

PLH25-0034

Tumbleweed Estates

Exhibits

Location:

1981 S Tumbleweed Lane

Generally located 1/3-mile east and north of the northeast
corner of Germann Road and Alma School Road

September 11, 2025

City of Chandler
Development Services
215 E Buffalo St
Chandler, AZ 85225

Attn: Planning and Zoning

Project: PLH25-0034 Tumbleweed Estates

Project Address: 1981 S Tumbleweed Lane

APN: 303-27-009U

Re: Rezoning Narrative

We, Tumbleweed Partners LLC, are requesting a rezoning of the property located at 1981 S Tumbleweed Lane from its current zoning of AG-1 to an updated zoning of AG-1/PAD, while retaining the original AG-1 attributes. See Attached **Exhibit A:** Aerial Location Photographs. Tumbleweed partners are proposing to split the subject property into five (5), one (1) gross acre lots for resale to accommodate five single family residences, aligning with the City of Chandler General Plan Neighborhood designation and the character of the existing residences in the area. See attached **Exhibit B:** Tumbleweed Estate Preliminary Plat.

As part of the improvement process, an ingress/egress easement, the Musket Place easement, is required to provide access to the five new lots. The addition of the Musket Place easement will result in the reduction of the net lot size of each lot to just under an acre each. This does not conform to the current AG-1 zoning development standards which require a minimum net lot area of one (1) acre. We are stressing the importance of maintaining the current agrarian qualities of the neighborhood to sustain the uniqueness of the other AG-1 properties in the area.

The only deviation requested from the existing AG-1 zoning standards will be the minimum lot sizes as provided in the below chart:

Lot No.	Gross Area (Includes Musket Place Easement and Tumbleweed Lane)	Net Area (Excludes Musket Place Easement)
Lot 1	1.005 AC	0.845 AC
Lot 2	1.005 AC	0.889 AC

Lot 3	1.005 AC	0.844 AC
Lot 4	1.005 AC	0.889 AC
Lot 5	1.000 AC	0.989 AC

The remainder of the existing AG-1 zoning standards listed in **Article IV of the city Zoning Code** will continue to be required including the AG-1 permitted uses, building heights, setbacks, and maximum lot coverage. These standards are listed below for reference:

35-401. - Uses permitted.

[The following are uses permitted in this district:]

- (1) Single-family dwellings.
- (2) Field crops such as cotton, grain, vegetables, fruit trees, flowers.
- (3) Raising and marketing of poultry, rabbits and other small, domesticated animals provided they are contained within a fence or cage. No slaughtering of animals for commercial purposes.
- (4) Agrarian subdivisions, subject to:
 - (a) Livestock raising and grazing is permitted for a maximum of one (1) livestock animal per seven thousand (7,000) square feet of lot area.
 - (b) No more than one (1) hog, weighing more than fifty (50) pounds, may be kept per thirty-five thousand (35,000) square feet of lot area.
 - (c) All animals must be contained in a stock-tight fence and/or corral. Such fence or corral shall not be permitted closer than one hundred (100) feet to the front property line. For corner lots, no such fence or corral shall be located closer to the side right-of-way line than the principal building.
 - (d) Accessory buildings used specifically for animals and fowl, provided they are located within the area fenced for animals and maintain the same front yard requirements as provided for the principal building.
- (5) Farm roadside stand.

(6) Riding stables (minimum area, ten (10) acres).

(7) Home occupations, in accordance with Article XXII, section 35-2215 of this Code.

(8) Fences, walls, landscape screens not exceeding seven (7) feet in height adjacent to rear and side property lines and not to exceed three (3) feet in height adjacent to front yard.

(9) Swimming pools, private, in accordance with Article XXII, section 35-2205 of this Code.

(10) One (1) accessory building, In accordance with Article XXII, section 35-2202 of this Code.

(11) Signs are permitted in accordance with the Chandler Sign Code [Chapter 39].

(12) Storage shed, In accordance with Article XXII, section 35-2203 of this Code.

(13) Accessory dwelling units, in accordance with Article XXII, section 35-2202.2 of this Code.

(Ord. No. 3063, § 3, 11-18-99; Ord. No. 4931, § 2(Exh.), 8-13-20; Ord. No. 5075, § 2(Exh.), 2-22-24; Ord. No. 5113, § 2(Exh.), 12-9-24)

35-402. - Uses permitted by use permit.

(1) Any other use determined by the Council to be compatible with other uses in the area and consistent with the general plan [are permitted by use permit].

(Ord. No. 1251, § 1, 10-10-83; Ord. No. 3063, § 3, 11-18-99)

35-403. - Height and area regulations.

(1) Height regulations: No building shall exceed twenty-five (25) feet in height at the building setback line, except any building may exceed such height provided that at no point it projects above a line sloping inward and upward at a forty-five (45) degree angle at the required setback line to a maximum height of thirty-five (35) feet.

(2) Front yard: The yard requirements shall be determined by the right-of-way width of the street the lot fronts. The following schedule indicates front yard requirements:

Approved R/W Width of Abutting Street(s) (feet)	Required Front Yard (feet)
50-59	20
60-79	25
80-99	30
Greater than 99	50

For through lots, a front yard shall be required from the street which the principal building will front.

(3) Side yard:

(a) Interior lots: Each side yard shall not be less than thirty (30) feet.

(b) Corner lots: For street side, the minimum side yard shall be one-half ($\frac{1}{2}$) as required for a front yard for the abutting street but in no case less than thirty (30) feet. Interior side yards shall be a minimum of thirty (30) feet.

(4) Rear yard: No rear yard shall be less than forty (40) feet.

(5) Intensity of lot use: In no event shall all buildings cover more than forty (40) percent of the net lot area.

To support this development, Tumbleweed Partners have been working closely with both the City of Chandler Planning and Zoning, and the neighbors along S Tumbleweed Lane, to define and record a dedicated water and sewer utility easement that will protect and support future neighborhood needs and requirements.

Currently, the water and sewer utilities for the existing properties along S Tumbleweed Lane are serviced by septic systems and a neighborhood shared water well with no infrastructure in place to provide city services. As part of the rezoning and development of 1981 S Tumbleweed Lane, we will be bringing access to City of Chandler water and sewer to all residents along S Tumbleweed Lane by utilizing the newly created easement to install infrastructure mains.

Tumbleweed Partners believe the request to rezone the subject property using zoning classification AG-1/PAD in section 35-401 of the city code is consistent with existing land use in the surrounding area and as evidenced by the City of Chandler Planning Interactive Map details. Furthermore, the request aligns with sections 35-400 – Purpose of Article IV - AG-1 – Agricultural District of the Land Use and Zoning Code which states:

35-400. – Purpose.

The purpose of this district is to provide for agricultural areas within the City and to protect and conserve these areas within and adjacent to urban development. The regulations of this district are designed to protect, stabilize and enhance the development of agricultural resources and to prohibit those activities which would adversely affect the urban-rural characteristics of this district.

Overhead SRP powerlines running adjacent to the subject property will be buried and extended into the subdivision along with utilities from Southwest Gas, Cox Communications, and SRP Irrigation. A six-foot block fence will enclose the proposed subdivision.

In closing, for the better part of two-plus years, Tumbleweed Partners have been partnering with the neighbors of S Tumbleweed and the City of Chandler to deliver the best possible outcome that supports future growth while providing benefit to the adjacent property owners. We appreciate your consideration of our rezoning request to allow the development to continue moving forward.

Regards,

Brad Wiesenhofer
Managing Partner, Tumbleweed Partners, LLC
bradwiesenhofer@gmail.com

EXHIBIT A

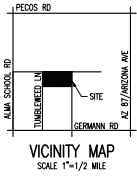
1985 S Tumbleweed Ln (APN 303-27-009U)

Aerial Photograph
1985 S Tumbleweed Ln (APN 303-27-009U)



EXHIBIT B

TUMBLEWEED ESTATES
A PRELIMINARY PLAT MAP OF ASSESSOR'S PARCEL 303-27-009U
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 04, TOWNSHIP 02 SOUTH, RANGE 05 EAST, OF THE GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



PROJECT DESCRIPTION

A PROPOSED SUBDIVISION ALONG TUMBLEWEED LANE IN CHANDLER, AZ.

PROJECT DATA

ASSESSOR'S PARCEL NUMBER 303-27-009U
ZONING: AG-1

LEGAL DESCRIPTION PARENT PARCEL 303-27-009U

PARCEL NO. 1

THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN;

PARCEL NO. 2

AN UNDIVIDED 2/16TH INTEREST IN AND TO A WELL SITE DESCRIBED AS FOLLOWS: THE EAST 50 FEET OF THE NORTH 50 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN;

PARCEL NO. 3

EASEMENT FOR DOMESTIC WATER LINE OVER AND ACROSS THE SOUTH 7 FEET OF THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4.

BASIS OF BEARING

NORTH 075°54' WEST ALONG THE NORTH-SOUTH MID-SECTION LINE OF SECTION 04 AS MEASURED BETWEEN MONUMENTS SHOWN HEREON AND DESCRIBED UNDER MONUMENT NOTES; ALSO SHOWN ON THE FINAL PLAT FOR GCACS SURVEY FOR T25, R5E (R9).

BENCHMARK

CITY OF CHANDLER VERTICAL CONTROL POINT "30A" - SECTION 5, T25, R5E, 3-INCH BRASS CAP IN CONCRETE, 200 FT NORTH OF INTERSECTION OF GERMAN RD AND ALMA SCHOOL RD; 3 FT WEST OF BACK OF SIDEWALK AT WEST OF ALMA SCHOOL RD. (NORTHING: 828448.304, EASTING: 717765.451) NAVD83 ELEVATION: 1209.15 (ft) (10)

SECONDARY BENCHMARK

F REBAR/CAP (LS 25090) FOUND AT NORTHWEST CORNER OF PARENT PARCEL. NAVD83 ELEVATION: 1211.36

CITY OF CHANDLER PRELIMINARY PLAT NOTES

- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

LOT AREAS

LOT NO.	GROSS AREA (INCLUDES MUSKET PLACE EASEMENT AND TUMBLEWEED LANE)	NET AREA (EXCLUDES MUSKET PLACE EASEMENT)
LOT 1	1.005 AC	0.845 AC
LOT 2	1.005 AC	0.889 AC
LOT 3	1.005 AC	0.844 AC
LOT 4	1.005 AC	0.889 AC
LOT 5	1.000 AC	0.989 AC

TOTAL GROSS AREA: 5.023 AC

TOTAL NET AREA: 4.456 AC (EXCLUDES TUMBLEWEED LANE AND MUSKET PLACE EASEMENT)

BOUNDARY CLOSURE CALCULATION SUMMARY

LOT NO.	ERROR NORTH	ERROR EAST	CLOSURE ERROR
LOT 1	-0.00400	0.00001	0.00040
LOT 2	-0.00029	-0.00001	0.00030
LOT 3	-0.00042	-0.00008	0.00040
LOT 4	-0.00030	-0.00010	0.00030
LOT 5	-0.00045	0.00006	0.00050

OWNER

TUMBLEWEED PARTNERS, LLC
12430 E. VALLEJO ST
CHANDLER, AZ 85249
TEL: (602) 690-0175
EMAIL: BRADWIESENHOFER@GMAIL.COM

CIVIL ENGINEER

THOMAS GAIL HAWS
NPS MARICOPA INC
859 NORTH LAFAYETTE,
MESA, AZ 85201
TEL: (480) 201-5476
EMAIL: NPSMARICOPA@GMAIL.COM

SURVEYOR

TIMOTHY J. EVANS, PLS
EVANS PROFESSIONAL LAND SURVEY
2185 S BAWING ST
GILBERT, AZ 85295
EMAIL: TIM.EVANS@EVANS-PRO.COM

LEGEND

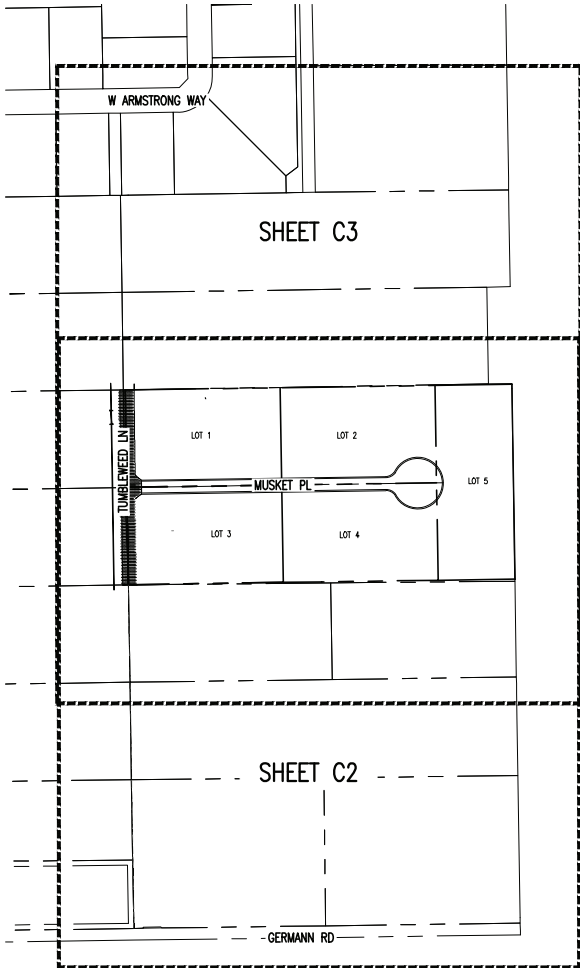
---	ADJACENT LOT LINE
---	PROPERTY LINE
---	EASEMENT LINE
-1211-	PROPOSED GROUND CONTOUR EXISTING
-1211-	GROUND CONTOUR
W	DRAINAGE FLOW ARROW
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
S	EXISTING SEWER LINE
S	PROPOSED SEWER LINE
⊗	EXISTING IRRIGATION VALVE
⊗	EXISTING WATER VALVE
⊗	PROPOSED SEWER MANHOLE
⊗	EXISTING IRRIGATION LINE
⊗	PROPOSED IRRIGATION LINE
---	EXISTING DIRT ROAD
---	PROPOSED PAVING ALONG TUMBLEWEED LANE (SEE NOTE 19)
CO	SEWER CLEANOUT

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER
AC	ACRE
C	CONCRETE
CMU	CONCRETE MASONRY UNIT
COC	CITY OF CHANDLER
CY	CUBIC YARD
DTL	DETAIL
EG	EXISTING GRADE
EWMT	EASEMENT
FH	FIRE HYDRANT
FL	FLOWLINE
GCACS	GEODETIC CENSIFICATION AND CADASTRAL SURVEY
HME	HEADWATER ELEVATION
IRRG	IRRIGATION
LF	LINEAR FEET
MAC	MARICOPA ASSOCIATION OF GOVERNMENTS
NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
P	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
PL	PROPERTY LINE
SF	SQUARE FEET
STD	STANDARD

SHEET INDEX

C1	COVER SHEET
C2	PRELIMINARY PLAT
C3	PRELIMINARY PLAT



SHEET INDEX MAP
SCALE 1"=100'

REVISIONS

NPS MARICOPA INC.
AN ARIZONA NONPROFIT CORPORATION
859 N LAFAYETTE
MESA, ARIZONA 85201
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TOM.HAWS@GMAIL.COM

COVER SHEET
TUMBLEWEED ESTATES
CHANDLER, AZ

PROJECT:

811
Know what's below.
Call before you dig.

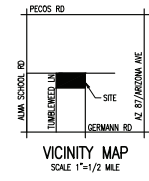
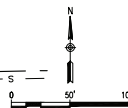


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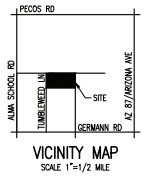
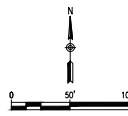
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SHEET NO.

C1
C.O.D. No
PLT23-0023



 Know what's below. Call before you dig.		PROJECT: TUMBLEWEED ESTATES CHANDLER, AZ		PRELIMINARY PLAT		NPS MARICOPA INC. AN ARIZONA NONPROFIT CORPORATION 800 N. LAVETTE MILWAUKEE, WISCONSIN 5301 (460) 201-5476 TON@NPSI.ORG		REVISIONS	
		JOB NO. M23089		DRAWN BY: JPB		SHEET NO. C2		C.O.C. Log No PL123-0023	



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PRELIMINARY PLAT
TUMBLEWEED ESTATES
CHANDLER, AZ

PROJECT:



JOB NO.
M23089
DRAWN BY: JPB

SHEET NO.
C3
C.O.C. Log No
PLT23-0023