

Planned Area Development
and
Preliminary Development Plan

for

Cooper Road Medical
and Retail Building

South of the Southwest Corner of
Chandler Boulevard and Cooper Road

by:

HHB IX, LLC

Case No.: PLH25-0009

Submitted: April 18, 2025
2nd Submittal: June 20, 2025
3rd Submittal: September 29, 2025

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Cooper Road Medical and Retail Building

I. INTRODUCTION

HHB IX, LLC (“HHB”) is the proposed developer of approximately 0.65 acres (gross and net) located 0 N. Cooper Road, generally south of the southwest corner of Cooper Road and Chandler Boulevard (the “Site”). (See **Exhibit 1**, Aerial) The Site is part of the Village at the Springs and is identified as Maricopa County Assessor’s Parcel Number 303-02-927. HHB proposes developing this challenging, infill site with high quality commercial and office uses.

II. SITE AND SURROUNDING AREA

The Site is bound on the north by a commercial center with a Walgreens, on the west by The Waterfall, a condominium development, on the south by The Springs, a single-family residential neighborhood, and on the east by Cooper Road. Beyond Cooper Road to the east is a canal and the parking lot of the Colonia Coronita Condominium community. The Site is designated as 'Neighborhoods' in the City’s 2016 General Plan. (See **Exhibit 2**, General Plan Map) The property is also zoned as a Planned Area Development (PAD). (See **Exhibit 3**, Zoning Map) Permitted uses in the PAD are limited to retail uses only. Non-retail uses listed in Section 2100 of the Zoning Code, such as, *but not limited to*, assembly halls, nursing homes, community centers, churches, hospitals and miniature golf require an amendment to the PAD.

III. PROPOSED PAD

One of the objectives of PAD zoning is “to provide for a coordinated and compatibly arranged variety of land uses through innovative site planning.” Another objective is “to provide a maximum choice in the types of environments for residential, commercial, and industrial uses and facilities.” The intent of this PAD is to accomplish those objectives by rezoning the Site from the existing PAD to PAD Commercial (C-2 uses as found in the City’s Zoning Code and office, including general, professional, and medical office). The proposed zoning change responds to the existing and future needs of the community by providing neighborhood commercial uses and services. The proposed PAD meets the applicable zoning objectives.

IV. PROPOSED PDP

A conceptual site plan and building elevations are included with this application as **Exhibit 4** and **Exhibit 5**, respectively. It is important to note that the proposed medical office component occupies approximately 2,435 square feet of the total 5,454-square-foot building. The remaining approximately 3,019 square feet will be split between two retail suites.

The architectural design of the building elevations is thoughtfully inspired by the adjacent Walgreens to the north, promoting visual cohesion along the corridor while incorporating distinctive elements that establish this project’s unique identity as a standalone development. To further enhance the aesthetic quality, windows have been strategically added to the rear façade—facing Cooper Road—introducing visual interest and improving the overall streetscape presence. (See **Exhibit 6**, Building Perspectives)

A new 10-foot-wide equestrian trail will be constructed along the full length of the southern property boundary, enhancing connectivity and reinforcing the site's integration with the surrounding trail network. (See **Exhibit 7**, Landscape Plan)

A. Development Standards

The Cooper Road Medical and Retail Building will be developed with the following development standards:

Regulation	Development Standard
Building Height (max.)	20 ft.
Building Setback (min.)	
- East	20 ft.
- North	0 ft.
- West	5 ft.
- South	45 ft.
Landscape Setback (min.)	
- East	20 ft.
- North	0 ft.
- West	0 ft.
- South	0 ft.

B. Parking

The As illustrated on the Site Plan, the property includes 28 standard parking spaces and 2 ADA-accessible spaces to accommodate the proposed 5,454-square-foot building. Parking requirements will be calculated at a ratio of 5.5 spaces per 1,000 square feet of building area. This methodology aligns with the City's standard for commercial centers under 10,000 square feet and was also applied in determining parking requirements for the adjacent Walgreens.

V. MISCELLANEOUS

A. Phasing

HHB intends to develop in one phase. Deviations from the proposed phasing schedule may be administratively approved by Staff.

B. Grading and Drainage

All development drainage systems will be designed and constructed in accordance to the latest MAG Standard Specifications and Details and the latest City Standards Details and Specifications. Onsite drainage and retention shall consist of some onsite surface retention and an underground storm drain system that will be designed to capture storm water runoff according to the City's calculation requirements.

VI. PROJECT TEAM

Developer:

HHB IX, LLC
Attn: Alyse Hilles
7121 S. Val Vista Dr, Suite 101
Gilbert, AZ, 85298

Architect:

ProCaDesign, LLC
Attn: Ana Victoria
1301 E. Washington St, Suite 202
Phoenix, AZ 85034

Zoning:

Ray Law Firm
Attn: Brennan Ray
2325 E. Camelback Rd, Suite 180
Phoenix, AZ 85016

VII. CONCLUSION

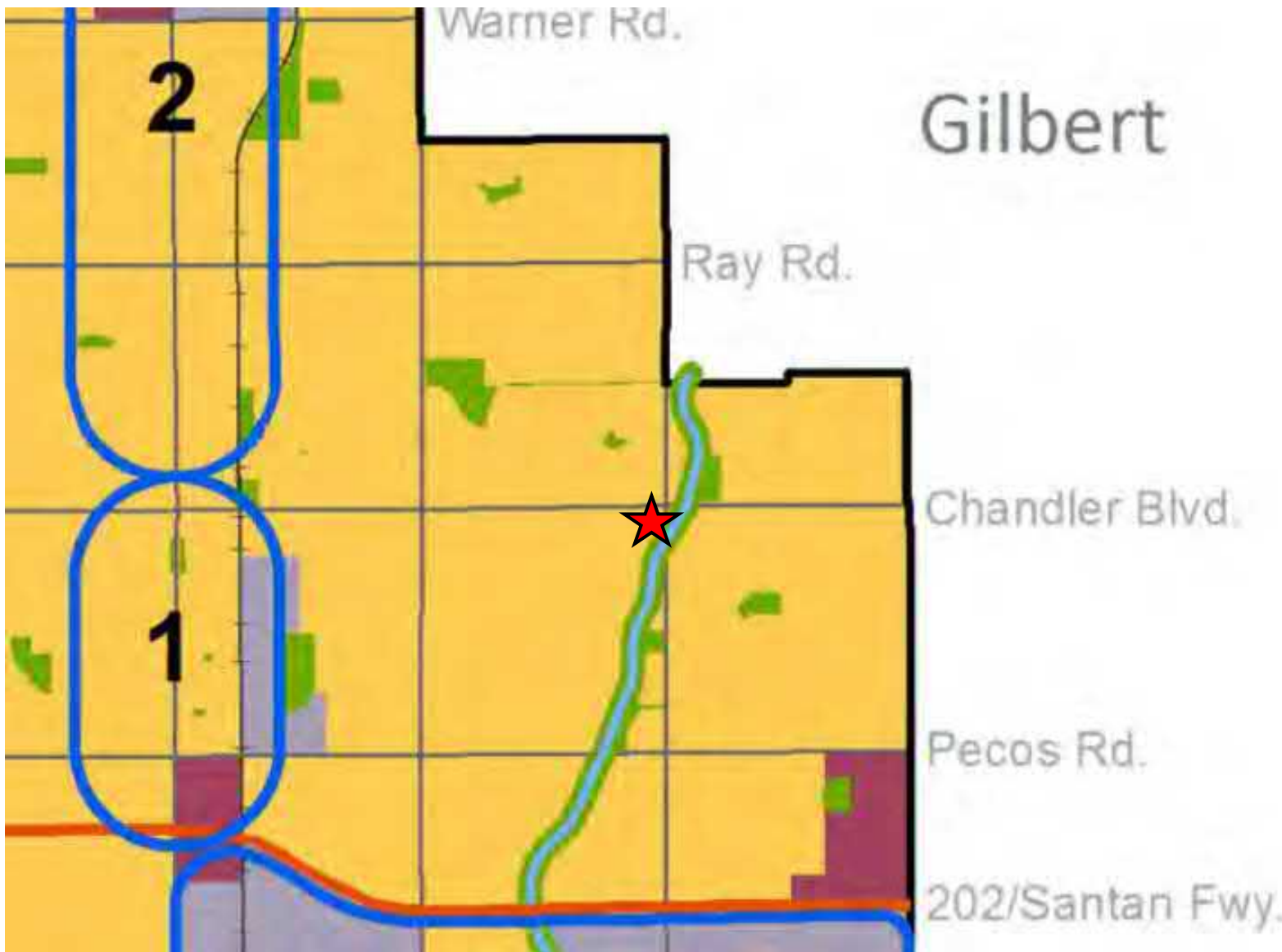
The proposed development is an excellent use of this challenging infill property with neighborhood commercial uses. The architecture is compatible with the surrounding area. The design will be attractive in area. We request your approval.

HHB IX, LLC

Exhibit 1



Exhibit 2



Future Land Use Plan Map



Neighborhoods

This category allows a range of residential densities and a variety of non-residential uses such as commercial, institutional, public facilities, and commercial offices based upon location and other criteria as described in the text of the general plan.



Regional Commercial

Major regional commercial uses such as shopping malls, power centers, large single-use retail, and other commercial centers. As described in the general plan text, these locations are eligible for consideration of urban-style mixed-use developments. Other supportive land uses that may be allowed include large offices and mixed residential densities.



Employment

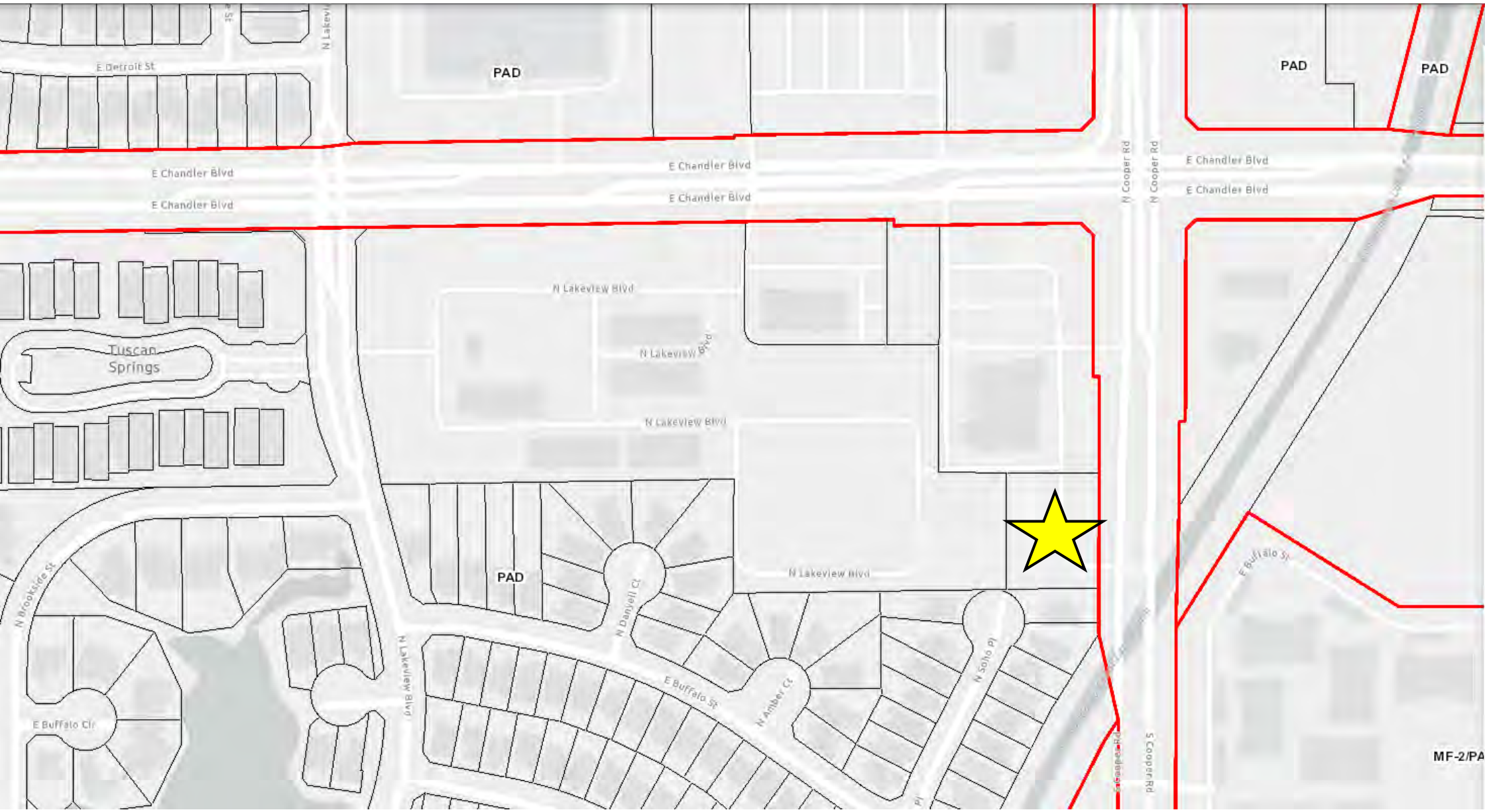
Major employers, knowledge-based employers, industrial/business parks, and industrial support uses. A compatible mix of supporting commercial uses and residential densities as an integral component may be considered as described in the General Plan text, growth area policies, and area plans.



Recreation/Open Space

Public parks and open spaces shown are greater than approximately five acres. Refer to the Parks and Open Space Map for more information.

Exhibit 3



Legend

Planning Layers

Zoning



Parcel



Zoning Cases

 Proposed

 Approved

Group Home

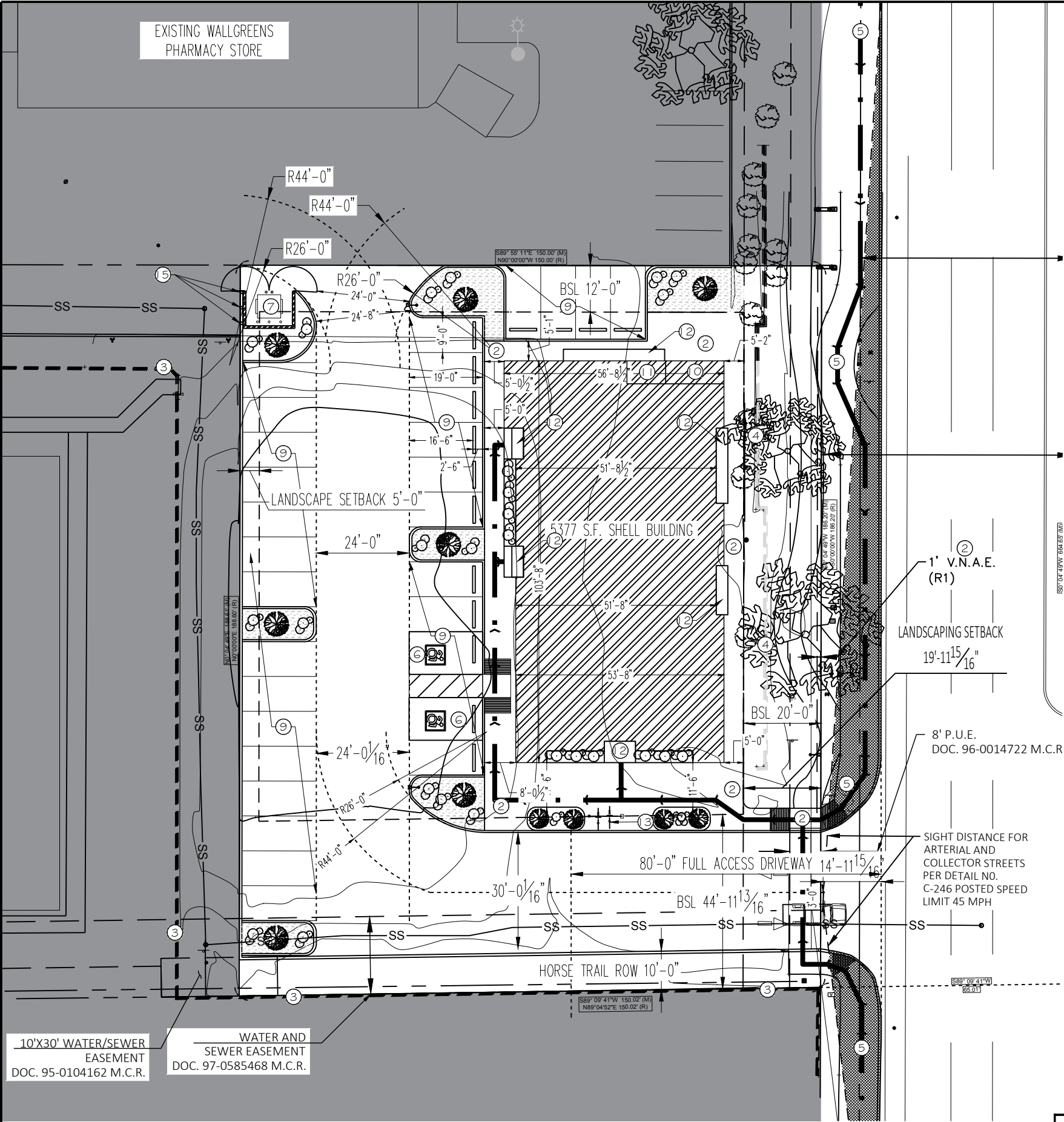


City Boundary



MF-2/PA

Exhibit 4



SITE PLAN NOTE

NOTE: SITE PLAN DIMENSIONS ARE OBTAINED FROM COUNTY ASSESSOR'S WEBSITE AND ARE TO BE USED AS A POINT OF REFERENCE ONLY. FOR EXACT DIMENSIONS, PLEASE CONTACT A REGISTERED SURVEYOR. PROCADESIGN SHOULD NOT BE HELD LIABLE IF THE DIMENSIONS FOUND ON COUNTY ASSESSOR'S WEBSITE ARE INACCURATE, IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO GET A SURVEY OF THE PROPERTY.

LEGEND

(NOT ALL USED)

M.C.R.	MARICOPA COUNTY RECORDER	FOUND BRASS CAP IN HAND HOLE
P.U.E.	PUBLIC UTILITY EASEMENT	SET 5/8" REBAR WITH CAP RLS# 35113
FND	FOUND	SET MAG NAIL WITH WASHER RLS# 35113
CMU	CONCRETE MASONRY UNIT	BREAKLINE
D/W	DRIVEWAY	BACKFLOW PREVENTER
BK. PG.	BOOK AND PAGE	SANITARY SEWER CLEANOUT
DOC.	DEED # M.C.R.	FIRE DEPARTMENT CONNECTION
M	MEASURED	FIRE HYDRANT
R	RECORD	GATE
COC	CITY OF CHANDLER	AERIAL PANEL POINT
⊗	SANITARY SEWER MANHOLE	LIGHT POLE
⊗	TELEPHONE PEDESTAL	STORM DRY WELL
⊗	MISC. VAULT	SIGN
⊗	WATER METER	STREET LIGHT
⊗	WATER MANHOLE	EXISTING TREE
⊗	WATER VALVE	EXISTING BUSH/SHRUB

---	SECTION LINE
---	BOUNDARY LINE
---	ADJACENT BOUNDARY LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	UNDERGROUND SEWER LINE
---	CMU BLOCK WALL

KEY NOTES

- NEW SHELL BUILDING (SUBJECT OF THIS PROJECT)
- NEW 5' WIDE SIDEWALK
- EXISTING 6' CMU FENCE
- EXISTING 3' CMU FENCE TO BE DEMOLISHED
- EXISTING SIDEWALK
- PROPOSED ADA PARKING SPACE
- TRASH CONTAINER AND ENCLOSURE
- LANDSCAPING AREA
- PROPOSED 9' x 19' PARKING SPACES (16.5' PARKING SPACE + 2.5' OVERHANG)
- RISER ROOM
- SES ELECTRICAL SERVICE ENTRANCE
- BUILDING ENTRANCE CANOPY
- BICYCLE PARKING
- BOLLARDS TO PROTECT TRASH ENCLOSURE

PARKING CALCULATIONS

CHANDLER CITY CODE CHAPTER 35.
PARKING REQUIREMENTS

BUILDING FOOTPRINT 5377 S.F.

SHELL BUILDING= 5377 SQ/FT
SPACES REQUIRED = 5.5 PER 1000SQ.FT.
TOTAL = 29.57

PARKING PROVIDED

REGULAR SPACES	28
HANDICAP SPACES	2
TOTAL SPACES	30

5% PARKING LANDSCAPE OF TOTAL PARKING AREA.

PARKING LANDSCAPE AREA REQUIRED= 776.83S.F.
PARKING LANDSCAPE AREA PROVIDED = 1215.65 S.F.

PROJECT DESCRIPTION

NEW SHELL BUILDING

OWNER

HNB XI LLC
ABDUL JAZZAR
PHONE NUMBER:480 980 8099
EMAIL ADDRESS:aj.jazzar@hnbgroup.net

DEVELOPER:

NAME:PROCADESIGN
PHONE NUMBER:6026062885
EMAIL ADDRESS: INFO@PROCADESIGN.COM
ADDRESS:1301 E WASHINGTON ST SUITE 202 PHOENIX AZ 85034

PROJECT INFORMATION

PROJECT ADDRESS: 0 N COOPER RD. CHANDLER AZ 85225
DESCRIPTION: NEW GROUND UP SHELL BUILDING
PARCEL #: 303-02-927
TOTAL SITE AREA: 28,106 S.F. (0.64 ACRES)
TOTAL BUILDING AREA: 5377 S.F.
TOTAL LOT COVERAGE: 19.13% OF TOTAL SITE AREA
MAX LOT COVERAGE: 55%

BUILDING AREA: 5454 S.F.
BLDG LOT COVERAGE: 55%
OCCUPANCY TYPE: -
CONSTRUCTION TYPE: V-B
NUMBER OF STORIES: 1
BUILDING HEIGHT: 20'-0"
REQUIRED DOOR WIDTH: 36" MIN
EXITS PROVIDED: -
FIRE SPRINKLERS: -
FIRE ALARMS/ STROBES/ ANNUNCIATORS: -
SMOKE DETECTORS: -
FIRE EXTINGUISHERS: -
EMERGENCY LIGHTING: -
EXIT SIGNS: -

CITY OF CHANDLER GENERAL SITE PLAN NOTES:

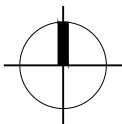
- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGN TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.

VICINITY MAP



ARCHITECTURAL SITE DEVELOPMENT PLAN

SCALE: 1" = 20'-0"
0 10' 20'



Call at least two full working days
before you begin excavation.

ARIZONA811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



#	DATE	REVISIONS

COOPER ROAD MEDICAL AND
RETAIL BUILDING
0 N COOPER RD
CHANDLER AZ 85225

DRAWN BY:

PROCADESIGN LLC

CONTACT #
www.procadesign.net
(602) 606-2885
info@procadesign.com

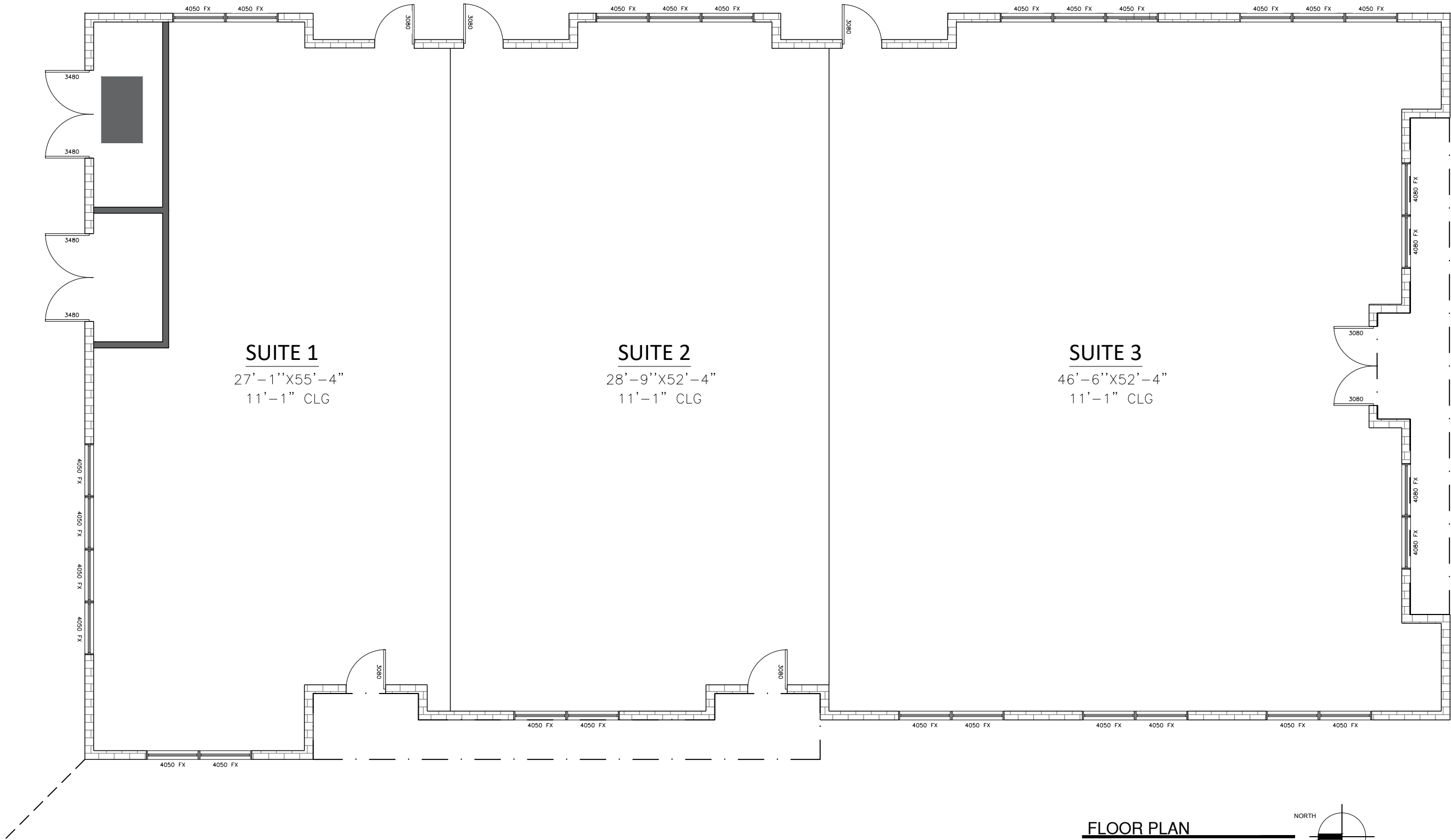
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SCALE: PER PLAN

SHEET:

A-0

Exhibit 5



#	REVISIONS	DATE

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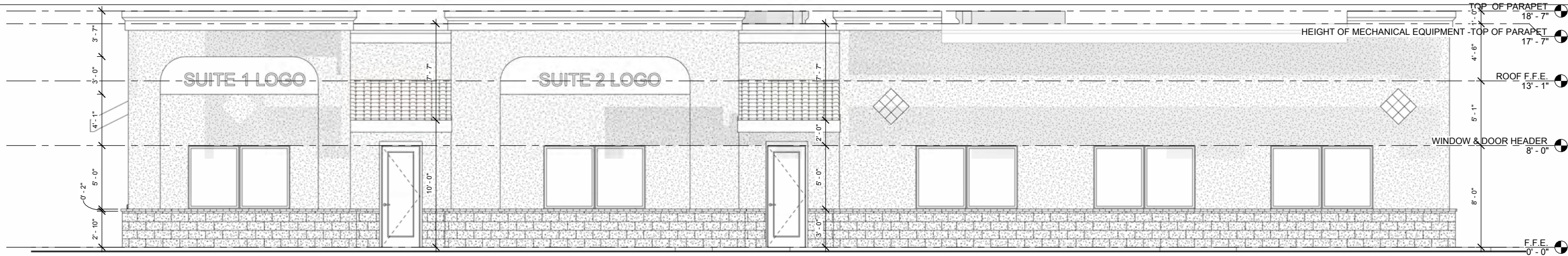
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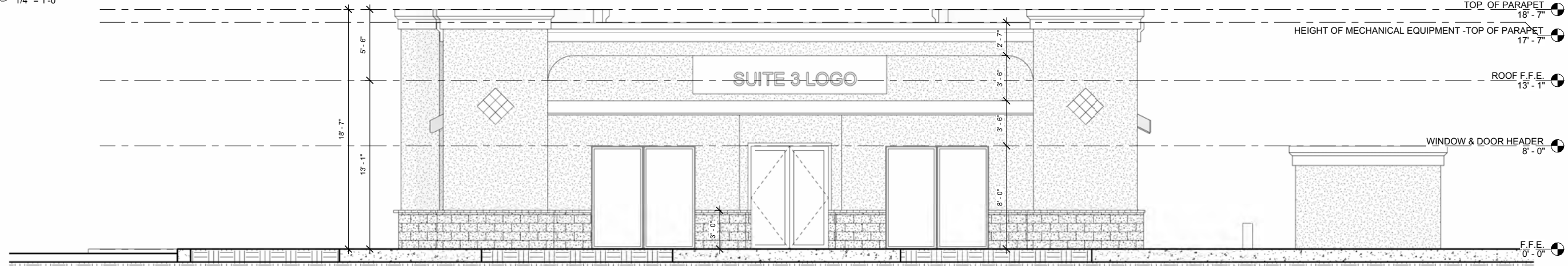
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PER PLAN

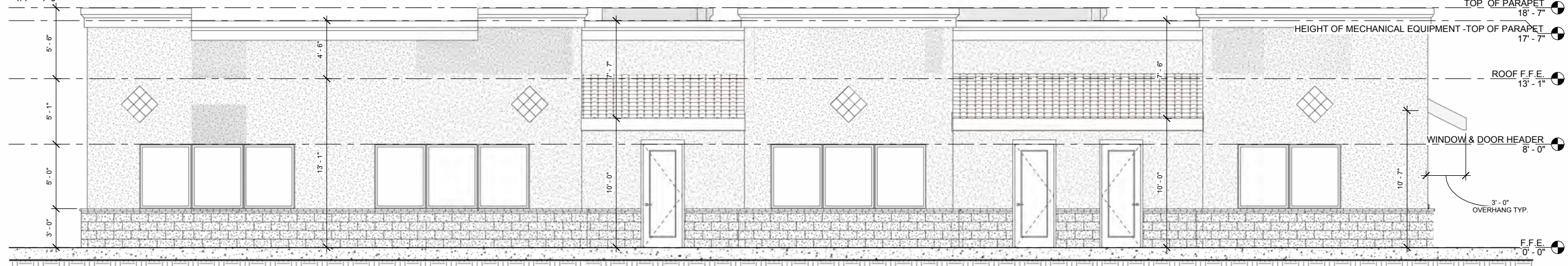
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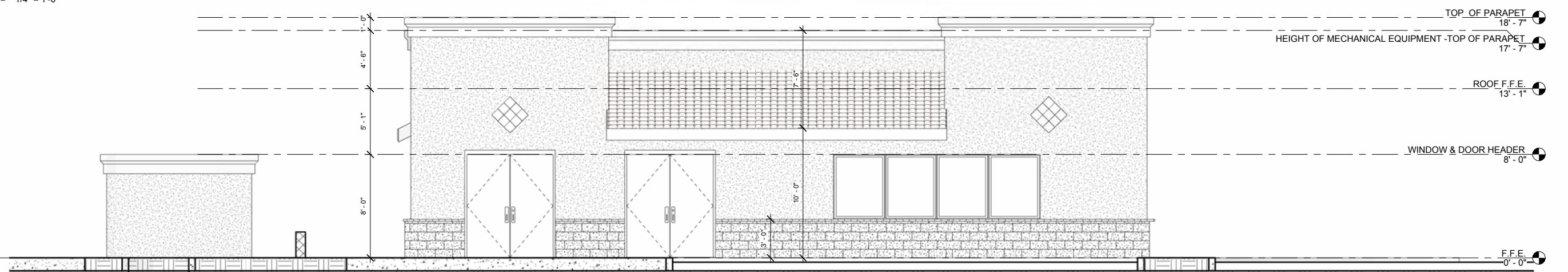
① WEST ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"



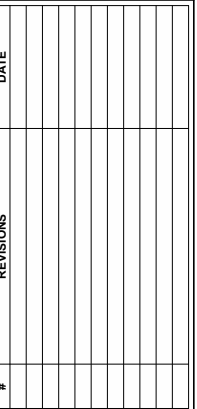
④ NORTH ELEVATION
1/4" = 1'-0"

REVISIONS		DATE
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RETAIL BUILDING**
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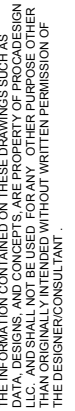
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SCALE
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SHEET



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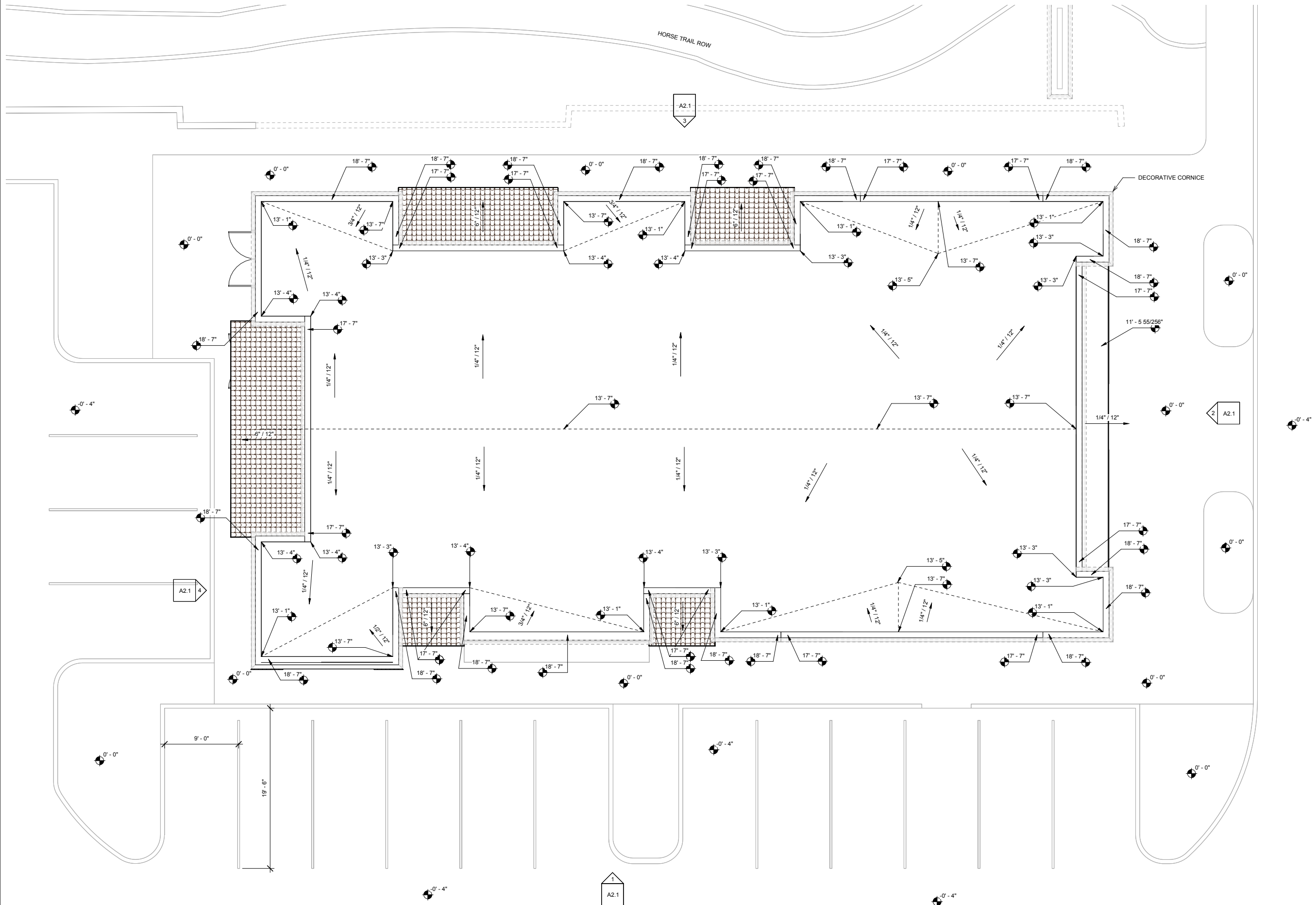
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SCALE	3/16" = 1'-0"
SHEET	

A4



① ROOF PLAN
3/16" = 1'-0"

Exhibit 6

	TRIM - SHERWIN WILLIAMS - TEA CHEST - SW 6103
	STUCCO - SHERWIN WILLIAMS - ALBASTER - SW 7008
	BLOCK BASE BOARDER - SHERWIN WILLIAMS - BARCELONA BEIGE - SW 7530
	DOOR & WINDOW - SHERWIN WILLIAMS - HOPSHACK - 6109
	FIRE RISE AND SES ROOM DOORS - SHERWIN WILLIAMS - HOPSHACK - 6109
	DIAMOND MAIN COLOR - SHERWIN WILLIAMS - NAVAL - 6244
	DIAMOND CENTER COLOR - SHERWIN WILLIAMS - IRON ORE - 7069



① 3D AERIAL VIEW FROM SOUTHWEST



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CHANDLER AZ 85225

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(602) 606-2885

info@procadesign.com

DATE 07/25/25

SCALE
1/4" = 1'-0"

SHEET

3D-0

PAINT LEGEND

- TRIM - SHERWIN WILLIAMS - TEA CHEST - SW 6103
- STUCCO - SHERWIN WILLIAMS - ALBASTER - SW 7008
- BLOCK BASE BOARDER - SHERWIN WILLIAMS - BARCELONA BEIGE - SW 7530
- DOOR & WINDOW - SHERWIN WILLIAMS - HOPSHACK - 6109
- FIRE RISE AND SES ROOM DOORS - SHERWIN WILLIAMS - HOPSHACK - 6109
- DIAMOND MAIN COLOR - SHERWIN WILLIAMS - NAVAL - 6244
- DIAMOND CENTER COLOR - SHERWIN WILLIAMS - IRON ORE - 7069



① 3D – NORTHWEST AERIAL VIEW



② 3D – SOUTHWEST AERIAL VIEW



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SCALE
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SHEET



① 3D – SOUTHEAST AERIAL VIEW



② 3D – NORTHEAST AERIAL VIEW

PAINT LEGEND

TRIM - SHERWIN WILLIAMS - TEA CHEST - SW 6103
STUCCO - SHERWIN WILLIAMS - ALBASTER - SW 7008
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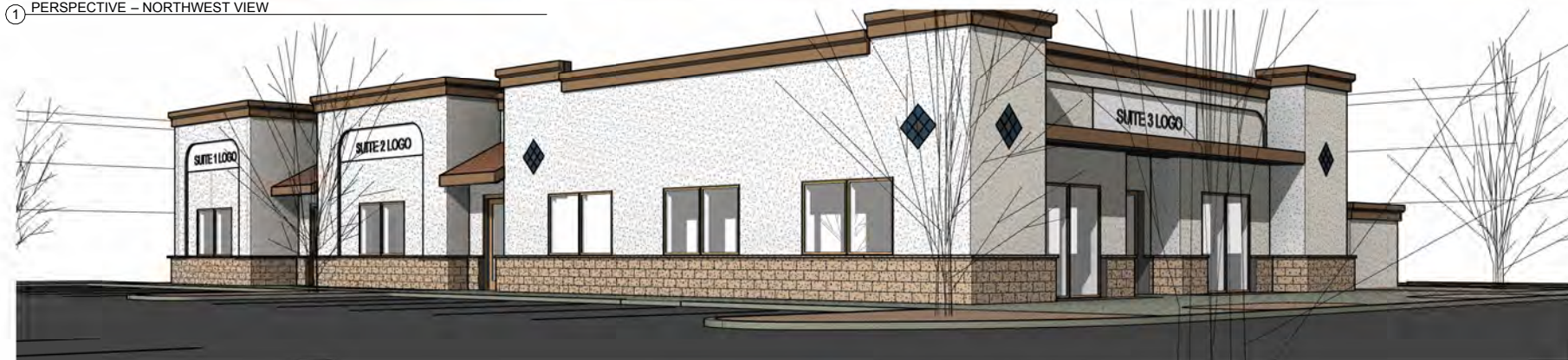
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① PERSPECTIVE – NORTHWEST VIEW



2 PERSPECTIVE – SOUTHWEST VIEW



③ PERSPECTIVE – SOUTHEAST VIEW



④ PERSPECTIVE – NORTHEAST VIEW

[illegible]

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SCALE 1/4" = 1'-0"
SHEET 3D-3

Exhibit 7



IMAGE	COMMON NAME	SYMBOL	QUANTITY AND SIZE
	PALO VERDE (PARKINSONIA ACULEATA)	 	1 – 24" BOX OR 2" CAL
	CHILOPSIS LINEARIS (DESERT WILLOW)	 	5 – 24" BOX
	CHILEAN MESQUITE (PROSOPIS CHILENSIS)	 	4 – 24" BOX
	OCOTILLO (FOUQUIERIA SPLENDENS)	 	3 – 15 GAL
	SAGUARO (CARNEGIEA GIGANTEA)	 	2 – 36" BOX

IMAGE	COMMON NAME	SYMBOL	QUANTITY AND SIZE
	TEXAS RANGER (LEUCOPHYLLUM FRUTESCENS)		13 – 5 GAL
	RED YUCCA (HESPERALOE PARVIFLORA)		14 – 5 GAL
	LANTANA (LANTANA SPP.)		12 – 1 GAL
	TRAILING INDIGO BUSH (DALEA GREGGII)		10 – 1 GAL (GROUND COVER)
	AGAVE (AGAVE PARRYI / AMERICANA)		4 – 5 GAL

1. CLUSTERING TO PROVIDE 1 TREE + 6 SHRUBS PER 30 LF AND 50% GROUND COVER AT MATURITY.
2. ALL LANDSCAPED AREAS SHALL UTILIZE COMPACTED NATIVE SOIL AS BASE MATERIAL UNLESS OTHERWISE SPECIFIED. SOIL SHALL BE GRADED FOR PROPER DRAINAGE AND COMPACTED TO 90% MINIMUM PER ASTM D1557.
3. ALL PLANT MATERIAL SHALL BE DROUGHT-TOLERANT AND DESERT-ADAPTED, SUITABLE FOR THE SONORAN DESERT CLIMATE.
4. IRRIGATION SHALL BE A LOW-VOLUME DRIP SYSTEM, AUTOMATIC AND SMART-CONTROLLED. NO OVERHEAD SPRAY ALLOWED IN NON-TURF AREAS.
5. ALL TREES SHALL BE DOUBLE-STAKED, INSTALLED IN PITS TWICE THE ROOT BALL WIDTH, AND BACKFILLED WITH NATIVE SOIL.
6. CONTRACTOR SHALL MAINTAIN LANDSCAPE AND IRRIGATION SYSTEMS FOR A MINIMUM OF 90 DAYS AFTER FINAL ACCEPTANCE, REPLACING ANY STRESSED OR DEAD VEGETATION.
7. HARDSCAPE SURFACES WITHIN LANDSCAPE AREAS TO BE STABILIZED DECOMPOSED GRANITE OR BROOM-FINISHED CONCRETE, AS SHOWN ON PLAN.
8. PLANTER ISLANDS TO COMPLY WITH CITY OF CHANDLER STANDARDS:

SINGLE-ROW ISLANDS (9'X19'): 1 TREE + 5 SHRUBS MINIMUM
9. EQUESTRIAN TRAIL ALONG THE SOUTH PROPERTY LINE SHALL BE PRESERVED PER CITY REQUIREMENTS. TRAIL TO BE A MINIMUM 8' WIDE, SURFACED WITH COMPACTED NATIVE SOIL, AND MAINTAIN 10' VERTICAL CLEARANCE. INSTALL A 3' CMU SCREEN WALL ADJACENT TO THE TRAIL WHERE INDICATED IN SITEPLAN.

[illegible]

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0 N COOPER RD
CHANDLER AZ 85225

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DATE	07/25/25
SCALE	As indicated
SHEET	

LS