

**DEVELOPMENT BOOKLET  
REZONING | PRELIMINARY DEVELOPMENT PLAN  
PRELIMINARY SUBDIVISION PLAT**

**SEASONS AT McQUEEN**

EAST – NORTHEAST CORNER | McQUEEN & WILLIS ROADS

PLH25-0014

SUBMITTED TO:  
**CITY OF CHANDLER**  
DEVELOPMENT SERVICES DEPARTMENT  
215 EAST BUFFALO STREET  
CHANDLER, AZ 85225

SUBMITTED ON BEHALF OF:  
**RICHMOND AMERICAN HOMES**  
16427 N SCOTTSDALE ROAD, SUITE 300  
SCOTTSDALE, AZ 85254

PREPARED BY:  
**IPLAN CONSULTING**  
3317 S. HIGLEY ROAD, SUITE 114-622  
GILBERT, AZ 85295  
(480) 313-8144

PREPARED: MAY 2025  
REVISED: SEPTEMBER 2025  
2<sup>ND</sup> REVISION: NOVEMBER 2025

## LAND ENTITLEMENT ADVISOR TEAM



### COE & VAN LOO CONSULTANTS, INC.

Heidi Tilson, P.E.  
4550 N. 12th Street

Phoenix, AZ 85014

V: (602) 285-4772

E: [htilson@cvlci.com](mailto:htilson@cvlci.com)

Iplan Consulting



### IPLAN CONSULTING

Mario Mangiamele, AICP  
3317 S. Higley Road,  
Suite 114-622

Gilbert, AZ 85295

V: (480) 313-8144

E: [Mario@IplanConsulting.com](mailto:Mario@IplanConsulting.com)



### ABLA

Alex Fish

310 E. Rio Salado Parkway

Tempe, AZ 85281

V: (480) 530-0718

E: [alex.fish@ablastudio.com](mailto:alex.fish@ablastudio.com)

### SUBMITTED ON BEHALF OF:



### RICHMOND AMERICAN HOMES

Kirsten T. Beard

16427 N Scottsdale Road

Suite 300

Scottsdale, AZ 85254

V: (602) 522-4723

E: [Kirsten.Beard@mdch.com](mailto:Kirsten.Beard@mdch.com)

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**REZONING | PRELIMINARY DEVELOPMENT PLAN | PRELIMINARY PLAT**  
**DEVELOPMENT BOOKLET**

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Appendix: PDP Exhibits

- Seasons at McQueen | Streetscape exhibit
- Plan P698 - Cottonwood: Building Elevations | Floor Plan | Roof Plan exhibits
- Plan P846 - Laurel: Building Elevations | Floor Plan | Roof Plan exhibits
- Plan P952 - Lynwood: Building Elevations | Floor Plan | Roof Plan exhibits
- Building Paint Color Schemes - Materials exhibits
- Garage Door Design exhibit
- Paver Colors – Details exhibit
- Coach Light exhibit
- Design Details – Shutters exhibit
- Conceptual Site Plan exhibit
- Conceptual Landscape Plan exhibit
- Conceptual Open Space exhibit
- Conceptual Amenity Plan exhibit
- Conceptual Pocket Park exhibit
- Conceptual Circulation Plan exhibit
- Conceptual Parking Plan exhibit
- Wall Plan exhibit
- Conceptual Wall Details exhibit
- Conceptual Monumentation exhibit

## 2. OVERVIEW

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### 2.1 REQUEST:

Iplan Consulting, on behalf of Richmond American Homes, is pleased to submit for your consideration an application for Planned Area Development (PAD) zoning, Preliminary Development Plan (PDP), and a Preliminary Subdivision Plat for the approximate 11.9-acre (gr.) property, generally located 600-feet east of the northeast corner of South McQueen Road and East Willis Road. The property is further identified as Maricopa County Assessor Parcel Nos.: 303-29-020, 303-29-031H and 303-29-031J.

More specifically, this Development Booklet complements the following requests for the property: a) rezone the properties from City of Chandler AG-1 (Agriculture) to PAD for establishing use and development standards; b) a PDP to establish design standards pertaining to landscape, hardscape, and residential homes; and, c) preliminary subdivision plat to subdivide the real property, described herein, into 57 single family lots.

The proposed Rezoning, Preliminary Development Plan and Preliminary Subdivision Plat is dependent upon successful annexation into the City of Chandler.

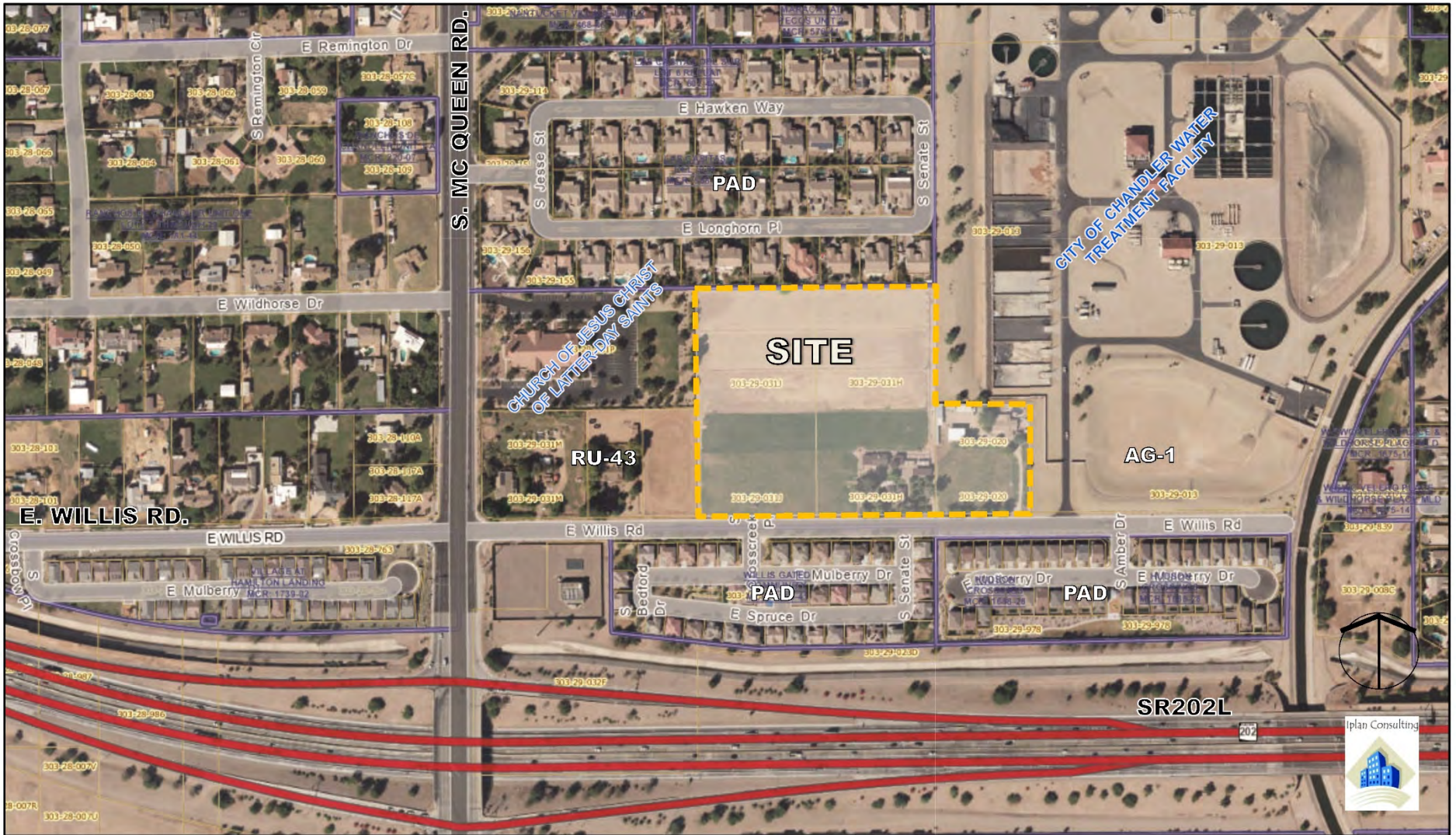
### 2.2 SITE CONTEXT:

The property is bound by Las Casitas Del Sur, an existing single family residential subdivision to the north, while the City of Chandler Water Treatment Facility is contiguous to the entire eastern project boundary. East Willis Road, a local level street, is situated contiguous to the entire south project boundary, while Hudson Crossings and Willis Gated Community, both single family residential neighborhoods, are situated further south – across East Willis Road. The property is further bound to the west by an undeveloped property, as well as, The Church of Jesus Christ of Latter-day Saints religious facility.

The General Plan Land Use classifications, along with the existing zoning and uses for adjacent properties, are listed below:

<b>TABLE 2.201: EXISTING LAND USE SUMMARY</b>			
<b>DIRECTION</b>	<b>GENERAL PLAN LAND USE CLASSIFICATION</b>	<b>EXISTING ZONING</b>	<b>EXISTING USE</b>
<i>On-Site</i>	Neighborhoods	Rural-43 (Maricopa County)	Residential / Agriculture
<b>North</b>	Neighborhoods	PAD	Single Family Residential
<b>East</b>	Neighborhoods	AG-1	Water Treatment Facility
<b>South</b>	Neighborhoods	PAD	Single Family Residential
<b>West</b>	Neighborhoods	Rural-43 (Maricopa County)	Religious Facility / Undeveloped

# SITE AERIAL EXHIBIT



BASE MAP SOURCE: MARICOPA COUNTY ASSESSOR, 2025.

# SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

## GENERAL NOTES

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- SIGNS REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO CONSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- VISIBILITY EASEMENT RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 2' IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

## LEGAL DESCRIPTION

PARCEL NO. 1:

THE SOUTH 330 FEET OF THE WEST 264 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPTING THEREFROM THE SOUTH 33 FEET, FOR A ROADWAY.

PARCEL NO. 2:

THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 33 FEET.

PARCEL NO. 3:

THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 33 FEET.

PARCEL NO. 1: CONTAINING 1.800 ACRES, MORE OR LESS  
 PARCEL NO. 2: CONTAINING 4.719 ACRES, MORE OR LESS  
 \*PARCEL NO. 3: CONTAINING 4.722 ACRES, MORE OR LESS  
 TOTAL ACREAGE: 11.241 ACRES, MORE OR LESS

## FLOOD ZONE CERTIFICATION

THIS IS TO CERTIFY THAT THIS PROPERTY IS LOCATED WITHIN THE ZONE "X" FLOOD HAZARD AREA PER FIRIM MAP PANEL NUMBER 040130-2737 M DATED NOVEMBER 4, 2015, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

ZONE "X" AS DEFINED BY FEMA IS:  
 AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

## BASIS OF BEARING

BEGINNING AT THE NORTH CORNER OF SECTION 2, T2S, R5E BEARING SOUTH 85°10'3" WEST CALCULATED PER THE ARIZONA STATE PLANE CENTRAL ZONE, GRID NORTH, BASED ON GPS LOCATION.

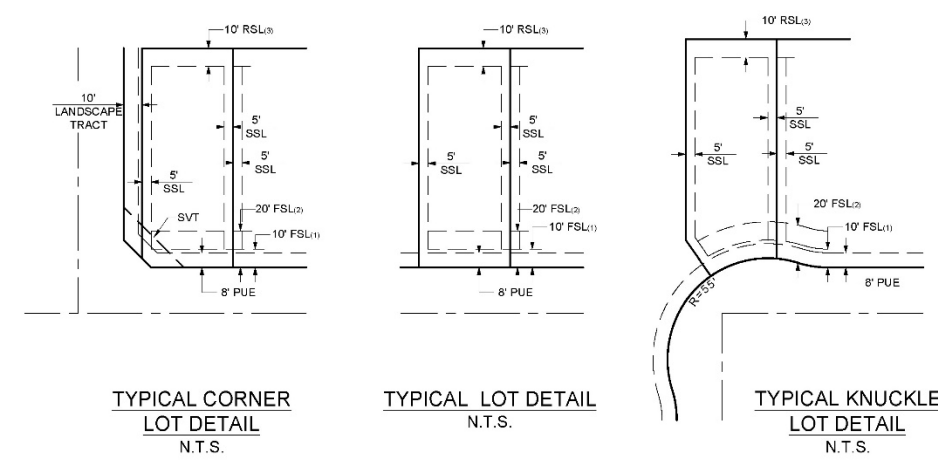
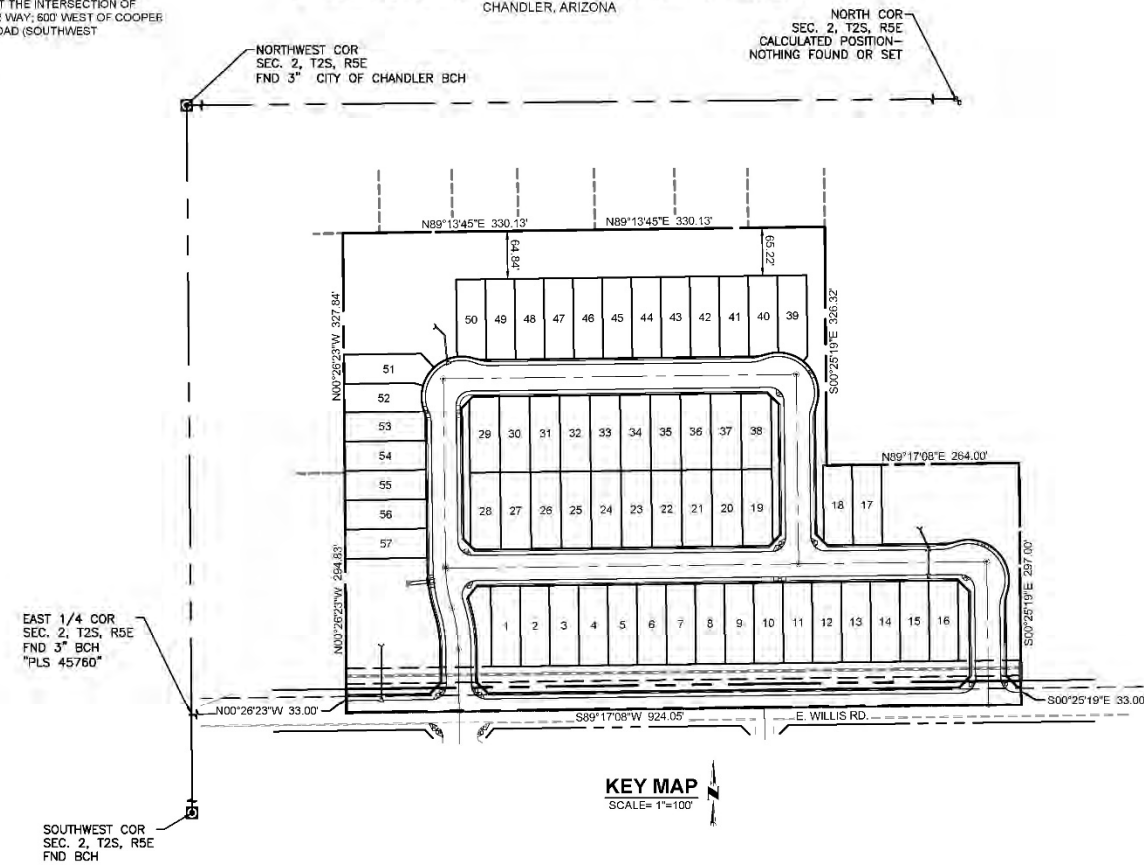
## BENCHMARK

CITY OF CHANDLER BENCHMARK 358 BRASS CAP IN CONCRETE, FLUSH, AT THE INTERSECTION OF CANYON OAKSWAY AND DERRINGER WAY, 600' WEST OF COOPER ROAD AND 280' SOUTH OF PECOS ROAD (SOUTHWEST CORNER, SECTION 2, T2S, R5E)

ELEVATION 1234.35 (NAVD85)

## PRELIMINARY PLAT FOR SEASONS AT McQUEEN

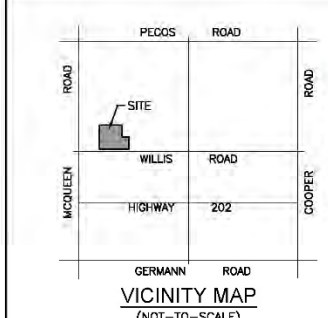
A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 05E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
 CHANDLER, ARIZONA



- ### FRONT YARD SETBACKS
- 10' FOR SIDE LOADED GARAGES, PORCHES OR LIVABLE SPACE.
  - 20' SETBACK IS MEASURED FROM TO FACE OF GARAGE (FRONT ENTRY)
- ### REAR YARD SETBACKS
- 10' FOR SINGLE-STORY HOMES AND/OR COVERED PATIOS;
  - 10' FOR TWO-STORY HOMES
- ### SIDE YARD SETBACKS
- 5'
- ### LEGEND
- FSL - FRONT SETBACK LINE  
 SSL - SIDE SETBACK LINE  
 RSL - REAR SETBACK LINE  
 SVT - INDICATES 33'X33' VISIBILITY TRIANGLE EASEMENT

SITE DATA			
CURRENT ZONING	RU43		
PROPOSED ZONING	PAD (PDP)		
GROSS AREA	520.172 SQ FT	11.94 ACRES	100.00%
NET AREA	495.121	11.37	95.18%
OPEN SPACE AREA	144.068	3.31	27.70%
MAJOR ROW	25.051	0.58	4.82%
LOCAL STREET	101315	2.33	19.48%
TOTAL LOT AREA	249,737	5.73	48.01%
YIELD	LOT SIZE		
57	40' X 105'		
NET DENSITY	5.01 DU/AC		
LOT COVERAGE		MINIMUM LOT AREA (SF)	AVERAGE LOT AREA (SF)
LOT AREA		4,267	4,381
LOT COVERAGE AREA (60% OF LOT)		2,560	2,629

DEVELOPMENT STANDARDS	Proposed PAD
MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MAXIMUM BUILDING HEIGHT	30'
MAXIMUM BUILDING COVERAGE	
	1-STORY 60%
	2-STORY 55%
MINIMUM FRONT YARD SETBACK	
FRONT FACING GARAGE	20'
LIVABLE AREAS; PORCHES; SIDE LOADED GARAGE	10'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	10'



## OWNER

BT WOOD  
 12220 E WILLIS RD.  
 CHANDLER AZ 85286  
 PHONE: (602) 616-6997  
 EMAIL: TERRIWOOD828@GMAIL.COM  
 CONTACT: BRAD AND TERRI WOOD

JARELL AND GLORIA WOOD FAMILY TRUST  
 12140 W WILLIS ROAD  
 CHANDLER, AZ 85286  
 PHONE: (480) 358-7781  
 EMAIL: WOODG528@GMAIL.COM  
 CONTACT: DAVID WOOD (TRUSTEE)

## DEVELOPER

RICHMOND AMERICAN HOMES  
 16427 NORTH SCOTTSDALE ROAD, SUITE 300  
 SCOTTSDALE, AZ 85254  
 PHONE: (602) 522-4723  
 EMAIL: KIRSTEN.BEARD@MADCH.COM  
 CONTACT: KIRSTEN BEARD

## CVL DESIGN TEAM

CVL CONSULTANTS, INC.  
 4550 N. 12TH STREET  
 PHOENIX, AZ 85014  
 PHONE: (602) 264-4752  
 EMAIL: ACARAVEO@CVLCI.COM  
 CONTACT: ALEX CARAVEO

## LEGEND

- SITE BOUNDARY
- PROPOSED LOTS
- PROPOSED ROW
- PROPOSED CENTER LINE
- ① (S.V.T.) SIGHT VISIBILITY TRIANGLE
- 1' V.N.A.E. (V.N.A.E.) INDICATES VEHICULAR NON-ACCESS EASEMENT
- 8' P.U.E. (P.U.E.) INDICATES PUBLIC UTILITY EASEMENT
- ⊕ PROPOSED FIRE HYDRANT

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- SHEET 11 - ENTRY MONUMENT DETAILS



DATE: 06/03/25  
 11/05/25

NO. 1 ADDRESS 1ST REVIEW STAFF COMMENTS  
 2 ADDRESS 2ND REVIEW STAFF COMMENTS

**Coe & Van Loo Consultants, Inc.**

PRELIMINARY PLAT  
**SEASONS AT McQUEEN**  
 A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 05E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
 CHANDLER, ARIZONA



CVL Contact: ALEX CARAVEO  
 CVL Project #: 01 0419301  
 COG LOG #: PLT25-0005

COVER SHEET  
**SHEET 01 OF 11**

# SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

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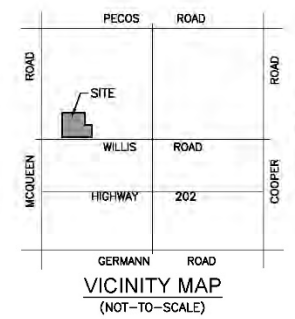
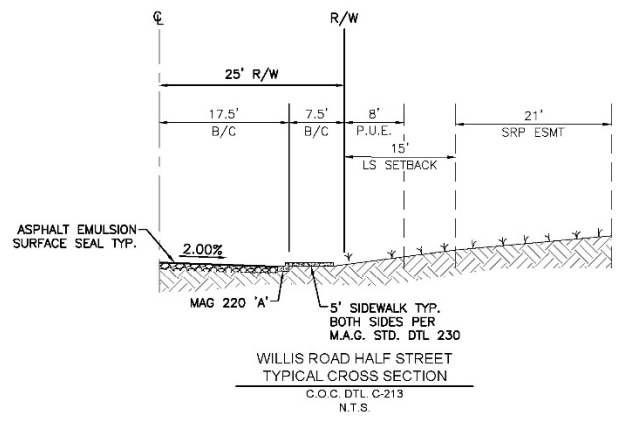
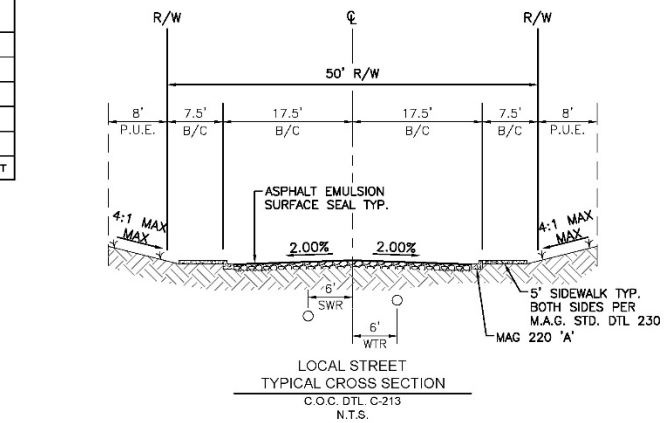
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2	4,400	32	4,343
3	4,400	33	4,343
4	4,400	34	4,343
5	4,400	35	4,343
6	4,400	36	4,343
7	4,400	37	4,343
8	4,400	38	4,330
9	4,400	39	4,389
10	4,400	40	4,315
11	4,400	41	4,401
12	4,400	42	4,401
13	4,400	43	4,401
14	4,400	44	4,401
15	4,400	45	4,401
16	4,400	46	4,401
17	4,360	47	4,401
18	4,347	48	4,401
19	4,330	49	4,401
20	4,343	50	4,291
21	4,343	51	4,628
22	4,343	52	4,267
23	4,343	53	4,445
24	4,343	54	4,459
25	4,343	55	4,466
26	4,343	56	4,474
27	4,343	57	4,482
28	4,330		
29	4,330		
30	4,343		

TRACT AREA TABLE			
TRACT	AREA (SQUARE FEET)	AREA (ACRES)	DESCRIPTION
TRACT A	29198.97	0.647	LANDSCAPE TRACT / OPEN SPACE / SRP EASEMENT / UTILITY EASEMENT
TRACT B	24353.94	0.559	LANDSCAPE TRACT / OPEN SPACE / RETENTION / DRAINAGE / UTILITY EASEMENT / AMENITY
TRACT C	1900.00	0.044	LANDSCAPE TRACT / UTILITY EASEMENT
TRACT D	1900.00	0.044	LANDSCAPE TRACT / UTILITY EASEMENT
TRACT E	65082.21	1.494	LANDSCAPE TRACT / OPEN SPACE / RETENTION / DRAINAGE / UTILITY EASEMENT
TRACT F	22633.35	0.520	LANDSCAPE TRACT / OPEN SPACE / RETENTION / DRAINAGE / SRP EASEMENT / UTILITY EASEMENT

CENTERLINE CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD-BEARING
C1	56.90'	200.00'	016°18'07"	28.85'	N08°51'58"W
C2	56.90'	200.00'	016°18'07"	28.85'	S08°51'58"E

CENTERLINE TABLE		
NO.	LENGTH	BEARING
L1	88.14'	S00°42'55"E
L2	257.53'	S00°42'55"E
L3	483.59'	N89°17'05"E
L4	260.00'	N00°42'55"W
L5	741.43'	N89°17'05"E
L6	196.01'	N00°42'55"W



**OWNER**  
BT WOOD  
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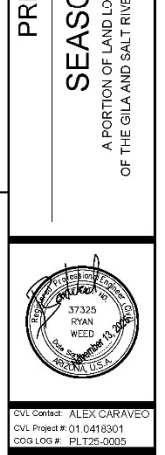
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NO.	REVISION	DATE
1	ADDRESS 1ST REVIEW STAFF COMMENTS	09/03/25
2	ADDRESS 2ND REVIEW STAFF COMMENTS	11/05/25

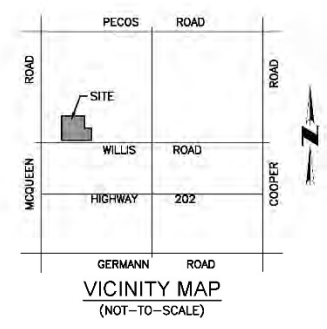
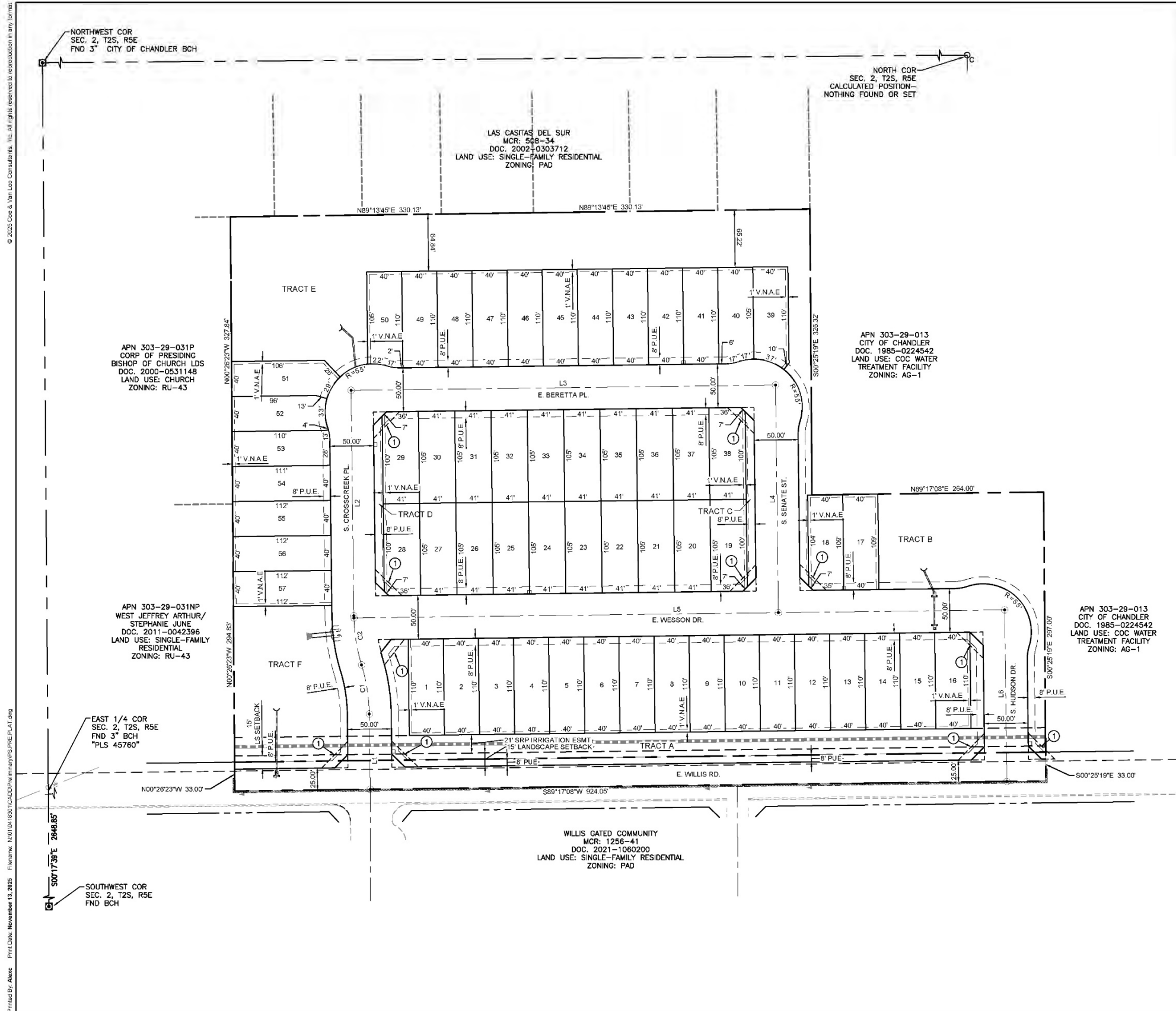
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CHANDLER, ARIZONA



CVL Contact: ALEX CARAVEO  
CVL Project #: 01 0419301  
COG LOG #: PLT25-0005

**TABLES & SECTIONS**  
**SHEET 02 OF 11**

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT



**OWNER**  
 BT WOOD  
 12220 E. WILLIS RD.  
 CHANDLER AZ 85286  
 PHONE: (602) 816-6997  
 EMAIL: TERRIWOOD828@GMAIL.COM  
 CONTACT: BRAD AND TERRI WOOD

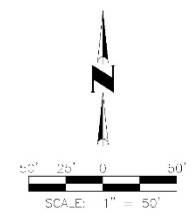
JARELL AND GLORIA WOOD FAMILY TRUST  
 12140 W. WILLIS ROAD  
 CHANDLER, AZ 85286  
 PHONE: (480) 358-7781  
 EMAIL: WOODD529@GMAIL.COM  
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 16427 NORTH SCOTTSDALE ROAD, SUITE 300  
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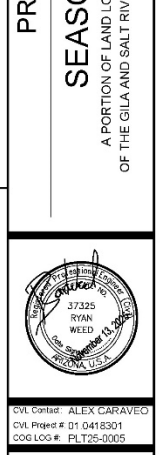


NO.	REVISION	DATE
1	ADDRESS 1ST REVIEW STAFF COMMENTS	09/03/25
2	ADDRESS 2ND REVIEW STAFF COMMENTS	11/05/25

**PRELIMINARY PLAT**

**SEASONS AT McQUEEN**

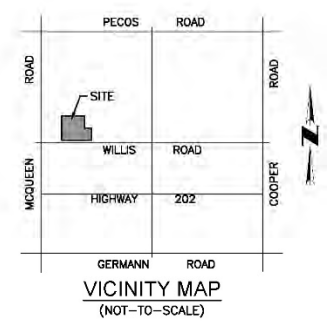
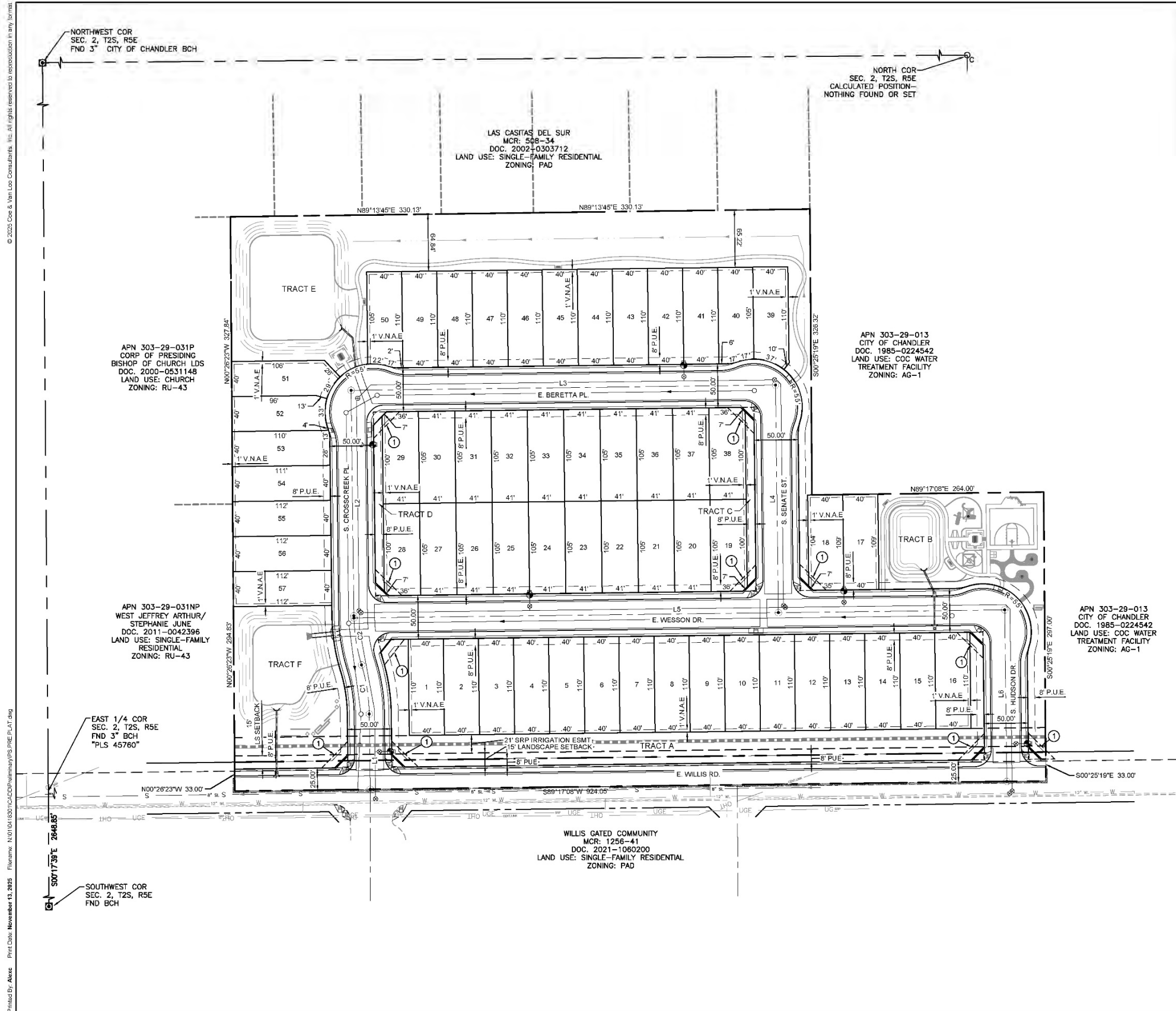
A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 05E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA CHANDLER, ARIZONA



SITE PLAN  
**SHEET 03 OF 11**

Printed By: Alexc Print Date: November 13, 2025 File Name: N:\01\04\8301\CADD\preliminary\SS PRE PLAT.dwg

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT



**OWNER**  
 BT WOOD  
 12220 E. WILLIS RD.  
 CHANDLER AZ 85286  
 PHONE: (602) 816-6997  
 EMAIL: TERRIWOOD828@GMAIL.COM  
 CONTACT: BRAD AND TERRI WOOD

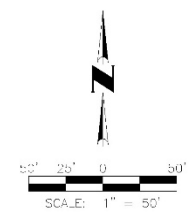
JARELL AND GLORIA WOOD FAMILY TRUST  
 12140 W. WILLIS ROAD  
 CHANDLER, AZ 85286  
 PHONE: (480) 358-7781  
 EMAIL: WOODD528@GMAIL.COM  
 CONTACT: DAVID WOOD (TRUSTEE)

**DEVELOPER**  
 RICHMOND AMERICAN HOMES  
 16427 NORTH SCOTTSDALE ROAD, SUITE 300  
 SCOTTSDALE, AZ 85254  
 PHONE: (602) 522-4723  
 EMAIL: KIRSTEN.BEARD@MDCH.COM  
 CONTACT: KIRSTEN BEARD

**CVL DESIGN TEAM**  
 CVL CONSULTANTS, INC.  
 4550 N. 12TH STREET  
 PHOENIX, AZ 85014  
 PHONE: (602) 264-4752  
 EMAIL: ACARAVEO@CVL.CI.COM  
 CONTACT: ALEX CARAVEO

- LEGEND**
- SITE BOUNDARY
  - PROPOSED LOTS
  - PROPOSED ROW
  - PROPOSED CENTER LINE
  - ① (S.V.T.) SIGHT VISIBILITY TRIANGLE
  - 1' V.N.A.E. (V.N.A.E.) INDICATES VEHICULAR NON-ACCESS EASEMENT
  - 8' P.U.E. (P.U.E.) INDICATES PUBLIC UTILITY EASEMENT
  - ⊕ PROPOSED FIRE HYDRANT

- SHEET INDEX**
- SHEET 01 - COVER SHEET
  - SHEET 02 - TABLES AND SECTIONS
  - SHEET 03 - SITE PLAN
  - SHEET 04 - SITE PLAN WITH UTILITIES/RETENTION/DRAINAGE
  - SHEET 05 - PROPOSED WALL PLAN
  - SHEET 06 - AMENITIES PLAN
  - SHEET 07 - WALL & AMENITIES DETAILS / RAMADA DETAIL
  - SHEET 08 - CORNER PALASTER DETAILS / RAMADA DETAIL
  - SHEET 09 - AMENITIES DETAILS
  - SHEET 10 - AMENITIES DETAILS
  - SHEET 11 - ENTRY MONUMENT DETAILS

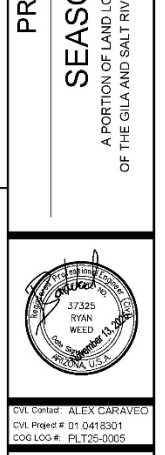


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**PRELIMINARY PLAT**

**SEASONS AT McQUEEN**

A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 05E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA CHANDLER, ARIZONA

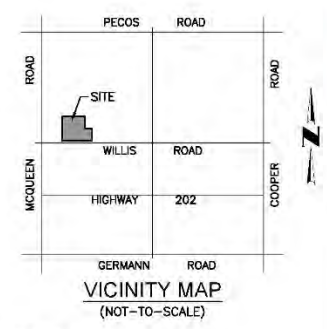
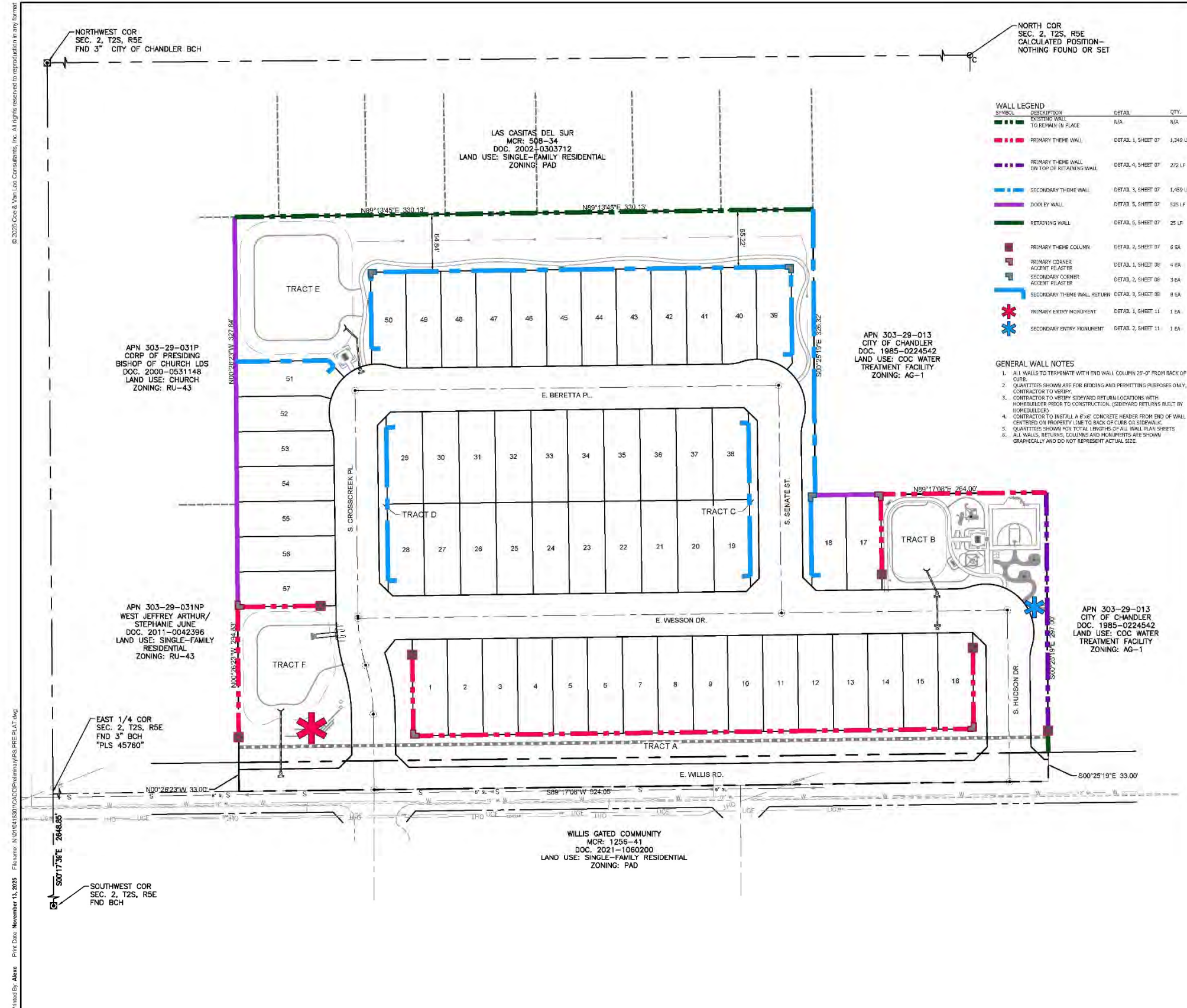


CVL Project # 01 0418301  
 COG Log # FLT25-0005

**SITE PLAN**

**SHEET 04 OF 11**

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT



**OWNER**  
 BT WOOD  
 12220 E. WILLIS RD.  
 CHANDLER, AZ 85286  
 PHONE: (602) 816-8997  
 EMAIL: TERRIWOOD0828@GMAIL.COM  
 CONTACT: BRAD AND TERRI WOOD

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 12140 W. WILLIS ROAD  
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 RICHMOND AMERICAN HOMES  
 16427 NORTH SCOTTSDALE ROAD, SUITE 300  
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 PHONE: (602) 522-4723  
 EMAIL: KIRSTEN.BEARD@MCOH.COM  
 CONTACT: KIRSTEN BEARD

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 CVL CONSULTANTS, INC.  
 4550 N. 12TH STREET  
 PHOENIX, AZ 85014  
 PHONE: (602) 264-4752  
 EMAIL: ACARAVEO@CVL.CI.COM  
 CONTACT: ALEX CARAVEO

**CVL CONSULTANTS**  
 4550 North 12th Street  
 Phoenix, Arizona 85014  
 602-264-8831  
 WWW.CVL.CI.COM

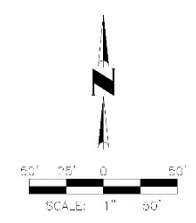
DATE: 09/03/25  
 11/05/25

REVISION  
 1 ADDRESS 1ST REVIEW STAFF COMMENTS  
 2 ADDRESS 2ND REVIEW STAFF COMMENTS

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**PRELIMINARY PLAT**  
**SEASONS AT McQUEEN**  
 A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 08E  
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
 CHANDLER, ARIZONA

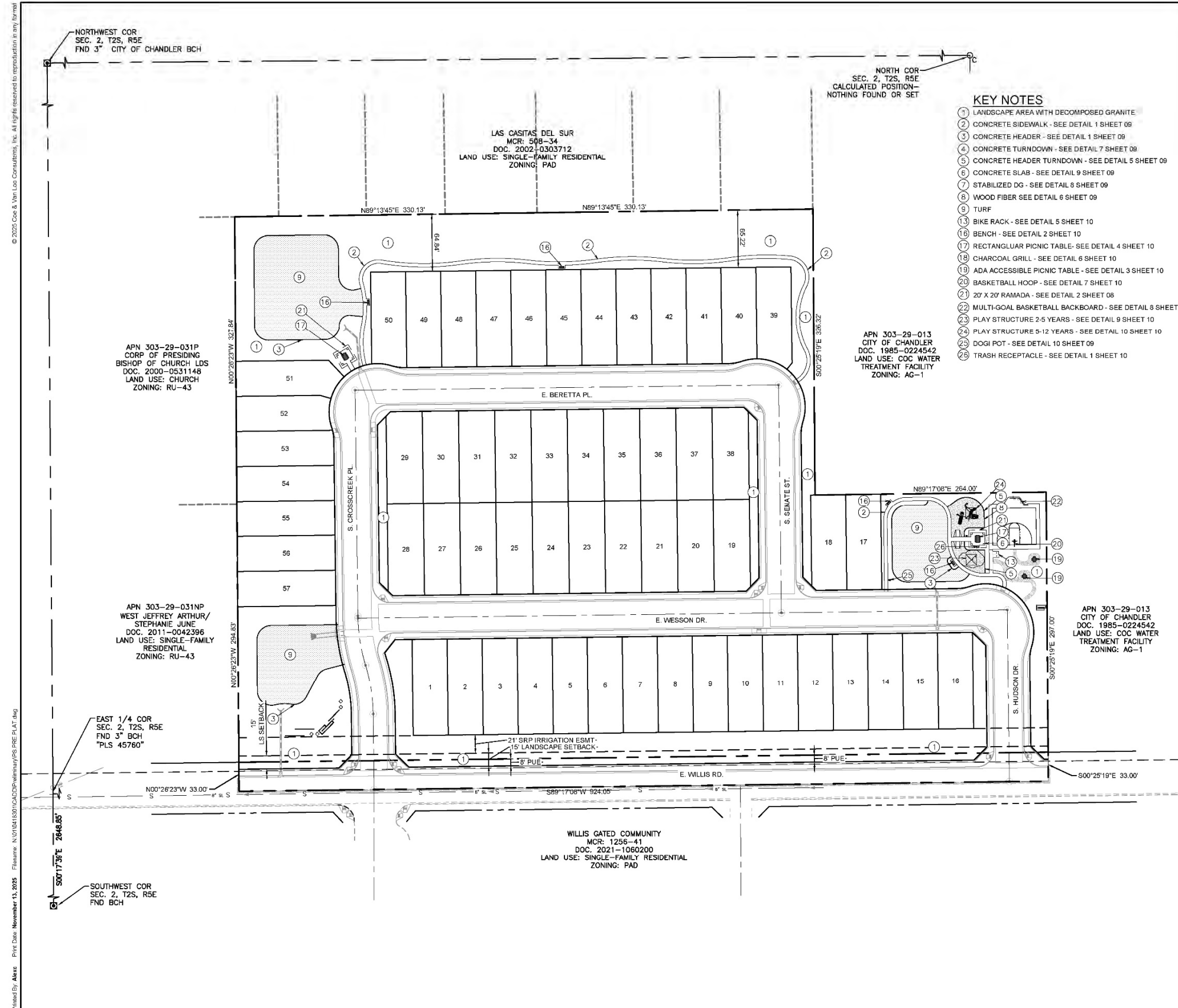
**SHEET INDEX**  
 SHEET 01 - COVER SHEET  
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 SHEET 10 - AMENITIES DETAILS  
 SHEET 11 - ENTRY MONUMENT DETAILS



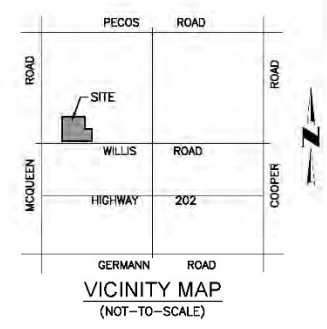
CVL Contact: ALEX CARAVEO  
 CVL Project #: 01 0419301  
 COG LOG #: PLT25-0005

**PROPOSED WALL PLAN**  
**SHEET 05 OF 11**

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT



- KEY NOTES**
- 1 LANDSCAPE AREA WITH DECOMPOSED GRANITE
  - 2 CONCRETE SIDEWALK - SEE DETAIL 1 SHEET 09
  - 3 CONCRETE HEADER - SEE DETAIL 1 SHEET 09
  - 4 CONCRETE TURNDOWN - SEE DETAIL 7 SHEET 09
  - 5 CONCRETE HEADER TURNDOWN - SEE DETAIL 5 SHEET 09
  - 6 CONCRETE SLAB - SEE DETAIL 9 SHEET 09
  - 7 STABILIZED DG - SEE DETAIL 8 SHEET 09
  - 8 WOOD FIBER SEE DETAIL 6 SHEET 09
  - 9 TURF
  - 13 BIKE RACK - SEE DETAIL 5 SHEET 10
  - 16 BENCH - SEE DETAIL 2 SHEET 10
  - 17 RECTANGULAR PICNIC TABLE - SEE DETAIL 4 SHEET 10
  - 18 CHARCOAL GRILL - SEE DETAIL 6 SHEET 10
  - 19 ADA ACCESSIBLE PICNIC TABLE - SEE DETAIL 3 SHEET 10
  - 20 BASKETBALL HOOP - SEE DETAIL 7 SHEET 10
  - 21 20' X 20' RAMADA - SEE DETAIL 2 SHEET 08
  - 22 MULTI-GOAL BASKETBALL BACKBOARD - SEE DETAIL 8 SHEET 10
  - 23 PLAY STRUCTURE 2-5 YEARS - SEE DETAIL 9 SHEET 10
  - 24 PLAY STRUCTURE 5-12 YEARS - SEE DETAIL 10 SHEET 10
  - 25 DOGI POT - SEE DETAIL 10 SHEET 09
  - 26 TRASH RECEPTACLE - SEE DETAIL 1 SHEET 10



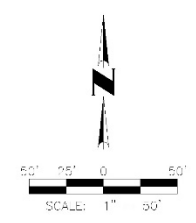
**OWNER**  
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 EMAIL: WOODS29@GMAIL.COM  
 CONTACT: DAVID WOOD (TRUSTEE)

**DEVELOPER**  
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 16427 NORTH SCOTTSDALE ROAD, SUITE 300  
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 Phoenix, Arizona 85014  
 602-264-8831  
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DATE: 09/03/25  
 11/05/25

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**PRELIMINARY PLAT**

**SEASONS AT McQUEEN**

A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 06E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

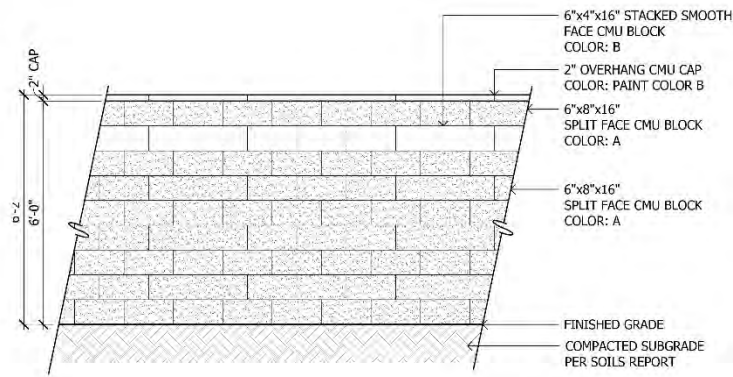
CVL Contact: ALEX CARAVEO  
 CVL Project #: 01 0419301  
 COG LOG #: PLT25-0005

AMENITIES PLAN

**SHEET 06 OF 11**

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

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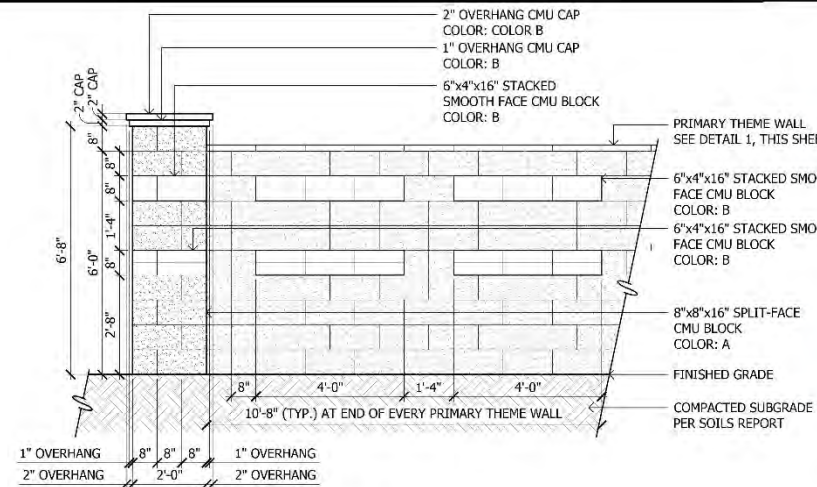
1 Primary Theme Wall  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



COLOR: B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL



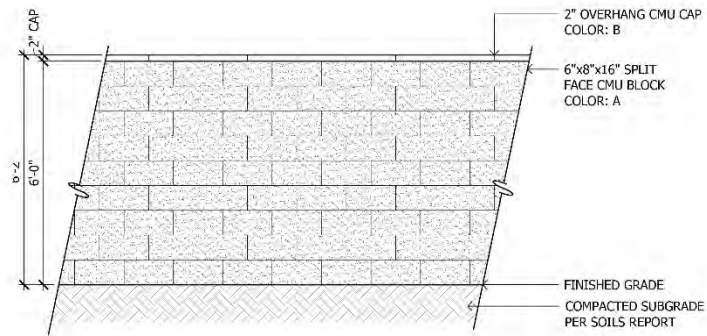
2 Primary Theme Column  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



COLOR: B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL



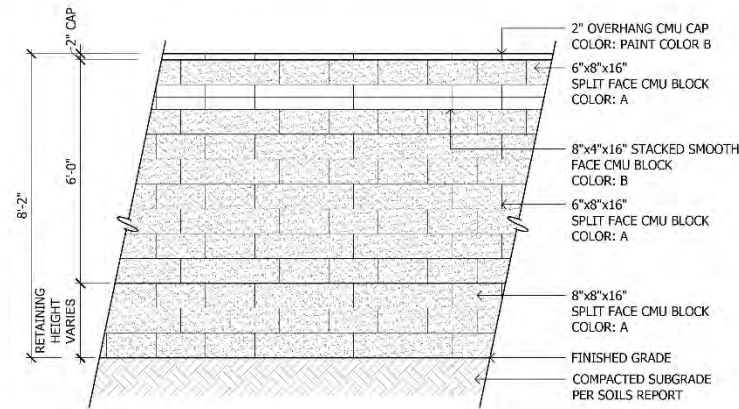
3 Secondary Theme Wall  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: HEATHER (DEC773)  
APPROVED EQUAL



COLOR: B  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: METAL FRINGE (DET626)  
APPROVED EQUAL



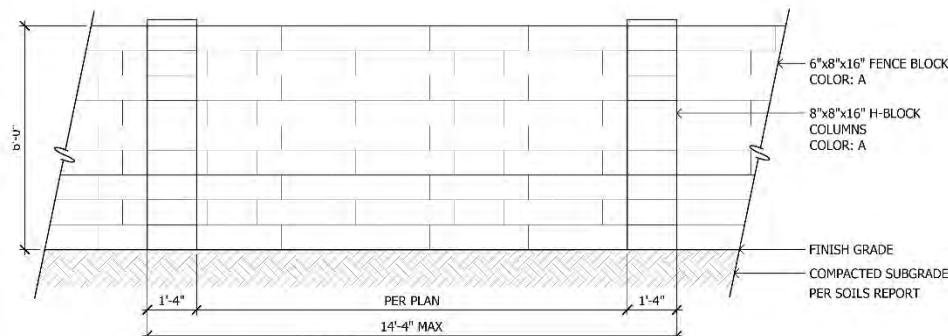
4 Primary Theme Wall on Top of Retaining Wall  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



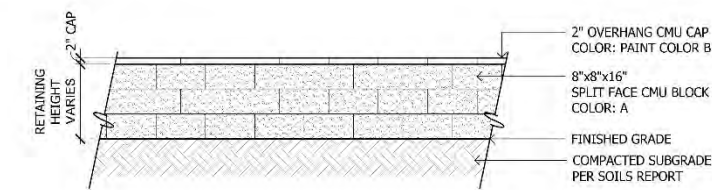
COLOR: B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL



5 Dooley Wall  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: HEATHER (DEC773)  
APPROVED EQUAL



6 Retaining Wall  
SCALE: 1/2"=1'-0"



COLOR: A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



COLOR: B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL

**CVL**  
CONSULTANTS  
4550 North 12th Street  
Phoenix, Arizona 85014  
602-264-6831  
www.cvlci.com

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PRELIMINARY PLAT

SEASONS AT McQUEEN

A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 05E OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA CHANDLER, ARIZONA



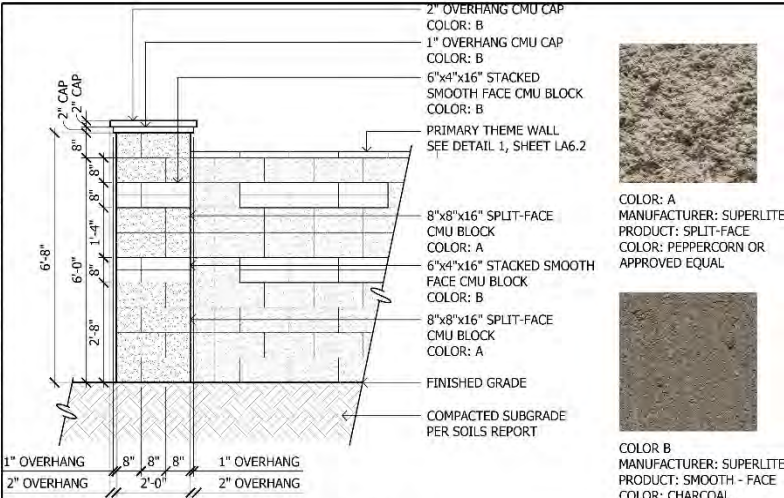
FOR: ALEX CARAVEDO  
C.V.L. Project # 01\_0418301  
C.O.G. LOG # PLT25-0065

WALL DETAILS

SHEET  
07 OF 11

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

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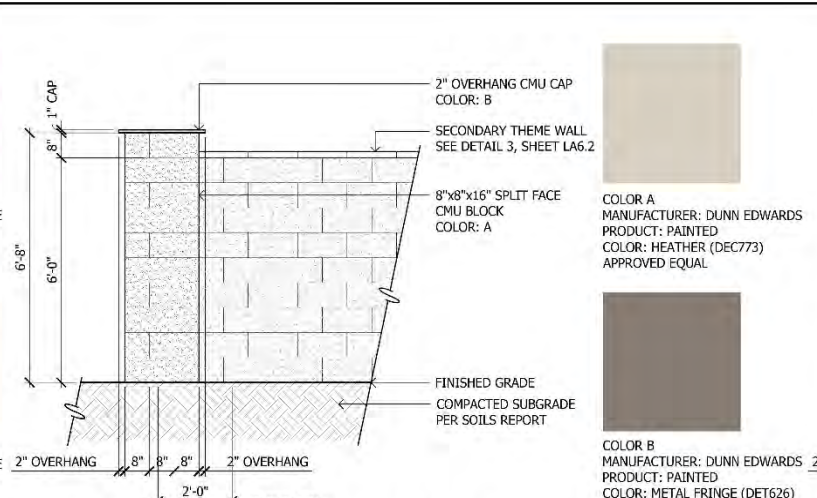


COLOR A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



COLOR B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL

1 Primary Corner Accent Pilaster  
SCALE: 1/2"=1'-0"

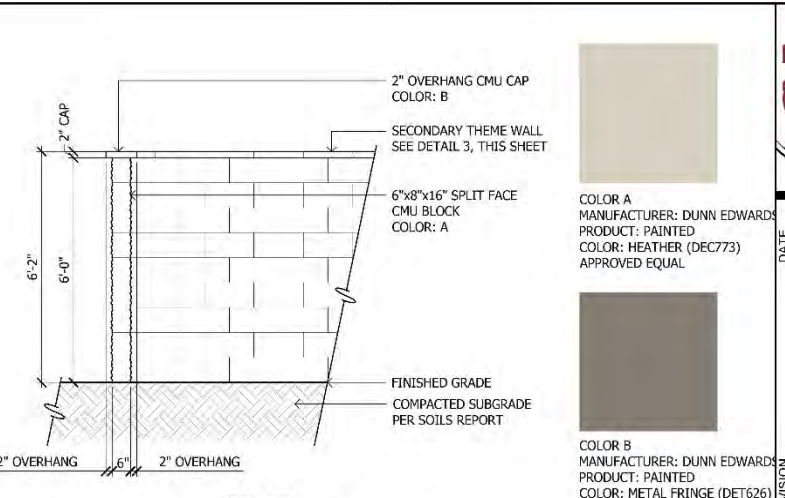


COLOR A  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: HEATHER (DEC773)  
APPROVED EQUAL



COLOR B  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: METAL FRINGE (DET626)  
APPROVED EQUAL

2 Secondary Corner Accent Pilaster  
SCALE: 1/2"=1'-0"

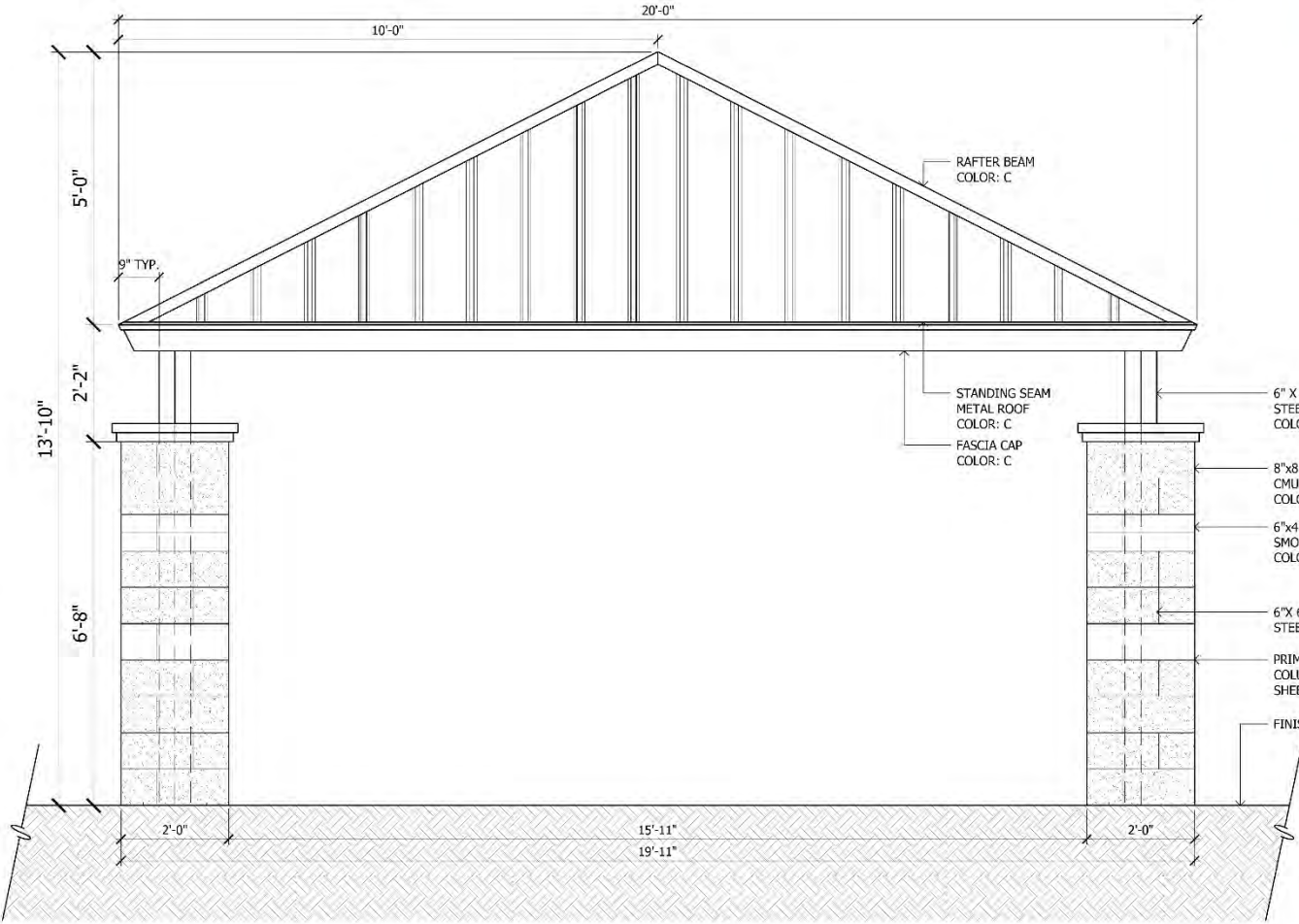


COLOR A  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: HEATHER (DEC773)  
APPROVED EQUAL



COLOR B  
MANUFACTURER: DUNN EDWARDS  
PRODUCT: PAINTED  
COLOR: METAL FRINGE (DET626)  
APPROVED EQUAL

3 Secondary Theme Wall Return  
SCALE: 1/2"=1'-0"



CHARACTER IMAGE



COLOR A  
MANUFACTURER: SUPERLITE  
PRODUCT: SPLIT-FACE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



COLOR B  
MANUFACTURER: SUPERLITE  
PRODUCT: SMOOTH - FACE  
COLOR: CHARCOAL  
OR APPROVED EQUAL



COLOR C  
MANUFACTURER: ICON  
SHELTER  
SYSTEMS PRODUCT:  
SQUARE SHELTER  
COLOR: GREY BORWN  
OR APPROVED EQUAL

4 20' x 20' Ramada  
SCALE: 3/4"=1'-0"

Printed By: Alesco First Date: November 13, 2025 Filename: N:\0110418301\CAD\Drawings\PLAT.dwg

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1  
2

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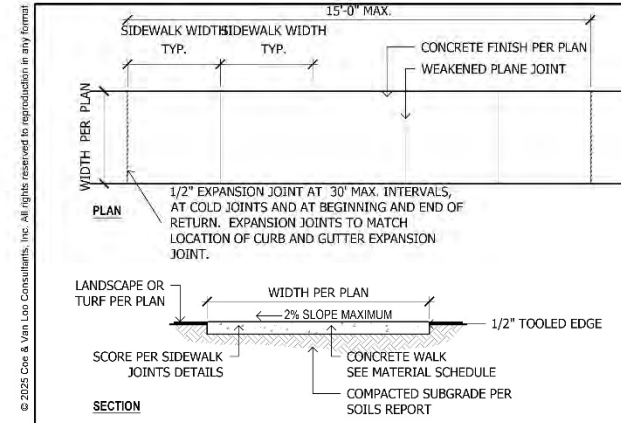
PRELIMINARY PLAT  
**SEASONS AT McQUEEN**  
A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 06E  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
CHANDLER, ARIZONA



DLI License: ALEX CARAVEDO  
DLI Project #: 01 0418301  
DGS Log #: PLT25-0065

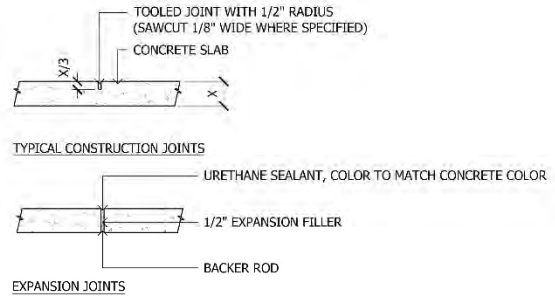
WALL & AMENITIES  
DETAILS  
**SHEET**  
08 OF 11

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT



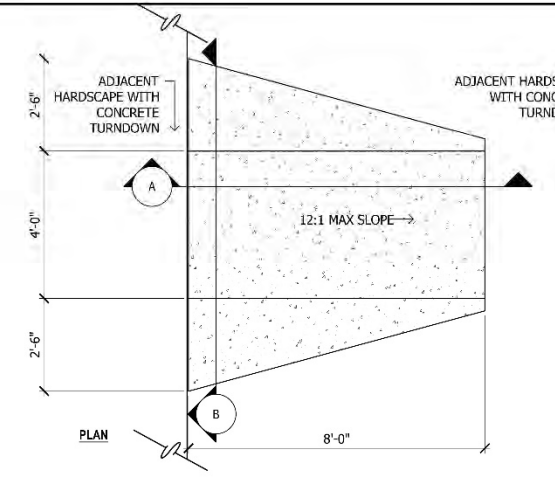
GENERAL NOTES:  
 1. SIDEWALK PER CLARK COUNTY STANDARD DETAIL.  
 2. LONGITUDINAL WEAKENED PLANE JOINT REQUIRED AT MIDPOINT OF SIDEWALK 10' OR WIDER.

1 Concrete Sidewalk  
 SCALE: 1/2"=1'-0"



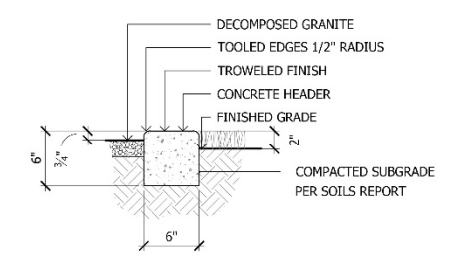
NOTE:  
 UNLESS OTHERWISE NOTED OR DIMENSIONED USE THE FOLLOWING DATA FOR EXPANSION & CONTROL JOINT LOCATIONS:  
 (3'-0" WIDE WALK - C.J. @ 3'-0" O.C. & E.J. @ 6' O.C.)  
 (5'-0" WIDE WALK - C.J. @ 5'-0" O.C. & E.J. @ 10' O.C.)  
 (6'-0" WIDE WALK - C.J. @ 6'-0" O.C. & E.J. @ 12' O.C.)  
 (12'-0" WIDE WALK - C.J. @ 12'-0" O.C. & E.J. @ 24' O.C.)

2 Construction Joints  
 SCALE: 1"=1'-0"



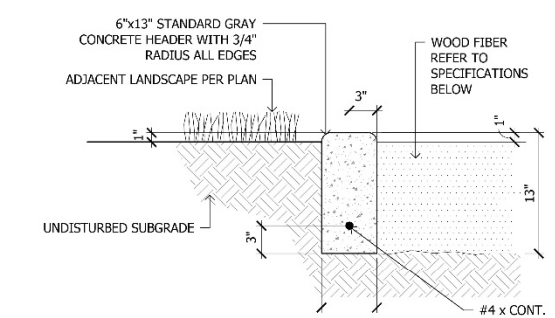
NOTES:  
 1. CONCRETE RAMP TO BE INSTALLED OUTSIDE OF ALL PLAY EQUIPMENT FALL ZONES.

3 ADA Access Ramp Into Wood Fiber  
 SCALE: 1/2"=1'-0"



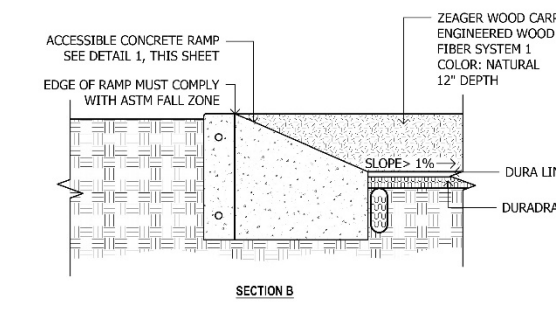
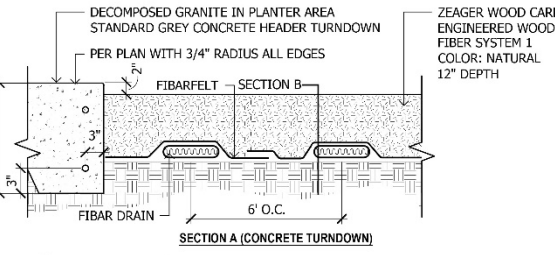
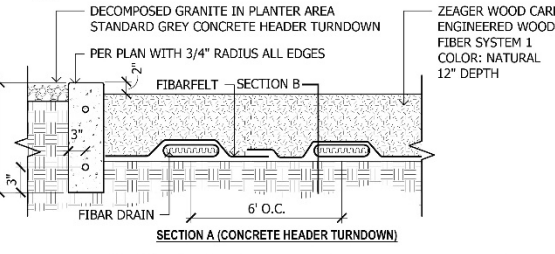
NOTE:  
 CONCRETE HEADER TO FINISH FLUSH WITH HARDSCAPE EDGE.

4 Concrete Header  
 SCALE: 1-1/2"=1'-0"



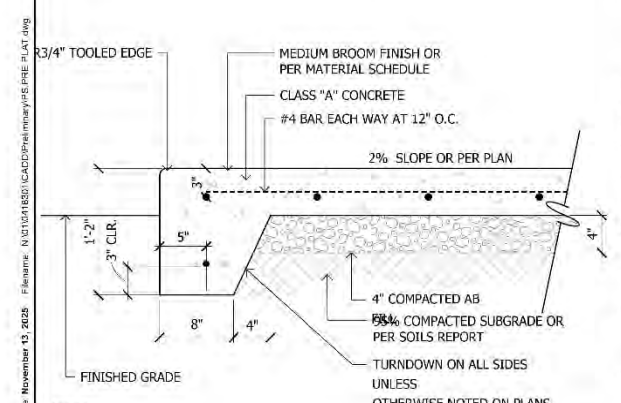
WOOD FIBER SPECIFICATIONS:  
 THE MATERIAL SHALL MEET ASTM F-1292-95 AND ADA PER ASTM PS 83-97. THE MATERIAL SHALL BE MANUFACTURED FROM 100% CLEAN WOOD. MATERIAL SHALL BE FREE OF TWIGGS, BARK, AND LEAF DEBRIS. IT SHALL BE FREE FROM ANY FOREIGN OBJECTS SUCH AS NAILS, TRASH AND CHEMICAL ADDITIVES. THE MATERIAL SHALL BE NON-TOXIC.

5 Concrete Header Turndown  
 SCALE: 1-1/2"=1'-0"



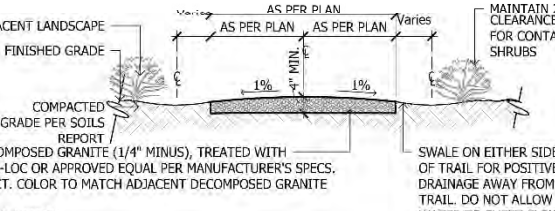
NOTES:  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.  
 2. DO NOT SCALE DRAWINGS.  
 3. AWARD CONTRACTORS MUST OBTAIN A LICENSE ZEAGER BROS, INC. PRIOR TO CONSTRUCTION.  
 4. WOOD CARPET WEAR MATS MUST BE INSTALLED UNDER ALL SWINGS, TIRE SWINGS & SLIDE EXITS TO PRESERVE WARRANTY. SEE 312-002.  
 5. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.zeager.com

6 Wood Fiber  
 SCALE: 1/2"=1'-0"



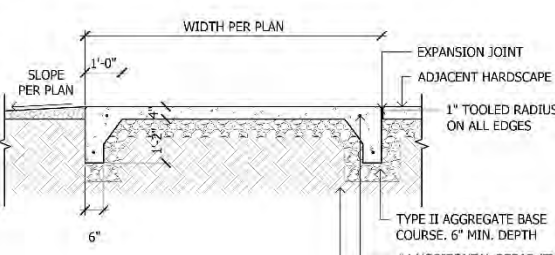
NOTES:  
 1. CONCRETE TURNDOWN TO BE INSTALLED AT TOT LOT, PER PLAN, WHERE CONCRETE IS ADJACENT TO TOT LOT.

7 Concrete Turndown  
 SCALE: 1-1/2"=1'-0"



INSTALLATION:  
 1. PREPARE SUB-GRADE TO LINE AND GRADE ALLOWING FOR POSITIVE DRAINAGE.  
 2. SUB-GRADE SHALL BE COMPACTED AS SPECIFIED PRIOR TO PLACEMENT OF PRE-STABILIZED GRANITE COMPACT BASE MATERIAL (AS SPECIFIED) PRIOR TO PLACEMENT OF PRE-STABILIZED GRANITE.  
 3. SPREAD PRE-STABILIZED GRANITE OVER PREPARED SUB-BASE/BASE MATERIAL TO SPECIFIED DEPTH.  
 4. AFTER SPREADING AND LEVELING PRE-STABILIZED GRANITE, THOROUGHLY SATURATE THE ENTIRE DEPTH OF PRE-STABILIZED GRANITE WITH WATER TO ACTIVATE STABILIZING COMPOUND. (RANDOM CORE SAMPLING SHOULD BE DONE TO ENSURE FULL DEPTH PENETRATION.)  
 5. AFTER THE PRE-STABILIZED GRANITE HAS BEEN SATURATED, ALLOW TO DRY TO A COMPACTABLE CONSISTENCY\* (OPTIMUM MOISTURE) AND COMPACT WITH A VIBRATORY COMPACTOR OR 3 1/2 TON STEEL DRUM ROLLER. (\*DRY TIME CAN RANGE FROM 2 TO 24 HOURS DEPENDING ON WEATHER CONDITIONS.)  
 6. PROTECT FROM TRAFFIC UNTIL ENTIRE DEPTH OF PRE-STABILIZED GRANITE HAS COMPLETELY DRIED. (THIS COULD BE 48 TO 72 HOURS DEPENDING ON WEATHER CONDITIONS.)

8 Stabilized Decomposed Granite  
 SCALE: 1/2"=1'-0"



9 Concrete Slab  
 SCALE: 1/2"=1'-0"

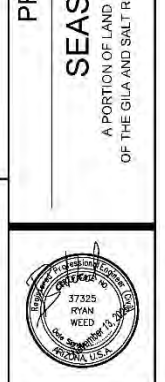


10 Dogi Pot  
 SCALE: NTS



NO.	REVISION	DATE
1	ADDRESS 1ST REVIEW STAFF COMMENTS	06/03/25
2	ADDRESS 2ND REVIEW STAFF COMMENTS	11/05/25

SEASONS AT McQUEEN  
 A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 06E  
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
 CHANDLER, ARIZONA



MANUFACTURER: DOGI POT  
 MODEL: #1003A-L  
 COLOR: GREEN  
 APPROVED EQUAL

AMENITIES DETAILS  
 SHEET  
 09 OF 11

SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

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CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 995-131-000-1  
COLOR: BLACK  
OR APPROVED EQUAL

1 Trash Receptacle  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 974-303-000-1  
COLOR: BLACK  
OR APPROVED EQUAL

2 Bench  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 927-1P1-000-1  
COLOR: BLACK  
OR APPROVED EQUAL

3 ADA Accessible Picnic Table  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 950-5P1-000-1  
COLOR: BLACK  
OR APPROVED EQUAL

4 Rectangular Picnic Table  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 997-107-000-1  
COLOR: BLACK  
OR APPROVED EQUAL

5 Bike Rack  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PREMIER POLY STEEL  
MODEL: 999-ECG1929  
COLOR: BLACK  
OR APPROVED EQUAL

6 Charcoal Grill  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: PERFORMANCE SPORT SYSTEM  
MODEL: GN45-SR  
COLOR: BLACK  
OR APPROVED EQUAL

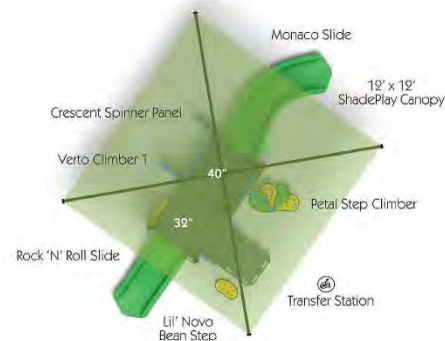
7 Basketball Hoop  
SCALE: NTS



CHARACTER IMAGE

MANUFACTURER: GAMETIME  
MODEL: 5045SP  
COLOR: BLACK  
OR APPROVED EQUAL

8 Multi-Goal Basketball Backboard  
SCALE: NTS



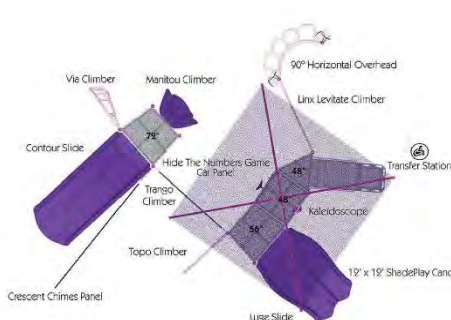
CHARACTER IMAGE - PLAN

MANUFACTURER: BURKE  
MODEL: SY-3049  
COLOR: STANDARD  
OR APPROVED EQUAL

9 Play Structure 2-5 years  
SCALE: NTS



CHARACTER IMAGE - PERSPECTIVE



CHARACTER IMAGE - PLAN

MANUFACTURER: BURKE  
MODEL: SY-3491  
COLOR: STANDARD  
OR APPROVED EQUAL

10 Play Structure 5-12 year  
SCALE: NTS



CHARACTER IMAGE - PERSPECTIVE

Printed By: Aesop First Date: November 13, 2025 Filename: N:\01\04\1830\1\CADD\Pre\mryy\18 PRE\_PLAT.dwg

**CVL**  
CONSULTANTS  
4550 North 12th Street  
Phoenix, Arizona 85014  
602-254-6831  
www.cvlci.com

NO.	REVISION	DATE
1	ADDRESS 1ST REVIEW STAFF COMMENTS	09/03/25
2	ADDRESS 2ND REVIEW STAFF COMMENTS	11/05/25

**Coe & Van Loo Consultants, Inc.**

PRELIMINARY PLAT  
**SEASONS AT McQUEEN**  
A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 06E  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
CHANDLER, ARIZONA

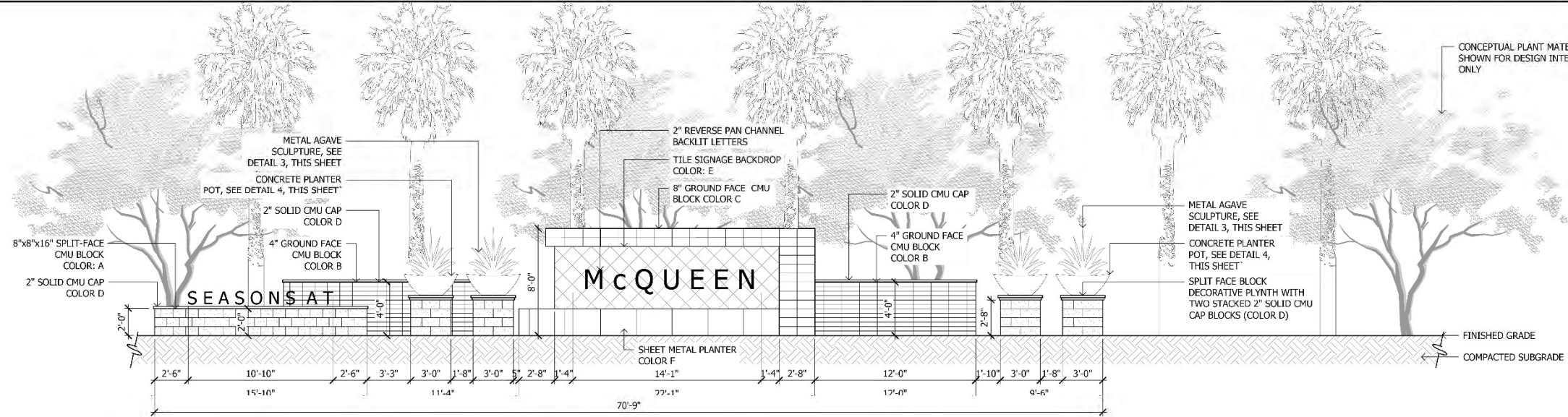


DLI License: ALEX CARAVEDO  
DLI Project # 01.04.18301  
CSG LOG # PLT25-0005

AMENITIES DETAILS  
**SHEET**  
10 OF 11

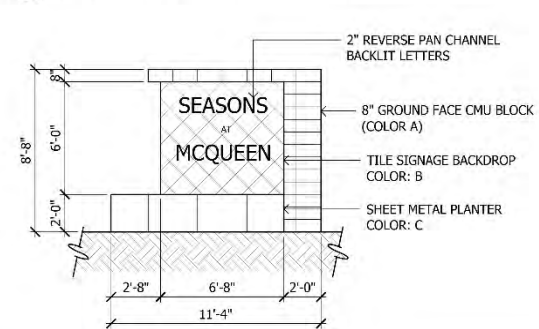
SEASONS AT McQUEEN | PRELIMINARY SUBDIVISION PLAT

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<b>COLOR A</b> MANUFACTURER: SUPERLITE PRODUCT: SPLIT-FACE COLOR: RUTHERFORD OR APPROVED EQUAL	<b>COLOR B</b> MANUFACTURER: SUPERLITE PRODUCT: TRENDSTONE COLOR: PEPPERCORN OR APPROVED EQUAL	<b>COLOR C</b> MANUFACTURER: SUPERLITE PRODUCT: GROUND COLOR: RUTHERFORD OR APPROVED EQUAL	<b>COLOR D</b> MANUFACTURER: SUPERLITE PRODUCT: SMOOTH FACE COLOR: CHARCOAL OR APPROVED EQUAL	<b>COLOR E</b> MANUFACTURER: QDI SURFACES PRODUCT: TRAVERTINE COLOR: SILVER OR APPROVED EQUAL	<b>COLOR F</b> MANUFACTURER: N/A PRODUCT: POWDER COATED COLOR: BLACK OR APPROVED EQUAL

**1 Primary Entry Monument**  
SCALE: 1/4"=1'-0"



		
<b>COLOR C</b> MANUFACTURER: SUPERLITE PRODUCT: GROUND COLOR: RUTHERFORD OR APPROVED EQUAL	<b>COLOR B</b> MANUFACTURER: QDI SURFACES PRODUCT: TRAVERTINE COLOR: SILVER OR APPROVED EQUAL	<b>COLOR C</b> MANUFACTURER: N/A PRODUCT: POWDER COATED COLOR: BLACK OR APPROVED EQUAL



CHARACTER IMAGE



CHARACTER IMAGE

MANUFACTURER: DESERT  
STEEL SURFACES  
PRODUCT: SAW TOO AGAVE  
OR APPROVED EQUAL

MANUFACTURER: KORNEGAY  
DESIGN  
PRODUCT: DUNE  
ITEM: KD-DS-29  
COLOR: SANDSTONE OR  
APPROVED EQUAL

**2 Secondary Entry Monument**  
SCALE: 1/4"=1'-0"

**3 Metal Agave Sculpture**  
SCALE: 1/4"=1'-0"

**4 Concrete Planter Pot**  
SCALE: NTS

**CVL CONSULTANTS**  
4550 North 12th Street  
Phoenix, Arizona 85014  
602-264-6831  
www.cvlci.com

DATE: 06/03/25  
11/05/25

REVISION  
1 ADDRESS 1ST REV/W/STAFF COMMENTS  
2 ADDRESS 2ND REV/W/STAFF COMMENTS

**Coe & Var Loo Consultants, Inc.**

PRELIMINARY PLAT  
**SEASONS AT McQUEEN**  
A PORTION OF LAND LOCATED IN SECTION 02, TOWNSHIP 02S, RANGE 06E  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA  
CHANDLER, ARIZONA



DESIGNER: ALEX CARAVEDO  
DL Project # 01 0418301  
COG LOG # PLT25-0005

ENTRY MONUMENT  
DETAILS  
**SHEET 11 OF 11**

### 3. PROJECT NARRATIVE

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The purpose of this Development Booklet is to establish regulatory provisions and design criteria for the approximate 11.9-acre Seasons at McQueen project to ensure development of the property for the desired single family residential use conforms to the goals and policies of the Chandler General Plan.

#### 3.1 INTRODUCTION:

The approximate 11.9-acre property has used been for agricultural and rural residential uses for a considerable amount of time; however, continued growth and changes to the surrounding land uses patterns have prompted the current ownership to relocate their agrarian uses elsewhere and rejuvenate this property to complement and add value to the neighborhood. All three parcels have recently entered into escrow with the primary goal of enhancing land use compatibility with the surrounding single family neighborhoods, while maintaining high quality neighborhood and housing design expected for the area.

To fulfill this vision and ensure that high quality site, landscape and building design is implemented on the property, the three parcels are currently proceeding through corresponding annexation into the Chandler municipal boundaries.

#### 3.2 GENERAL PLAN CONFORMANCE:

The Chandler General Plan - Future Land Use Plan Map classifies this property as Neighborhoods, which land use category supports a range of residential densities (0 – 18 dwelling units per acre (DU/Ac.)) to support a diverse mix of housing choices; and, nonresidential uses based on criteria specified in the General Plan.

Proposed rezoning of this 11.9-acre property from City of Chandler AG-1 to PAD contains several concepts that respond to the 2016 Chandler General Plan – a Vision Refined. The bullet point list below summarizes conformance with the overall vision; however, this is not meant to be an exhaustive list, rather a summary of several notable features of conformance with the overall vision, guiding principles and core values:

Encourage compatible infill projects by:

- Rezoning the property to PAD to support appropriate single family infill for the underutilized property that serves as both a compatible and transitional land use, as well as creating new opportunities for much needed housing in the City. Although adjacent properties include a mix of land uses types and densities, the residential properties immediately adjacent to the project area consists of residential densities ranging from approximately 0.4 DU/Ac. (west); 2.3 DU/Ac. (north); and, 5.9 DU/Ac. (south). Maintaining compatibility with contiguous land uses and densities, and promoting the vision of the General Plan, a gross residential density of approximately 4.8 DU/Ac. is proposed for this infill parcel { *Community Placemaking Policies - Land Use and Development* }.

Protect the low-density residential character of large lot neighborhoods by:

- Proposing a reasonable level of increased and graduated land use intensity from the existing single family residential use to the north (Las Casitas Del Sur), to the more intense residential densities located south of E. Willis Road. Additionally, an approximately 65-foot wide passive open space area is proposed along the north side of the property, contiguous to the Las Casitas Del Sur neighborhood, to foster desired transitional areas to assist in preservation of, and minimization of impacts to, adjacent larger lot residential lifestyles to the north. {*Community Placemaking Policies - Land Use and Development; Focused Stewardship – Conservation and Environmental Planning Policies*}.

Address mitigation of the urban heat island effect, specifically relating to impacts on residents' health, by:

- Integrating xeriscape concepts and use of drought-tolerant plant materials and those compatible with them through sensible design of the project's landscape and corresponding open space areas; while also methodically including natural turf in specified areas to serve both passive open space needs as well as to minimize heat gain and heat retention within those areas. Additionally, street pavement areas are minimized to only that which is necessary to ensure adequate circulation to meet the City's public safety access requirements. {*Focused Stewardship – Conservation and Environmental Planning Policies*}.

Enhance pedestrian access to parks within and between neighborhoods by:

- Integrating appropriate pedestrian connectivity through use of multiple sidewalks and pathways within the neighborhood, which pedestrian accessways link to the public sidewalk proposed along E. Willis Road. Further, the E. Willis Road sidewalk will provide access to the existing community recreational trail located along the Consolidated Canal, which is located approximately 750-foot east of the project area, thereby enhancing mobility and accessibility for residents {*Strategic Community Building – Connecting People and Places Policies*}.

In summary, the proposed rezoning request responds to the overall vision of the 2016 Chandler General Plan – a Vision Refined by enhancing the built environment through establishing an attractive, sustainable and environmentally responsible neighborhood all while increasing the quality of life for existing and future residents.

### **3.3 ZONING:**

The Chandler General Plan serves as a policy guide for orderly growth, land use, transportation, infrastructure, and open space within the City, while also serving as a basis for the expenditure of municipal funds. Implementation of the General Plan is based on fostering of the overall vision, guiding principles and core values adopted by the community. Zoning of real property is the legal tool frequently used to implement the General Plan vision. While conventional zoning of property is generally reasonable, this type of land use regulation can conversely provide limitations on the ability of a project to creatively foster the vision, principles and values of the community.

To successfully and sustainably facilitate the vision for and increase utilization of the property, the PAD zoning designation is requested to allow reasonable solutions to develop the property while maintaining compatible land use relationships; ensuring appropriate residential density transitioning, and, providing appropriate design guidelines for the property.

Development standards and appropriate design guidelines are outlined in the below sections to provide for enhanced land use compatibility and harmonious community form.

## **4. PRELIMINARY DEVELOPMENT PLAN**

---

An integral part of the corresponding PAD zoning application is the Preliminary Development Plan (PDP) request that demonstrates how the requested zoning will be implemented and if the proposed site development standards are appropriate. The PDP for Seasons at McQueen illustrates a concerted effort by the land entitlement advisor team to provide appropriate land use buffering and superior site and housing design qualities, while enhancing compatibility with adjacent land use characteristics and promoting harmonious community form.

### **4.1 SITE PLAN | PRELIMINARY PLAT:**

The property is proposed to be subdivided for 57 single family residential lots on approximately 11.9-acres, for a gross residential density of 4.77 DU/Ac. Typical lot size is approximately 4,200 square feet (sq. ft.). The site plan has been methodically designed to provide appropriate access throughout the project, which public accessway also serves as an appropriate buffer for the future residents from the City of Chandler Water Treatment Facility. Neighborhood open space has been thoughtfully situated to provide active and passive recreational opportunities within close proximity to all residential lots, as well as a provide passive buffer area to the existing single family residential uses to the north.

The vehicular circulation system includes appropriate access; and, dedication and improvement of the appropriate one-half street public right-of-way width for E. Willis Road.

### **4.2 CIRCULATION | ON-STREET PARKING:**

Street design continues the overall project theme by respecting the land use and circulation characteristics of the area while also providing safe vehicular and pedestrian circulation. Local level public streets are planned to feed vehicular traffic via two separate access points off E. Willis Road, a local level right-of-way. The interior local level streets are designed to loop within the neighborhood for adequate traffic distribution and lot access. Design of the local level roadway cross-section complies with City of Chandler standards by providing for a 35-foot back-of-curb to back-of-curb measurement with 5-foot wide attached sidewalks on both street sides for a total right-of-way width of 50-feet. This City standard street cross-section also ensures appropriate pavement width for maintaining sufficient refuse collection and emergency apparatus access, while also facilitating adequate drainage.

Additional one-half street right-of-way street improvements are also required for E. Willis Road adjacent to the south project boundary, which corresponding street improvements adjacent to the project area will

provide for a minimum pavement width of 35-feet back-of-curb to accommodate two-way traffic, as well as curb, sidewalk and gutter.

Each dwelling unit will provide for a minimum driveway depth of 20-feet thereby sufficiently accommodating two additional off-street parking spaces in front of the two enclosed garage spaces per dwelling unit; however, additional on-street parking spaces have also been designed for, which space quantity far exceeds the City's minimum Parking and Loading requirements for on-street parking.

Streets have been designed to relate to existing topography to produce desirable lots of maximum utility and streets of reasonable gradient, thus facilitating adequate drainage.

### **4.3 OPEN SPACE | LANDSCAPE:**

A high quality yet distinctive design theme is interwoven throughout the entire project area through the consistent use of design styles for entry monumentation and integrated project signage, hardscape features, along with a unified and relatively low water use plant palette.

The proposed neighborhood provides for approximately 3.3-acres or 29% open space (net), which area includes active amenities such as a covered play structures and one-half basketball court, along with passive open space and landscape buffer areas. Passive open space areas will also include Ramadas and separate bench seating, in addition to ample open play areas and pedestrian trails to serve passive needs.

A sense of neighborhood arrival has been thoughtfully accomplished through design of an entry node at the western neighborhood access point off E. Willis Road, which includes architecturally designed entry monumentation and signage, while also integrating metal landscape sculptures and complementary landscape materials. Secondary entry monumentation and signage consisting of complementary forms and textures is also incorporated off eastern neighborhood access – adjacent to the active amenity area.

Curvilinear retention basins are separated into three primary areas, adjacent to the western and eastern project boundaries, to provide for greater visibility into the neighborhood; and, a larger linear greenbelt style retention basin along the north project boundary that also serves as an appropriate buffer for the adjacent neighborhood.

Supplementing turf areas for open play, additional landscape materials for the project are characterized by a relatively arid palette including Acacia, Desert Willow, Wilson's Olive, Chinese Pistache, Seedless Mesquite, Holly Oak, Elm, Yellow Oleander, Chaste Tree and California Fan Palm combined with complementary shrubs and ground cover.

Landscape materials are proposed within the neighborhood parks; along the contiguous E. Willis Road right-of-way and corresponding 15-foot wide landscape tract; within the 10-foot wide landscape tracts where lots side onto the internal streets; and, within the 25-foot wide buffer area adjacent to the Water Treatment Facility. Planting design is further supplemented through the thoughtful placement of materials to create useful shade as well as delineation of space within the open space.

Landscape design and minimum size of materials will meet or exceed provisions set forth in the Chandler Zoning Ordinance.

**4.4 WALLS | FENCES:**

Design of the project theme walls include a combination of durable and integral colored split-face CMU, painted split-face CMU, and integral colored smooth face CMU materials.

Primary theme (perimeter) wall heights are designed at a height of 6-feet, 2-inches; while the complementary theme columns will be approximately 6-feet, 8-inches in height. Secondary (interior) project theme walls are also designed at a height of 6-feet, 2-inches. All lot privacy walls, including side return walls, will be a minimum of 6-feet tall and a maximum of 7-feet tall. In the case of adjacent lots with varying grades, a wall located on the side or rear property line may be up to a height of 8-feet from the lowest finished grade adjacent to the fence to ensure a minimum height of 6-feet is maintained on one side. All measurements are to be taken from the inside of the lot.

On lot privacy walls should be erected prior to the owner of any lot taking possession of a residence and lot.

**4.5 COMMON AREA MAINTENANCE**

A Home Owners’ Association, or similar, will be established for the ownership, maintenance, landscaping, improvements and preservation of all common and open space areas and landscaping within the rights-of-way.

**4.6 LOT DEVELOPMENT STANDARDS:**

The following table identifies the residential lot development standards for Seasons at McQueen. Letter designations in the *Additional Regulations* column refer to regulations that follow the Seasons at McQueen: Lot Development Standards | Setbacks, Building Height, Lot Coverage table.

<b>4.601 – Seasons at McQueen: Lot Development Standards   Setbacks, Building Height, Lot Coverage</b>		
<i>Standards</i>	<i>PAD</i>	<i>Additional Regulations</i>
Maximum Height (ft.)	30	(A)
Minimum Building Setbacks (ft.)		
Front (garage face)	20	(B) (C)
Front (livable areas; porches; side loaded garage)	10	(B) (C)
Side (min.)	5	(C)
Rear	10	(C) (D)
Rear (north perimeter)	20	(C) (D)

<b>4.601 – Seasons at McQueen: Lot Development Standards   Setbacks, Building Height, Lot Coverage</b>		
<i>Standards</i>	<i>PAD</i>	<i>Additional Regulations</i>
Maximum Building Lot Coverage (%): 1-story 2-story	60 55	
Minimum Lot Dimensions (ft.): Width Depth	40 100	

A. *Building Height.*

1. No building shall exceed 30-feet in height at the building setback line, except any building may exceed such height provided that at no point it projects above a line sloping inward and upward at a 45-degree angle at the required setback line to a maximum height of 35-feet.
2. *Building Height* shall be defined as the vertical distance above grade to the highest point of the coping of flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The measurement may be taken from the highest adjoining sidewalk or ground surface within a five-foot horizontal distance of the exterior wall of the building, when such sidewalk or ground surface is not more than ten-feet above grade. The height of a stepped or terraced building is the maximum height of any segment of the building.

B. *Staggering.* Staggering of front yard and rear yard setbacks is not required.

C. *Encroachment into Building Setback.* The following encroachments are permitted into any required building setback area or interior separation area:

1. Gas, electric and other utility meters and equipment.
2. Landscape irrigation valves and control boxes.
3. Side return walls.
4. Mechanical equipment.
5. Balconies, stairs, chimneys, canopies, bay windows, decks and awnings may encroach no more than 2-feet into any required building setback area.
6. Except as prohibited herein, single-story patios can encroach up to 5-feet into the rear setback insofar as a minimum 5-foot rear setback is maintained for the patio.

7. Architectural building elements may encroach no more than 18-inches into any required building setback or interior building separation area.

D. *Rear Setbacks.*

1. Except for lots located wholly or partially within a distance of 100 linear feet from the north project boundary, minimum rear yard setbacks shall be 10-feet for one- and two-story dwelling units.
2. Lots located wholly or partially within a distance of 100 linear feet from the north project boundary, as illustrated herein and generally located contiguous to the north side of E. Beretta Place, shall provide a minimum rear yard setback as follows:
  - a. One-Story: 20-feet;
  - b. Two-story: 20-foot setback for the first-floor portion of a two-story home; and, 48-foot setback for the second-floor portion of a two-story home.

#### **4.7 BUILDING ELEVATIONS | ARCHITECTURAL STYLE:**

Richmond American Homes proposed housing product has been designed to emphasize style, design, quality and livability. As illustrated in the following exhibits, 3 different two-story home designs are proposed ranging in size from approximately 2,100 sq. ft. to over 2,400 sq. ft. Corresponding building elevations for these 3 floor plans provide for varied architectural styles from Spanish, Craftsman and Western Cottage. A minimum of 3 architectural styles are offered for each residential home for a total of over 9 different elevations.

Superior design of these homes offers quality architectural elements that diversify the streetscape, while recessed garage doors assist to de-emphasize the dominance of the garage in the streetscape. Architectural features such as well-defined entryways, four-sided architecture, asymmetrical façade designs, varied rooflines, architecturally integrated covered patios and use of stone veneers complement the appropriate design styles. Faux stone, decorative vents, exposed corbels, lap siding, decorative canales, window shutters, style specific window mullions and style appropriate sand finish stucco window pop-outs and focal window recesses detailing also supplement the desired architectural characters.

In addition to the overall architectural elements provided, the varied architectural styles for Seasons at McQueen provides for a multitude of choices that will further promote architectural diversity for the neighborhood. Identifiable features and characteristics for the various architectural styles are summarized below:

**SPANISH (All Plans - Plan Nos.: P698, P846 & P952):**

- Arched entries;
- Two over two style specific window mullions;
- Gable and hipped roof lines;
- Decorative shutters and window trim pop-outs; and,
- Canals; and 'S' concrete roof tiles.

CRAFTSMAN (All Plans - Plan Nos.: P698, P846 & P952):

- Rustic stone wainscoting;
- Decorative shutters and window trim pop-outs;
- Decorative brackets & lap siding;
- Two over one or three over one style specific window mullions;
- Gable roof lines; and,
- Flat concrete roof tiles.

WESTERN COTTAGE (All Plans - Plan Nos.: P698, P846 & P952):

- Rustic stone wainscoting and stone façade elements;
- Outlookers;
- Two over four style specific window mullions;
- Gable and hipped roof lines; and,
- Flat concrete roof tiles.

These architectural styles also provide for varied building massing, rooflines, proportion and balance, façade articulation, colors and materials to ensure design diversity, while also respecting the architectural character and scale of the surrounding built form.

#### **4.8 COLORS AND MATERIALS:**

Buildings will be primarily finished in stucco with upgraded wall material details consisting of rustic stone veneers and lap siding. Wall materials and textures are designed to terminate in appropriate locations such as inside elevation corners. Style appropriate window details are prevalent on all four building elevations for all architectural styles for all home plans.

Roof materials offered consists of both flat and ‘S’ concrete tiles in a variety of colors that have been selected to complement the desired architectural styles and selected color theme of the home.

A minimum of three different garage door designs are offered for Seasons at McQueen, with the specific door design pre-selected to complement the architectural style of the home. Complementary colors are applied to the doors to further break up building massing and create additional visual interest.

Distinctive color palettes consist of warm earth tones designed to complement architectural styles, as well as maintain consistency with the surrounding built environment. To complement desired architectural diversity, a total of 18 color schemes are proposed. Each color scheme provides at least 6 different color applications: body, trim, fascia, and garage doors, rails/decorative iron work and entry door/shutters.

Color schemes have been pre-selected to complement the selected architectural style with 6 schemes for the Spanish style, 6 schemes for the Craftsman style and 6 schemes for the Western Cottage architectural style.

#### **4.9 CONFORMANCE WITH CHANDLER RESIDENTIAL DEVELOPMENT STANDARDS | PRODUCTION HOME-BUILDING:**

Section II: Production Home-Building of the Chandler Residential Development Standards establishes design criteria for production homes on lots of less than 10,000 sq. ft. Ensuring that high quality design is

provided for the property, at least 8 architectural diversity elements are achieved and at least 6 of the 13 possible points for optional diversity elements are provided, as summarized below:

**ARCHITECTURAL DIVERSITY:**

1. Four-sided architecture is provided throughout all building elevations through the incorporation of style appropriate detailing, massing, and materials on all elevations of the home.
2. Garage faces have been de-emphasized through incorporation of recessed garages, combined with extended front porches and porticos on select elevations.
3. Dwelling entries are well defined and visible from the contiguous street for all floor plans.
4. Rear dwelling elevations are enhanced through incorporation of style appropriate window detailing, massing, and varying rooflines for all building elevations.
5. 18 roof color variations are provided as standard features and have been pre-selected to complement the architectural style and corresponding color scheme. Two primary design styles of concrete roof tiles are provided such as 'S' tiles and flat tiles.
6. Reflecting the high quality craftsmanship of the homes, exterior building materials consist of stucco and stone veneers to provide for the desired durability. All concrete tile roofing is supported by a 30-year manufacturer warranty.
7. All homes include single story elements on the rear elevations, as well as varying roofline ridge orientations to break up the undesirable "box-on-box" effect.
8. Architecturally integrated covered patios are standard features for all floor plans.

**ARCHITECTURAL DIVERSITY ELEMENTS | OPTIONAL:**

1. A minimum of three distinctly different architectural styles are provided for every floor plan to support the desired streetscape diversity.
2. No identical plan/elevation and/or color scheme will be allowed adjacent to or across the street from one another.
3. Stone is offered on at least two elevations for each floor plan as a standard feature.
4. Home elevations offer distinctive architectural detailing such as, but not limited to, covered front entries, varied rooflines, architecturally integrated covered patios, recessed window planes at appropriate locations, and use of stone veneers. Wrought iron, faux stone, window shutters, and style appropriate window pop-out detailing also supplement the desired architectural styles.
5. Covered front porches or entryways are offered as a standard feature on all elevations for each floor plan.

6. Concrete pavers are offered as a standard feature for the walkway, driveway, covered entry or covered porch surfaces.

## **5. CONCLUSION:**

The requested PAD zoning, Preliminary Development Plan, and Preliminary Subdivision Plat will enhance the built environment, create an attractive community, and increase the quality of life for existing and future residents, all while maintaining compatible community form and consistency with the overall vision, guiding principles and core values of the Chandler General Plan.

We look forward to working with the City of Chandler to realize this effort.

## **APPENDIX**

---

### **PDP EXHIBITS:**

Seasons at McQueen | Streetscape exhibit  
Plan P698 - Cottonwood: Building Elevations | Floor Plan | Roof Plan exhibits  
Plan P846 - Laurel: Building Elevations | Floor Plan | Roof Plan exhibits  
Plan P952 - Lynwood: Building Elevations | Floor Plan | Roof Plan exhibits  
Building Paint Color Schemes - Materials exhibits  
Garage Door Design exhibit  
Paver Colors – Details exhibit  
Coach Light exhibit  
Design Details – Shutters exhibit  
Conceptual Site Plan exhibit  
Conceptual Landscape Plan exhibit  
Conceptual Open Space exhibit  
Conceptual Amenity Plan exhibit  
Conceptual Pocket Park exhibit  
Conceptual Circulation Plan exhibit  
Conceptual Parking Plan exhibit  
Wall Plan exhibit  
Conceptual Wall Details exhibit  
Conceptual Monumentation exhibit



FOR ILLUSTRATION PURPOSES ONLY.  
WE RESERVE THE RIGHT TO CHANGE PLANS AND ELEVATIONS SELECTED.

# SEASONS ON MCQUEEN - STREETScape

P698\_COTTONWOOD  
A\_SPANISH COLONIAL

P846\_LAUREL  
B\_CRAFTSMAN

P952\_LYNWOOD  
C\_WESTERN COTTAGE



# COTTONWOOD @ SEASONS ON MCQUEEN

FRONT



SPANISH COLONIAL



CRAFTSMAN

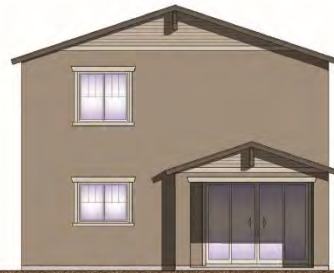


WESTERN COTTAGE

REAR



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

LEFT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

RIGHT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE



SEASONS AT MCQUEEN | PLAN P698 | 'SPANISH' BUILDING ELEVATIONS | 2,267 SQ. FT.



NOTE:  
ROOFING MATERIAL TO BE BONSAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENER TO BE WESTERN H-KOTE  
LAPRO EVALUATION REPORT US-382 &  
INSTALLED PER MFR. SPECIFICATIONS



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Date: 09/25/2025

Revisions:


Seasons on McQueen (CHANDLER)

Plan Number:

**P698**

Plan Name:

COTTONWOOD

Sheet Title:

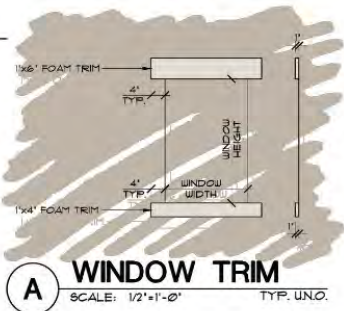
ELEVATION A

Sheet Number:

**A2.1**

**a**

**1 FRONT ELEVATION A**  
SCALE: 1/4"=1'-0"



**2 LEFT ELEVATION A**  
SCALE: 1/4"=1'-0"



**3 REAR ELEVATION A**  
 SCALE: 1/4"=1'-0" RE: 1/A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



**4 RIGHT ELEVATION A**  
 SCALE: 1/4"=1'-0" RE: 1/A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



**RICHMOND**  
 AMERICAN HOMES

PHOENIX  
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 Scottsdale, AZ 85254 (602) 956-4100

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Seasons on McQueen (CHANDLER)

Plan Number:  
**P698**

Plan Name:  
 COTTONWOOD

Sheet Title:  
 ELEVATION A

Sheet Number:  
**A2.1**  
 b

SEASONS AT MCQUEEN | PLAN P698 | 'CRAFTSMAN' BUILDING ELEVATIONS | 2,267 SQ. FT.

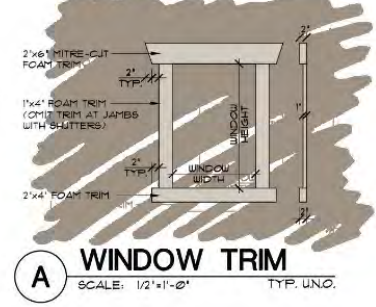


**1 FRONT ELEVATION B**  
SCALE: 1/4"=1'-0"

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1647 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
IAPMO EVALUATION REPORT LES 382 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STONE VENEER TO BE ENVIRONMENTAL  
STONE WORKS MANUFACTURED STONE  
VENEER IAPMO EVALUATION REPORT  
LES-386, MORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STUCCO SYSTEM & INSTALLED PER  
MFR. SPECIFICATIONS



**A WINDOW TRIM**  
SCALE: 1/2"=1'-0" TYP. UNO.



**2 LEFT ELEVATION B**  
SCALE: 1/4"=1'-0"



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Plan Number:  
**P698**

Plan Name:  
COTTONWOOD

Sheet Title:  
**ELEVATION B**

Sheet Number:  
**A2.2**  
a



**3 REAR ELEVATION B**  
 SCALE: 1/4"=1'-0" RE: 1/A2.2 FOR ADDITIONAL NOTES & DIMENSIONS



**4 RIGHT ELEVATION B**  
 SCALE: 1/4"=1'-0" RE: 1/A2.2 FOR ADDITIONAL NOTES & DIMENSIONS



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Seasons on McQueen (CHANDLER)

Plan Number:  
**P698**

Plan Name:  
 COTTONWOOD

Sheet Title:  
 ELEVATION B

Sheet Number:  
**A2.2**  
 b

SEASONS AT MCQUEEN | PLAN P698 | 'WESTERN COTTAGE' BUILDING ELEVATIONS | 2,267 SQ. FT.

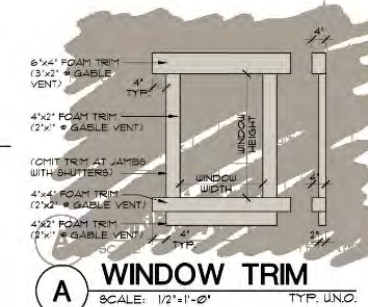


**1 FRONT ELEVATION C**  
SCALE: 1/4"=1'-0"

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN ILCOTE  
IAPMO EVALUATION REPORT UES 382 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STONE VENEER TO BE ENVIRONMENTAL  
STONE WORKS MANUFACTURED STONE  
VENEER IAPMO EVALUATION REPORT  
UES-386. MORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STRUCTURE & INSTALLED PER  
MFR. SPECIFICATIONS



**A WINDOW TRIM**  
SCALE: 1/2"=1'-0" TYP. UNO.



**2 LEFT ELEVATION C**  
SCALE: 1/4"=1'-0"



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McQueen  
(CHANDLER)

Plan Number:

**P698**

Plan Name:

COTTONWOOD

Sheet Title:

ELEVATION C

Sheet Number:

**A2.3**

a



**3 REAR ELEVATION C**  
 SCALE: 1/4"=1'-0" RE: 1/A2.3 FOR ADDITIONAL NOTES & DIMENSIONS



**4 RIGHT ELEVATION C**  
 SCALE: 1/4"=1'-0" RE: 1/A2.3 FOR ADDITIONAL NOTES & DIMENSIONS



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Plan Number:

**P698**

Plan Name:

COTTONWOOD

Sheet Title:

ELEVATION C

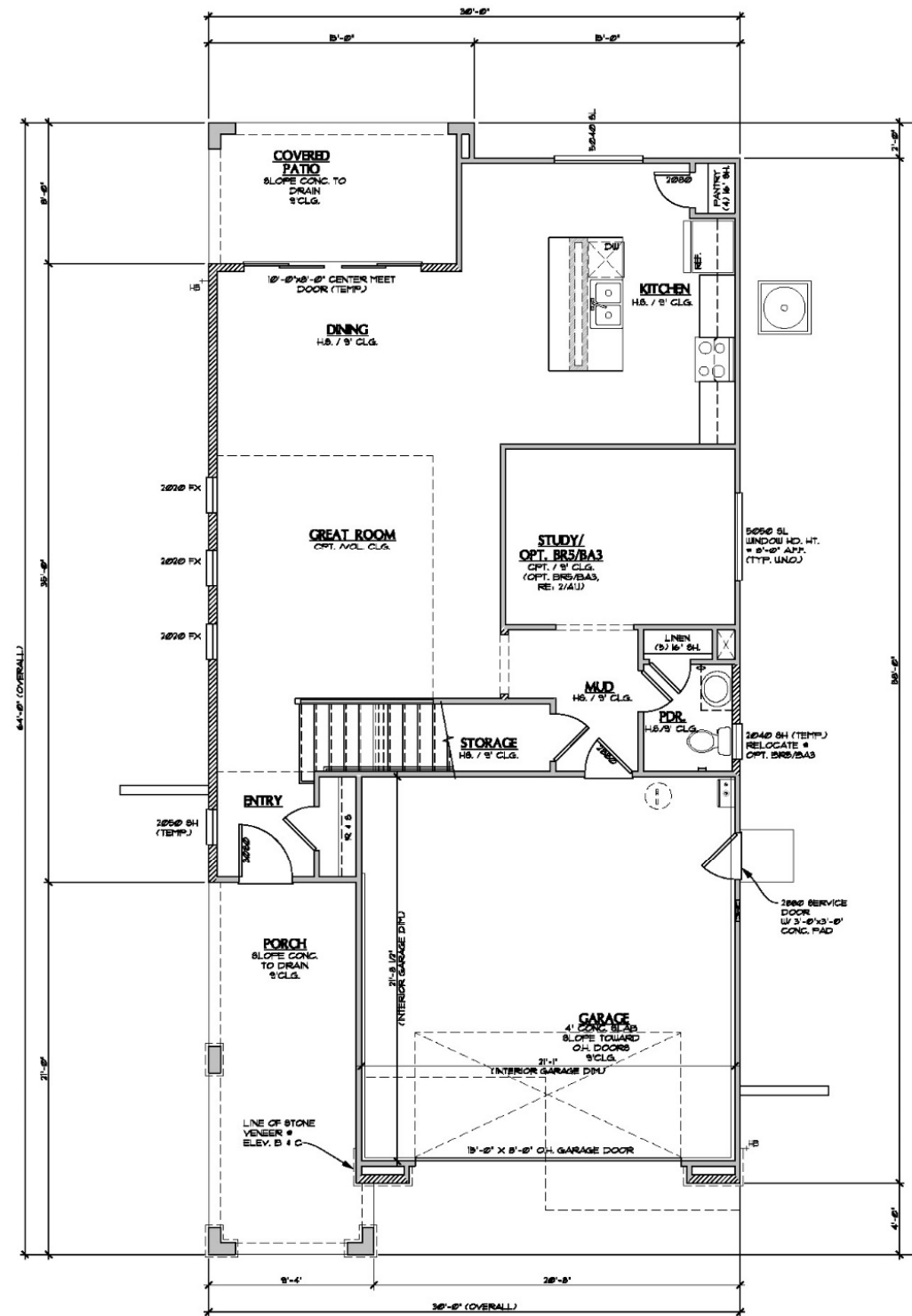
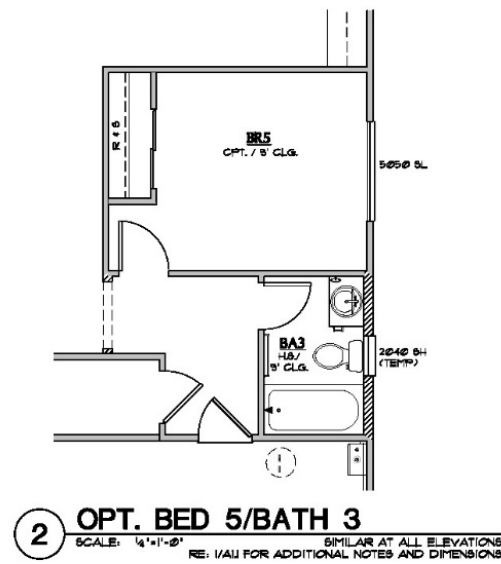
Sheet Number:

**A2.3**

**b**

SEASONS AT McQUEEN | PLAN P698 | FLOOR PLAN | 2,267 SQ. FT.

SQUARE FOOTAGE CALCULATIONS		
	ALL ELEVATIONS	
	STANDARD	OPTIONS
2 CAR GARAGE	475 SQ. FT.	
COVERED ENTRY/ FRONT PORCH	174 SQ. FT.	
COVERED PATIO	114 SQ. FT.	
FIRST FLOOR	1018 SQ. FT.	
SECOND FLOOR	1248 SQ. FT.	
• OPT. LOFT		175 SQ. FT.
• OPT. BR5/BA4		203 SQ. FT.
<b>TOTAL (BASE HOUSE)</b>	<b>2267 SQ. FT.</b>	



**1 FIRST FLOOR PLAN (SIMILAR AT ALL ELEVATIONS)**  
 SCALE: 1/4"=1'-0"

**WALL LEGEND**

- 2x4 WALL
- 2x6 WALL
- LOU WALL

**PLAN NOTES**

1. SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL (R/C VISIT).
2. CEILING GYPSUM BOARD, WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 5/8" TO 1/2" FOR 1/2" O.G. FRAMING AND FROM 1/2" TO 5/8" FOR 2/4" O.G. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (INC. TABLE R1013.3, FOOTNOTE D).
3. GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY W/ ICC ESR-336 (4.6.17) (C95/C104).
4. SHOWER NOTES
  - 41. 4" CURB PER (R/C TYP.)
  - 42. 6" SHATTERPROOF (TYP.) GLASS ENCLOSURE
  - 43. SHOWER COMPARTMENT SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 7" ABOVE FINISHED FLOOR (R/C 3012) (TYP.)
  - 44. CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
5. LAUNDRY NOTES
  - 51. DRYER TO ALWAYS BE ON THE RIGHT, WASHER ON LEFT
  - 52. PROVIDE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR
  - 53. STANDARD 1" SHELF AT 48" ABOVE FINISHED FLOOR (OPT. UTILITY ROOM PACKAGE: UPPER CABINETS, LOWER CABINETS & LAUNDRY SINK - WHERE OCCURS)
6. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 20 FEET IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
7. REQUIRED DRAIN PAN FOR WATER HEATER. PAN SHALL BE GALVANIZED STEEL HAVING A MIN. THICKNESS OF 24 GAUGE OR OTHER PAN LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/8" INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4" INCH. THE PAN DRAIN SHALL EXTEND FULL-LENGTH AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6" INCHES (180 MM) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE.
8. WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR COMBINATION VALVE SHALL NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM. 1. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE SAME ROOM AS THE WATER HEATER. 2. NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL SIZE TO THE AIR GAP. 3. SERVE A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT. 4. DISCHARGE TO THE FLOOR TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS. 5. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE. 6. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS. 7. NOT BE TRAPPED. 8. BE INSTALLED TO FLOW BY GRAVITY. 9. NOT TERMINATE MORE THAN 6" INCHES ABOVE THE FLOOR OR WASTE RECEPTOR. 10. NOT HAVE A TIRAGED CONNECTION AT THE END OF THE PIPING. 11. NOT HAVE VALVES OR TEE FITTINGS. 12. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. P1004.3 OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH ASPE REGULATORY DESIGN. 13. MINIMUM TREAD DEPTH & 3/4" MAXIMUM RISER HEIGHT.
  - 9. HANDRAIL: CONTINUE FULL LENGTH OF STAIR HANDGRIP PORTION TO BE NOT LESS THAN 1/4" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1 1/4" FROM WALL.
  - 10. FIRST FLOOR WINDOW HEAD HEIGHT = 7'
  - 11. SECOND FLOOR WINDOW HEAD HEIGHT = 7' 4"
  - 12. MAXIMUM RILL HEIGHT AT EXPRESS WINDOWS

**RICHMOND AMERICAN HOMES**

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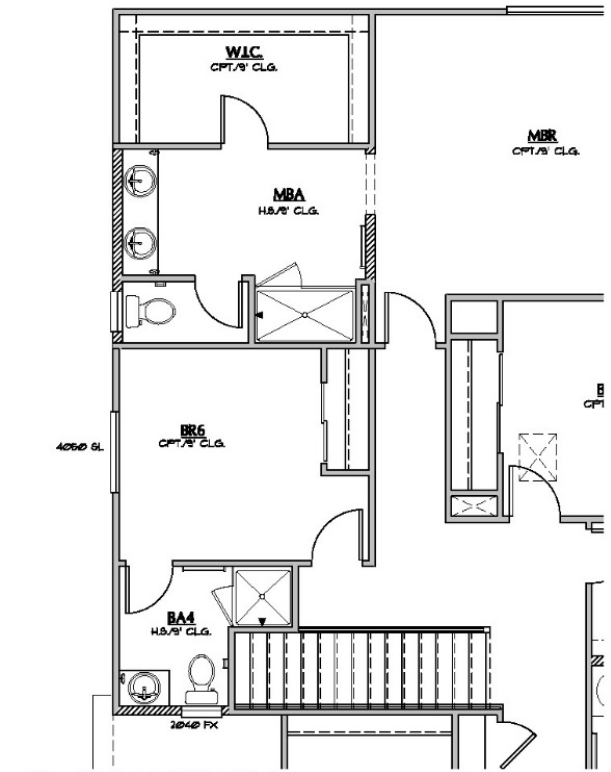
Plan Number: **P698**

Plan Name: **COTTONWOOD**

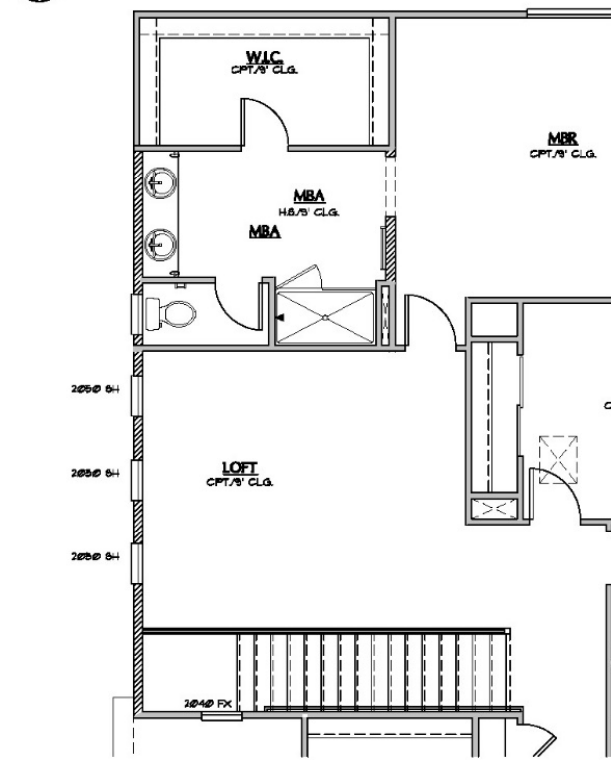
Sheet Title: **FIRST FLOOR PLAN & OPTIONS**

Sheet Number: **A11**

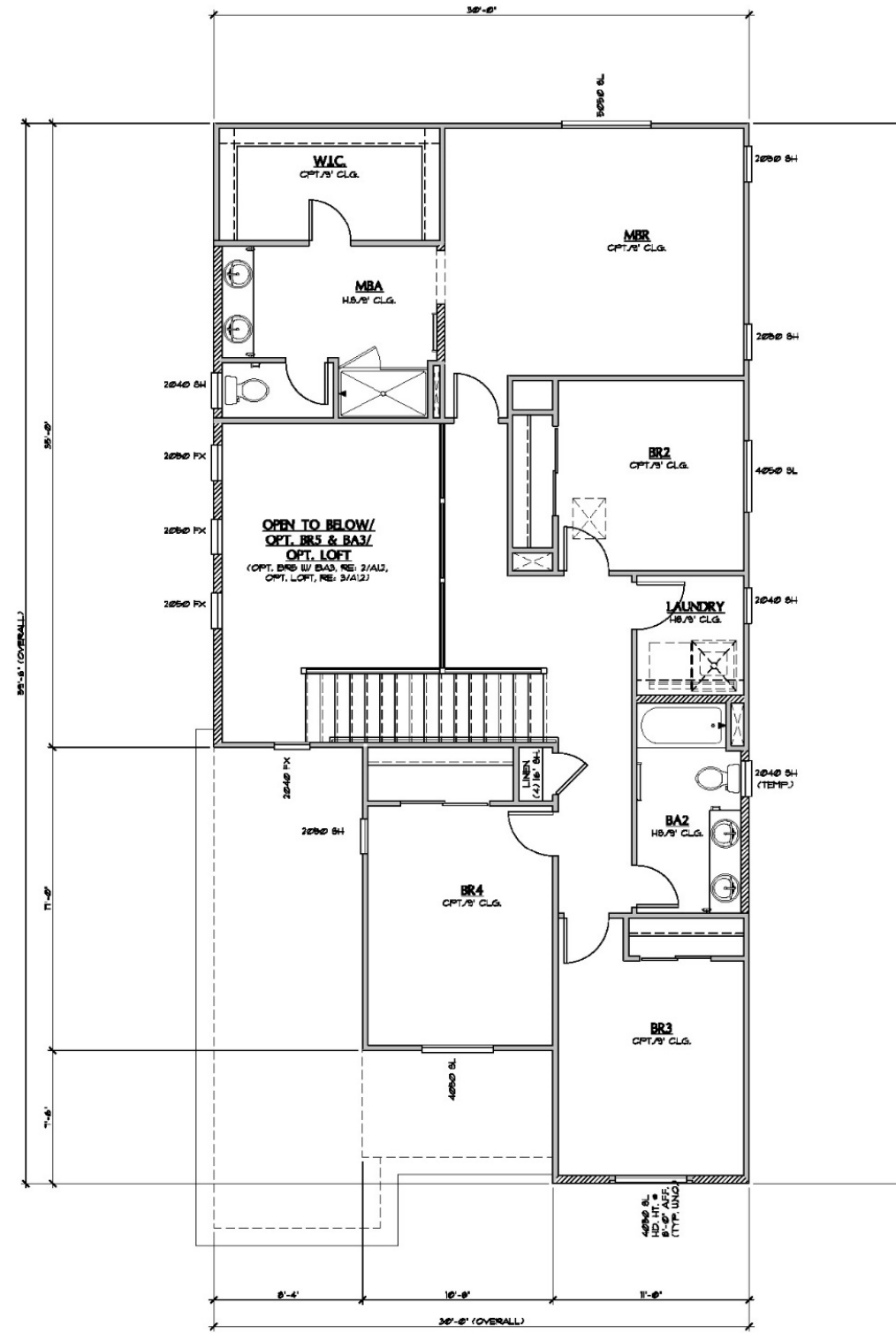
SEASONS AT McQUEEN | PLAN P698 | FLOOR PLAN | 2,267 SQ. FT.



2 OPT. BR6/BA4  
SCALE: 1/4"=1'-0"



3 OPT. LOFT  
SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN (SIMILAR @ ALL ELEVATIONS)  
SCALE: 1/4"=1'-0"

WALL LEGEND	
[Symbol]	2x4 WALL
[Symbol]	2x6 WALL
[Symbol]	LOW WALL
[Symbol]	1. FIRST FLOOR: HD. HT. AT -18" FROM TOP PLATE (TYP. UNO.)
[Symbol]	2. SECOND FLOOR: HD. HT. AT -18" FROM TOP PLATE (TYP. UNO.)

PLAN NOTES	
1.	A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT THE TIME OF FINAL (IRC N1024).
2.	CEILING GYPSUM BOARD: WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 16" O.C. FRAMING, AND FROM 1/2" TO 5/8" FOR 24" O.C. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (IRC TABLE R702.3.5, FOOTNOTE D).
3.	GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY W/ ICC ESR-1338 + ASTM C1293/C1293M
4.	SHOWER NOTES: 4.1. 4" CURB PER IRC 7109.1 4.2. SHATTERPROOF (TEMP.) GLASS ENCLOSURE 4.3. SHOWER COMPARTMENT SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 12" ABOVE FINISHED FLOOR (IRC M712) (TYP.) 4.4. CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB + SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
5.	LAUNDRY NOTES: 5.1. DRYER TO ALWAYS BE ON THE RIGHT, WASHER ON LEFT 5.2. PROVIDE A MINIMUM OPENING OF 180 SQ. IN FOR MAKE AIR 5.3. STANDARD 2" SHELF AT 60" ABOVE FINISHED FLOOR (OPT. UTILITY ROOM PACKAGE: UPPER CABINETS, LOWER CABINETS + LAUNDRY SINK - WHERE OCCURS) 5.4. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 25 FEET IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
6.	REQUIRED DRAIN PAN FOR WATER HEATER: PAN SHALL BE GALVANIZED STEEL HAVING A MIN. THICKNESS OF 34 GAUGE OR OTHER PANS LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/2" INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4" INCH. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6" INCHES (B2 100) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE.
7.	WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR COMBINATION VALVE SHALL: 1. NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM; 2. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE SAME ROOM AS THE WATER HEATER; 3. NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL SIZE TO THE AIR GAP; 4. SERVE A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT; 5. DISCHARGE TO THE FLOOR TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS; 6. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE; 7. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS; 8. NOT BE TRAPPED; 9. BE INSTALLED TO FLOW BY GRAVITY; 10. NOT TERMINATE MORE THAN 6" INCHES ABOVE THE FLOOR OR WASTE RECEPTOR; 11. NOT HAVE A THREADED CONNECTION AT THE END OF THE PIPING; 12. NOT HAVE VALVES OR TEE FITTINGS; 13. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. F0803.0 OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH ASPE AND ASHRAE DESIGN; 14. MINIMUM TREAD DEPTH + DESIGN; 15. MINIMUM RISER HEIGHT.
8.	HANDRAIL: CONTINUE FULL LENGTH OF STAIR HANDRAIL PORTION TO BE NOT LESS THAN 1/4" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1/4" FROM WALL.
9.	FIRST FLOOR WINDOW HEAD HEIGHT = 8'
10.	SECOND FLOOR WINDOW HEAD HEIGHT = 7'
11.	4" MAXIMUM GILL HEIGHT AT SECOND WINDOW



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Date: 09/05/2025  
Revisions:

Seasons on McQueen (CHANDLER)

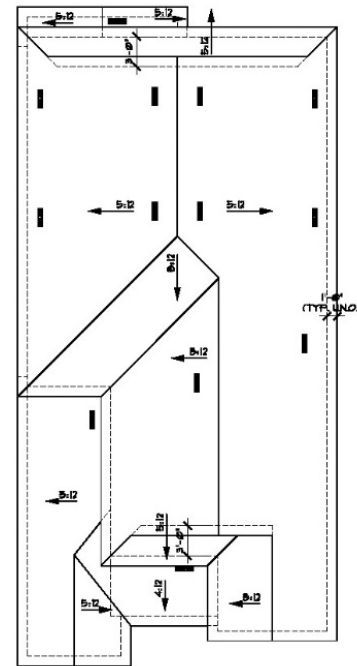
Plan Number: P698

Plan Name: COTTONWOOD

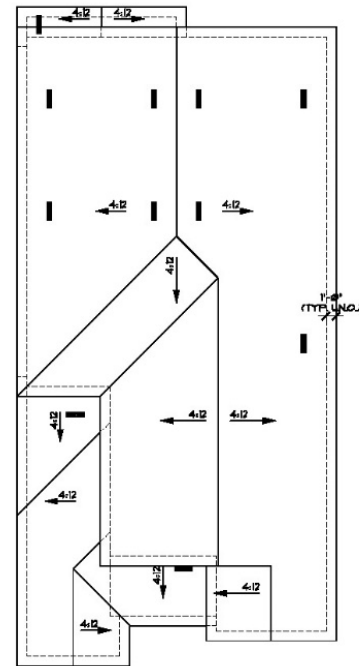
Sheet Title: SECOND FLOOR PLAN & OPTIONS

Sheet Number: A1.2

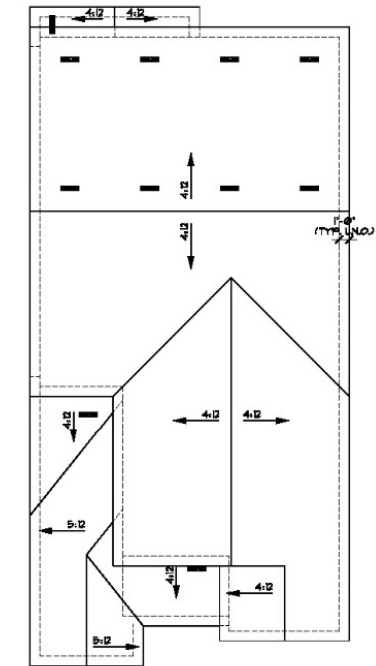
SEASONS AT MCQUEEN | PLAN P698 | ROOF PLAN | 2,267 SQ. FT.



3 ROOF PLAN @ ELEVATION C  
SCALE: 1/8"=1'-0"



2 ROOF PLAN @ ELEVATION B  
SCALE: 1/8"=1'-0"



1 ROOF PLAN @ ELEVATION A  
SCALE: 1/8"=1'-0"

ATTIC VENTILATION CALCULATION	
CALCULATIONS SIMILAR FOR ALL ELEVATIONS.	
<b>CALCULATION USING 1/300 METHOD</b>	
50%-80% OF THE REQUIRED VENTILATION MUST BE WITHIN THE UPPER ROOF PORTION A MINIMUM OF 3' ABOVE THE EAVE/SOFFIT. TO ALLOW A 1/300 CALCULATION THE REMAINDER OF THE REQUIRED VENTILATION SHOULD BE PROVIDED IN THE EAVE/SOFFIT.	
VENT INFORMATION	
TYPE:	NET FREE VENT. AREA:
LOW PROFILE	918 SQUARE INCHES
CONC. FLAT:	98.75 SQUARE INCHES
NOTE: LOCATION OF VENTS SHOWN ON ROOF PLANS FOR REFERENCE ONLY, FIELD VERIFY.	
MAIN ROOF ELY. A, B & C	
ROOF AREA:	1,473 SQ. FT.
	X 1.44
	2,121.12 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED AFTER 1/300 REDUCTION:	710 SQ. IN.
TOTAL NUMBER OF HIGH VENTS PROVIDED:	4 VENTS
TOTAL NUMBER OF LOW VENTS PROVIDED:	4 VENTS
PORCH	
ROOF AREA:	100 SQ. FT.
	X 1.44
	1,440 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED AFTER 1/300 REDUCTION:	96 SQ. IN.
NUMBER OF VENTS PROVIDED:	1 VENT(S)
GARAGE ROOF	
ROOF AREA:	64 SQ. FT.
	X 1.44
	921.6 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED AFTER 1/300 REDUCTION:	61 SQ. IN.
NUMBER OF VENTS PROVIDED:	1 VENT(S)

ROOF PLAN LEGEND	
	GUTTERS
	DOWNSPOUTS



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Date: 09/05/2025

Revisions:


Seasons on McQueen (CHANDLER)

Plan Number:  
**P698**

Plan Name:  
**COTTONWOOD**

Sheet Title:  
**ROOF PLANS**

Sheet Number:  
**A4.1**  
a

# LAUREL @ SEASONS ON MCQUEEN

FRONT



SPANISH COLONIAL



CRAFTSMAN

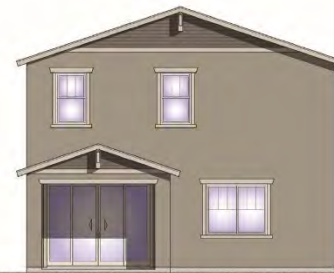


WESTERN COTTAGE

REAR



SPANISH COLONIAL

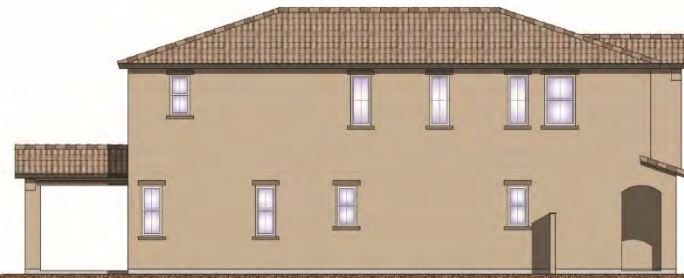


CRAFTSMAN

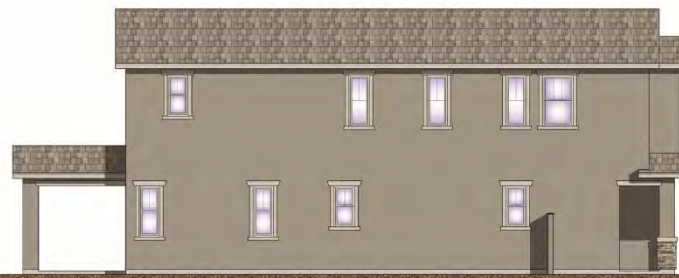


WESTERN COTTAGE

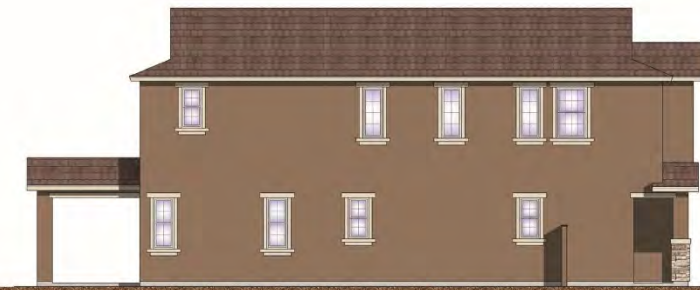
LEFT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

RIGHT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE



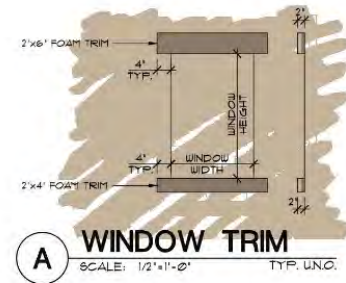
SEASONS AT MCQUEEN | PLAN P846 | 'SPANISH' BUILDING ELEVATIONS | 2,413 SQ. FT.



3 LEFT ELEVATION A  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION A  
SCALE: 1/4" = 1'-0"



A WINDOW TRIM  
SCALE: 1/2" = 1'-0" TYP. UNO.

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 4  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
IAPMO EVALUATION REPORT UES 382 4  
INSTALLED PER MFR. SPECIFICATIONS

**RICHMOND**  
AMERICAN HOMES

PHOENIX  
16427 North  
Scottsdale, AZ 85254 (602) 956-4100

Scottsdale Road, Suite 175  
Scottsdale, AZ 85254 (602) 956-4100

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Date: 3/17/2025

Revisions:


Seasons on McQueen (CHANDLER)

Plan Number:  
**P846**

Plan Name:  
**LAUREL**

Sheet Title:  
**ELEVATION A**

Sheet Number:  
**A2.1**

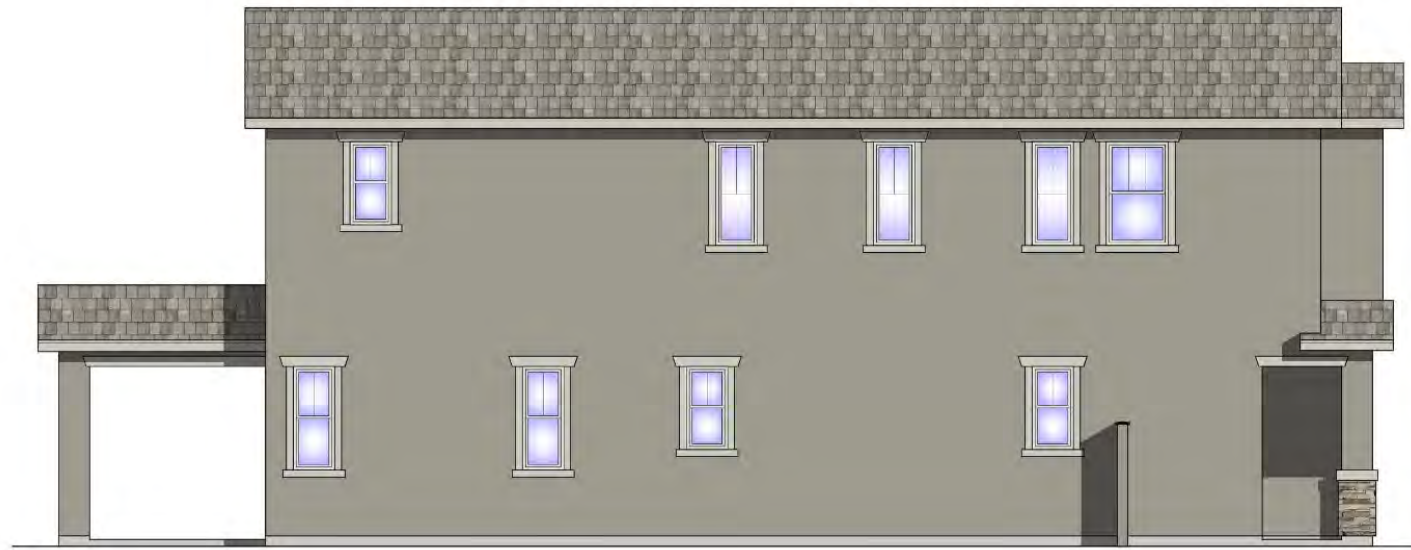


4 RIGHT ELEVATION A  
SCALE: 1/4" = 1'-0" RE: 1/A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



2 REAR ELEVATION A  
SCALE: 1/4" = 1'-0" RE: 1/A2.1 FOR ADDITIONAL NOTES & DIMENSIONS

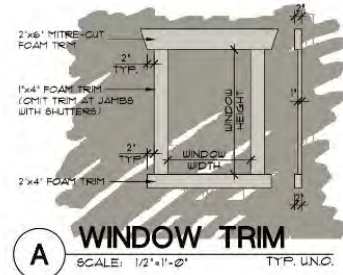
SEASONS AT MCQUEEN | PLAN P846 | 'CRAFTSMAN' BUILDING ELEVATIONS | 2,413 SQ. FT.



3 LEFT ELEVATION B  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION B  
SCALE: 1/4" = 1'-0"



- NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR SPECIFICATIONS
- NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
LAWRO EVALUATION REPORT UES 380 &  
INSTALLED PER MFR SPECIFICATIONS
- NOTE:  
STONE VENEER TO BE WESTLAKE  
MANUFACTURED STONE VENEER  
ICC-ES EVALUATION REPORT  
ESR-1564, MORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STUCCO SYSTEM & INSTALLED PER  
MFR SPECIFICATIONS

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Date: 3/17/2025

Revisions:


Seasons on  
McQueen  
(CHANDLER)

Plan Number:  
**P846**

Plan Name:  
**LAUREL**

Sheet Title:  
**ELEVATION B**

Sheet Number:  
**A2.2**



4 RIGHT ELEVATION B  
SCALE: 1/4" = 1'-0" RE: 1/A2.2 FOR ADDITIONAL NOTES & DIMENSIONS



2 REAR ELEVATION B  
SCALE: 1/4" = 1'-0" RE: 1/A2.2 FOR ADDITIONAL NOTES & DIMENSIONS

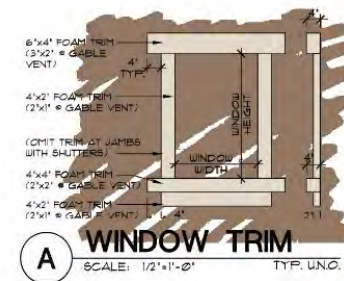
SEASONS AT McQUEEN | PLAN P846 | 'WESTERN COTTAGE' BUILDING ELEVATIONS | 2,413 SQ. FT.



3 LEFT ELEVATION C  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION C  
SCALE: 1/4" = 1'-0"



A WINDOW TRIM  
SCALE: 1/2" = 1'-0" TYP. UNO.

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
LARRIO EVALUATION REPORT UES 380 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STONE VENEER TO BE WESTLAKE  
MANUFACTURED STONE VENEER  
ICC-ES EVALUATION REPORT  
ESR-1564, MORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STUCCO SYSTEM & INSTALLED PER  
MFR. SPECIFICATIONS

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Date: 3/17/2025

Revisions:

Seasons on  
McQueen  
(CHANDLER)

Plan Number:

**P846**

Plan Name:

LAUREL

Sheet Title:

ELEVATION C

Sheet Number:

**A2.3**

a



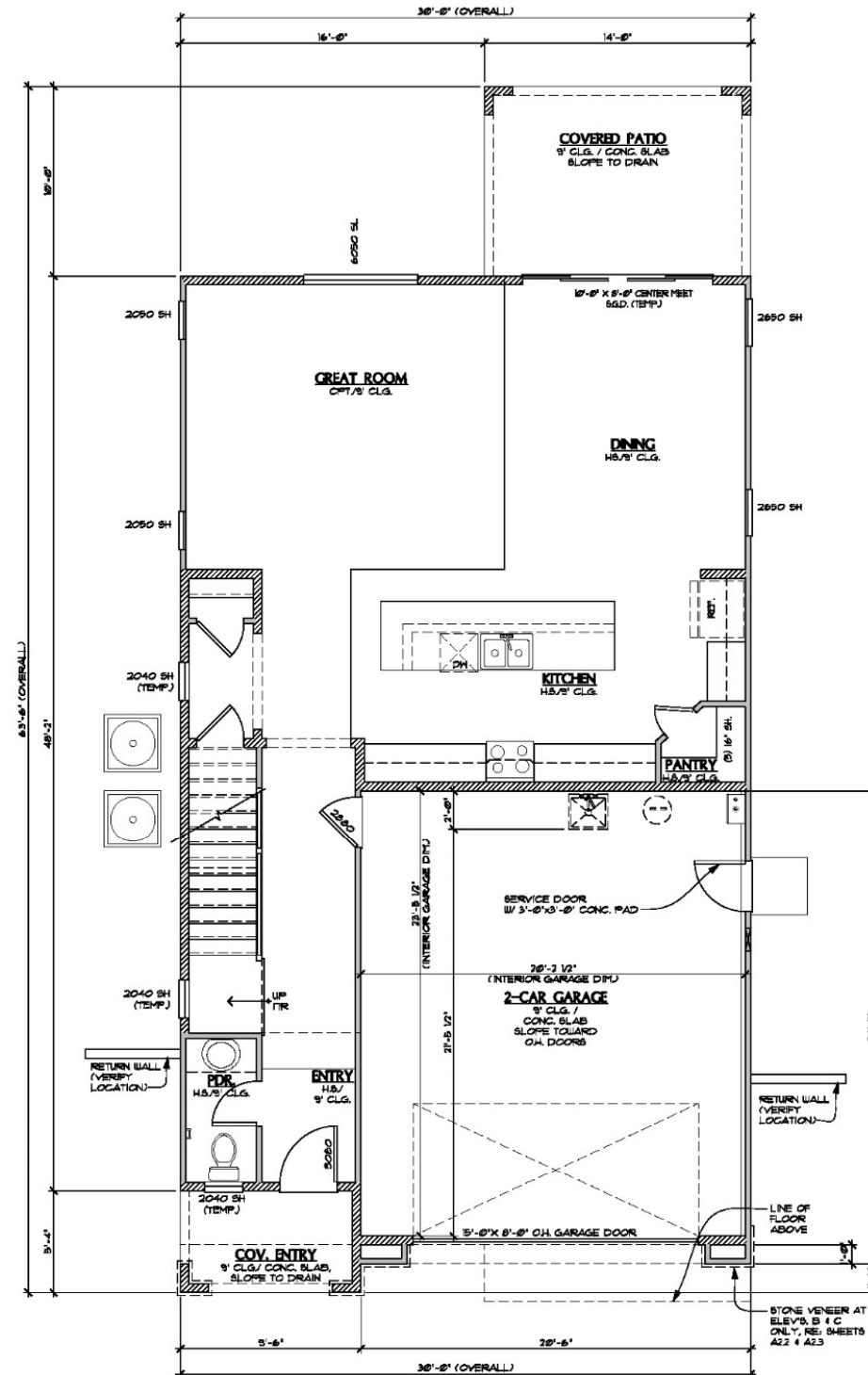
4 RIGHT ELEVATION C  
SCALE: 1/4" = 1'-0" RE: 1/A2.3 FOR ADDITIONAL NOTES & DIMENSIONS



2 REAR ELEVATION C  
SCALE: 1/4" = 1'-0" RE: 1/A2.3 FOR ADDITIONAL NOTES & DIMENSIONS

SEASONS AT McQUEEN | PLAN P846 | FLOOR PLAN | 2,413 SQ. FT.

SQUARE FOOTAGE CALCULATIONS		
	ALL ELEVATION	
	STANDARD	OPTIONS
2 CAR GARAGE	490 SQ. FT.	
COVERED ENTRY ALL ELEV'S.	51 SQ. FT.	
COVERED PATIO		146 SQ. FT.
FIRST FLOOR	1213 SQ. FT.	
SECOND FLOOR	1420 SQ. FT.	
TOTAL (BASE HOUSE)	2413 SQ. FT.	



1 FIRST FLOOR PLAN @ ELEVATION A (SIM. AT ELV'S. B & C)  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

- 2x4 WALL
- 2x6 WALL
- L.O.U. WALL
- 1. FIRST FLOOR HD. HT. AT -10' FROM TOP PLATE (TYP. UNO.)

**PLAN NOTES**

1. A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL (RC VISIT).
2. CEILING GYPSUM BOARD, WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 6" O.C. FRAMING AND FROM 1/2" TO 5/8" FOR 24" O.C. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (SEE TABLE R102.3, FOOTNOTE D).
3. GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY W/ ICC ESR-838 & WITH CS96/CS96M.
4. SHOWER NOTES
  - 4.1. 4" CURBS PER IRC 2109.1
  - 4.2. WATERPROOF (TYP.) GLASS ENCLOSURE
  - 4.3. SHOWER COMPARTMENT SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 7' ABOVE FINISHED FLOOR (RC 502) (TYP.)
5. CEMENT, PORTLAND CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
6. LAUNDRY NOTES
  - 6.1. DRYER TO ALWAYS BE ON THE RIGHT, WABER ON LEFT
  - 6.2. PROVIDE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR
  - 6.3. STANDARD 1" SHIELD AT 6" ABOVE FINISHED FLOOR (OPT. UTILITY ROOM PACKAGE LIFTS CABINETS, LOWER CABINETS & LAUNDRY BINK - WHERE OCCURS)
  - 6.4. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 25 FEET IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
7. REQUIRED DRAIN PAN FOR WATER HEATER: PAN SHALL BE GALVANIZED STEEL HAVING A MIN. THICKNESS OF 14 GAUGE OR OTHER PANS LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/2 INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4 INCH. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6 INCHES (60 TYP) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE.
8. WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR CORNERATION VALVE SHALL: 1. NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM; 2. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE BAYE ROOF AS THE WATER HEATER; 3. NOT BE 8" TALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL-SIZE TO THE AIR GAP; 4. SERVE A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT; 5. DISCHARGE TO THE FLOOR, TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS; 6. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE; 7. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS; 8. NOT BE TRAPPED; 9. BE INSTALLED TO FLOW BY GRAVITY; 10. NOT TERMINATE MORE THAN 6 INCHES ABOVE THE FLOOR OR WASTE RECEPTOR; 11. NOT HAVE A THREADED CONNECTION AT THE END OF THE PIPING; 12. NOT HAVE VALVES OR THE FITTINGS; 13. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. P2004B OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH AHS REGULATORY DESIGN; 14. MINIMUM TREAD DEPTH 4 1/4" MINIMUM TREAD HEIGHT 1 3/4" MINIMUM TREAD LENGTH OF STAIR HANDGRIP PORTION TO BE NOT LESS THAN 14" OR MORE THAN 2" IN CROSS SECTION; HANDRAIL TO BE NOT LESS THAN 1 1/2" FROM WALL.
10. FIRST FLOOR WINDOW HEAD HEIGHT = 8' SECOND FLOOR WINDOW HEAD HEIGHT = 7' 4" MAXIMUM WELL HEIGHT AT EXPRESS WINDOWS

**RICHMOND AMERICAN HOMES**

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Scottsdale, AZ 85254 (602) 956-4100

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Date: 3/11/2025

Revisions:

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Seasons on  
McQueen  
(CHANDLER)

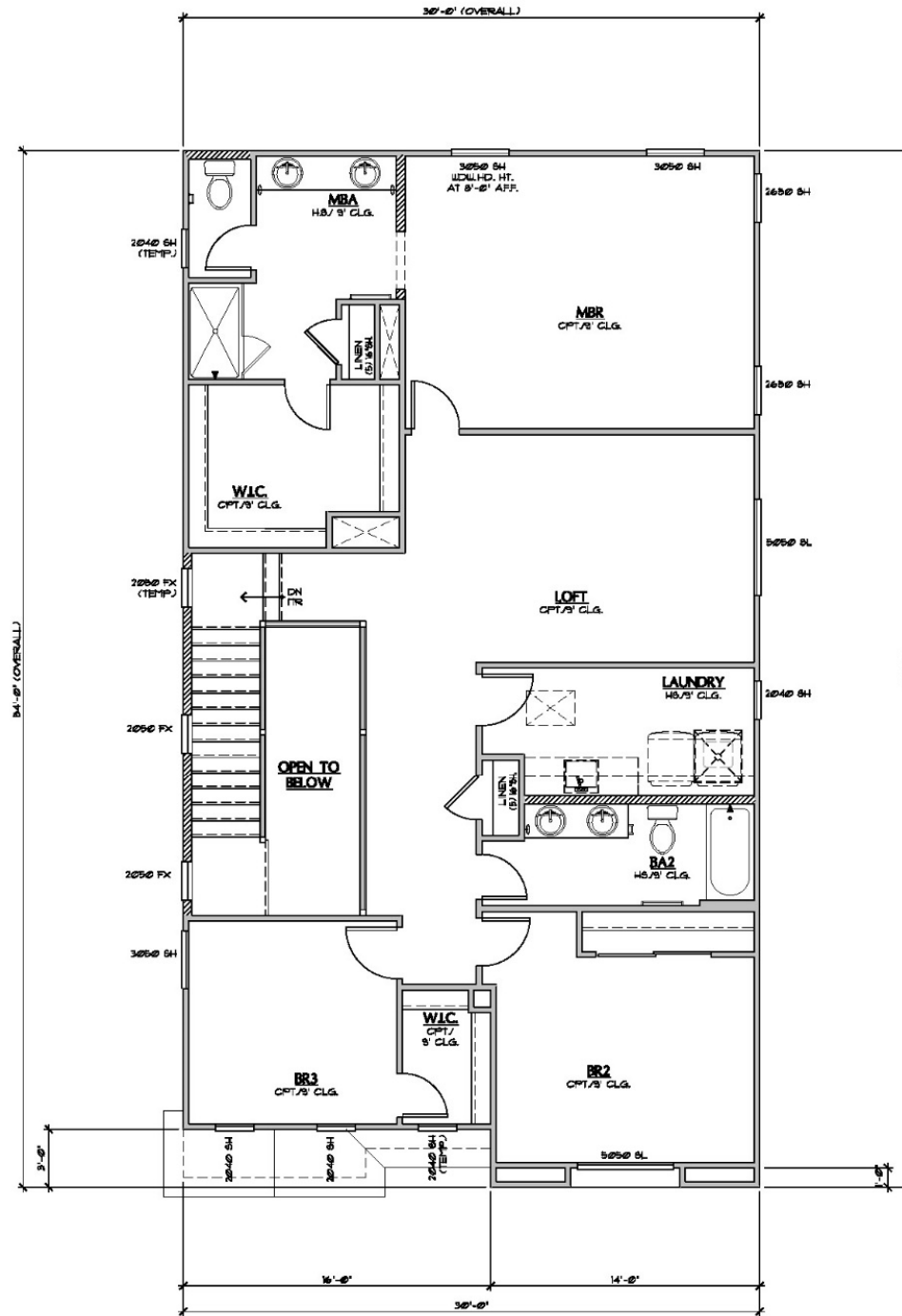
Plan Number:  
**P846**

Plan Name:  
**LAUREL**

Sheet Title:  
**FIRST FLOOR PLAN**

Sheet Number:  
**A1.1**

SEASONS AT McQUEEN | PLAN P846 | FLOOR PLAN | 2,413 SQ. FT.



1 SECOND FLOOR PLAN @ ELEVATION A (SIM. AT ELV'S. B & C)  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

- 2x4 WALL
- 2x6 WALL
- LOW WALL

**PLAN NOTES**

- A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL (RC NISSA).
- CEILING GYPSUM BOARD: WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 6" O.C. FRAMING AND FROM 1/2" TO 5/8" FOR 24" O.C. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (RC TABLE R102.3), FOOTNOTE D1.
- GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY W/ ICC ESR-1358 1/2" 5/8" CD36/CD36M1.
- SHOWER NOTES
  - 4" CURBS PER IRC 2109.1
  - WATERPROOF (TYP) GLASS ENCLOSURE
  - SHOWER COMPARTMENT SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 7" ABOVE FINISHED FLOOR (RC 507.2) (TYP)
- CEMENT, PORTLAND CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
- LAUNDRY NOTES
  - DRYER TO ALWAYS BE ON THE RIGHT, WASHER ON LEFT
  - PROVIDE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR
  - STANDARD 1" SHELVE AT 6" ABOVE FINISHED FLOOR (OPT. UTILITY ROOM PACKAGE, UPFR. CABINETS, LOWER CABINETS & LAUNDRY BNC - WHERE OCCURS)
  - THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 25 FEET IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
- REQUIRED DRAIN PAN FOR WATER HEATER: PAN SHALL BE GALVANIZED STEEL HAVING A MIN. THICKNESS OF 14 GAUGE OR OTHER PANS LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/2" INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4" INCH. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6" INCHES (MIN) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE.
- WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR CORROSION VALVE SHALL: 1. NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM; 2. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE BAYE ROOFTOP AS THE WATER HEATER; 3. NOT BE 8" TALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL SIZE TO THE AIR GAP; 4. SERVE A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT; 5. DISCHARGE TO THE FLOOR, TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS; 6. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE; 7. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS; 8. NOT BE TRAPPED; 9. BE INSTALLED TO FLOW BY GRAVITY; 10. NOT TERMINATE MORE THAN 6" ABOVE THE FLOOR OR WASTE RECEPTOR; 11. NOT HAVE A THREADED CONNECTION AT THE END OF THE PIPING; 12. NOT HAVE VALVES OR THE FITTINGS; 13. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. P2904.09 OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH AMPS REGULATORY DESIGN; 14" MINIMUM TREAD DEPTH 4 1-3/4" MAXIMUM RIBER HEIGHT
- HANDRAIL: CONTINUE FULL LENGTH OF STAIR HANDGRIP PORTION TO BE NOT LESS THAN 14" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1 1/2" FROM WALL.
- FIRST FLOOR WINDOW HEAD HEIGHT = 8' SECOND FLOOR WINDOW HEAD HEIGHT = 7' 4" MAXIMUM SILL HEIGHT AT EXPOSED WINDOWS

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Date: 3/11/2025

Revisions:

Seasons on McQueen (CHANDLER)

Plan Number: P846

Plan Name: LAUREL

Sheet Title: SECOND FLOOR PLAN

Sheet Number: A1.2



# LYNWOOD @ SEASONS ON MCQUEEN

FRONT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

REAR



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

LEFT



SPANISH COLONIAL



CRAFTSMAN



WESTERN COTTAGE

RIGHT



SPANISH COLONIAL



CRAFTSMAN



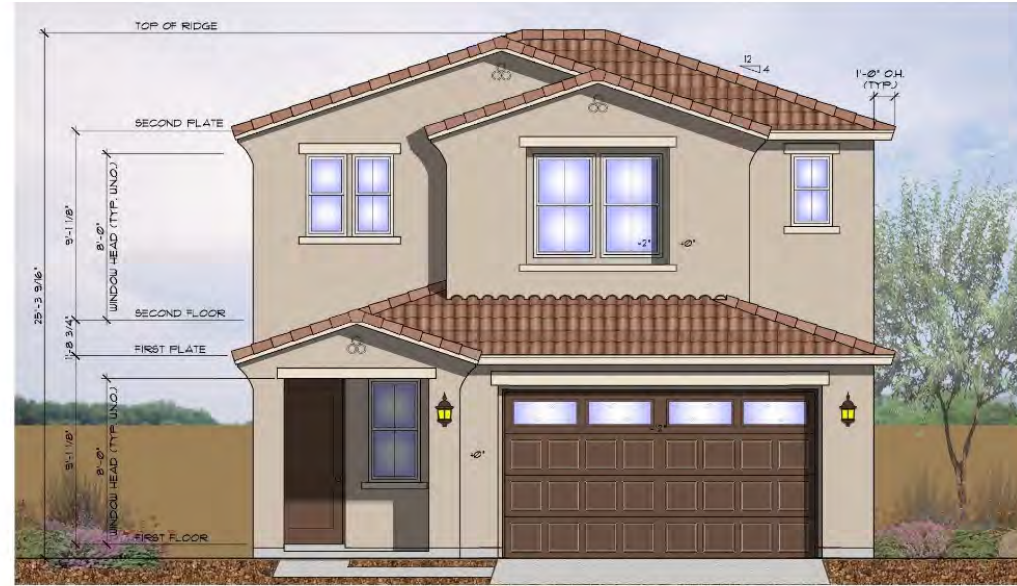
WESTERN COTTAGE



SEASONS AT MCQUEEN | PLAN P952 | 'SPANISH' BUILDING ELEVATIONS | 2,115 SQ. FT.



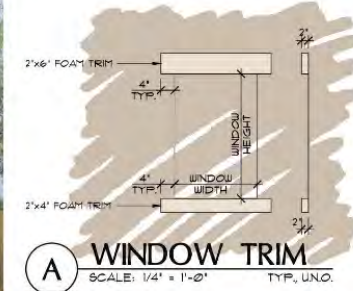
2 REAR ELEVATION A  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION A  
SCALE: 1/4" = 1'-0"

NOTE:  
ROOFING MATERIAL TO BE BORA-  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
IAPMO EVALUATION REPORT UES 382 &  
INSTALLED PER MFR. SPECIFICATIONS



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Date: 3/17/2025

Revisions:

Seasons on  
McQueen  
(CHANDLER)

Plan Number:

**P952**

Plan Name:

LYNWOOD

Sheet Title:

ELEVATION A

Sheet Number:

**A2.1**

a



4 RIGHT ELEVATION A  
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION A  
SCALE: 1/4" = 1'-0"

SEASONS AT MCQUEEN | PLAN P952 | 'CRAFTSMAN' BUILDING ELEVATIONS | 2,115 SQ. FT.



2 REAR ELEVATION B  
SCALE: 1/4" = 1'-0"

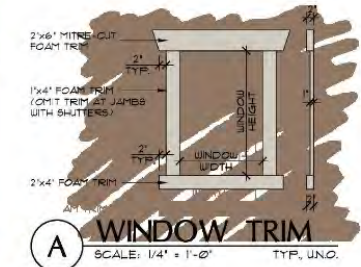


1 FRONT ELEVATION B  
SCALE: 1/4" = 1'-0"

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE ICC ESR-1641 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
IAFMO EVALUATION REPORT UES 382 &  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STONE VENEER TO BE WESTLAKE  
MANUFACTURED STONE VENEER  
ICC-ES EVALUATION REPORT  
ESR-1864, MORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STUCCO SYSTEM & INSTALLED PER  
MFR. SPECIFICATIONS



A WINDOW TRIM  
SCALE: 1/4" = 1'-0" TYP. UNO.



3 LEFT ELEVATION B  
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION B  
SCALE: 1/4" = 1'-0"

**RICHMOND**  
AMERICAN HOMES

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Date: 3/17/2025

Revisions:

Seasons on McQueen (CHANDLER)

Plan Number:

**P952**

Plan Name:

LYNWOOD

Sheet Title:

ELEVATION B

Sheet Number:

**A2.2**

a

SEASONS AT McQUEEN | PLAN P952 | 'WESTERN COTTAGE' BUILDING ELEVATIONS | 2,115 SQ. FT.



2 REAR ELEVATION C  
SCALE: 1/4" = 1'-0"

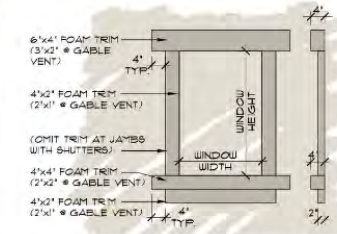


1 FRONT ELEVATION C  
SCALE: 1/4" = 1'-0"

NOTE:  
ROOFING MATERIAL TO BE BORAL  
ROOFING PRODUCTS CONCRETE  
ROOFING TILE (CC EBR-1847) #  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STUCCO VENEER TO BE WESTERN I-KOTE  
(AFMO EVALUATION REPORT UES 382) #  
INSTALLED PER MFR. SPECIFICATIONS

NOTE:  
STONE VENEER TO BE WESTLAKE  
MANUFACTURED STONE VENEER  
(CC-B8 EVALUATION REPORT  
EER-364) PORTAR BED APPLIED  
DIRECTLY TO UNFINISHED, UNTREATED  
STUCCO SYSTEM # INSTALLED PER  
MFR. SPECIFICATIONS



A WINDOW TRIM  
SCALE: 1/4" = 1'-0" TYP. UNO.



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Date: 3/17/2025

Revisions:

Seasons on McQueen (CHANDLER)

Plan Number:

**P952**

Plan Name:

LYNWOOD

Sheet Title:

ELEVATION C

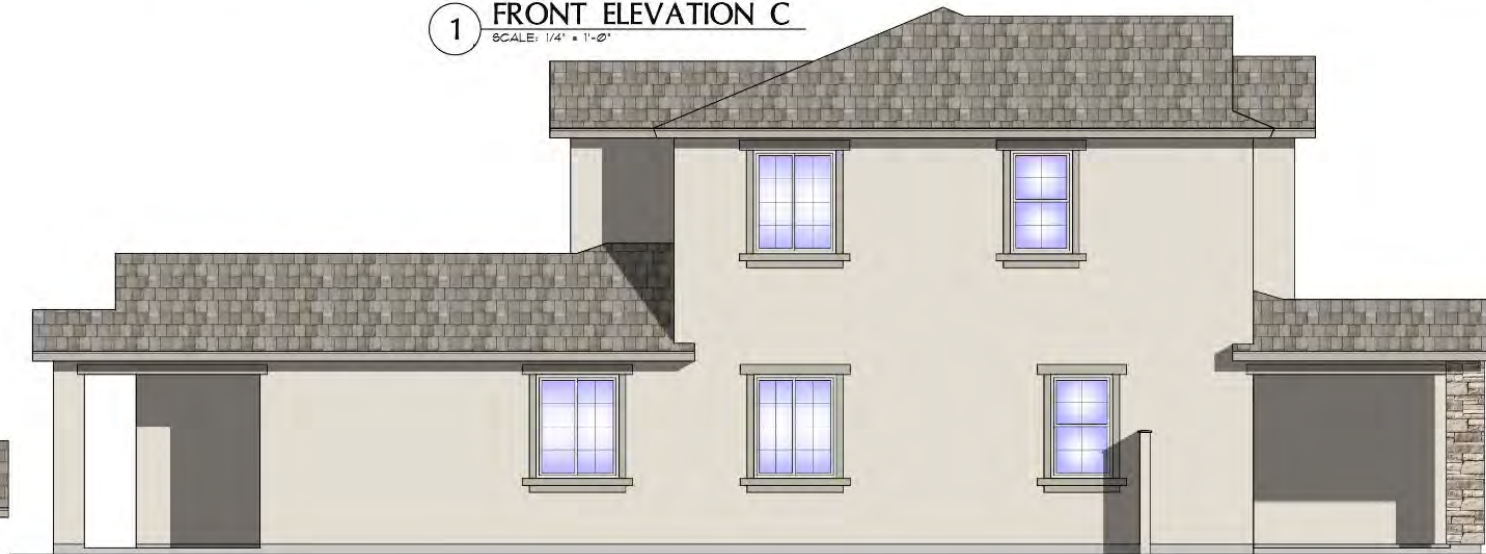
Sheet Number:

**A2.3**

a



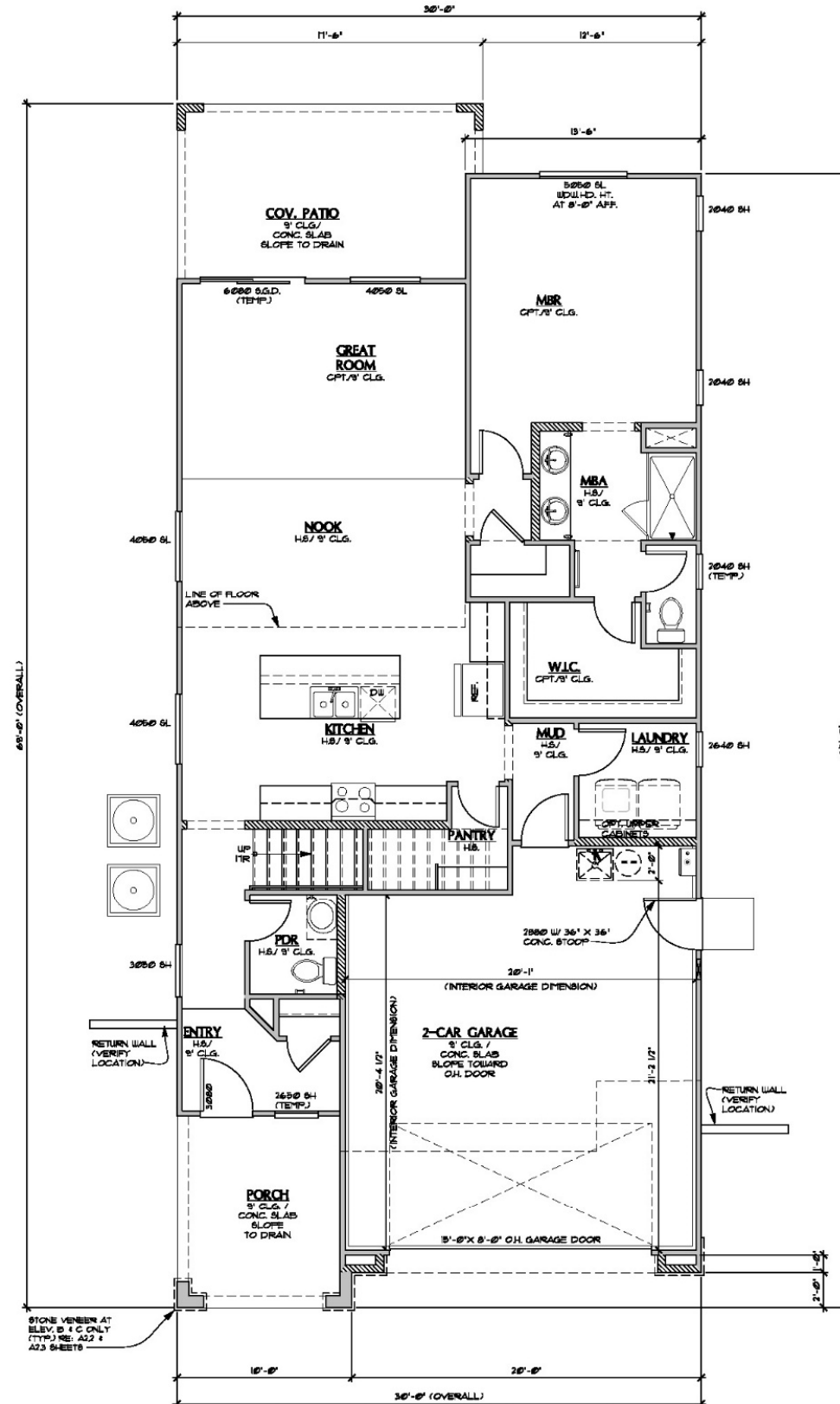
4 RIGHT ELEVATION C  
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION C  
SCALE: 1/4" = 1'-0"

SEASONS AT McQUEEN | PLAN P952 | FLOOR PLAN | 2,115 SQ. FT.

SQUARE FOOTAGE CALCULATIONS	
	ALL ELEVATIONS
	STANDARD OPTIONS
2 CAR GARAGE	454 SQ. FT.
COVERED FRONT ENTRY	102 SQ. FT.
COVERED PATIO	164 SQ. FT.
FIRST FLOOR	1332 SQ. FT.
SECOND FLOOR	881 SQ. FT.
<b>TOTAL (BASE HOUSE)</b>	<b>2113 SQ. FT.</b>



1 FIRST FLOOR PLAN AT ELEVATION A (SIM. AT ELEV'S. B & C)  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

- 2x4 WALL
- 2x6 WALL
- LOW WALL

**PLAN NOTES**

1. A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL (IRC N10214)
2. CEILING GYPSUM BOARD: WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 1/2" O.C. FRAMING AND FROM 1/2" TO 5/8" FOR 24" O.C. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (IRC TABLE R703.3.3. FOOTNOTE D)
3. GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY BY ICC ESR-388 + ASTM C798/C798M
4. SHOWER NOTES
  - 4.1. 4" CURB PER IRC Z109.1
  - 4.2. SHATTERPROOF (TEMP) GLASS ENCLOSURE
  - 4.3. SHOWER COMPARTMENT SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 1" ABOVE FINISHED FLOOR (IRC 307.2) (TYP)
5. CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
6. LAUNDRY NOTES
  - 6.1. DRYER TO ALWAYS BE ON THE RIGHT, WASHER ON LEFT
  - 6.2. PROVIDE A MINIMUM OPENING OF 100 SQ. IN FOR MAKE-UP AIR
  - 6.3. STANDARD 3" DIA. 1" x 8" ABOVE FINISHED FLOOR (OPT. UTILITY ROOM PACKAGE, UPPER CABINETS, LOWER CABINETS & LAUNDRY BINS - WHERE OCCURS)
- 6.4. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 26 FEET IN LENGTH WITH REDUCTION FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
7. REQUIRED DRAIN PAN FOR WATER HEATER: PAN SHALL BE GALVANIZED STEEL, HAVING A MIN. THICKNESS OF 24 GAUGE OR OTHER PAN LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/2 INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4 INCH. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6 INCHES (30 MM) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE.
8. WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR COMBINATION VALVE SHALL: 1. NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM; 2. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE BASE ROOM AS THE WATER HEATER; 3. NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL-SIZE TO THE AIR GAP; 4. SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT; 5. DISCHARGE TO THE FLOOR TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS; 6. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE; 7. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS; 8. NOT BE TRAPPED; 9. BE INSTALLED TO FLOW BY GRAVITY; 10. NOT TERMINATE MORE THAN 6 INCHES ABOVE THE FLOOR OR WASTE RECEPTOR; 11. NOT HAVE A THREADED CONNECTION AT THE END OF THE PIPING; 12. NOT HAVE VALVES OR TEE FITTINGS; 13. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. P1903.4 OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH ASME A131 STAIR DESIGN; 14. MINIMUM TREAD DEPTH 1'-3/4" MAXIMUM RISER HEIGHT
9. HANDRAIL: CONTINUE FULL LENGTH OF STAIR HANDRAIL PORTION TO BE NOT LESS THAN 1/4" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1/4" FROM WALL.
10. FIRST FLOOR WINDOW HEAD HEIGHT = 8'
11. SECOND FLOOR WINDOW HEAD HEIGHT = 7'
12. 4" MAXIMUM SILL HEIGHT AT EXPOSED WINDOWS



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Date: 3/11/2025

Revisions:

Seasons on McQueen (CHANDLER)

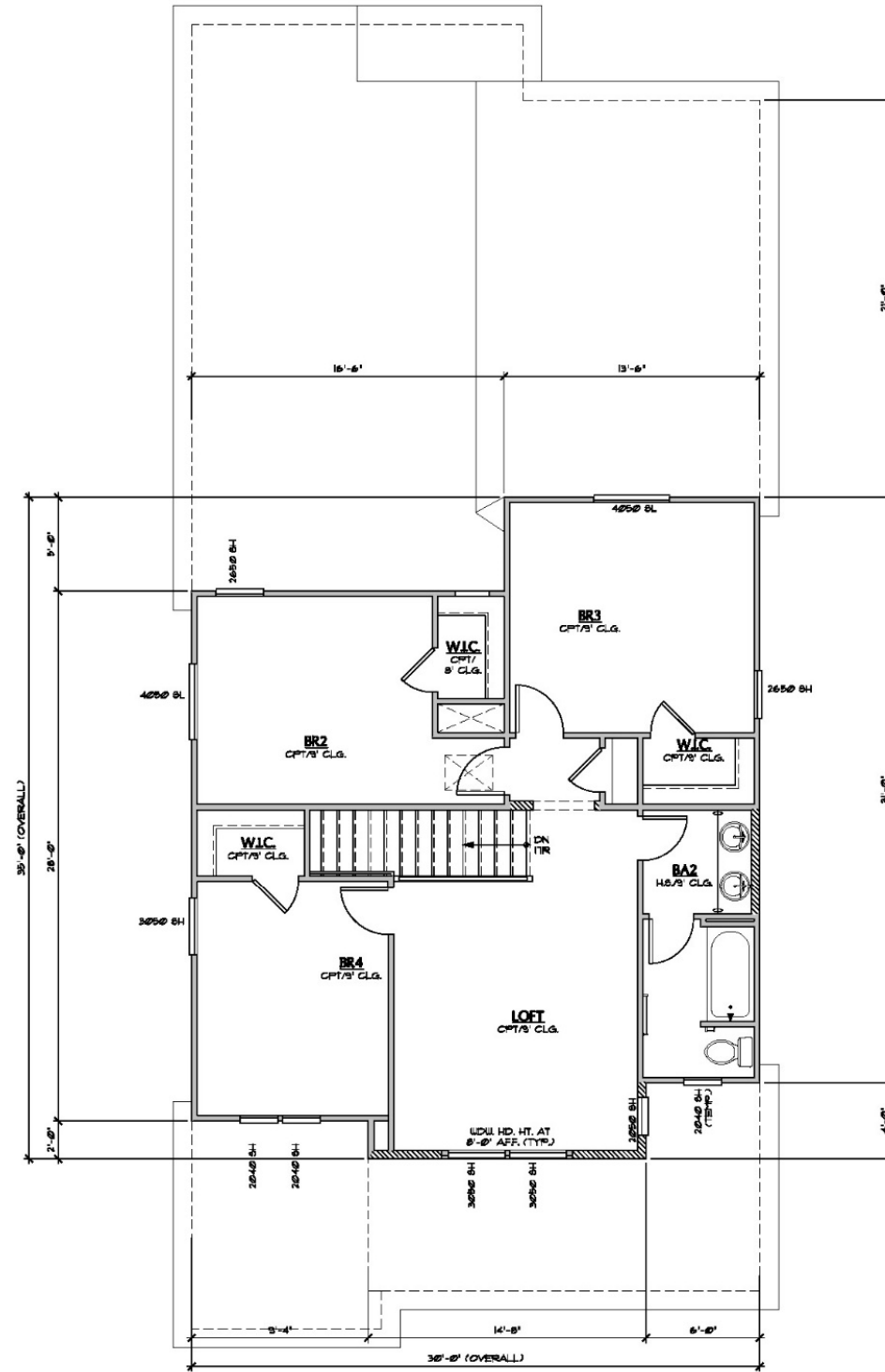
Plan Number: P952

Plan Name: LYNWOOD

Sheet Title: FIRST FLOOR PLAN

Sheet Number: A1.1

SEASONS AT McQUEEN | PLAN P952 | FLOOR PLAN | 2,115 SQ. FT.



1 SECOND FLOOR PLAN AT ELEVATION A (SIM. AT ELEV'S. B & C)  
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	2x4 WALL
	2x6 WALL
	LOW WALL
	1. FIRST FLOOR, HD. HT. AT 10' FROM TOP PLATE (TYP. UNO.)
	2. SECOND FLOOR, HD. HT. AT 10' FROM TOP PLATE (TYP. UNO.)

PLAN NOTES	
1.	A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL (REC N8514)
2.	CEILING GYPSUM BOARD WHEN APPLYING A WATER-BASE TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 1/2" O.C. FRAMING AND FROM 1/2" TO 5/8" FOR 24" O.C. FRAMING OR 1/2" 5/8" RESISTANT GYPSUM BOARD IS TO BE USED (REC TABLE R100.3.3, FOOTNOTE D)
3.	GYPSUM BOARD INSTALLED ON THE EXTERIOR SHALL COMPLY BY ICC ESR-338 + ASTM C296/C296M
4.	SHOWER NOTES 41. 4" CURB PER IRC 2109.1 42. SHATTERPROOF (TEMP) GLASS ENCLOSURE 43. SHOWER COMPARTMENT SHALL BE FINISHED BY A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 1" ABOVE FINISHED FLOOR (RC 307.2) (TYP.)
5.	CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
6.	LAUNDRY NOTES 61. DRYER TO ALWAYS BE ON THE RIGHT, WASHER ON LEFT 62. PROVIDE A MINIMUM OPENING OF 100 SQ. IN FOR MAKE-UP AIR 63. STANDARD 2" SHALL BE 8'-0" ABOVE FINISHED FLOOR (CPT, UTILITY ROOM PACKAGE, UPPER CABINETS, LOWER CABINETS & LAUNDRY BIN - WHERE OCCURS)
6.4.	THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 26 FEET IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE.
7.	REQUIRED DRAIN PAN FOR WATER HEATER- PAN SHALL BE GALVANIZED STEEL, HAVING A MIN. THICKNESS OF 24 GAUGE OR OTHER PAN LISTED FOR SUCH USE. PAN SHALL BE NOT LESS THAN 1/2 INCHES DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 3/4 INCH. THE PAN DRAIN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE 6 INCHES (180 MM) AND NOT MORE ABOVE THE ADJACENT GROUND SURFACE
8.	WATER HEATER REQUIREMENTS FOR DISCHARGE PIPE: THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE-RELIEF VALVE OR CORINATION VALVE SHALL: 1. NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM. 2. DISCHARGE THROUGH AN AIR GAP LOCATED IN THE RAPE ROOM AS THE WATER HEATER & NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL-SIZE TO THE AIR GAP. 4. SERVE A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT. 5. DISCHARGE TO THE FLOOR OR STORAGE TANK TO A WASTE RECEPTOR OR TO THE OUTDOORS. 6. DISCHARGE IN A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE. 7. DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS. 8. NOT BE TRAPPED. 9. BE INSTALLED TO FLOW BY GRAVITY. 10. NOT TERMINATE MORE THAN 6 INCHES ABOVE THE FLOOR OR WASTE RECEPTOR. 11. NOT HAVE A THREADED CONNECTION AT THE END OF THE PIPING. 12. NOT HAVE VALVES OR TEE FITTINGS. 13. BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SEC. P100.4.8 OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH ASME A17.1 STAIR DESIGN. 14. MINIMUM TREAD DEPTH + 1-3/4" MAXIMUM RISER HEIGHT
9.	HANDRAIL: CONTINUE FULL LENGTH OF STAIR HANDGRIP PORTION TO BE NOT LESS THAN 14" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1 1/2" FROM WALL
10.	FIRST FLOOR WINDOW HEAD HEIGHT = 8' SECOND FLOOR WINDOW HEAD HEIGHT = 7' 44" MAXIMUM SILL HEIGHT AT EXPOSED WINDOWS



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Date: 3/11/2025  
Revisions:

Seasons on McQueen (CHANDLER)

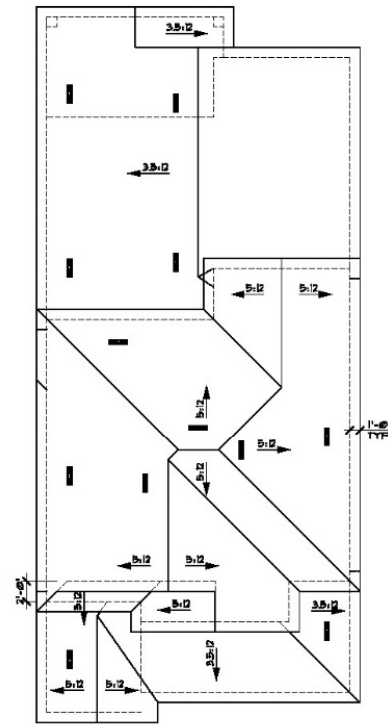
Plan Number: P952

Plan Name: LYNWOOD

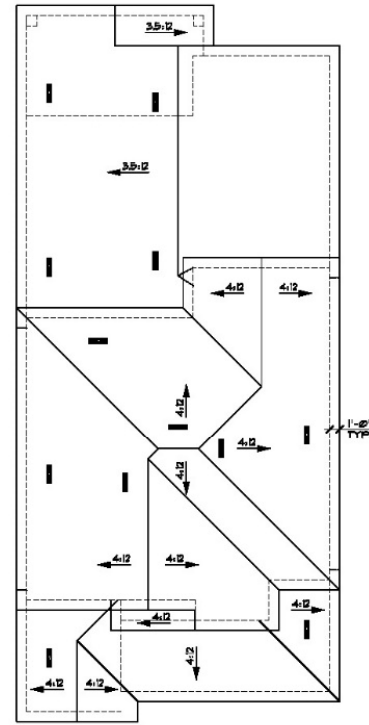
Sheet Title: SECOND FLOOR PLAN & OPTIONS

Sheet Number: A1.2

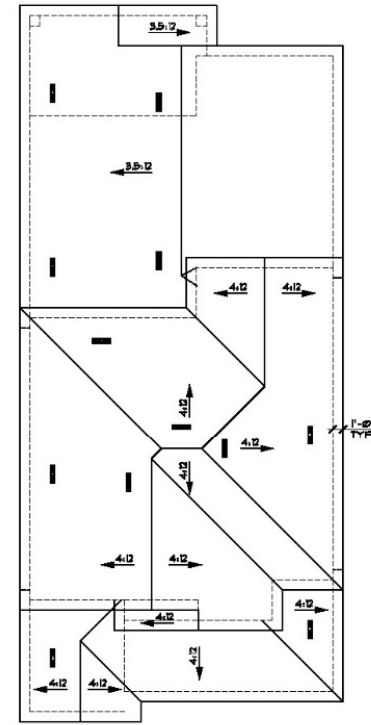
SEASONS AT MCQUEEN | PLAN P952 | ROOF PLAN | 2,115 SQ. FT.



3 ROOF PLAN @ ELEVATION C  
SCALE: 1/8" = 1'-0"



2 ROOF PLAN @ ELEVATION B  
SCALE: 1/8" = 1'-0"



1 ROOF PLAN @ ELEVATION A  
SCALE: 1/8" = 1'-0"

**ATTIC VENTILATION CALCULATION**  
CALCULATIONS SIMILAR FOR ALL ELEVATIONS.

**CALCULATION USING 1/300 METHOD**

**R906.2 MINIMUM VENT AREA**  
THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE.

**EXCEPTION:** THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

1. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

VENT INFORMATION		HIGH 1/300@
TYPE:	NET FREE VENT AREA:	10000
'O'HAGAN' LOW PROFILE	978 SQUARE INCHES	10000
CONC. 'B'	978 SQUARE INCHES	10000
'O'HAGAN' LOW PROFILE	978 SQUARE INCHES	10000
CONC. 'FLAT'	978 SQUARE INCHES	10000
NOTE:	LOCATION OF VENTS SHOWN ON ROOF PLANS FOR REFERENCE ONLY, FIELD VERIFY.	

UPPER ROOF	
ROOF AREA:	925 SQ. FT.
X 1/300	3083 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED:	3083 SQ. IN.
AFTER 1/300 REDUCTION:	444 SQ. IN.
TOTAL NUMBER OF HIGH VENTS PROVIDED:	3 VENTS
TOTAL NUMBER OF LOW VENTS PROVIDED:	3 VENTS

LOWER ROOF - REAR	
ROOF AREA:	782 SQ. FT.
X 1/300	2607 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED:	2607 SQ. IN.
AFTER 1/300 REDUCTION:	376 SQ. IN.
TOTAL NUMBER OF HIGH VENTS PROVIDED:	2 VENTS
TOTAL NUMBER OF LOW VENTS PROVIDED:	2 VENTS

LOWER ROOF - FRONT	
ROOF AREA:	273 SQ. FT.
X 1/300	910 SQ. IN.
COMBINED HI/LOW NET FREE VENTILATING AREA REQUIRED:	910 SQ. IN.
AFTER 1/300 REDUCTION:	131 SQ. IN.
TOTAL NUMBER OF HIGH VENTS PROVIDED:	1 VENT
TOTAL NUMBER OF LOW VENTS PROVIDED:	1 VENT

ROOF PLAN LEGEND	
	GUTTERS
	DOWNSPOUTS



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Date: 3/11/2025

Revisions:

Seasons on McQueen (CHANDLER)

Plan Number:

P952

Plan Name:

LYNWOOD

Sheet Title:

ROOF PLANS

Sheet Number:

A4.1

a

**RICHMOND AMERICAN HOMES**

May 2025

Spanish Elevation A Color Schemes	Body	Trim	Fascia/Corbels	Garage Door	Shutters/ Front Door	Rail/ Decorative Ironwork	Roof Tile (s-tile)	Exterior Stone (Westlake)	Gutter & Downspout Colors (KSI) if applicable		
ELEVATION A SCHEME #1	SW7511 Bungalow Beige	SW7554 Steamed Milk	SW7554 Steamed Milk	SW7520 Dark Brown	SW7520 Dark Brown	SW7020 Black Fox	MLT-MSCS6129 Marbled Terra Cotta	N/A	Gutters: Beaver Brown		
									Downspouts: Raffia Beige		
ELEVATION A SCHEME #2	SW7551 Greek Villa	7037 Balanced Beige	SW7505 Manor House	SW7026 Griffin	SW7505 Manor House	SW7020 Black Fox		MLT-MSCS0772 Old Mesquite Blend	N/A	Gutters: Light Bronze	
										Downspouts: Frost White	
ELEVATION A SCHEME #3	SW7030 Anew Gray	SW7035 Aesthetic White	SW7035 Aesthetic White	SW7047 Porpoise	SW2848 Roycroft Pewter	SW7020 Black Fox			MLT-MSCS5773 Ironwood	N/A	Gutters: Light Bronze
											Downspouts: Herringbone
ELEVATION A SCHEME #4	SW7029 Agreeable Gray	SW7031 Mega Greige	SW7019 Gauntlet Gray	SW7019 Gauntlet Gray	SW7622 Homburg Gray	SW7020 Black Fox	MLT-MSCS5773 Ironwood			N/A	Gutters: Dove Gray
											Downspouts: 30% White
ELEVATION A SCHEME #5	SW7549 Studio Taupe	SW7035 Aesthetic White	SW7026 Griffin	SW7026 Griffin	SW2838 Polished Mahogany	SW7020 Black Fox		MLT-MSCS0772 Old Mesquite Blend		N/A	Gutters: Light Bronze
											Downspouts: Clay
ELEVATION A SCHEME #6	SW7530 Barcelona Beige	SW7039 Virtual Taupe	SW7645 Thunder Gray	SW7645 Thunder Gray	SW7061 Night Owl	SW7020 Black Fox			MLT-MSCS0026 Sandstorm	N/A	Gutters: Light Bronze
											Downspouts: Wicker

**RICHMOND AMERICAN HOMES**

May 2025

Craftsman Elevation B Color Schemes	Body	Secondary Body (Siding @ Gables)	Trim	Fascia/Corbels	Garage Door	Front Door/Shutters	Roof Tile (flat)	Exterior Stone (Westlake)	Gutter & Downspout Colors (KSI) <i>if applicable</i>
ELEVATION B SCHEME #1	SW6081 Down Home	SW9087 Smokey Beige	SW7029 Agreeable Gray	SW7029 Agreeable Gray	SW9087 Smokey Beige	SW9183 Dark Clove	MLT-STCS3075 Natural Brown	Pro-Fit Alpine Summit Peak	Gutters: 30% White
									Downspouts: Safari Beige
ELEVATION B SCHEME #2	SW9170 Acier	SW7019 Gauntlet Gray	SW7015 Repose Gray	SW7015 Repose Gray	SW7019 Gauntlet Gray	SW7674 Peppercorn LRV 10	MLT-STCS5354 Stone Mountain Blend	Pro-Fit Alpine Echo Risge	Gutters: 30% White
									Downspouts: Colonial Gray
ELEVATION B SCHEME #3	SW7504 Keystone Gray	SW7030 Anew Gray	SW7029 Agreeable Gray	SW7047 Porpoise	SW7030 Anew Gray	SW6076 Turkish Coffee	MLT-STCS0330 Appalachian Blend	Pro-Fit Alpine Winterhaven	Gutters: Light Bronze
									Downspouts: Clay
ELEVATION B SCHEME #4	SW7506 Loggia	SW7508 Tavern Taupe	SW7035 Aesthetic White	SW7048 Urbane Bronze	SW7508 Tavern Taupe	SW7069 Iron Ore	MLT-STCS0330 Appalachian Blend	Pro-Fit Alpine Umber Creek	Gutters: Light Bronze
									Downspouts: Wicker
ELEVATION B SCHEME #5	SW6147 Panda White	SW7036 Accessible Beige	SW7037 Balanced Beige	SW7040 Smokehouse	SW7040 Smokehouse	SW7048 Urbane Bronze	MLT-STCS3075 Natural Brown	Pro-Fit Alpine Pheasant	Gutters: Light Bronze
									Downspouts: 30% White
ELEVATION B SCHEME #6	SW7031 Mega Greige	SW7046 Anonymous	SW7029 Agreeable Gray	SW7029 Agreeable Gray	SW7029 Agreeable Gray	SW6237 Dark Night	MLT-STCS0330 Appalachian Blend	Pro-Fit Alpine Echo Risge	Gutters: 30% White
									Downspouts: Dove Gray

**RICHMOND AMERICAN HOMES**

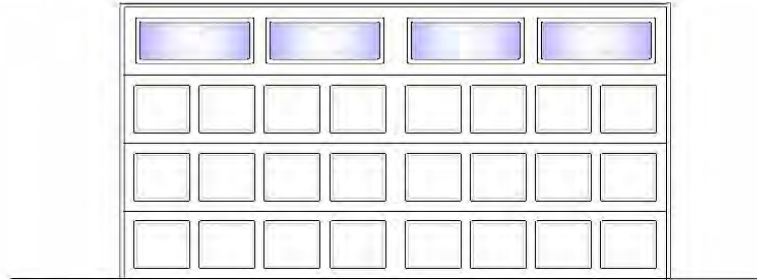
May 2025

Western Cottage Elevation C Color Schemes	Body	Trim/Wood Railing	Fascia/Corbels	Garage Door	Front Door	Shutters	Roof Tile (flat)	Exterior Stone (Westlake)	Gutter & Downspout Colors (KSI) if applicable
ELEVATION C SCHEME #1	SW7035 Aesthetic White	SW7016 Mindful Gray	SW7016 Mindful Gray	SW7018 Dovetail	SW2856 Fairfax Brown	SW2856 Fairfax Brown	MLT-STCS5354 Stone Mountain Blend	Country Ledge Echo Ridge	Gutters: Colonial Gray
									Downspouts: 30% White
ELEVATION C SCHEME #2	SW7513 Sanderling	SW7036 Accessible Beige	SW7514 Foothills	SW7514 Foothills	SW7505 Manor House	SW7505 Manor House	MLT-STCS3075 Natural Brown	Country Ledge Grand Mesa	Gutters: Clay
									Downspouts: Almond
ELEVATION C SCHEME #3	SW7640 Fawn Brindle	SW7029 Agreeable Gray	SW7029 Agreeable Gray	SW7029 Agreeable Gray	SW7625 Mount Etna	SW7625 Mount Etna	MLT-STCS0330 Appalachian Blend	Country Ledge Ashfall	Gutters: 30% White
									Downspouts: Colonial Gray
ELEVATION C SCHEME #4	SW7567 Natural Tan	SW2827 Colonial Revival Stone	SW7026 Griffin	SW7026 Griffin	SW6187 Rosemary	SW6187 Rosemary	MLT-STCS0330 Appalachian Blend	Country Ledge Wheaton	Gutters: Light Bronze
									Downspouts: Herringbone
ELEVATION C SCHEME #5	SW9089 Llama Wool	SSW7568 Neutral Ground	SSW7568 Neutral Ground	SW7547 Sandbar	SW6006 Black Bean	SW6006 Black Bean	MLT-STCS3075 Natural Brown	Country Ledge Ashfall	Gutters: Almond
									Downspouts: Buckskin Brown
ELEVATION C SCHEME #6	SW9168 Elephant Ear	SW7035 Aesthetic White	SW7035 Aesthetic White	SW7645 Thunder Gray	SW7062 Rock Bottom	SW7062 Rock Bottom	MLT-STCS5354 Stone Mountain Blend	Country Ledge Echo Ridge	Gutters: 30% White
									Downspouts: Colonial Gray

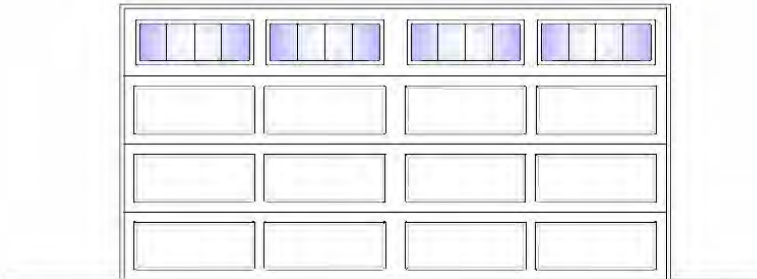
**PAINT MANUFACTURER:** Sherwin Williams  
**ROOFING MATERIAL:** Monier Life Tile  
**STONE MANUFACTURER:** Coronado  
 Any Nesco Deco Features - NATURAL Color (NO PAINT)

**National Merchandising - Revisions**

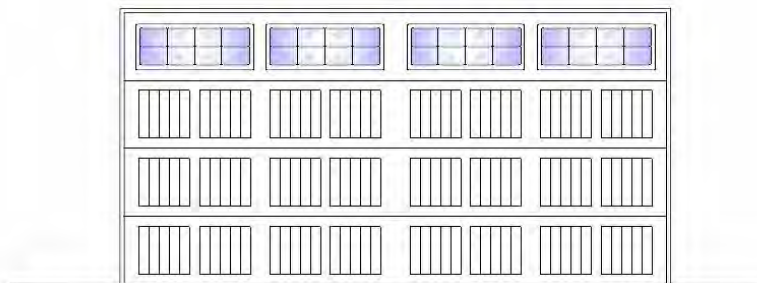
SEASONS AT MCQUEEN | GARAGE DOOR DESIGNS



Elevation A



Elevation B



Elevation C



2/26/2025

**Pavers**

HOME GALLERY  
BY RICHMOND AMERICAN

**Pavers**

**Cambridge Cobble – 3 Piece  
Random**

Standard: **PAVER1**

**Color Choices**



Sierra Bend



Rio Blend



Images are for general illustrative purposes only. Actual installation may vary based on a number of factors, including but not limited to, architectural configuration and other finish selections.

**Exterior Lighting**  
All Elevations - STANDARD

HOME GALLERY  
BY RICHMOND AMERICAN

**Madison**

**Notes:**  
8" W x 14.75" H

Tannery Bronze - Small (9650TZ)



Images are for general illustrative purposes only. Actual installation may vary based on a number of factors, including but not limited to, architectural configuration and other finish selections.

SEASONS AT MCQUEEN | DESIGN DETAILS – SHUTTERS EXHIBIT

Accent Features

TV-3 Hole 'Cluster"  
Tile Vent 3 Hole Cluster 16"x13"



TB-1  
Outlooker 4"x4"x18" Bevel Nose  
Backer 2"x6"x24"  
Angle Brace 4"x4"



Grooved Flat Top 3 Plank



Grooved Elliptical Top 3 Plank



Louvered Flat Top Split Panel

SEASONS AT MCQUEEN | CONCEPTUAL SITE PLAN EXHIBIT

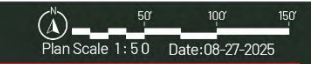


SITE DATA		
GROSS AREA	11.94 AC.	4.77 DU/AC.
NET AREA	11.41 AC.	
AMENITY / RET	0.48 AC.	4.2%
OPEN SPACE	2.69 AC.	23.6%
<b>TOTAL OPEN SPACE</b>	<b>3.18 AC</b>	<b>26.6%</b>
<b>UNIT</b>	<b>QTY</b>	<b>MIX %</b>
40' X 105' LOTS	57 DU	100.00%
<b>TOTAL</b>	<b>57 DU</b>	

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.



**MCQUEEN & WILLIS**  
Conceptual Site Plan



SEASONS AT MCQUEEN | CONCEPTUAL LANDSCAPE PLAN EXHIBIT



Plant Materials Legend

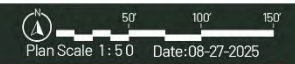
Tree	Cal (in.)	Height (FT.)	Width (FT.)	Box (in.)
Acacia willardiana	1.0-1.5	5.0-8.0	2.5-3.5	24"
Palo Blanco	1.0-1.5	8.0-10.0	3.0-4.0	24"
Acacia stenophylla	1.0-1.5	5.0-7.0	3.0-4.0	24"
Shoestring Acacia	1.0-1.5	5.0-7.0	3.0-4.0	24"
Chilopsis linearis 'Bubba'	1.0-1.5	5.0-7.0	3.0-4.0	24"
Desert Willow	Multi	6.0-8.0	3.0-5.0	24"
Olea europaea 'Wilsonii'	Multi	10.0-12.0	8.0-10.0	48"
Wilson's Olive	Multi	10.0-12.0	8.0-10.0	48"
Olea europaea 'Wilsonii'	Multi	10.0-12.0	8.0-10.0	48"
Wilson's Olive	1.0-1.5	7.0-9.0	2.5-3.5	24"
Pistacia chinensis	1.0-1.5	7.0-9.0	3.0-4.0	24"
Chinese Pistache	1.0-1.5	7.0-9.0	3.0-4.0	24"
Quercus ilex	1.0-1.5	7.0-9.0	3.0-4.0	24"
Holly Oak	0.75-1.0	3.0-4.0	2.0-3.0	24"
Sophora secundiflora	1.0-1.5	7.0-8.0	4.0-5.0	24"
Texas Mountain Laurel	1.0-1.5	7.0-9.0	3.0-4.0	24"
Thevetia peruviana	1.0-1.5	7.0-9.0	3.0-4.0	24"
Yellow Oleander	1.0-1.5	7.0-9.0	3.0-4.0	24"
Ulmus parvifolia 'Sempervirens'	Multi	5.0-7.0	3.0-4.0	24"
Elm tree	Multi	5.0-7.0	3.0-4.0	24"
Vitex agnus-castus	Multi	5.0-7.0	3.0-4.0	24"
Chaste Tree	16' CTH			
Washingtonia filifera	16' CTH			
California Fan Palm	16' CTH			

Extra Large Shrubs	Size	Small Shrubs	Size
Caesalpinia pulcherrima	5 gal.	Callistemon viminalis 'Little John'	5 gal.
Red Bird of Paradise	5 gal.	Little John Bottle Brush	5 gal.
Cordia parvifolia	5 gal.	Chrysactinia mexicana	1 gal.
Little Leaf Cordia	5 gal.	Damianita	1 gal.
Dodonaea viscosa	5 gal.	Olea europaea 'Little Olive'	5 gal.
Green Hopseed Bush	5 gal.	Dwarf Olive	5 gal.
Photinia fraseri	5 gal.	Russelia equisetiformis	5 gal.
Photinia	5 gal.	Coral Fountain	5 gal.
Tecoma Stans	15 gal.	Teucrium chamaedrys	1 gal.
Yellow Bells	15 gal.	Germander	1 gal.
Tecomaria capensis	15 gal.	Groundcovers	Size
Red Cape Honeysuckle	15 gal.	Lantana montevidensis 'Alba'	1 gal.
Vauquelinia californica	15 gal.	Trailing White Lantana	1 gal.
Arizona Rosewood	15 gal.	Rosmarinus officinalis 'Prostratus'	1 gal.
Large Shrubs	Size	Trailing Rosemary	1 gal.
Cassia artemisioides 'Silver'	5 gal.	Ruellia 'Katie'	1 gal.
Silver Cassia	5 gal.	Dwarf Ruellia 'Katie'	1 gal.
Leucophyllum frutescens	5 gal.	Wedelia trilobata	1 gal.
Texas Sage	5 gal.	Wedelia	1 gal.
Leucophyllum langmaniae 'Lynn's L'	5 gal.	Cacti/ Accents	Size
Lynn's Legacy Sage	5 gal.	Aloe barbadensis	5 gal.
Simmondsia Chinensis	15 gal.	Medicinal Aloe	5 gal.
Jobba	15 gal.	Aloe Hyb. 'Blue Elf'	5 gal.
Medium Shrubs	Size	Blue Elf Aloe	5 gal.
Bougainvillea 'Torch Glow'	5 gal.	Bouteloua gracilis	1 gal.
Torch Glow Bougainvillea	5 gal.	Blonde Ambition	1 gal.
Encella farinosa	1 gal.	Hesperaloe funifera	5 gal.
Brittlebush	1 gal.	Giant Hesperaloe	5 gal.
Eremophila glabra spp. carmosa	5 gal.	Hesperaloe parviflora 'Ruby'	5 gal.
Winter Blaze	5 gal.	Ruby Red Yucca	5 gal.
Eremophila hydrophana Blue Bells	5 gal.	Hesperaloe parviflora 'Yellow'	5 gal.
Blue Bells	5 gal.	Yellow Yucca	5 gal.
Eremophila maculata 'Valentine'	5 gal.	Muhlenbergia capillaris	5 gal.
Valentine Bush	5 gal.	'Regal Mist'	5 gal.
Leucophyllum candidum 'Thunder'	5 gal.	Muhlenbergia rigida 'Nashvi'	5 gal.
Thunder Cloud Sage	5 gal.	Purple Muhly	5 gal.
Ruellia peninsularis	5 gal.	Opuntia rufida	5 gal.
Desert Ruellia	5 gal.	Blind Prickly Pear	5 gal.
Teucrium frutescens	5 gal.	Yucca rupicola	5 gal.
Bush Germander	5 gal.	Twisted Leaf Yucca	5 gal.
Vines	Size	Inerts	Qty
Bougainvillea 'Yani's Delight'	5 gal.	Decomposed Granite; Size	
Yani's Bougainvillea	5 gal.	Date Creek Gold	
		Midiron Sod	
		Concrete Header - 6" Wide	
		See Detail 4, Sheet LA6.1	

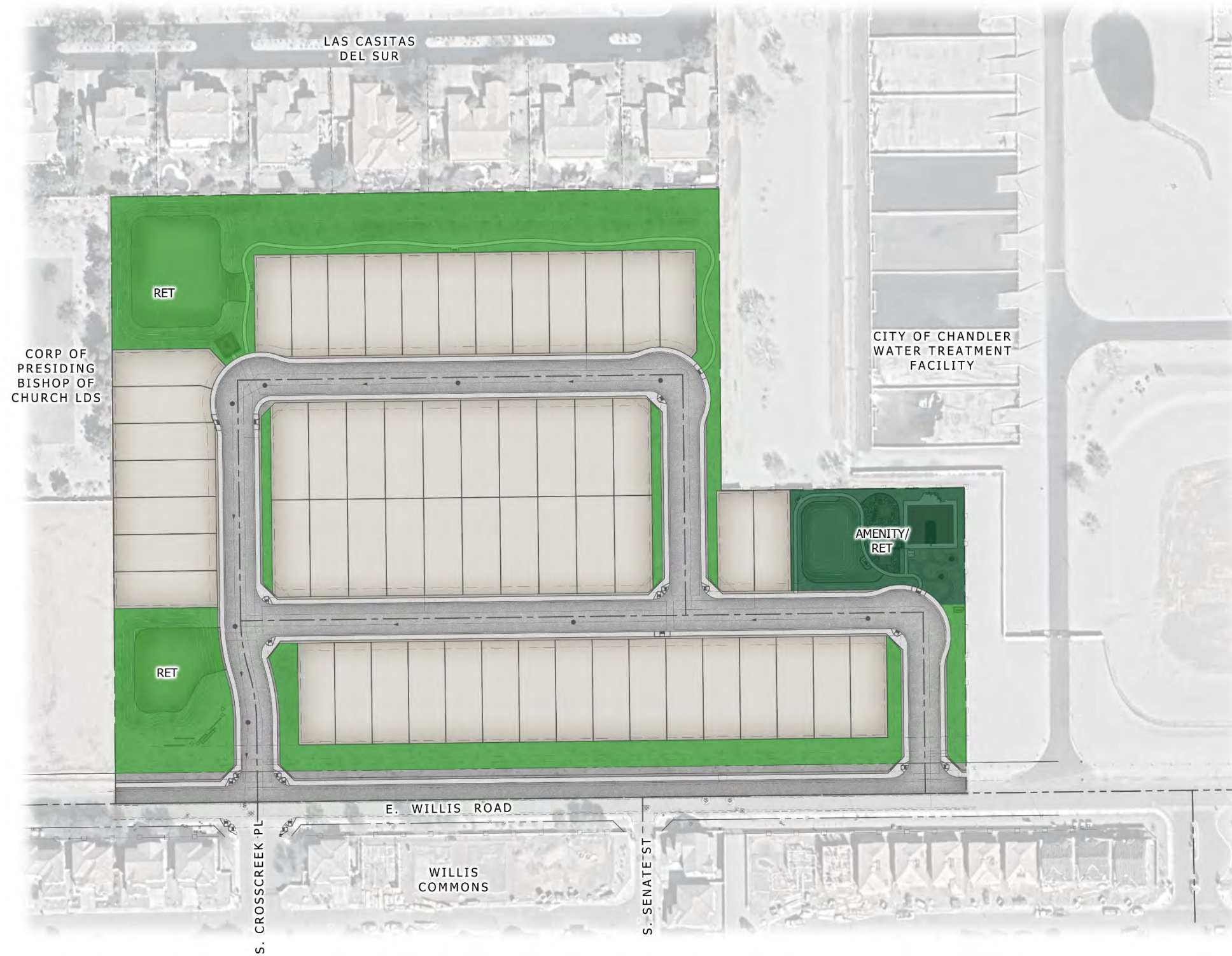
NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.



**MCQUEEN & WILLIS**  
Conceptual Landscape Plan



SEASONS AT MCQUEEN | CONCEPTUAL OPEN SPACE PLAN EXHIBIT

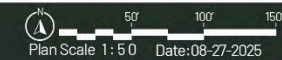


OPEN SPACE DATA		
GROSS AREA	11.94 AC	
NET AREA	11.41 AC	
AMENITY/RET	0.48 AC.	4.2%
OPEN SPACE	2.69 AC.	23.6%
<b>TOTAL OPEN SPACE</b>	<b>3.18 AC</b>	<b>26.6%</b>

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.



**MCQUEEN & WILLIS**  
Conceptual Open Space Plan



SEASONS AT MCQUEEN | CONCEPTUAL AMENITY PLAN EXHIBIT



LEGEND

- ① ACTIVE TURF AREA
- ② PLAY STRUCTURES
- ③ RAMADA
- ④ BASKETBALL COURT
- ⑤ PICNIC TABLE AREAS
- ⑥ CONCRETE SIDEWALK
- ⑦ BENCH SEATING
- ⑧ STABILIZED DG PATH
- ⑨ BIKE RACK
- ⑩ SIGNAGE



**MCQUEEN & WILLIS**  
Conceptual Amenity Plan

Plan Scale 1:10 Date: 08-27-2025



SEASONS AT MCQUEEN | CONCEPTUAL POCKET PARK EXHIBIT

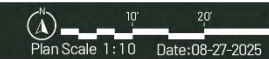


LEGEND

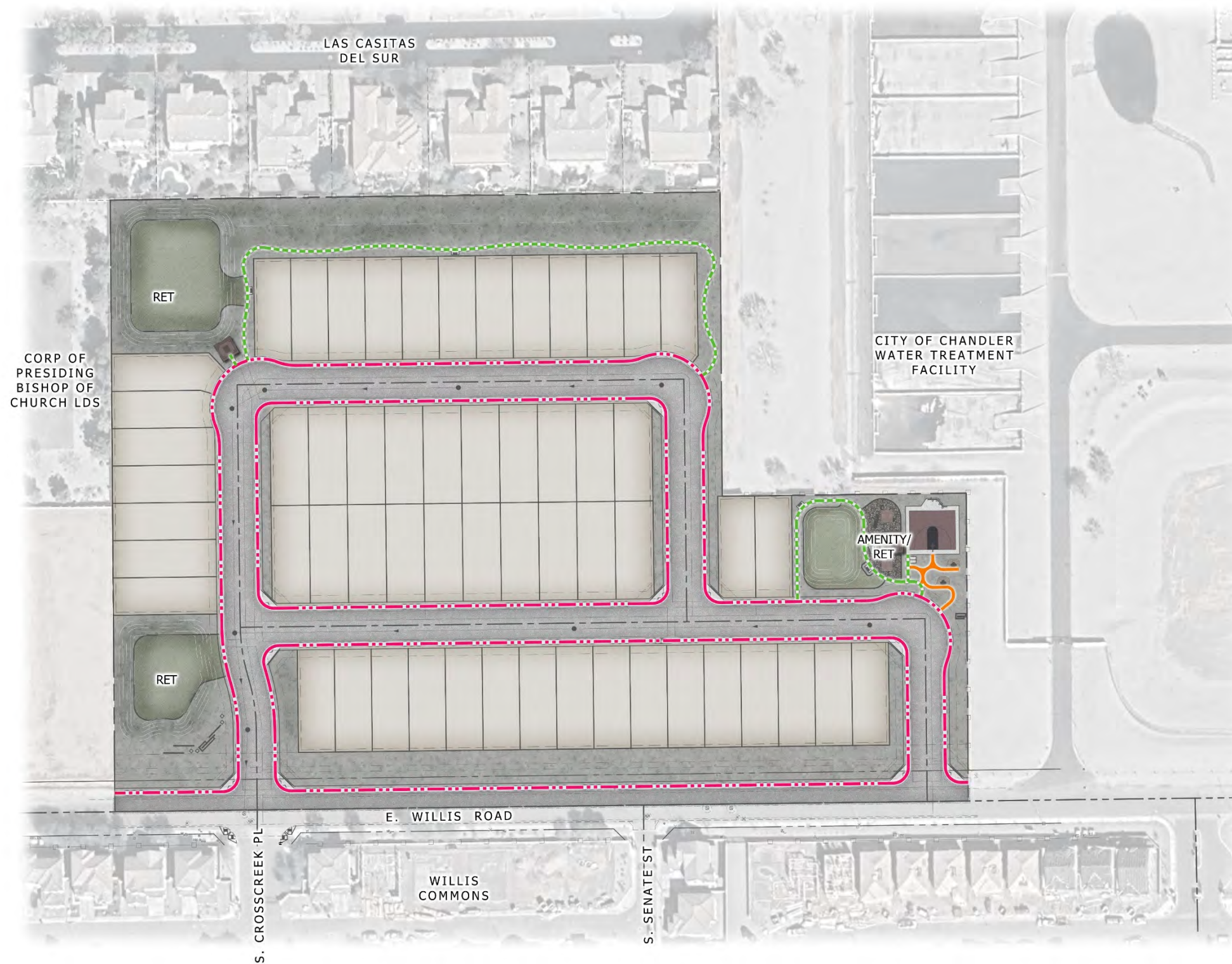
- ① ACTIVE TURF AREA
- ② RAMADA
- ③ CONCRETE SIDEWALK
- ④ BENCH SEATING



**MCQUEEN & WILLIS**  
Conceptual Pocket Park



SEASONS AT MCQUEEN | CONCEPTUAL CIRCULATION PLAN EXHIBIT



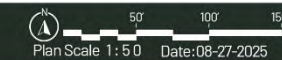
LEGEND

- - - 5'-0" ATTACHED SIDEWALK
- - - 5'-0" CONCRETE TRAIL
- 4'-0" STABILIZED DG TRAIL

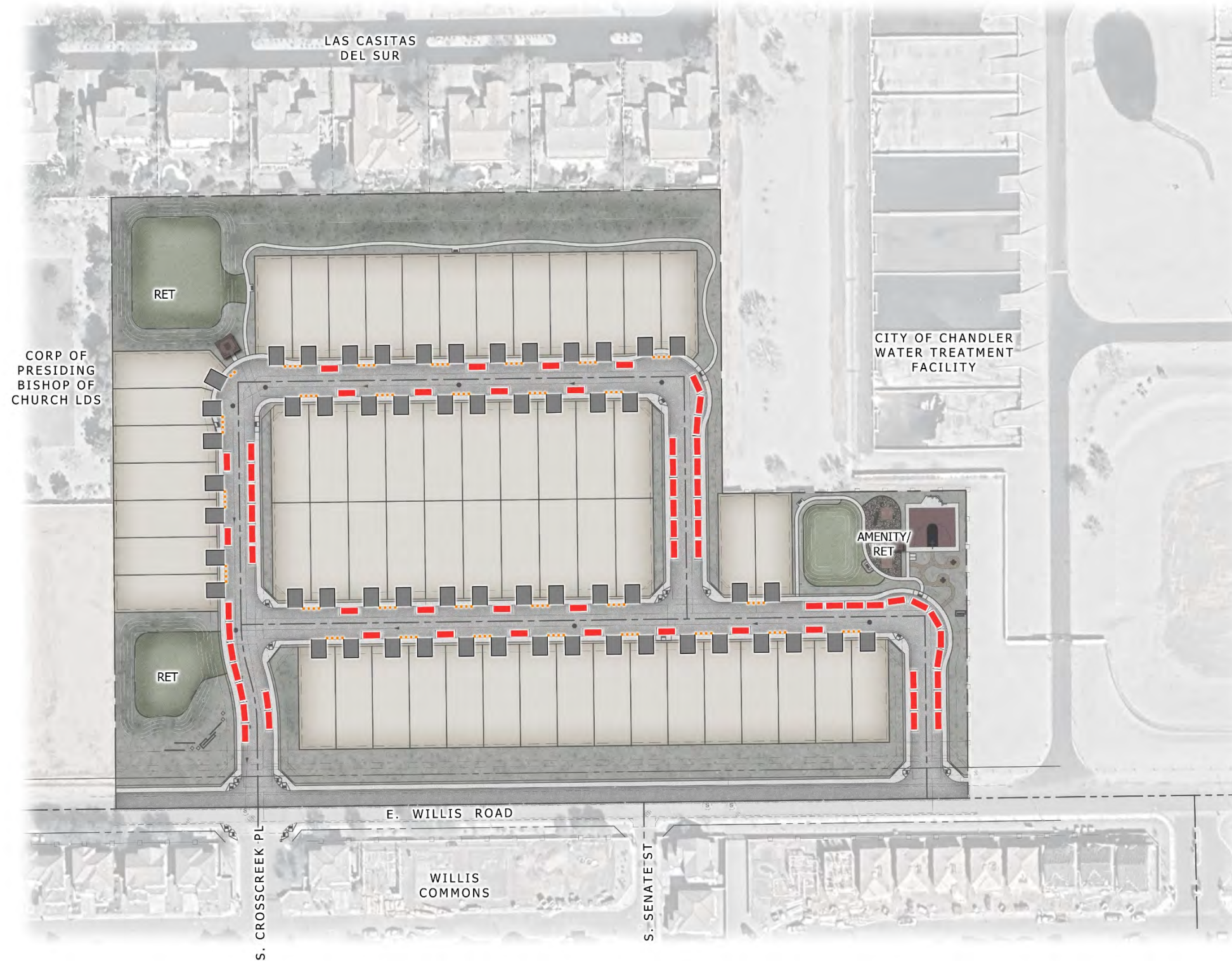
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**MCQUEEN & WILLIS**  
Conceptual Circulation Plan



SEASONS AT MCQUEEN | CONCEPTUAL PARKING PLAN EXHIBIT



PARKING DATA		
<b>PARKING REQUIRED</b>		
GARAGE	x 2.0 SPACES/DU	<b>114 SPACES</b>
<b>PARKING SPACES PROVIDED</b>		
GARAGE PARKING	114 SPACES	
DRIVEWAY PARKING	57 SPACES	
ON STREET PARKING	66 SPACES	
<b>TOTAL PROVIDED</b>	<b>237 SPACES</b>	

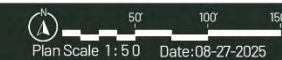
**LEGEND**

- ON-STREET PARKING
- REFUSE PICK-UP LOCATIONS
- DRIVEWAY LOCATIONS

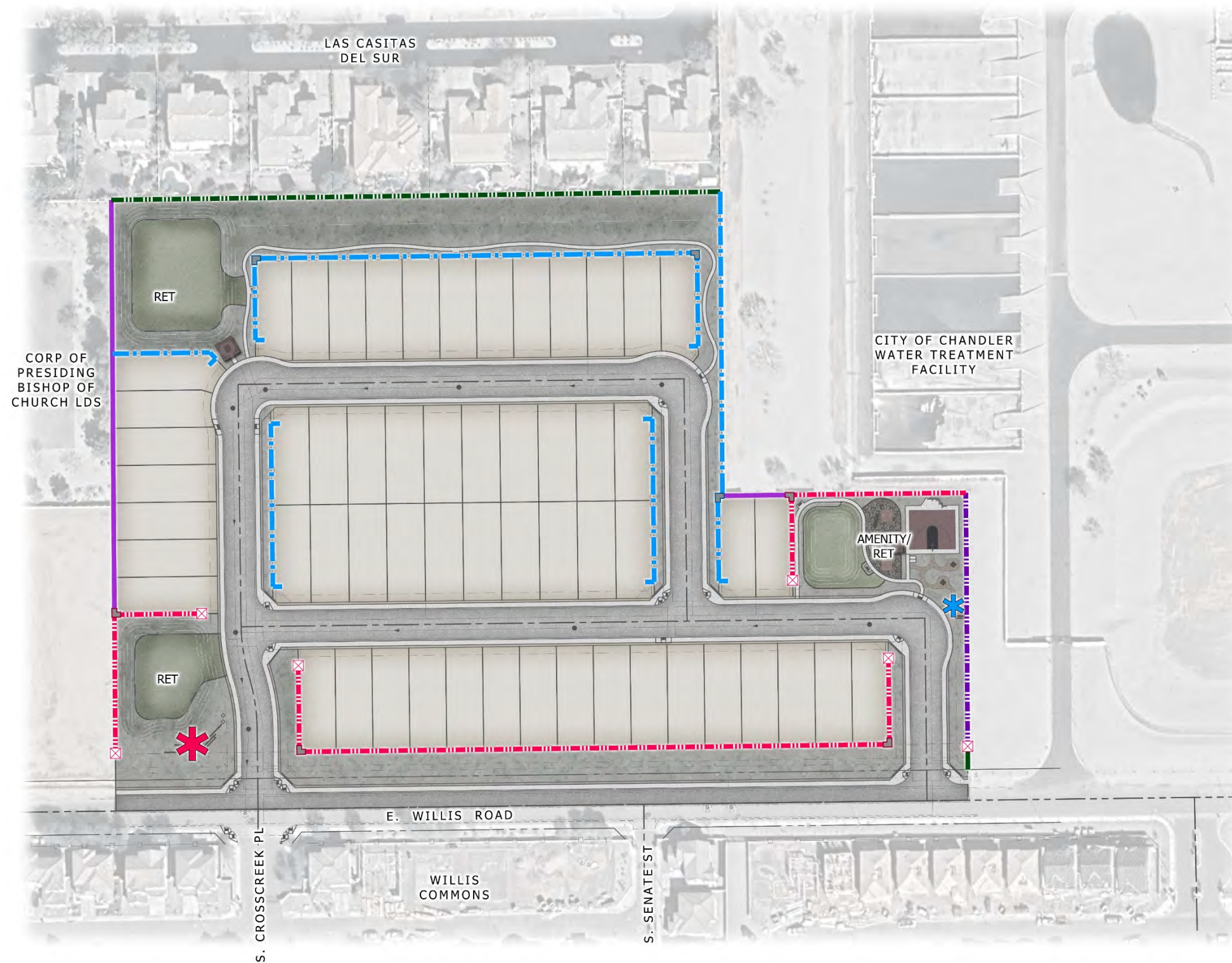
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




**MCQUEEN & WILLIS**  
Conceptual Parking Plan



SEASONS AT MCQUEEN | WALL PLAN EXHIBIT



WALL LEGEND

-  EXISTING WALL TO REMAIN IN PLACE
-  RETAINING WALL
-  PRIMARY THEME WALL
-  PRIMARY THEME WALL ON RETAINING WALL
-  SECONDARY THEME WALL
-  DOOLEY WALL
-  PRIMARY THEME COLUMN
-  PRIMARY CORNER ACCENT PILASTER
-  SECONDARY CORNER ACCENT PILASTER
-  SECONDARY THEME WALL RETURN
-  PRIMARY ENTRY MONUMENT
-  SECONDARY ENTRY MONUMENT

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.



**MCQUEEN & WILLIS**  
Wall Plan

Plan Scale 1:50 Date:08-27-2025



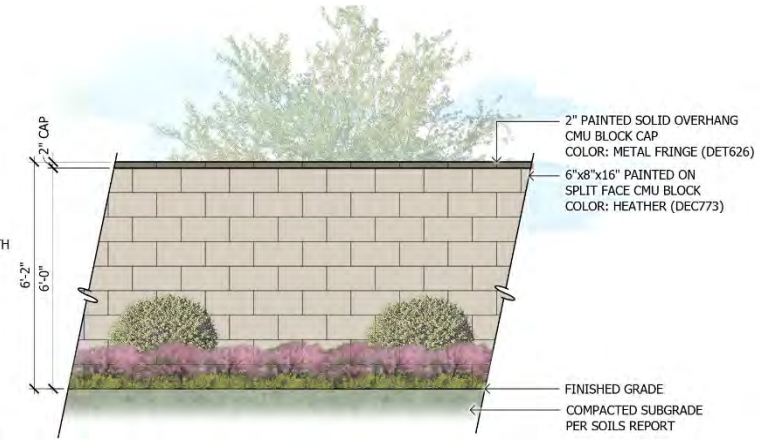
SEASONS AT MCQUEEN | CONCEPTUAL WALL DETAILS EXHIBIT



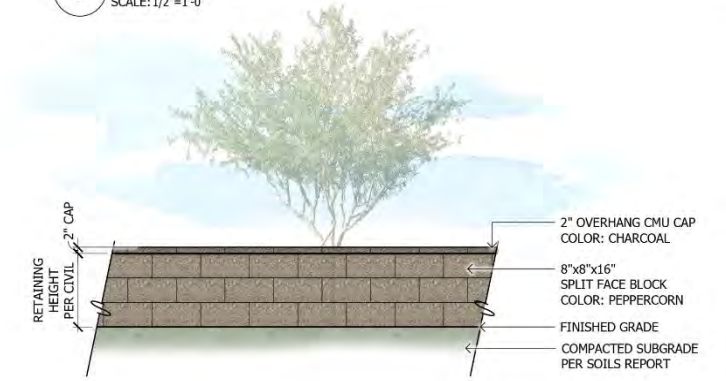
1 Primary Theme Wall  
SCALE: 1/2"=1'-0"



2 Primary Theme Column  
SCALE: 1/2"=1'-0"



3 Secondary Theme Wall  
SCALE: 1/2"=1'-0"



4 Retaining Wall  
SCALE: 1/2"=1'-0"



5 Dooley Wall  
SCALE: 1/2"=1'-0"



6 Primary Theme Wall on Top of Retaining Wall  
SCALE: 1/2"=1'-0"



Colors and Materials  
SCALE: NTS



MCQUEEN & WILLIS  
Conceptual Wall Details 1

Date: 08-27-2025



SEASONS AT MCQUEEN | CONCEPTUAL WALL DETAILS EXHIBIT

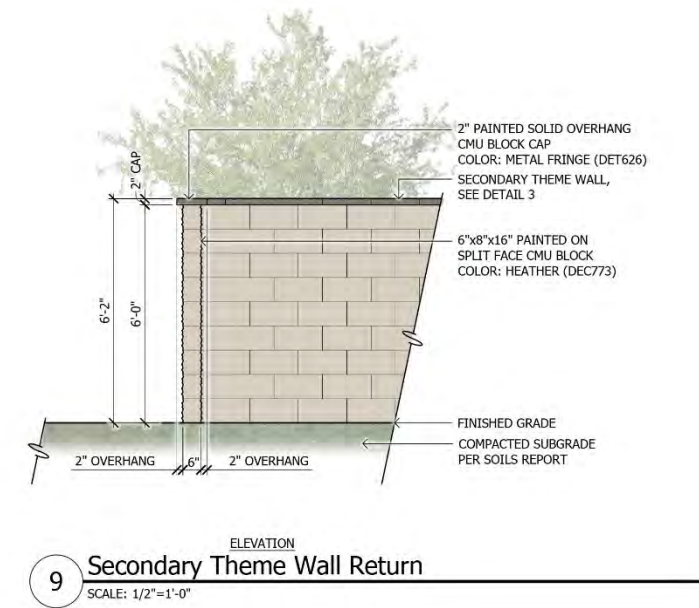
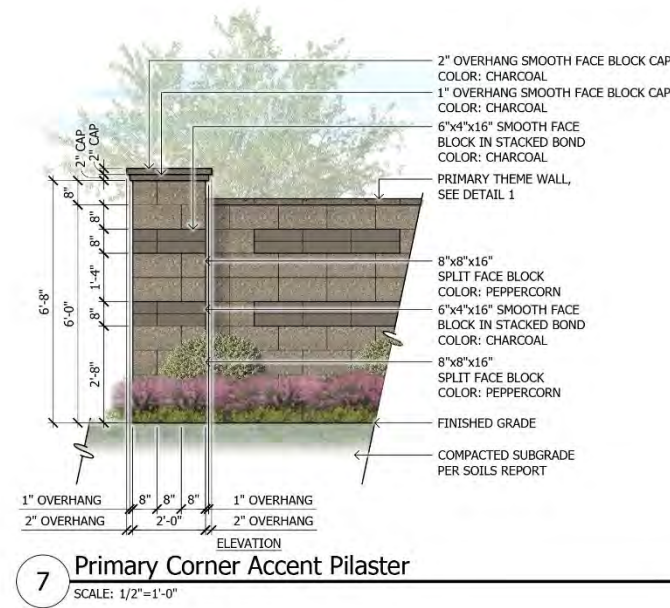


IMAGE FOR DESIGN INTENT  
SPLIT FACE  
MANUFACTURER: SUPERLITE  
COLOR: PEPPERCORN OR  
APPROVED EQUAL



IMAGE FOR DESIGN INTENT  
SMOOTH FACE  
MANUFACTURER: SUPERLITE  
COLOR: CHARCOAL OR APPROVED  
EQUAL



IMAGE FOR DESIGN INTENT  
PAINT COLOR  
MANUFACTURER: DUNN EDWARDS  
COLOR: HEATHER (DEC773) OR  
APPROVED EQUAL



IMAGE FOR DESIGN INTENT  
PAINT COLOR  
MANUFACTURER: DUNN EDWARDS  
COLOR: METAL FRINGE (DET626) OR  
APPROVED EQUAL

**Colors and Materials**  
SCALE: NTS

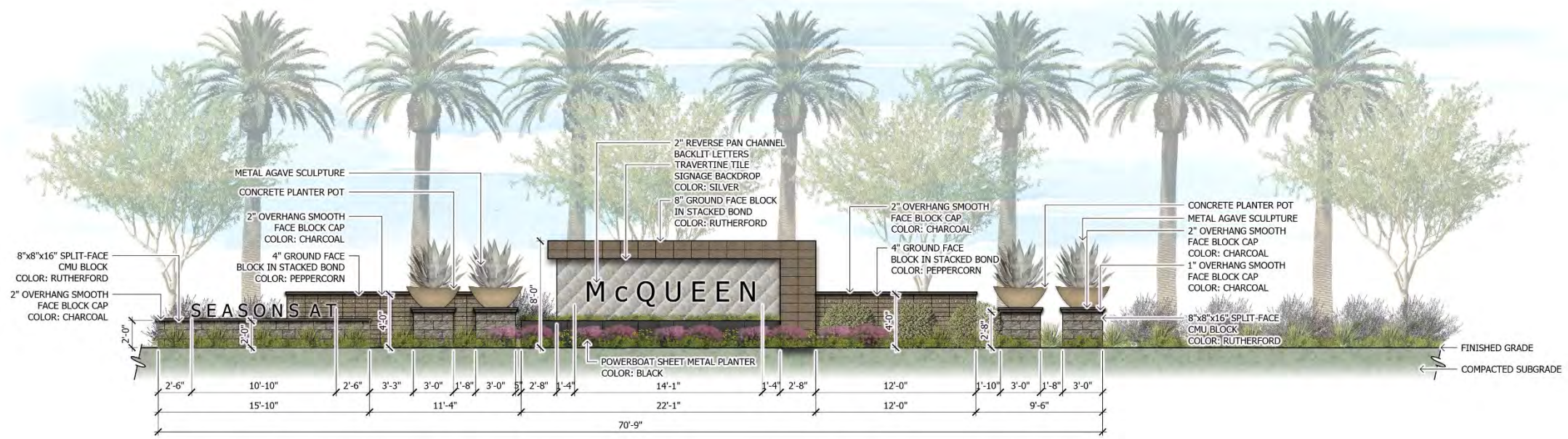


**MCQUEEN & WILLIS**  
Conceptual Wall Details 2

Date: 08-27-2025



SEASONS AT McQUEEN | CONCEPTUAL MONUMENTATION EXHIBIT



1 Primary Entry Monument  
SCALE: 1/4"=1'-0"



2 Secondary Entry Monument  
SCALE: 1/4"=1'-0"



IMAGE FOR DESIGN INTENT  
SPLIT FACE  
MANUFACTURER: SUPERLITE  
COLOR: RUTHERFORD OR APPROVED  
EQUAL



IMAGE FOR DESIGN INTENT  
TRENDSTONE  
MANUFACTURER: SUPERLITE  
COLOR: PEPPERCORN  
OR APPROVED EQUAL



IMAGE FOR DESIGN INTENT  
GROUND FACE  
MANUFACTURER: SUPERLITE  
COLOR: RUTHERFORD  
OR APPROVED EQUAL



IMAGE FOR DESIGN INTENT  
SMOOTH FACE  
MANUFACTURER: SUPERLITE  
COLOR: CHARCOAL  
OR APPROVED EQUAL



IMAGE FOR DESIGN INTENT  
TRAVERTINE TILE  
MANUFACTURER: QDI SURFACES  
COLOR: SILVER  
OR APPROVED EQUAL

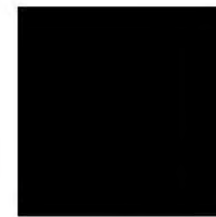


IMAGE FOR DESIGN INTENT  
POWDERCOAT  
METAL  
COLOR: BLACK OR APPROVED EQUAL

Colors and Materials  
SCALE: NTS



**MCQUEEN & WILLIS**  
Conceptual Monumentation

Date: 08-27-2025

