



The Townsite proposal

From Matt Trink <mattrink@yahoo.com>

Date Wed 1/14/2026 10:49 PM

To Mikayela Liburd <Mikayela.Liburd@chandleraz.gov>

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Hi Mikayela:

I was unable to attend the January 12th meeting regarding the proposed development across from my home, but I want to formally voice my opposition. I live in the agricultural area directly across the open pasture. Please let me know the appropriate person to contact to ensure my concerns are entered into the record.

It appears the same attorney representing the Basha's development is now pushing what is essentially a duplicate project across the street. The community already rejected 114 homes there — now we are being asked to absorb 12 more in an area specifically zoned to prevent this type of density.

What is the actual benefit to the community here? These agricultural zones exist to protect land use, spacing, and quality of life. Many of us bought here specifically because of the lot sizes and open land. Reclassifying this property undermines that promise.

Traffic is already strained during sports seasons. Adding more homes will only make it worse.

This is exactly why the Planning Division exists — to protect neighborhoods from inappropriate development. Please do not allow pressure from developers or attorneys to override what is best for the residents who live here every day.

I would appreciate an explanation for why this and the previous development are being easily allowed to proceed with community objection. There are far fewer homes and homeowners in the area because of the current spacing. That should not be taken as there is low opposition.

Thank you,

Matt Trink



Webform Submission From: Planning and Zoning Commission Public Comment Form

From City of Chandler <no-reply@chandleraz.gov>

Date Thu 2/5/2026 4:06 PM

To David De La Torre <David.DeLaTorre@chandleraz.gov>; POD <POD@chandleraz.gov>

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Submitted on Thu, 02/05/2026 - 04:06 PM

Submitted by: Anonymous

Submitted values are:

Name

John Vair

Address

4490 S. Montana Drive
Chandler, Arizona. 85248

Phone Number

(206) 218-3649

Agenda Item No.

Wednesday, February 18 - PLH25-0040 The Townsite

Comments

This proposed development comes at about the same time as the development of PLH25-0016-0017 along S. Basha road. There are also some nearby vacant lots that could be proposed for development in the near future. I would like to understand the Planning and Zoning Commission's vision for this area between Snedigar Sportsplex and W. Ocotillo Rd. With the number of families and children that use the Sportsplex, Basha Elementary and this area, it seems important to have a vision for development that provides a safe speed-mitigated road, wide bicycle and pedestrian paths, as well as visual appeal. Thank you!

Attn: City of Chandler, Development Services Department Planning Division

I am writing to submit comments regarding Case No. PLH24-0040 (Townsite Project) for inclusion in the project record and staff review. I live in close proximity to the project site and am also a licensed landscape architect practicing in the Valley. I currently serve on the Chandler Planning and Zoning Commission and will formally recuse myself from any involvement in this case if deemed necessary by the City. These comments are submitted solely in my capacity as a nearby resident and design professional.

To summarize, the following are my primary concerns:

1. South Boundary Condition and Dissimilar Land Uses
2. Edge Design and Wall Treatment
3. Transition Lots and Building Height Considerations
4. Grading and Cross-Section Concerns
5. Collector Street Access and Sight Distance Compliance

1) South Boundary Condition and Dissimilar Land Uses - My primary concern relates to the south boundary of the project, which abuts AG-1 zoned property. Agricultural and single-family subdivision uses are distinct land-use categories under the Chandler Zoning Code, with materially different intensity and impact profiles. Section 35-1903 addresses perimeter landscape strips and landscape buffer areas where dissimilar land uses abut. In reviewing the current plan, it appears that this edge relies largely on a minimum-width landscape strip and a continuous CMU wall. Given the sensitivity of this boundary, I ask that staff carefully evaluate whether the proposed treatment fully meets the intent of Section 35-1903 with respect to buffering, screening, and providing an appropriate transition.

2) Edge Design & Wall Treatment - the south edge currently reads as a long, uninterrupted CMU wall with limited landscape depth. Chandler's design standards emphasize quality and compatibility, and generally discourage extended, unvaried boundary conditions. I believe this interface presents an opportunity for stronger architectural articulation and more substantial landscape layering than what is currently shown.

3) Transition Lots and Building Height Considerations - Lots 11 and 12 are substantially deeper than the remainder of the subdivision (129' lot depth) indicating that this boundary is already being recognized as a sensitive interface. However, increased lot depth alone does not function as a landscape buffer. I request staff evaluate whether additional transition measures are appropriate along this edge, including potential increased buffer/easement, dedicated landscape tracts, and building height limitations on lots backing the south boundary, to ensure long-term compatibility. As a neighbor on this southern edge, I would prefer to see single story homes over two story homes.

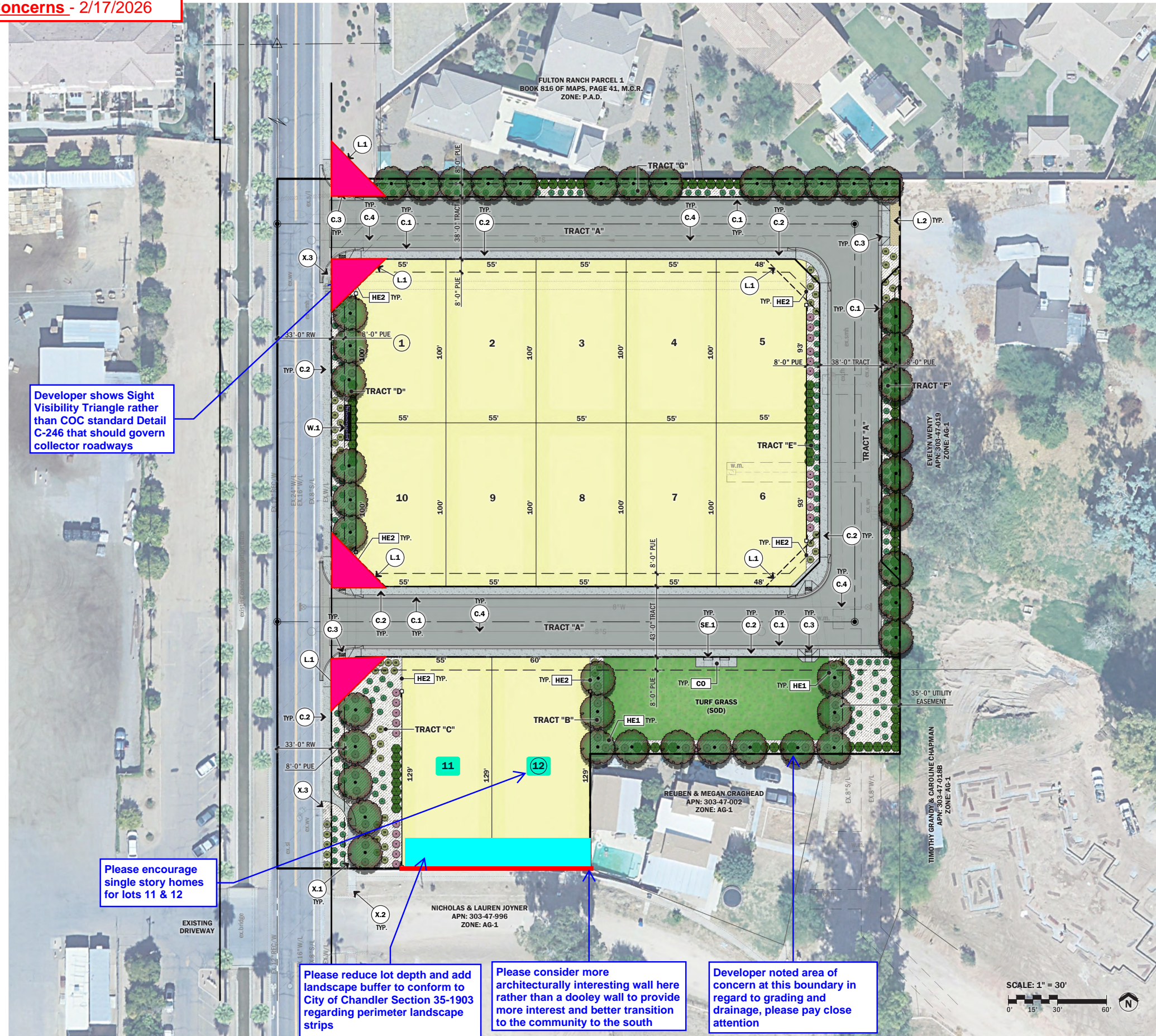
4) Grading and Cross-Section Concerns - During the neighborhood meeting, potential grading challenges along the south boundary were mentioned. I believe it would be helpful for staff to review cross-sections showing existing grades, proposed finished grades, wall heights, and finished floor elevations. That information will be important in confirming that the south edge does not result in excessive wall heights, drainage issues, or unintended visual and privacy impacts.

5) Collector Street Access and Sight Distance Compliance - Finally, Basha Road functions as a collector roadway. City of Chandler Standard Detail C-246 governs sight distance requirements for arterial and collector streets. While the current exhibits show sight visibility triangles, it is not clear that the required D-distance corridors tied to posted speed have been fully demonstrated. I request confirmation that all access points comply with C-246 and that walls, landscaping, and grading do not encroach into the required sight distance envelopes.

In closing, I appreciate the opportunity to submit these comments for staff consideration. I respectfully request that the above items be evaluated as part of the ongoing review process and that any necessary revisions be incorporated to ensure consistency with Chandler's zoning, landscape, design, and engineering standards.

Kind regards,

Ryan Schwarzer, PLA
Email: ryan@rsladesign.com
Phone: (951) 514-9018
Address: 4471 S Basha Rd, Chandler, AZ 85248



Developer shows Sight Visibility Triangle rather than COC standard Detail C-246 that should govern collector roadways

Please encourage single story homes for lots 11 & 12

Please reduce lot depth and add landscape buffer to conform to City of Chandler Section 35-1903 regarding perimeter landscape strips

Please consider more architecturally interesting wall here rather than a dooley wall to provide more interest and better transition to the community to the south

Developer noted area of concern at this boundary in regard to grading and drainage, please pay close attention

LEGEND

---	PROPERTY LINE
- - -	EASEMENT LINE
- · - · -	LANDSCAPE SETBACK LINE
- · - · -	SIGHT VISIBILITY LINE
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
⊙	FIRE HYDRANT SEE CIVIL ENG. PLANS

PROJECT TEAM

OWNER / DEVELOPER
PORCHLIGHT HOMES
 2915 E. BASELINE ROAD, SUITE 118
 GILBERT, AZ 85234
 PH: (480) 813.1324

CONTACT: RYAN LARSEN
 EMAIL: RLARSEN@PORCHLIGHTHOMES.COM

CIVIL ENGINEER
CLOUSE ENGINEERING
 5010 E. SHEA BLVD., SUITE 110
 SCOTTSDALE, AZ 85254
 PH: (602) 395.9300

CONTACT: JEFF GILES
 EMAIL: JGILES@CLOUSEAZ.COM

LANDSCAPE ARCHITECT
THOMAS + CROWLEY LLC
 1150 N. COUNTRY CLUB DRIVE, STE 11
 MESA, AZ 85201
 P: (480) 878.4708

CONTACT: CRAIG CROWLEY, RLA
 EMAIL: CRAIG@THOMAS-CROWLEY.COM

LANDSCAPE DATA

TOTAL LS AREA:	26,809 S.F. (0.615 AC)
OFFSITE LS AREA:	204 S.F. (0.005 AC)
ONSITE LS AREA:	26,605 S.F. (0.610 AC)
TOTAL TURF AREA:	6,757 S.F. (.155 AC)
TURF % OF LS AREA:	25.2%

LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY
	<i>PISTACIA X 'RED PUSH'</i> RED PUSH CHINESE PISTACHE STANDARD TRUNK	24" BOX	45

SYMBOL	COMMON NAME	SIZE	QTY
	<i>DODONEA VISCOSA</i> GREEN HOPSSEED BUSH	5 GAL.	105
	<i>NERIUM OLEANDERU</i> 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.	104
	<i>EREMOPHILA HYGROPHANA</i> 'BLUE BELLS' BLUE BELLS EREMOPHILA	5 GAL.	180

SYMBOL	COMMON NAME	SIZE	QTY
	<i>EREMOPHILA GLABRA</i> 'MINGENEW GOLD' OUTBACK SUNRISE EMU	1 GAL.	96
	<i>ROSEMARINUS OFFICINALIS</i> 'PROSTRATUS' TRAILING ROSEMARY	1 GAL.	8

SYMBOL	COMMON NAME	QTY
	<i>TURF GRASS</i> CYNODON DACTYLON 'MIDIRON' HYBRID BERMUDA GRASS (SOD)	6,757 S.F.

SYMBOL	COMMON NAME	QTY
	<i>DECOMPOSED GRANITE</i> SIZE: 1/2" SCREENED COLOR: MOHAGANY BY ROCK PROS USA (OR EQUAL) 2" DEEP MINIMUM	19,895 S.F.

SYMBOL	COMMON NAME	QTY
	<i>STABILIZED GRANITE</i> SIZE: 1/4" MINUS WITH STABILIZER COLOR: SUPERIOR GOLD BY ROCK PROS USA (OR EQUAL) 3" DEEP MINIMUM	156 S.F.

HARDSCAPE SCHEDULE

KEY	SYMBOL	MATERIAL	QTY
CO		REGULAR CONCRETE COLOR: REGULAR GRAY WITH MEDIUM BROOM FINISH	150 S.F.

KEY	SYMBOL	MATERIAL	QTY
HE1		CONCRETE TURF HEADER SIZE: 6" x 6" COLOR: REGULAR GRAY	239 L.F.

KEY	SYMBOL	MATERIAL	QTY
HE2		CONCRETE HEADER AT ENDS OF COLUMNS SIZE: 6" x 6" COLOR: REGULAR GRAY	116 L.F.

KEYED NOTES

- X.X EXISTING
- X.1 EXISTING SIDEWALK AND CURB, DO NOT DISTURB
- X.2 EXISTING RAMP, DO NOT DISTURB
- X.3 EXISTING FIRE HYDRANT, DO NOT DISTURB
- C.X CIVIL
- C.1 CONCRETE CURB, SEE CIVIL PLANS
- C.2 CONCRETE SIDEWALK, SEE CIVIL PLANS
- C.3 RAMP, SEE CIVIL PLANS
- C.4 UTILITIES, SEE CIVIL PLANS
- L.X LANDSCAPE
- L.1 33' x 33' SVTE
- L.2 STABILIZED GRANITE, SEE LANDSCAPE SCHEDULE
- W.X WALLS / MONUMENTS
- W.1 ENTRY MONUMENT, SEE SHEET L3
- SE.X SITE EQUIPMENT
- SE.1 6'-0" LONG BENCH WITH BACK