



# The Bower Dobson

## PAD Amendment & Proposed Development Plan

Case# PLH25-0028

Single Family Residential Community at NEC of Pennington  
Drive and Commonwealth Street

Submitted to

City of Chandler  
January 13, 2026

## **Project Team**

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## **Project Overview / Introduction**

This approximately 4.13-acre vacant infill property is located at the northeast corner of Pennington Drive and Commonwealth Street in the City of Chandler (identified as APNs 303-23-982 and 303-23-983). This application proposes an amendment to the existing PAD and approval of a Preliminary Development Plan (PDP) to allow the development of a 23-lot single-family residential subdivision with detached two-story homes (5.57 dwelling units per gross acre). This community is designed with large perimeter landscaped tracts along the northern and southern edges, with vehicular access being provided from Commonwealth Street.

The property was zoned PAD in 1986 and designated for specialty retail uses such as restaurant, retail, and financial institutions. However, the site has proven to not be viable for commercial development and has most recently been used as a storage yard for construction equipment.

The proposed development aligns with the site's General Plan designation of "Neighborhoods," which allows for a variety of residential housing types and densities.

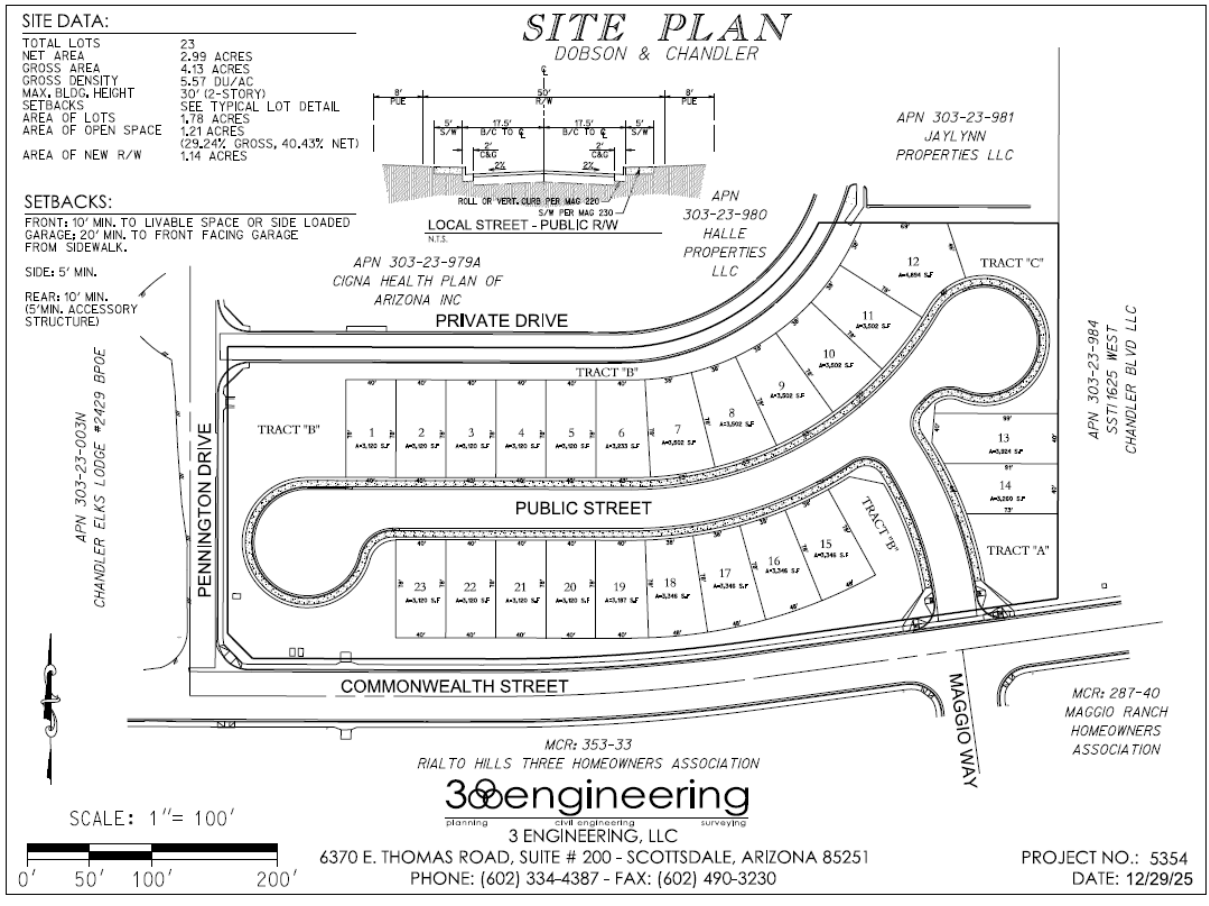
The site's location, shown on Exhibit 1 below, is within an established area of Chandler and its proximity to neighborhood amenities and employment centers make it well-positioned for infill residential development that can contribute to the vitality of the surrounding community.

*Exhibit 1: Site Location Map*



On the next page is the proposed layout for the community with Maggio Way connecting into a cul-de-sac street that creates a strong sense of cohesion for residents.

Exhibit 2: Conceptual Site Plan



**Surrounding Context & Compatibility**

The property is located in a diverse, mixed-use area of Chandler and is surrounded by a combination of commercial and residential development. To the north, west, and east, the adjacent properties are primarily commercial in nature, including neighborhood retail, medical offices, and storage uses. These sites are generally zoned PAD to support a flexible mix of commercial activity. To the south, the land transitions to residential use. Directly to the southwest and southeast are established single-family and multifamily residential neighborhoods, also within PAD-zoned districts.

The proposed single-family subdivision fits well within this setting. It serves as a natural land use transition between the active commercial corridor along Chandler Boulevard and the quieter residential neighborhoods to the south. The project reinforces the area's mixed-use character while respecting nearby homes through thoughtful design and appropriate density.

Table 1: Surrounding Zoning and Uses

<b>Direction</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	PAD	Office, Discount Tires, Dentist and Beauty shop
South	PAD	Rialto Hills III; Single Family Residential
East	PAD	ExtraSpace Storage
West	AG-1	Elks Lodge

**General Plan Conformance**

The project site is currently designated as “Neighborhoods” under the Chandler 2026 General Plan, which supports a mix of residential housing types and densities. The proposed 23-lot subdivision, at a density of 5.57 dwelling units per acre, falls well within the intended range for this land use category and complements the surrounding neighborhood fabric. Thus, no amendment to the General Plan is needed.

The existing General Plan land use category encourages reinvestment in underutilized or vacant parcels, especially those within mature areas of the city. Converting this former storage yard into a high-quality single-family community reflects that goal and contributes to Chandler’s vision of maintaining vibrant, well-connected neighborhoods and provides diversity in housing opportunities.

The proposed subdivision has been thoughtfully designed with landscaped buffers and point of access to ensure compatibility with surrounding properties. The site’s location near existing infrastructure, employment, and community amenities further supports the City’s strategy of directing growth to areas that are already well served.

Overall, the proposed development represents a logical and desirable use of the property that aligns with the City’s land use policies and long-term planning goals.

**PAD Zoning & Permitted Uses**

The site will be developed as a detached single-family residential community in alignment with the intent of the SF-8.5 Zoning District (Urban Single-Family Residential) except for the tailoring of certain development standards through the PAD which is provided to suit the unique characteristics of the site.

**Permitted Uses**

1. Single-family dwellings
2. One (1) accessory building, in accordance with Article XXII, section 35-2202
3. Home occupations as defined in accordance with Article XXII, section 35-2215.
4. Storage shed, in accordance with Article XXII, section 35-2203

5. Signs in accordance with the Chandler Sign Code [Chapter 39]
6. Fences, walls, and landscape screens not exceeding seven (7) feet in height adjacent or contiguous to rear and side yard lines and not to exceed three (3) feet in height adjacent or contiguous to the front yard lines
7. Swimming pools, private, in accordance with Article XXII, section 35-2205
8. Accessory dwelling units, in accordance with Article XXII, section 35-2202.2

### **PAD Development Standards**

The proposed PAD establishes development standards with minor deviations from the City’s base SF-8.5 zoning district to better accommodate the site’s infill context, provide a range of architectural styles, and promote an efficient yet high-quality single-family neighborhood layout.

The PAD allows for reduced lot widths and modified setbacks while maintaining overall compatibility with surrounding development and meeting the intent of the City’s residential design guidelines. Table 2 below describes the proposed development standards with deviations from the SF-8.5 provided in bold.

*Table 2: Proposed Development Standards*

<b>Development Standard</b>	<b>SF-8.5</b>	<b>Proposed with PAD</b>
Minimum Lot Size	8,500sf	<b>3,120sf</b>
Minimum Lot Width	70ft	<b>40ft</b>
Minimum Lot Depth	121ft	<b>80ft</b>
Maximum Height	30ft	30ft (2 stories)
Front setback	Same as AG-1 Range from 20-50ft	10ft to building from the property line 20ft from back of sidewalk to face of garage
Rear setback	10ft	10ft (to primary building) 5ft to rear patio/accessory structure
Side setback (Interior Lots)	5ft and 10ft (15ft total between both side yards)	<b>5ft (10ft total between both side yards)</b>
Side setback (Corner Lots)	5ft interior; street side shall be ½ as required for the front yard setback	<b>No Lots Designated as Corner Lots</b>

Maximum Lot Coverage	40%	<b>55% (inclusive of covered patio/porch)</b>
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While these standards establish the minimum requirements, the site plan is intentionally designed with a variety of home styles, entry configurations, and architectural features that result in deeper setbacks and greater separation on many lots. This variation enhances visual interest, improves curb appeal, and meets the City’s expectations for four-sided architecture and neighborhood character.

These deviations are necessary to allow a more compact lot configuration appropriate for infill development while still providing functional yards, privacy, and quality design throughout the community.

### **Design Features**

The community will incorporate a variety of architectural styles to ensure visual interest and compatibility with surrounding development. Styles include Desert Contemporary, Modern Spanish, Mid-Century Modern, and Modern Prairie. Each style is delivered with three plan options creating a total of 12 building options for this 23-lot community. Ranging in size from 1,807 square feet to 2,214 square feet, each home design offers 3-4 bedrooms in a 2-story configuration. Enhanced design treatments will be used on corner lots, including deeper setbacks and additional landscaping. All homes will feature four-sided architecture and consistent streetscape elements. Landscaped entry features and open space areas will contribute to a cohesive and high-quality neighborhood environment. Each architectural style brings its own hallmark features, contributing to a visually rich yet cohesive community identity:

- **Desert Contemporary** homes embrace the local environment through natural materials and muted earth tones. Hip roofs, stucco and stone facades.
- **Spanish Modern** architecture adds warmth and elegance through stucco finish, vertical siding accents, contemporary interpretations of classic clay roof forms and prominent stone features.
- **Mid-century Modern** designs showcase clean lines, ‘wood’ tile accents and stacked brick elements.
- **Modern Prairie** elevations emphasize strong horizontal lines, hip roofs, wide eaves, and low-slung rooflines, evoking a sense of stability and harmony with the land.

Together, these styles create an inviting, forward-looking neighborhood that feels rooted in place. The development enhances Chandler’s existing fabric by reflecting its appreciation for innovation & architectural diversity. With homes designed for today’s lifestyles but inspired by the region’s history and natural beauty, this community will stand as a thoughtful, enduring addition to Chandler’s evolving landscape.

*Exhibit 3: Conceptual Elevations*



elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



elevationA - DESERT CONTEMPORARY



elevationB - MODERN SPANISH



elevationC - MID-CENTURY MODERN



elevationD - MODERN PRAIRIE



RIGHT ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



REAR ELEVATION



REAR ELEVATION



REAR ELEVATION



REAR ELEVATION

## **Preliminary Development Plan (PDP)**

The Preliminary Development Plan (PDP) establishes the development framework and site design standards for the proposed 23-lot single-family subdivision. While the exhibits are conceptual in nature, they illustrate the intended character, quality, and functionality of the neighborhood and will serve as the basis for detailed site and building review during the permitting process.

All future plans for the site will be consistent with the general intent of the approved site plan and architectural guidelines submitted with this application. Final building elevations and landscape plans will be reviewed administratively by City planning staff to ensure compliance with the PAD and PDP.

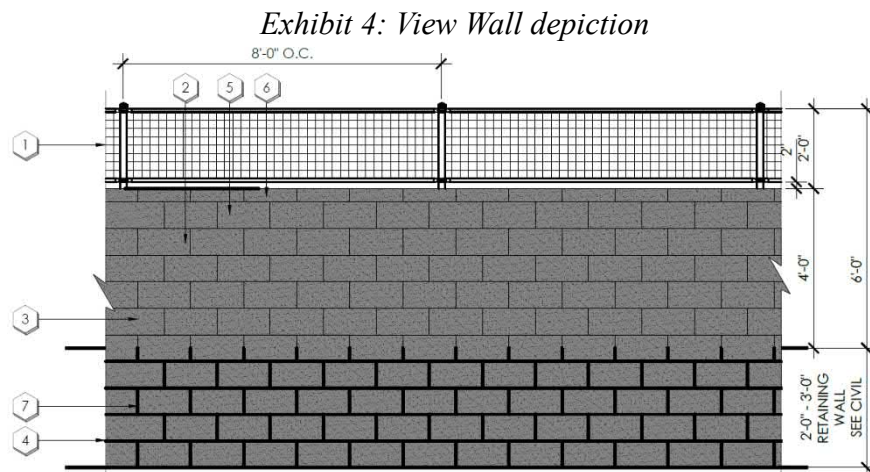
### **Site Layout**

The subdivision is designed with an internal public street providing access directly from Commonwealth Street. The site plan incorporates perimeter landscape buffers along the boundaries, contributing to an appropriate transition between adjacent commercial and residential uses.

The lots are arranged in a conventional configuration to maximize functionality, ensure adequate separation between homes, and create a cohesive neighborhood layout. Open space tracts are strategically placed within the community to soften the street grid and offer visual relief and recreational opportunities.

### **Walls and Fencing**

The community is designed as a small infill neighborhood with open access (not gated). A 6 foot theme wall will enclose residential lots consisting of undulating concrete block. A partial view wall will enclose retention areas. Retaining walls will be utilized in retention basins and a 4-foot retaining wall height is proposed in limited locations where additional wall is not provided on top of the retaining wall.



All of the walls will comply with the City's code requirements except for the following deviations:

*Lot 1 western boundary:*  
2-3-ft retaining wall  
4-5-ft block wall  
2-ft view fence  
(Maximum 9-ft on basin side and 7-ft on lot side)

*Lot 12 northern and eastern boundary:*  
2-3-ft retaining wall  
4-5-ft block wall  
2-ft view fence  
(Maximum 9-ft on basin side, 7-ft on commercial side, and 7-ft on lot side)

### **Vehicular Access and Circulation**

Primary vehicular access into this community will be provided from Commonwealth Street aligned with Maggio Way immediately south. The entrance is designed with 2 large landscaped areas on either side of the street to provide an enhanced sense of arrival. The internal circulation system is designed to be efficient and neighborhood-scaled, with reduced speeds and clear visibility throughout. Emergency vehicle access and refuse collection routes will be accommodated per City standards.

The design maintains full access for public services and integrates well with surrounding infrastructure. The layout provides 2 cul-de-sacs designed for sufficient refuse turnaround capacity.

### **Pedestrian Connectivity**

The PDP includes sidewalks on both sides of the street with additional pathways integrating the neighborhood, allowing safe and convenient pedestrian access to open space areas and connections to the surrounding community and the public park to the south.

### **Open Space and Amenities**

Several usable common open space tracts have been distributed across the site to support neighborhood livability and meet City requirements. These areas will include landscaping, bench or wall seating, shade trees, and dog waste disposal stations. The site also includes sufficient 3:1 slope retention basins to ensure adequate stormwater retention on site. The open space tracts surround the homes and provide landscaped buffers between the future homes and the public streets to the west and south and the private street within the adjacent commercial to the north. Open Space tracts will be owned and managed by the community.

Maggio Ranch Park is located 0.3 miles south of this neighborhood that residents can easily walk to for recreation. The entire site layout is designed with 1.21 acres or 40.43% net common open space which will provide a pleasant visual appearance to passersby.

### **Landscape Design and Theme**

The landscape design for this community emphasizes privacy, shade, and sustainability, using plant material and layout strategies that are well-suited to Arizona's desert climate. The streetscape and open space areas will feature a layered palette of trees, shrubs, and groundcover to soften views, provide privacy between homes, and reduce the visual scale of buildings from the street.

Native and low-water-use species will be prioritized throughout the site to promote long-term sustainability, reduce irrigation demands, and create a landscape that reflects the regional setting. Tree placement will focus on providing meaningful shade over walkways, driveways, and yard areas to reduce heat retention and improve comfort for residents and pedestrians. Buffer landscaping along the perimeter will provide screening from adjacent commercial uses while reinforcing a green, walkable edge to the community.

Homes with reduced setbacks will be balanced by landscape treatments that maintain privacy through strategic planting, including trees and tall shrubs between units and in side yard areas. Common areas and amenity spaces will incorporate shade trees and flowering native species to create inviting outdoor environments with year-round color and texture.

Final landscape plans will meet or exceed City of Chandler standards and reflect a consistent, cohesive neighborhood theme based on high-quality, desert-adapted materials.

*Exhibit 5: Conceptual Landscape Plan*



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## **Conclusion**

This amendment will allow for the development of an underutilized and challenging infill site with

an additional housing product for the City of Chandler. The site has sat vacant, used as a construction yard storage site, for many years and approval of this amendment will bring a fresh new housing community to this area. The Bower Dobson development is designed to complement the character of the surrounding community while introducing a fresh, elevated architectural vision.

**LEGAL DESCRIPTION  
FOR  
Dobson & Chandler**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

Lots 4 and 5, LOT 1 A, MAGGIO RANCH AMENDED according to Book 357 of Maps, Page 29 records of Maricopa County, Arizona,



6370 E. Thomas Road, Suite #200, Scottsdale, Arizona 85251  
Phone (602) 334-4387 · Fax (602) 490-3230 · [www.3engineering.com](http://www.3engineering.com)  
3 engineering job # 5354 · Date: June 17, 2025



N. PENNINGTON DRIVE

PRIVATE DRIVE

W. COMMONWEALTH STREET

W. MAGGIO WAY

# DOBSON & CHANDLER

## AERIAL MAP

# 3eengineering

planning civil engineering surveying

3 ENGINEERING, LLC  
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PHONE: (602) 334-4387 - FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 5/2/25  
PROJECT NO: 5354



1"=50

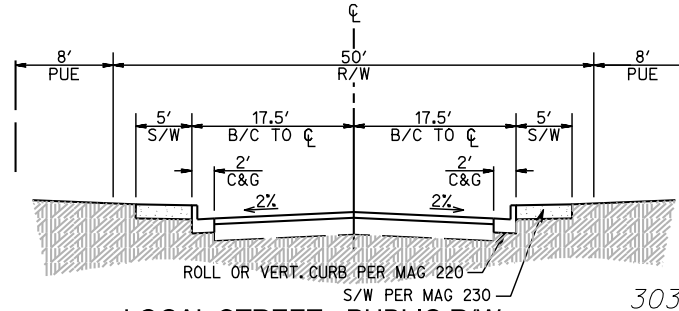
**SITE DATA:**

TOTAL LOTS 23  
 NET AREA 2.99 ACRES  
 GROSS AREA 4.13 ACRES  
 GROSS DENSITY 5.57 DU/AC  
 MAX. BLDG. HEIGHT 30' (2-STORY)  
 SETBACKS SEE TYPICAL LOT DETAIL  
 AREA OF LOTS 1.78 ACRES  
 AREA OF OPEN SPACE (29.24% GROSS, 40.43% NET) 1.21 ACRES  
 AREA OF NEW R/W 1.14 ACRES

**SETBACKS:**

FRONT: 10' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM SIDEWALK.  
 SIDE: 5' MIN.  
 REAR: 10' MIN. (5' MIN. ACCESSORY STRUCTURE)

**SITE PLAN**  
 DOBSON & CHANDLER



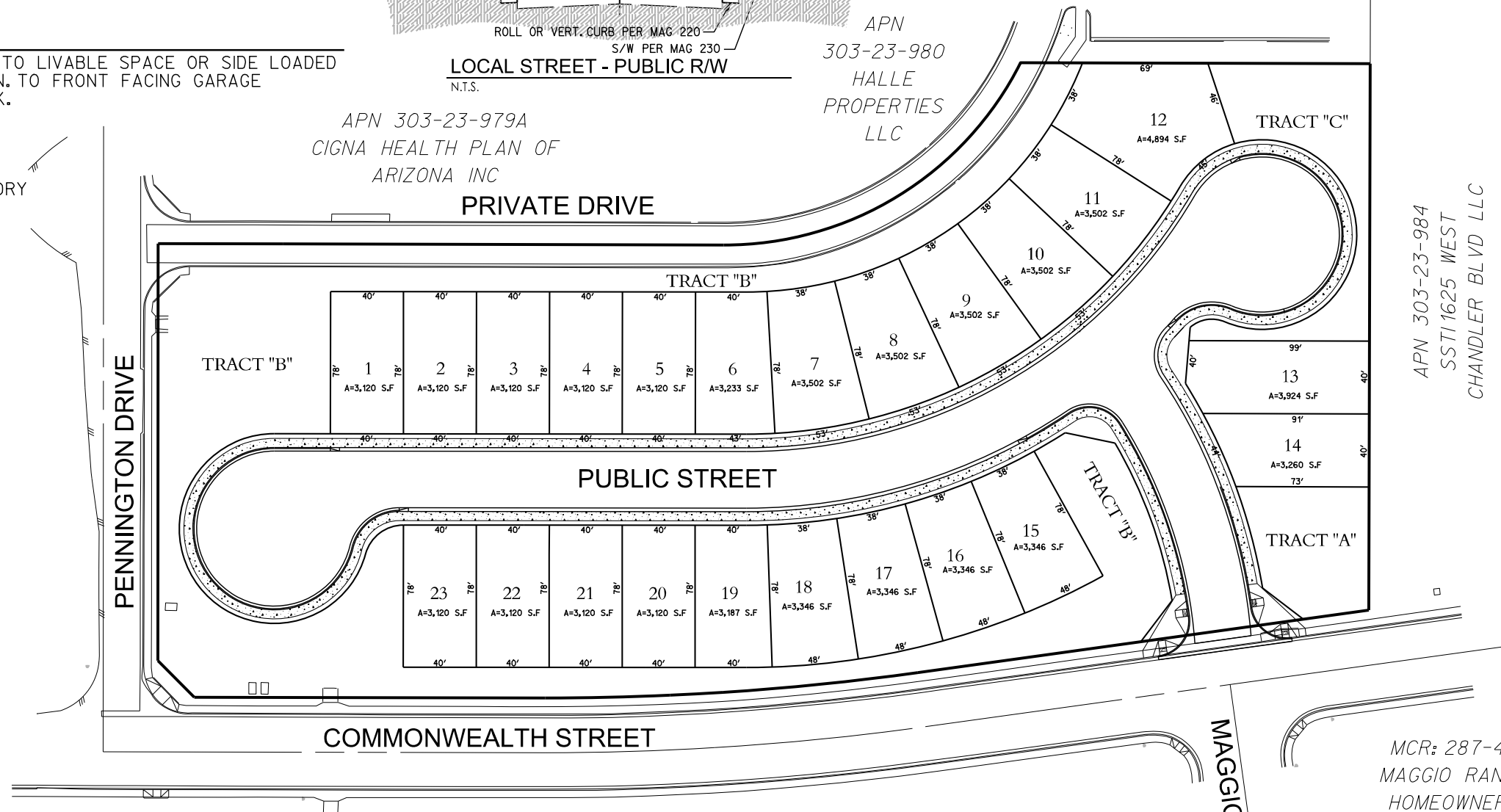
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 JAYLYNN  
 PROPERTIES LLC

APN 303-23-980  
 HALLE  
 PROPERTIES  
 LLC

APN 303-23-979A  
 CIGNA HEALTH PLAN OF  
 ARIZONA INC

APN 303-23-984  
 SSTI1625 WEST  
 CHANDLER BLVD LLC

APN 303-23-003N  
 CHANDLER ELKS LODGE #2429 BPOE

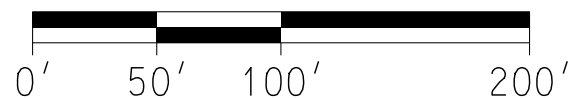


COMMONWEALTH STREET

MCR: 353-33  
 RIALTO HILLS THREE HOMEOWNERS ASSOCIATION

MCR: 287-40  
 MAGGIO RANCH  
 HOMEOWNERS  
 ASSOCIATION

SCALE: 1" = 100'



**3 engineering**  
 planning civil engineering surveying

3 ENGINEERING, LLC

6370 E. THOMAS ROAD, SUITE # 200 - SCOTTSDALE, ARIZONA 85251  
 PHONE: (602) 334-4387 - FAX: (602) 490-3230

PROJECT NO.: 5354  
 DATE: 12/29/25

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CONTACT: MATT MANCINI  
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EMAIL: matt@3engineering.com

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SCOTTSDALE, ARIZONA 85251  
PROJECT CONTACT: BRANDON PAUL  
PHONE: 480.225.7077  
EMAIL: bpaul@designethic.net

## site data

NET AREA: 4.13 AC.  
GROSS AREA: 4.13 AC.  
PROPOSED LOTS: 23

LANDSCAPE AREA PROVIDED: 55,264 S.F.

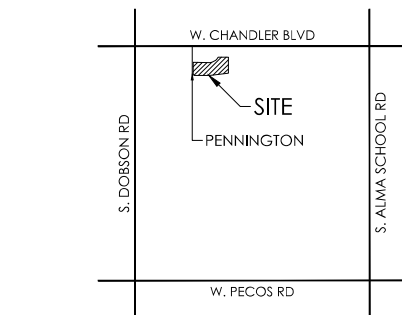
## sheet index

SHEET	TITLE
L0.01	COVER SHEET & NOTES
L2.00	OVERALL PLANTING PLAN
L2.01 - L2.02	PLANTING PLAN
L4.01 - L4.02	WALL PLAN & DETAILS
L5.01	AMENITIES PLAN & DETAILS

I HEREBY CERTIFY THAT NO TREE OR BOULDER IS DESIGNED CLOSER THAN SIX (6) FEET TO THE FACE OF THE PUBLIC STREET CURB.

*B. Paul*  
REGISTERED LANDSCAPE ARCHITECT

01.12.2026  
DATE



vicinity map



not to scale

## city of chandler notes

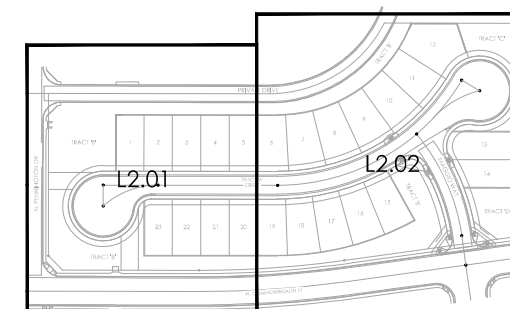
- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- NO OBSTRUCTIONS TO VIEW SHALL BE ERECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA, ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6' CURB ELEVATION, ALL SHRUBS IN THIS AREA MAY NOT REACH A MATURE HEIGHT OVER 24".
- ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
- TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
- ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6)(H).
- PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1903(6)(C)(4).
- ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NONLIVING MATERIALS (I.E. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH, ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903(6)(C)(11), ZONING CODE.
- TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESS-WAYS. SHRUBS MUST BE, AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, PIV. OR FDC. SEE SECTION 1903(6)(J)(1), ZONING CODE.]
- ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR IN COMPLIANCE WITH THE ZONING CODE. SEE SECTION 1903(6)(H), ZONING CODE.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED AND/OR CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.

## landscape area data sheet

PLANT QUANTITIES	REQUIRED	PROVIDED
<b>SINGLE-FAMILY COMMON OPEN SPACE</b>		
OPEN SPACE SQUARE FEET: 16,633 L.F.		
TREES: 1 PER 1000 S.F.	27 TREES	36 TREES
SHRUB: 6 PER 1000 S.F.	160 SHRUBS	418 SHRUBS
% TOTAL COVERAGE OF SHRUBS AND GROUND COVER (50% MIN AT MATURITY)	50 %	53.32 %
<b>STREET FRONTAGE LANDSCAPE</b>		
LANDSCAPED AREA ALONG SINGLE FAMILY & COLLECTOR STREET R.O.W		
FRONTAGE LINEAR FEET = 1,344 L.F.		
TREES: 1 PER 30 L.F.	45 TREES	51 TREES
SHRUB: 6 PER 30 L.F.	269 SHRUBS	649 SHRUBS
36 BOX - 50%:	22	22
24 BOX - 50%:	23	28
% TOTAL COVERAGE OF SHRUBS AND GROUND COVER (50% MIN AT MATURITY)	50 %	50.05 %

## project site data

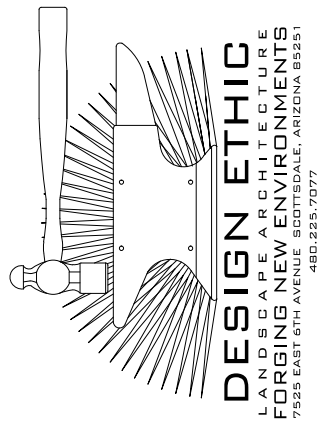
TOTAL SITE AREA (CONSTRUCTION LIMITS):	179,859 S.F. (4.13 AC)
TOTAL LANDSCAPE AREA:	54,522 S.F. / 179,859 S.F. = 30.3 %
TOTAL TURF AREA:	0 S.F. / 179,859 S.F. = 0.0 %
SHRUBS / GROUND COVERS:	25,111 S.F. / 179,859 S.F. = 14.0 %
INORGANIC / GRANITE:	52,980 S.F. / 179,859 S.F. = 29.4 %



key map



not to scale



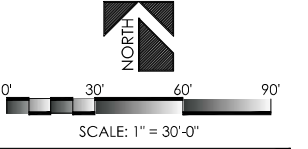
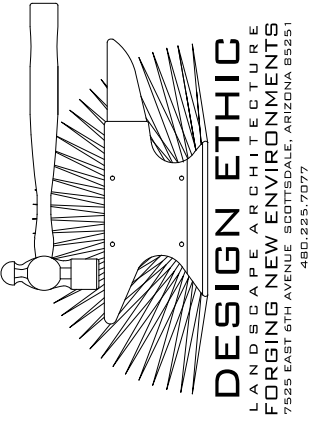
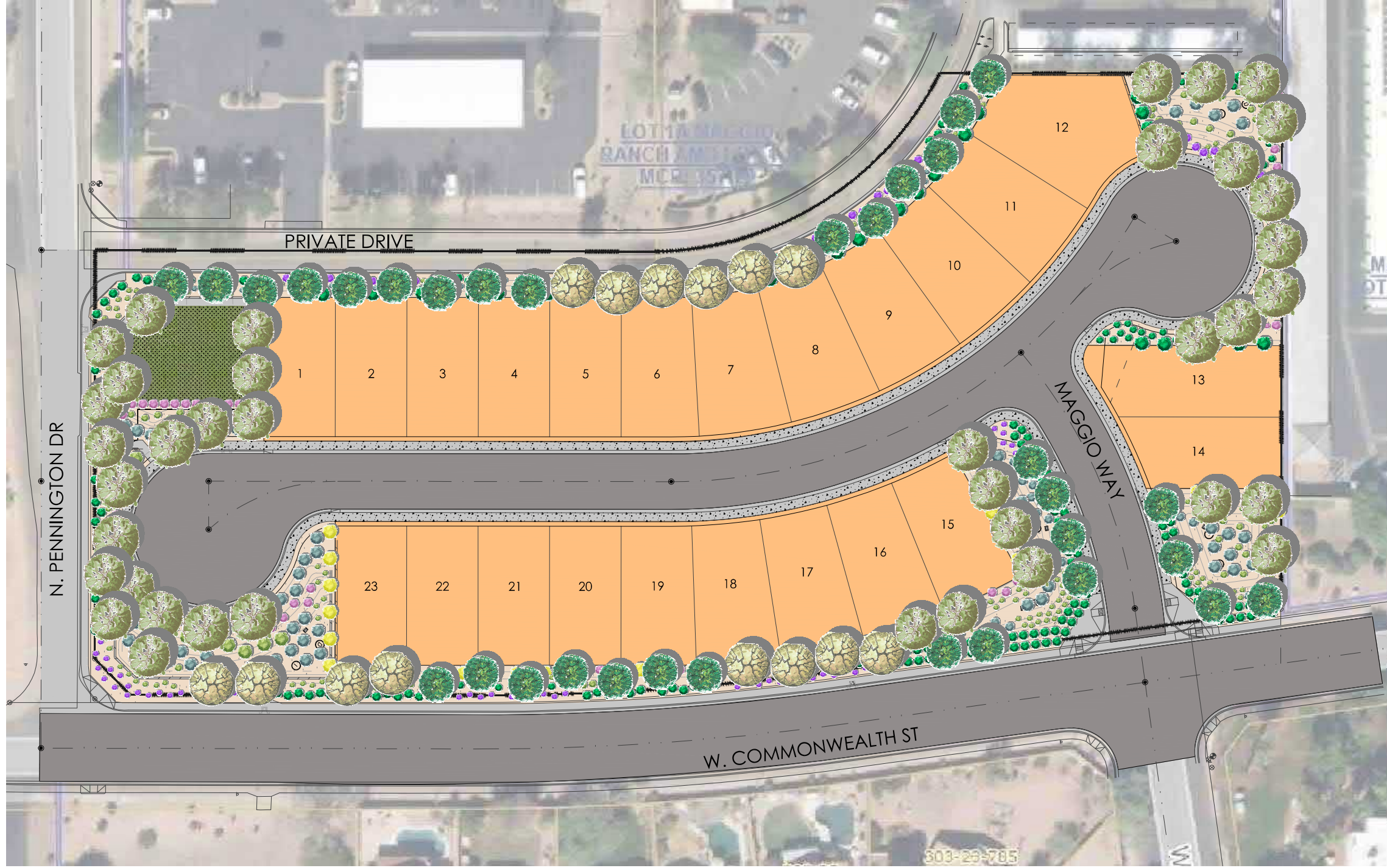
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**N. PENNINGTON DR & W. COMMONWEALTH DR**  
**CHANDLER, ARIZONA**

SHEET TITLE: **COVER SHEET & NOTES**

JOB NO: 25-047  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 01.12.2026  
REVISED:

SHEET  
**L0.01**

1 of 7

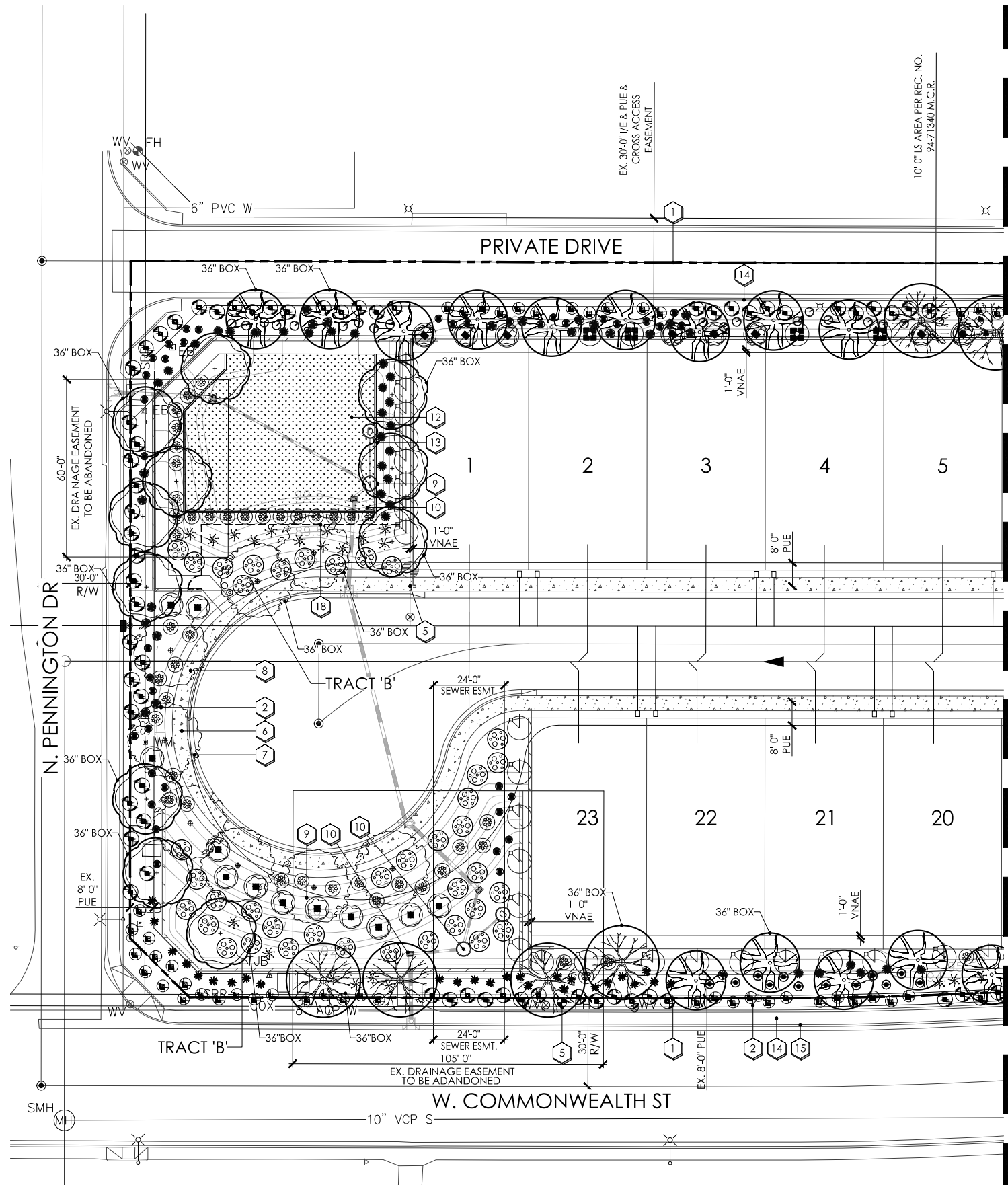


PROJECT:  
**DOBSON & CHANDLER SUBDIVISION**  
 N. PENNINGTON DR & W. COMMONWEALTH DR  
 CHANDLER, ARIZONA

SHEET TITLE:  
**OVERALL PLANTING PLAN**

JOB NO: 25-047  
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 DRAWN BY: B. PAUL  
 SUBMITTED: 01.12.2026  
 REVISED:

SHEET  
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 2 of 7



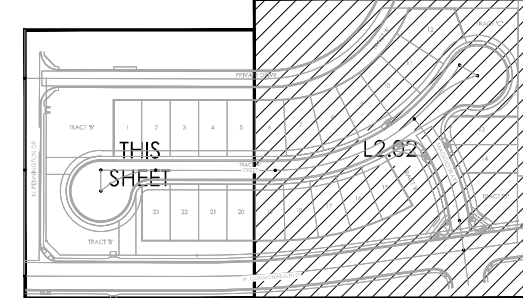
MATCHLINE 'A' - SEE SHEET L2.02

**plant legend**

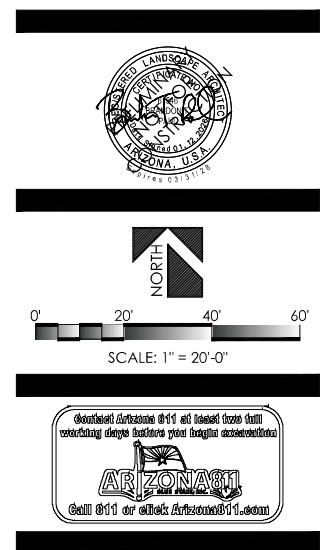
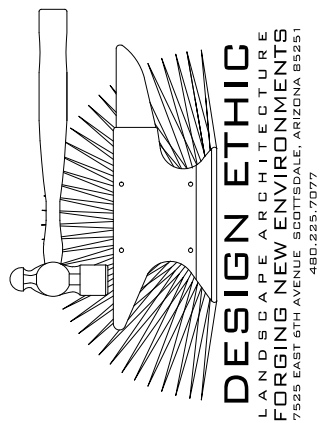
	botanical name common name	emitters	size	qty	comments
<b>trees</b>					
	PISTACIA X. RED PUSH RED PUSH PISTACHE	(5 @ 1.0 GPH)	24" BOX 36" BOX	25 7	7.0H., 2.5W., 1.0 CAL. 9.0H., 4.0W., 1.75 CAL. STAKE IN PLACE
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	(5 @ 1.0 GPH)	24" BOX 36" BOX	7 7	7.0H., 3.0W., 1.0 CAL. 10.0H., 5.0W., 1.75 CAL. STAKE IN PLACE
	TIPUANA TIPU TIPU TREE	(6 @ 2.0 GPH)	24" BOX 36" BOX	10 4	7.0H., 3.0W., 1.0 CAL. 9.0H., 3.0W., 1.75 CAL. STAKE IN PLACE
	ULMUS PARVIFOLIA EVERGREEN ELM	(6 @ 2.0 GPH)	24" BOX 36" BOX	13 4	7.0H., 3.0W., 1.0 CAL. 10.0H., 6.0W., 1.75 CAL. STAKE IN PLACE
<b>shrubs</b>					
	BOUGAINVILLEA 'TORCH GLOW' TORCH GLOW BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	71	
	DODONAEA VISCOSA HOPSEED BUSH	(1 @ 1.0 GPH)	5 GAL.	20	
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD	(1 @ 1.0 GPH)	5 GAL.	32	
	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	12	
	RUELLIA BRITTONIANA MEXICAN PETUNIA	(1 @ 1.0 GPH)	5 GAL.	42	
	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	(1 @ 1.0 GPH)	5 GAL.	68	
	TECOMA ALATA ORANGE JUBILEE	(1 @ 1.0 GPH)	5 GAL.	24	
	TECOMA STANS 'GOLD STAR' 'GOLD STAR' YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	45	
<b>accents</b>					
	ASCLEPIAS SUBULATA DESERT MILKWEED	(1 @ 1.0 GPH)	5 GAL.	63	
	DASYLIUM WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	28	
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	54	
	HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	122	
	MUHLENBERGIA CAPILLARIS 'PINK MUHLY' REGAL MIST	(1 @ 1.0 GPH)	5 GAL.	30	
	YUCCA PALLIDA PALE LEAF YUCCA	(1 @ 1.0 GPH)	5 GAL.	32	
<b>groundcovers</b>					
	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	1 GAL.	61	
	EREMOPHILA HYGROPHANA 'BLUE BELLS' EMU	(1 @ 1.0 GPH)	1 GAL.	96	
	EREMOPHILA GLABRA 'MINGENOW GOLD' OUTBACK SUNRISE EMU	(1 @ 1.0 GPH)	1 GAL.	201	
	SPHAGNETICOLA TRILOBATA YELLOW DOT	(1 @ 1.0 GPH)	1 GAL.	28	
	TURF - HYBRID BERMUDA - SOD			3,233 S.F.	
<b>inerts</b>					
	DECOMPOSED GRANITE ROCK PROS - CARMEL		3/4" SCREENED	46,961 S.F.	2" MINIMUM DEPTH IN ALL PLANTERS
	CONCRETE HEADER EXTRUDED CONCRETE		6" x 6"	179 L.F.	

**planting key notes**

- 1 PROPERTY LINE / RIGHT OF WAY LINE.
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 5 FIRE HYDRANT - 3'-0" CLEAR OF ALL PLANT MATERIAL.
- 6 SIDEWALK. SEE CIVIL ENG. PLANS.
- 7 CURB. SEE CIVIL ENG. PLANS.
- 8 P.U.E. SEE CIVIL ENG. PLANS.
- 9 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 10 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- 11 STREET LIGHT. SEE CIVIL ENG. PLANS.
- 12 BERMUDA TURF
- 13 6"X6" CONCRETE HEADER
- 14 EXISTING SIDEWALK.
- 15 EXISTING CURB.
- 16 CLUSTER MAILBOX LOCATION  
SEE SHEET L4.01 - DETAIL 'B'
- 17 CMU BENCH SEAT  
SEE SHEET L5.01 - DETAIL 'B'
- 18 WROUGHT IRON FENCE WITH VIEW GATE.  
SEE SHEET L4.02 - DETAIL 'E'



key map



PROJECT: **DOBSON & CHANDLER SUBDIVISION**  
**N. PENNINGTON DR & W. COMMONWEALTH DR**  
**CHANDLER, ARIZONA**

SHEET TITLE: **PLANTING PLAN**

JOB NO: 25-047  
 DATE: -  
 DRAWN BY: B. PAUL  
 SUBMITTED: 01.12.2026  
 REVISED:

SHEET **L2.01**  
 3 of 7

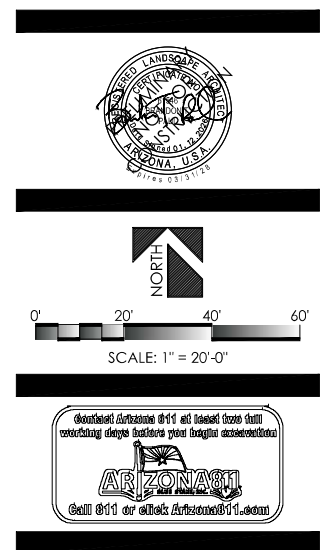
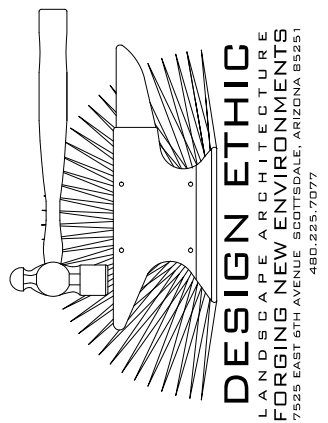


**plant legend**

botanical name	common name
<b>trees</b>	
PISTACIA X. RED PUSH	RED PUSH PISTACHE
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
TIPUANA TIPU	TIPU TREE
ULMUS PARVIFOLIA	EVERGREEN ELM
<b>shrubs</b>	
BOUGAINVILLEA 'TORCH GLOW'	TORCH GLOW BOUGAINVILLEA
DODONAEA VISCOSA	HOPSEED BUSH
LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD
LEUCOPHYLLUM FRUTESCENS	GREEN CLOUD SAGE
RUPELLIA BRITTONIANA	MEXICAN PETUNIA
RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN
TECOMA ALATA	ORANGE JUBILEE
TECOMA STANS 'GOLD STAR'	'GOLD STAR' YELLOW BELLS
<b>accents</b>	
ASCLEPIAS SUBULATA	DESERT MILKWEED
DASYLIRION WHEELERI	DESERT SPOON
HESPERALOE FUNIFERA	GIANT HESPERALOE
HESPERALOE PARVIFLORA	RED YUCCA
MUHLENBERGIA CAPILLARIS	'PINK MUHLY'
REGAL MIST	
YUCCA PALLIDA	PALE LEAF YUCCA
<b>groundcovers</b>	
ACACIA REDOLENS	DESERT CARPET
EREMOPHILA HYGROPHANA	'BLUE BELLS' EMU
EREMOPHILA GLABRA	'MINGENW GOLD'
OUTBACK SUNRISE EMU	
SPHAGNETICOLA TRILOBATA	YELLOW DOT
<b>inerts</b>	
DECOMPOSED GRANITE	ROCK PROS - CARMEL
CONCRETE HEADER	EXTRUDED CONCRETE

**planting key notes**

- PROPERTY LINE / RIGHT OF WAY LINE.
- DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- FIRE HYDRANT - 3'-0" CLEAR OF ALL PLANT MATERIAL.
- SIDEWALK. SEE CIVIL ENG. PLANS.
- CURB. SEE CIVIL ENG. PLANS.
- P.U.E. SEE CIVIL ENG. PLANS.
- STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- STREET LIGHT. SEE CIVIL ENG. PLANS.
- BERMUDA TURF
- 6"x6" CONCRETE HEADER
- EXISTING SIDEWALK.
- EXISTING CURB.
- CLUSTER MAILBOX LOCATION SEE SHEET L4.01 - DETAIL 'B'
- CMU BENCH SEAT SEE SHEET L5.01 - DETAIL 'B'
- WROUGHT IRON FENCE WITH VIEW GATE. SEE SHEET L4.02 - DETAIL 'E'

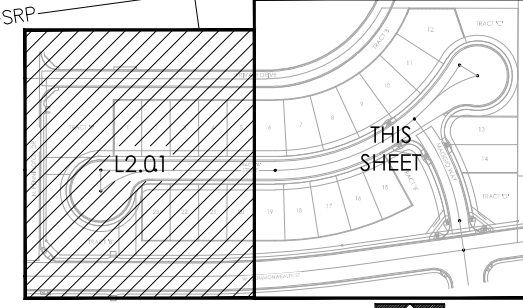


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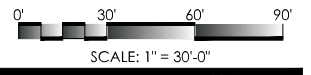
SHEET **L2.02**  
 4 of 7



key map



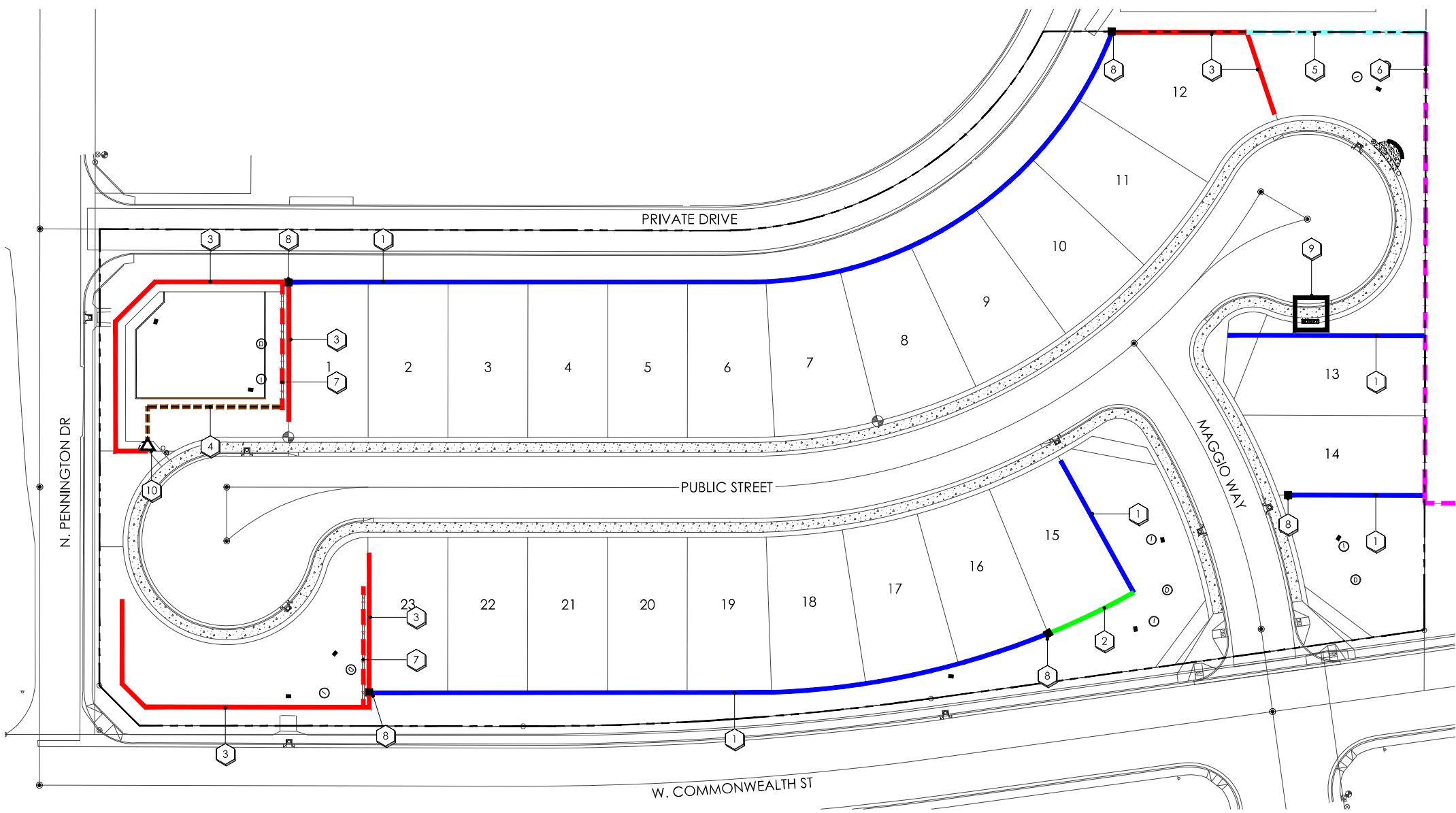
MATCHLINE 'A' - SEE SHEET L2.01



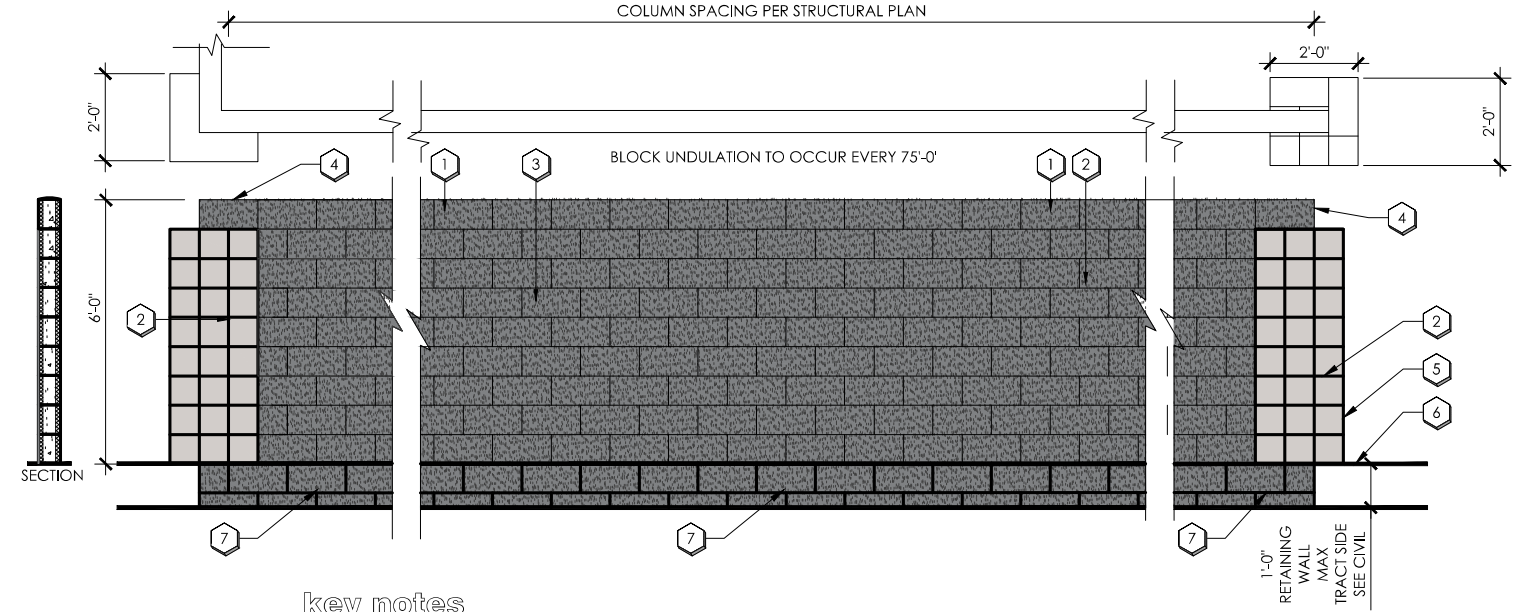
**PROJECT:**  
**DOBSON & CHANDLER SUBDIVISION**  
**N. PENNINGTON DR & W. COMMONWEALTH DR**  
**CHANDLER, ARIZONA**

**SHEET TITLE:**  
**WALL PLAN & DETAILS**

**JOB NO:** 25-047  
**DATE:** -  
**DRAWN BY:** B. PAUL  
**SUBMITTED:** 01.12.2026  
**REVISED:**



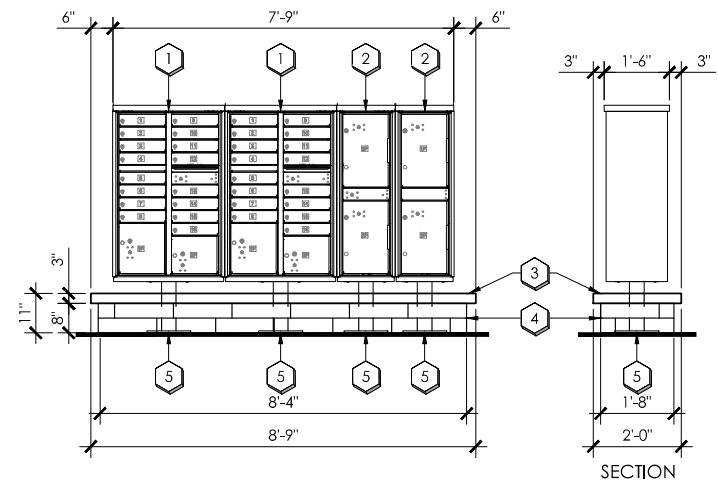
- wall key notes**
- P1** 1 6' HIGH PERIMETER THEME WALL. SEE SHEET L4.01, DETAIL 'A'. 1,050 L.F. TOTAL
  - P2** 2 6' HIGH ENTRY WALL. SEE SHEET L4.02, DETAIL 'C'. 24 L.F. TOTAL
  - R1** 3 7' HIGH PERIMETER OVER 2' RETAINING WALL. SEE SHEET L4.02, DETAIL 'D'. 601 L.F. TOTAL
  - C1** 4 6'-0" HIGH WROUGHT IRON FENCE W/ VIEW GATE. SEE SHEET L4.02, DETAILS 'E'. QUANTITY: 85 L.F.
  - D1** 5 6'-0" HIGH 4" X 8" X 16" DOOLEY BLOCK WALLS WITH 'H' PILASTERS. QUANTITY: 90 L.F.
  - E1** 6 6'-0" HIGH EXISTING WALL
  - R2** 7 3'-0" - 4'-0" RETAINING WALL. SEE CIVIL.
  - 8 2'-0" X 2'-0" WALL PILASTER WITH PRECAST CONCRETE CAP. SEE SHEET L4.02, DETAIL 'A'. QUANTITY: 5
  - 9 PROPOSED CLUSTER MAILBOX LOCATION SHEET L4.01 SEE DETAIL 'B'
  - 10 PROPOSED PEDESTRIAN GATE. SEE SHEET L4.02, DETAILS 'E'.



- key notes**
- 1 ROUNDED MORTAR CAP COLOR: STORM CLOUD - DE6123
  - 2 8" X 8" X 16" SCORED CMU BLOCK COLOR: NATURAL GREY
  - 3 6" X 8" X 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
  - 4 TOP COURSE OF THEME WALL TO EXTEND ON TOP OF COLUMN.
  - 5 8" X 8" X 16" CMU BLOCK COLUMN
  - 6 FINISH GRADE
  - 7 1'-0" TALL (MAX) RETAINING WALL. TRACT SIDE, SEE CIVIL. COLOR: STORM CLOUD - DE6123

**A** 6'-0" PERIMETER THEME WALL ELEVATION  
 NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT

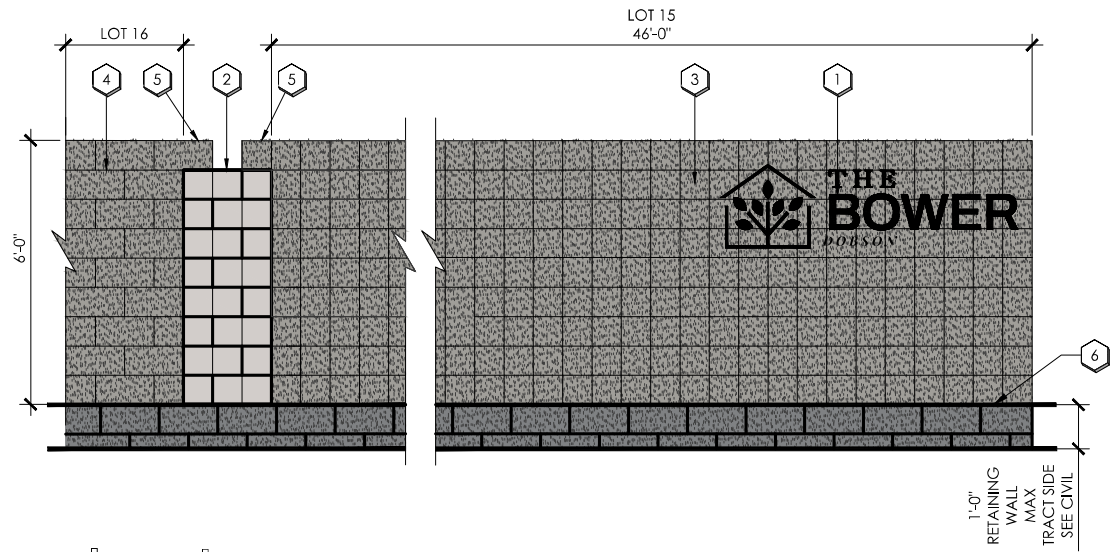
SCALE: 1/2" = 1'-0"



- key notes**
- 1 SALSBUURY CLUSTER BOX UNIT 3316SAN-U 16 DOORS & 2 PARCEL LOCKERS IN SANDSTONE WITH USPS ACCESS - TYPE III
  - 2 SALSBUURY OUTDOOR PARCEL LOCKER WITH USPS ACCESS - TYPE I
  - 3 PRECAST CONCRETE CAP COLOR: NATURAL GRAY
  - 4 3302SAN-U - 2 COMPARTMENTS IN SANDSTONE 6" X 4" X 16" CMU BLOCK BASE COLOR: SAND DUNE - DE6128
  - 5 FINISH GRADE FOOTING ATTACHMENT BY OTHERS

**B** CLUSTER MAILBOX AND PARCEL LOCKERS  
 NOTE: PARCEL LOCKERS TO BE PROVIDED AT A 5:1 MAILBOX TO PARCEL LOCKER RATIO PER 2021 REVISIONS TO THE POSTAL OPERATIONS MANUAL

SCALE: 1/2" = 1'-0"

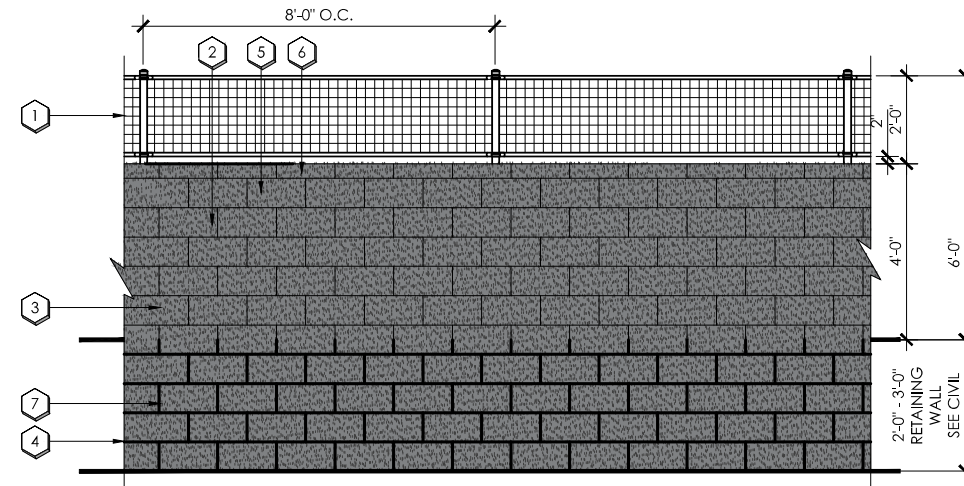


**key notes**

- 1 PIN SET STEEL SIGNAGE, UP-LIT SEE SITE ELECTRICAL PLAN.
- 2 8" x 8" x 16" CMU BLOCK COLUMN COLOR: STORM CLOUD - DE6123
- 3 8" x 8" x 16" SCORED CMU BLOCK COLOR: STORM CLOUD - DE6123
- 4 6" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 5 TOP COURSE OF THEME WALL TO EXTEND ON TOP OF COLUMN.
- 6 FINISH GRADE

**C 6'-0" ENTRY WALL ELEVATION**

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"  
STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT

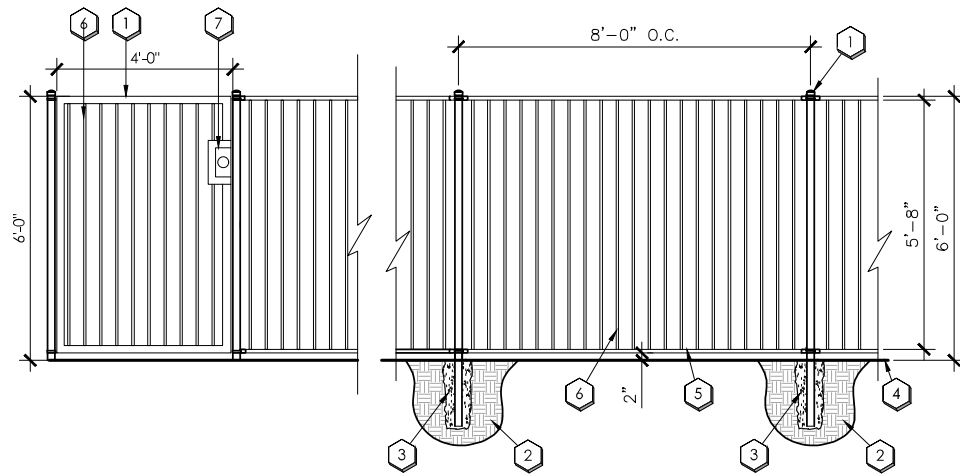


**key notes**

- 1 2' WELDED WIRE MESH VIEW FENCE 8'-0" ON CENTER.
- 2 6" x 8" x 16" CMU BLOCK COLOR: NATURAL GREY
- 3 8" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 4 2'-0" TALL RETAINING WALL. SEE CIVIL. COLOR: STORM CLOUD - DE6123
- 5 6" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 6 4" x 8" x 16" CMU BLOCK
- 7 8" x 8" x 16" CMU BLOCK

**D 5'-0" PERIMETER THEME WALL W/2'-0" VIEW FENCE OVER 2'-0" RETAINING WALL**

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"  
STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT



**key notes**

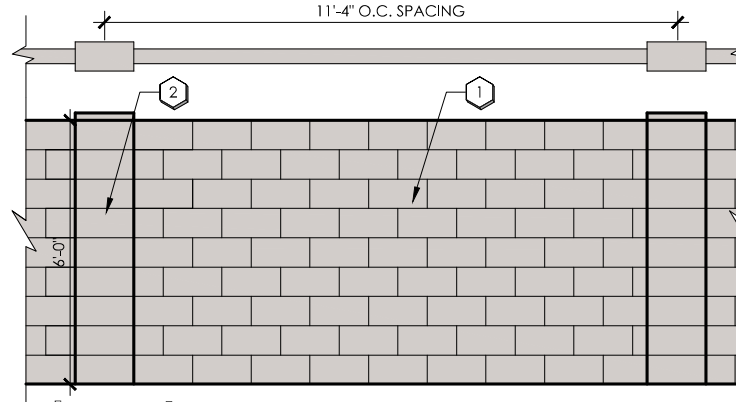
- 1 2" x 2" STEEL POSTS 14 GAUGE W/ CAST IRON FLAT CAP. SPACING 96" OR AS PER PLAN
- 2 COMPACTED SUBGRADE
- 3 CONCRETE FOOTING 8" DIA. MIN, 18" DEPTH
- 4 FINISH GRADE
- 5 1" x 1" SQ. TUBULAR STEEL RAIL
- 6 3/4" x 3/4" SQ. TUBULAR STEEL PICKETS AT 3-3/4" O.C. MAXIMUM SPACING
- 7 2" x 2" SQUARE TUBE STEEL
- 8 LATCH PER CONTRACTOR

**NOTES:**

- ALL METAL TO BE DEGREASED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND DIP COATED WITH TWO COATS OF INDUSTRIAL GRADE FLAT BLACK ENAMEL.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WROUGHT IRON FENCE, GATE, AND FOOTINGS TO OWNER FOR APPROVAL.

**E 6'-0" WROUGHT IRON FENCE W/ VIEW GATE**

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"

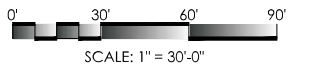
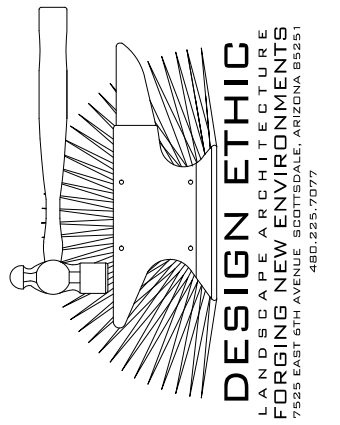


**key notes**

- 1 4"X8"X16" CMU BLOCK WALL COLOR: STANDARD GRAY
- 2 8"X8"X16" H-BLOCK COLUMNS 11'-4" O.C.

**G 4" X 8" X 16" CMU WALL W/ 8"X8"X16" H BLOCK COLUMNS**

SCALE: 1/2" = 1'-0"



PROJECT: **DOBSON & CHANDLER SUBDIVISION**  
**N. PENNINGTON DR & W. COMMONWEALTH DR**  
**CHANDLER, ARIZONA**

SHEET TITLE: **WALL PLAN & DETAILS**

JOB NO: 25-047  
 DATE: -  
 DRAWN BY: B. PAUL  
 SUBMITTED: 01.12.2026  
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SHEET **L4.02**



SCALE: 1" = 20'-0"



PROJECT:  
**DOBSON & CHANDLER SUBDIVISION**  
 N. PENNINGTON DR & W. COMMONWEALTH DR  
 CHANDLER, ARIZONA

SHEET TITLE:

**AMENITIES PLAN**

PROJECT:

JOB NO: 25-047  
 DATE: -  
 DRAWN BY: B. PAUL  
 SUBMITTED: 01.12.2026  
 REVISED:

SHEET

**L5.01**

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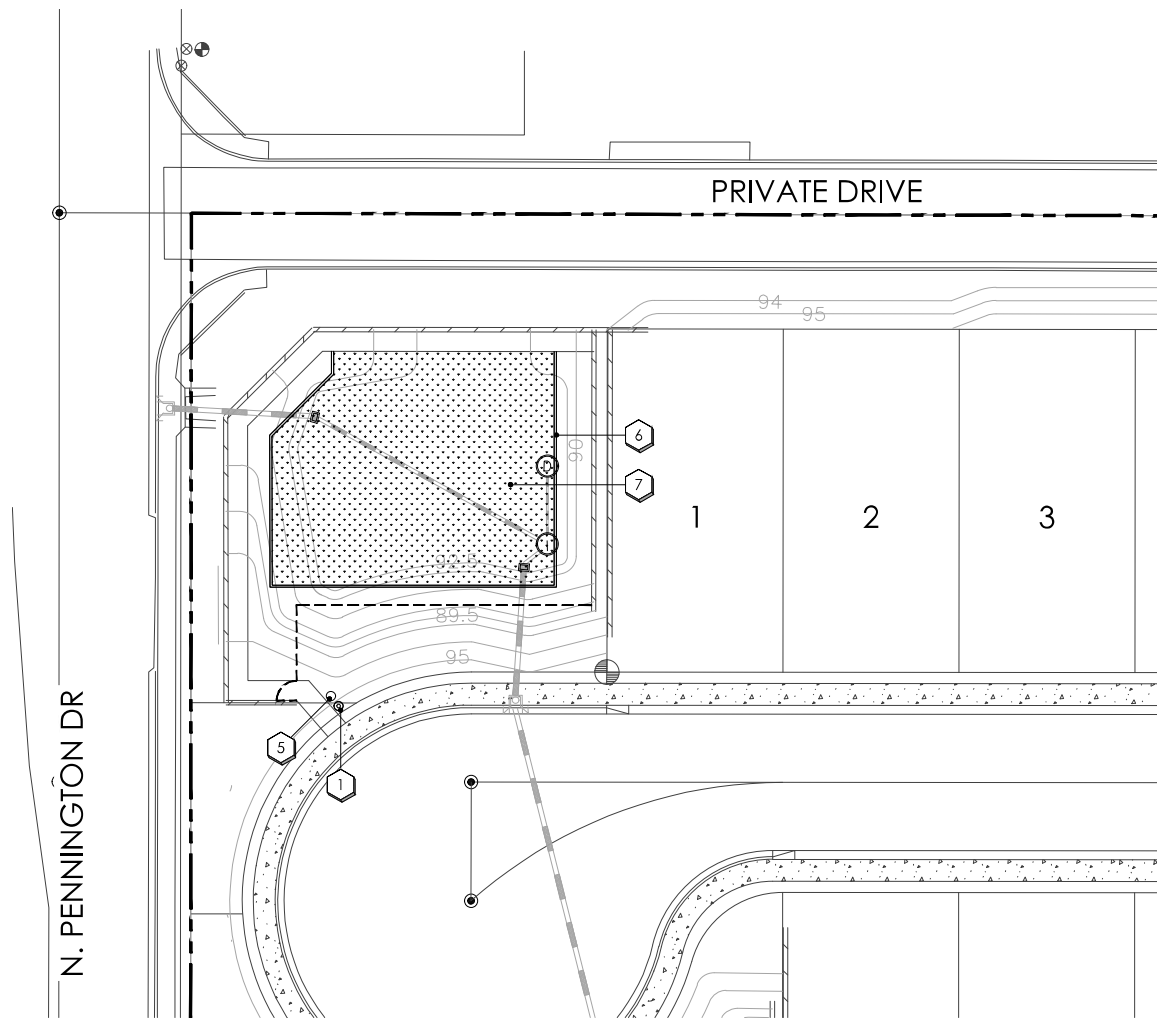


exhibit a - amenity area

SCALE: 1" = 20'-0"

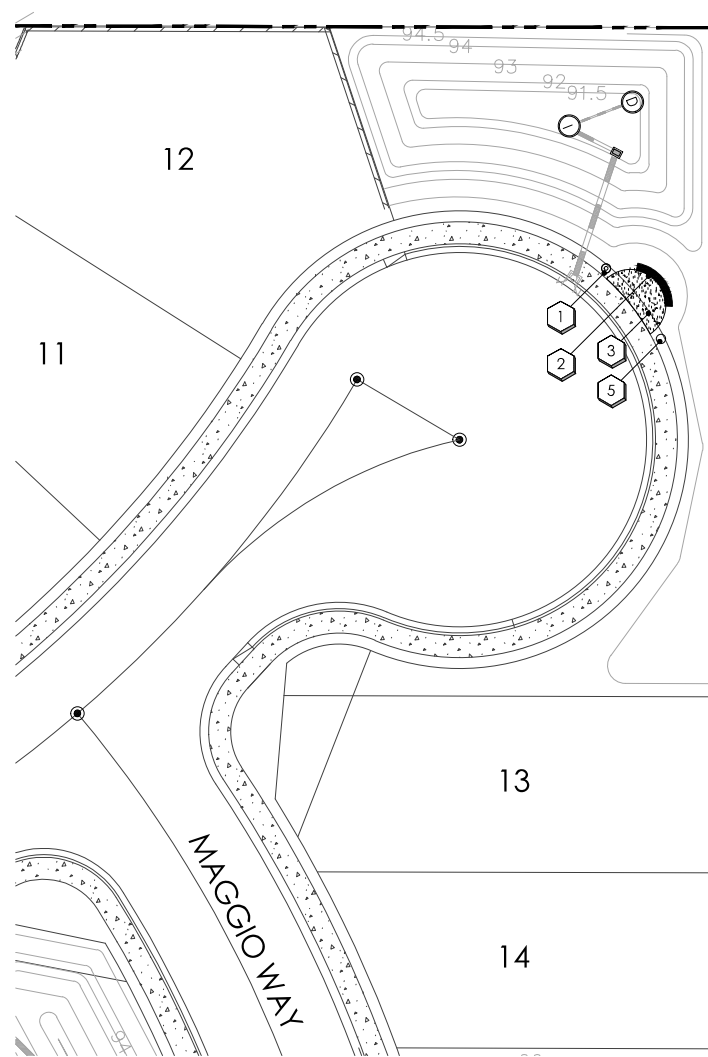


exhibit b - amenity area

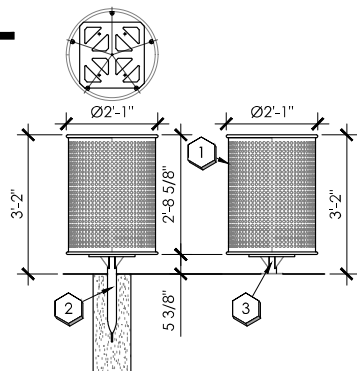
SCALE: 1" = 20'-0"

**amenities key notes**

- 1 TRASH RECEPTACLE  
SEE SHEET L5.01 - DETAIL 'A'
- 2 CMU BENCH SEAT  
SEE SHEET L5.01 - DETAIL 'B'
- 3 POURED-IN-PLACE CONCRETE
- 4 DOG PARK AREA
- 5 DOG WASTE DEPOT "DOG WASTE STATION"  
SEE SHEET L5.01 - DETAIL 'C'
- 6 4" x 6" CONCRETE HEADER
- 7 LIVE TURF SOD - HYBRID BERMUDA.

**key notes**

- 1 PLASTICOAT TRASH RECIPTICLE
- 2 POST IN CONCRETE FOOTING
- 3 SURFACE MOUNT POST



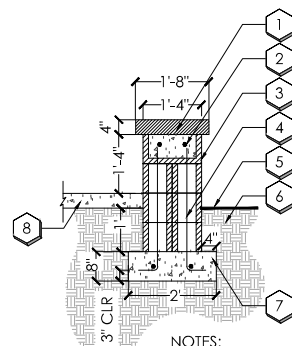
**A** LR300 TRASH RECEPTICLE

NOTE: UNIT WILL BE IN-GROUND MOUNTED PER MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"

**key notes**

- 1 4" CMU CAP
- 2 #4 CONT. IN GROUTED BOND BEAM BLOCK
- 3 8" x 8" x 16" CMU BLOCK  
PAINT TO MATCH THEME WALL
- 4 #4 @ 32" O.C. IN GROUTED CELLS
- 5 FINISH GRADE
- 6 COMPACTED SUBGRADE
- 7 #4 CONT. IN 2800 P.S.I. CONC. FOOTING
- 8 FINISH GRADE (ADJACENT CONC. IF APPLICABLE)



**B** CMU BENCH SEAT

SCALE: 1/2" = 1'-0"

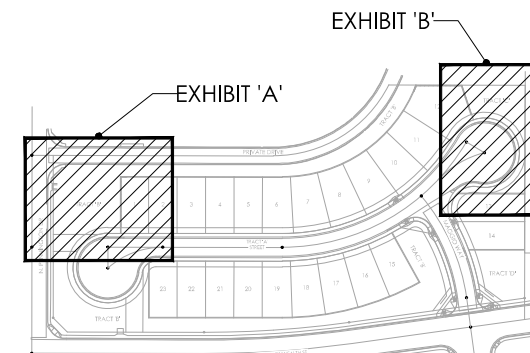
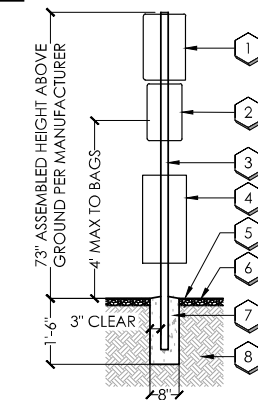
**key notes**

- 1 DOG WASTE STATION SIGN PER MANUFACTURER
- 2 DOG WASTE BAGS PER MANUFACTURER
- 3 POST PER MANUFACTURER
- 4 ROUND WASTE CAN WITH LID PER MANUFACTURER
- 5 SLOPE CONCRETE FOOTER FOR DRAINAGE
- 6 ADJACENT LANDSCAPE REF. PLANS.
- 7 CONCRETE FOOTER
- 8 COMPACTED SUBGRADE TO 95%

**C** DOG WASTE STATION

NOTE: DOG WASTE STATION WITH ROLL BAG SYSTEM - DEPOT-006-B ORDER THROUGH DOG WASTE DEPOT WWW.DOGWASTEDEPOT.COM (800) 678-1612

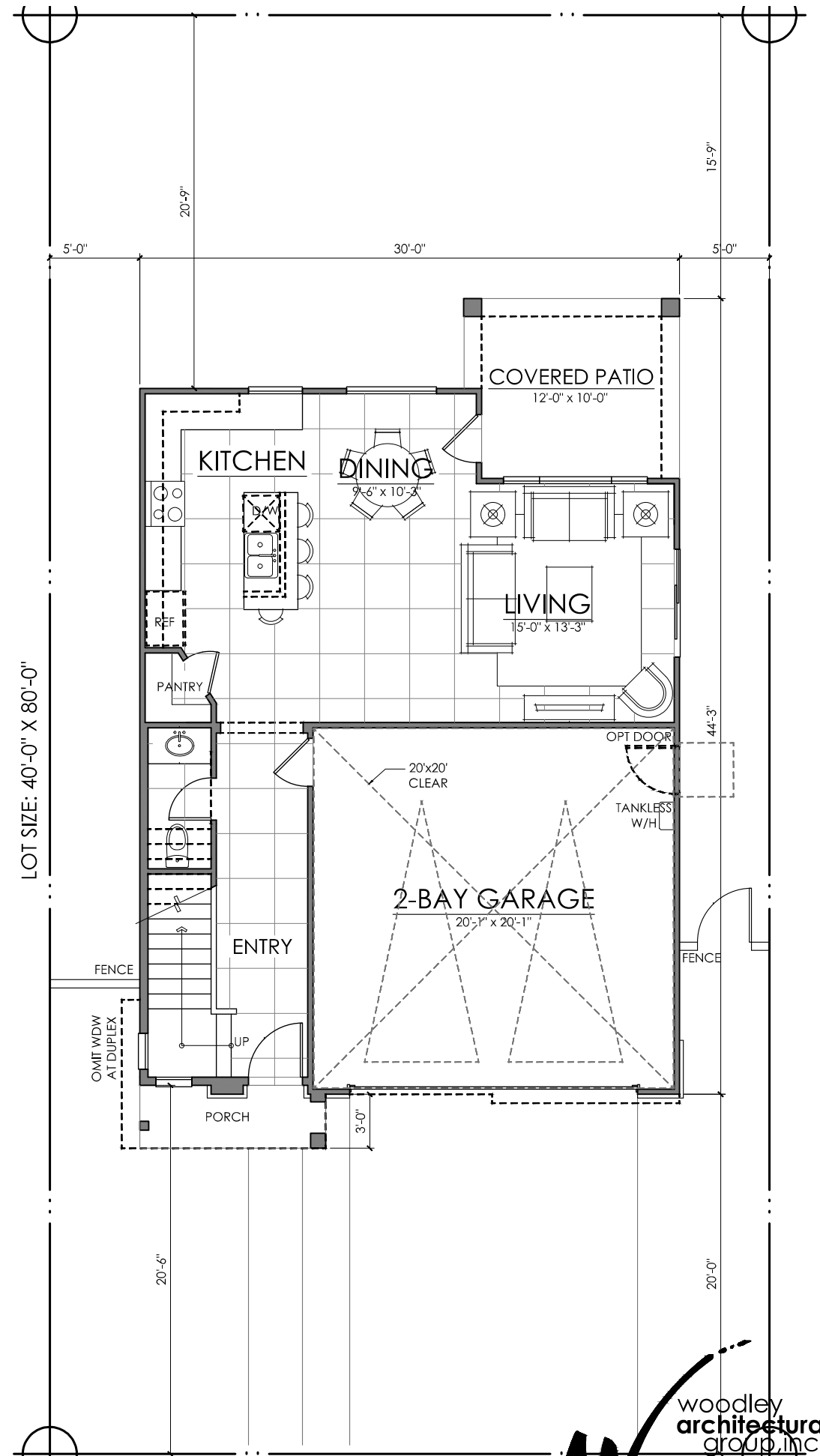
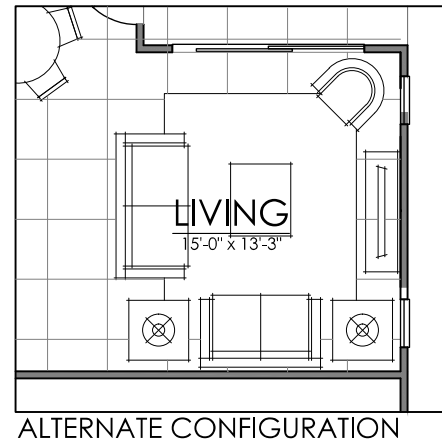
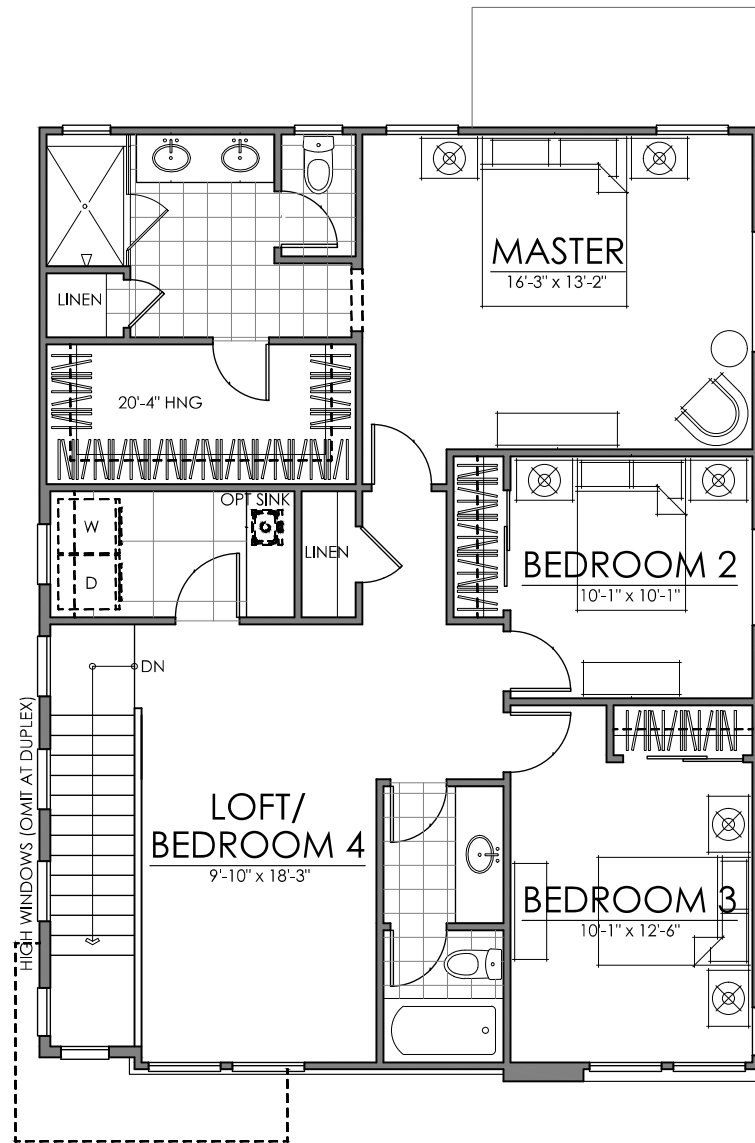
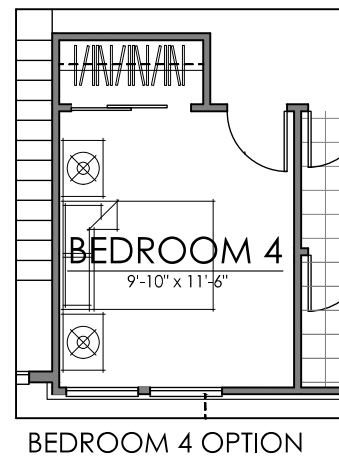
SCALE: 1/2" = 1'-0"



key map



not to scale



FIRST FLOOR 703 SQ. FT.  
 SECOND FLOOR 1104 SQ. FT.  
 TOTAL LIVING 1807 SQ. FT.  
**PLAN ONE | 1807 SQ. FT.**  
**ELEVATION A**

12.08.2025

**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
**CHANDLER, ARIZONA**



NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS. THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

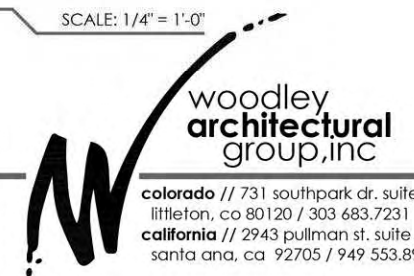
SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | FRONT ELEVATIONS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
**CHANDLER, ARIZONA**

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



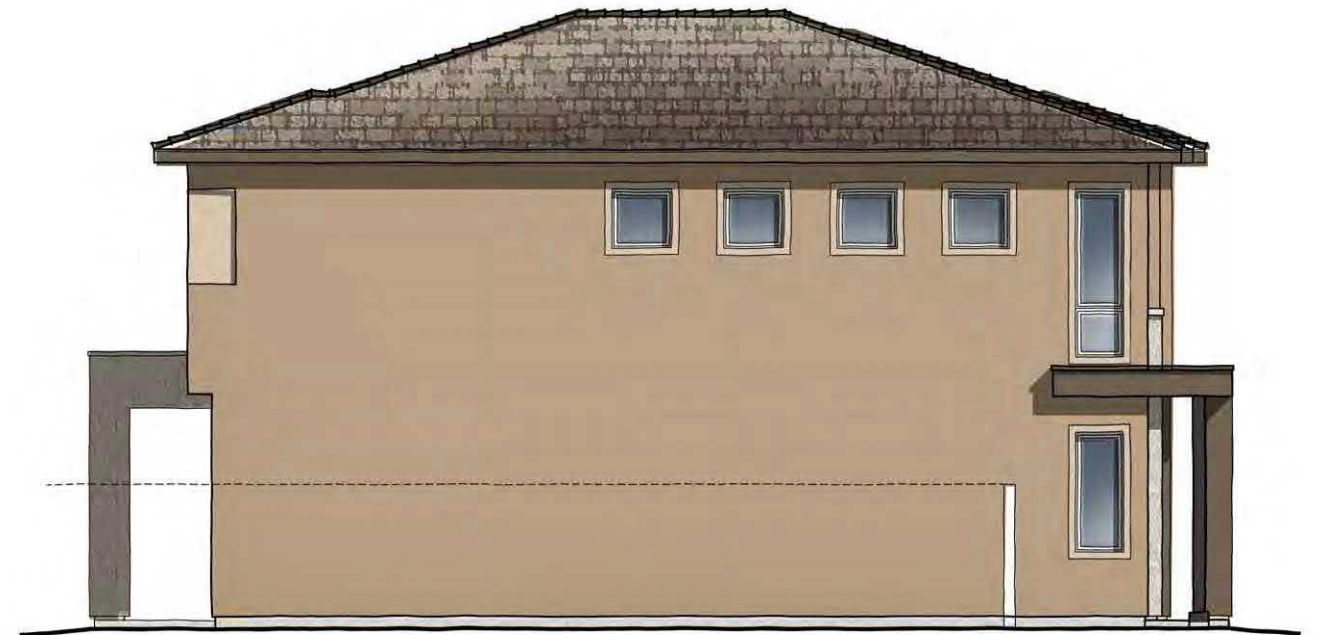
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION A | DESERT CONTEMPORARY  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

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elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



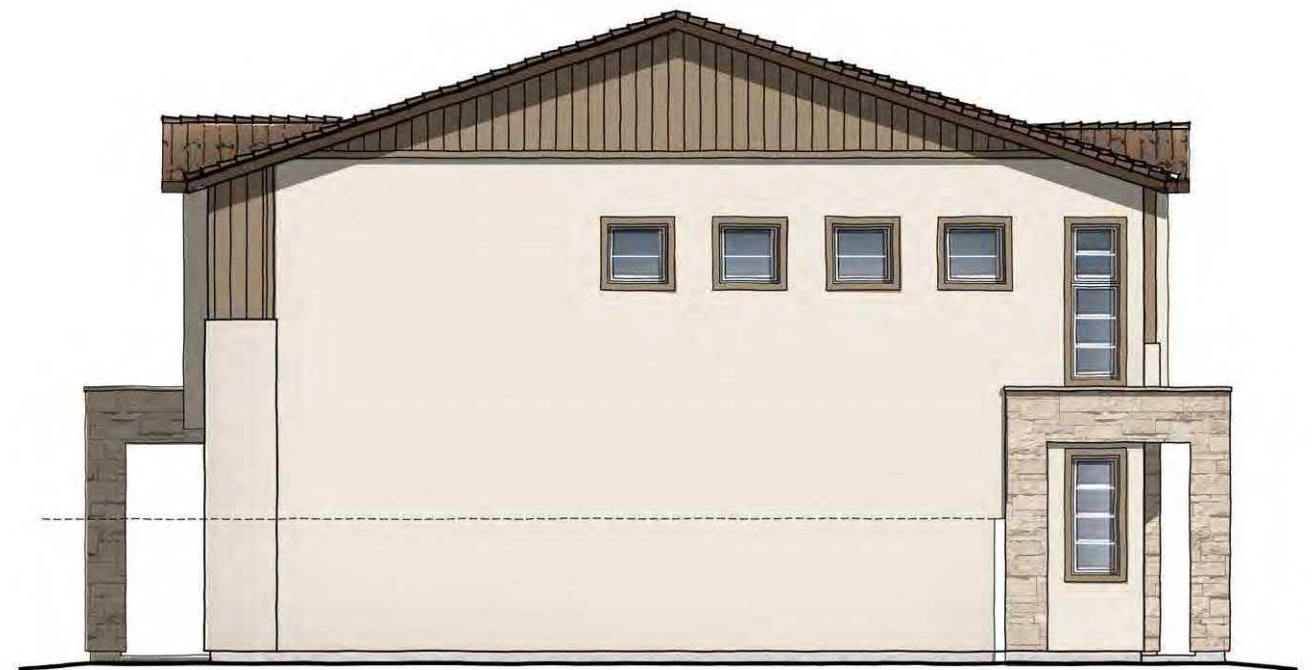
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION B | MODERN SPANISH  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

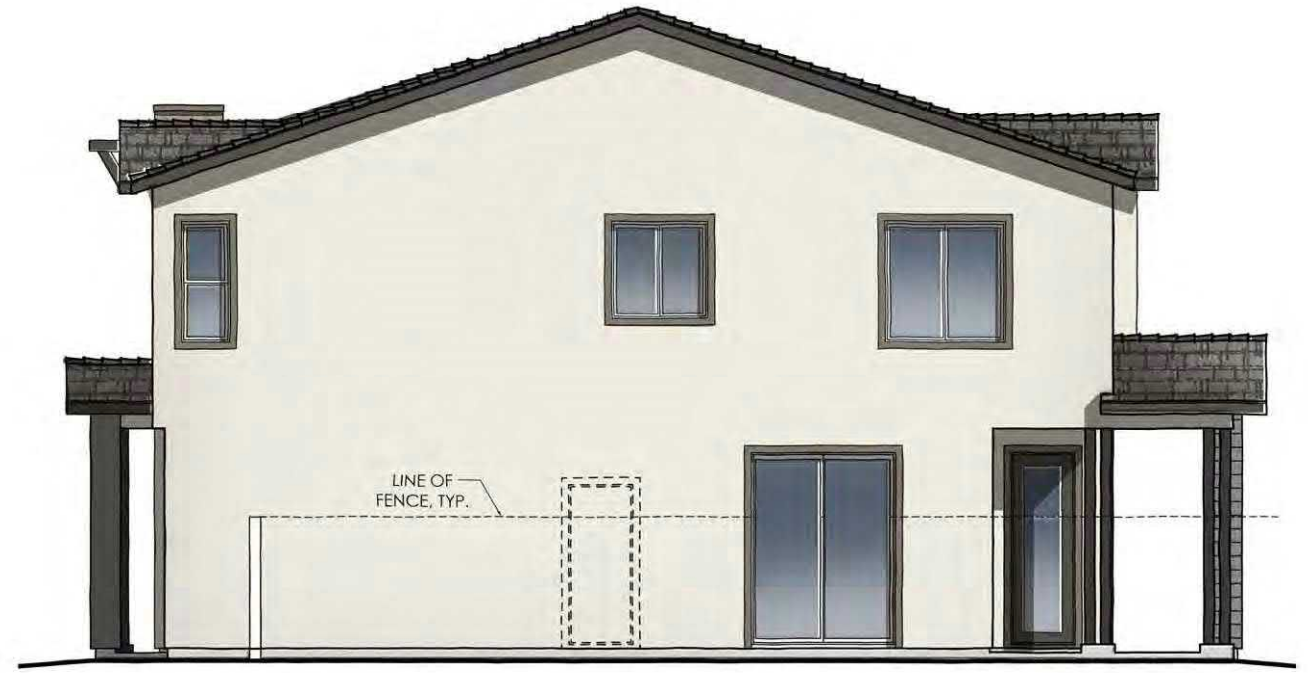
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.





elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



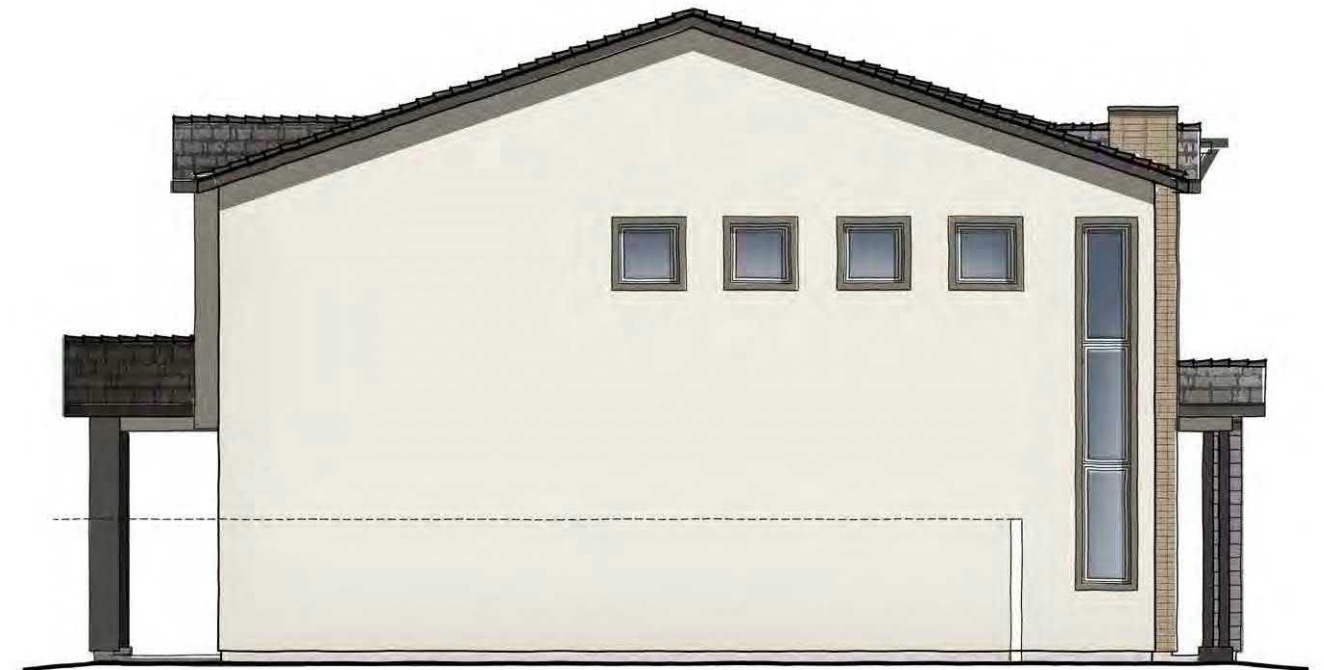
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

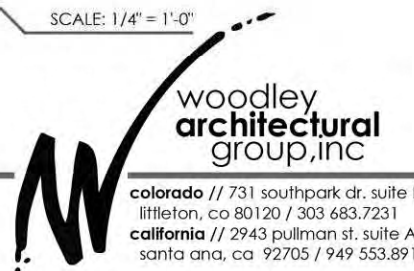
SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION C | MID-CENTURY MODERN  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION D | MODERN PRAIRIE  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



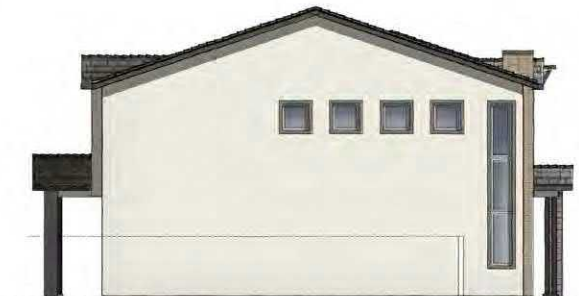
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

12.08.25

# PLAN ONE THE BOWER DOBSON | ARCADIA COMMUNITIES CHANDLER, ARIZONA

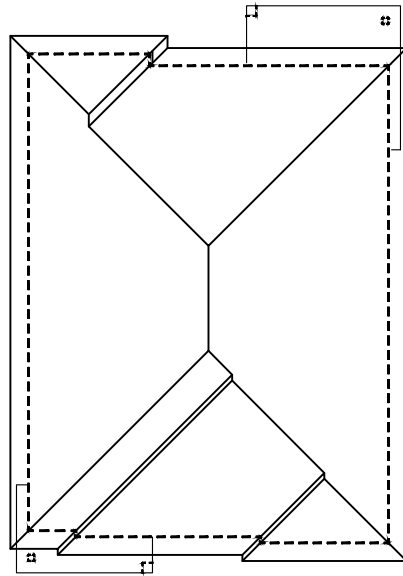
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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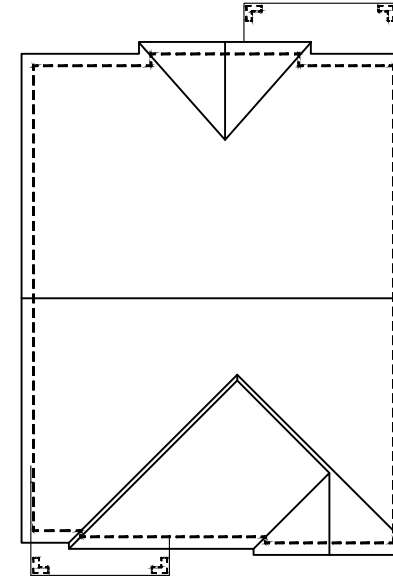
woodley  
architectural  
group, inc

colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303.683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949.553.8919



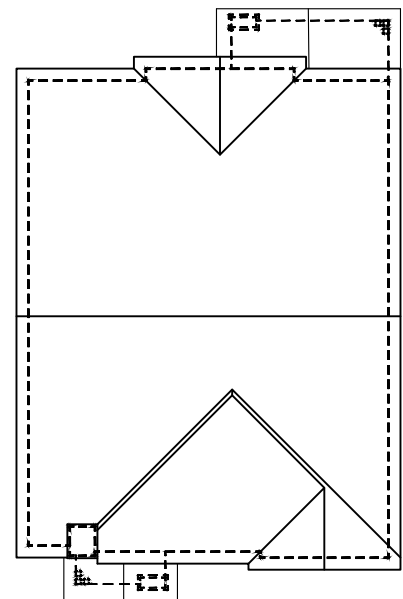
ALL PITCHES 4:12 U.N.O.  
**ROOF PLAN-A**

SCALE: 1/8" = 1'-0"



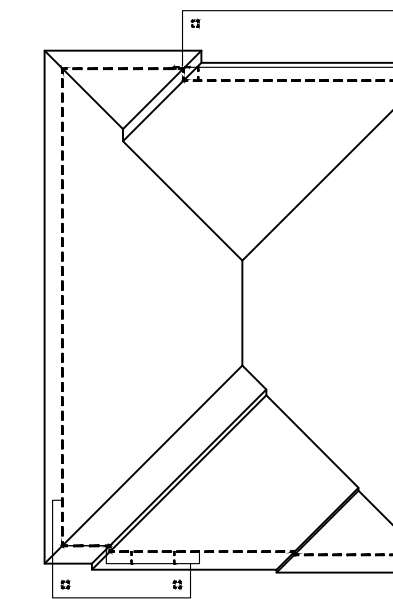
ALL PITCHES 4:12 U.N.O.  
**ROOF PLAN-B**

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.  
**ROOF PLAN-C**

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.  
**ROOF PLAN-D**

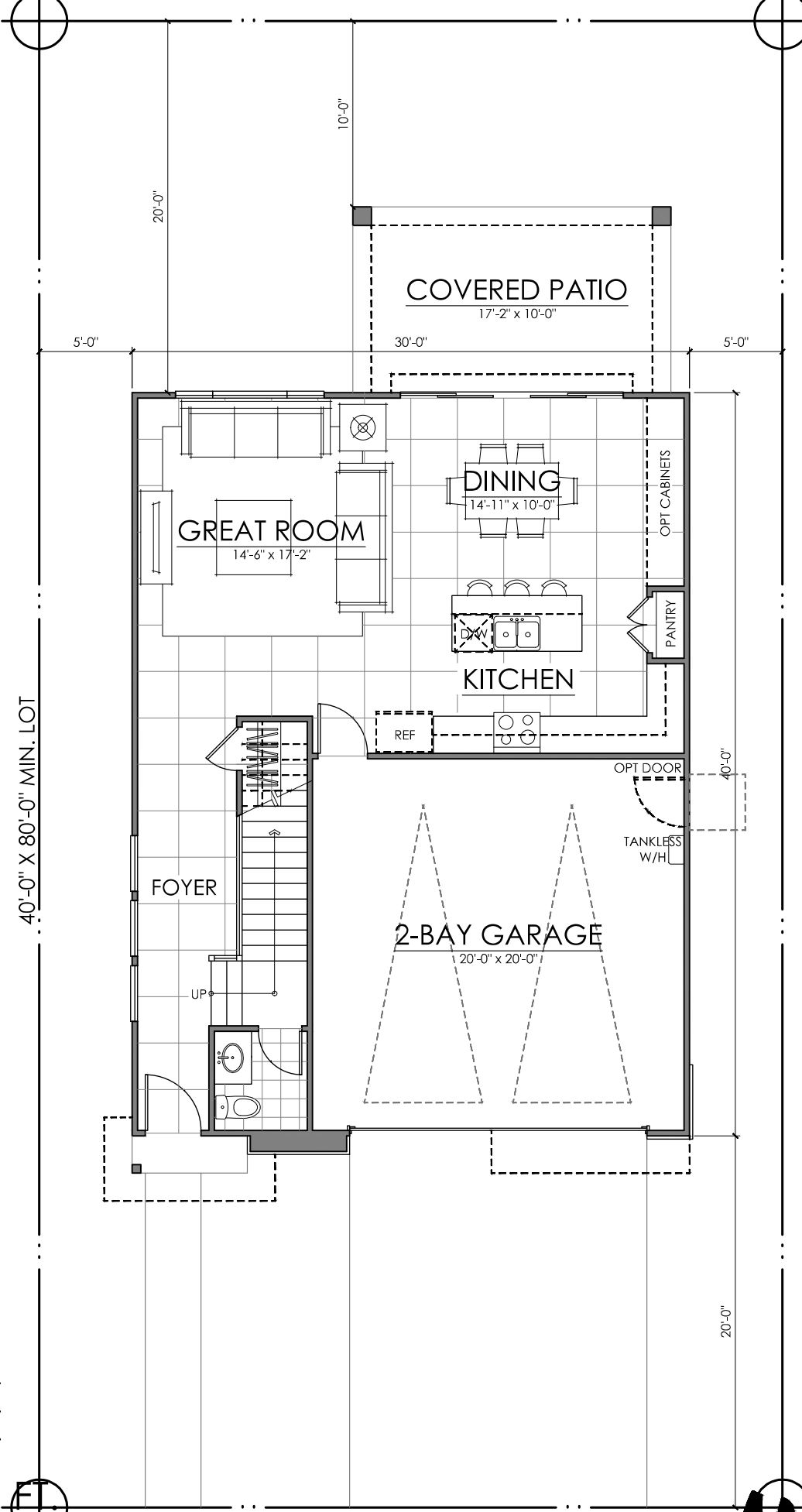
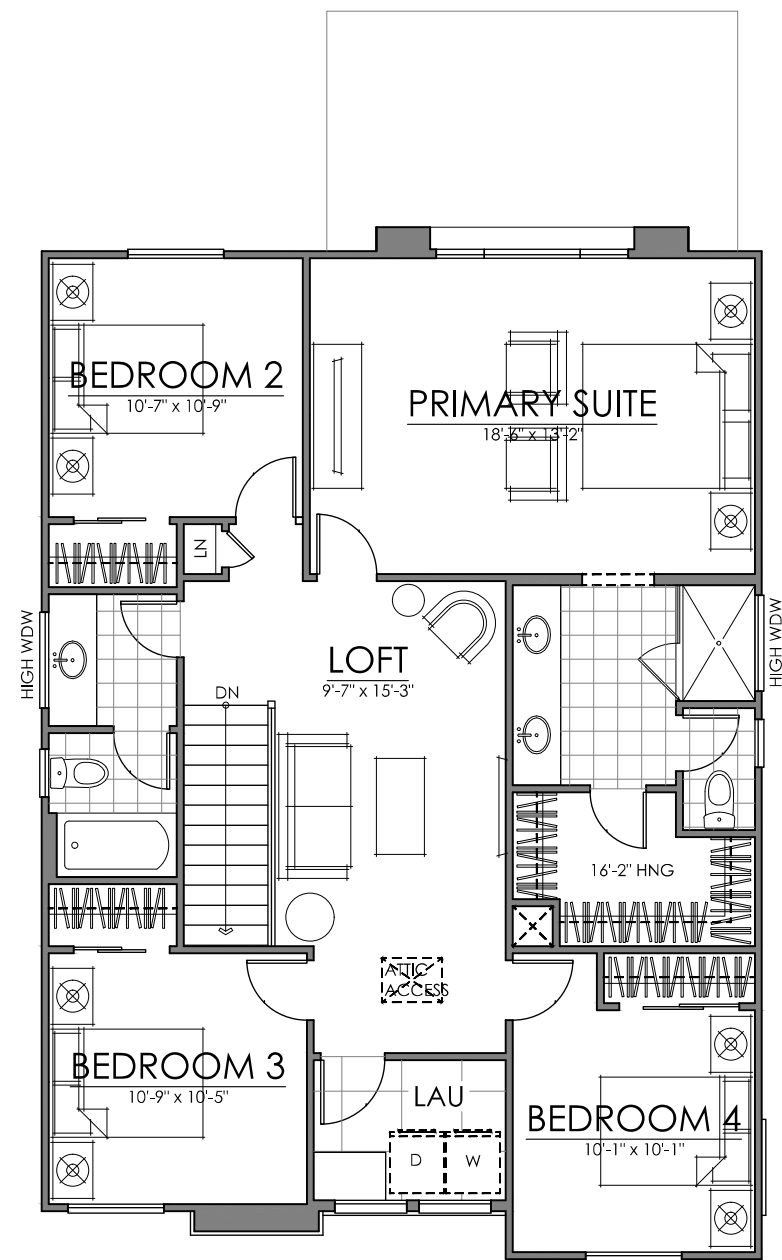
SCALE: 1/8" = 1'-0"

12.08.2025

PLAN ONE | ROOF PLANS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
**CHANDLER, ARIZONA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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FIRST FLOOR 793 SQ. FT.  
 SECOND FLOOR 1221 SQ. FT.  
**TOTAL LIVING 2014 SQ. FT.**

PLAN TWO | 2014 SQ. FT.

**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

12.08.2025

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | FRONT ELEVATIONS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
CHANDLER, ARIZONA

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



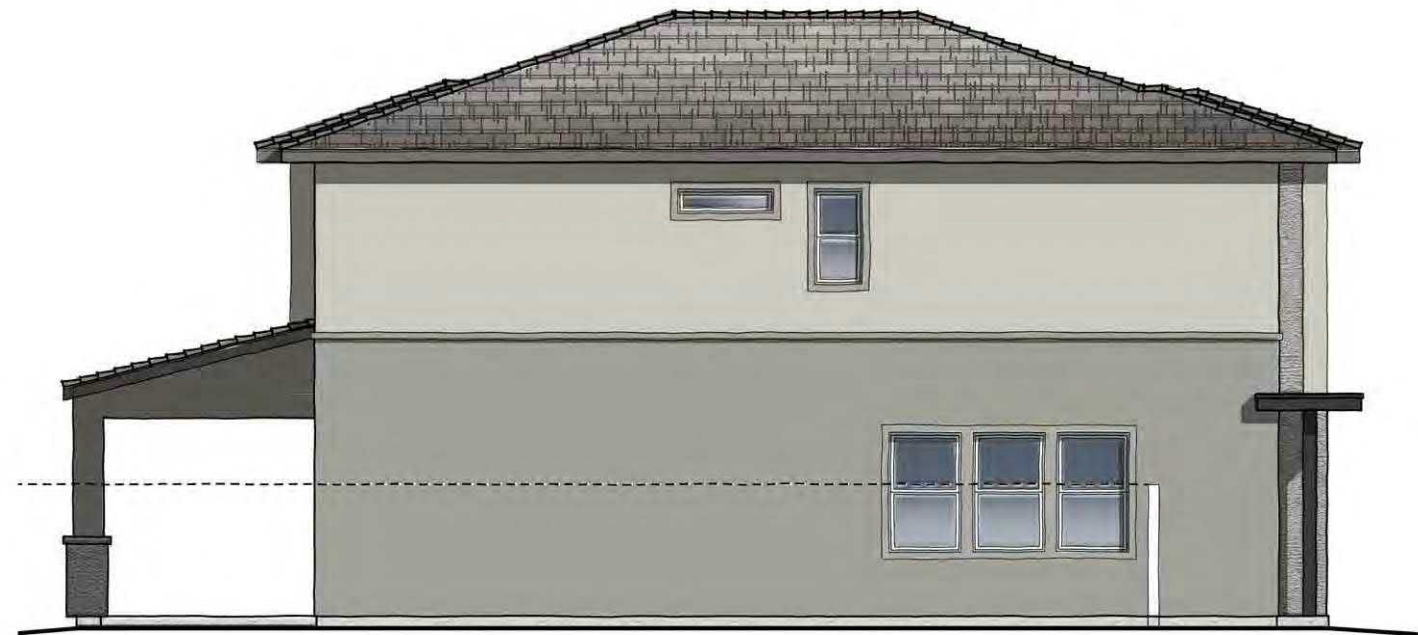
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



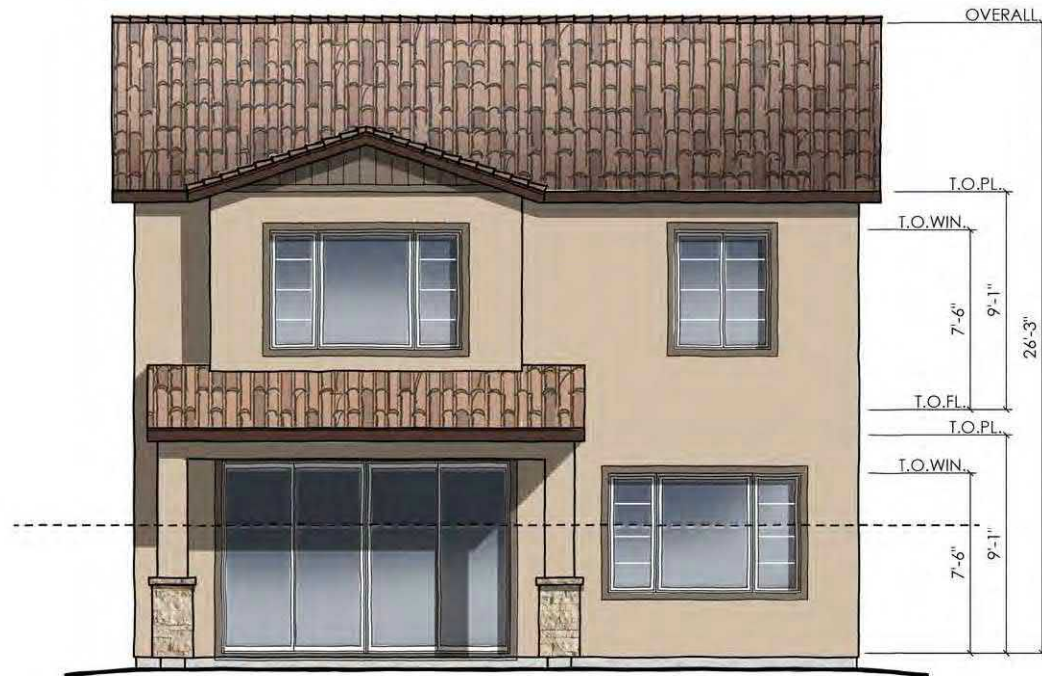
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | ELEVATION B | MODERN SPANISH  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

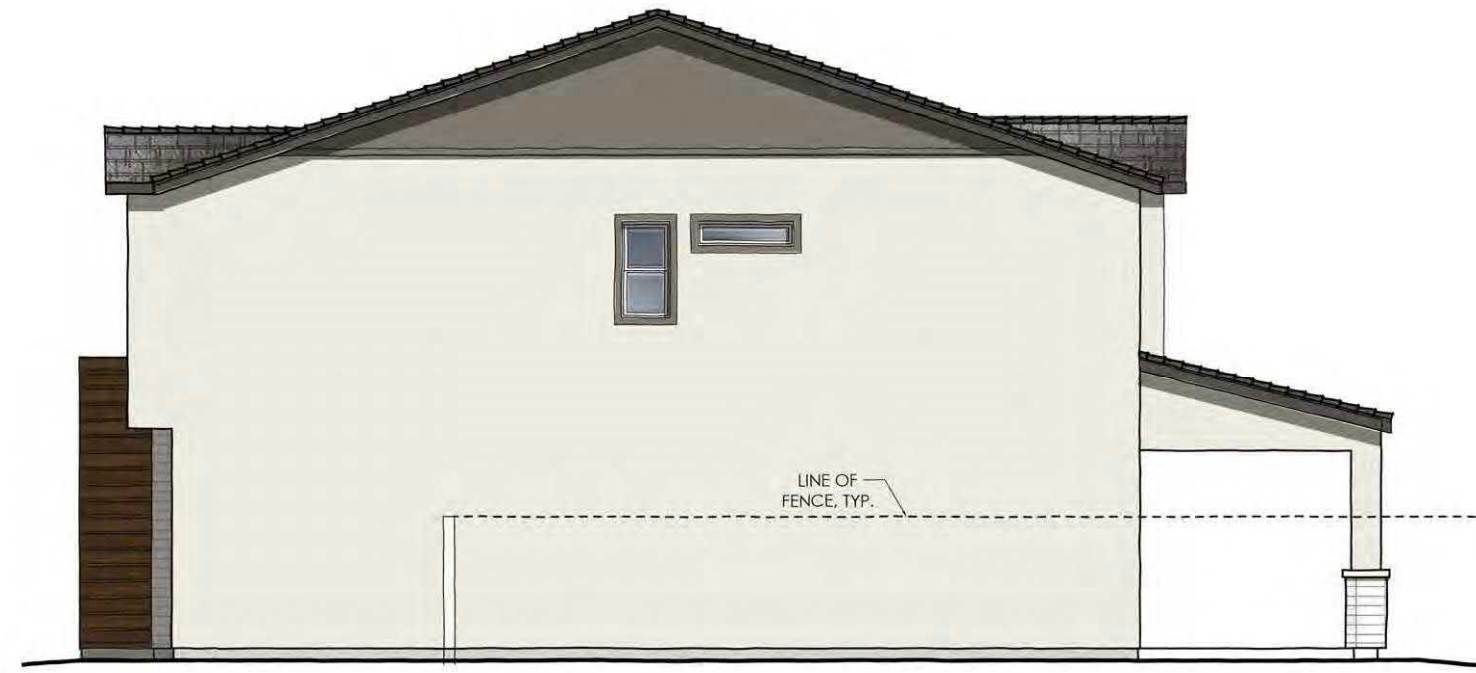
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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



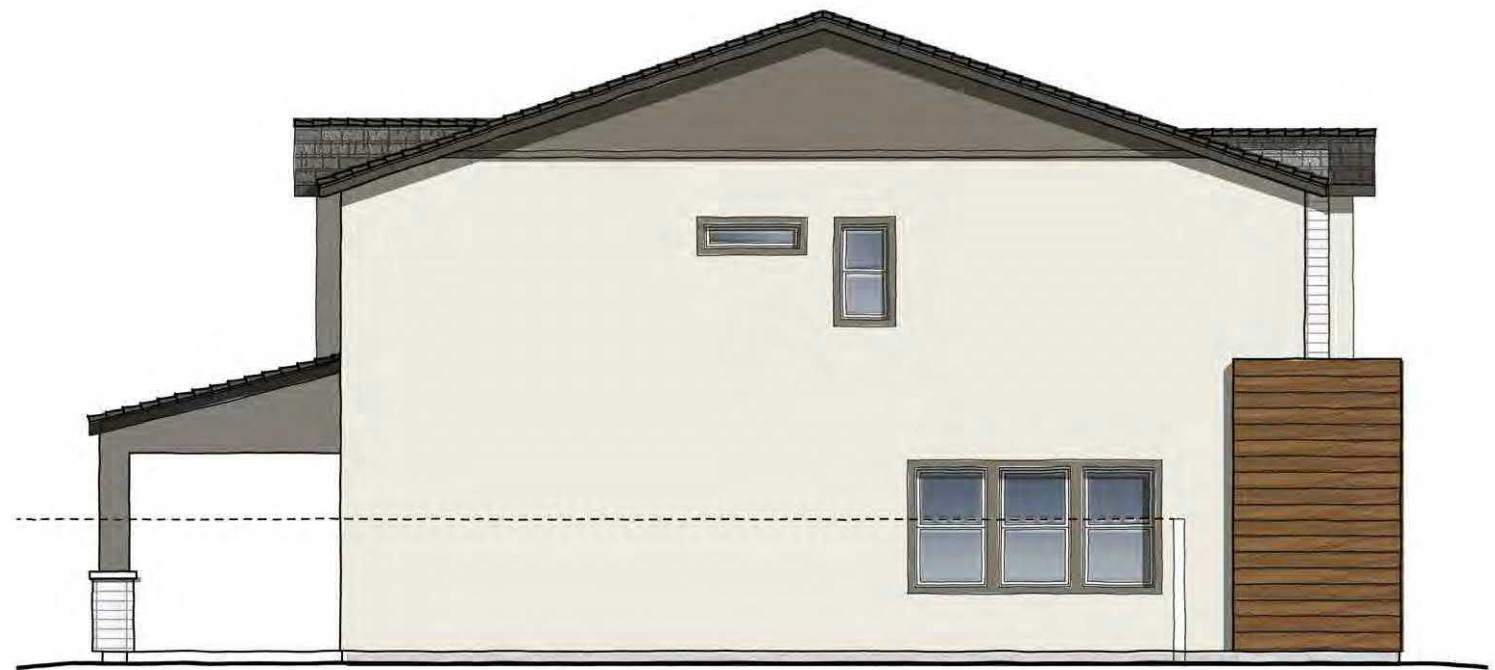
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | ELEVATION C | MID-CENTURY MODERN  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



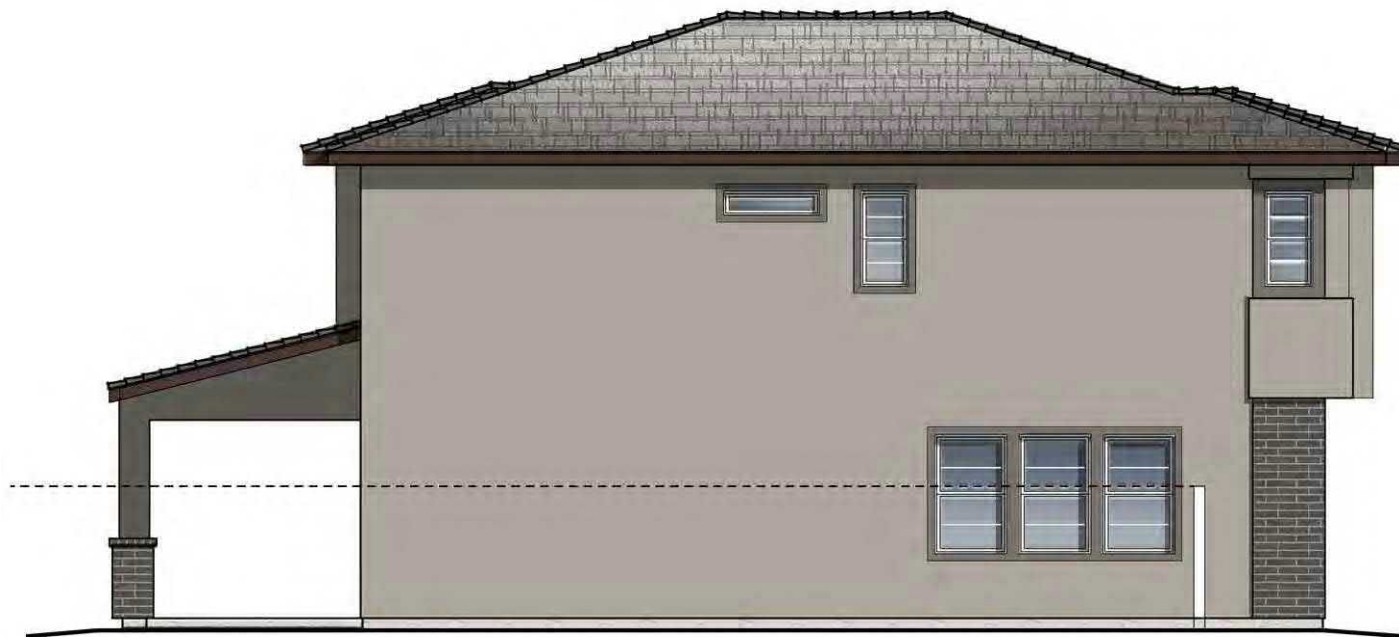
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



elevationA - DESERT CONTEMPORARY SCALE: 1/4"=1'-0"



elevationB - MODERN SPANISH SCALE: 1/4"=1'-0"



elevationC - MID-CENTURY MODERN SCALE: 1/4"=1'-0"



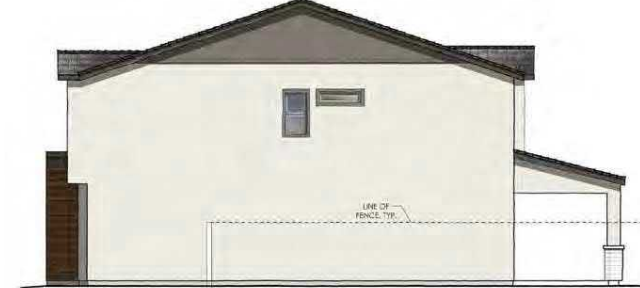
elevationD - MODERN PRAIRIE SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



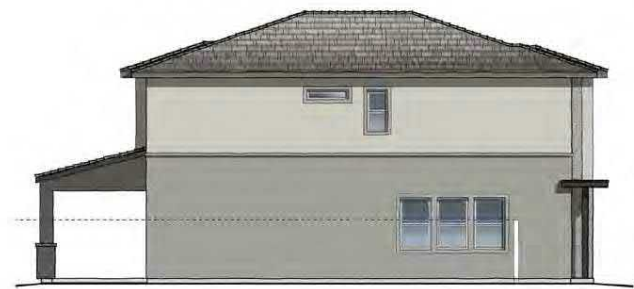
RIGHT ELEVATION SCALE: 1/4"=1'-0"



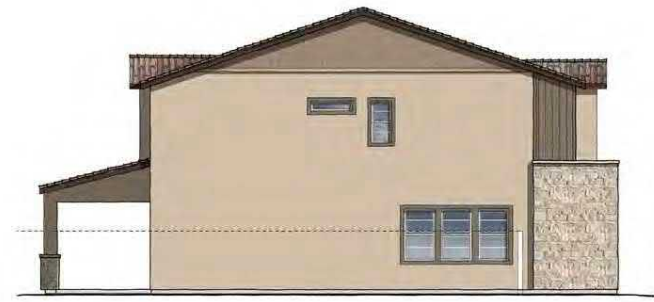
RIGHT ELEVATION SCALE: 1/4"=1'-0"



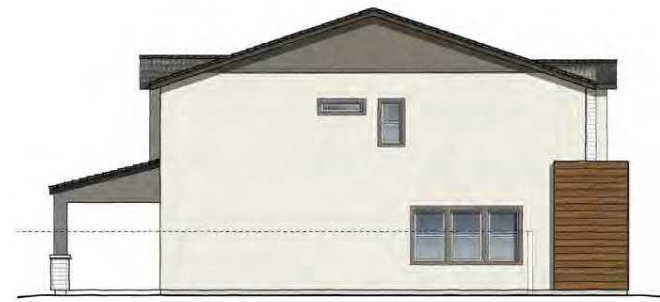
RIGHT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

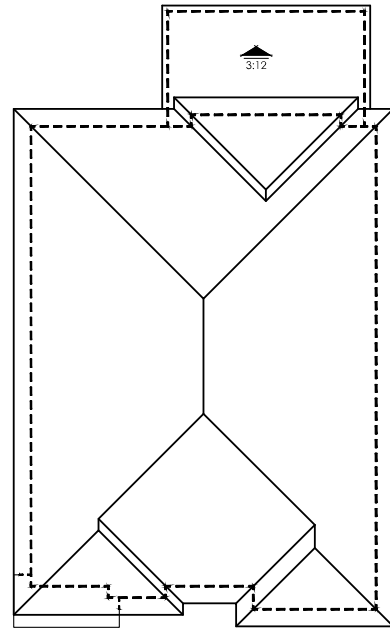


REAR ELEVATION SCALE: 1/4"=1'-0"

# PLAN TWO

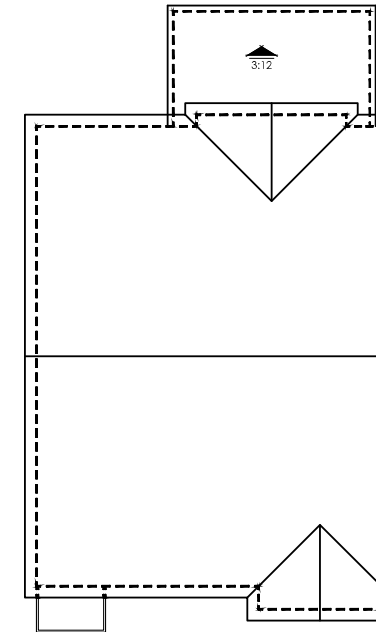
## THE BOWER DOBSON | ARCADIA COMMUNITIES

### CHANDLER, ARIZONA



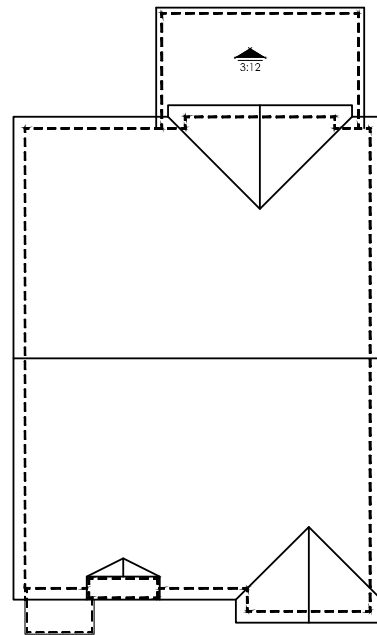
ALL PITCHES 4:12 U.N.O.  
ROOF PLAN-A

SCALE: 1/8" = 1'-0"



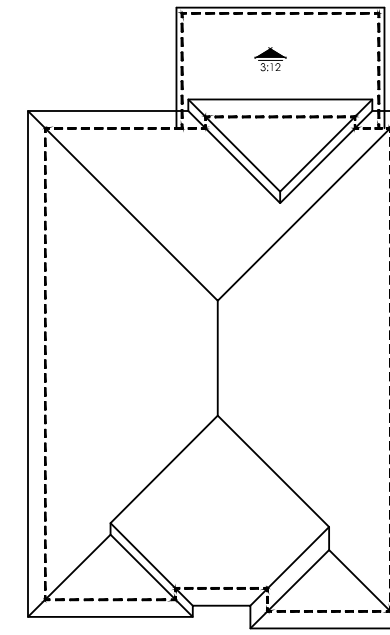
ALL PITCHES 4:12 U.N.O.  
ROOF PLAN-B

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.  
ROOF PLAN-C

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.  
ROOF PLAN-D

SCALE: 1/8" = 1'-0"

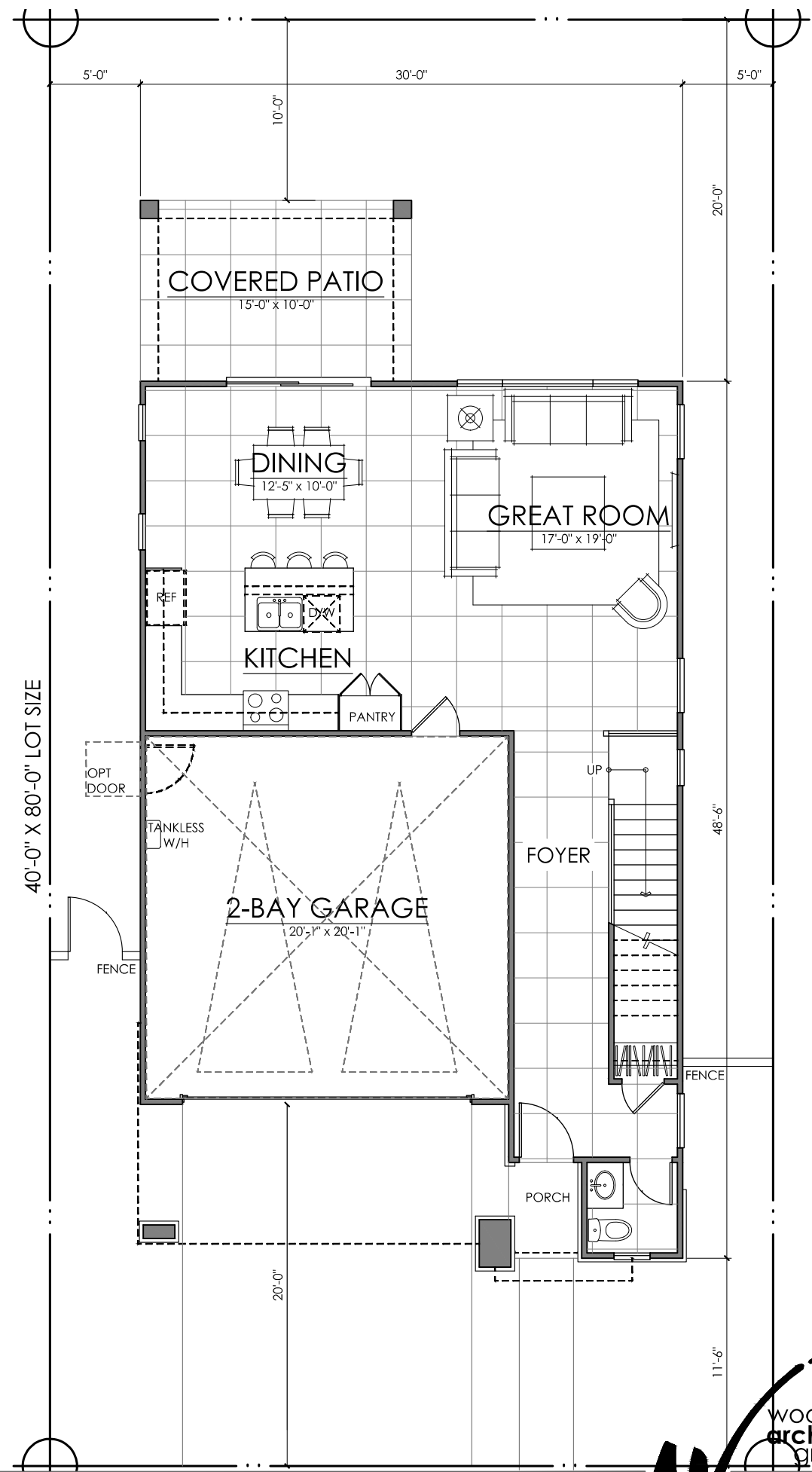
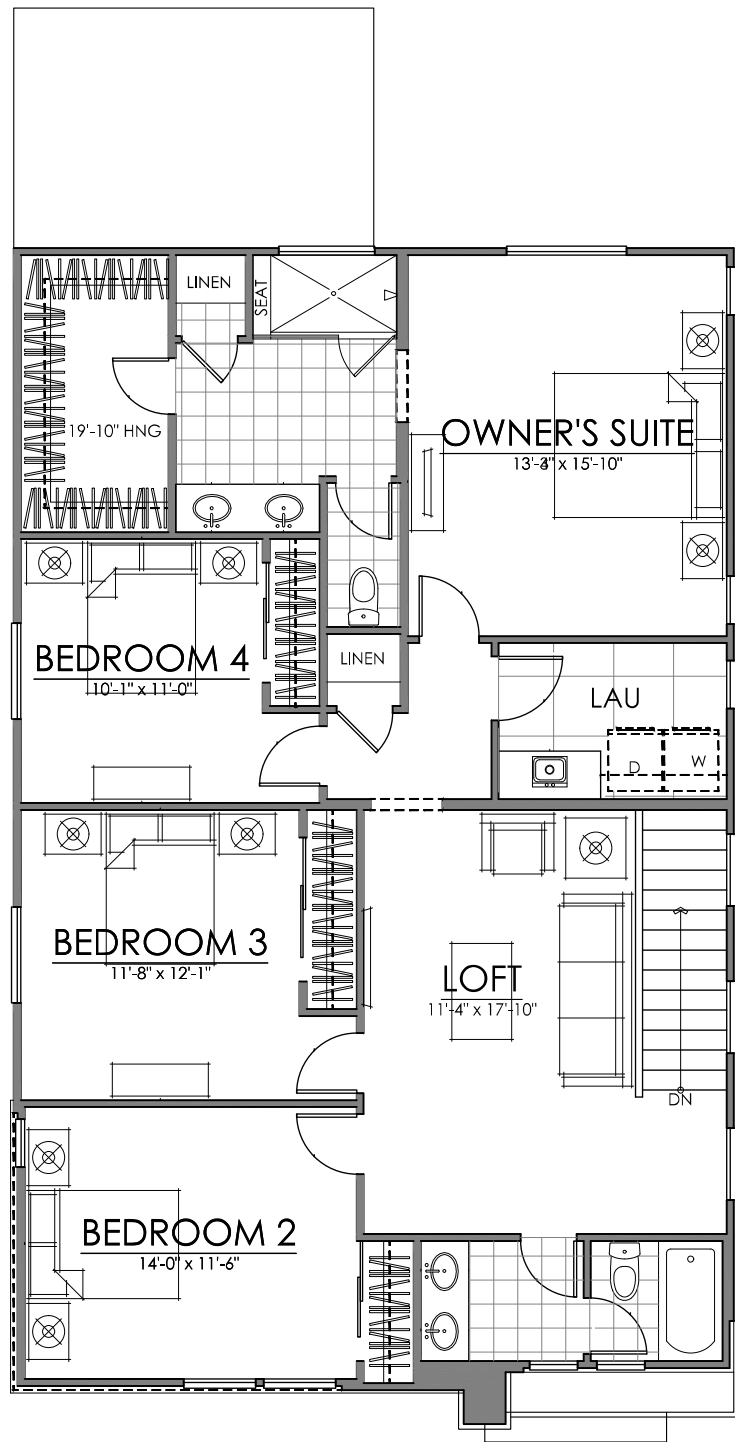
12.08.2025

PLAN TWO | ROOF PLANS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
CHANDLER, ARIZONA

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FIRST FLOOR 845 SQ. FT.  
 SECOND FLOOR 1369 SQ. FT.  
 TOTAL LIVING 2214 SQ. FT.  
**PLAN THREE | 2214 SQ. FT.**  
 ELEVATION A

12.08.2025

**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
**CHANDLER, ARIZONA**

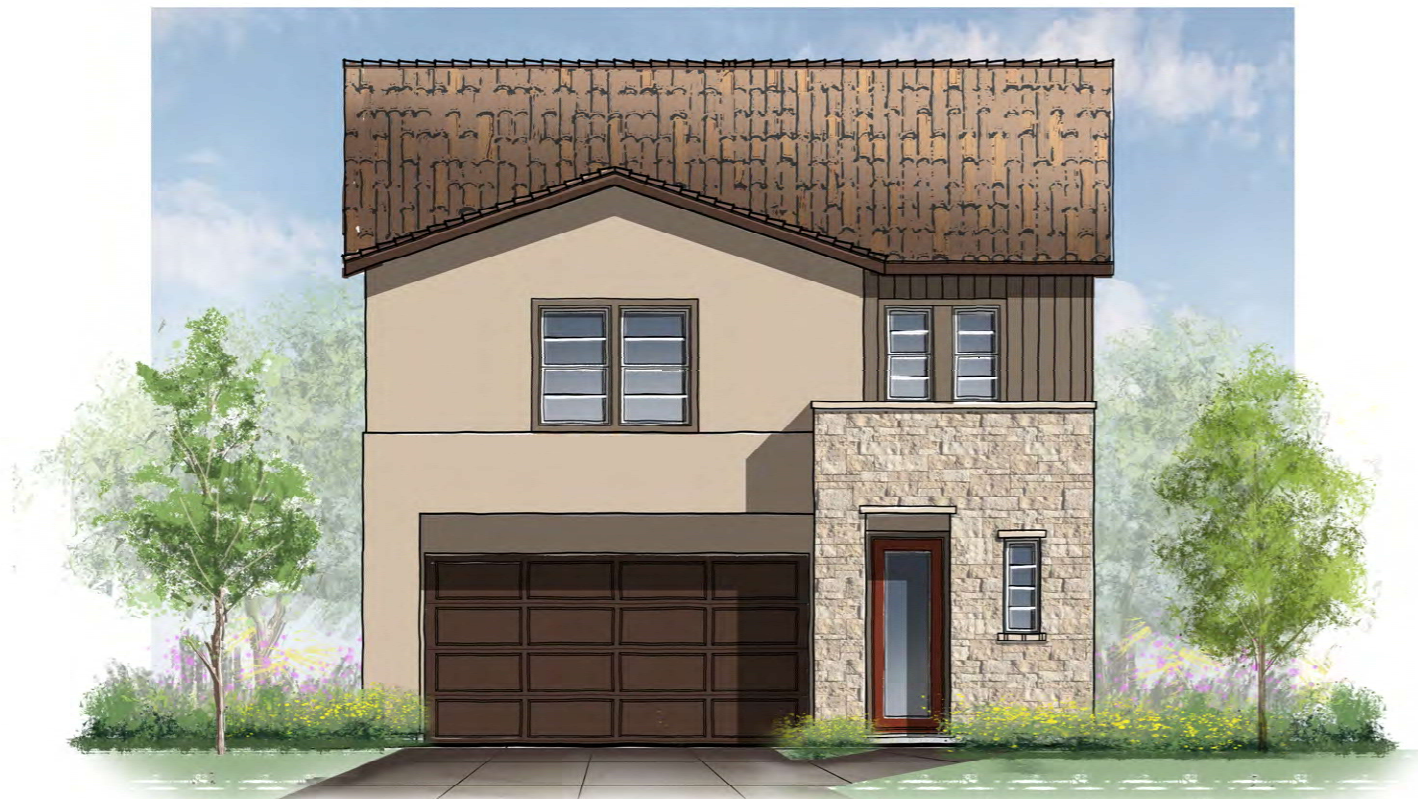


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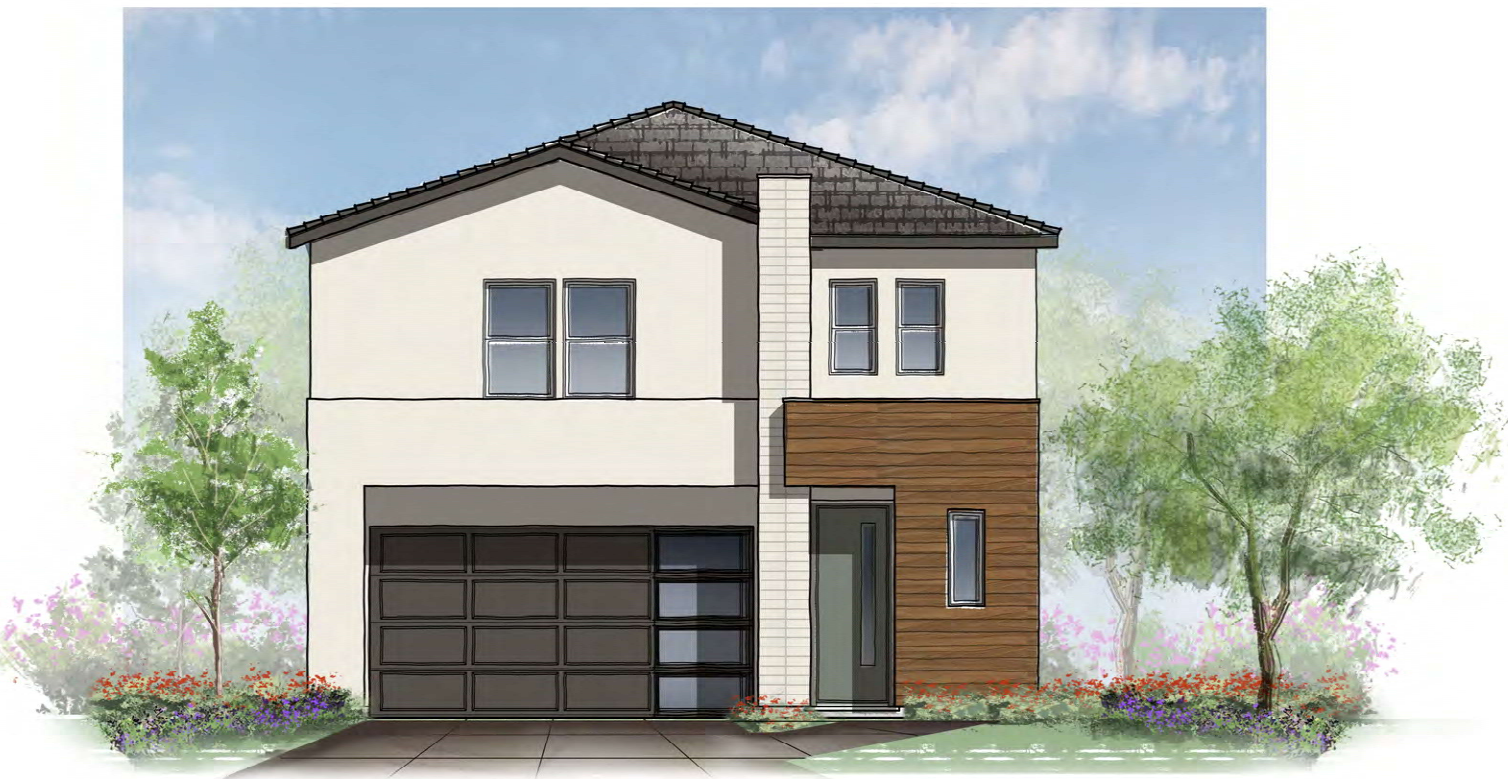
elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | FRONT ELEVATIONS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

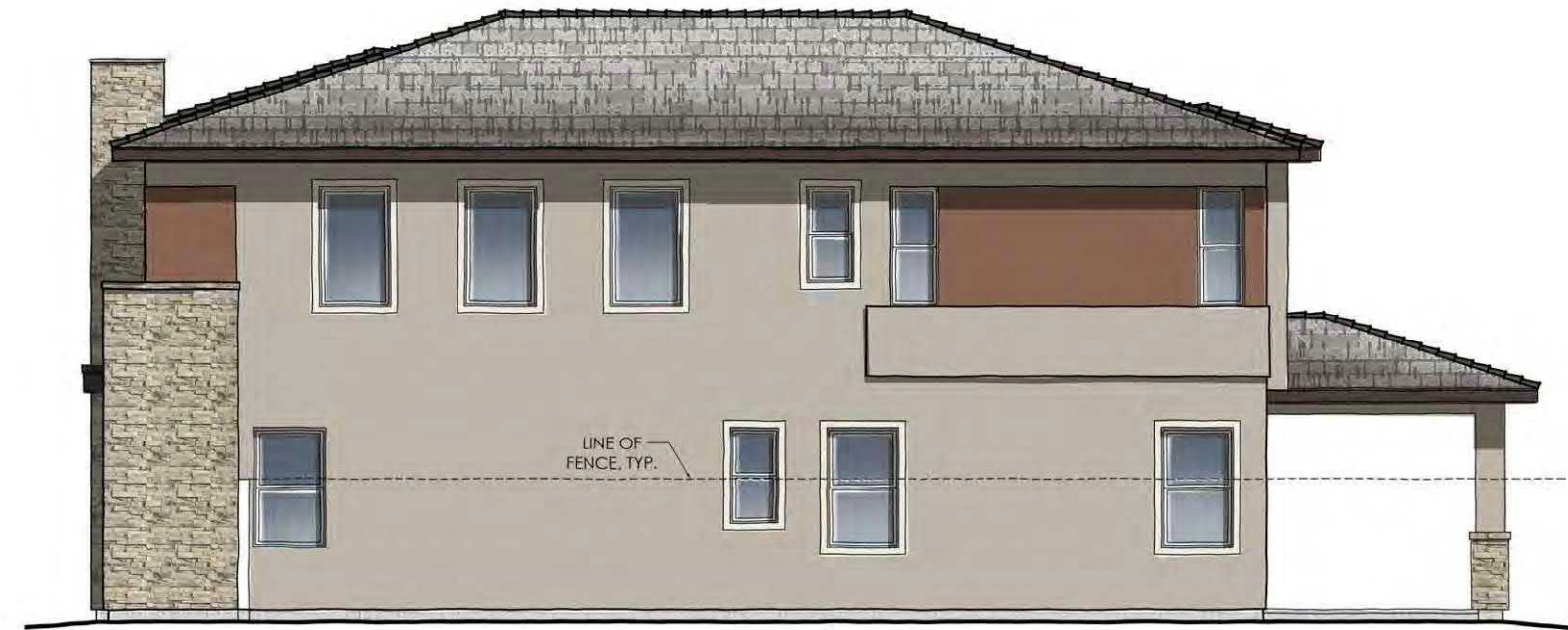
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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



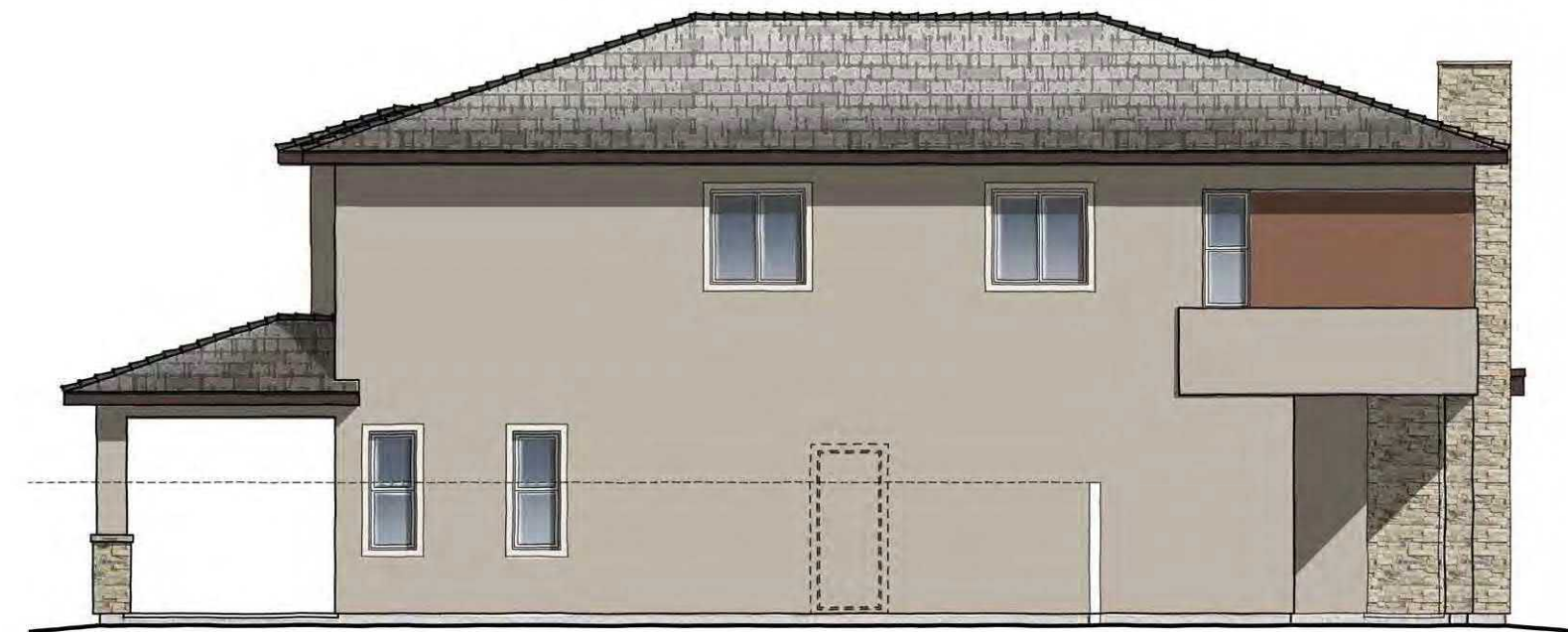
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

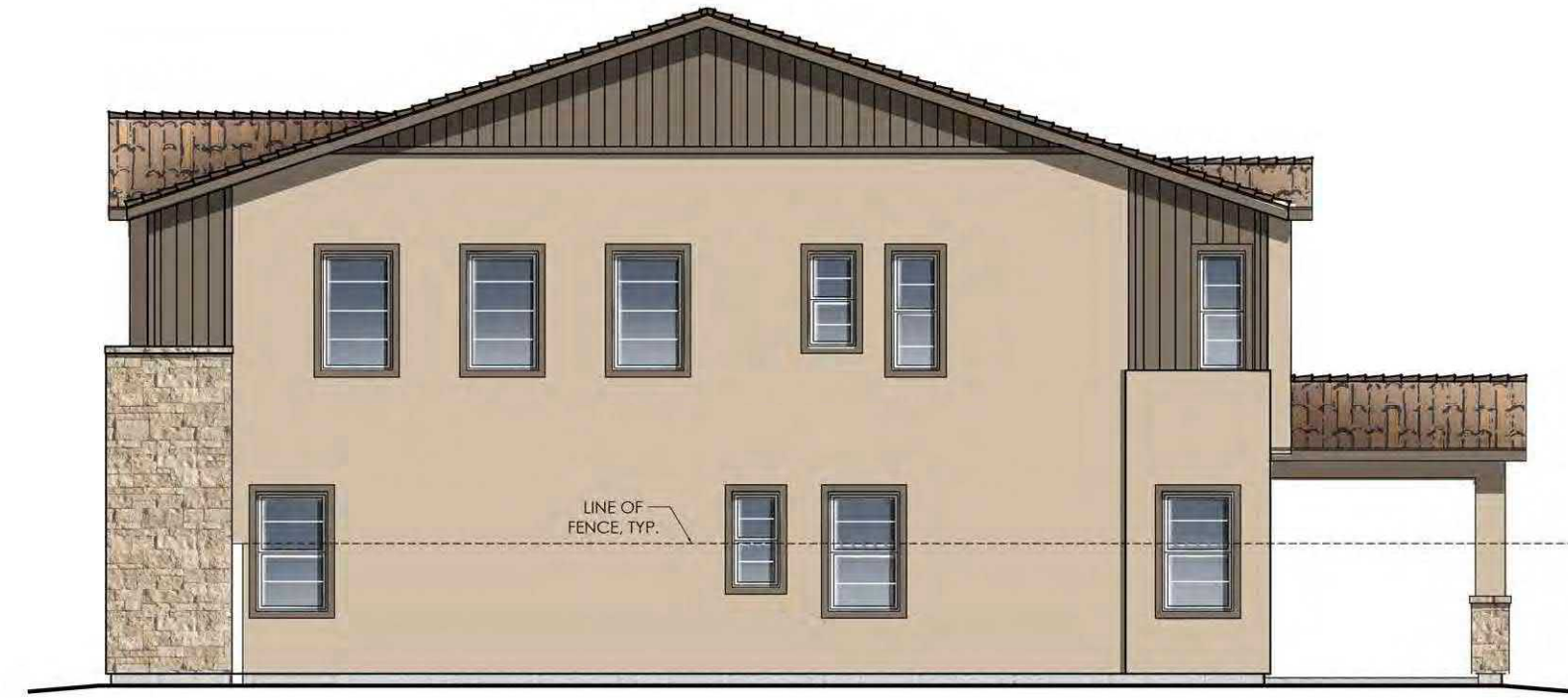
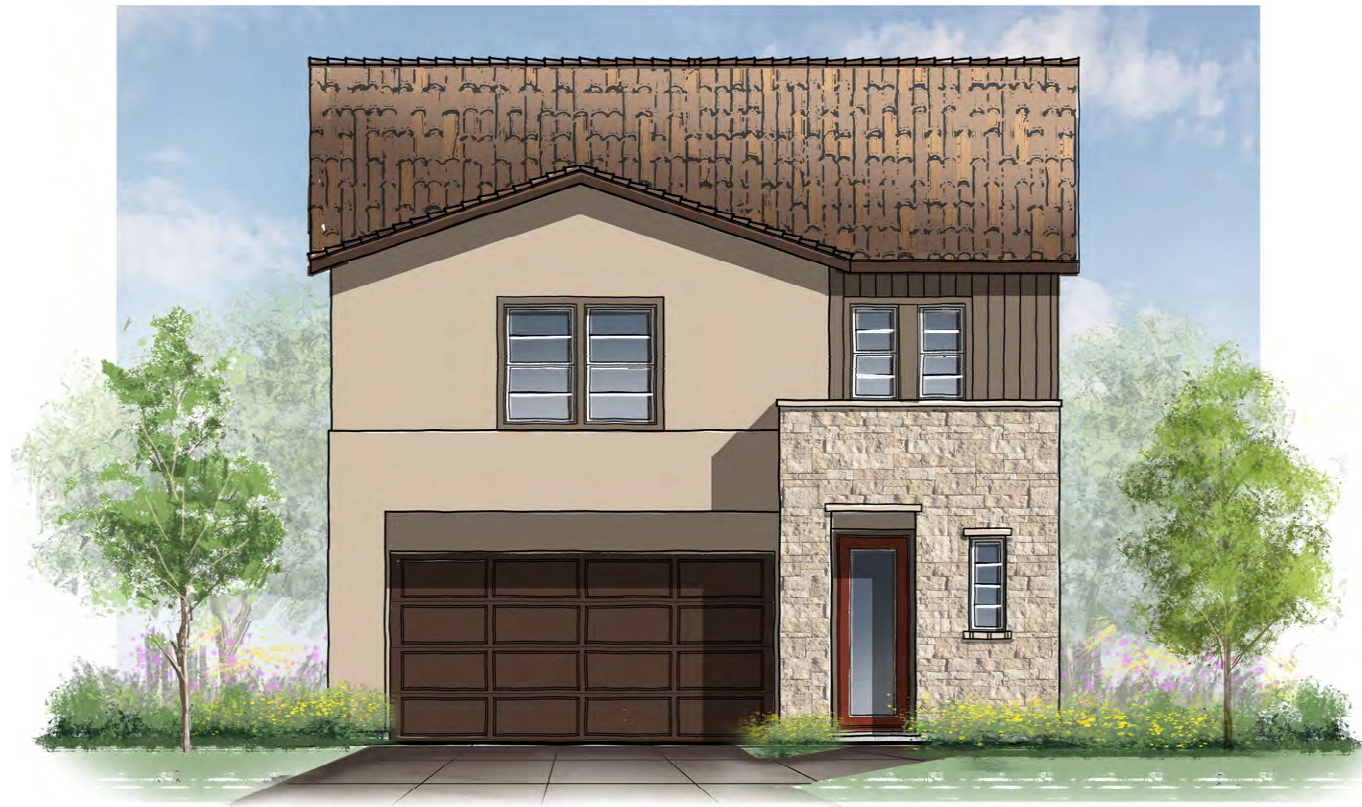
12.08.2025

PLAN THREE | ELEVATION A | DESERT CONTEMPORARY  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

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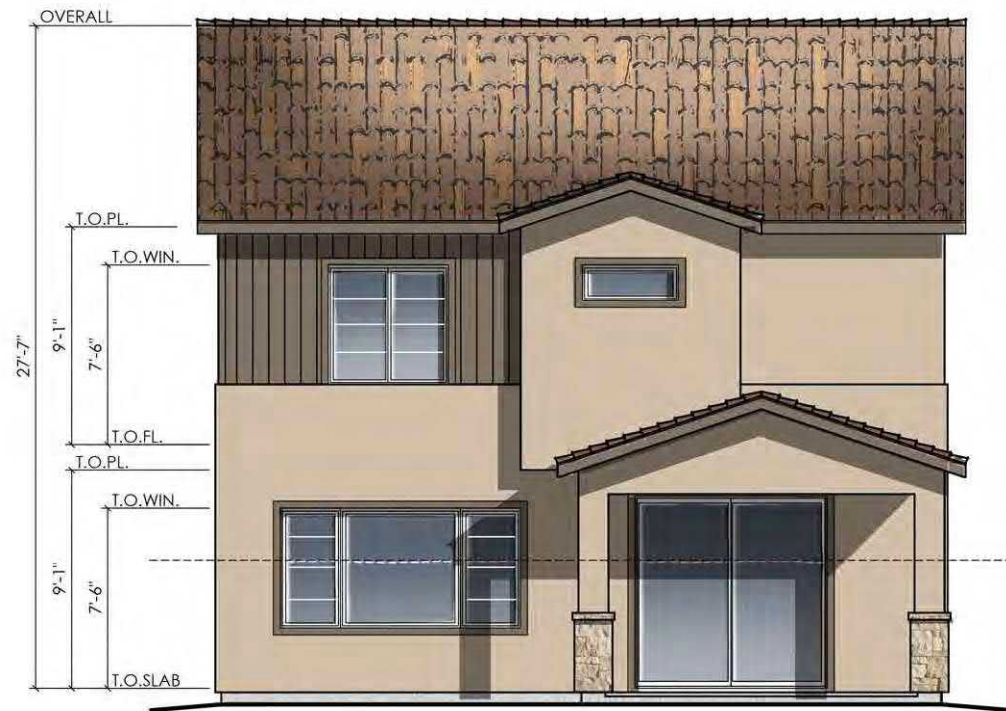


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

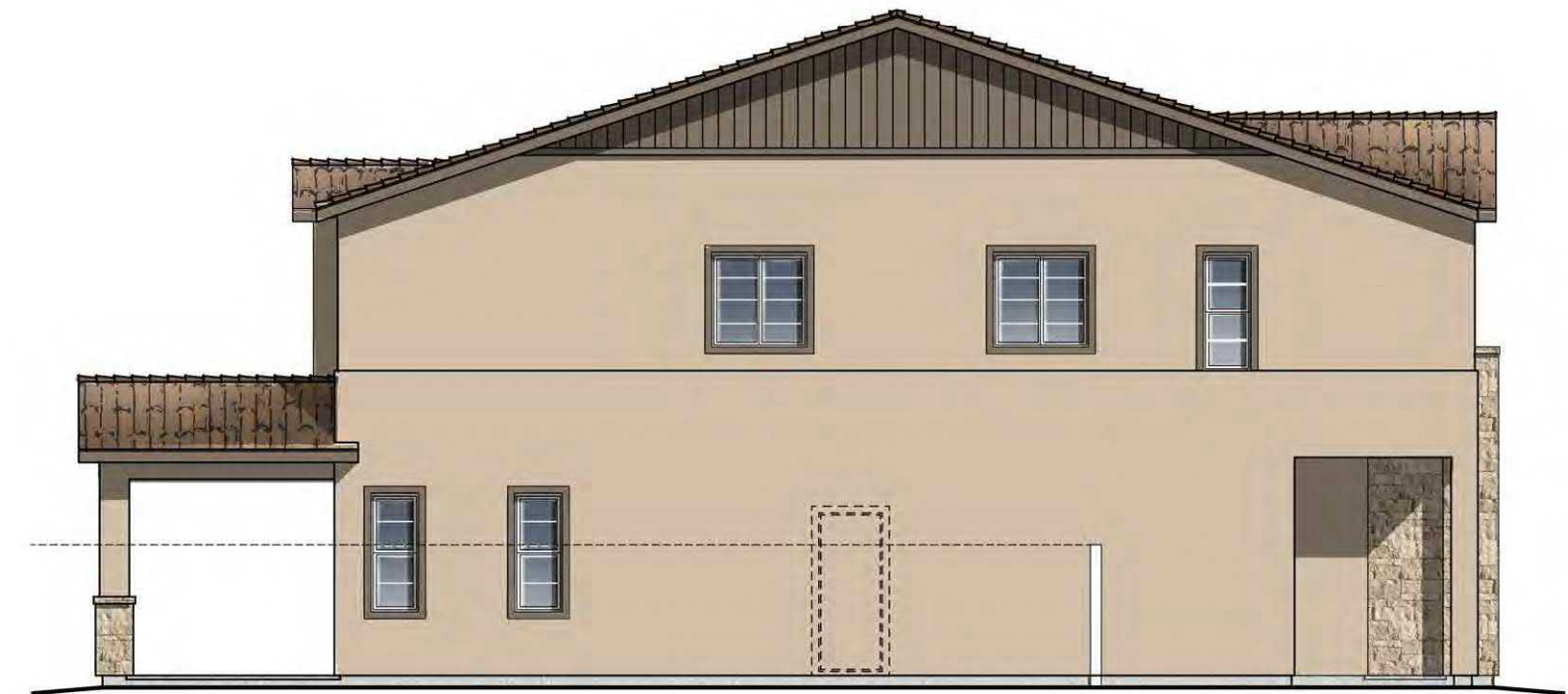
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

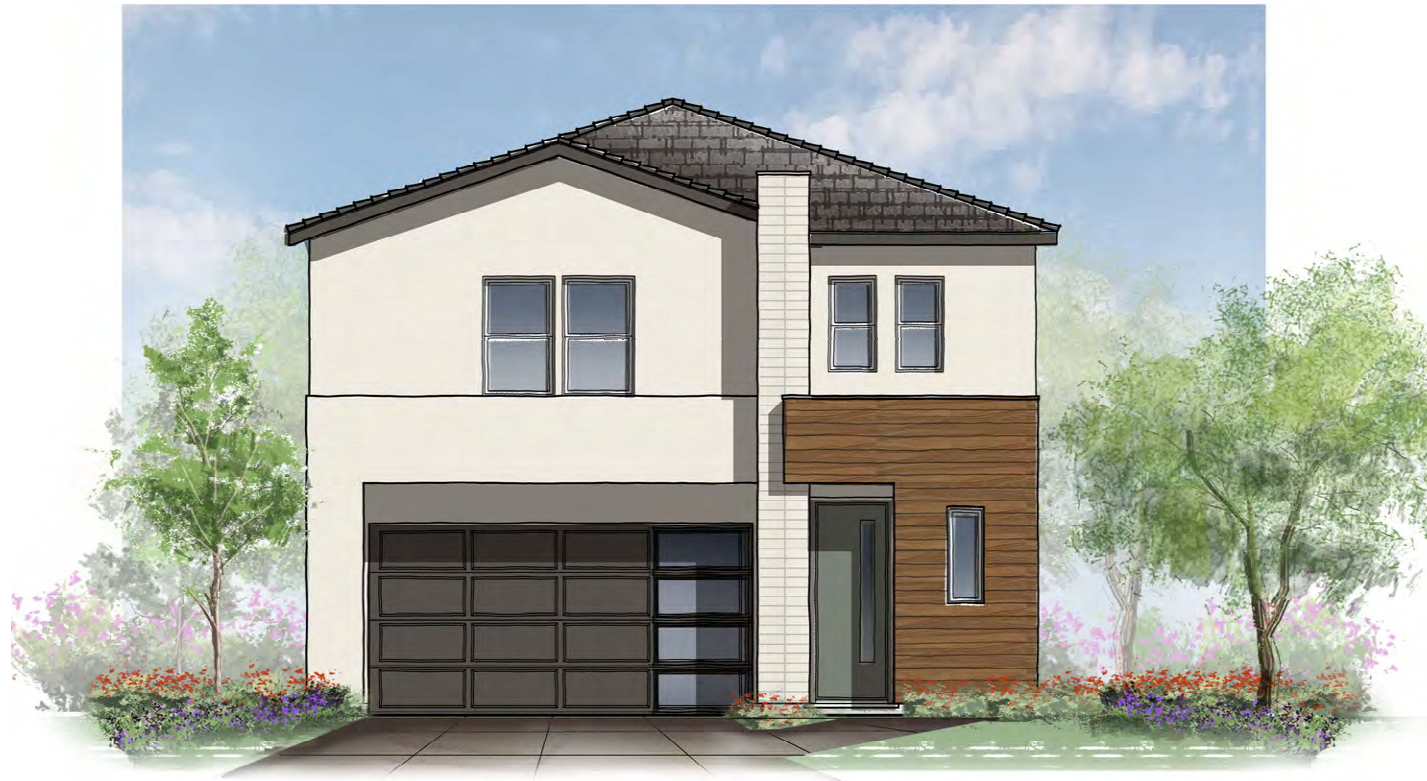
12.08.2025

PLAN THREE | ELEVATION B | MODERN SPANISH  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

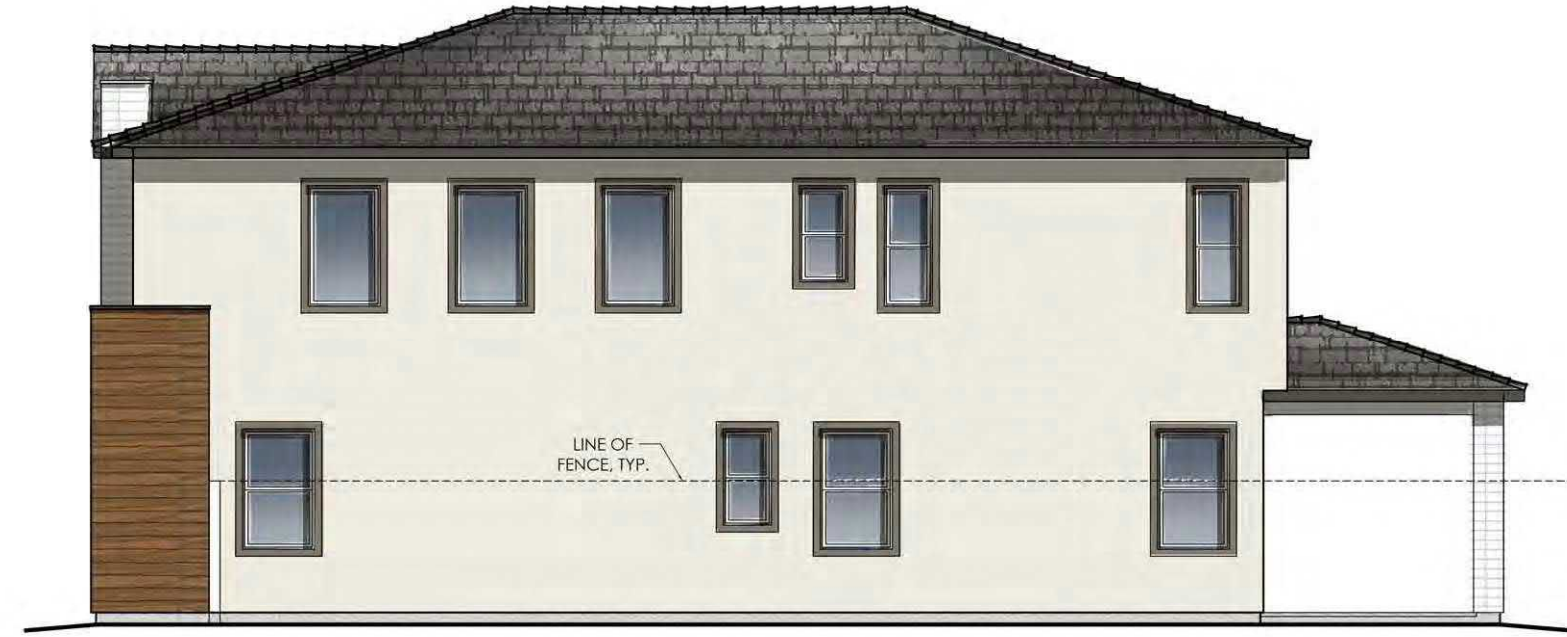
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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | ELEVATION C | MID-CENTURY MODERN  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | ELEVATION D | MODERN PRAIRIE  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



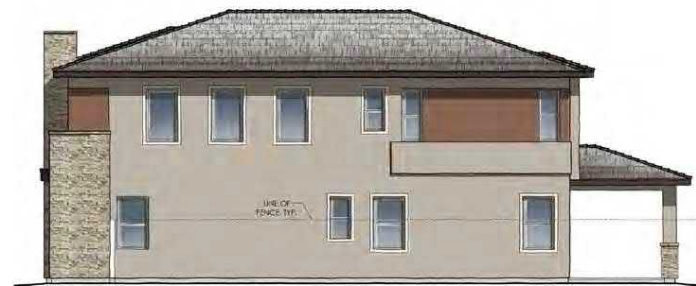
elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



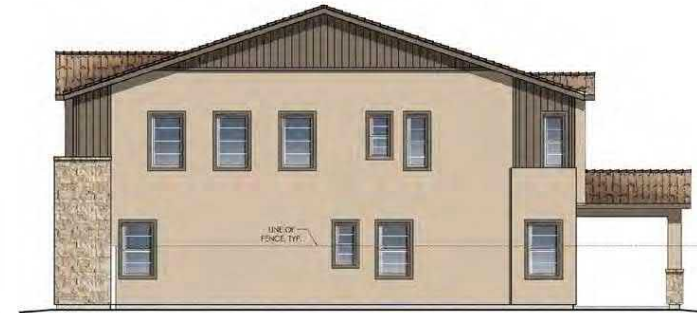
elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



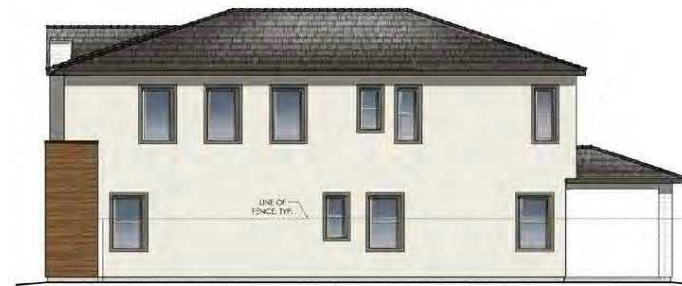
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SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



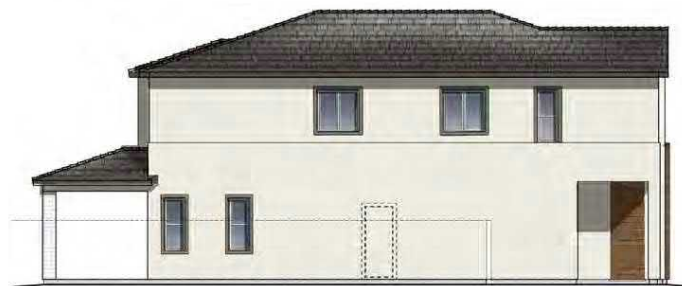
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SCALE: 1/4" = 1'-0"



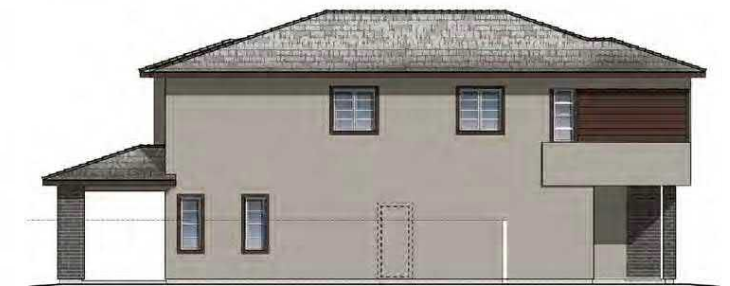
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SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

12.08.25

# PLAN THREE THE BOWER DOBSON | ARCADIA COMMUNITIES CHANDLER, ARIZONA

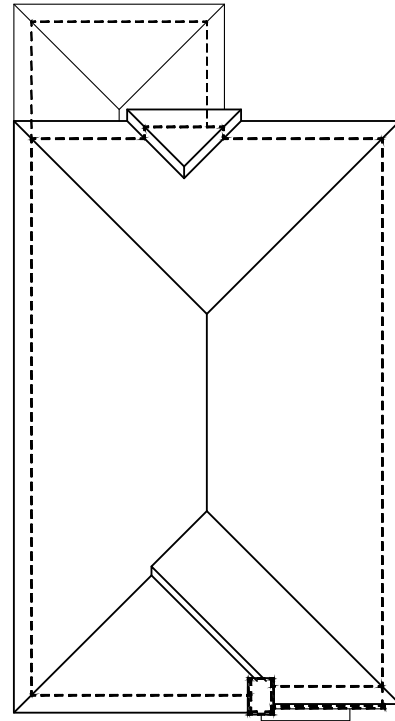
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woodley  
architectural  
group, inc

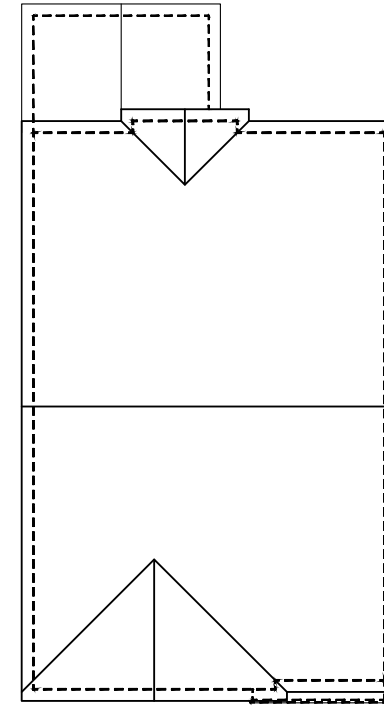
colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303 683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949 553.8919



ALL PITCHES 4:12 U.N.O.

ROOF PLAN-A

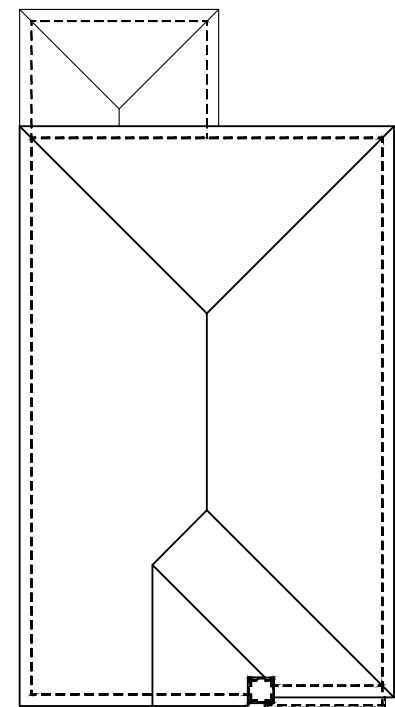
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ALL PITCHES 4:12 U.N.O.

ROOF PLAN-B

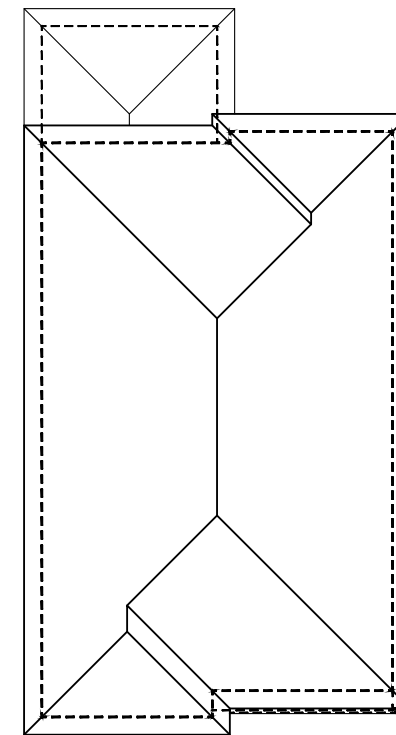
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ALL PITCHES 4:12 U.N.O.

ROOF PLAN-C

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.

ROOF PLAN-D

SCALE: 1/8" = 1'-0"

12.08.2025

PLAN THREE | ROOF PLANS  
**THE BOWER DOBSON | ARCADIA COMMUNITIES**  
 CHANDLER, ARIZONA

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**LEGAL DESCRIPTION:**

FOR APN/PARCEL ID(S): 303-23-982 AND 303-23-983

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

LOTS 4 AND 5, LOT 1A, MAGGIO RANCH AMENDED ACCORDING TO BOOK 357 OF MAPS, PAGE 29 RECORDS OF MARICOPA COUNTY, ARIZONA.

**NOTES:**

VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

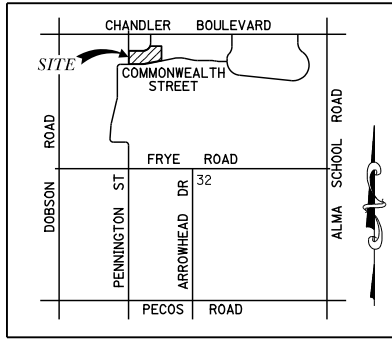
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

# PRELIMINARY GRADING PLAN FOR DOBSON & CHANDLER

LOCATED IN A PORTION SECTION 32, TOWNSHIP 1 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**VICINITY MAP**  
N.T.S.

**RETENTION REQUIRED (100-yr 2-hr)**

Sub-Area	Area (SF)	C-Value	P	10% inches	Volume CF	Volume AF
A	25000	0.65	2.20	1.10	3277	0.08
B	38000	0.65	2.20	1.10	4981	0.11
C	147000	0.65	2.20	1.10	19269	0.44
<b>Total</b>	<b>210000</b>				<b>27528</b>	<b>0.63</b>

V=1.1 x P x A x C

**Basin A**

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
91.5	460			0.00
92.5	1050	755	755	0.02
93.5	1758	1404	2159	0.05
94.5	2574	2166	4325	0.10
<b>TOTAL</b>	<b>4325</b>		<b>CF</b>	

Volume Required	
Subbasin	
A	
(CF)	
3277	
<b>Volume OK</b>	<b>CF</b>

**Basin B**

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
91.5	609			0.00
92.5	2143	1376	1376	0.03
93.5	3590	2867	4243	0.10
94.5	5673	4632	8874	0.20
<b>TOTAL</b>	<b>8874</b>		<b>CF</b>	

Volume Required	
Subbasin	
B	
(CF)	
4981	
<b>Volume OK</b>	<b>CF</b>

**Basin C**

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
89.5	3900			0.00
90.5	5900	4900	4900	0.11
91.5	7345	6623	11523	0.28
92.5	8511	7828	19451	0.46
<b>TOTAL</b>	<b>19451</b>		<b>CF</b>	

Volume Required	
Subbasin	
C	
(CF)	
19269	
<b>Volume OK</b>	<b>CF</b>

**RETENTION SUMMARY**

Basin	Volume Required CF	Volume Provided CF	Overflow to other Basin CF	Excess Volume CF	Notes
A	3277	4325		1048	
B	4981	8874		3893	
C	19269	19451		181	
<b>Total</b>	<b>27528</b>	<b>32650</b>	<b>0</b>	<b>5122</b>	

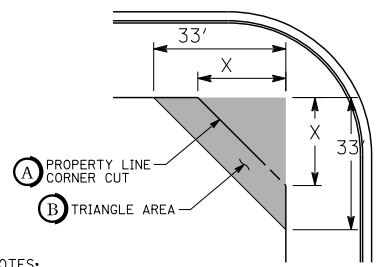
**TOTAL EXCESS VOLUME 5122 CY**

**Basin Percolation Rates**

BASIN	Design Rate of Bleedoff (cfs)	Basin Volume Required (cf)	Dry-Up Time (hr)	Drywells Needed (36 hrs)	Drywells Used	Notes
A	0.1	3277	9.1	0.25	1	USE 1 DRYWELL
B	0.1	4981	13.8	0.38	1	USE 1 DRYWELL
C	0.1	19269	53.5	1.49	2	USE 2 DRYWELL

THE CITY'S MUNICIPAL CODE CHAPTER 48-10.2 (PUBLIC WORKS - SUBDIVISION) SPECIFIES A RANGE OF TRIANGULAR CUTOFFS FOR THE CORNER PROPERTY LINE AT INTERSECTIONS. ADDITIONALLY, FIGURE 4-D BELOW REQUIRES THAT THE 30'x30' AREA BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN 2' AND 6' IN HEIGHT.

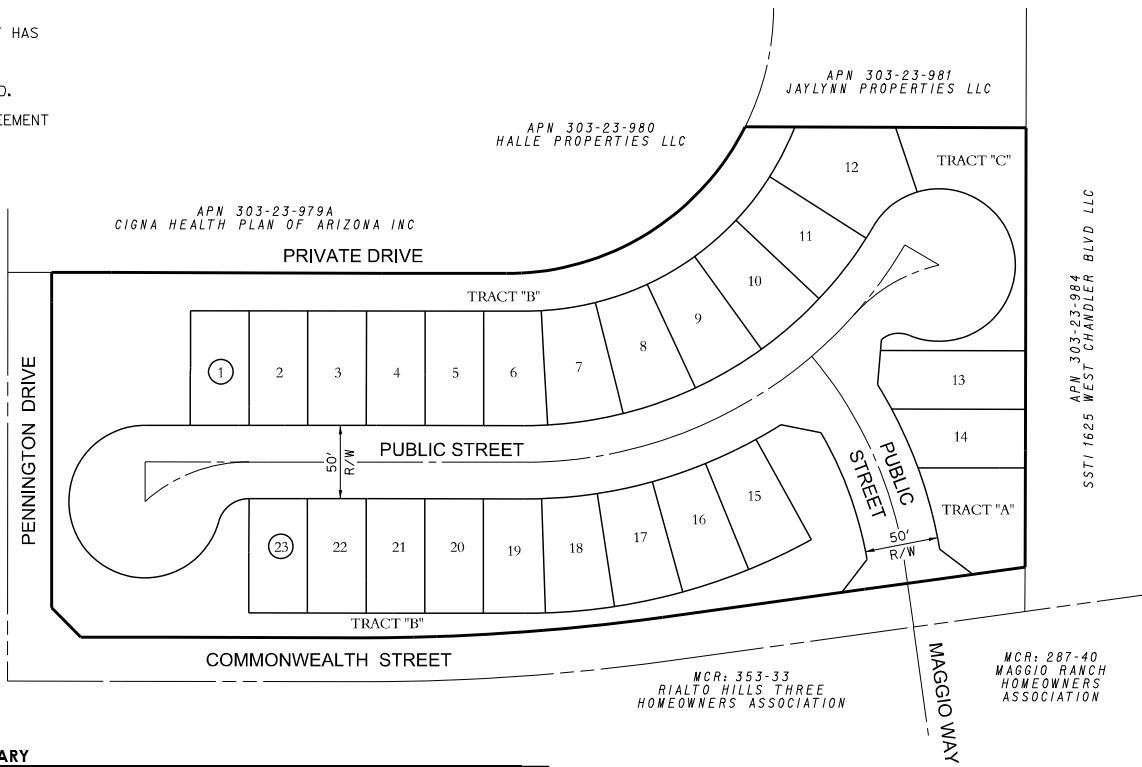
**FIGURE 4-D TRIANGLE AREA**



**NOTES:**  
X=10' FOR ALLEYS  
15' FOR LOCAL-LOCAL INTERSECTIONS.  
20' FOR ALL OTHER INTERSECTIONS.  
PER MUNICIPAL CODE CHAPTER 48-10.2

**(A)** GROUND COVER, FLOWERS, AND GRANITE LESS THAN 2' (MATURE) IN HEIGHT AND/OR TREES WITH BRANCHES NOT LESS THAN 6' ABOVE GROUND IN THIS AREA.  
**(B)** TREES SHALL NOT BE SPACED LESS THAN 8' APART  
PER MUNICIPAL CODE CHAPTER 35-2205

SEE STANDARD DETAIL NO. C-246, C-247 AND C-248 FOR SIGHT DISTANCE REQUIRED AT DRIVEWAYS AND INTERSECTIONS.



**APPLICANT/OWNER/DEVELOPER:**

RESIDENTIAL PURSUITS INVESTMENTS, LLC  
7600 E. DOUBLETREE RANCH ROAD., SUITE 220  
SCOTTSDALE, AZ 85258

CONTACT: JOVANA ORTEGA & CHRIS BROWN  
EMAIL: JORTEGA@ARCADIACAPITALLLC.COM  
PHONE: (602) 320-9159

**ENGINEER:**

3 ENGINEERING  
6370 E. THOMAS ROAD  
SUITE 200  
SCOTTSDALE, ARIZONA 85251  
CONTACT: MATTHEW J. MANCINI, P.E.  
PHONE: (602) 334-4387  
EMAIL: MATT@3ENGINEERING.COM

**PROJECT DESCRIPTION:**

THIS PROJECT IS PROPOSED AS A DETACHED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A GROSS DENSITY OF 5.57 LOTS/AC. STANDARD LOT SIZES VARY WITH A MINIMUM LOT DIMENSION OF 40'x78'. THE PROJECT PROPOSES A TOTAL OF 23 LOTS WITH PUBLIC STREETS, PUBLIC WATER, AND PUBLIC SEWER.

**UTILITIES:**

- TELEPHONE - CENTURY LINK/ COX
- ELECTRIC - SALT RIVER PROJECT (SRP)
- GAS - SOUTHWEST GAS COMPANY
- CABLE TV - COX COMMUNICATIONS
- SEWER - CITY OF CHANDLER
- WATER - CITY OF CHANDLER
- POLICE/FIRE - CITY OF CHANDLER
- REFUSE - CITY OF CHANDLER

**MISCELLANEOUS NOTES:**

RETAINING WALL HEIGHTS TO BE DETERMINED AT FINAL DESIGN. HOWEVER, A REQUEST TO ALLOW RETAINING WALLS TO BE 4-FT HIGH IS MADE.

STREET LIGHTS TO BE DETERMINED AT FINAL DESIGN.

NATIVE PLANT INVENTORY TO BE COMPLETED DURING FINAL DESIGN.

ALL SIDEWALKS AND ADA RAMP ALONG THE ENTIRE PROPERTY FRONTAGE OF COMMONWEALTH & PENNINGTON WILL BE EVALUATED AND MY BE REQUIRED TO BE REPLACED TO MEET CURRENT CITY STANDARDS.

REPLACE ANY DEFECTIVE STORMWATER PIPE, HEADWALLS, SCUPPER/SPILLWAYS OR FLARED END SECTIONS THAT DISCHARGE INTO THE BASINS

**BASIS OF BEARING:**

BASIS OF BEARING IS THE MONUMENT OF NORTH PENNINGTON DRIVE. BEARS NORTH 00°03'01" EAST PER BOOK 357 OF MAPS PAGE 29 M.C.R.

**BENCHMARK:**

CITY OF CHANDLER BM. 37A BRASS CAP IN HANDHOLE  
ELEVATION: 1195.85  
NAVD-88

**FLOODPLAIN INFORMATION:**

FIRM: 04013C2740M  
PANEL NUMBER: NOT PRINTED  
PANEL DATE: 11/04/2015  
SUFFIX: M  
FIRM DATE: 11/04/2015  
FIRM ZONE: X-SHADED  
BASE FLOOD ELEV.: N/A

**ASSESSORS PARCEL NO.**

APN 303-23-982 & 303-23-983

**SITE DATA:**

TOTAL LOTS	23
NET AREA	2.99 ACRES
GROSS AREA	4.13 ACRES
GROSS DENSITY	5.57 DU/AC
MAX. BLDG. HEIGHT	30' (2-STORY)
SETBACKS	SEE TYPICAL LOT DETAIL
AREA OF LOTS	1.78 ACRES
AREA OF OPEN SPACE	1.21 ACRES
AREA OF NEW R/W	(29.24% GROSS, 40.43% NET)

**PHASING NOTE:**

THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE. ALL INFRASTRUCTURE WILL BE COMPLETED IN ONE PHASE.

**STORM WATER DISPOSAL:**

THE SITE IS REQUIRED TO DISPOSE OF ALL STORM WATER WITHIN 36 HOURS, AND IS PROPOSED TO DO SO VIA DRYWELL SYSTEMS.

ANY EXISTING DRYWELLS THAT ARE NOT USED SHALL BE DECOMMISSIONED PER ADEQ POLICIES AND PROCEDURES.

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
PGD01	COVER SHEET
PGD02	PRELIMINARY GRADING PLAN
PGD03	SECTIONS

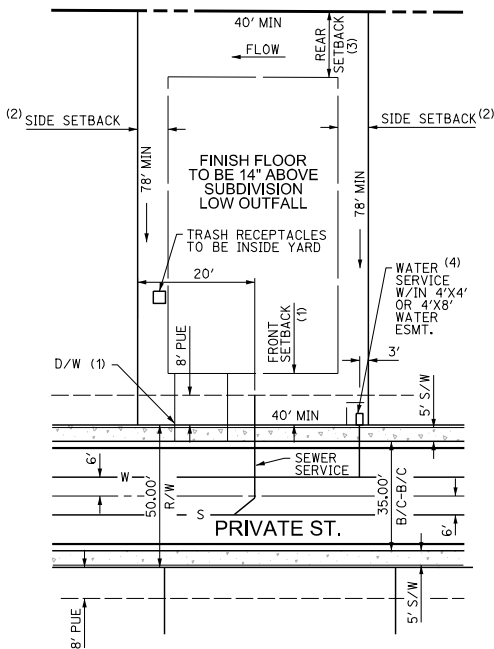
**TRACT AREA AND USE TABLE**

TRACT	AREA	USE
A	0.10 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
B	0.97 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
C	0.14 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
<b>TOTAL</b>	<b>1.21 AC</b>	

NOTE: TRACTS A-C WILL BE DEDICATED TO THE HOMEOWNERS' ASSOCIATION.

**LOT TABLE**

LOT #	AREA (SF)	AREA (ACRES)	LOT #	AREA (SF)	AREA (ACRES)
1	3,120	0.07	13	3,924	0.09
2	3,120	0.07	14	3,260	0.07
3	3,120	0.07	15	3,346	0.08
4	3,120	0.07	16	3,346	0.08
5	3,120	0.07	17	3,346	0.08
6	3,233	0.07	18	3,346	0.08
7	3,502	0.08	19	3,187	0.07
8	3,502	0.08	20	3,120	0.07
9	3,502	0.08	21	3,120	0.07
10	3,502	0.08	22	3,120	0.07
11	3,502	0.08	23	3,120	0.07
12	4,894	0.11			



**TYPICAL LOT LAYOUT - 40' WIDE MIN.**

- (1) 10' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM PROPERTY LINE.
- (2) 5' MIN.
- (3) 10' MIN. (5' MIN. ACCESSORY STRUCTURE)
- (4) 1" WATER SERVICE, METER BOX & COVER PER M.A.G. STD. DTL. 320, AND C.O.C. STD. DTL. C-301-1 - SERVICE TO BE INSTALLED 2' BEHIND BACK OF RAMPS/DRIVEWAYS UNLESS NOTED OTHERWISE. (SIDE OF LOT PER PLAN)

**LEGEND**

- 118.3 — PROPERTY / BOUNDARY LINE
- 85 — EXISTING CONTOUR ELEVATION
- +86.34 — PROPOSED CONTOUR ELEVATION
- 15.0 — EXISTING ELEVATION
- 1% — PROPOSED GROUND ELEVATION
- 2% — DIRECTION OF FLOW & SLOPE
- 8' PAD — PROPOSED GRADE BREAK
- 8' PAD — PROPOSED PAD ELEVATION
- 8' PAD — PROPOSED CATCH BASIN
- 8' PAD — PROPOSED STORM DRAIN PIPE
- 8' PAD — PROPOSED DRYWELL
- 8' PAD — TAPPING SLEEVE & VALVE
- 8' PAD — PUBLIC UTILITY EASEMENT
- 8' PAD — RECLAIMED WATERLINE
- 8' PAD — BACK OF CURB
- 8' PAD — LANDSCAPE
- 8' PAD — CURB & GUTTER
- 8' PAD — EXISTING LIGHT POLE
- 8' PAD — INDICATES EX. ELECTRIC TRANSFORMER
- 8' PAD — EXISTING ELECTRIC BOX
- 8' PAD — EXISTING WATER METER
- 8' PAD — EX. BACKFLOW PREVENTER VALVE
- 8' PAD — EXISTING BURIED TELEPHONE CONDUIT
- 8' PAD — EXISTING BURIED ELECTRIC CONDUIT
- 8' PAD — EXISTING WATER LINE, VALVE & SIZE
- 8' PAD — EXISTING FIRE HYDRANT
- 8' PAD — EXISTING SEWER LINE & SIZE
- 8' PAD — PROPOSED WATER
- 8' PAD — PROPOSED SEWER
- 8' PAD — PROPOSED MANHOLE
- 8' PAD — PROPOSED HYDRANT
- 8' PAD — PROPOSED VALVE
- 8' PAD — PROPOSED MONUMENT
- 8' PAD — SUBDIVISION CORNER
- 8' PAD — SIDEWALK
- 8' PAD — RIGHT-OF-WAY
- 8' PAD — SIGHT VISIBILITY EASEMENT
- 8' PAD — SIDEWALK EASEMENT
- 8' PAD — TOP OF CURB ELEVATION

**DOBSON & CHANDLER**  
CHANDLER, ARIZONA

COVER SHEET

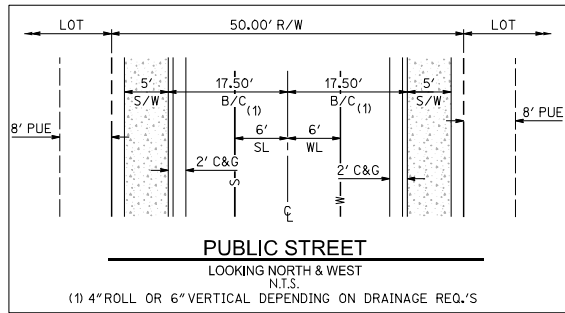
**300engineering**  
civil engineering

DATE: 12/22/25

PROJECT NO:  
**5354**

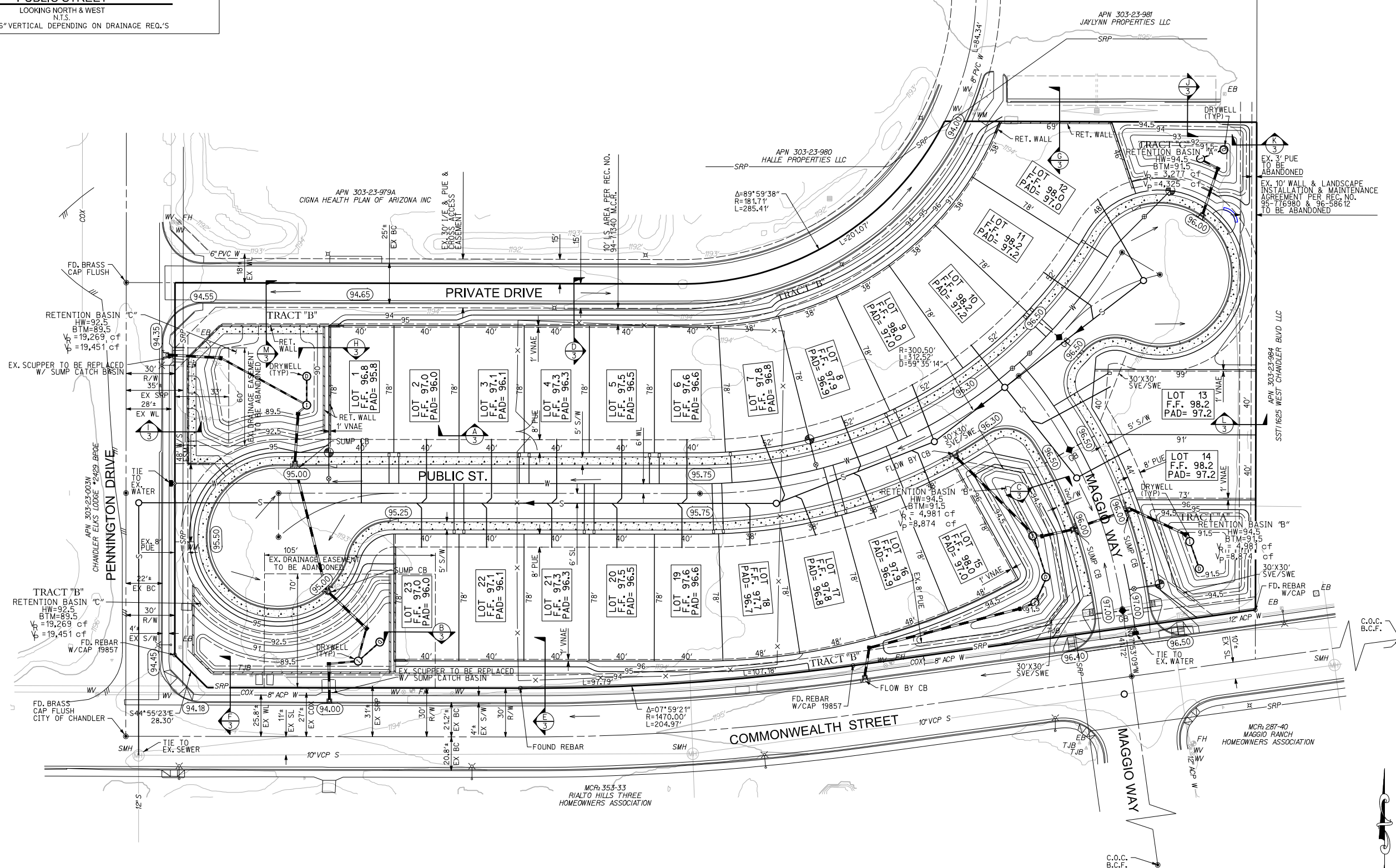
SHEET NO.  
**PGD01**  
1 of 3

C.O.C. LOG. NO. PLH25-0028



- NOTE:**
1. ALL EXISTING UTILITIES AND STRUCTURES ONSITE ARE TO BE REMOVED, COORDINATE WITH UTILITY PROVIDERS AS NECESSARY.
  2. ALL EXISTING CONCRETE SCUPPERS SHALL BE EVALUATED AND WILL NEED TO BE REPLACED IF DAMAGED.
  3. ALL SIDEWALKS AND ADA RAMP ALONG ENTIRE SITE PROPERTY WILL BE EVALUATED AND MAY BE REQUIRED TO BE REPLACED TO MEET CURRENT CITY CODE AND STANDARDS

- STREET LIGHT NOTE:**
- ALL STREETLIGHTS ALONG PENNINGTON DRIVE AND COMMONWEALTH STREET ARE TO BE REVISED TO MEET CITY STANDARDS. STREETLIGHTS ARE REQUIRED TO BE ON A CONCRETE FOUNDATION REFER TO CITY REQUIREMENTS. A SEPARATE SET OF STREETLIGHT PLANS ARE REQUIRED WHEN SUBMITTING IMPROVEMENT PLANS AFTER PRELIMINARY PLAT APPROVAL.



EX. 3' PUE TO BE ABANDONED  
 EX. 10' WALL & LANDSCAPE INSTALLATION & MAINTENANCE AGREEMENT PER REC. NO. 95-176980 & 96-58612 TO BE ABANDONED

**DOBSON & CHANDLER**  
 CHANDLER, ARIZONA  
 PRELIMINARY GRADING PLAN

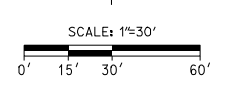


EXPIRES: 12/31/2027

**300engineering**  
 civil engineering  
 planning  
 45652  
 MATTHEW J. MANION  
 12/22/25  
 AZ 5894

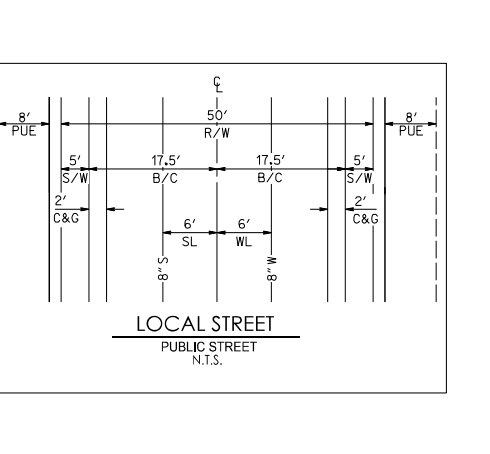
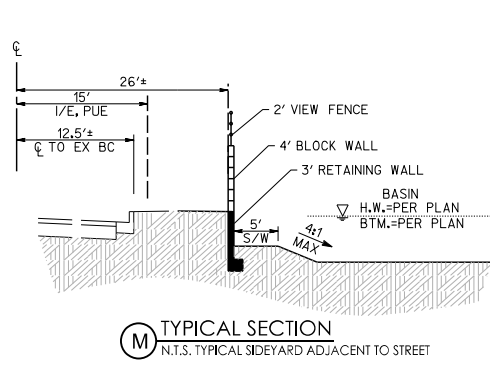
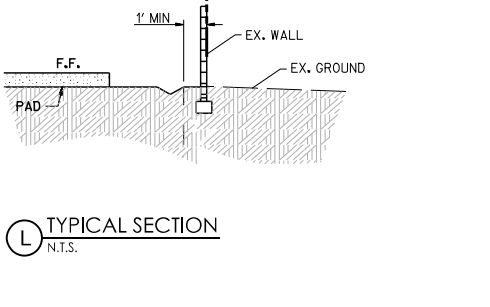
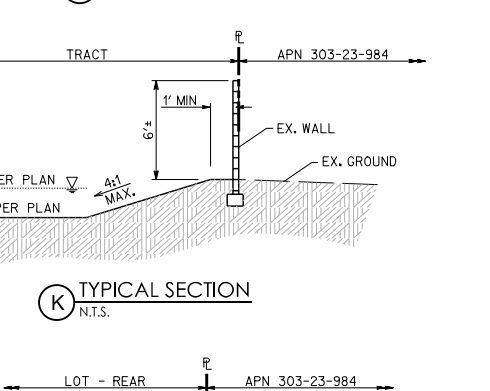
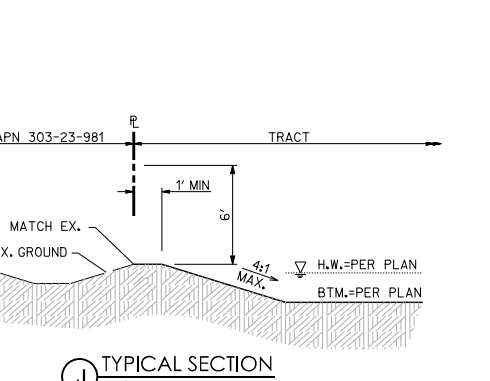
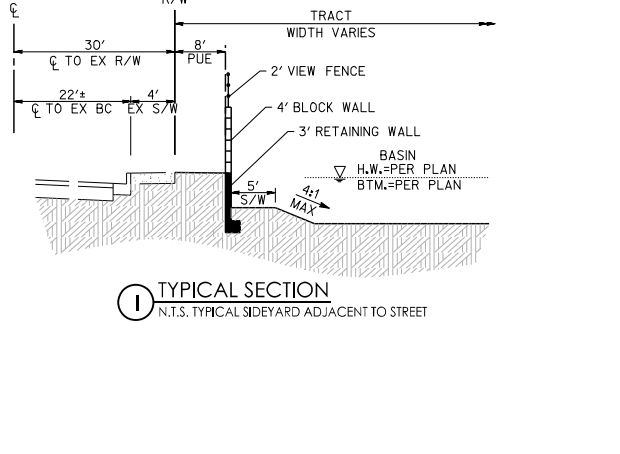
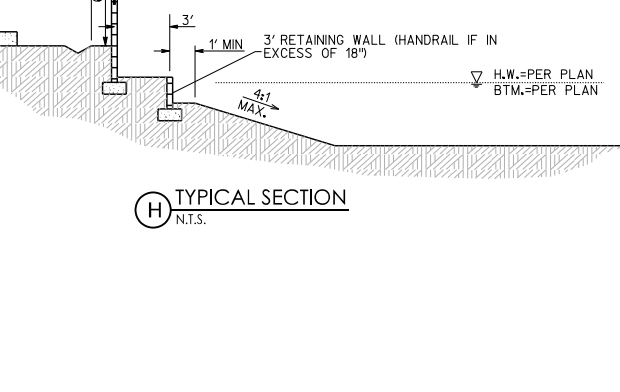
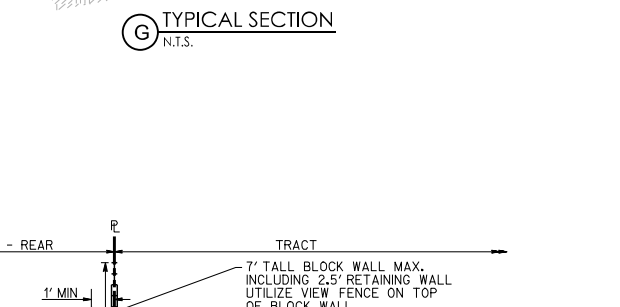
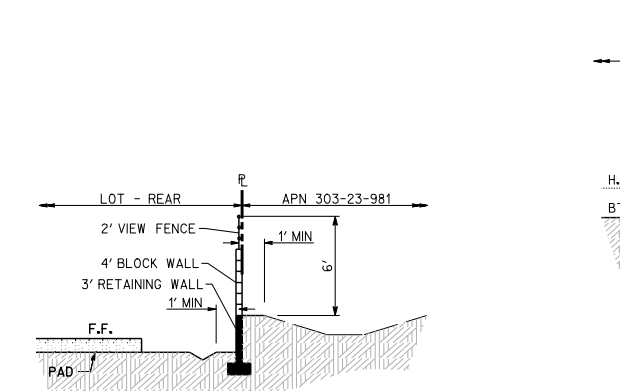
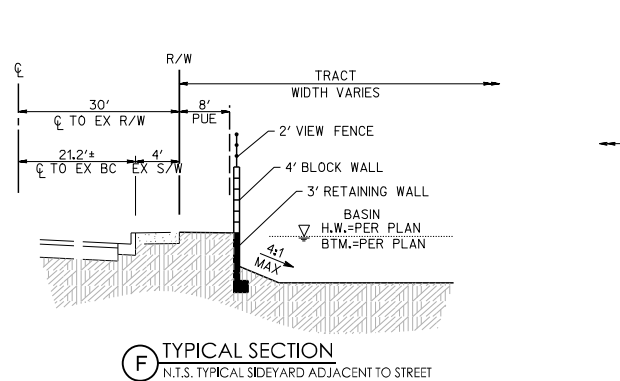
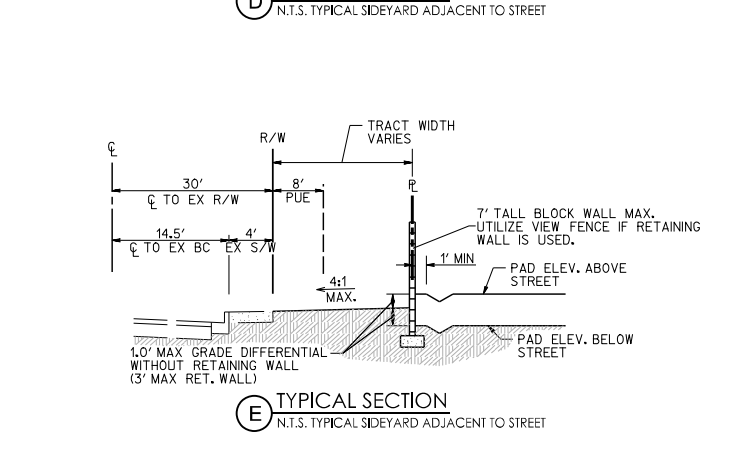
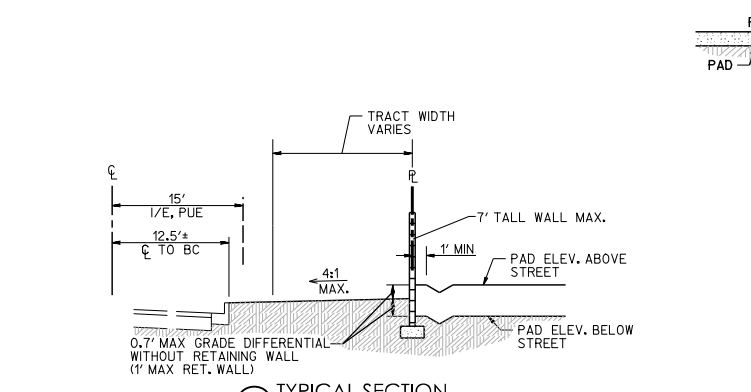
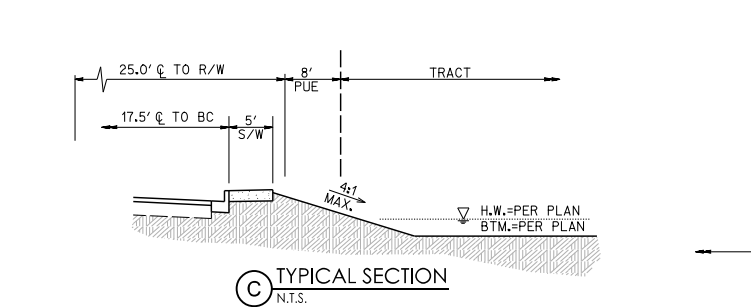
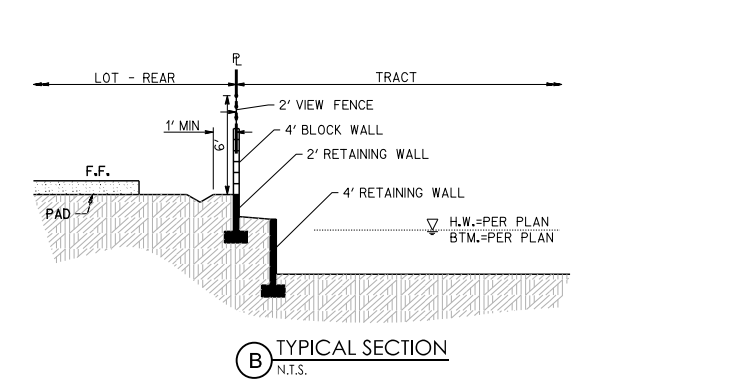
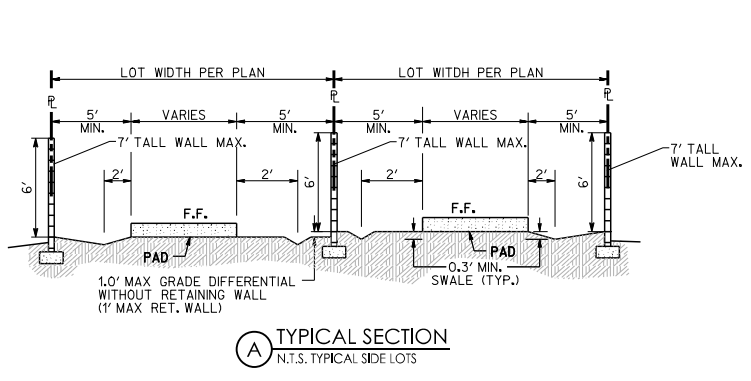
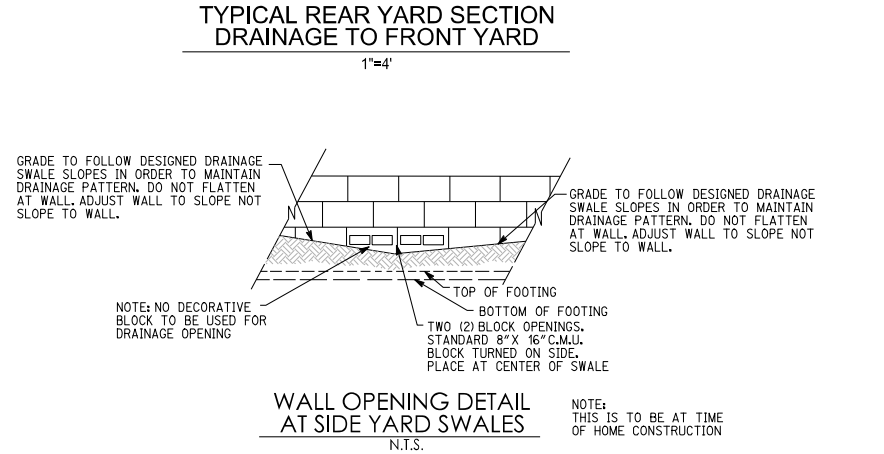
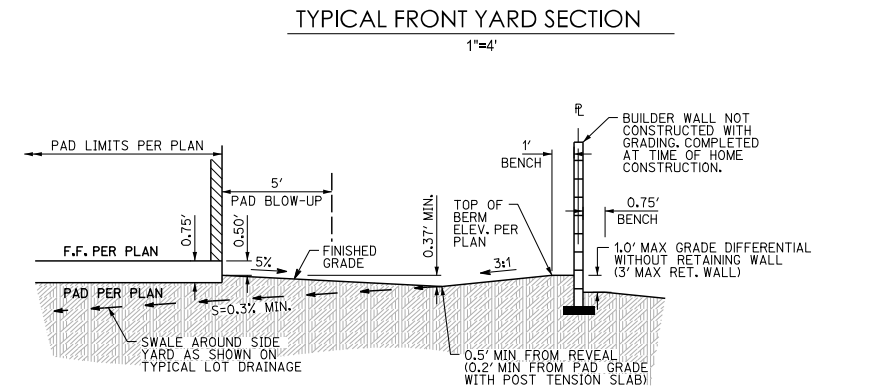
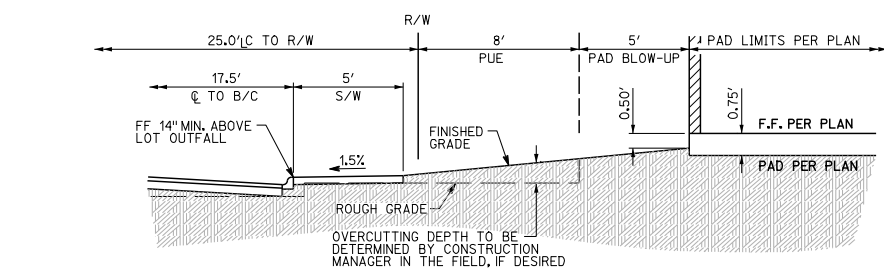
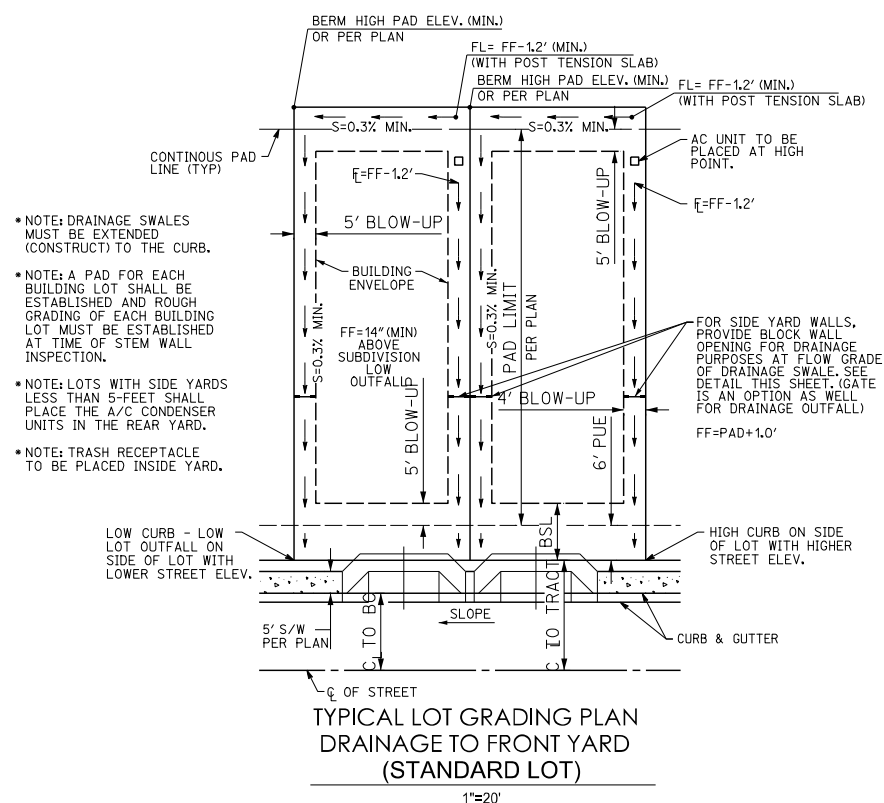
300ENGINEERING, LLC  
 6370 E. THOMAS ROAD  
 SUITE # 200  
 SCOTTSDALE, ARIZONA 85251  
 PHONE: (480) 334-4337  
 FAX: (480) 494-3330  
 WWW.300ENGINEERING.COM

DATE: 12/22/25  
 PROJECT NO:  
**5354**  
 SHEET NO:  
**PGD02**  
 2 of 3



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C.O.C. LOG. NO. PLH25-0025



**DOBSON & CHANDLER**  
 CHANDLER, ARIZONA  
 PRELIMINARY SECTIONS



EXPIRES: 12/31/2027

**300engineering** surveying  
 civil engineering  
 PLANNING  
 4570 E. THOMAS ROAD  
 SUITE # 200  
 SCOTTSDALE, ARIZONA 85251  
 PHONE: (480) 334-4337  
 FAX: (480) 494-3330  
 WWW.300ENGINEERING.COM

DATE: 12/22/25  
 PROJECT NO. 5354  
 SHEET NO. PGD03  
 3 of 3

**SETBACKS:**

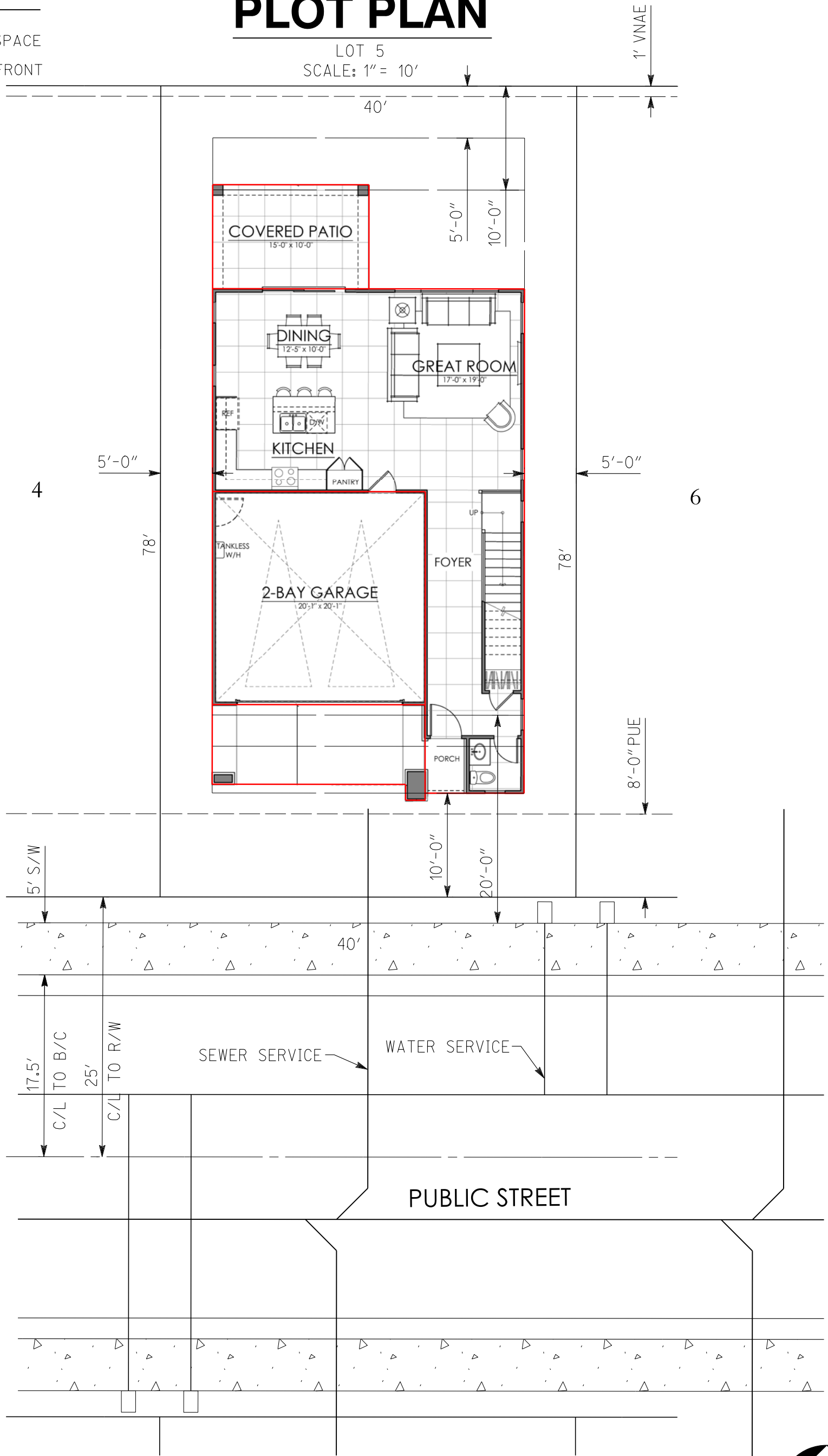
FRONT SETBACK:  
10' MIN. TO LIVABLE SPACE  
OR SIDE LOADED  
GARAGE; 20' MIN. TO FRONT  
FACING GARAGE  
FROM SIDEWALK.

SIDE SETBACK:  
5' MIN.

REAR SETBACK:  
10' MIN.  
(5' MIN. ACCESSORY  
STRUCTURE)

# PLOT PLAN

LOT 5  
SCALE: 1" = 10'



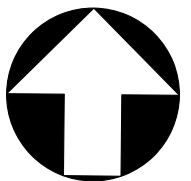
<b>BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)</b>
<b>SUBDIVISION: DOBSON &amp; CHANDLER</b>
<b>LOT#: 5</b>
<b>ADDRESS: CHANDLER, ARIZONA</b>
<b>PRODUCT SERIES: PLAN THREE</b>
<b>FIRST FLOOR: 845 S.F.</b>
<b>SECOND FLOOR: 1,369 S.F.</b>
<b>TOTAL LIVING: 2,214 S.F.</b>
<b>LOT AREA: 3,3120 S.F.</b>
<b>LOT COVERAGE AREA: 1,600 S.F.+/-</b>
<b>LOT COVERAGE %: 51.28%</b>

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDITION. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.



3 ENGINEERING, LLC  
6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251  
PHONE: (602) 334-4387 - FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE:	PROJECT NO.
1/5/26	5354



C:\My Secur\Syn\Projects\_5000\5354\_Dodson & Chandler\5354\_Exhibit - Plot Plan 01.dgn

**SETBACKS:**

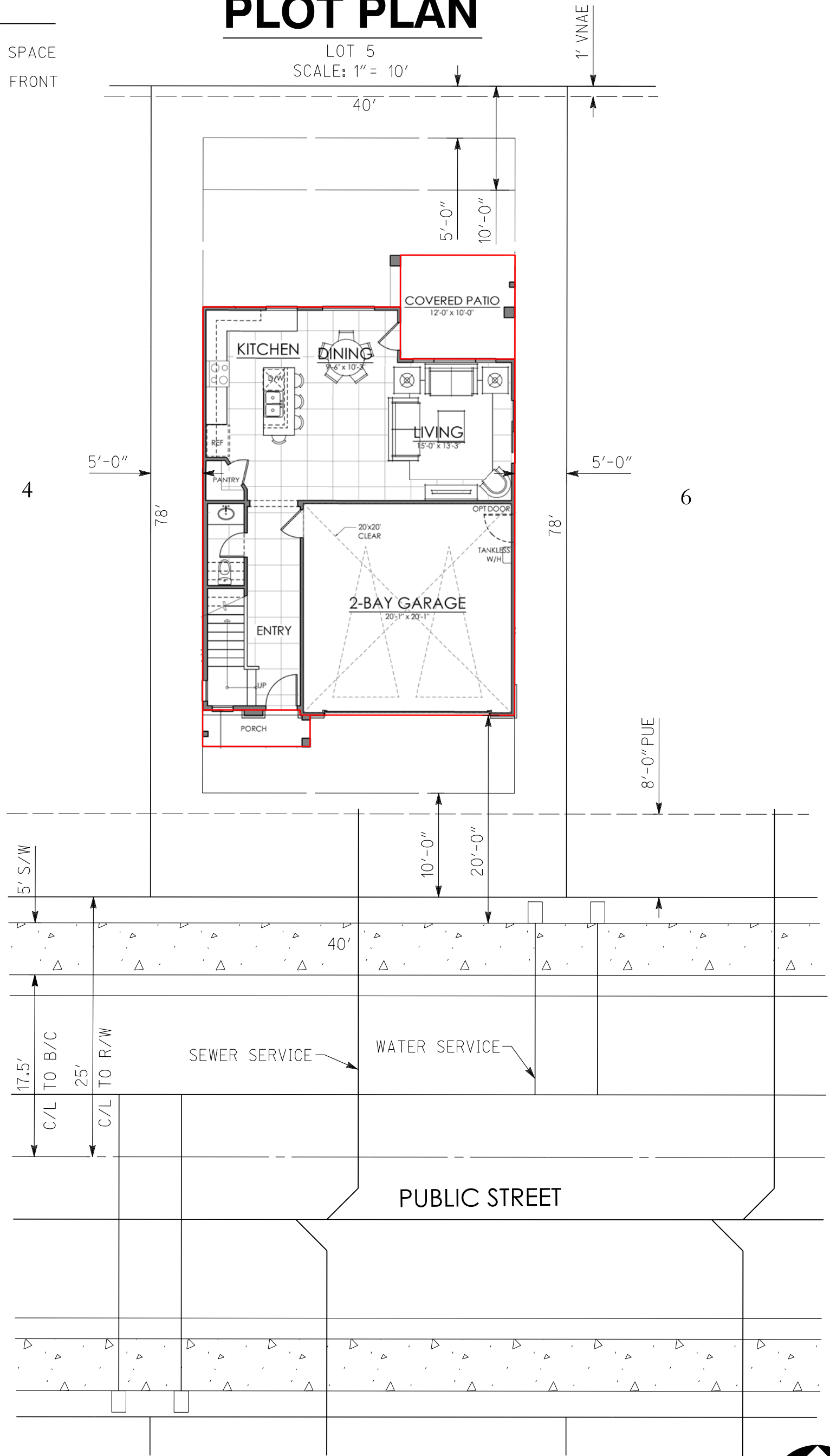
FRONT SETBACK:  
10' MIN. TO LIVABLE SPACE  
OR SIDE LOADED  
GARAGE; 20' MIN. TO FRONT  
FACING GARAGE  
FROM SIDEWALK.

SIDE SETBACK:  
5' MIN.

REAR SETBACK:  
10' MIN.  
(5' MIN. ACCESSORY  
STRUCTURE/PATIO)

# PLOT PLAN

LOT 5  
SCALE: 1" = 10'



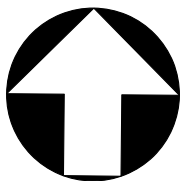
**BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)**  
**SUBDIVISION: DOBSON & CHANDLER**  
**LOT#: 5**  
**ADDRESS: CHANDLER, ARIZONA**  
**PRODUCT SERIES: PLAN ONE**  
**FIRST FLOOR: 703 S.F.**  
**SECOND FLOOR: 1,104 S.F.**  
**TOTAL LIVING: 1,807 S.F.**  
**LOT AREA: 3,120 S.F.**  
**LOT COVERAGE AREA: 1,270 S.F.+/-**  
**LOT COVERAGE %: 40.71%**

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDITION. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.

**3e engineering**  
 planning civil engineering surveying

3 ENGINEERING, LLC  
 6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251  
 PHONE: (602) 334-4387 - FAX: (602) 490-3230  
 WWW.3ENGINEERING.COM

DATE: 1/5/26  
 PROJECT NO.: 5354



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**SETBACKS:**

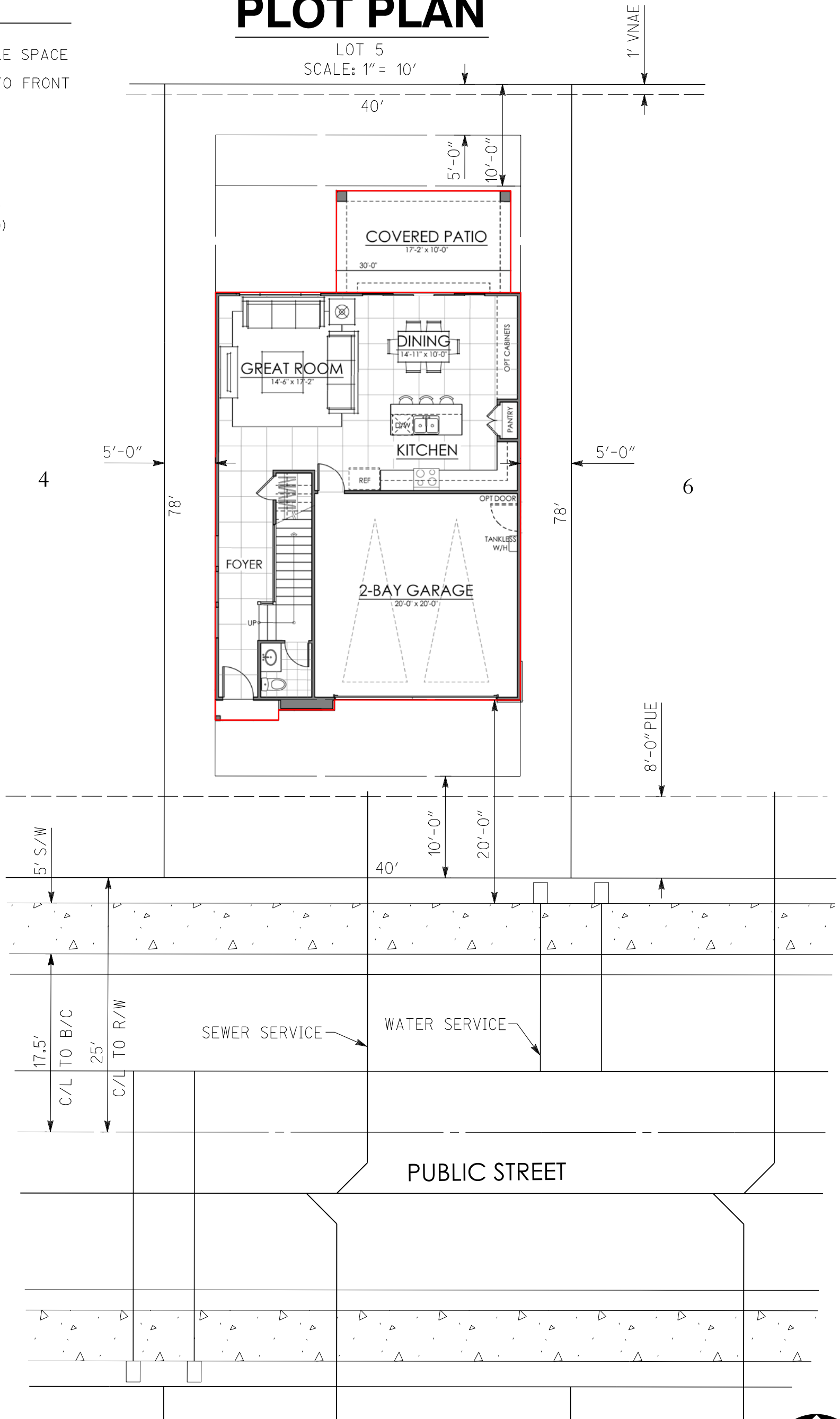
FRONT SETBACK:  
10' MIN. TO LIVABLE SPACE  
OR SIDE LOADED  
GARAGE; 20' MIN. TO FRONT  
FACING GARAGE  
FROM SIDEWALK.

SIDE SETBACK:  
5' MIN.

REAR SETBACK:  
10' MIN.  
(5' MIN. ACCESSORY  
STRUCTURE/PATIO)

# PLOT PLAN

LOT 5  
SCALE: 1" = 10'



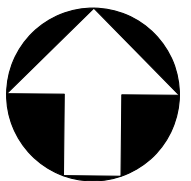
**BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)**  
**SUBDIVISION: DOBSON & CHANDLER**  
**LOT#: 5**  
**ADDRESS: CHANDLER, ARIZONA**  
**PRODUCT SERIES: PLAN ONE**  
**FIRST FLOOR: 793 S.F.**  
**SECOND FLOOR: 1,221 S.F.**  
**TOTAL LIVING: 2,014 S.F.**  
**LOT AREA: 3,120 S.F.**  
**LOT COVERAGE AREA: 1,390 S.F.+/-**  
**LOT COVERAGE %: 44.55%**

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDERING. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.



3 ENGINEERING, LLC  
6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251  
PHONE: (602) 334-4387 - FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE:	PROJECT NO.
1/5/26	5354

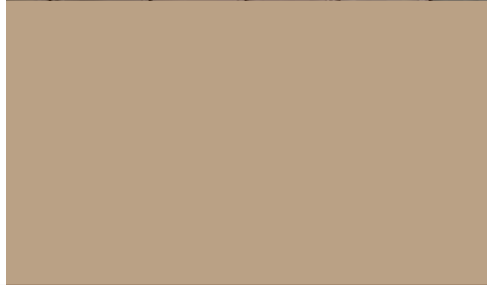


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# SCHEME 1 ELEVATION A | DESERT CONTEMPORARY



ROOF TILE | BEL AIR  
4689 BROWN RANGE



STUCCO  
SW 6108 LATTE



STUCCO II  
SW 9108 DOUBLE LATTE



TRIM  
SW 6106 KILIM BEIGE



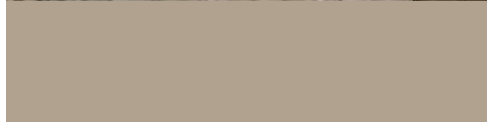
FASCIA | GARAGE DOOR  
SW 7040 SMOKEHOUSE



ENTRY DOOR  
SW 2848 ROYCROFT PEWTER



STONE | CULTURED STONE  
SUMMIT PEAK | ALPINE LEDGESTONE



TRIM AT STONE  
SW 7038 TONY TAUPE



**The Bower Dobson**  
Chandler , ARIZONA



10.13.2025

# SCHEME 2 ELEVATION A | DESERT CONTEMPORARY



ROOF TILE | BEL AIR  
4602 CONCORD BLEND



STUCCO  
SW 7015 REPOSE GRAY



STUCCO II  
SW 7655 STAMPED CONCRETE



TRIM  
SW 7650 ELLIE GRAY



FASCIA | GARAGE DOOR  
SW 7019 GUANTLET GRAY



ENTRY DOOR  
SW 7726 LEMON VERBENA



STONE | CULTURED STONE  
ECHO RIDGE | ALPINE LEDGESTONE



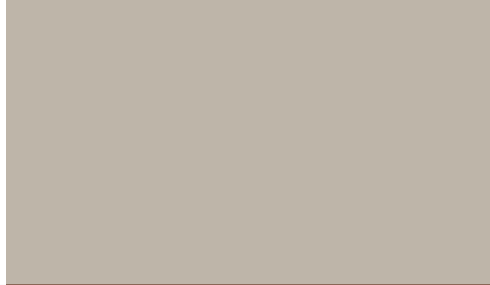
TRIM AT STONE  
SW 7641 COLONNADE GRAY



# SCHEME 3 ELEVATION A | DESERT CONTEMPORARY



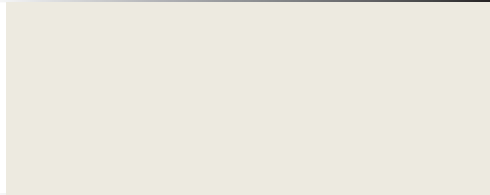
Roof Tile



Stucco I



Stucco II



Trim



Fascia | Garage Door



Entry Door



Stone



Trim at Stone



# SCHEME 4 ELEVATION B | MODERN SPANISH



ROOF TILE | CAPISTRANO  
3636 PIEDMONT BLEND



STUCCO  
SW 7012 CREAMY



VERTICAL SIDING | TRIM AT SIDING  
SW 7535 SANDY RIDGE



FASCIA | GARAGE DOOR  
SW 7027 WELL-BRED BROWN



ENTRY DOOR  
SW 7622 HOMBURG GRAY



STONE | CULTURED STONE  
CHARDONNAY | COUNTRY LEDGESTONE



TRIM AT STONE  
SW 7507 STONE LION



# SCHEME 5 ELEVATION B | MODERN SPANISH



ROOF TILE | CAPISTRANO  
3785 CLAY SPRINGS



STUCCO  
SW 7527 NANTUCKET DUNE



VERTICAL SIDING | TRIM AT SIDING  
SW 7514 FOOTHILLS



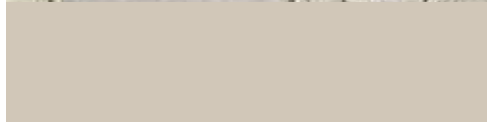
FASCIA | GARAGE DOOR  
SW 6076 TURKISH COFFEE



ENTRY DOOR  
SW 2839 ROYCROFT COPPER RED



STONE | CULTURED STONE  
WHITE OAK | COUNTRY LEDGESTONE



TRIM AT STONE  
SW 7036 ACCESSIBLE BEIGE



# SCHEME 6 ELEVATION B | MODERN SPANISH



Roof Tile



Stucco



Vertical Siding | Trim at Siding



Fascia | Garage Door



Entry Door



Stone



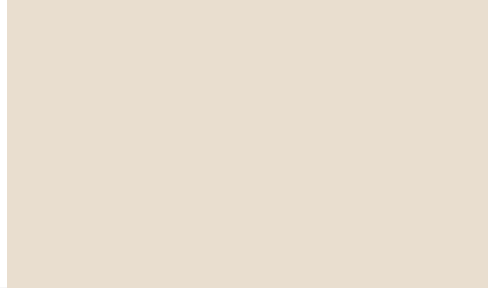
Trim at Stone



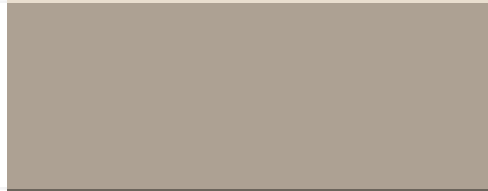
# SCHEME 7 ELEVATION C | MID-CENTURY MODERN



ROOF TILE | BEL AIR  
4687 BROWN GRAY RANGE



STUCCO  
SW 6140 MODERATE WHITE



TRIM  
SW 0037 MORRIS ROOM GREY



FASCIA  
SW 7047 PORPOISE

GARAGE DOOR  
SW 7047 PORPOISE



ENTRY DOOR  
SW 0040 ROYCROFT ADOBE



WIRE CUT 4X12 | STACKED BOND  
SW 0037 MORRIS ROOM GREY



WALL TILE | DAL TILE  
BLACKWOOD FP99



# SCHEME 8

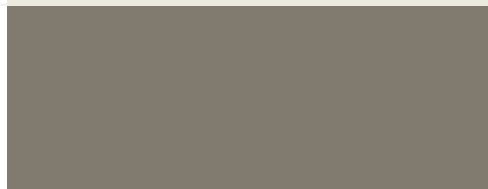
## ELEVATION C | MID-CENTURY MODERN



ROOF TILE | BEL AIR  
4503 SIERRA MADRE



STUCCO  
SW 7008 ALABASTER



TRIM  
SW 7046 ANONYMOUS



FASCIA  
SW 7048 URBAN BRONZE



ENTRY DOOR  
SW 6207 RETREAT



WIRE CUT 4X12 | STACKED BOND  
SW 7008 ALABASTER



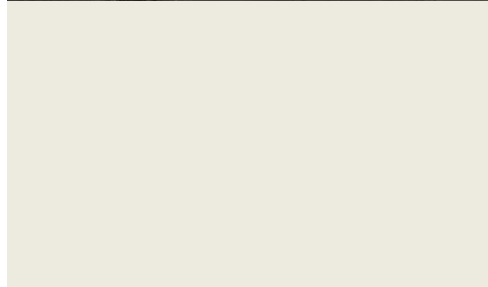
WALL TILE | DAL TILE  
TIMBERLAND FP97



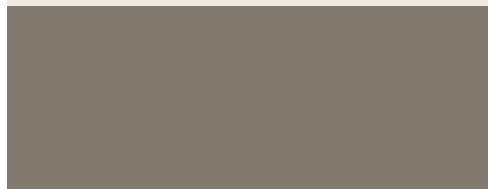
# SCHEME 9 ELEVATION C | MID-CENTURY MODERN



Roof Tile



Stucco



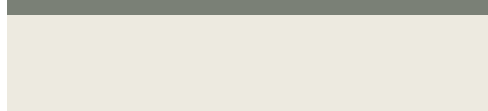
Trim



Fascia | Gable-End Siding



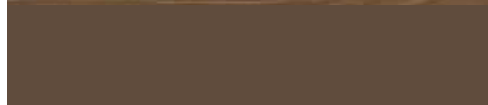
Garage Door



Entry Door



Paint Grade Block



Wall Tile



Trim at Wall Tile



**The Bower Dobson**  
Chandler , ARIZONA



10.13.2025

# SCHEME 10 ELEVATION D | MODERN PRAIRIE



ROOF TILE | BEL AIR  
4503 SIERRA MADRE



STUCCO  
SW 7506 LOGGIA



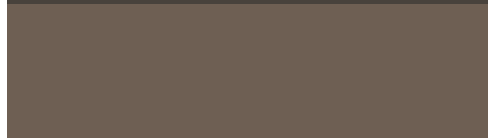
SIDING  
SW 7515 HOMESTEAD BROWN



TRIM  
SW 7508 TAVERN TAUPE



FASCIA  
SW 7675 SEALSKIN



GARGE DOOR  
SW 7515 HOMESTEAD BROWN



ENTRY DOOR  
SW 9182 ROJO MARRON



PRAIRIE STONE  
MOCHA GRANITE



# SCHEME 11

## ELEVATION D | MODERN PRAIRIE



ROOF TILE | BEL AIR  
4503 SIERRA MADRE



STUCCO  
SW 7017 DORIAN GRAY



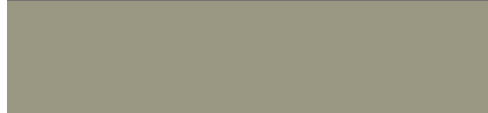
SIDING  
SW 7019 GAUNTLET GRAY



FASCIA  
SW 6076 TURKISH COFFEE



GARAGE DOOR  
SW 7019 GAUNTLET GRAY



ENTRY DOOR  
SW 7748 GREEN EARTH



PRAIRIE STONE  
GREY GRANITE



# SCHEME 12 ELEVATION D | MODERN PRAIRIE



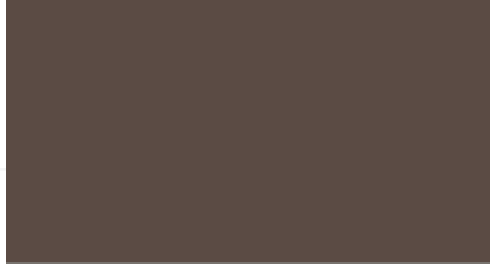
Roof Tile



Stucco I



Stucco II



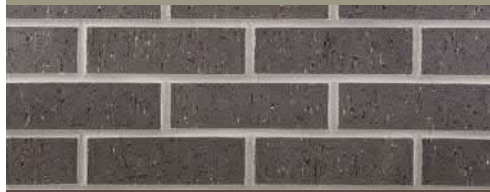
Trim



Fascia

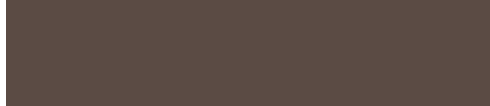


Garage Door



Entry Door

Brick



Trim at Brick



**The Bower Dobson**  
Chandler , ARIZONA



10.13.2025





THE  
BOWER  
DORSON





