

Airport Commission Regular Meeting

April 8, 2026 | 5:30 p.m.

Airport Terminal Conference Room
2380 S. Stinson Way, Chandler, AZ
or Webex 1-415-655-0001
code 2664 783 9269 password ayhmmnw7e77



Commission Members

Christopher Hawley
Cecil Orozco
Damian Nichols
Charles McCorkle
Thomas Gonzalez
Mark Mount
Robert Ehlbeck

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. § 38-431.02, notice is hereby given to the members of the Airport Commission and to the general public that the Airport Commission will hold a REGULAR MEETING open to the public on Wednesday, April 8, 2026, at 5:30 p.m., at Airport Terminal Conference Room, 2380 S. Stinson Way, Chandler, AZ. One or more Commissioners may be attending by WebEx.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at (480) 782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.

Airport Commission

Regular Meeting Agenda - April 8, 2026

Call to Order/Roll Call

Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the Board or Commission, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.

1. **February 2026 Regular Meeting Minutes**
Move to approve the Regular Meeting Minutes of February 11, 2026.

Action Agenda

2. Conflict Evaluation:PLH25-0037 Arizona Commerce Center Development
Move to present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "no conflict with airport uses" for the proposed Arizona Commerce Center Development.

Discussion

3. Recent Regional Airport Fee Implementations

Briefing

4. Monthly Operations Report
5. Monthly Origins and Destinations Report
6. Monthly Construction Report

7. Monthly Noise Reports

Information Items

8. Airport Manager's Report

Member Comments/Announcements

Calendar

9. The next regular Airport Commission meeting will be held on Wednesday, May 13, 2026, at 5:30 p.m., in the Chandler Airport Terminal, 2380 S. Stinson Way.

Adjourn



Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: **February 2026 Regular Meeting Minutes**
Move to approve the Regular Meeting Minutes of February 11, 2026.

Attachments

February Minutes

Meeting Minutes

Airport Commission

Regular Meeting

February 11, 2025, | 5:30 p.m.
Chandler Airport Terminal
2380 S. Stinson Way, Chandler, AZ



Call to Order

The meeting was called to order by Chairman Hawley at 5:32 p.m.

Roll Call

Commission Attendance

Chairman Charles McCorkle
Vice Chairman Robert Ehlbeck
Commissioner Christopher Hawley
Commissioner Thomas Gonzalez
Commissioner Damian Nichols
Commissioner Cecil Orozco
Commissioner Mark Mount

Staff Attendance

Ryan Reeves, Airport Manager
Chris Andres, Airport Planning Program Mngr.
Diana Alonzo, Management Assistant

Absent

Others in Attendance

William Banakos, Tower Manager
Joe Granado, Chandler Resident/Airport Tenant

Scheduled and Unscheduled Public Appearances

CHAIRMAN MCCORKLE asked if there were any members of the public that would like to address the committee on any items not on the agenda.

MR. GRANADO shared with the Commission that he is running for Chandler City Council.

Approval of Minutes and Discussion

1. December 2025 Regular Meeting Minutes
Move to approve the Regular Meeting Minutes of December 10, 2025.

Consent Agenda Motion and Vote

It was moved by COMMISSIONER HAWLEY and seconded by VICE CHAIRMAN EHLBECK to approve the Regular Meeting Minutes of December 10, 2025.

Motion carried unanimously (7-0).

Briefing

2. Monthly Operations Report

MR. REEVES presented the Monthly Operations Report for October 2025, November 2025, December 2025, and January 2026.

For October 2025, the total number of operations was 19,536. The total number of operations for October 2024 was 17,223. The IFR itinerant dropped from 478 to 270. An increase in charter operations was noted. The total number of operations through October 2025 are 243,663. Just a little behind from last year's total number of operations at 245,018. In the national ranking, CHD went from 46th to 47th and in GA count from 17 to 18.

For November 2025, the total number of operations was 20,904. The total number of operations for November 2024 was 18,737. The IFR itinerant dropped from 436 to 305. The total number of operations through November 2025 are 245,830, a little higher than last year's total number of operations at 241,584. In the national ranking, CHD remains 47th. In the GA count CHD remains in the 18th position.

For December 2025, the total number of operations was 18,738. The total number of operations for December 2024 was 15,409. The IFR itinerant for the month continues to grow, up to 327. The total number of operations through December 2025 was 18,738. Last year's total number of operations was 241,584. In the national ranking, CHD has moved into 46th position. In the GA count CHD has moved into the 17th position.

For January 2026, the total number of operations was 22,26. The total number of operations for January 2025 were 19,543. The IFR itinerant for the month was 355. The total number of operations through December 2025 was 251,877. Last year's total number of operations was 238,194. In the national ranking, CHD has moved into 45th position. In the GA count CHD remained in 17th position.

COMMISSIONER NICHOLS asked if staff knows who the increased commercial are.

MR. REEVES asked if they meant who the operators are or who they are hauling.

COMMISSIONER NICHOLS responded either or, and if there is one particular group causing the increase.

MR. REEVES responded no; it is not isolated. Staff have seen a variety of businesses coming in.

3. Monthly Noise Report

MR. RINKENBERGER gave an overview of the monthly noise report for October 2025, November 2025, December 2025, and January 2026.

VICE CHAIR EHLBECK asked if the noise complaint was 20 miles away from CHD.

MR. RINKENBERGER responded yes; it came to CHD and the reporting household posted 900 noise complaints to Falcon Field.

CHAIRMAN MCCORKLE asked if the person knew the aircraft came from CHD.

MR. RINKENBERGER responded that the resident indicated the N-number had departed and returned to CHD and assumed the resident found the information through <https://www.flightaware.com/>.

COMMISSIONER OROZCO shared that he was walking his dog and ran into a resident that enjoyed watching planes. The resident lives in the area where number 2 is located on the noise report and had purposely chosen to live near an airport.

VICE CHAIRMAN EHLBECK commented that after spending a few days in Flagstaff, AZ, he noticed train noise during all the times of the day. He asked if there are any noise complaints due to the train noise in Chandler.

MR. RINKENBERGER responded that City Council has previously addressed the train noise in Chandler. He also stated that some of these noise complaints are coming from Gold Canyon, a retiree community.

VICE CHAIRMAN EHLBECK asked if staff ever receives complaints through the Chandler City Council.

MR. RINKENBERGER responded that it occurred very rarely. He also stated that most of the complaints come to him or the airport, and anything else ends up coming to MR. REEVES.

4. Monthly Origins and Destinations Report

MR. REEVES gave a report for October 2025, November 2025, December 2025, and January 2026.

COMMISSIONER HAWLEY asked if the base versus visiting slide only had IFR flights.

MR. REEVES responded that it had all flights.

COMMISSIONER HAWLEY asked if indicating the commercial IFR flights was to emphasize the economic impact.

MR. REEVES responded that was correct.

COMMISSIONER OROZCO stated that Thursdays tend to be the slowest days in aviation, but the October report shows otherwise.

MR. REEVES responded that statistically it is the busiest day.

CHAIRMAN MCCORKLE made a comment that on the backside of the December 2025 it indicated aircraft tracking. He also stated that out of all the jet traffic being identified, there were no jet noise complaints.

5. Monthly Construction Report

MR. ANDRES presented the monthly construction report.

Capital Projects in the Design Phase:

West Airport Facilities Upgrade: This is a city funded project at \$3.9 million. Revised scope includes operations garage, parking lot and aircraft observation area. Plan comments are being finalized, and utility relocations are being considered.

Airport Fuel Tank Relocation: This is a city funded project with \$610,000. There is a cost negotiation with vendors. The budget transfer is under evaluation and evaluating alternative methods.

Runway End Identifier Light (REIL) Installation Runway 4L-22R (North Runway): This is an FAA funded project for \$110,000. Currently, they are revising drawings for circuit change for 24/7 REILS. The FAA confirmed environmental clearance.

Capital Projects - Construction Phase:

Hangar Area Pavement Rehabilitation: This is a city funded project of \$7.4 million to redo the pavement in and among the city-owned hangars. There is a water leak under the pavement near the east side of C hangars.

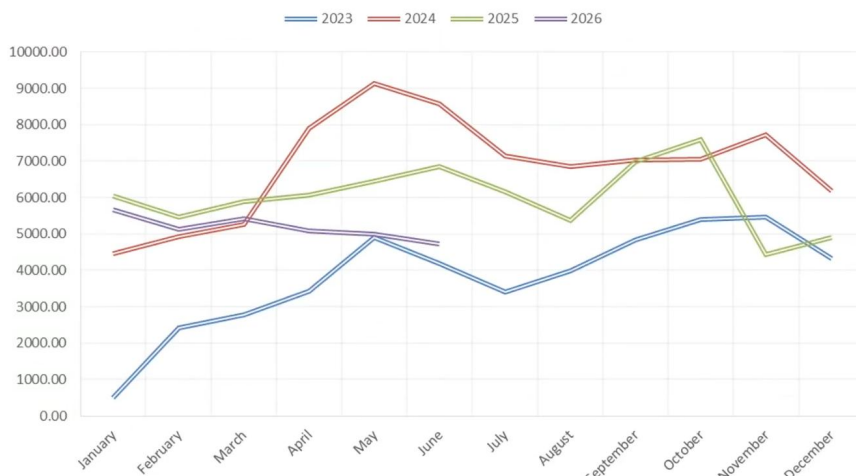
Taxiway B Improvements- Phase 1: The ADOT grant for \$2,035,000 has been approved. The estimated construction start date is January 5, 2026, and due to be completed by the 3rd week of February.

Former K&K Site Remediation: City funding for soil remediation near end of Cooper Road north of Queen Creek for soil remediation. 5.8-acre restricted use area remaining. Additional excavation is needed and will start on January 20th.

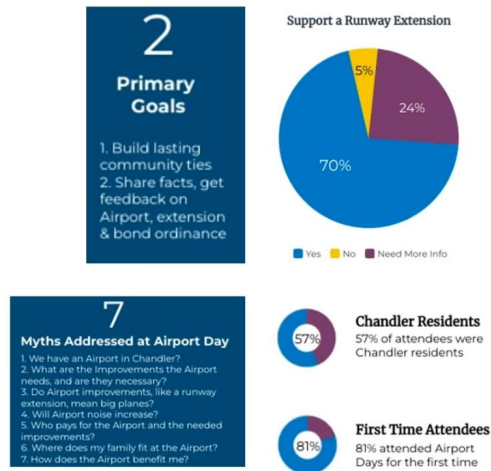
Airport Manager's Report

MR. REEVES stated that fuel sales and stated that they are not far behind.

COC MONTHLY AVGAS SALES



MR. REEVES also shared that Airport Day 2026 had around 15,000 attendees. There were seven (7) learning stations. MR. REEVES displayed an exact replica of Sky Harbor’s pavement as well as CHD’s and compared them. MR. REEVES also shared a copy of the passport for the COMMISSIONERS to view. There were over 50 aircraft displayed. Over 400 surveys were collected during the event.



MR. REEVES also shared that CHD will be participating in the Chandler Innovation Fair.

There will also be 3 staff members participating in the AzAA conference this year in Prescott.

MR. REEVES also shared that the Heart Gallery with the #LoveUp Foundation would like to make this an annual event for children in foster care.

MR. REEVES also encouraged the COMMISSIONERS to attend MAYOR HARTKE’S final State of the City at the Chandler Center for the Arts.

COMMISSIONER HAWLEY shared that Airport Day was a great experience. He displayed his aircraft and allowed kids to sit in his plane. He also shared that the learning stations were a great way to share the message.

COMMISSIONER NICHOLS shared that he published the event on their school district and a couple of families thanked him because they attended the event and loved it.

COMMISSIONER HAWLEY asked if there was an update on Curtiss East and West RFP.

MR. REEVES responded that the Curtiss East RFP is in the final stages of lease negotiations for long term land development. There has been a delay in releasing Curtis West’s RFP, due to having to address an environmental site. It is dry rubble only; they have tested it and there is not chemical contamination. They expect the RFP to be released by the end of the month. The lease will be brought to the COMMISSION for a recommendation to proceed or to not.

CHAIRMAN MCCORKLE asked MR. REEVES to indicate where the rubble is located.

MR. REEVES responded that it is just off the terminus of the taxi lane next to AG hangar, immediately to the west of the new hangar that is being built.

COMMISSIONER HAWLEY asked if it was only compacted and not contaminated.

MR. REEVES RESPONDED yes that it is only compacted. Depending on how the RFP is rolled out, they want the structure to be amenable and beneficial for both the city and whoever is developing the site in the future.

CHAIRMAN MCCORKLE asked if there was any asbestos found.

MR. REEVES responded no.

Member Comments/Announcements

COMMISSIONER HAWLEY shared that the Buckeye Airfare will be this weekend as well as the AOPA regional meeting.

COMMISSIONER GONZALEZ stated that he is sorry that he missed Airport Day and hopes to attend the next one.

COMMISSIONER OROZCO reminded the COMMISSION about Innovation Fair the following weekend.

COMMISSIONER GONZALEZ asked where the Innovation Fair takes place.

COMMISSIONER OROZCO responded that it takes place in Downtown Chandler from 10 a.m. to 2 p.m.

VICE CHAIRMAN EHLBECK asked if through the Economic Impact Study, they are looking at the hotel that was built and how many patrons are staying there. He also asked if the city can come back and give an update on the economic corridors and projects that have been completed and how it is tied to the impact study.

VICE CHAIRMAN EHLBECK also stated that when it comes to Airport Day, thinking about trade skills, is there a way to tie it to potential jobs in aviation.

MR. REEVES responded that the live demonstration inside Chandler Aviation was given by IA and A&Ps showing what they do for a living. The kids were allowed to rivet and take the piece as a souvenir. MR. REEVES also shared that for Airport Day 2027, the FBO will give them the entirety of their ramp, adding an additional 30%, and two (2) more hangars.

CHAIRMAN MCCORKLE stated that he attended Airport Day and it was wonderful. The airport staff and everybody did a wonderful job with the minimal number of staff. He also shared that he hopes that Council allows for the funding needed for this event. He also thought it was incredible the amount of people waiting to get inside an airplane.

Calendar

The next regular Airport Commission meeting will be held on Wednesday, March 11, 2026, at 5:30 p.m., in the Chandler Airport Terminal, 2380 S. Stinson Way.

Adjourn

The meeting was adjourned at 6:49 p.m.

Ryan Reeves, Secretary

Charles McCorkle, Chairman



Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: Conflict Evaluation:PLH25-0037 Arizona Commerce Center Development

Proposed Motion:

Move to present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "no conflict with airport uses" for the proposed Arizona Commerce Center Development.

Attachments

APC Conflict Evaluation



Subject: Airport Conflict Evaluation
Arizona Commerce Center
Southeast Corner of Arizona Avenue and Ryan Road

Recommendation

Staff recommends the Airport Commission ("Commission") present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "no conflict with airport uses" for the proposed Arizona Commerce Center development.

Background

The project is a six building, light industrial/commerce park development on approximately 41 acres at the southeast corner of Arizona Avenue and Ryan Road (*Exhibit A - Vicinity Map, Exhibit B - Property Location*). The property is zoned AG-1 and the proposed zoning is Planned Area Development.

The site is approximately nine-tenths (0.9) of a mile to the west of the Airport property line (*Exhibit A- Vicinity Map, Exhibit B- Property Location*).

The six buildings will consist of approximately 486,000 square feet (SF) (*Exhibit C - Site Plan*). The proposed building heights will be 34 feet for Buildings "A" and "D" fronting Arizona Ave with the remaining four buildings not exceeding 45 feet.

The City of Chandler General Plan designates the property for Employment and Growth Areas. The 2021 Chandler Airpark Area Plan (CAAP) designates the property as Innovation and Light Industrial (*Exhibit D - Chandler Airpark Area Plan Land Use Plan*).

Analysis and Stipulations

The proposed development is consistent with the CAAP. Commercial and industrial land uses are generally compatible with airport operations. The property will experience daily overflights from aircraft on takeoff and landing (*Exhibit E - Flight Tracks*).

Based on the proposed building heights, the proposed development does not appear to pose a hazard to flight safety or be an airspace obstruction. The proposed building height does not appear to impact the approach and departure surfaces for either runway. *Final building structures, including all rooftop objects, must not impact the approach and departure surfaces for the Airport's runways.*

*The owner/applicant must file a Notice of Proposed Construction (FAA Form 7460-1) with the Federal Aviation Administration (FAA) for the **final structure heights**, including, without limitation, all rooftop antennas, parapets, light poles, and other equipment.* The form may be submitted online at the FAA's Obstruction Evaluation/Airport Airspace Analysis (OE3A) website. The FAA-assigned numbers for all evaluation cases must be provided to Airport Administration.

The owner/applicant must ensure that its contractors file a Notice of Proposed Construction (FAA Form 7460-1) with the FAA for **temporary construction equipment** including, without limitation, cranes, drilling rigs, and concrete boom pumps and other vertical equipment. The form may be submitted online at the FAA's Obstruction Evaluation/Airport Airspace Analysis (OE3A) website. The FAA-assigned numbers for all evaluation cases must be provided to Airport Administration.

- It is strongly recommended that the owner/applicant, or ensure its contractor(s), submits the 7460-1 form for the construction equipment as soon as possible before construction, allowing for a minimum of sixty (60) calendar days before start of vertical work.
- The owner/applicant and its contractors must coordinate directly with Airport Administration at least thirty (30) calendar days before starting vertical construction.

The proposed project does not indicate the use of rooftop solar panels. If solar panels are anticipated to be installed, the owner/applicant must complete a solar study and coordinate with Airport Administration to ensure that glare will not interfere with aircraft on approach or takeoff.

The proposed project's building design must not create reflectivity issues with aircraft in the traffic pattern and on approach or takeoff (*Exhibit F – Building Elevations*). The use of non-reflective glazing and non-reflective paint is encouraged.

Findings

- No Conflict**
- High Conflict**
- Moderate Conflict**
- Low Conflict**

Specific Area(s) of Conflict: **Not applicable.**

Recommended Corrective Actions: **Not applicable.**

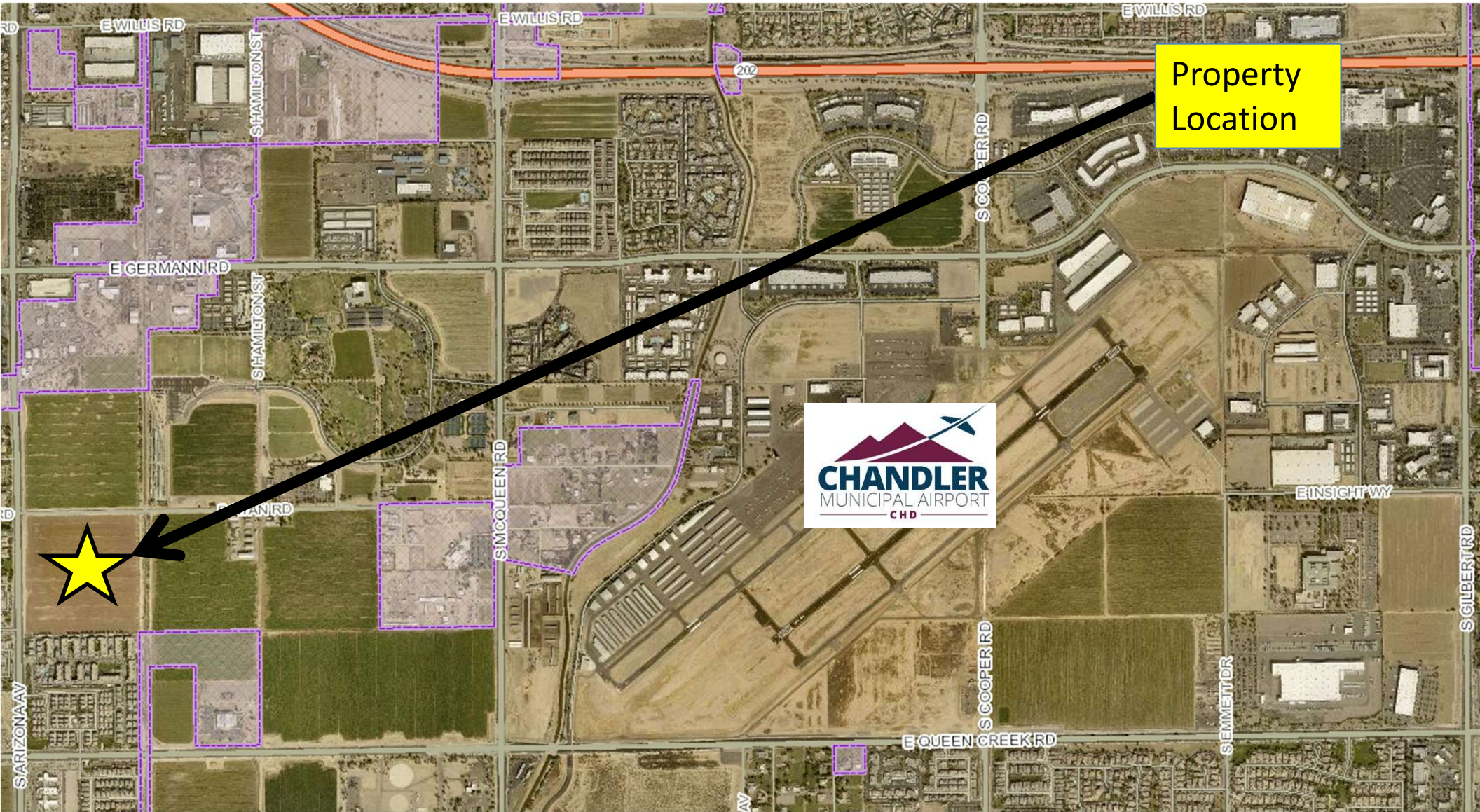
Proposed Motion

Move to present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "no conflict with airport uses" for the proposed Arizona Commerce Center development.

Attachments

- A. Vicinity Map
- B. Property Location
- C. Site Plan
- D. Chandler Airpark Area Plan Land Use Plan
- E. Flight Tracks
- F. Building Elevations

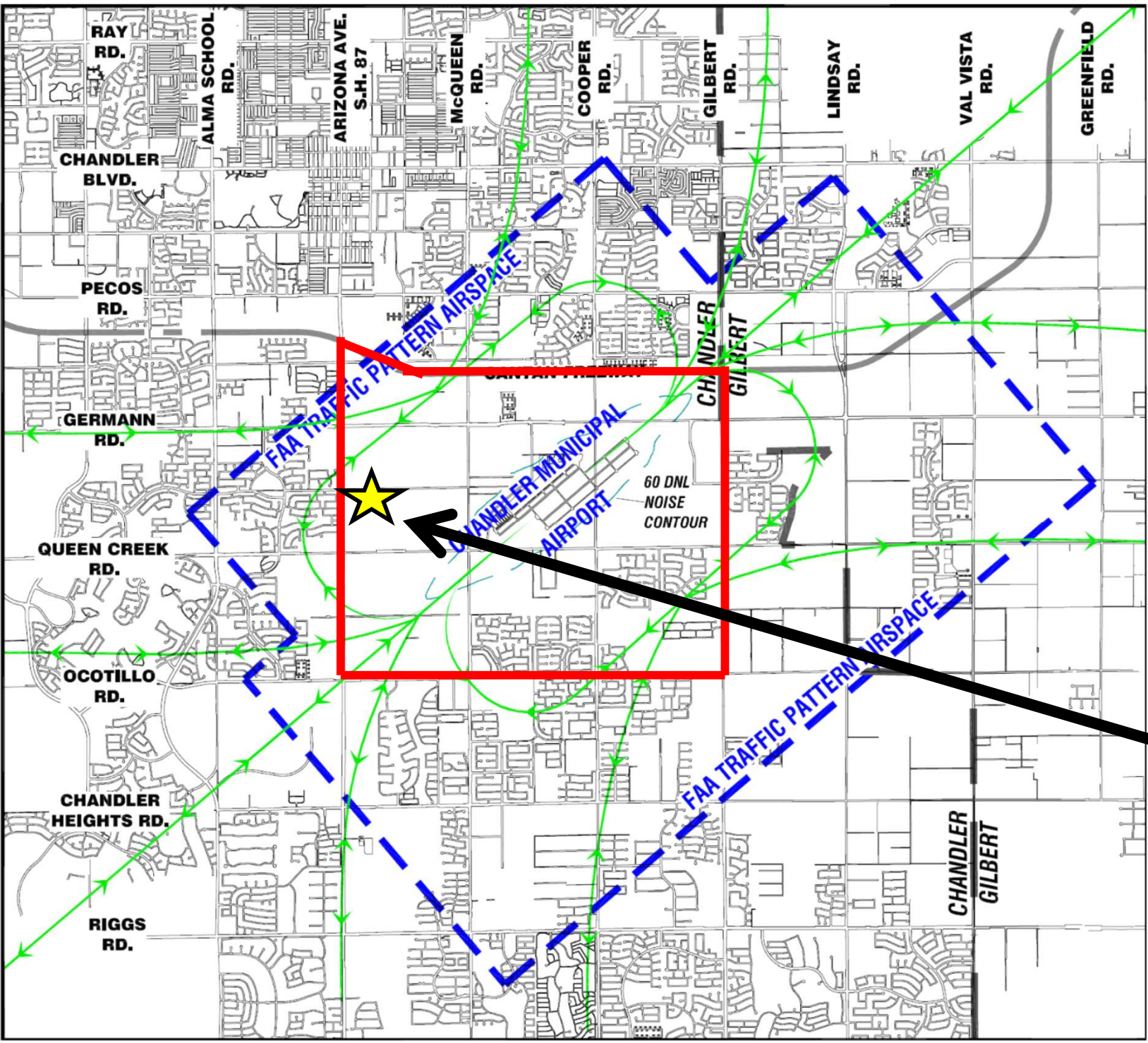
Exhibit A: Vicinity Map



Property Location



Exhibit B: Property Location



GENERAL FLIGHT TRACK
TRACKS CAN VARY BY 1/2 MILE
OR MORE ON EITHER SIDE

FAA TRAFFIC PATTERN AIRSPACE

CITY OF CHANDLER
PLANNING AREA BOUNDARY

Property Location

Airpark Area

Property Location

Exhibit C: Site Plan

- CITY OF CHANDLER GENERAL SITE PLAN NOTES**
1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
 2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY FINNEY WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 3. SOLID MASONRY WALLS AND DATUMS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL DRUM MOUNTED MECHANICAL EQUIPMENT.
 4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT LIGHT FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
 5. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
 6. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/REDESIGNED BEFORE THE FIELD INSPECTOR WILL ACCEPTANCE THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
 7. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKUP DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE TO BE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
 8. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.

- KEYNOTE LEGEND**
- 01-08 - MASONRY CORNER FINISHES
 - 01-08 - DISCREETLY USE SCREENING WALL. SEE SITE DETAILS.
 - 02-02 - LOADING DOCK CONCRETE SLAB. 12" THICK UNREINFORCED CONCRETE OVER 4" INCHES COMPACTED CRUSHED ROCK OVER COMPACTED SUBGRADE.
 - 02-06 - LANDSCAPE PLANTING. SEE LANDSCAPING PLANS.
 - 02-08 - MISC CONCRETE DETAILS. SEE SITE DETAILS.
 - 02-08 - VERTICAL CONCRETE CURB. LOCATE AROUND ALL LANDSCAPE AREAS AS SHOWN (LAND.) & 2" TYPICAL CURB HEIGHT (C&G). SEE SITE DETAILS.
 - 02-09 - 3" WIDE PAINT STRIPE. SEE SPECIFICATIONS.
 - 02-11 - PRECAST CONCRETE PATHWAY. STAMPEL, PAINTED ASPHALT. VERIFY COLOR WITH OWNER AND ARCHITECT.
 - 02-14 - TRASH REUSE LOCATION.
 - 02-21 - PLANT SIGNAGE SEE SIGNAGE DETAILS.
 - 02-22 - ENHANCED DRIVE AREA ENTRANCE. SEE SITE DETAILS.
 - 02-27 - EMPLOYEE AMENITY AREA WITH CANOPY.
 - 02-19 - TRACK DOCK SCREENING WALL.
 - 04-01 - CMU WALL WITH SOLID GROUT. SEE STRUCTURAL FOR REINFORCING.
 - 16-08 - TRAMP OVERER PRO AND SCALLERS - COORDINATE WITH ELECTRICAL (SEEKER DESIGN).
 - 16-15 - BY PARKING ETC.

SITE DATA

ARIZONA COMMERCE CENTER - PARCEL NO. 203-22-01A & 203-22-01B			
GRASS AREA	1,712,654 SQFT	39.49 ACRES	
ROW DESIGNATION	134,346 SQFT	3.08 ACRES	
NET AREA	1,578,308 SQFT	37.41 ACRES	
C.A.L.P. INDUSTRIAL ZONE		C.A.L.P. COMM. INDUSTRIAL ZONE	
NET AREA	961,268 SQFT	NET AREA	617,040 SQFT
BUILDING AREA	554,960.00 SQ FT	BUILDING AREA	611,240.00 SQ FT

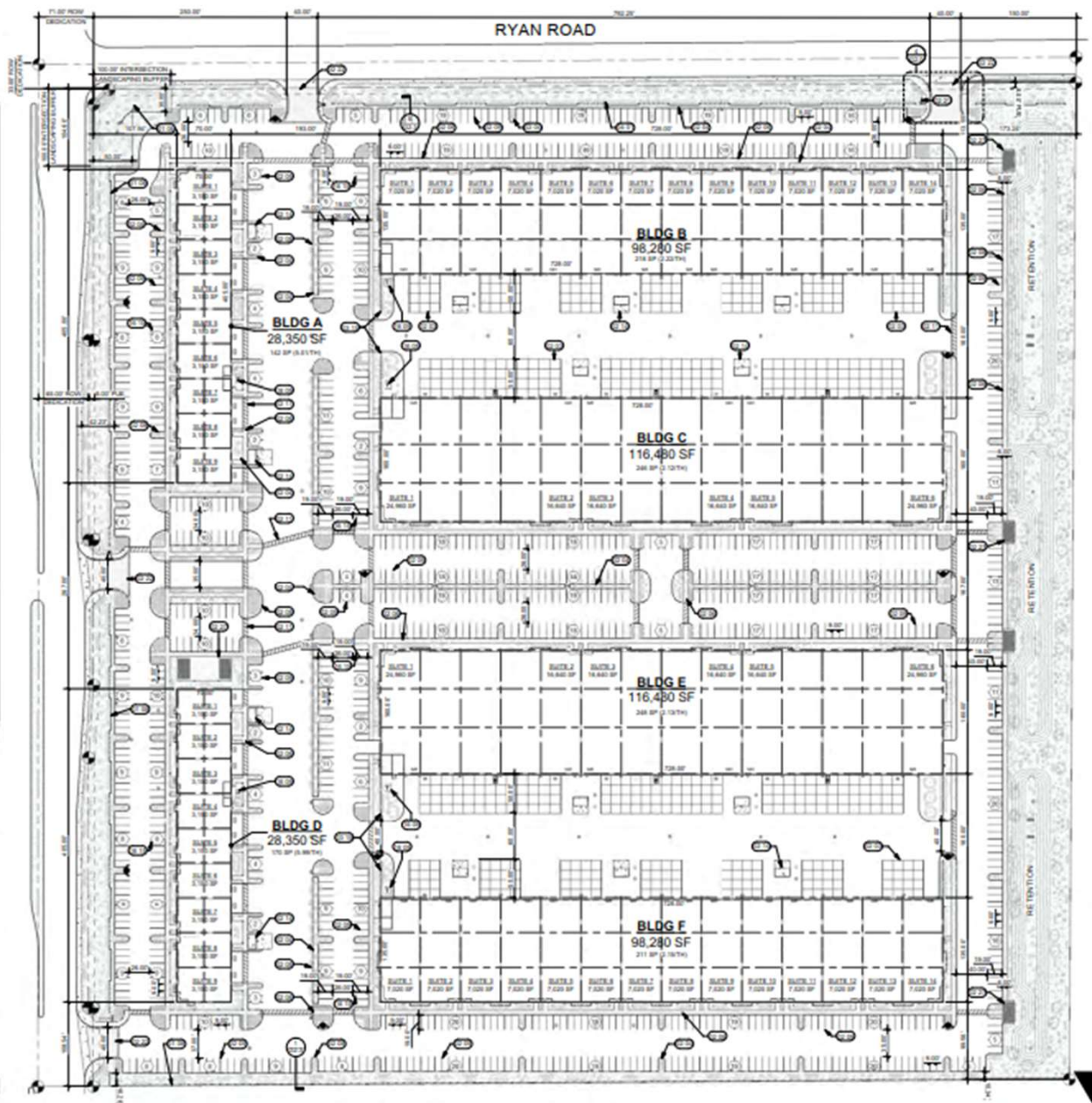
ZONING DATA

AS-PLANNED	PROPOSED	PROPOSED	PROPOSED
STRAUCH	PROPOSED BUILDING	RIGHT OF WAY	LANDSCAPE BUFFER
INDUSTRIAL	MIN. 30 FT	MIN. 30 FT	MIN. 20 FT
INDUSTRIAL	MIN. 40 FT	MIN. 40 FT	MIN. 20 FT
INDUSTRIAL	MIN. 30 FT	MIN. 30 FT	MIN. 20 FT

BUILDING DATA

BUILDING	AREA SQ FT	COVERAGE	BUILDING HEIGHT	PARKING	RATIO	ADA REQUIRED	ADA PROVIDED
BUILDING A (INDUSTRIAL)	26,350	1.7%	34 FT	142	5.12(1000)		
BUILDING B (INDUSTRIAL)	98,240	6.3%	45 FT	218	2.22(1000)		
BUILDING C (INDUSTRIAL)	116,480	7.3%	45 FT	241	2.07(1000)		
BUILDING D (INDUSTRIAL)	26,350	1.7%	34 FT	140	5.19(1000)	28	28
BUILDING E (INDUSTRIAL)	116,480	7.3%	45 FT	243	2.08(1000)		
BUILDING F (INDUSTRIAL)	98,240	6.3%	45 FT	211	2.14(1000)		
TOTAL	562,140	23.6%	1,225	2,152			

ARIZONA AVENUE



SCHNITZER PROPERTIES
ARIZONA COMMERCE CENTER PAD

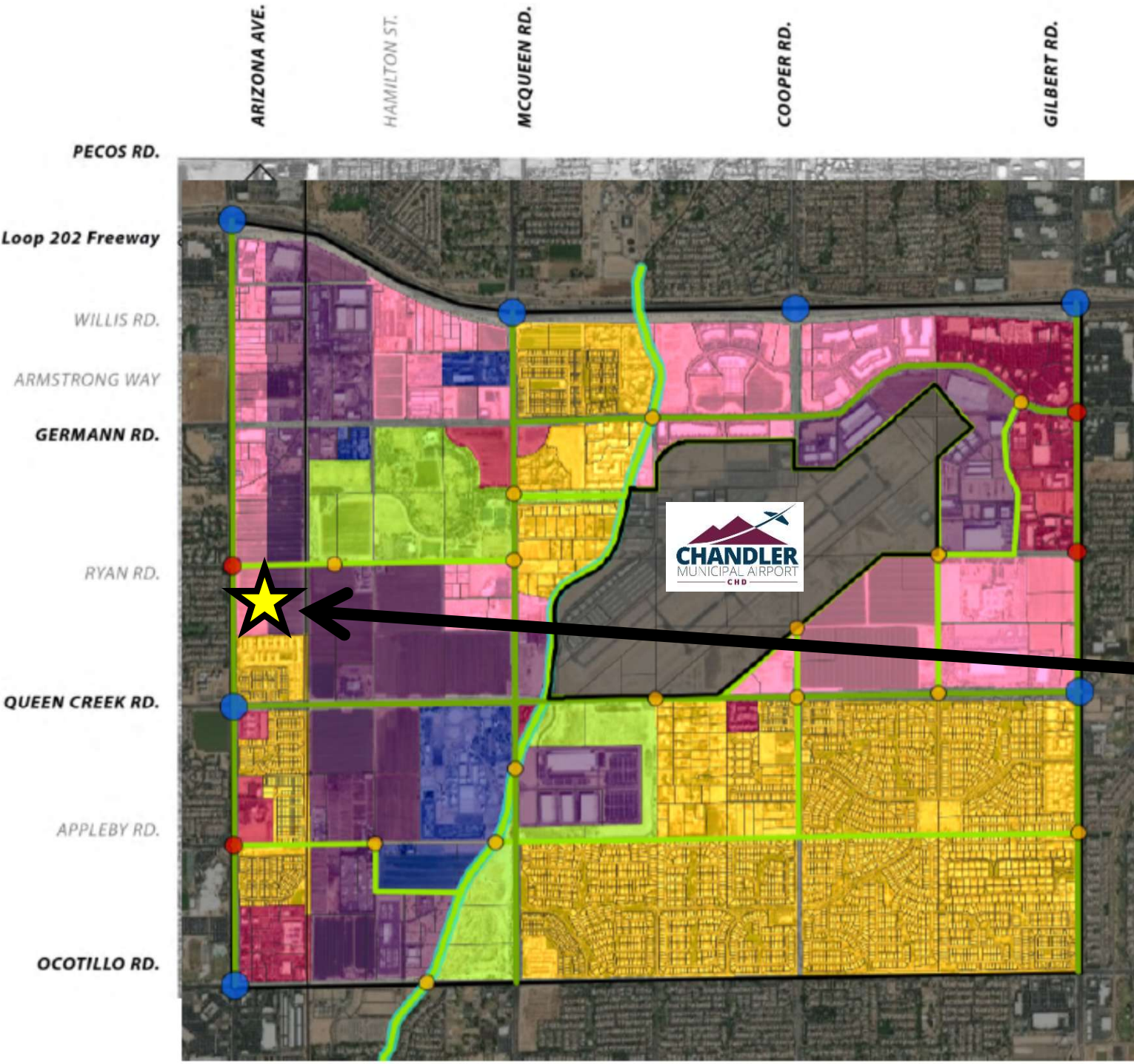
SCALE	AS NOTED	FILE NO.	ZONING
DRAWN	DATE	CHECKED	JOB

OVERALL SITE PLAN

G1.0

1/16/2024 10:35:42 AM

Exhibit D: Chandler Airpark Area Plan – Land Use Plan



Airpark Area Land Use Element

The Airpark Area Land Use Plan map identifies six types of land use districts appropriate to the Airpark Area:

- Innovation District (pink square)
- Commercial-Office District (red square)
- Industrial District (purple square)
- Residential District (yellow square)
- Civic District (blue square)
- Park District (green square)

Property Location

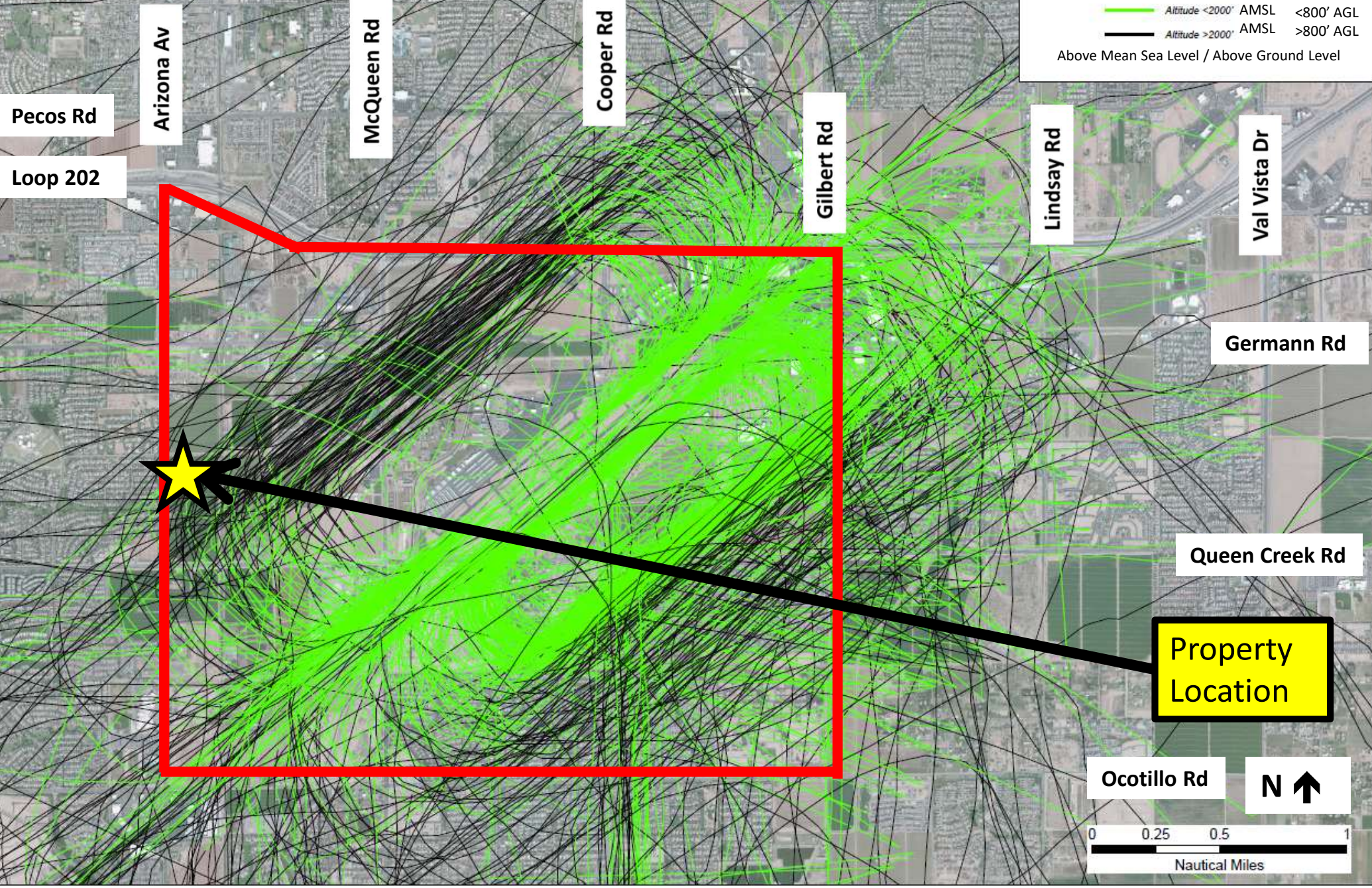
Exhibit E: Flight Tracks

CHANDLER MUNICIPAL AIRPORT - 2/5/13 All Operations (Typical)

LEGEND

	Altitude <2000' AMSL	<800' AGL
	Altitude >2000' AMSL	>800' AGL

Above Mean Sea Level / Above Ground Level



Pecos Rd

Loop 202

Arizona Av

McQueen Rd

Cooper Rd

Gilbert Rd

Lindsay Rd

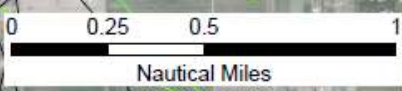
Val Vista Dr

Germann Rd

Queen Creek Rd

Property Location

Ocotillo Rd



 Airpark Area

Exhibit F: Building Elevations



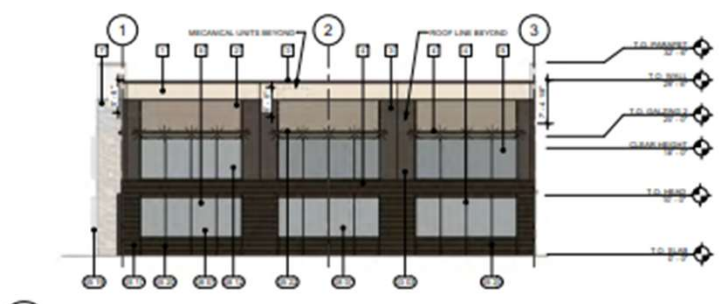
1 BUILDING A WEST ELEVATION
1/8" = 1'-0"



2 BUILDING A EAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- SHERWIN WILLIAMS - SW 704 "TRAINED MILK"
- SHERWIN WILLIAMS - SW 704 "KEYSTONE GREY"
- SHERWIN WILLIAMS - SW 702 "BLACK POT"
- ARCHITECTURAL METAL PANEL FINISH COOL WALNUT
- STOREFRONT GLAZING SYSTEM VITRO-ARCHITECTURAL GLASS ISOLARGRAF 25 ISOLARGRAF 40 CLEAR WITH REFLECTIVE COATING
- STOREFRONT FRAME SYSTEM CLASS 2 DARK ANODIZED BRONZE STOREFRONT FINISH
- STONE ACCENT BLINDRAGD CLIFFSTONE - SANDSTONE
- METAL MESH SHADE
- CONCRETE TILT PANEL GENERAL REIN. SIZE 8"



3 BUILDING A SOUTH ELEVATION
7" = 10'-0"

- KEYNOTE LEGEND**
- 0005 CONCRETE TILT PANELS TYPICAL DETAIL SEES SEE STRUCTURAL FOR FINISHES AND DETAILS
 - 0006 STONE ACCENT WALL SEE ELEVATIONS AND SPECIFICATIONS
 - 0004 METAL TENANT ENTRY CANOPY PER PLAN AND ELEVATION
 - 0017 ARCHITECTURAL METAL WALL PANEL SEE DETAIL AND SPECIFICATIONS
 - 0019 ARCHITECTURAL METAL WINDOW SHADE SEE DETAIL AND SPECIFICATIONS
 - 0020 ARCHITECTURAL METAL WINDOW FIN. SEE DETAIL AND SPECIFICATIONS
 - 0021 ARCHITECTURAL METAL MESH SEE DETAIL AND SPECIFICATIONS
 - 0022 ARCHITECTURAL METAL ACCENT CANOPY SEE DETAIL AND SPECIFICATIONS
 - 0003 OVERHEAD DOOR AT GROUND LEVEL
 - 0006 EXTERIOR MAIN DOOR TO ELECTRICAL ROOM
 - 0007 ALUMINUM STOREFRONT GLAZING
 - 0008 ALUM. STOREFRONT VESTIBULE AT MAIN ENTRY
 - 0012 SPANDREL GLASS ABOVE 10'-0" PER ELEVATIONS



4 BUILDING A NORTH ELEVATION
7" = 10'-0"

- NOTE:**
- BUILDING B'S ELEVATIONS ARE A MIRROR IMAGE OF BUILDING A'S. THE BUILDING ARCHITECTURE REMAINS IDENTICAL. SEE SITE PLAN FOR BUILDING ORIENTATION.
 - ALL ROOF ISOLATED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL OVERHEAD MOUNTED MECHANICAL EQUIPMENT.
 - ANY ROOF ACCESS LADDERS SHALL BE LOCATED BEHIND THE BUILDING. ROOF DRAINAGE SHALL UTILIZE EXTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 30 (ING ZONING CODE).
 - SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (REG) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT SECTION 30 (ING ZONING CODE).
 - SEES FIGURE A SEPARATE SUBMITTAL AND PERMIT.
- CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES:**
- ALL ROOF ISOLATED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL OVERHEAD MOUNTED MECHANICAL EQUIPMENT.
 - ANY ROOF ACCESS LADDERS SHALL BE LOCATED BEHIND THE BUILDING. ROOF DRAINAGE SHALL UTILIZE EXTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS. SECTION 30 (ING ZONING CODE).
 - SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (REG) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT SECTION 30 (ING ZONING CODE).
 - SEES FIGURE A SEPARATE SUBMITTAL AND PERMIT.



SCHNITZER PROPERTIES
ARIZONA COMMERCE CENTER PAD

SCALE	PREP. NO.
AS NOTED	ZONING
DRAWN	CHECKED
NAME	JR

BUILDING A
OVERALL
ELEVATIONS

DR2.0

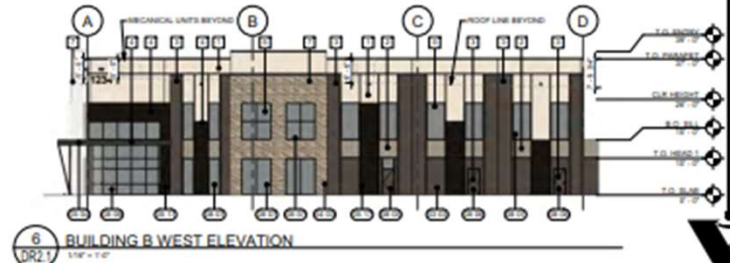
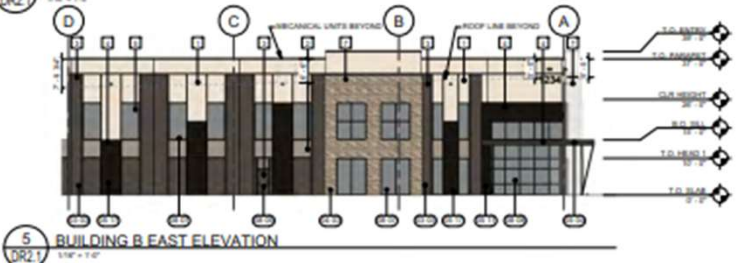
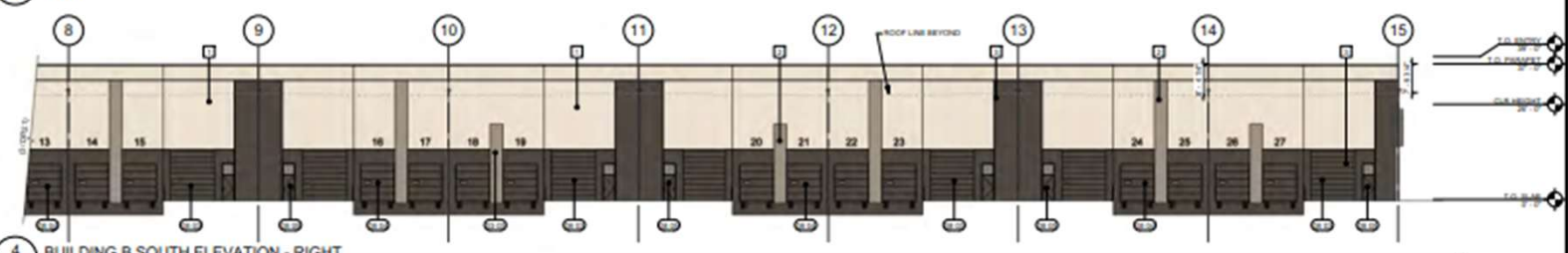
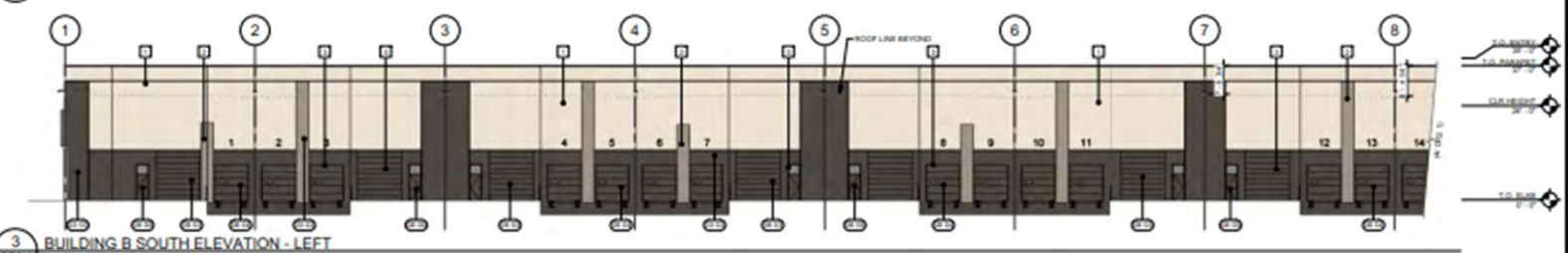
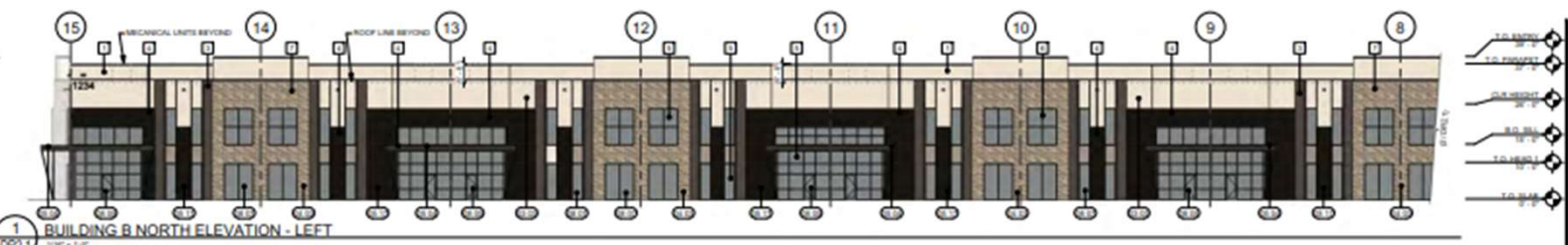
Exhibit F: Building Elevations

- KEYNOTE LEGEND**
- 01 03 CONCRETE TILT UP PANELS TYPICAL ON ALL WALLS SEE STRUCTURAL FOR THICKNESS AND DETAILS
 - 01 05 STONE ACCENT WALL SEE ELEVATIONS AND SPECIFICATIONS
 - 01 06 METAL TENANT ENTRY CANOPY PER PLANNED ELEVATION
 - 01 17 ARCHITECTURAL METAL WALL PANEL SEE DETAIL AND SPECIFICATIONS
 - 01 02 OVERHEAD DOOR AT GRADE LEVEL
 - 01 04 OVERHEAD DOORS AT DOCK LEVEL
 - 01 05 EXTERIOR SIGN DOOR TO ELECTRICAL ROOM
 - 01 06 EXTERIOR SIGN DOOR TO ELECTRICAL ROOM
 - 01 07 ALUMINUM STOREFRONT GLAZING
 - 01 08 ALUM STOREFRONT VESTIBULE AT SIGN ENTRY

- CITY OF CHANDLER GENERAL BUILDING ELEVATION NOTES**
1. ALL ROOF RELATED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE EXTERIOR ROOF DRAINAGE OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINAGE SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS SECTION 91 102 ZONING CODE.
 4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (01 03) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, EQUAL TO OR GREATER IN HEIGHT THAN THE MECHANICAL EQUIPMENT SECTION 91 102 ZONING CODE.
 5. SIGNS REQUIRE A SEPARATE SUBMITTAL AND PERMIT.

- NOTE:**
1. BUILDING # 8 ELEVATIONS ARE A MIRROR IMAGE OF BUILDING # 15. THE BUILDING ARCHITECTURE REMAINS IDENTICAL. SEE SITE PLAN FOR BUILDING ORIENTATION.

- EXTERIOR MATERIAL LEGEND**
- 01 03 01 05 01 06 01 17 01 02 01 04 01 05 01 06 01 07 01 08 01 09 01 10 01 11 01 12 01 13 01 14 01 15 01 16 01 18 01 19 01 20 01 21 01 22 01 23 01 24 01 25 01 26 01 27 01 28 01 29 01 30 01 31 01 32 01 33 01 34 01 35 01 36 01 37 01 38 01 39 01 40 01 41 01 42 01 43 01 44 01 45 01 46 01 47 01 48 01 49 01 50 01 51 01 52 01 53 01 54 01 55 01 56 01 57 01 58 01 59 01 60 01 61 01 62 01 63 01 64 01 65 01 66 01 67 01 68 01 69 01 70 01 71 01 72 01 73 01 74 01 75 01 76 01 77 01 78 01 79 01 80 01 81 01 82 01 83 01 84 01 85 01 86 01 87 01 88 01 89 01 90 01 91 01 92 01 93 01 94 01 95 01 96 01 97 01 98 01 99 01 100



SCHNITZER PROPERTIES
ARIZONA COMMERCE CENTER PAD

SCALE	AS NOTED	PROJECT NO.	DR2.1
DESIGNED	DATE	CHECKED	DATE

BUILDING B OVERALL ELEVATIONS

DR2.1



Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: Monthly Operations Report

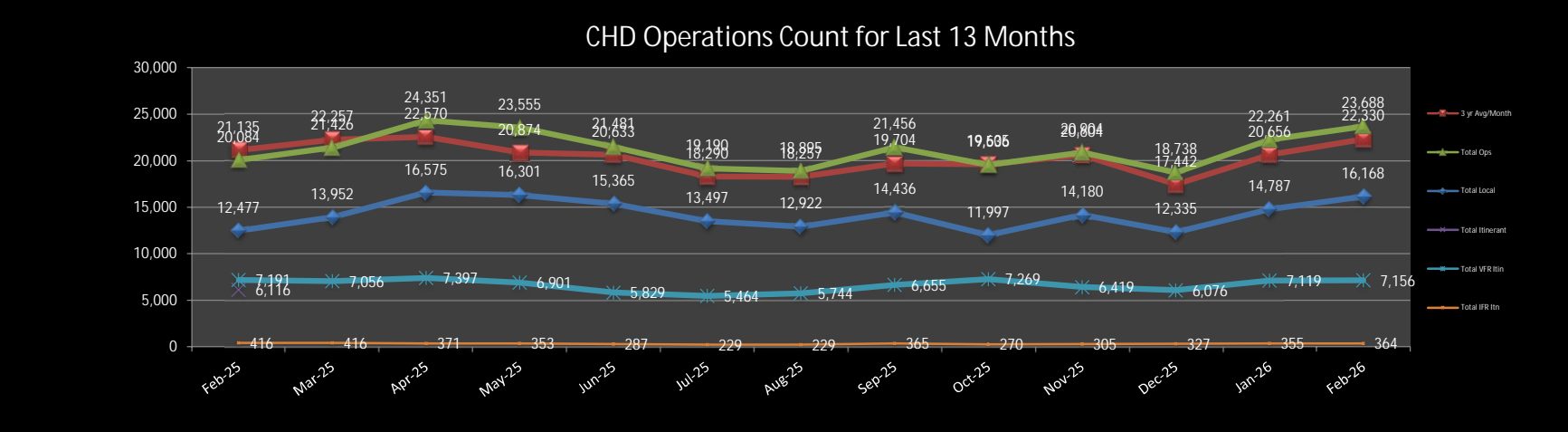
Attachments

February OPS Report
March OPS Report



Airport Operations Report FEBRUARY 2026

Meeting Date:
April 8, 2026



3 yr Avg/Month
Total Ops
Total Local
Total Itinerant
Total VFR Itin
Total IFR Itin

	Feb-25	Mar-25	Apr-25	May-25	Jun-25	Jul-25	Aug-25	Sep-25	Oct-25	Nov-25	Dec-25	Jan-26	Feb-26
3 yr Avg/Month	21,135	22,257	22,570	20,874	20,633	18,290	18,257	19,704	19,605	20,604	17,442	20,656	22,330
Total Ops	20,084	21,426	24,351	23,555	21,481	19,190	18,895	21,456	19,536	20,904	18,738	22,261	23,688
Total Local	12,477	13,952	16,575	16,301	15,365	13,497	12,922	14,436	11,997	14,180	12,335	14,787	16,168
Total Itinerant	7,607	7,472	7,768	7,254	6,116	5,693	5,973	7,020	7,539	6,724	6,403	7,474	7,520
Total VFR Itin	7,191	7,056	7,397	6,901	5,829	5,464	5,744	6,655	7,269	6,419	6,076	7,119	7,156
Total IFR Itin	416	416	371	353	287	229	229	365	270	305	327	355	364

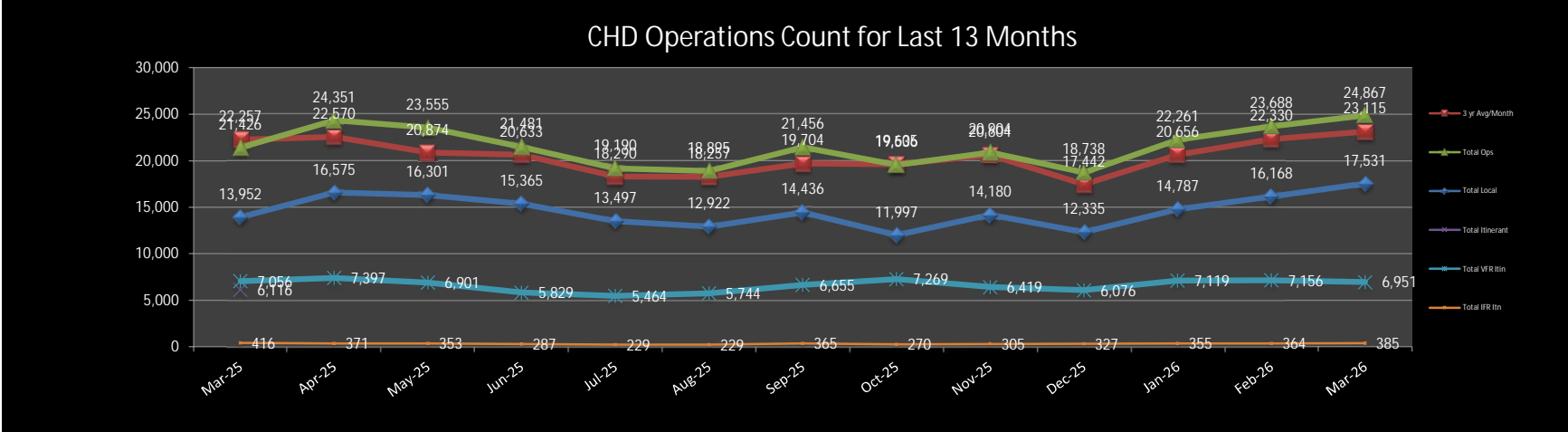
Total Operations between March-25 and February-26: **255,481**
 Total Operations between March-24 and February-25: **235,060**

National 12 Month Ranking				1/2025 Rankings		
Airport	Airport Code	US Ranking	GA Ranking	Airport	US Ranking	GA Ranking
Deer Valley	DVT	9	1	Deer Valley	12	1
Falcon Field	FFZ	11	2	Falcon Field	14	2
Gateway	IWA	37	13	Gateway	32	12
Chandler	CHD	45	17	Chandler	49	19
Scottsdale	SDL	87	42	Goodyear	58	24
Goodyear	GYR	94	45	Scottsdale	85	40
Glendale	GEU	122	70	Glendale	131	80



Airport Operations Report FEBRUARY 2026

Meeting Date:
April 8, 2026



3 yr Avg/Month
Total Ops
Total Local
Total Itinerant
Total VFR Itin
Total IFR Itin

	Mar-25	Apr-25	May-25	Jun-25	Jul-25	Aug-25	Sep-25	Oct-25	Nov-25	Dec-25	Jan-26	Feb-26	Mar-26
3 yr Avg/Month	22,257	22,570	20,874	20,633	18,290	18,257	19,704	19,605	20,604	17,442	20,656	22,330	23,115
Total Ops	21,426	24,351	23,555	21,481	19,190	18,895	21,456	19,536	20,904	18,738	22,261	23,688	24,867
Total Local	13,952	16,575	16,301	15,365	13,497	12,922	14,436	11,997	14,180	12,335	14,787	16,168	17,531
Total Itinerant	7,472	7,768	7,254	6,116	5,693	5,973	7,020	7,539	6,724	6,403	7,474	7,520	7,336
Total VFR Itin	7,056	7,397	6,901	5,829	5,464	5,744	6,655	7,269	6,419	6,076	7,119	7,156	6,951
Total IFR Itin	416	371	353	287	229	229	365	270	305	327	355	364	385

Total Operations between April-25 and March-26: **258,922**
 Total Operations between April-24 and March-25: **233,435**

National 12 Month Ranking				Feb-26		2/2025 Rankings	
Airport	Airport Code	US Ranking	GA Ranking	US Ranking	GA Ranking	US Ranking	GA Ranking
Deer Valley	DVT	10	1	DVT	11	1	1
Falcon Field	FFZ	11	2	FFZ	13	2	2
Gateway	IWA	37	13	IWA	33	13	13
Chandler	CHD	45	17	CHD	49	19	19
Scottsdale	SDL	87	42	GYR	60	24	24
Goodyear	GYR	91	44	SDL	83	39	39
Glendale	GEU	121	70	GEU	126	76	76



Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: Monthly Origins and Destinations Report

Attachments

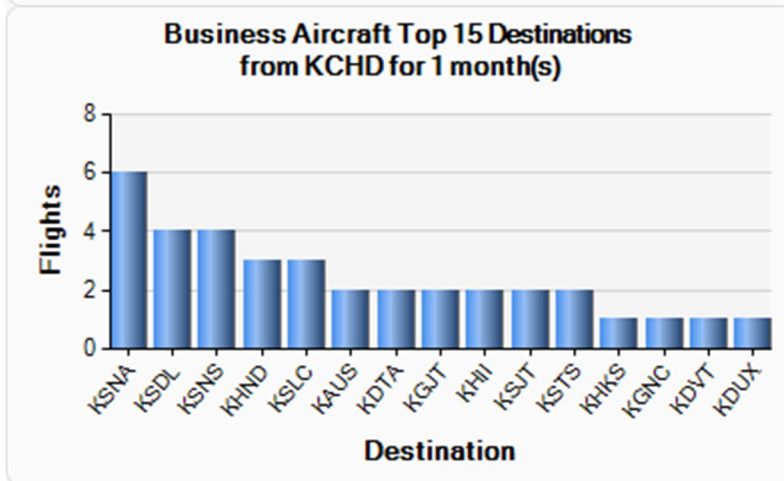
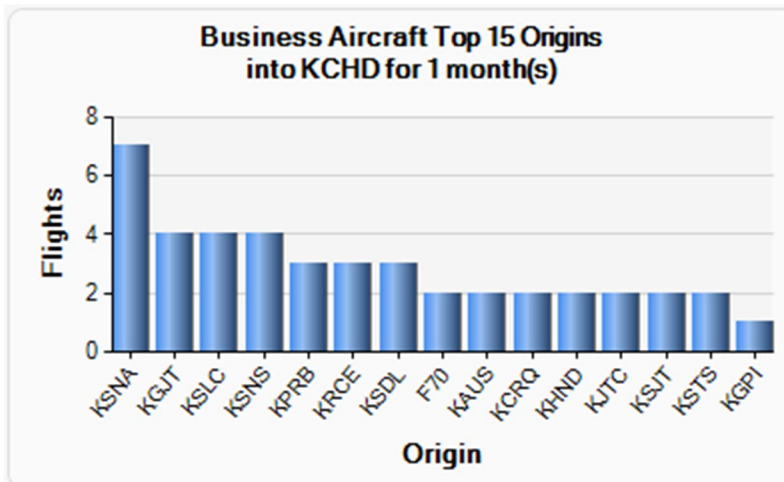
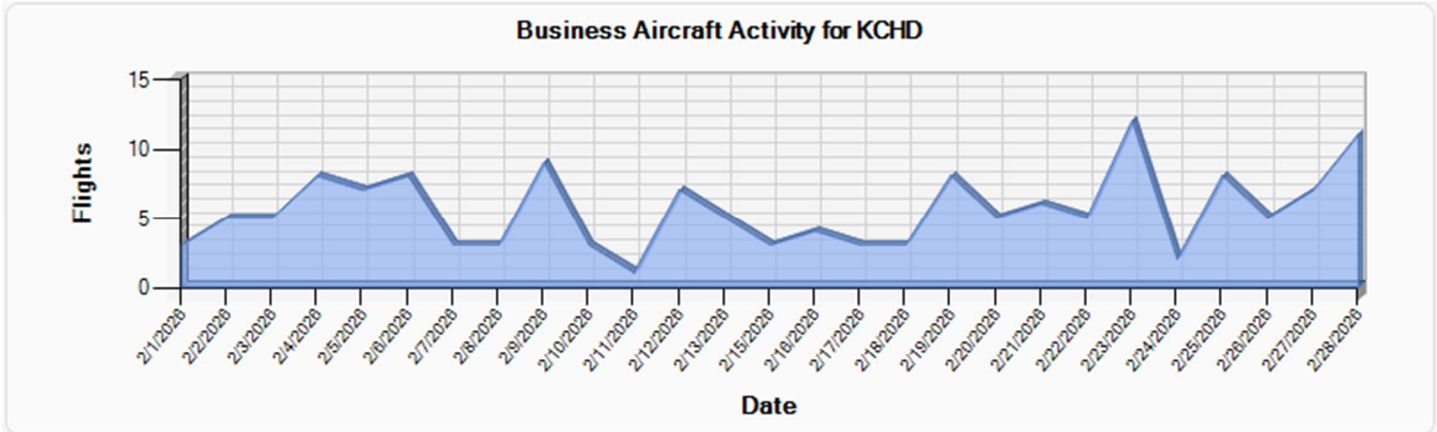
O & D Report



Chandler Municipal Airport Origins & Destinations Report

Meeting Date:
April 8, 2026

The data provided below documents the filed IFR flight plans for commercial operators into and from the Chandler Municipal Airport in February 2025. These flights represent business travel utilizing CHD; 341 such flights took place in February 2025. There was one (1) repositioning flight from CHD, representing 433 gallons of fuel burn. Total flights to and from CHD represent 34,683 gallons of fuel burn.



Operations Based vs Visiting

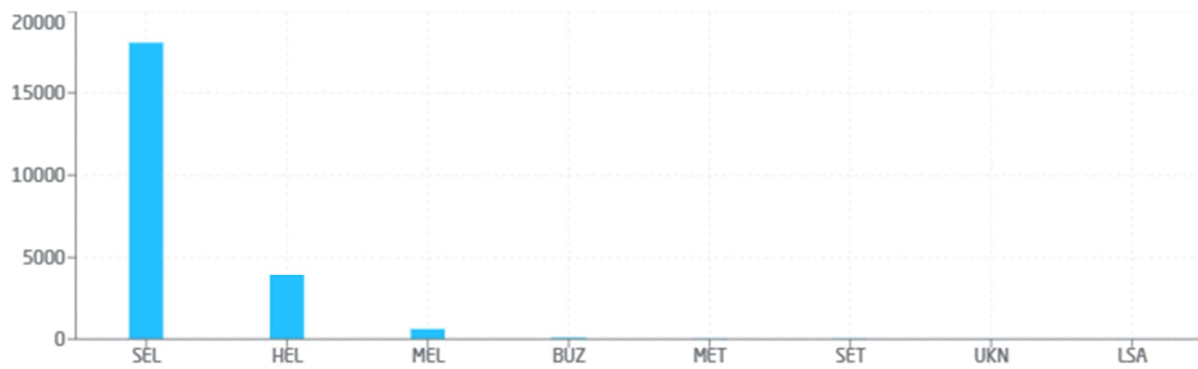
KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT



virtower

Operations by Aircraft Category

KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT

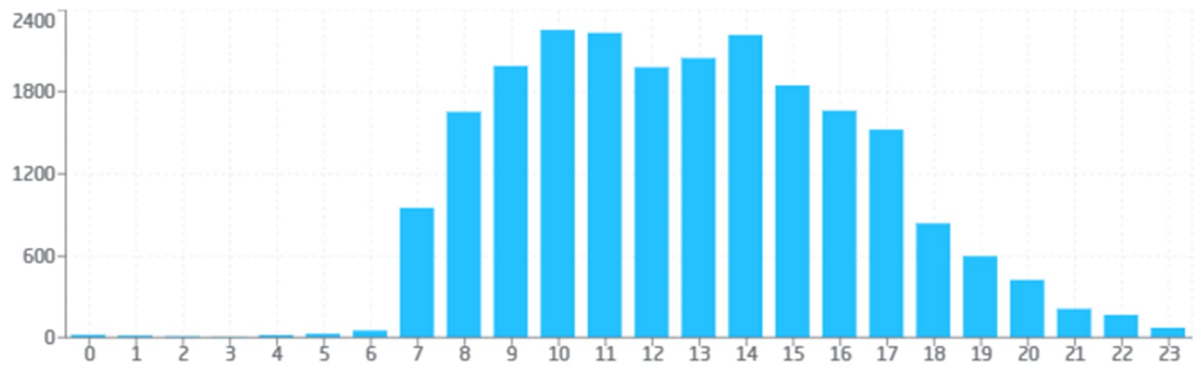


virtower

SEL = Single Engine Land; HEL = Helicopter; MEL = Multi Engine Land; BUZ = Business Jet; MET = Multi Engine Turbine; SET = Single Engine Turbine; MIL = Military; MILH = Military Helicopter; LSA = Light Sport Aircraft; UKN = Unknown

Operations per Hour (Landings & Takeoffs)

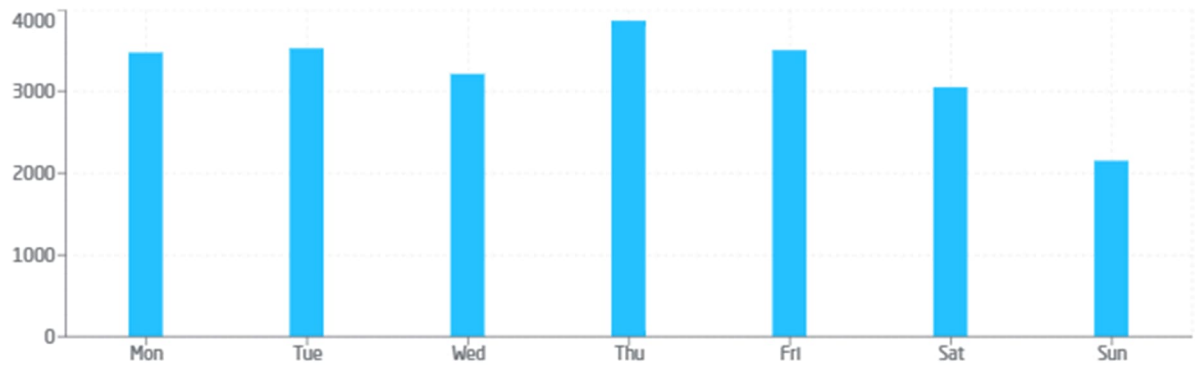
KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT



virtower

Operations by Day of Week

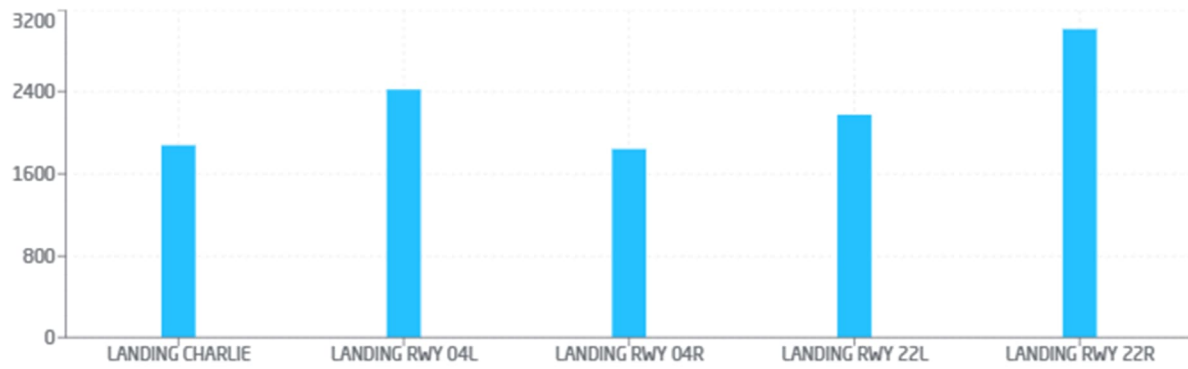
KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT



virtower

Landings per Runway

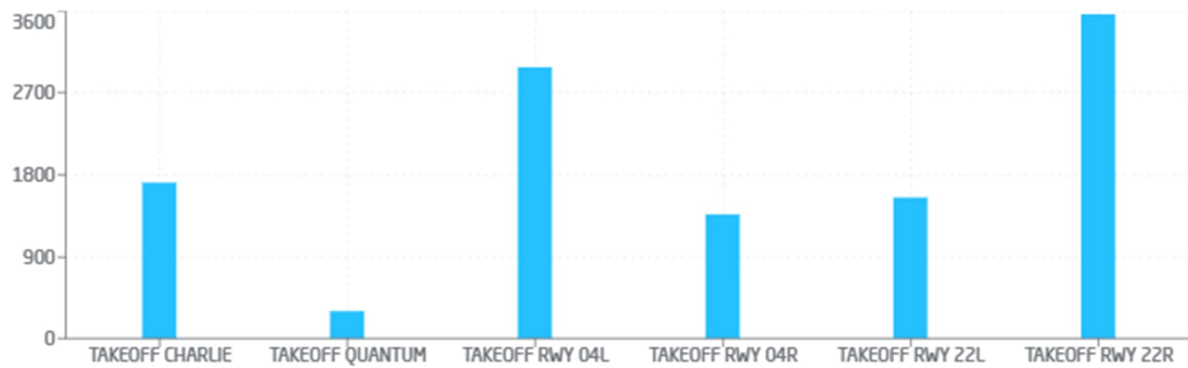
KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT



virtower

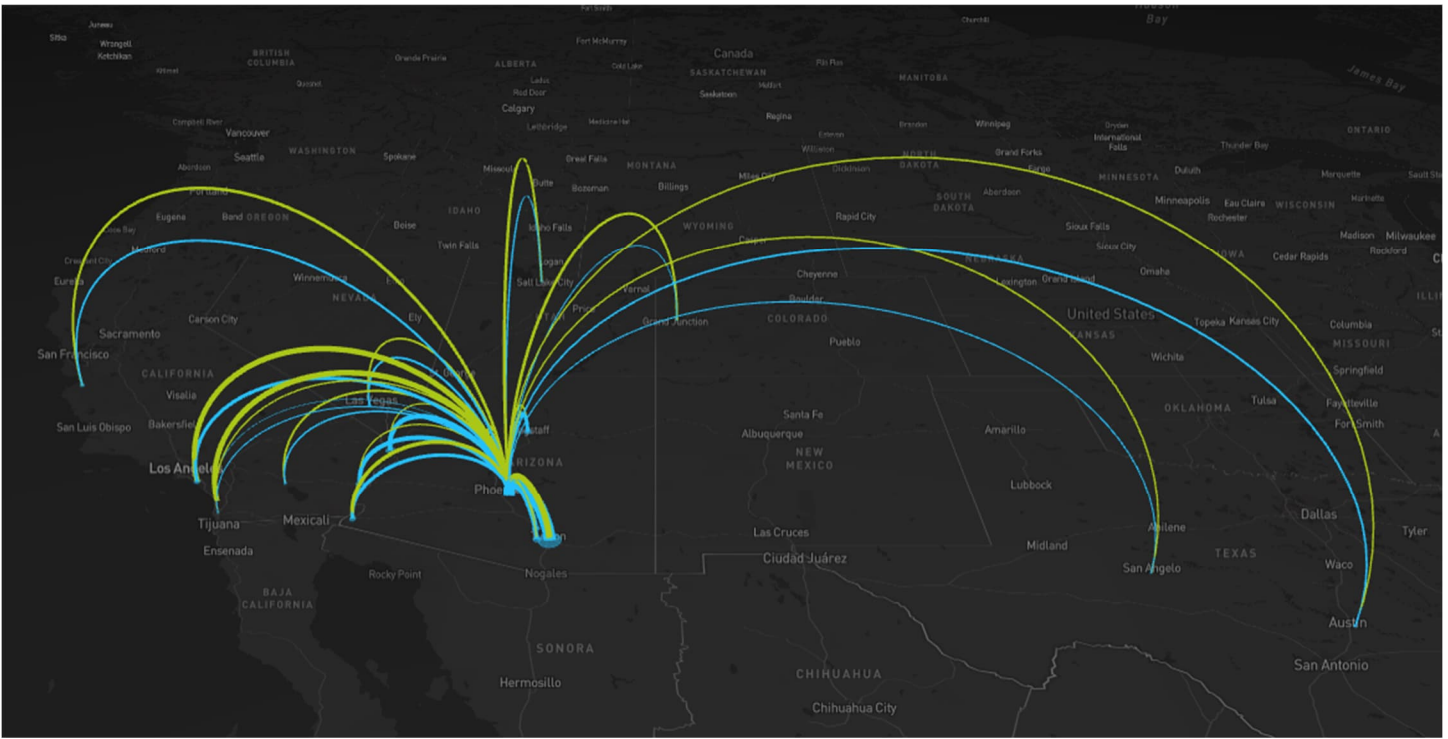
Takeoffs per Runway

KCHD 02/01/2026 0:00 > 02/28/2026 23:59 LT



virtower

Top 20 O & D for February 2026



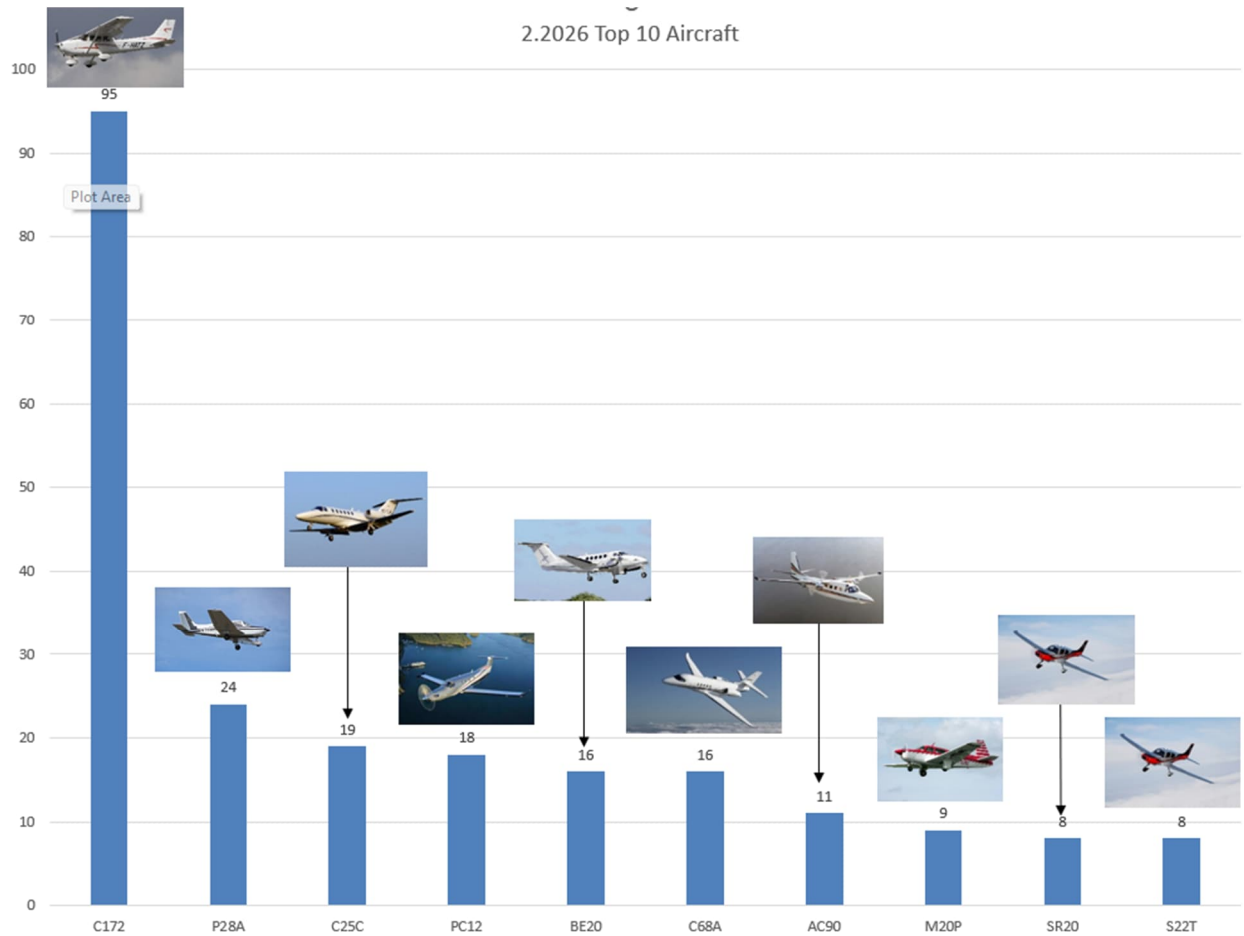
February 2026 Aircraft Tracking

Summary

Landings		Take-Offs		Totals	
Single Engine	9036	Single Engine	9069	Single Engine	18105
Single Engine Turbine	17	Single Engine Turbine	16	Single Engine Turbine	33
Multi Engine	307	Multi Engine	306	Multi Engine	613
Multi Engine Turbine	16	Multi Engine Turbine	18	Multi Engine Turbine	34
Business Jet	42	Business Jet	43	Business Jet	85
Helicopter	1899	Helicopter	2026	Helicopter	3925
Light Sport Aircraft	3	Light Sport Aircraft	3	Light Sport Aircraft	6
Other	4	Other	4	Other	8
TOTAL	11324	TOTAL	11485	TOTAL	22809

FAA AAC/ADG Summary

Landings		Take-Offs		Totals	
A1	9289	A1	9327	A1	18616
A2	11	A2	10	A2	21
B1	32	B1	29	B1	61
B2	45	B2	49	B2	94
C1	1	C1	2	C1	3
C2	1	C2	1	C2	2
HEL	1899	HEL	2023	HEL	3922
UKN	46	UKN	44	UKN	90
TOTAL	11324	TOTAL	11485	TOTAL	22809

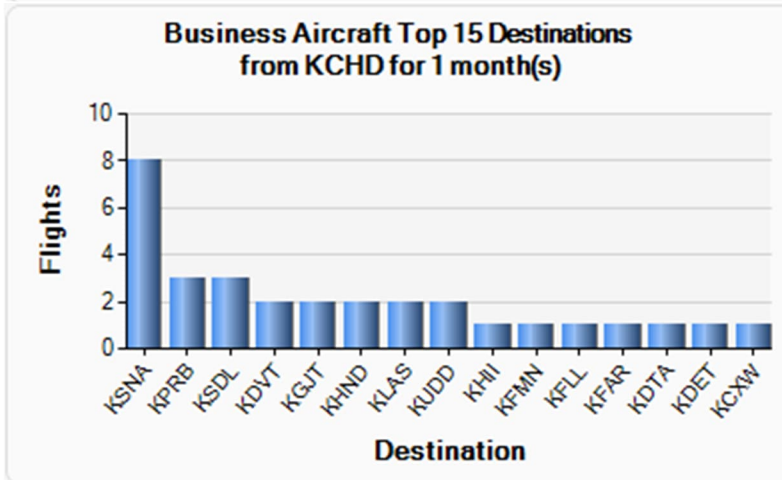
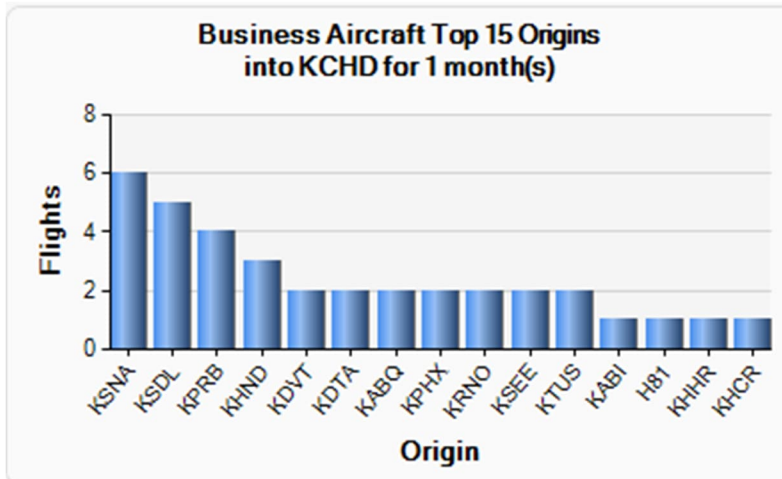
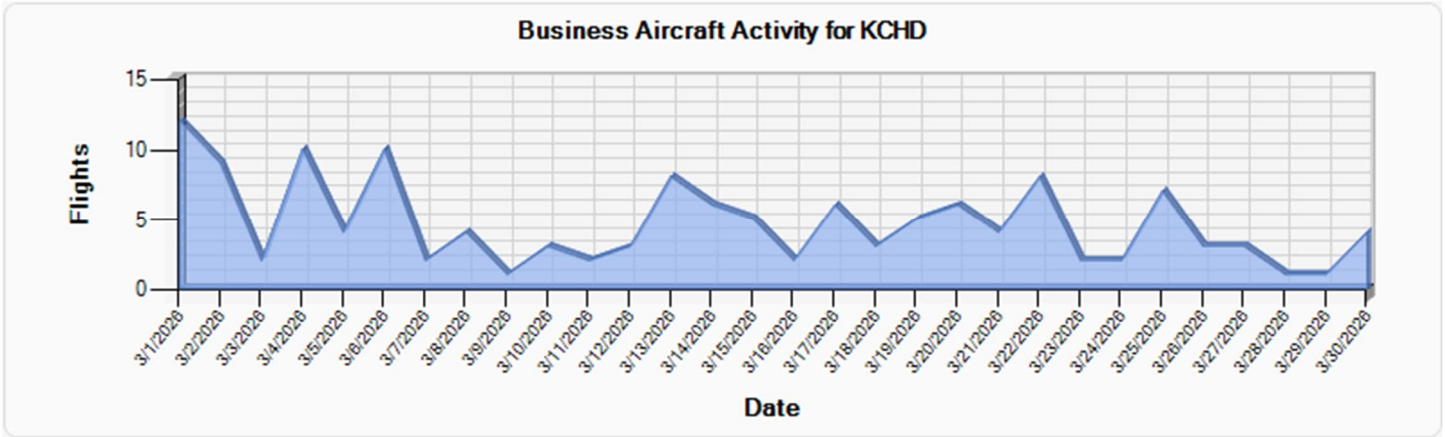




Chandler Municipal Airport Origins & Destinations Report

Meeting Date:
April 8, 2026

The data provided below documents the filed IFR flight plans for commercial operators into and from the Chandler Municipal Airport in March 2026. These flights represent business travel utilizing CHD; 388 such flights took place in March 2026. There were zero (0) repositioning flights from CHD. Total flights to and from CHD represent 29,281 gallons of fuel burn.



Operations Based vs Visiting

KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT



virtower

Operations by Aircraft Category

KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT

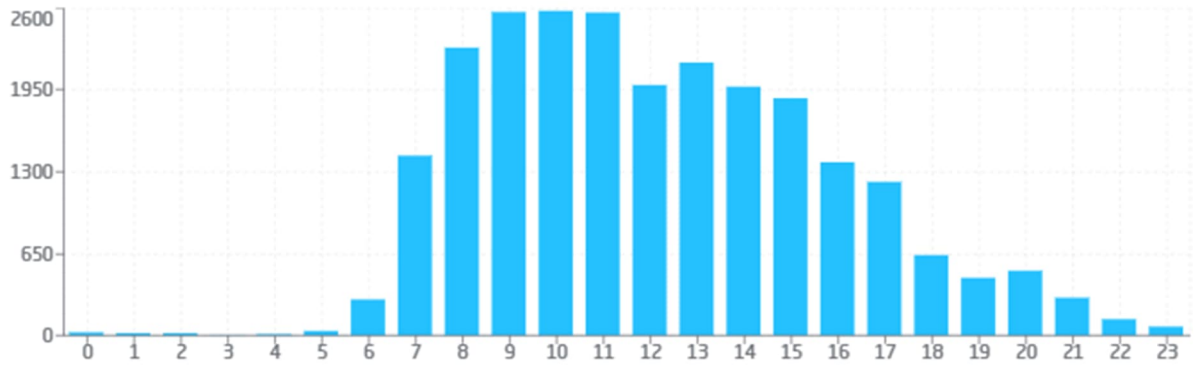


virtower

SEL = Single Engine Land; HEL = Helicopter; MEL = Multi Engine Land; BUZ = Business Jet; MET = Multi Engine Turbine; SET = Single Engine Turbine; MIL = Military; MILH = Military Helicopter; LSA = Light Sport Aircraft; UKN = Unknown

Operations per Hour (Landings & Takeoffs)

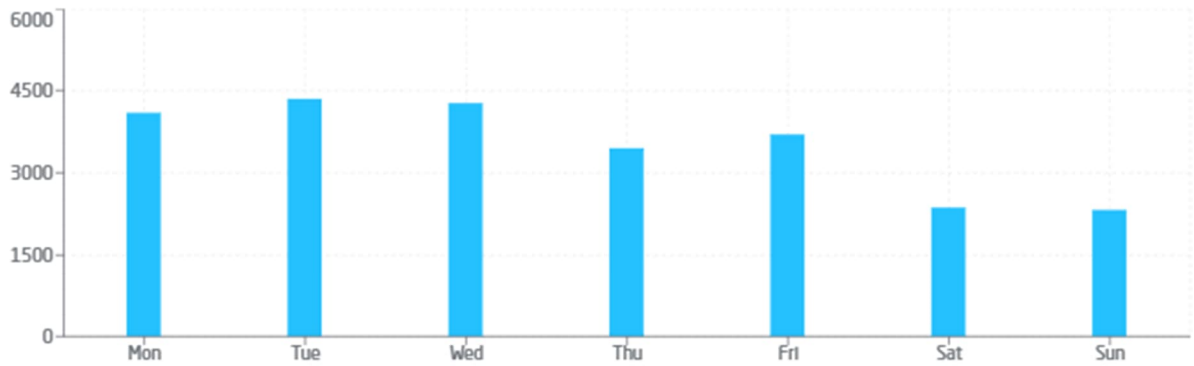
KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT



virtower

Operations by Day of Week

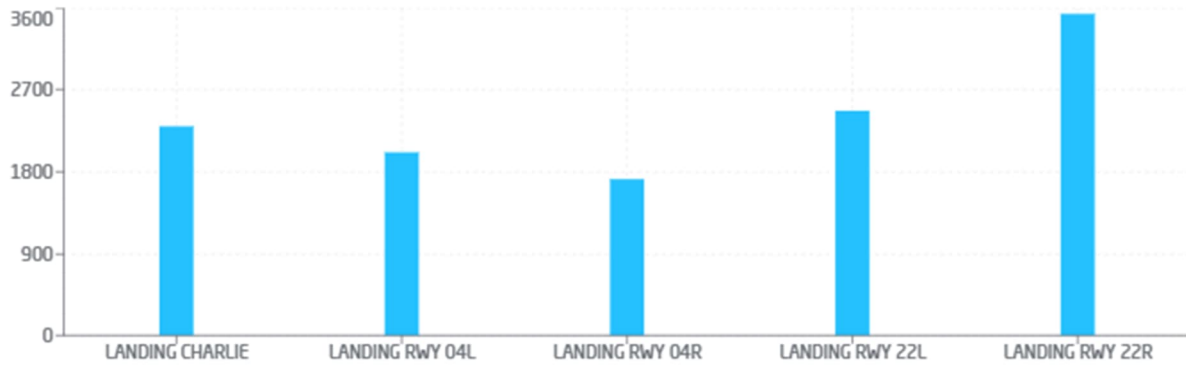
KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT



virtower

Landings per Runway

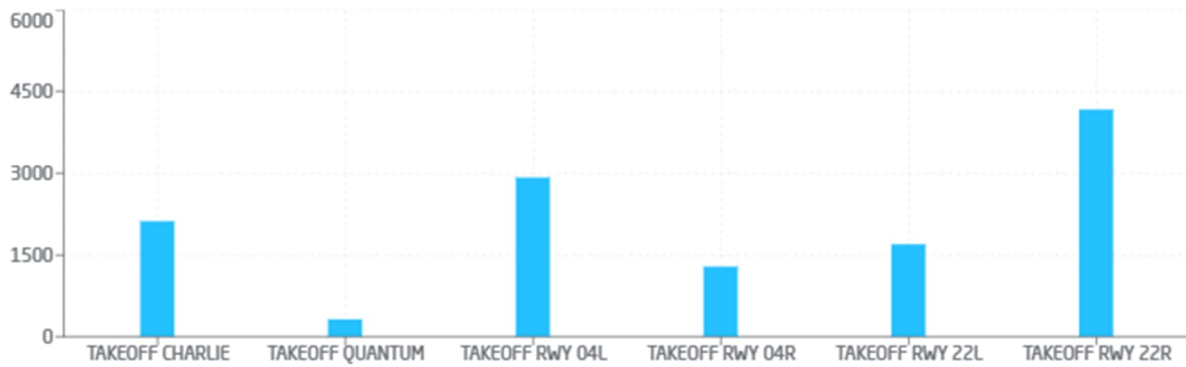
KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT



virtower

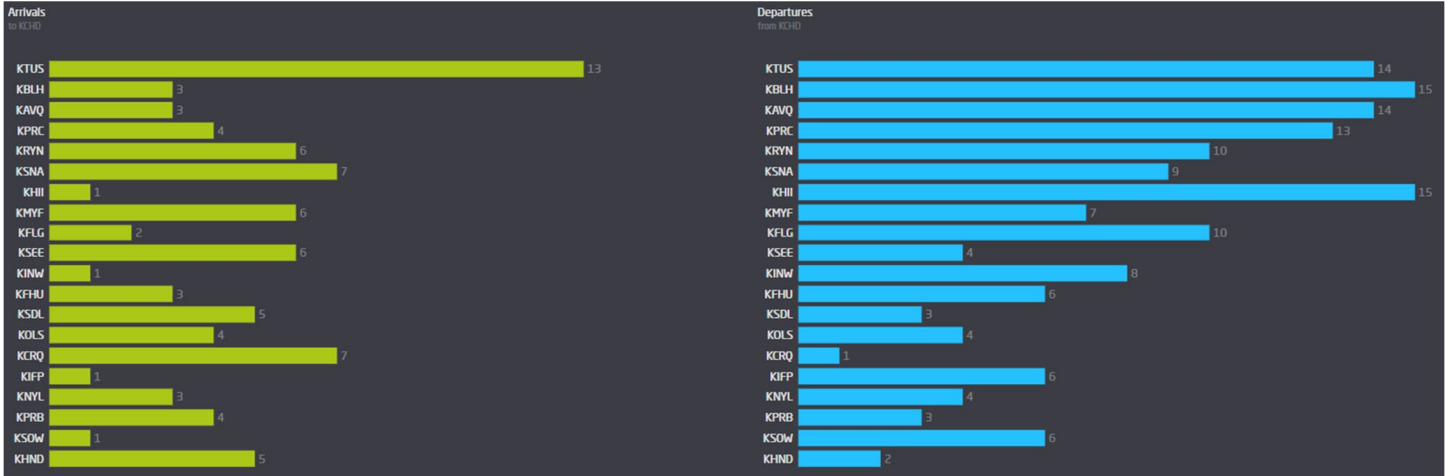
Takeoffs per Runway

KCHD 03/01/2026 0:00 > 03/31/2026 23:59 LT



virtower

Top 20 O & D for March 2026



March 2026 Aircraft Tracking

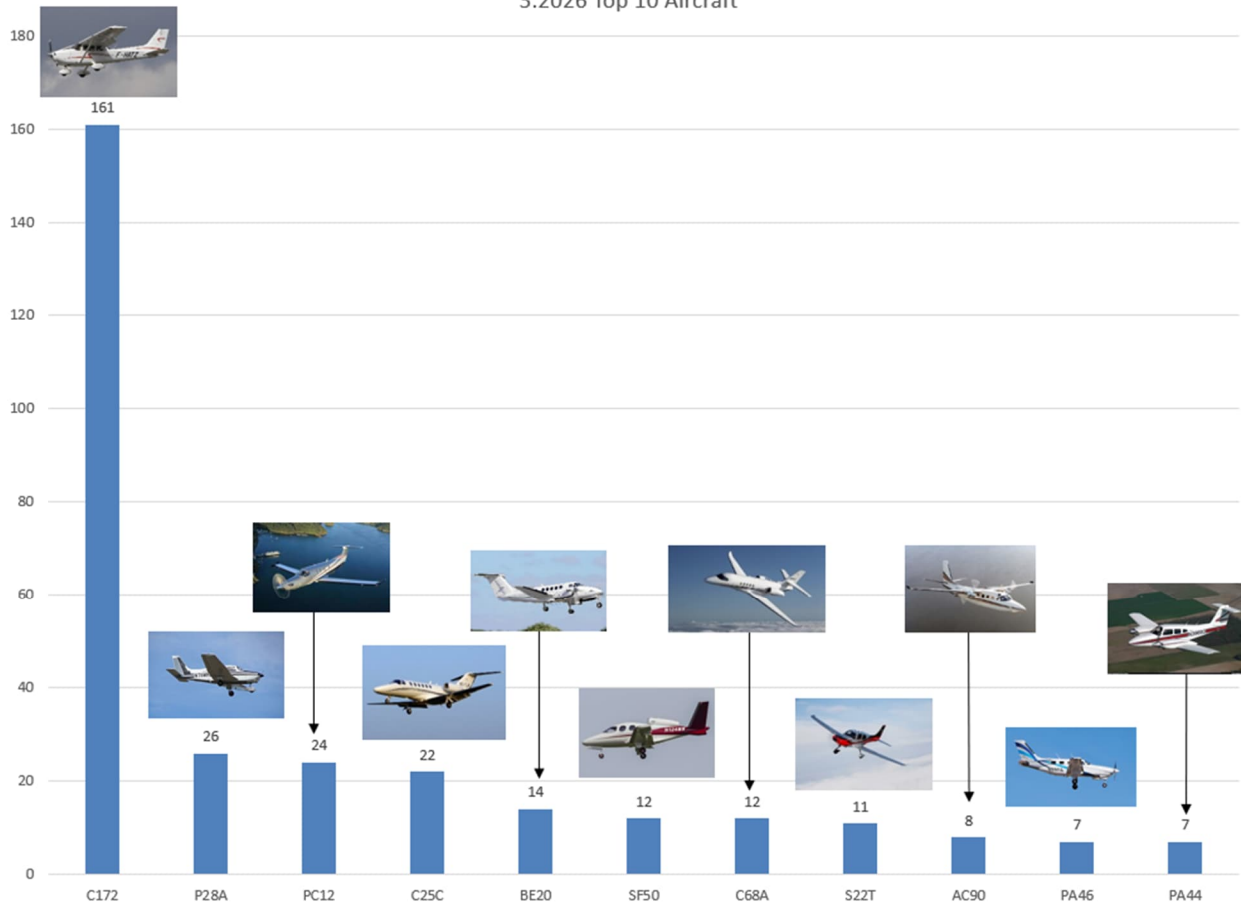
Summary

Landings		Take-Offs		Totals	
Single Engine	9255	Single Engine	9571	Single Engine	18826
Single Engine Turbine	13	Single Engine Turbine	18	Single Engine Turbine	31
Multi Engine	379	Multi Engine	396	Multi Engine	775
Multi Engine Turbine	8	Multi Engine Turbine	10	Multi Engine Turbine	18
Business Jet	39	Business Jet	41	Business Jet	80
Helicopter	2313	Helicopter	2448	Helicopter	4761
Light Sport Aircraft	17	Light Sport Aircraft	17	Light Sport Aircraft	34
Blimp	2	Blimp	4	Blimp	6
Other	8	Other	8	Other	16
TOTAL	12034	TOTAL	12513	TOTAL	24547

FAA AAC/ADG Summary

Landings		Take-Offs		Totals	
A1	9594	A1	9919	A1	19513
A2	12	A2	15	A2	27
B1	24	B1	29	B1	53
B2	38	B2	42	B2	80
C2	3	C2	3	C2	6
HEL	2313	HEL	2446	HEL	4759
UKN	50	UKN	59	UKN	109
TOTAL	12034	TOTAL	12513	TOTAL	24547

3.2026 Top 10 Aircraft





Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: Monthly Construction Report

Attachments

Construction Report



Chandler Municipal Airport Construction Report

Meeting Date:
April 8, 2026

Capital Projects – Design Phase:

- **West Airport Facilities Upgrade:** City funded at \$3.9 million. Revised scope includes operations garage, parking lot and aircraft observation area. Finalizing plan comments. Evaluating utility relocation options and new phasing plan.
- **Airport Fuel Tank Relocation:** City funded at \$610,000. Cost negotiation with vendors. Budget transfer under evaluation. Evaluating alternative methods.
- **Runway End Identifier Light (REIL) Installation Runway 4L-22R (North Runway):** FAA funding for \$110,000. Revising drawings for circuit change for 24/7 REILs. FAA confirmed environmental clearance.

Capital Projects - Construction Phase:

- **Hangar Area Pavement Rehabilitation:** Completed.
- **Taxiway B Improvements- Phase 1:** Completed.
- **Former K&K Site Remediation:** City funding for soil remediation near end of Cooper Road north of Queen Creek. 5.8 acre restricted use area remaining. Topographic survey for current site elevations forthcoming.



Airport Commission Airport Memo No.

Date: 04/08/2026
To: Airport Commission
From: Diana Alonzo, Management Assistant
Subject: Monthly Noise Reports

Attachments

Monthly Noise Report
March Noise Report

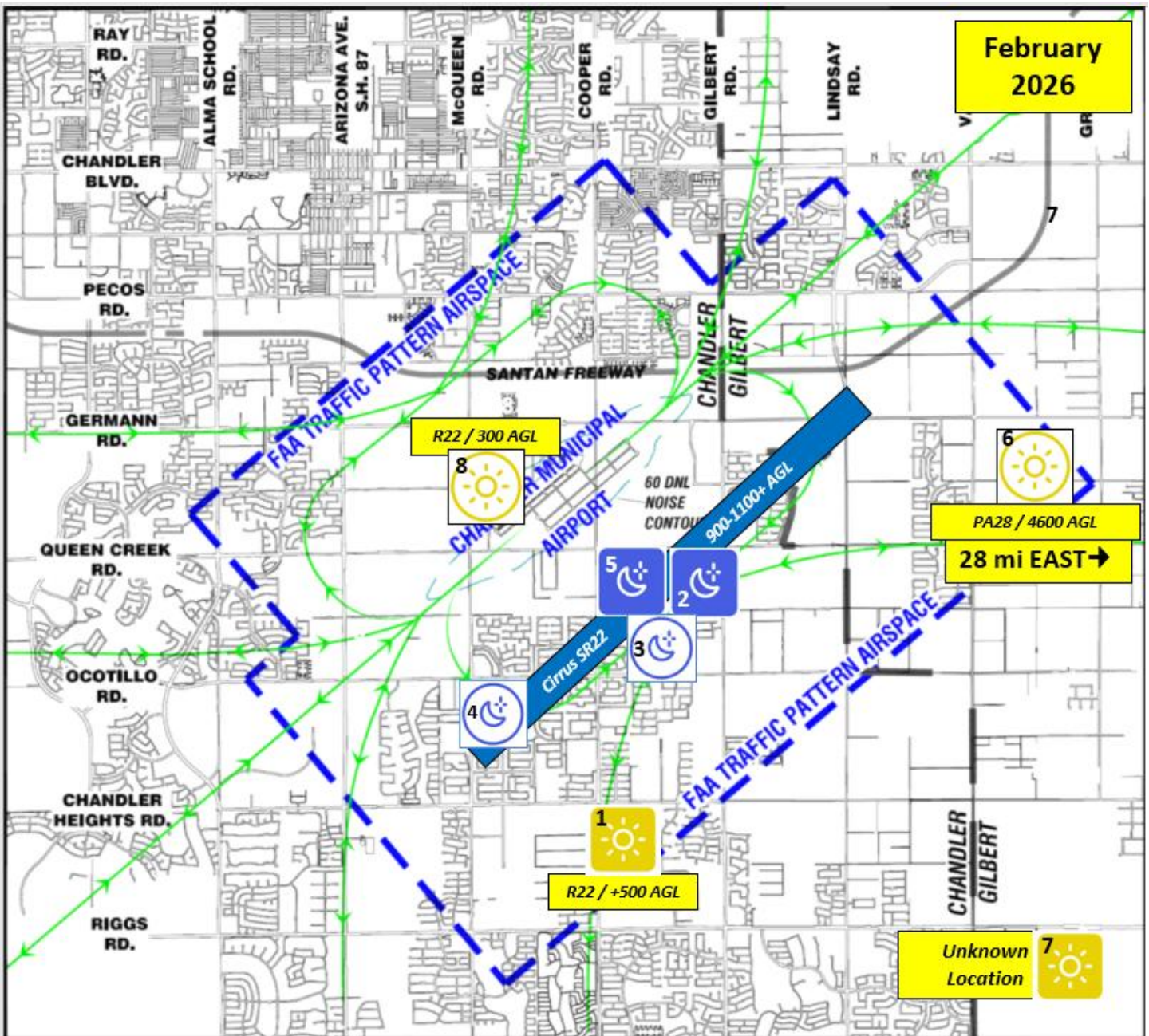


Chandler Municipal Airport Noise Report

Meeting Date:
April 8, 2026

AIRCRAFT TYPE		LOCATION:		February 2026			February 2025	
February 2026				Type:	Households	Contacts	Households	Contacts
Propeller	6	Chandler	7	Noise	7	7	5	5
Helicopter	2	Gilbert	0	Low Flying	1	1	3	3
Jet	0	Sun Lakes	0	Traffic	0	0	2	2
Other	0	Other	1	Other	0	0	0	0
Daytime	4	Nighttime	4					

In February 2026, eight (8) households made eight (8) reports regarding aircraft activity. Seven (7) reports were for noise. One (1) report was for a low-flying aircraft. Four (4) households were repeat residences.





Chandler Municipal Airport Noise Report

Meeting Date:
April 8, 2026

Previous Caller (Daytime)



Previous Caller (Nighttime)



New Caller (Daytime)



New Caller (Nighttime)



- Household #1 reported helicopter noise after moving into his new residence and inquired about amount of traffic. Resident was unaware of the airport's proximity to the residence. A review of flight tracking for the preceding month revealed that helicopter traffic was at or above regulatory altitudes.
- Household #2, #3, #4, and #5 reported a loud late-night aircraft circling over the neighborhood. Flight tracking revealed a GYR Airport based training aircraft conducting pattern work on the south runway for approximately one hour and fifteen minutes. This was 19 touch and go landings 2245 to 2355. Flight tracking indicated that the aircraft appeared to be operating in accordance with Federal Aviation Regulations. The flight school chief pilot was contacted and asked to consider voluntary noise abatement measures and to voluntarily refrain from conducting protracted late-night pattern work.
- Household #6, which is in Gold Canyon, reported a loud aircraft over the community. Flight tracking data revealed that CHD based aircraft was enroute to Show Low. The aircraft was well above regulatory altitude when in proximity to this residence.
- Household #7 reported an increase in aircraft noise, but did not provide any address/location, contact information, or any other information to determine the nature of the concern.
- Household #8 reported a low-flying helicopter over the residence near the old heliport along the Consolidated Canal. Flight tracking revealed a transient helicopter had landed at the city self-serve fuel pumps. According to air traffic control, the helicopter approached the area from the north and circled the control tower and landed on the ramp.

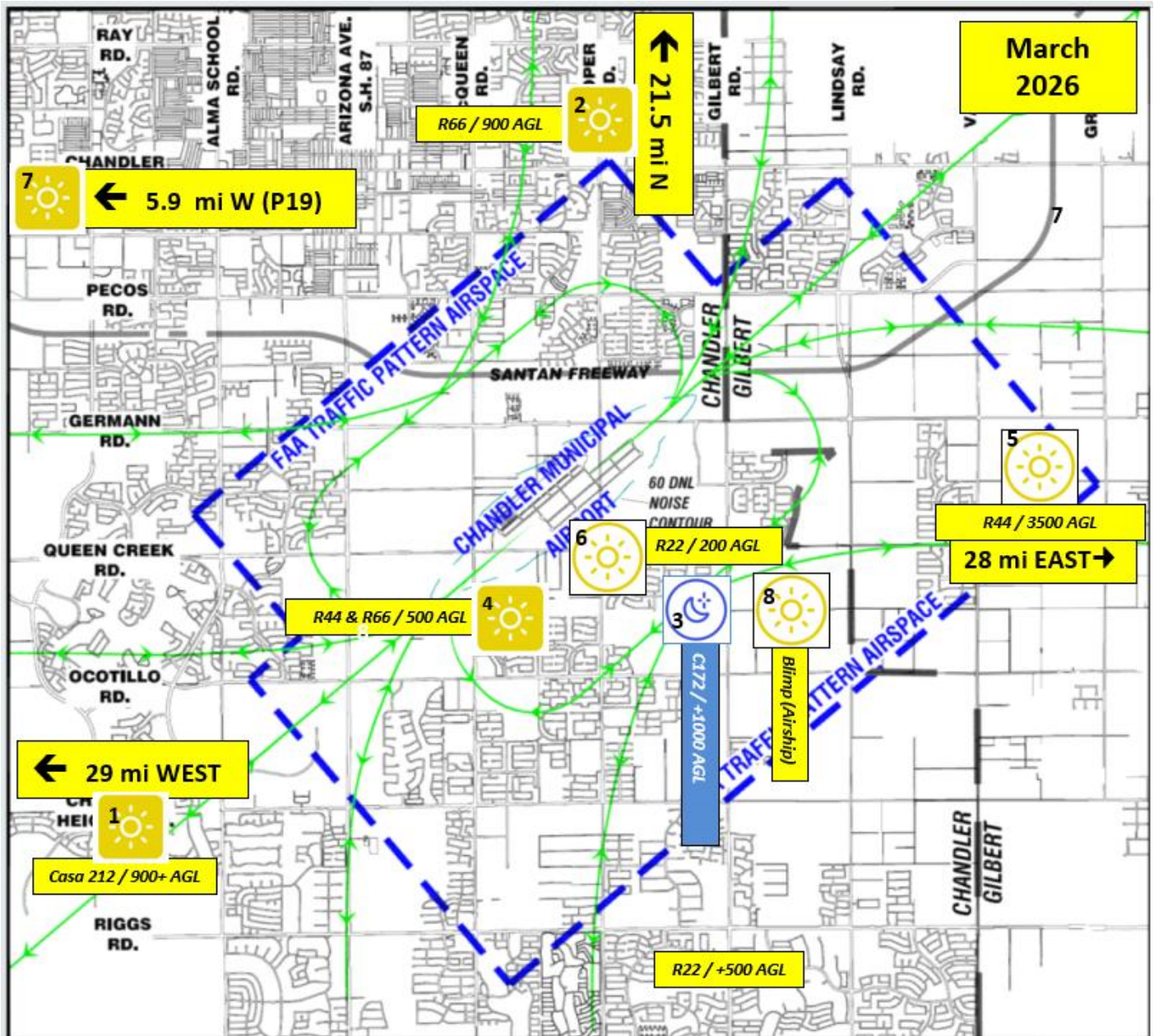


Chandler Municipal Airport Noise Report

Meeting Date:
April 8, 2026

AIRCRAFT TYPE		LOCATION:		March 2026			March 2025	
March 2026				Type:	Households	Contacts	Households	Contacts
Propeller	6	Chandler	6	Noise	5	4	2	2
Helicopter	3	Gilbert	0	Low Flying	2	3	2	1
Jet	0	Sun Lakes	0	Traffic	0	0	3	3
Other	1	Other	3	Other	1	1	0	0
Daytime	8	Nighttime	1					

In March 2026, nine (9) households made ten (10) reports regarding aircraft activity. Five (5) reports were for noise. Four (4) reports were for low-flying aircraft. One (1) report was for other concerns. Four (4) households were repeat residences.





Chandler Municipal Airport Noise Report

Meeting Date:
April 8, 2026

Previous Caller (Daytime)



Previous Caller (Nighttime)



New Caller (Daytime)



New Caller (Nighttime)



- Household #1 near Gila Bend reported a low-flying aircraft over public lands flying low. Flight tracking revealed that the aircraft is based at Ryan Field and was at regulatory altitudes for sparsely populated areas.
- Household #2, which is in Fountain Hills, reported a loud helicopter over the community. The CHD based helicopter was returning to the airport from the Flagstaff area. Flight tracking data revealed that the helicopter was well above regulatory altitudes.
- Household #3 reported a loud aircraft in the early morning hours. Flight tracking data revealed a CHD based training aircraft returning from a night cross-country flight that landed to a full stop. Flight tracking data revealed that the aircraft was at regulatory altitude and did not conduct any repeated landings.
- Household #4 reported repeated loud helicopters over the neighborhood immediately south of the airport. Flight tracking data revealed that R44 and R66 helicopters conducting pattern work and appeared to be just outside the helicopter traffic pattern. Chief pilot of the helicopter flight school notified.
- Household #5, which is in Gold Canyon, reported a loud helicopter over the community. Flight tracking data revealed that helicopter was returning to P19 Stellar Airpark, where it is based. The helicopter was well above regulatory altitude when in proximity to this residence.
- Household #6 reported an increase in low flying helicopters. Flight tracking data revealed that one CHD based helicopter was below pattern altitude. Chief pilot of the helicopter flight school notified.
- Household #7 reported several low-flying airplanes from the airport. Flight tracking revealed the traffic encountered is from P19 Stellar Airpark, which is approximately 0.4 to the residence's west.
- Household #8 reported a blimp (airship) over the neighborhood and inquired if this is allowed by the airport. Resident advised that the blimp isn't any different from any other aircraft with regards to the use of the national airspace system and is a registered aircraft with the FAA. Resident indicated that she didn't feel it was safe and demanded the contact information for the FAA Flight Standards District Office in Scottsdale.
- Household #9 reported low flying helicopters over the residence. Flight tracking data for the preceding two weeks revealed all aircraft were above regulatory altitudes.