



September 1, 2026

City of Chandler – Development Services Administration
215 E. Buffalo St.
Chandler, AZ 85225
RE: Preliminary Development Plan

**7-ELEVEN CHANDLER
PROJECT NARRATIVE
CITY OF CHANDLER, ARIZONA**

Thank you for the opportunity to submit a project narrative for the proposed development of a 7-Eleven store with a gas station and a commercial building on the 2.84 acres located at the southwest corner of Northrop Blvd & Cooper Rd (parcels 303-29-985 & 303-29-986). It is currently zoned as PAD (Planned Area Development). All proposed 7-Eleven improvements will occur within the northern 1.75 acre parcel. A commercial building will be developed on the southern 1.09 acre parcel. Improvements will include clearing of the vacant land, constructing the new 7-Eleven building, new commercial building, gas station pumps and canopy, as well as all associated parking areas, drive aisles, trash enclosure, underground utilities, stormwater management, and landscaping in accordance with all local ordinances.

Eight bollards in a row are proposed in front of the 7-Eleven store, which exceeds the maximum number (six) in a row permitted by the City. We are requesting an exception to this requirement. Planters at this location would limit the ADA routes to the building entrance. Bollards achieve the same level of building protection and maintain ADA compliant clear width at the storefront. We are working with the City on the design of the bollards to ensure they conform to all applicable design and architectural requirements.

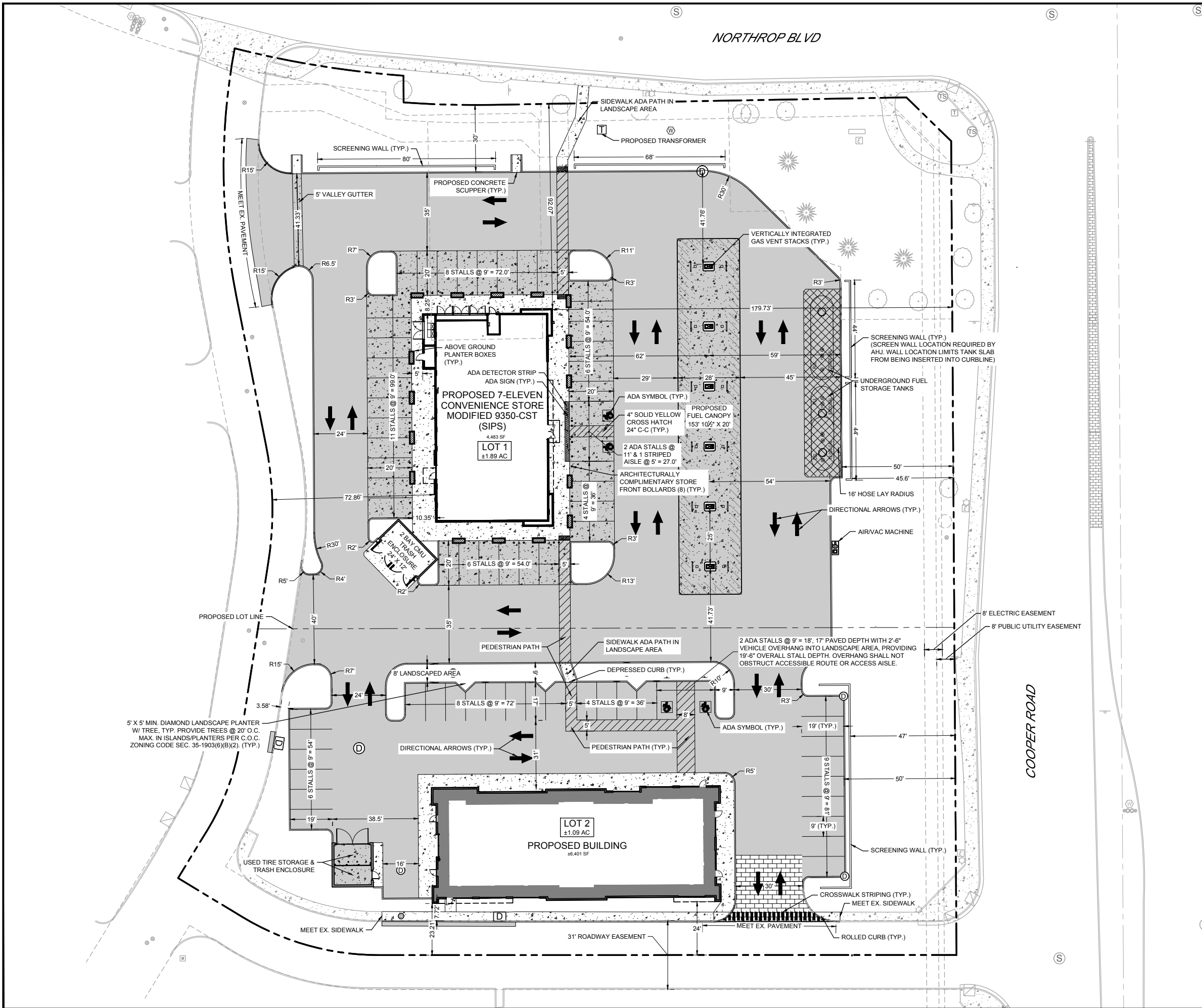
The proposed development will be a part of the overall redevelopment of this area. The 7-Eleven will utilize access roads currently under development. This area is an emerging commercial, entertainment, and office area that will benefit from the proposed development.

We look forward to receiving the City's opinion and review comments for the proposed development and shall incorporate them in any required resubmittals after the Preliminary Development Plan review (PDP). Should you have any questions or comments upon review of the PDP, please do not hesitate to contact me at (630) 598-0007 or skabat@cagecivil.com.

Sincerely,
CAGE ENGINEERING, INC.

A handwritten signature in black ink that reads "Spencer Kabat".

Spencer Kabat
Project Engineer



PAVEMENT LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE PAVEMENT
	TANK SLAB CONCRETE PAVEMENT
	STAMPED CONCRETE PAVEMENT
	CONCRETE WALK PAVEMENT
	M.A.G. TYPE "A" SINGLE CURB
	DEPRESSED CURB
	ROLLED CURB

Key	Dimension Element	7-Eleven Standard	Store
A	Center of bollard to center of dispenser	62'	62'
B	Center of dispenser to edge of front curb with tanks	47'	59'
C	Center of dispenser to edge of front curb without tanks	39'	NA
D	Edge of dispenser to side curb with tanks	54'	NA
E	Edge of dispenser to side curb without tanks	46'	41.7
F	Drive aisle width between the face of dispensers (in stacked position)	34'	NA
G	Centerline dispenser spacing (in stacked position)	27'	NA
H	Drive aisle width between the face of dispensers (in starting gate position)	25'	25'
I	Sidewalk width	8'	5
J	Dimensions of typical parking spots	9'x20'	9'x20'
K	Dimensions of ADA parking spots	11'x20'	11'x20'
L	Dimension of ADA aisle	5'	5'
M	Ingress and egress dimension	38'	35'
N	Drive aisle width (see sheet note #1)	35'	Lot 1: 35' Lot 2: 30'
MPDs		6 MIN.	6
Parking with restaurant		40	NA
Parking without restaurant		25	25
	Building prototype	select option	93x50 GEN2 (SIPS)

SHEET NOTE

1. ALL OUTER DRIVE AISLE WIDTHS ARE 35' MINIMUM WIDTH. THE ACCESS ROAD BEHIND THE BUILDING, THAT NO TRUCK TRAFFIC WILL UTILIZE, IS ONLY 24' TO ACCOMMODATE STANDARD VEHICLE TRAFFIC.

SITE DATA TABLE

TOTAL SITE AREA:	2.84 ACRES
BUILDING LOT COVERAGE %:	5,227 / 123,710 = 4.23%
CITY OF CHANDLER PARKING REQ. SECTION 35-1804 FIVE AND ONE HALF (5.5) SPACES PER 1,000 SQ FT OF GROSS FLOOR AREA = 5,227 / 1000 = 5.227(5) = 29 SPACES	
ZONING:	PAD
PARKING SPACES:	
STANDARD STALLS:	35
TOTAL ADA STALLS	2
TOTAL STALLS:	37
REQUIRED SETBACKS:	
FRONT YARD NORTHROP BLVD:	30'
FRONT YARD COOPER RD:	50'
SIDE / REAR YARD:	0'
PARKING SETBACKS:	
FRONT YARD:	20'
SIDE / REAR YARD:	5'

VICINITY MAP

ARIZONA811
BLUE STAKE, INC.

PROJ NO: 250177
ENG: SEK
DATE: 08/25/2026

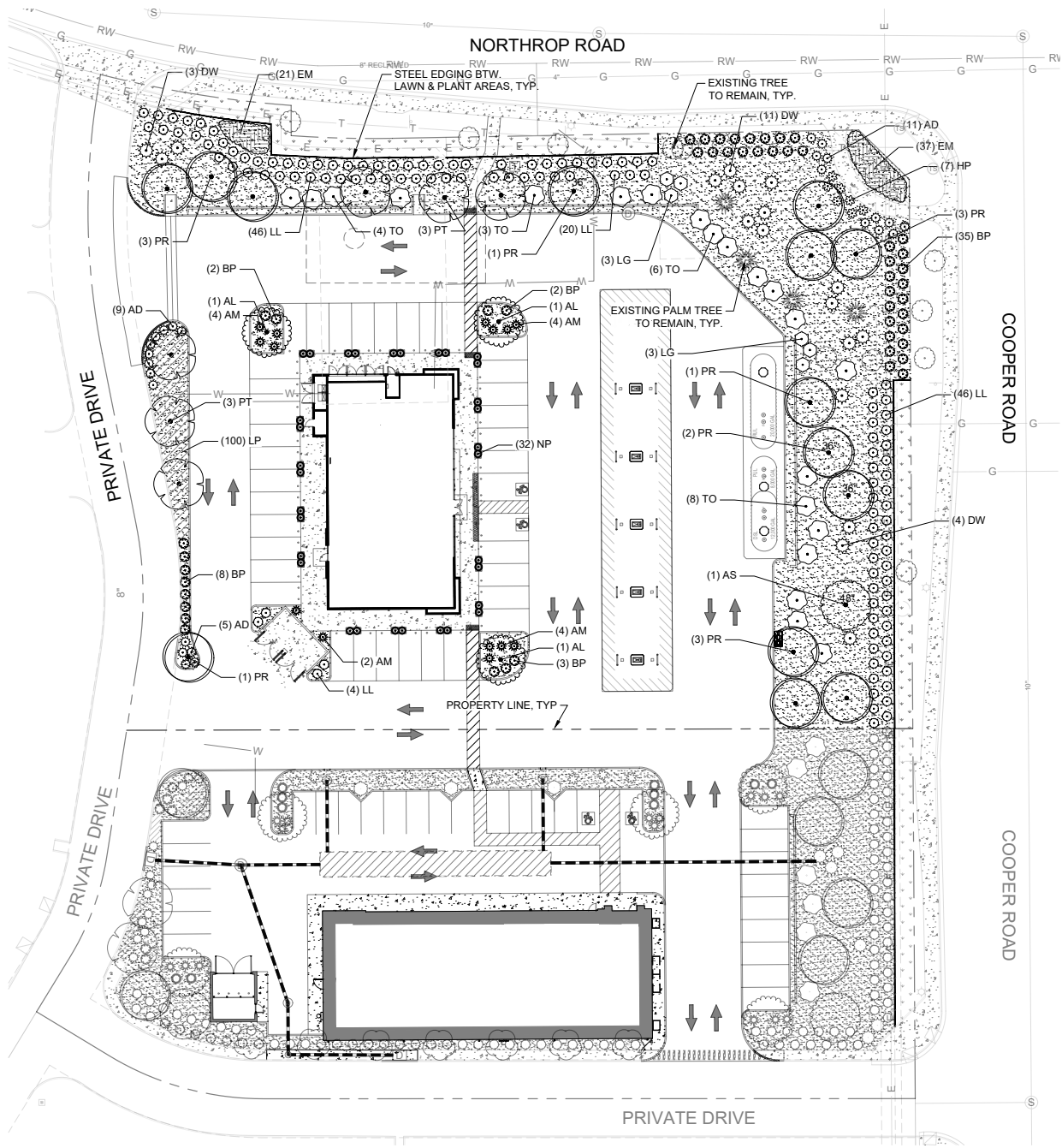
SHEET TITLE
SITE LAYOUT PLAN

SHEET NUMBER
C1.0
1 OF 2

3133 W FRYE RD
SUITE 101
CHANDLER, AZ 85226
P: 602.596.0007
WWW.CAGECIVIL.COM

CAGE

PRELIMINARY ENGINEERING FOR
711 CHANDLER GAS STATION AND C-STORE
N.W. CORNER OF GERMAN RD AND COOPER RD
CHANDLER, AZ



GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 2" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

LANDSCAPE CALCULATIONS

SITE INFORMATION:

AUTHORITY HAVING JURISDICTION: CITY OF CHANDLER, AZ
ZONING: PAD
TOTAL SITE AREA: 76,175 SF
OPEN SPACE AREA: 23,460 SF (31%)
TREES REQUIRED: 24 TREES (1 PER 1,000 SF)
TREES PROVIDED: 24 TREES
SHRUBS REQUIRED: 141 SHRUBS (6 PER 1,000 SF)
SHRUBS PROVIDED: 258 SHRUBS

FRONT YARD/STREET ROW LANDSCAPING:

INTERSECTION SETBACK AREA NORTHROP ROAD: 5000 SF (100 LF WITH 50' SETBACK)
TREES REQUIRED: 6 TREES (1 PER 800 SF)
TREES PROVIDED: 1 - 24" BOX TREES (17%)
0 - 36" BOX TREES (0%)
5 - 48" BOX TREES (5 EXISTING TREES EQUAL TO 48" BOX TREES (83%))
6 TREES
38 SHRUBS (6 PER 800 SF)
39 SHRUBS

TOTAL TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

FRONTAGE @ NORTHROP ROAD:
TREES REQUIRED:
TREES PROVIDED:

TOTAL TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

INTERSECTION SETBACK AREA COOPER ROAD: 5,000 SF (100 LF WITH 50' SETBACK)
TREES REQUIRED: 6 TREES (1 PER 800 SF)
TREES PROVIDED: 2 - 24" BOX TREES (33%)
0 - 36" BOX TREES (0%)
4 - 48" BOX TREES (4 EXISTING TREES EQUAL TO 48" BOX TREES (67%))
6 TREES
38 SHRUBS (6 PER 800 SF)
38 SHRUBS

TOTAL TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

FRONTAGE @ COOPER ROAD:
TREES REQUIRED:
TREES PROVIDED:

TOTAL TREES PROVIDED:
SHRUBS REQUIRED:
SHRUBS PROVIDED:

CITY OF CHANDLER, AZ
PAD
76,175 SF
23,460 SF (31%)
24 TREES (1 PER 1,000 SF)
24 TREES
141 SHRUBS (6 PER 1,000 SF)
258 SHRUBS

5000 SF (100 LF WITH 50' SETBACK)
6 TREES (1 PER 800 SF)
1 - 24" BOX TREES (17%)
0 - 36" BOX TREES (0%)
5 - 48" BOX TREES (5 EXISTING TREES EQUAL TO 48" BOX TREES (83%))
6 TREES
38 SHRUBS (6 PER 800 SF)
39 SHRUBS

222 LF (322 LF LESS 100' SETBACK)
7 TREES (1 PER 30 LF)
3 - 24" BOX TREES (50%)
1 - 36" BOX TREES (25%)
3 - 48" BOX TREES (3 EXISTING TREES EQUAL TO 48" BOX TREES (43%))
7 TREES
44 SHRUBS (6 PER 30 LF)
76 SHRUBS

5,000 SF (100 LF WITH 50' SETBACK)
6 TREES (1 PER 800 SF)
2 - 24" BOX TREES (33%)
0 - 36" BOX TREES (0%)
4 - 48" BOX TREES (4 EXISTING TREES EQUAL TO 48" BOX TREES (67%))
6 TREES
38 SHRUBS (6 PER 800 SF)
38 SHRUBS

138 LF (238 LF LESS 100' SETBACK)
5 TREES (1 PER 30 LF)
1 - 24" BOX TREES (20%)
2 - 36" BOX TREES (40%)
2 - 48" BOX TREES (1 NEW & 1 EXISTING TREE EQUAL TO 48" BOX TREES (40%))
5 TREES
28 SHRUBS (6 PER 30 LF)
58 SHRUBS

PARKING LOT LANDSCAPING:

PARKING LOT AREA: 4,898 SF
LANDSCAPE AREA REQUIRED: 490 SF (10% MIN.)
LANDSCAPE AREA PROVIDED: 1,045 SF (21%)
NUMBER OF PARKING SPACES: 37
PARKING ISLANDS: 3 ISLANDS (1 PER 12 SPACES)
TREES REQUIRED: 3 TREES (1 PER ISLAND)
TREES PROVIDED: 3 - 24" BOX TREES
SHRUBS REQUIRED: 15 SHRUBS (5 PER ISLAND)
SHRUBS PROVIDED: 19 SHRUBS

PERIMETER LANDSCAPE - WEST:

145 LF
5 TREES (1 PER 30 LF)
5 - 24" BOX TREES
29 SHRUBS (6 PER 30 LF)
29 SHRUBS

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	AL	Acacia aneura / Mulga	24"	Box	3
	AS	Acacia salicina / Willow Acacia	48"	Box	1
	PR	Pistacia x 'Red Push' / Red Push Pistache	24"	Box	11
	PR	Pistacia x 'Red Push' / Red Push Pistache	36"	Box	3
	PT	Prosopis chilensis 'Thornless' / Thornless Chilean Mesquite	24"	Box	6
SHRUBS					
	AM	Agave americana 'Medio-picta Alba' / Striped Century Plant	5 gal.	Cont.	14
	AD	Agave desmetiana 'Variegata' / Variegated Smooth Agave	5 gal.	Cont.	25
	BP	Baccharis pilularis 'Twin Peaks' / Twin Peaks Coyote Brush	5 gal.	Cont.	50
	DW	Dasylirion wheeleri / Grey Desert Spoon	5 gal.	Cont.	18
	HP	Hesperaloe parviflora / Red Yucca	5 gal.	Cont.	7
	LG	Leucophyllum frutescens 'Green Cloud' / Green Cloud Texas Sage	5 gal.	Cont.	6
	LL	Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	5 gal.	Cont.	116
	TO	Tecoma x 'Orange Jubilee' / Orange Jubilee Yellow Bells	5 gal.	Cont.	21
	NP	Nassella tenuissima 'Pony Tails' / Pony Tails Mexican Feather Grass	1 gal.	Cont.	32
GRASSES					
	NP	Nassella tenuissima 'Pony Tails' / Pony Tails Mexican Feather Grass	1 gal.	Cont.	32
GROUND COVERS					
	EM	Eremophila glabra 'Mingenew Gold' / Outback Sunrise Emu Bush	1 gal.	Cont.	36" o.c. 58
	LP	Lantana montevidensis / Purple Trailing Lantana	1 gal.	Cont.	36" o.c. 100
SOD/SEED					
	TRF	Cynodon dactylon x transvaalensis 'DT-1' / TifTuf™ Bermudagrass	sod		2,578 sf
	DR	1/2" SCREENED GRANITE / TABLE MESA BROWN 2\"/>	---		16,943 sf

2200 CABOT DRIVE
SUITE 325
LISLE, IL 60532
P: 630.598.0007
WWW.CAGECIVIL.COM

CAGE
CIVIL ENGINEERING

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
84313
KENNETH D. BATES
CHANDLER, ARIZONA, U.S.A.
EXPIRES 09/30/28

REVISIONS

Owner/Client
711 CHANDLER
NW GERMAN RD & COOPER RD
CHANDLER, AZ

PROJ. NO: 250177
ENG: JML / KB
DATE: 07-31-2026

SHEET TITLE
**LANDSCAPE
PLANTING PLAN**

SHEET NUMBER
LP-1
OF

National Presence. Local Expertise.

EVERGREEN DESIGN GROUP
800.680.6630
www.evergreendesigngroup.com
LANDSCAPE ARCHITECTURE
LAND PLANNING • IRRIGATION DESIGN

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POI-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED. IF LEADER IS DAMAGED OR REMOVED, PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOO: PROVIDE WELL-ROOTED SOO OF THE VARIETY NOTED ON THE PLANS. SOO SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOO SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOO.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/4 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/L; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. TREE STAKING AND CUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE STEEL EDGING, 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

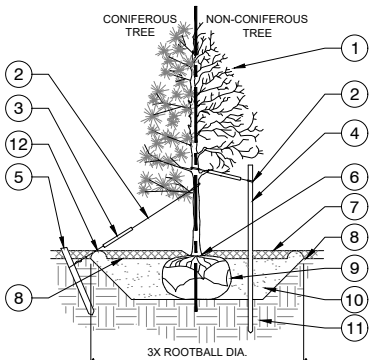
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROPLANTS, TURF, AND NATIVE PLANT SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPERING.
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - b. "CLAY BUSTER" OR 1/2 LANDSCAPERS COMPOST - USE MANUFACTURER'S RECOMMENDED RATE
 - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPERING.
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - d. "CLAY BUSTER" OR 1/2 LANDSCAPERS COMPOST - USE MANUFACTURER'S RECOMMENDED RATE
 - e. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKWAY SURFACES SHALL BE INSTALLED NO MORE THAN 1" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKWAY SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS, TAPERED TO THE FINISH GRADE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, THE LANDSCAPE CONTRACTOR SHALL CONSULT THE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS

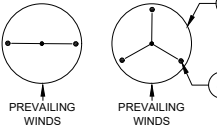
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB INCLUDING COMPARISON OF FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE.
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS UNLESS IF LOCAL JURISDICTION REQUIRES OR OAK TREES LOCATED IN OAK WILT SUSCEPTIBLE AREAS.

TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORTED ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURE, CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - e. #15 CONT. 24" BOX TREES TWO STAKES PER TREE
 - f. 36"-48" BOX TREES THREE STAKES PER TREE
 - g. OVER 48" BOX TREES GUY AS NEEDED
 - h. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING
1. SOO VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. HYDROMULCHING
1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# UNHULLED BERMUDA SEED
 - 2# ANNUAL RYE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED BERMUDA SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SEED RATE PER LEGEND



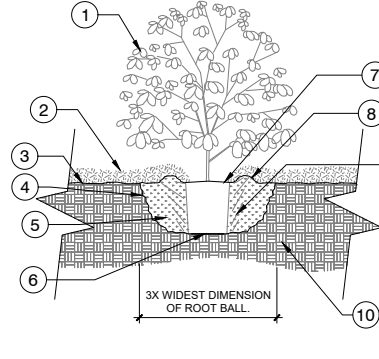
STAKING EXAMPLES (PLAN VIEW)



TREE PLANTING

NTS

000-PL-06



SECTION VIEW

- NOTES:
1. SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE OBSERVATIONS DETAIL AND SPECIFICATIONS.
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

SHRUB PLANTING

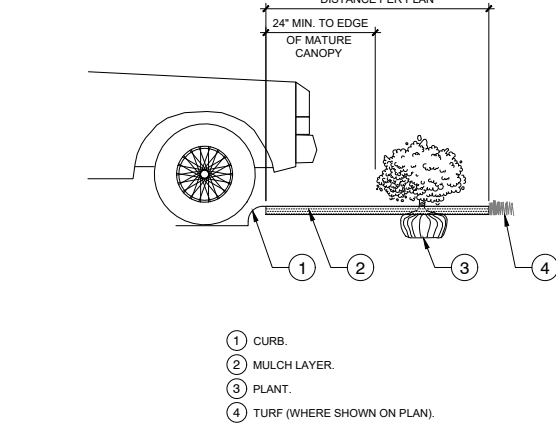
NTS

000-PL-02

STEEL EDGING

NTS

000-ED-12



PLANTING AT PARKING AREA

NTS

000-PL-11

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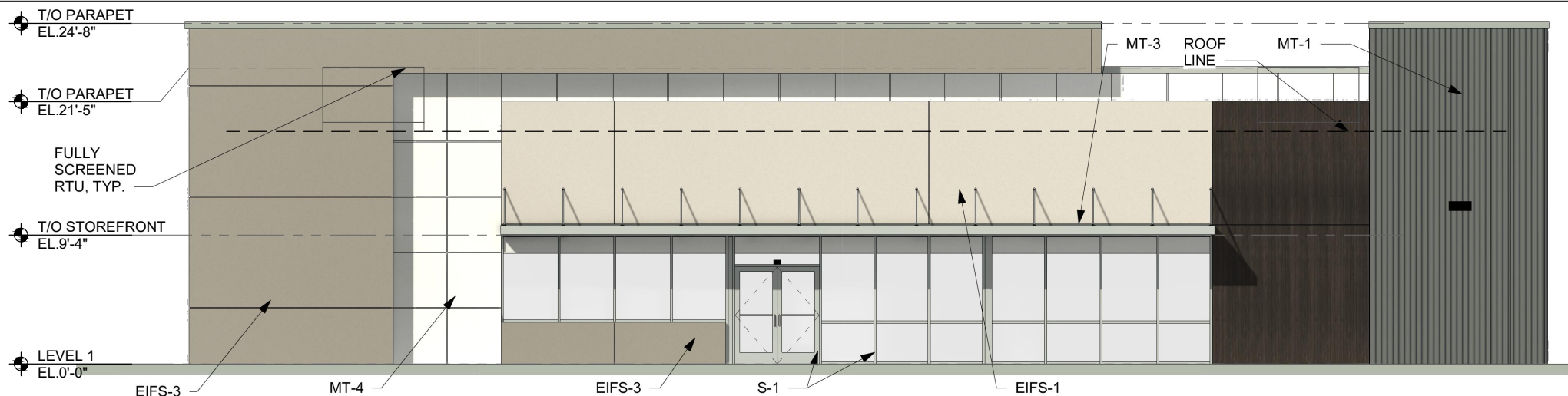
Owner/Client
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NW GERMAN RD & COOPER RD
CHANDLER, AZ

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ENG: JML / KB
DATE: 07-31-2026

SHEET TITLE
**LANDSCAPE
DETAILS AND
SPECIFICATIONS**

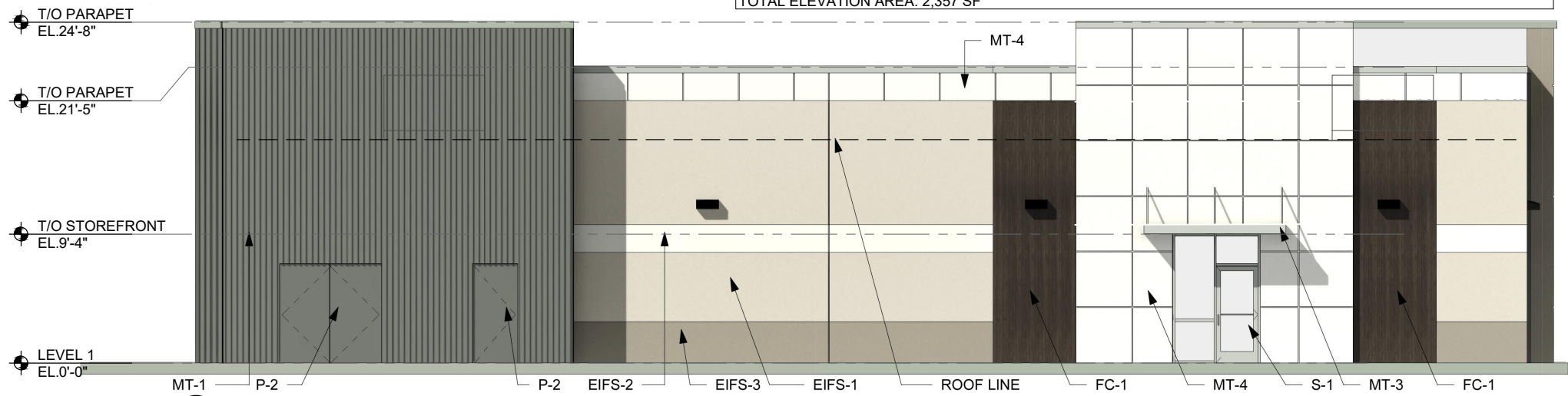
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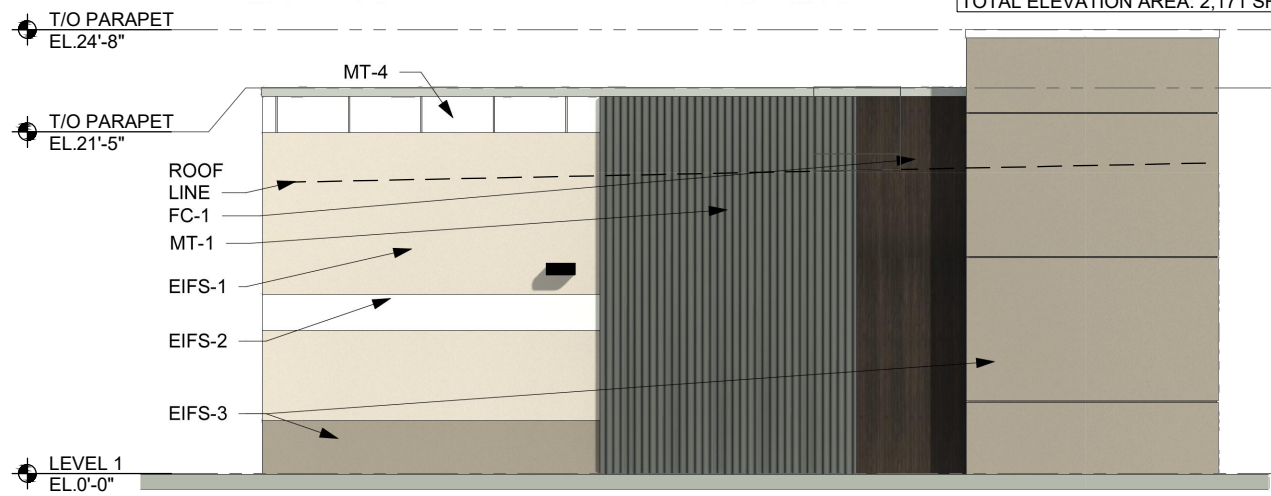
1 EAST ELEVATION
SCALE: 3/32"=1'-0"

MATERIAL AND FACADE CALCULATION TABLE					
MATERIAL	EIFS	METAL PANEL	CORRUGATED METAL	GLAZING	FIBER CEMENT PANEL
AREA (%)	1,104 SF (47%)	287 SF (12%)	319 SF (14%)	433 SF (18%)	214 SF (9%)
TOTAL ELEVATION AREA: 2,357 SF					



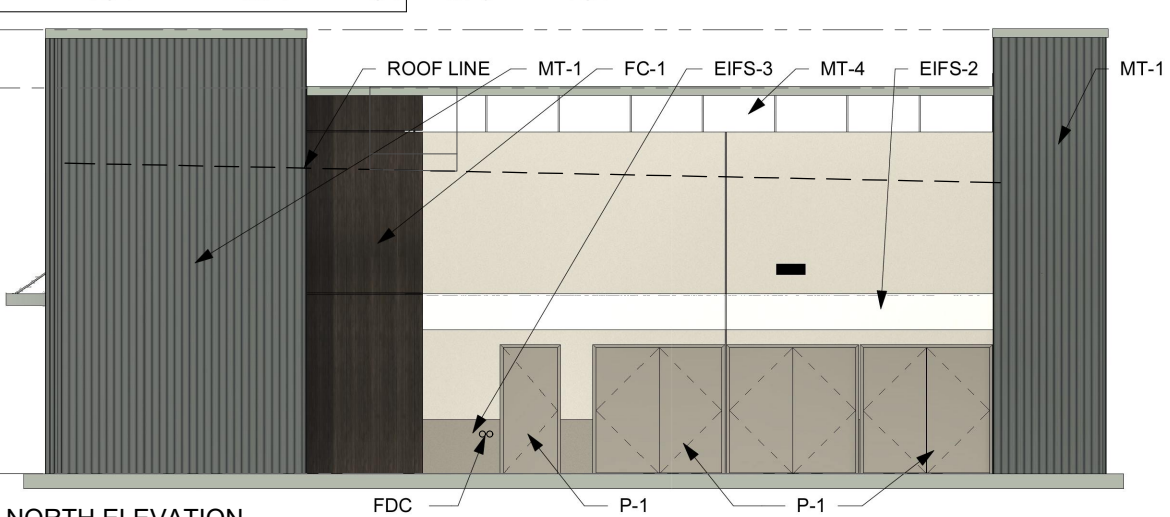
2 WEST ELEVATION
SCALE: 3/32"=1'-0"

MATERIAL AND FACADE CALCULATION TABLE					
MATERIAL	EIFS	METAL PANEL	CORRUGATED METAL	GLAZING	FIBER CEMENT PANEL
AREA (%)	701 SF (33%)	555 SF (25%)	548 SF (26%)	137 SF (6%)	230 SF (10%)
TOTAL ELEVATION AREA: 2,171 SF					



3 SOUTH ELEVATION
SCALE: 3/32"=1'-0"

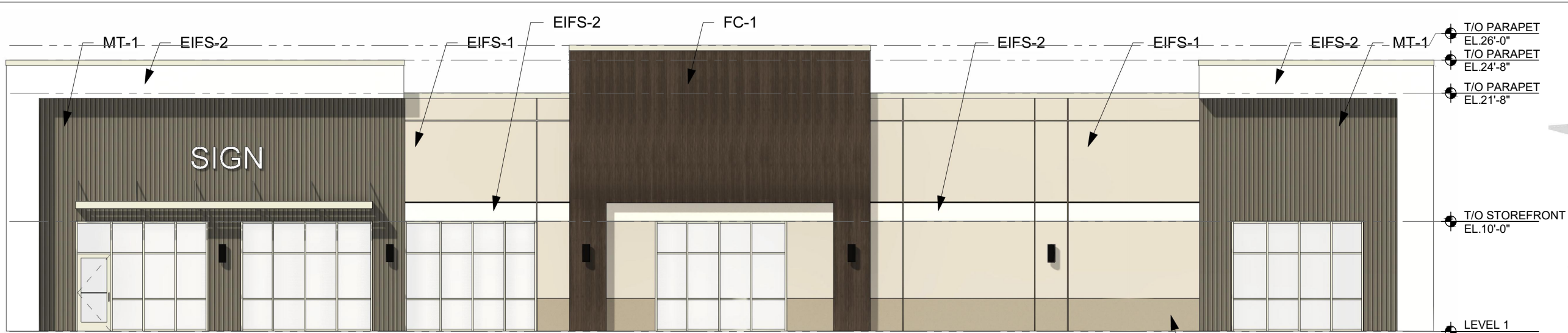
MATERIAL AND FACADE CALCULATION TABLE				
MATERIAL	EIFS	FIBER CEMENT PANEL	CORRUGATED METAL	METAL PANEL
AREA (%)	704 SF (59%)	130 SF (11%)	308 SF (26%)	47 SF (4%)
TOTAL ELEVATION AREA: 1,190 SF				



4 NORTH ELEVATION
SCALE: 3/32"=1'-0"

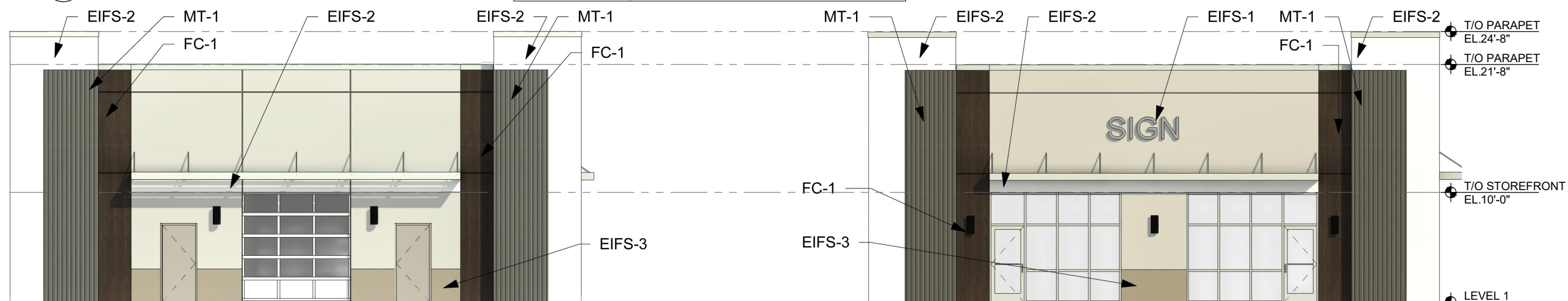
MATERIAL AND FACADE CALCULATION TABLE					
MATERIAL	EIFS	FIBER CEMENT PANEL	CORRUGATED METAL	GLAZING/DOORS	METAL PANELS
AREA (%)	419 SF (32%)	139 SF (10%)	514 SF (38%)	185 SF (14%)	82 SF (6%)
TOTAL ELEVATION AREA: 1,339 SF					

CODE	DESCRIPTION	COLOR	MANUFACTURER
EIFS			
EIFS-1	EIFS	104 DOVER SKY	DRYVIT
EIFS-2	EIFS	101 SUPER WHITE	DRYVIT
EIFS-3	EIFS	105 SUEDE	DRYVIT
FIBER CEMENT PANEL			
FC-1	FIBER CEMENT PANELS - VINTAGEWOOD	BARK	NICHIHA
MASONRY			
CMU-1	8" INTEGRALLY-COLORED ARCHITECTURAL CMU	PAINT TO MATCH SW 7023 REQUISITE GRAY BY SHERWIN WILLIAMS	TBD
METAL			
MT-1	EXPOSED FASTENER CORRUGATED METAL PANEL	GRAPHITE	PAC-CLAD
MT-2	PRE-FINISHED METAL COPING & COMPRESSION EDGE	CLEAR ANODIZED	DURO-LAST
MT-3	PRE-FINISHED ALUMINUM CANOPY	CLEAR ANODIZED	MAPES ARCHITECTURAL CANOPIES
MT-4	COMPOSITE METAL PANEL	MATTE WHITE	NORTHCLAD
ROOFING			
MR-1	MEMBRANE ROOFING SYSTEM	WHITE	DURO-LAST
STOREFRONT			
S-1	ALUMINUM STOREFRONT FRAMING	CLEAR ANODIZED	KAWNEER
EXTERIOR PAINT			
P-1	EXTERIOR UTILITIES, EXTERIOR HM DOORS & FRAMES	SW 7025 BACKDROP	SHERWIN WILLIAMS
P-2	HM DOOR	SW PEPPERCORN 7674	SHERWIN WILLIAMS
P-3	TRASH ENCLOSURE GATE, TRASH ENCLOSURE BOLLARDS & PIPING	6968 DOMINO	SHERWIN WILLIAMS
P-4	FUEL CANOPY COLUMN	6141 SOFTER TAN	SHERWIN WILLIAMS



1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"

MATERIAL AND FACADE CALCULATION TABLE				
MATERIAL	EIFS	CORRUGATED METAL	GLAZING	FIBER CEMENT PANEL
AREA (%)	1,307 SF (42%)	731 SF (23%)	600 SF (20%)	478 SF (15%)
TOTAL ELEVATION AREA: 3,116 SF				



2 WEST ELEVATION
SCALE: 3/32"=1'-0"

MATERIAL AND FACADE CALCULATION TABLE				
MATERIAL	EIFS	CORRUGATED METAL	GLAZING / DOORS	FIBER CEMENT PANEL
AREA (%)	680 SF (58%)	212 SF (18%)	150 SF (13%)	128 SF (11%)
TOTAL ELEVATION AREA: 1,170 SF				

3 EAST ELEVATION
SCALE: 3/32"=1'-0"

MATERIAL AND FACADE CALCULATION TABLE				
MATERIAL	EIFS	CORRUGATED METAL	GLAZING	FIBER CEMENT PANEL
AREA (%)	590 SF (51%)	212 SF (18%)	240 SF (20%)	128 SF (11%)
TOTAL ELEVATION AREA: 1,170 SF				



4 NORTH ELEVATION
SCALE: 3/32"=1'-0"

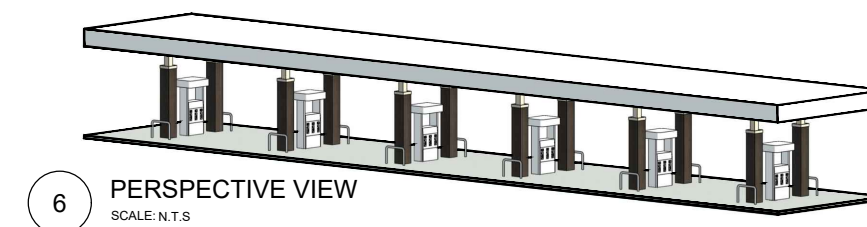
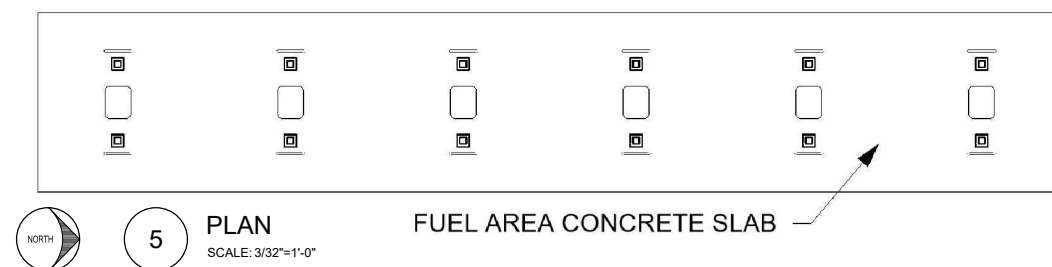
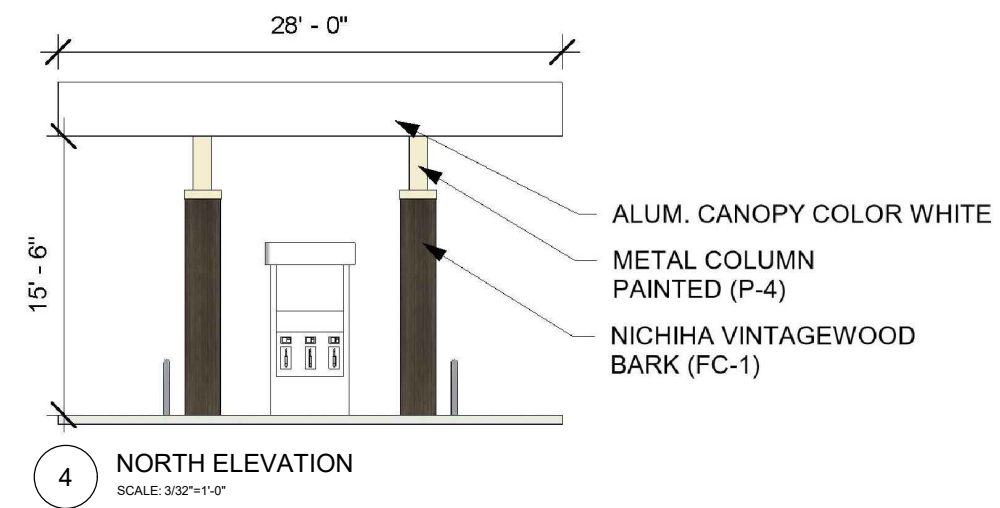
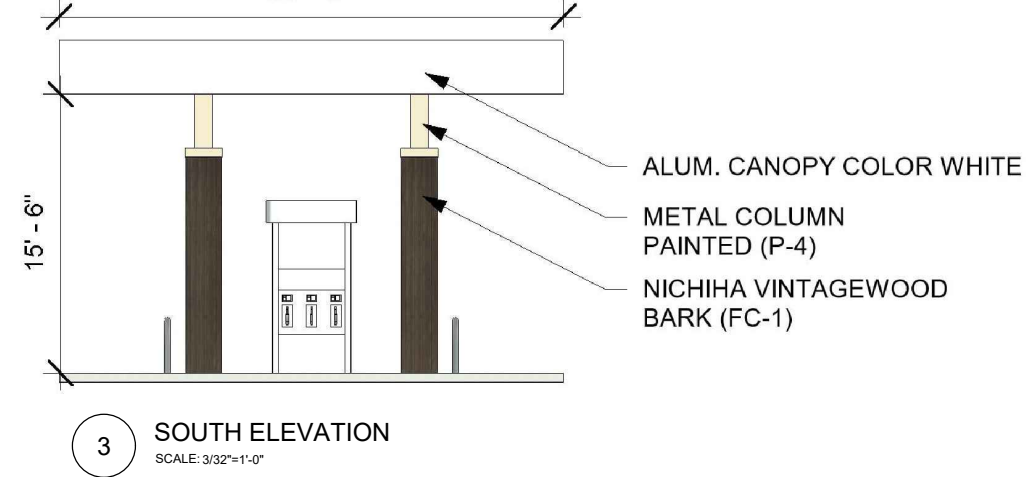
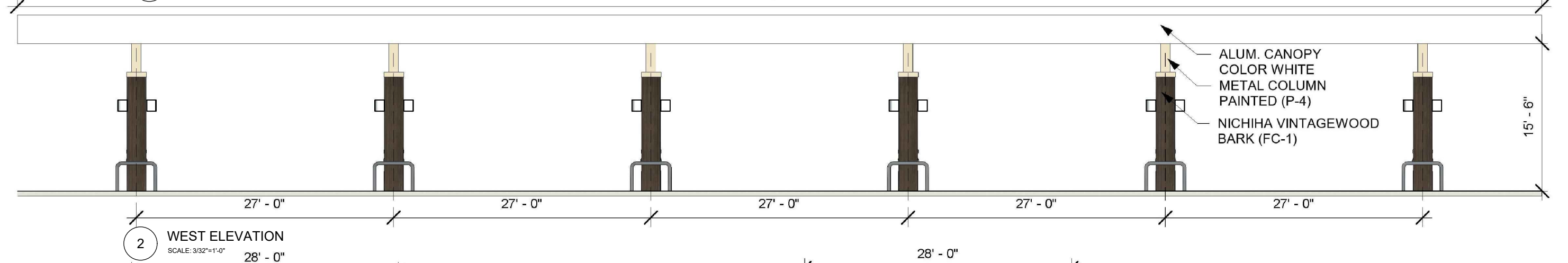
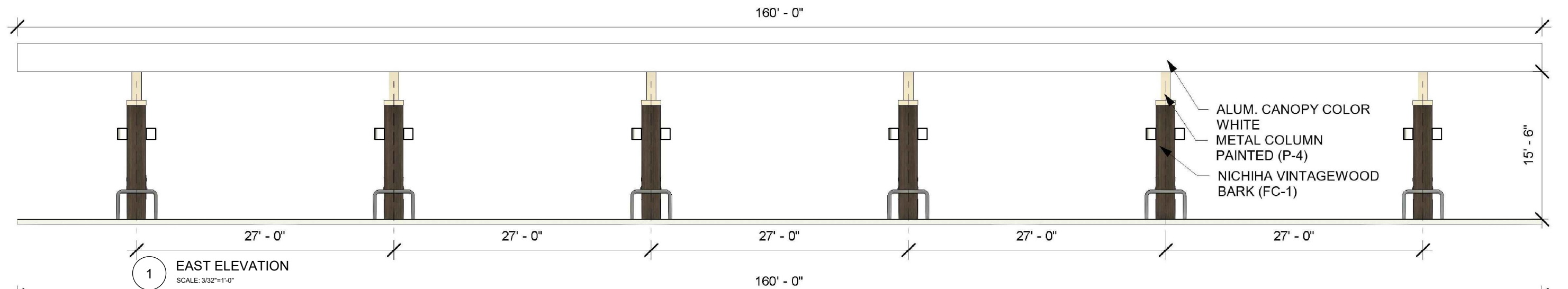
MATERIAL AND FACADE CALCULATION TABLE				
MATERIAL	EIFS	CORRUGATED METAL	GLAZING	FIBER CEMENT PANEL
AREA (%)	1,307 SF (42%)	851 SF (28%)	480 SF (15%)	478 SF (15%)
TOTAL ELEVATION AREA: 3,116 SF				

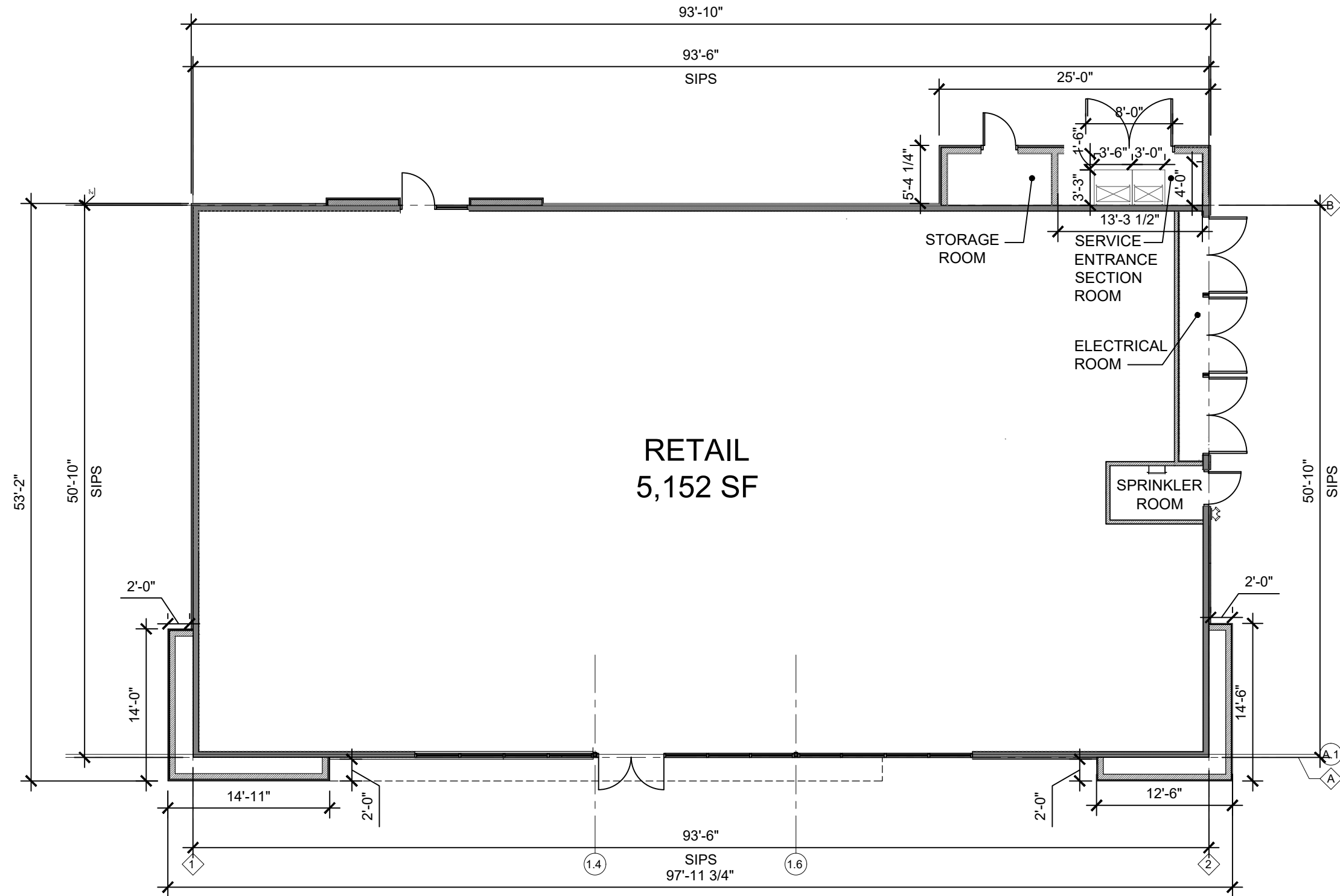


PERSPECTIVE VIEW FOR REFERENCE ONLY

EXTERIOR MATERIALS SCHEDULE

CODE	DESCRIPTION	COLOR	MFR.
EIFS			
EIFS-1	EIFS	104 DOVER SKY	DRYVIT
EIFS-2	EIFS	101 SUPER WHITE	DRYVIT
EIFS-3	EIFS	105 SUEDE	DRYVIT
FIBER CEMENT PANEL			
FC-1	FIBER CEMENT PANELS - VINTAGEWOOD	BARK	NICHIHA
METAL			
MT-1	EXPOSED FASTENER CORRUGATED METAL PANEL	GRAPHITE	PAC-CLAD
MT-2	PRE-FINISHED METAL COPING & COMPRESSION EDGE	CLEAR ANODIZED	DURO-LAST
MT-3	PRE-FINISHED ALUMINUM CANOPY	CLEAR ANODIZED	MAPES CANOPIES
ROOFING			
MR-1	MEMBRANE ROOFING SYSTEM	WHITE	DURO-LAST
STOREFRONT			
S-1	ALUMINUM STOREFRONT FRAMING	CLEAR ANODIZED	KAWNEER
EXTERIOR PAINT			
P-1	EXTERIOR UTILITIES, EXTERIOR HM DOORS & FRAMES	SW 7025 BACKDROP	SHERWIN WILLIAMS
P-2	HM DOOR	SW PEPPERCORN 7674	SHERWIN WILLIAMS



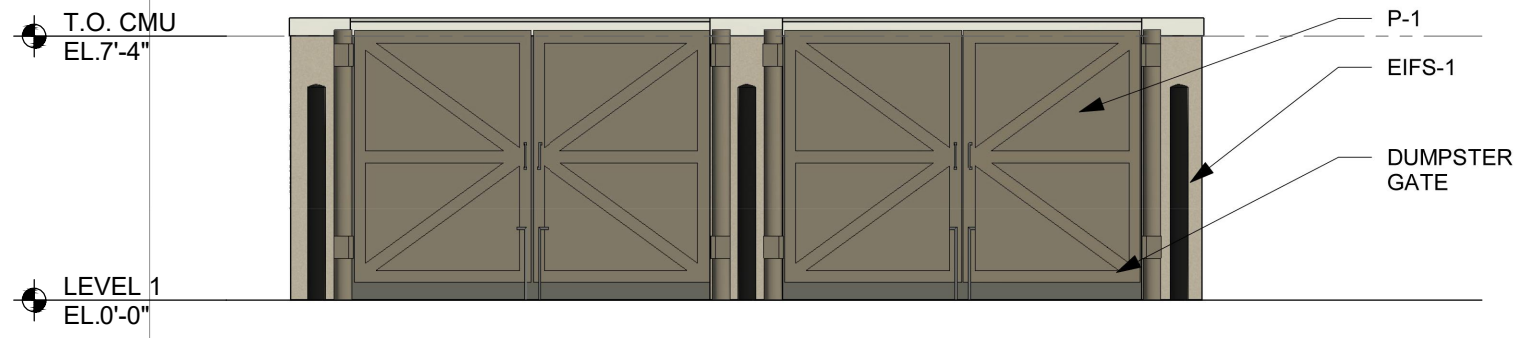


1

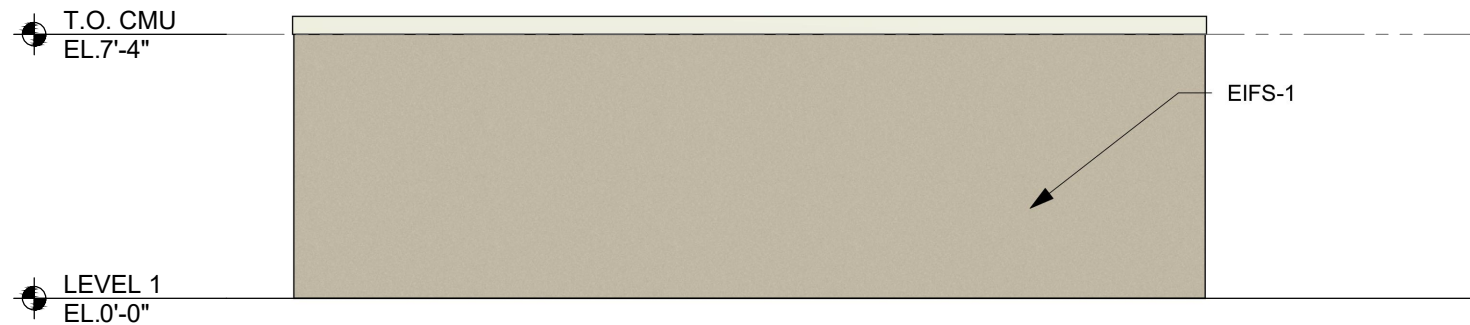
FLOOR PLAN
SCALE: 3/32"=1'-0"

BUMPOUT CALCULATION TABLE			
ELEVATION	TOTAL LENGTH	BUMPOUT LENGTH	BUMPOUT WIDTH
EAST	97'-11 3/4"	24'-7" (25%)	2'-0"
WEST	93'-10"	25'-0" (26%)	5'-4 1/4"
SOUTH	53'-2"	14'-0" (26%)	2'-0"
NORTH	58'-6"	14'-6" (25%)	2'-0"

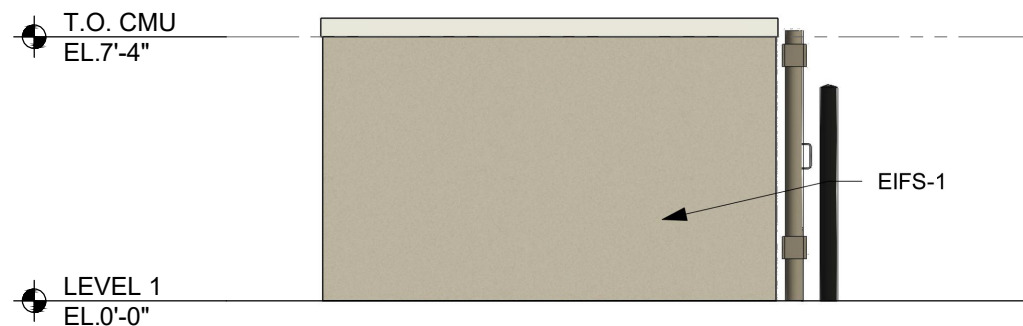
04/15/26



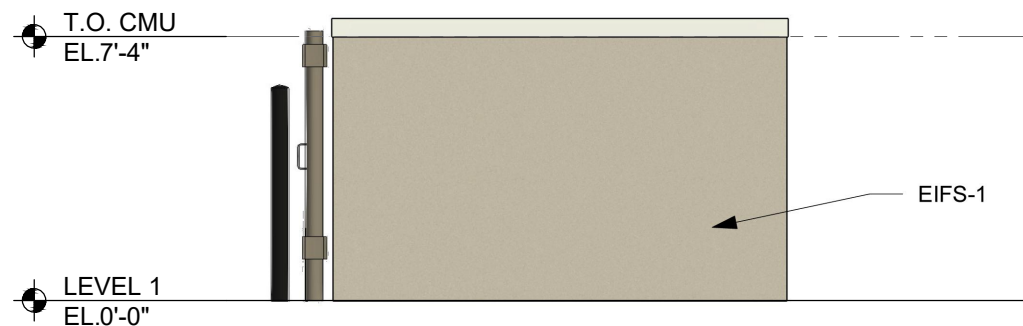
1 FRONT ELEVATION
SCALE: 3/16"=1'-0"



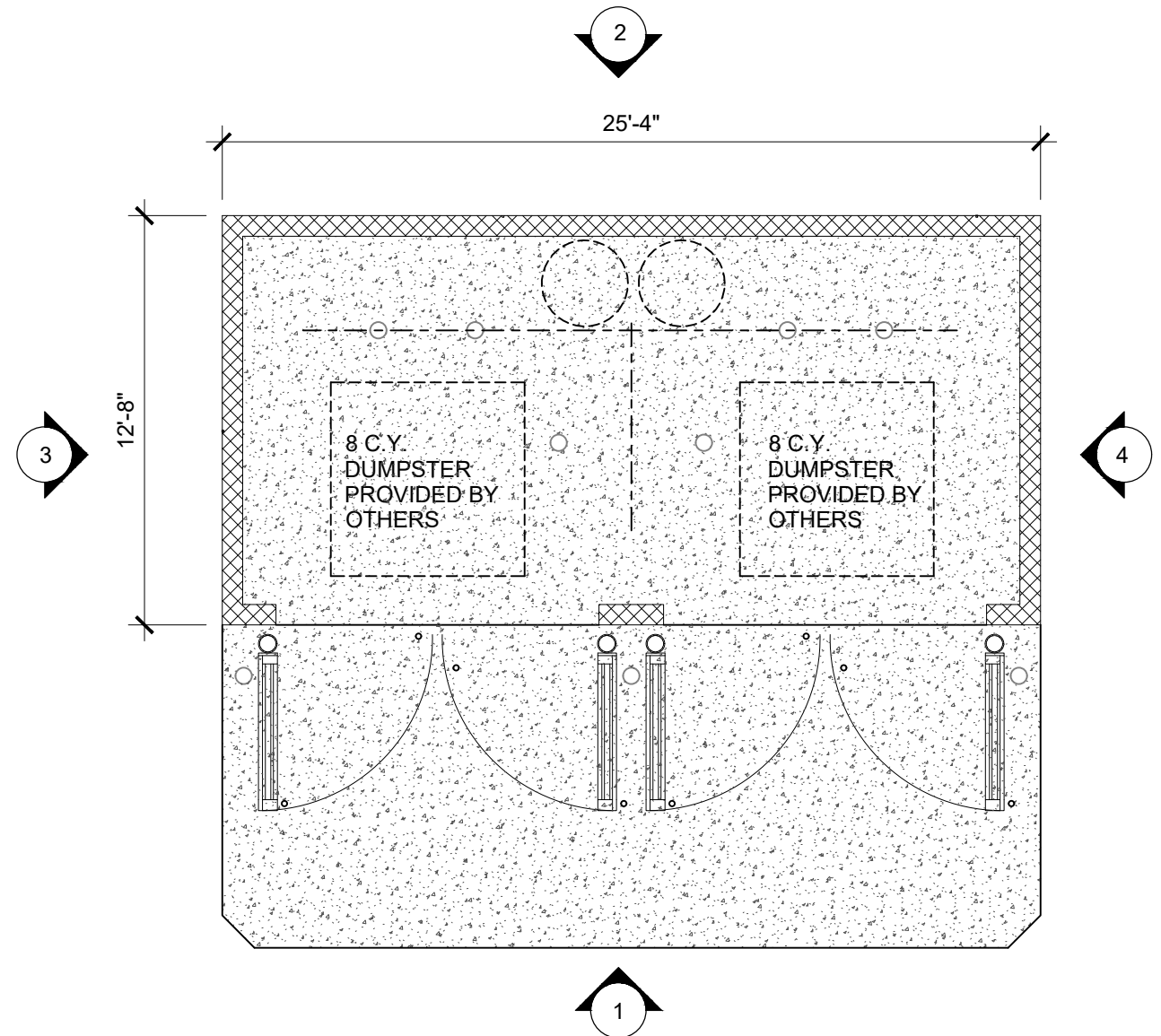
2 REAR ELEVATION
SCALE: 3/16"=1'-0"



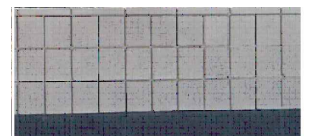
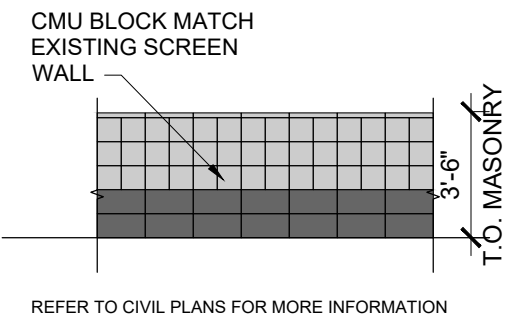
3 SIDE ELEVATION
SCALE: 3/16"=1'-0"



4 SIDE ELEVATION
SCALE: 3/16"=1'-0"

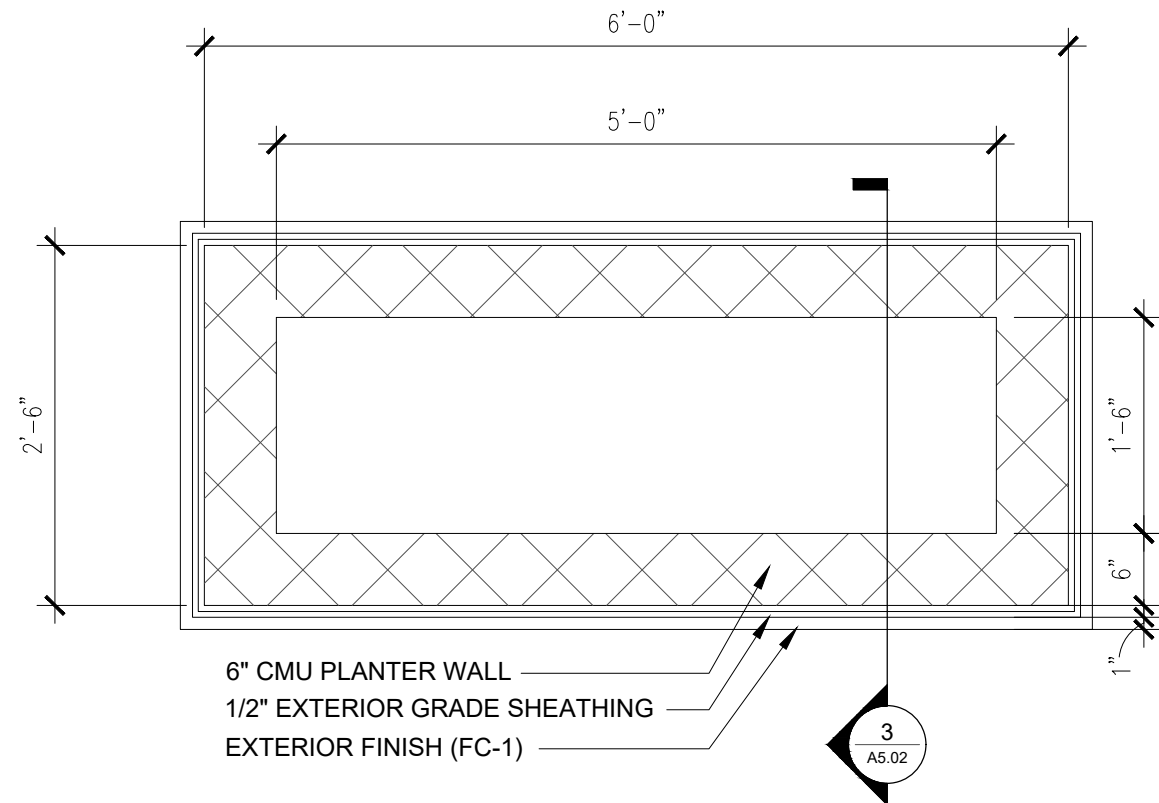


5 TRASH ENCLOSURE PLAN
SCALE: 3/16"=1'-0"

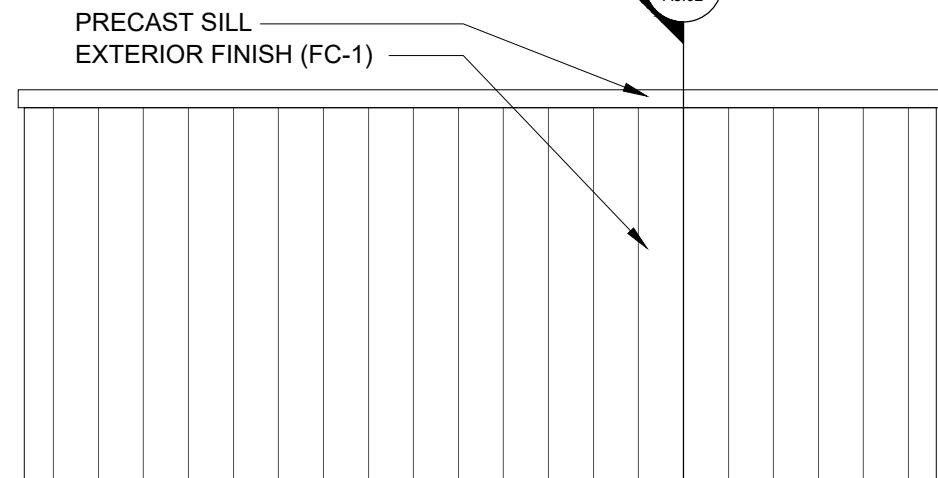


REFERENCE IMAGE

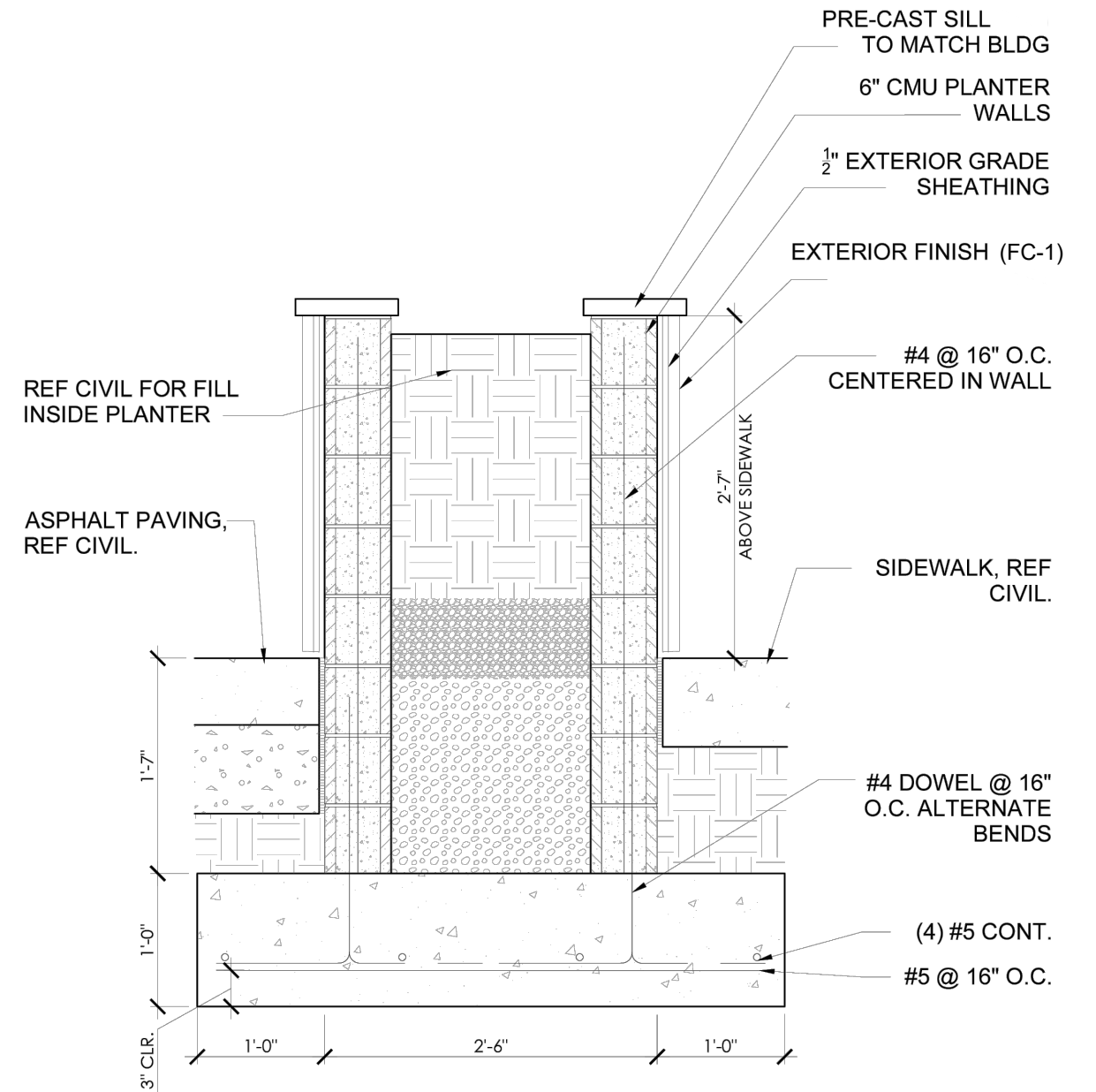
6 PARKING LOT SCREEN WALL ELEVATION TYP.
SCALE: 3/16"=1'-0"



1 PLANTER PLAN
SCALE: 3/4"=1'-0"



1 PLANTER PLAN
SCALE: 3/4"=1'-0"



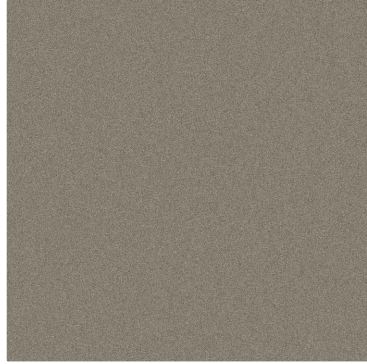
3 PLANTER DETAIL
SCALE: 3/4"=1'-0"



EIFS-1
104 DOVER SKY
BY DRYVIT



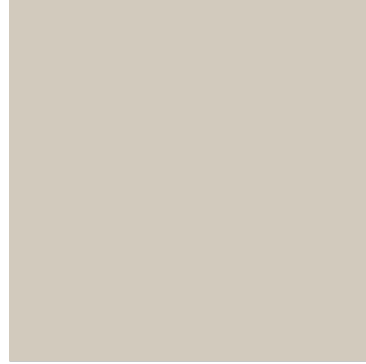
EIFS-2
101 SUPER
WHITE



EIFS-3
105 SUEDE



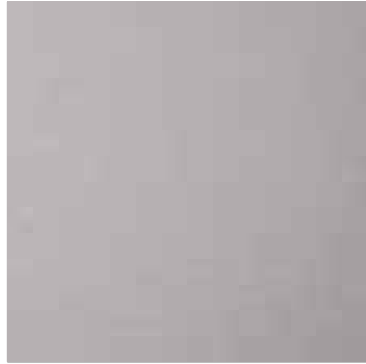
FC-1
VINTAGEWOOD
BARK BY
NICHIHA



CMU-1
PAINT TO MATCH
SW 7023 REQUISITE
GRAY BY SHERWIN
WILLIAMS



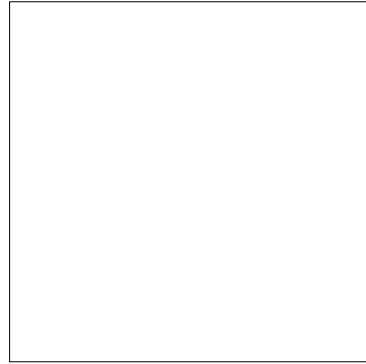
MT-1
GRAPHITE (PRE
FINISHED) BY
PAC-CLAD



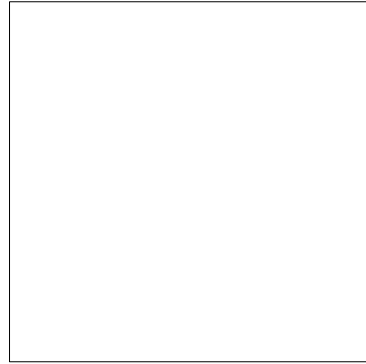
MT-2
CLEAR ANODIZED
(PRE FINISHED) BY
PAC CLAD



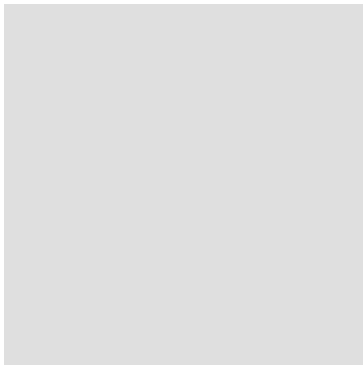
MT-3
CLEAR ANODIZED (PRE
FINISHED) BY MAPES
ARCHITECTURAL CANOPIES



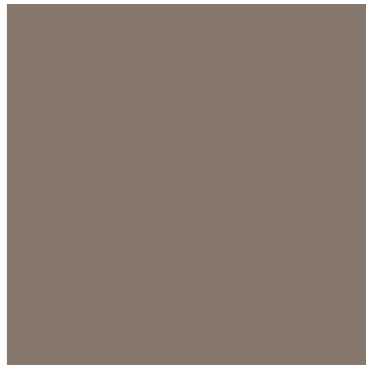
MT-4
MATTE WHITE
(PRE FINISHED)
BY NORTHCLAD



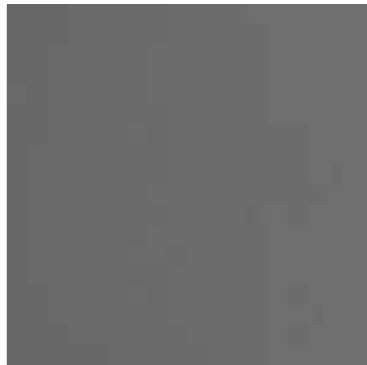
MR-1
WHITE BY
DUROLAST



S-1
#14 CLEAR ANODIZED
(PRE FINISHED) BY
KAWNEER



P-1
SW 7025
BACKDROP BY
SHERWIN WILLIAMS



P-2
SW 7674 PEPPERCORN
BY SHERWIN
WILLIAMS



P-3
6989 DOMINO
BY SHERWIN
WILLIAMS



P-4
SW 6141 SOFTER TAN
BY SHERWIN
WILLIAMS