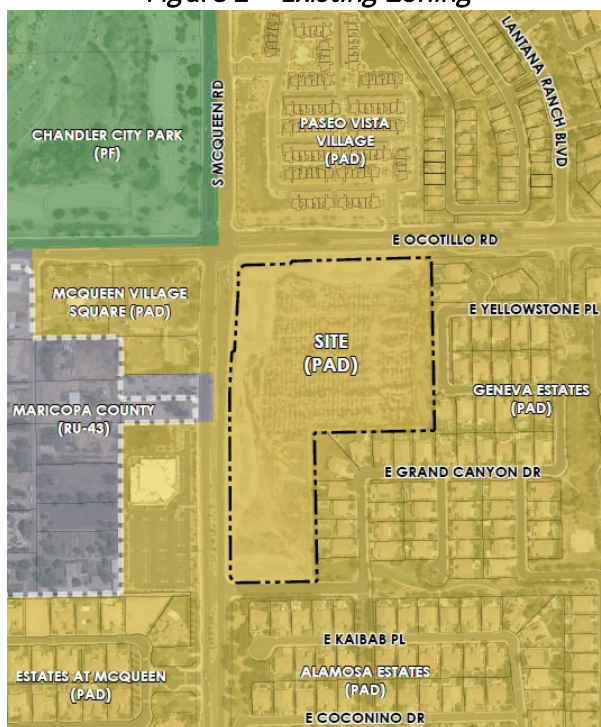
The property is currently vacant and surrounded by complementary residential and commercial uses. Immediately to the west is the McQueen Village Square commercial shopping center. To the north is a single-family condo subdivision and public park. To the east is the Geneva Estates residential community. The south boundary is Alamosa Estates residential community.

*Table 1 – Relationship to Surrounding Properties*

Direction	Existing Use
North	Park/Residential
East	Residential
South	Residential
West	Church/Commercial
Project Site	Vacant



Figure 2 – Existing Zoning



### General Plan Designation

The City of Chandler General Plan land use designation for this site is “Neighborhood”. The adopted 2016 General Plan provides flexibility in the Neighborhood Land Use Classification for a range of residential densities. Furthermore, the City has matured and has now grown to the point where large developable land parcels are few and infill or redevelopment is how most future development will occur.

Additionally, the site is within the Southeast Area Plan which allows a maximum density of 3.5 du/ac. Currently, Geneva Estates is 97.02 net acres with 268 lots. With the addition of the Viviendo 15.33 net acres and 76 lots, the overall net area will become 112.42 acres offering 344 lots. The result of the added acreage and lots is an aggregate density of **3.06** du/ac. Therefore, the proposed rezoning is consistent with the Southeast Area Plan designations.

The consideration of medium-density single-family residential in this location is warranted as can be demonstrated with the following elements and policies of the City’s General Plan:

- Medium-density residential (3.5-12 dwelling units per acre) can be considered for infill parcels in areas located between land uses of different intensities where a transitional use or density gradation is advisable, or as a component of a mixed-use development. Medium-density residential may be located along arterial roads, freeway corridor, adjacent to employment and commercial areas, regional parks, or major recreation facilities, or as part of an approved neighborhood or area plan where compatibility, transition, or other justification warrant approval.

Viviendo is located along two arterials, McQueen and Ocotillo Roads, and surrounded by a range of densities and uses. The community offers compatible and complimentary residential use adjacent to single-family subdivisions.

- Land Use & Development Policy 1.1.1(f) Encourage compatible infill projects.
- Housing & Neighborhoods Policy 1.1.2 (a), 1.1.2 (b) Provide for a variety of housing choices for all income levels and promote a compatible mix of housing types in infill areas.
- Growth Areas: It is important to note that there are infill lots and parcels that will be redeveloped outside of these growth areas. Chandler encourages infill and redevelopment to occur in appropriate areas throughout Chandler.
- Infill: Development of vacant lands in predominantly built-up portions of the community or redevelopment of properties that are underutilized so as to make the most efficient use of existing infrastructure and attain higher economic return from real estate.

The proposed development offers a housing product at 4.9 DU/AC (gross density) which is truly an asset to the City by bringing to the market the highly demanded, but often overlooked “Missing Middle” housing option. Most residential development either focuses on single-family at or just below 4 DU/AC or multi-family over 12 DU/AC. There is a gap in the housing that should be provided and is needed. As an infill parcel, this development is at a great location and provides an appropriate transition.

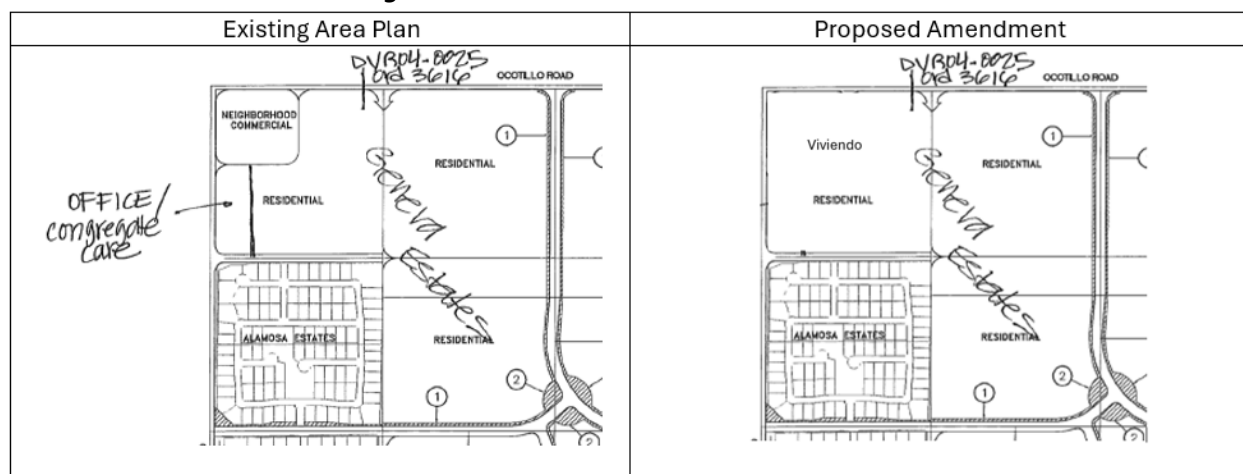
*Figure 3 – General Plan Map*



## Section 23 Area Plan Amendment

To accommodate the proposed residential project, the applicant is requesting to amend the Section 23 Area Plan. Currently, the Section 23 Area Plan includes Neighborhood Commercial at the intersection of Ocotillo and McQueen Roads and Office / Congregate Care along McQueen Road. The balance of the site is designated as residential. The request to amend the area plan includes changing the Neighborhood Commercial and Office / Congregate Care to residential. **Figure 4** below illustrates the Section 23 Area Plan Amendment.

**Figure 4 – Section 23 Area Plan Amendment**



## Residential Development Standards

Viviendo has been thoughtfully designed in compliance with the City's Residential Design Standards. The proposal consists of 76 residential lots on 15.33 gross acres, with the primary gated entry on Ocotillo Road and the secondary gated entry along Alamosa Drive. The relatively small parcel is located near developed residential neighborhoods, but the physical barriers of the surrounding area preclude expansion making it a prime location for infill.

The community offers 23% open space with an amenity park centrally located in the project and a walking trail throughout with access to the arterials. The lots are a minimum of 4,922 square feet and offer a detached single family housing product. Front setbacks are 13 feet minimum to livable space; 20 feet minimum to front facing garage from back of sidewalk. Side setbacks are 5 feet minimum and rear setbacks are a minimum of 10 feet and 5 feet for an accessory building. Lots 10, 37, 32, 41, 47, 49, 58, 60, 67, 70, 76, will offer a rear yard setback of 40 feet for the second story elements.

The subdivision offers 39-foot-wide private streets, which will accommodate ample guest parking on one side of the street. In addition, each home will provide two car garages and two car driveways accommodating four parking spaces for each home.

## Entry, walls, signage

A primary entry monument shall be located on Ocotillo Road and the secondary entry monument will be on Alamosa Drive. The monument shall incorporate a variety of materials including split face block, smooth face block, and founders finish block. Ground mounted lighting shall be provided to illuminate the monument as well as accent larger box trees immediately adjacent.

Along the western, northern and southern perimeters/entries of the project, theme walls will separate the development from the arterial roads. Theme walls are also provided throughout the community. A dooley wall is proposed within the community between lots 18 and 19. A seat wall is proposed in the amenity area. Additionally, the amenity area will offer retaining walls with partial view fencing. The partial view fence will be constructed to provide 3.5 ft of exposed retaining wall below a 6-foot wall. The 6-foot wall will be 4 feet of block with 2 feet of view fencing on top.

### Amenities & Open Space

Over 3 acres of open space is provided, and the community is thoughtfully landscaped (see landscape plan). The amenity area will include a tot lot, ramada, and grass area. A dog park has been designed in the northwest corner near the McQueen Road and Ocotillo Road intersection.

### Landscaping

As seen on the included landscape plan, the Viviendo community will provide perimeter landscaping along McQueen Road and Ocotillo Road and a passive open space / retention area is located near the intersection, the main entrance, between lots 49 and 50, and along Alamosa Drive.

### Subdivision Layout Diversity

As further described below, Viviendo demonstrates that the residential proposal incorporates several of the Subdivision Diversity Elements. The plan satisfies six of the required Subdivision Diversity Elements and three of the optional Diversity Elements, see in the table on the next page.

Table 2 – Subdivision Diversity Elements

<b>Element Number</b>	<b>Required Diversity Element</b>	<b>Explanation</b>
1	Sense of neighborhood arrival	Project monumentation will be provided at both entrances to the community. These elements will include material and color themes that are prevalent throughout the community
2	Distinctive project themes	Thematic elements found throughout the community include expression of rural themes including red brick and color tones that are common throughout the area.
5	Irregular shaped retention basins	Because the project is located on a site that was originally planned for commercial uses creativity with open space is limited. However, the project contains multiple locations that are irregularly shaped retention areas, long narrow amenity shaped retention area.
6	Design and improve retention areas to be useable and accessible	The dog park has been designed with the retention basin in the NWC
7	Provide a minimum 10- foot landscape parkway from ROW link to fence in a common are when lots back onto an arterial street and 5 feet when backed to a local collector	The landscape parkway along the arterial streets is greater than 10'
8	Provide staggers or other visual breaks in perimeter fence walls adjoining arterial streets	The rear lot walls along the perimeter are staggered 5' every couple of lots.
<b>Element Number</b>	<b>Optional Diversity Element</b>	<b>Explanation</b>
6	Provide different lot widths (at least 5-ft differential)	All lots are 46' wide.
7	Widen corner lots by at least 10 feet more than interior lots on same block or include a 10-foot-wide landscape tract on the street side of the lot.	10' landscape tracts are provided throughout.
20	Provide a minimum 20-foot landscape parkway along arterial streets, measured from the ROW line to the fence.	This standard is met and, in many places, exceeded.

### Development Standards

Below are the development standards proposed for the Viviendo residential subdivision. The lots are a minimum of 4,922 square feet with typical dimensions of 46 feet wide by 107 feet deep. Each garage is proposed to be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment. The table on the next page outlines the proposed development standards.

**Table 3- Proposed Development Standards**

<b>Standard</b>	<b>Proposed PAD</b>
Front Setback	20' from Back of Sidewalk to garage. 13' from livable/porch
Rear Setback*The rear yard setback for an accessory building shall be a minimum of 5 feet.	10'
<b>Homes on lots 10, 37, 32, 41, 47, 49, 58, 60, 67, 70 and 76</b> Rear Setback*The rear yard setback for an accessory building shall be a minimum of 5 feet.	40' Minimum rear setback to second story elements
Side Setback	5'-5'
Building Height	30'
Density (Maximum)	6.0 du/ac
Common Open Space	20%
Lot coverage	60%

### Housing Product Architecture

The proposed Viviendo subdivision will provide high quality architecture that represents a combination of Contemporary, Spanish Modern, and Hacienda styles. Four-sided architecture has been provided on all homes throughout the community. Each style has three different design options provided to further enhance the character and uniqueness of the community. Additionally, each architectural style will incorporate specific details, some examples of the details are window trim, shutters, board and batten siding, masonry veneer, corbels, parapets, window girds, and stuccos control joints.

The homes will be one or two stories and range in size from approximately 2,084 SF to approximately 3,352 SF. All home designs include front doors and covered entry/porches that are visible from the street. The garage styles, locations, and coach lights further diversify the design and de-emphasize garage fronts. The image below illustrates the diversity of design and the unique collection of architectural styles.



As previously discussed, the proposed housing product meets the City's Architectural Diversity Standards and is demonstrated by specifically meeting the following elements outlined in the tables on the next pages.

<b>ARCHITECTURAL DIVERSITY STANDARDS - REQUIRED 9 ELEMENTS</b>	
1. Provide four-sided architecture especially for portions of building visible from arterial street	Four-sided architectural design has been provided on all homes/elevations by incorporating design elements including stucco window popouts, window mullions, shutters, stucco control joints, gable vents, varied roof and massing designs, and soffit treatments to all side/rear elevations.
2. De-emphasize garage fronts	The home designs de-emphasize the garages by providing livable and porch elements in front of the garage massing. Furthermore there are varying garage massing, roof lines, garage door designs, and coach lights to promote diversity and de-emphasizing garage fronts.
3. Front door or courtyard entry to be visible from street	All home designs include front doors and covered entry/porches that are visible from the street.
4. Single-story or combination one- and two-story homes on all corner lots	Combination of one and two story homes are proposed on corner lots.
5. Enhanced rear elevations along arterial and collector streets and open spaces	All homes/elevations include four-sided architecture that represent the style of architecture from all sides and vantage points.
6. Variety of roofing colors, textures, and shapes	Each elevation character will have style specific color schemes and roof tile colors and profiles including both concrete S and flat tiles. The varied use of gables and hips promote building mass diversity.
7. Durable exterior materials and finishes (brick, masonry, stone, stucco facades)	Durable exterior finishes include stucco, engineered wood composite board and batten siding, masonry veneer, and concrete roof tiles.
8. Box-on-box (two-story) homes to include a single-story element on rear elevations or second story plan changes or multiple roof designs	All home designs include single story elements, mass offsets, and varied roof designs at the rear elevations.
9. Standard covered rear patios on all floor plans	All home designs include a standard covered patio at the rear of the home.

<b>ARCHITECTURAL DIVERSITY STANDARDS - OPTIONAL ELEMENTS (MINIMUM REQUIRED - 7 POINTS)</b>	
1. Provide at least 3 significant architectural style differences	Three architectural styles are proposed in Spanish Modern, Hacienda, and Contemporary elevation characters.
2. Prohibit the same front elevation on adjoining homes or across the street	To promote street scene diversity, no identical plan and elevation will be allowed adjacent to or across from one another regardless of color scheme.
3. Standard feature stone, brick, or accent façade material on at least one elevation for each floor plan available	Masonry veneer will be standard on the Craftsman elevations, board and batten siding is a standard material on Farmhouse elevations, masonry veneer and horizontal siding is a standard material on the Contemporary elevations.
4. Provide distinctive architectural details on all elevations; covered front porches, covered front entries, door & window details, roof features, etc.	Each architectural style incorporates style specific details, materials, colors, and massing. Examples include window trim, shutters, board and batten siding, masonry veneer, corbels, window grids, stucco control joints among others.
5. Provide screening or other accommodation for trash bins, recycling bins, household tools and equipment	Trash/recycle bins will be stored in garage or behind the side yard gate. A/C condensers are also located behind the side yard fence return.
10. Provide a variety of front yard landscape packages installed by builder	K. Hovnanian will offer a choice of (3) three distinct front yard landscape packages available to the buyer and installed by the builder.
12. Provide four-sided architecture throughout subdivision	Four-sided architectural design has been provided on all homes/elevations throughout the community.

### Conclusion

With the development of this property, K Hovnanian will introduce a new type of housing product into this established part of Chandler. The applicant and K. Hovnanian look forward to working with the City of Chandler Planning and Engineering staff to design an outstanding community for the City of Chandler.






EXISTING GENEVA ESTATES PAD DENSITY						
DEVELOPMENT	MARICOPA COUNTY RECORDING NUMBER	NUMBER OF LOTS	NET ACREAGE	DENSITY (DU/NET AC)	ACREAGE OF OPEN SPACE	PERCENT OPEN SPACE
GENEVA ESTATES	BOOK 761 PAGE 9	268	97.02	2.76	18.0	19%

PROPOSED GENEVA ESTATES PAD DENSITY						
DEVELOPMENT	MARICOPA COUNTY RECORDING NUMBER	NUMBER OF LOTS	NET ACREAGE	DENSITY (DU/NET AC)	ACREAGE OF OPEN SPACE	PERCENT OPEN SPACE
GENEVA ESTATES	BOOK 761 PAGE 9	268	97.02	2.76	18.0	19%
VIVIENDO	N/A	76	15.33	4.96	3.5	23%
<b>TOTAL</b>		<b>344</b>	<b>112.35</b>	<b>3.06</b>	<b>21.5</b>	<b>19%</b>

**LEGEND**

GROSS SITE AREA:	18.8 AC.
NET SITE AREA:	15.33 AC.
PROPOSED ZONING:	PAD
# OF LOTS:	76
NET SITE DENSITY:	4.9 DU/AC
MIN. LOT SIZE:	46'X106'
GENEVA ESTATES AREA:	97.02 + 15.33 = 112.35 AC
PROP. TOTAL LOT COUNT:	268 + 76 = 344 UNITS
PROP. OVERALL DENSITY:	344 / 112.35 = 3.06 DU/AC
REQ. USEABLE O/S	
PER SECAP:	17.5% (2.7 AC)
PROV. USEABLE O/S:	18% (2.8 AC)
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**SETBACKS:**  
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 13' FROM P.L. TO LIVABLE  
**REAR:** 10', 5' FOR AN ACCESSORY BUILDING  
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-  COMMUNITY MAILBOX
-  LOTS W/ SINGLE-STORY RESTRICTION
-  LOTS W/ 40' MIN. REAR STBK TO 2ND STORY ELEMENTS

S MCQUEEN RD

PASEO VISTA VILLAGE (PAD)

E OCOTILLO RD

MCQUEEN VILLAGE SQUARE (PAD)

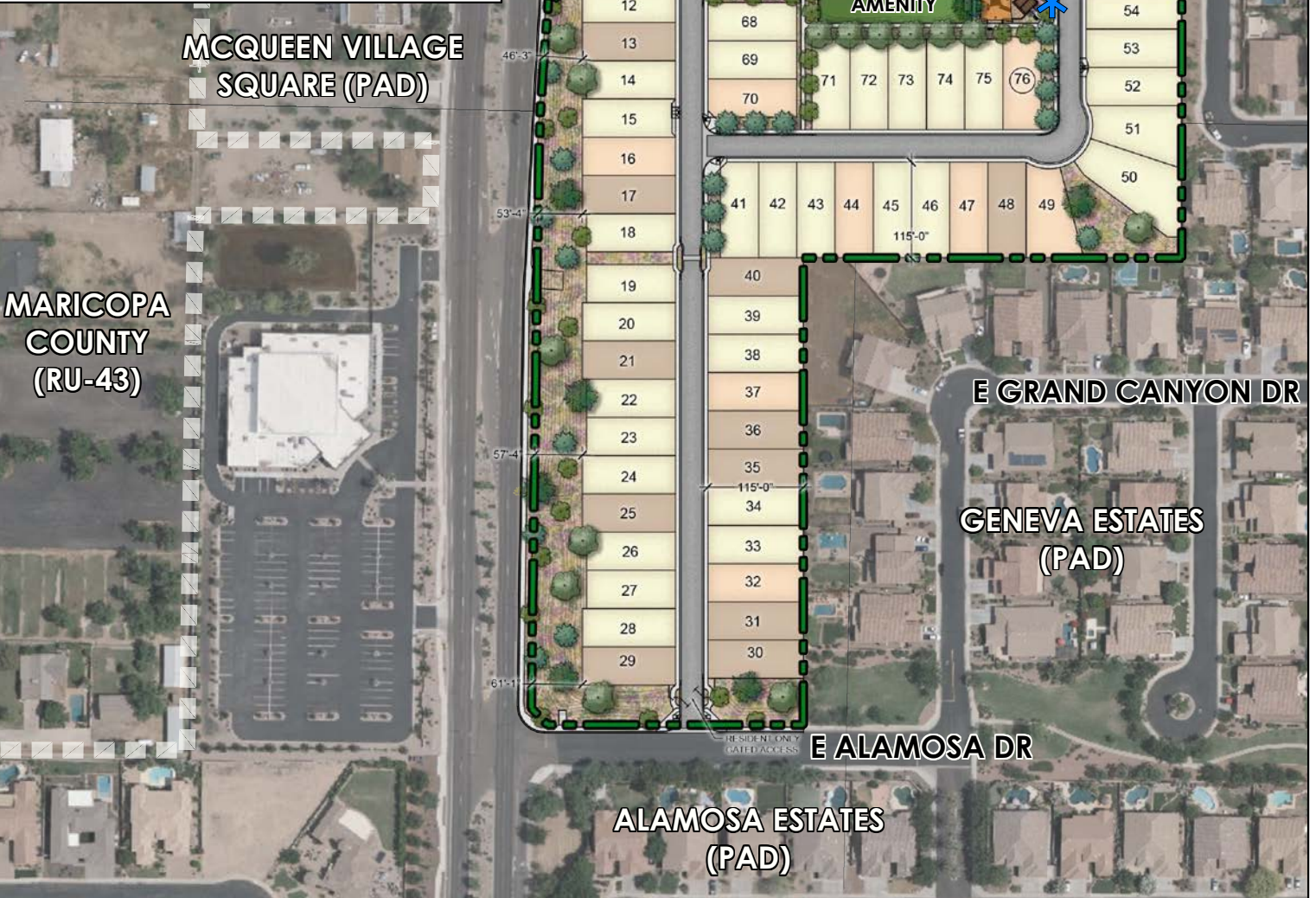
MARICOPA COUNTY (RU-43)

E GRAND CANYON DR

GENEVA ESTATES (PAD)

E ALAMOSA DR

ALAMOSA ESTATES (PAD)





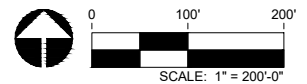
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Aerial Photography Date:



**VIVIENDO • SITE PLAN**

-  CHANDLER, AZ
-  2024-04-16
-  # 23003921
-  K.HOVNANIAN






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L:\23003921-VIVIENDO (KH\OV)\06 PLANNING\02 CAD\03 SITE PLAN\RV\3921-SITE\01-VIVIENDO PLANNED AREA DEVELOPMENT.dwg

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GENEVA ESTATES AREA:	97.02 + 15.33 = 112.35 AC
PROP. TOTAL LOT COUNT:	268 + 76 = 344 UNITS
PROP. OVERALL DENSITY:	344 / 112.35 = 3.06 DU/AC
REQ. USEABLE O/S	
PER SECAP:	17.5% (2.7 AC)
PROV. USEABLE O/S:	18% (2.8 AC)
PROV. TOTAL O/S:	23% (3.5 AC)

**SETBACKS:**  
**FRONT:** 20' FROM BACK OF S/W TO FACE OF GARAGE,  
 13' FROM P.L. TO LIVABLE  
**REAR:** 10', 5' FOR AN ACCESSORY BUILDING  
**SIDE:** 5'-5'

-  COMMUNITY MAILBOX
-  LOTS W/ SINGLE-STORY RESTRICTION
-  LOTS W/ 40' MIN. REAR STBK TO 2ND STORY ELEMENTS

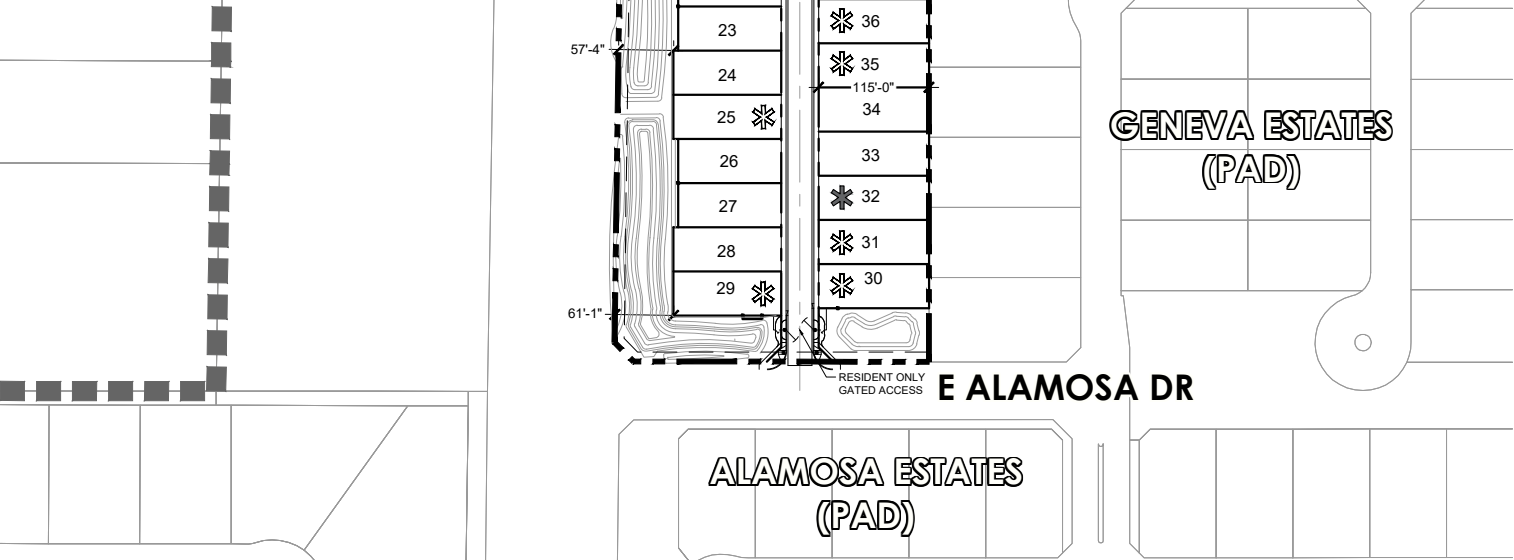
**S MCQUEEN RD**

**PASEO VISTA VILLAGE (PAD)**

**E OCOTILLO RD**

**MCQUEEN VILLAGE SQUARE (PAD)**





**MARICOPA COUNTY (RU-43)**

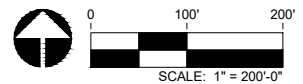


Copyright RVI Aerial Photography Date:



**VIVIENDO • SITE PLAN**

-  CHANDLER, AZ
-  2024-04-16
-  # 23003921
-  K.HOVNANIAN



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L:\23003921-VIVIENDO (KH\O\)\08-PLANNING\02-CAD\03-SITE-PLANS\RV\2301-5TH-VIVIENDO-PLANNED-AREA-DEVELOPMENT.dwg

# PLANT PALETTE

## TREES

BOTANICAL NAME

Acacia mulga  
 Acacia stenophylla  
 Caesalpinia mexicana  
 Prosopis glandulosa 'Maverick'  
 Prosopis chilensis 'Leslie Roy'  
 Pistacia x 'Red Push'  
 Quercus virginiana 'Joan Lionetti'  
 Sophora secundiflora 'Silver Peso'  
 Ulmus parviflora

COMMON NAME

Mulga  
 Shoestring Acacia  
 Mexican Bird-of-Paradise  
 Texas Honey Mesquite  
 Thornless Mesquite  
 Red Push Pistache  
 Joan Lionetti Live Oak  
 Silver Texas Mountain Laurel  
 Chinese Evergreen Elm

## SHRUBS & ACCENTS

BOTANICAL NAME

Caesalpinia pulcherrima  
 Calliandra californica  
 Dodonaea viscosa 'Purpurea'  
 Eremophila hygrophana  
 Eremophila maculata 'Valentine'  
 Hesperaloe parviflora  
 Leucophyllum langmaniae 'Lynn's Legacy'  
 Leucophyllum zygophyllum  
 Muhlenbergia capillaris 'Regal Mist'  
 Muhlenbergia linheimeri 'Autumn Glow'  
 Russelia equisetiformis  
 Tecoma stand 'Gold Star'

COMMON NAME

Red Bird-of-Paradise  
 Baja Fairy Duster  
 Purple Hopseed Bush  
 Blue Bells  
 Valentine Emu Bush  
 Red Yucca  
 Lynn's Legacy Sage  
 Blue Ranger  
 Regal Mist Muhly  
 Autumn Glow Muhly  
 Firecracker Plant  
 Gold Star Tecoma

## GROUNDCOVER

BOTANICAL NAME

Acalypha monstachya  
 Baccharis x 'Starn'  
 Eremphila glabra 'Mingenew Gold'  
 Lantana x 'New Gold'  
 Lantana montevidensis  
 Rosmarinus officinalis 'Huntington Carpet'  
 Ruellia brittoniana x 'Katie'

COMMON NAME

Raspberry Fuzzles  
 Dwarf Coyote Bush  
 Outback Sunrise Emu Bush  
 New Gold Lantana  
 Purple Trailing Lantana  
 Trailing Rosemary  
 Katie Ruellia

## LANDSCAPE KEYNOTES

- ① 10' LANDSCAPE TRACT
- ② TRAFFIC CALMING
- ③ DOG PARK
- ④ PERIMETER THEME WALL
- ⑤ 5' SIDEWALK
- ⑥ MAILBOX
- ⑦ TOT LOT
- ⑧ PRIMARY ENTRY MONUMENTATION
- ⑨ SECONDARY ENTRY MONUMENTATION
- ⑩ PRIMARY ENTRY - SWING GATE
- ⑪ RESIDENT ONLY ACCESS - SWING GATE
- ⑫ PEDESTRIAN GATE
- ⑬ PLANTERS

S M CQUEEN RD

PASEO VISTA VILLAGE (PAD)

E OCOTILLO RD



E GRAND CANYON DR

GENEVA ESTATES (PAD)

E ALAMOSA DR

ALAMOSA ESTATES (PAD)

MARICOPA COUNTY (RU-43)

Copyright RVI

Aerial Photography Date:



# VIVIENDO • LANDSCAPE PLAN

- 📍 CHANDLER, AZ
- 📅 2024-04-16
- 📞 # 23003921
- 👤 K.HOVNANIAN



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L:\23003921-VIVIENDO (KH/AV)/08 PLANNING\02 CAD\03 SITE PLAN\RSR\43921-5TH-VIVIENDO PLANNED AREA DEVELOPMENT.dwg

# PLANT PALETTE

## TREES

BOTANICAL NAME	COMMON NAME
<i>Acacia mulga</i>	Mulga
<i>Acacia stenophylla</i>	Shoestring Acacia
<i>Caesalpinia mexicana</i>	Mexican Bird-of-Paradise
<i>Prosopis glandulosa 'Maverick'</i>	Texas Honey Mesquite
<i>Prosopis chilensis 'Leslie Roy'</i>	Thornless Mesquite
<i>Pistacia x 'Red Push'</i>	Red Push Pistache
<i>Quercus virginiana 'Joan Lionetti'</i>	Joan Lionetti Live Oak
<i>Sophora secundiflora 'Silver Peso'</i>	Silver Texas Mountain Laurel
<i>Ulmus parvifolia</i>	Chinese Evergreen Elm

## SHRUBS & ACCENTS

BOTANICAL NAME	COMMON NAME
<i>Caesalpinia pulcherrima</i>	Red Bird-of-Paradise
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Dodonaea viscosa 'Purpurea'</i>	Purple Hopseed Bush
<i>Eremophila hygrophana</i>	Blue Bells
<i>Eremophila maculata 'Valentine'</i>	Valentine Emu Bush
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Leucophyllum langmaniae 'Lynn's Legacy'</i>	Lynn's Legacy Sage
<i>Leucophyllum zygophyllum</i>	Blue Ranger
<i>Muhlenbergia capillaris 'Regal Mist'</i>	Regal Mist Muhly
<i>Muhlenbergia linheimeri 'Autumn Glow'</i>	Autumn Glow Muhly
<i>Russelia equisetiformis</i>	Firecracker Plant
<i>Tecoma stand 'Gold Star'</i>	Gold Star Tecoma

## GROUND COVER

BOTANICAL NAME	COMMON NAME
<i>Acalypha monstachya</i>	Raspberry Fuzzles
<i>Baccharis x 'Starn'</i>	Dwarf Coyote Bush
<i>Eremphila glabra 'Mingenew Gold'</i>	Outback Sunrise Emu Bush
<i>Lantana x 'New Gold'</i>	New Gold Lantana
<i>Lantana montevidensis</i>	Purple Trailing Lantana
<i>Rosmarinus officinalis 'Huntington Carpet'</i>	Trailing Rosemary
<i>Ruellia brittoniana x 'Katie'</i>	Katie Ruellia

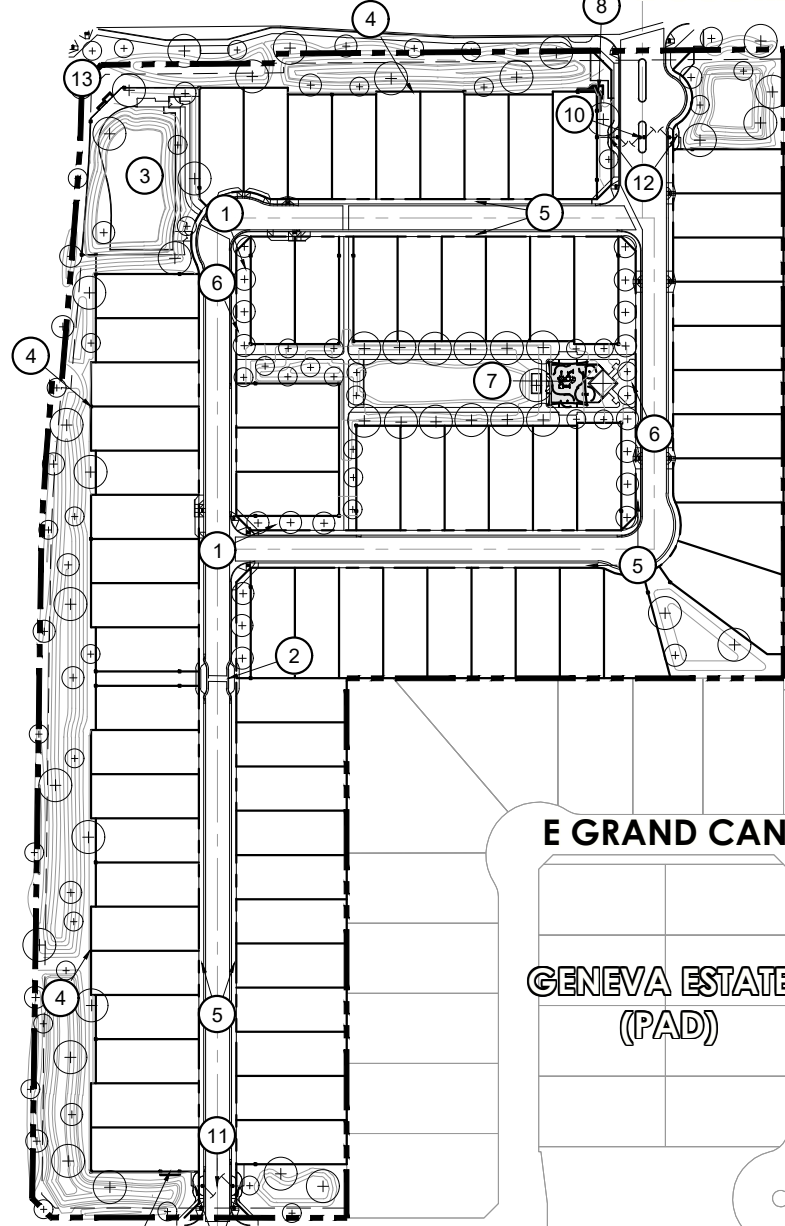
## LANDSCAPE KEYNOTES

- ① 10' LANDSCAPE TRACT
- ② TRAFFIC CALMING
- ③ DOG PARK
- ④ PERIMETER THEME WALL
- ⑤ 5' SIDEWALK
- ⑥ MAILBOX
- ⑦ TOT LOT
- ⑧ PRIMARY ENTRY MONUMENTATION
- ⑨ SECONDARY ENTRY MONUMENTATION
- ⑩ PRIMARY ENTRY - SWING GATE
- ⑪ RESIDENT ONLY ACCESS - SWING GATE
- ⑫ PEDESTRIAN GATE
- ⑬ PLANTERS

S MCQUEEN RD

PASEO VISTA VILLAGE (PAD)

E OCOTILLO RD



E GRAND CANYON DR

GENEVA ESTATES (PAD)

E ALAMOSA DR

ALAMOSA ESTATES (PAD)

MARICOPA COUNTY (RU-43)

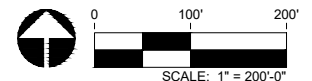
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Aerial Photography Date:



# VIVIENDO • LANDSCAPE PLAN


- 📍 CHANDLER, AZ
- 📅 2024-04-16
- 📄 # 23003921
- 👤 K.HOVNANIAN









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L:\23003921-VIVIENDO (KH/01/08) PLANNING\02 CAD\03 SITE PLANS\RVI\3921-5TH-VIVIENDO PLANNED AREA DEVELOPMENT.dwg

**LEGEND**

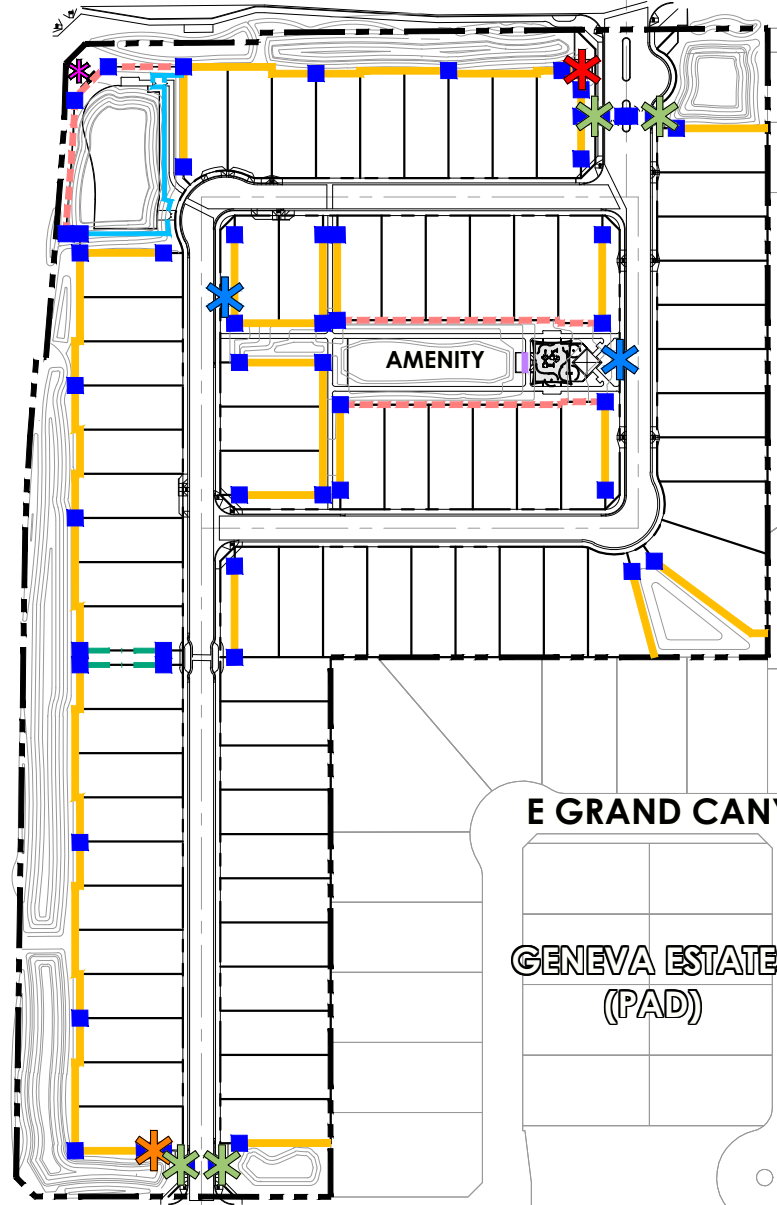
-  THEME WALL
-  DOOLEY WALL
-  PARTIAL VIEW FENCE
-  DOG PARK FENCE
-  SEAT WALL

-  PRIMARY ENTRY MONUMENT
-  SECONDARY ENTRY MONUMENT
-  MAILBOX
-  PEDESTRIAN GATE
-  DECORATIVE COLUMN
-  PLANTERS

S MCQUEEN RD

PASEO VISTA VILLAGE (PAD)

E OCOTILLO RD



MCQUEEN VILLAGE SQUARE (PAD)

MARICOPA COUNTY (RU-43)

E GRAND CANYON DR





GENEVA ESTATES (PAD)

E ALAMOSA DR

ALAMOSA ESTATES (PAD)



**VIVIENDO • WALL PLAN**

-  CHANDLER, AZ
-  2024-04-16
-  # 23003921
-  K.HOVNANIAN



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**COLORS:**

- SMOOTH BLOCK COLOR: SW7642 'PAVESTONE'
- SPLIT FACE BLOCK COLOR: SW7642 'PAVESTONE'
- FOUNDERS FINISH BLOCK COLOR: INTEGRAL COLOR 'SUNSET'
- TUBULAR STEEL: SW7048 'URBANE BRONZE'



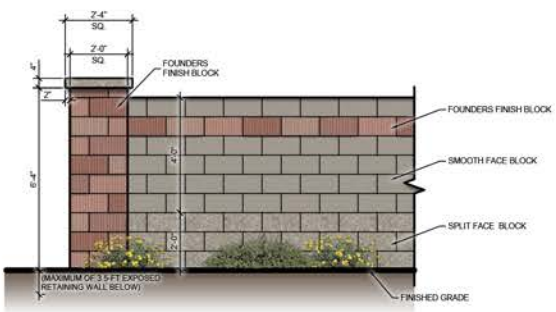
**1 PRIMARY ENTRY MONUMENTATION**  
SCALE: 1/2" = 1'-0"

NOTE: MONUMENT SIGN SHALL BE LIGHTED BY GROUND MOUNTED UP-LIGHTS

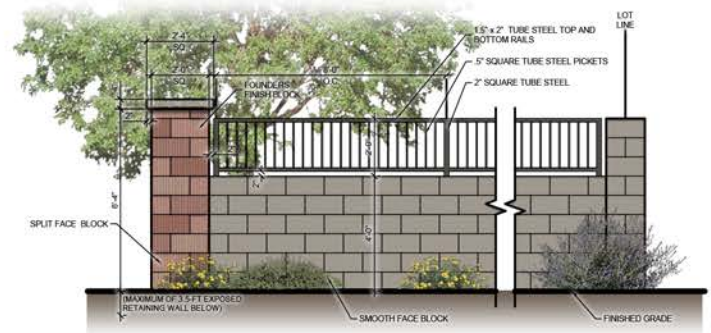


**2 SECONDARY ENTRY MONUMENTATION**  
SCALE: 1/2" = 1'-0"

NOTE: MONUMENT SIGN SHALL BE LIGHTED BY GROUND MOUNTED UP-LIGHTS



**3 THEME WALL ELEVATION**  
SCALE: 1/2" = 1'-0"



**4 PARTIAL VIEW WALL ELEVATION**  
SCALE: 1/2" = 1'-0"

**VIVIENDO • DETAILS**

- 📍 CHANDLER, AZ
- 📅 2024-04-08
- 🔢 # 23003921
- 👤 K.HOVNANIAN



**Wainwright 6' Contour Bench**  
 Anova Furnishings  
 Item#RCPWC6  
 Color: Brown Frame, Cedar Slats

PLASTIC SLAT COLOR: CEDAR



FRAME COLOR: BROWN



**Wainwright 45 Gallon Trash Receptacle**  
 Anova Furnishings  
 Item#RCPWCT  
 Color: Brown Frame, Cedar Slats

PLASTIC SLAT COLOR: CEDAR



FRAME COLOR: BROWN



**Wainwright 6' Picnic Table and Benches Set**  
 Anova Furnishings  
 Item#RCPWT63  
 Color: Brown Frame, Cedar Slats

PLASTIC SLAT COLOR: CEDAR



FRAME COLOR: BROWN



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**Mesa Ramada**

Classic Recreation Systems Inc.

Model: Mesa

Color: RAL 7022 for Ramada, RAL 7030 for Frame



RAL 7022 49/72850  
38/70022



RAL 7030 49/72890  
38/70027

Aerial photography circa MM-DD-YYYY



1900 N Scottsdale Rd  
 Suite 1200  
 Scottsdale, Arizona 85251  
 Tel: 480.994.0994  
 www.rviplanning.com

**VIVIENDO • SITE FURNISHING EXHIBIT**

📍 Chandler, Arizona

📅 April 08, 2024

# 23003921

👤 K. Hovnanian

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**Curva Spinner**

Landscape Structures

Model#247179

Color: Limon



**Stand-Up Seesaw**

Landscape Structures

Model#148638

Color: Tangerine



**Saddle Spinner**

Landscape Structures

Model#152179

Color: Limon Frame, Denim Chairpiece



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Aerial photography circa MM-DD-YYYY



**VIVIENDO • SITE FURNISHING EXHIBIT**

📍 Chandler, Arizona

📅 April 08, 2024

# 23003921

👤 K. Hovnanian

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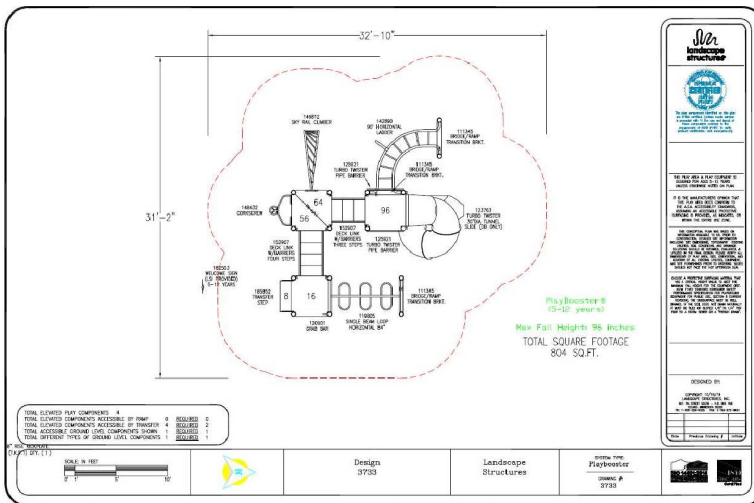


**Playbooster Design #3733**  
Landscape Structures  
Palette: AG, Shade Sail: Denim

Palette **AG**



**Grill 21**  
DuMor  
Model#21-00



**Dog Waste Station**  
Dog Waste Depot  
SKU: Depot 006-B-GRN  
Color: Matte Green (as seen above)

Aerial photography circa MM-DD-YYYY

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**VIVIENDO • SITE FURNISHING EXHIBIT**

📍 Chandler, Arizona  
📅 April 08, 2024  
# 23003921  
👤 K. Hovnanian

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- 2 • PRODUCT MATRIX
- 3 • SETBACK EXHIBIT :: BASE CONDITION
- 4 • ELEVATION MATRIX :: FRONT, SIDES & REAR
- 10 • TYP. STREET SCENES :: FRONT & REAR
- 11 • STREET SCENES :: LOT SETBACK EXHIBIT
- 12 • PLAN 1 - CORK - 8047 :: 2,084 S.F.
- 19 • PLAN 2 - OBAN - 7890 :: 2,554 S.F.
- 27 • PLAN 3 - REINE - 8065 :: 2,846 S.F.
- 35 • PLAN 4 - SEAVIEW - 8083 :: 3,352 S.F.
- 43 • SPANISH MODERN DETAILS
- 44 • HACIENDA DETAILS
- 45 • CONTEMPORARY DETAILS



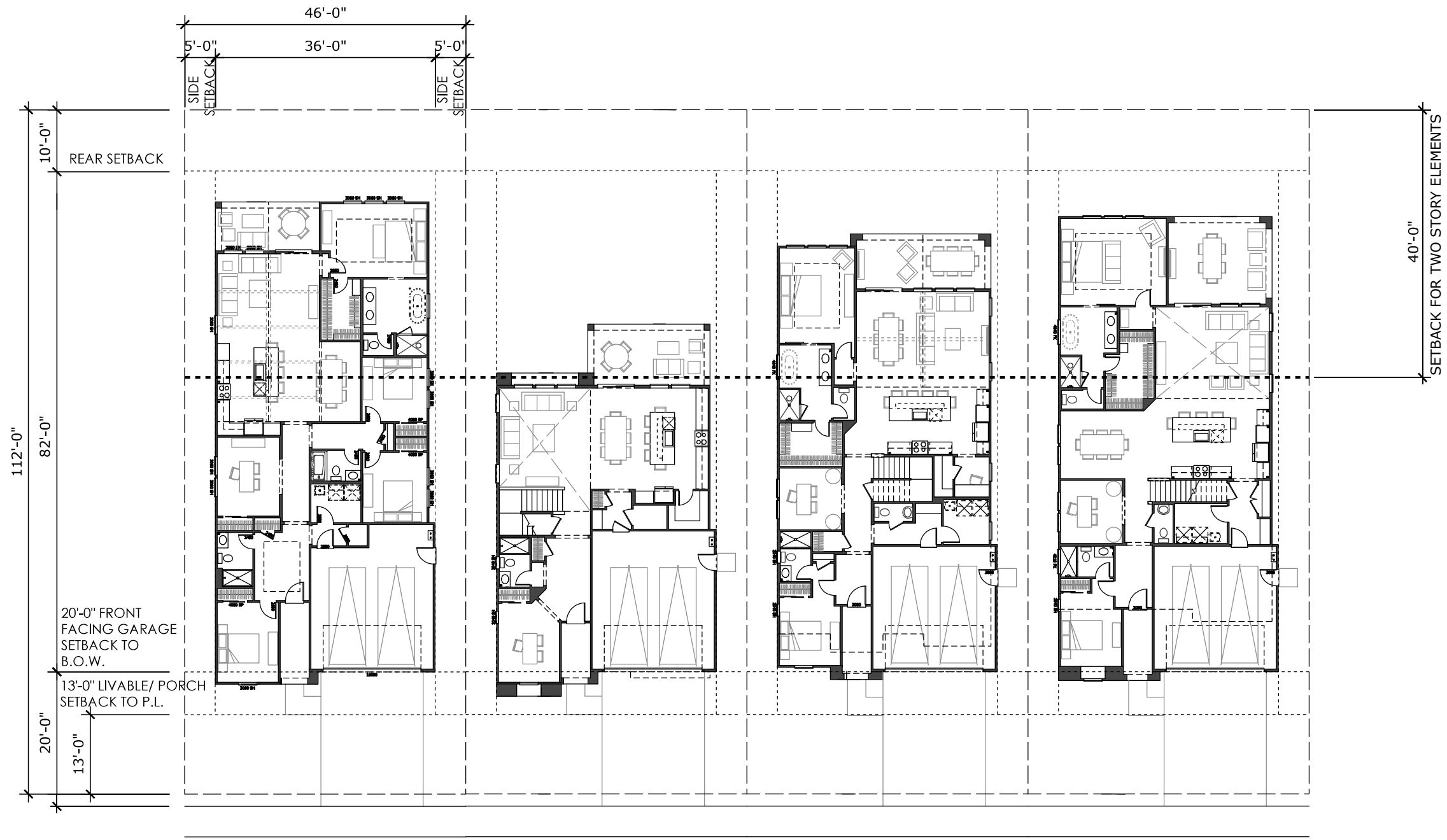
Design Review | (75) 46' x 106' 109' 112' Lots

# Viviendo :: Chandler, AZ

02/02/2024

AZD Viviendo - Chandler, AZ																
35' Market Rate - Spec 2			(75) 46' x 106', 109', 112' Lots													
	Floors	Livable SF	Width	Base Depth	Max Depth	Bed Dn	Bed Up	Bath	Home Office	Loft	Esuite+	HovHub	HovHall	Laundry	Garage	Patio
<b>Plan 1 - #8047</b> <i>Cork</i>	1	2,084	34'-11"	78'-11"	84'-11"	4 (Opt. 5)	N/A	3	1	N/A	N/A	N/A	1	N/A	2 CAR F	Standard
<b>Plan 2 - #7890</b> <i>Oban</i>	2	2,554	34'-11"	60'-11"	64'-11"	0 (Opt. 1)	3 (Opt. 4)*	3	1	1	N/A	N/A	1	UP	2 CAR F	Standard
<b>Plan 3 - #8065</b> <i>Reine</i>	2	2,846	34'-11"	72'-11"	76'-11"	2*	3	3.5	1	1	N/A	1	1	DN	2 CAR F	Standard
<b>Plan 4 - #8083</b> <i>Vienna</i>	2	3,352	34'-11"	75'-11"	75'-11"	2*	4	4.5	1	1	N/A	N/A	1	DN	2 CAR F	Standard

\* Identifies location of Owners Bedroom



**CORK**  
**PLAN 1 - #8047**  
 FORM UA - SPANISH MODERN  
 2,084 SQ. FT. :: 35'-11" x 69'-11"

**OBAN**  
**PLAN 2 - #7890**  
 FORM UA - SPANISH MODERN  
 2,554 SQ. FT. :: 29'-11" x 61'-4"

**REINE**  
**PLAN 3 - #8065**  
 FORM UA - SPANISH MODERN  
 2,846 SQ. FT. :: 28'-8" x 63'-11"

**VIENNE**  
**PLAN 4 - #8083**  
 FORM UA - SPANISH MODERN  
 3,352 SQ. FT. :: 28'-8" x 71'-7"

SETBACK EXHIBIT - BASE HOUSE  
 SCALE :: 1" = 20'-0"



PLAN 1 - CORK (#8047)



SPANISH MODERN (FORM - UA)

PLAN 2 - OBAN (#7890)



PLAN 3 - REINE (#8065)



PLAN 4 - VIENNE (#8083)



HACIENDA (FORM - XA)



CONTEMPORARY (FORM - ZA)



PLAN 1 - CORK (#8047)

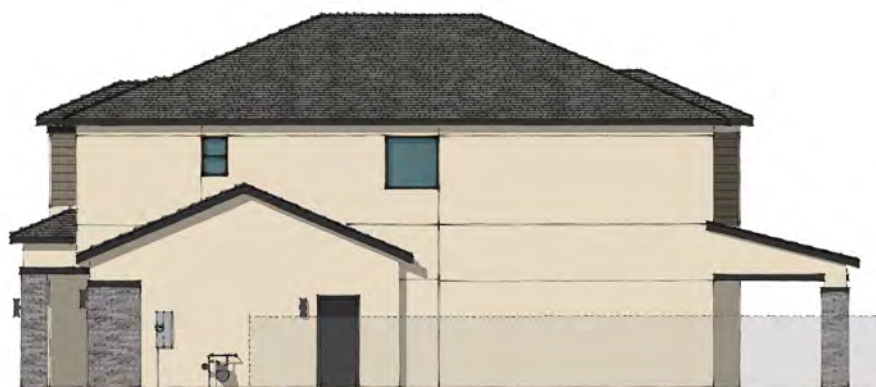
PLAN 2 - OBAN (#7890)



SPANISH MODERN (FORM - UA)



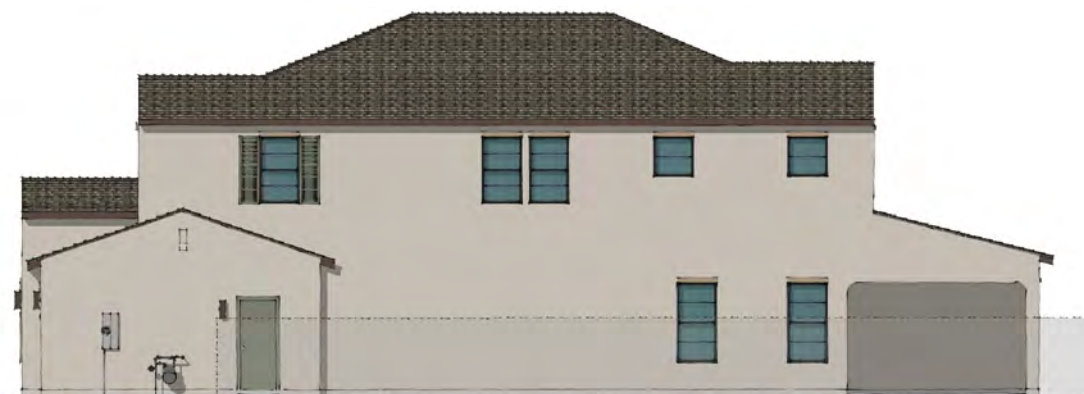
HACIENDA (FORM - XA)



CONTEMPORARY (FORM - ZA)

PLAN 3 - REINE (#8065)

PLAN 4 - VIENNE (#8083)



SPANISH MODERN (FORM - UA)



HACIENDA (FORM - XA)



CONTEMPORARY (FORM - ZA)



PLAN 1 - CORK (#8047)

PLAN 2 - OBAN (#7890)

PLAN 3 - REINE (#8065)

PLAN 4 - VIENNE (#8083)



SPANISH MODERN (FORM - UA)



HACIENDA (FORM - XA)



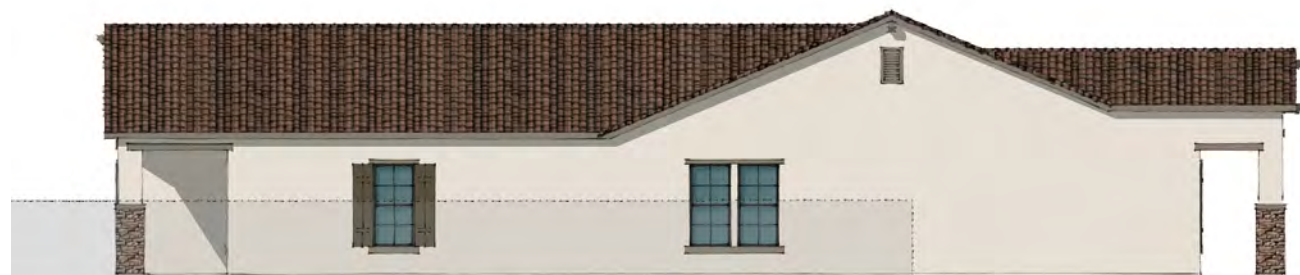
CONTEMPORARY (FORM - ZA)

PLAN 1 - CORK (#8047)

PLAN 2 - OBAN (#7890)



SPANISH MODERN (FORM - UA)



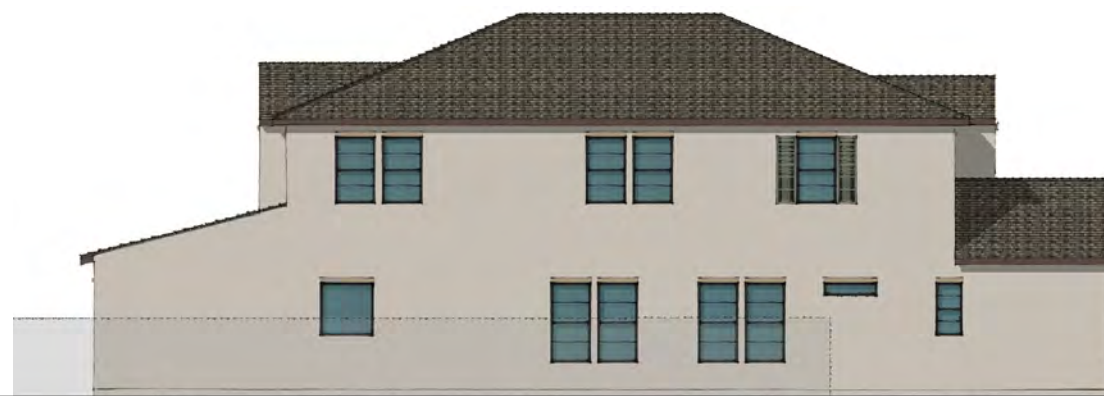
HACIENDA (FORM - XA)



CONTEMPORARY (FORM - ZA)

PLAN 3 - REINE (#8065)

PLAN 4 - VIENNE (#8083)



SPANISH MODERN (FORM - UA)



HACIENDA (FORM - XA)



CONTEMPORARY (FORM - ZA)



**CORK**  
**PLAN 1 - #8047**  
FORM UA - SPANISH MODERN  
2,084 SQ. FT. :: SINGLE STORY

**OBAN**  
**PLAN 2 - #7890**  
FORM XA - HACIENDA  
2,554 SQ. FT. :: TWO STORY

**REINE**  
**PLAN 3 - #8065**  
FORM ZA - CONTEMPORARY  
2,846 SQ. FT. :: TWO STORY

**VIENNE**  
**PLAN 4 - #8083**  
FORM UA - SPANISH MODERN  
3,352 SQ. FT. :: TWO STORY

**CORK**  
**PLAN 1 - #8047**  
FORM ZA - CONTEMPORARY  
2,084 SQ. FT. :: SINGLE STORY

STREET SCENE - FRONT  
SCALE = NTS



**CORK**  
**PLAN 1 - #8047**  
FORM UA - SPANISH MODERN  
2,084 SQ. FT. :: SINGLE STORY

**OBAN**  
**PLAN 2 - #7890**  
FORM XA - HACIENDA  
2,554 SQ. FT. :: TWO STORY

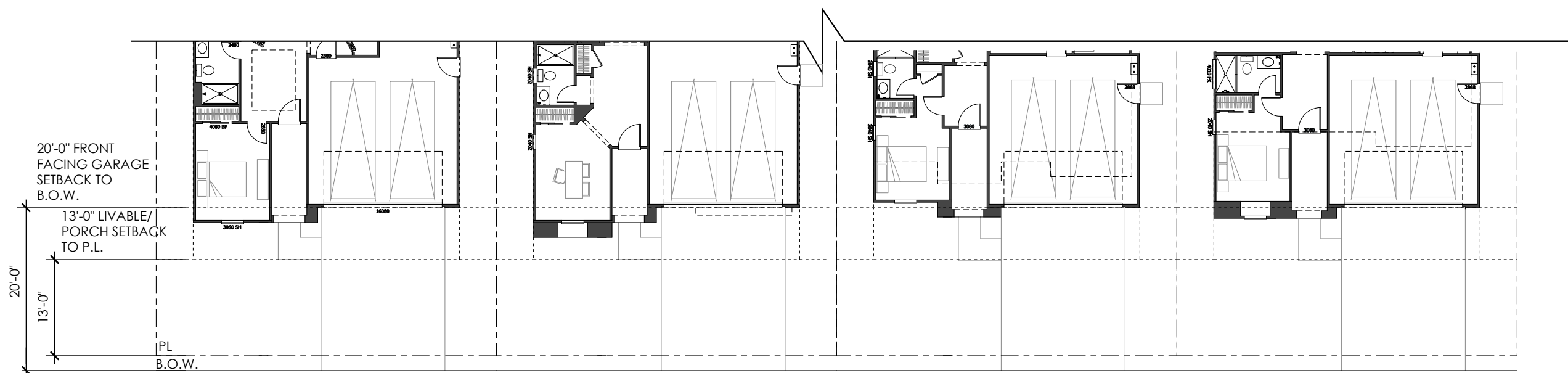
**REINE**  
**PLAN 3 - #8065**  
FORM ZA - CONTEMPORARY  
2,846 SQ. FT. :: TWO STORY

**VIENNE**  
**PLAN 4 - #8083**  
FORM UA - SPANISH MODERN  
3,352 SQ. FT. :: TWO STORY

**CORK**  
**PLAN 1 - #8047**  
FORM ZA - CONTEMPORARY  
2,084 SQ. FT. :: SINGLE STORY

STREET SCENE - REAR  
SCALE = NTS





**CORK**  
**PLAN 1 - #8047**  
 FORM UA - SPANISH MODERN  
 2,084 SQ. FT. :: SINGLE STORY

**OBAN**  
**PLAN 2 - #7890**  
 FORM XA - HACIENDA  
 2,554 SQ. FT. :: TWO STORY

**REINE**  
**PLAN 3 - #8065**  
 FORM ZA - CONTEMPORARY  
 2,846 SQ. FT. :: TWO STORY

**VIENNE**  
**PLAN 4 - #8083**  
 FORM UA - SPANISH MODERN  
 3,352 SQ. FT. :: TWO STORY

STREET SCENE - FRONT  
 SCALE = NTS



# PLAN 1

LIV. SF: **2,084**  
 PLAN W x D: **34'-11" x 78'-11"**  
 PLAN #: 6506  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **CORK**

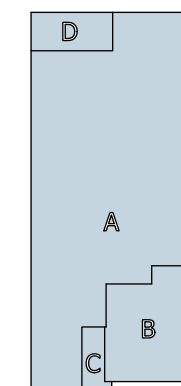
**VITAL STATS**  
 BEDROOM 4 (OPT) 5  
 BATH 3  
 CAR 2  
 CEILING 10'  
 WINDOW HDR 8'

STATUS | NTL PORTFOLIO PLAN

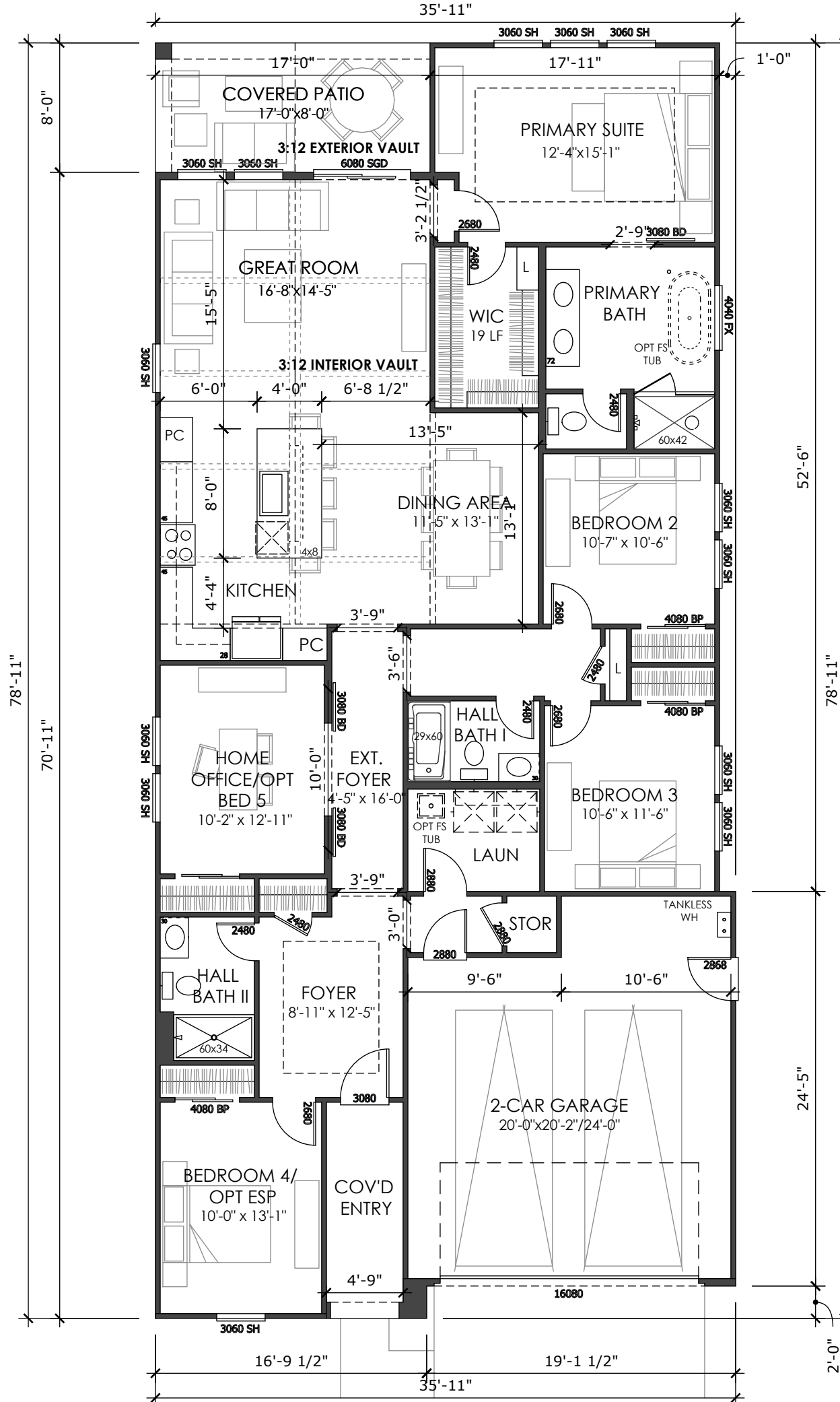
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A): 2,084**  
 (A) 1ST FLR LIVABLE: 2,084  
 (B) 2 CAR GARAGE: 457  
 (C) COVERED ENTRY:  
     ELEVATION UA: 66  
     ELEVATION XA: 164  
     ELEVATION ZA: 83  
 (D) COVERED PATIO: 136  
 (E) ARCH. PROJECTION:  
     ELEVATION UA: -  
     ELEVATION XA: -  
     ELEVATION ZA: -

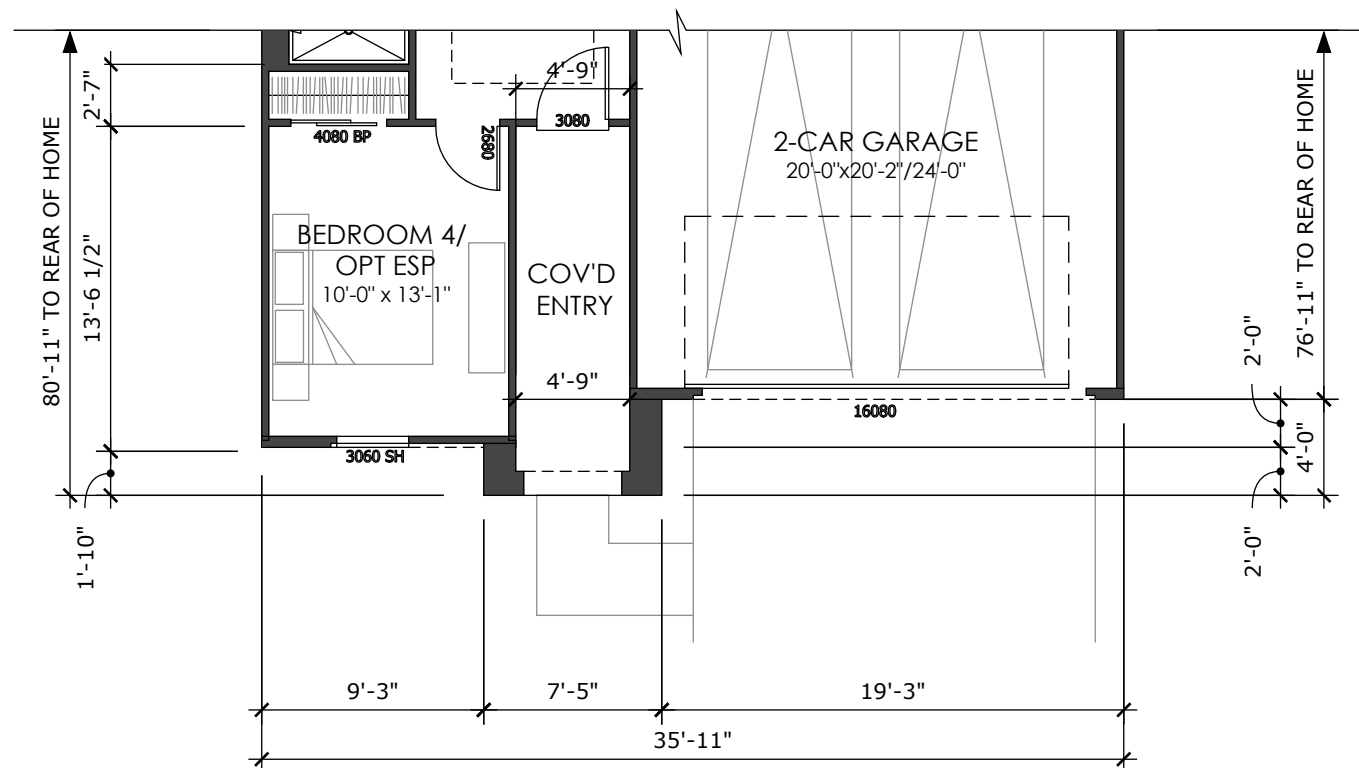
**MAX FOOTPRINT: 2,841**

**TYP LOT SIZE | 46'x112' ( SF)**  
**LOT COVERAGE ALLOWED | 60.0%**  
**LOT COVERAGE | 2,841 / 5,152 = 55.1%**

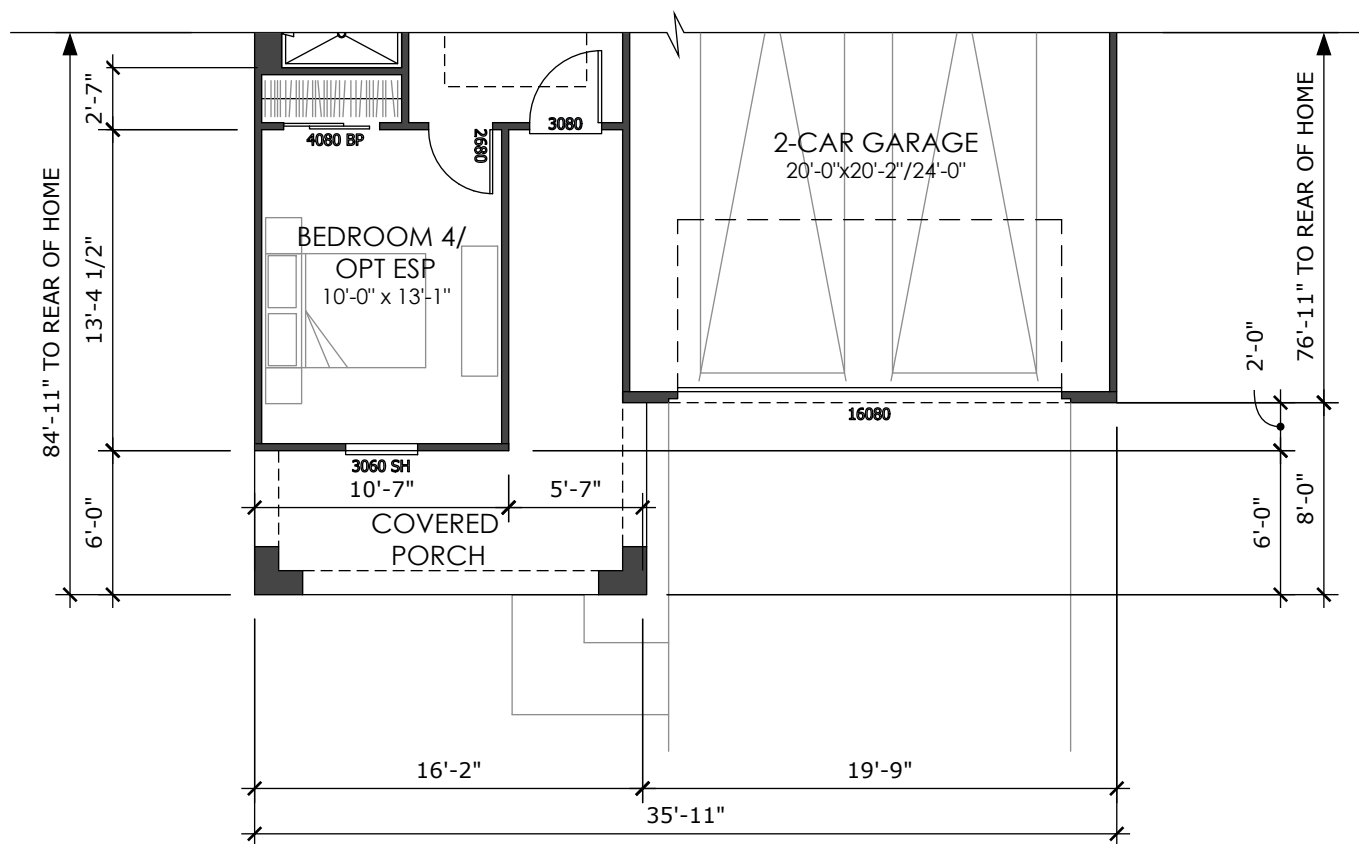
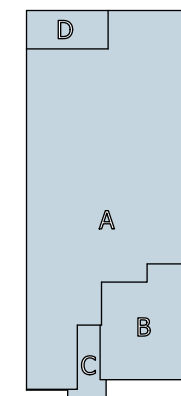


FIRST FLOOR PLAN  
 UA - SPANISH MODERN

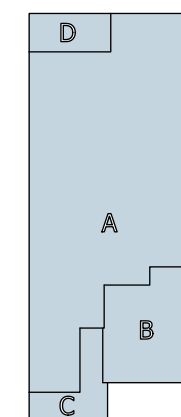




FLOOR PLAN ZA - CONTEMPORARY



FLOOR PLAN XA - HACIENDA



**PLAN 1**

LIV. SF: **2,084**  
 PLAN W x D: **34'-11" x 78'-11"**  
 PLAN #: 6506  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **CORK**

**VITAL STATS**

BEDROOM 4 (OPT 5)  
 BATH 3  
 CAR 2  
 CEILING 10'  
 WINDOW HDR 8'

STATUS | NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**

MAX. LIVABLE (A): **2,084**  
 (A) 1ST FLR LIVABLE: 2,084  
 (B) 2 CAR GARAGE: 457  
 (C) COVERED ENTRY:  
     ELEVATION UA: 66  
     ELEVATION XA: 164  
     ELEVATION ZA: 83  
 (D) COVERED PATIO: 136  
 (E) ARCH. PROJECTION:  
     ELEVATION UA: -  
     ELEVATION XA: -  
     ELEVATION ZA: -

MAX FOOTPRINT: **2,841**

TYP LOT SIZE | 46'x112' (SF)  
 LOT COVERAGE ALLOWED | 60.0%  
 LOT COVERAGE | 2,841 / 5,152 = 55.1%

### PLAN 1 (OPTIONS)

LIV. SF: **2,084**  
 PLAN W x D: **34'-11" x 78'-11"**  
 PLAN #: 6506  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **CORK**

**VITAL STATS**

BEDROOM 4 (OPT 5)  
 BATH 3  
 CAR 2  
 CEILING 10'  
 WINDOW HDR 8'

STATUS | NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**

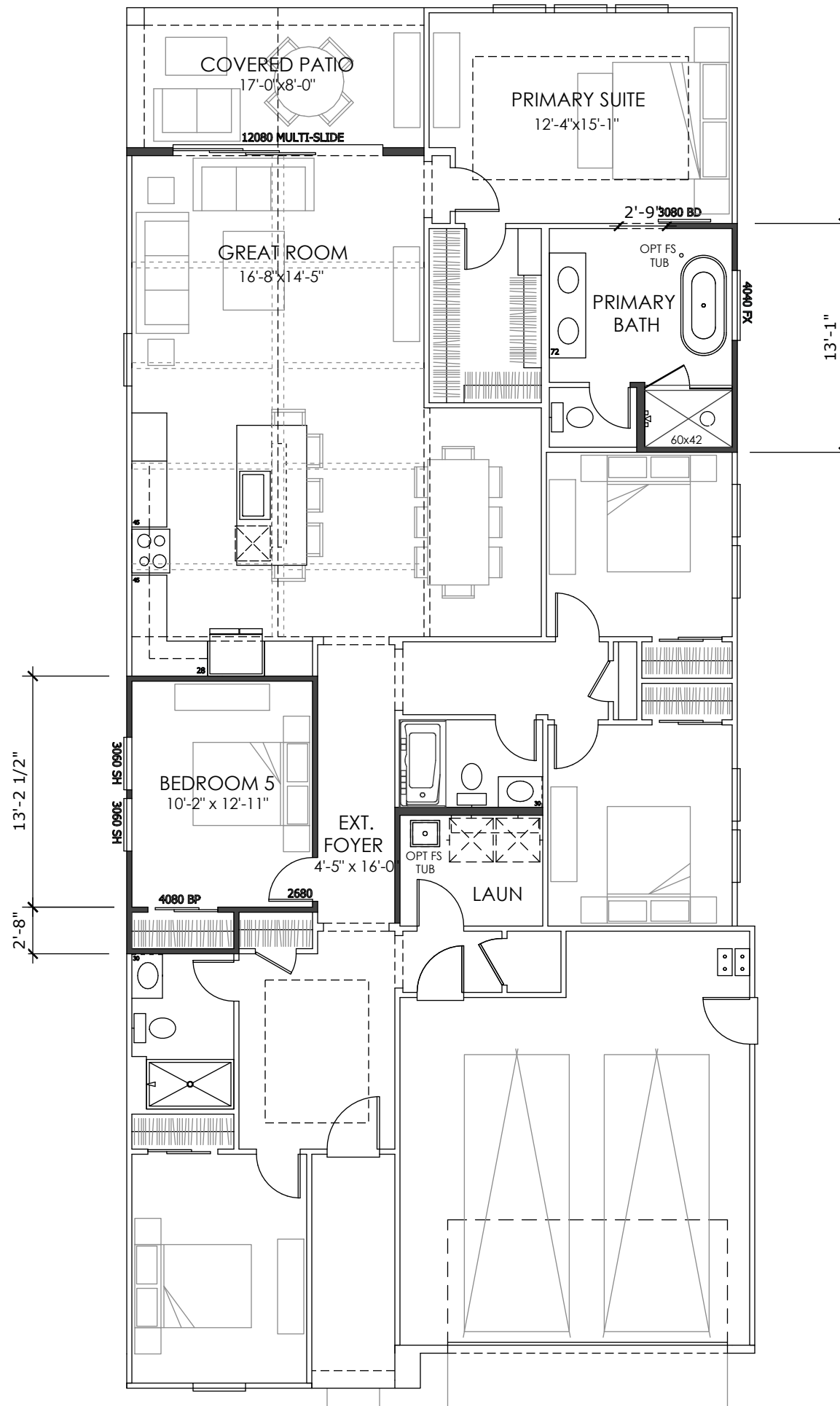
MAX. LIVABLE (A): **2,084**  
 (A) 1ST FLR LIVABLE: 2,084  
 (B) 2 CAR GARAGE: 457  
 (C) COVERED ENTRY:  
     ELEVATION UA: 66  
     ELEVATION XA: 164  
     ELEVATION ZA: 83  
 (D) COVERED PATIO: 136  
 (E) ARCH. PROJECTION:  
     ELEVATION UA: -  
     ELEVATION XA: -  
     ELEVATION ZA: -

MAX FOOTPRINT: **2,841**

TYP LOT SIZE | 46'x112' ( SF)  
 LOT COVERAGE ALLOWED | 60.0%  
 LOT COVERAGE | 2,841 / 5,152 = 55.1%

- OPTION :: 12080 MULTI-SLIDE DOOR
- OPTION :: FREESTANDING TUB AT PRIMARY BATH
- OPTION :: FREESTANDING TUB AT LAUNDRY
- OPTION :: BEDROOM 5 ILO HOME OFFICE
- OPTION :: BEAMS AT GREAT ROOM CEILING

FLOOR PLAN OPTIONS  
 UA - SPANISH MODERN



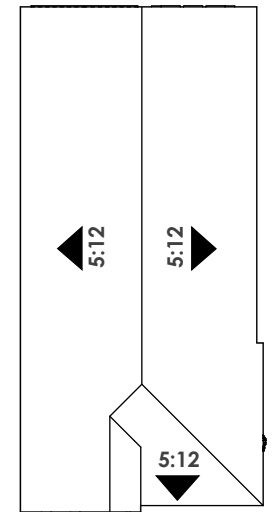


### PLAN 1

LIV. SF: 2,084  
 PLAN WxD: 34'-11" x 78'-11"  
 PLAN #: 8047  
 PLAN NAME: CORK  
 FORM UA - SPANISH MODERN



FORM UA - SPANISH MODERN  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

#### STYLE LEGEND:

- 1 PROMINENT GABLES
- 2 CONCRETE 'FLAT' TILES
- 3 FLUSH RAKES 12" EAVES
- 4 DECORATIVE SHUTTERS
- 5 DECORATIVE GANBLE DETAILS
- 6 PLATE HEIGHT - 10'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" A.F.F.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

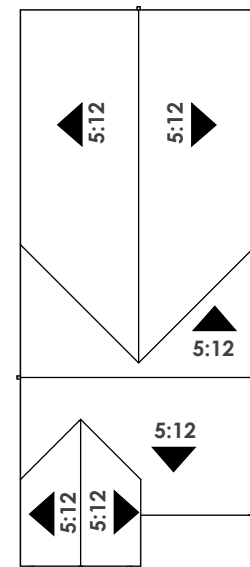


FORM XA - HACIENDA  
FRONT VIEW: N.T.S.

35' :: MKT SPEC2

**PLAN 1**

LIV. SF: 2,084  
 PLAN WxD: 34'-11" x 84'-11"  
 PLAN #: 8047  
 PLAN NAME: CORK  
 FORM XA - HACIENDA



ROOF PLAN | SCALE: N.T.S.



RIGHT ELEVATION  
SCALE: 3/32" = 1'-0"



REAR ELEVATION  
SCALE: 3/32" = 1'-0"

**STYLE LEGEND:**

- 1 PROMINENT GABLES
- 2 CONCRETE 'S' TILES
- 3 12" RAKES AND EAVES
- 4 DECORATIVE CORBELS
- 5 DECORATIVE SHUTTERS
- 6 PLATE HEIGHT - 12'-1" A.F.F.
- 7 PLATE HEIGHT - 10'-1" A.F.F.
- 8 WINDOW HEADER - 8'-0" A.F.F.



LEFT ELEVATION  
SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
SCALE: 3/32" = 1'-0"



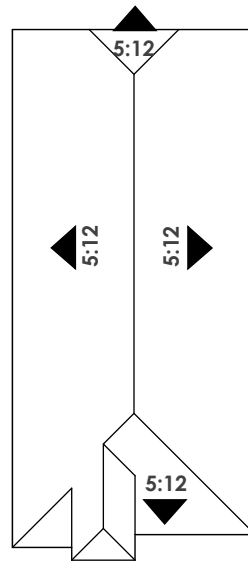


FORM ZA - CONTEMPORARY  
FRONT VIEW: N.T.S.

35' :: MKT SPEC2

**PLAN 1**

LIV. SF: 2,084  
 PLAN WxD: 34'-11" x 80'-11"  
 PLAN #: 8047  
 PLAN NAME: CORK  
 FORM ZA - CONTEMPORARY



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT HIPS
- 2 CONCRETE 'FLAT' TILES
- 3 12" EAVES
- 4 DECORATIVE SIDING
- 5 DECORATIVE STONE VENEER
- 6 PLATE HEIGHT - 14'-1" A.F.F.
- 7 PLATE HEIGHT - 10'-1" A.F.F.
- 8 WINDOW HEADER - 8'-0" A.F.F.



RIGHT ELEVATION  
SCALE: 3/32" = 1'-0"



REAR ELEVATION  
SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

**PLAN 1 (OPTIONS)**

LIV. SF: 2,084

PLAN WxD: 34'-11" x 78'-11"

PLAN #: 8047

PLAN NAME: CORK

OPT. MULTI-SGD



FORM ZA - CONTEMPORARY

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM XA - HACIENDA

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM UA - SPANISH MODERN

REAR ELEVATION  
SCALE: 3/32" = 1'0"

# PLAN 2

**LIV. SF:** 2,554  
**PLAN W x D:** 34'-11" x 60'-11"  
**PLAN #:** 7890  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** OBAN

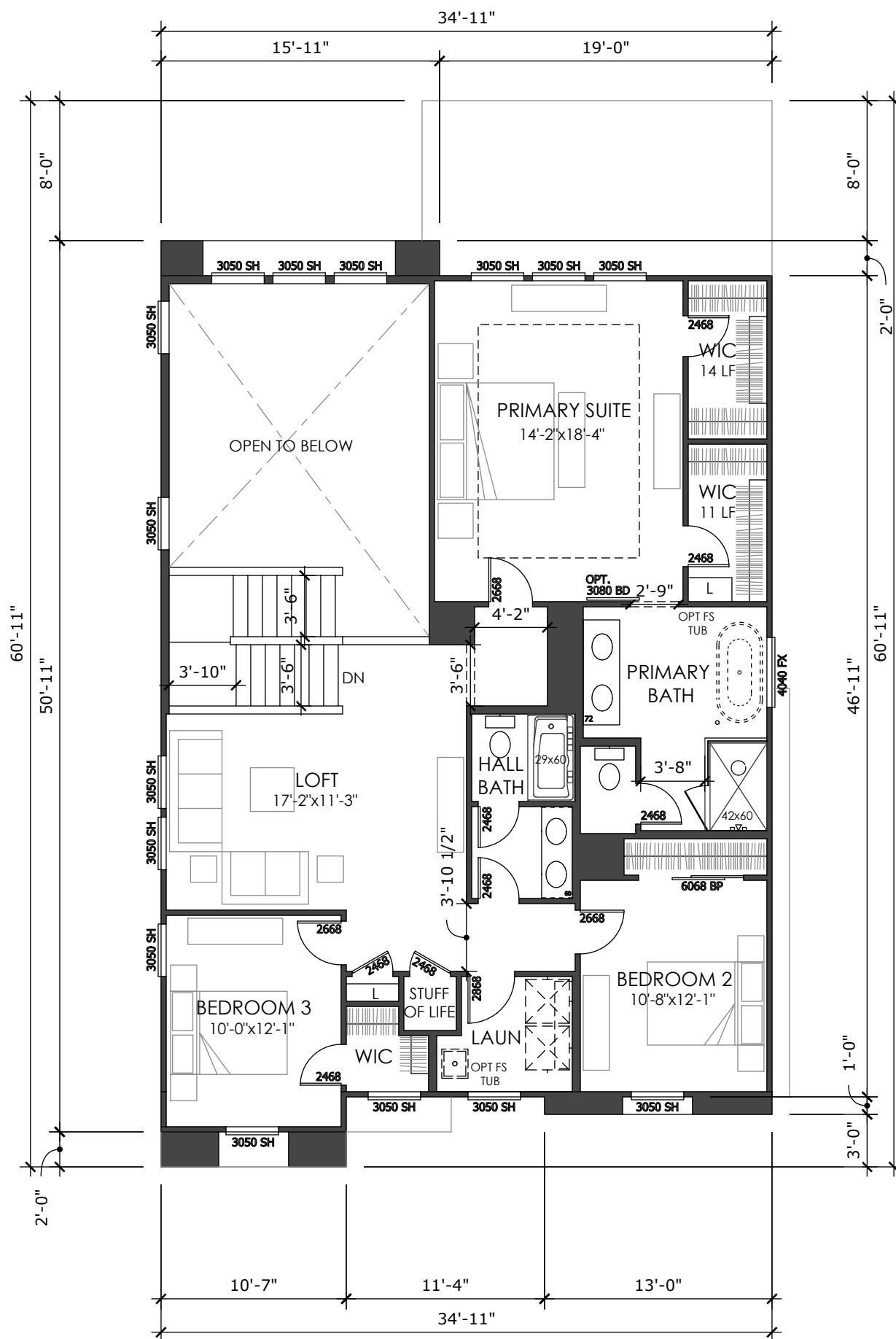
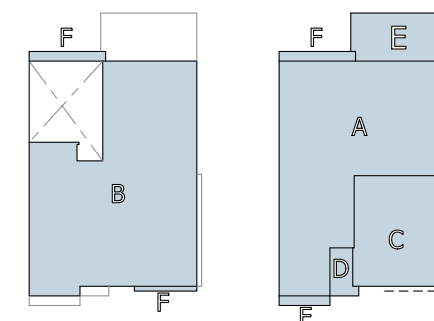
**VITAL STATS**  
 BEDROOM 3 (OPT. 5)  
 BATH 3  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

**STATUS |** NTL PORTFOLIO PLAN

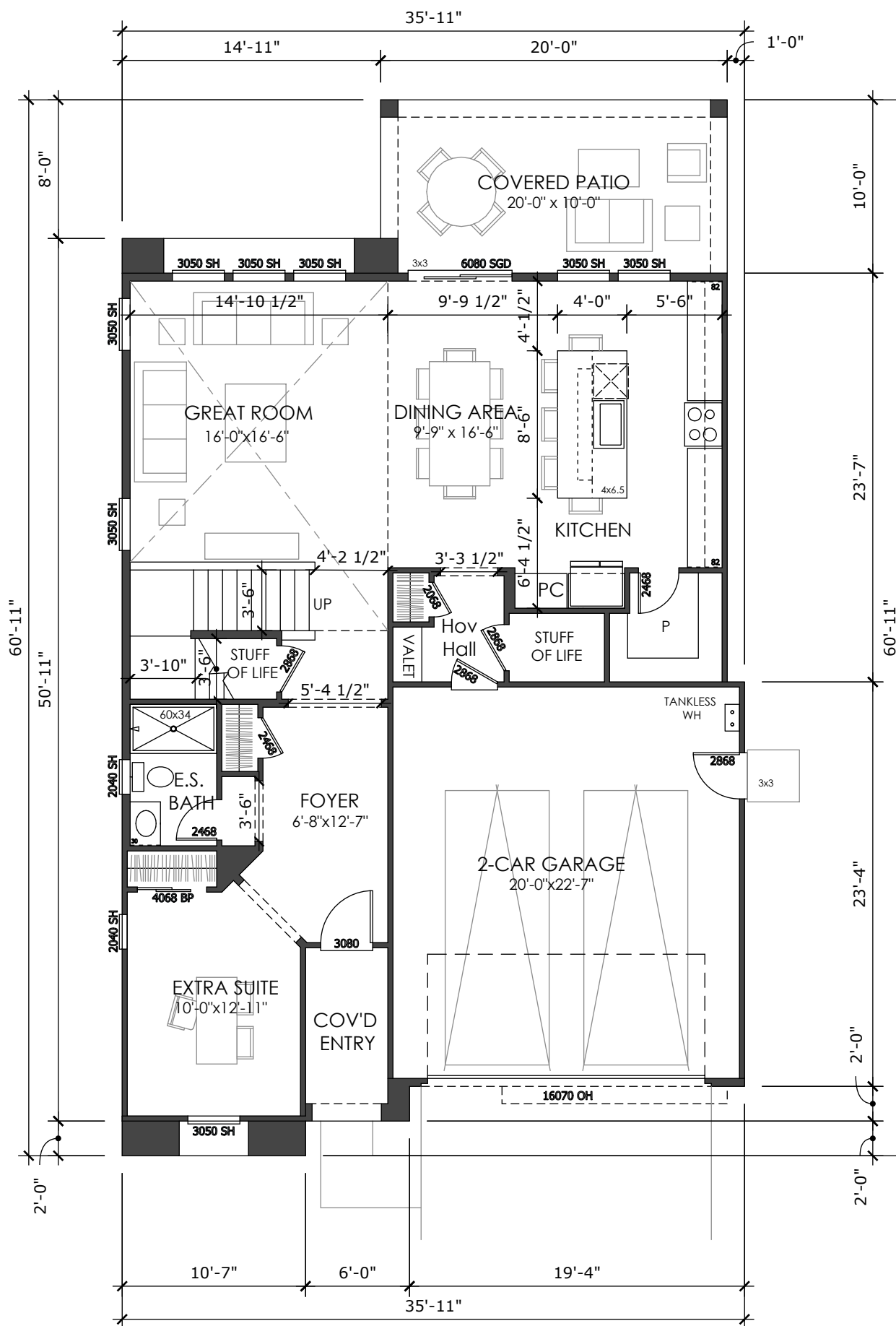
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A)+(B):** 2,554  
 (A) 1ST FLR LIVABLE: 1,175  
 (B) 2ND FLR LIVABLE: 1,379  
 (C) 2 CAR GARAGE: 470  
 (D) COVERED ENTRY:  
     ELEVATION UA: 50  
     ELEVATION XA: 146  
     ELEVATION ZA: 66  
 (E) OPT. COVERED PATIO: 198  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: 98  
     ELEVATION XA: 96  
     ELEVATION ZA: 64

**MAX FOOTPRINT:** 2,020

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,020 / 5,152 = 39.2%



SECOND FLOOR PLAN  
 UA - SPANISH MODERN



FIRST FLOOR PLAN  
 UA - SPANISH MODERN

# PLAN 2

**LIV. SF:** 2,554  
**PLAN W x D:** 34'-11" x 64'-11"  
**PLAN #:** 7890  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** OBAN

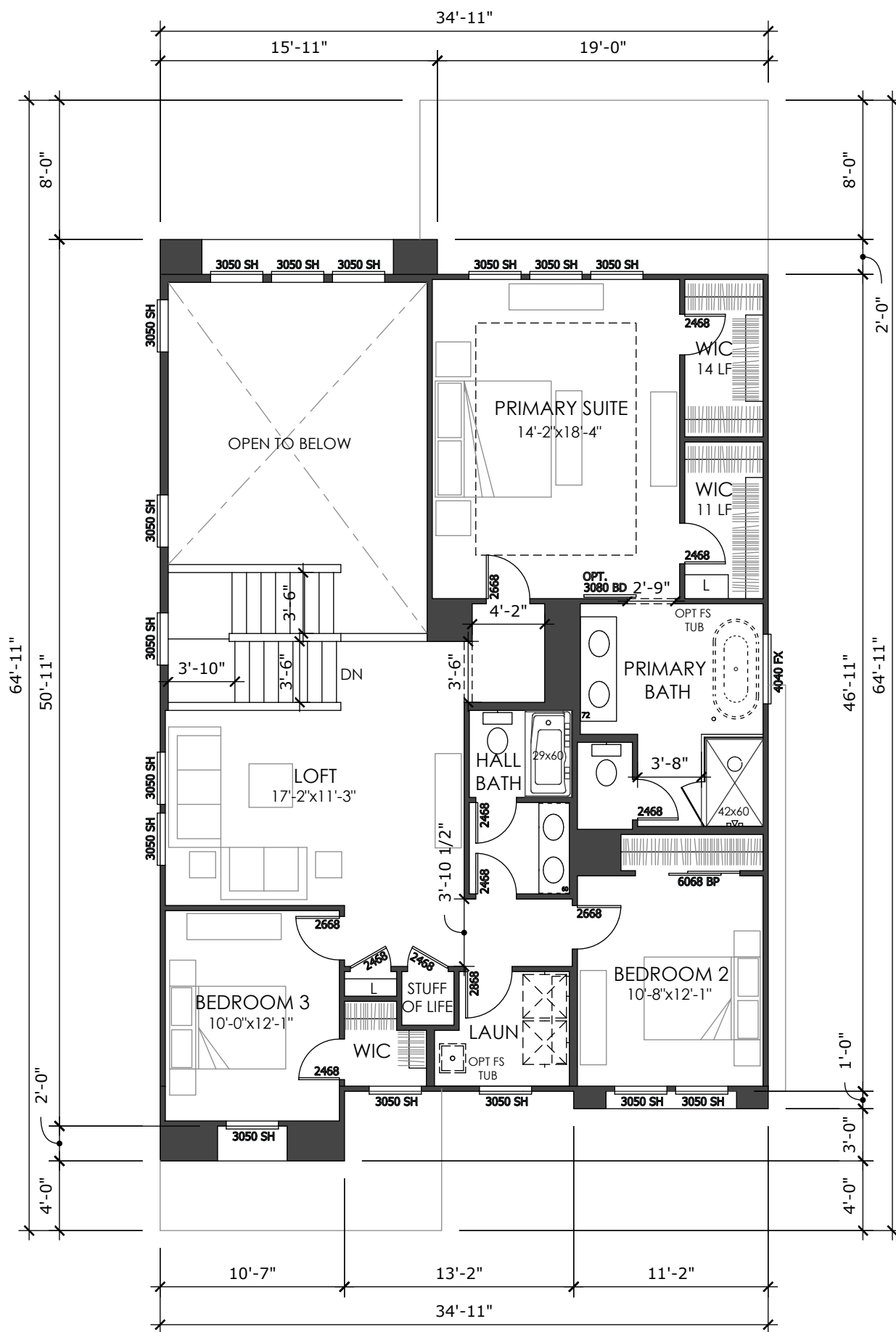
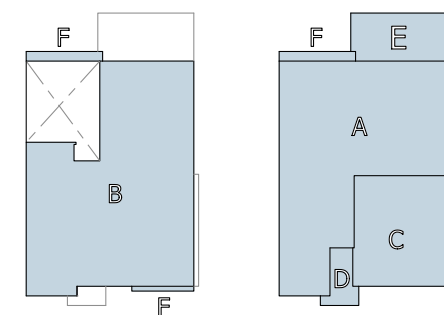
**VITAL STATS**  
 BEDROOM 3 (OPT. 5)  
 BATH 3  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

**STATUS |** NTL PORTFOLIO PLAN

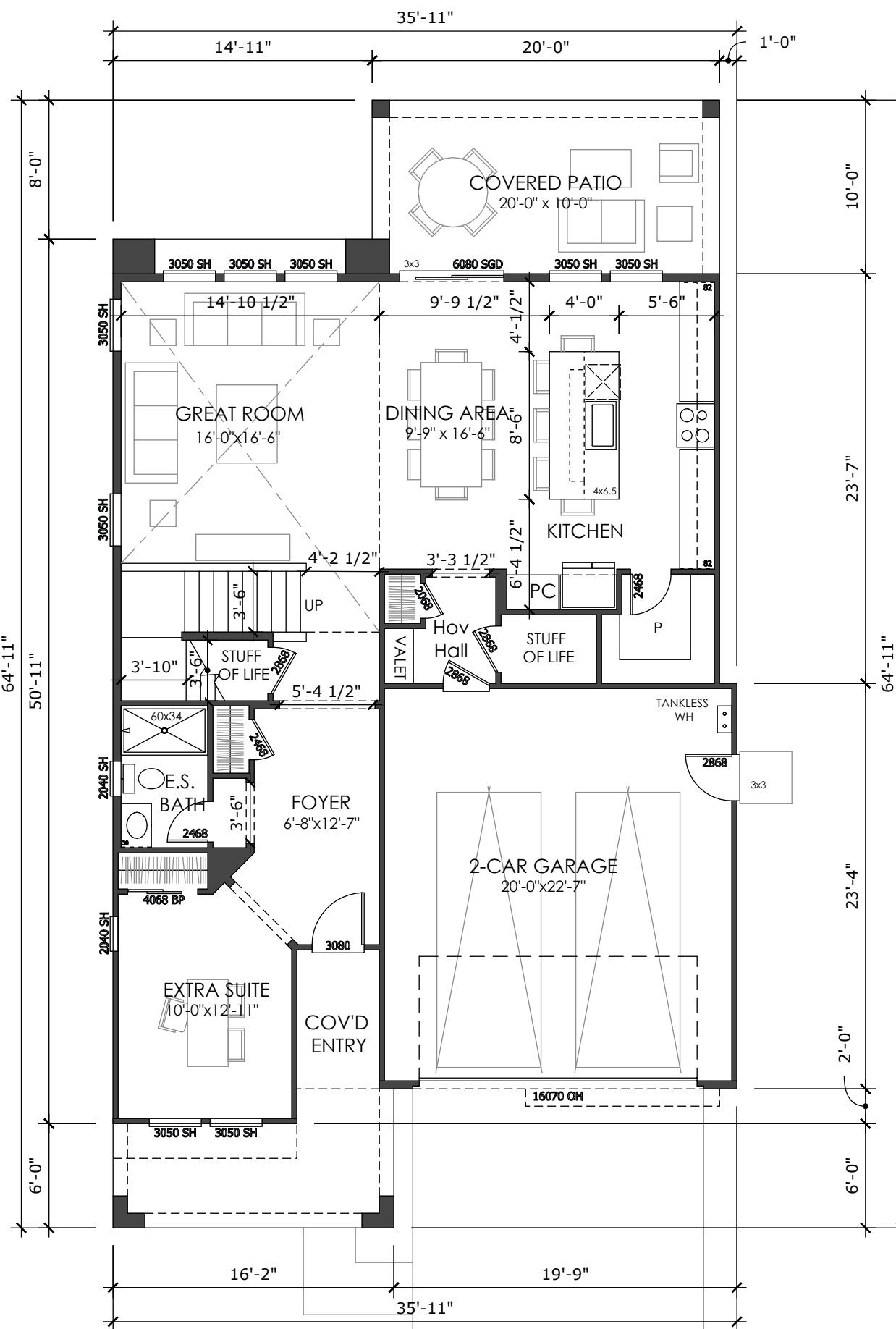
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A)+(B):** 2,554  
 (A) 1ST FLR LIVABLE: 1,175  
 (B) 2ND FLR LIVABLE: 1,379  
 (C) 2 CAR GARAGE: 470  
 (D) COVERED ENTRY:  
     ELEVATION UA: 50  
     ELEVATION XA: 146  
     ELEVATION ZA: 66  
 (E) OPT. COVERED PATIO: 198  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: 98  
     ELEVATION XA: 96  
     ELEVATION ZA: 64

**MAX FOOTPRINT:** 2,020

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,020 / 5,152 = 39.2%



SECOND FLOOR PLAN  
XA - HACIENDA



FIRST FLOOR PLAN  
XA - HACIENDA

# PLAN 2

**LIV. SF:** 2,554  
**PLAN W x D:** 34'-11" x 60'-11"  
**PLAN #:** 7890  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** OBAN

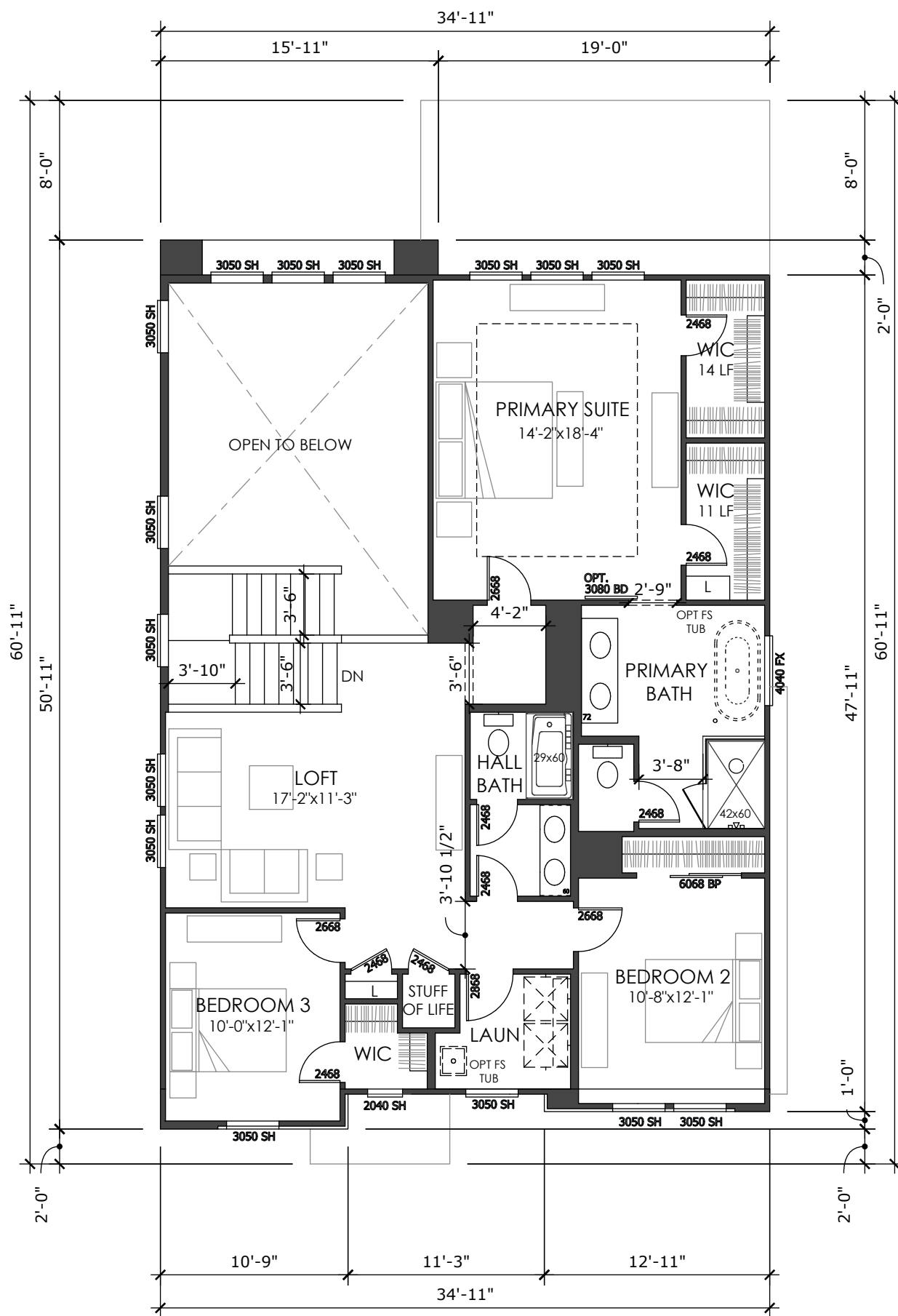
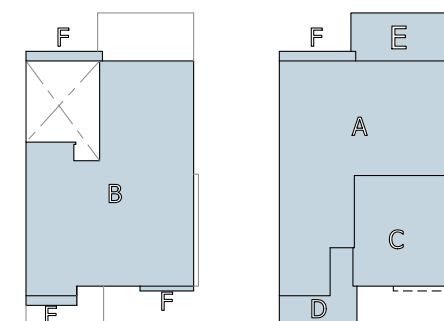
**VITAL STATS**  
 BEDROOM 3 (OPT. 5)  
 BATH 3  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

**STATUS |** NTL PORTFOLIO PLAN

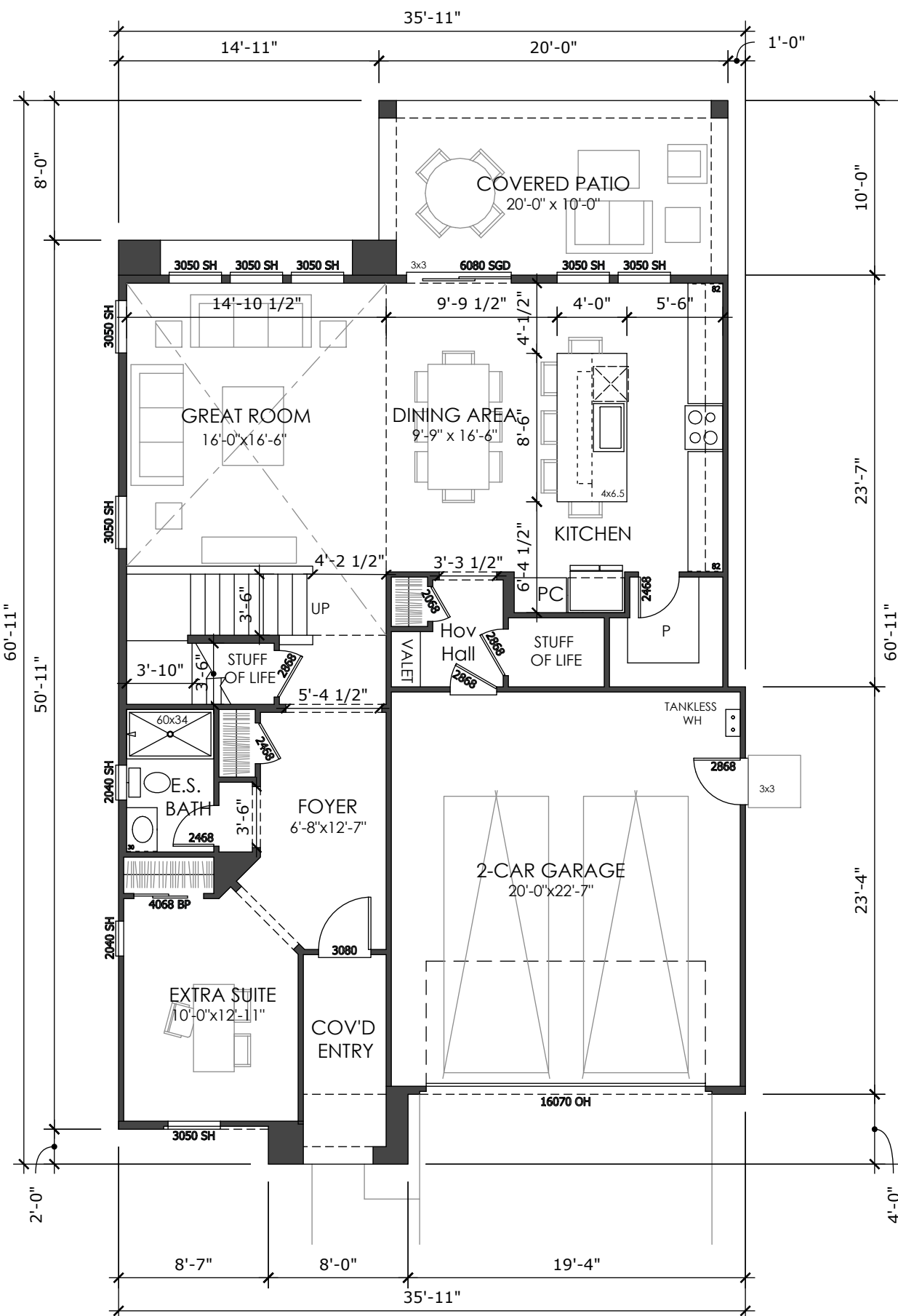
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A)+(B):** 2,554  
 (A) 1ST FLR LIVABLE: 1,175  
 (B) 2ND FLR LIVABLE: 1,379  
 (C) 2 CAR GARAGE: 470  
 (D) COVERED ENTRY:  
     ELEVATION UA: 50  
     ELEVATION XA: 146  
     ELEVATION ZA: 66  
 (E) OPT. COVERED PATIO: 198  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: 98  
     ELEVATION XA: 96  
     ELEVATION ZA: 64

**MAX FOOTPRINT:** 2,020

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,020 /5,152 = 39.2%



SECOND FLOOR PLAN  
 ZA - CONTEMPORARY



FIRST FLOOR PLAN  
 ZA - CONTEMPORARY

## PLAN 2 (OPTIONS)

LIV. SF: **2,554**  
 PLAN W x D: **34'-11" x 60'-11"**  
 PLAN #: 7890  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **OBAN**

**VITAL STATS**  
 BEDROOM 3 (OPT. 5)  
 BATH 3  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

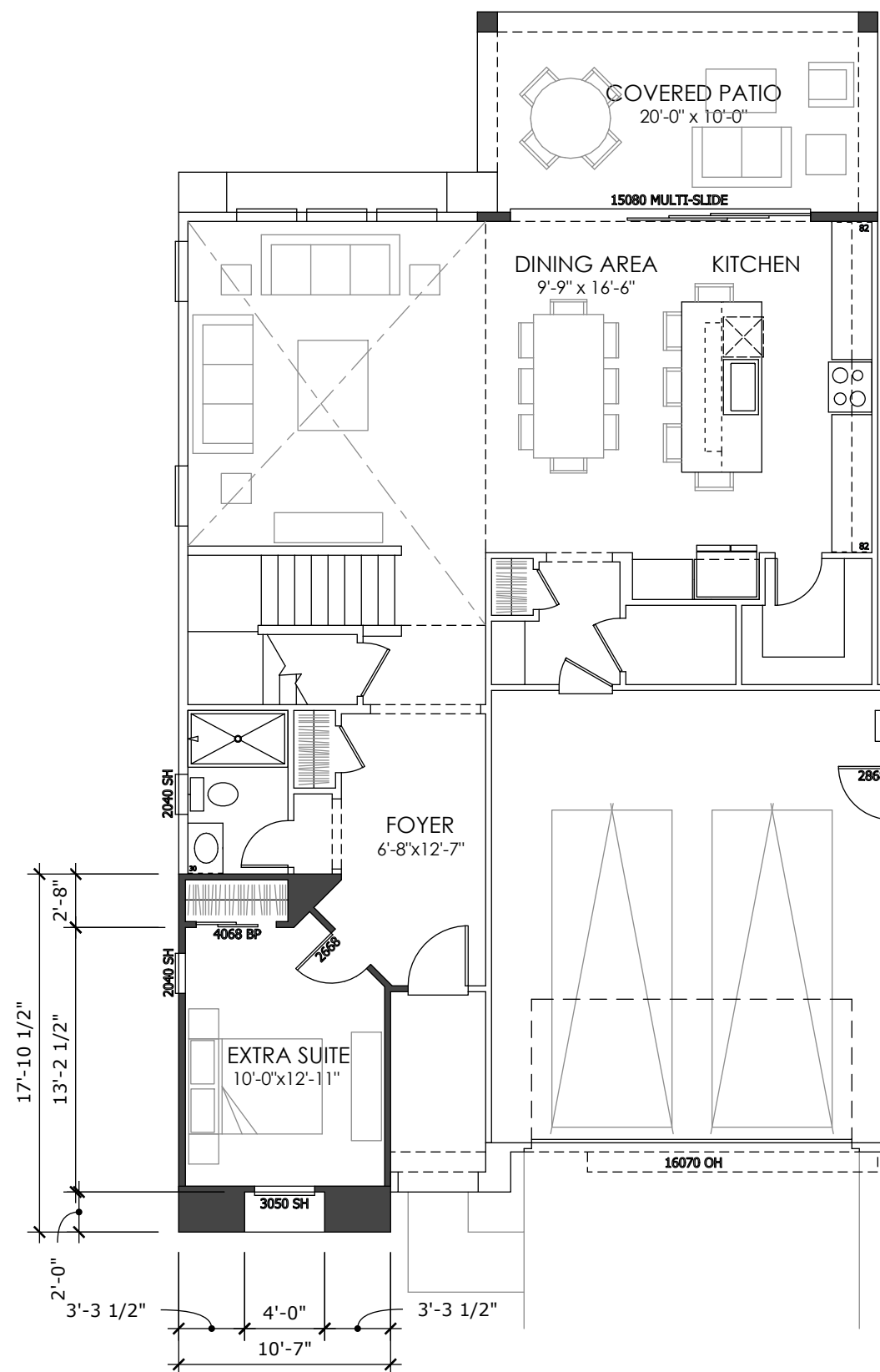
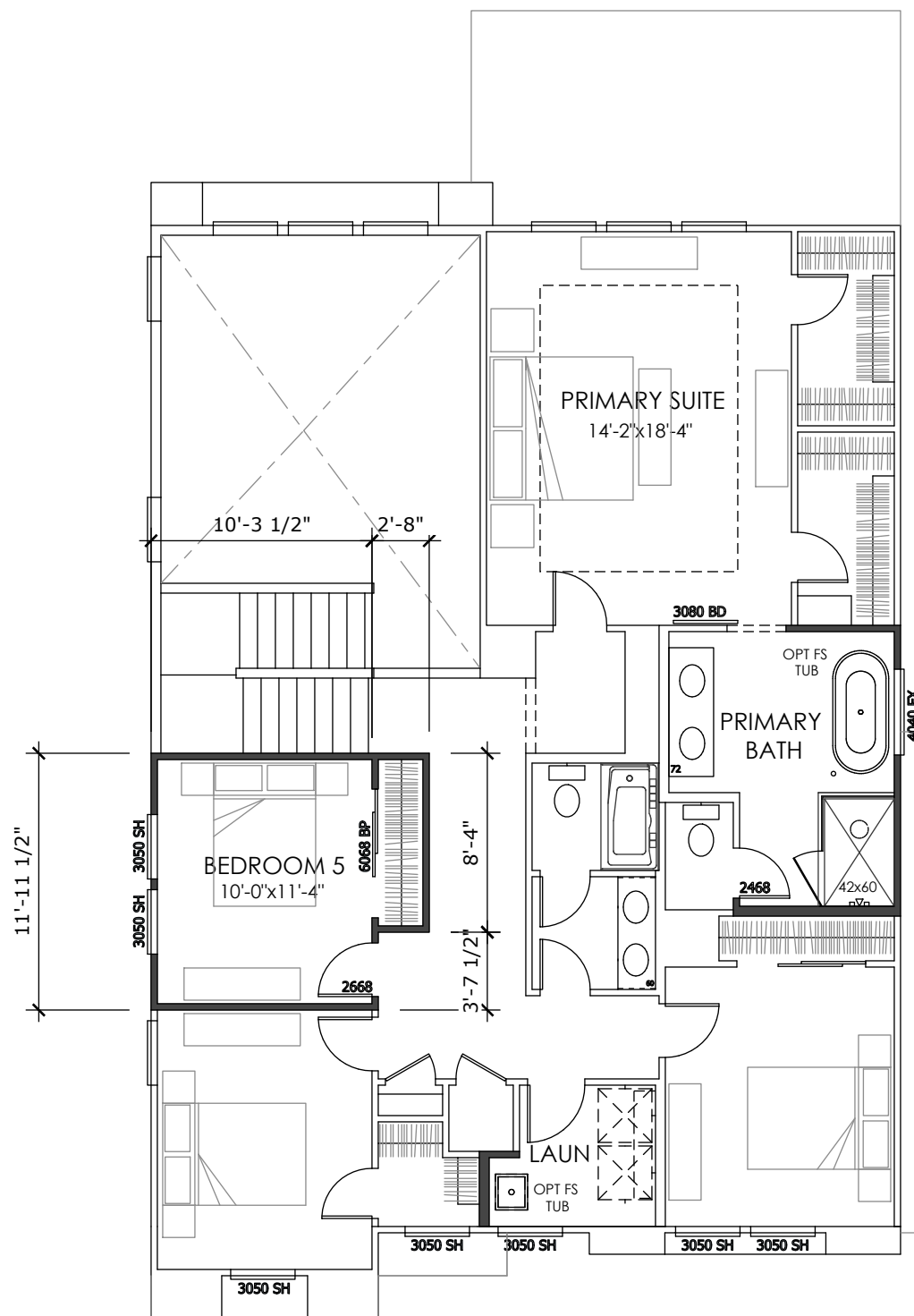
**STATUS** | NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A)+(B): 2,554**  
 (A) 1ST FLR LIVABLE: 1,175  
 (B) 2ND FLR LIVABLE: 1,379  
 (C) 2 CAR GARAGE: 470  
 (D) COVERED ENTRY:  
     ELEVATION UA: 50  
     ELEVATION XA: 146  
     ELEVATION ZA: 66  
 (E) OPT. COVERED PATIO: 198  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: 98  
     ELEVATION XA: 96  
     ELEVATION ZA: 64

**MAX FOOTPRINT: 2,020**

**TYP LOT SIZE** | 46'x112' ( SF)  
**LOT COVERAGE ALLOWED** | 60.0%  
**LOT COVERAGE** | 2,020 /5,152 = 39.2%

OPTION :: 15080 MULTI-SLIDE DOOR  
 OPTION :: EXTRA SUITE ILO HOME OFFICE  
 OPTION :: FREESTANDING TUB AT PRIMARY BATH  
 OPTION :: FREESTANDING TUB AT LAUNDRY  
 OPTION :: BEDROOM 5 ILO LOFT



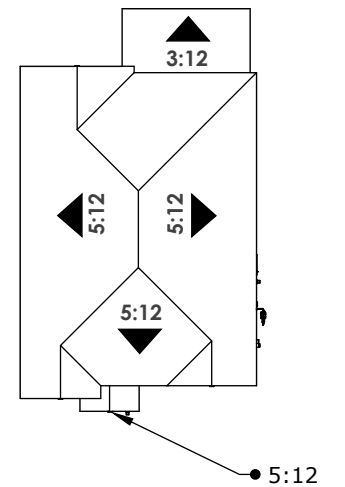


**PLAN 2**

LIV. SF: 2,554  
 PLAN WxD: 34'-11" x 60'-11"  
 PLAN #: 7890  
 PLAN NAME: OBAN  
 FORM UA - SPANISH MODERN



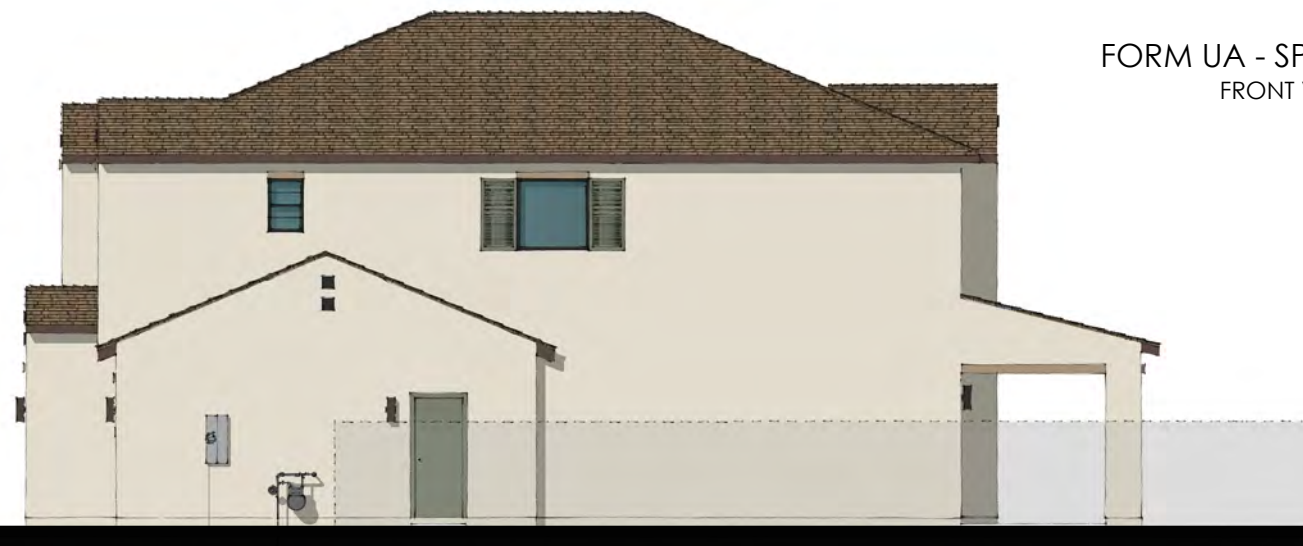
FORM UA - SPANISH MODERN  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT GABLES
- 2 CONCRETE 'FLAT' TILES
- 3 FLUSH RAKE 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE RECESSED WINDOWS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



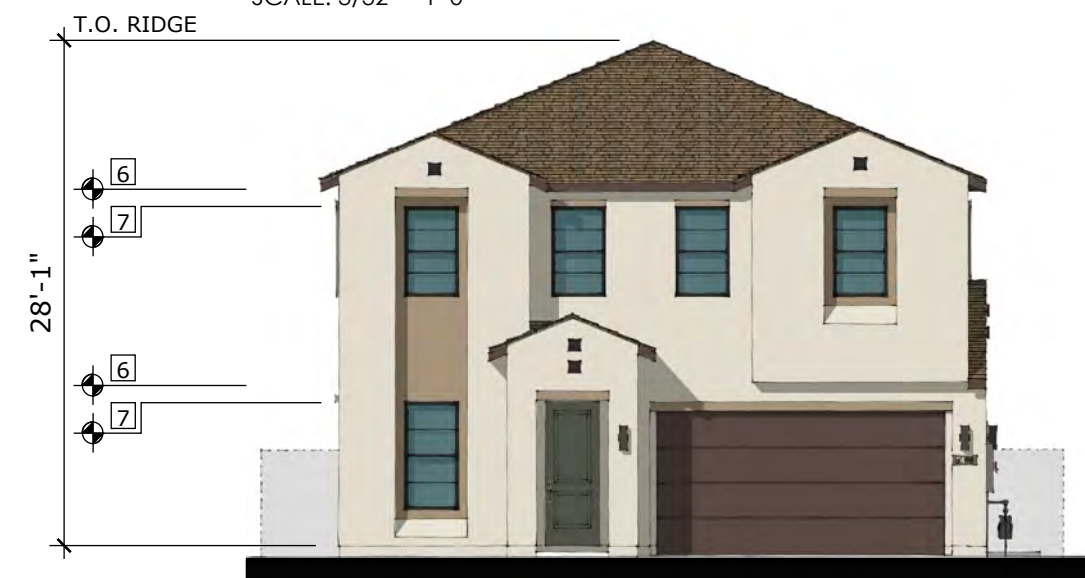
RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



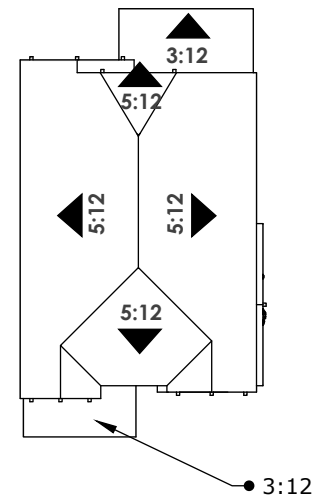
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 2**

LIV. SF: 2,554  
 PLAN WxD: 34'-11" x 64'-11"  
 PLAN #: 7890  
 PLAN NAME: OBAN  
 FORM XA - HACIENDA



FORM XA - HACIENDA  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT GABLES, HIPS & CLIPS
- 2 CONCRETE 'S' TILES
- 3 12" RAKES AND 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



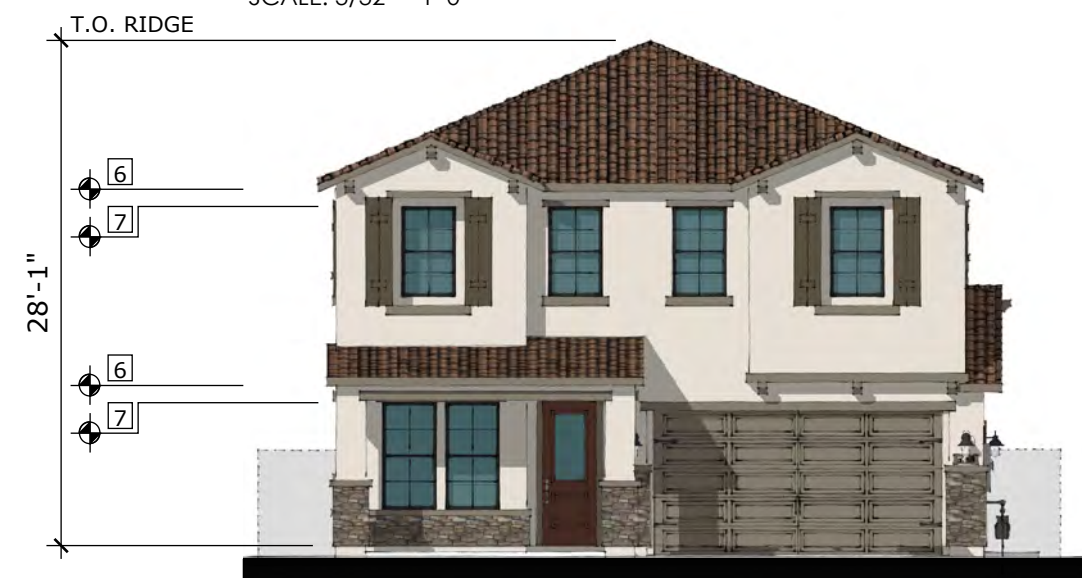
RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



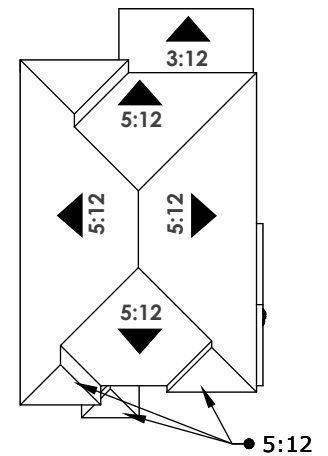
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 2**

LIV. SF: 2,554  
 PLAN WxD: 34'-11" x 60'-11"  
 PLAN #: 7890  
 PLAN NAME: OBAN  
 FORM ZA - CONTEMPORARY



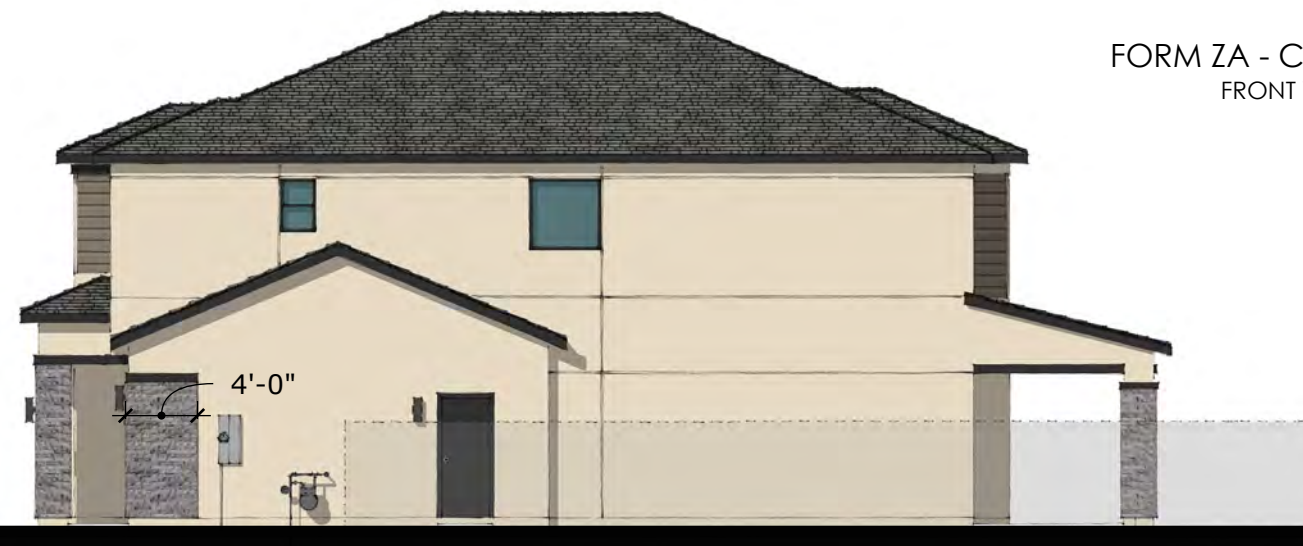
FORM ZA - CONTEMPORARY  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT HIPS
- 2 CONCRETE 'FLAT' TILES
- 3 12" EAVES
- 4 DECORATIVE SIDING
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 2 (OPTIONS)**

LIV. SF: 2,554

PLAN WxD: 34'-11" x 60'-11"

PLAN #: 7890

PLAN NAME: OBAN

OPT. MULTI SGD



FORM ZA - CONTEMPORARY

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM XA - HACIENDA

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM UA - SPANISH MODERN

REAR ELEVATION  
SCALE: 3/32" = 1'0"

# PLAN 3

**LIV. SF:** 2,846  
**PLAN W x D:** 34'-11" x 72'-11"  
**PLAN #:** 8065  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** REINE

**VITAL STATS**  
 BEDROOM 5  
 BATH 3.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

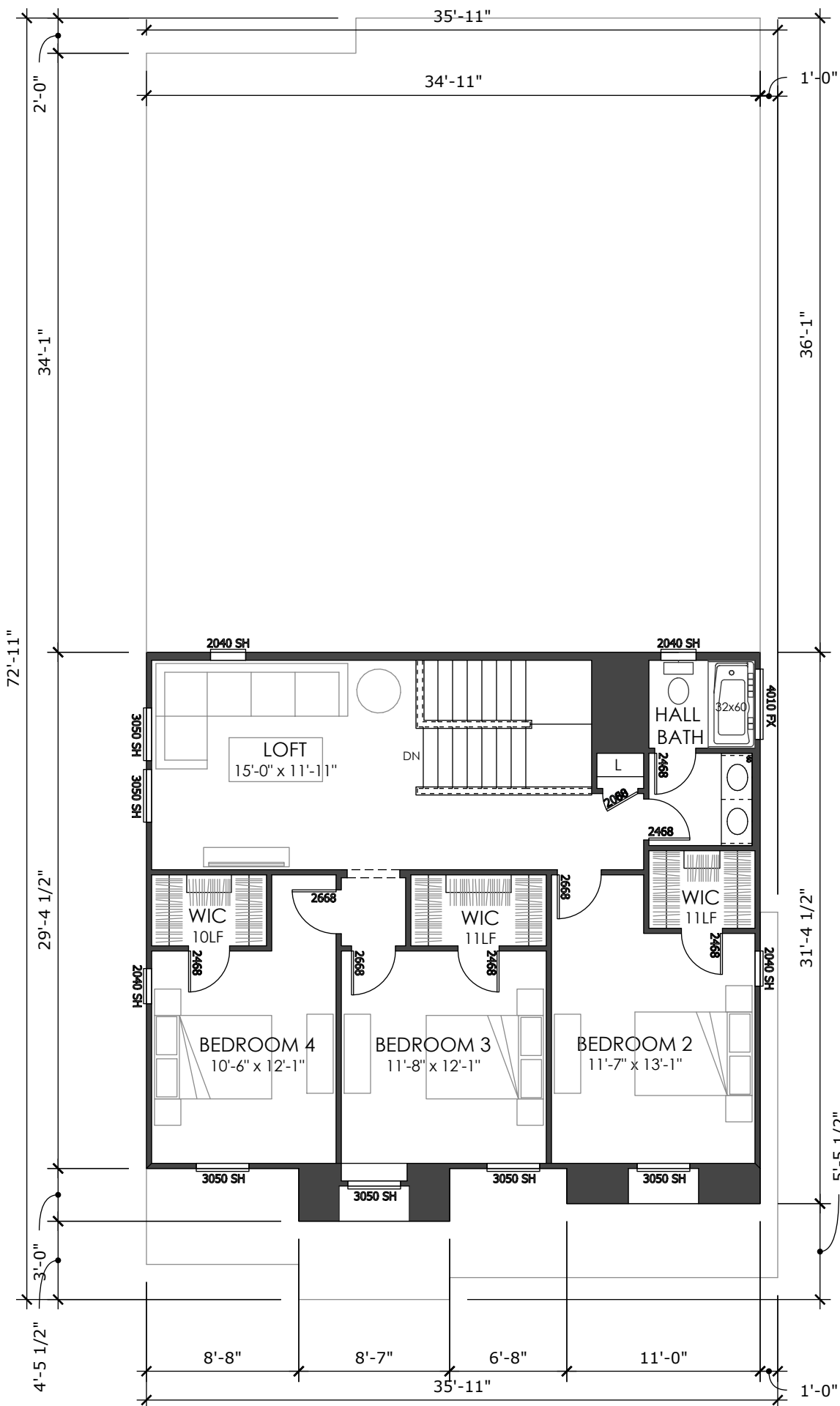
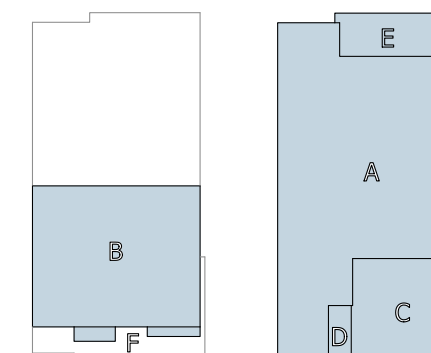
**STATUS |** NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 2,846  
 (A) 1ST FLR LIVABLE: 1,820  
 (B) 2ND FLR LIVABLE: 1,026  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
     **ELEVATION UA:** 63  
     ELEVATION XA: 149  
     ELEVATION ZA: 62

(E) COVERED PATIO: 200  
 (F) ARCH. PROJECTION:  
     **ELEVATION UA:** 48  
     ELEVATION XA: 26  
     ELEVATION ZA: 22

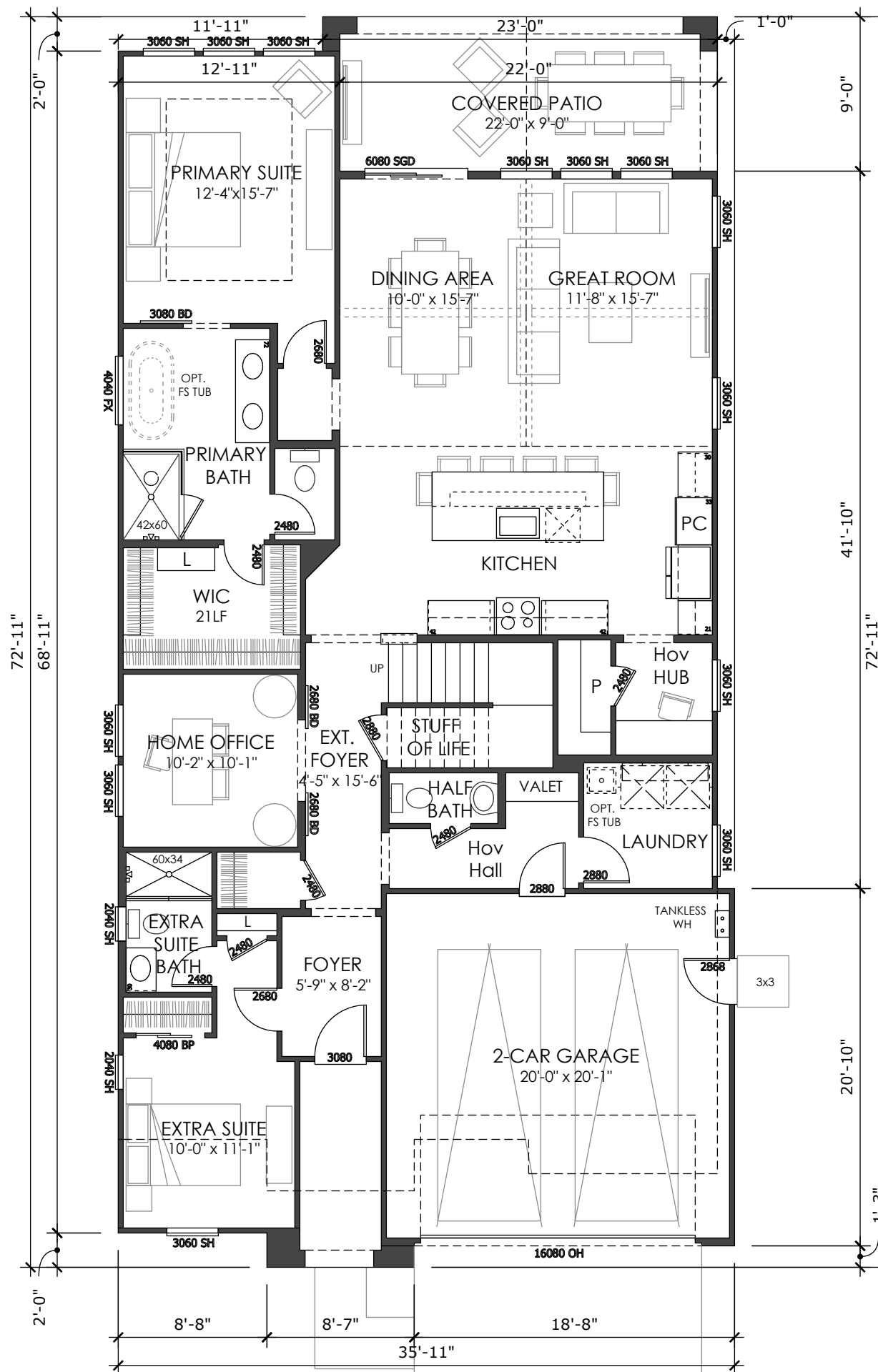
**(UA)MAX FOOTPRINT:** 2,589

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,589 / 5,152 = 50.3%



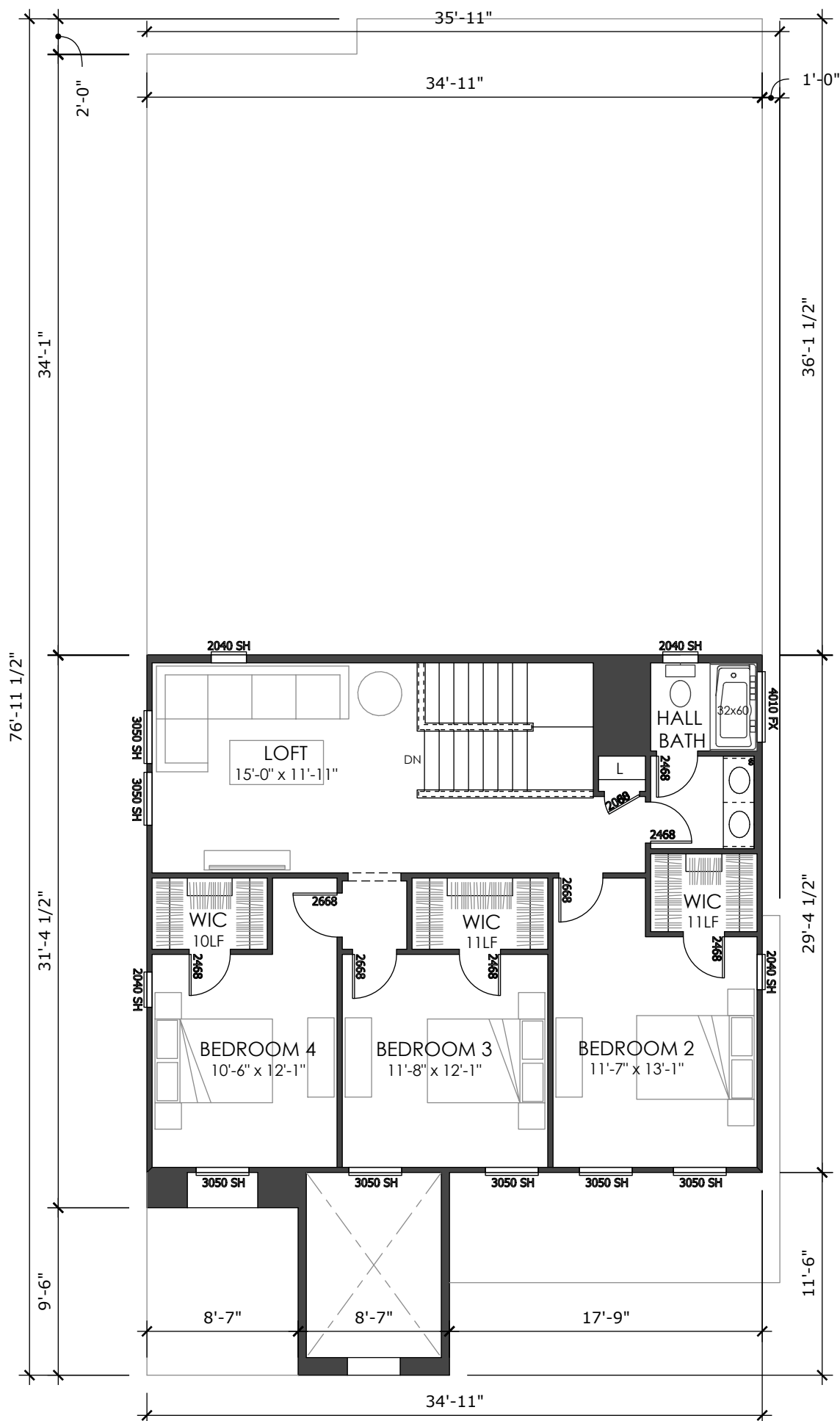
**Viviendo :: Chandler, AZ**

**SECOND FLOOR PLAN**  
 UA - SPANISH MODERN



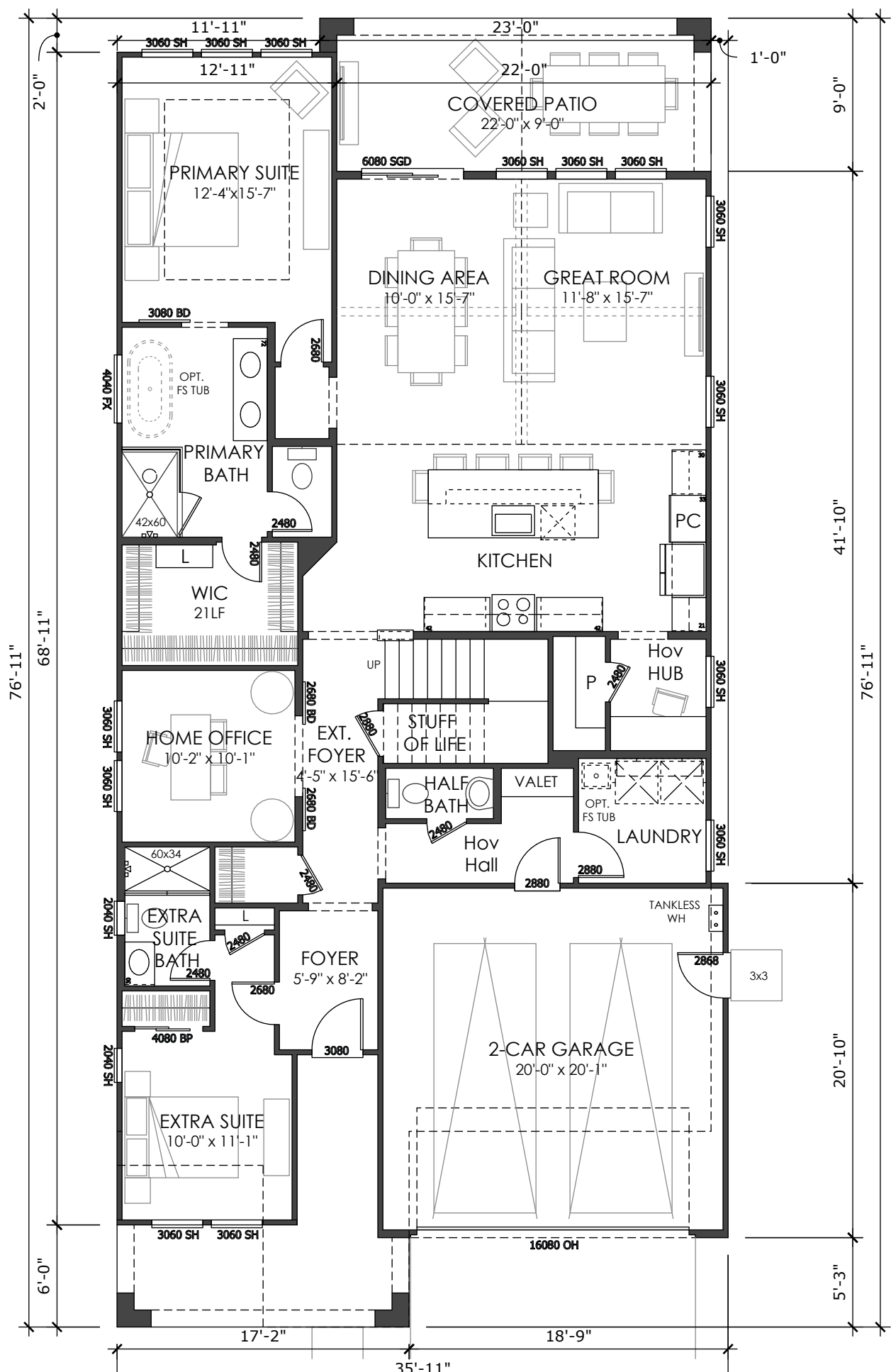
**FIRST FLOOR PLAN**  
 UA - SPANISH MODERN





**Viviendo :: Chandler, AZ**

**SECOND FLOOR PLAN  
XA - HACIENDA**



**FIRST FLOOR PLAN  
XA - HACIENDA**

35' MARKET RATE :: SP-2

**PLAN 3**

**LIV. SF:** 2,846  
**PLAN W x D:** 34'-11" x 76'-11"  
**PLAN #:** 8065  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** REINE

**VITAL STATS**  
 BEDROOM 5  
 BATH 3.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

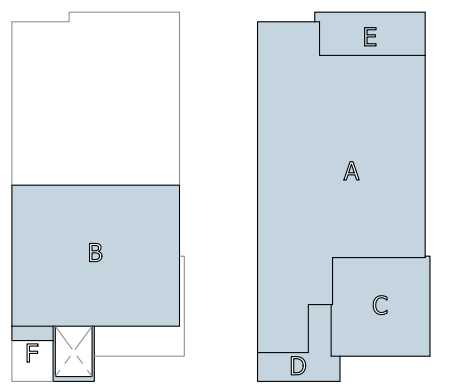
**STATUS |** NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 2,846  
 (A) 1ST FLR LIVABLE: 1,820  
 (B) 2ND FLR LIVABLE: 1,026  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
 ELEVATION UA: 63  
 ELEVATION XA: 149  
 ELEVATION ZA: 62

(E) COVERED PATIO: 200  
 (F) ARCH. PROJECTION:  
 ELEVATION UA: 48  
 ELEVATION XA: 26  
 ELEVATION ZA: 22

**(UA)MAX FOOTPRINT: 2,589**

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,589 /5,152 = 50.3%



# PLAN 3

**LIV. SF:** 2,846  
**PLAN W x D:** 34'-11" x 72'-11"  
**PLAN #:** 8065  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** REINE

**VITAL STATS**  
 BEDROOM 5  
 BATH 3.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

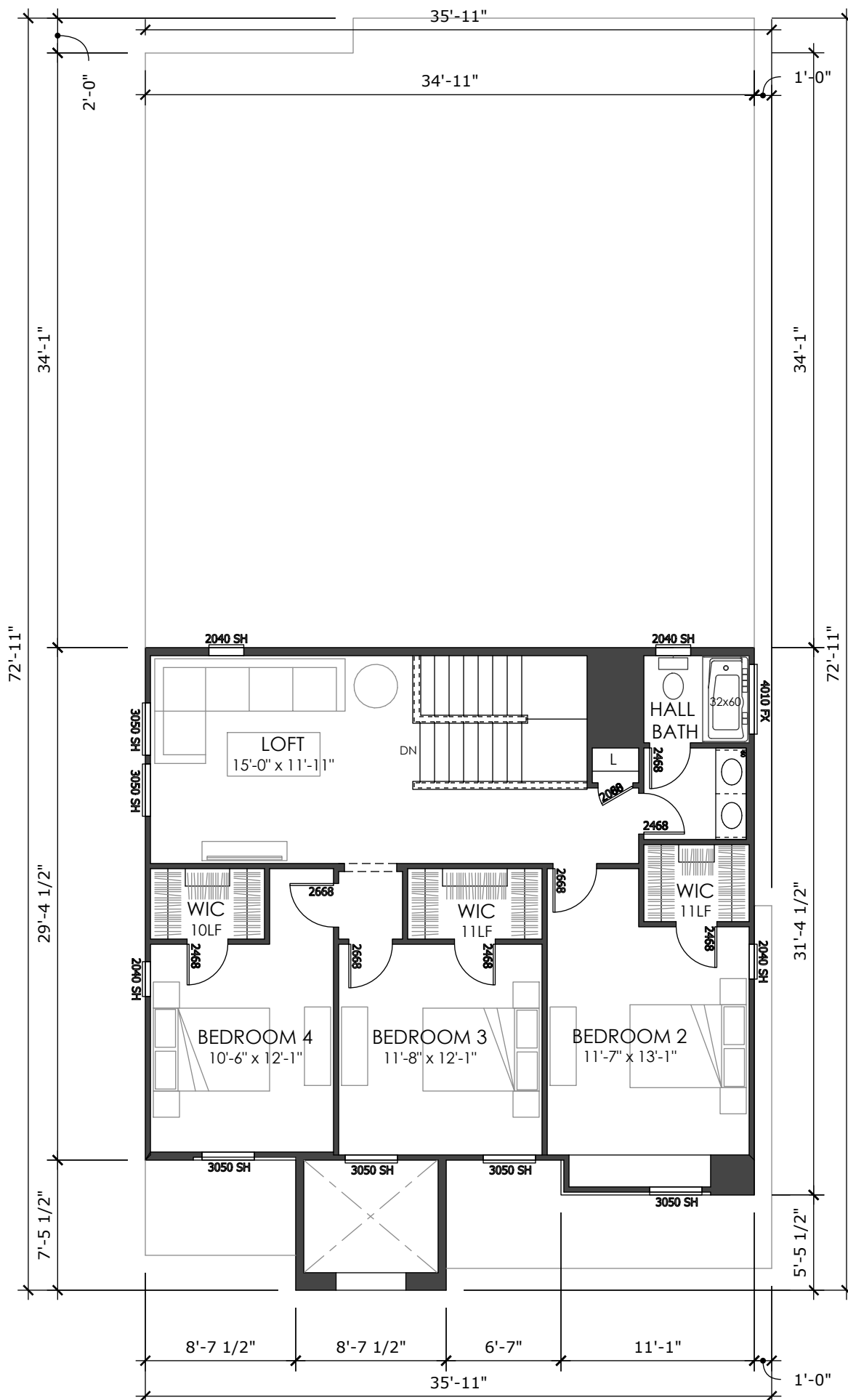
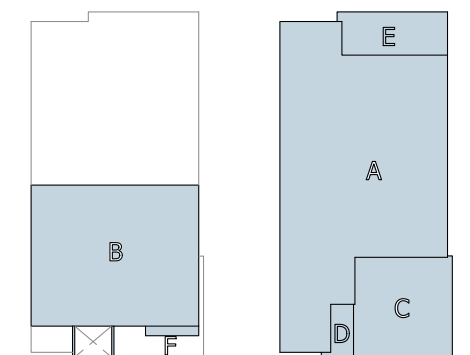
**STATUS |** NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 2,846  
 (A) 1ST FLR LIVABLE: 1,820  
 (B) 2ND FLR LIVABLE: 1,026  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
     **ELEVATION UA:** 63  
     ELEVATION XA: 149  
     ELEVATION ZA: 62

(E) COVERED PATIO: 200  
 (F) ARCH. PROJECTION:  
     **ELEVATION UA:** 48  
     ELEVATION XA: 26  
     ELEVATION ZA: 22

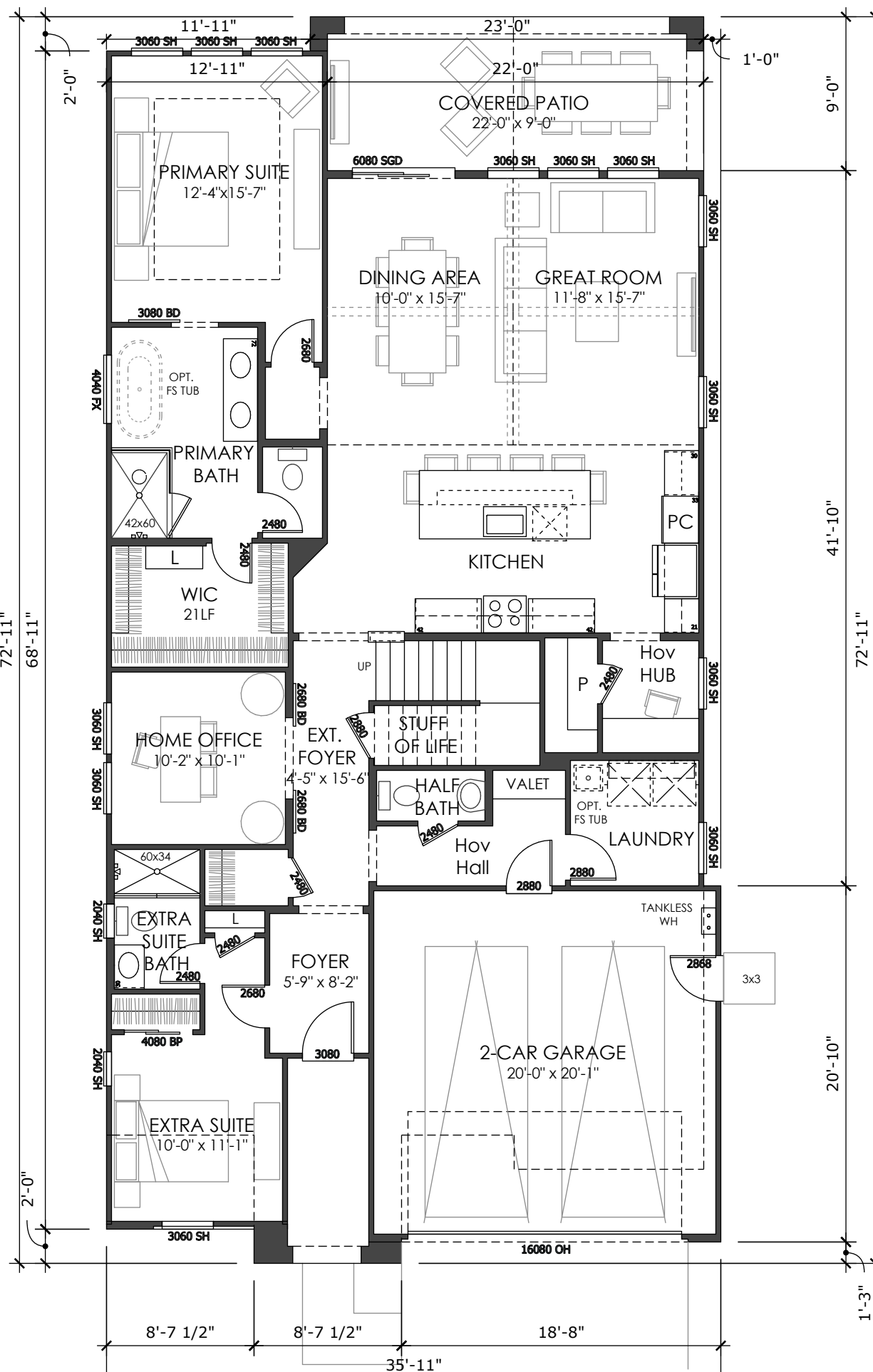
**(UA)MAX FOOTPRINT:** 2,589

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,589 /5,152 = 50.3%



**Viviendo :: Chandler, AZ**

**SECOND FLOOR PLAN  
 ZA - CONTEMPORARY**



**FIRST FLOOR PLAN  
 ZA - CONTEMPORARY**

### PLAN 3 (OPTIONS)

LIV. SF: **2,846**  
 PLAN W x D: **34'-11" x 72'-11"**  
 PLAN #: 8065  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **REINE**

**VITAL STATS**  
 BEDROOM 5  
 BATH 3.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

STATUS | NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A): 2,846**  
 (A) 1ST FLR LIVABLE: 1,820  
 (B) 2ND FLR LIVABLE: 1,026  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
     ELEVATION UA: **63**  
     ELEVATION XA: 149  
     ELEVATION ZA: 62

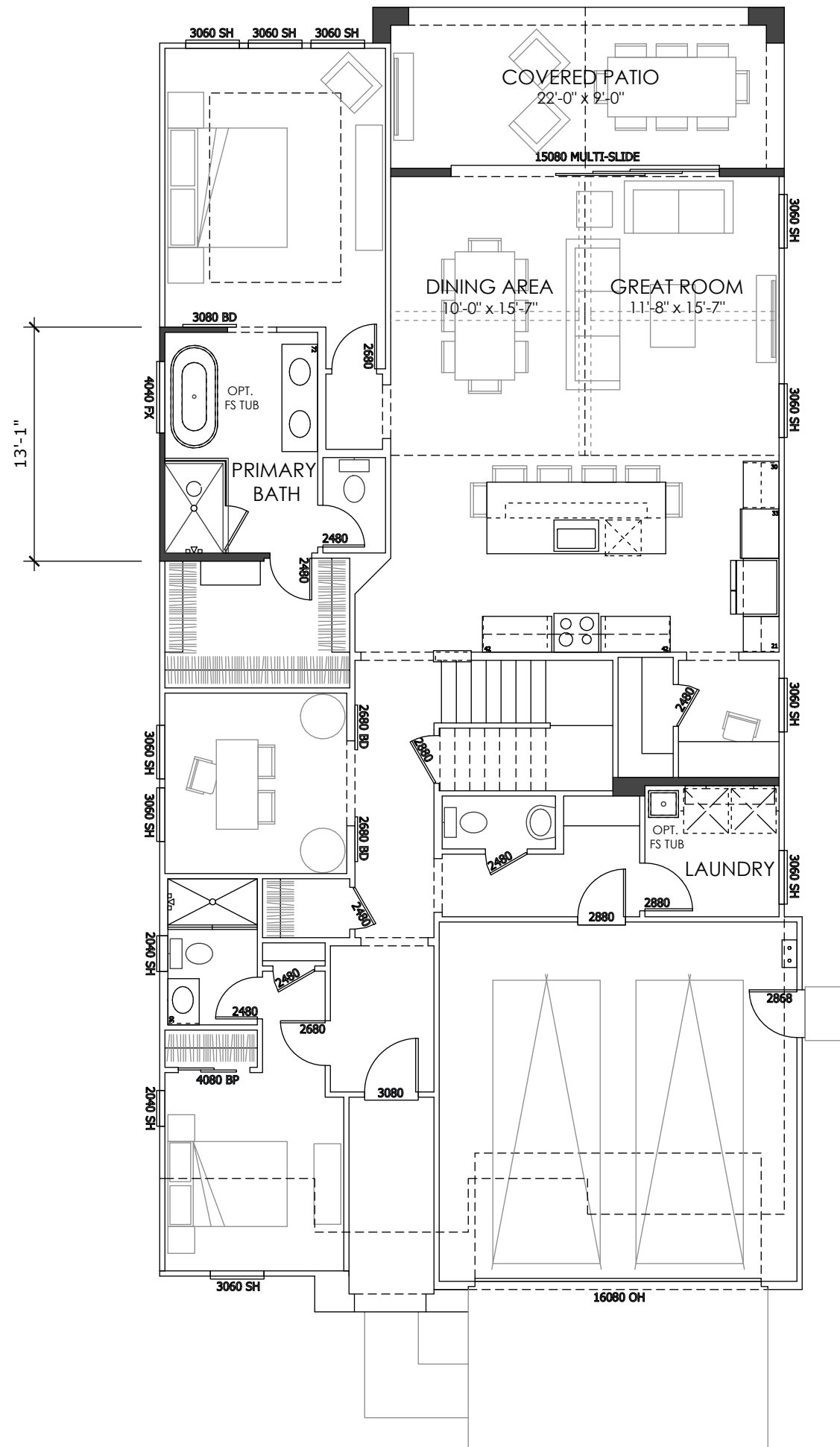
(E) COVERED PATIO: 200  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: **48**  
     ELEVATION XA: 26  
     ELEVATION ZA: 22

(UA)MAX FOOTPRINT: **2,589**

TYP LOT SIZE | 46'x112' ( SF)  
 LOT COVERAGE ALLOWED | 60.0%  
 LOT COVERAGE | 2,589 / 5,152 = 50.3%

OPTION :: 15080 SGD WITH COVERED PATIO  
 OPTION :: FREESTANDING TUB AT PRIMARY BATH  
 OPTION :: FREESTANDING TUB AT LAUNDRY  
 OPTION :: BEAMS AT GREAT ROOM CEILING

FIRST FLOOR OPTIONS  
 UA - SPANISH MODERN



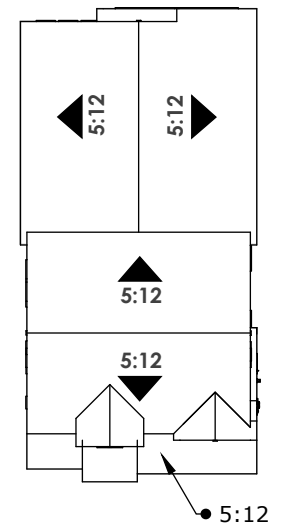


**PLAN 3**

LIV. SF: 2,846  
 PLAN WxD: 34'-11" x 70'-11"  
 PLAN #: 8065  
 PLAN NAME: REINE  
 FORM UA - SPANISH MODERN



FORM UA - SPANISH MODERN  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT GABLES
- 2 CONCRETE 'FLAT' TILES
- 3 FLUSH RAKE 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE RECESSED WINDOWS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



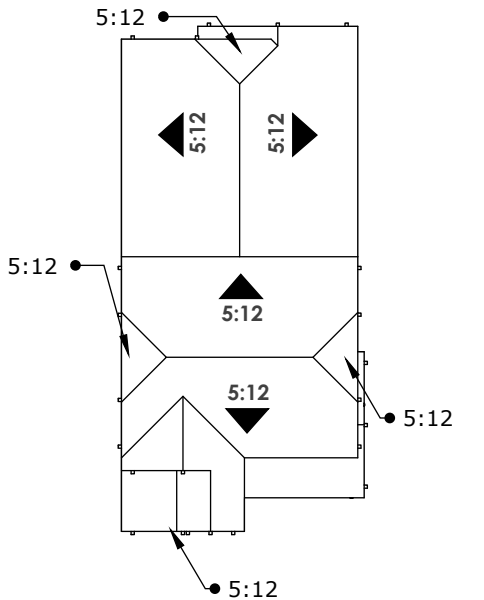
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"



35' :: MKT SPEC2

**PLAN 3**

LIV. SF: 2,846  
 PLAN WxD: 34'-11" x 74'-11"  
 PLAN #: 8065  
 PLAN NAME: REINE  
 FORM XA - HACIENDA



ROOF PLAN | SCALE: N.T.S.

FORM XA - HACIENDA  
 FRONT VIEW: N.T.S.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"

**STYLE LEGEND:**

- 1 PROMINENT GABLES, HIPS & CLIPS
- 2 CONCRETE 'S' TILES
- 3 12" RAKES AND 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



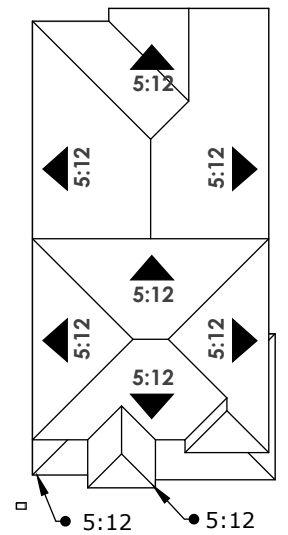
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 3**

LIV. SF: 2,846  
 PLAN WxD: 34'-11" x 70'-11"  
 PLAN #: 8065  
 PLAN NAME: REINE  
 FORM ZA - CONTEMPORARY



FORM ZA - CONTEMPORARY  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT HIPS
- 2 CONCRETE 'T' TILES
- 3 12" EAVES
- 4 DECORATIVE SIDING
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 3 (OPTIONS)**

LIV. SF: 2,846

PLAN WxD: 34'-11" x 70'-11"

PLAN #: 8065

PLAN NAME: REINE

OPT. MULTI SGD



FORM ZA - CONTEMPORARY

REAR ELEVATION

SCALE: 3/32" = 1'0"



FORM XA - HACIENDA

REAR ELEVATION

SCALE: 3/32" = 1'0"

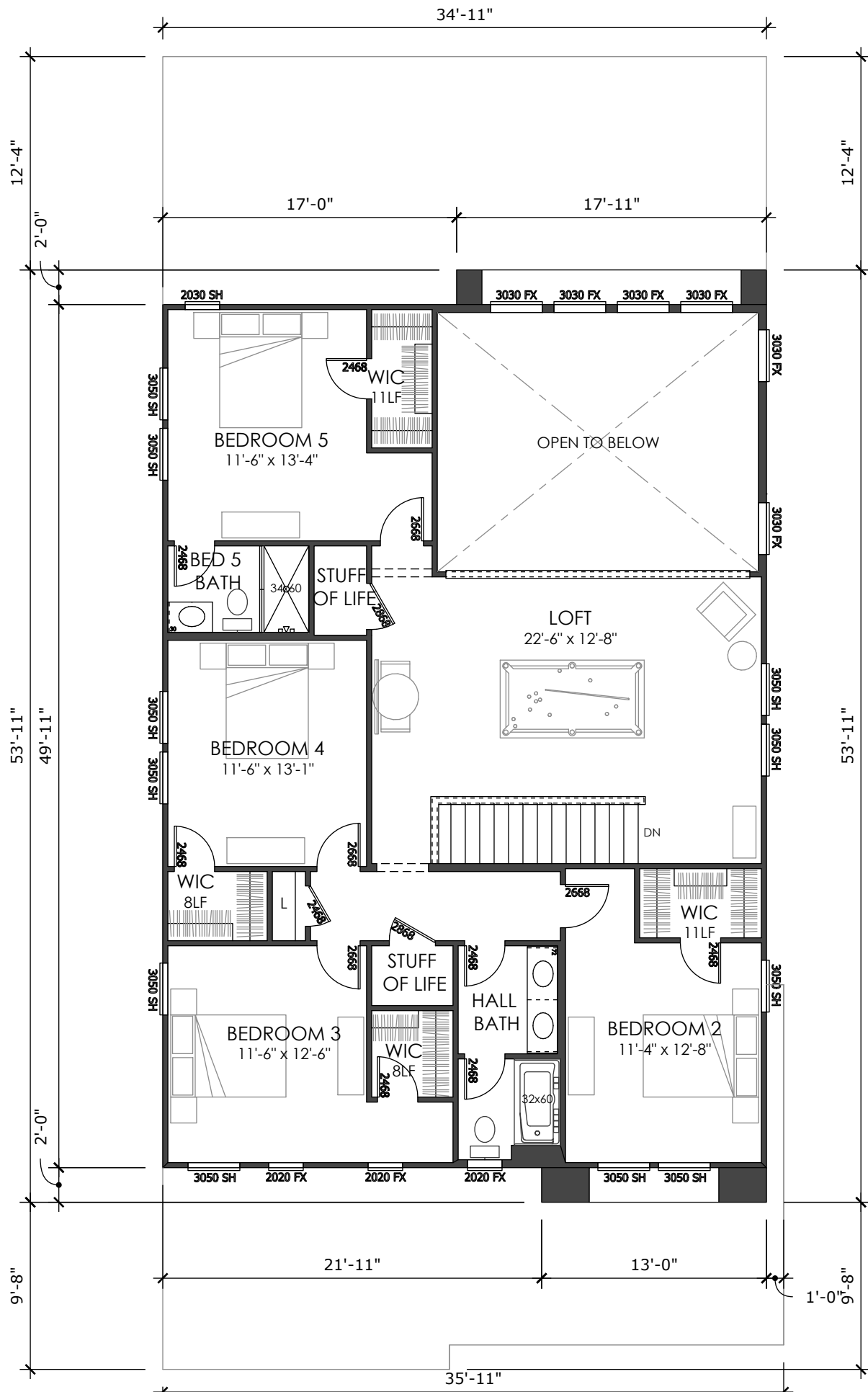


FORM UA - SPANISH MODERN

REAR ELEVATION

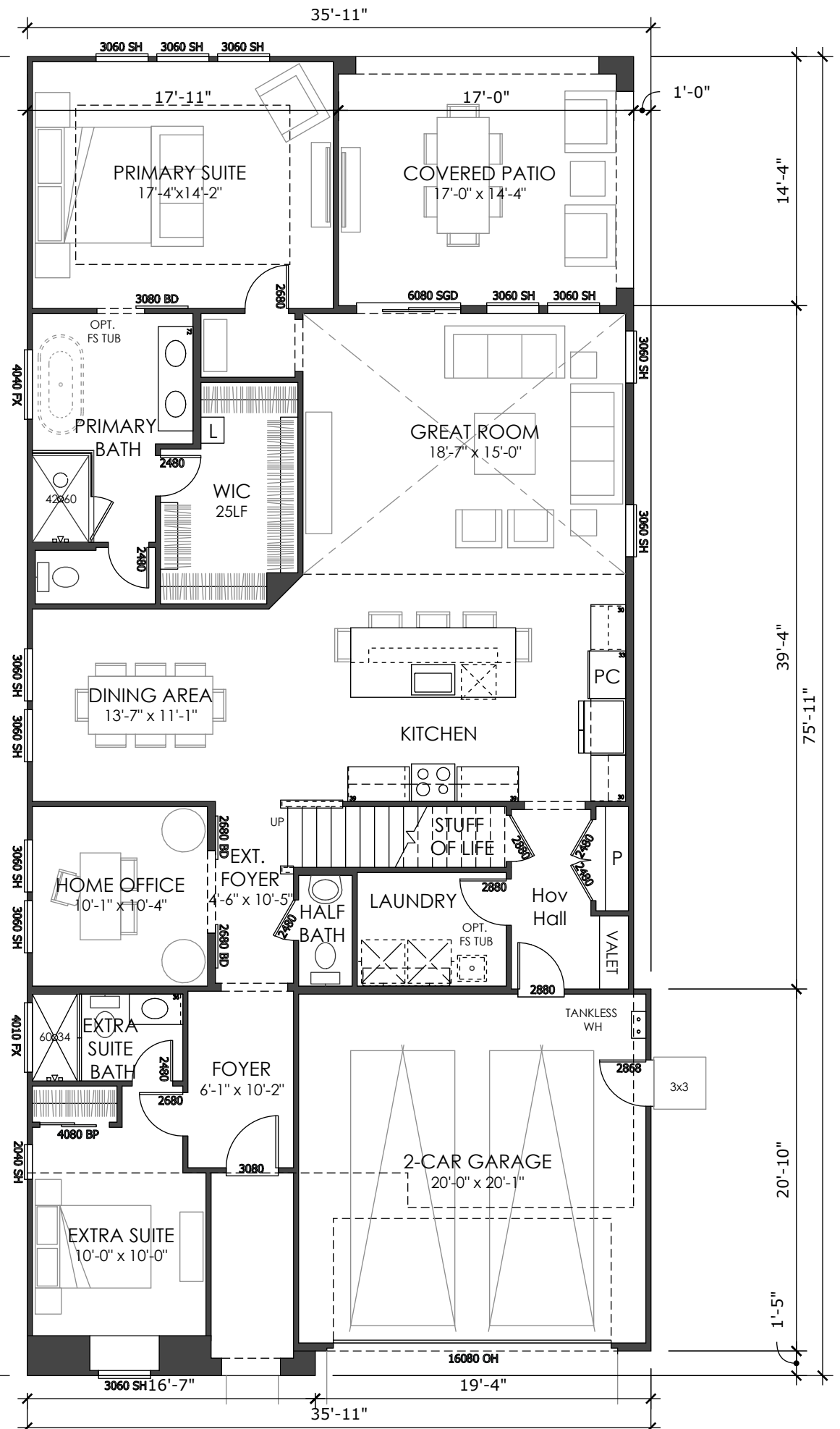
SCALE: 3/32" = 1'0"





**Viviendo :: Chandler, AZ**

**SECOND FLOOR PLAN  
UA - SPANISH MODERN**



**FIRST FLOOR PLAN  
UA - SPANISH MODERN**

35' MARKET RATE :: SP-2

**PLAN 4**

**LIV. SF:** 3,352  
**PLAN W x D:** 34'-11" x 75'-11"  
**PLAN #:** 8083  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** VIENNE

**VITAL STATS**  
 BEDROOM: 6  
 BATH: 4.5  
 CAR: 2  
 CEILING: 9' | 9'  
 WINDOW HDR: 8' | 8'

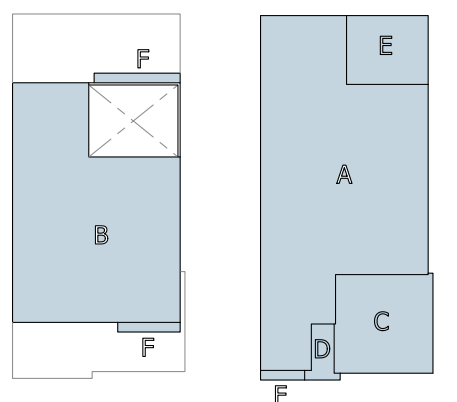
**STATUS |** NTL PORTFOLIO PLAN

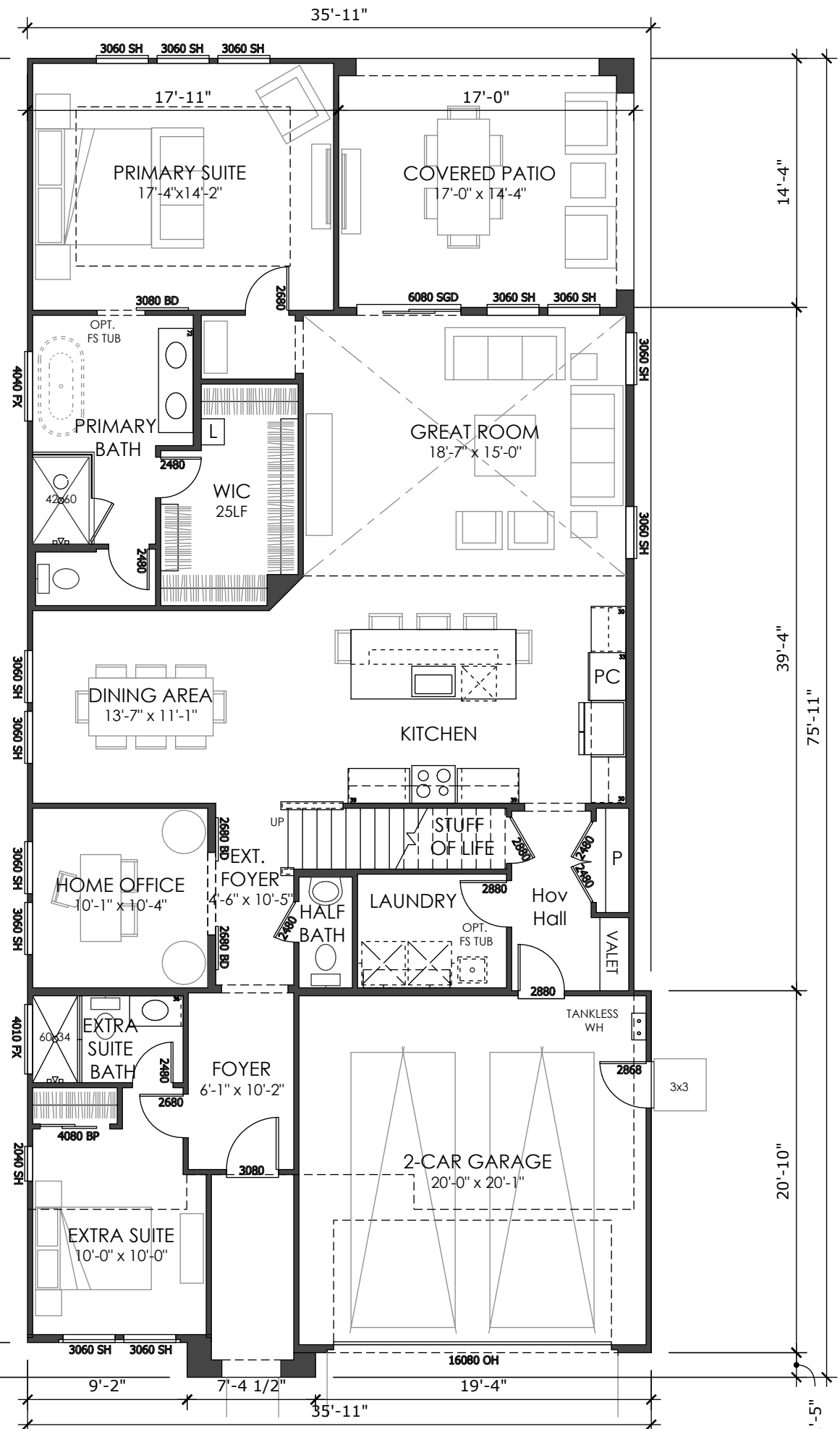
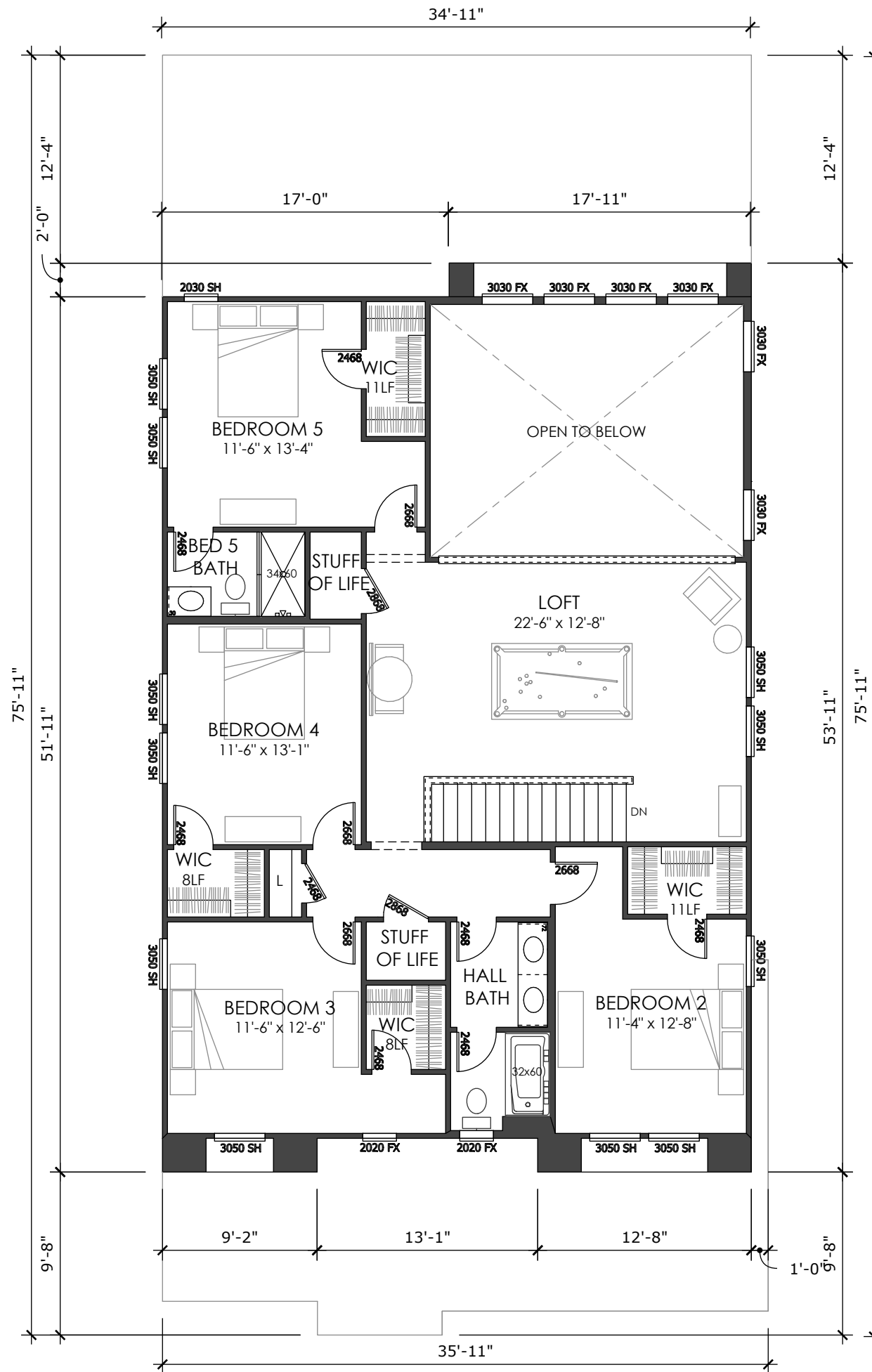
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 3,352  
 (A) 1ST FLR LIVABLE: 1,903  
 (B) 2ND FLR LIVABLE: 1,449  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
 ELEVATION UA: 60  
 ELEVATION XA: 60  
 ELEVATION ZA: 60

(E) COVERED PATIO: 244  
 (F) ARCH. PROJECTION:  
 ELEVATION UA: 80  
 ELEVATION XA: 80  
 ELEVATION ZA: 87

**(UA)MAX FOOTPRINT: 2,627**

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,627 /5,152 = 50.9%





**FIRST FLOOR PLAN  
XA - HACIENDA**

35' MARKET RATE :: SP-2

**PLAN 4**

**LIV. SF:** 3,352  
**PLAN W x D:** 34'-11" x 75'-11"  
**PLAN #:** 8083  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** VIENNE

**VITAL STATS**  
 BEDROOM 6  
 BATH 4.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

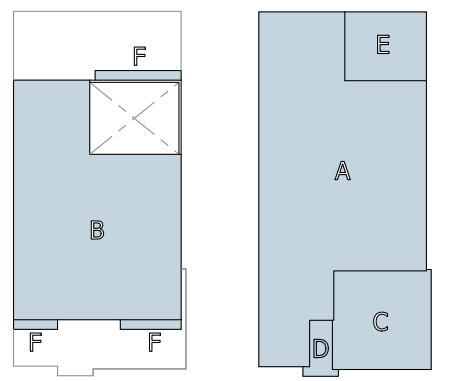
**STATUS |** NTL PORTFOLIO PLAN

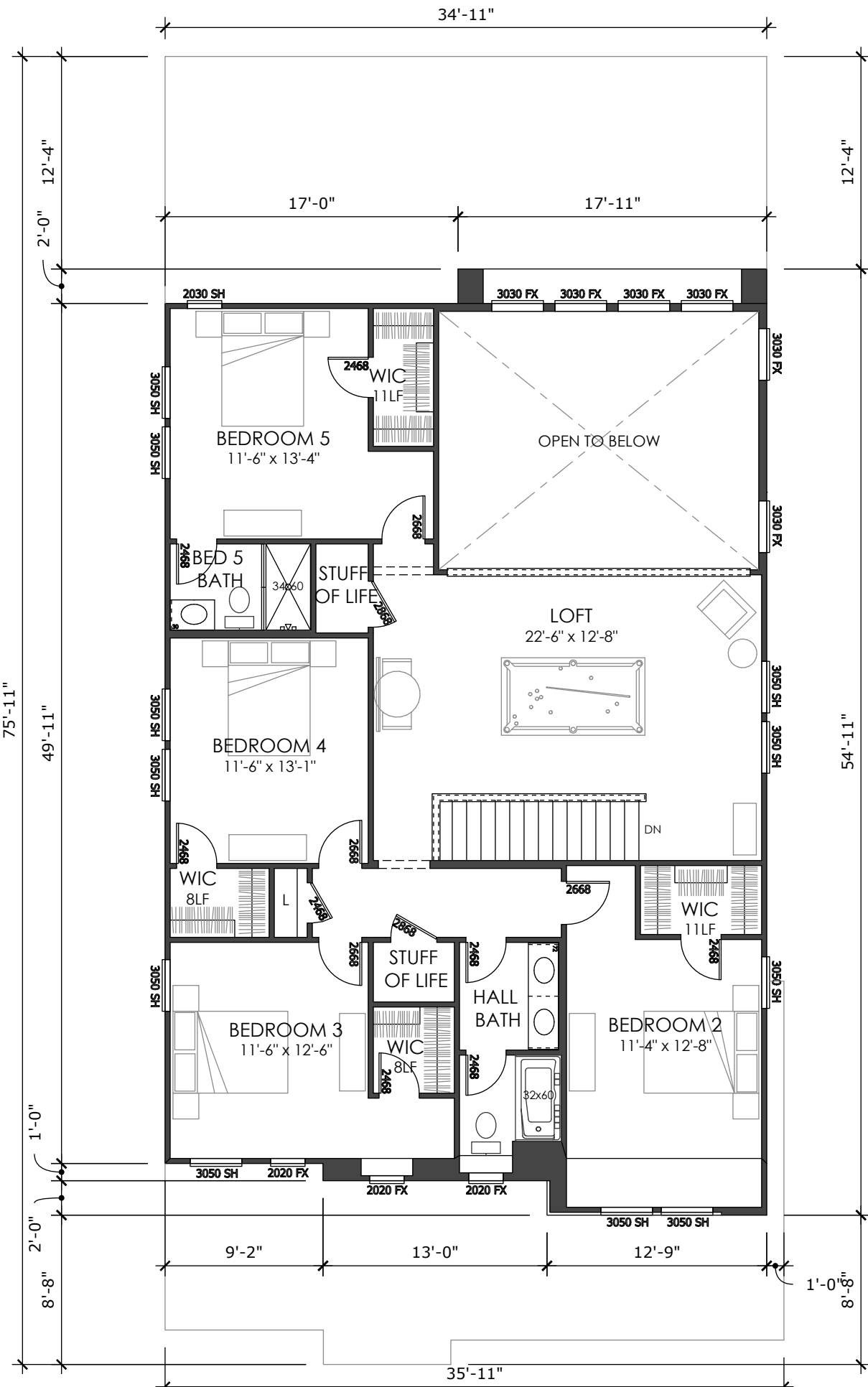
**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 3,352  
 (A) 1ST FLR LIVABLE: 1,903  
 (B) 2ND FLR LIVABLE: 1,449  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
     **ELEVATION UA:** 60  
     ELEVATION XA: 60  
     ELEVATION ZA: 60

(E) COVERED PATIO: 244  
 (F) ARCH. PROJECTION:  
     **ELEVATION UA:** 80  
     ELEVATION XA: 80  
     ELEVATION ZA: 87

**(UA)MAX FOOTPRINT: 2,627**

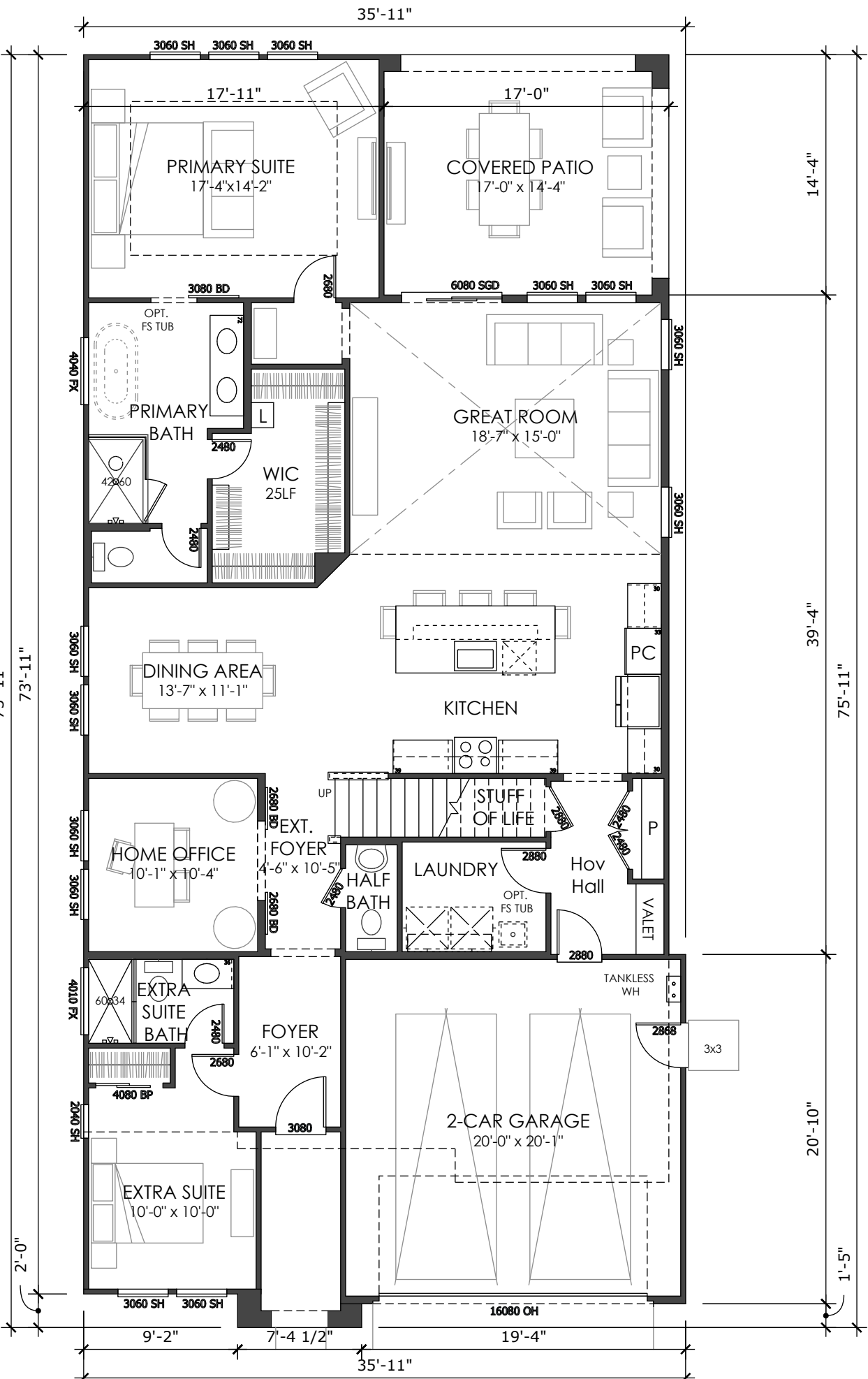
**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,627 /5,152 = 50.9%





**Viviendo :: Chandler, AZ**

**SECOND FLOOR PLAN  
ZA - CONTEMPORARY**



**FIRST FLOOR PLAN  
ZA - CONTEMPORARY**

35' MARKET RATE :: SP-2

**PLAN 4**

**LIV. SF:** 3,352  
**PLAN W x D:** 34'-11" x 75'-11"  
**PLAN #:** 8083  
**SCALE:** 1/8" = 1'-0"  
**PLAN NAME:** VIENNE

**VITAL STATS**  
 BEDROOM 6  
 BATH 4.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

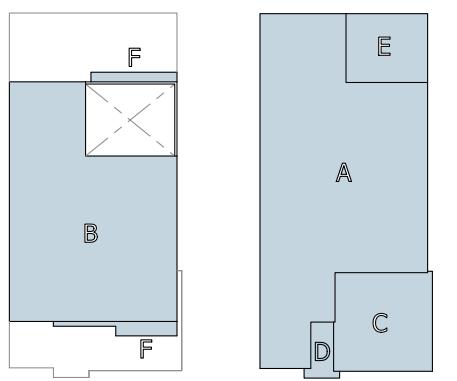
**STATUS |** NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A):** 3,352  
 (A) 1ST FLR LIVABLE: 1,903  
 (B) 2ND FLR LIVABLE: 1,449  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
 ELEVATION UA: 60  
 ELEVATION XA: 60  
 ELEVATION ZA: 60

(E) COVERED PATIO: 244  
 (F) ARCH. PROJECTION:  
 ELEVATION UA: 80  
 ELEVATION XA: 80  
 ELEVATION ZA: 87

**(UA)MAX FOOTPRINT: 2,627**

**TYP LOT SIZE |** 46'x112' ( SF)  
**LOT COVERAGE ALLOWED |** 60.0%  
**LOT COVERAGE |** 2,627 /5,152 = 50.9%



### PLAN 4 (OPTIONS)

LIV. SF: **3,352**  
 PLAN W x D: **34'-11" x 75'-11"**  
 PLAN #: 8083  
 SCALE: 1/8" = 1'-0"  
 PLAN NAME: **VIENNE**

**VITAL STATS**  
 BEDROOM 6  
 BATH 4.5  
 CAR 2  
 CEILING 9' | 9'  
 WINDOW HDR 8' | 8'

STATUS | NTL PORTFOLIO PLAN

**AREA S.F. BREAKDOWN**  
**MAX. LIVABLE (A): 3,352**  
 (A) 1ST FLR LIVABLE: 1,903  
 (B) 2ND FLR LIVABLE: 1,449  
 (C) 2 CAR GARAGE: 420  
 (D) COVERED ENTRY:  
     ELEVATION UA: **60**  
     ELEVATION XA: 60  
     ELEVATION ZA: 60

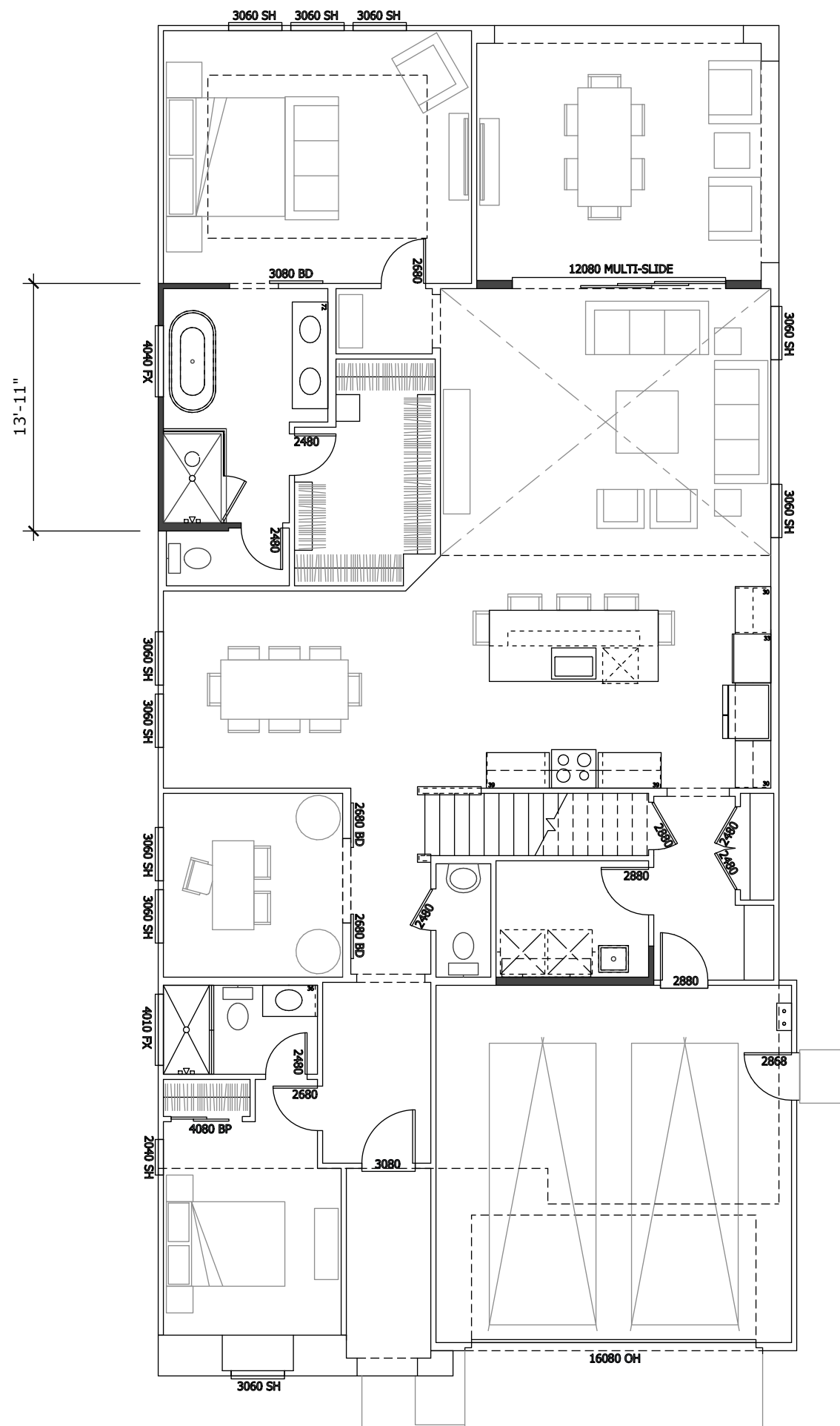
(E) COVERED PATIO: 244  
 (F) ARCH. PROJECTION:  
     ELEVATION UA: **80**  
     ELEVATION XA: 80  
     ELEVATION ZA: 87

(UA)MAX FOOTPRINT: **2,627**

TYP LOT SIZE | 46'x112' ( SF)  
 LOT COVERAGE ALLOWED | 60.0%  
 LOT COVERAGE | 2,627 /5,152 = 50.9%

OPTION :: 12080 MULTI-SLIDE  
 OPTION :: FREESTANDING TUB AT PRIMARY BATH  
 OPTION :: FREESTANDING TUB AT LAUNDRY

FIRST FLOOR OPTIONS  
 UA - SPANISH MODERN



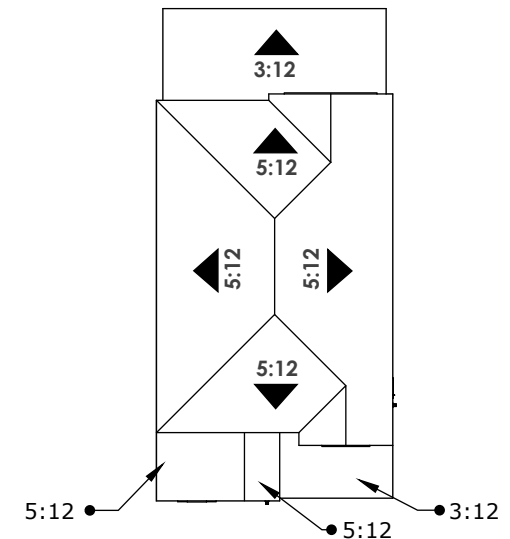


**PLAN 4**

LIV. SF: 3,352  
 PLAN WxD: 34'-11" x 75'-11"  
 PLAN #: 8083  
 PLAN NAME: VIENNE  
 FORM UA - SPANISH MODERN



FORM UA - SPANISH MODERN  
 FRONT VIEW: N.T.S.



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT GABLES
- 2 CONCRETE 'FLAT' TILES
- 3 FLUSH RAKE 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE RECESSED WINDOWS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



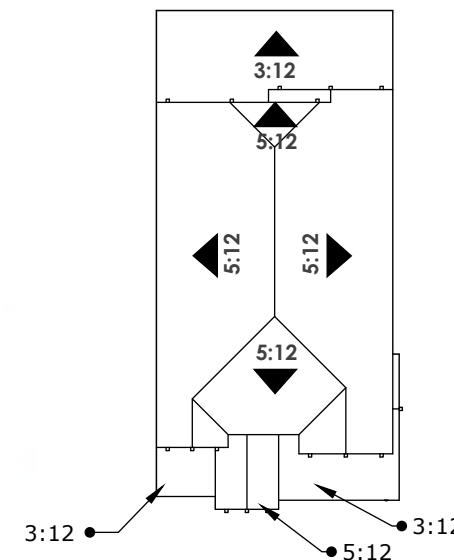
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"



35' :: MKT SPEC2

**PLAN 4**

LIV. SF: 3,352  
 PLAN WxD: 34'-11" x 75'-11"  
 PLAN #: 8083  
 PLAN NAME: VIENNE  
 FORM XA - HACIENDA



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT GABLES, HIPS & CLIPS
- 2 CONCRETE 'S' TILES
- 3 12" RAKES AND 12" EAVES
- 4 DECORATIVE GABLE DETAILS
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

FORM XA - HACIENDA  
 FRONT VIEW: N.T.S.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



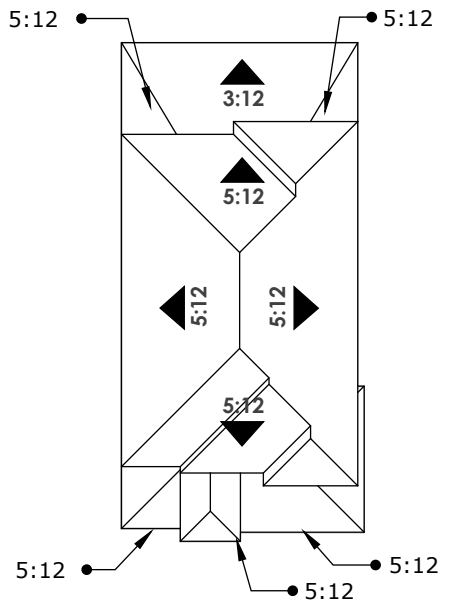
FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"



35' :: MKT SPEC2

**PLAN 4**

LIV. SF: 3,352  
 PLAN WxD: 34'-11" x 75'-11"  
 PLAN #: 8083  
 PLAN NAME: VIENNE  
 FORM ZA - CONTEMPORARY



ROOF PLAN | SCALE: N.T.S.

**STYLE LEGEND:**

- 1 PROMINENT HIPS
- 2 CONCRETE 'T' TILES
- 3 12" EAVES
- 4 DECORATIVE SIDING
- 5 DECORATIVE STONE ACCENTS
- 6 PLATE HEIGHT - 9'-1" A.S.F.F. / 9'-1" A.F.F.
- 7 WINDOW HEADER - 8'-0" / 8'-0" A.F.F.

FORM ZA - CONTEMPORARY  
 FRONT VIEW: N.T.S.



RIGHT ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
 SCALE: 3/32" = 1'-0"



FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

**PLAN 4 (OPTIONS)**

LIV. SF: 3,352

PLAN WxD: 34'-11" x 75'-11"

PLAN #: 8083

PLAN NAME: VIENNE

OPT. MULTI SGD



FORM ZA - CONTEMPORARY

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM XA - HACIENDA

REAR ELEVATION  
SCALE: 3/32" = 1'0"



FORM UA - SPANISH MODERN

REAR ELEVATION  
SCALE: 3/32" = 1'0"

<p>RECESSED GARAGE DOOR</p>	<p>U10 RECESSED WINDOW W/SHUTTERS</p>	<p>U7 STUCCO TRIM @ (1)WINDOW</p>	<p>U4 GABLE DETAIL 1-TILE</p>
	<p>NOTE: RECESS VARIES PER PLAN (3" OR GREATER)</p>		
<p>U14 ENTRY DOOR</p>	<p>U11 RECESSED (2)WINDOW</p>	<p>U8 STUCCO TRIM @ (2)WINDOW</p>	<p>U5 GABLE DETAIL 2-TILE</p>
<p>U15 ENTRY DOOR W/TRANSOM</p>	<p>U12 ENTRY DOOR</p>	<p>U9 STUCCO TRIM @ (1)WINDOW W/SUTTERS</p>	<p>U6 TAPER RECESSED GABLE DETAIL</p>

SPANISH MODERN EXTERIOR DETAILS  
SCALE: NTS



<p>NOTE: DOOR HARDWARE PER SPECS</p>	<p>NOTE: RECESS VARIES PER PLAN (3" OR GREATER)</p>			
<p>RECESSED GARAGE DOOR W/STONE X10</p>	<p>RECESSED WINDOW W/SHUTTERS X7</p>	<p>STUCCO TRIM @ (1)WINDOW X4</p>	<p>CORBEL DETAIL X1</p>	
	<p>NOTE: RECESS VARIES PER PLAN (3" OR GREATER)</p>			
<p>X14</p>	<p>ENTRY DOOR W/TRANSOM X11</p>	<p>RECESSED WINDOW W/STONE X8</p>	<p>STUCCO TRIM @ (2)WINDOW X5</p>	<p>CORBEL DETAIL @ GABLE X2</p>
				<p>X15</p>
<p>X15</p>	<p>ENTRY DOOR W/TRANSOM X12</p>	<p>ENTRY DOOR W/TRANSOM X9</p>	<p>STUCCO TRIM @ (1)WINDOW W/SHUTTERS X6</p>	<p>CORBEL DETAIL @ GABLE END X3</p>

HACIENDA EXTERIOR DETAILS  
SCALE: NTS



<p>RECESSED GARAGE DOOR</p>	<p>Z10</p>	<p>STUCCO TRIM @ (2)WINDOW</p>	<p>Z7</p>	
		<p>NOTE: RECESS VARIES PER PLAN (2" DEEP RECESS CONDITION)</p>		
<p>Z14</p>	<p>ENTRY DOOR W/TRANSOM</p>	<p>Z11</p>	<p>RECESSED WINDOW</p>	<p>Z8</p>
		<p>NOTE: RECESS VARIES PER PLAN (3" DEEP OR GREATER)</p>		
<p>Z15</p>	<p>ENTRY DOOR W/TRANSOM</p>	<p>Z12</p>	<p>TAPERED RECESSED WINDOW</p>	<p>Z9</p>
			<p>(2030 SH) WINDOW W/SUTTERS</p>	<p>Z4</p>
			<p>(2040 SH) WINDOW W/SUTTERS</p>	<p>Z5</p>
			<p>(2050 SH) WINDOW W/SUTTERS</p>	<p>Z6</p>
				<p>Z2</p>
				<p>Z3</p>
				<p>Z1</p>

CONTEMPORARY EXTERIOR DETAILS  
SCALE: NTS









*Viviendo*





**LEGAL DESCRIPTION (PER TITLE REPORT):**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED CHANDLER, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:  
THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 23;  
THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE NORTH LINE OF SAID SECTION 23, A DISTANCE OF 830.04 FEET;  
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 730.00 FEET;  
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 840.08 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 23;

THENCE NORTH 00 DEGREES 47 MINUTES 15 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 730.07 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PORTION LYING WITHIN GENEVA ESTATES MAP OF DEDICATION RECORDED IN BOOK 746 OF MAPS, PAGE 14.

PARCEL NO. 2:  
THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 23,  
THENCE SOUTH 00 DEGREES 47 MINUTES 15 SECONDS WEST, ALONG THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 730.07 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, LEAVING SAID WESTERLY LINE, A DISTANCE OF 385.04 FEET;

THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 592.18 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 23;

THENCE SOUTH 89 DEGREES 58 MINUTES 26 SECONDS WEST A DISTANCE OF 393.18 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 23;

THENCE NORTH 00 DEGREES 47 MINUTES 20 SECONDS EAST, ALONG SAID WESTERLY LINE A DISTANCE OF 592.42 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PORTION LYING WITHIN GENEVA ESTATES MAP OF DEDICATION RECORDED IN BOOK 746 OF MAPS, PAGE 14, AND EXCEPT ANY PORTION LYING WITHIN "GENEVA ESTATES," ACCORDING TO THE PLAT RECORDED IN BOOK 761 OF MAPS, PAGE 9.

**NOTES:**  
VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURED OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 8' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

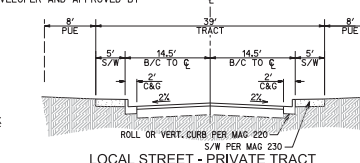
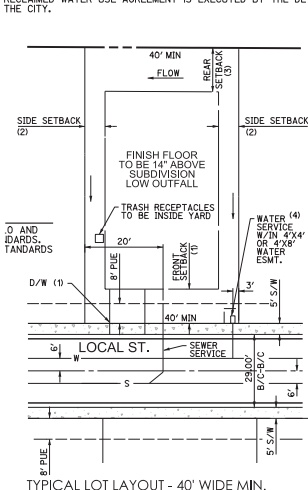
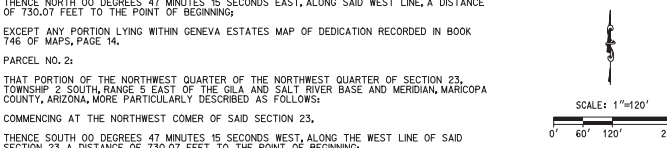
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

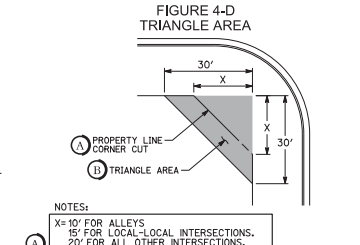
THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

# PRELIMINARY PLAT FOR VIVIENDO

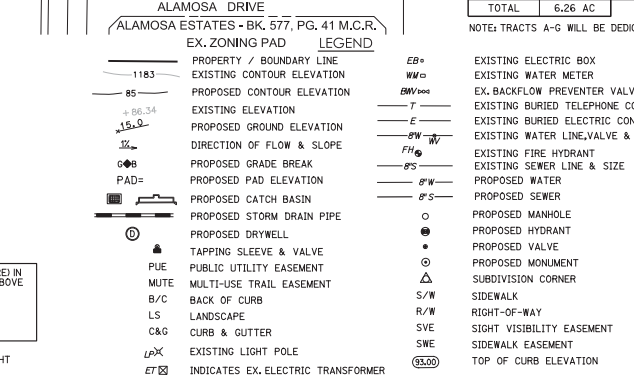
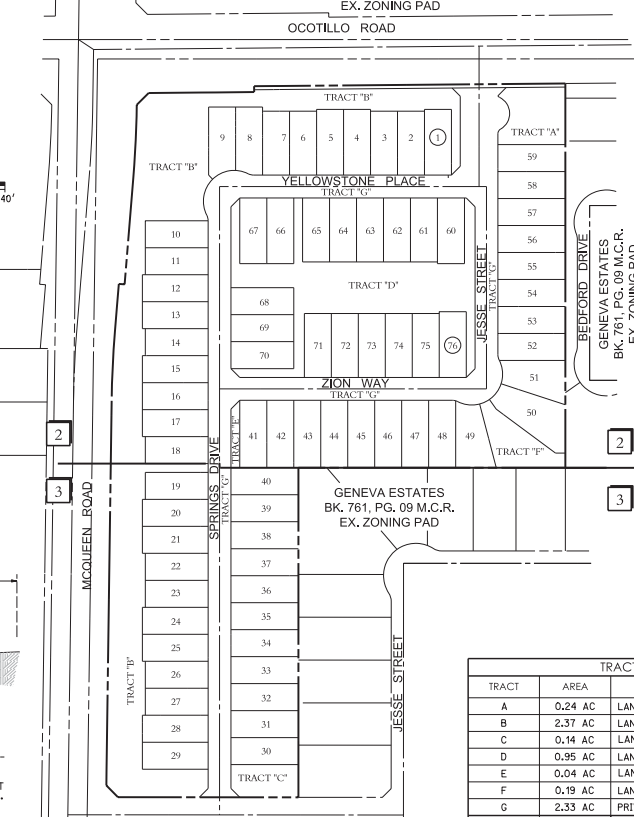
LOCATED IN A PORTION SECTION 23, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA  
PASEO VISTA VILLAGE - BK. 1370, PG. 47 M.C.R.  
EX. ZONING PAD



THE CITY'S MUNICIPAL CODE CHAPTER 48-10.2 (PUBLIC WORKS - SUBDIVISION SPECIFIES A RANGE OF TRIANGULAR CUTOFFS FOR THE CORNER PROPERTY LINE AT INTERSECTIONS. ADDITIONALLY, FIGURE 4-D BELOW REQUIRES THAT THE 30'x30' AREA BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN 2' AND 6' IN HEIGHT.



**NOTES:**  
X=10' FOR ALLEYS  
15' FOR LOCAL LOCAL INTERSECTIONS.  
20' FOR ALL OTHER INTERSECTIONS.  
PER MUNICIPAL CODE CHAPTER 48-10.2  
GROUND COVER, FLOWERS, AND GRANITE LESS THAN 2' (MATURE) IN HEIGHT AND/OR TREES WITH BRANCHES NOT LESS THAN 6' ABOVE GROUND IN THIS AREA.  
TREES SHALL NOT BE SPACED LESS THAN 8' APART  
PER MUNICIPAL CODE CHAPTER 35-2205  
SEE STANDARD DETAIL NO. C-246, C-247 AND C-248 FOR SIGHT DISTANCE REQUIRED AT DRIVEWAYS AND INTERSECTIONS.



**APPLICANT/OWNER/DEVELOPER:**  
K HONANIAN GREAT WESTERN HOMES, LLC  
20830 N. TATUM BLVD., SUITE 250  
PHOENIX, AZ 85050

**ENGINEER:**  
3 ENGINEERING  
6370 E. THOMAS ROAD  
SUITE 200  
SCOTTSDALE, ARIZONA 85251  
CONTACT: MATTHEW J. MANCINI, P.E.  
PHONE: (602) 334-4387  
EMAIL: MATT@3ENGINEERING.COM

**ASSESSORS PARCEL NO.**  
APN 303-45-011B

**FLOODPLAIN INFORMATION:**  
FIRM: 04013C3102M  
PANEL NUMBER: 3102  
PANEL DATE: 11/04/2015  
SUFFIX: M  
FIRM DATE: 11/04/2015  
FIRM ZONE: X-(SHADED)  
BASE FLOOD ELEV.: N/A  
MISCELLANEOUS NOTES:

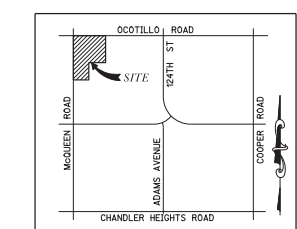
RETAINING WALL HEIGHTS TO BE DETERMINED AT FINAL DESIGN.  
STREET LIGHTS TO BE DETERMINED AT FINAL DESIGN.  
NATIVE PLANT INVENTORY TO BE COMPLETED DURING FINAL DESIGN.  
ALL SIDEWALKS AND ADA RAMPS ALONG THE ENTIRE PROPERTY FRONTAGE OF OCCOTILLO, MCOUEEN & ALAMOSA WILL BE EVALUATED AND WE WILL BE REQUIRED TO BE REPLACED TO MEET CURRENT CITY STANDARDS.  
REPLACE ANY DEFECTIVE STORMWATER PIPE, HEADWALLS, SCUPPER/SPILLWAYS OR FLARED END SECTIONS THAT DISCHARGE INTO THE BASINS

**TRACT AREA AND USE TABLE**

TRACT	AREA	USE
A	0.24 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
B	2.37 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
C	0.14 AC	LANDSCAPE, PUE
D	0.95 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
E	0.04 AC	LANDSCAPE, PUE
F	0.19 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
G	2.33 AC	PRIVATE STREET, WATER/SEWER/DRAIN, EMERG. ACCESS
TOTAL	6.26 AC	

NOTE: TRACTS A-G WILL BE DEDICATED TO THE HOMEOWNERS' ASSOCIATION.

**TRAFFIC SIGNAL NOTE:**  
POLE ON SE NEEDS TO BE REPLACED WITH A COC #14 IPFC POLE AND 55' MAST ARM. ADDITIONAL F HEADS NEED TO BE ADDED TO ALL FOUR MAST ARMS TO ALIGN WITH TRAFFIC LANS AND MEET COC DESIGN STD. POLE ON NW CORNER NEEDS TO HAVE MAST ARM UPGRADE TO 55' MAST ARM. FYA HEADS NEED TO BE ADDED TO ALL FOUR MAST ARMS. PED PUSH BUTTONS NEED TO BE UPGRADED TO AFL. CURB RAMPS AND PED BUTTON PLACEMENT NEEDS TO MEET ADA.



**BENCHMARK:**  
CITY OF CHANDLER  
SEMN CNCR 47B  
SECTION 23, RANGE 5, 3RD CITY OF CHANDLER BRASS CAP IN CONCRETE FLUSH AT THE INTERSECTION OF LANTANA RANCH BLVD AND YELLOWSTONE PLACE 1320' EAST OF MCOUEEN RD AND 280' SOUTH OF OCCOTILLO RD (NORTHING: 81757.585, EASTING: 72757.926)  
ELEV.=1232.50 NAVD '88

**THE BASIS OF BEARING:**  
THE BASIS OF BEARING IS THE WEST LINE OF SECTION 23, BEARS SOUTH 60 DEGREES 47 MINUTES 15 SECONDS WEST PER LEGAL DESCRIPTION.

**SITE DATA:**  
TOTAL LOTS: 76  
NET AREA: 13.00 ACRES  
GROSS AREA: 16.40 ACRES  
GROSS DENSITY: 4.94 DU/AC  
MAX. BLDG. HEIGHT: 30' (2-STORY)  
SETBACKS: SEE TYPICAL LOT DETAIL ON SHEET 4  
AREA OF LOTS: 9.07 ACRES  
AREA OF OPEN SPACE: 3.93 ACRES  
AREA OF OPEN SPACE (24.48% GROSS, 36.86% NET): 2.33 ACRES  
STREETS TRACTS: 0.07 ACRES  
AREA OF NEW R/W: 0.07 ACRES  
LOT SALES PROPOSED: PAD  
EX. ZONING: PAD FOR SINGLE FAMILY RESIDENTIAL  
PROPOSED ZONING: PAD FOR SINGLE FAMILY RESIDENTIAL  
LOT COVERAGE: 60%

**PHASING NOTE:**  
THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE. ALL INFRASTRUCTURE WILL BE COMPLETED IN ONE PHASE.

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
PP01	COVER SHEET
PP02-PP03	PRELIMINARY PLAT SHEETS

**LOT TABLE**

LOT #	AREA (SQ)	AREA (ACRES)	LOT #	AREA (SQ)	AREA (ACRES)
1	5,152	0.11	39	5,290	0.12
2	5,014	0.11	40	5,282	0.12
3	5,014	0.11	41	5,290	0.12
4	5,152	0.12	42	5,290	0.12
5	5,152	0.12	43	5,290	0.12
6	5,014	0.11	44	5,290	0.12
7	5,014	0.11	45	5,290	0.12
8	5,202	0.12	46	5,290	0.12
9	5,219	0.12	47	5,290	0.12
10	4,922	0.11	48	5,285	0.12
11	4,922	0.11	49	5,991	0.13
12	5,152	0.12	50	8,265	0.19
13	5,152	0.12	51	6,275	0.14
14	4,922	0.11	52	5,282	0.12
15	5,152	0.12	53	5,290	0.12
16	5,152	0.12	54	5,290	0.12
17	5,152	0.12	55	5,290	0.12
18	4,922	0.11	56	5,290	0.12
19	4,922	0.11	57	5,290	0.12
20	5,152	0.12	58	5,290	0.12
21	5,152	0.12	59	5,290	0.12
22	4,922	0.11	60	5,152	0.12
23	4,922	0.11	61	5,014	0.11
24	5,152	0.12	62	5,014	0.11
25	5,152	0.12	63	5,014	0.11
26	4,922	0.11	64	5,014	0.11
27	4,922	0.11	65	5,014	0.11
28	5,152	0.12	66	5,152	0.12
29	5,152	0.12	67	5,152	0.12
30	5,290	0.12	68	4,922	0.11
31	5,290	0.12	69	4,922	0.11
32	5,290	0.12	70	4,922	0.11
33	5,290	0.12	71	5,014	0.11
34	5,290	0.12	72	5,014	0.11
35	5,290	0.12	73	5,014	0.11
36	5,290	0.12	74	5,014	0.11
37	5,290	0.12	75	5,014	0.11
38	5,290	0.12	76	5,152	0.12

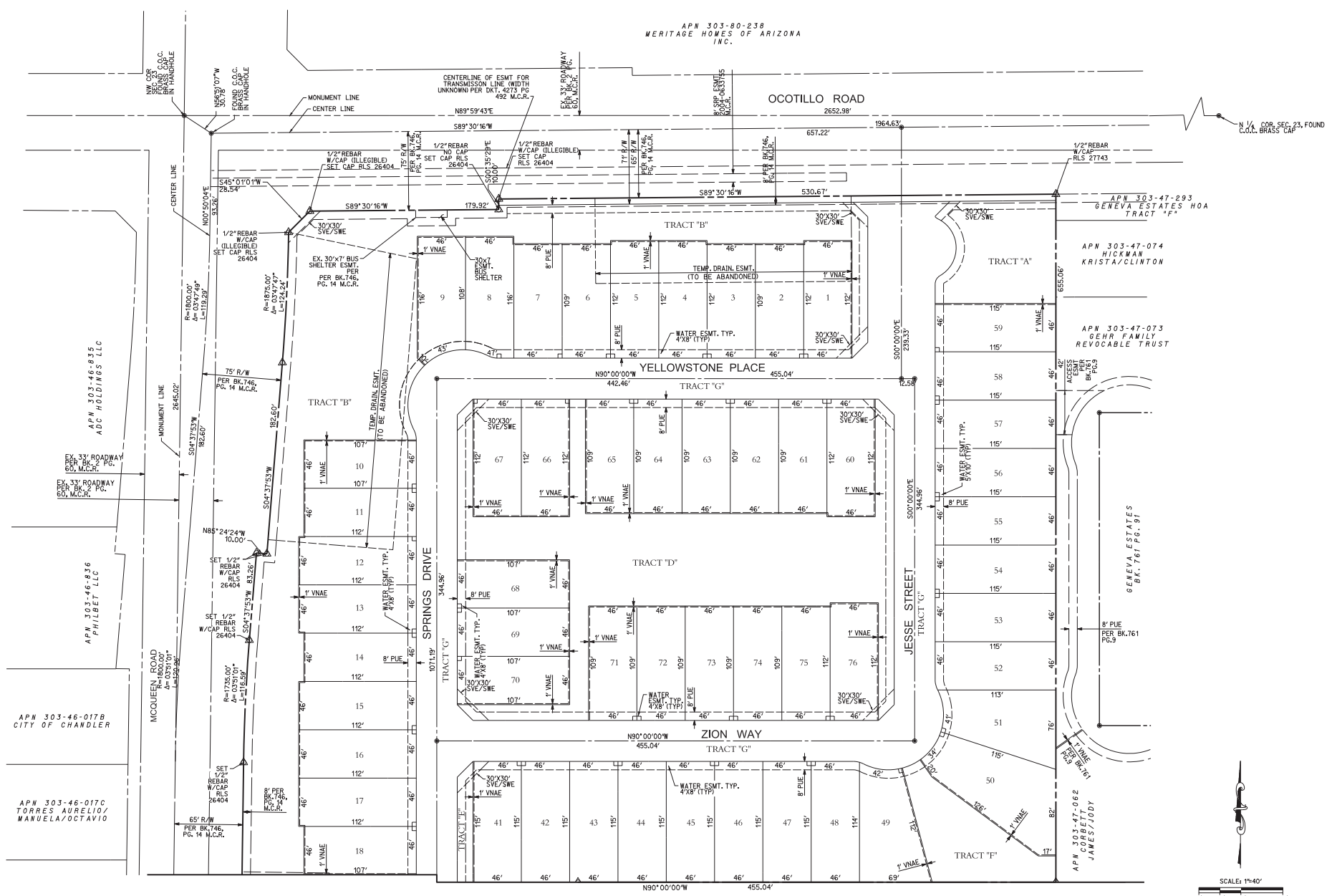
**VIVIENDO CHANDLER, ARIZONA COVER SHEET**

**3eengineering**  
CIVIL ENGINEERING  
15000 N. TATUM BLVD., SUITE 250  
PHOENIX, ARIZONA 85050  
PHONE: (602) 334-4387  
WWW.3EENGINEERING.COM

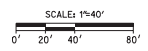
DATE: 03/20/2024  
PROJECT NO: 5287  
SHEET NO: PP01  
1 of 3

C.O.C. LOG. NO. PLT23-0022

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MATCHLINE - SEE SHEET PP03



CIVIL ENGINEERING  
 4622 N. MANTON  
 SUITE 100  
 CHANDLER, ARIZONA 85226  
 PHONE: 480-948-8887  
 FAX: 480-948-8888  
 WWW.SOEENGINEERING.COM

PLANNING CIVIL ENGINEERING SURVEYING  
 LICENSED PROFESSIONAL ENGINEER  
 LICENSE NO. 123123123  
 EXPIRES: 12/31/2024  
 COPYRIGHT: 2024 SOE ENGINEERING, LLC

DATE: 6/20/24  
 PROJECT NO.: 5287  
 SHEET NO.: PP02  
 2 of 3

VIVIENDO  
 CHANDLER, ARIZONA  
 PRELIMINARY PLAT

C.O.C. LOG. NO. PLT23-0022



**From:** [Stephanie Barton](#)  
**To:** [Sarah Prince](#)  
**Cc:** [harley.mehlhorn@chandleraz.gov](mailto:harley.mehlhorn@chandleraz.gov)  
**Subject:** Case PLH23-0056  
**Date:** Friday, December 15, 2023 6:24:32 AM

---

Hello,

I am writing because I was not able to attend last nights meeting. I live in Alamosa Estates and I reviewed your rendering for the proposed neighborhood and strongly encourage you to add additional exits not just one single exit onto Alamosa. Currently two developments feed onto this street, There should be an exit out onto McQueen or Ocotillo but not a single exit for traffic to back up two other developments. I am asking you to reconsider your design, this will cause traffic and vehicles cutting through our quiet development where many young children play and put us at a safety risk!!

Thank you,  
Stephanie Barton

## Lauren Schumann

---

**From:** jay keck <jkeck627@outlook.com>  
**Sent:** Sunday, March 31, 2024 9:05 AM  
**To:** Lauren Schumann  
**Subject:** Public Hearing PLH24-0012/PLH23-0056/PLT23-0022

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Need to Log

I wanted to voice my strong support for the rezoning of the land located at the southeast corner of Ocotillo and McQueen roads. I live within ¼ radius of the site and would welcome the current vacant land (and eyesore) to be built out into a nice subdivision.

Thank you,  
Jay Keck  
3931 S Laurel Way  
Chandler, AZ

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## Lauren Schumann

---

**From:** Mark Keller <makeller01@cox.net>  
**Sent:** Sunday, March 31, 2024 4:41 PM  
**To:** Lauren Schumann  
**Subject:** PLH24-0012/PLH23-0056/PLT23-0022 Viviendo- Ocotillo and McQueen Roads

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Red category, Public Outreach

Hello Ms. Schumann,

This parcel has been vacant for well over 25 years. It is time to develop this parcel with a needed single-family housing development. The neighborhood needs to complete one of the remaining parcels in this area. The planning of this parcel has gone through many iterations and different types of development. A 76-lot subdivision would be congruent to the neighborhood and is needed to address the current housing shortage. Would the access point on Alamosa Drive be a secondary and emergency ingress/egress? If not, this collector street would have three ingress/egress points for three subdivisions. Could result in a significant amount of traffic. Overall, this subdivision appears to be a great fit with the adjacent neighborhoods. Thanks.

Mark Keller  
1203 East Coconino Drive  
Chandler, AZ 85249

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## Lauren Schumann

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**From:** Richard January <DickJ912@outlook.com>  
**Sent:** Friday, March 29, 2024 9:54 PM  
**To:** Lauren Schumann  
**Subject:** PLH24-0012/PLH23-0056/PLT23-0023 VIVIENDO

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

How can I get a look at the plan for this development? A 76 lot subdivision on 15.4 acres seems inconsistent with the surrounding area.

Thank you for your assistance.

Richard January  
1413 East Zion Way  
Geneva Estates  
(603)831-8883 (cell)  
Sent from my iPad

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## Lauren Schumann

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**From:** Ronald Palmer <deadman1075@hotmail.com>  
**Sent:** Tuesday, April 2, 2024 11:32 AM  
**To:** Lauren Schumann  
**Subject:** PLH24-0012/PLH23-0056/PLT23-0022

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Ms. Schumann,

My comments are not meant to have any reflection on you. I'm disappointed the city of Chandler would entertain this subdivision when infrastructure concerns abound. I would certainly rather have a commercial entity at that location than more single-family residences, apartments, townhomes, condos, etc. More people mean more traffic congestion and diminution of services. Traffic on McQueen is already horrible with the addition of Amazon and other businesses south of Queen Creek Road. I opposed that but my opposition obviously had little impact. I can't imagine what the future traffic on Alamosa and in the neighborhood would be. Not to mention the drain on public safety services, such as police and fire. Not everyone that moves in will have stellar credentials. Crime will rise in the form of burglaries and vehicle thefts to start. I'm retired Chicago PD and have been in law enforcement since 1971. Still working full time for the County Attorney.

My late wife found our house on Coconino in 2013 while I was working as a DOD contractor in Virginia. She bid on the property and the former owners accepted. I first saw the house in person when I came home for my daughter's graduation from pharmacy school. I have completed some significant renovations in the house, and I have no current plans to sell it. My wife loved the house and Chandler in general. We previously lived in Scottsdale with the 'hundred-dollar millionaires' who are all flash and no substance. Chandler is about family and community and still has a small-town vibe. I would hate to be forced out by congestion. I'm originally from Chicago and congestion was constant.

The horrible edifices by the 202 and McQueen are emblematic of what this new community will represent. The houses and townhouses on the south side of Ocotillo west of the canal are also horrible appearing structures. It seems like the city council and the mayor sold out the current residents to promote a larger tax base. They use the funds to promote their DEI agenda which I believe is un-American. America became great because of meritocracy, not pandering to special interests. Whoever is the best candidate for a position should get the job, regardless of race.

Thanks for being my sounding board, Ms. Schumann. Please don't take my screed personally. I just want to live whatever time I have left in my current home. I'm 75 and the thought of moving is not very appealing.

Respectfully,  
Ronald Palmer  
1013 E. Coconino Dr.

***For wisdom is more precious than rubies, and nothing you desire can compare with her.***  
Proverbs, Chapter 8, Verse 11

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## Lauren Schumann

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**From:** Peggy <peggyphil@cox.net>  
**Sent:** Wednesday, April 17, 2024 10:48 AM  
**To:** Lauren Schumann  
**Subject:** Public Hearing - VIVIENDO

Ms. Schumann,

I'm writing to express my concern about the public hearing to rezone the southeast corner of Ocotillo and McQueen roads. 76 single family lots is a very dense population for 15 acres. Additionally, the northeast corner of that intersection already contains a densely populated apartment/condo complex. Please express my concerns to the planning and zoning commission to reconsider so many lots.

Sincerely, Peggy Denisuk  
480-276-3233

Sent from [Mail](#) for Windows

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**Planning & Zoning Commission Memorandum      Development Services**  
**Memo No. 24-026**

**Date:** May 01, 2024  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
 David de la Torre, Planning Manager  
**From:** Darsy Omer, Associate Planner  
**Subject:** PLH23-0067 All Copy  
**Request:** Use Permit approval for an office/warehouse building.  
**Location:** Located at the northwest corner of Chicago Street and Beck Avenue, generally located ¼ mile east and south of 56th Street and Chandler Boulevard.  
**Applicant:** Carlos Elias, LGE Design Group

**Proposed Motion:**

Move Planning and Zoning Commission recommend approval of Use Permit, PLH23-0067 for office/warehouse building, subject to the conditions as recommended by Planning staff.

**Background Data:**

- The subject site is currently zoned General Industrial District (I-2)
- Per the current zoning, up to 40% of office is permitted by right as an ancillary use to warehousing.
- The applicant is requesting approximately 63% office; therefore, a use permit is required

**Surrounding Land Use Data:**

North	I-2	South	Chicago St then I-2
East	Beck Ave then I-2	West	I-2

## Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)

Building Total	36,500 sq ft
Office Square Footage	23,000 sq ft
Warehouse Square Footage	13,500 sq ft
Parking Required	113 spaces
Parking Provided	140 spaces

### Review and Recommendation:

The property is currently zoned for general industrial (I-2) uses. In the I-2 zoning district, office is allowed as an ancillary use. Per the city code, up to 40% of the building area may be used as office in order for it to be considered ancillary. More than 40% office requires Use Permit approval. This Use Permit request is to allow approximately 63% of the building area to be used as office space.

Staff finds that the proposed additional office space is acceptable upon demonstrating that the user is providing more parking than what is required. Section 35-1804 of the City of Chandler's parking regulations dictates that industrial should be parked at one (1) space per 250 square feet for office, one (1) space per 500 for the first 10,000 square feet of warehousing and one (1) space per 1,000 for the additional 3,500 square feet. The parking calculations with the requested 63% office yields a parking requirement of 113 spaces and 140 spaces are proposed.

Staff met with the applicant multiple times to go over site layout and architecture to provide more enhanced architecture facing Chicago Street and Beck Avenue. Originally, all the glazing was facing Chicago Street and at the entrance, and staff worked with the applicant to add additional glazing facing Beck Avenue as well. Planning staff has reviewed the request and finds it to be consistent with the General Plan and Zoning Code regulations.

### Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood notice sign was posted on the site and on social media via NextDoor.
- A neighborhood notice was sent in lieu of a neighborhood meeting due to lack of residential properties in close proximity to proposed site.
- As of the writing of this memo, Planning staff is not aware of any opposition

to the request.

### **Recommended Conditions of Approval**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Use Permit/Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with exhibits and representations entitled "PLH23-0067 All Copy Exhibits" kept on file in the City of Chandler's Planning Division, in file No. PLH23-0067 All Copy, modified by such conditions included at the time the exhibits were approved by the City Council and/or as thereafter amended, modified or supplemented by the City Council.
2. Use Permit approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Use Permit shall apply.
3. Uses permitted shall be those permitted in the I-2 General Industrial District and office provided that parking requirements are met pursuant to Article XVIII Parking and Loading Regulations of the Chandler City Code.
4. All employees and clients shall park on-site.
5. The site shall be maintained in a clean and orderly manner.

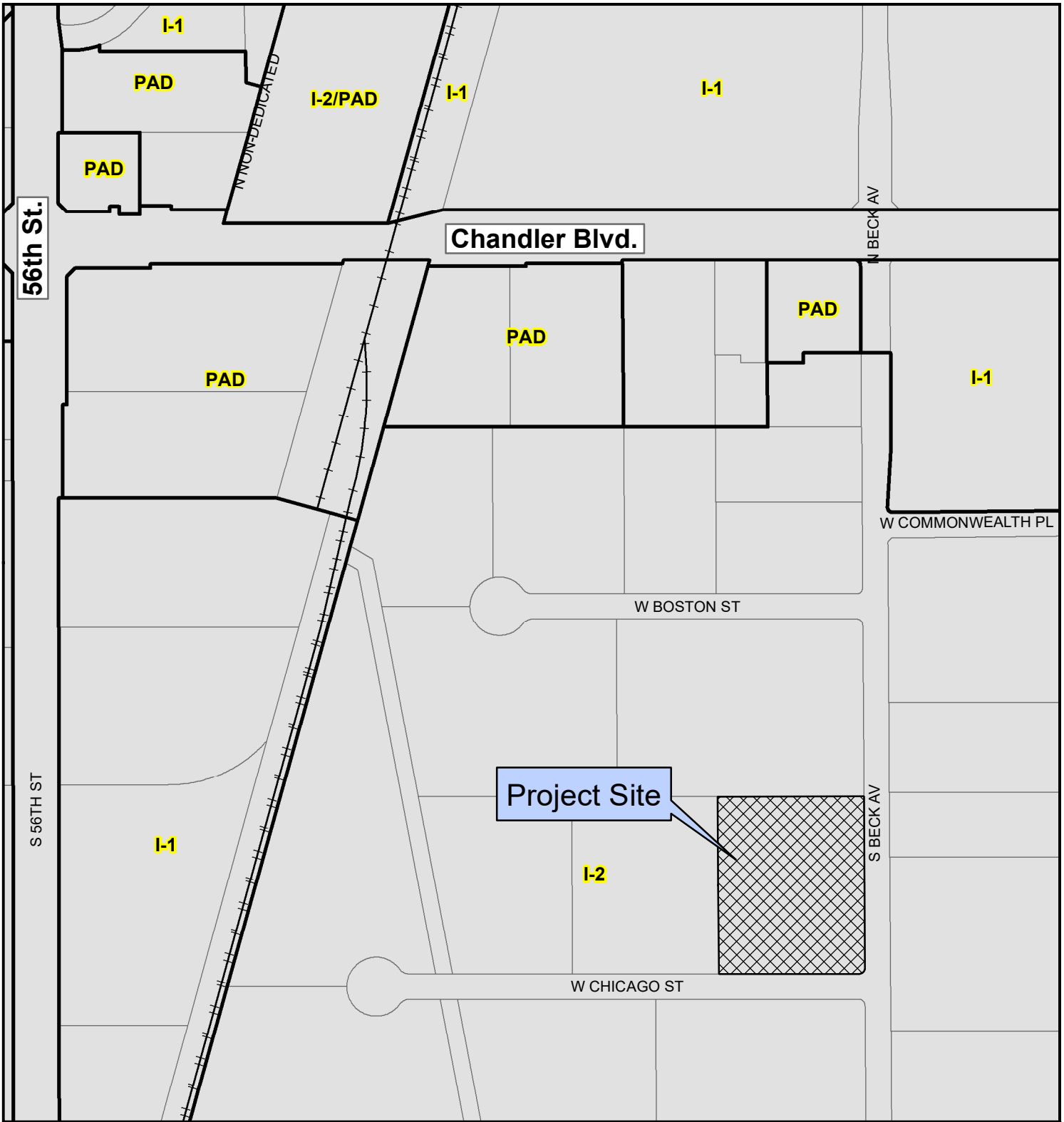
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### **Attachments**

Vicinity Maps

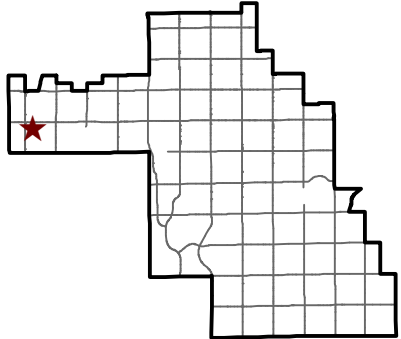
Exhibits





 **PLH23-0067 All Copy** 

**Project Details**  
 Use Permit approval for an  
 office/warehouse building



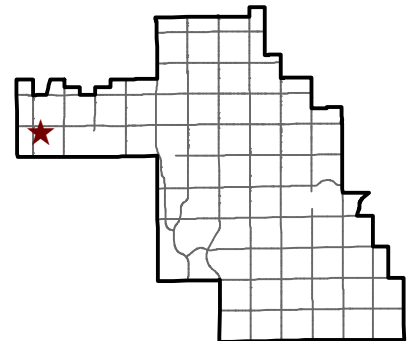
City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>



**PLH23-0067 All Copy**



**Project Details**  
 Use Permit approval for an  
 office/warehouse building



City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>

# PLH23-0067 All Copy Exhibits

Located at the northwest corner of Chicago Street and Beck Avenue, generally located ¼ mile east and south of 56th Street and Chandler Boulevard.

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Page 9- Renderings

Page 10- Roof Plan

## All Copy Use Permit Narrative

### Introduction:

LGE Design Group is submitting for Use Permit review for an office/warehouse building design and site of a 2 Story building located on the N.E.C. of Chicago Street and Beck Avenue in Chandler, Arizona.

### Project Proposal:

The site area is 147,320 s.f. (3.38 acres). The building has a total gross square footage of 36,500 S.F. The first floor will be 26,500 s.f. and the second floor will be 10,000 s.f. There is a planned (+/-) 4,000 s.f. storage mezzanine (not included in the gross s.f. calculation) wh. The building height is planned to be 33'-6".

### Building Design:

The building design, colors and materials have a cohesive palette that maintains consistency throughout both the site and building elevations while complimenting the surrounding area. A nice color palate that blends the tenant identification with a classic but modern corporate elegance is displayed utilizing materials which include CMU, Low-E tinted glazing, and exposed steel. Four-sided architecture will be prevalent throughout the elevations with some varied parapet heights, and colors to reduce continuous wall lengths. The building design meets additional architectural standards per zoning through consistent architectural character and detail. Signage will be in harmony with the character, scale and context of the building reflecting the appropriate size, materials, color, location and illumination. Signage will be a deferred submittal.

### Site Design:

Vehicular access to the development is provided off of Chicago Street to parking areas on the South and West sides of the building. A second entrance, which will be gated, will be provided off of Beck Ave and located at the Northeast corner of the site for truck access. The proposed drive aisles within the development are a minimum of 24 feet. Fire access is provided throughout the facility and meets the fire department's minimum design criteria.

Pedestrian access is provided via a sidewalk connection from the facility through a sidewalk located along the South side of the building providing access to the R.O.W. All sidewalks will be ADA accessible.

The zoning code parking requirements for an office/warehouse facility is provided. The typical parking spaces are 9'-0" wide x 19'-0" long, the ADA accessible parking spaces are 11'-0" wide and 18'-0" long with the required 5'-0' wide aisle all of which comply with Zoning Code requirements.

### Landscape Design:

This project will have landscape along the frontage and within the property where designated. The landscape will consist of an ornamental desert theme. Landscaping will meet the zoning requirements.

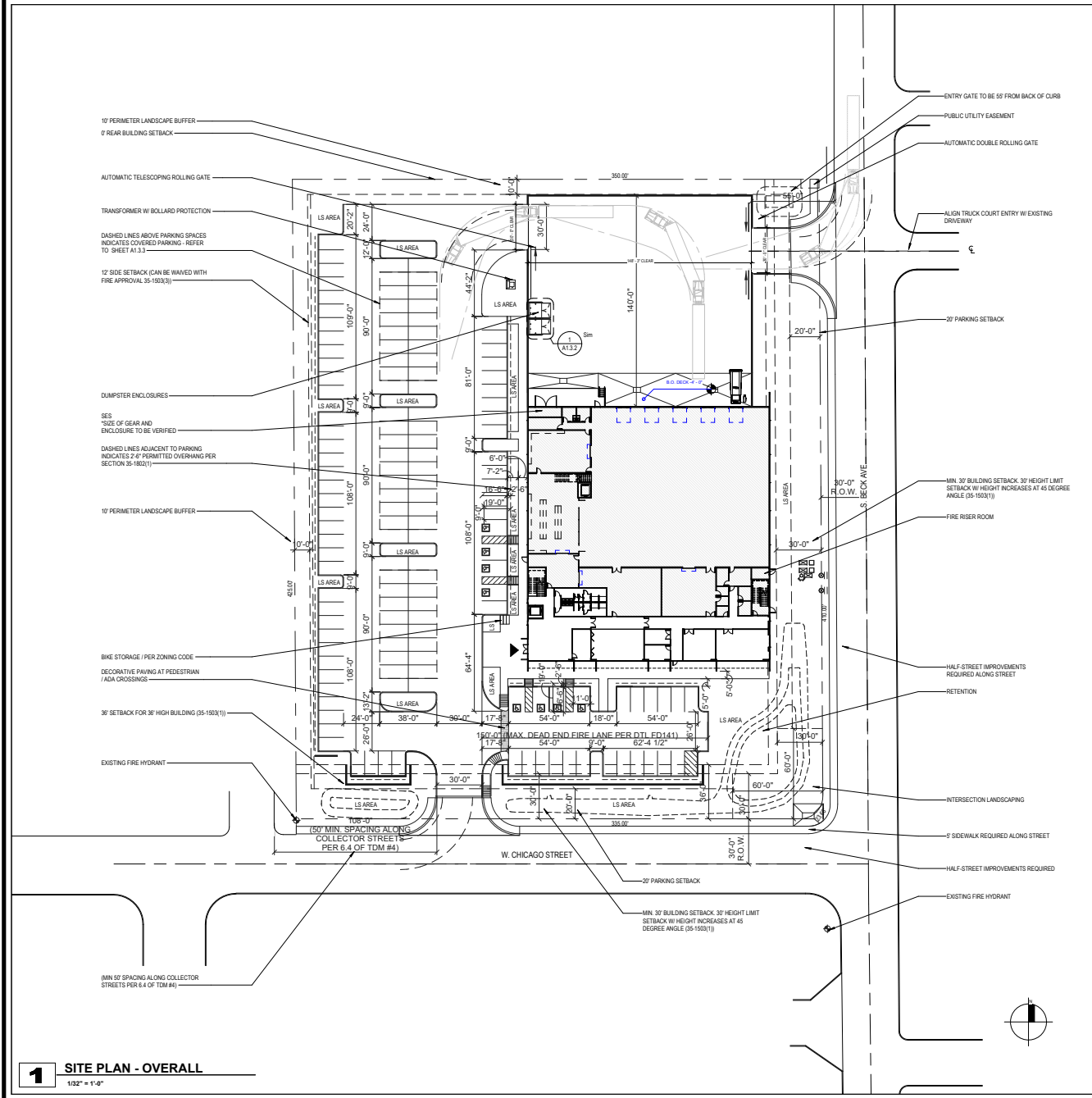
#	REVISION	DATE

**NOT FOR CONSTRUCTION**

<b>DRAWING TITLE:</b>	ARCHITECTURAL SITE PLAN - OVERALL
<b>ISSUE DATE:</b>	
<b>DRAWN BY:</b>	LGE DESIGN GROUP
<b>CHECKED BY:</b>	
<b>PROJECT NO.:</b>	

**A1.1.1**

GRAPHIC LEGEND	PROJECT DATA																				
<p><b>SYMBOL:</b></p> <p>▶ MAIN ENTRY / EXIT</p> <p>⊙ FIRE HYDRANT - COORDINATE LOCATIONS WITH CIVIL DRAWINGS</p> <p>--- FIRE LANE</p>	<p><b>PROJECT NAME:</b> ALL COPY PRODUCTS</p> <p><b>PROJECT ADDRESS:</b> NWC OF BECK AVE &amp; CHICAGO ST CHANDLER, AZ 85226</p> <p><b>ARCHITECT:</b> LGE DESIGN GROUP CONTACT: CARLOS ELIAS 1200 N 52ND ST PHOENIX, AZ 85008 PHONE: 480-966-4001 EMAIL: CARLOS@LGEDESIGNGROUP.COM</p> <p><b>PROJECT SCOPE:</b> NEW OFFICE / WAREHOUSE</p> <p><b>ASSESSOR PARCEL NO.:</b> #301-86-052</p> <p><b>CURRENT ZONING:</b> I-2</p> <p><b>SITE AREA (NET):</b> 147,329 S.F. (3.38 AC)</p> <p><b>SITE AREA (GROSS):</b> 173,181 S.F. (3.98 AC)</p> <p><b>STORIES:</b> TWO STORES</p> <p><b>BUILDING AREA:</b> 36,500 S.F. (NOT INCLUDING STORAGE MEZZANINE)</p> <p><b>LOT COVERAGE:</b> +/-18.0%</p> <p><b>F.A.R.:</b> 0.25</p> <p><b>OCCUPANCY:</b> B / S-1</p> <p><b>CONSTRUCTION TYPE:</b> V8 W E.S.F.R.</p> <p><b>BUILDING HEIGHT:</b> 32'-0" T.O. PARAPET</p> <p><b>PROJECT DESCRIPTION:</b> THIS PROJECT CONSIST OF ONE PROPOSED NEW 2-STORY OFFICE / WAREHOUSE BUILDING ON A 3.38 ACRE PARCEL.</p> <p><b>NOTE:</b> VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE APPLIANCES ACCESS ROADS AND FIRE HYDRANTS' 2021 IFC SECTION 501.4</p> <p><b>NOTE:</b> STRUCTURE CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 33 AND NFPA 901 - 2021 IFC SECTION 3001.1</p>																				
PARKING INFORMATION	GENERAL DRAWING NOTES																				
<p><b>PARKING REQUIRED:</b></p> <table border="1"> <thead> <tr> <th>USE</th> <th>SQUARE FT.</th> <th>FACTOR</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>OFFICE</td> <td>+/- 22,000 S.F.</td> <td>1 / 200 S.F.</td> <td>92 SPACES</td> </tr> <tr> <td>WAREHOUSE (1st 10K)</td> <td>10,000 S.F.</td> <td>1 / 500 S.F.</td> <td>20 SPACES</td> </tr> <tr> <td>WAREHOUSE (REMAINING)</td> <td>3,500 S.F.</td> <td>1 / 500 S.F.</td> <td>7 SPACES</td> </tr> <tr> <td><b>TOTAL PARKING REQUIRED:</b></td> <td></td> <td></td> <td><b>119 SPACES</b></td> </tr> </tbody> </table> <p><b>PARKING PROVIDED:</b> 148 SPACES</p> <p><b>TOTAL SPACES ON SITE:</b> 148 SPACES</p> <p><b>PARKING / BUILDING RATIO:</b> 3.84 CARS PER 1,000 S.F.</p> <p><b>ACCESSIBLE PARKING CALCS:</b></p> <p>TOTAL PARKING OF 103 TO 106 SPACES REQUIRES 5 ACCESSIBLE SPACES REQUIRED: 5 SPACES PROVIDED: 8 SPACES</p>	USE	SQUARE FT.	FACTOR	TOTAL	OFFICE	+/- 22,000 S.F.	1 / 200 S.F.	92 SPACES	WAREHOUSE (1st 10K)	10,000 S.F.	1 / 500 S.F.	20 SPACES	WAREHOUSE (REMAINING)	3,500 S.F.	1 / 500 S.F.	7 SPACES	<b>TOTAL PARKING REQUIRED:</b>			<b>119 SPACES</b>	<p>A. REFER TO THE A-X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.</p> <p>B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO C-X SERIES LOCATED PER THE PROJECT SHEET INDEX.</p> <p>C. REFER TO A2-X-X SERIES FOR ARCHITECTURAL FLOOR PLANS, ROOF PLANS, &amp; TILT WALL COORDINATION INFORMATION.</p> <p>D. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.</p> <p>E. SITE SCREEN WALLS A MAXIMUM 8'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB WHOEVER IS HIGHER.</p> <p>F. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.</p> <p>G. REFER TO A4-X-X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, &amp; WALL SECTIONS.</p>
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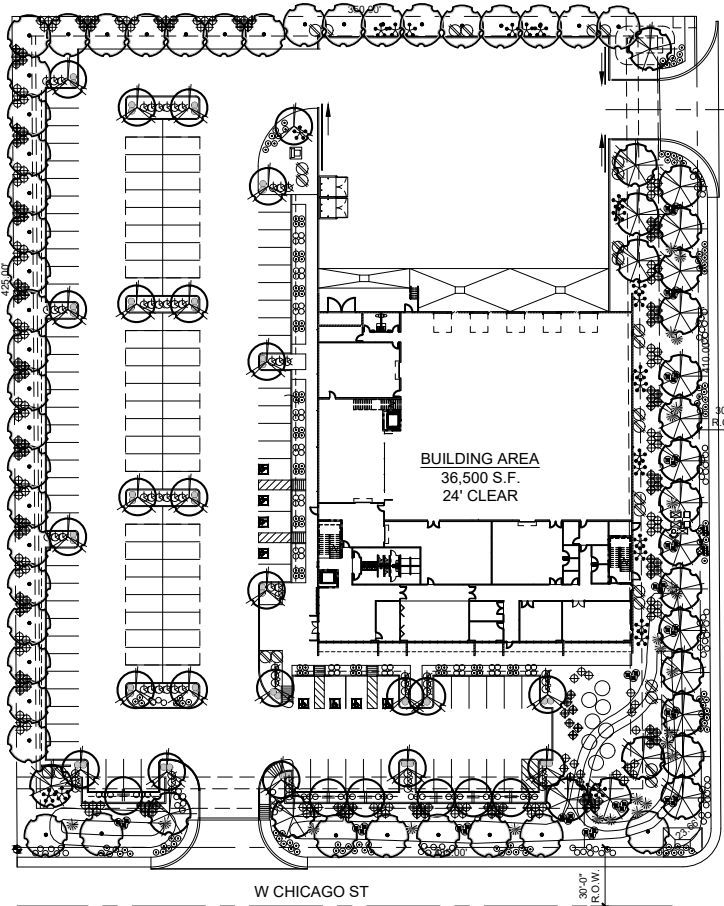
**1 SITE PLAN - OVERALL**  
 1/32" = 1'-0"



ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS. SEE SECTION 1903(6)(a) ZONING CODE.

LANDSCAPE LEGEND

- TREES
ULMUS PARVIFOLIA
CHRISMA MATCHING
PISTACIA X RED-PUSH
QUERCUS VIRGINIANA
PISTACIA X RED-PUSH
LARGE SHRUBS
TECOMA 'ORANGE JUBILEE'
CAESALPNIA MEXICANA
MEDIUM SHRUBS
RUELLIA PENNINSULARIS
ACCENTS
HESPERALOE PARVIFLORA
DASYLIRION WHEELERI
AGAVE DESMETIANA
PACHYCLERUS MARGINATUS
GROUND COVER
LANTANA MONTEVIDENSIS
LANTANA MONTEVIDENSIS
CONVOYULUS CHEODRUM
ACACIA REDOLENS
1/2" SCREENED ROCK PROS CARMEL
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



I HEREBY CERTIFY THAT NO TREE OR BOULDER IS DESIGNED CLOSER THAN SIX (6) FEET TO THE FACE OF STREET CURB.

02.19.24
REGISTERED LANDSCAPE ARCHITECT DATE

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10446 N. 74th Street, Suite 150
Scottsdale, Arizona 85258
P: (602) 265-0320
EMAIL: tjmqueen@tmia.net



CITY OF CHANDLER LANDSCAPE NOTES:

- 1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. NO OBSTRUCTIONS TO VIEW SHALL BE ERRECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6'. ALL SHRUBS IN THIS AREA MAY NOT A MATURITY HEIGHT OVER 24"
3. ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIAL, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
4. TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER THE TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM DATE OF REPLACEMENT.
5. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLANS. SEE SECTION 1902 (6)(H)
6. PARKING LOT TREES ARE TO HAVE A MINIMUM CLEAR CANOPY DISTANCE OF FIVE (5) FEET. SEE SECTION 1903 (6)(G)(C)(4), ZONING CODE.
7. ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NONLIVING MATERIALS (I.E. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903(6)(C)(1), ZONING CODE
8. TREES MUST BE PLACED MIN. OF 5' FROM SIDEWALKS. PUBLIC ACCESS WAYS SHRUBS MUST BE AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, P.V. OR FDC. SEE SECTION 1903 (6)(J)(1), ZONING CODE
9. ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR SEE SECTION 1903 (6)(H), ZONING CODE
10. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED, CORRECTED BEFORE THE FIELD INSPECTOR WILL ACCEPT, PASS THE SIGN IN THE FIELD OR ISSUE AN CERTIFICATE OF OCCUPANCY FOR A PROJECT
11. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK FLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
12. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS, AND SHADE STRUCTURES REQUIRE A SEPARATE SUBMITTAL AND PERMITS.

LANDSCAPE DATA table with columns for Total site area, Total building area, Total landscape area, Total Plant Material, and counts for Trees and Shrubs.

LANDSCAPE AREAS table with columns for Street Frontage, Intersection Landscape Setback, Perimeter Landscape, Disimilar Land Use Buffer, and Interior Landscaped Areas, including required and provided counts for trees and shrubs.

Parking Lot Landscaping table with columns for Total parking area, Parking Planters, Trees, and Shrubs, including required and provided counts.

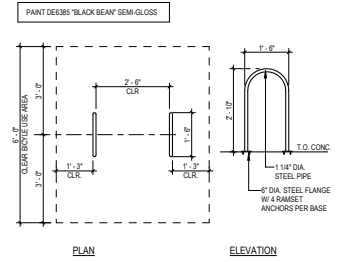


#	REVISION	DATE

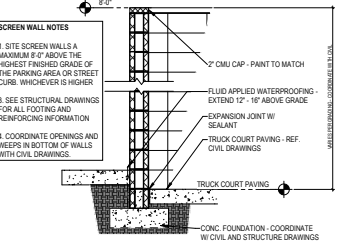
**NOT FOR CONSTRUCTION**

DRAWING TITLE: SITE DETAILS  
 ISSUE DATE: \_\_\_\_\_  
 DRAWN BY: LGE DESIGN GROUP  
 CHECKED BY: \_\_\_\_\_  
 PROJECT NO: \_\_\_\_\_

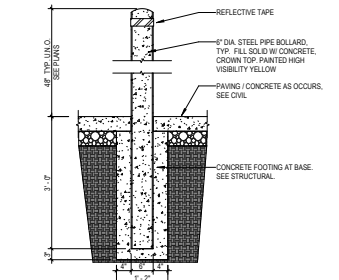
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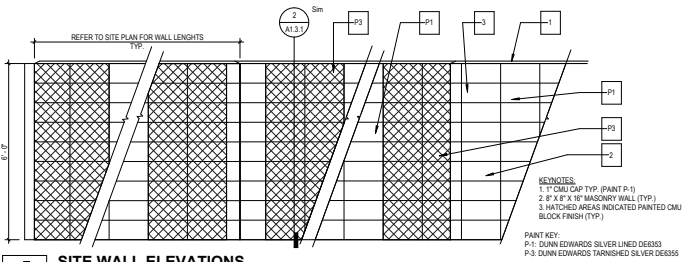
**3 TYPICAL BICYCLE RACK**  
 1/2" = 1'-0"



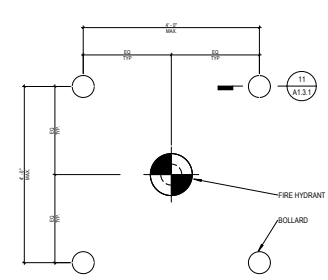
**2 SCREEN WALL AT TRUCK COURT**  
 1/2" = 1'-0"



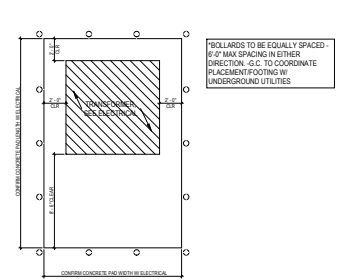
**11 TYPICAL BOLLARD**  
 3/4" = 1'-0"



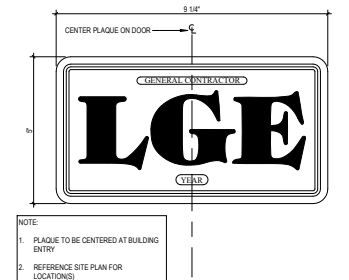
**1 SITE WALL ELEVATIONS**  
 1/2" = 1'-0"



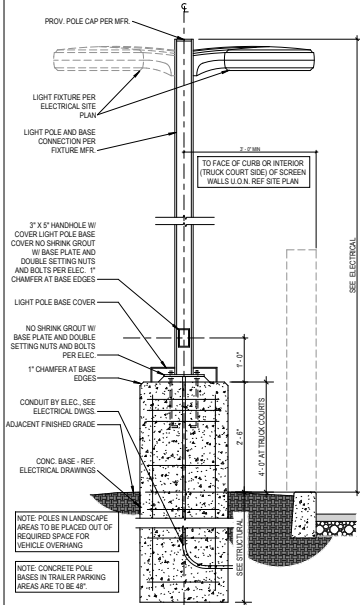
**12 FIRE HYDRANT AT TRUCK COURT**  
 3/4" = 1'-0"



**16 TYPICAL TRANSFORMER LAYOUT**  
 3/16" = 1'-0" (FOR REFERENCE)



**14 LGE PLAQUE DETAIL**  
 6" = 1'-0"



**13 LIGHT POLE DETAIL**  
 3/4" = 1'-0"

PAINT DECKS "BLACK BEAN" SEMI-GLOSS

**SCREEN WALL NOTES**  
 1. SITE SCREEN WALLS A MAXIMUM 8'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.  
 2. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION.  
 3. FLUID APPLIED WATERPROOFING - EXTEND 12" - 16" ABOVE GRADE.  
 4. COORDINATE OPENINGS AND KEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

**KEYNOTES:**  
 1. 1" CMU CAP TYP. (PAINT P-1)  
 2. 8" X 8" X 16" MASONRY WALL (TYP.)  
 3. HATCHED AREAS INDICATED PAINTED CMU BLOCK FINISH (TYP.)

**PAINT KEY:**  
 P-1: DUNN EDWARDS SILVER LINED DE333  
 P-3: DUNN EDWARDS TARNISHED SILVER DE335

**NOTE:**  
 1. PLAQUE TO BE CENTERED AT BUILDING ENTRY  
 2. REFERENCE SITE PLAN FOR LOCATIONS

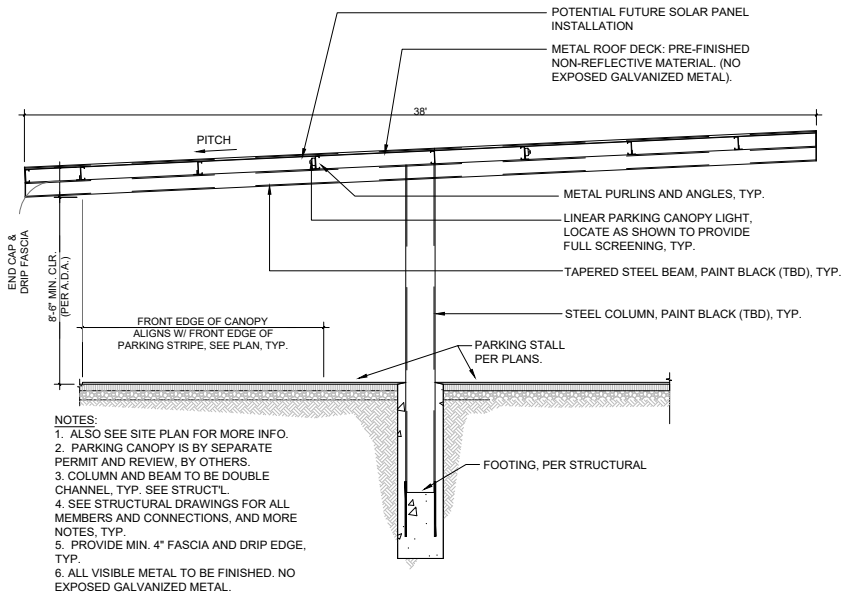
**BOLLARDS TO BE EQUALLY SPACED:**  
 8" DIA. MAX SPACING IN EITHER DIRECTION. S.C. TO COORDINATE PLACEMENT FOOTING W/ UNDERGROUND UTILITIES.

PROV. POLE CAP PER MFR.  
 LIGHT FIXTURE PER ELECTRICAL SITE PLAN  
 LIGHT POLE AND BASE CONNECTION PER FIXTURE MFR.  
 TO FACE OF CURB OR INTERIOR (TRUCK COURT SIDE) OF SCREEN WALLS (U.O.A. REF. SITE PLAN)  
 3" X 5" HANDHOLE W/ COVER LIGHT POLE BASE COVER NO SHRINK GROUT W/ BASE PLATE AND DOUBLE SETTING NUTS AND BOLTS PER ELEC. 1" CHAMFER AT BASE EDGES  
 LIGHT POLE BASE COVER  
 NO SHRINK GROUT W/ BASE PLATE AND DOUBLE SETTING NUTS AND BOLTS PER ELEC.  
 1" CHAMFER AT BASE EDGES  
 CONDUIT BY ELEC. SEE ELECTRICAL DWGS. ADJACENT FINISHED GRADE.  
 CONC. BASE - REF. ELECTRICAL DRAWINGS.  
 NOTE: POLES IN LANDSCAPE AREAS TO BE PLACED OUT OF REQUIRED SPACE FOR VEHICLE OVERHANG.  
 NOTE: CONCRETE POLE BASES IN TRAILER PARKING AREAS ARE TO BE 48"



REVISION	NUMBER	DATE

PROJECT TITLE	
SITE DETAILS	
ISSUE DATE	02/19/21
DRAWN BY	
CHECKED BY	
PROJECT NO.	



- NOTES:
1. ALSO SEE SITE PLAN FOR MORE INFO.
  2. PARKING CANOPY IS BY SEPARATE PERMIT AND REVIEW, BY OTHERS.
  3. COLUMN AND BEAM TO BE DOUBLE CHANNEL, TYP. SEE STRUCTL.
  4. SEE STRUCTURAL DRAWINGS FOR ALL MEMBERS AND CONNECTIONS, AND MORE NOTES, TYP.
  5. PROVIDE MIN. 4" FASCIA AND DRIP EDGE, TYP.
  6. ALL VISIBLE METAL TO BE FINISHED. NO EXPOSED GALVANIZED METAL.

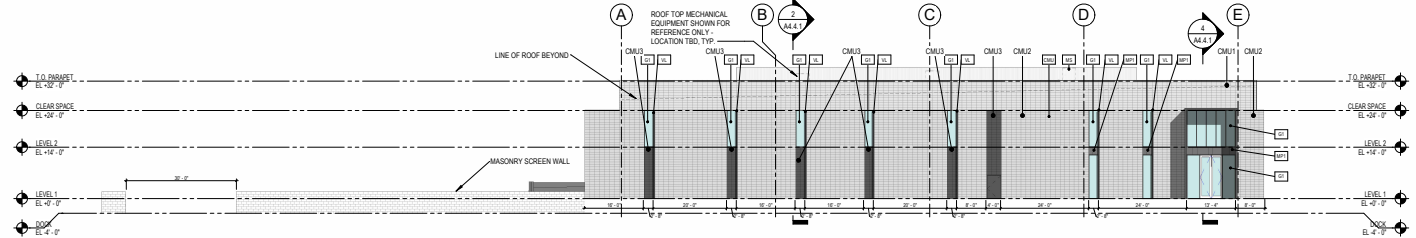
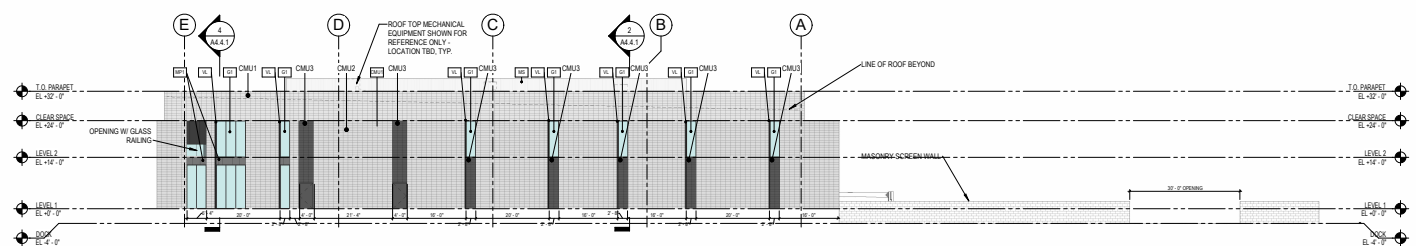
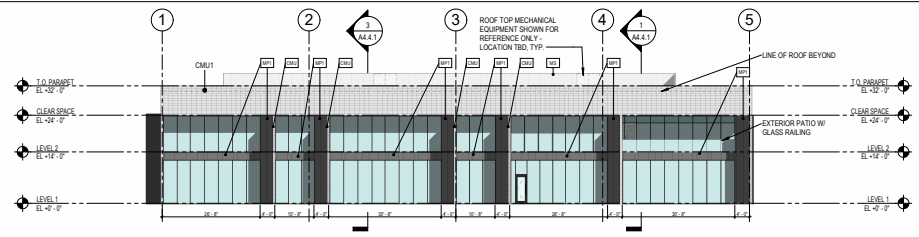
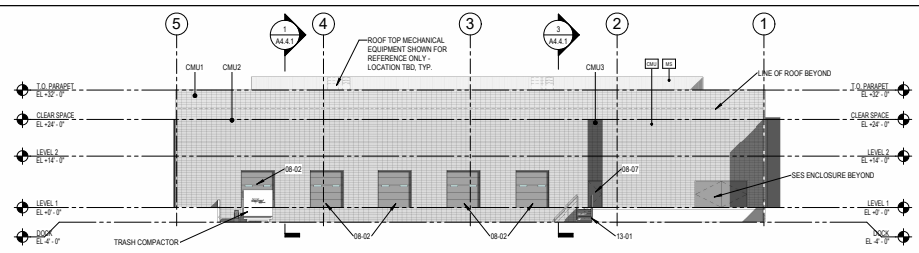
**PARKING CANOPY DETAIL**

SCALE: 3/8" = 1'-0"

**NOT FOR CONSTRUCTION**

DRAWING TITLE:  
 EXTERIOR BUILDING ELEVATIONS  
 ISSUE DATE:  
 DRAWN BY: LGE DESIGN GROUP  
 CHECKED BY:  
 PROJECT NO:

**A4.1.1**



**MATERIALS**

SPECIALTY	EXTERIOR WALLS	GLAZING / LOUVERS	COLORS
<p><b>"VERTICAL LOUVER"</b> - STRUCTURAL ANGLE - SHAPE SIZE AND FINISH TBD</p> <p><b>"MECHANICAL ROOF SCREEN"</b> - B-DECK WITH TUBE STEEL FRAME - PAINT TO MATCH [C] FINAL LOCATION AND HEIGHT TBD</p>	<p><b>EXTERIOR WALL KEY:</b></p> <p>[C] CONCRETE MASONRY UNITS 8"X8"X16" CMU, SMOOTH FACE STACK BOND</p> <p>[M] METAL COMPOSITE PANEL ARCONIC ARCHITECTURAL PRODUCTS - ROPNOROND 4mm FR COLORWELD 500 - SLATE GRAY</p>	<p><b>GLAZING KEY:</b></p> <p>MATERIAL: DESCRIPTION</p> <p>FRAMES: 2"x2", 2"x4-1/2" DARK BRONZE ANODIZED (AB-6) ALUMINUM STOREFRONT</p> <p>GLAZING: SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE</p> <p>NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.</p> <p><b>GLAZING ELEVATION KEY:</b></p> <p>[A] [B] [C] [D] [E]</p>	<p><b>PAINTING NOTES:</b></p> <p>1. PAINTER TO PROVIDE FOUR COLOR SAMPLES WITH ALL SECONDARY BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED</p> <p>2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.</p> <p>3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.</p> <p>4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.</p> <p><b>COLOR KEY:</b></p> <p>NET DESCRIPTION:</p> <p>[L] INTEGRAL COLOR TBD (LIGHT GRAY)</p> <p>[M] INTEGRAL COLOR TBD (MEDIUM GRAY)</p> <p>[D] INTEGRAL COLOR TBD (DARK GRAY)</p>

**REFERENCE KEYNOTES**

- 08-02 DOOR PER SCHEDULE
- 08-07 INTERIOR WINDOW SYSTEM. SEE WINDOW SCHEDULE
- 13-01 BUTT JOINTED FULL HEIGHT INTERIOR GLAZING SYSTEM

**GENERAL DRAWING NOTES**

- A. REFER TO THE A4.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.X.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A8.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

**1 NORTH**  
 1/16" = 1'-0"

**2 SOUTH**  
 1/16" = 1'-0"

**3 EAST**  
 1/16" = 1'-0"

**4 WEST**  
 1/16" = 1'-0"



PERSPECTIVE VIEW FROM W PARKING LOT



PERSPECTIVE VIEW FROM NE CORNER



PERSPECTIVE VIEW FROM SW CORNER

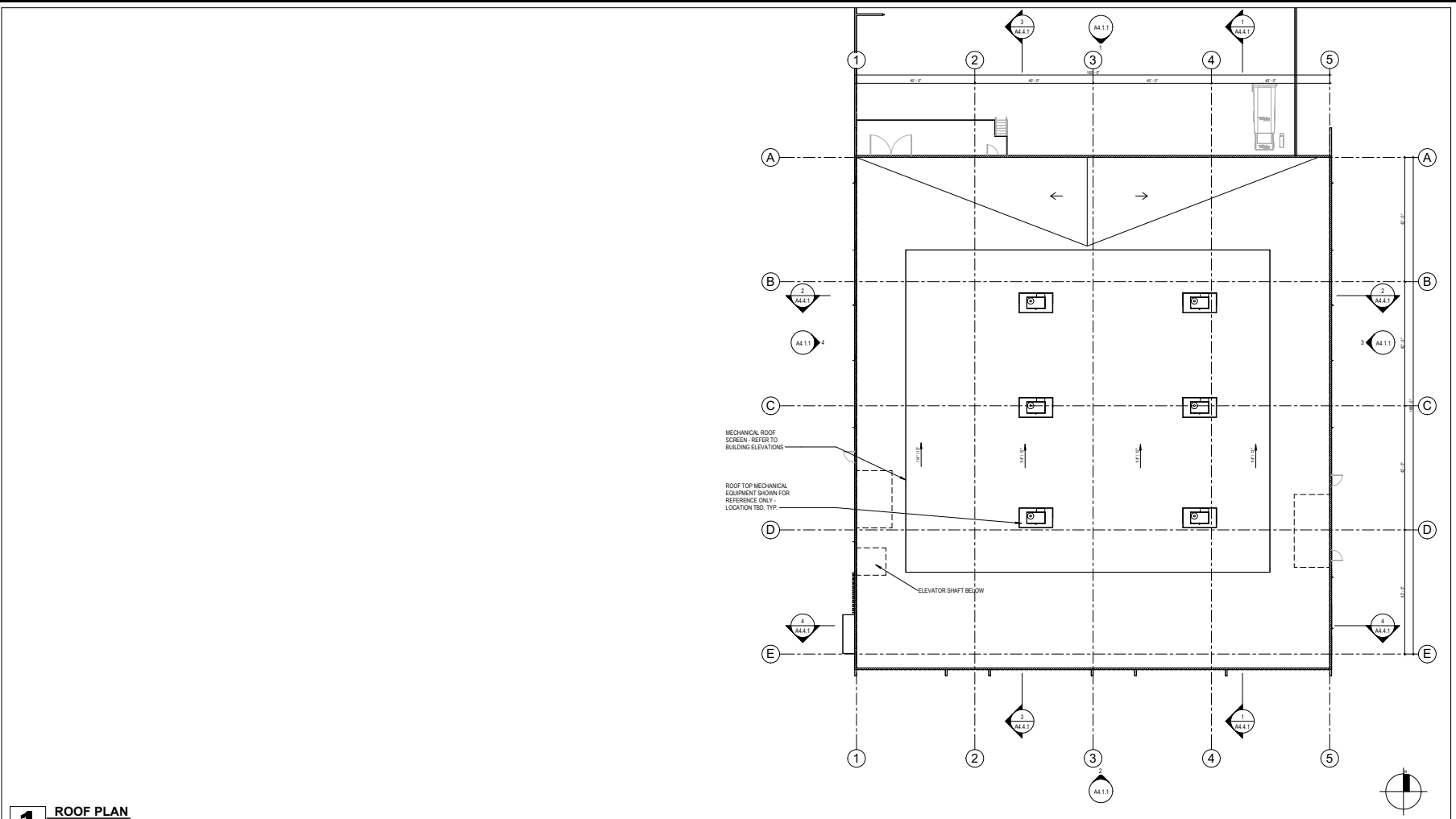


PERSPECTIVE VIEW FROM SE CORNER

#	REVISION	DATE

**NOT FOR CONSTRUCTION**

DRAWING TITLE: PRELIMINARY RENDERINGS  
 ISSUE DATE: \_\_\_\_\_  
 DRAWN BY: LGE DESIGN GROUP  
 CHECKED BY: \_\_\_\_\_  
 PROJECT No: \_\_\_\_\_



**1** ROOF PLAN  
1/16" = 1'-0"

REFERENCE KEYNOTES	GENERAL DRAWING NOTES
	<p>A. REFER TO THE A0.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.</p> <p>B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.</p> <p>C. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO GS.X SERIES DRAWING.</p> <p>D. COORDINATE "BOTTOM OF DECK" ELEVATIONS CALLED OUT ON THIS DRAWING WITH STRUCTURAL DRAWINGS.</p> <p>E. REFER TO THE AS.4.1 FOR TYPICAL ROOFING DETAILS.</p> <p>F. REFER TO AS.1.1 FOR TYPICAL SYSTEM DETAILS.</p> <p>G. ROOF ASSEMBLIES SHALL BE MINIMUM OF CLASS B FIRE CLASSIFICATION, OR AS SPECIFIED IN THE PROJECT MANUAL.</p>

**LGE** DESIGN BUILD

#	REVISION	DATE

**NOT FOR CONSTRUCTION**

DRAWING TITLE:	ROOF PLAN
ISSUE DATE:	
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	
PROJECT NO.:	

**A2.1.2**



**Planning & Zoning Commission Memorandum      Development Services**  
**Memo No. 24-025**

**Date:** May 01, 2024  
**To:** Planning and Zoning Commission  
**Thru:** Kevin Mayo, Planning Administrator  
 David De La Torre, Planning Manager  
**From:** Darsy Omer, Associate Planner  
**Subject:** PLH24-0005 Gold Trust Realty  
**Request:** Use Permit time extension to allow the continued use of a residential home zoned Single-Family District (SF-8.5) as a real estate office.  
**Location:** 200 S Dobson Road, generally located north of the northwest corner of Dobson and Frye roads.  
**Applicant:** Jason Zhang

**Proposed Motion:**

Move Planning and Zoning Commission recommend approval of Use Permit, PLH24-0005 Gold Trust Realty, for the continued use of a residential home zoned Single-Family District (SF-8.5) as a real estate office, subject to the conditions as recommended by Planning staff.

**Background Data:**

- Property is currently zoned Single-Family District (SF-8.5).
- Between 2010 and 2015 three Use Permits have been granted on the property with Use Permit time extensions being granted for all.
- The most recent Use Permit was granted in 2015 for five years under ZUP14-0035 Gold Trust Realty.

**Surrounding Land Use Data:**

North	Chicago Street then SF 8.5	South	SF 8.5
East	Dobson Rd	West	SF 8.5

## Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)

Building Square-Footage	1,271 S.F.
Days of Operation	Monday - Friday
Hours of Operation	9:00am - 4:30pm
Number of Employees	1 full-time staff member plus the owner
Parking Spaces	Two covered parking spaces Two uncovered parking spaces

### Review and Recommendation:

The subject site is located north of the northwest corner of Dobson and Frye roads, and is surrounded by single-family homes on the north, west, and south. The subject site is a corner lot, with Chicago Street directly north and Dobson directly to the east. Across Dobson Road is the Dobson Village medical center.

The home was built in 1975, and was used as a residential home until early 2009, when the applicant purchased the home. A use permit was granted in 2010, for one-year, to allow for the operation of a real estate office. The Use Permit was extended in late 2011 to allow for an additional three years. In 2014, the use permit was extended again in 2015 for an additional five years. No changes have occurred from an operational standpoint since the initial approval. The applicant has occasional agents working at the site. However, not all the agents will be at the site at any one point in time. The offices are not open to the general public.

Four parking spaces are provided on site. The hours of operation of the site is generally between 9 a.m. to 4:30 p.m. Since the initial use permit approval, a number of enhancements have been made to the site, including the updating of landscaping, repainting the structure, and adding a paver driveway that provides access to the site from both Dobson Road and Chicago Street.

The Residential Conversion Policy (RCP) was established in 1989 to allow single-family homes the opportunity to allow small offices to operate within a residential zoning district with the approval of a Use Permit. Such homes must have direct frontage or access to an arterial street and propose a business compatible with the existing neighborhood. Within the Policy, criteria was established to accommodate the conversion of homes into professional offices or like businesses. Such criteria include the requirement of an improved parking lot, preservation of front yard landscaping for the aesthetic streetscape setting of the home, and buffering from adjacent residences. The request meets the



requirements of the RCP.

## **Public / Neighborhood Notification**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- A neighborhood meeting was held on April 2nd, 2024. No one attended the meeting other than planning staff and the applicant.
- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

## **Recommended Conditions of Approval**

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Use Permit, subject to the following conditions:

1. Substantial expansion or modification beyond the approved exhibits (Exhibits and Narrative) shall void the Use Permit and require new Use Permit application and approval.
2. Any expansion or modifications beyond the approved exhibits shall void the Use Permit.
3. The Use Permit is non-transferable to any other property.
4. Substantial increases in on-site employment over that as represented as 3 full time equivalent, or substantial expansion of the home to provide additional office space, shall require Use Permit amendment and approval by the City of Chandler.
5. The site shall be maintained in a clean and orderly manner.
6. Use Permit approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Use Permit shall apply.

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## **Attachments**

Vicinity Maps

Exhibits

Narrative

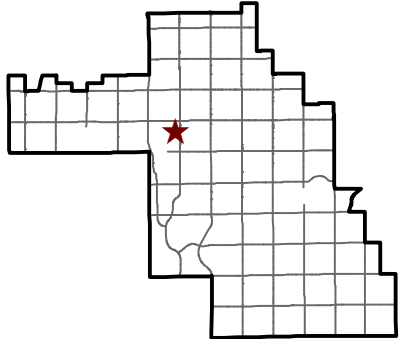
Existing Site



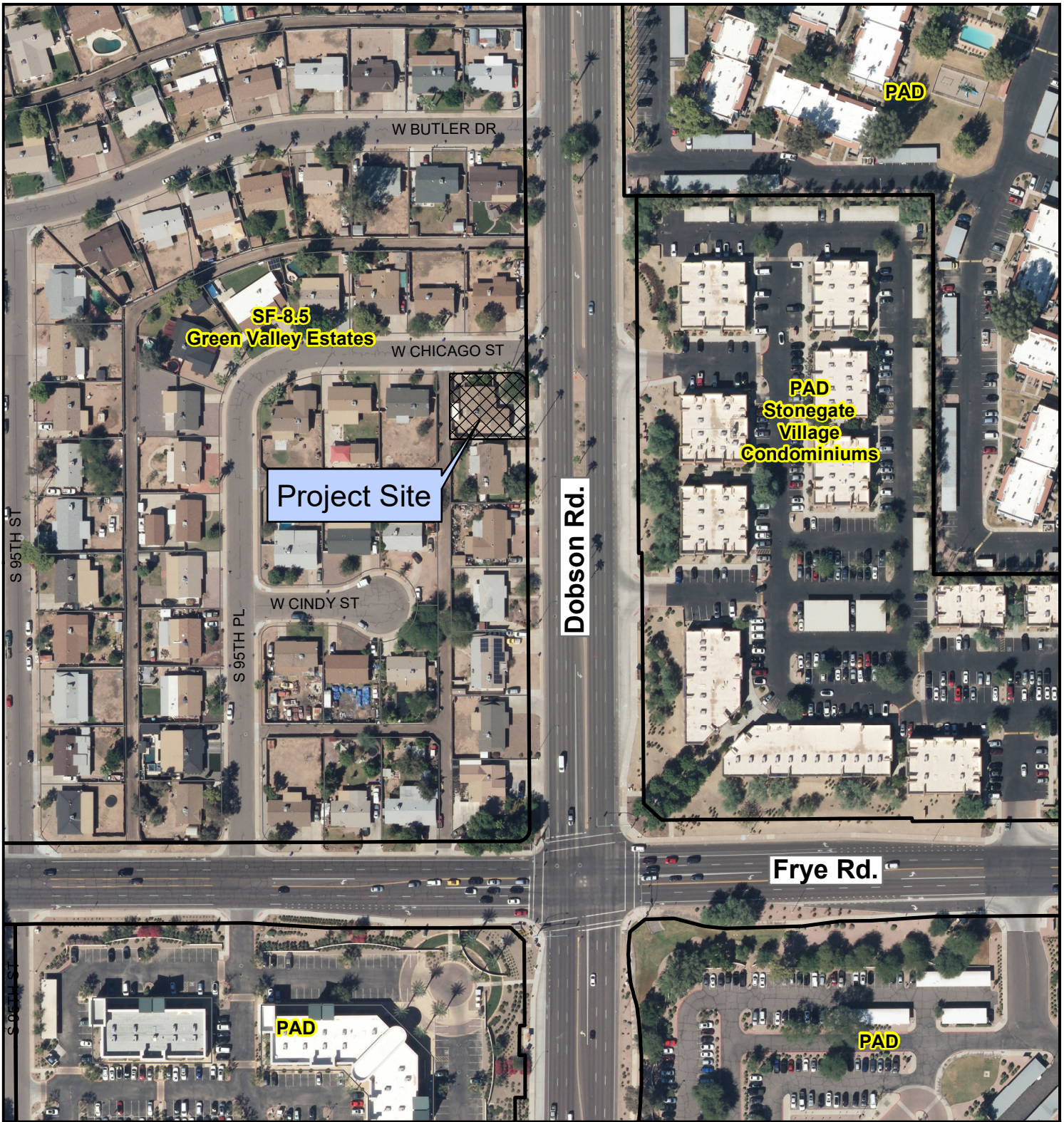
**PLH24-0005 Gold Trust Realty**



**Proposed Project Details**  
 200 S. Dobson Rd.  
 Use Permit Extension for continued use  
 of a residential home zoned Single Family  
 District (SF-8.5) as a real estate office



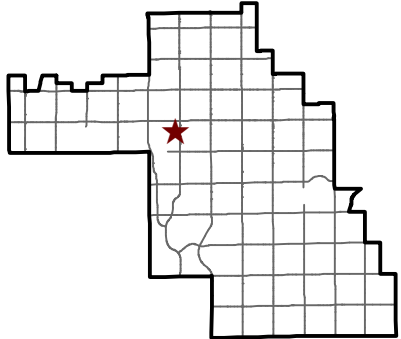
City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
 For more information visit:  
<https://gis.chandleraz.gov/planning>



**PLH24-0005 Gold Trust Realty**

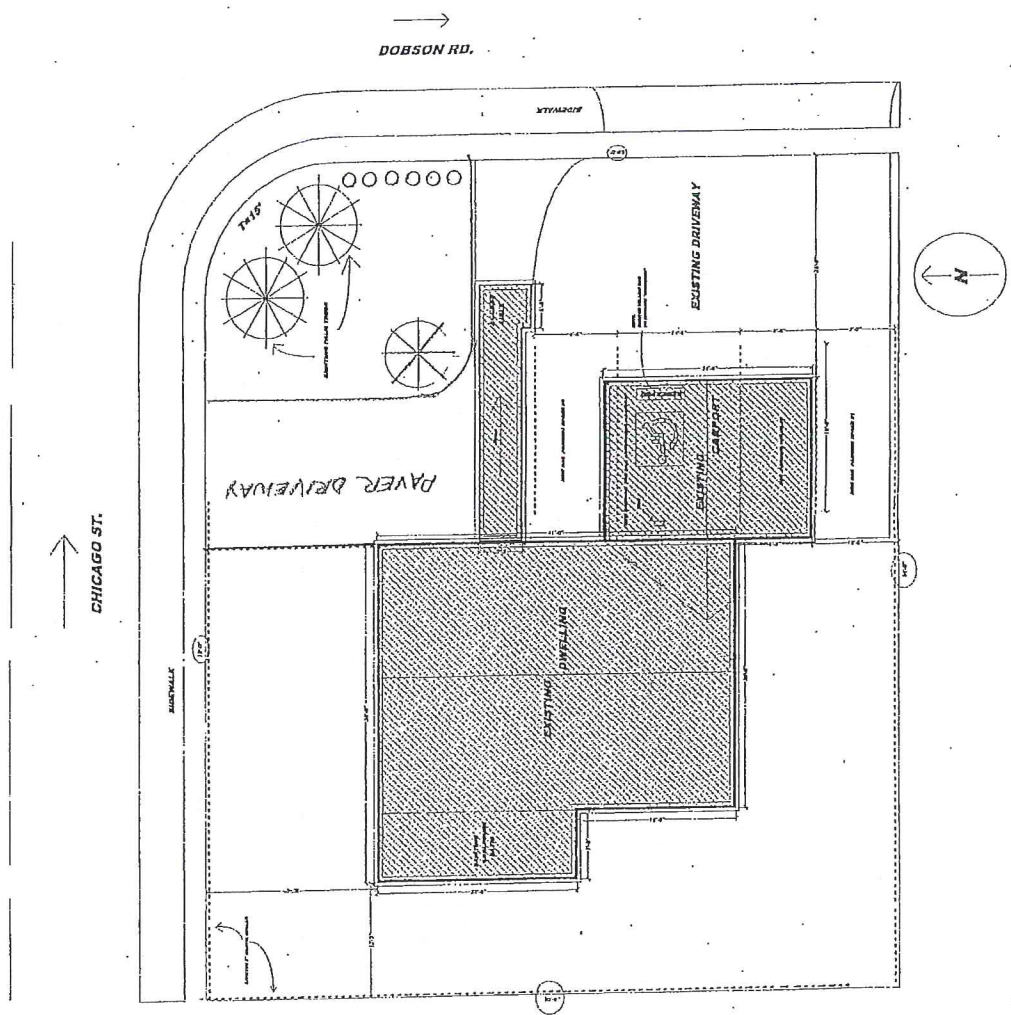


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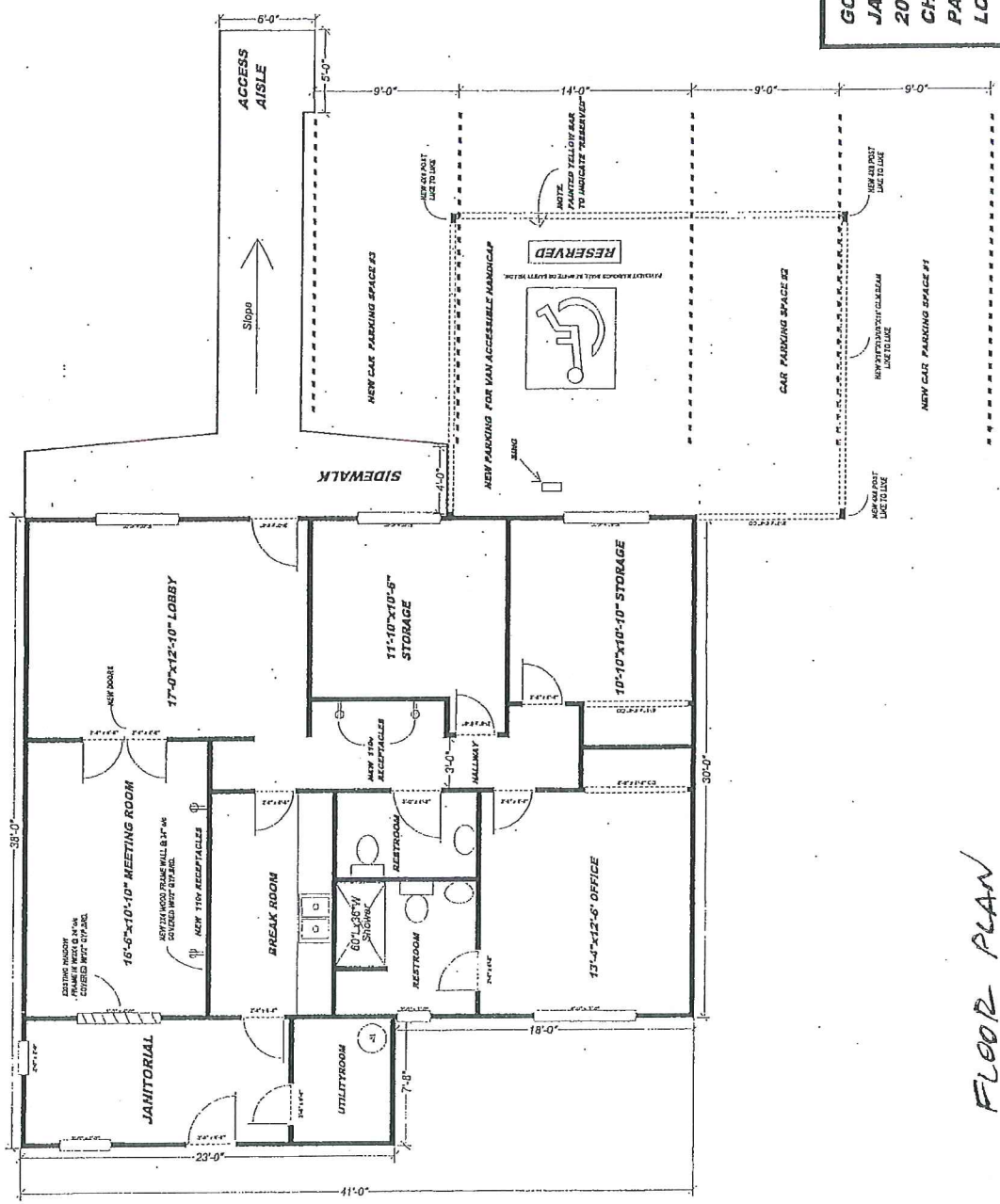
City of Chandler Planning Division  
[chandleraz.gov/planning](http://chandleraz.gov/planning)  
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GOLD TRUST REALTY  
JASON ZHANG  
210 SOUTH DOBSON ROAD  
CHICAGO, IL 60628  
PARCELS: 303-24-034  
LOT# 7



SITE PLAN

GOLD TRUST REALTY  
 JASON ZHANG  
 200 SOUTH DOBSON ROAD  
 CHANDLER, AZ 85226  
 PARCEL#: 303-24-034  
 LOT#: 7



FLOOR PLAN



Gold Trust Realty  
金 信 地 產

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Gold Trust Realty is a small real estate company that servers in east valley. We have one full time assistant who works at this location Monday through Friday between 9 am to 4:30 pm; and we also have a couple of part time realtors who comes in occasionally. Office hours are Monday through Friday, 9:00 am to 4:30 pm.





Google

