

Planning and Zoning Commission Regular Meeting

March 18, 2026 | 5:30 p.m.

Chandler City Council Chambers
88 E. Chicago St., Chandler AZ



Commission Members

Chair Rick Heumann
Vice Chair Sherri Koshiol
Commissioner Mike Quinn
Commissioner Charlotte Golla
Commissioner Ryan Schwarzer
Commissioner Tom Bilsten
Commissioner Tracy DuCharme

Pursuant to Resolution No. 4464 of the City of Chandler and to A.R.S. § 38-431.02, notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a REGULAR MEETING open to the public on Wednesday, March 18, 2026, at 5:30 p.m., at City Council Chambers, 88 E. Chicago Street, Chandler, AZ. One or more members of the Commission may attend this meeting by telephone.

Persons with disabilities may request a reasonable modification or communication aids and services by contacting the City Clerk's office at 480-782-2181 (711 via AZRS). Please make requests in advance as it affords the City time to accommodate the request.

Agendas are available in the Office of the City Clerk, 175 S. Arizona Avenue.

Planning and Zoning Commission

Regular Meeting Agenda - March 18, 2026

Call to Order/Roll Call

Pledge of Allegiance

Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda

Items listed on the Consent Agenda may be enacted by one motion and one vote. If a discussion is required by members of the Board or Commission, the item will be removed from the Consent Agenda for discussion and determination will be made if the item will be considered separately.

- 1. February 18, 2026 Planning and Zoning Commission Meeting Minutes**
Move Planning and Zoning Commission approve the meeting minutes from the Study Session and Regular Session held on February 18, 2026.
- 2. Rezoning and Preliminary Development Plan, The Bower Dobson**
Rezoning
Move Planning and Zoning Commission recommend approval of Rezoning PLH25-0028 The Bower Dobson, Rezoning from Planned Area Development (PAD) for specialty retail to PAD for single-family residential, generally located ¼ mile east and south of the southeast corner of Dobson Road and Chandler Boulevard, subject to the conditions as recommended by Planning staff.
Preliminary Development Plan
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH25-0028 The Bower Dobson for subdivision layout and housing product for a 23-lot single-family subdivision, generally located ¼ mile east and south of the southeast corner of Dobson Road and Chandler Boulevard, subject to the conditions as recommended by Planning staff.
- 3. Use Permit, Move Human Performance**

Move Planning and Zoning Commission recommend approval of PLH26-0003 Move Human Performance, Use Permit time extension to continue to allow an existing sports therapy and training facility in a Planned Industrial zoning district within a Planned Area Development Overlay (I-1/PAD) located at 375 E Elliot Road Suite 7, subject to the conditions as recommended by Planning staff.

4. **Notice of Cancellation of the April, 1, 2026 and April 15, 2026 Planning and Zoning Commission Hearing**

Notice of Cancellation of the April 1, 2026 and April 15, 2026 Planning and Zoning Commission Hearing as recommended by staff due to no items.

Member Comments/Announcements

Calendar

5. The next meeting of the Planning and Zoning Commission will be held on May 6, 2026 at 5:30PM at Chandler City Council Chambers, located at 88 E Chicago Street, Chandler.

Adjourn



Planning & Zoning Commission Development Services Memo No.

Date: March 18, 2026
To: Planning and Zoning Commission
Thru:
From: Danielle Smee, Management Assistant
Subject: February 18, 2026 Planning and Zoning Commission Meeting Minutes

Proposed Motion:

Move Planning and Zoning Commission approve the meeting minutes from the Study Session and Regular Session held on February 18, 2026.

Attachments

- Planning and Zoning Commission Study Session Minutes 2.18.2026
- Planning and Zoning Commission Regular Meeting Minutes 2.18.2026

Meeting Minutes

Planning and Zoning Commission

Study Session

February 18, 2026 | 5:00 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Chair Heumann at 5:04 p.m.

Roll Call

Commission Attendance

Chairman Rick Heumann
Vice Chair Sherri Koshiol
Commissioner Mike Quinn
Commissioner Charlotte Golla*
Commissioner Ryan Schwarzer
Commissioner Tom Bilsten
Commissioner Tracy DuCharme*

Staff Attendance

David de la Torre, Acting Planning Admin.
Lauren Schumann, Principal Planner
Alisa Petterson, Senior Planner
Taylor Manemann, City Planner
Mikayela Liburd, City Planner
Daniel Cahalane, Associate Planner
Thomas Allen, City Attorney
Danielle Smee, Clerk

*= Virtual Attendance

Absent

N/A

Scheduled/Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda and Discussion

1. January 21, 2026, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve the meeting minutes from the Regular Session held on January 21, 2026.

CHAIR HEUMANN asked if there were any comments or questions regarding the meeting minutes from the Planning and Zoning Commission meeting held January 21, 2026. There were no comments or questions.

2. Rezoning and Preliminary Development Plan, The Townsite

Rezoning

Move Planning and Zoning Commission recommend approval of Rezoning PLH25-0040 The Townsite, Rezoning from AG-1 to PAD for single-family residential, generally located south of the southeast corner of Ocotillo Road and Basha Road, subject to the conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH25-0040 The Townsite for subdivision layout and housing product approval for a 12-lot single-family subdivision, generally located south of the southeast corner of Ocotillo Road and Basha Road subject to the conditions as recommended by Planning staff.

MIKAYELA LIBURD, CITY PLANNER presented PLH25-0040, The Townsite. MS. LIBURD reviewed the current location and zoning for the site, as well as history of the site. MS. LIBURD reviewed the history of the Goodyear Townsite and historical significance of the area.

MS. LIBURD reviewed the density of the proposed project as well as proposed setbacks as well as lot sizes, building heights and home architectural themes. A neighborhood meeting was held January 12, 2026 with five residents in attendance. It was reported that there is one resident in opposition of the project and two residents that have presented concerns. MS. LIBURD reviewed the concerns with density and traffic that residents reported and provided information from consulting with the Traffic Division that allow for such a development. Further concerns reported about the south boundary condition with dissimilar land uses. MS. LIBURD clarified that this is not a dissimilar land use. MS. LIBURD noted that Lot 11 and Lot 12 will be limited to single story only.

Staff recommends approval of the rezoning and Preliminary Development Plan with stipulations.

CHAIR HEUMANN thanked MS. LIBURD for addressing concerns. He stated that this is a historical site and that maybe a plaque or monument of some sort could be erected to honor the history of Chandler.

COMMISSIONER BILSTEN inquired about the concerns residents submitted, specifically about the wall treatment that is proposed. MS. LIBURD directed COMMISSIONER BILSTEN to the information and provided photos in the presentation. COMMISSIONER BILSTEN asked CHAIR HEUMANN about the revised decorative theme being added and if that was compliant, breaking up the CMU wall, as discussed in "Concern #2" that was provided.

MS. LIBURD clarified that upon initial submission showed a Dooley wall but that subsequent submissions showed a themed wall. The concern by the resident was for the initial submittal and has since been addressed.

3. Entertainment Use Permit, San Tan Brewing

Move Planning and Zoning Commission recommend approval of Entertainment Use Permit PLH25-0022 San Tan Brewing to continue to allow live indoor and outdoor entertainment located at 495 E Warner Road (approximately 1/2 mile east of the southeast corner of Arizona Avenue and Warner Road), subject to the conditions as recommended by Planning staff.

MIKAYELA LIBURD, CITY PLANNER presented PLH25-0022, an Entertainment Use Permit for San Tan Brewing. MS. LIBURD reviewed the current location and current zoning of the property. San Tan Brewing initially had an Entertainment Use Permit issued in 2021 for acoustic music and an Entertainment Use Permit for live outdoor entertainment and Preliminary Development Plan for outdoor stage on the patio and shade structures was approved in 2022.

MS. LIBURD reviewed the current hours of operation for live music/entertainment which are Monday through Thursday from 3PM to 9PM and Friday and Saturday 11AM-10PM and Sunday 11AM-9PM. These hours have been reduced to Wednesday 3PM-9PM, Friday 3PM-10PM, Sat 11AM-10PM, and Sunday 11AM-9PM. The rest of the time, live entertainment would be limited to being indoors.

A neighborhood meeting was held November 4, 2025 with four residents in attendance. Residents had concerns with the volume levels and hours of live entertainment. A second neighborhood meeting was held December 11, 2025, with 12 people in attendance. Planning staff is not aware of any further opposition with this request at this time. Staff recommended approval of the Entertainment Use Permit with stipulations.

CHAIR HEUMANN shared the venue is nice and that applicants have worked to address concerns with residents. CHAIR HEUMANN suggested a two (2) year timeframe for applicants. CHAIR HEUMANN asked if commissioners were okay with this idea. COMMISSIONER BILSTEN vocalized he was in agreement.

4. Use Permit, Happy Pets Palace & Playground

Move Planning and Zoning Commission recommend approval of Use Permit time extension PLH25-0033 Happy Pets Palace & Playground to continue to allow outdoor dog play yards to operate together with a dog daycare, overnight boarding, and training facility located at 1080 E Pecos Rd, Suite 16, subject to the conditions as recommended by Planning staff.

TAYLOR MANEMANN, CITY PLANNER presented PLH25-0033, a Use Permit for Happy Pets Palace and Playground. MS. MANEMANN reviewed the current location and zoning of Happy Pets Palace and Playground.

MS. MANEMANN reviewed the services provided in the business, including daycare, training and boarding as well as the previous approved Use Permits. There have been no complaints or police reports made. There are no reported changes to the business operations and business hours will reportedly remain the same. MS. MANEMANN reviewed a map the business, the allowed capacity for dogs and the allowance for shade sails for the dogs for extra shade in summer months.

A neighborhood meeting was held on December 1, 2025 with only the applicant in attendance. Staff is not aware of opposition to this request. Staff recommended approval of this Use Permit with stipulations, with no time limit.

CHAIR HEUMANN stated that no time limit is great, but that there should perhaps be a stipulation on if a business were to be sold and asked LAUREN SCHUMANN, PRINCIPAL PLANNER to read the proposed stipulation into the record. MS. SHCUMANN read the following:

"Any change in business ownership shall void this Use Permit and shall require new Use Permit applicant and approval by the City of Chandler city council."

5. Use Permit, Round1

Move Planning and Zoning Commission recommend approval of PLH25-0043 Round1, Use Permit time extension to continue to allow a Series 6 Bar Liquor License within an existing bowling alley and arcade located at 3177 W Chandler Boulevard, Suite 100, in the Chandler Fashion Center, subject to the conditions as recommended by Planning staff.

DAVID DE LA TORRE, ACTING PLANNING AND ZONING ADMINSTRATOR, introduced the commissioners to DANIEL CAHALANE, ASSOCIATE PLANNER.

DANIEL CAHALANE, ASSOCIATE PLANNER, presented PLH25-0043, a Use Permit for Round1. MR. CAHALANE reviewed the current location and current zoning for Round1. MR. CAHALANE reported no major changes to the business, with business hours remaining the same.

A neighborhood meeting was held January 28, 2026 with only applicants in attendance. Staff was unaware of any opposition to this request. Staff recommended approval for this Use Permit, with stipulations.

CHAIR HEUMANN stated that this was a good use of the old Sear's building and for the mall area. There were no other questions or comments from staff. CHAIR HEUAMMN inquired if this was an unlimited time Use Permit. MR. CAHALANE confirmed it was for unlimited time.

6. Notice of Cancellation of the March 4, 2026 Planning and Zoning Commission Hearing

Notice of Cancellation of the March 4, 2026 Planning and Zoning Commission Hearing as recommended by staff due to management of cases.

There were no comments about the cancellation of the March 4, 2026 Planning and Zoning Commission hearing.

Calendar

The next Planning and Zoning Commissiong will be a

Adjourn

The meeting was adjourned at 5:24 p.m.



David de la Torre, Secretary

Rick Heumann, Chairman

Meeting Minutes

Planning and Zoning Commission

Regular Meeting

February 18, 2026 | 5:30 p.m.
Chandler City Council Chambers
88 E. Chicago St., Chandler, AZ



Call to Order

The meeting was called to order by Chair Heumann at 5:41 p.m.

Roll Call

Commission Attendance

Chairman Rick Heumann
Vice Chair Sherri Koshiol
Commissioner Mike Quinn
Commissioner Charlotte Golla*
Commissioner Ryan Schwarzer
Commissioner Tom Bilsten
Commissioner Tracy DuCharme*

Staff Attendance

David de la Torre, Acting Planning Admin.
Lauren Schumann, Principal Planner
Alisa Petterson, Senior Planner
Taylor Manemann, City Planner
Mikayela Liburd, City Planner
Daniel Cahalane, Associate Planner
Thomas Allen, City Attorney
Danielle Smee, Clerk

***= virtual attendance**

Absent

N/A

Pledge of Allegiance

The Pledge of Allegiance was led by Vice Chair Koshiol.

Scheduled and Unscheduled Public Appearances

Members of the audience may address any item not on the agenda. State Statute prohibits the Board or Commission from discussing an item that is not on the agenda, but the Board or Commission does listen to your concerns and has staff follow up on any questions you raise.

Consent Agenda

1. January 21, 2026, Planning and Zoning Commission Meeting Minutes

Move Planning and Zoning Commission approve the meeting minutes from the Regular Session held on January 21, 2026.

2. Rezoning and Preliminary Development Plan, The Townsite

Rezoning

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Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH25-0040 The Townsite for subdivision layout and housing product approval for a 12-lot single-family subdivision, generally located south of the southeast corner of Ocotillo Road and Basha Road subject to the conditions as recommended by Planning staff.

The following stipulation was added to the Preliminary Development Plan for PLH25-0040:

Stipulation #11: The developer shall work with staff to commemorate the heritage of the Goodyear townsite into a historic monument.

3. Entertainment Use Permit, San Tan Brewing

Move Planning and Zoning Commission recommend approval of Entertainment Use Permit PLH25-0022 San Tan Brewing to continue to allow live indoor and outdoor entertainment located at 495 E Warner Road (approximately 1/2 mile east of the southeast corner of Arizona Avenue and Warner Road), subject to the conditions as recommended by Planning staff.

The following stipulation was amended to the Entertainment Use Permit for PLH25-0022:

Stipulation #6: The Entertainment Use Permit shall remain in effect for two (2) years from the date of City Council approval by the City of Chandler.

4. Use Permit, Happy Pets Palace & Playground

Move Planning and Zoning Commission recommend approval of Use Permit time extension PLH25-0033 Happy Pets Palace & Playground to continue to allow outdoor dog play yards to operate together with a dog daycare, overnight boarding, and training facility located at 1080 E Pecos Rd, Suite 16, subject to the conditions as recommended by Planning staff.

The following stipulation was added to the Use Permit for PLH25-0033:

Stipulation #5: Any change in business ownership shall void this use permit and shall require a new use permit application and approval by the City of Chandler.

5. Use Permit, Round1

Move Planning and Zoning Commission recommend approval of PLH25-0043 Round1, Use Permit time extension to continue to allow a Series 6 Bar Liquor License within an existing bowling alley and arcade located at 3177 W Chandler Boulevard, Suite 100, in the Chandler Fashion Center, subject to the conditions as recommended by Planning staff.

6. Notice of Cancellation of the March 4, 2026 Planning and Zoning Commission Hearing

Notice of Cancellation of the March 4, 2026 Planning and Zoning Commission Hearing as recommended by staff due to management of cases.

Consent Agenda Motion and Vote

Vice Chair Koshiol motioned to approve the consent agenda with the revised stipulations read into the record by Staff on Items 2, 3, and 4, seconded by Commissioner Quinn.

Items 1, 3, 4, 5 and 6 were approved (7-0) and Item 2 was approved (6-0) with Commissioner Schwarzer recusing himself from voting due to his residential proximity to the project.

CHAIR HEUMANN made a comment on concerns from residents regarding development on Basha Road, specifically with traffic. CHAIR HEUMANN urged that when these items get to City Council, the Traffic Division and/or Parks and Recreation work to help to “calm” the roads and alleviate concerns with people speeding on Basha Road.

Member Comments/Announcements

There were no member comments or announcements.

Calendar

The next Planning and Zoning Commissiong will be held on March 18, 2026 at 5:30PM in the

Adjourn

The meeting was adjourned at 5:46 p.m.



David de la Torre, Secretary

Rick Heumann, Chairman



Planning & Zoning Commission Memorandum Development Services
Memo No. 26-008

Date: March 18, 2026
To: Planning and Zoning Commission
Thru: David De La Torre, Acting Planning Administrator
From: Taylor Manemann, City Planner
Subject: PLH25-0028 The Bower Dobson
Request: Rezone from Planned Area Development (PAD) for specialty retail to PAD for single-family residential

Preliminary Development Plan (PDP) approval for subdivision layout and housing product for a 23-lot single-family subdivision

Location: Generally located ¼ mile east and south of the southeast corner of Dobson Road and Chandler Boulevard

Applicant: Jon Gillespie, Rose Law Group

Proposed Motion:

Rezoning

Move Planning and Zoning Commission recommend approval of Rezoning PLH25-0028 The Bower Dobson, Rezoning from Planned Area Development (PAD) for specialty retail to PAD for single-family residential, generally located ¼ mile east and south of the southeast corner of Dobson Road and Chandler Boulevard, subject to the conditions as recommended by Planning staff.

Preliminary Development Plan

Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH25-0028 The Bower Dobson for subdivision layout and housing product for a 23-lot single-family subdivision, generally located ¼ mile east and south of the southeast corner of Dobson Road and Chandler Boulevard, subject to the conditions as recommended by Planning staff.

Background Data:

- Zoned Planned Area Development (PAD) for specialty retail uses in 1986
- Subject site approximately 4.13 acres
- General Plan designates the site as Neighborhoods
- Subject site currently vacant
- Applicant is proposing 23 single-family lots totaling 5.57 du/ac

Surrounding Land Use Data:

North	Medical office, automobile services, and retail; then Chandler Blvd	South	Commonwealth Ave, then single-family residential and multi-family residential
East	Self-storage facility	West	Pennington Dr, then Chandler Elks Lodge and vacant land

General Plan and Area Plan Designations

	Existing	Proposed
General Plan	Neighborhoods	No Change

Proposed Development

	Single-family Subdivision
Number of Lots	23
Proposed Density	5.57 du/ac
Building Setbacks (min)	Front: 10ft to livable and porches from property line 20ft to face of garage from back of sidewalk Sides: 5ft each Rear: 10ft to livable 5ft to patios and accessory structures
Typical Lot Size	3,120 sq ft - 4,894 sq ft 40ft x 78ft
Building Height (max)	30ft (2 stories)
Total Lot Coverage (max)	55%
Proposed Architectural Themes	Four (Desert Contemporary, Spanish Modern, Mid-century Modern, and Modern Prairie)
Number of Floor Plans	Three

Parking Provided	Each lot provides a two-vehicle garage and a driveway with sufficient space for parking two additional vehicles
	On-street parking is provided on both sides

Review and Recommendation

The proposed development is a 23-lot single-family detached subdivision with a total density of 5.57 du/ac. This density is considered "medium-density residential" under the General Plan. Such density types can be considered for infill parcels in areas located between land uses of different intensities and may be located along arterial roads and adjacent to employment and commercial.

To the north, west, and east, the adjacent properties are primarily commercial in nature, including retail, medical offices, and storage uses. To the south, the land transitions to residential with established single-family residential to the southwest and multi-family residential to the southeast. The proposed single-family subdivision fits well within this setting and serves as a natural land use transition between the commercial corridor along Chandler Boulevard and the existing residential to the south.

The first iterations of the proposal included a private street with parking on only one side. Due to the proposed subdivision consisting of only 23-lots, staff encouraged the applicant to provide a public street to relieve the future homeowners of the financial burden of maintaining the internal road. The applicant was successfully able to rework retention areas to fit a public road constructed to city standards with parking on both sides. The applicant was able to achieve this without having to reduce the number of lots provided in the proposal.

The proposed development offers a "for sale" housing product that will bring more "missing middle" housing options to the market. Arcadia Communities is the developer for The Bower Dobson and is proposing housing product that consists of three floor plans with four different architectural styles including Desert Contemporary, Spanish Modern, Mid-century Modern, and Modern Prairie. Amenities are not required for the site due to its proximity to Maggio Ranch Park.

The proposed single-family subdivision is a compatible land use with the surrounding area and the General Plan Land Use designation. As such, Planning staff recommends approval subject to conditions.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting sign was posted on the site and on social media via NextDoor.
- A neighborhood meeting was held on January 29, 2026. In addition to the applicant and planning staff, a total of five (5) neighbors attended the meeting. Attendees initially had concerns regarding additional traffic and privacy concerns related to the 2-story housing product. The applicant provided additional information regarding the quality of site design which includes a public street with parking on both sides. Additionally, the landscape buffer on the south side of the proposal, combined with the width of Commonwealth Ave, will work together to provide separation between the proposed and existing residences.
- As of the writing of this memo, Planning staff is not aware of any opposition.

Recommended Conditions of Approval:

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of Rezoning from PAD for specialty retail to PAD for single-family subdivision, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet entitled "The Bower Dobson" and kept on file in the City of Chandler Planning Division, in File No. PLH25-0028, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements, and street lighting to achieve conformance with City codes, standard details, and design manuals.
3. The landscaping in all open spaces shall be maintained by the property owner or property owners' association and shall be maintained at a level consistent with or better than at the time of planting.
4. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
5. Right-of-way dedications to achieve full half-widths, including turn lanes and

deceleration lanes, per the standards of the Chandler Transportation Plan.

6. Maximum lot coverage shall be 55%.

7. Minimum setbacks shall be as provided below and further detailed in the development booklet:

Front yard setbacks	10ft to livable and porches from property line 20ft to face of garage from back of sidewalk
Side yard setbacks	5ft each
Rear yard setbacks	10ft to livable 5ft to patios and accessory structures

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet entitled "The Bower Dobson" and kept on file in the City of Chandler Planning Division, in File No. PLH25-0028, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified, or supplemented by Chandler City Council.
2. The same elevation shall not be built side-by-side or directly across the street from one another.
3. The site shall be maintained in a clean and orderly manner.
4. Landscaping (including for open spaces, rights-of-way, and other street medians) and perimeter walls shall be approved by the Planning Administrator.
5. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this

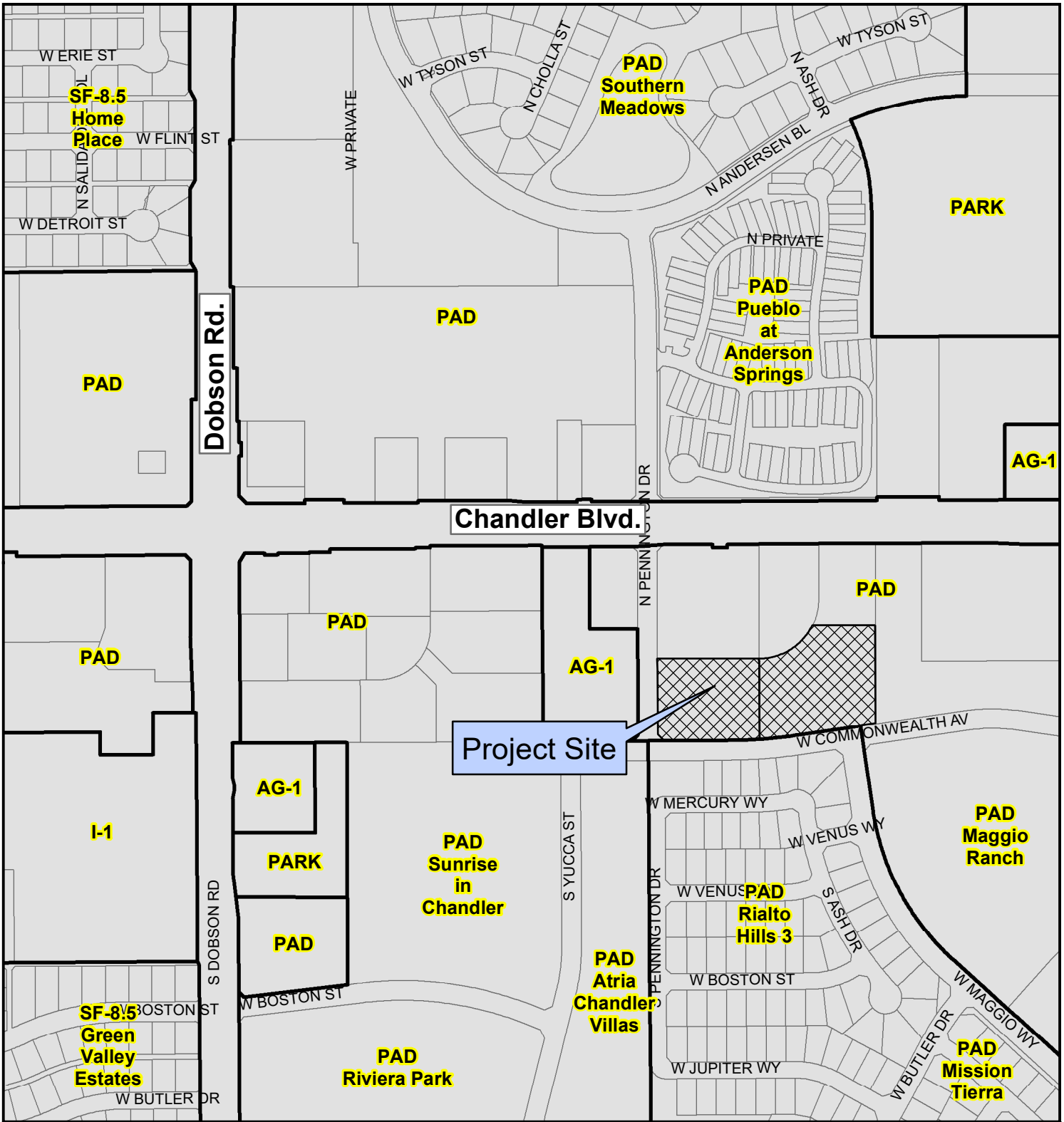
requirement.

6. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements and utility pedestals, so as not to create problems with sign visibility or prompt removal of required landscape materials.
7. Each garage shall be pre-wired to provide 240V electrical capacity necessary to accommodate future electric vehicle charging equipment.
8. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Primary Development Plan shall apply.

Attachments

Vicinity Maps

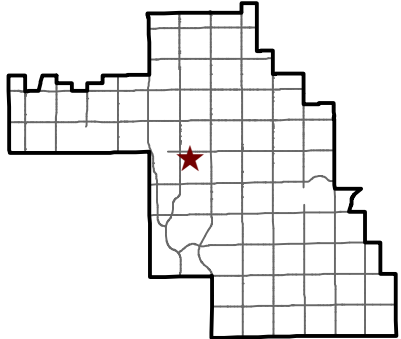
Development Booklet



PLH25-0028 The Bower Dobson



Proposed Project Details
 Rezone from Planned Area Development (PAD)
 for specialty retail to PAD for single-family
 residential and Preliminary Development Plan (PDP)
 approval for subdivision layout and housing product
 for a 23-lot single-family subdivision



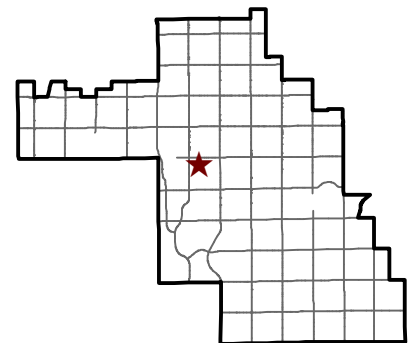
City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



PLH25-0028 The Bower Dobson



Proposed Project Details
 Rezone from Planned Area Development (PAD)
 for specialty retail to PAD for single-family
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City of Chandler Planning Division
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 For more information visit:
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The Bower Dobson

PAD Amendment & Proposed Development Plan

Case# PLH25-0028

Single Family Residential Community at NEC of Pennington
Drive and Commonwealth Street

Submitted to

City of Chandler
January 13, 2026

Project Team

Residential Pursuits Investments

Chris Brown
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cbrown@arcadiacapitalllc.com
602-478-0662

RPI Residential Pursuits
Investments, LLC

Rose Law Group pc

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Summit Land Management

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Project Overview / Introduction

This approximately 4.13-acre vacant infill property is located at the northeast corner of Pennington Drive and Commonwealth Street in the City of Chandler (identified as APNs 303-23-982 and 303-23-983). This application proposes an amendment to the existing PAD and approval of a Preliminary Development Plan (PDP) to allow the development of a 23-lot single-family residential subdivision with detached two-story homes (5.57 dwelling units per gross acre). This community is designed with large perimeter landscaped tracts along the northern and southern edges, with vehicular access being provided from Commonwealth Street.

The property was zoned PAD in 1986 and designated for specialty retail uses such as restaurant, retail, and financial institutions. However, the site has proven to not be viable for commercial development and has most recently been used as a storage yard for construction equipment.

The proposed development aligns with the site's General Plan designation of "Neighborhoods," which allows for a variety of residential housing types and densities.

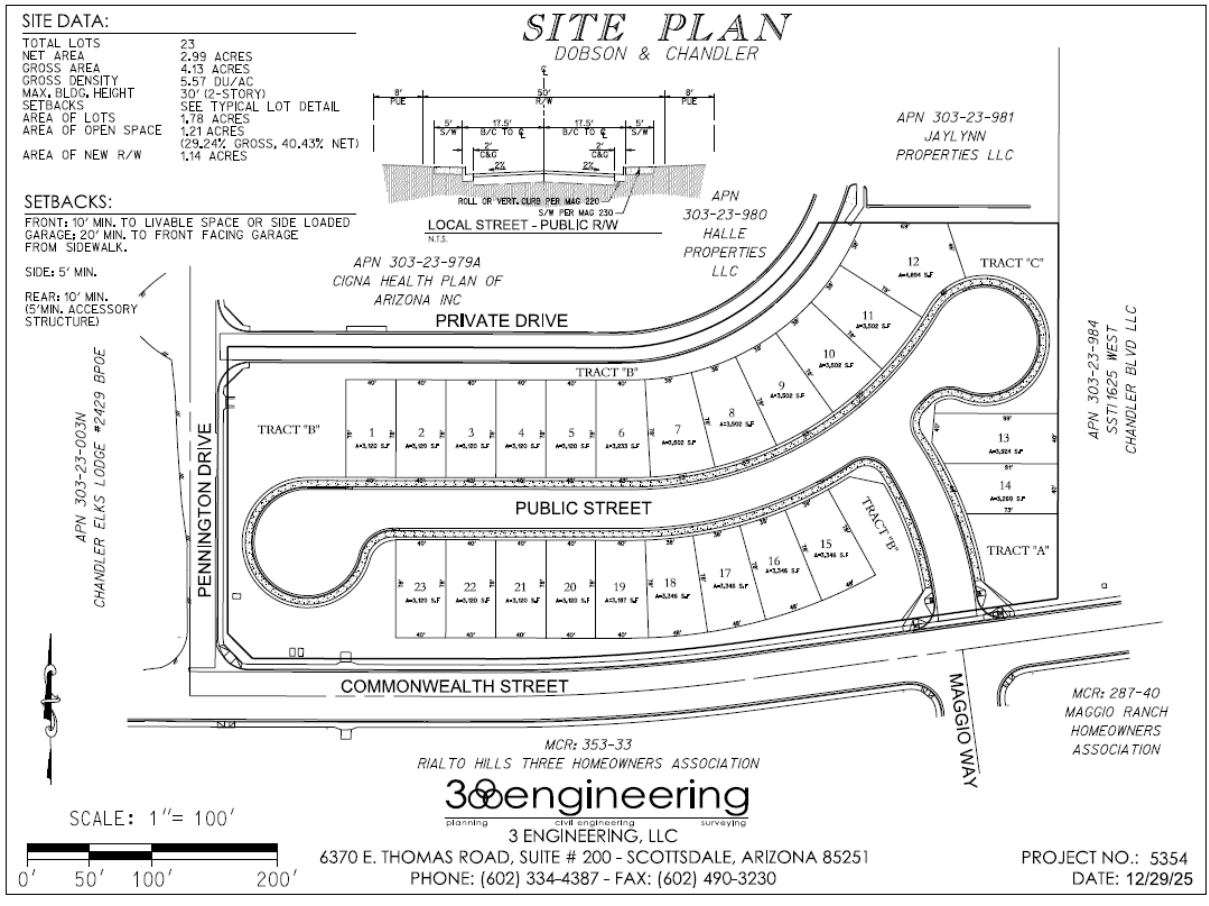
The site's location, shown on Exhibit 1 below, is within an established area of Chandler and its proximity to neighborhood amenities and employment centers make it well-positioned for infill residential development that can contribute to the vitality of the surrounding community.

Exhibit 1: Site Location Map



On the next page is the proposed layout for the community with Maggio Way connecting into a cul-de-sac street that creates a strong sense of cohesion for residents.

Exhibit 2: Conceptual Site Plan



Surrounding Context & Compatibility

The property is located in a diverse, mixed-use area of Chandler and is surrounded by a combination of commercial and residential development. To the north, west, and east, the adjacent properties are primarily commercial in nature, including neighborhood retail, medical offices, and storage uses. These sites are generally zoned PAD to support a flexible mix of commercial activity. To the south, the land transitions to residential use. Directly to the southwest and southeast are established single-family and multifamily residential neighborhoods, also within PAD-zoned districts.

The proposed single-family subdivision fits well within this setting. It serves as a natural land use transition between the active commercial corridor along Chandler Boulevard and the quieter residential neighborhoods to the south. The project reinforces the area's mixed-use character while respecting nearby homes through thoughtful design and appropriate density.

Table 1: Surrounding Zoning and Uses

Direction	Existing Zoning	Existing Use
North	PAD	Office, Discount Tires, Dentist and Beauty shop
South	PAD	Rialto Hills III; Single Family Residential
East	PAD	ExtraSpace Storage
West	AG-1	Elks Lodge

General Plan Conformance

The project site is currently designated as “Neighborhoods” under the Chandler 2026 General Plan, which supports a mix of residential housing types and densities. The proposed 23-lot subdivision, at a density of 5.57 dwelling units per acre, falls well within the intended range for this land use category and complements the surrounding neighborhood fabric. Thus, no amendment to the General Plan is needed.

The existing General Plan land use category encourages reinvestment in underutilized or vacant parcels, especially those within mature areas of the city. Converting this former storage yard into a high-quality single-family community reflects that goal and contributes to Chandler’s vision of maintaining vibrant, well-connected neighborhoods and provides diversity in housing opportunities.

The proposed subdivision has been thoughtfully designed with landscaped buffers and point of access to ensure compatibility with surrounding properties. The site’s location near existing infrastructure, employment, and community amenities further supports the City’s strategy of directing growth to areas that are already well served.

Overall, the proposed development represents a logical and desirable use of the property that aligns with the City’s land use policies and long-term planning goals.

PAD Zoning & Permitted Uses

The site will be developed as a detached single-family residential community in alignment with the intent of the SF-8.5 Zoning District (Urban Single-Family Residential) except for the tailoring of certain development standards through the PAD which is provided to suit the unique characteristics of the site.

Permitted Uses

1. Single-family dwellings
2. One (1) accessory building, in accordance with Article XXII, section 35-2202
3. Home occupations as defined in accordance with Article XXII, section 35-2215.
4. Storage shed, in accordance with Article XXII, section 35-2203

5. Signs in accordance with the Chandler Sign Code [Chapter 39]
6. Fences, walls, and landscape screens not exceeding seven (7) feet in height adjacent or contiguous to rear and side yard lines and not to exceed three (3) feet in height adjacent or contiguous to the front yard lines
7. Swimming pools, private, in accordance with Article XXII, section 35-2205
8. Accessory dwelling units, in accordance with Article XXII, section 35-2202.2

PAD Development Standards

The proposed PAD establishes development standards with minor deviations from the City’s base SF-8.5 zoning district to better accommodate the site’s infill context, provide a range of architectural styles, and promote an efficient yet high-quality single-family neighborhood layout.

The PAD allows for reduced lot widths and modified setbacks while maintaining overall compatibility with surrounding development and meeting the intent of the City’s residential design guidelines. Table 2 below describes the proposed development standards with deviations from the SF-8.5 provided in bold.

Table 2: Proposed Development Standards

Development Standard	SF-8.5	Proposed with PAD
Minimum Lot Size	8,500sf	3,120sf
Minimum Lot Width	70ft	40ft
Minimum Lot Depth	121ft	80ft
Maximum Height	30ft	30ft (2 stories)
Front setback	Same as AG-1 Range from 20-50ft	10ft to building from the property line 20ft from back of sidewalk to face of garage
Rear setback	10ft	10ft (to primary building) 5ft to rear patio/accessory structure
Side setback (Interior Lots)	5ft and 10ft (15ft total between both side yards)	5ft (10ft total between both side yards)
Side setback (Corner Lots)	5ft interior; street side shall be ½ as required for the front yard setback	No Lots Designated as Corner Lots

Maximum Lot Coverage	40%	55% (inclusive of covered patio/porch)
----------------------	-----	---

While these standards establish the minimum requirements, the site plan is intentionally designed with a variety of home styles, entry configurations, and architectural features that result in deeper setbacks and greater separation on many lots. This variation enhances visual interest, improves curb appeal, and meets the City’s expectations for four-sided architecture and neighborhood character.

These deviations are necessary to allow a more compact lot configuration appropriate for infill development while still providing functional yards, privacy, and quality design throughout the community.

Design Features

The community will incorporate a variety of architectural styles to ensure visual interest and compatibility with surrounding development. Styles include Desert Contemporary, Modern Spanish, Mid-Century Modern, and Modern Prairie. Each style is delivered with three plan options creating a total of 12 building options for this 23-lot community. Ranging in size from 1,807 square feet to 2,214 square feet, each home design offers 3-4 bedrooms in a 2-story configuration. Enhanced design treatments will be used on corner lots, including deeper setbacks and additional landscaping. All homes will feature four-sided architecture and consistent streetscape elements. Landscaped entry features and open space areas will contribute to a cohesive and high-quality neighborhood environment. Each architectural style brings its own hallmark features, contributing to a visually rich yet cohesive community identity:

- **Desert Contemporary** homes embrace the local environment through natural materials and muted earth tones. Hip roofs, stucco and stone facades.
- **Spanish Modern** architecture adds warmth and elegance through stucco finish, vertical siding accents, contemporary interpretations of classic clay roof forms and prominent stone features.
- **Mid-century Modern** designs showcase clean lines, ‘wood’ tile accents and stacked brick elements.
- **Modern Prairie** elevations emphasize strong horizontal lines, hip roofs, wide eaves, and low-slung rooflines, evoking a sense of stability and harmony with the land.

Together, these styles create an inviting, forward-looking neighborhood that feels rooted in place. The development enhances Chandler’s existing fabric by reflecting its appreciation for innovation & architectural diversity. With homes designed for today’s lifestyles but inspired by the region’s history and natural beauty, this community will stand as a thoughtful, enduring addition to Chandler’s evolving landscape.

Exhibit 3: Conceptual Elevations



elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



elevationA - DESERT CONTEMPORARY



elevationB - MODERN SPANISH



elevationC - MID-CENTURY MODERN



elevationD - MODERN PRAIRIE



RIGHT ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



LEFT ELEVATION



REAR ELEVATION



REAR ELEVATION



REAR ELEVATION



REAR ELEVATION

Preliminary Development Plan (PDP)

The Preliminary Development Plan (PDP) establishes the development framework and site design standards for the proposed 23-lot single-family subdivision. While the exhibits are conceptual in nature, they illustrate the intended character, quality, and functionality of the neighborhood and will serve as the basis for detailed site and building review during the permitting process.

All future plans for the site will be consistent with the general intent of the approved site plan and architectural guidelines submitted with this application. Final building elevations and landscape plans will be reviewed administratively by City planning staff to ensure compliance with the PAD and PDP.

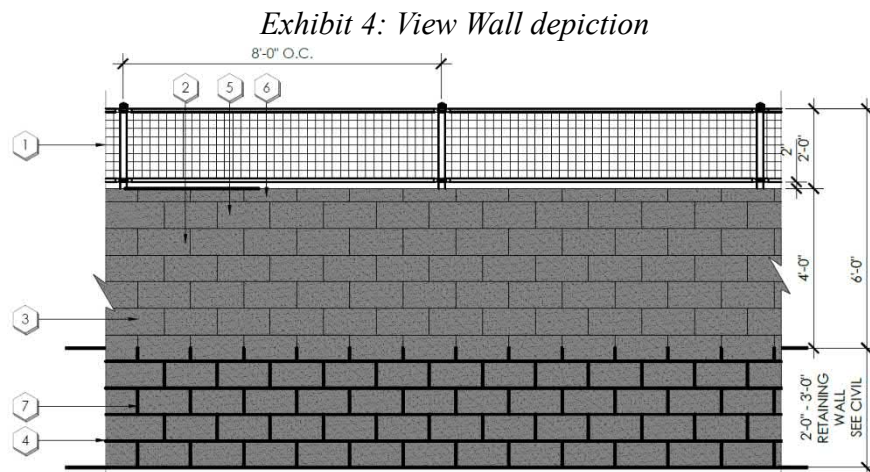
Site Layout

The subdivision is designed with an internal public street providing access directly from Commonwealth Street. The site plan incorporates perimeter landscape buffers along the boundaries, contributing to an appropriate transition between adjacent commercial and residential uses.

The lots are arranged in a conventional configuration to maximize functionality, ensure adequate separation between homes, and create a cohesive neighborhood layout. Open space tracts are strategically placed within the community to soften the street grid and offer visual relief and recreational opportunities.

Walls and Fencing

The community is designed as a small infill neighborhood with open access (not gated). A 6 foot theme wall will enclose residential lots consisting of undulating concrete block. A partial view wall will enclose retention areas. Retaining walls will be utilized in retention basins and a 4-foot retaining wall height is proposed in limited locations where additional wall is not provided on top of the retaining wall.



All of the walls will comply with the City's code requirements except for the following deviations:

Lot 1 western boundary:
2-3-ft retaining wall
4-5-ft block wall
2-ft view fence
(Maximum 9-ft on basin side and 7-ft on lot side)

Lot 12 northern and eastern boundary:
2-3-ft retaining wall
4-5-ft block wall
2-ft view fence
(Maximum 9-ft on basin side, 7-ft on commercial side, and 7-ft on lot side)

Vehicular Access and Circulation

Primary vehicular access into this community will be provided from Commonwealth Street aligned with Maggio Way immediately south. The entrance is designed with 2 large landscaped areas on either side of the street to provide an enhanced sense of arrival. The internal circulation system is designed to be efficient and neighborhood-scaled, with reduced speeds and clear visibility throughout. Emergency vehicle access and refuse collection routes will be accommodated per City standards.

The design maintains full access for public services and integrates well with surrounding infrastructure. The layout provides 2 cul-de-sacs designed for sufficient refuse turnaround capacity.

Pedestrian Connectivity

The PDP includes sidewalks on both sides of the street with additional pathways integrating the neighborhood, allowing safe and convenient pedestrian access to open space areas and connections to the surrounding community and the public park to the south.

Open Space and Amenities

Several usable common open space tracts have been distributed across the site to support neighborhood livability and meet City requirements. These areas will include landscaping, bench or wall seating, shade trees, and dog waste disposal stations. The site also includes sufficient 3:1 slope retention basins to ensure adequate stormwater retention on site. The open space tracts surround the homes and provide landscaped buffers between the future homes and the public streets to the west and south and the private street within the adjacent commercial to the north. Open Space tracts will be owned and managed by the community.

Maggio Ranch Park is located 0.3 miles south of this neighborhood that residents can easily walk to for recreation. The entire site layout is designed with 1.21 acres or 40.43% net common open space which will provide a pleasant visual appearance to passersby.

Landscape Design and Theme

The landscape design for this community emphasizes privacy, shade, and sustainability, using plant material and layout strategies that are well-suited to Arizona's desert climate. The streetscape and open space areas will feature a layered palette of trees, shrubs, and groundcover to soften views, provide privacy between homes, and reduce the visual scale of buildings from the street.

Native and low-water-use species will be prioritized throughout the site to promote long-term sustainability, reduce irrigation demands, and create a landscape that reflects the regional setting. Tree placement will focus on providing meaningful shade over walkways, driveways, and yard areas to reduce heat retention and improve comfort for residents and pedestrians. Buffer landscaping along the perimeter will provide screening from adjacent commercial uses while reinforcing a green, walkable edge to the community.

Homes with reduced setbacks will be balanced by landscape treatments that maintain privacy through strategic planting, including trees and tall shrubs between units and in side yard areas. Common areas and amenity spaces will incorporate shade trees and flowering native species to create inviting outdoor environments with year-round color and texture.

Final landscape plans will meet or exceed City of Chandler standards and reflect a consistent, cohesive neighborhood theme based on high-quality, desert-adapted materials.

Exhibit 5: Conceptual Landscape Plan



Conclusion

This amendment will allow for the development of an underutilized and challenging infill site with

an additional housing product for the City of Chandler. The site has sat vacant, used as a construction yard storage site, for many years and approval of this amendment will bring a fresh new housing community to this area. The Bower Dobson development is designed to complement the character of the surrounding community while introducing a fresh, elevated architectural vision.

**LEGAL DESCRIPTION
FOR
Dobson & Chandler**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

Lots 4 and 5, LOT 1 A, MAGGIO RANCH AMENDED according to Book 357 of Maps, Page 29 records of Maricopa County, Arizona,



3oengineering
planning civil engineering surveying

6370 E. Thomas Road, Suite #200, Scottsdale, Arizona 85251
Phone (602) 334-4387 · Fax (602) 490-3230 · www.3engineering.com
3 engineering job # 5354 · Date: June 17, 2025



N. PENNINGTON DRIVE

PRIVATE DRIVE

W. COMMONWEALTH STREET

W. MAGGIO WAY

DOBSON & CHANDLER

AERIAL MAP

3engineering

planning civil engineering surveying

3 ENGINEERING, LLC
6370 E. THOMAS ROAD, SUITE # 200 - SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387 - FAX: (602) 490-3230
WWW.3ENGINEERING.COM

DATE: 5/2/25
PROJECT NO: 5354



1"=50

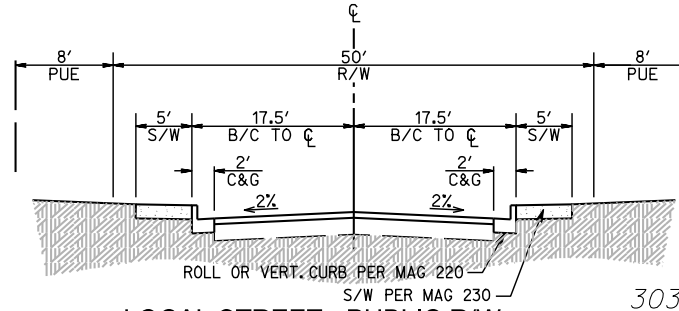
SITE DATA:

TOTAL LOTS 23
 NET AREA 2.99 ACRES
 GROSS AREA 4.13 ACRES
 GROSS DENSITY 5.57 DU/AC
 MAX. BLDG. HEIGHT 30' (2-STORY)
 SETBACKS SEE TYPICAL LOT DETAIL
 AREA OF LOTS 1.78 ACRES
 AREA OF OPEN SPACE (29.24% GROSS, 40.43% NET) 1.21 ACRES
 AREA OF NEW R/W 1.14 ACRES

SETBACKS:

FRONT: 10' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM SIDEWALK.
 SIDE: 5' MIN.
 REAR: 10' MIN. (5' MIN. ACCESSORY STRUCTURE)

SITE PLAN
 DOBSON & CHANDLER



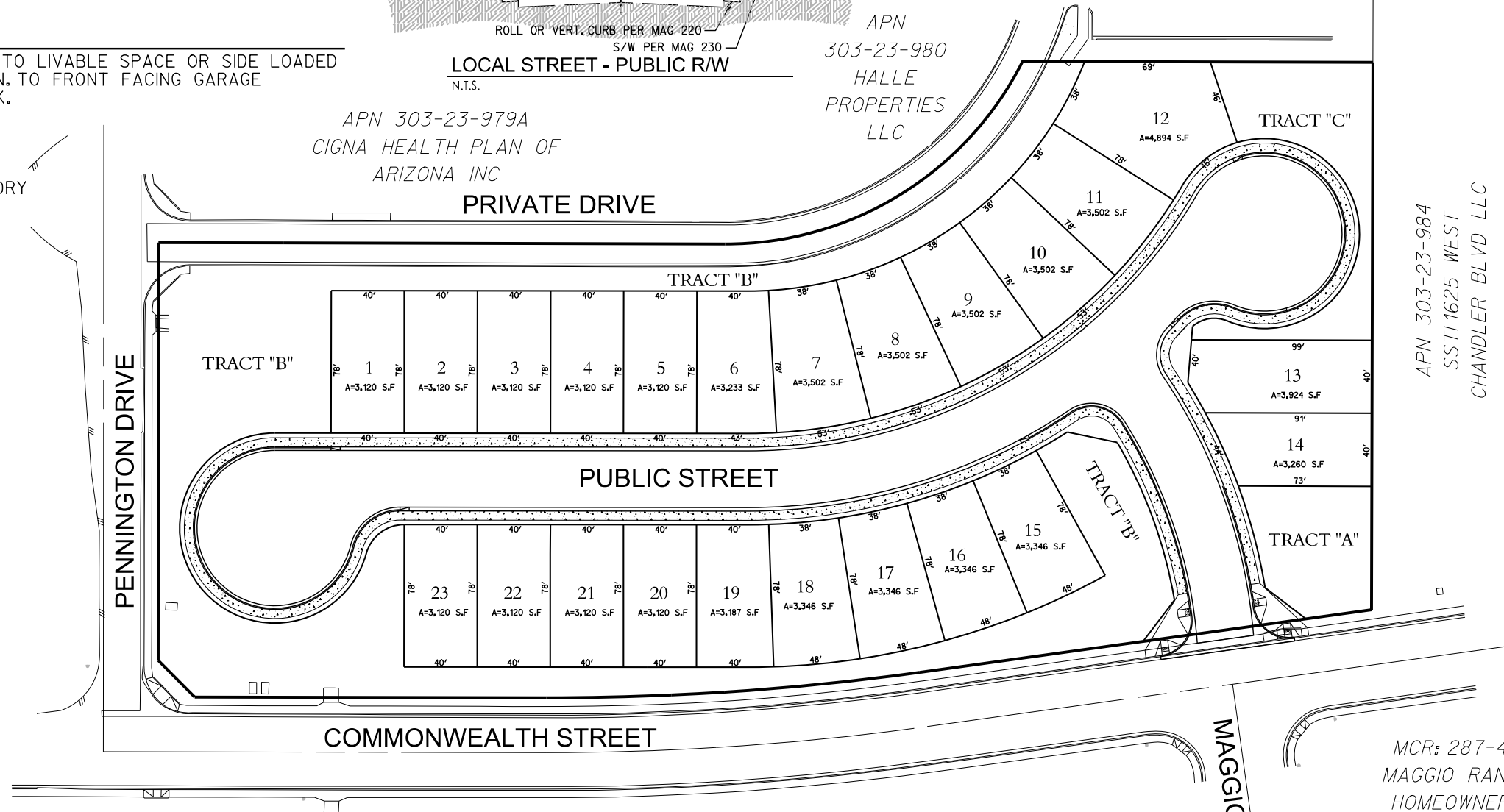
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 JAYLYNN
 PROPERTIES LLC

APN 303-23-980
 HALLE
 PROPERTIES
 LLC

APN 303-23-979A
 CIGNA HEALTH PLAN OF
 ARIZONA INC

APN 303-23-984
 SSTI1625 WEST
 CHANDLER BLVD LLC

APN 303-23-003N
 CHANDLER ELKS LODGE #2429 BPOE

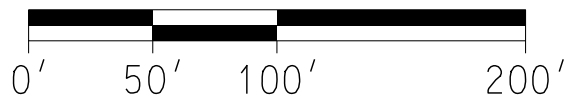


COMMONWEALTH STREET

MCR: 353-33
 RIALTO HILLS THREE HOMEOWNERS ASSOCIATION

MCR: 287-40
 MAGGIO RANCH
 HOMEOWNERS
 ASSOCIATION

SCALE: 1" = 100'



3 engineering
 planning civil engineering surveying

3 ENGINEERING, LLC

6370 E. THOMAS ROAD, SUITE # 200 - SCOTTSDALE, ARIZONA 85251
 PHONE: (602) 334-4387 - FAX: (602) 490-3230

PROJECT NO.: 5354
 DATE: 12/29/25

SUBDIVISION - PENNINGTON & COMMONWEALTH

project consultants

owner:

ARCADIA CAPITAL LLC
7600 E DOUBLETREE RANCH ROAD, SUITE 220
SCOTTSDALE, ARIZONA
CONTACT: CHRIS BROWN
PHONE: 602.478.0662
EMAIL: cbrown@acadiacapitalllc.com

civil engineer:

3 ENGINEERING
6370 EAST THOMAS ROAD
SCOTTSDALE, ARIZONA 85251
CONTACT: MATT MANCINI
PHONE: 602.334.4387
EMAIL: matt@3engineering.com

landscape architect:

DESIGN ETHIC, LLC
7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net

site data

NET AREA: 4.13 AC.
GROSS AREA: 4.13 AC.
PROPOSED LOTS: 23

LANDSCAPE AREA PROVIDED: 55,264 S.F.

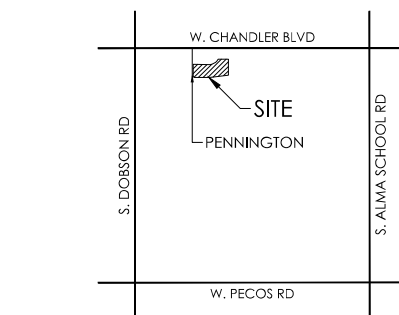
sheet index

SHEET	TITLE
L0.01	COVER SHEET & NOTES
L2.00	OVERALL PLANTING PLAN
L2.01 - L2.02	PLANTING PLAN
L4.01 - L4.02	WALL PLAN & DETAILS
L5.01	AMENITIES PLAN & DETAILS

I HEREBY CERTIFY THAT NO TREE OR BOULDER IS DESIGNED CLOSER THAN SIX (6) FEET TO THE FACE OF THE PUBLIC STREET CURB.

B. Paul
REGISTERED LANDSCAPE ARCHITECT

01.12.2026
DATE



vicinity map



not to scale

city of chandler notes

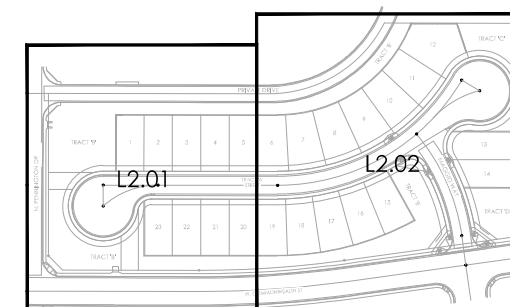
- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- NO OBSTRUCTIONS TO VIEW SHALL BE ERECTED, CONSTRUCTED OR PARKED WITHIN THE SIGHT VISIBILITY AREA, ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6' CURB ELEVATION, ALL SHRUBS IN THIS AREA MAY NOT REACH A MATURE HEIGHT OVER 24".
- ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.
- TREES, SHRUBS, VINES, GROUND COVER AND TURF THAT HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.
- ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6)(H).
- PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1903(6)(C)(4).
- ALL LANDSCAPE AREAS SHALL BE GRADED SO THAT FINISHED GRADE SURFACES OF ALL NONLIVING MATERIALS (I.E. DECOMPOSED GRANITE, CRUSHED ROCK, MULCH, ETC.) ARE ONE AND ONE HALF (1 1/2) INCHES BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903(6)(C)(11), ZONING CODE.
- TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESS-WAYS. SHRUBS MUST BE, AT MATURITY, 3' FROM ALL SIDES OF A FIRE HYDRANT, PIV. OR FDC. SEE SECTION 1903(6)(J)(1), ZONING CODE.]
- ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR IN COMPLIANCE WITH THE ZONING CODE. SEE SECTION 1903(6)(H), ZONING CODE.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED AND/OR CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
- ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.

landscape area data sheet

PLANT QUANTITIES	REQUIRED	PROVIDED
SINGLE-FAMILY COMMON OPEN SPACE		
OPEN SPACE SQUARE FEET: 16,633 L.F.		
TREES: 1 PER 1000 S.F.	27 TREES	36 TREES
SHRUB: 6 PER 1000 S.F.	160 SHRUBS	418 SHRUBS
% TOTAL COVERAGE OF SHRUBS AND GROUND COVER (50% MIN AT MATURITY)	50 %	53.32 %
STREET FRONTAGE LANDSCAPE		
LANDSCAPED AREA ALONG SINGLE FAMILY & COLLECTOR STREET R.O.W		
FRONTAGE LINEAR FEET = 1,344 L.F.		
TREES: 1 PER 30 L.F.	45 TREES	51 TREES
SHRUB: 6 PER 30 L.F.	269 SHRUBS	649 SHRUBS
36 BOX - 50%:	22	22
24 BOX - 50%:	23	28
% TOTAL COVERAGE OF SHRUBS AND GROUND COVER (50% MIN AT MATURITY)	50 %	50.05 %

project site data

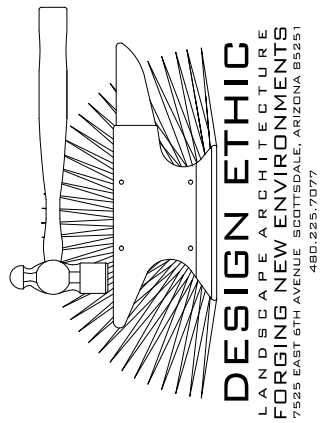
TOTAL SITE AREA (CONSTRUCTION LIMITS):	179,859 S.F. (4.13 AC)
TOTAL LANDSCAPE AREA:	54,522 S.F. / 179,859 S.F. = 30.3 %
TOTAL TURF AREA:	0 S.F. / 179,859 S.F. = 0.0 %
SHRUBS / GROUND COVERS:	25,111 S.F. / 179,859 S.F. = 14.0 %
INORGANIC / GRANITE:	52,980 S.F. / 179,859 S.F. = 29.4 %



key map



not to scale

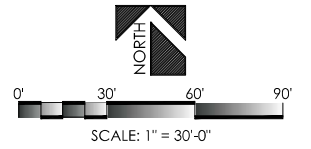
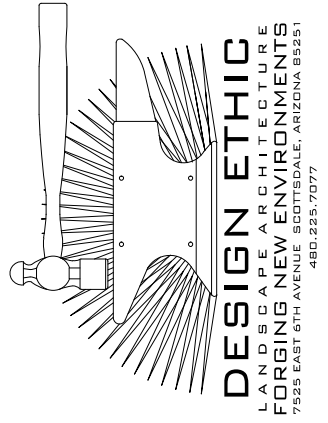
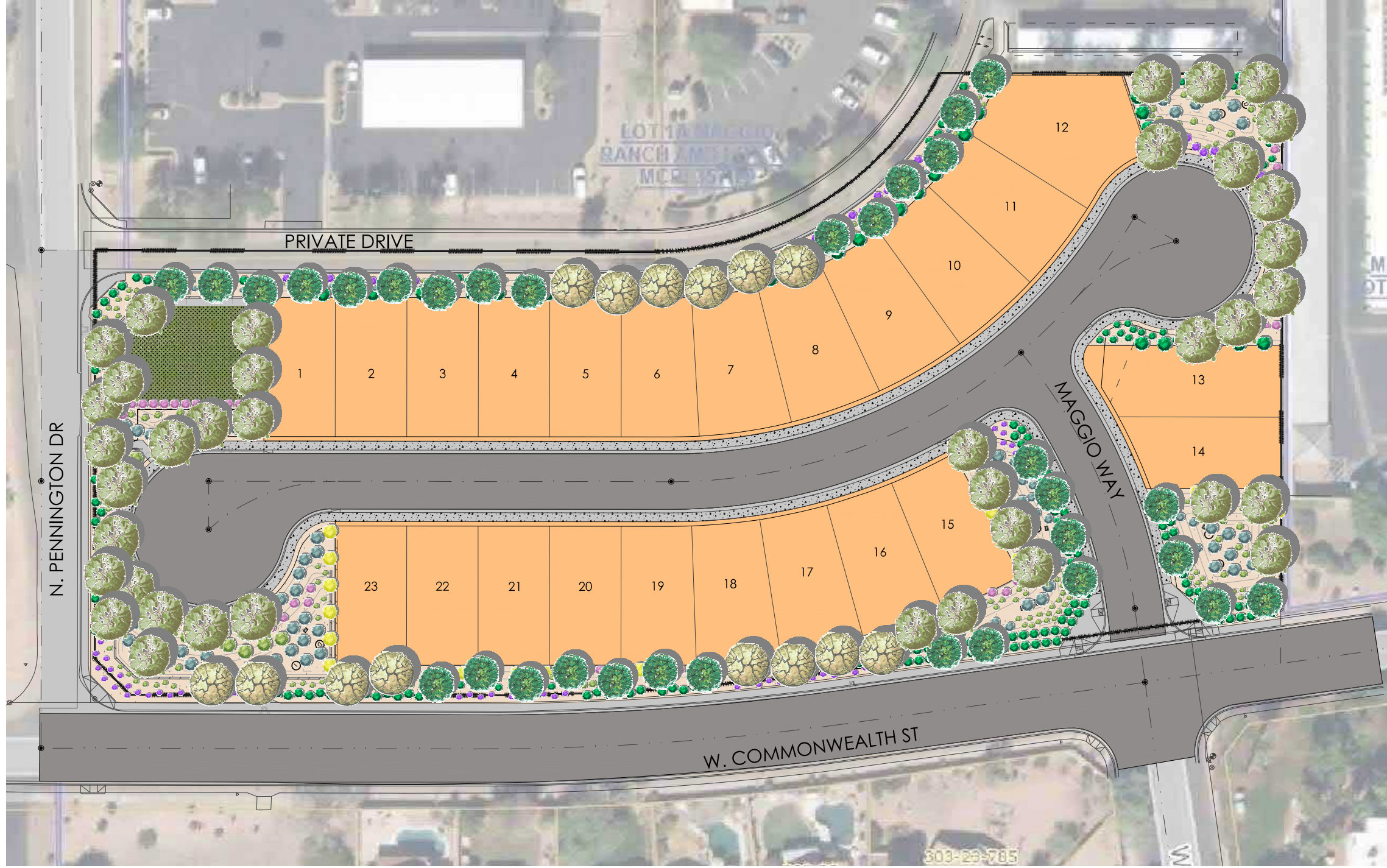


PROJECT: **DOBSON & CHANDLER SUBDIVISION**
N. PENNINGTON DR & W. COMMONWEALTH DR
CHANDLER, ARIZONA

SHEET TITLE: **COVER SHEET & NOTES**

JOB NO: 25-047
DATE: -
DRAWN BY: B. PAUL
SUBMITTED: 01.12.2026
REVISED:

SHEET
L0.01

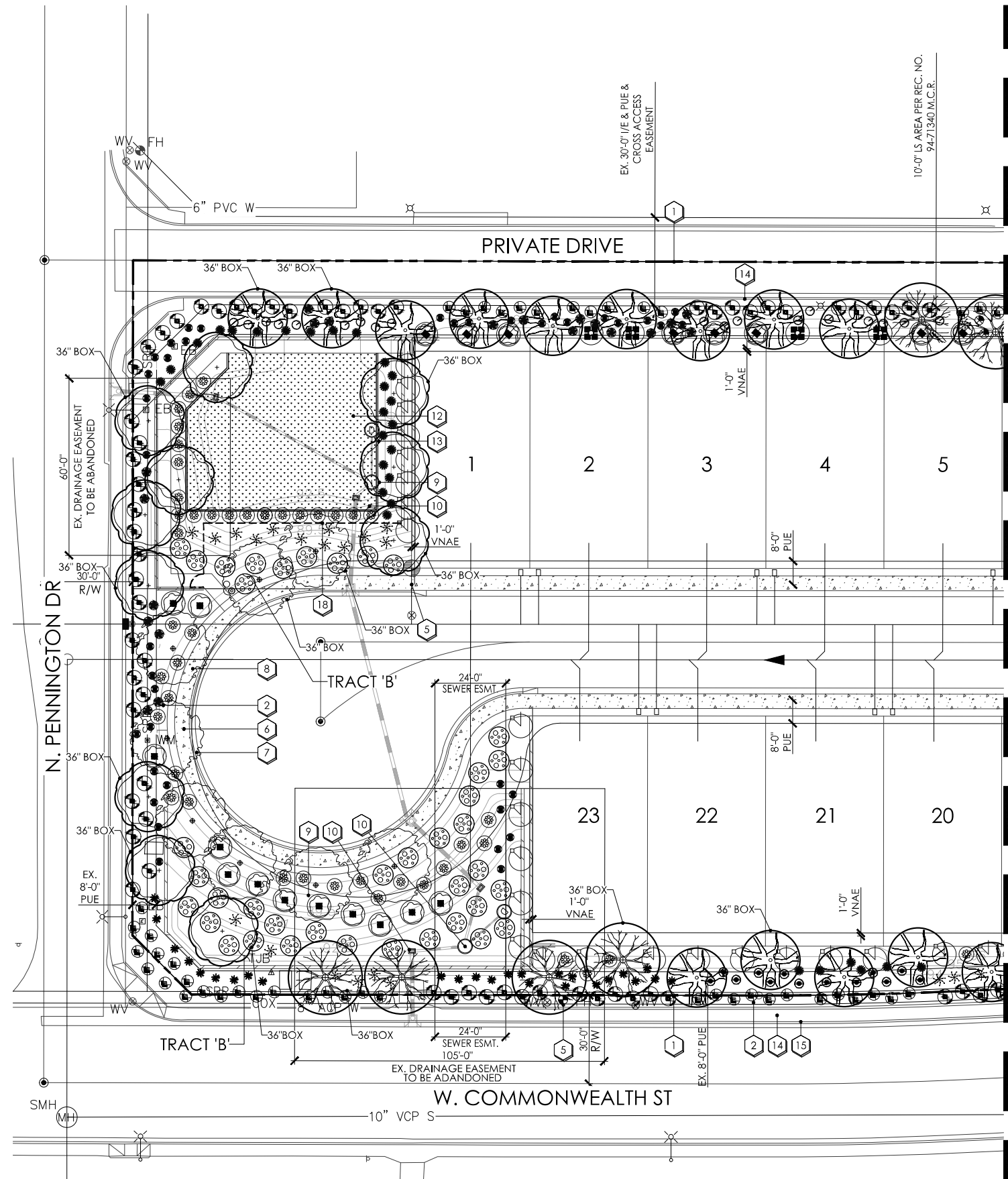


PROJECT:
DOBSON & CHANDLER SUBDIVISION
 N. PENNINGTON DR & W. COMMONWEALTH DR
 CHANDLER, ARIZONA

SHEET TITLE:
OVERALL PLANTING PLAN

JOB NO: 25-047
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 01.12.2026
 REVISED:

SHEET
L2.00
 2 of 7



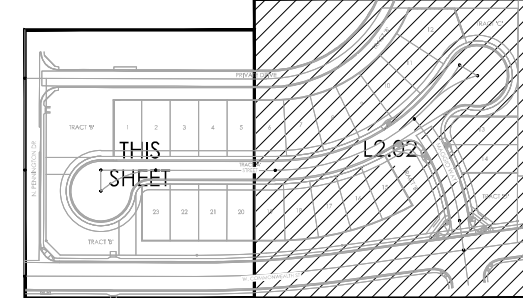
MATCHLINE 'A' - SEE SHEET L2.02

plant legend

	botanical name common name	emitters	size	qty	comments
trees					
	PISTACIA X. RED PUSH RED PUSH PISTACHE	(5 @ 1.0 GPH)	24" BOX 36" BOX	25 7	7.0H., 2.5W., 1.0 CAL. 9.0H., 4.0W., 1.75 CAL. STAKE IN PLACE
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	(5 @ 1.0 GPH)	24" BOX 36" BOX	7 7	7.0H., 3.0W., 1.0 CAL. 10.0H., 5.0W., 1.75 CAL. STAKE IN PLACE
	TIPUANA TIPU TIPU TREE	(6 @ 2.0 GPH)	24" BOX 36" BOX	10 4	7.0H., 3.0W., 1.0 CAL. 9.0H., 3.0W., 1.75 CAL. STAKE IN PLACE
	ULMUS PARVIFOLIA EVERGREEN ELM	(6 @ 2.0 GPH)	24" BOX 36" BOX	13 4	7.0H., 3.0W., 1.0 CAL. 10.0H., 6.0W., 1.75 CAL. STAKE IN PLACE
shrubs					
	BOUGAINVILLEA 'TORCH GLOW' TORCH GLOW BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	71	
	DODONAEA VISCOSA HOPSEED BUSH	(1 @ 1.0 GPH)	5 GAL.	20	
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD	(1 @ 1.0 GPH)	5 GAL.	32	
	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	12	
	RUELLIA BRITTONIANA MEXICAN PETUNIA	(1 @ 1.0 GPH)	5 GAL.	42	
	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	(1 @ 1.0 GPH)	5 GAL.	68	
	TECOMA ALATA ORANGE JUBILEE	(1 @ 1.0 GPH)	5 GAL.	24	
	TECOMA STANS 'GOLD STAR' 'GOLD STAR' YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	45	
accents					
	ASCLEPIAS SUBULATA DESERT MILKWEED	(1 @ 1.0 GPH)	5 GAL.	63	
	DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	28	
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	54	
	HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	122	
	MUHLENBERGIA CAPILLARIS 'PINK MUHLY' REGAL MIST	(1 @ 1.0 GPH)	5 GAL.	30	
	YUCCA PALLIDA PALE LEAF YUCCA	(1 @ 1.0 GPH)	5 GAL.	32	
groundcovers					
	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	1 GAL.	61	
	EREMOPHILA HYGROPHANA 'BLUE BELLS' EMU	(1 @ 1.0 GPH)	1 GAL.	96	
	EREMOPHILA GLABRA 'MINGENOW GOLD' OUTBACK SUNRISE EMU	(1 @ 1.0 GPH)	1 GAL.	201	
	SPHAGNETICOLA TRILOBATA YELLOW DOT	(1 @ 1.0 GPH)	1 GAL.	28	
	TURF - HYBRID BERMUDA - SOD			3,233 S.F.	
inerts					
	DECOMPOSED GRANITE ROCK PROS - CARMEL		3/4" SCREENED	46,961 S.F.	2" MINIMUM DEPTH IN ALL PLANTERS
	CONCRETE HEADER EXTRUDED CONCRETE		6" x 6"	179 L.F.	

planting key notes

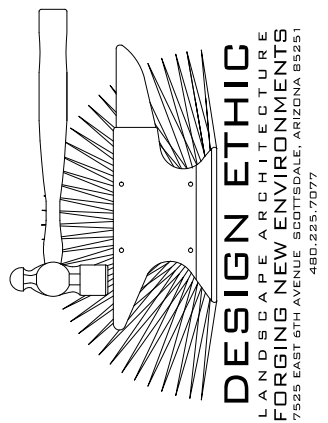
- 1 PROPERTY LINE / RIGHT OF WAY LINE.
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 5 FIRE HYDRANT - 3'-0" CLEAR OF ALL PLANT MATERIAL.
- 6 SIDEWALK. SEE CIVIL ENG. PLANS.
- 7 CURB. SEE CIVIL ENG. PLANS.
- 8 P.U.E. SEE CIVIL ENG. PLANS.
- 9 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 10 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- 11 STREET LIGHT. SEE CIVIL ENG. PLANS.
- 12 BERMUDA TURF
- 13 6"X6" CONCRETE HEADER
- 14 EXISTING SIDEWALK.
- 15 EXISTING CURB.
- 16 CLUSTER MAILBOX LOCATION SEE SHEET L4.01 - DETAIL 'B'
- 17 CMU BENCH SEAT SEE SHEET L5.01 - DETAIL 'B'
- 18 WROUGHT IRON FENCE WITH VIEW GATE. SEE SHEET L4.02 - DETAIL 'E'



key map



not to scale



NORTH

SCALE: 1" = 20'-0"

Arizona
Call 611 or visit Arizona11.com

PROJECT: **DOBSON & CHANDLER SUBDIVISION**
N. PENNINGTON DR & W. COMMONWEALTH DR
CHANDLER, ARIZONA
 SHEET TITLE: **PLANTING PLAN**

JOB NO: 25-047
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 01.12.2026
 REVISED:

SHEET
L2.01
 3 of 7

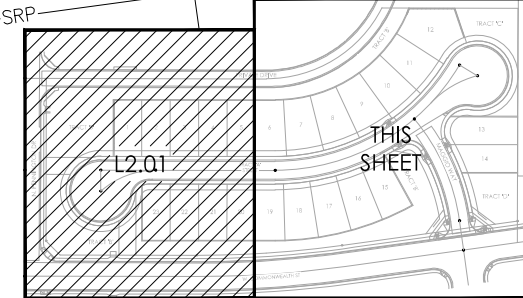


plant legend

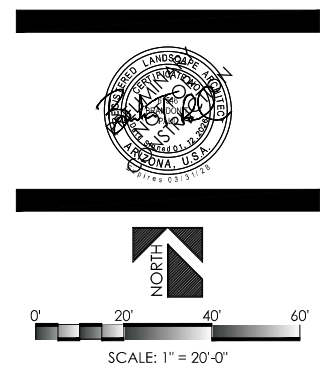
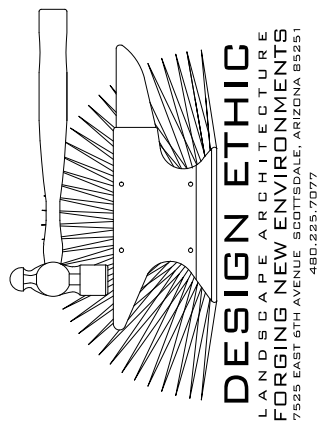
botanical name	common name
trees	
PISTACIA X. RED PUSH	RED PUSH PISTACHE
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
TIPUANA TIPU	TIPU TREE
ULMUS PARVIFOLIA	EVERGREEN ELM
shrubs	
BOUGAINVILLEA 'TORCH GLOW'	TORCH GLOW BOUGAINVILLEA
DODONAEA VISCOSA	HOPSEED BUSH
LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD
LEUCOPHYLLUM FRUTESCENS	GREEN CLOUD SAGE
RUPELLIA BRITTONIANA	MEXICAN PETUNIA
RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN
TECOMA ALATA	ORANGE JUBILEE
TECOMA STANS 'GOLD STAR'	'GOLD STAR' YELLOW BELLS
accents	
ASCLEPIAS SUBULATA	DESERT MILKWEED
DASYLIRION WHEELERI	DESERT SPOON
HESPERALOE FUNIFERA	GIANT HESPERALOE
HESPERALOE PARVIFLORA	RED YUCCA
MUHLENBERGIA CAPILLARIS	'PINK MUHLY'
	REGAL MIST
YUCCA PALLIDA	PALE LEAF YUCCA
groundcovers	
ACACIA REDOLENS	DESERT CARPET
EREMOPHILA HYGROPHANA	'BLUE BELLS' EMU
EREMOPHILA GLABRA	'MINGENW GOLD'
	OUTBACK SUNRISE EMU
SPHAGNETICOLA TRILOBATA	YELLOW DOT
inerts	
DECOMPOSED GRANITE	ROCK PROS - CARMEL
CONCRETE HEADER	EXTRUDED CONCRETE

planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE.
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 5 FIRE HYDRANT - 3'-0" CLEAR OF ALL PLANT MATERIAL.
- 6 SIDEWALK. SEE CIVIL ENG. PLANS.
- 7 CURB. SEE CIVIL ENG. PLANS.
- 8 P.U.E. SEE CIVIL ENG. PLANS.
- 9 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 10 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
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- 15 EXISTING CURB.
- 16 CLUSTER MAILBOX LOCATION SEE SHEET L4.01 - DETAIL 'B'
- 17 CMU BENCH SEAT SEE SHEET L5.01 - DETAIL 'B'
- 18 WROUGHT IRON FENCE WITH VIEW GATE. SEE SHEET L4.02 - DETAIL 'E'



key map

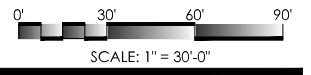


PROJECT: **DOBSON & CHANDLER SUBDIVISION**
N. PENNINGTON DR & W. COMMONWEALTH DR
CHANDLER, ARIZONA

SHEET TITLE: **PLANTING PLAN**

JOB NO: 25-047
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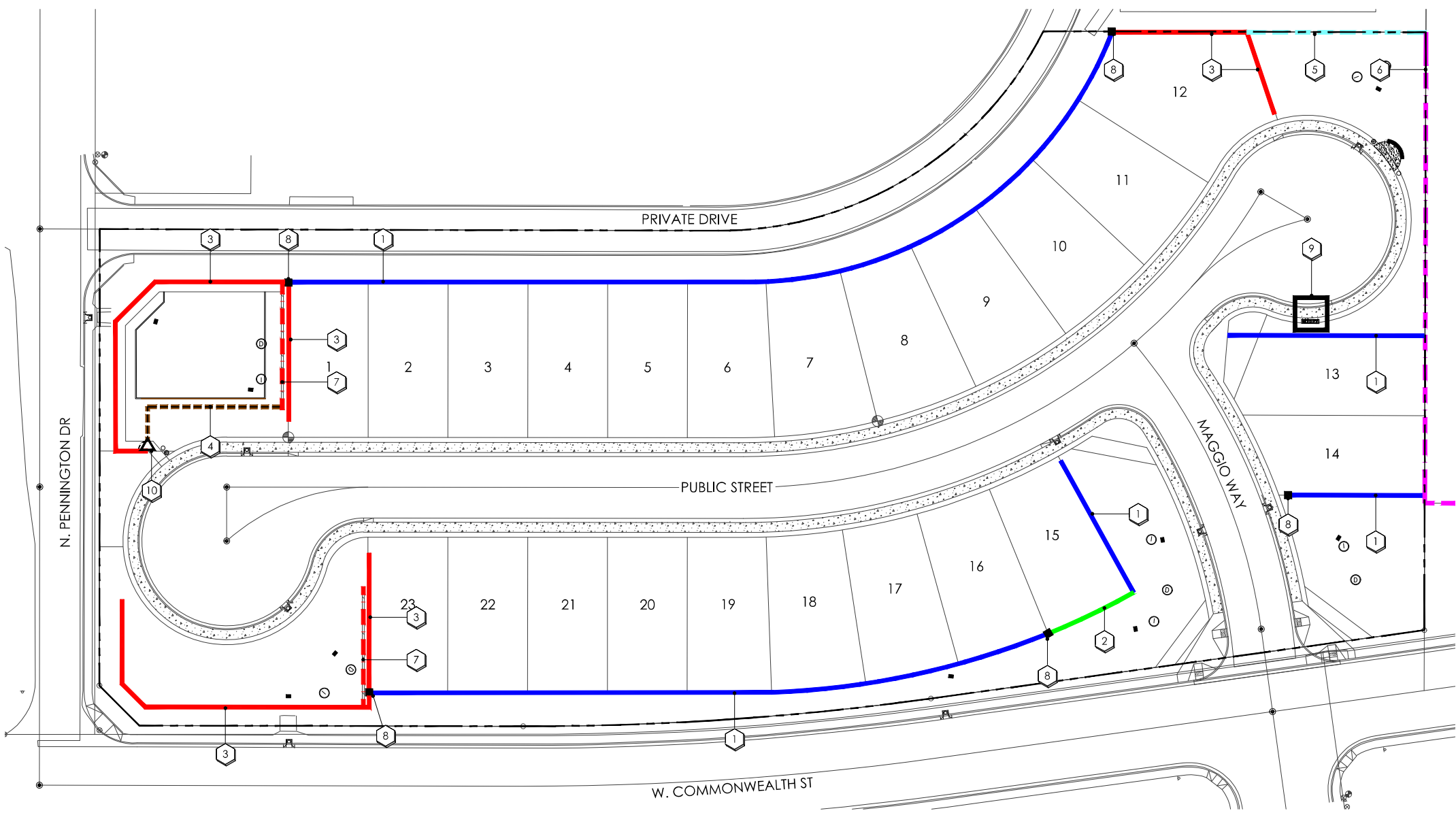
SHEET **L2.02**
 4 of 7



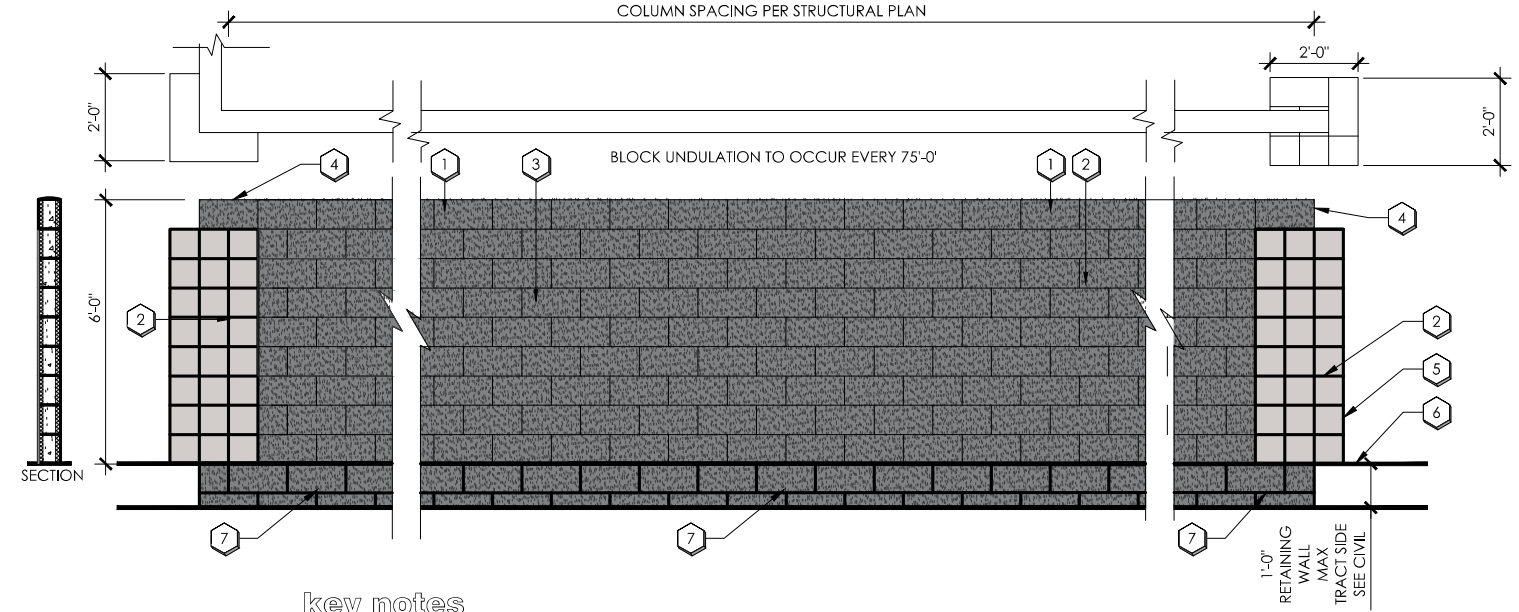
PROJECT: **DOBSON & CHANDLER SUBDIVISION**
N. PENNINGTON DR & W. COMMONWEALTH DR
CHANDLER, ARIZONA

SHEET TITLE: **WALL PLAN & DETAILS**

JOB NO: 25-047
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 01.12.2026
 REVISED:



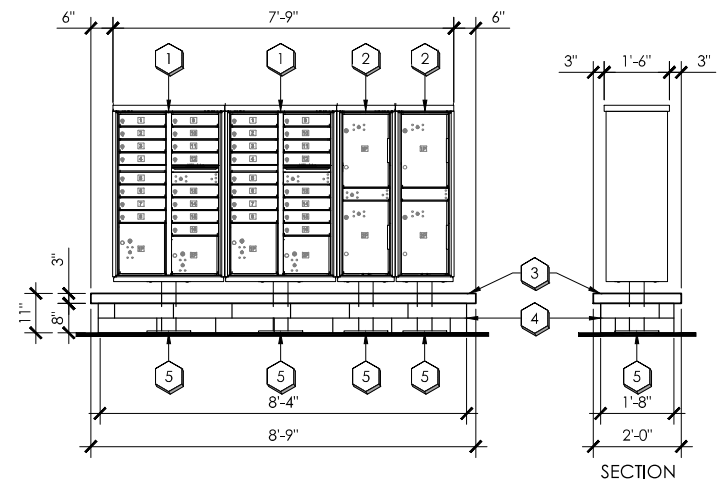
- wall key notes**
- P1** 1 6' HIGH PERIMETER THEME WALL. SEE SHEET L4.01, DETAIL 'A'. 1,050 L.F. TOTAL
 - P2** 2 6' HIGH ENTRY WALL. SEE SHEET L4.02, DETAIL 'C'. 24 L.F. TOTAL
 - R1** 3 7' HIGH PERIMETER OVER 2' RETAINING WALL. SEE SHEET L4.02, DETAIL 'D'. 601 L.F. TOTAL
 - C1** 4 6'-0" HIGH WROUGHT IRON FENCE W/ VIEW GATE. SEE SHEET L4.02, DETAILS 'E'. QUANTITY: 85 L.F.
 - D1** 5 6'-0" HIGH 4" X 8" X 16" DOOLEY BLOCK WALLS WITH 'H' PILASTERS. QUANTITY: 90 L.F.
 - E1** 6 6'-0" HIGH EXISTING WALL
 - R2** 7 3'-0" - 4'-0" RETAINING WALL. SEE CIVIL.
 - 8 2'-0" X 2'-0" WALL PILASTER WITH PRECAST CONCRETE CAP. SEE SHEET L4.02, DETAIL 'A'. QUANTITY: 5
 - 9 PROPOSED CLUSTER MAILBOX LOCATION SHEET L4.01 SEE DETAIL 'B'
 - 10 PROPOSED PEDESTRIAN GATE. SEE SHEET L4.02, DETAILS 'E'.



- key notes**
- 1 ROUNDED MORTAR CAP COLOR: STORM CLOUD - DE6123
 - 2 8" X 8" X 16" SCORED CMU BLOCK COLOR: NATURAL GREY
 - 3 6" X 8" X 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
 - 4 TOP COURSE OF THEME WALL TO EXTEND ON TOP OF COLUMN.
 - 5 8" X 8" X 16" CMU BLOCK COLUMN
 - 6 FINISH GRADE
 - 7 1'-0" TALL (MAX) RETAINING WALL. TRACT SIDE, SEE CIVIL. COLOR: STORM CLOUD - DE6123

A 6'-0" PERIMETER THEME WALL ELEVATION
 NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT

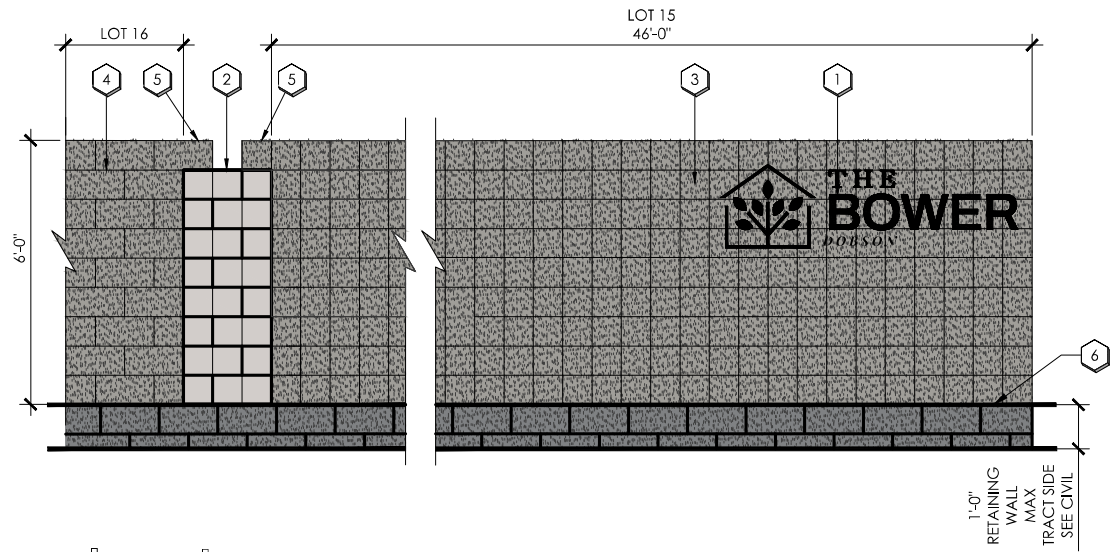
SCALE: 1/2" = 1'-0"



- key notes**
- 1 SALSBUURY CLUSTER BOX UNIT 3316SAN-U 16 DOORS & 2 PARCEL LOCKERS IN SANDSTONE WITH USPS ACCESS - TYPE III
 - 2 SALSBUURY OUTDOOR PARCEL LOCKER WITH USPS ACCESS - TYPE I
 - 3 PRECAST CONCRETE CAP COLOR: NATURAL GRAY
 - 4 3302SAN-U - 2 COMPARTMENTS IN SANDSTONE 6" X 4" X 16" CMU BLOCK BASE COLOR: SAND DUNE - DE6128
 - 5 FINISH GRADE FOOTING ATTACHMENT BY OTHERS

B CLUSTER MAILBOX AND PARCEL LOCKERS
 NOTE: PARCEL LOCKERS TO BE PROVIDED AT A 5:1 MAILBOX TO PARCEL LOCKER RATIO PER 2021 REVISIONS TO THE POSTAL OPERATIONS MANUAL

SCALE: 1/2" = 1'-0"

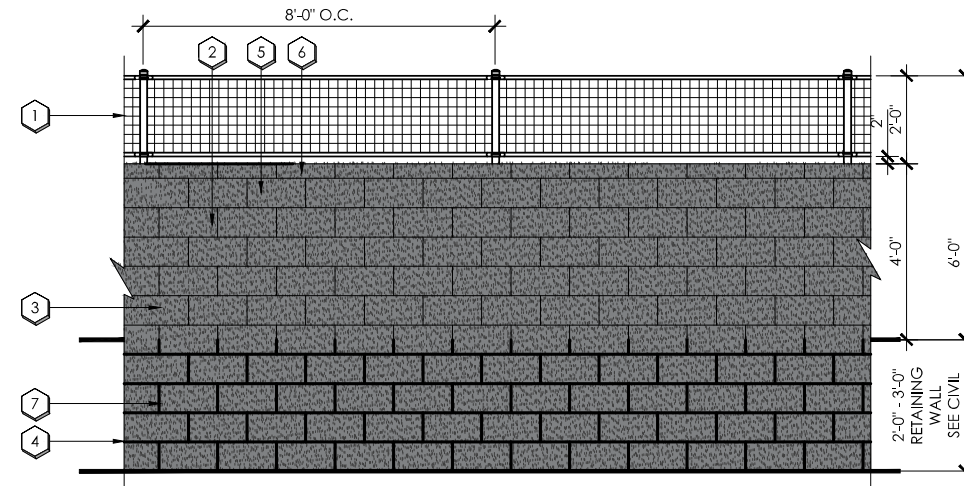


key notes

- 1 PIN SET STEEL SIGNAGE, UP-LIT SEE SITE ELECTRICAL PLAN.
- 2 8" x 8" x 16" CMU BLOCK COLUMN COLOR: STORM CLOUD - DE6123
- 3 8" x 8" x 16" SCORED CMU BLOCK COLOR: STORM CLOUD - DE6123
- 4 6" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 5 TOP COURSE OF THEME WALL TO EXTEND ON TOP OF COLUMN.
- 6 FINISH GRADE

C 6'-0" ENTRY WALL ELEVATION

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"
STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT

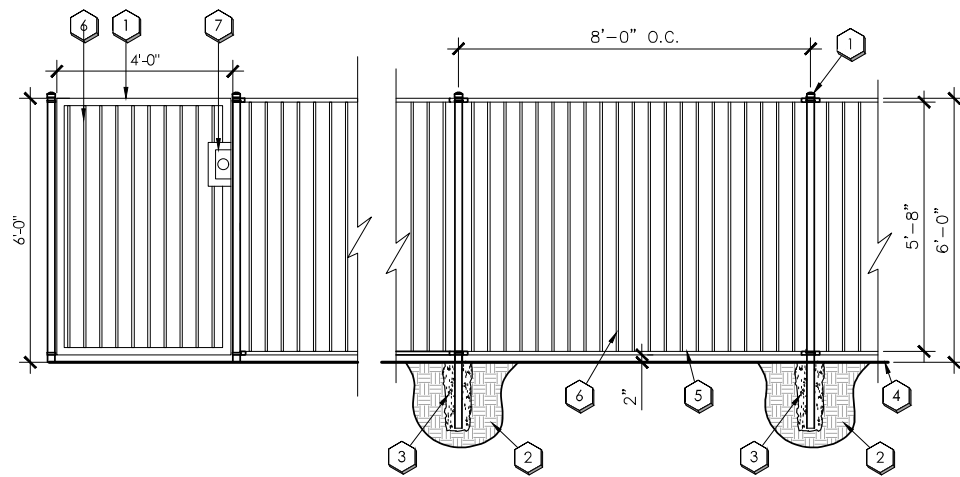


key notes

- 1 2' WELDED WIRE MESH VIEW FENCE 8'-0" ON CENTER.
- 2 6" x 8" x 16" CMU BLOCK COLOR: NATURAL GREY
- 3 8" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 4 2'-0" TALL RETAINING WALL. SEE CIVIL. COLOR: STORM CLOUD - DE6123
- 5 6" x 8" x 16" SPLIT FACE CMU BLOCK COLOR: STORM CLOUD - DE6123
- 6 4" x 8" x 16" CMU BLOCK
- 7 8" x 8" x 16" CMU BLOCK

D 5'-0" PERIMETER THEME WALL W/ 2'-0" VIEW FENCE OVER 2'-0" RETAINING WALL

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"
STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT



key notes

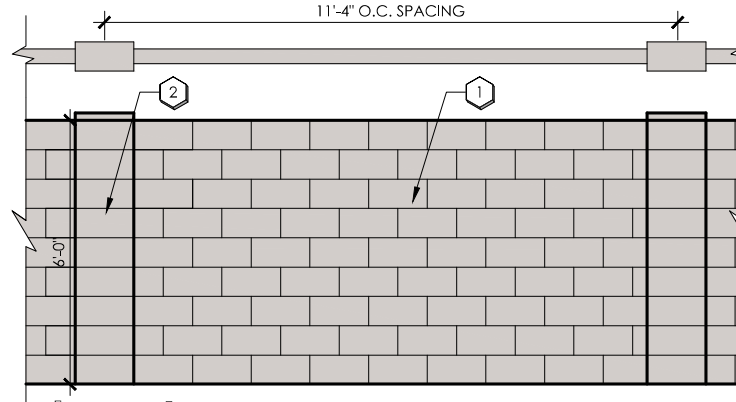
- 1 2" x 2" STEEL POSTS 14 GAUGE W/ CAST IRON FLAT CAP. SPACING 96" OR AS PER PLAN
- 2 COMPACTED SUBGRADE
- 3 CONCRETE FOOTING 8" DIA. MIN, 18" DEPTH
- 4 FINISH GRADE
- 5 1" x 1" SQ. TUBULAR STEEL RAIL
- 6 3/4" x 3/4" SQ. TUBULAR STEEL PICKETS AT 3-3/4" O.C. MAXIMUM SPACING
- 7 2" x 2" SQUARE TUBE STEEL
- 8 LATCH PER CONTRACTOR

NOTES:

- ALL METAL TO BE DEGREASED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND DIP COATED WITH TWO COATS OF INDUSTRIAL GRADE FLAT BLACK ENAMEL.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WROUGHT IRON FENCE, GATE, AND FOOTINGS TO OWNER FOR APPROVAL.

E 6'-0" WROUGHT IRON FENCE W/ VIEW GATE

NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. SCALE: 1/2" = 1'-0"

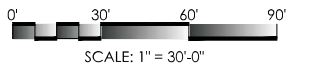
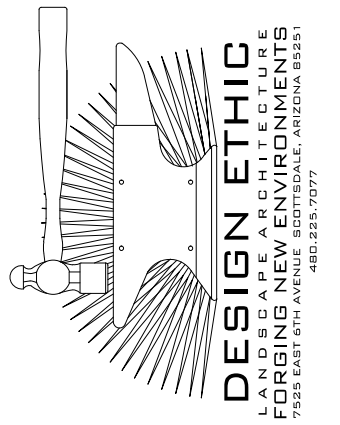


key notes

- 1 4"X8"X16" CMU BLOCK WALL COLOR: STANDARD GRAY
- 2 8"X8"X16" H-BLOCK COLUMNS 11'-4" O.C.

G 4" X 8" X 16" CMU WALL W/ 8"X8"X16" H BLOCK COLUMNS

SCALE: 1/2" = 1'-0"

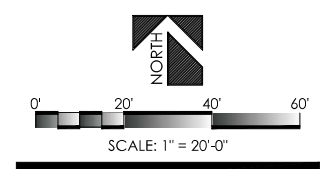


PROJECT: **DOBSON & CHANDLER SUBDIVISION**
N. PENNINGTON DR & W. COMMONWEALTH DR
CHANDLER, ARIZONA

SHEET TITLE: **WALL PLAN & DETAILS**

JOB NO: 25-047
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 01.12.2026
 REVISED:

SHEET
L4.02



PROJECT:
DOBSON & CHANDLER SUBDIVISION
 N. PENNINGTON DR & W. COMMONWEALTH DR
 CHANDLER, ARIZONA

SHEET TITLE:
AMENITIES PLAN

JOB NO: 25-047
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 01.12.2026
 REVISED:

SHEET
L5.01
 7 of 7

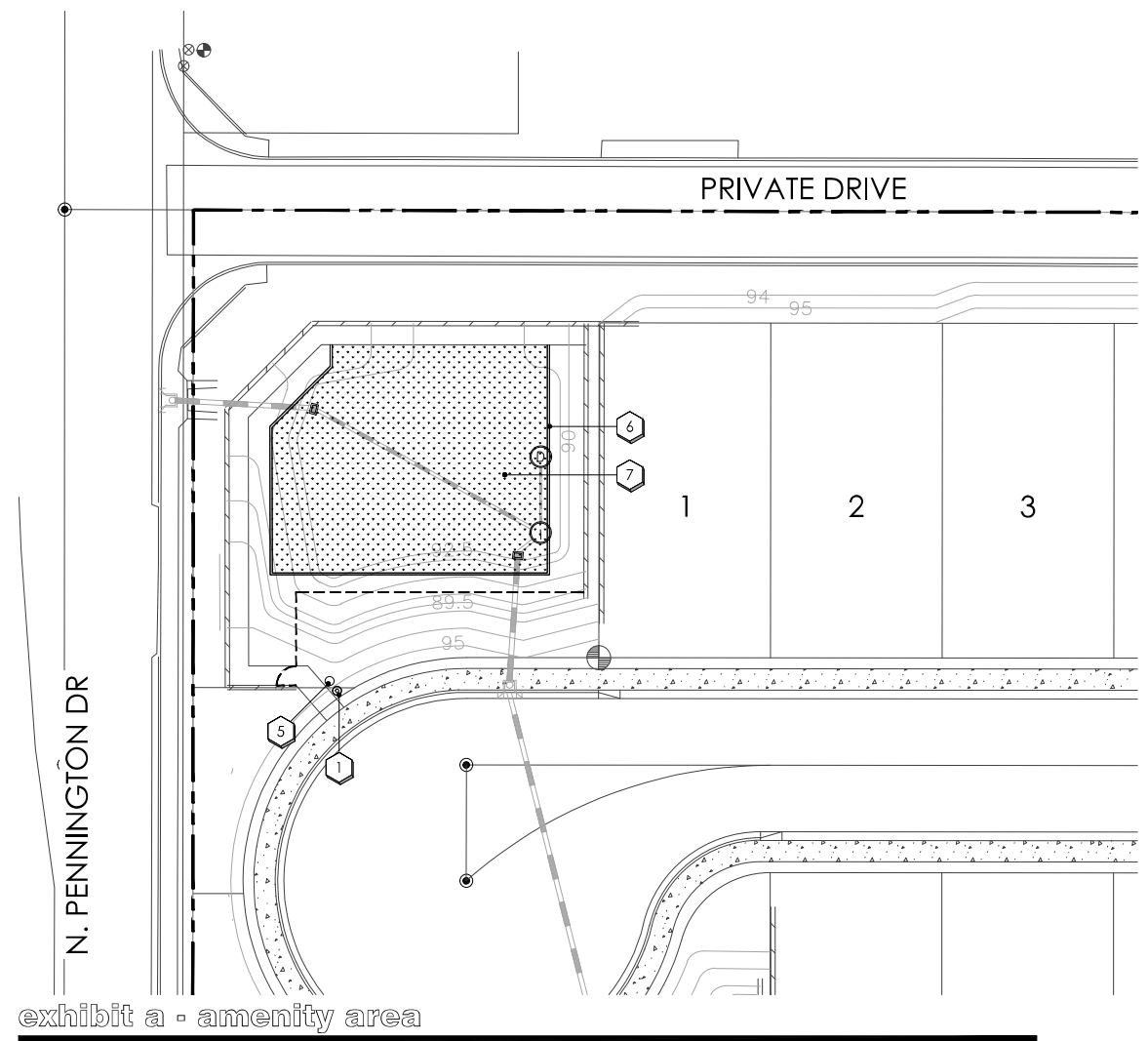


exhibit a - amenity area

SCALE: 1" = 20'-0"

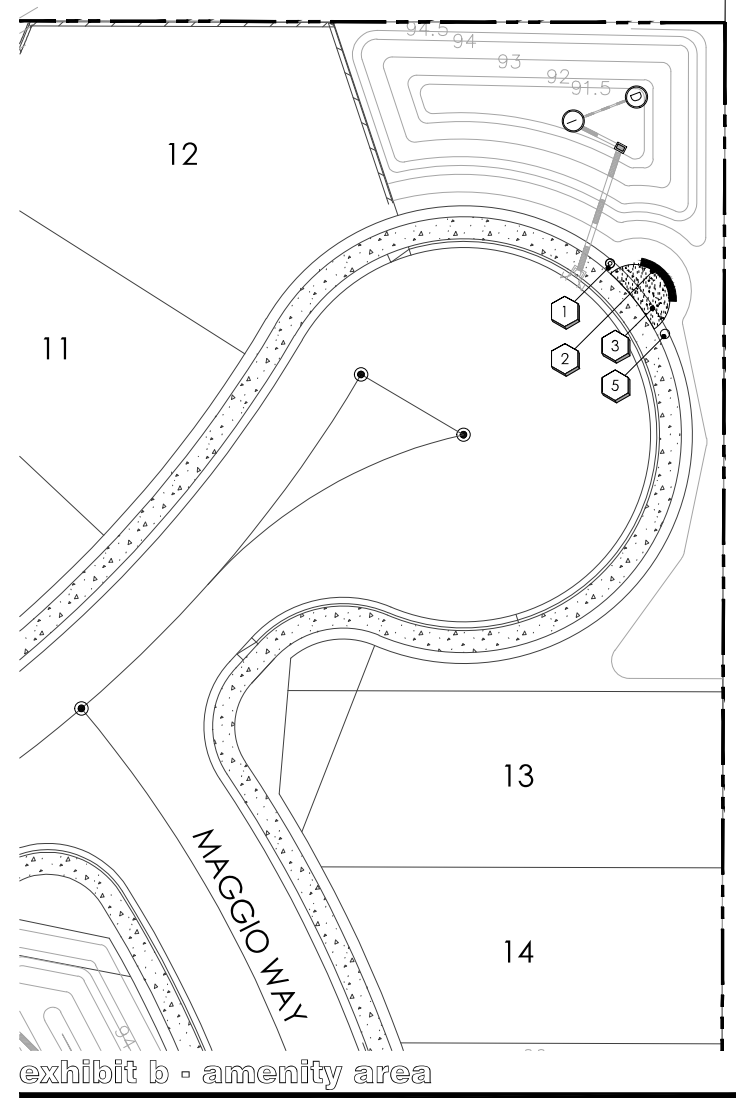


exhibit b - amenity area

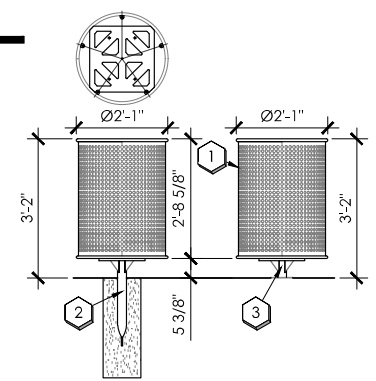
SCALE: 1" = 20'-0"

amenities key notes

- 1 TRASH RECEPTACLE
SEE SHEET L5.01 - DETAIL 'A'
- 2 CMU BENCH SEAT
SEE SHEET L5.01 - DETAIL 'B'
- 3 POURED-IN-PLACE CONCRETE
- 4 DOG PARK AREA
- 5 DOG WASTE DEPOT "DOG WASTE STATION"
SEE SHEET L5.01 - DETAIL 'C'
- 6 4" x 6" CONCRETE HEADER
- 7 LIVE TURF SOD - HYBRID BERMUDA.

key notes

- 1 PLASTICOAT TRASH RECIPTICLE
- 2 POST IN CONCRETE FOOTING
- 3 SURFACE MOUNT POST

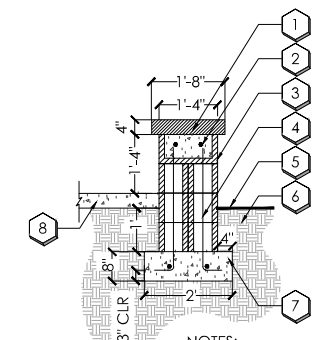


A LR300 TRASH RECEPTICLE
 NOTE: UNIT WILL BE IN-GROUND MOUNTED PER MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"

key notes

- 1 4" CMU CAP
- 2 #4 CONT. IN GROUTED BOND BEAM BLOCK
- 3 8" x 8" x 16" CMU BLOCK
PAINT TO MATCH THEME WALL
- 4 #4 @ 32" O.C. IN GROUTED CELLS
- 5 FINISH GRADE
- 6 COMPACTED SUBGRADE
- 7 #4 CONT. IN 2800 P.S.I. CONC. FOOTING
- 8 FINISH GRADE (ADJACENT CONC. IF APPLICABLE)



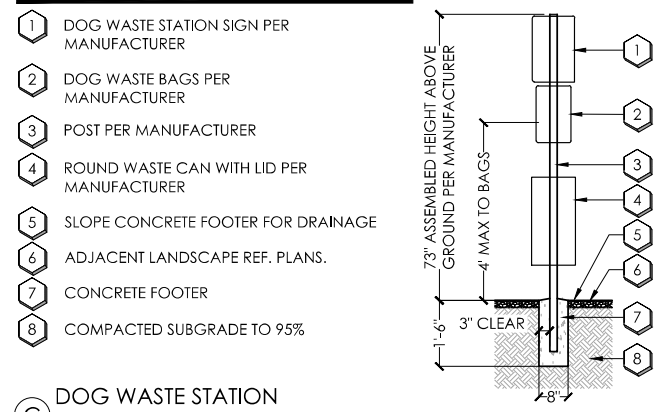
NOTES:
 1. GROUT SOLID ALL CELLS BELOW GRADE.
 2. CONTRACTOR TO STEP FOOTING WHERE APPROPRIATE.
 3. OWNER TO SELECT PAINT COLOR.

B CMU BENCH SEAT

SCALE: 1/2" = 1'-0"

key notes

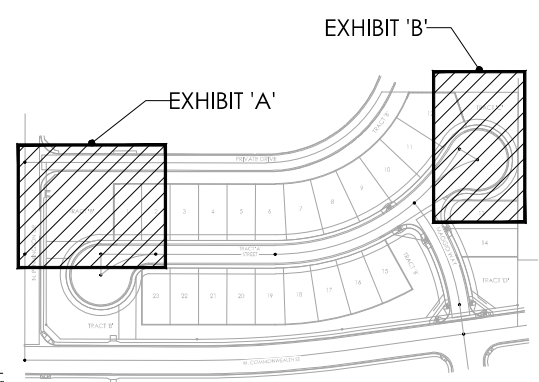
- 1 DOG WASTE STATION SIGN PER MANUFACTURER
- 2 DOG WASTE BAGS PER MANUFACTURER
- 3 POST PER MANUFACTURER
- 4 ROUND WASTE CAN WITH LID PER MANUFACTURER
- 5 SLOPE CONCRETE FOOTER FOR DRAINAGE
- 6 ADJACENT LANDSCAPE REF. PLANS.
- 7 CONCRETE FOOTER
- 8 COMPACTED SUBGRADE TO 95%



C DOG WASTE STATION

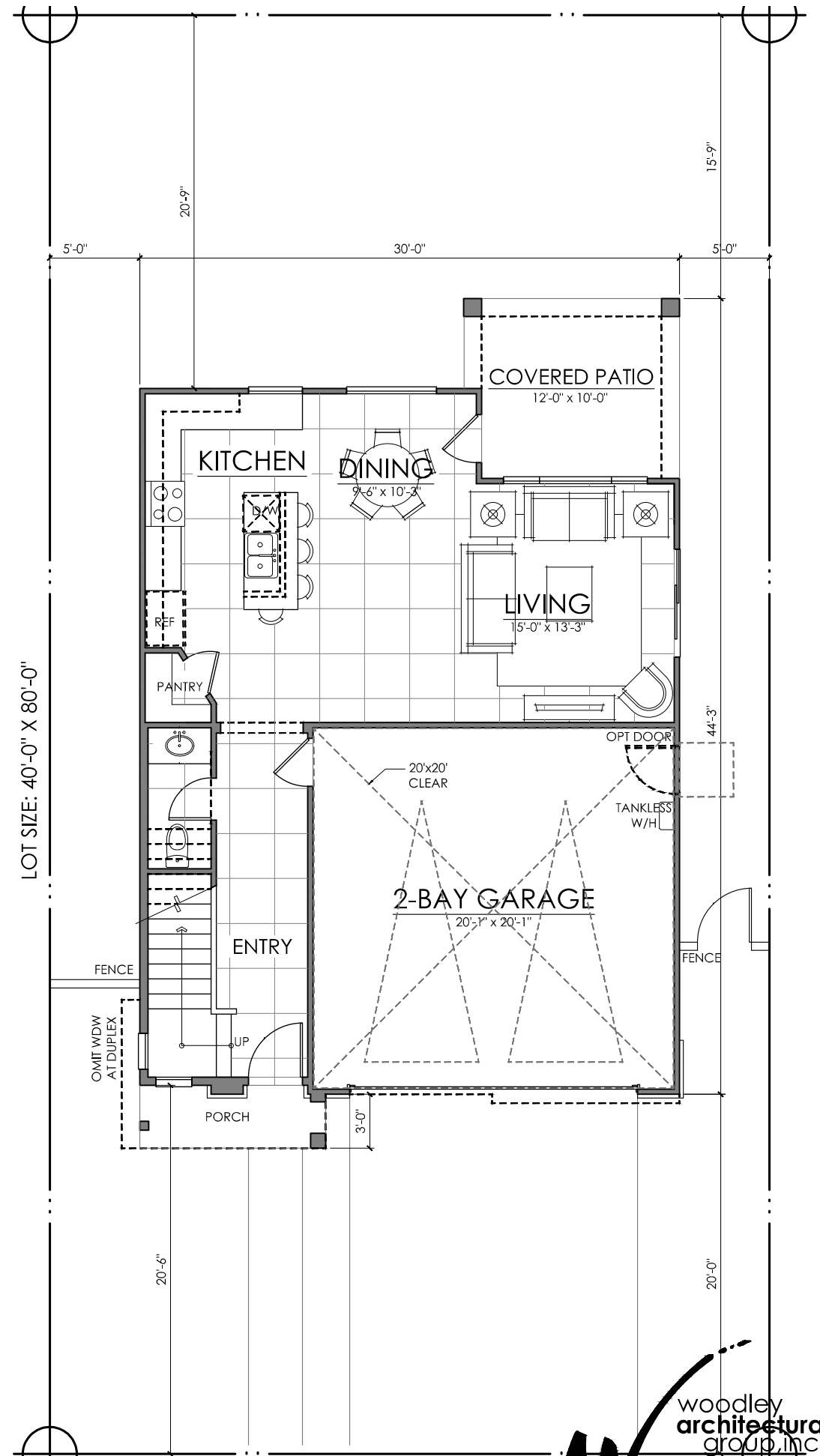
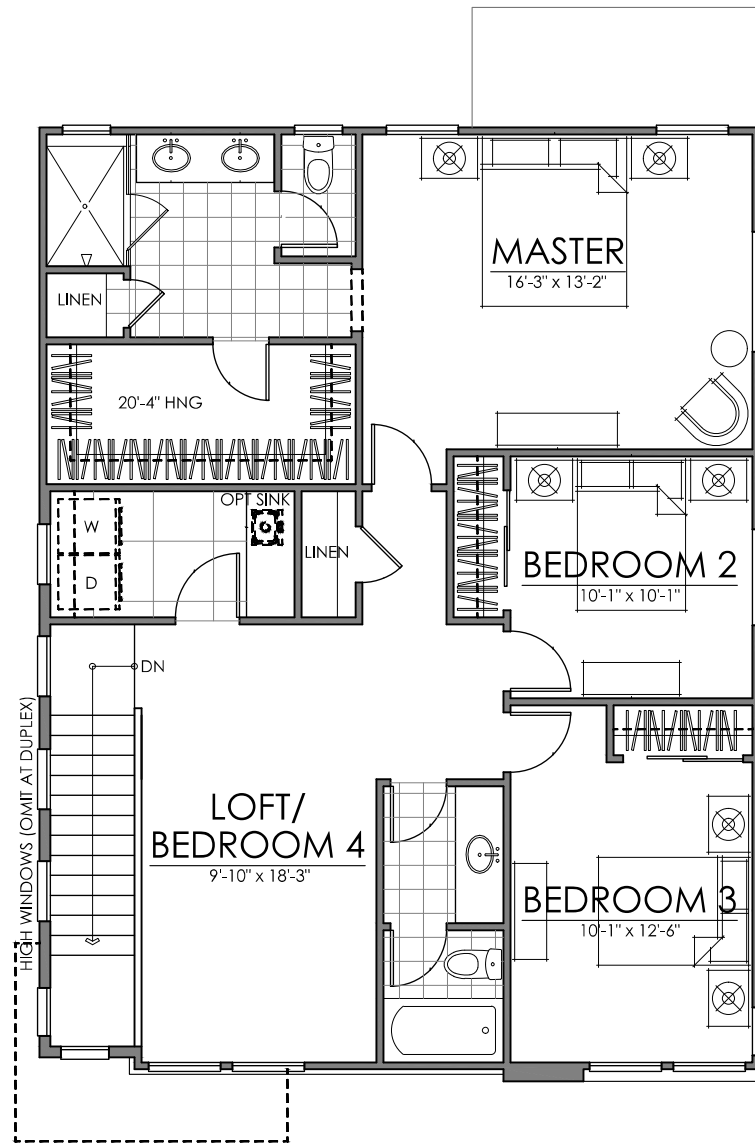
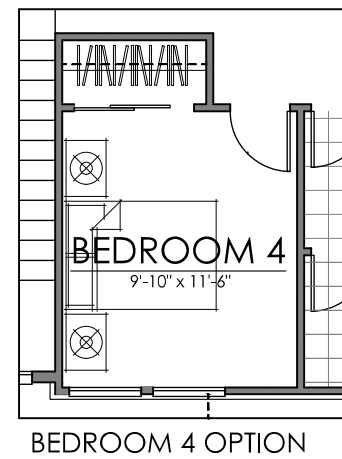
NOTE: DOG WASTE STATION WITH ROLL BAG SYSTEM - DEPOT-006-B ORDER THROUGH DOG WASTE DEPOT WWW.DOGWASTEDEPOT.COM (800) 678-1612

SCALE: 1/2" = 1'-0"



key map





FIRST FLOOR 703 SQ. FT.
 SECOND FLOOR 1104 SQ. FT.
 TOTAL LIVING 1807 SQ. FT.
PLAN ONE | 1807 SQ. FT.
ELEVATION A

12.08.2025

THE BOWER DOBSON | ARCADIA COMMUNITIES
CHANDLER, ARIZONA



NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS. THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

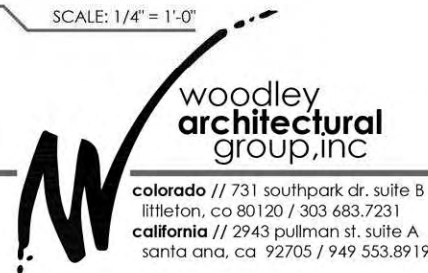
SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | FRONT ELEVATIONS
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



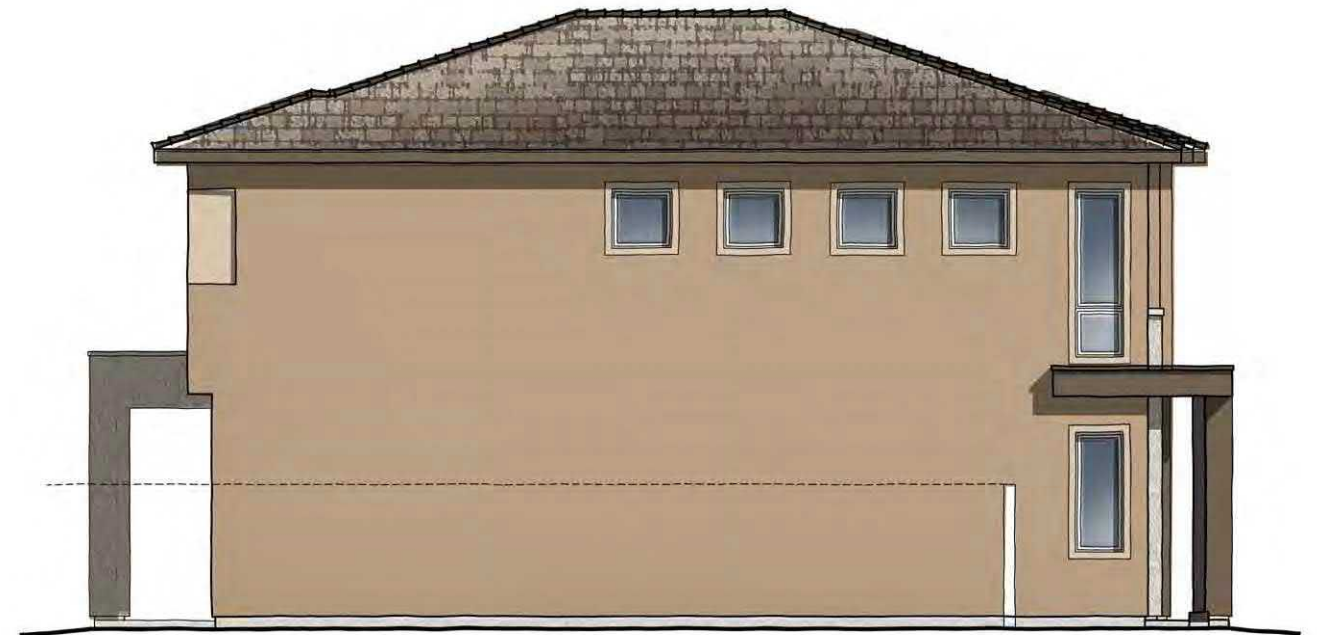
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



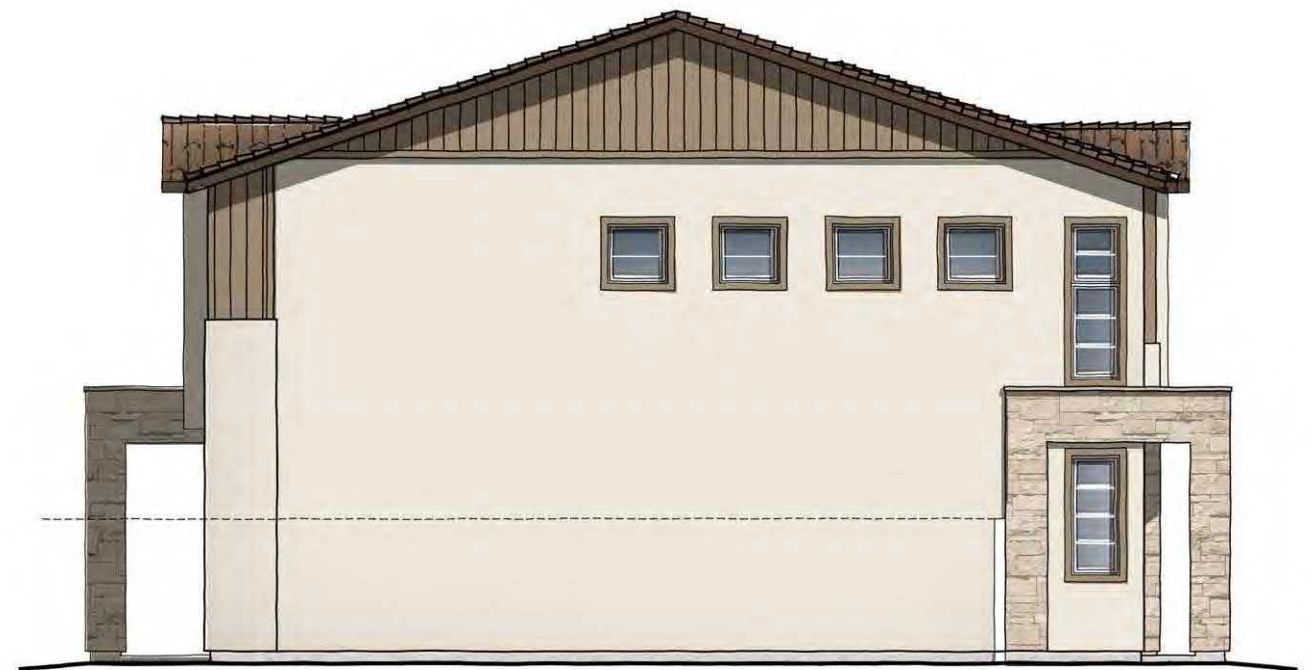
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION B | MODERN SPANISH
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

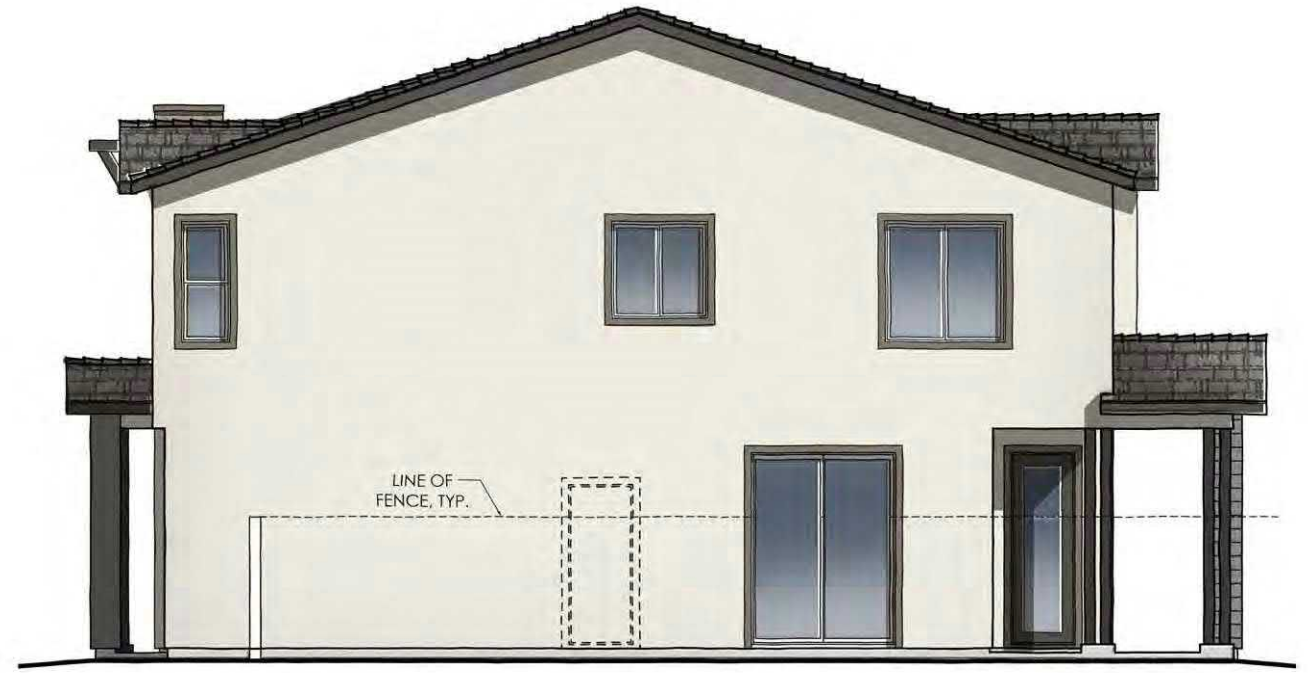
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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION C | MID-CENTURY MODERN
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN ONE | ELEVATION D | MODERN PRAIRIE
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



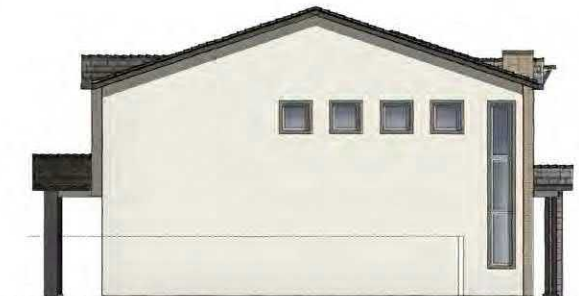
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

12.08.25

PLAN ONE

THE BOWER DOBSON | ARCADIA COMMUNITIES

CHANDLER, ARIZONA

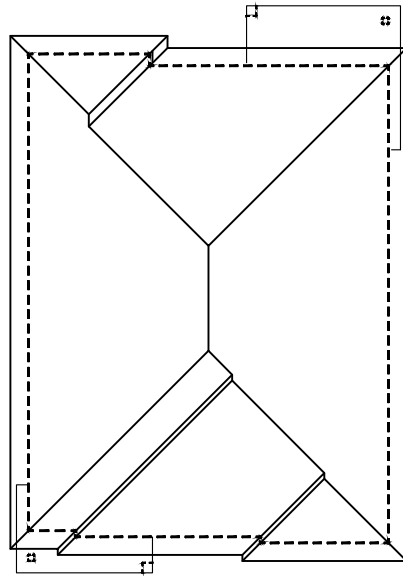
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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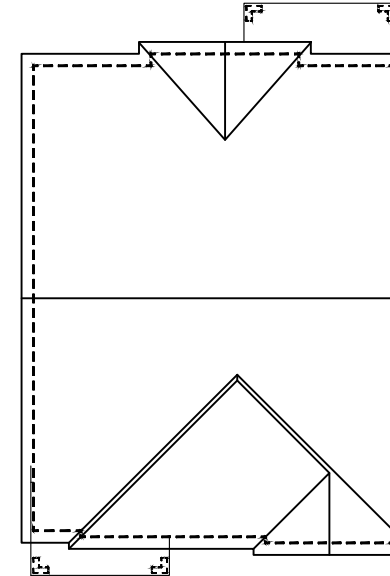
woodley
architectural
group, inc

colorado // 731 southpark dr. suite B
littleton, co 80120 / 303.683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949.553.8919



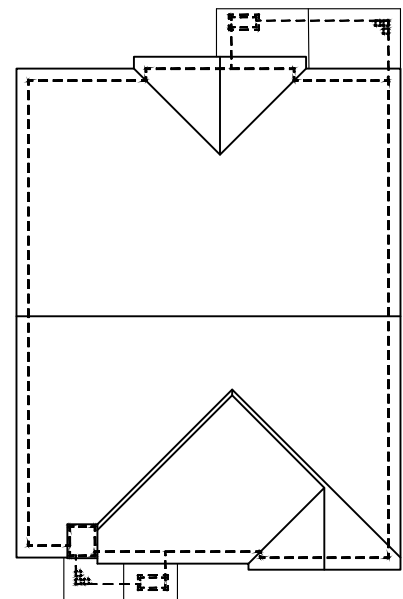
ALL PITCHES 4:12 U.N.O.
ROOF PLAN-A

SCALE: 1/8" = 1'-0"



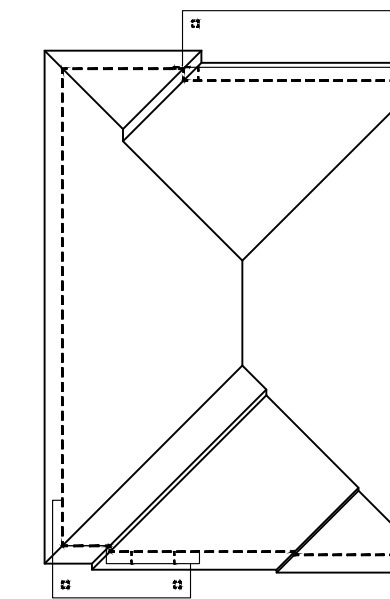
ALL PITCHES 4:12 U.N.O.
ROOF PLAN-B

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN-C

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN-D

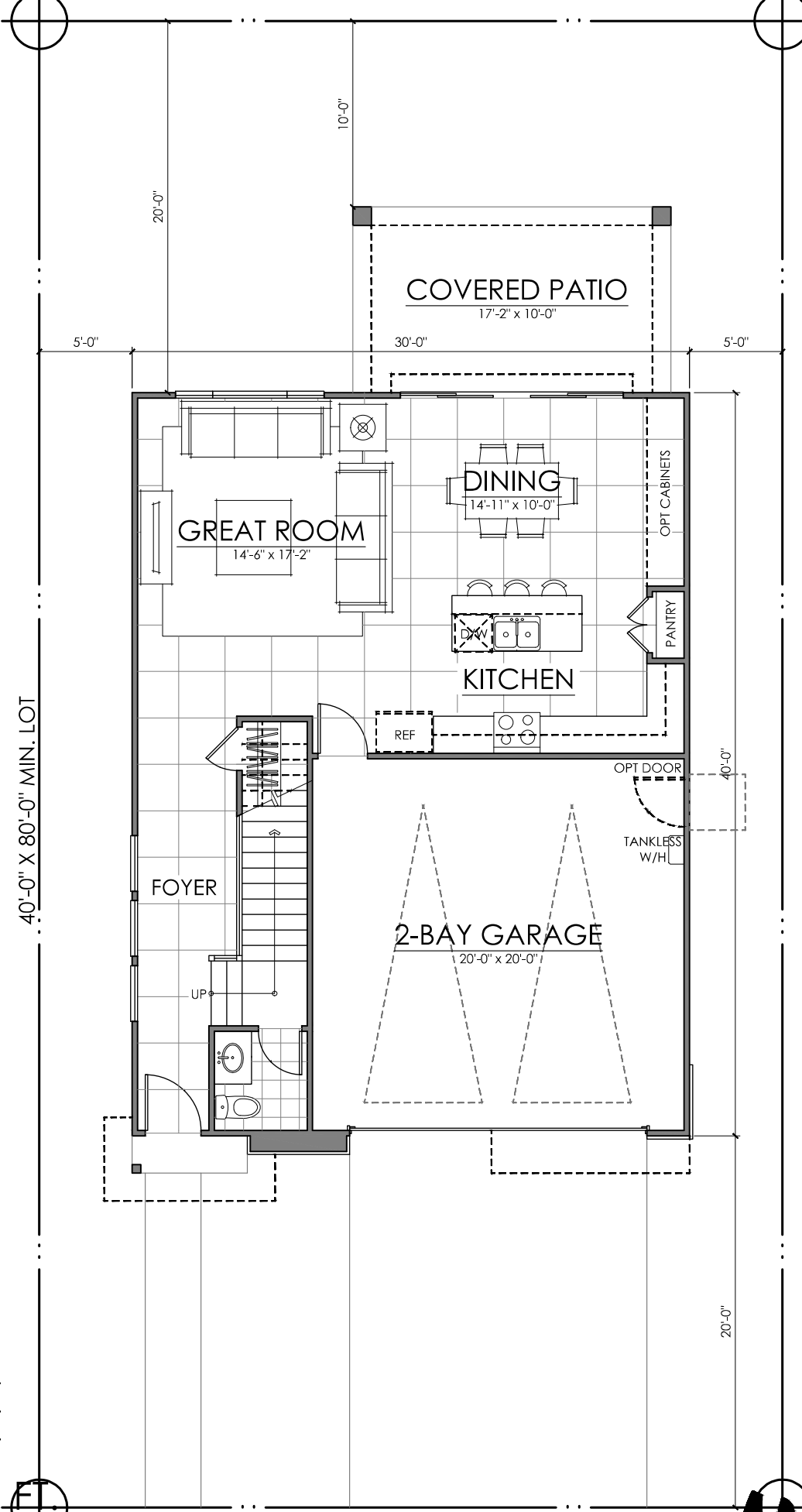
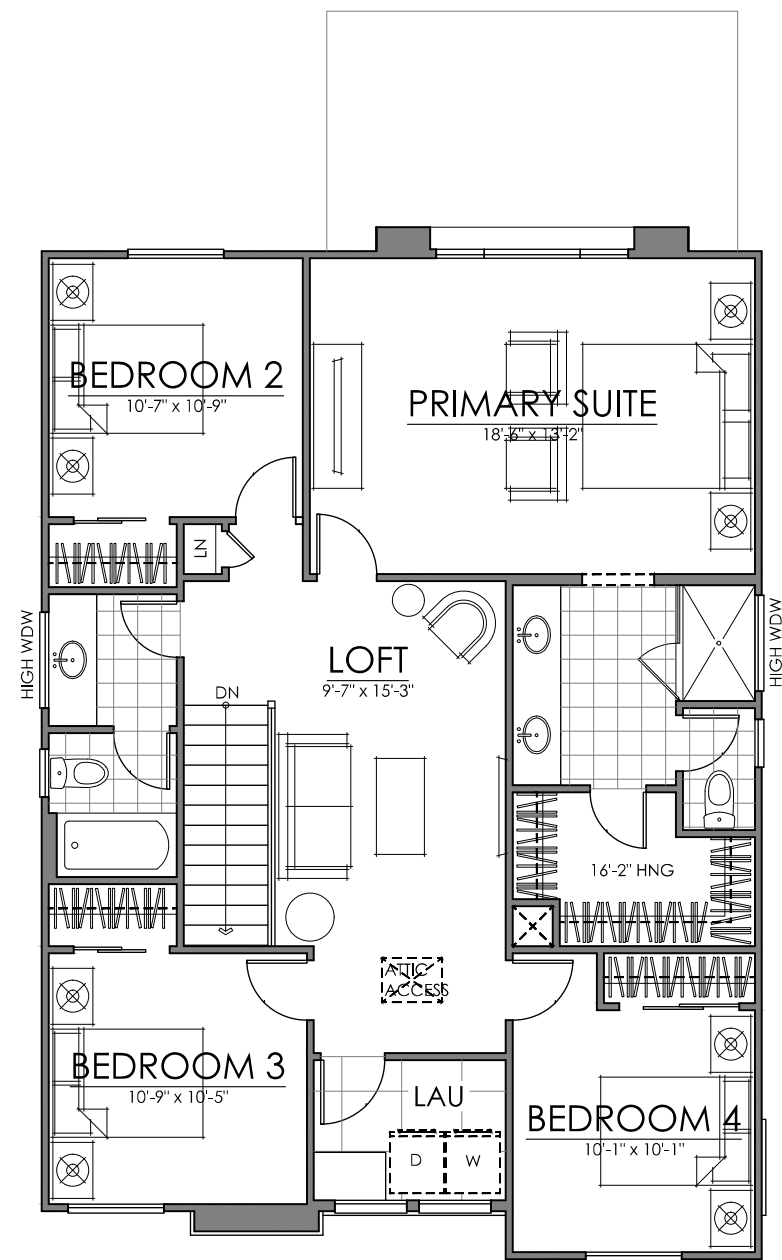
SCALE: 1/8" = 1'-0"

12.08.2025

PLAN ONE | ROOF PLANS
THE BOWER DOBSON | ARCADIA COMMUNITIES
CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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FIRST FLOOR 793 SQ. FT.
 SECOND FLOOR 1221 SQ. FT.
 TOTAL LIVING 2014 SQ. FT.

PLAN TWO | 2014 SQ. FT.

THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.08.2025

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS. THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.





elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | FRONT ELEVATIONS
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



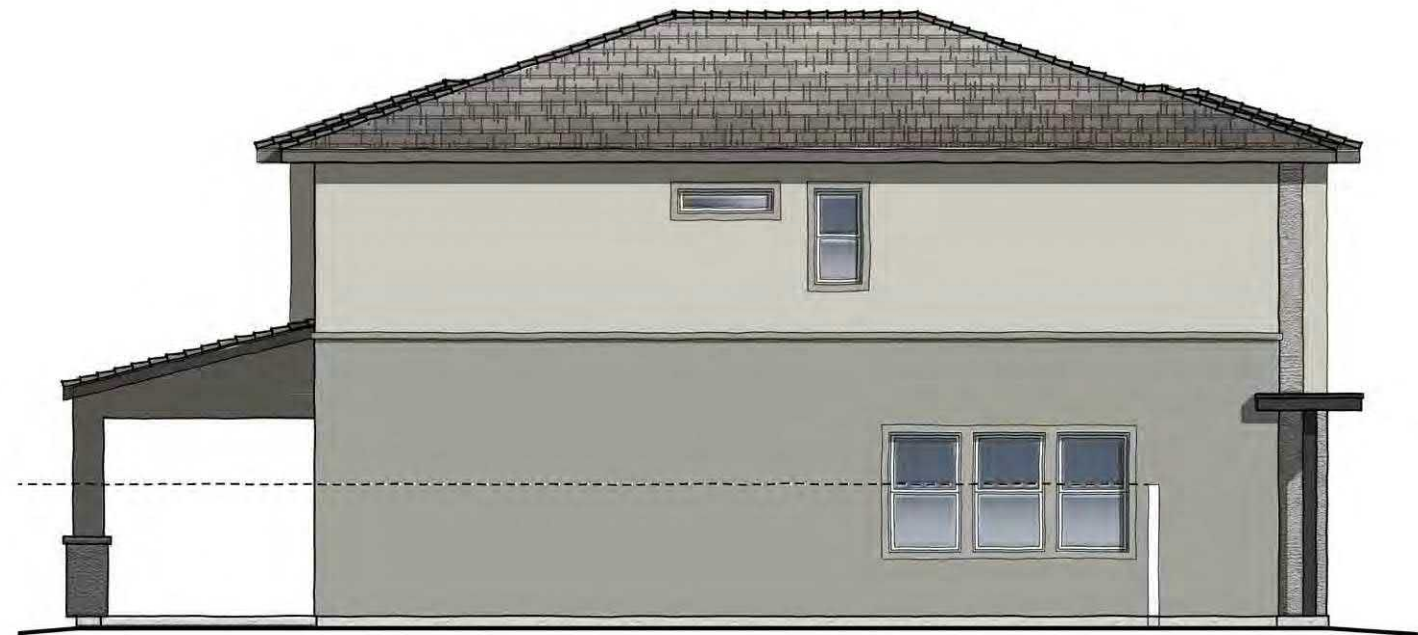
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



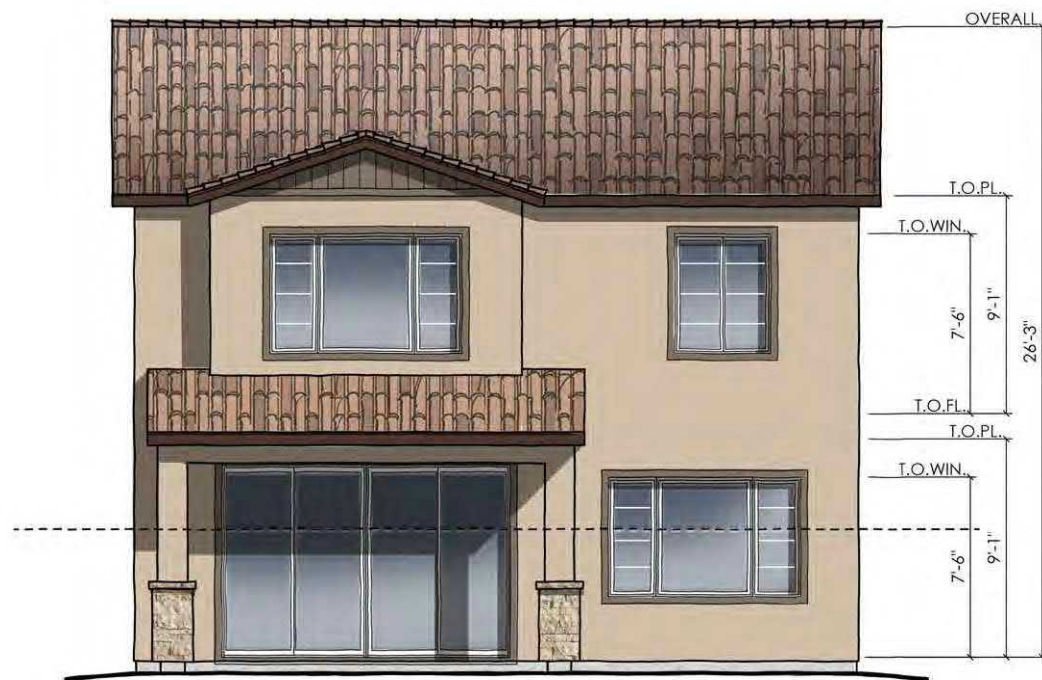
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



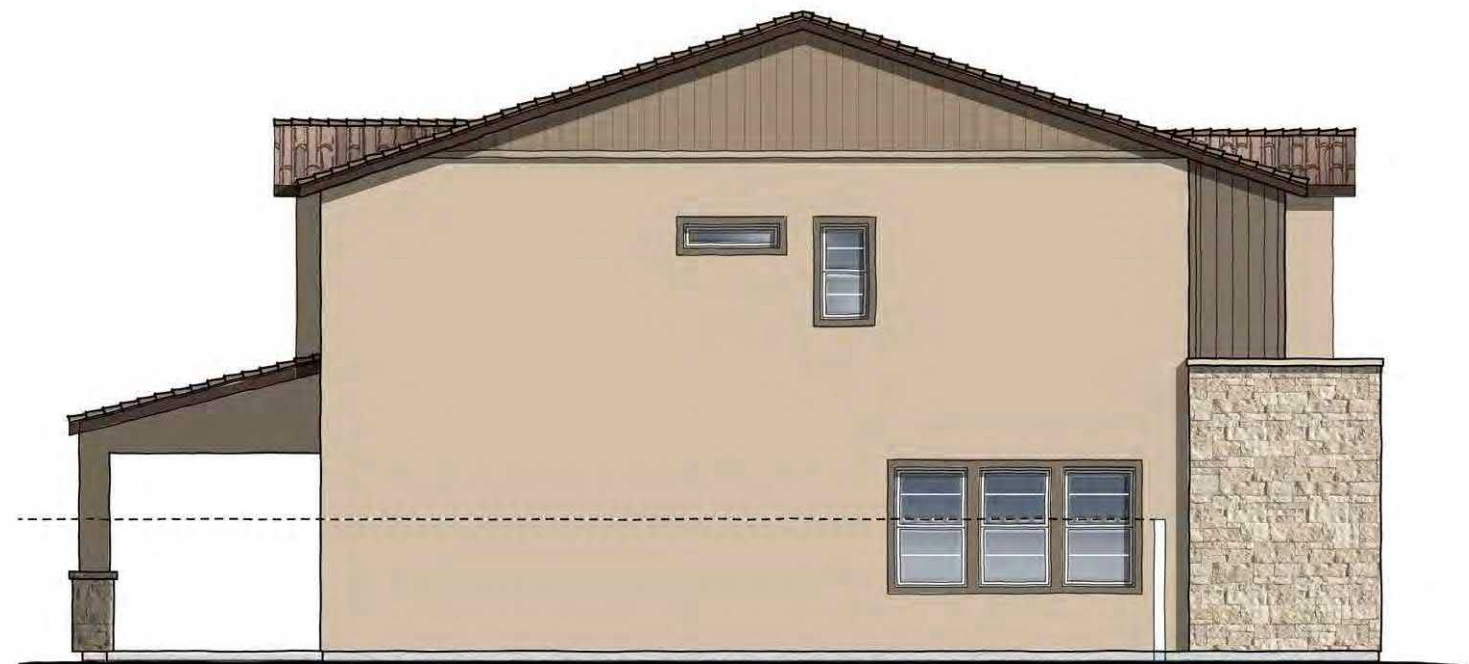
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | ELEVATION B | MODERN SPANISH
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

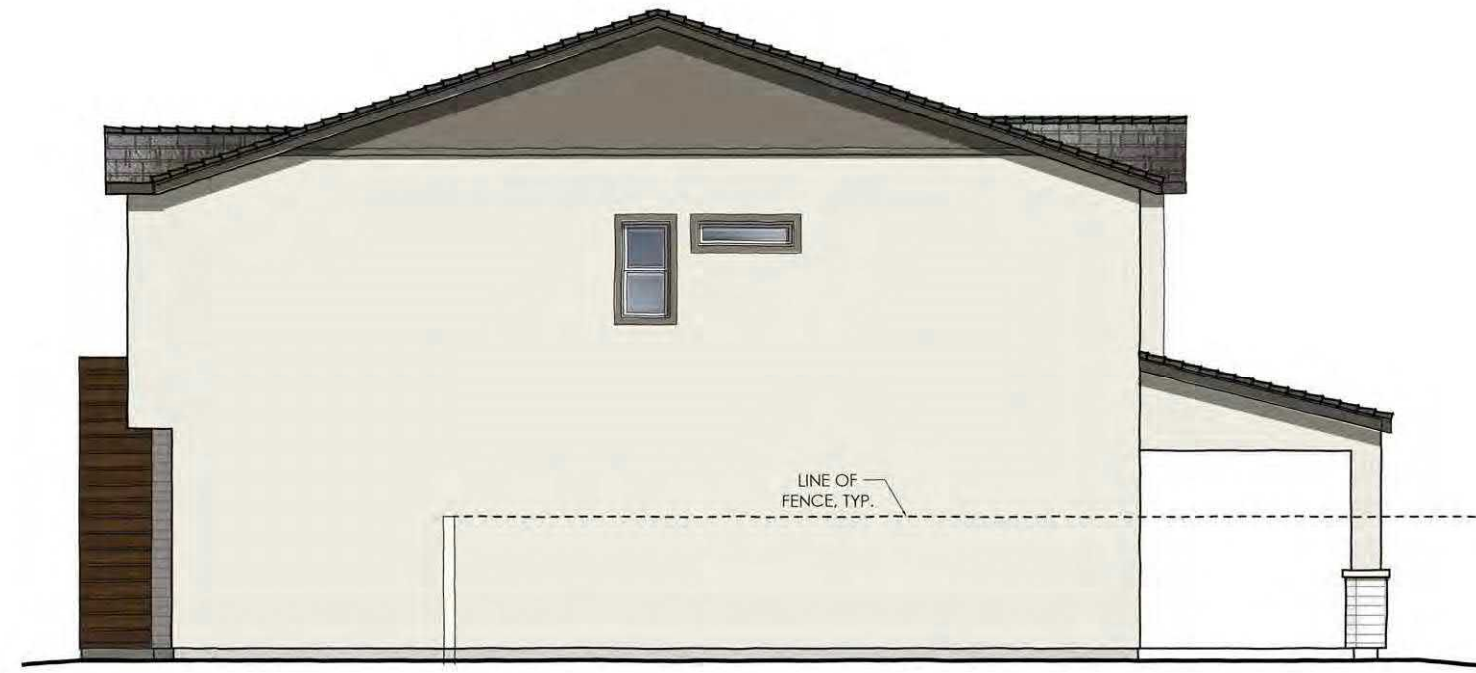
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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



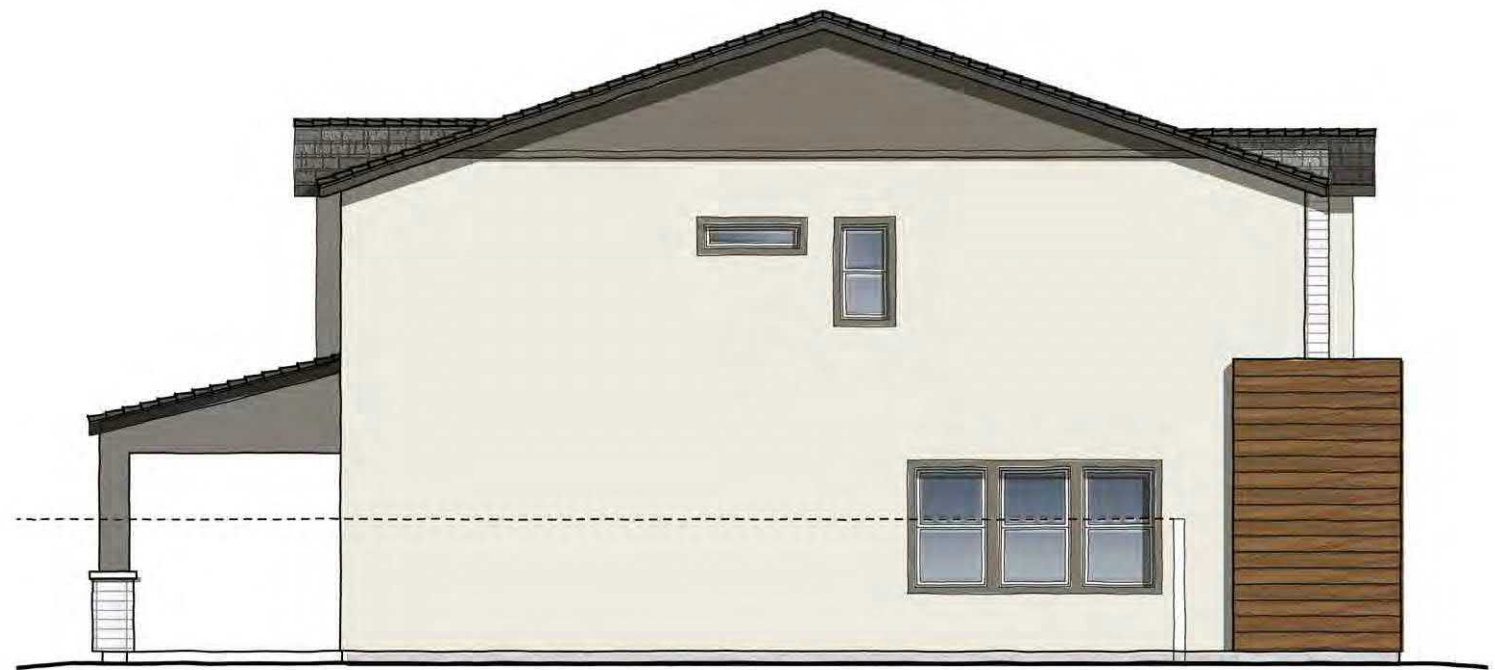
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN TWO | ELEVATION C | MID-CENTURY MODERN
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



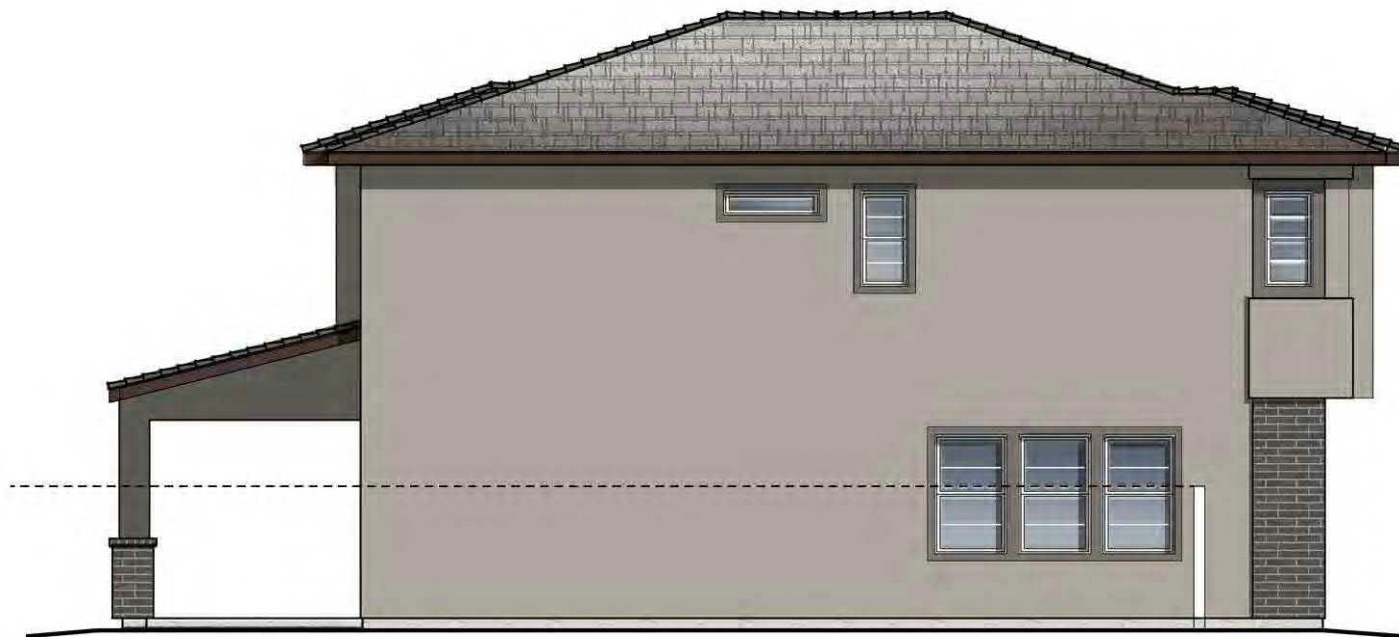
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



elevationA - DESERT CONTEMPORARY SCALE: 1/4"=1'-0"



elevationB - MODERN SPANISH SCALE: 1/4"=1'-0"



elevationC - MID-CENTURY MODERN SCALE: 1/4"=1'-0"



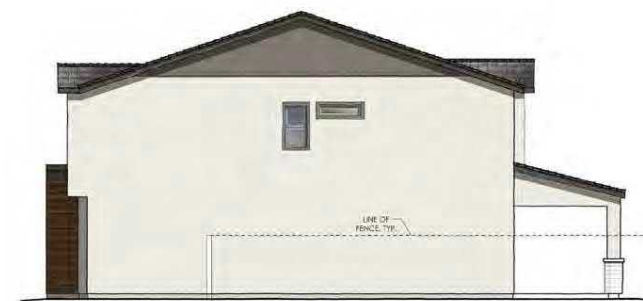
elevationD - MODERN PRAIRIE SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



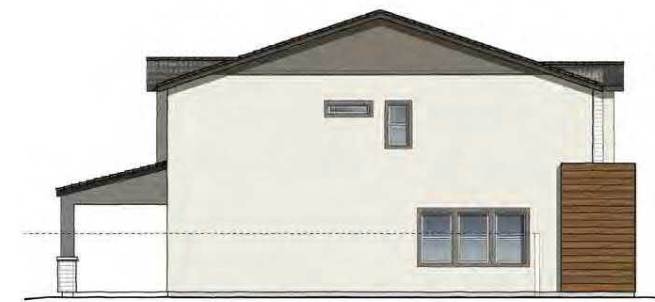
RIGHT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



LEFT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

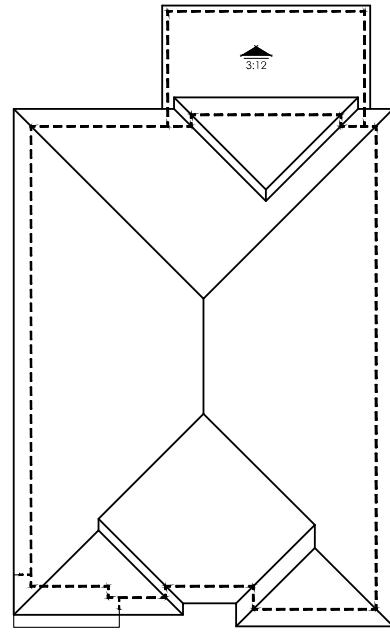


REAR ELEVATION SCALE: 1/4"=1'-0"

PLAN TWO

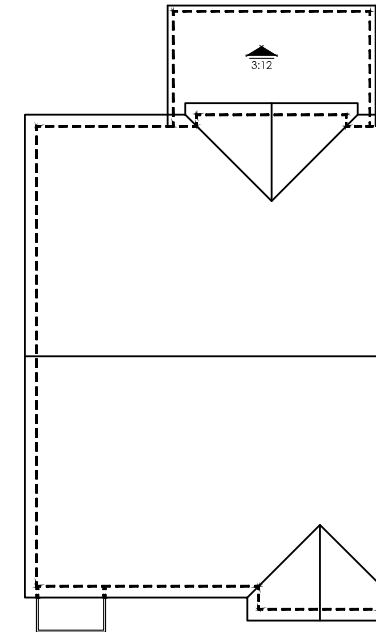
THE BOWER DOBSON | ARCADIA COMMUNITIES

CHANDLER, ARIZONA



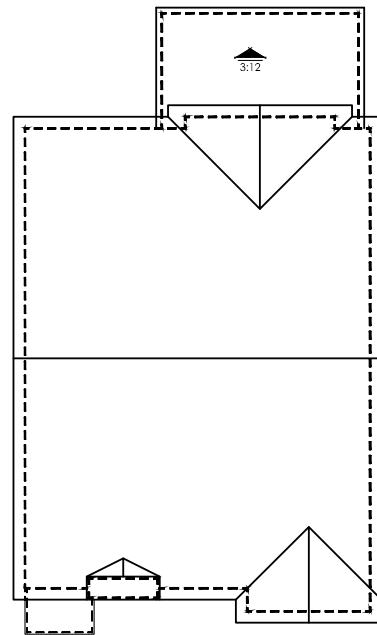
ALL PITCHES 4:12 U.N.O.
ROOF PLAN-A

SCALE: 1/8" = 1'-0"



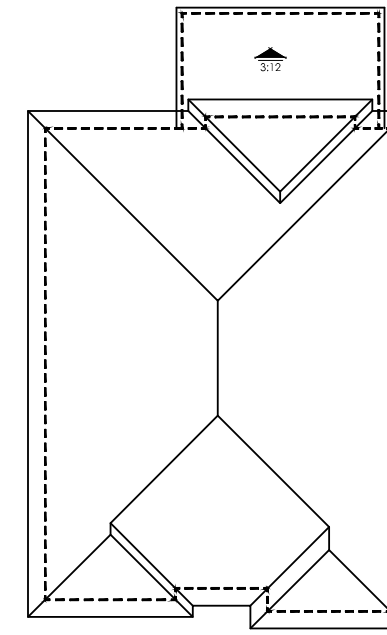
ALL PITCHES 4:12 U.N.O.
ROOF PLAN-B

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN-C

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN-D

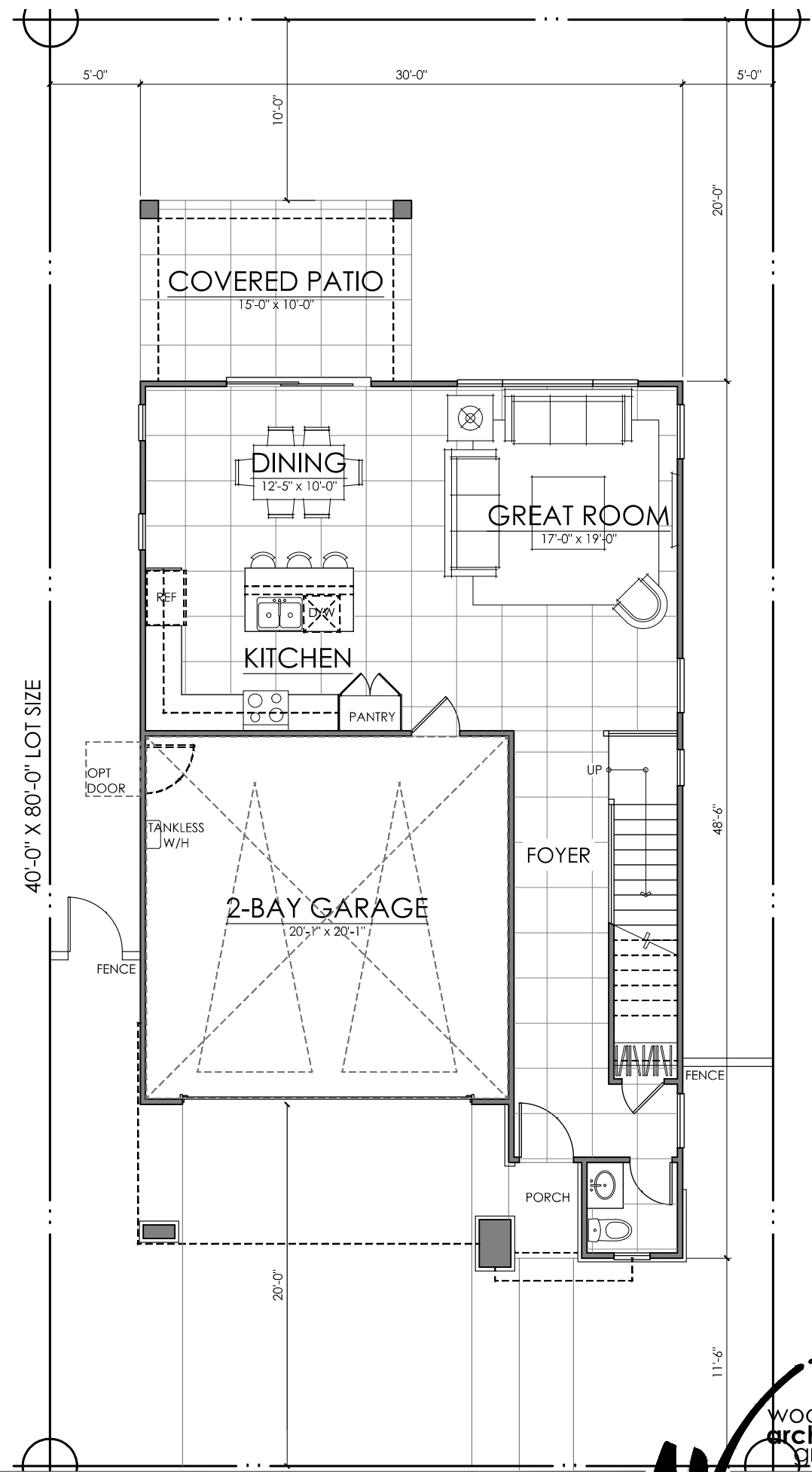
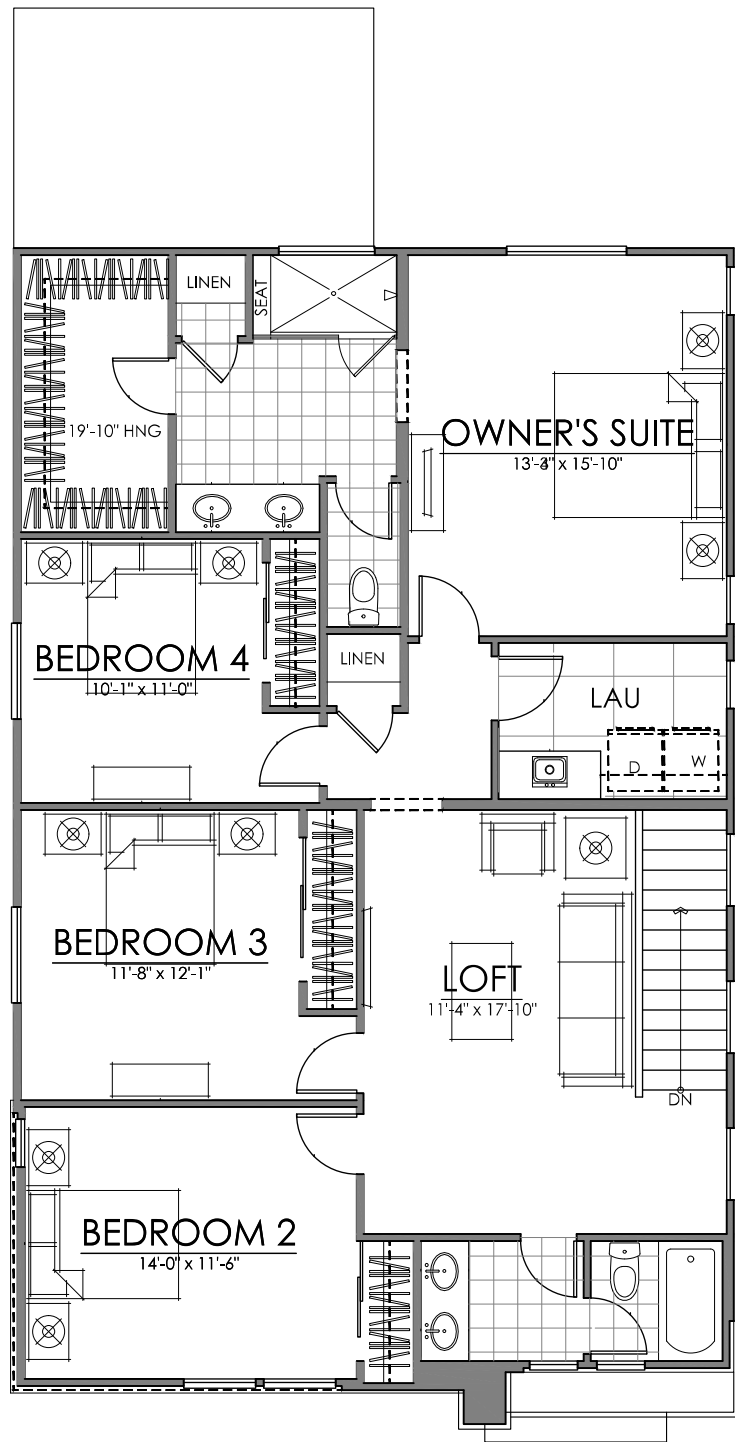
SCALE: 1/8" = 1'-0"

12.08.2025

PLAN TWO | ROOF PLANS
THE BOWER DOBSON | ARCADIA COMMUNITIES
CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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FIRST FLOOR 845 SQ. FT.
 SECOND FLOOR 1369 SQ. FT.
 TOTAL LIVING 2214 SQ. FT.
PLAN THREE | 2214 SQ. FT.
ELEVATION A

12.08.2025

THE BOWER DOBSON | ARCADIA COMMUNITIES
CHANDLER, ARIZONA



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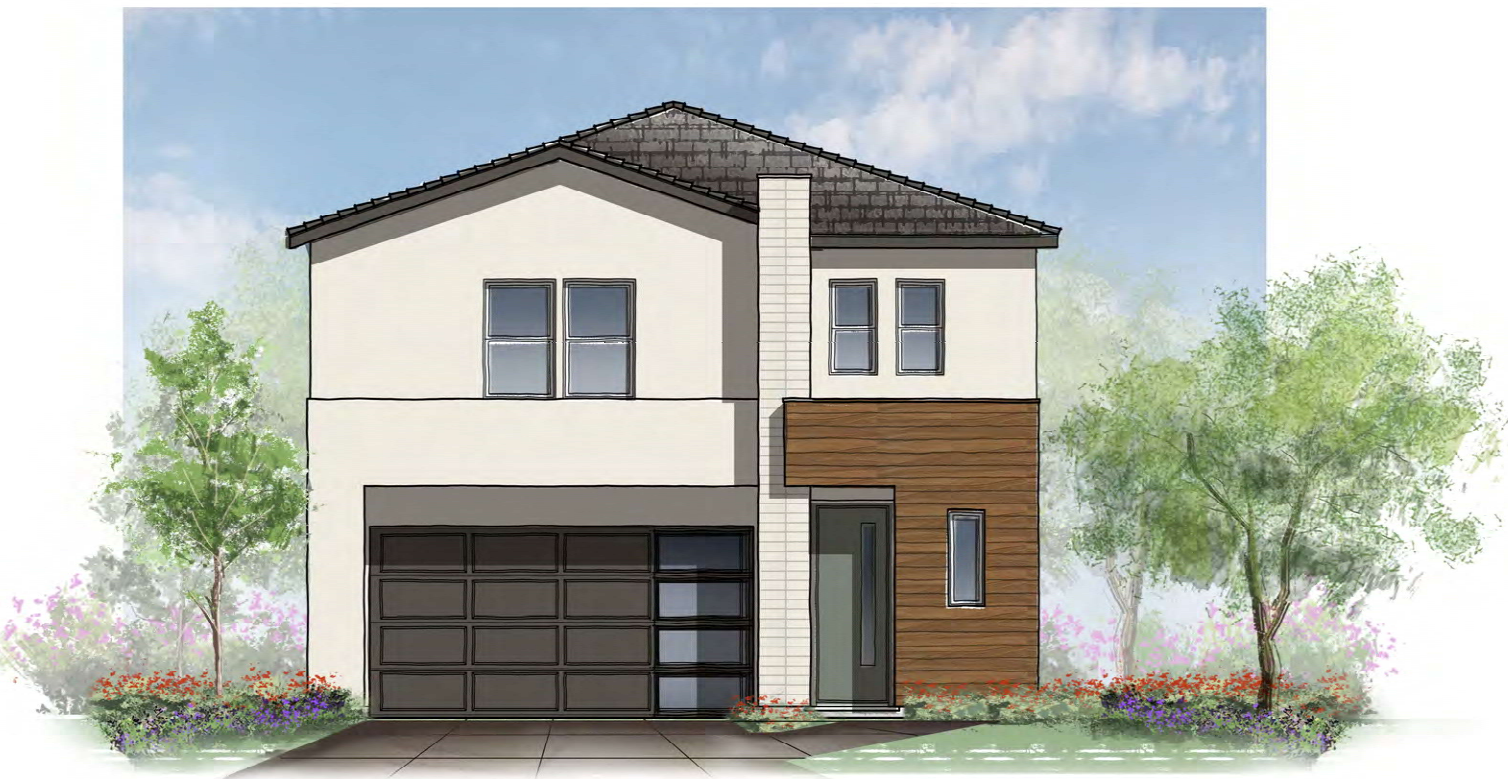
elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



elevationD - MODERN PRAIRIE

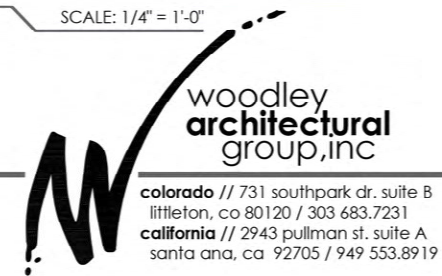
SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | FRONT ELEVATIONS
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

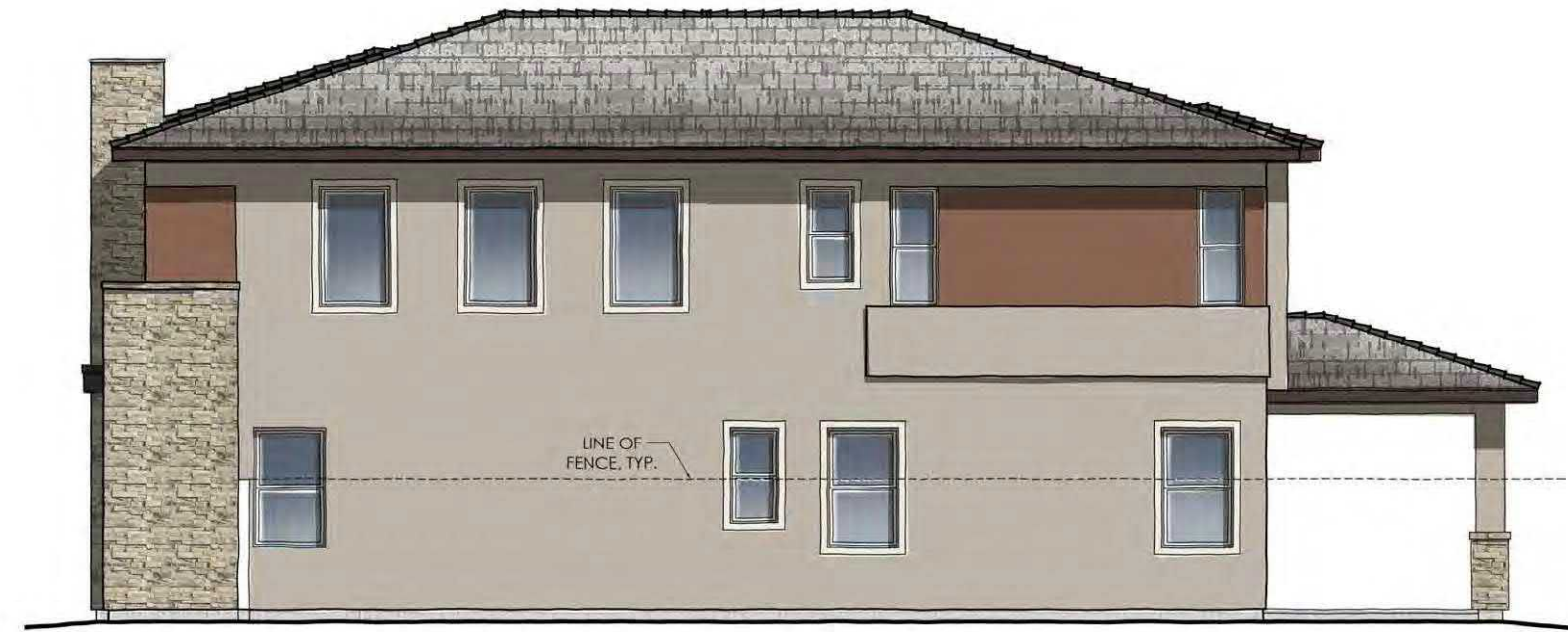
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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



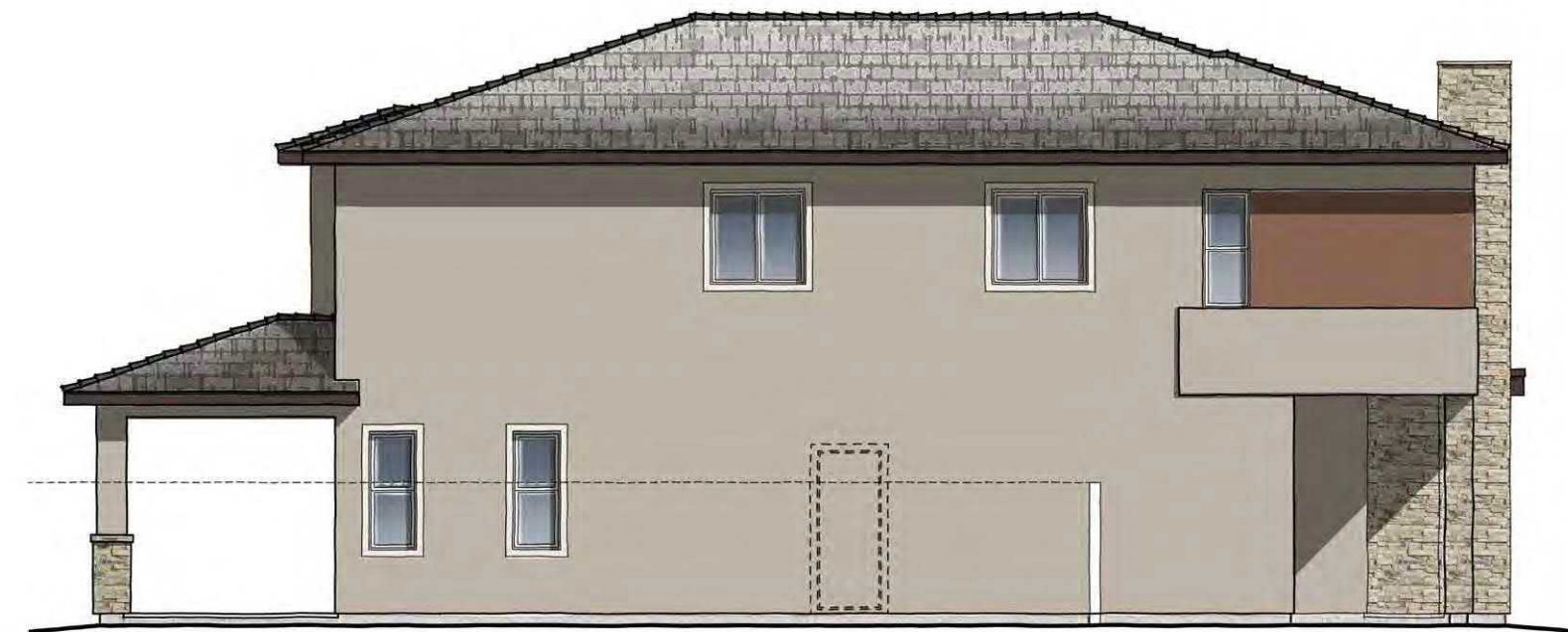
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

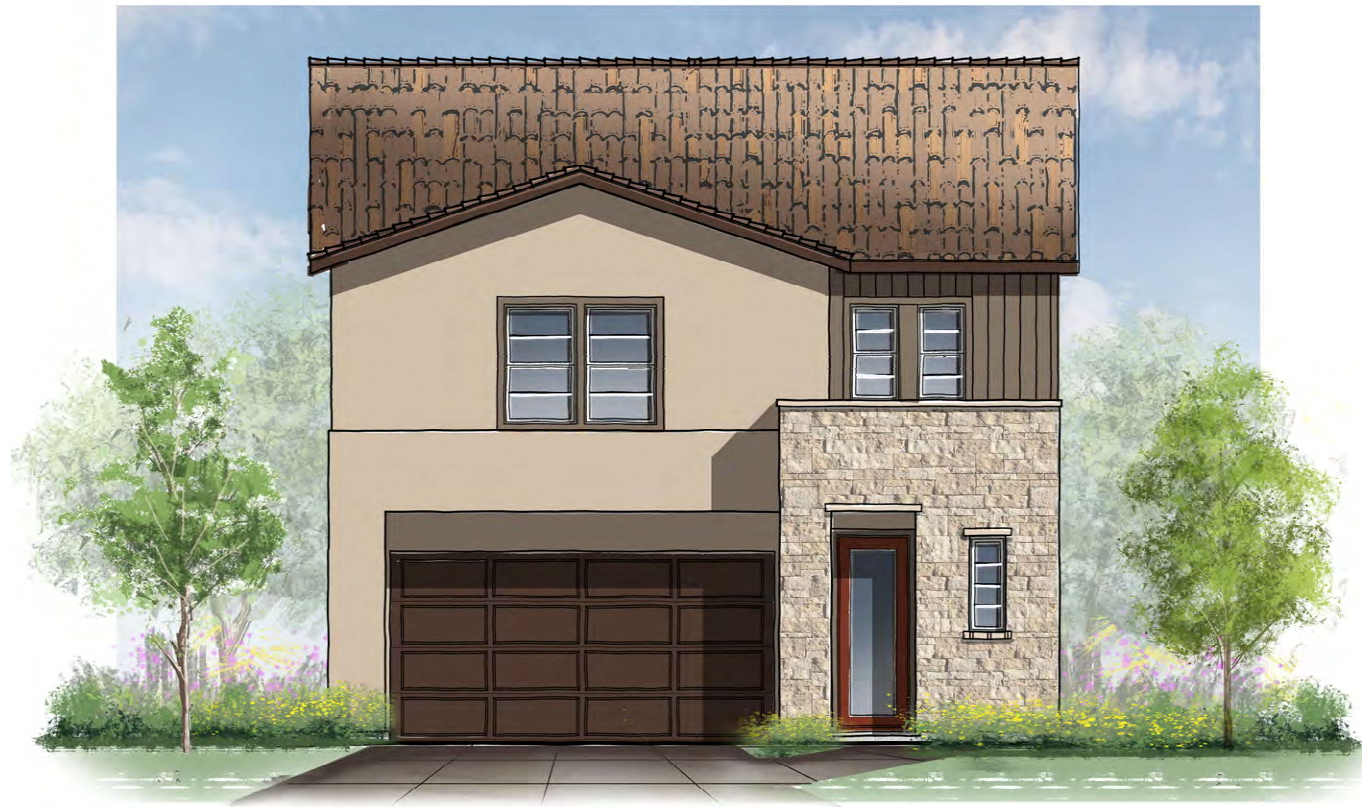
12.08.2025

PLAN THREE | ELEVATION A | DESERT CONTEMPORARY
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

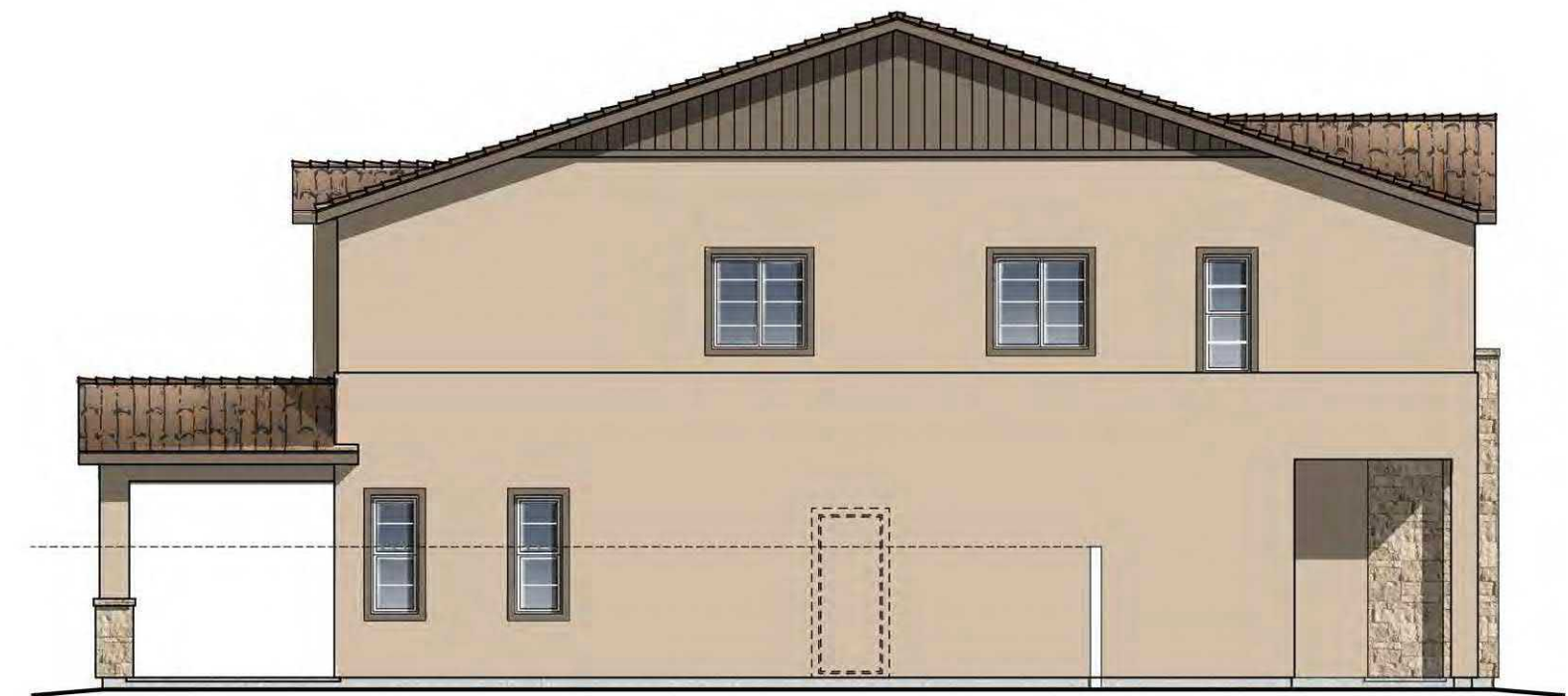
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | ELEVATION B | MODERN SPANISH
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

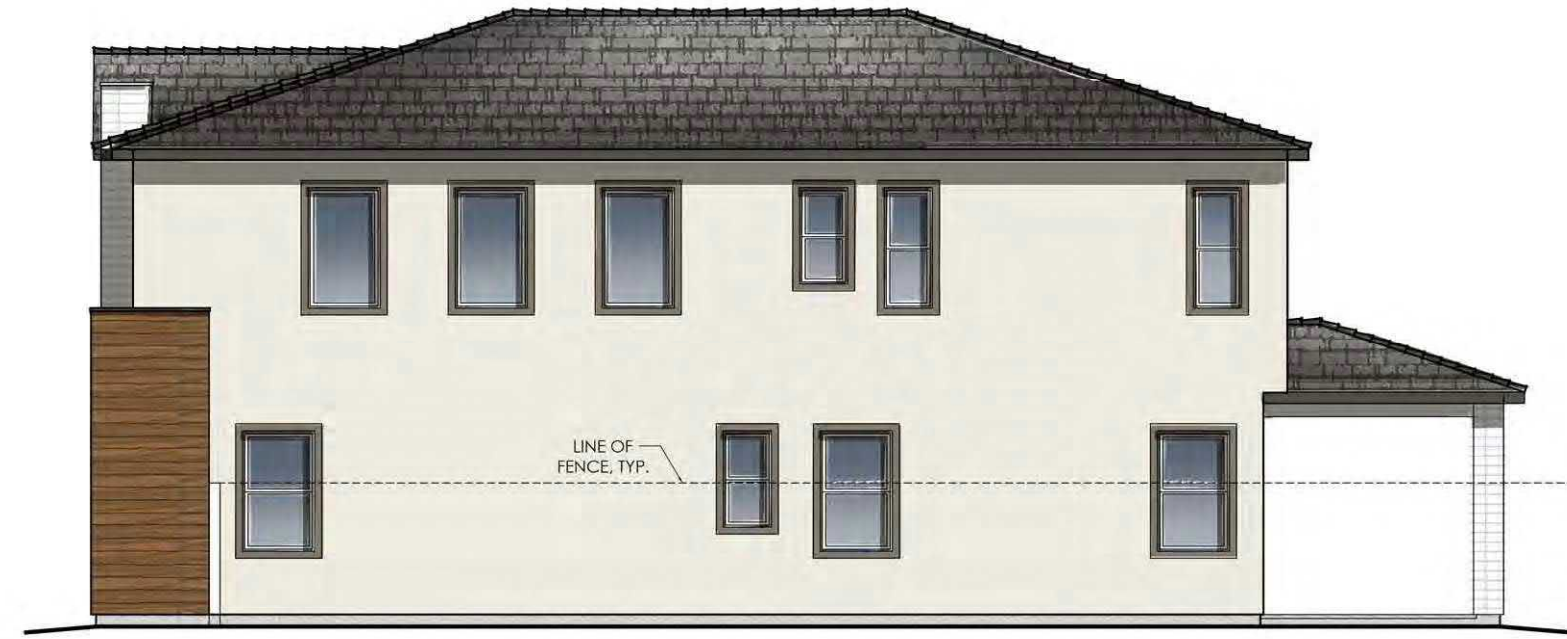
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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



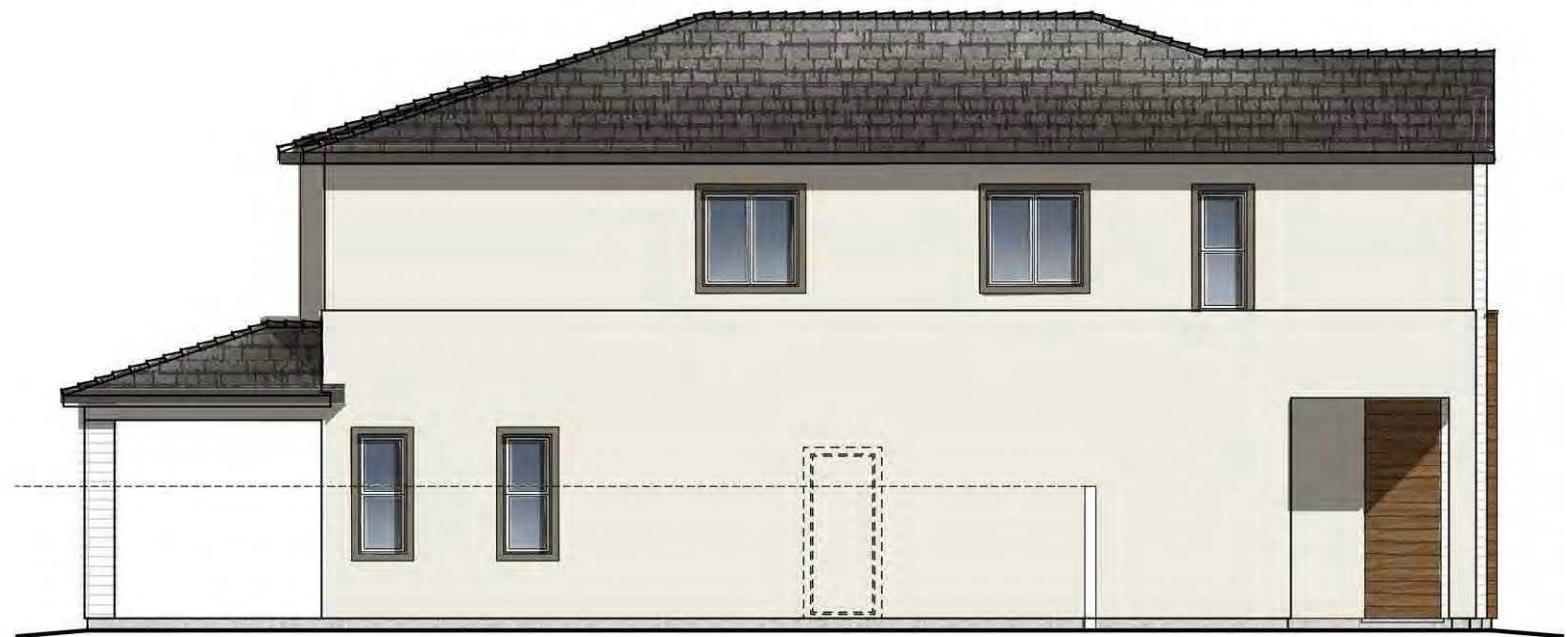
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | ELEVATION C | MID-CENTURY MODERN
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.08.2025

PLAN THREE | ELEVATION D | MODERN PRAIRIE
THE BOWER DOBSON | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



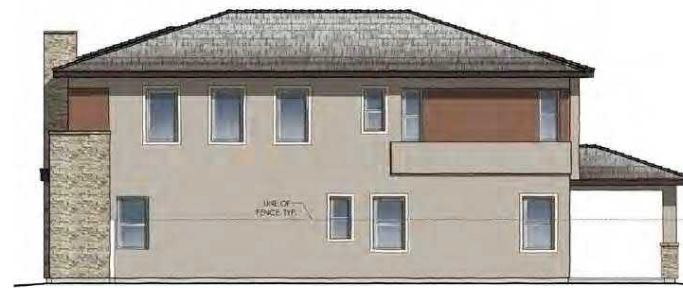
elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



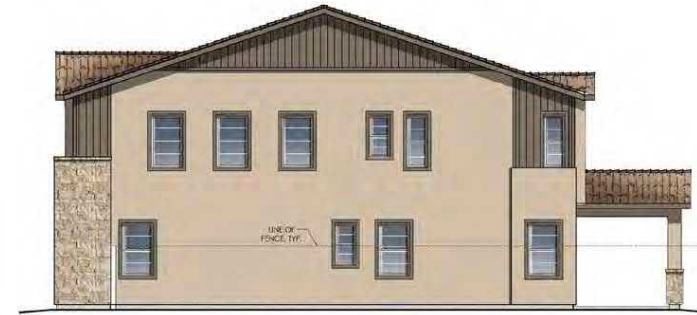
elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



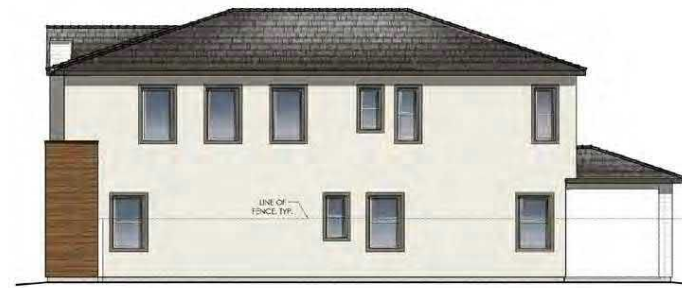
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



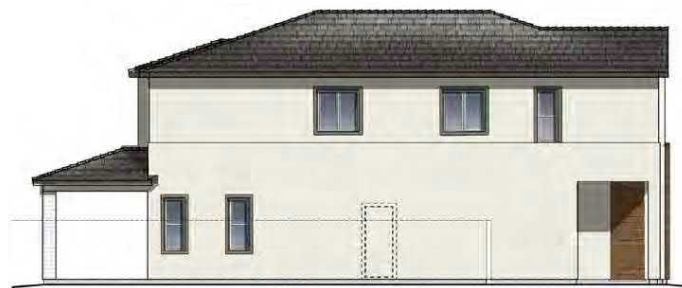
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



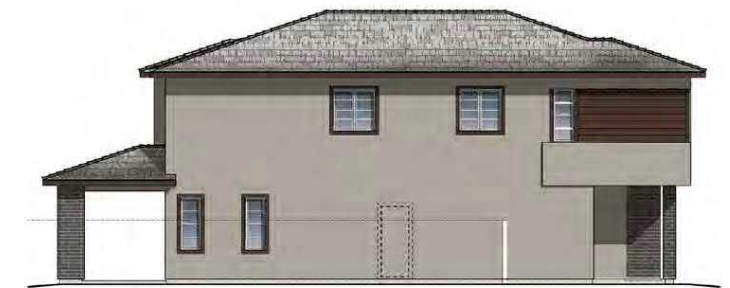
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

12.08.25

PLAN THREE THE BOWER DOBSON | ARCADIA COMMUNITIES CHANDLER, ARIZONA

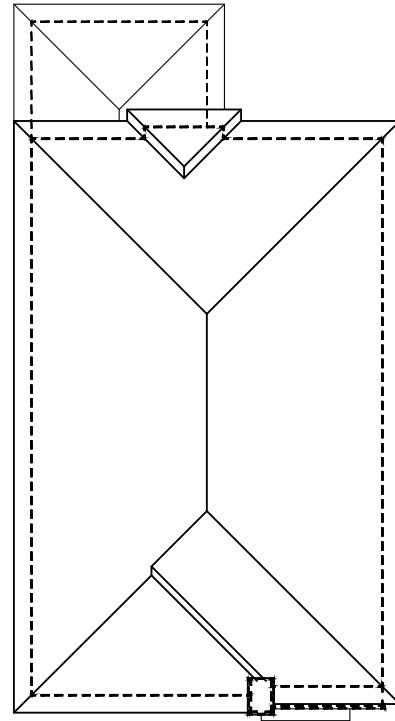
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woodley
architectural
group, inc

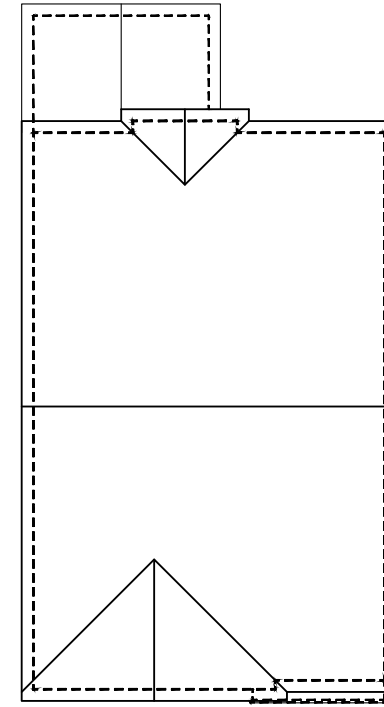
colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



ALL PITCHES 4:12 U.N.O.

ROOF PLAN-A

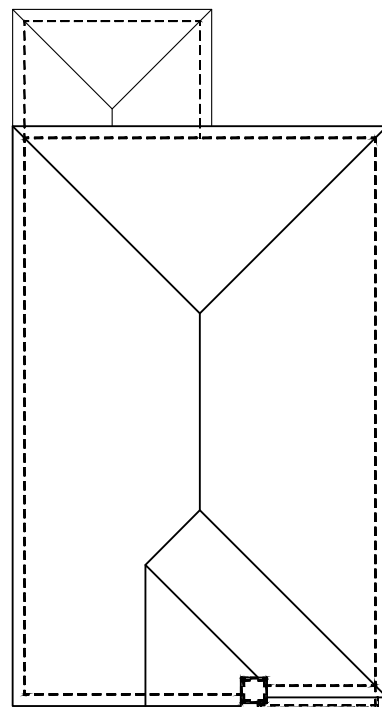
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ALL PITCHES 4:12 U.N.O.

ROOF PLAN-B

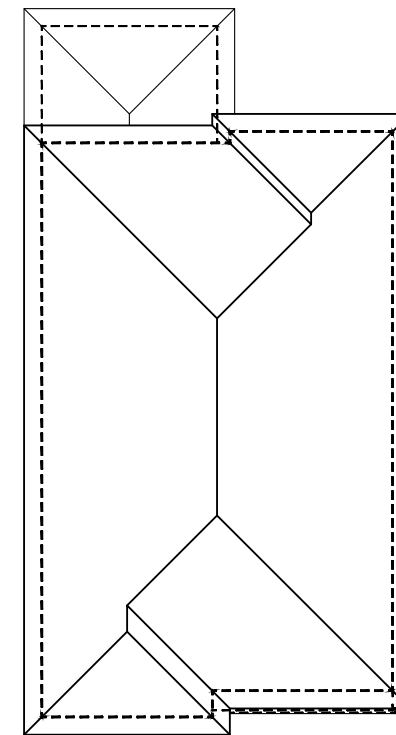
SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.

ROOF PLAN-C

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.

ROOF PLAN-D

SCALE: 1/8" = 1'-0"

12.08.2025

PLAN THREE | ROOF PLANS
THE BOWER DOBSON | ARCADIA COMMUNITIES
CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



LEGAL DESCRIPTION:

FOR APN/PARCEL ID(S): 303-23-982 AND 303-23-983

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

LOTS 4 AND 5, LOT 1A, MAGGIO RANCH AMENDED ACCORDING TO BOOK 357 OF MAPS, PAGE 29 RECORDS OF MARICOPA COUNTY, ARIZONA,

NOTES:

VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

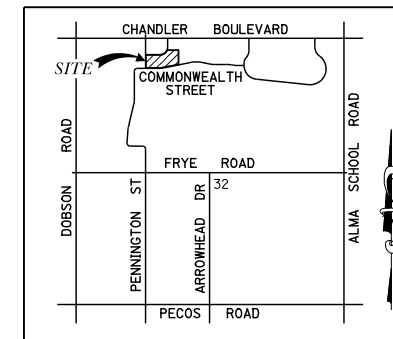
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

PRELIMINARY GRADING PLAN FOR DOBSON & CHANDLER

LOCATED IN A PORTION SECTION 32, TOWNSHIP 1 SOUTH, RANGE 5 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
N.T.S.

RETENTION REQUIRED (100-yr 2-hr)

Sub-Area	Area (SF)	C-Value	P	10% P	Volume CF	Volume AF
A	25000	0.65	2.20	1.10	3277	0.08
B	38000	0.65	2.20	1.10	4981	0.11
C	147000	0.65	2.20	1.10	19269	0.44
Total	210000				27528	0.63

V=1.1 x P x A x C

Basin A

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
91.5	460			0.00
92.5	1050	755	755	0.02
93.5	1758	1404	2159	0.05
94.5	2574	2166	4325	0.10
TOTAL	4325		CF	

Volume Required

Subbasin	
A	
C	
3277	
Volume OK	CF

Basin B

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
91.5	609			0.00
92.5	2143	1376	1376	0.03
93.5	3590	2867	4243	0.10
94.5	5673	4632	8874	0.20
TOTAL	8874		CF	

Volume Required

Subbasin	
B	
C	
4981	
Volume OK	CF

Basin C

Elevation	Area	Average Area	TOTAL	TOTAL
FT	SF	SF	CF	AF
89.5	3900			0.00
90.5	5900	4900	4900	0.11
91.5	7345	6623	11523	0.28
92.5	8511	7828	19451	0.46
TOTAL	19451		CF	

Volume Required

Subbasin	
C	
19269	
Volume OK	CF

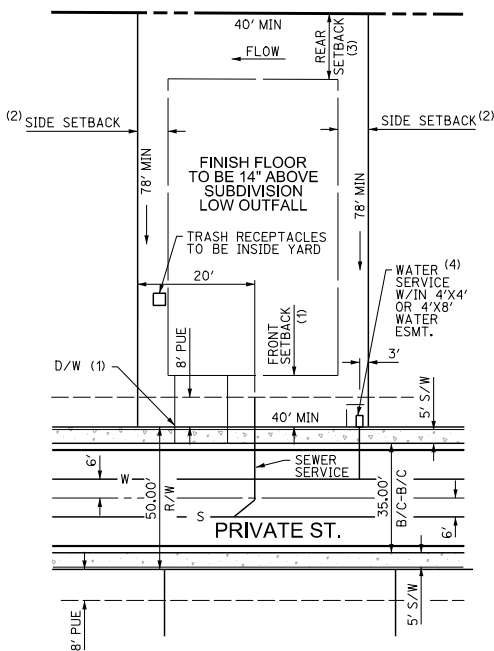
RETENTION SUMMARY

Basin	Volume Required CF	Volume Provided CF	Overflow to other Basin CF	Excess Volume CF	Notes
A	3277	4325		1048	
B	4981	8874		3893	
C	19269	19451		181	
Total	27528	32680	0	5122	

TOTAL EXCESS VOLUME 5122 CY

Basin Percolation Rates

BASIN	Design Rate of Bleedoff (cfs)	Basin Volume Required (cf)	Dry-Up Time (hr)	Drywells Needed (36 hrs)	Drywells Used	NOTES:
A	0.1	3277	9.1	0.25	1	USE 1 DRYWELL
B	0.1	4981	13.8	0.38	1	USE 1 DRYWELL
C	0.1	19269	53.5	1.49	2	USE 2 DRYWELL

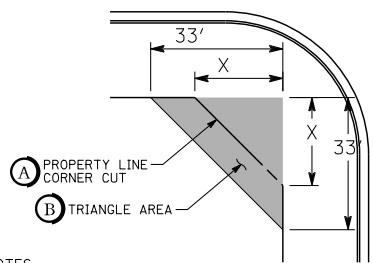


TYPICAL LOT LAYOUT - 40' WIDE MIN.

- 10' MIN. TO LIVABLE SPACE OR SIDE LOADED GARAGE; 20' MIN. TO FRONT FACING GARAGE FROM PROPERTY LINE.
- 5' MIN.
- 10' MIN. (5' MIN. ACCESSORY STRUCTURE)
- 1" WATER SERVICE, METER BOX & COVER PER M.A.G. STD. DTL. 320, AND C.O.C. STD. DTL. C-301-1 - SERVICE TO BE INSTALLED 2' BEHIND BACK OF RAMPS/DRIVEWAYS UNLESS NOTED OTHERWISE. (SIDE OF LOT PER PLAN)

THE CITY'S MUNICIPAL CODE CHAPTER 48-10.2 (PUBLIC WORKS - SUBDIVISION) SPECIFIES A RANGE OF TRIANGULAR CUTOFFS FOR THE CORNER PROPERTY LINE AT INTERSECTIONS. ADDITIONALLY, FIGURE 4-D BELOW REQUIRES THAT THE 30'x30' AREA BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN 2' AND 6' IN HEIGHT.

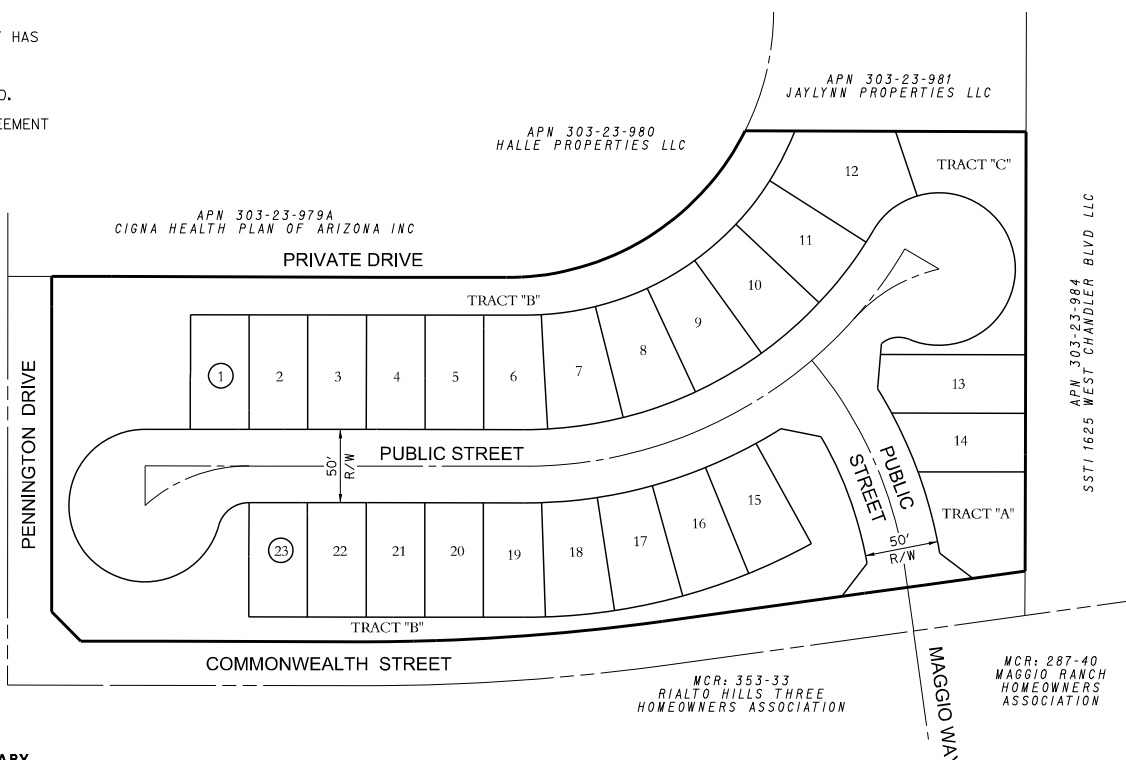
FIGURE 4-D TRIANGLE AREA



- NOTES:**
- X=10' FOR ALLEYS
 - 15' FOR LOCAL-LOCAL INTERSECTIONS.
 - 20' FOR ALL OTHER INTERSECTIONS.
 - PER MUNICIPAL CODE CHAPTER 48-10.2

- GROUND COVER, FLOWERS, AND GRANITE LESS THAN 2' (MATURE) IN HEIGHT AND/OR TREES WITH BRANCHES NOT LESS THAN 6' ABOVE GROUND IN THIS AREA.
- TREES SHALL NOT BE SPACED LESS THAN 8' APART
- PER MUNICIPAL CODE CHAPTER 35-2205

SEE STANDARD DETAIL NO. C-246, C-247 AND C-248 FOR SIGHT DISTANCE REQUIRED AT DRIVEWAYS AND INTERSECTIONS.



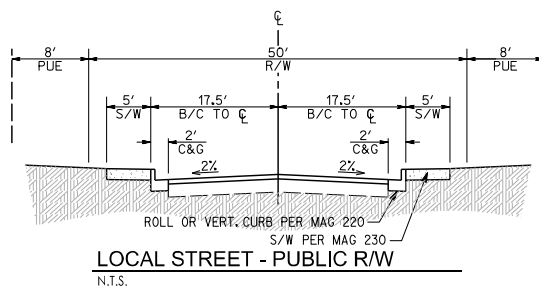
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C	0.1	19269	53.5	1.49	2	USE 2 DRYWELL



LOCAL STREET - PUBLIC R/W
N.T.S.

LEGEND

- PROPERTY / BOUNDARY LINE
- 118.3 EXISTING CONTOUR ELEVATION
- 85 PROPOSED CONTOUR ELEVATION
- +86.34 EXISTING ELEVATION
- 15.0 PROPOSED GROUND ELEVATION
- 1% DIRECTION OF FLOW & SLOPE
- PROPOSED GRADE BREAK
- PAD= PROPOSED PAD ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAIN PIPE
- PROPOSED DRYWELL
- TAPPING SLEEVE & VALVE
- PUE PUBLIC UTILITY EASEMENT
- RCW RECLAIMED WATERLINE
- B/C BACK OF CURB
- LS LANDSCAPE
- C&G CURB & GUTTER
- LPX EXISTING LIGHT POLE
- ETX INDICATES EX. ELECTRIC TRANSFORMER
- EB= EXISTING ELECTRIC BOX
- WM= EXISTING WATER METER
- BWP= EX. BACKFLOW PREVENTER VALVE
- T EXISTING BURIED TELEPHONE CONDUIT
- E EXISTING BURIED ELECTRIC CONDUIT
- WV EXISTING WATER LINE, VALVE & SIZE
- FH EXISTING FIRE HYDRANT
- SW EXISTING SEWER LINE & SIZE
- W PROPOSED WATER
- SW PROPOSED SEWER
- PROPOSED MANHOLE
- PROPOSED HYDRANT
- PROPOSED VALVE
- PROPOSED MONUMENT
- SUBDIVISION CORNER
- S/W SIDEWALK
- R/W RIGHT-OF-WAY
- SVE SIGHT VISIBILITY EASEMENT
- SWE SIDEWALK EASEMENT
- (93.00) TOP OF CURB ELEVATION

APPLICANT/OWNER/DEVELOPER:

RESIDENTIAL PURSUITS INVESTMENTS, LLC
7600 E. DOUBLETREE RANCH ROAD., SUITE 220
SCOTTSDALE, AZ 85258

CONTACT: JOVANA ORTEGA & CHRIS BROWN
EMAIL: JORTEGA@ARCADIACAPITALLLC.COM
PHONE: (602) 320-9159

ENGINEER:

3 ENGINEERING
6370 E. THOMAS ROAD
SUITE 200
SCOTTSDALE, ARIZONA 85251
CONTACT: MATTHEW J. MANCINI, P.E.
PHONE: (602) 334-4387
EMAIL: MATT@3ENGINEERING.COM

PROJECT DESCRIPTION:

THIS PROJECT IS PROPOSED AS A DETACHED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A GROSS DENSITY OF 5.57 LOTS/AC. STANDARD LOT SIZES VARY WITH A MINIMUM LOT DIMENSION OF 40'x78'. THE PROJECT PROPOSES A TOTAL OF 23 LOTS WITH PUBLIC STREETS, PUBLIC WATER, AND PUBLIC SEWER.

UTILITIES:

- TELEPHONE - CENTURY LINK/ COX
- ELECTRIC - SALT RIVER PROJECT (SRP)
- GAS - SOUTHWEST GAS COMPANY
- CABLE TV - COX COMMUNICATIONS
- SEWER - CITY OF CHANDLER
- WATER - CITY OF CHANDLER
- POLICE/FIRE - CITY OF CHANDLER
- REFUSE - CITY OF CHANDLER

MISCELLANEOUS NOTES:

RETAINING WALL HEIGHTS TO BE DETERMINED AT FINAL DESIGN. HOWEVER, A REQUEST TO ALLOW RETAINING WALLS TO BE 4-FT HIGH IS MADE.

STREET LIGHTS TO BE DETERMINED AT FINAL DESIGN.

NATIVE PLANT INVENTORY TO BE COMPLETED DURING FINAL DESIGN.

ALL SIDEWALKS AND ADA RAMPS ALONG THE ENTIRE PROPERTY FRONTAGE OF COMMONWEALTH & PENNINGTON WILL BE EVALUATED AND MY BE REQUIRED TO BE REPLACED TO MEET CURRENT CITY STANDARDS.

REPLACE ANY DEFECTIVE STORMWATER PIPE, HEADWALLS, SCUPPER/SPILLWAYS OR FLARED END SECTIONS THAT DISCHARGE INTO THE BASINS

BASIS OF BEARING:

BASIS OF BEARING IS THE MONUMENT OF NORTH PENNINGTON DRIVE, BEARS NORTH 00°03'01" EAST PER BOOK 357 OF MAPS PAGE 29 M.C.R.

BENCHMARK:

CITY OF CHANDLER BM. 37A BRASS CAP IN HANDHOLE
ELEVATION: 1195.85
NAVD-88

FLOODPLAIN INFORMATION:

FIRM: 04013C2740M
PANEL NUMBER: NOT PRINTED
PANEL DATE: 11/04/2015
SUFFIX: M
FIRM DATE: 11/04/2015
FIRM ZONE: X-SHADED
BASE FLOOD ELEV.: N/A

ASSESSORS PARCEL NO.

APN 303-23-982 & 303-23-983

SITE DATA:

TOTAL LOTS	23
NET AREA	2.99 ACRES
GROSS AREA	4.13 ACRES
GROSS DENSITY	5.57 DU/AC
MAX. BLDG. HEIGHT	30' (2-STORY)
SETBACKS	SEE TYPICAL LOT DETAIL
AREA OF LOTS	1.78 ACRES
AREA OF OPEN SPACE	1.21 ACRES
AREA OF NEW R/W	(29.24% GROSS, 40.43% NET)

PHASING NOTE:

THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE. ALL INFRASTRUCTURE WILL BE COMPLETED IN ONE PHASE.

STORM WATER DISPOSAL:

THE SITE IS REQUIRED TO DISPOSE OF ALL STORM WATER WITHIN 36 HOURS, AND IS PROPOSED TO DO SO VIA DRYWELL SYSTEMS.

ANY EXISTING DRYWELLS THAT ARE NOT USED SHALL BE DECOMMISSIONED PER ADEQ POLICIES AND PROCEDURES.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
PGD01	COVER SHEET
PGD02	PRELIMINARY GRADING PLAN
PGD03	SECTIONS

TRACT AREA AND USE TABLE

TRACT	AREA	USE
A	0.10 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
B	0.97 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
C	0.14 AC	LANDSCAPE, RETENTION, DRAINAGE, PUE
TOTAL	1.21 AC	

NOTE: TRACTS A-C WILL BE DEDICATED TO THE HOMEOWNERS' ASSOCIATION.

LOT TABLE

LOT #	AREA (SF)	AREA (ACRES)	LOT #	AREA (SF)	AREA (ACRES)
1	3,120	0.07	13	3,924	0.09
2	3,120	0.07	14	3,260	0.07
3	3,120	0.07	15	3,346	0.08
4	3,120	0.07	16	3,346	0.08
5	3,120	0.07	17	3,346	0.08
6	3,233	0.07	18	3,346	0.08
7	3,502	0.08	19	3,187	0.07
8	3,502	0.08	20	3,120	0.07
9	3,502	0.08	21	3,120	0.07
10	3,502	0.08	22	3,120	0.07
11	3,502	0.08	23	3,120	0.07
12	4,894	0.11			



DOBSON & CHANDLER
CHANDLER, ARIZONA

COVER SHEET



EXPIRES: 12/31/2027

3eengineering
civil engineering
surveys
planning

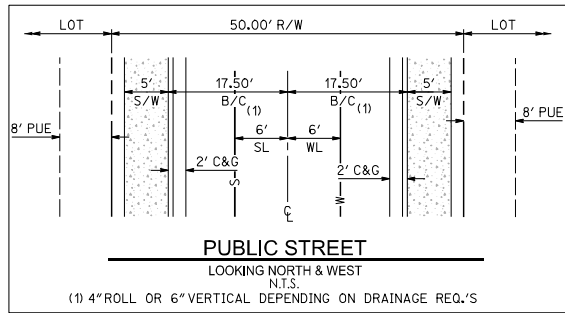
3 ENGINEERING, LLC
6370 E. THOMAS ROAD
SUITE # 200
SCOTTSDALE, ARIZONA 85251
PHONE: (602) 334-4387
FAX: (602) 490-3300
WWW.3ENGINEERING.COM

DATE: 12/22/25

PROJECT NO.
5354

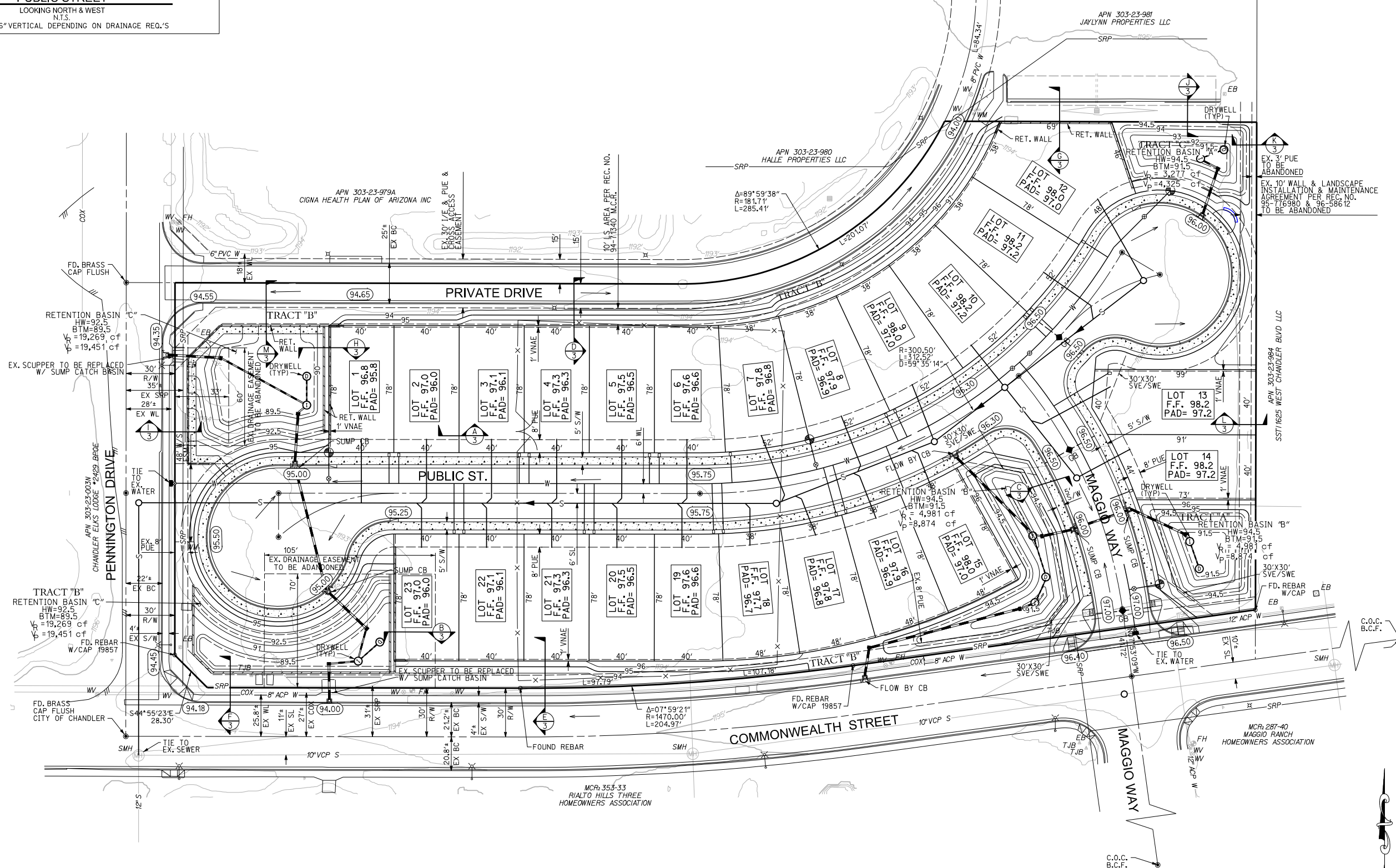
SHEET NO.
PGD01
1 of 3

C.O.C. LOG. NO. PLH25-0028



- NOTE:**
1. ALL EXISTING UTILITIES AND STRUCTURES ONSITE ARE TO BE REMOVED, COORDINATE WITH UTILITY PROVIDERS AS NECESSARY.
 2. ALL EXISTING CONCRETE SCUPPERS SHALL BE EVALUATED AND WILL NEED TO BE REPLACED IF DAMAGED.
 3. ALL SIDEWALKS AND ADA RAMP ALONG ENTIRE SITE PROPERTY WILL BE EVALUATED AND MAY BE REQUIRED TO BE REPLACED TO MEET CURRENT CITY CODE AND STANDARDS

- STREET LIGHT NOTE:**
- ALL STREETLIGHTS ALONG PENNINGTON DRIVE AND COMMONWEALTH STREET ARE TO BE REVISED TO MEET CITY STANDARDS. STREETLIGHTS ARE REQUIRED TO BE ON A CONCRETE FOUNDATION REFER TO CITY REQUIREMENTS. A SEPARATE SET OF STREETLIGHT PLANS ARE REQUIRED WHEN SUBMITTING IMPROVEMENT PLANS AFTER PRELIMINARY PLAT APPROVAL.



EX. 3' PUE TO BE ABANDONED
EX. 10' WALL & LANDSCAPE INSTALLATION & MAINTENANCE AGREEMENT PER REC. NO. 95-176980 & 96-58612 TO BE ABANDONED

Contract Admin #11 at least two full working days before you begin excavation
Call #11 or call Arizona 1-800-368-3683

DOBSON & CHANDLER
CHANDLER, ARIZONA
PRELIMINARY GRADING PLAN

Professional Engineer
CERTIFICATE NO. 45652
MATTHEW J. MANION
12/22/25
ARIZONA, U.S.A.

EXPIRES: 12/31/2027

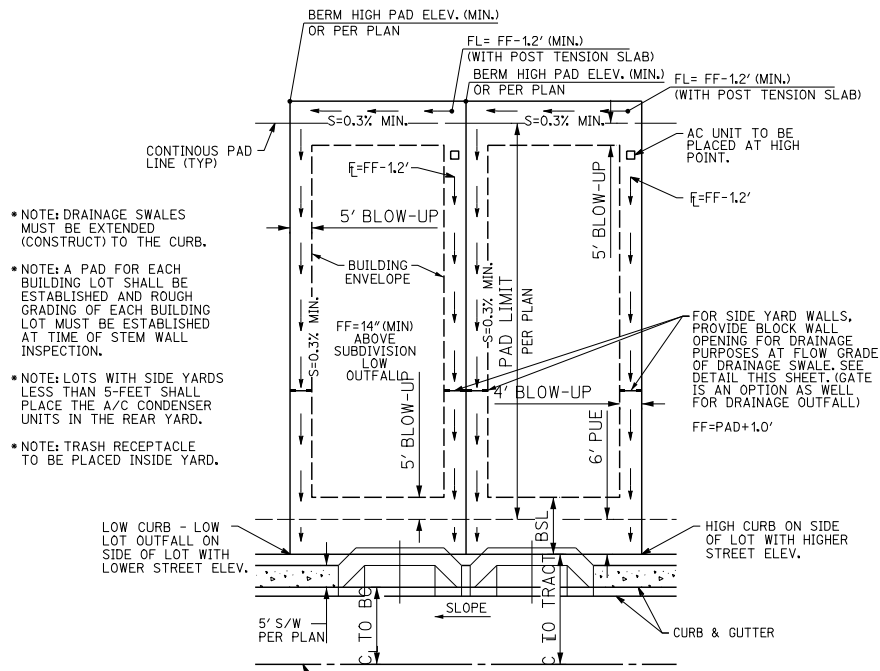
300engineering surveys
civil engineering
planning
ENGINEER: M. MANION
DRAFTER: M. MANION
CADD/TEXT: K. BURTON
COPYRIGHT 2025, 300ENGINEERING, LLC

300ENGINEERING, LLC
6370 E. THOMAS ROAD
SUITE # 200
SCOTTSDALE, ARIZONA 85251
PHONE: (480) 334-4337
FAX: (480) 494-3330
WWW.300ENGINEERING.COM

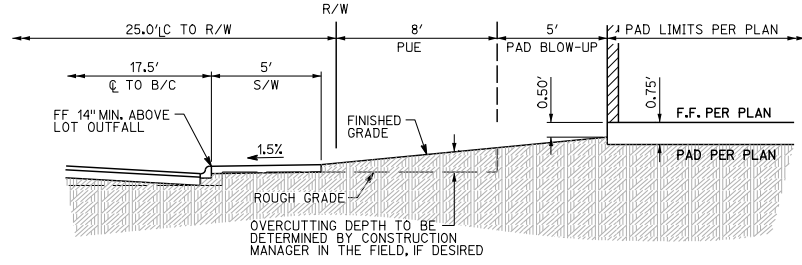
DATE: 12/22/25
PROJECT NO.: 5354
SHEET NO.: PGD02
2 of 3

C.O.C. LOG. NO. PLH25-0025

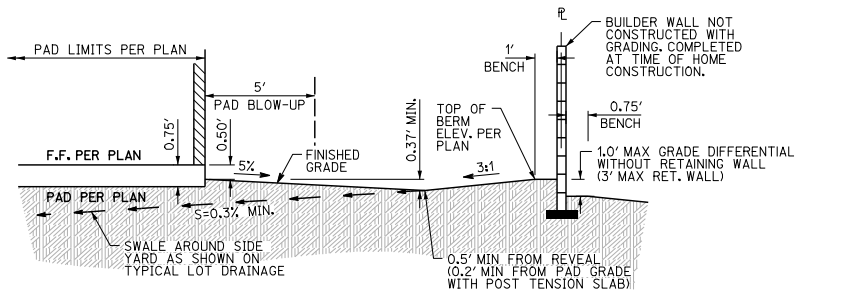
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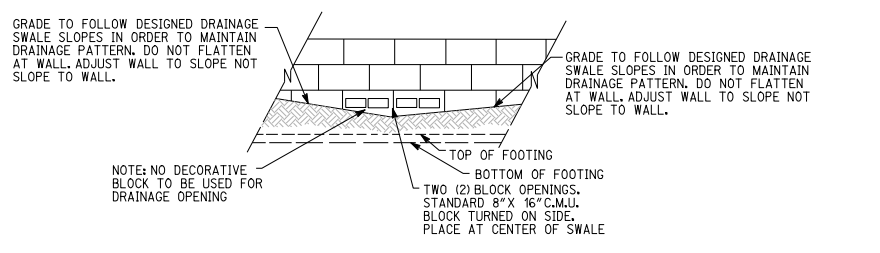
TYPICAL LOT GRADING PLAN DRAINAGE TO FRONT YARD (STANDARD LOT)
1"=20'



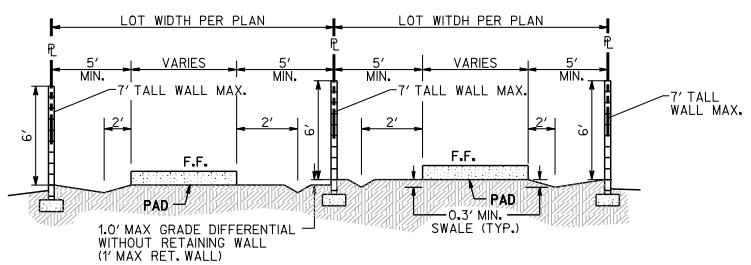
TYPICAL FRONT YARD SECTION
1"=4'



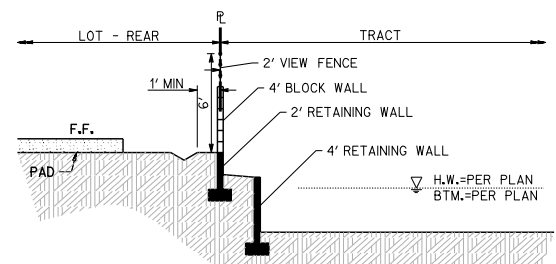
TYPICAL REAR YARD SECTION DRAINAGE TO FRONT YARD
1"=4'



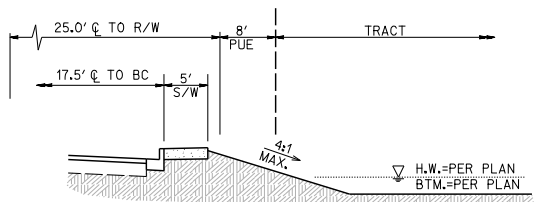
WALL OPENING DETAIL AT SIDE YARD SWALES
N.T.S.



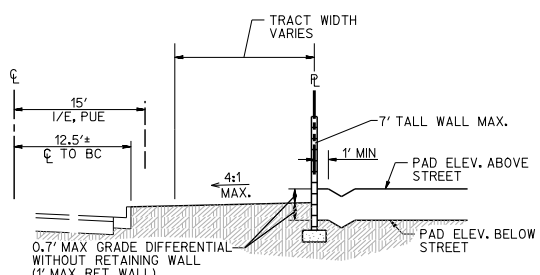
A TYPICAL SECTION
N.T.S. TYPICAL SIDE LOTS



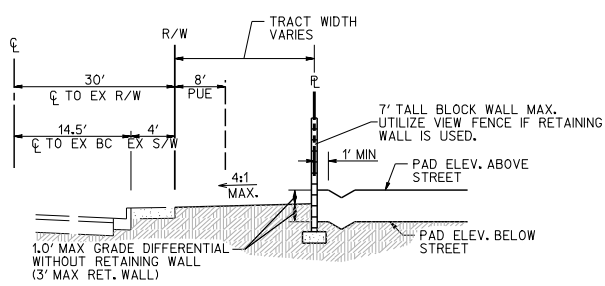
B TYPICAL SECTION
N.T.S.



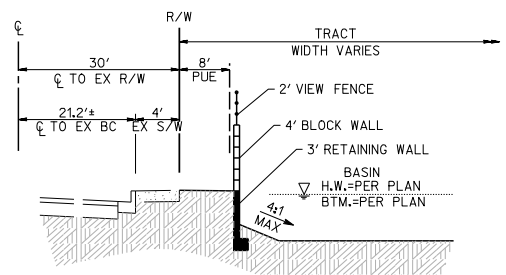
C TYPICAL SECTION
N.T.S.



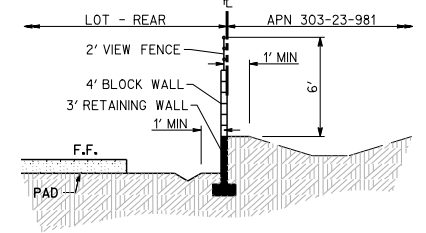
D TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



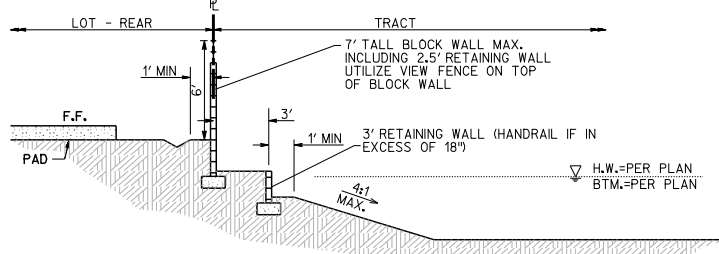
E TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



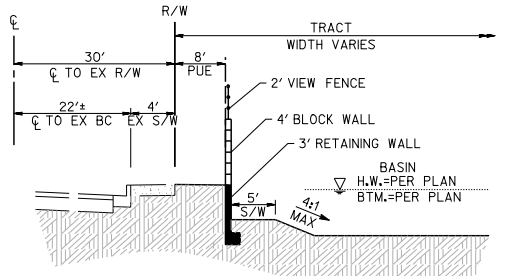
F TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



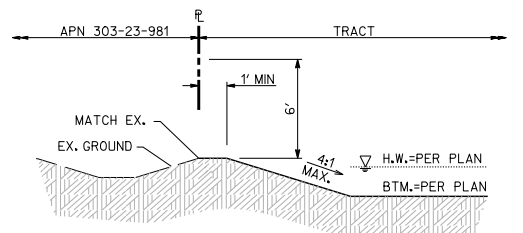
G TYPICAL SECTION
N.T.S.



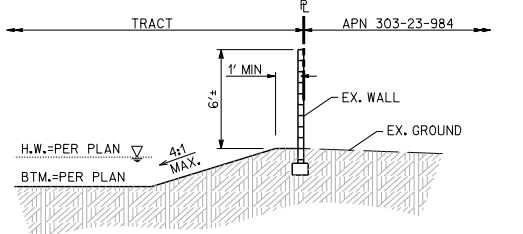
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N.T.S.



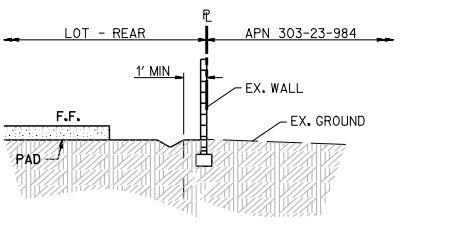
I TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



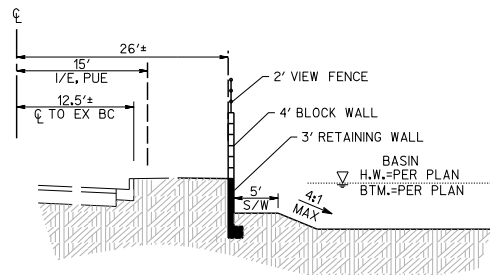
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N.T.S.



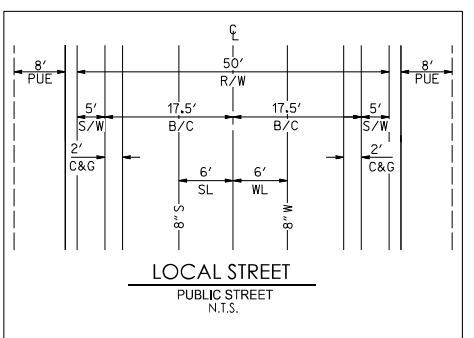
K TYPICAL SECTION
N.T.S.



L TYPICAL SECTION
N.T.S.



M TYPICAL SECTION
N.T.S. TYPICAL SIDEYARD ADJACENT TO STREET



LOCAL STREET PUBLIC STREET
N.T.S.

Contract Addendum #11 is located two full working days before you begin excavation. Call #11 or click Addendum #11 icon.

DOBSON & CHANDLER
CHANDLER, ARIZONA



EXPIRES: 12/31/2027

300engineering surveying
civil engineering
planning
DATE: 12/22/25
PROJECT NO: 5354
SHEET NO: PGD03
3 of 3

C.O.C. LOG. NO. PLH25-0028

SETBACKS:

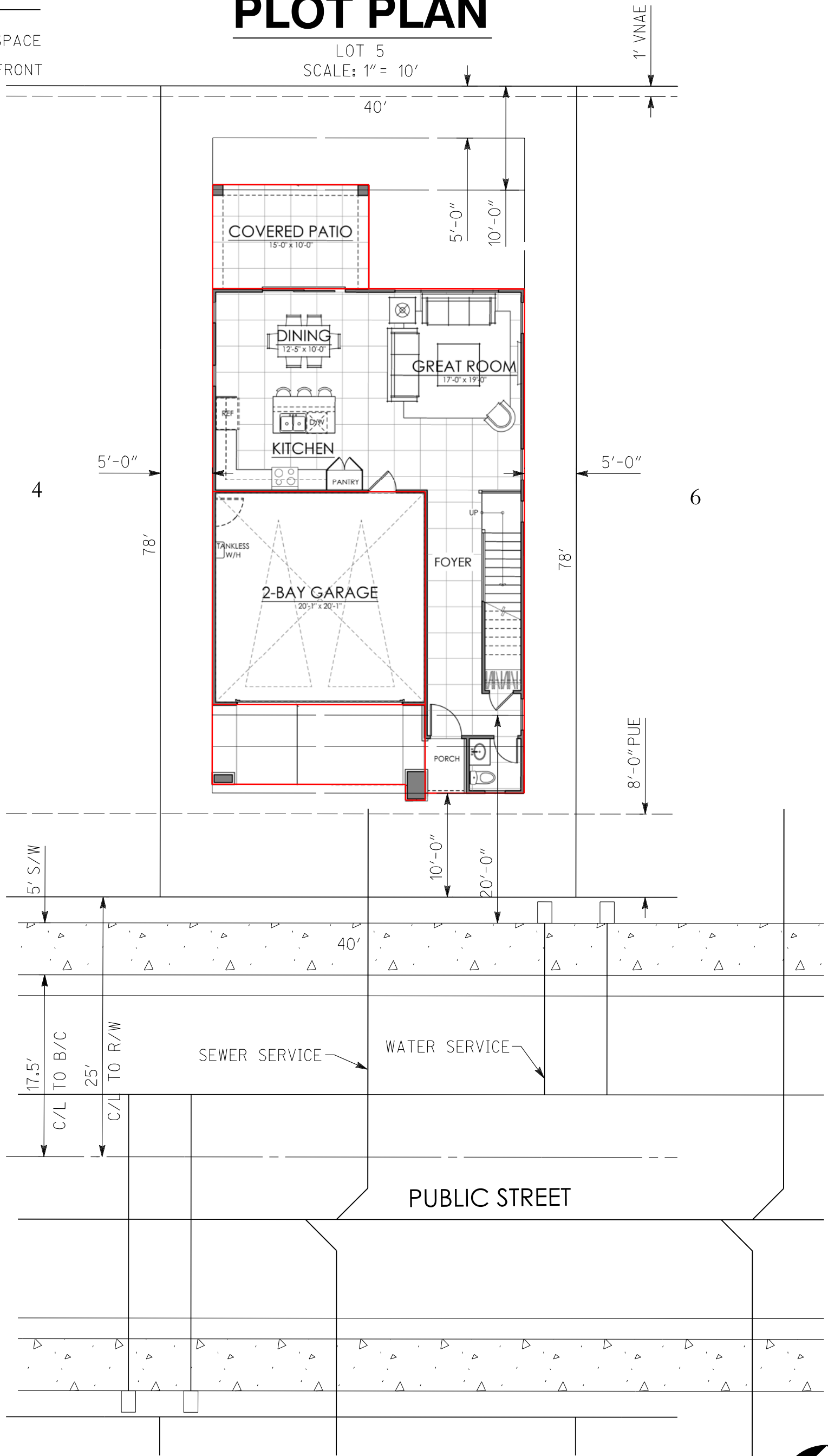
FRONT SETBACK:
10' MIN. TO LIVABLE SPACE
OR SIDE LOADED
GARAGE; 20' MIN. TO FRONT
FACING GARAGE
FROM SIDEWALK.

SIDE SETBACK:
5' MIN.

REAR SETBACK:
10' MIN.
(5' MIN. ACCESSORY
STRUCTURE)

PLOT PLAN

LOT 5
SCALE: 1" = 10'



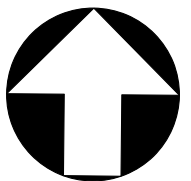
BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)
SUBDIVISION: DOBSON & CHANDLER
LOT#: 5
ADDRESS: CHANDLER, ARIZONA
PRODUCT SERIES: PLAN THREE
FIRST FLOOR: 845 S.F.
SECOND FLOOR: 1,369 S.F.
TOTAL LIVING: 2,214 S.F.
LOT AREA: 3,3120 S.F.
LOT COVERAGE AREA: 1,600 S.F.+/-
LOT COVERAGE %: 51.28%

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDITION. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.



3 ENGINEERING, LLC
6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251
PHONE: (602) 334-4387 - FAX: (602) 490-3230
WWW.3ENGINEERING.COM

DATE:	PROJECT NO.
1/5/26	5354



C:\My Secur\Syn\Projects_5000\5354_Dodson & Chandler\5354_Exhibit - Plot Plan 01.dgn

SETBACKS:

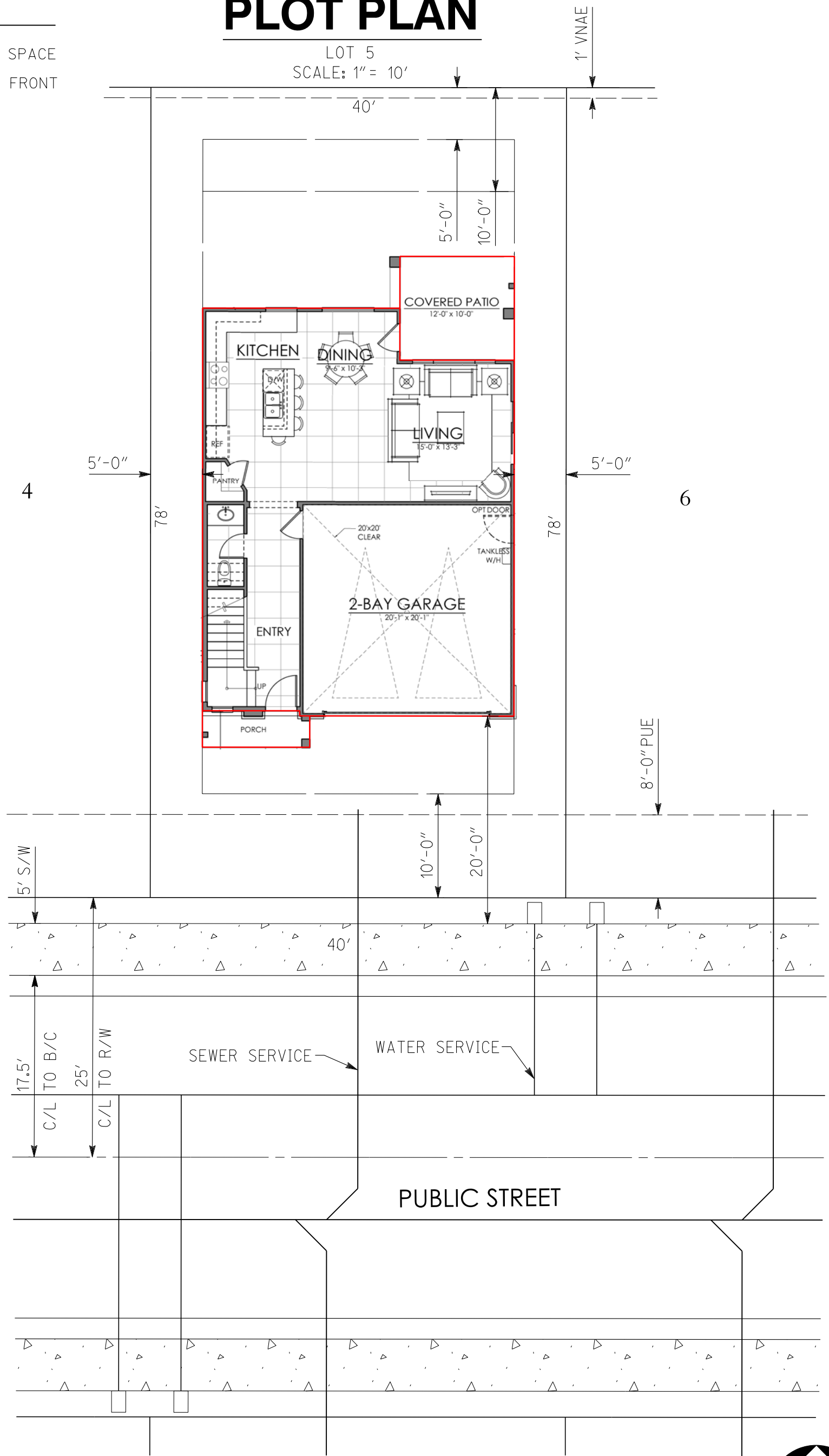
FRONT SETBACK:
10' MIN. TO LIVABLE SPACE
OR SIDE LOADED
GARAGE; 20' MIN. TO FRONT
FACING GARAGE
FROM SIDEWALK.

SIDE SETBACK:
5' MIN.

REAR SETBACK:
10' MIN.
(5' MIN. ACCESSORY
STRUCTURE/PATIO)

PLOT PLAN

LOT 5
SCALE: 1" = 10'



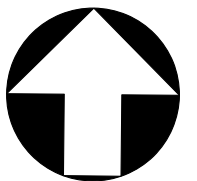
BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)
SUBDIVISION: DOBSON & CHANDLER
LOT#: 5
ADDRESS: CHANDLER, ARIZONA
PRODUCT SERIES: PLAN ONE
FIRST FLOOR: 703 S.F.
SECOND FLOOR: 1,104 S.F.
TOTAL LIVING: 1,807 S.F.
LOT AREA: 3,120 S.F.
LOT COVERAGE AREA: 1,270 S.F.+/-
LOT COVERAGE %: 40.71%

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDITION. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.

3e engineering
 planning civil engineering surveying

3 ENGINEERING, LLC
 6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251
 PHONE: (602) 334-4387 - FAX: (602) 490-3230
 WWW.3ENGINEERING.COM

DATE: 1/5/26
 PROJECT NO.: 5354



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SETBACKS:

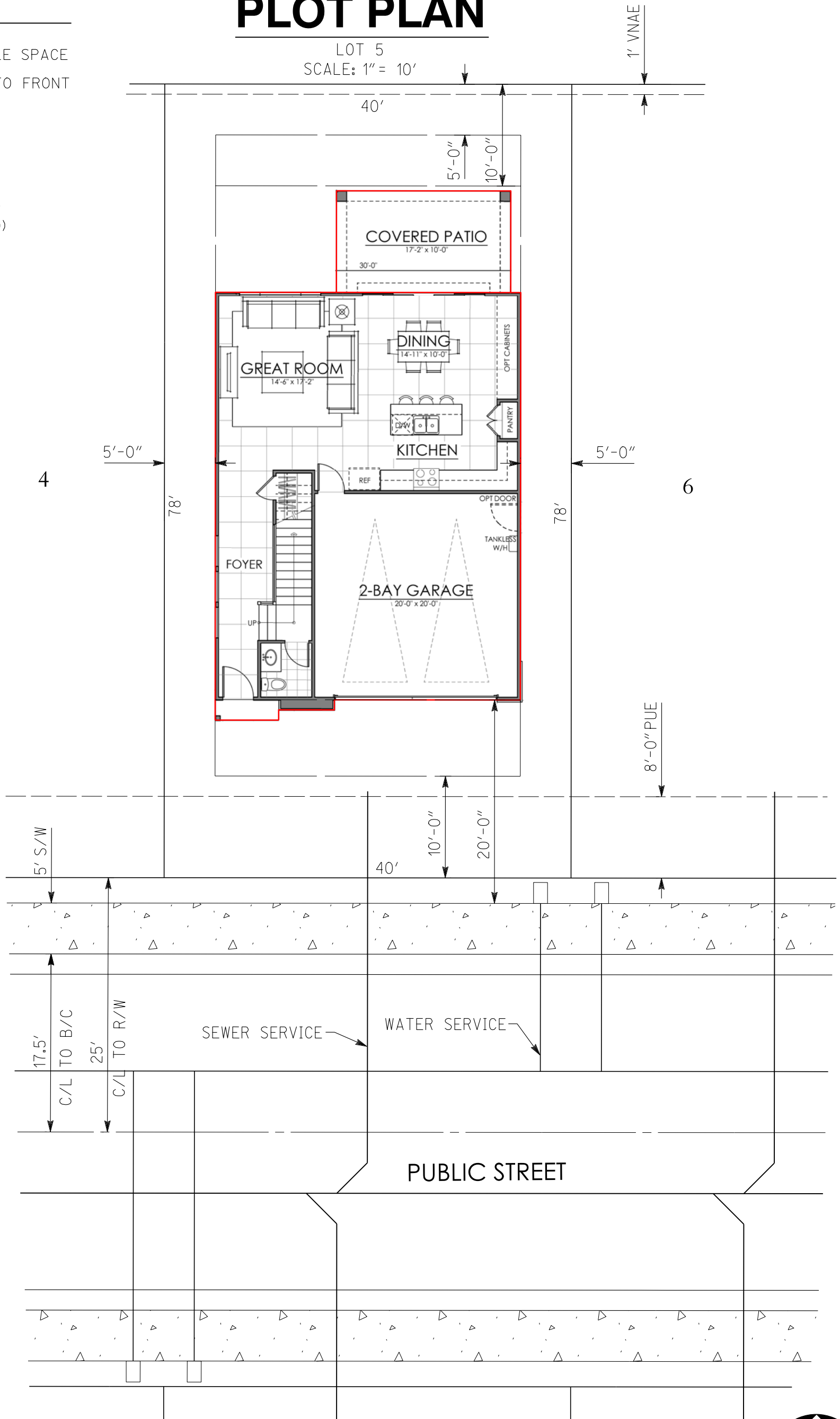
FRONT SETBACK:
10' MIN. TO LIVABLE SPACE
OR SIDE LOADED
GARAGE; 20' MIN. TO FRONT
FACING GARAGE
FROM SIDEWALK.

SIDE SETBACK:
5' MIN.

REAR SETBACK:
10' MIN.
(5' MIN. ACCESSORY
STRUCTURE/PATIO)

PLOT PLAN

LOT 5
SCALE: 1" = 10'



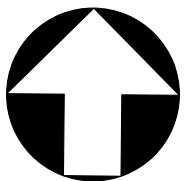
BUILDER: ARCADIA CAPITAL (RESIDENTIAL PURSUITS)
SUBDIVISION: DOBSON & CHANDLER
LOT#: 5
ADDRESS: CHANDLER, ARIZONA
PRODUCT SERIES: PLAN ONE
FIRST FLOOR: 793 S.F.
SECOND FLOOR: 1,221 S.F.
TOTAL LIVING: 2,014 S.F.
LOT AREA: 3,120 S.F.
LOT COVERAGE AREA: 1,390 S.F.+/-
LOT COVERAGE %: 44.55%

NOTE: ALL DIMENSIONS, LOCATIONS AND FEATURES SHOWN ON THIS PLOT PLAN ARE APPROXIMATE AND ARE ONLY AN ARTIST'S RENDERING. EXACT LOCATION OF ALL FEATURES ARE SUBJECT TO CHANGE AND MAY NOT BE INSTALLED EXACTLY AS SHOWN ON PLANS AND/OR MODELS, PLACEMENT OF HOME, DRIVEWAY, SIDEWALKS AND EXTERIOR FEATURES ARE SUBJECT TO MODIFICATION AS DEEMED NECESSARY BY FIELD PERSONNEL.

3e engineering
 planning civil engineering surveying

3 ENGINEERING, LLC
 6370 E. THOMAS ROAD, SUITE 200 - SCOTTSDALE, AZ 85251
 PHONE: (602) 334-4387 - FAX: (602) 490-3230
 WWW.3ENGINEERING.COM

DATE: 1/5/26
 PROJECT NO.: 5354

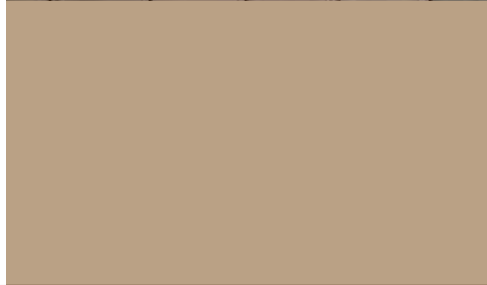


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SCHEME 1 ELEVATION A | DESERT CONTEMPORARY



ROOF TILE | BEL AIR
4689 BROWN RANGE



STUCCO
SW 6108 LATTE



STUCCO II
SW 9108 DOUBLE LATTE



TRIM
SW 6106 KILIM BEIGE



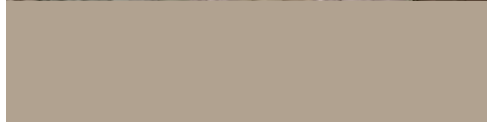
FASCIA | GARAGE DOOR
SW 7040 SMOKEHOUSE



ENTRY DOOR
SW 2848 ROYCROFT PEWTER



STONE | CULTURED STONE
SUMMIT PEAK | ALPINE LEDGESTONE



TRIM AT STONE
SW 7038 TONY TAUPE



The Bower Dobson
Chandler , ARIZONA



10.13.2025

SCHEME 2 ELEVATION A | DESERT CONTEMPORARY



ROOF TILE | BEL AIR
4602 CONCORD BLEND



STUCCO
SW 7015 REPOSE GRAY



STUCCO II
SW 7655 STAMPED CONCRETE



TRIM
SW 7650 ELLIE GRAY



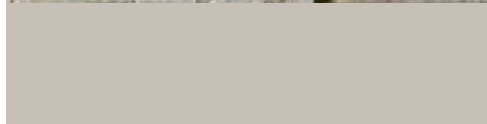
FASCIA | GARAGE DOOR
SW 7019 GUANTLET GRAY



ENTRY DOOR
SW 7726 LEMON VERBENA



STONE | CULTURED STONE
ECHO RIDGE | ALPINE LEDGESTONE



TRIM AT STONE
SW 7641 COLONNADE GRAY



SCHEME 3 ELEVATION A | DESERT CONTEMPORARY



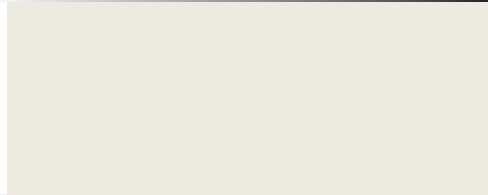
Roof Tile



Stucco I



Stucco II



Trim



Fascia | Garage Door



Entry Door



Stone



Trim at Stone



SCHEME 4 ELEVATION B | MODERN SPANISH



ROOF TILE | CAPISTRANO
3636 PIEDMONT BLEND



STUCCO
SW 7012 CREAMY



VERTICAL SIDING | TRIM AT SIDING
SW 7535 SANDY RIDGE



FASCIA | GARAGE DOOR
SW 7027 WELL-BRED BROWN



ENTRY DOOR
SW 7622 HOMBURG GRAY



STONE | CULTURED STONE
CHARDONNAY | COUNTRY LEDGESTONE



TRIM AT STONE
SW 7507 STONE LION



SCHEME 5 ELEVATION B | MODERN SPANISH



ROOF TILE | CAPISTRANO
3785 CLAY SPRINGS



STUCCO
SW 7527 NANTUCKET DUNE



VERTICAL SIDING | TRIM AT SIDING
SW 7514 FOOTHILLS



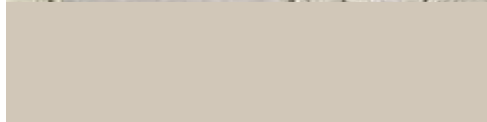
FASCIA | GARAGE DOOR
SW 6076 TURKISH COFFEE



ENTRY DOOR
SW 2839 ROYCROFT COPPER RED



STONE | CULTURED STONE
WHITE OAK | COUNTRY LEDGESTONE



TRIM AT STONE
SW 7036 ACCESSIBLE BEIGE



SCHEME 6 ELEVATION B | MODERN SPANISH



Roof Tile



Stucco



Vertical Siding | Trim at Siding

Trim



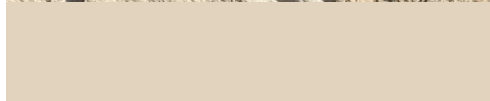
Fascia | Garage Door



Entry Door



Stone



Trim at Stone



The Bower Dobson
Chandler, ARIZONA



10.13.2025

SCHEME 7 ELEVATION C | MID-CENTURY MODERN



ROOF TILE | BEL AIR
4687 BROWN GRAY RANGE



STUCCO
SW 6140 MODERATE WHITE



TRIM
SW 0037 MORRIS ROOM GREY



FASCIA
SW 7047 PORPOISE

GARAGE DOOR
SW 7047 PORPOISE



ENTRY DOOR
SW 0040 ROYCROFT ADOBE



WIRE CUT 4X12 | STACKED BOND
SW 0037 MORRIS ROOM GREY



WALL TILE | DAL TILE
BLACKWOOD FP99

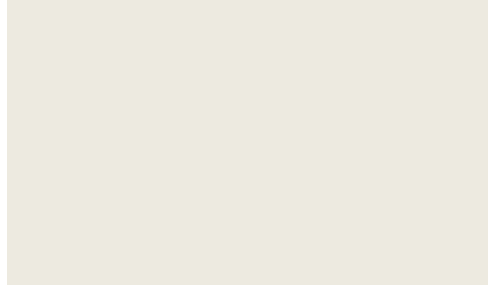


SCHEME 8

ELEVATION C | MID-CENTURY MODERN



ROOF TILE | BEL AIR
4503 SIERRA MADRE



STUCCO
SW 7008 ALABASTER



TRIM
SW 7046 ANONYMOUS



FASCIA
SW 7048 URBAN BRONZE



GARAGE DOOR
SW 7048 URBAN BRONZE



ENTRY DOOR
SW 6207 RETREAT

WIRE CUT 4X12 | STACKED BOND
SW 7008 ALABASTER



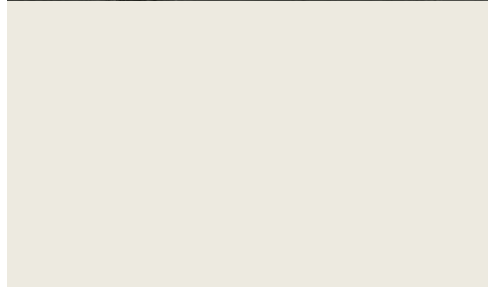
WALL TILE | DAL TILE
TIMBERLAND FP97



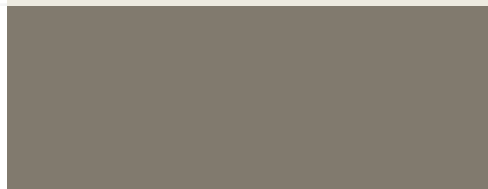
SCHEME 9 ELEVATION C | MID-CENTURY MODERN



Roof Tile



Stucco



Trim

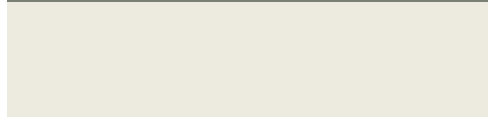


Fascia | Gable-End Siding

Garage Door



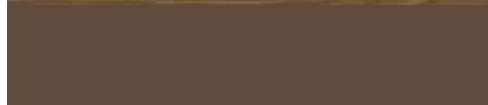
Entry Door



Paint Grade Block



Wall Tile



Trim at Wall Tile



The Bower Dobson
Chandler , ARIZONA



10.13.2025

SCHEME 10 ELEVATION D | MODERN PRAIRIE



ROOF TILE | BEL AIR
4503 SIERRA MADRE



STUCCO
SW 7506 LOGGIA



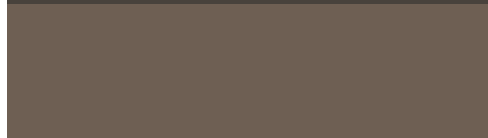
SIDING
SW 7515 HOMESTEAD BROWN



TRIM
SW 7508 TAVERN TAUPE



FASCIA
SW 7675 SEALSKIN



GARGE DOOR
SW 7515 HOMESTEAD BROWN



ENTRY DOOR
SW 9182 ROJO MARRON



PRAIRIE STONE
MOCHA GRANITE



The Bower Dobson
Chandler , ARIZONA



10.13.2025

SCHEME 11

ELEVATION D | MODERN PRAIRIE



ROOF TILE | BEL AIR
4503 SIERRA MADRE



STUCCO
SW 7017 DORIAN GRAY



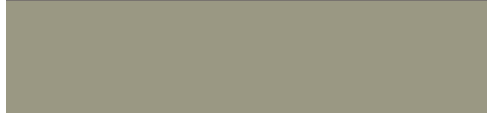
SIDING
SW 7019 GAUNTLET GRAY



FASCIA
SW 6076 TURKISH COFFEE



GARAGE DOOR
SW 7019 GAUNTLET GRAY



ENTRY DOOR
SW 7748 GREEN EARTH



PRAIRIE STONE
GREY GRANITE



SCHEME 12 ELEVATION D | MODERN PRAIRIE



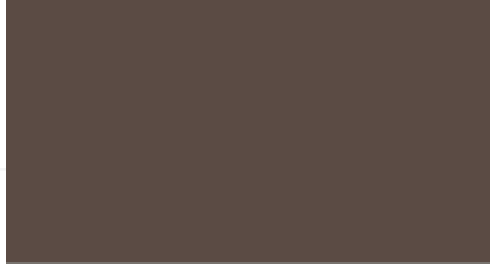
Roof Tile



Stucco I



Stucco II



Trim



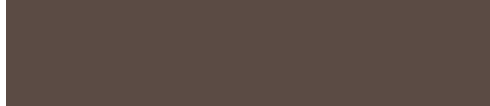
Fascia



Garage Door



Entry Door



Brick



Trim at Brick



The Bower Dobson
Chandler , ARIZONA



10.13.2025













Planning & Zoning Commission Memorandum Development Services
Memo No. 26-007

Date: March 18, 2026
To: Planning and Zoning Commission
Thru: David de la Torre, Acting Planning Administrator
From: Daniel Cahalane, Associate Planner
Subject: PLH26-0003 Move Human Performance
Request: Use permit time extension to continue to allow an existing sports therapy and training facility in a Planned Industrial zoning district within a Planned Area Development Overlay (I-1/PAD)
Location: 375 E. Elliot Road, Suite 7, approximately 1/4 mile east of the southeast corner of Arizona Avenue and Elliot Road.
Applicant: Brennan Ray, Ray Law Firm

Proposed Motion:

Move Planning and Zoning Commission recommend approval of PLH26-0003 Move Human Performance, Use Permit time extension to continue to allow an existing sports therapy and training facility in a Planned Industrial zoning district within a Planned Area Development Overlay (I-1/PAD) located at 375 E Elliot Road Suite 7, subject to the conditions as recommended by Planning staff.

Background Data:

- Zoned Planned Industrial within a Planned Area Development (I-1/PAD)
- Zoning Code requires Use Permit approval for medical office for outpatient care in Planned Industrial Districts
- Move Human Performance's Use Permit originally approved by City Council under ZUP17-0009 on September 14, 2017
- A five (5) year extension approved by City Council on May 28, 2020
- An expansion and a five (5) year extension approved by City Council on March 25, 2021

Surrounding Land Use Data:

North	Elliot Road; then existing building zoned I-1/PAD	South	Alamo Drive; then existing building zoned I-1/PAD
East	Colorado Street; then existing Building zoned I-1/PAD	West	Existing building zoned: I-1/PAD

Proposed Business Operations (for Use Permit) or Proposed Development (for PDP)

Square Footage	4,254 square feet
Hours of Operation	Monday, Wednesday, Friday: 7:00am to 7:00pm Tuesday, Thursday: 5:00am to 5:00pm Saturday: 8:00am to 12:00pm
Number of Employees	Owners: 2 Staff: 5

Review and Recommendation:

Move Human Performance is located within an existing 4,254 square foot suite located on the north side of the building. Access to Move Human Performance will be provided directly from the parking lot. Move Human Performance currently provides post-rehab care, spinal cord injury long term care, sports performance classes, and appointment-only fitness training. The use fits under the medical office for outpatient services.

A Use Permit is required for a medical office for outpatient care in Planned Industrial zoned districts. The previous use permit approval in 2021 included a five-year time condition to evaluate the long-term compatibility with surrounding businesses. During this time, there have been no negative reports associated with this use. The proposed use permit will maintain the same hours of operation and activities. All activities occur indoors and on-site parking is adequate.

Planning staff has reviewed the request and finds it to be consistent with the General Plan and the applicable zoning. The sports therapy and training facility (medical office) use is a compatible land use with the surrounding industrial development. As such, Planning staff recommends approval with no time limit subject to conditions.

Public / Neighborhood Notification

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A written notice was mailed to affected landowners under the alternative citizen review process and posted on social media via NextDoor.
- As of the writing of this memo, Planning staff is not aware of any opposition to the request.

Recommended Conditions of Approval

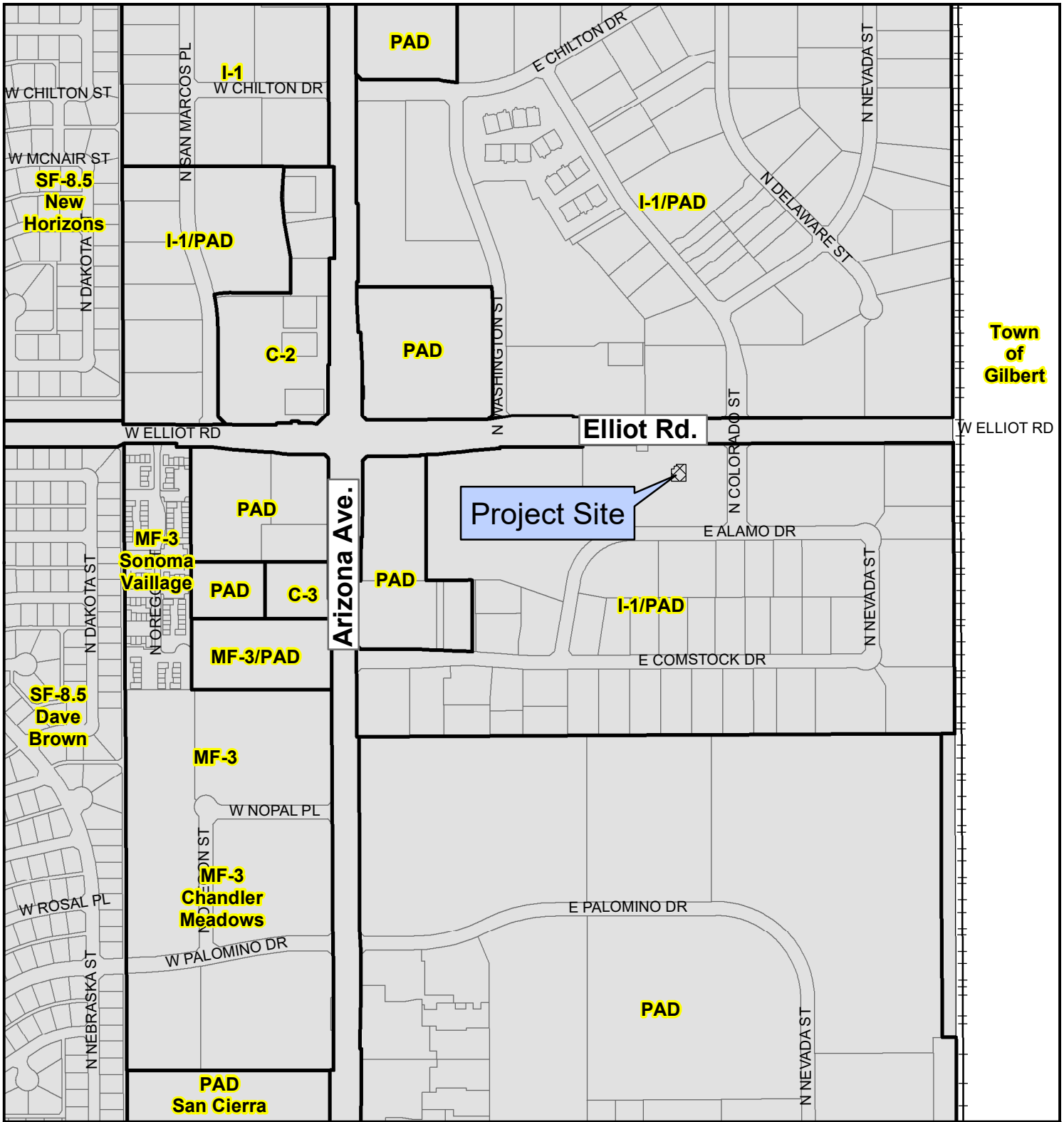
Planning staff recommends Planning and Zoning Commission move to recommend approval of the Use Permit, subject to the following conditions:

1. Substantial expansion or modification beyond the approved exhibits (Site Plan, Floor Plan, and Narrative) shall void the Use Permit and require new Use Permit application and approval.
2. The use permit is non-transferrable to other locations.
3. Use permit does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Use Permit shall apply.
4. All pedestrian walkways shall be A.D.A accessible and shall not be interrupted by any obstacles preventing circulations (i.e. persons with disabilities shall have direct access to all indoor and outdoor pedestrian spaces).
5. The site shall be maintained in a clean and orderly manner.

Attachments

Vicinity Maps

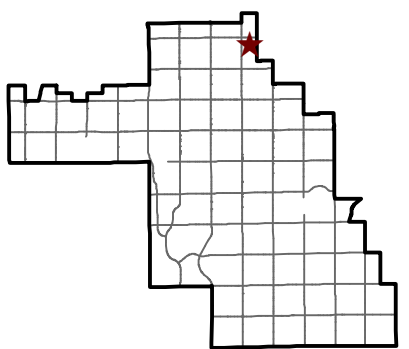
Exhibits



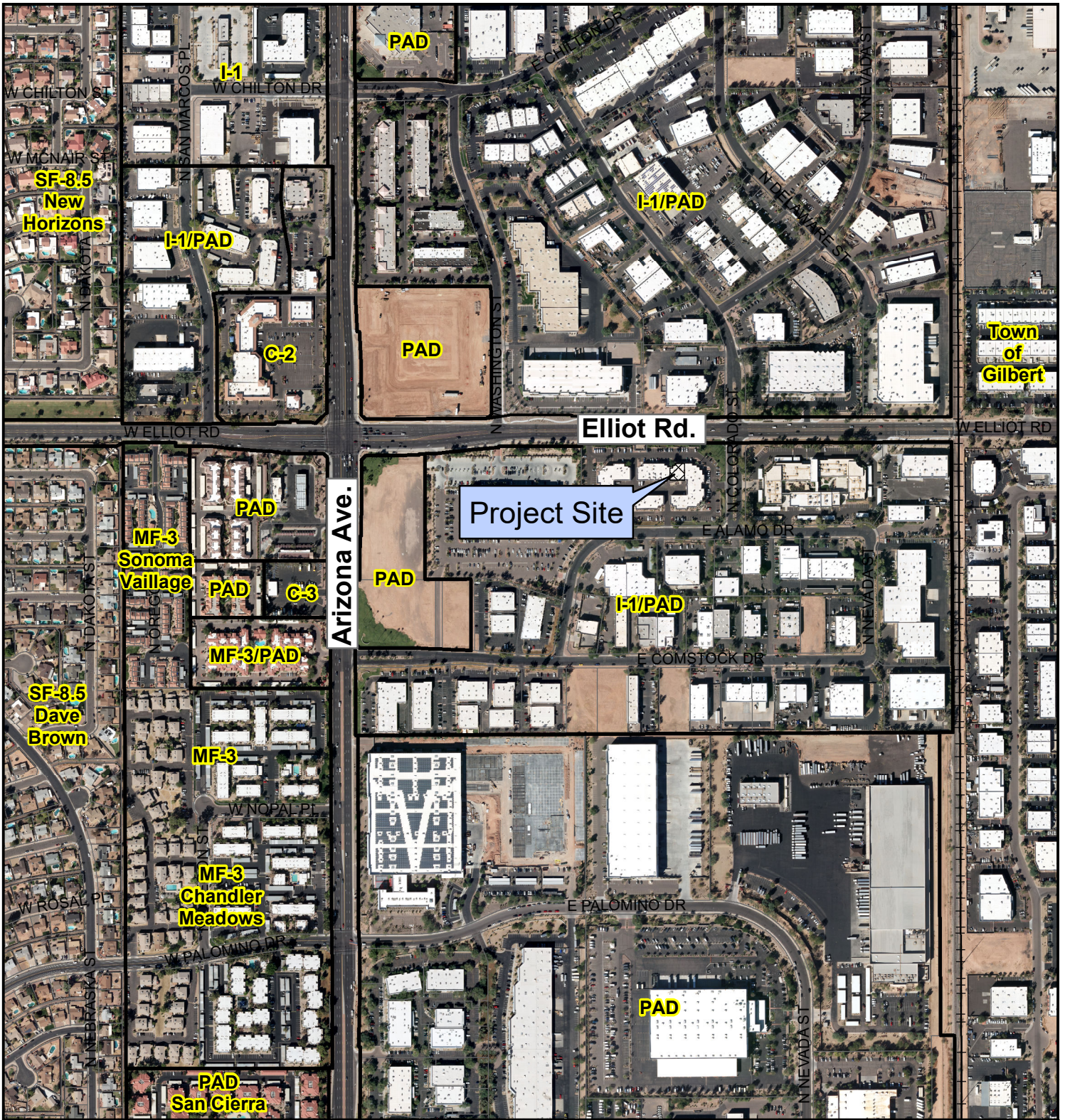
Town of Gilbert

 **PLH26-0003 Move Human Performance**

Proposed Project Details
 375 E Elliot Rd, Ste 7
 Use Permit time extension for a sports therapy and training facility



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



PLH26-0003 Move Human Performance

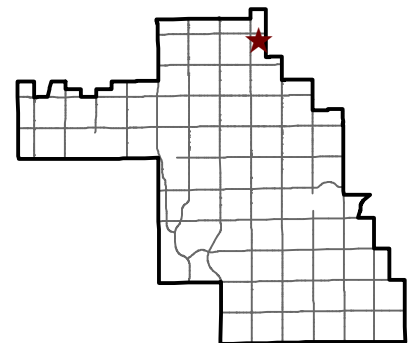
Proposed Project Details

375 E Elliot Rd, Ste 7

Use Permit time extension for a sports therapy and training facility



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



PLH26-0003

Move Human Performance

Exhibits

Location:

375 E. Elliot Road, Suite 7, approximately 1/4 mile east of the southeast corner of Arizona Avenue and Elliot Road.

Table of Contents

1. Narrative
2. Map
3. Site Plan
4. Floor Plan



MEMORANDUM

To: City of Chandler
From: Brennan Ray
Date: January 16, 2026
Re: **Use Permit – Move Human Performance
375 E. Elliot Road, Suites 7-9 (East of the SEC of Arizona Ave. and Elliot Rd.)**

Our office is working with Move Human Performance, LLC (“MOVE”) in connection with their sports training and therapy business located at 375 East Elliot Road, Suites 7-9 (the “Site”). Attached as **Exhibit 1** is an aerial of the Site with the MOVE suite identified. The Site is part of a larger 240-acre business park known as “Arizona Corporate Park”. Arizona Corporate Park (and the Site) is zone Light-Industrial with a Planned Area Development Overlay. A sports training and therapy facility is permitted under I-1 with a Use Permit.

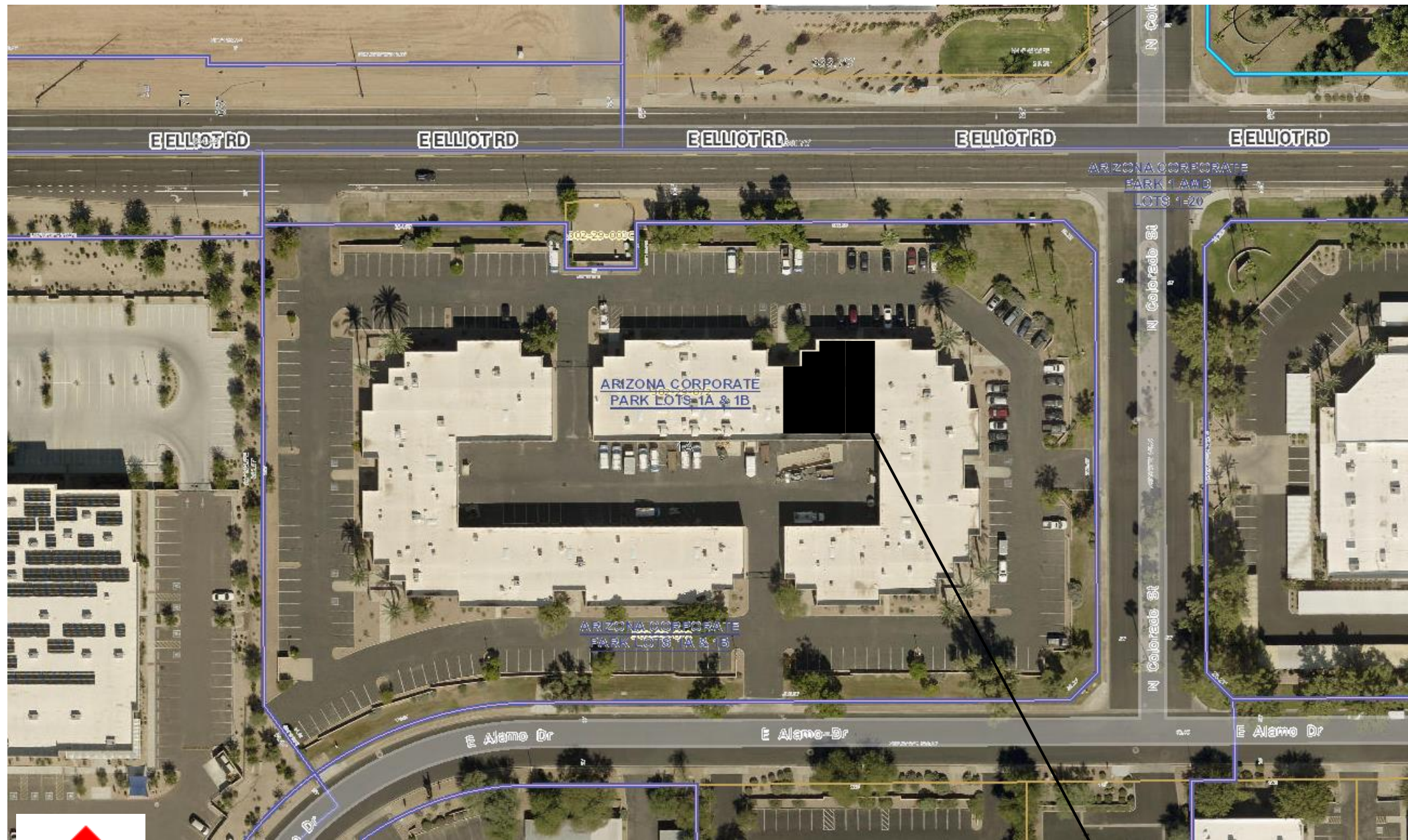
MOVE first obtained approval of Use Permit on September 14, 2017 and an extension of the Use Permit on May 28, 2020 (PLH20-0015). MOVE expanded their business in 2021 to an adjacent suite and amended the Use Permit in 2021 to include the new suite (PLH21-0004 and 2).

MOVE has operated on the Site in conformance with the Use Permit for 8 years without any interference or disruption to the existing businesses. MOVE continues to be a compatible use for the Site and surrounding area.

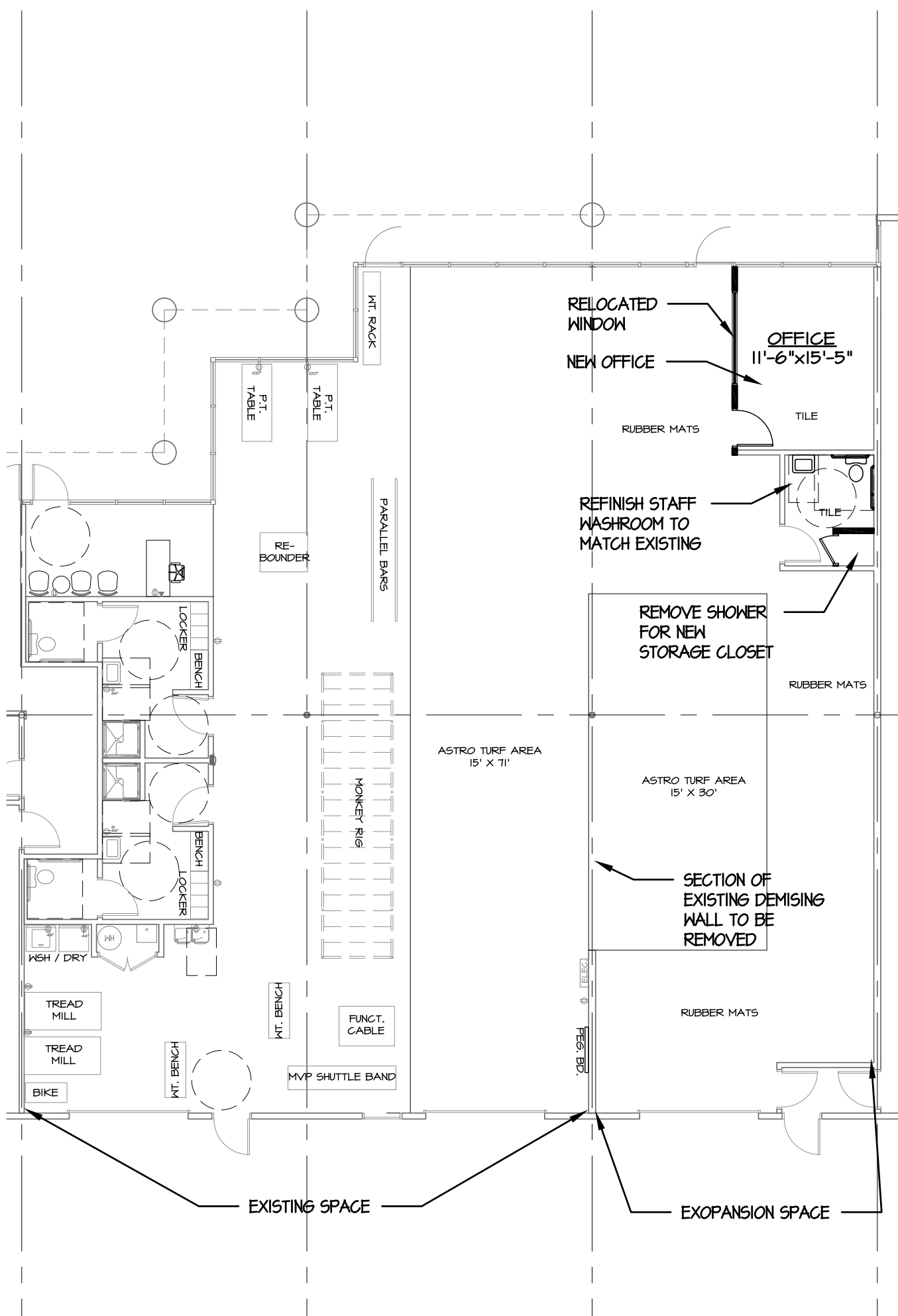
MOVE offers Post Rehab care, Spinal cord injury long term care, Sports Performance Classes, and Fitness training. Training is by appointment only. The typical hours of operation are 7 a.m. to 7 p.m. on Monday, Wednesday, and Friday, 5 a.m. to 5 p.m. on Tuesday and Thursday, and 8 a.m. to noon on Saturday. Staffing typically consists of the two business owners and 5 employees. MOVE provides a valuable and needed service to the City and its residents.

The site provides approximately 245 parking space. Adequate parking is available for the proposed use. The Site Plan is attached as **Exhibit 2**. The Floor Plan is attached as **Exhibit 3**.

MOVE respectfully requests approval of the Use Permit without any time restriction.



Site



PLAN OPTION A
MOVE HUMAN PERFORMANCE
375 E. ELLIOT RD SUITE 7
 SCALE: 1/8"=1'-0" DATE: 12/28/2020

PRELIMINARY
 NOT FOR CONSTRUCTION

BCMA
 ARCHITECTURE

322 W. KNIGHT LANE, TEMPE, AZ 85284 · C. 602-571-5728 · T. 480.664.6224 · BRIAN@BCMAARCH.COM



Planning & Zoning Commission Development Services Memo No.

Date: March 18, 2026
To: Planning and Zoning Commission
Thru:
From: Danielle Smee, Management Assistant
Subject: Notice of Cancellation of the April 1, 2026 and April 15, 2026 Planning and Zoning Commission Hearing

Proposed Motion:

Notice of Cancellation of the April 1, 2026 and April 15, 2026 Planning and Zoning Commission Hearing as recommended by staff due to no items.
