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CORTEZ CITY COUNCIL
REGULAR MEETING
TUESDAY, OCTOBER 25, 2022
7:30 P.M.

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL, APPROVAL OF AGENDA.
2. CONSENT AGENDA

The listing under "Consent Agenda" is a group of items to be acted on with a single motion and vote. This agenda is designed to expedite the handling of limited routine matters by City Council. Either the public or a Councilmember may request that an item may be removed from the Consent Agenda at that time, prior to Council's vote. The Mayor will ask if a citizen or Councilmember wishes to have any specific item removed from the Consent Agenda for discussion.

- a. Approval of the Council Worksession and Agenda Minutes for October 11, 2022.
 - b. Approval of the Expenditure List for October 25, 2022
 - c. Approval of a renewal Brew Pub Liquor License for Four Corners Brewing LLC, DBA Main Street Brewery & Restaurant, located at 21 East Main Street, Cortez.
3. PUBLIC PARTICIPATION

There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes.

(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)

4. PRESENTATIONS
 - a. The MCHS Girls and Boys Golf Team will be presented a donation contributed by City employees during their Annual Golf Tournament.
 - b. Greenlight A Vet Proclamation
Presenter: Drew Sanders, City Manager
 - c. August 2022 Financial Statements, presented by Kelly Koskie, Director of Finance

5. PUBLIC HEARINGS

a. Ordinance No. 1311, Series 2022

A possible motion would be: "I move to approve on second reading Ordinance No. 1311, Series 2022, Affordable Housing (Density) an Ordinance amending the City of Cortez Land Use Code, Sections 2.02, Definitions, 3.06 Residential area regulations, 3.09 R-2 Residential Multi-family District, 3.10 MH, Residential Manufactured Home District, and NB, Neighborhood Business District, to create definitions for affordable and workforce housing and increase density in the R-2, MH, and NB Zones for affordable and workforce housing."

Presenter: Contract City Planner Nancy Dosdall

b. Resolution No. 23, Series 2022

A possible motion would be: "I move to approve Resolution No. 23, Series 2022, approving an application for a conditional use permit and site development plan for a 3,537 sq ft car wash (Champion Xpress) to be located at 699 Canyon Dr. and 313 S. Broadway, zoned (C) Commercial Highway."

Presenter: Contract City Planner Nancy Dosdall

c. Resolution No. 29, Series 2022

A possible motion would be: "I move to approve Resolution No. 29, Series 2022, Staton Jeter CUP, a Resolution approving a Conditional Use Permit and Plat Amendment for a Garage/Shop accessory to a Single Family Residence at 820 N. Dolores Rd., Located in the Residential Single Family (R1) Zoning District."

Presenter: Contract City Planner Nancy Dosdall

6. UNFINISHED BUSINESS

a. Ordinance No. 1303, Series 2022

A possible motion would be: "I move to approve on first reading Ordinance 1303, Series 2022, an Ordinance amending the City Land Use Code, Section 3.05 - Use Regulations Regarding Dwelling, Accessory Unit - ADU, and set for Public Hearing on November 23, 2022."

Presenter: Contract City Planner Nancy Dosdall

7. NEW BUSINESS

a. Ordinance No. 1313, Series 2022, Approval of the 2023 Budget

Council will consider approving on first reading Ordinance No. 1313, Series 2022, the appropriations and Budget for the 2023 calendar year, and set for second reading and public hearing on November 8, 2022.

Presenter: Kelly Koskie, Finance Director

b. Bid Results on Rehabilitation of the City's 2-MG Drinking Water Storage Tank #3

A possible motion would be: "I move that Council award WBS Coatings the bid in the amount of \$715,646 for the Tank #3 Rehabilitation Project".

Presenter: Brian K. Peckins, Director of Public Works

8. DRAFT RESOLUTION/ORDINANCES
9. CITY ATTORNEY'S REPORT
10. CITY MANAGER'S REPORT
11. CITY COUNCIL COMMITTEE REPORTS
 - a. Mayor's Report on Workshop
 - b. Other Board Reports
12. OTHER ITEMS OF BUSINESS
 - a. Executive Session as needed.
13. PUBLIC PARTICIPATION

There is no limit to the number of speakers and no overall time limit.
(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)
14. ADJOURNMENT

PURSUANT TO RESOLUTION 11, SERIES 2022, PUBLIC COMMENT:

--Individuals may comment regarding items on the Council agenda or any other topic they wish to address the City Council about, including items discussed in a previous Council Workshop. Those wishing to comment must register by completing an "Intent to Speak" card (located outside of the Council chambers). Completed cards will be collected at the start of the meeting and delivered to the Mayor, who will call each speaker to the podium at the appropriate time. Comments specific to agenda items scheduled for public hearings should be reserved and delivered during the public hearing session.

--Courtesy, civility, and respect for others is expected. All comments should be addressed directly to the Council. Commenters who are called upon by the Mayor to speak are the only persons allowed to speak during the allotted time. Comments, or other distractions from the audience intended for commenters or others are not permitted. The Mayor, as the chairperson for the meeting, retains the discretion to deviate from the formats described below.

--There are two general opportunities for citizens to address the Council:

For the first opportunity (which will occur toward the start of the meeting) there is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes so City business may proceed. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

For the second opportunity (which will occur toward the end of the meeting) there is no limit to the number of speakers, and no overall time limit. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

--Other Opportunities to Participate

Citizens may also participate via email if addressed to councilcomments@cortezco.gov. Comments received by 3:00pm the day of a Council meeting will be delivered to Council the same day and entered into the meeting minutes. Citizens may also send letters to the Council by addressing them to "City Council" 123 Roger Smith Ave., Cortez, CO 81321. In-person deliveries are also accepted.

MOTION TO GO INTO EXECUTIVE SESSION:

--For a conference with the City attorney for the purpose of receiving legal advice on specific legal questions under C.R.S. Section 24-6-402(4)(b);

--For the purpose of determining positions relative to matters that may be subject to negotiations, developing strategy for negotiations, and/or instructing negotiators under C.R.S. Section 24-6-402(4)(e);

--To discuss the purchase, acquisition, lease, transfer, or sale of real, personal, or other property interest under C.R.S. Section 24-6-402(4)(a)

--For discussion of a personnel matter under C.R.S. Section 24-6-402(4)(f) and not involving: any specific fire employees who have requested discussion of the matter in open session: any member of this body or any elected official: the appointment of any person to fill an office of this body or of an elected official: or personnel policies that do not require the discussion of matters personal to particular employees

--For discussion of a matter required to be kept confidential by the following federal or state law, or regulation: _____ under C.R.S. Section 24-6-402(4)(c)

--For discussion of specialized details of security arrangements or investigations under C.R.S. Section 24-6-402(4)(d)

--For consideration of documents protected by the mandatory nondisclosure provisions of the Open Records Act under C.R.S. Section 24-6-402(4)(g)

AND THE FOLLOWING ADDITIONAL DETAILS ARE PROVIDED:

(a brief description must be included following the statute citation regarding why the executive session is being held)



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 2. a.

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: Approval of the Council Worksession and Agenda Minutes for October 11, 2022.

Attachments

Workshop Minutes 10.11.2022

Council Minutes 10.11.2022

CITY COUNCIL
REGULAR WORKSHOP
TUESDAY, OCTOBER 11, 2022
6:00 p.m.

1. The Workshop was called to order at 6:01 p.m., at the City Council Chambers. Councilmembers present included Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Lydia DeHaven, Robert Dobry, Matt Keefauver, David Rainey, and Dennis Spruell. Staff members present included Assistant Chief of Police Andy Brock, Finance Director Kelly Koskie, Community and Economic Development Director Rachael Marchbanks, Contract City Planner Nancy Dosdall, IT Technician Kyle Kuhn, Deputy City Clerk Donna Murphy, City Clerk Linda Smith, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were zero people present in the audience.

2. A discussion was held by Council on amending the City of Cortez Land Use Code, Section 3.05- Use Regulations regarding Dwelling- Accessory Unit- ADU. Contract City Planner Dosdall brought to Council three documents for Council review: an amendment to Ordinance 1303, Series 2022 (which was tabled at the September 27th Council meeting), a document showing current regulations and proposed regulation, and the City of Alamosa's ADU regulations. Conversation was held regarding zoning, size of dwelling, that the ADU must be located on a parcel with a single family dwelling and which one of the two units must be owner occupied, long term vs. short term rental options, parking spaces, must meet all construction standards of the city, and have adequate sewer and water services. Council requested that the ordinance be brought to Council for first reading on October 25, 2022 with second and final reading being set for November 23, 2022 allowing a 30-day timeframe for public comment on the topic. City Manager Sanders stated that public comment on the subject will be taken by phone, email, and written correspondence. The City will also add the topic for public discussion to ClearGov site that can be accessed on the City of Cortez website.

3. General Discussion: Mayor Medina would like to start the discussion on Short Term Rentals in a future workshop.

The regular workshop was adjourned at 6:39 p.m.

CITY COUNCIL
REGULAR MEETING
TUESDAY, OCTOBER 11, 2022

1. The meeting was called to order in the City Council Chambers at 7:30 p.m. with the Pledge of Allegiance. Roll Call was taken and the following Councilmembers were present: Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Lydia DeHaven, Robert Dobry, Matthew Keefauver, David Rainey, and Dennis Spruell. Staff present included Director of Public Works Brian Peckins, Assistant Chief of Police Andy Brock, Parks and Recreation Director Creighton Wright, IT Technician Kyle Kuhn, Director of General Services Rick Smith, Director of Finance Kelly Koskie, Airport Manager Jeremy Patton, Contract City Planner Nancy Dosdall, Community and Economic Development Director Rachael Marchbanks, Deputy City Clerk Donna Murphy, City Clerk Linda Smith, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were 11 people present in the audience.

Councilmember Keefauver moved that the agenda be approved. Mayor Pro-tem Yazzie seconded the motion and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

2. The Consent Agenda items acted upon by Council were as follows:
 - a. Approval of the Minutes of the Worksession and Regular Council Meeting held on September 27, 2022.
 - b. Approval of the Expenditure List for October 11, 2022.
 - c. Approval of a Retail Marijuana Cultivation Facility for THA Corporation, DBA The Herbal Alternative, located at 10194 Highway 491, Cortez.
 - d. Approval of a renewal Tavern Liquor License for Purple Sage Rib Co. & Saloon LLC, DBA Purple Sage Rib Co., located at 2591 East Main Street, Cortez.
 - e. Approval of a renewal Beer and Wine Liquor License for Jodi Jahrling, DBA Zu Gallery, located at 48 West Main Street, Cortez.
 - f. Approval of a Change in Premise application for Blondies Trophy Room, LLC, DBA Blondies Trophy Room, located at 45 East Main Street, Cortez.

Councilmember Rainey moved that the Consent Agenda be approved as presented. Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

3. CITIZEN PARTICIPATION - None

4. PRESENTATIONS

a. The presentation to the MCHS Boys and Girls Golf Teams was postponed until a later date.

b. City Manager Drew Sanders gave a presentation to Council regarding the current city debt position and possible debt retirement. Manager Sanders spoke about the City having five loans with an aggregate outstanding balance of \$3,653,557 by the end of FY2022. He spoke about the retired debt of the Recreation Center in 2021 and one small loan that will retire in 2022. He stated the city's outstanding loans are for water related projects and are being serviced by the Water Enterprise and Hydroelectric Enterprise Funds. Manager Sanders also stated that the total debt service for FY2023 is \$407,427 of which \$193,215 is interest. Manager Sanders stated that there were concerns on 2 of the 5 outstanding loans. The oldest loan, originating in 1986, has the highest interest rate and the highest principal loan balance, currently \$2,684,581 and during the last 36 years the city has paid of \$9 million in interest and there is 24 years remaining on the term of the loan. The other loan of concern is the Hydroelectric Enterprise which is no longer generating enough revenue to service the debt balance, currently \$449,189, and has a projected deficit of -\$54,549 in FY2023. Manager Sanders proposed a plan to Council appropriating funding as part of the FY2023 budget to retire city debt. Monies from the General Fund would be used to appropriate \$3,700,000 to retire all City debt. The Water Enterprise and Hydroelectric Enterprise would reimburse the General Fund in an amount that is less than or equal to the existing annual debt service, thereby eliminating debt service payments to third party creditors. Manager Sanders asked Council to consider decommissioning the Hydro Plant to avoid ongoing repairs. He spoke about the risks and consequences of retiring the debt and noted that the Water Enterprise and Hydroelectric Power Enterprise would lose their status under Colorado Law and potential unforeseen circumstances/Acts of God. He stated the options for Council to consider would include: do nothing and stay the current course, pay additional principal year over year as resources allow, or retire the debt in a single year. Council asked several questions regarding the loan repayment, parting out the Hydro Electro Plant, and it was noted that the interest being paid on current loans is an injustice to the taxpayers.

5. PUBLIC HEARINGS

a. Ordinance No. 1312, Series 2022. Airport Manager Patton spoke on Ordinance No. 1312, Series 2022, which was presented to Council on second and final reading, which authorizes and approves an amendment to a ground lease with Classic Air Medical for construction of an aircraft hangar at the Cortez Municipal Airport. He stated that Classic Air Medical signed a lease agreement under Ordinance No. 1301, Series 2022 on June 14, 2022, and since then the architectural firm has re-evaluated the area needed for a septic system and leech field to accommodate future crew quarters. Therefore, Classic Air has requested a new property line. Their facility will house a medical crew for a fixed-wing air ambulance that will provide EMS and interfacility transfers. Airport Manager Patton stated that after review with both parties' on-call engineering, it has been determined that the proposed leech area is the most practical location. He stated that the new rate for the additional leased area will be applied beginning in January 2023 as the hangar construction will continue into the new year. The fees for 2023 will be determined by the CPI (Consumer Price Index) rates.

Discussion was held on the number of people that Classic Air Medical employed.

Mayor Medina opened the public hearing however; no public comments were made and the hearing was closed.

Councilmember Dobry moved that Council approve on final reading Ordinance No. 1312, Series 2022, an ordinance authorizing and approving an amendment to a ground lease with Classic Air Medical for construction of an aircraft hangar at the Cortez Municipal Airport. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS

a. Bid award for 2022 Jury Room Addition. Director of General Services Smith stated that one bid was received for the 2022 Jury Room Addition from WCA Construction LLC, at the bid amount of \$181,250.00. Discussion was held regarding the solicitation of bids. Director Smith stated they advertised on Bid.Net and contact was made with a local business regarding local commercial contractors of which three were emailed and only one showed up for the pre-bid. Mayor Pro-tem Yazzie asked why people are not bidding and Director Smith stated his theory is that the job was too small of a project and there is not a lot of commercial builders in the area. Council also asked why the bid came in higher than the budget and why we do the construction in phases. Director Smith noted the increased cost of building materials as the reason and there is not funding available to do a full build out at one time.

Mayor Pro-tem Yazzie made the motion to award the 2022 Jury Room Addition to WCA Construction LLC at the bid amount of \$181,250.00. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

b. Ordinance No. 1305, Series 2022. Contract City Planner Nancy Dosdall spoke about Ordinance No. 1305, Series 2022, which is presented on first reading, amending the City of Cortez Land Use Code, Section 3.05, Food Truck/Mobile Vendor. She stated that discussion on this topic has been held for a few months including a Council work session and discussion with the Planning and Zoning Commission. She stated that food trucks are generally allowed everywhere in the city with the exception of the Central Business District (CBD). She stated there has been public outreach on this topic and the city received 372 responses online and at a public event where food trucks were present. She feels like the public is supportive of having food trucks and allowing them in the CBD with very limited regulations. The city initiated this after a request from the Farmer's Market who wanted to have food trucks at their event. Research was conducted on other communities' restrictions and regulations which she shared with Council. She stated that direct outreach was sent

to downtown business owners asking them if they would be okay with food trucks. The main concern was food trucks being set up in front of a business. She stated that a compromise meeting the public's desire for downtown food trucks but protecting the businesses was made and the recommendation of the Planning and Zoning Commission would be to amend Section 3.05 of the Land Use Code to 1) Allow food trucks at a temporary special event, such as the Farmer's Market or 3rd Thursdays, as long as they are not parked in a public right-of-way and 2) Allow a conditional use process that would allow a vendor to be in a site for up to 90 days. Contract City Planner. Dosdall reminded Council about the conditional use process stating that it is about a 3-month process where neighbors are notified and would go to the Planning and Zoning Commission and Council as public hearings. This would more likely be if setting up a food truck court. Council discussion included questions on public outreach, concern about right-of-way and parking, conditional use, permit fees, current requirements, and restroom facilities. Council would like this topic to go to a workshop for further discussion.

Councilmember Keefauver made the motion to table Ordinance 1305, Series 2022, an ordinance amending the City of Cortez Land Use Code Section 3.05, Food Truck/Mobile Vendor, and set for a discussion in a work session on October 25, 2022. Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

c. Ordinance No. 1311, Series 2022. Contract City Planner Nancy Dosdall spoke on Ordinance No. 1311, Series 2022, which is presented on first reading, amending the City of Cortez Land Use Code Section 2.02, Definitions, 3.06, 3.09, 3.10, and 3.14, to create definitions and increase density in the zones for Affordable and Workforce Housing. She stated the request to amend this ordinance came about when an affordable housing provider came to speak with staff about building affordable housing but could not provide an affordable rate at the existing code density. She stated that staff had the concern that the minimum of 3,000 square feet per multi-family dwelling unit is a fairly low density. She spoke about by adding new definitions for Affordable Housing and Workforce Housing and adding a density bonus if someone is going to provide deed restricted affordable housing. She stated that DOLA recommendations were used to determine the new definitions and read them to Council. She stated that they proposed three new density categories in the R-2, residential multi family district, MH, residential manufactured home district, and the NB, neighborhood business district that allow multi-family developments. Also added is a new category allowing 2000 square feet for affordable and workforce housing, where affordable and workforce housing projects are mixed with market rate projects the density will be pro-rated based on the percent of affordable versus market units. Council discussion included consequences of the change, other ways to incentivize building, the number of housing projects in the last 10 years in the city and county, management costs for the city, and the concern of creating a city housing authority. Councilmember DeHaven made the motion to approve on first reading Ordinance 1311, Series 2022, an ordinance amending the City of Cortez Land Use Code Section 2.02, Definitions, 3.06, 3.09, 3.10, and 3.14, to create definitions and increase density in zones for Affordable and Workforce Housing, and set for public hearing on October 25, 2022. Councilmember Keefauver seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

8. DRAFT RESOLUTION/ORDINANCES – None.

9. CITY ATTORNEY’S REPORT

City Attorney Coleman announce that he had attended a seminar in Montrose concerning building and infrastructure security, sponsored by CIRSA. He stated it was a very enlightening discussion that he will share with the City Manager and General Services Director the tips and pointers that are being recommended. He stated these are common sense items that would not cost the city too much money.

10. CITY MANAGER’S REPORT

a. Community Support Grants. The application period closes this Friday, October 14, 2022 at 5:00pm. Anyone still wishing to apply can find the application on the City website by typing “Community Grant Form” in the search bar. A meeting for the selection committee is scheduled to occur on October 20, 2022, with final recommendations to be presented to Council on November 22, 2022.

b. Montezuma Park. We have had an unfortunate and ongoing problem occurring in Montezuma Park that has caused us to take some significant action. A group of homeless or displaced individuals decided to take almost literal possession of the park, especially at the bandstand. Some of these individuals began to exhibit some repeated aggressive behavior toward park visitors, nearby business patrons and employees, which ultimately resulted in generating fear in the neighborhood. It also resulted in neighborhood avoidance of the park which is contrary to our goals and mission. There was at least one event where an individual exhibited brazen harassing behavior toward a group who had reserved the bandstand for an event. Additionally, this began to become a public health issue in that human waste was being found in the alley next to the park and behind the adjacent business. As a result of all this the decision was made to close the bandstand and install a temporary fence around it. Even so, the bandstand is still available to rent for a nominal fee, and reservations can be made by calling the Parks and Recreation Department. Park staff will remove the fencing to accommodate reservations as needed. The Chief of Police, Director of Parks and Recreation, and I have all been monitoring this problem since the fencing was installed and it appears the problem is improving. We have a follow up meeting with some local residents in a week or so to obtain additional perspectives and feedback.

11. CITY COUNCIL COMMITTEE REPORTS

a. Mayor’s Report on Workshop. Mayor Medina stated that during the work session discussion was had on Accessory Dwelling Units- ADUs and this item will be brought to next Council for first reading on October 25, 2022 and set for second reading and public hearing on November 22nd to give the public approximately 30 days to comment on the topic. Mayor Medina announced she will not be attending the meeting on October 25, 2022 as she will be out of town and Mayor Pro-tem Yazzie will take her place.

b. Historic Preservation Board- Councilmember Dobry attended the meeting last week and they

swore in two new members, Rachel Weaver and Darren Uptain. They also discussed the upcoming survey of 17 car culture properties in the city.

c. Golf Advisory Board. Councilmember Spruell stated he met with the committee and there was a walk around the golf course and they would like to replace three trees and make one pond out of three. He stated it would not cost too much money and that the golf course has made more money this year than previous years.

d. Public Arts Committee. Councilmember Rainey attended the meeting for the Public Arts Committee and are continuing to explore exciting issues that will enhance their position with creating the proposed Creative District.

e. Other Announcements. SWOS government class will be at City Hall on November 7th to meet with members of Council so they can discuss issues they see in the City of Cortez and also give Council an opportunity to share with them some of their experiences they have had in local government. The Calkins Commons dedication and ribbon cutting will be held on October 15, 2022 and the Heritage Museum will have their ribbon cutting and opening on October 22, 2022.

12. OTHER ITEMS OF BUSINESS – Executive Session began at 8:45 p.m.

Councilmember Dobry made the motion to adjourn to Executive Session for discussion of a personnel matter under C.R.S. Section 24-6-402(4)(f)(I) and not involving: any specific employees who requested discussion of the matter in open session; any member of this body or elected official; the appointment of any person to fill an office of this body or of an elected official; or personnel policies that do not require the discussion of matters personal to particular employees. Councilmember Mayor pro-tem Yazzie seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

Council returned from Executive Session at 9:36 p.m. Participants in the Executive Session included City Manager Sanders, City Attorney Coleman, Mayor Medina, Councilmember DeHaven, Councilmember Dobry, Councilmember Keefauver, Councilmember Rainey, and Councilmember Spruell. No adoption of any policy, position, resolution, rule, regulations, or other formal action occurred during Executive Session.

13. PUBLIC PARTICIPATION- None

14. ADJOURNMENT: Councilmember Dobry moved that the regular meeting be adjourned at 9:36 p.m. Council Member DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

ATTEST:

Rachel B. Medina, Mayor

Donna Murphy, Deputy City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 2. b.

MEMO TO: Honorable Mayor and City Council

FROM: Sara Coffey, Finance Assistant/Deputy City Clerk

SUBJECT: Approval of the Expenditure List for October 25, 2022

Attachments

Expenditure List

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 14, 2022

Department	Vendor Name	Description	Amount
City Council	MESA VERDE COUNTRY V.I.B.	Annual Tourism Contract - Paid Quarterly	\$ 42,500.00
		Total	\$ 42,500.00
Municipal Court	PADILLA LAW P.C.	MUNICIPAL COURT PROFESSIONAL SERVICES	\$ 128.00
	PADILLA LAW P.C.	MUNICIPAL COURT JUDGE	\$ 1,549.58
	MICHAEL WANGER	Fill-in Judge Services - Docket for 09-12-2022	\$ 200.00
	COLORADO MUNICIPAL JUDGES	CAMCA/MAPO CONFERENCE	\$ 100.00
	COLORADO MUNICIPAL JUDGES	CONFERENCE REGISTRATION AND DUES	\$ 235.00
	STAPLES ADVANTAGE	HP CF401A Print Cartridge, Cyan	\$ 71.05
	STAPLES ADVANTAGE	HP CF400A Print Cartridge, Black	\$ 180.69
		Total	\$ 2,464.32
city Manager	SAMBA HOLDINGS, INC.	USAGE	\$ 126.56
	CLUB 20	2023 DUES	\$ 600.00
		Total	\$ 726.56
Finance	POSTAL PROS, INC.	INVOICES	\$ 502.80
		Total	\$ 502.80
City Clerk	STAPLES ADVANTAGE	538363 Avery Rotary Cards, White, 150/box	\$ 11.20
	STAPLES ADVANTAGE	799825 Staples 2-Hole Punch, Black	\$ 11.46
	STAPLES ADVANTAGE	1847331 HP26A Print Cartridge CF226A - Black	\$ 101.98
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 10.92
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 14.04
		Total	\$ 149.60
Events	OBE'S ANGELS RESCUE	BEAUTIFICATION GRANT	\$ 202.85
	POSTAL PROS, INC.	THIRD THURSDAY INSERT	\$ 221.72
	POSTAL PROS, INC.	KEEP CORTEZ BEAUTIFUL INSERT	\$ 654.64
	ZU GALLERY	MEETING SPACE/PRINTS WITH FOLDER/2 STAFF	\$ 575.00
		Total	\$ 1,654.21
Library	INGRAM LIBRARY SERVICES	BOOKS	\$ 8.99
	INGRAM LIBRARY SERVICES	BOOKS	\$ 10.99
	INGRAM LIBRARY SERVICES	BOOKS	\$ 11.74
	INGRAM LIBRARY SERVICES	BOOKS	\$ 15.60
	INGRAM LIBRARY SERVICES	BOOKS	\$ 16.69
	INGRAM LIBRARY SERVICES	BOOKS	\$ 16.69
	INGRAM LIBRARY SERVICES	BOOKS	\$ 16.69
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.22
	INGRAM LIBRARY SERVICES	BOOKS	\$ 32.95
	INGRAM LIBRARY SERVICES	BOOKS	\$ 64.59
	INGRAM LIBRARY SERVICES	BOOKS	\$ 73.07
	INGRAM LIBRARY SERVICES	BOOKS	\$ 133.55
	INGRAM LIBRARY SERVICES	BOOKS	\$ 390.14

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 14, 2022

Department	Vendor Name	Description	Amount
	INGRAM LIBRARY SERVICES	BOOKS	\$ 414.14
	INGRAM LIBRARY SERVICES	BOOKS	\$ 512.86
	BLACKSTONE PUBLISHING	AUDIO BOOKS	\$ 67.99
	USA TODAY - SUBSCRIBER	SUBSCRIPTION	\$ 34.00
		Total	\$ 1,837.90
City Hall Operations	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 27.30
	ORKIN LLC	PEST CONTROL SERVICES	\$ 141.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 1,439.47
	ATMOS ENERGY	GAS SERVICE	\$ 792.91
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 5.21
	CHOICE BUILDING SUPPLY	CREDIT MEMO	\$ (52.21)
	CHOICE BUILDING SUPPLY	CREDIT MEMO	\$ (17.99)
		Total	\$ 2,335.69
Welcome Center	ATMOS ENERGY	GAS SERVICE	\$ 31.48
	NICE ELECTRIC	Panel keys for Welcome Center	\$ 27.00
		Total	\$ 58.48
Police Department	VERIZON WIRELESS	PHONE	\$ 40.01
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 60.21
	GALL'S LLC	Rocky Alpha Force Zip Boot	\$ 130.68
	TAMI'S CREATIONS	Sew on patches/alterations to uniforms	\$ 370.00
	DAN'S REPAIR	2022 Ram 1500, Unit#403 Install grill guard, eme	\$ 820.00
	LORI OLIVER	REIMB PETTY CASH - TRAINING LUNCH - WOODM	\$ 30.00
	MONTEZUMA COUNTY SHERIFF	Jail contract - Blanket PO	\$ 6,300.00
	ATMOS ENERGY	GAS SERVICE	\$ 87.60
		Total	\$ 7,838.50
Animal Shelter	FOUR CORNERS M.A.S.H., LLC	SPAY	\$ 336.00
	ORKIN LLC	PEST CONTROL SERVICES	\$ 101.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 39.90
	CHOICE BUILDING SUPPLY	CREDIT MEMO	\$ (139.16)
		Total	\$ 337.74
Public Works	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 211.17
		Total	\$ 211.17
Outdoor Pool	RAINDROPS OF THE FOUR CORNERS	CHEMICALS	\$ 937.27
		Total	\$ 937.27
Golf Pro	ORKIN LLC	PEST CONTROL PRO SHOP	\$ 95.99
		Total	\$ 95.99
Golf Course Maint	LE PEW PORTA-JOHNS INC.	Fuel Surcharge - 20%	\$ 62.00

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 14, 2022

Department	Vendor Name	Description	Amount
	LE PEW PORTA-JOHNS INC.	Portolet Rental #13 Tee Monthly	\$ 310.00
	ATMOS ENERGY	GAS SERVICE	\$ 35.06
	AMAZON CAPITAL SERVICES	Arkwright Terry Washcloth Wiping Rags 50#	\$ 168.29
	FERGUSON WATERWORKS #1116	6 PVC S40 SxS Coupling"	\$ 19.66
	FERGUSON WATERWORKS #1116	6x4 PVC S40 SP x SLIP Bushing	\$ 20.39
	FERGUSON WATERWORKS #1116	6 Hymax Repair Coupling 6.42-7.68"	\$ 431.52
	ZORO TOOLS INC	8112 Jumbo Tissue, 3.3 x 700ft, 12 rolls/cs - GC	\$ 61.14
		Total	\$ 1,108.06
Parks	BRAVO CLEANING & RESTORATION	Blanket PO - Litter/Refuse Removal for Parks	\$ 3,904.00
	ATMOS ENERGY	GAS SERVICE	\$ 37.47
		Total	\$ 3,941.47
Planning & Building	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 15.60
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 62.37
		Total	\$ 77.97
Lodger's Tax	MESA VERDE COUNTRY V.I.B.	Annual Tourism Contract - Paid Quarterly	\$ 32,911.20
		Total	\$ 32,911.20
Shop	CONSERVANCY OIL COMPANY	Blanket PO - Lubrication Supplies	\$ 911.97
	FOUR STATES TIRE CO.	LT275/70R18 Tires, Mount and Balance - Unit 123	\$ 1,251.24
	CHOICE BUILDING SUPPLY	SPRAY PAINT	\$ 11.98
	CHOICE BUILDING SUPPLY	BAND SAW BLADE	\$ 25.99
	CHOICE BUILDING SUPPLY	Milwaukee Port-a-band Saw	\$ 314.78
	FOUR CORNERS WELDING & GAS SUPPLY	RG100 Rod container + Surcharge	\$ 8.90
	FOUR CORNERS WELDING & GAS SUPPLY	E7018 Electrodes, 1/8, 5#	\$ 17.25
	FOUR CORNERS WELDING & GAS SUPPLY	48-39-0530 Bandsaw blade, 24T + Surcharge	\$ 27.73
	INTERMOUNTAIN SWEEPER CO.	12962 (replaces 12929) Switch - Unit 998	\$ 160.52
	ROBERTS TRUCK CENTER	1839415C91 Oil Pressure Sensor Assembly - Unit	\$ 140.70
	STEVE KEETCH MOTORS, INC.	PLUG	\$ 8.61
	STEVE KEETCH MOTORS, INC.	CONNECTOR	\$ 24.21
	SENERGY PETROLEUM	86UL Gas for Parks	\$ 1,246.13
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 4969-1 Unleaded Gas	\$ 35.00
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 4969-2 Unleaded Gas	\$ 35.00
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 4969-3 Unleaded Gas	\$ 35.00
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 4969-4 Dyed Diesel	\$ 35.00
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 4969-5 Dyed Diesel	\$ 35.00
	SUPERIOR SERVICES, LLC	Blanket PO - Janitorial Services at Service Center	\$ 1,950.00
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 68.07
	CHOICE BUILDING SUPPLY	3 WIRE PLUB, 3 WIRE CONNECTOR	\$ 86.93
		Total	\$ 6,430.01
Technology	CENTURYLINK	PHONE SERVICE	\$ 3.12
		Total	\$ 3.12

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 14, 2022

Department	Vendor Name	Description	Amount
Airport	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 56.28
	CHOICE BUILDING SUPPLY	CABLE, BOLT HOOK, WIRE ROPE	\$ 52.24
	CHOICE BUILDING SUPPLY	FLOOR FASTSET	\$ 76.71
	CHOICE BUILDING SUPPLY	ZONE MARKERS	\$ 124.96
	SLAVENS TRUE VALUE	HINGE	\$ 31.84
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 14324-1 Jetfuel	\$ 35.00
	CDLE, DIV. OF OIL AND PUBLIC SAFETY	Storage Tank Registration - 14324-2 Avgas	\$ 35.00
		Total	\$ 412.03
Dispatch	SOUTHWEST COLORADO TV	Electrical usage - Caviness Site	\$ 1,323.07
		Total	\$ 1,323.07
Rec Center	STERICYCLE INC.	HAZARDOUS WASTE REMOVAL	\$ 397.44
	SLAVENS TRUE VALUE	MURIATIC ACID	\$ 107.44
	AMAZON CAPITAL SERVICES	SWEATERS	\$ 149.80
	AMAZON CAPITAL SERVICES	HALLOWEEN DECORATIONS	\$ 24.96
	AMERICAN RED CROSS	LIFEGUARDING COURSE	\$ 82.00
	RECREONICS, INC.	SWIM STATION	\$ 2,589.74
	SLAVENS TRUE VALUE	CLEANING SUPPLIES	\$ 101.08
	WESTERN PAPER DISTRIBUTORS	SURFACE PREP PAD	\$ 148.40
	WESTERN PAPER DISTRIBUTORS	CLEANING SUPPLIES	\$ 150.84
	XEROX CORPORATION	COPIER EXPENSE	\$ 320.15
	AMERICAN ELECTRIC COMPANY	LED HID REPLACEMENT	\$ 230.76
	FERGUSON WATERWORKS #1116	LEONARD 4500 SHWR HANDLE	\$ 289.22
	GRAINGER	AIR FILTERS	\$ 286.44
	PARTNERS IN PARTS, INC.	BATTERY	\$ 546.24
		Total	\$ 5,424.51
Water	POSTAL PROS, INC.	POSTAGE	\$ 650.58
	VERIZON WIRELESS	PHONE	\$ 120.11
	USA BLUEBOOK	Blanket PO - Parts/Supplies - Repair/Maintenance	\$ 117.07
	USA BLUEBOOK	61659 March Effluent Pump	\$ 504.02
	VERIZON WIRELESS	PHONE	\$ 40.03
	FERGUSON WATERWORKS #1116	M184048 Mueller hydrant lube, gallon	\$ 143.40
	THE PLUMBING STORE	PVC COUPLING, PVC CEMENT	\$ 9.71
	THE PLUMBING STORE	BALL VALVE, TEFLON TAPE, INSULATION	\$ 113.93
	COLORADO WATER CONSERVATION B	CONTRACT C153465 ANNUAL PAYMENT	\$ 5,256.93
	COLORADO WATER CONSERVATION B	CONTRACT C153465 ANNUAL PAYMENT	\$ 262.87
	COLORADO WATER CONSERVATION B	CONTRACT CT2015-152 ANNUAL PAYMENT	\$ 9,289.08
	COLORADO WATER CONSERVATION B	CONTRACT CT2015-152 ANNUAL PAYMENT	\$ 86,785.48
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 48.14
		Total	\$ 103,341.35
CCN Fund	UTILITY NOTIFICATION CENTER	Blanket PO - Utility Notification Charges	\$ 119.60

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 14, 2022

Department	Vendor Name	Description	Amount
		Total	\$ 119.60
Refuse	POSTAL PROS, INC.	POSTAGE	\$ 650.59
	FOUR CORNERS WELDING & GAS SUPP	Majestic Jackets, Safety Yellow, Class 3 Bomber Ja	\$ 269.53
	BELT SALVAGE	7/16 Cold Rolled Round Steel	\$ 75.60
	BELT SALVAGE	1/8x2 Flat Steel	\$ 90.40
	BELT SALVAGE	2x2x1/8 Square Tube	\$ 129.00
	BELT SALVAGE	1/2 Cold Rolled Round Steel	\$ 136.00
	BELT SALVAGE	3/4 Schedule 40 Pipe	\$ 229.32
	BELT SALVAGE	1/4x4 Flat Steel	\$ 354.40
		Total	\$ 1,934.84
Total			\$ 218,677.46

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 21, 2022

Department	Vendor Name	Description	Amount
Municipal Court	RICHARD SIMS LAW OFFICE	LEGAL SERVICES - THOMPSON	\$ 100.00
	RICHARD SIMS LAW OFFICE	LEGAL SERVICES - FIRST APPEARANCES	\$ 160.00
		Total	\$ 260.00
City Clerk	CIVICPLUS	ADMIN SUPPORT FEE	\$ 275.00
	CIVICPLUS	MUNICODE PAGES	\$ 1,781.18
		Total	\$ 2,056.18
Events	TIGER BY THE TAIL	NAME BADGES	\$ 426.01
		Total	\$ 426.01
Library	ATMOS ENERGY	GAS SERVICE	\$ 69.15
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - LB	\$ 70.44
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - LB	\$ 77.52
	OFFICE DEPOT	196517 Boise X9 Copy Paper, 8.5x11 - LB	\$ 375.40
	ALPINE SECURITY & ELECTRONICS	Alarm Services - Library	\$ 45.50
		Total	\$ 638.01
City Hall Operations	ALPINE SECURITY & ELECTRONICS	Alarm Services - City Hall Fire Alarm	\$ 25.00
	ALPINE SECURITY & ELECTRONICS	Alarm Services - City Hall Fire Alarm	\$ 45.50
	PARKER'S WORKPLACE SOLUTIONS	ENVELOPES	\$ 80.06
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 89.91
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - CH	\$ 77.52
	OFFICE DEPOT	196517 Boixe X9 Copy Paper, 8.5x11 - CH	\$ 600.64
	XEROX CORPORATION	EQUIPMENT RENTAL	\$ 116.77
	XEROX CORPORATION	EQUIPMENT RENTAL	\$ 437.02
		Total	\$ 1,472.42
Welcome Center	ALPINE SECURITY & ELECTRONICS	Alarm Services - Welcome Center	\$ 45.50
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - WC	\$ 35.22
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - WC	\$ 38.76
		Total	\$ 119.48
Police Department	AT&T MOBILITY	PHONES	\$ 92.31
	AMAZON CAPITAL SERVICES	Glowstick Necklaces	\$ 359.92
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 115.21
	LEXIPOL, LLC.	Dr. Gilmartin Course Add-on	\$ 850.00
	WITT MACHINE & TOOL CO	Suppressor	\$ 232.50
	KFR GRAPHICS & WRAPS	Reflective decals	\$ 120.00
	ALPINE SECURITY & ELECTRONICS	Alarm Services - PD Evidence Building	\$ 45.50
	ALSCO (AMERICAN INDUSTRIAL)	MATS	\$ 126.03
	ORKIN LLC	PEST CONTROL SERVICES	\$ 175.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 2,796.09
	ATMOS ENERGY	GAS SERVICE	\$ 37.40
	WESTERN PAPER DISTRIBUTORS	BLS-71027 Multifold Towels - PD	\$ 21.63

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 21, 2022

Department	Vendor Name	Description	Amount
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - PD	\$ 77.52
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - PD	\$ 105.66
		Total	\$ 5,154.77
Animal Shelter	CORTEZ ADOBE ANIMAL HOSPITAL	CASTRATION	\$ 90.00
	ALPINE SECURITY & ELECTRONICS	Alarm Services - Animal Shelter	\$ 45.50
		total	\$ 135.50
Public Works	ONLINE SOLUTIONS	CITIZENSERVE USER SUBSCRIPTIONS	\$ 4,200.00
	TNP-TEX/NM	AD IN FARMINGTON DAILY TIMES	\$ 112.83
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 78.78
		Total	\$ 4,391.61
Outdoor Pool	ALPINE SECURITY & ELECTRONICS	Alarm Services - Outdoor Pool	\$ 45.50
	ATMOS ENERGY	GAS SERVICE	\$ 43.21
		Total	\$ 88.71
Golf Pro	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 35.50
		Total	\$ 35.50
Golf Course Maint	ALPINE SECURITY & ELECTRONICS	Alarm Services - Golf Course Maintenance Shop	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 1,912.31
	WESTERN PAPER DISTRIBUTORS	BLS-71027 Multifold Towels - GC	\$ 21.63
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - GC	\$ 35.22
		Total	\$ 2,014.66
Parks	ALPINE SECURITY & ELECTRONICS	Alarm Services - Park Shop	\$ 22.00
	CONSERVATION LEGACY	YOUTH CREW WORK	\$ 540.00
	LE PEW PORTA-JOHNS INC.	MONTHLY RENTALS	\$ 1,218.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance for 3rd/4th Po	\$ 685.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance for Rodeo and	\$ 900.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 1,795.11
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 1,878.41
	FERGUSON WATERWORKS #1116	PVC ELL	\$ 21.15
	FERGUSON WATERWORKS #1116	CHECK VALVE REPAIR KIT	\$ 192.12
	FERGUSON WATERWORKS #1116	GOLF FIELD DECODER	\$ 718.92
	FOUR CORNERS WELDING & GAS SUPPL	SAFETY VEST	\$ 11.20
	INTERMOUNTAIN FARMERS ASSOC.	SHAVINGS	\$ 95.94
	INTERMOUNTAIN FARMERS ASSOC.	UTILITY FENCE	\$ 239.97
	KIMBALL - MIDWEST	WASHERS, CAP SCREWS	\$ 158.17
	SLAVENS TRUE VALUE	SCH40 ELBOW	\$ 2.02
	SLAVENS TRUE VALUE	COUPLING, FLIP COVER	\$ 7.40
	SLAVENS TRUE VALUE	MARK PAINT	\$ 8.18
	SLAVENS TRUE VALUE	MARK PAINT	\$ 16.36
	SLAVENS TRUE VALUE	VINYL GLOVES	\$ 23.99

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 21, 2022

Department	Vendor Name	Description	Amount
	SLAVENS TRUE VALUE	FERTILIZER	\$ 27.29
	SLAVENS TRUE VALUE	1X4X10 PINE	\$ 38.68
	SOUTHWEST AGRICULTURE	CARTRIDGES	\$ 77.30
	SOUTHWEST SEED	CENTENNIAL TURF	\$ 225.00
	SPARKS PLUMBING	REPAIR CLOGGED TOILET	\$ 325.23
	STOTZ EQUIPMENT	KNOB	\$ 23.14
	SUPERIOR AUTO	CLEANING KIT	\$ 15.92
	SUPERIOR AUTO	TRAILER CONNECTOR	\$ 18.99
	THE PLUMBING STORE	COUPLING, ADAPTER	\$ 22.37
	THE PLUMBING STORE	ADAPTER, TEE, 45	\$ 26.22
	AMAZON CAPITAL SERVICES	Febco 825EBV RP Zone Assembly, 1/4 turn shut	\$ 346.46
	BACKFLOW SUPPLY	Febco 905320 Internal RV Module for 880V 3 in	\$ 258.40
	STOTZ EQUIPMENT	MOWER REPAIR	\$ 789.03
	STOTZ EQUIPMENT	MOWER REPAIR	\$ 1,013.51
		Total	\$ 11,741.48
Recreation	ALPINE SECURITY & ELECTRONICS	Alarm Services - Softball Complex	\$ 22.00
		Total	\$ 22.00
Planning & Building	ONLINE SOLUTIONS	CITIZENSERVE USER SUBSCRIPTIONS	\$ 10,500.00
	SHORT-ELLIOTT-HENDRICKSON INC	Blanket PO - Planning Services until End of the Y	\$ 8,977.50
	CIVICPLUS	FINANCE CHARGE	\$ 12.76
	CIVICPLUS	MUNICODE COPIES & BINDERS	\$ 550.37
	CORTEZ COPY & PRINT	INSPECTION FORMS	\$ 92.75
		Total	\$ 20,133.38
Shop	SAFETY-KLEEN CORPORATION	Hazardous Waste Disposal, Used Oil Filters, 4 b	\$ 505.26
	STAPLES ADVANTAGE	723453 R0910 Citizen MD910/911 Ribbon for F	\$ 16.98
	CHOICE BUILDING SUPPLY	3500535 Receptacle 20 amp - Shop	\$ 4.99
	AUTOZONE	Blanket PO - Parts for Fleet Repairs/Supplies	\$ 29.60
	CHOICE BUILDING SUPPLY	71489 Solid braid nylon rope 1/4 inch - Unit 100	\$ 3.95
	PARTNERS IN PARTS, INC.	PARTS FOR FLEET REPAIR	\$ 13.34
	PARTNERS IN PARTS, INC.	Blanket PO - Parts for Fleet Repair	\$ 29.79
	PARTNERS IN PARTS, INC.	Blanket PO - Parts for Fleet Repair	\$ 50.11
	PARTNERS IN PARTS, INC.	Blanket PO - Parts for Fleet Repair	\$ 141.68
	PARTNERS IN PARTS, INC.	Blanket PO - Parts for Fleet Repair	\$ 278.76
	STOTZ EQUIPMENT	Blanket PO - Parts/hoses for Fleet Repairs	\$ 15.00
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ (68.79)
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 3.58
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 3.95
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 4.02
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 8.90
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 10.64
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 29.42
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 34.64

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 21, 2022

Department	Vendor Name	Description	Amount
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 41.59
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 46.97
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 190.26
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 214.11
	SUPERIOR AUTO	Blanket PO - Parts for Fleet Repairs	\$ 224.90
	TRU WEST CDJR	55077460AA Windshield Nozzle - Unit 453	\$ 38.75
	BELT SALVAGE	Steel for fuel tank catwalk	\$ 16.71
	SENERGY PETROLEUM	Dyed diesel for Golf Course	\$ 1,722.67
	SENERGY PETROLEUM	86UL Unleaded Gas for Service Center	\$ 4,342.53
	ALPINE SECURITY & ELECTRONICS	Alarm Services - IT/Server Room	\$ 45.50
	ALSCO (AMERICAN INDUSTRIAL)	Blanket PO - Floor Mat Service - Service Center	\$ 101.70
	ALSCO (AMERICAN INDUSTRIAL)	Blanket PO - Floor Mat Service - Service Center	\$ 101.70
	ORKIN LLC	PEST CONTROL SERVICES	\$ 163.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 3,125.49
	ATMOS ENERGY	GAS SERVICE	\$ 80.40
	ATMOS ENERGY	GAS SERVICE	\$ 83.43
	ATMOS ENERGY	GAS SERVICE	\$ 105.24
	OFFICE DEPOT	128844 OD Chisel Tip Highlighters, Yellow, dozen	\$ 5.63
	OFFICE DEPOT	963439 OIC Binder Clips, Large, 12/bx	\$ 7.62
	OFFICE DEPOT	273361 BIC Wite-out 12/pk	\$ 10.55
	OFFICE DEPOT	445511 Energizer Ind Alkaline Batteries, AAA, 24/pk	\$ 15.84
	OFFICE DEPOT	790801 G2 Gel Pens, Blue	\$ 26.88
	OFFICE DEPOT	790761 G2 Gel Pens, Black	\$ 26.88
	STAPLES ADVANTAGE	806251 Energizer 357 (Replaces A76) Battery, 3	\$ 7.90
	VITAL RECORDS CONTROL	DOCUMENT DESTRUCTION	\$ 62.86
	WESTERN PAPER DISTRIBUTORS	BLS-71027 Multifold Towels - SC	\$ 21.63
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - SC	\$ 38.76
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - SC	\$ 105.66
	OFFICE DEPOT	196517 Boise X9 Copy Paper, 8.5x11 - SC	\$ 525.56
		Total	\$ 12,616.54
Technology	STAPLES ADVANTAGE	24423682 HP M283fdw LaserJet All-in-One Printer	\$ 380.39
		Total	\$ 380.39
Streets	TRAUTNER GEOTECH	Blanket PO - Lab/Field Testing - 2022 Concrete	\$ 359.50
	GERALD G. HUDDLESTON	Surveying Services - N Mildred Project - Willow	\$ 936.00
	TRAUTNER GEOTECH	Blanket PO - Lab/Field Testing - 2022 Mildred R	\$ 2,188.50
		Total	\$ 3,484.00
Airport	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 671.58
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - Airport	\$ 155.04
	SOUTHWEST SIGNS & GRAPHICS	BANNER	\$ 125.00
		Total	\$ 951.62
Dispatch	SOUTHWEST COLORADO TV	Electrical usage - Caviness Site	\$ 200.00

EXPENDITURE LIST FOR WEEK ENDING OCTOBER 21, 2022

Department	Vendor Name	Description	Amount
		Total	\$ 200.00
Rec Center	ALPINE SECURITY & ELECTRONICS	Alarm Services - Rec Center Fire Alarm	\$ 9.50
	ALPINE SECURITY & ELECTRONICS	Alarm Services - Rec Center	\$ 12.50
	ALPINE SECURITY & ELECTRONICS	Alarm Services - Rec Center Fire Alarm	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 8,583.34
	RAINDROPS OF THE FOUR CORNERS	MURIATIC LIQUID ACID	\$ 745.00
	WESTERN PAPER DISTRIBUTORS	SWIVEL PAD HOLDER	\$ 40.38
		Total	\$ 9,436.22
Water	SAN JUAN BASIN HEALTH DEPT.	Blanket PO - Lab testing for Bac-T's	\$ 350.00
	ALPINE SECURITY & ELECTRONICS	Alarm Services - Water Plant	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 288.43
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 2,234.62
	ATMOS ENERGY	GAS SERVICE	\$ 268.59
	THATCHER CHEMICAL CO.	Blanket PO - Liquid Alum AL2	\$ 5,651.71
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - WP	\$ 35.22
	AT&T MOBILITY	IPADS	\$ 283.41
	INTERMOUNTAIN CONTROLS NICHOLS-	ICNG-MCHWK-1 Hardware Kit	\$ 1,524.44
	INTERMOUNTAIN CONTROLS NICHOLS-	70-0081H 800#	\$ 7,010.29
		Total	\$ 17,692.21
CCN Fund	AMAZON CAPITAL SERVICES	Scotch 88 3/4x66 Electric Tape 8.5 mil, box of 1	\$ 70.00
		Total	\$ 70.00
Refuse	CHIROPRACTIC HEALTH ALLIANCE	DOT PHYSICAL - SEGURA	\$ 80.00
	FOUR CORNERS WELDING & GAS SUPPLI	Blanket PO - Welding supplies for Dumpster Re	\$ 85.68
	FOUR CORNERS WELDING & GAS SUPPLI	Blanket PO - Welding supplies for Dumpster Re	\$ 229.49
	FOUR CORNERS WELDING & GAS SUPPLI	Blanket PO - Welding supplies for Dumpster Re	\$ 615.47
		Total	\$ 1,010.64
Total			\$ 94,531.33



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 2. c.

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: Approval of a renewal Brew Pub Liquor License for Four Corners Brewing LLC, DBA Main Street Brewery & Restaurant, located at 21 East Main Street, Cortez.

Attachments

Renewal- Main Street Brewery



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

10/17/2022

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: RENEWAL APPLICATION FOR A BREW PUB LIQUOR FOR FOUR CORNERS BREWING LLC., DBA MAIN STREET BREWERY & RESTAURANT, LOCATED AT 21 EAST MAIN STREET, CORTEZ

BACKGROUND

The renewal application referred to above was filed in the City Clerk's office on September 30, 2022. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows no violation to the Fire Code.

The police report shows no liquor violations were found over the past twelve months.

The sales tax account is current.

RECOMMENDATION

Staff recommends approval of a Brew Pub Liquor License for Four Corners Brewing, LLC., DBA Main Street Brewery & Restaurant, located at 21 East Main Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 4. b.

MEMO TO: Honorable Mayor and City Council

FROM: Drew Sanders, City Manager

SUBJECT: Greenlight A Vet Proclamation

BACKGROUND

In honor of our nation's veterans, the City of Cortez is encouraging everyone to participate in the 'Greenlight A Vet' campaign by displaying green lights, not only on Veteran's Day, but for the month of November. You can show your support and appreciation for our veterans by simply changing out one visible light to green.

RECOMMENDATION

Council will consider approving the proclamation to 'Greenlight A Vet' for the month of November of each year for the residents of Cortez to unite and show support for our nation's veterans.

Attachments

Greenlight A Vet



City of Cortez
123 Roger Smith Ave.
Cortez, Co. 81321

PROCLAMATION
In Recognition of
GREENLIGHT A VET

WHEREAS: Green is a color of hope, renewal and well being; and,

WHEREAS: ‘Greenlight’ is also a term commonly used to activate forward movement; and,

WHEREAS: The simple action of changing one light to green is intended to spark a national conversation regarding the recognition of veterans, and ‘greenlight’ them forward as valued members of our communities; and,

WHEREAS: America’s veterans are some of our nation’s bravest, hardest-working men and women; and,

WHEREAS: It is hard to show our veterans the appreciation they deserve when, back home and out of uniform; they are more camouflaged than ever.

Let us honor our veterans for an entire month rather than Veteran’s Day alone by changing one light to green in a visible location – on your porch, your home, or at your office and keep it glowing every day during the month of November as a symbol of appreciation and support for our veterans.

NOW, therefore, I, Rachel Medina, Mayor of the City of Cortez, do hereby proclaim November of each year to be the month for the residents of Cortez to unite to **GREENLIGHT A VET**.

Witness my hand this 25th day of October, 2022.

Rachel Medina, Mayor



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 4. c.

MEMO TO: Honorable Mayor and City Council

FROM: Kelly Koskie, Director of Finance

SUBJECT: August 2022 Financial Statements, presented by Kelly Koskie, Director of Finance

Attachments

Memo on Financial Statements
August Financial Statements 2022



City of Cortez
123 Roger Smith Ave
Cortez, CO 813231

Item No:

Meeting Date: October 25th 2022

TITLE: Financial Statements

SUBMITTING DEPARTMENT: Finance

ATTACHMENTS: August 2022 Financial Statements

You will find attached the Financial Statements for August 2022. They are broken down by revenue and expense (labeled at the top of each page). They are also broken down by department.

Items to Note:

Right of way Construction revenue is well above projected

Library Donation revenue is up significantly thanks to our partners at Montezuma County who made a \$5,000 donation.

As always, I'm available for questions by phone 970-565-3402, in person, or by email at

kkoskie@cortezco.gov

Kelly Koskie

Finance Director, City of Cortez

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>TAXES</u>					
001-0000-311-10-01	PROPERTY TAXES	.00	.00	500,000.00	500,000.00	.0
001-0000-311-11-00	S.O. MOTOR VEHICLE	.00	2,875.50	.00	(2,875.50)	.0
001-0000-311-12-01	SALES TAX	927,304.59	6,955,262.81	9,922,046.00	2,966,783.19	70.1
001-0000-311-12-03	BUILDING PERMIT USE TAX	6,380.78	69,066.70	121,318.00	52,251.30	56.9
001-0000-311-13-00	CIGARETTE	569.07	11,155.30	23,786.00	12,630.70	46.9
	TOTAL TAXES	934,254.44	7,038,360.31	10,567,150.00	3,528,789.69	66.6
	<u>FRANCHISE TAXES</u>					
001-0000-312-10-00	CABLE TV	.00	13,143.06	26,560.00	13,416.94	49.5
001-0000-312-11-00	EMPIRE ELECTRIC	41,714.78	319,212.73	466,646.00	147,433.27	68.4
001-0000-312-12-00	ATMOS ENERGY	.00	138,507.49	170,326.00	31,818.51	81.3
001-0000-312-13-00	QWEST	1,000.00	8,000.00	12,000.00	4,000.00	66.7
	TOTAL FRANCHISE TAXES	42,714.78	478,863.28	675,532.00	196,668.72	70.9
	<u>PERMITS</u>					
001-0000-321-10-00	LIQOUR OCCUPATION	.00	2,125.00	14,550.00	12,425.00	14.6
001-0000-321-11-00	SALES/LODGERS TAX PERMIT	150.00	1,370.00	1,740.00	370.00	78.7
001-0000-321-12-00	BILLBOARD SIGNS	110.00	1,237.00	4,474.00	3,237.00	27.7
001-0000-321-13-00	BUILDING	4,109.75	91,398.68	209,286.00	117,887.32	43.7
001-0000-321-14-00	MISC PUBLIC WORK PERMITS	150.00	930.00	1,158.00	228.00	80.3
001-0000-321-14-01	MISC BUS, LIC & PERMITS	.00	925.00	1,600.00	675.00	57.8
001-0000-321-14-02	P.W. MAPS/PUBLICATIONS	900.00	5,250.00	4,680.00	(570.00)	112.2
001-0000-321-15-00	RIGHT OF WAY CONSTR	1,290.00	4,373.00	840.00	(3,533.00)	520.6
	TOTAL PERMITS	6,709.75	107,608.68	238,328.00	130,719.32	45.2
	<u>LICENSES</u>					
001-0000-322-10-00	LIQOUR	453.75	50,491.25	114,556.00	64,064.75	44.1
001-0000-322-11-00	GAS/PLUMBER	.00	200.75	652.00	451.25	30.8
001-0000-322-12-00	DOG/CAT LICENSES	195.00	1,895.00	2,810.00	915.00	67.4
001-0000-322-13-00	MISC BUSINESS LICENSES	.00	125.00	500.00	375.00	25.0
	TOTAL LICENSES	648.75	52,712.00	118,518.00	65,806.00	44.5

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>STATE/COLO</u>					
001-0000-332-10-00	HIGHWAY USER TAX	24,974.71	172,357.83	244,814.00	72,456.17	70.4
001-0000-332-11-00	STATE OF CO SNOW REMOVAL REIMB	.00	.00	3,000.00	3,000.00	.0
001-0000-332-12-00	LOCAL GOVT SEVERANCE TAX	144,444.43	144,444.43	60,000.00	(84,444.43)	240.7
001-0000-332-13-00	MINERAL LEASING TAX	458,321.72	458,321.72	600,000.00	141,678.28	76.4
001-0000-332-15-00	WELCOME CENTER	.00	18,783.03	.00	(18,783.03)	.0
001-0000-332-20-00	STATE MARIJUANA TAX	21,985.06	197,593.42	386,218.00	188,624.58	51.2
	TOTAL STATE/COLO	649,725.92	991,500.43	1,294,032.00	302,531.57	76.6
	<u>COUNTY</u>					
001-0000-333-11-00	ROAD AND BRIDGE	3,618.98	121,010.23	170,338.00	49,327.77	71.0
	TOTAL COUNTY	3,618.98	121,010.23	170,338.00	49,327.77	71.0
	<u>SCHOOL DISTRICT RE-1</u>					
001-0000-334-10-00	SCHOOL RESOURCE OFFICER	.00	23,000.00	.00	(23,000.00)	.0
	TOTAL SCHOOL DISTRICT RE-1	.00	23,000.00	.00	(23,000.00)	.0
	<u>SERVICES</u>					
001-0000-341-11-00	OUTDOOR POOL CONCESSIONS	1,622.61	11,244.57	.00	(11,244.57)	.0
001-0000-341-21-00	RECREATION PROGRAMS	.00	3,136.00	.00	(3,136.00)	.0
	TOTAL SERVICES	1,622.61	14,380.57	.00	(14,380.57)	.0
	<u>FEES</u>					
001-0000-342-02-00	KENNEL ADOPTION FEES	240.00	2,610.00	2,320.00	(290.00)	112.5
001-0000-342-04-00	SPAY/NEUTER PROGRAM	1,675.00	14,706.45	20,796.00	6,089.55	70.7
001-0000-342-06-00	RABIES DEPOSIT	150.00	1,000.00	750.00	(250.00)	133.3
001-0000-342-10-00	ANNUAL IMPOUND FEES	1,575.00	8,160.00	5,180.00	(2,980.00)	157.5
	TOTAL FEES	3,640.00	26,476.45	29,046.00	2,569.55	91.2
	<u>FEES</u>					
001-0000-343-10-01	GREEN FEES	47,047.20	167,621.55	146,298.00	(21,323.55)	114.6
001-0000-343-10-02	PASSES/TICKETS	3,691.98	174,631.47	334,918.00	160,286.53	52.1
001-0000-343-10-08	GOLF CART REVENUE	438.75	54,573.75	91,800.00	37,226.25	59.5
	TOTAL FEES	51,177.93	396,826.77	573,016.00	176,189.23	69.3

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>FEES</u>					
001-0000-344-10-00	POOL	4,830.00	56,510.00	26,874.00	(29,636.00)	210.3
001-0000-344-10-02	REC FACILITY USE	.00	.00	2,000.00	2,000.00	.0
001-0000-344-10-03	PLAYGROUND DAYS	3,904.00	46,880.00	87,014.00	40,134.00	53.9
001-0000-344-11-01	BASKETBALL	.00	.00	7,800.00	7,800.00	.0
001-0000-344-11-02	BASKETBALL	.00	2,720.00	.00	(2,720.00)	.0
001-0000-344-12-01	SOFTBALL	500.00	4,575.00	.00	(4,575.00)	.0
001-0000-344-13-01	VOLLEYBALL	.00	1,745.00	.00	(1,745.00)	.0
001-0000-344-20-00	VEHICLE INSPECTION FEES	.00	100.00	760.00	660.00	13.2
	TOTAL FEES	9,234.00	112,530.00	124,448.00	11,918.00	90.4
	<u>CHARGES</u>					
001-0000-347-17-01	PARK RENTAL FEES	600.00	5,200.00	8,220.00	3,020.00	63.3
001-0000-347-18-00	CHIPPER/MULCHER	100.00	510.00	720.00	210.00	70.8
	TOTAL CHARGES	700.00	5,710.00	8,940.00	3,230.00	63.9
	<u>FINES</u>					
001-0000-351-10-00	MUNICIPAL COURT FINES	6,397.00	18,449.06	10,610.00	(7,839.06)	173.9
001-0000-351-10-01	DUI/SEAT BELT - COUNTY	998.10	2,882.88	11,466.00	8,583.12	25.1
001-0000-351-10-02	OVERTIME PARKING	.00	1,160.00	400.00	(760.00)	290.0
001-0000-351-10-03	D.A.R.E. FINES	85.00	312.00	440.00	128.00	70.9
	TOTAL FINES	7,480.10	22,803.94	22,916.00	112.06	99.5
	<u>FINES</u>					
001-0000-352-11-00	LIBRARY	.00	994.10	.00	(994.10)	.0
	TOTAL FINES	.00	994.10	.00	(994.10)	.0
	<u>INTEREST</u>					
001-0000-361-10-00	INVESTMENTS	4,735.09	11,077.38	17,482.00	6,404.62	63.4
001-0000-361-10-15	PINON PROJECT - INTEREST REPAY	1,639.36	6,592.74	8,434.00	1,841.26	78.2
001-0000-361-10-16	PINON PROJECT - PRINCIPAL PAY	792.72	3,135.58	12,000.00	8,864.42	26.1
001-0000-361-20-03	CHANGE IN MARKET VALUE	.00	(18,950.91)	.00	18,950.91	.0
	TOTAL INTEREST	7,167.17	1,854.79	37,916.00	36,061.21	4.9

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>REVENUE</u>					
001-0000-362-14-00	RODEO DRIVE MAINTENANCE	801.35	5,181.69	9,098.00	3,916.31	57.0
	TOTAL REVENUE	801.35	5,181.69	9,098.00	3,916.31	57.0
	<u>CASH</u>					
001-0000-365-10-00	OVERAGE/SHORTAGE	.01	(31.99)	.00	31.99	.0
	TOTAL CASH	.01	(31.99)	.00	31.99	.0
	<u>GIFTS/DONATIONS</u>					
001-0000-366-14-00	VALE GRANT P.,D. TRAINING	1,710.00	5,130.00	7,200.00	2,070.00	71.3
001-0000-366-17-00	TREE DONATIONS	.00	.00	500.00	500.00	.0
001-0000-366-17-01	GOLF COURSE	400.00	1,400.00	.00	(1,400.00)	.0
001-0000-366-19-00	LIBRARY DONATIONS	180.35	7,192.09	2,550.00	(4,642.09)	282.0
001-0000-366-20-00	KENNEL DONATIONS	7,500.00	7,500.00	.00	(7,500.00)	.0
001-0000-366-21-00	PARKS & RECREATION DONATIONS	4,604.00	4,704.00	.00	(4,704.00)	.0
001-0000-366-24-00	FRIENDS OF THE LIBRARY	261.00	1,145.30	1,050.00	(95.30)	109.1
	TOTAL GIFTS/DONATIONS	14,655.35	27,071.39	11,300.00	(15,771.39)	239.6
	<u>REVENUE</u>					
001-0000-367-15-00	EVIDENCE REVENUE	5,806.64	48,426.22	2,500.00	(45,926.22)	1937.1
001-0000-367-15-01	FRAUD RECOVERY	.00	(82,144.78)	.00	82,144.78	.0
001-0000-367-16-00	MISCELLANEOUS SALES & FEE	623.39	9,663.25	6,700.00	(2,963.25)	144.2
001-0000-367-16-03	WELCOME CENTER RENTS	.00	11,724.60	3,456.00	(8,268.60)	339.3
001-0000-367-18-01	SURPLUS AUCTION	.00	5,136.82	.00	(5,136.82)	.0
	TOTAL REVENUE	6,430.03	(7,193.89)	12,656.00	19,849.89	(56.8)
	<u>GRANTS</u>					
001-0000-368-01-01	AMERICAN RESCUE PLAN	.00	1,097,895.73	1,097,896.00	.27	100.0
001-0000-368-01-02	COLORADO HISTORICAL SOC	.00	.00	15,440.00	15,440.00	.0
001-0000-368-04-00	POLICE GRANTS	.00	14,743.37	19,600.00	4,856.63	75.2
001-0000-368-06-00	DOLA GRANT PSI22-001	.00	12,500.00	.00	(12,500.00)	.0
001-0000-368-11-00	VICTIM ASSISTANCE GRANT	.00	48,216.89	61,940.00	13,723.11	77.8
001-0000-368-44-00	GRANTS-LIBRARY	.00	8,300.00	5,600.00	(2,700.00)	148.2
	TOTAL GRANTS	.00	1,181,655.99	1,200,476.00	18,820.01	98.4

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>INTERNAL SERVICE CHGS</u>					
001-0000-371-11-00	LODGERS TAX FUND	.00	.00	7,904.00	7,904.00	.0
	TOTAL INTERNAL SERVICE CHGS	.00	.00	7,904.00	7,904.00	.0
	TOTAL FUND REVENUE	1,740,581.17	10,601,314.74	15,101,614.00	4,500,299.26	70.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL GOVERNMENT</u>						
<u>CITY COUNCIL</u>						
001-4010-400-10-01	REGULAR WAGES	3,000.00	23,025.00	47,250.00	24,225.00	48.7
001-4010-400-20-01	FICA/MEDICARE	229.50	1,761.43	2,900.41	1,138.98	60.7
001-4010-400-21-06	WORKMENS COMPENSATION	255.97	1,515.06	113.40	(1,401.66)	1336.0
001-4010-400-30-12	MV COUNTRY TOURISM CONTRACT	.00	127,500.00	183,600.00	56,100.00	69.4
001-4010-400-30-13	MUNICIPAL ATTORNEY SERVICES	.00	36,042.04	115,000.00	78,957.96	31.3
001-4010-400-30-19	INSURANCE & BONDS	.00	18,382.40	18,306.00	(76.40)	100.4
001-4010-400-30-20	FIREWORKS INSURANCE	.00	.00	4,250.00	4,250.00	.0
001-4010-400-30-90	OTHER CONTRACTUAL SERVICES	.00	24,000.00	.00	(24,000.00)	.0
001-4010-400-40-00	TRAVEL & TRAINING	57.86	5,420.95	16,500.00	11,079.05	32.9
001-4010-400-40-05	PLANNING & ZONING BUS.	.00	.00	500.00	500.00	.0
001-4010-400-40-06	YOUTH COMMISSION	.00	41.96	1,000.00	958.04	4.2
001-4010-400-41-00	TRAINING	.00	40.00	.00	(40.00)	.0
001-4010-400-42-01	TELEPHONE	.00	230.92	2,700.00	2,469.08	8.6
001-4010-400-43-00	COUNCIL MEETINGS	.00	52.99	.00	(52.99)	.0
001-4010-400-44-00	OFFICE SUPPLIES	163.44	542.30	500.00	(42.30)	108.5
001-4010-400-45-10	OTHER OPERATING SUPPLIES	6,394.94	6,413.69	.00	(6,413.69)	.0
001-4010-400-50-00	MEMBERSHIP & DUES	.00	21,608.00	34,020.00	12,412.00	63.5
001-4010-400-50-01	CREA VENDOR FEES	18,113.92	128,069.34	156,418.55	28,349.21	81.9
001-4010-400-53-00	CONTRIBUTIONS	.00	35,100.00	72,000.00	36,900.00	48.8
001-4010-400-53-03	ENDOWMENTS	.00	6,000.00	6,000.00	.00	100.0
001-4010-400-53-04	HOMELESS SHELTER	.00	12,000.00	12,000.00	.00	100.0
001-4010-400-54-00	CONTINGENCY ACCOUNT	.00	137,511.00	145,000.00	7,489.00	94.8
001-4010-400-59-25	CITY INITIATED EVENTS	.00	.00	800.00	800.00	.0
TOTAL CITY COUNCIL		28,215.63	585,257.08	818,858.36	233,601.28	71.5
<u>CITY ATTORNEY</u>						
001-4011-401-10-01	REGULAR WAGES	10,000.00	22,500.00	79,745.00	57,245.00	28.2
001-4011-401-16-00	CITY RETIREMENT	500.00	1,125.00	.00	(1,125.00)	.0
001-4011-401-20-01	FICA/MEDICARE	761.03	1,716.61	.00	(1,716.61)	.0
001-4011-401-21-01	HEALTH/LIFE INSURANCE	1,556.00	1,567.00	.00	(1,567.00)	.0
001-4011-401-21-05	DENTAL INSURANCE	70.00	140.00	.00	(140.00)	.0
001-4011-401-21-07	UNEMPLOYMENT	20.00	45.00	.00	(45.00)	.0
001-4011-401-30-13	PROFESSIONAL SERVICES	.00	45.00	9,550.00	9,505.00	.5
001-4011-401-40-00	ATTORNEY TRAVEL	.00	7,200.40	.00	(7,200.40)	.0
001-4011-401-41-00	ATTORNEY TRAINING EXP	428.38	428.38	.00	(428.38)	.0
001-4011-401-42-01	TELEPHONE	85.00	170.00	.00	(170.00)	.0
001-4011-401-44-00	OFFICE SUPPLIES	78.98	571.48	.00	(571.48)	.0
TOTAL CITY ATTORNEY		13,499.39	35,508.87	89,295.00	53,786.13	39.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>HUMAN RESOURCES</u>					
001-4012-402-10-01	REGULAR WAGES	13,311.20	111,132.03	156,596.59	45,464.56	71.0
001-4012-402-16-00	CITY RETIREMENT	665.56	5,556.60	7,829.83	2,273.23	71.0
001-4012-402-20-01	FICA/MEDICARE	990.10	8,272.24	11,931.17	3,658.93	69.3
001-4012-402-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	38,414.88	13,518.88	64.8
001-4012-402-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4012-402-21-06	WORKMENS COMPENSATION	243.86	1,555.64	3,000.00	1,444.36	51.9
001-4012-402-21-07	UNEMPLOYMENT	26.62	222.18	439.00	216.82	50.6
001-4012-402-21-20	FEDERAL EXCISE TAX	.00	774.06	.00	(774.06)	.0
001-4012-402-30-19	INSURANCE & BONDS	.00	536.05	600.00	63.95	89.3
001-4012-402-30-34	EMPLOYEE LICENSES/TESTING	.00	10.00	100.00	90.00	10.0
001-4012-402-30-90	CONTRACT SERVICES-OTHER	.00	6,600.00	30,000.00	23,400.00	22.0
001-4012-402-40-00	TRAVEL & TRAINING	.00	.00	6,000.00	6,000.00	.0
001-4012-402-40-06	CITY-WIDE TRAINING	13.93	528.09	12,000.00	11,471.91	4.4
001-4012-402-40-08	EMPLOYEE ORIENTATION	375.60	940.74	1,200.00	259.26	78.4
001-4012-402-40-10	EMPLOYEE QUARTERLY AWARDS	.00	2,904.96	6,500.00	3,595.04	44.7
001-4012-402-42-01	TELEPHONE	125.34	998.46	1,450.00	451.54	68.9
001-4012-402-44-00	OFFICE SUPPLIES	65.13	209.23	1,800.00	1,590.77	11.6
001-4012-402-45-10	OTHER OPERATING SUPPLIES	105.00	388.27	1,000.00	611.73	38.8
001-4012-402-49-03	ADVERTISING - OTHER	.00	.00	500.00	500.00	.0
001-4012-402-50-00	MEMBERSHIP & DUES	.00	.00	6,400.00	6,400.00	.0
001-4012-402-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	1,400.00	1,400.00	.0
	TOTAL HUMAN RESOURCES	19,174.34	166,644.55	288,841.47	122,196.92	57.7
	<u>MUNICIPAL COURT</u>					
001-4013-403-10-01	REGULAR WAGES	7,355.21	61,933.66	111,728.27	49,794.61	55.4
001-4013-403-16-00	CITY RETIREMENT	367.76	3,096.68	5,586.41	2,489.73	55.4
001-4013-403-20-01	FICA/MEDICARE	523.69	4,418.50	8,512.63	4,094.13	51.9
001-4013-403-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	37,344.00	12,448.00	66.7
001-4013-403-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4013-403-21-06	WORKMENS COMPENSATION	239.97	1,420.36	198.00	(1,222.36)	717.4
001-4013-403-21-07	UNEMPLOYMENT	14.70	123.90	319.22	195.32	38.8
001-4013-403-30-04	COMPUTER SERVICES	17.50	122.50	.00	(122.50)	.0
001-4013-403-30-06	MUNICIPAL COURT SERVICES	2,746.58	26,342.64	22,000.00	(4,342.64)	119.7
001-4013-403-30-19	INSURANCE & BONDS	.00	2,492.71	2,483.00	(9.71)	100.4
001-4013-403-30-36	PROFESSIONAL SERVICES	200.00	593.04	1,000.00	406.96	59.3
001-4013-403-40-00	TRAVEL & TRAINING	.00	485.00	2,500.00	2,015.00	19.4
001-4013-403-40-10	CITY ATTORNEY SERVICES	1,092.00	4,592.14	18,000.00	13,407.86	25.5
001-4013-403-42-01	TELEPHONE	85.00	350.00	360.00	10.00	97.2
001-4013-403-42-03	POSTAGE	.00	22.14	.00	(22.14)	.0
001-4013-403-44-00	OFFICE SUPPLIES	34.76	2,879.93	2,000.00	(879.93)	144.0
001-4013-403-45-11	DATA PROCESSING SUPPLIES	.00	396.00	.00	(396.00)	.0
	TOTAL MUNICIPAL COURT	15,929.17	135,285.20	213,711.53	78,426.33	63.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CITY MANAGER</u>					
001-4014-404-10-01	REGULAR WAGES	13,662.76	125,649.86	206,043.06	80,393.20	61.0
001-4014-404-11-01	OVERTIME	.00	285.29	.00	(285.29)	.0
001-4014-404-16-00	CITY RETIREMENT	683.14	5,966.35	6,102.15	135.80	97.8
001-4014-404-20-01	FICA/MEDICARE	1,028.63	9,483.05	9,289.52	(193.53)	102.1
001-4014-404-21-01	HEALTH/LIFE INSURANCE	1,556.00	21,784.00	19,207.44	(2,576.56)	113.4
001-4014-404-21-05	DENTAL INSURANCE	70.00	980.00	840.00	(140.00)	116.7
001-4014-404-21-06	WORKMENS COMPENSATION	436.45	2,583.31	.00	(2,583.31)	.0
001-4014-404-21-07	UNEMPLOYMENT	27.32	253.25	.00	(253.25)	.0
001-4014-404-30-19	INSURANCE & BONDS	.00	1,847.41	975.00	(872.41)	189.5
001-4014-404-40-00	TRAVEL & TRAINING	279.81	4,372.52	6,000.00	1,627.48	72.9
001-4014-404-40-03	CML TRAVEL EXPENSES	.00	1,274.39	3,500.00	2,225.61	36.4
001-4014-404-42-01	TELEPHONE	85.00	882.49	2,540.00	1,657.51	34.7
001-4014-404-42-04	MEETING EXPENSE	.00	157.92	4,000.00	3,842.08	4.0
001-4014-404-44-00	OFFICE SUPPLIES	47.37	209.29	5,500.00	5,290.71	3.8
001-4014-404-44-01	OFFICE FURNITURE	.00	397.18	2,000.00	1,602.82	19.9
001-4014-404-46-02	OTHER REPAIR & MAINT	.00	.00	500.00	500.00	.0
001-4014-404-48-90	PRINTING - OTHER	.00	.00	500.00	500.00	.0
001-4014-404-50-00	MEMBERSHIP & DUES	.00	.00	2,500.00	2,500.00	.0
001-4014-404-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	500.00	500.00	.0
001-4014-404-59-01	PROFESSIONAL & TECHNICAL	.00	.00	4,700.00	4,700.00	.0
001-4014-499-30-90	CONTRACT SERVICES-OTHER	1,000.50	9,222.00	30,000.00	20,778.00	30.7
001-4014-499-30-91	INTERNSHIPS	.00	.00	25,000.00	25,000.00	.0
001-4014-499-40-06	CITY-WIDE TRAINING	.00	1,307.72	2,000.00	692.28	65.4
001-4014-499-45-10	OPERATING SUPPLIES-OTHER	.00	.00	2,500.00	2,500.00	.0
	TOTAL CITY MANAGER	18,876.98	186,656.03	334,197.17	147,541.14	55.9

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FINANCE DEPARTMENT</u>					
001-4015-405-10-01	REGULAR WAGES	29,576.01	230,697.70	253,422.62	22,724.92	91.0
001-4015-405-11-01	OVERTIME	144.95	565.77	15,400.30	14,834.53	3.7
001-4015-405-16-00	CITY RETIREMENT	1,478.80	11,534.88	12,671.13	1,136.25	91.0
001-4015-405-20-01	FICA/MEDICARE	2,162.11	16,811.17	19,308.39	2,497.22	87.1
001-4015-405-21-01	HEALTH/LIFE INSURANCE	9,336.00	66,919.00	76,829.76	9,910.76	87.1
001-4015-405-21-05	DENTAL INSURANCE	420.00	3,080.00	3,360.00	280.00	91.7
001-4015-405-21-06	WORKMENS COMPENSATION	254.08	1,503.87	315.00	(1,188.87)	477.4
001-4015-405-21-07	UNEMPLOYMENT	59.44	462.57	724.06	261.49	63.9
001-4015-405-30-04	COMPUTER/SOFTWARE SERVICES	2,790.42	21,230.27	133,589.00	112,358.73	15.9
001-4015-405-30-07	CREDIT CARD CHARGES	1,288.39	9,260.29	9,000.00	(260.29)	102.9
001-4015-405-30-19	INSURANCE & BONDS	.00	3,040.67	2,829.00	(211.67)	107.5
001-4015-405-30-24	RECORDING SERVICES	.00	.00	500.00	500.00	.0
001-4015-405-30-28	PROPERTY TAX COLLECTION	72.65	2,404.64	5,000.00	2,595.36	48.1
001-4015-405-30-90	CONTRACT SERVICES-OTHER	.00	43,173.50	111,000.00	67,826.50	38.9
001-4015-405-40-00	TRAVEL & TRAINING	.00	1,052.64	4,500.00	3,447.36	23.4
001-4015-405-42-01	TELEPHONE	265.00	1,595.00	840.00	(755.00)	189.9
001-4015-405-42-03	POSTAGE	.00	69.94	.00	(69.94)	.0
001-4015-405-42-04	MEETING EXPENSE	(180.00)	400.00	.00	(400.00)	.0
001-4015-405-44-00	OFFICE SUPPLIES	16.06	4,656.95	3,500.00	(1,156.95)	133.1
001-4015-405-44-01	CITY HALL OPERATIONS	.00	1,317.24	.00	(1,317.24)	.0
001-4015-405-48-90	PRINTING	517.86	3,653.18	5,000.00	1,346.82	73.1
001-4015-405-50-00	MEMBERSHIP & DUES	14.99	1,350.47	940.00	(410.47)	143.7
001-4015-405-51-00	PUBLICATION/SUBSCRIPTION	.00	170.00	.00	(170.00)	.0
001-4015-405-59-00	MISCELLANEOUS	494.00	13,856.32	.00	(13,856.32)	.0
001-4015-499-80-65	HISTORY COLORADO GRANT	.00	1,497.00	.00	(1,497.00)	.0
	TOTAL FINANCE DEPARTMENT	48,710.76	440,303.07	658,729.26	218,426.19	66.8
	TOTAL ALL 16	.00	.00	.00	.00	.0
	<u>CITY CLERK</u>					
001-4018-408-10-01	REGULAR WAGES	8,533.45	71,702.05	158,200.60	86,498.55	45.3
001-4018-408-10-10	EMPLOYEE INCENTIVES	91.25	91.25	.00	(91.25)	.0
001-4018-408-16-00	CITY RETIREMENT	330.00	2,838.80	6,932.44	4,093.64	41.0
001-4018-408-20-01	FICA/MEDICARE	649.52	5,458.82	10,563.71	5,104.89	51.7
001-4018-408-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	38,464.32	26,016.32	32.4
001-4018-408-21-05	DENTAL INSURANCE	70.00	560.00	1,680.00	1,120.00	33.3
001-4018-408-21-06	WORKMENS COMPENSATION	238.03	1,408.86	198.00	(1,210.86)	711.6
001-4018-408-21-07	UNEMPLOYMENT	17.06	143.38	396.14	252.76	36.2
001-4018-408-30-14	ELECTION SERVICES	.00	13,622.76	20,000.00	6,377.24	68.1
001-4018-408-30-19	INSURANCE & BONDS	.00	650.27	648.00	(2.27)	100.4
001-4018-408-30-90	CONTRACT SERVICES-OTHER	.00	.00	3,000.00	3,000.00	.0
001-4018-408-40-00	TRAVEL & TRAINING	700.00	2,940.04	3,500.00	559.96	84.0
001-4018-408-42-01	TELEPHONE	80.00	400.00	.00	(400.00)	.0
001-4018-408-44-00	OFFICE SUPPLIES	95.43	1,192.62	2,000.00	807.38	59.6
001-4018-408-45-08	EMPLOYEE BENCHMARKING	.00	2,020.00	3,000.00	980.00	67.3
001-4018-408-45-09	WELLNESS PROGRAM	1,137.13	8,500.10	27,500.00	18,999.90	30.9
001-4018-408-45-10	OTHER OPERATING SUPPLIES	.00	534.46	2,000.00	1,465.54	26.7
001-4018-408-50-00	MEMBERSHIP & DUES	130.00	692.21	400.00	(292.21)	173.1
	TOTAL CITY CLERK	13,627.87	125,203.62	278,483.21	153,279.59	45.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GRANTS ADMINISTER</u>					
001-4040-404-10-01	REGULAR WAGES	.00	.00	68,000.00	68,000.00	.0
001-4040-404-30-90	CONTRACT SERVICES	.00	3.71	10,000.00	9,996.29	.0
001-4040-404-49-03	ADVERTISING-OTHER	.00	14.99	.00	(14.99)	.0
	TOTAL GRANTS ADMINISTER	.00	18.70	78,000.00	77,981.30	.0
	<u>MARKETING</u>					
001-4044-404-10-01	REGULAR WAGES	4,734.41	42,696.84	59,264.89	16,568.05	72.0
001-4044-404-16-00	CITY RETIREMENT	236.72	2,134.84	2,963.25	828.41	72.0
001-4044-404-20-01	FICA/MEDICARE	304.54	2,785.09	4,515.42	1,730.33	61.7
001-4044-404-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.44	6,759.44	64.8
001-4044-404-21-05	DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4044-404-21-06	WORKMENS COMPENSATION	236.41	1,399.29	180.00	(1,219.29)	777.4
001-4044-404-21-07	UNEMPLOYMENT	9.46	85.32	169.33	84.01	50.4
001-4044-404-24-00	MARKETING	5,714.84	35,671.21	45,000.00	9,328.79	79.3
001-4044-404-30-19	INSURANCE & BONDS	.00	101.25	115.00	13.75	88.0
001-4044-404-40-00	TRAVEL & TRAINING	.00	1,478.26	1,000.00	(478.26)	147.8
001-4044-404-42-01	TELEPHONE	85.00	680.00	1,020.00	340.00	66.7
001-4044-404-44-00	OFFICE SUPPLIES	.00	.00	800.00	800.00	.0
001-4044-404-45-15	EMP APPRECTION/PICNIC	3,300.00	11,662.10	20,000.00	8,337.90	58.3
001-4044-404-45-22	COPIER EXPENSE	112.50	506.25	.00	(506.25)	.0
	TOTAL MARKETING	16,359.88	112,208.45	155,075.33	42,866.88	72.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>LIBRARY</u>					
001-4055-407-10-01	REGULAR WAGES	24,307.13	193,880.64	389,238.13	195,357.49	49.8
001-4055-407-10-10	EMPLOYEE INCENTIVES	69.25	69.25	.00	(69.25)	.0
001-4055-407-16-00	CITY RETIREMENT	881.60	6,972.27	13,456.80	6,484.53	51.8
001-4055-407-20-01	FICA/MEDICARE	1,803.71	14,528.92	25,530.83	11,001.91	56.9
001-4055-407-21-01	HEALTH/LIFE INSURANCE	7,780.00	54,471.00	96,037.20	41,566.20	56.7
001-4055-407-21-05	DENTAL INSURANCE	350.00	2,520.00	4,200.00	1,680.00	60.0
001-4055-407-21-06	WORKMENS COMPENSATION	302.97	1,793.23	1,440.00	(353.23)	124.5
001-4055-407-21-07	UNEMPLOYMENT	48.63	387.73	957.41	569.68	40.5
001-4055-407-30-04	COMPUTER SERVICES	.00	895.75	.00	(895.75)	.0
001-4055-407-30-19	INSURANCE & BONDS	.00	15,636.67	15,838.91	202.24	98.7
001-4055-407-30-27	BOOK COURIER SERVICE	.00	.00	945.00	945.00	.0
001-4055-407-30-90	OTHER CONTRACTUAL SERVICES	.00	3,905.43	.00	(3,905.43)	.0
001-4055-407-32-01	JANITORIAL SERVICES	.00	203.71	14,000.00	13,796.29	1.5
001-4055-407-40-00	TRAVEL & TRAINING	.00	169.54	1,100.00	930.46	15.4
001-4055-407-42-01	TELEPHONE	87.90	347.61	576.00	228.39	60.4
001-4055-407-42-03	POSTAGE	.00	215.76	1,000.00	784.24	21.6
001-4055-407-42-10	FIBER CHARGES	3,503.40	28,027.20	.00	(28,027.20)	.0
001-4055-407-43-01	ELECTRIC	2,086.64	8,359.26	17,510.00	9,150.74	47.7
001-4055-407-43-02	SEWER	86.00	342.00	567.00	225.00	60.3
001-4055-407-43-03	GAS	64.84	2,542.31	2,880.00	337.69	88.3
001-4055-407-43-04	REFUSE	135.60	813.60	1,449.00	635.40	56.2
001-4055-407-43-05	WATER	32.01	181.92	720.00	538.08	25.3
001-4055-407-45-10	OTHER OPERATING SUPPLIES	453.50	15,665.72	25,000.00	9,334.28	62.7
001-4055-407-45-19	BOOKS	3,389.09	16,285.71	33,600.00	17,314.29	48.5
001-4055-407-45-20	NON-PRINT MEDIA	327.91	1,644.46	4,305.00	2,660.54	38.2
001-4055-407-45-21	BOOK MAINT & SUPPLIES	670.37	1,004.32	3,255.00	2,250.68	30.9
001-4055-407-45-22	COPIER EXPENSE	360.93	2,489.63	9,040.00	6,550.37	27.5
001-4055-407-46-02	OTHER REPAIR & MAINT	536.35	3,095.34	8,400.00	5,304.66	36.9
001-4055-407-47-00	ARTS/MURALS	.00	500.00	.00	(500.00)	.0
001-4055-407-50-00	MEMBERSHIP & DUES	150.00	861.00	525.00	(336.00)	164.0
001-4055-407-51-00	PUBLICATION/SUBSCRIPTION	1,474.05	6,403.99	8,405.25	2,001.26	76.2
001-4055-407-59-26	EVENTS AND OUTREACH	978.21	4,669.54	10,000.00	5,330.46	46.7
001-4055-407-63-10	CAPITAL OUTLAY	.00	.00	470,000.00	470,000.00	.0
	TOTAL LIBRARY	49,880.09	388,883.51	1,159,976.53	771,093.02	33.5
	TOTAL GENERAL GOVERNMENT	224,274.11	2,175,969.08	4,075,167.86	1,899,198.78	53.4
	<u>GENERAL SERVICES</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GEN SERV - ADMINISTRATION</u>						
001-4116-406-10-01	REGULAR WAGES	7,993.60	68,238.40	99,059.44	30,821.04	68.9
001-4116-406-16-00	CITY RETIREMENT	399.68	3,411.92	4,821.73	1,409.81	70.8
001-4116-406-20-01	FICA/MEDICARE	602.10	5,144.95	7,347.39	2,202.44	70.0
001-4116-406-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.44	6,759.44	64.8
001-4116-406-21-05	DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4116-406-21-06	WORKMENS COMPENSATION	247.14	1,462.80	315.00	(1,147.80)	464.4
001-4116-406-21-07	UNEMPLOYMENT	15.98	136.42	275.53	139.11	49.5
001-4116-406-30-19	INSURANCE & BONDS	.00	4,461.10	4,444.00	(17.10)	100.4
001-4116-406-40-00	TRAVEL & TRAINING	.00	1,240.59	2,500.00	1,259.41	49.6
001-4116-406-42-01	TELEPHONE	70.00	560.00	840.00	280.00	66.7
001-4116-406-44-00	OFFICE SUPPLIES	.00	.00	1,500.00	1,500.00	.0
001-4116-406-50-00	MEMBERSHIP & DUES	.00	560.00	620.00	60.00	90.3
001-4116-406-63-10	CAPITAL OUTLAY	.00	.00	240,000.00	240,000.00	.0
001-4116-406-90-02	TRANSF TO FLEET	.00	.00	1,000.00	1,000.00	.0
001-4116-486-61-22	CITY HALL PROJECTS	(9,670.00)	.00	.00	.00	.0
TOTAL GEN SERV - ADMINISTRATION		1,284.50	98,224.18	382,770.53	284,546.35	25.7
<u>BUILDING MAINTENANCE</u>						
001-4117-406-10-01	REGULAR WAGES	11,022.40	92,960.80	153,483.03	60,522.23	60.6
001-4117-406-16-00	CITY RETIREMENT	551.12	4,648.04	7,659.15	3,011.11	60.7
001-4117-406-20-01	FICA/MEDICARE	808.84	6,836.48	11,671.09	4,834.61	58.6
001-4117-406-21-01	HEALTH/LIFE INSURANCE	4,668.00	37,344.00	57,622.32	20,278.32	64.8
001-4117-406-21-05	DENTAL INSURANCE	210.00	1,680.00	2,520.00	840.00	66.7
001-4117-406-21-06	WORKMENS COMPENSATION	655.97	4,213.39	5,895.00	1,681.61	71.5
001-4117-406-21-07	UNEMPLOYMENT	22.04	185.87	437.67	251.80	42.5
001-4117-406-30-19	INSURANCE & BONDS	.00	306.58	148.00	(158.58)	207.2
001-4117-406-30-90	CONTRACT SERVICES-OTHER	.00	3,122.00	2,000.00	(1,122.00)	156.1
001-4117-406-40-00	TRAVEL & TRAINING	.00	.00	2,500.00	2,500.00	.0
001-4117-406-42-01	TELEPHONE	90.00	720.00	1,200.00	480.00	60.0
001-4117-406-45-07	CLOTHING ALLOWANCE	.00	578.38	600.00	21.62	96.4
001-4117-406-45-10	OPERATING SUPPLIES-OTHER	149.83	10,666.40	14,600.00	3,933.60	73.1
001-4117-406-46-02	OTHER REPAIR & MAINT	.00	.00	1,000.00	1,000.00	.0
001-4117-406-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	66.00	66.00	.0
TOTAL BUILDING MAINTENANCE		18,178.20	163,261.94	261,402.26	98,140.32	62.5
TOTAL G.S. CITY HALL OPERATIONS		.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CITY HALL ROGER SMITH AVE</u>					
001-4119-406-30-37	SOLAR LEASE	.00	39,933.00	40,000.00	67.00	99.8
001-4119-406-30-90	OTHER CONTRACTUAL SERVICES	9,670.00	9,670.00	.00	(9,670.00)	.0
001-4119-406-32-01	JANITORIAL SERVICES	2,300.00	18,400.00	28,000.00	9,600.00	65.7
001-4119-406-32-90	MAINT CONTRACTS-OTHER	211.50	1,800.77	10,000.00	8,199.23	18.0
001-4119-406-42-01	TELEPHONE	202.50	802.02	1,400.00	597.98	57.3
001-4119-406-42-03	POSTAGE	572.01	3,461.26	6,500.00	3,038.74	53.3
001-4119-406-42-10	FIBER CHARGES	599.64	4,197.48	.00	(4,197.48)	.0
001-4119-406-43-01	ELECTRIC	513.44	4,356.52	6,000.00	1,643.48	72.6
001-4119-406-43-02	SEWER	1,514.00	1,866.00	2,800.00	934.00	66.6
001-4119-406-43-03	GAS	338.49	4,695.07	5,500.00	804.93	85.4
001-4119-406-43-04	REFUSE	192.95	1,157.70	2,040.00	882.30	56.8
001-4119-406-43-05	WATER	688.56	1,704.52	2,500.00	795.48	68.2
001-4119-406-44-00	OFFICE SUPPLIES	.00	35.90	1,000.00	964.10	3.6
001-4119-406-45-10	OPERATING SUPPLIES-OTHER	798.16	4,041.45	3,000.00	(1,041.45)	134.7
001-4119-406-45-22	COPIER EXPENSE	602.03	5,948.11	11,100.00	5,151.89	53.6
001-4119-406-46-02	OTHER REPAIR & MAINT	190.60	13,382.36	5,000.00	(8,382.36)	267.7
	TOTAL CITY HALL ROGER SMITH AVE	18,393.88	115,452.16	124,840.00	9,387.84	92.5
	TOTAL ALL 57	.00	.00	.00	.00	.0
	<u>WELCOME CENTER (CITY)</u>					
001-4158-511-21-06	WORKMENS COMPENSATION	291.09	1,722.92	.00	(1,722.92)	.0
001-4158-511-30-90	CONTRACT SERVICES-OTHER	256.47	21,576.79	34,640.00	13,063.21	62.3
001-4158-511-32-01	JANITORIAL SERVICES	1,530.00	11,110.00	19,000.00	7,890.00	58.5
001-4158-511-42-01	TELEPHONE	172.30	1,006.81	.00	(1,006.81)	.0
001-4158-511-42-10	FIBER CHARGES	806.76	5,647.32	.00	(5,647.32)	.0
001-4158-511-43-01	ELECTRIC	585.03	3,228.52	5,500.00	2,271.48	58.7
001-4158-511-43-02	SEWER	86.00	342.00	480.00	138.00	71.3
001-4158-511-43-03	GAS	29.56	862.98	1,500.00	637.02	57.5
001-4158-511-43-04	REFUSE	94.80	568.80	1,100.00	531.20	51.7
001-4158-511-43-05	WATER	32.01	178.54	360.00	181.46	49.6
001-4158-511-45-10	OPERATING SUPPLIES-OTHER	.00	1,426.14	.00	(1,426.14)	.0
001-4158-511-46-07	WELCOME CENTER REPAIRS	.00	1,741.16	1,000.00	(741.16)	174.1
	TOTAL WELCOME CENTER (CITY)	3,884.02	49,411.98	63,580.00	14,168.02	77.7
	TOTAL ALL 60	.00	.00	.00	.00	.0
	TOTAL GENERAL SERVICES	41,740.60	426,350.26	832,592.79	406,242.53	51.2
	<u>PUBLIC SAFETY</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>POLICE ADMINISTRATION</u>					
001-4220-420-10-01	REGULAR WAGES	24,984.01	205,782.41	375,000.30	169,217.89	54.9
001-4220-420-11-01	OVERTIME	.00	928.03	3,150.00	2,221.97	29.5
001-4220-420-16-00	CITY RETIREMENT	1,249.20	10,289.12	11,685.27	1,396.15	88.1
001-4220-420-20-01	FICA/MEDICARE	857.88	7,310.07	11,021.94	3,711.87	66.3
001-4220-420-21-01	HEALTH/LIFE INSURANCE	6,224.00	49,792.00	63,403.20	13,611.20	78.5
001-4220-420-21-05	DENTAL INSURANCE	280.00	2,240.00	2,856.00	616.00	78.4
001-4220-420-21-06	WORKMENS COMPENSATION	478.43	2,831.78	4,725.00	1,893.22	59.9
001-4220-420-21-07	UNEMPLOYMENT	49.98	413.53	637.38	223.85	64.9
001-4220-420-22-01	ICMA POLICE	1,268.93	10,587.11	11,447.49	860.38	92.5
001-4220-420-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	7,650.00	7,650.00	.0
001-4220-420-30-19	INSURANCE & BONDS	.00	11,125.39	10,978.00	(147.39)	101.3
001-4220-420-30-90	CONTRACT SERVICES-OTHER	.00	32,731.79	6,793.20	(25,938.59)	481.8
001-4220-420-32-90	MAINT CONTRACTS-OTHER	.00	870.72	74,000.00	73,129.28	1.2
001-4220-420-40-00	TRAVEL/TRAINING	1,537.76	6,398.27	4,800.00	(1,598.27)	133.3
001-4220-420-42-01	TELEPHONE	1,627.58	12,947.18	20,280.00	7,332.82	63.8
001-4220-420-45-07	CLOTHING ALLOWANCE	.00	463.52	1,200.00	736.48	38.6
001-4220-420-45-10	OPERATING SUPPLIES-OTHER	188.32	1,591.53	3,000.00	1,408.47	53.1
001-4220-420-45-26	ACUTE CARE FACILITY	350.00	2,450.00	4,200.00	1,750.00	58.3
001-4220-420-49-03	ADVERTISING-OTHER	150.92	150.92	2,040.00	1,889.08	7.4
001-4220-420-50-00	MEMBERSHIP & DUES	.00	1,300.00	2,635.00	1,335.00	49.3
001-4220-420-51-00	PUBLICATION/SUBSCRIPTION	.00	95.00	816.00	721.00	11.6
001-4220-420-59-00	MISCELLANEOUS	.00	10,808.54	14,211.00	3,402.46	76.1
	TOTAL POLICE ADMINISTRATION	39,247.01	371,106.91	636,529.78	265,422.87	58.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PATROL</u>					
001-4221-421-10-01	REGULAR WAGES	107,619.21	908,215.18	1,408,798.34	500,583.16 64.5
001-4221-421-10-02	REIMBURSED WAGES	.00	(1,165.37)	.00	1,165.37 .0
001-4221-421-10-10	EMPLOYEE INCENTIVES	352.00	352.00	.00	(352.00) .0
001-4221-421-11-01	OVERTIME	3,503.51	39,443.83	68,250.00	28,806.17 57.8
001-4221-421-11-03	GRANT OVERTIME	2,341.00	11,984.98	42,000.00	30,015.02 28.5
001-4221-421-16-00	CITY RETIREMENT	5,380.96	45,157.98	70,439.92	25,281.94 64.1
001-4221-421-20-01	FICA/MEDICARE	2,177.34	18,420.31	21,141.00	2,720.69 87.1
001-4221-421-21-01	HEALTH/LIFE INSURANCE	37,355.00	308,121.00	466,200.00	158,079.00 66.1
001-4221-421-21-05	DENTAL INSURANCE	1,750.00	14,070.00	21,000.00	6,930.00 67.0
001-4221-421-21-06	WORKMENS COMPENSATION	4,559.36	25,294.36	40,500.00	15,205.64 62.5
001-4221-421-21-07	UNEMPLOYMENT	226.91	1,919.10	3,842.18	1,923.08 50.0
001-4221-421-22-01	ICMA POLICE	7,784.04	65,374.52	112,703.87	47,329.35 58.0
001-4221-421-30-19	INSURANCE & BONDS	.00	22,395.06	19,868.00	(2,527.06) 112.7
001-4221-421-30-34	EMPLOYEE LICENSES/TESTING	.00	375.00	4,000.00	3,625.00 9.4
001-4221-421-30-90	CONTRACT SERVICES	.00	615.00	2,050.00	1,435.00 30.0
001-4221-421-30-95	ANIMAL IMPOUNDMENT	36.75	892.50	2,448.00	1,555.50 36.5
001-4221-421-32-90	MAINT CONTRACTS - OTHER	.00	686.24	2,000.00	1,313.76 34.3
001-4221-421-40-00	TRAVEL & TRAINING	95.45	(71.36)	20,400.00	20,471.36 (.4)
001-4221-421-44-00	OFFICE SUPPLIES	.00	328.23	.00	(328.23) .0
001-4221-421-45-07	CLOTHING ALLOWANCE	1,004.59	11,307.49	20,400.00	9,092.51 55.4
001-4221-421-45-10	OPERATING SUPPLIES-OTHER	781.16	8,095.88	14,500.00	6,404.12 55.8
001-4221-421-45-13	DARE TRAINING MATERIALS	.00	926.14	1,800.00	873.86 51.5
001-4221-421-45-15	AMMUNITION	2,219.05	11,670.05	23,000.00	11,329.95 50.7
001-4221-421-46-02	OTHER REPAIR & MAINT	11,043.84	49,414.51	56,100.00	6,685.49 88.1
001-4221-421-50-00	MEMBERSHIP & DUES	.00	45.00	125.00	80.00 36.0
001-4221-421-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	153.00	153.00 .0
	TOTAL PATROL	188,230.17	1,543,867.63	2,421,719.31	877,851.68 63.8
<u>POLICE SUPPORT SERVICES</u>					
001-4222-422-10-01	REGULAR WAGES	13,790.40	103,440.83	149,645.75	46,204.92 69.1
001-4222-422-11-01	OVERTIME	.00	186.83	1,575.00	1,388.17 11.9
001-4222-422-16-00	CITY RETIREMENT	689.52	5,172.04	7,482.29	2,310.25 69.1
001-4222-422-20-01	FICA/MEDICARE	1,032.39	7,746.92	10,883.33	3,136.41 71.2
001-4222-422-21-01	HEALTH/LIFE INSURANCE	3,123.00	24,984.00	55,944.00	30,960.00 44.7
001-4222-422-21-05	DENTAL INSURANCE	140.00	1,120.00	2,520.00	1,400.00 44.4
001-4222-422-21-06	WORKMENS COMPENSATION	246.09	1,456.58	2,000.00	543.42 72.8
001-4222-422-21-07	UNEMPLOYMENT	27.59	207.37	408.12	200.75 50.8
001-4222-422-30-19	INSURANCE & BONDS	.00	104.97	105.00	.03 100.0
001-4222-422-30-90	CONTRACT SERVICES-OTHER	.00	1,549.67	.00	(1,549.67) .0
001-4222-422-40-00	TRAVEL/TRAINING	.00	179.82	3,060.00	2,880.18 5.9
001-4222-422-45-07	CLOTHING ALLOWANCE	.00	176.00	510.00	334.00 34.5
001-4222-422-45-10	OPERATING SUPPLIES-OTHER	.00	351.62	1,101.60	749.98 31.9
	TOTAL POLICE SUPPORT SERVICES	19,048.99	146,676.65	235,235.09	88,558.44 62.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>POLICE INVESTIGATION</u>					
001-4223-423-10-01	REGULAR WAGES	34,347.20	281,476.32	440,413.80	158,937.48	63.9
001-4223-423-10-10	EMPLOYEE INCENTIVES	122.50	122.50	.00	(122.50)	.0
001-4223-423-11-01	OVERTIME	1,365.67	6,348.48	11,550.00	5,201.52	55.0
001-4223-423-11-03	GRANT OVERTIME	.00	1,398.35	4,200.00	2,801.65	33.3
001-4223-423-16-00	CITY RETIREMENT	1,717.36	13,929.98	22,020.69	8,090.71	63.3
001-4223-423-20-01	FICA/MEDICARE	718.32	5,928.46	5,805.45	(123.01)	102.1
001-4223-423-21-01	HEALTH/LIFE INSURANCE	10,892.00	82,468.00	130,536.00	48,068.00	63.2
001-4223-423-21-05	DENTAL INSURANCE	490.00	3,710.00	5,880.00	2,170.00	63.1
001-4223-423-21-06	WORKMENS COMPENSATION	1,068.83	6,326.29	4,635.00	(1,691.29)	136.5
001-4223-423-21-07	UNEMPLOYMENT	71.43	578.49	1,201.13	622.64	48.2
001-4223-423-22-01	ICMA POLICE	2,458.74	19,822.16	32,030.09	12,207.93	61.9
001-4223-423-30-19	INSURANCE & BONDS	.00	10,242.63	10,200.00	(42.63)	100.4
001-4223-423-30-90	CONTRACT SERVICES-OTHER	75.00	525.00	2,000.00	1,475.00	26.3
001-4223-423-40-00	TRAVEL & TRAINING	1,982.00	3,388.88	10,200.00	6,811.12	33.2
001-4223-423-44-00	OFFICE SUPPLIES	.00	373.35	.00	(373.35)	.0
001-4223-423-45-07	CLOTHING ALLOWANCE	162.49	2,288.58	3.00	(2,285.58)	76286.
001-4223-423-45-10	OPERATING SUPPLIES	82.46	942.91	7,600.00	6,657.09	12.4
001-4223-423-45-11	OPERATING EQUIPMENT	.00	719.55	14,600.00	13,880.45	4.9
001-4223-423-49-03	ADVERTISING	.00	.00	250.00	250.00	.0
001-4223-423-50-00	MEMBERSHIP & DUES	.00	65.00	475.00	410.00	13.7
001-4223-423-51-00	PUBLICATION/SUBSCRIPTION	.00	506.99	1,734.00	1,227.01	29.2
	TOTAL POLICE INVESTIGATION	55,554.00	441,161.92	705,334.16	264,172.24	62.6
	<u>POLICE CORRECTIONS</u>					
001-4224-424-30-16	PRISTONER CUSTODY	2,300.00	17,080.00	62,790.00	45,710.00	27.2
001-4224-424-40-02	PRISONER TRANSPORT	(1,013.76)	(2,426.47)	400.00	2,826.47	(606.6)
	TOTAL POLICE CORRECTIONS	1,286.24	14,653.53	63,190.00	48,536.47	23.2
	<u>BUILDING OPERATIONS</u>					
001-4225-425-32-01	JANITORIAL SERVICES	1,499.58	11,996.64	19,584.00	7,587.36	61.3
001-4225-425-32-90	MAINT CONTRACTS-OTHER	362.48	3,349.94	8,996.40	5,646.46	37.2
001-4225-425-42-01	TELEPHONE	264.79	2,099.02	4,896.00	2,796.98	42.9
001-4225-425-42-03	POSTAGE	.00	693.20	4,192.20	3,499.00	16.5
001-4225-425-42-10	FIBER CHARGES	1,136.52	7,955.64	.00	(7,955.64)	.0
001-4225-425-43-01	ELECTRIC	3,358.08	24,970.34	36,204.80	11,234.46	69.0
001-4225-425-43-02	SEWER	106.00	391.00	918.00	527.00	42.6
001-4225-425-43-03	GAS	112.03	2,233.85	2,244.00	10.15	99.6
001-4225-425-43-04	REFUSE	218.30	1,309.80	2,550.00	1,240.20	51.4
001-4225-425-43-05	WATER	48.91	303.60	663.00	359.40	45.8
001-4225-425-44-00	OFFICE SUPPLIES	133.99	3,053.54	5,610.00	2,556.46	54.4
001-4225-425-45-10	OPERATING SUPPLIES	292.75	5,680.57	5,100.00	(580.57)	111.4
001-4225-425-45-22	COPIER EXPENSE	1,203.14	4,604.12	7,650.00	3,045.88	60.2
001-4225-425-46-02	OTHER REPAIR & MAINT	1,762.80	18,241.02	16,000.00	(2,241.02)	114.0
	TOTAL BUILDING OPERATIONS	10,499.37	86,882.28	114,608.40	27,726.12	75.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>KENNEL OPERATIONS</u>					
001-4226-426-10-01 REGULAR WAGES	10,761.35	94,785.42	147,699.55	52,914.13	64.2
001-4226-426-11-01 REGULAR OVERTIME	.00	.00	1,050.00	1,050.00	.0
001-4226-426-16-00 CITY RETIREMENT	303.20	2,666.76	3,779.19	1,112.43	70.6
001-4226-426-20-01 FICA/MEDICARE	797.66	7,046.43	11,253.30	4,206.87	62.6
001-4226-426-21-01 HEALTH/LIFE INSURANCE	3,112.00	24,896.00	37,296.00	12,400.00	66.8
001-4226-426-21-05 DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4226-426-21-06 WORKMENS COMPENSATION	358.18	2,339.79	3,000.00	660.21	78.0
001-4226-426-21-07 UNEMPLOYMENT	21.51	189.55	422.00	232.45	44.9
001-4226-426-30-19 INSURANCE & BONDS	.00	1,494.02	1,289.00	(205.02)	115.9
001-4226-426-30-37 SOLAR LEASE	.00	3,579.00	.00	(3,579.00)	.0
001-4226-426-30-39 SPAY/NEUTER PROGRAM	1,937.25	10,811.05	12,000.00	1,188.95	90.1
001-4226-426-30-90 OTHER CONTRACTUAL SERVICES	101.00	1,009.49	480.00	(529.49)	210.3
001-4226-426-32-90 MAINT. CONTRACTS - OTHER	78.74	593.38	.00	(593.38)	.0
001-4226-426-40-00 TRAVEL & TRAINING	.00	.00	2,000.00	2,000.00	.0
001-4226-426-42-01 TELEPHONE	.00	180.82	489.60	308.78	36.9
001-4226-426-42-10 FIBER CHARGES	650.20	4,551.40	.00	(4,551.40)	.0
001-4226-426-43-01 ELECTRIC	39.90	242.58	2,142.00	1,899.42	11.3
001-4226-426-43-02 SEWER	166.00	594.00	795.60	201.60	74.7
001-4226-426-43-03 GAS	46.55	1,094.06	1,346.40	252.34	81.3
001-4226-426-43-04 REFUSE	54.00	324.00	652.80	328.80	49.6
001-4226-426-43-05 WATER	72.57	405.00	734.40	329.40	55.2
001-4226-426-45-07 CLOTHING ALLOWANCE	.00	492.96	600.00	107.04	82.2
001-4226-426-45-10 OTHER OPERATING SUPPLIES	884.95	12,197.62	14,400.00	2,202.38	84.7
001-4226-426-46-02 OTHER REPAIR & MAINT	(95.08)	1,541.77	1,200.00	(341.77)	128.5
TOTAL KENNEL OPERATIONS	19,429.98	172,155.10	244,309.84	72,154.74	70.5
TOTAL PUBLIC SAFETY	333,295.76	2,776,504.02	4,420,926.58	1,644,422.56	62.8
<u>PUBLIC WORKS</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>P.W. ADMINISTRATION</u>					
001-4330-430-10-01	REGULAR WAGES	13,395.60	90,986.69	176,613.61	85,626.92	51.5
001-4330-430-10-10	EMPLOYEE INCENTIVES	53.50	53.50	.00	(53.50)	.0
001-4330-430-11-01	OVERTIME	.00	1,017.84	.00	(1,017.84)	.0
001-4330-430-16-00	CITY RETIREMENT	565.66	4,271.02	8,830.68	4,559.66	48.4
001-4330-430-20-01	FICA/MEDICARE	998.42	6,824.06	13,456.28	6,632.22	50.7
001-4330-430-21-01	HEALTH/LIFE INSURANCE	3,117.50	24,929.00	74,592.00	49,663.00	33.4
001-4330-430-21-05	DENTAL INSURANCE	175.00	1,330.00	3,360.00	2,030.00	39.6
001-4330-430-21-06	WORKMENS COMPENSATION	674.07	3,989.74	3,825.00	(164.74)	104.3
001-4330-430-21-07	UNEMPLOYMENT	26.81	184.10	504.61	320.51	36.5
001-4330-430-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	550.00	550.00	.0
001-4330-430-30-19	INSURANCE & BONDS	.00	11,383.26	11,566.00	182.74	98.4
001-4330-430-30-24	RECORDING	.00	95.60	250.00	154.40	38.2
001-4330-430-30-31	G.I.S. MAPPING	.00	4,484.49	6,500.00	2,015.51	69.0
001-4330-430-30-34	EMPLOYEE LICENSES/TESTING	.00	330.50	250.00	(80.50)	132.2
001-4330-430-30-90	CONTRACT SERVICES-OTHER	3,340.00	13,206.00	25,000.00	11,794.00	52.8
001-4330-430-32-90	MAINT CONTRACTS - OTHER	.00	.00	625.00	625.00	.0
001-4330-430-40-00	TRAVEL & TRAINING	200.00	12,691.37	52,858.00	40,166.63	24.0
001-4330-430-42-01	TELEPHONE	85.00	516.70	3,000.00	2,483.30	17.2
001-4330-430-44-00	OFFICE SUPPLIES	.00	599.41	2,600.00	2,000.59	23.1
001-4330-430-45-07	CLOTHING ALLOWANCE	92.50	1,061.90	1,400.00	338.10	75.9
001-4330-430-45-11	DATA PROCESSING SUPPLIES	.00	.00	100.00	100.00	.0
001-4330-430-45-12	SAFETY PROGRAM	781.31	1,668.10	3,000.00	1,331.90	55.6
001-4330-430-46-02	OTHER REPAIR & MAINT	.00	.00	100.00	100.00	.0
001-4330-430-49-03	ADVERTISING	611.60	972.00	2,000.00	1,028.00	48.6
001-4330-430-50-00	MEMBERSHIP & DUES	.00	370.00	350.00	(20.00)	105.7
001-4330-430-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	600.00	600.00	.0
	TOTAL P.W. ADMINISTRATION	24,116.97	180,965.28	391,931.18	210,965.90	46.2
	TOTAL ALL 31	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STREETS & UTILITIES</u>					
001-4332-432-10-01	REGULAR WAGES	19,834.40	153,341.63	197,136.31	43,794.68	77.8
001-4332-432-10-02	REIMBURSED WAGES	.00	.00	420.00	420.00	.0
001-4332-432-11-01	OVERTIME	453.68	3,483.51	.00	(3,483.51)	.0
001-4332-432-16-00	CITY RETIREMENT	989.72	7,584.23	10,350.31	2,766.08	73.3
001-4332-432-20-01	FICA/MEDICARE	1,461.18	11,418.23	15,771.91	4,353.68	72.4
001-4332-432-21-01	HEALTH/LIFE INSURANCE	8,558.00	59,139.00	74,592.00	15,453.00	79.3
001-4332-432-21-05	DENTAL INSURANCE	385.00	2,730.00	3,360.00	630.00	81.3
001-4332-432-21-06	WORKMENS COMPENSATION	2,196.84	13,002.85	495.00	(12,507.85)	2626.8
001-4332-432-21-07	UNEMPLOYMENT	40.58	313.65	591.45	277.80	53.0
001-4332-432-30-11	SOLID WASTE DISPOSAL	.00	5,502.71	4,000.00	(1,502.71)	137.6
001-4332-432-30-18	WEED CUTTING/SPRAYING	212.22	513.02	8,000.00	7,486.98	6.4
001-4332-432-30-19	INSURANCE & BONDS	.00	2,266.03	5,436.60	3,170.57	41.7
001-4332-432-30-34	EMPLOYEE LICENSES/TESTING	.00	573.70	1,000.00	426.30	57.4
001-4332-432-30-90	OTHER CONTRACTUAL SERVICES	.00	2,880.00	1,000.00	(1,880.00)	288.0
001-4332-432-40-00	TRAVEL & TRAINING	.00	250.00	1,500.00	1,250.00	16.7
001-4332-432-42-01	TELEPHONE	319.23	2,481.06	4,200.00	1,718.94	59.1
001-4332-432-45-07	CLOTHING ALLOWANCE	1,134.79	4,383.45	3,000.00	(1,383.45)	146.1
001-4332-432-45-10	OPERATING SUPPLIES	182.33	1,341.19	4,000.00	2,658.81	33.5
001-4332-432-45-18	STREET REPAIR SUPPLIES	7,535.41	23,538.94	25,000.00	1,461.06	94.2
001-4332-432-46-02	OTHER REPAIR & MAINT	134.73	1,267.78	1,000.00	(267.78)	126.8
001-4332-432-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	200.00	200.00	.0
001-4332-432-52-00	EQUIPMENT RENTALS	.00	.00	200.00	200.00	.0
001-4332-432-59-19	CITY-WIDE CLEANUP	170.00	2,299.82	10,000.00	7,700.18	23.0
001-4332-432-63-01	UNDER \$5,000	.00	.00	12,500.00	12,500.00	.0
	TOTAL STREETS & UTILITIES	43,608.11	298,310.80	383,753.58	85,442.78	77.7
	<u>TRAFFIC SERVICES</u>					
001-4333-433-43-01	ELECTRIC	10,464.55	83,719.27	130,000.00	46,280.73	64.4
001-4333-433-45-02	SIGN SUPPLIES	4,171.24	13,161.86	15,000.00	1,838.14	87.8
001-4333-433-45-03	PAINT SUPPLIES	4,215.09	48,106.18	35,000.00	(13,106.18)	137.5
001-4333-433-46-02	OTHER REPAIR & MAINT	.00	3,495.04	3,500.00	4.96	99.9
001-4333-433-63-01	UNDER \$5,000	.00	.00	500.00	500.00	.0
	TOTAL TRAFFIC SERVICES	18,850.88	148,482.35	184,000.00	35,517.65	80.7
	<u>SNOW & ICE REMOVAL</u>					
001-4334-434-30-19	INSURANCE & BONDS	.00	5,654.90	27,941.41	22,286.51	20.2
001-4334-434-30-34	SNOW REMOVAL	.00	.00	200.00	200.00	.0
001-4334-434-30-90	CONTRACTUAL SERVICES	.00	.00	16,000.00	16,000.00	.0
001-4334-434-45-10	OPERATING SUPPLIES	11,905.72	11,905.72	30,000.00	18,094.28	39.7
	TOTAL SNOW & ICE REMOVAL	11,905.72	17,560.62	74,141.41	56,580.79	23.7

CITY OF CORTEZ
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STREET CLEANING</u>					
001-4335-435-10-01	REGULAR WAGES	7,995.20	83,372.09	103,927.06	20,554.97	80.2
001-4335-435-10-02	REIMBURSED WAGES	.00	(8,080.80)	.00	8,080.80	.0
001-4335-435-10-10	EMPLOYEE INCENTIVES	.00	.00	115.50	115.50	.0
001-4335-435-11-01	OVERTIME	210.29	1,872.01	1,575.00	(297.01)	118.9
001-4335-435-16-00	CITY RETIREMENT	399.76	3,410.52	5,196.36	1,785.84	65.6
001-4335-435-20-01	FICA/MEDICARE	601.05	6,266.47	7,918.25	1,651.78	79.1
001-4335-435-21-01	HEALTH INSURANCE PREMIUM	3,112.00	24,896.00	37,296.00	12,400.00	66.8
001-4335-435-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4335-435-21-06	WORKMENS COMPENSATION	565.05	3,344.48	5,544.00	2,199.52	60.3
001-4335-435-21-07	UNEMPLOYMENT	16.42	170.56	296.93	126.37	57.4
001-4335-435-30-19	INSURANCE & BONDS	.00	1,182.54	2,589.74	1,407.20	45.7
001-4335-435-30-34	EMPLOYEE LICENSES/TESTING	.00	34.70	350.00	315.30	9.9
001-4335-435-45-07	CLOTHING ALLOWANCE	(15.38)	294.05	600.00	305.95	49.0
001-4335-435-45-10	OPERATING SUPPLIES	1,922.20	2,420.29	10,000.00	7,579.71	24.2
	TOTAL STREET CLEANING	14,946.59	120,302.91	177,088.84	56,785.93	67.9
	TOTAL ALL 55	.00	.00	.00	.00	.0
	TOTAL PUBLIC WORKS	113,428.27	765,621.96	1,210,915.01	445,293.05	63.2
	<u>PARKS & RECREATION</u>					
	<u>ADMINISTRATION</u>					
001-4550-459-10-01	REGULAR WAGES	8,076.92	60,576.90	80,284.44	19,707.54	75.5
001-4550-459-10-10	EMPLOYEE INCENTIVES	.00	.00	107.10	107.10	.0
001-4550-459-16-00	CITY RETIREMENT	403.84	3,028.80	4,014.22	985.42	75.5
001-4550-459-20-01	FICA/MEDICARE	599.57	4,522.50	6,116.91	1,594.41	73.9
001-4550-459-21-01	HEALTH/LIFE INSURANCE	1,556.00	9,347.00	19,207.44	9,860.44	48.7
001-4550-459-21-05	DENTAL INSURANCE	70.00	490.00	840.00	350.00	58.3
001-4550-459-21-06	WORKMENS COMPENSATION	630.12	2,004.41	1,105.00	(899.41)	181.4
001-4550-459-21-07	UNEMPLOYMENT	16.16	121.20	229.38	108.18	52.8
001-4550-459-30-19	INSURANCE & BONDS	.00	115.55	115.00	(.55)	100.5
001-4550-459-30-90	CONTRACT SERVICES-OTHER	.00	173.36	.00	(173.36)	.0
001-4550-459-40-00	TRAVEL & TRAINING	.00	.00	1,800.00	1,800.00	.0
001-4550-459-40-01	EMPLOYEE SIGNING BONUS	.00	17,000.00	.00	(17,000.00)	.0
001-4550-459-42-01	TELEPHONE	.00	.00	840.00	840.00	.0
001-4550-459-44-00	OFFICE SUPPLIES	.00	.00	250.00	250.00	.0
001-4550-459-45-07	CLOTHING ALLOWANCE	.00	.00	250.00	250.00	.0
001-4550-459-45-10	OPERATING SUPPLIES-OTHER	.00	.00	500.00	500.00	.0
001-4550-459-48-00	PRINTING	.00	.00	300.00	300.00	.0
001-4550-459-49-03	ADVERTISING-OTHER	.00	.00	250.00	250.00	.0
001-4550-459-50-00	MEMBERSHIP & DUES	.00	.00	500.00	500.00	.0
	TOTAL ADMINISTRATION	11,352.61	97,379.72	116,709.49	19,329.77	83.4

CITY OF CORTEZ
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>AQUATICS</u>					
001-4551-451-10-01	REGULAR WAGES	27,611.13	118,562.98	148,032.75	29,469.77	80.1
001-4551-451-11-01	OVERTIME	1,402.55	6,613.26	.00	(6,613.26)	.0
001-4551-451-16-00	CITY RETIREMENT	134.76	1,120.66	1,150.80	30.14	97.4
001-4551-451-20-01	FICA/MEDICARE	2,217.71	9,562.71	8,809.66	(753.05)	108.6
001-4551-451-21-01	HEALTH/LIFE INSURANCE	626.46	5,009.21	7,682.98	2,673.77	65.2
001-4551-451-21-05	DENTAL INSURANCE	50.10	406.06	336.00	(70.06)	120.9
001-4551-451-21-06	WORKMENS COMPENSATION	263.62	1,560.35	2,950.00	1,389.65	52.9
001-4551-451-21-07	UNEMPLOYMENT	58.02	250.34	330.36	80.02	75.8
001-4551-451-30-19	INSURANCE & BONDS	.00	4,947.45	4,929.00	(18.45)	100.4
001-4551-451-30-90	CONTRACT SERVICES - OTHER	91.00	2,790.87	954.00	(1,836.87)	292.5
001-4551-451-40-00	TRAVEL & TRAINING	427.45	1,172.03	2,000.00	827.97	58.6
001-4551-451-42-01	TELEPHONE	111.20	476.81	600.00	123.19	79.5
001-4551-451-42-10	FIBER CHARGES	323.80	2,266.60	.00	(2,266.60)	.0
001-4551-451-43-01	ELECTRIC	1,982.37	5,167.00	10,000.00	4,833.00	51.7
001-4551-451-43-02	SEWER	214.00	470.00	1,200.00	730.00	39.2
001-4551-451-43-03	GAS	1,313.57	5,779.44	4,000.00	(1,779.44)	144.5
001-4551-451-43-04	REFUSE	624.00	2,146.28	2,000.00	(146.28)	107.3
001-4551-451-43-05	WATER	55.35	88.15	250.00	161.85	35.3
001-4551-451-44-00	OFFICE SUPPLIES	34.55	884.48	500.00	(384.48)	176.9
001-4551-451-45-02	SIGN & PAINT SUPPLIES	.00	211.96	500.00	288.04	42.4
001-4551-451-45-06	CHEMICALS & LAB	365.76	7,589.69	7,000.00	(589.69)	108.4
001-4551-451-45-07	CLOTHING ALLOWANCE	.00	1,425.47	1,500.00	74.53	95.0
001-4551-451-45-10	OPERATING SUPPLIES-OTHER	242.57	9,675.24	6,200.00	(3,475.24)	156.1
001-4551-451-45-23	CONCESSION	229.13	7,359.79	5,000.00	(2,359.79)	147.2
001-4551-451-46-02	OTHER REPAIR & MAINT	756.11	15,766.50	24,000.00	8,233.50	65.7
001-4551-451-48-90	PRINTING-OTHER	261.00	625.00	500.00	(125.00)	125.0
001-4551-451-49-03	ADVERTISING-OTHER	53.83	53.83	250.00	196.17	21.5
	TOTAL AQUATICS	39,450.04	211,982.16	240,675.55	28,693.39	88.1
	<u>GOLF COURSE ADMIN</u>					
001-4552-452-30-05	GOLF PRO SERVICES	.00	27,000.00	41,500.00	14,500.00	65.1
001-4552-452-30-07	CREDIT CARD CHARGES	744.53	5,963.86	5,000.00	(963.86)	119.3
001-4552-452-30-19	INSURANCE & BONDS	.00	1,912.12	1,904.00	(8.12)	100.4
001-4552-452-32-90	MAINT CONTRACTS-OTHER	131.49	1,757.46	1,064.00	(693.46)	165.2
001-4552-452-42-01	TELEPHONE	.00	450.07	850.00	399.93	53.0
001-4552-452-43-02	SEWER	250.00	613.00	900.00	287.00	68.1
001-4552-452-43-04	REFUSE	192.95	1,157.70	1,800.00	642.30	64.3
001-4552-452-43-05	WATER	126.65	398.24	750.00	351.76	53.1
001-4552-452-45-10	OPERATING SUPPLIES-OTHER	.00	.00	1,000.00	1,000.00	.0
001-4552-452-46-02	OTHER REPAIR & MAINT	.00	2,367.37	1,500.00	(867.37)	157.8
001-4552-452-48-90	PRINTING-OTHER	.00	335.95	500.00	164.05	67.2
001-4552-452-49-03	ADVERTISING-OTHER	.00	.00	5,000.00	5,000.00	.0
	TOTAL GOLF COURSE ADMIN	1,445.62	41,955.77	61,768.00	19,812.23	67.9

CITY OF CORTEZ
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GOLF COURSE MAINTENANCE</u>					
001-4553-453-10-01	REGULAR WAGES	18,036.88	130,719.22	215,281.04	84,561.82	60.7
001-4553-453-10-10	EMPLOYEE INCENTIVES	.00	.00	113.40	113.40	.0
001-4553-453-11-01	OVERTIME	122.46	933.49	1,050.00	116.51	88.9
001-4553-453-16-00	CITY RETIREMENT	360.56	3,577.41	7,108.50	3,531.09	50.3
001-4553-453-20-01	FICA/MEDICARE	1,358.70	9,822.50	16,402.36	6,579.86	59.9
001-4553-453-21-01	HEALTH/LIFE INSURANCE	3,112.00	26,463.00	57,622.32	31,159.32	45.9
001-4553-453-21-05	DENTAL INSURANCE	140.00	1,260.00	2,520.00	1,260.00	50.0
001-4553-453-21-06	WORKMENS COMPENSATION	451.20	2,670.60	5,850.00	3,179.40	45.7
001-4553-453-21-07	UNEMPLOYMENT	36.31	263.31	615.09	351.78	42.8
001-4553-453-30-19	INSURANCE & BONDS	.00	1,750.05	1,780.00	29.95	98.3
001-4553-453-30-26	MVI IRRIGATION WATER	.00	3,455.00	13,205.00	9,750.00	26.2
001-4553-453-30-34	EMPLOYEE LICENSES/TESTING	.00	504.85	500.00	(4.85)	101.0
001-4553-453-30-37	G.C. MAINTENANCE - SOLAR LEASE	.00	3,913.00	3,913.00	.00	100.0
001-4553-453-30-90	CONTRACT SERVICES-OTHER	135.00	135.00	750.00	615.00	18.0
001-4553-453-32-90	MAINT CONTRACTS - OTHER	417.50	4,098.50	9,770.00	5,671.50	42.0
001-4553-453-40-00	TRAVEL & TRAINING	.00	436.50	2,100.00	1,663.50	20.8
001-4553-453-42-01	TELEPHONE	112.58	1,736.34	2,825.00	1,088.66	61.5
001-4553-453-42-10	FIBER CHARGES	563.80	3,946.60	6,766.00	2,819.40	58.3
001-4553-453-43-01	ELECTRIC	2,212.85	9,937.67	19,550.00	9,612.33	50.8
001-4553-453-43-02	SEWER	86.00	342.00	444.00	102.00	77.0
001-4553-453-43-03	GAS	36.65	397.10	597.00	199.90	66.5
001-4553-453-43-04	REFUSE	192.95	1,157.70	3,000.00	1,842.30	38.6
001-4553-453-43-05	WATER	35.39	632.31	3,500.00	2,867.69	18.1
001-4553-453-45-01	PLANTS & TREES	.00	1,000.00	2,000.00	1,000.00	50.0
001-4553-453-45-02	SIGN & PAINT SUPPLIES	.00	.00	500.00	500.00	.0
001-4553-453-45-06	CHEMICALS & LAB	.00	26,615.34	26,000.00	(615.34)	102.4
001-4553-453-45-07	CLOTHING ALLOWANCE	.00	.00	1,200.00	1,200.00	.0
001-4553-453-45-10	OPERATING SUPPLIES-OTHER	1,075.41	16,736.14	28,000.00	11,263.86	59.8
001-4553-453-45-16	VEH REPAIR & MAINTENANCE	1,092.12	21,054.56	12,500.00	(8,554.56)	168.4
001-4553-453-46-02	OTHER REPAIR & MAINT	.00	129.46	7,500.00	7,370.54	1.7
001-4553-453-49-03	ADVERTISING-OTHER	.00	.00	250.00	250.00	.0
001-4553-453-50-00	MEMBERSHIP & DUES	.00	.00	695.00	695.00	.0
	TOTAL GOLF COURSE MAINTENANCE	29,578.36	273,687.65	453,907.71	180,220.06	60.3

CITY OF CORTEZ
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CITY PARKS</u>					
001-4554-454-10-01	REGULAR WAGES	21,959.24	174,597.48	258,406.05	83,808.57	67.6
001-4554-454-10-02	REIMBURSED WAGES	.00	(2,980.11)	.00	2,980.11	.0
001-4554-454-11-01	REGULAR OVERTIME	56.52	3,114.77	630.00	(2,484.77)	494.4
001-4554-454-16-00	CITY RETIREMENT	366.80	3,884.04	7,851.00	3,966.96	49.5
001-4554-454-20-01	FICA/MEDICARE	1,653.89	13,340.36	19,736.08	6,395.72	67.6
001-4554-454-21-01	HEALTH/LIFE INSURANCE	3,112.00	29,564.00	57,622.32	28,058.32	51.3
001-4554-454-21-05	DENTAL INSURANCE	140.00	1,330.00	2,520.00	1,190.00	52.8
001-4554-454-21-06	WORKMENS COMPENSATION	1,707.73	5,188.98	8,550.00	3,361.02	60.7
001-4554-454-21-07	UNEMPLOYMENT	44.03	355.39	740.10	384.71	48.0
001-4554-454-30-19	INSURANCE & BONDS	.00	8,211.99	7,992.00	(219.99)	102.8
001-4554-454-30-26	MVI IRRIGATION WATER	.00	2,696.00	12,950.00	10,254.00	20.8
001-4554-454-30-34	EMPLOYEE LICENSES/TESTING	63.50	741.20	375.00	(366.20)	197.7
001-4554-454-30-44	TREE TRIMMING	.00	.00	60,000.00	60,000.00	.0
001-4554-454-30-90	CONTRACT SERVICES-OTHER	22.00	15,138.49	7,628.00	(7,510.49)	198.5
001-4554-454-32-90	MAINT CONTRACTS - OTHER	8,787.00	27,159.76	73,000.00	45,840.24	37.2
001-4554-454-40-00	TRAVEL & TRAINING	.00	50.00	3,000.00	2,950.00	1.7
001-4554-454-42-01	TELEPHONE	214.48	2,050.85	3,531.00	1,480.15	58.1
001-4554-454-42-10	FIBER CHARGES	386.68	2,706.76	4,640.00	1,933.24	58.3
001-4554-454-43-01	ELECTRIC	4,424.49	22,236.56	35,000.00	12,763.44	63.5
001-4554-454-43-02	SEWER	1,046.00	3,122.00	4,500.00	1,378.00	69.4
001-4554-454-43-03	GAS	37.19	711.98	1,000.00	288.02	71.2
001-4554-454-43-04	REFUSE	1,886.35	9,141.90	14,000.00	4,858.10	65.3
001-4554-454-43-05	WATER	7,615.62	19,914.28	40,000.00	20,085.72	49.8
001-4554-454-45-01	PLANTS & TREES	.00	505.98	25.00	(480.98)	2023.9
001-4554-454-45-02	SIGN & PAINT SUPPLIES	2,358.98	3,403.70	2,000.00	(1,403.70)	170.2
001-4554-454-45-06	CHEMICALS & LAB	186.18	8,509.59	12,000.00	3,490.41	70.9
001-4554-454-45-07	CLOTHING ALLOWANCE	.00	65.90	1,000.00	934.10	6.6
001-4554-454-45-10	OPERATING SUPPLIES-OTHER	1,559.34	20,014.92	26,000.00	5,985.08	77.0
001-4554-454-45-16	VEH REPAIR & MAINTENANCE	205.53	7,466.26	9,000.00	1,533.74	83.0
001-4554-454-46-02	OTHER REPAIR & MAINT	5,122.74	27,338.67	30,000.00	2,661.33	91.1
001-4554-454-49-03	ADVERTISING-OTHER	.00	95.38	250.00	154.62	38.2
001-4554-454-50-00	MEMBERSHIP & DUES	.00	.00	150.00	150.00	.0
001-4554-454-52-00	EQUIPMENT RENTALS	.00	.00	500.00	500.00	.0
001-4554-454-62-07	L.TAX BEAUTIFICATION	.00	5,278.43	30,000.00	24,721.57	17.6
	TOTAL CITY PARKS	62,956.29	414,955.51	734,596.55	319,641.04	56.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>RECREATION</u>					
001-4555-455-10-01 REGULAR WAGES	11,191.77	67,694.79	105,525.00	37,830.21	64.2
001-4555-455-10-10 EMPLOYEE INCENTIVES	122.50	122.50	.00	(122.50)	.0
001-4555-455-11-01 OVERTIME	39.63	39.63	1,050.00	1,010.37	3.8
001-4555-455-16-00 CITY RETIREMENT	162.64	1,382.44	1,986.94	604.50	69.6
001-4555-455-20-01 FICA/MEDICARE	840.88	5,035.08	8,040.00	3,004.92	62.6
001-4555-455-21-01 HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.44	6,759.44	64.8
001-4555-455-21-05 DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4555-455-21-06 WORKMENS COMPENSATION	290.71	1,720.67	1,450.00	(270.67)	118.7
001-4555-455-21-07 UNEMPLOYMENT	22.45	135.37	301.50	166.13	44.9
001-4555-455-30-19 INSURANCE & BONDS	.00	627.58	625.00	(2.58)	100.4
001-4555-455-30-55 FACILITY USE	.00	.00	1,000.00	1,000.00	.0
001-4555-455-30-90 CONTRACT SERVICES-OTHER	342.00	9,033.75	17,000.00	7,966.25	53.1
001-4555-455-40-00 TRAVEL & TRAINING	.00	59.56	1,275.00	1,215.44	4.7
001-4555-455-42-01 TELEPHONE	70.00	560.00	840.00	280.00	66.7
001-4555-455-45-07 CLOTHING ALLOWANCE	.00	.00	400.00	400.00	.0
001-4555-455-45-10 OPERATING SUPPLIES-OTHER	1,236.28	7,060.29	13,000.00	5,939.71	54.3
001-4555-455-46-02 OTHER REPAIR & MAINT	.00	564.56	500.00	(64.56)	112.9
001-4555-455-49-03 ADVERTISING-OTHER	.00	.00	250.00	250.00	.0
001-4555-455-50-00 MEMBERSHIP & DUES	.00	.00	350.00	350.00	.0
001-4555-455-55-00 SPECIAL EVENTS	.00	30.92	5,500.00	5,469.08	.6
TOTAL RECREATION	15,944.86	107,075.14	179,140.88	72,065.74	59.8
TOTAL ALL 56	.00	.00	.00	.00	.0
TOTAL CAPITAL PROJECTS	.00	.00	.00	.00	.0
TOTAL PARKS & RECREATION	160,727.78	1,147,035.95	1,786,798.18	639,762.23	64.2
<u>PLANNING & ZONING DEPT</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>PLANNING & ZONING DEPT</u>					
001-4661-409-10-01	REGULAR WAGES	18,048.76	146,545.54	269,202.27	122,656.73	54.4
001-4661-409-10-10	EMPLOYEE INCENTIVES	122.50	122.50	.00	(122.50)	.0
001-4661-409-11-01	OVERTIME	79.61	79.61	1,050.00	970.39	7.6
001-4661-409-16-00	CITY RETIREMENT	838.40	6,642.04	12,272.57	5,630.53	54.1
001-4661-409-20-01	FICA/MEDICARE	1,343.08	10,855.91	20,510.65	9,654.74	52.9
001-4661-409-21-01	HEALTH/LIFE INSURANCE	4,679.00	34,331.00	93,240.00	58,909.00	36.8
001-4661-409-21-05	DENTAL INSURANCE	210.00	1,610.00	4,200.00	2,590.00	38.3
001-4661-409-21-06	WORKMENS COMPENSATION	1,528.73	4,129.50	4,725.00	595.50	87.4
001-4661-409-21-07	UNEMPLOYMENT	36.26	293.33	769.15	475.82	38.1
001-4661-409-30-03	ABATEMENT/DANGEROUS BLDGS	.00	.00	10,000.00	10,000.00	.0
001-4661-409-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	13,700.00	13,700.00	.0
001-4661-409-30-19	INSURANCE & BONDS	.00	2,238.71	2,200.00	(38.71)	101.8
001-4661-409-30-24	RECORDING	.00	133.69	750.00	616.31	17.8
001-4661-409-30-34	EMPLOYEE LICENSES/TESTING	.00	403.50	.00	(403.50)	.0
001-4661-409-30-90	CONTRACT SERVICES-OTHER	12,580.00	48,184.00	7,700.00	(40,484.00)	625.8
001-4661-409-40-00	TRAVEL & TRAINING	700.00	2,667.29	14,350.00	11,682.71	18.6
001-4661-409-42-01	TELEPHONE	245.40	1,952.01	4,000.00	2,047.99	48.8
001-4661-409-44-00	OFFICE SUPPLIES	.00	332.86	400.00	67.14	83.2
001-4661-409-45-07	CLOTHING ALLOWANCE	.00	348.42	1,000.00	651.58	34.8
001-4661-409-45-10	OPERATING SUPPLIES	28.96	492.68	9,400.00	8,907.32	5.2
001-4661-409-45-33	PUBLIC OUTREACH	.00	292.90	1,200.00	907.10	24.4
001-4661-409-49-03	ADVERTISING	8.58	1,007.95	2,000.00	992.05	50.4
001-4661-409-49-05	LAND USE CODE REVISIONS	.00	.00	10,000.00	10,000.00	.0
001-4661-409-49-06	BUILDING CODE	.00	.00	750.00	750.00	.0
001-4661-409-50-00	MEMBERSHIP & DUES	.00	500.00	7,635.00	7,135.00	6.6
001-4661-409-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	1,000.00	1,000.00	.0
	TOTAL PLANNING & ZONING DEPT	40,449.28	263,163.44	492,054.64	228,891.20	53.5
	TOTAL PLANNING & ZONING DEPT	40,449.28	263,163.44	492,054.64	228,891.20	53.5
	<u>CITYWIDE OPERATIONS</u>					
	<u>INTERNAL OPERATION EXP</u>					
001-9899-989-46-08	EQUIPMENT REPAIR-INTERNAL	13,230.43	134,190.64	.00	(134,190.64)	.0
001-9899-989-46-09	FLEET FUEL COSTS	15,676.59	104,152.45	.00	(104,152.45)	.0
001-9899-989-90-12	DISPATCH SERVICES	.00	315,604.91	355,420.00	39,815.09	88.8
	TOTAL INTERNAL OPERATION EXP	28,907.02	553,948.00	355,420.00	(198,528.00)	155.9
	TOTAL CITYWIDE OPERATIONS	28,907.02	553,948.00	355,420.00	(198,528.00)	155.9
	TOTAL FUND EXPENDITURES	942,822.82	8,108,592.71	13,173,875.06	5,065,282.35	61.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
NET REVENUE OVER EXPENDITURES	797,758.35	2,492,722.03	1,927,738.94	(564,983.09)	129.3

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

LODGERS TAX FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
005-0000-311-12-03	LODGERS TAX	41,378.54	165,122.63	164,556.48	(566.15)	100.3
	TOTAL TAXES	41,378.54	165,122.63	164,556.48	(566.15)	100.3
	TOTAL FUND REVENUE	41,378.54	165,122.63	164,556.48	(566.15)	100.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

LODGERS TAX FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GENERAL GOVERNMENT</u>					
	<u>CITY COUNCIL</u>					
005-4010-400-30-07	CREDIT CARD CHARGES	25.88	100.83	324.00	223.17	31.1
005-4010-400-30-12	MV COUNTRY-TOURISM CONTRACT	.00	98,733.61	131,644.80	32,911.19	75.0
005-4010-400-90-01	GENERAL FUND - BEAUTIFICATION	.00	.00	24,683.40	24,683.40	.0
005-4010-400-90-10	TRANSFER TO GENERAL FUND	.00	.00	7,904.00	7,904.00	.0
	TOTAL CITY COUNCIL	25.88	98,834.44	164,556.20	65,721.76	60.1
	TOTAL GENERAL GOVERNMENT	25.88	98,834.44	164,556.20	65,721.76	60.1
	TOTAL FUND EXPENDITURES	25.88	98,834.44	164,556.20	65,721.76	60.1
	NET REVENUE OVER EXPENDITURES	41,352.66	66,288.19	.28	(66,287.91)	23674

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

SHOP FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	REVENUE					
101-0000-367-39-00	SALES TO OTHER FUNDS	26,874.26	173,414.27	421,996.54	248,582.27	41.1
101-0000-367-39-01	SALES TO OTHER FUNDS - REPAIRS	21,526.20	188,510.61	.00 (	188,510.61)	.0
101-0000-367-40-00	BUILDING OVERHEAD	.00	2,133.00	.00 (	2,133.00)	.0
	TOTAL REVENUE	48,400.46	364,057.88	421,996.54	57,938.66	86.3
	TOTAL FUND REVENUE	48,400.46	364,057.88	421,996.54	57,938.66	86.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

SHOP FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL SERVICES</u>						
<u>SHOP</u>						
101-4110-616-10-01	REGULAR WAGES	17,043.23	191,345.79	276,595.79	85,250.00	69.2
101-4110-616-10-10	EMPLOYEE INCENTIVES	53.50	53.50	.00	(53.50)	.0
101-4110-616-16-00	CITY RETIREMENT	852.16	9,327.75	13,829.79	4,502.04	67.5
101-4110-616-20-01	FICA/MEDICARE	1,253.53	14,141.59	21,073.97	6,932.38	67.1
101-4110-616-21-01	HEALTH/LIFE INSURANCE	6,224.00	60,695.00	93,240.00	32,545.00	65.1
101-4110-616-21-05	DENTAL INSURANCE	280.00	2,800.00	4,200.00	1,400.00	66.7
101-4110-616-21-06	WORKMENS COMPENSATION	903.39	5,347.07	29,884.00	24,536.93	17.9
101-4110-616-21-07	UNEMPLOYMENT	34.08	382.71	790.27	407.56	48.4
101-4110-616-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	5,000.00	5,000.00	.0
101-4110-616-30-19	INSURANCE & BONDS	.00	780.39	775.00	(5.39)	100.7
101-4110-616-30-34	EMPLOYEE LICENSES/TESTING	.00	155.20	500.00	344.80	31.0
101-4110-616-30-90	CONTRACT SERVICES-OTHER	.00	1,454.90	3,000.00	1,545.10	48.5
101-4110-616-32-90	MAINT CONTRACTS-OTHER	.00	7,609.43	13,120.00	5,510.57	58.0
101-4110-616-40-00	TRAVEL & TRAINING	.00	255.00	2,000.00	1,745.00	12.8
101-4110-616-42-01	TELEPHONE	30.00	570.00	1,080.00	510.00	52.8
101-4110-616-44-00	OFFICE SUPPLIES	.00	128.91	400.00	271.09	32.2
101-4110-616-45-04	OIL	25.95	8,423.20	16,000.00	7,576.80	52.7
101-4110-616-45-05	TIRES	1,191.18	13,507.49	35,000.00	21,492.51	38.6
101-4110-616-45-07	CLOTHING ALLOWANCE	129.96	1,232.47	2,500.00	1,267.53	49.3
101-4110-616-45-10	OPERATING SUPPLIES-OTHER	1,030.93	3,111.06	5,000.00	1,888.94	62.2
101-4110-616-45-16	VEH REPAIR & MAINTENANCE	5,448.24	72,957.39	110,000.00	37,042.61	66.3
101-4110-616-46-02	OTHER REPAIR & MAINT	.00	807.94	10,000.00	9,192.06	8.1
101-4110-616-47-02	FUEL & OIL	22,083.40	158,123.77	205,000.00	46,876.23	77.1
101-4110-616-50-00	MEMBERSHIP & DUES	.00	.00	180.00	180.00	.0
101-4110-616-51-00	PUBLICATION/SUBSCRIPTION	.00	50.00	.00	(50.00)	.0
101-4110-616-59-00	MISCELLANEOUS	.00	190.15	150.00	(40.15)	126.8
101-4110-616-90-01	GENERAL FUND	.00	.00	44,376.61	44,376.61	.0
101-4110-617-32-01	JANITORIAL SERVICES	1,950.00	13,852.50	23,400.00	9,547.50	59.2
101-4110-617-32-90	MAINT CONTRACTS-OTHER	752.86	4,771.54	7,000.00	2,228.46	68.2
101-4110-617-42-01	TELEPHONE	190.16	752.66	1,020.00	267.34	73.8
101-4110-617-42-03	POSTAGE	320.99	1,614.08	1,700.00	85.92	95.0
101-4110-617-42-10	FIBER CHARGES	256.00	1,792.00	.00	(1,792.00)	.0
101-4110-617-43-01	ELECTRIC	3,417.76	15,895.67	50,000.00	34,104.33	31.8
101-4110-617-43-02	SEWER	228.00	820.00	1,675.00	855.00	49.0
101-4110-617-43-03	GAS	116.31	7,473.99	8,200.00	726.01	91.2
101-4110-617-43-04	REFUSE	312.00	1,872.00	3,775.00	1,903.00	49.6
101-4110-617-43-05	WATER	693.30	3,510.84	2,150.00	(1,360.84)	163.3
101-4110-617-44-00	OFFICE SUPPLIES	.00	484.70	1,000.00	515.30	48.5
101-4110-617-45-10	OPERATING SUPPLIES	228.56	2,221.96	5,000.00	2,778.04	44.4
101-4110-617-45-22	COPIER EXPENSE	1,151.36	6,167.16	9,000.00	2,832.84	68.5
101-4110-617-46-02	OTHER REPAIR & MAINT	.00	1,405.13	6,000.00	4,594.87	23.4
101-4110-617-63-02	OVER \$5,000	.00	45.83	.00	(45.83)	.0
101-4110-618-32-90	MAINT CONTRACTS-OTHER	.00	.00	1,000.00	1,000.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

SHOP FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL SHOP	66,200.85	616,130.77	1,014,615.43	398,484.66	60.7
TOTAL GENERAL SERVICES	66,200.85	616,130.77	1,014,615.43	398,484.66	60.7
TOTAL FUND EXPENDITURES	66,200.85	616,130.77	1,014,615.43	398,484.66	60.7
NET REVENUE OVER EXPENDITURES	(17,800.39)	(252,072.89)	(592,618.89)	(340,546.00)	(42.5)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

TECHNOLOGY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>COMPUTER SERVICES</u>						
105-0000-336-10-00	CORTEZ FIRE PROTECTION DI	700.00	5,600.00	32,000.00	26,400.00	17.5
TOTAL COMPUTER SERVICES		700.00	5,600.00	32,000.00	26,400.00	17.5
TOTAL FUND REVENUE		700.00	5,600.00	32,000.00	26,400.00	17.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

TECHNOLOGY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
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GENERAL GOVERNMENT						
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IT DEPARTMENT						
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105-4015-615-10-01	REGULAR WAGES	20,486.40	148,133.20	216,518.17	68,384.97	68.4
105-4015-615-11-01	REGULAR OVERTIME	1,420.09	7,176.85	3,000.00	(4,176.85)	239.2
105-4015-615-16-00	CITY RETIREMENT	1,024.32	7,406.66	8,745.91	1,339.25	84.7
105-4015-615-20-01	FICA/MEDICARE	1,615.43	11,446.35	13,327.10	1,880.75	85.9
105-4015-615-21-01	HEALTH/LIFE INSURANCE	6,235.00	49,803.00	55,944.00	6,141.00	89.0
105-4015-615-21-05	DENTAL INSURANCE	350.00	2,310.00	2,520.00	210.00	91.7
105-4015-615-21-06	WORKMENS COMPENSATION	243.02	1,438.40	264.00	(1,174.40)	544.9
105-4015-615-21-07	UNEMPLOYMENT	43.81	310.59	499.77	189.18	62.2
105-4015-615-30-19	INSURANCE & BONDS	.00	5,653.02	882.00	(4,771.02)	640.9
105-4015-615-30-34	EMPLOYEE LICENSES/TESTING	45.00	122.00	200.00	78.00	61.0
105-4015-615-30-57	E-WASTE	450.25	1,217.14	1,500.00	282.86	81.1
105-4015-615-30-90	COMPUTER MAINT CONTRACTS	31,675.34	243,291.14	284,960.00	41,668.86	85.4
105-4015-615-40-00	TRAVEL & TRAINING	825.00	1,293.00	10,000.00	8,707.00	12.9
105-4015-615-42-01	TELEPHONE	320.15	3,128.40	5,100.00	1,971.60	61.3
105-4015-615-44-00	OFFICE SUPPLIES	.00	134.48	1,000.00	865.52	13.5
105-4015-615-45-07	CLOTHING ALLOWANCE	.00	20.05	1,000.00	979.95	2.0
105-4015-615-45-10	OPERATING SUPPLIES	216.43	895.97	20,000.00	19,104.03	4.5
105-4015-615-46-02	OTHER REPAIR & MAINT	.00	747.40	.00	(747.40)	.0
105-4015-615-46-05	OTHER SOFTWARE MAINTENANC	.00	487.85	.00	(487.85)	.0
105-4015-615-51-00	PUBLICATION/SUBSCRIPTION	.00	15.28	.00	(15.28)	.0
105-4015-615-60-11	CAPITAL PROJECTS	17,760.00	81,143.68	50,000.00	(31,143.68)	162.3
105-4015-615-91-00	DEPRECIATION EXPENSE	.00	.00	7,825.00	7,825.00	.0
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	TOTAL IT DEPARTMENT	82,710.24	566,174.46	683,285.95	117,111.49	82.9
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FIBER NETWORK						
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105-4017-581-32-90	MAINT. CONTRACTS - OTHER	.00	.00	5,000.00	5,000.00	.0
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	TOTAL FIBER NETWORK	.00	.00	5,000.00	5,000.00	.0
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NETWORK SERVICES						
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105-4019-581-32-90	MAINT. CONTRACTS - OTHER	1,995.00	1,995.00	45,000.00	43,005.00	4.4
105-4019-581-42-06	CITY-WIDE T-1 LINE	1,026.98	4,392.50	.00	(4,392.50)	.0
105-4019-581-45-10	OTHER REPAIR & MAINTENANCE	.00	100.00	.00	(100.00)	.0
105-4019-581-46-02	OTHER REPAIR & MAINT	176.00	478.68	3,000.00	2,521.32	16.0
105-4019-581-46-03	EQUIPMENT REPLACEMENTS	.00	857.25	115,000.00	114,142.75	.8
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	TOTAL NETWORK SERVICES	3,197.98	7,823.43	163,000.00	155,176.57	4.8
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	TOTAL GENERAL GOVERNMENT	85,908.22	573,997.89	851,285.95	277,288.06	67.4
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	TOTAL FUND EXPENDITURES	85,908.22	573,997.89	851,285.95	277,288.06	67.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

TECHNOLOGY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
NET REVENUE OVER EXPENDITURES	(85,208.22)	(568,397.89)	(819,285.95)	(250,888.06)	(69.4)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

STREET IMPROVEMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
301-0000-311-12-01	SALES TAX	160,998.52	1,206,824.02	1,722,620.00	515,795.98	70.1
	TOTAL TAXES	160,998.52	1,206,824.02	1,722,620.00	515,795.98	70.1
	<u>INTEREST</u>					
301-0000-361-20-00	INVESTMENT	2,535.54	6,778.46	7,986.00	1,207.54	84.9
	TOTAL INTEREST	2,535.54	6,778.46	7,986.00	1,207.54	84.9
	<u>REVENUE</u>					
301-0000-362-10-13	S.I.D. PRINCIPAL	.00	8,113.94	.00	(8,113.94)	.0
	TOTAL REVENUE	.00	8,113.94	.00	(8,113.94)	.0
	<u>REVENUE</u>					
301-0000-367-25-00	SIDEWALK COST SHARE	7,482.08	7,557.08	.00	(7,557.08)	.0
	TOTAL REVENUE	7,482.08	7,557.08	.00	(7,557.08)	.0
	TOTAL FUND REVENUE	171,016.14	1,229,273.50	1,730,606.00	501,332.50	71.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

STREET IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC WORKS</u>					
<u>CAPITAL PROJECTS</u>					
301-4355-432-10-01 REGULAR WAGES	11,550.14	74,402.15	118,751.67	44,349.52	62.7
301-4355-432-11-01 OVERTIME	226.98	1,640.89	1,050.00	(590.89)	156.3
301-4355-432-16-00 CITY RETIREMENT	439.44	3,198.13	5,937.58	2,739.45	53.9
301-4355-432-20-01 FICA/MEDICARE	886.36	5,698.82	9,047.75	3,348.93	63.0
301-4355-432-21-01 HEALTH/LIFE INSURANCE	1,561.50	12,481.00	27,972.00	15,491.00	44.6
301-4355-432-21-05 DENTAL INSURANCE	105.00	770.00	1,260.00	490.00	61.1
301-4355-432-21-06 WORKMENS COMPENSATION	231.70	1,371.41	117.00	(1,254.41)	1172.2
301-4355-432-21-07 UNEMPLOYMENT	23.56	152.03	339.29	187.26	44.8
301-4355-432-30-04 COMPUTER/SOFTWARE SERVICE	.00	7,879.80	.00	(7,879.80)	.0
301-4355-432-30-05 CREA VENDOR FEES	3,144.94	22,242.53	30,000.00	7,757.47	74.1
301-4355-432-30-07 CREDIT CARD CHARGES	105.44	738.37	.00	(738.37)	.0
301-4355-432-45-10 OPERATING SUPPLIES	37.19	37.19	.00	(37.19)	.0
301-4355-432-49-01 LEGAL	.00	5,000.00	.00	(5,000.00)	.0
301-4355-432-60-01 STREET IMPROVEMENTS	33.94	124.81	750,000.00	749,875.19	.0
301-4355-432-60-04 CURB & GUTTER REPLACEMENT	27,799.74	123,436.17	180,000.00	56,563.83	68.6
301-4355-432-60-09 CONCRETE	.00	23,881.45	30,000.00	6,118.55	79.6
301-4355-432-60-10 NEW CONSTRUCTION	79,823.09	911,616.97	1,842,761.00	931,144.03	49.5
301-4355-432-61-02 LAND PURCHASE	.00	105,117.31	105,299.00	181.69	99.8
TOTAL CAPITAL PROJECTS	125,969.02	1,299,789.03	3,102,535.29	1,802,746.26	41.9
TOTAL PUBLIC WORKS	125,969.02	1,299,789.03	3,102,535.29	1,802,746.26	41.9
TOTAL FUND EXPENDITURES	125,969.02	1,299,789.03	3,102,535.29	1,802,746.26	41.9
NET REVENUE OVER EXPENDITURES	45,047.12	(70,515.53)	(1,371,929.29)	(1,301,413.76)	(5.1)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

HEALTH INSURANCE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>INTERNAL SERVICE CHGS</u>					
302-0000-371-35-00	HEALTH INSURANCE PREMIUMS	188,430.00	1,535,151.00	2,502,900.00	967,749.00	61.3
302-0000-371-40-00	EMPLOYEE PAYROLL TRANSFER	17,371.58	146,504.68	240,000.00	93,495.32	61.0
302-0000-371-41-00	DELTA DENTAL TRANSFER	9,030.00	71,960.00	113,400.00	41,440.00	63.5
	TOTAL INTERNAL SERVICE CHGS	214,831.58	1,753,615.68	2,856,300.00	1,102,684.32	61.4
	<u>REVENUE</u>					
302-0000-372-18-00	COBRA REVENUE	.00	327.87	.00	(327.87)	.0
	TOTAL REVENUE	.00	327.87	.00	(327.87)	.0
	TOTAL FUND REVENUE	214,831.58	1,753,943.55	2,856,300.00	1,102,356.45	61.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

HEALTH INSURANCE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>HEALTH INSURANCE CLAIMS</u>					
	<u>CITY MANAGER</u>					
302-5314-539-21-01	HEALTH/LIFE INSURANCE	48,481.72	392,169.61	549,927.61	157,758.00	71.3
302-5314-539-21-05	DENTAL INSURANCE	7,445.68	61,888.36	102,312.00	40,423.64	60.5
302-5314-539-21-09	COBRA EXPENDITURES	.00	60.69	.00	(60.69)	.0
302-5314-539-21-10	HSA MATCH	750.00	7,500.00	45,000.00	37,500.00	16.7
302-5314-539-23-01	CLAIMS EXPENSE	205,702.50	941,452.34	1,700,000.00	758,547.66	55.4
	TOTAL CITY MANAGER	262,379.90	1,403,071.00	2,397,239.61	994,168.61	58.5
	TOTAL HEALTH INSURANCE CLAIMS	262,379.90	1,403,071.00	2,397,239.61	994,168.61	58.5
	TOTAL FUND EXPENDITURES	262,379.90	1,403,071.00	2,397,239.61	994,168.61	58.5
	NET REVENUE OVER EXPENDITURES	(47,548.32)	350,872.55	459,060.39	108,187.84	76.4

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

EQUIPMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
304-0000-311-12-01	SALES TAX	39,989.11	299,753.22	429,084.00	129,330.78	69.9
	TOTAL TAXES	39,989.11	299,753.22	429,084.00	129,330.78	69.9
	<u>INTEREST</u>					
304-0000-361-20-00	INVESTMENT	643.92	8,032.41	12,420.00	4,387.59	64.7
	TOTAL INTEREST	643.92	8,032.41	12,420.00	4,387.59	64.7
	<u>REVENUE</u>					
304-0000-367-18-01	SURPLUS AUCTION	11,475.00	11,475.00	.00	(11,475.00)	.0
	TOTAL REVENUE	11,475.00	11,475.00	.00	(11,475.00)	.0
	TOTAL FUND REVENUE	52,108.03	319,260.63	441,504.00	122,243.37	72.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

EQUIPMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GENERAL SERVICES</u>					
	<u>SHOP</u>					
304-4110-516-30-05	CREA VENDOR FEES	781.15	5,524.64	.00	(5,524.64)	.0
304-4110-516-30-07	CREDIT CARD CHARGES	26.19	183.41	324.00	140.59	56.6
304-4110-516-30-90	VEHICLES & EQUIPMENT	.00	212,021.11	410,000.00	197,978.89	51.7
304-4110-516-63-02	OVER \$5,000	.00	94,209.79	.00	(94,209.79)	.0
304-4110-516-90-01	GENERAL FUND	.00	.00	300.91	300.91	.0
304-4110-516-90-02	SHOP FUND	.00	.00	8,366.83	8,366.83	.0
	TOTAL SHOP	807.34	311,938.95	418,991.74	107,052.79	74.5
	TOTAL GENERAL SERVICES	807.34	311,938.95	418,991.74	107,052.79	74.5
	TOTAL FUND EXPENDITURES	807.34	311,938.95	418,991.74	107,052.79	74.5
	NET REVENUE OVER EXPENDITURES	51,300.69	7,321.68	22,512.26	15,190.58	32.5

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

AIRPORT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STATE/COLO</u>					
401-0000-332-16-00	FUEL	2,713.70	11,257.25	22,050.00	10,792.75	51.1
	TOTAL STATE/COLO	2,713.70	11,257.25	22,050.00	10,792.75	51.1
	<u>AIRPORT</u>					
401-0000-363-11-00	AIRLINES	2,681.82	26,931.78	43,250.00	16,318.22	62.3
401-0000-363-11-01	LANDING FEES	2,952.83	21,409.99	30,282.00	8,872.01	70.7
401-0000-363-11-02	RENT	774.63	6,182.70	24,977.50	18,794.80	24.8
401-0000-363-11-08	PASSENGER FACILITY CHG	150.68	626.21	25,000.00	24,373.79	2.5
401-0000-363-12-02	FUEL TAX	3,713.47	18,578.41	15,000.00	(3,578.41)	123.9
401-0000-363-13-00	CAR RENTAL	3,300.03	8,259.34	26,000.00	17,740.66	31.8
401-0000-363-15-00	CORPORATE	331.85	43,556.84	78,440.00	34,883.16	55.5
401-0000-363-16-00	CONCESSIONS	.00	85.58	140.00	54.42	61.1
	TOTAL AIRPORT	13,905.31	125,630.85	243,089.50	117,458.65	51.7
	<u>REVENUE</u>					
401-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	2,557.88	.00	(2,557.88)	.0
	TOTAL REVENUE	.00	2,557.88	.00	(2,557.88)	.0
	<u>GRANTS</u>					
401-0000-368-20-00	STATE OF COLORADO	.00	.00	11,842.00	11,842.00	.0
401-0000-368-21-00	FEDERAL GRANTS	.00	324,675.65	754,681.00	430,005.35	43.0
	TOTAL GRANTS	.00	324,675.65	766,523.00	441,847.35	42.4
	TOTAL FUND REVENUE	16,619.01	464,121.63	1,031,662.50	567,540.87	45.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

AIRPORT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>						
<u>AIRPORT</u>						
401-5819-588-10-01	REGULAR WAGES	9,224.00	76,795.21	106,466.76	29,671.55	72.1
401-5819-588-11-01	OVERTIME	.00	578.92	29,534.40	28,955.48	2.0
401-5819-588-16-00	CITY RETIREMENT	461.20	3,839.76	5,323.34	1,483.58	72.1
401-5819-588-20-01	FICA/MEDICARE	639.09	5,400.39	8,111.75	2,711.36	66.6
401-5819-588-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	37,296.00	12,400.00	66.8
401-5819-588-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
401-5819-588-21-06	WORKMENS COMPENSATION	377.81	2,236.22	1,600.00	(636.22)	139.8
401-5819-588-21-07	UNEMPLOYMENT	18.46	154.77	304.19	149.42	50.9
401-5819-588-30-19	INSURANCE & BONDS	.00	8,799.59	11,505.00	2,705.41	76.5
401-5819-588-30-20	PAPI 03 INSURANCE CLAIM	.00	1,187.90	.00	(1,187.90)	.0
401-5819-588-30-37	SOLAR LEASE	.00	13,418.00	.00	(13,418.00)	.0
401-5819-588-30-93	EQUIPMENT EXPENSE	.00	.00	32,000.00	32,000.00	.0
401-5819-588-32-90	MAINT CONTRACTS-OTHER	3,315.80	19,797.97	92,700.00	72,902.03	21.4
401-5819-588-40-00	TRAVEL & TRAINING	.00	.00	3,000.00	3,000.00	.0
401-5819-588-42-01	TELEPHONE	92.82	1,447.57	2,374.00	926.43	61.0
401-5819-588-43-01	ELECTRIC	875.52	5,280.75	13,500.00	8,219.25	39.1
401-5819-588-43-03	GAS	64.70	2,387.84	2,500.00	112.16	95.5
401-5819-588-43-04	REFUSE	36.93	221.58	500.00	278.42	44.3
401-5819-588-43-05	WATER	128.70	835.30	1,500.00	664.70	55.7
401-5819-588-44-00	OFFICE SUPPLIES	78.17	124.88	300.00	175.12	41.6
401-5819-588-45-07	CLOTHING ALLOWANCE	.00	.00	1,000.00	1,000.00	.0
401-5819-588-45-10	OPERATING SUPPLIES	75.98	2,238.00	9,500.00	7,262.00	23.6
401-5819-588-46-02	OTHER REPAIR & MAINT	421.04	4,949.40	10,000.00	5,050.60	49.5
401-5819-588-46-03	GROUPS & RUNWAY	3,115.64	12,468.85	14,000.00	1,531.15	89.1
401-5819-588-46-08	EQUIPMENT REPAIR-INTERNAL	851.51	3,117.76	.00	(3,117.76)	.0
401-5819-588-46-09	FLEET FUEL COSTS	437.36	2,245.59	2,000.00	(245.59)	112.3
401-5819-588-46-10	COMPUTER MAINTENANCE	.00	.00	500.00	500.00	.0
401-5819-588-49-03	SPECIAL EVENTS & MARKETING	338.00	2,619.07	5,000.00	2,380.93	52.4
401-5819-588-50-00	MEMBERSHIP & DUES	.00	520.00	850.00	330.00	61.2
401-5819-588-58-00	BAD DEBT EXPENSE	.00	303.02	.00	(303.02)	.0
401-5819-588-60-00	CAPITAL PROJECTS	.00	33,700.00	325,000.00	291,300.00	10.4
401-5819-588-61-02	LAND PURCHASE	.00	.00	150,000.00	150,000.00	.0
401-5819-588-80-16	AIRPORT MASTER PLAN ACT#16	.00	109,524.20	.00	(109,524.20)	.0
401-5819-588-91-00	DEPRECIATION EXPENSE	.00	.00	275,000.00	275,000.00	.0
TOTAL AIRPORT		23,804.73	340,208.54	1,143,045.44	802,836.90	29.8
TOTAL ENTERPRISE		23,804.73	340,208.54	1,143,045.44	802,836.90	29.8
TOTAL FUND EXPENDITURES		23,804.73	340,208.54	1,143,045.44	802,836.90	29.8
NET REVENUE OVER EXPENDITURES		(7,185.72)	123,913.09	(111,382.94)	(235,296.03)	111.3

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

DISPATCH FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
402-0000-333-21-00	E-911 AUTHORITY	.00	35,000.00	122,206.00	87,206.00	28.6
	TOTAL SOURCES 333	.00	35,000.00	122,206.00	87,206.00	28.6
	USER FEES					
402-0000-348-10-01	MONTEZUMA COUNTY SHERIFF	.00	325,774.44	325,775.00	.56	100.0
402-0000-348-10-02	CITY OF CORTEZ	.00	315,604.91	315,605.00	.09	100.0
402-0000-348-10-03	CORTEZ FIRE DEPARTMENT	.00	47,964.54	53,311.00	5,346.46	90.0
402-0000-348-10-04	MANCOS FIRE DEPARTMENT	.00	5,556.55	5,557.00	.45	100.0
402-0000-348-10-05	DOLORES FIRE DEPARTMENT	.00	7,164.10	7,164.00	(.10)	100.0
402-0000-348-10-06	LEWIS-ARRIOLA FIRE DEPT	.00	4,665.40	4,665.00	(.40)	100.0
402-0000-348-10-07	PLEASANT VIEW FIRE DEPT	.00	1,659.97	1,660.00	.03	100.0
402-0000-348-10-08	MONTEZUMA COUNTY	.00	87,206.00	.00	(87,206.00)	.0
402-0000-348-10-11	MANCOS MARSHALL	.00	46,234.67	46,235.00	.33	100.0
402-0000-348-10-12	DOLORES COUNTY	.00	5,014.87	5,015.00	.13	100.0
402-0000-348-10-14	MESA VERDE NATIONAL PARK	.00	1,397.87	1,398.00	.13	100.0
402-0000-348-15-00	SW MEMORIAL HOSPITAL	.00	68,775.38	68,775.00	(.38)	100.0
	TOTAL USER FEES	.00	917,018.70	835,160.00	(81,858.70)	109.8
	TOTAL FUND REVENUE	.00	952,018.70	957,366.00	5,347.30	99.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

DISPATCH FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC SAFETY</u>					
<u>POLICE SUPPORT SERVICES</u>					
402-4222-422-10-01 REGULAR WAGES	38,620.60	311,036.07	562,809.05	251,772.98	55.3
402-4222-422-10-10 EMPLOYEE INCENTIVES	.00	619.05	.00	(619.05)	.0
402-4222-422-11-01 OVERTIME	2,804.13	29,888.42	38,991.00	9,102.58	76.7
402-4222-422-16-00 CITY RETIREMENT	1,831.28	14,468.27	27,026.61	12,558.34	53.5
402-4222-422-20-01 FICA/MEDICARE	3,001.73	24,766.57	42,881.00	18,114.43	57.8
402-4222-422-21-01 HEALTH/LIFE INSURANCE	12,470.00	101,272.00	222,806.30	121,534.30	45.5
402-4222-422-21-05 DENTAL INSURANCE	630.00	4,830.00	9,744.00	4,914.00	49.6
402-4222-422-21-06 WORKMENS COMPENSATION	282.46	1,671.86	1,000.00	(671.86)	167.2
402-4222-422-21-07 UNEMPLOYMENT	82.84	680.49	1,541.64	861.15	44.1
402-4222-422-30-19 INSURANCE & BONDS	.00	.00	1,664.00	1,664.00	.0
402-4222-422-30-34 EMPLOYEE LICENSES/TESTING	45.00	820.00	3,650.00	2,830.00	22.5
402-4222-422-30-90 CONTRACT SERVICES-OTHER	.00	198.19	3,871.00	3,672.81	5.1
402-4222-422-32-90 MAINT CONTRACTS-OTHER	.00	1,895.00	1,000.00	(895.00)	189.5
402-4222-422-40-00 TRAVEL/TRAINING	4,938.12	12,428.34	12,000.00	(428.34)	103.6
402-4222-422-42-01 TELEPHONE	289.00	1,448.15	2,300.00	851.85	63.0
402-4222-422-44-00 OFFICE SUPPLIES	720.52	2,616.44	3,026.00	409.56	86.5
402-4222-422-45-10 OPERATING SUPPLIES-OTHER	.00	3,122.71	16,000.00	12,877.29	19.5
402-4222-422-46-02 OTHER REPAIR & MAINT	.00	.00	1,200.00	1,200.00	.0
402-4222-422-46-10 COMPUTER MAINTENANCE	.00	.00	39,000.00	39,000.00	.0
402-4222-422-50-00 MEMBERSHIP & DUES	.00	.00	550.00	550.00	.0
TOTAL POLICE SUPPORT SERVICES	65,715.68	511,761.56	991,060.60	479,299.04	51.6
TOTAL PUBLIC SAFETY	65,715.68	511,761.56	991,060.60	479,299.04	51.6
TOTAL FUND EXPENDITURES	65,715.68	511,761.56	991,060.60	479,299.04	51.6
NET REVENUE OVER EXPENDITURES	(65,715.68)	440,257.14	(33,694.60)	(473,951.74)	1306.6

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

RECREATION CENTER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
403-0000-311-12-01	SALES TAX	174,284.81	1,306,416.29	1,898,032.00	591,615.71	68.8
	TOTAL TAXES	174,284.81	1,306,416.29	1,898,032.00	591,615.71	68.8
	<u>SERVICES</u>					
403-0000-341-16-00	CONCESSIONS	.00	.00	850.00	850.00	.0
403-0000-341-21-00	RECREATION PROGRAMS	663.11	3,381.92	7,000.00	3,618.08	48.3
	TOTAL SERVICES	663.11	3,381.92	7,850.00	4,468.08	43.1
	<u>FEES</u>					
403-0000-344-10-04	SWIMMING POOL-REC CENTER	.00	480.00	.00	(480.00)	.0
403-0000-344-11-03	HEALTHWAYS/SILVER SNEAKER	3,343.00	28,514.25	25,000.00	(3,514.25)	114.1
403-0000-344-14-01	RAQUETBALL	3.50	(31.50)	.00	31.50	.0
403-0000-344-15-00	MISC REC ACTIVITIES	.00	.00	3,000.00	3,000.00	.0
	TOTAL FEES	3,346.50	28,962.75	28,000.00	(962.75)	103.4
	<u>FEES</u>					
403-0000-346-20-00	PASSES/ADMISSION	26,846.37	146,590.08	120,000.00	(26,590.08)	122.2
403-0000-346-20-01	GENERAL ADMISSION	4,306.00	69,292.99	55,000.00	(14,292.99)	126.0
403-0000-346-20-02	MERCHANDISE	163.35	2,541.44	2,200.00	(341.44)	115.5
	TOTAL FEES	31,315.72	218,424.51	177,200.00	(41,224.51)	123.3
	<u>CHARGES</u>					
403-0000-347-17-00	FACILITY USE FEE	430.00	10,968.48	5,000.00	(5,968.48)	219.4
	TOTAL CHARGES	430.00	10,968.48	5,000.00	(5,968.48)	219.4
	<u>INTEREST</u>					
403-0000-361-20-00	INVESTMENT	2,547.10	6,253.83	5,000.00	(1,253.83)	125.1
	TOTAL INTEREST	2,547.10	6,253.83	5,000.00	(1,253.83)	125.1

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

RECREATION CENTER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CASH</u>					
403-0000-365-10-00	OVERAGE/SHORTAGE	8.00	(44.03)	.00	44.03	.0
	TOTAL CASH	8.00	(44.03)	.00	44.03	.0
	<u>REVENUE</u>					
403-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	1,862.91	1,000.00	(862.91)	186.3
403-0000-367-18-01	SURPLUS AUCTION	.00	1,100.00	.00	(1,100.00)	.0
	TOTAL REVENUE	.00	2,962.91	1,000.00	(1,962.91)	296.3
	TOTAL FUND REVENUE	212,595.24	1,577,326.66	2,122,082.00	544,755.34	74.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
PARKS & RECREATION					
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RECREATION CENTER					
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403-4556-456-10-01 REGULAR WAGES	35,512.12	328,368.43	755,488.35	427,119.92	43.5
403-4556-456-10-10 EMPLOYEE INCENTIVES	368.25	368.25	.00 (368.25)	.0
403-4556-456-11-01 REGULAR OVERTIME	1,567.30	7,426.98	3,959.00 (	3,467.98)	187.6
403-4556-456-16-00 CITY RETIREMENT	914.59	7,883.61	14,500.50	6,616.89	54.4
403-4556-456-20-01 FICA/MEDICARE	2,806.54	25,377.30	56,079.60	30,702.30	45.3
403-4556-456-21-01 HEALTH/LIFE INSURANCE	7,175.54	66,654.79	142,000.00	75,345.21	46.9
403-4556-456-21-05 DENTAL INSURANCE	439.90	3,373.94	5,880.00	2,506.06	57.4
403-4556-456-21-06 WORKMENS COMPENSATION	629.99	3,728.85	5,800.00	2,071.15	64.3
403-4556-456-21-07 UNEMPLOYMENT	74.17	671.66	2,224.00	1,552.34	30.2
403-4556-456-30-07 CREDIT CARD CHARGES	807.04	5,935.75	3,000.00 (	2,935.75)	197.9
403-4556-456-30-19 INSURANCE & BONDS	.00	31,819.09	31,500.00 (	319.09)	101.0
403-4556-456-30-34 EMPLOYEE LICENSES/TESTING	.00	.00	500.00	500.00	.0
403-4556-456-30-90 CONTRACT SERVICES-OTHER	4,486.14	7,128.06	7,300.00	171.94	97.6
403-4556-456-32-90 MAINT CONTRACTS-OTHER	.00	535.00	4,400.00	3,865.00	12.2
403-4556-456-40-00 TRAVEL & TRAINING	.00	1,111.16	2,000.00	888.84	55.6
403-4556-456-42-01 TELEPHONE	200.00	1,398.77	1,060.00 (	338.77)	132.0
403-4556-456-42-10 FIBER CHARGES	599.64	4,197.48	.00 (	4,197.48)	.0
403-4556-456-43-01 ELECTRIC	10,658.99	73,551.27	120,000.00	46,448.73	61.3
403-4556-456-43-02 SEWER	1,254.00	4,754.00	8,400.00	3,646.00	56.6
403-4556-456-43-03 GAS	4,557.63	47,584.11	44,000.00 (	3,584.11)	108.2
403-4556-456-43-04 REFUSE	192.95	1,157.70	2,600.00	1,442.30	44.5
403-4556-456-43-05 WATER	305.45	1,931.10	4,000.00	2,068.90	48.3
403-4556-456-44-00 OFFICE SUPPLIES	31.15	2,904.51	300.00 (	2,604.51)	968.2
403-4556-456-45-06 CHEMICALS & LAB	5,001.00	6,193.30	15,000.00	8,806.70	41.3
403-4556-456-45-07 CLOTHING ALLOWANCE	.00	294.13	1,000.00	705.87	29.4
403-4556-456-45-10 OPERATING SUPPLIES-OTHER	2,980.27	19,298.75	45,000.00	25,701.25	42.9
403-4556-456-45-22 COPIER EXPENSE	320.15	2,301.54	5,500.00	3,198.46	41.9
403-4556-456-45-23 CONCESSION	124.73	1,744.03	4,000.00	2,255.97	43.6
403-4556-456-45-28 AQUATICS	.00	775.36	2,000.00	1,224.64	38.8
403-4556-456-45-30 RECREATION	10,703.34	11,306.35	19,500.00	8,193.65	58.0
403-4556-456-46-02 OTHER REPAIR & MAINT	5,039.62	36,883.18	42,760.00	5,876.82	86.3
403-4556-456-48-90 PRINTING-OTHER	.00	75.50	200.00	124.50	37.8
403-4556-456-49-03 ADVERTISING-OTHER	53.83	53.83	200.00	146.17	26.9
403-4556-456-50-00 MEMBERSHIP & DUES	.00	5.35	.00 (	5.35)	.0
403-4556-456-51-00 PUBLICATION/SUBSCRIPTION	.00	.00	45.00	45.00	.0
403-4556-456-55-00 SPECIAL EVENTS	.00	261.16	1,000.00	738.84	26.1
403-4556-456-63-01 UNDER \$5,000	.00	49.97	.00 (49.97)	.0
403-4556-456-91-00 DEPRECIATION EXPENSE	.00	.00	252,000.00	252,000.00	.0
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TOTAL RECREATION CENTER	96,804.33	707,104.26	1,603,196.45	896,092.19	44.1
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TOTAL PARKS & RECREATION	96,804.33	707,104.26	1,603,196.45	896,092.19	44.1
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TOTAL FUND EXPENDITURES	96,804.33	707,104.26	1,603,196.45	896,092.19	44.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
NET REVENUE OVER EXPENDITURES	115,790.91	870,222.40	518,885.55	(351,336.85)	167.7

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FEES</u>					
410-0000-346-10-01	SALES METERED WATER	357,061.33	2,105,740.73	3,179,306.55	1,073,565.82	66.2
410-0000-346-10-02	BULK SALES	5,489.75	42,931.75	65,000.00	22,068.25	66.1
410-0000-346-10-03	PENALTY	1,216.75	8,009.56	15,000.00	6,990.44	53.4
410-0000-346-10-04	CONNECT/DISCONNECT FEES	1,970.00	12,100.00	20,000.00	7,900.00	60.5
410-0000-346-10-05	WATER DEVELOPMENT FEES	24,546.00	117,880.75	35,000.00	(82,880.75)	336.8
	TOTAL FEES	390,283.83	2,286,662.79	3,314,306.55	1,027,643.76	69.0
	<u>INTEREST</u>					
410-0000-361-20-00	INVESTMENT	900.32	1,776.81	1,500.00	(276.81)	118.5
	TOTAL INTEREST	900.32	1,776.81	1,500.00	(276.81)	118.5
	<u>REVENUE</u>					
410-0000-367-11-00	TOWAOC - TREATED WATER	421,919.00	421,919.00	343,495.00	(78,424.00)	122.8
410-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	1,528.50	6,000.00	4,471.50	25.5
410-0000-367-32-00	CORTEZ SANITATION DIST.	1,100.00	8,800.00	12,000.00	3,200.00	73.3
	TOTAL REVENUE	423,019.00	432,247.50	361,495.00	(70,752.50)	119.6
	TOTAL FUND REVENUE	814,203.15	2,720,687.10	3,677,301.55	956,614.45	74.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
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ENTERPRISE					
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ADMINISTRATIVE					
410-5816-589-21-06 WORKMENS COMPENSATION	231.70	1,371.41	500.00	(871.41)	274.3
410-5816-589-30-07 CREDIT CARD CHARGES	2,538.37	18,332.92	41,000.00	22,667.08	44.7
410-5816-589-30-19 INSURANCE & BONDS	.00	388.83	598.54	209.71	65.0
410-5816-589-30-21 MVI - O & M CHARGE	.00	.00	6,500.00	6,500.00	.0
410-5816-589-30-22 O & M DWCD	.00	.00	17,000.00	17,000.00	.0
410-5816-589-30-90 OTHER CONTRACTUAL SERVICES	5,995.19	8,995.19	6,500.00	(2,495.19)	138.4
410-5816-589-40-00 TRAVEL & TRAINING	.00	566.00	7,000.00	6,434.00	8.1
410-5816-589-42-01 TELEPHONE	.00	.00	3,500.00	3,500.00	.0
410-5816-589-42-03 POSTAGE	643.19	4,622.63	7,000.00	2,377.37	66.0
410-5816-589-45-10 OPERATING SUPPLIES	159.86	205.17	200.00	(5.17)	102.6
410-5816-589-46-08 EQUIPMENT REPAIR-INTERNAL	2,506.61	11,319.04	.00	(11,319.04)	.0
410-5816-589-46-09 FLEET FUEL COSTS	2,292.57	15,870.20	.00	(15,870.20)	.0
410-5816-589-50-00 MEMBERSHIP & DUES	865.00	1,315.00	1,875.00	560.00	70.1
410-5816-589-51-00 PUBLICATION/SUBSCRIPTION	.00	.00	300.00	300.00	.0
410-5816-589-58-00 BAD DEBT EXPENSE	.00	205.28	.00	(205.28)	.0
410-5816-589-59-00 MISCELLANEOUS	.00	.00	800.00	800.00	.0
410-5816-589-63-01 UNDER \$5,000	.00	500.00	.00	(500.00)	.0
410-5816-589-91-00 DEPRECIATION EXPENSE	.00	.00	35,000.00	35,000.00	.0
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TOTAL ADMINISTRATIVE	15,232.49	63,691.67	127,773.54	64,081.87	49.9

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FILTRATION & TREATMENT</u>					
410-5817-589-10-01	REGULAR WAGES	20,291.80	187,461.05	231,688.59	44,227.54	80.9
410-5817-589-11-01	OVERTIME	438.35	2,032.46	9,345.00	7,312.54	21.8
410-5817-589-16-00	CITY RETIREMENT	814.83	8,208.43	12,051.68	3,843.25	68.1
410-5817-589-20-01	FICA/MEDICARE	1,517.39	13,980.20	18,364.46	4,384.26	76.1
410-5817-589-21-01	HEALTH/LIFE INSURANCE	6,224.00	56,016.00	74,592.00	18,576.00	75.1
410-5817-589-21-05	DENTAL INSURANCE	280.00	2,520.00	3,360.00	840.00	75.0
410-5817-589-21-06	WORKMENS COMPENSATION	862.82	5,106.95	4,500.00	(606.95)	113.5
410-5817-589-21-07	UNEMPLOYMENT	41.47	379.11	688.67	309.56	55.1
410-5817-589-30-10	WATER ANALYSIS	1,065.50	8,479.90	25,000.00	16,520.10	33.9
410-5817-589-30-19	INSURANCE & BONDS	.00	55,070.47	55,499.57	429.10	99.2
410-5817-589-30-34	EMPLOYEE LICENSES/TESTING	.00	381.05	42.00	(339.05)	907.3
410-5817-589-30-90	OTHER CONTRACTUAL SERVICES	393.75	5,353.10	15,000.00	9,646.90	35.7
410-5817-589-40-00	TRAVEL & TRAINING	100.00	1,316.50	5,000.00	3,683.50	26.3
410-5817-589-42-01	TELEPHONE	477.50	3,344.72	7,520.00	4,175.28	44.5
410-5817-589-42-10	FIBER CHARGES	556.00	3,892.00	.00	(3,892.00)	.0
410-5817-589-43-01	ELECTRIC	2,362.36	7,649.57	31,000.00	23,350.43	24.7
410-5817-589-43-03	GAS	232.23	7,287.66	7,140.00	(147.66)	102.1
410-5817-589-43-04	REFUSE	54.00	324.00	725.00	401.00	44.7
410-5817-589-44-00	OFFICE SUPPLIES	.00	4.41	800.00	795.59	.6
410-5817-589-45-06	CHEMICALS & LAB	21,143.10	127,601.43	170,000.00	42,398.57	75.1
410-5817-589-45-07	CLOTHING ALLOWANCE	475.71	1,110.12	1,200.00	89.88	92.5
410-5817-589-45-10	OPERATING SUPPLIES	432.90	3,047.79	4,500.00	1,452.21	67.7
410-5817-589-46-02	OTHER REPAIR & MAINT	826.43	15,045.52	28,000.00	12,954.48	53.7
410-5817-589-50-00	MEMBERSHIP & DUES	.00	670.00	700.00	30.00	95.7
410-5817-589-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	400.00	400.00	.0
410-5817-589-59-00	MISCELLANEOUS	.00	9,558.62	15,000.00	5,441.38	63.7
410-5817-589-61-34	BACKWASH POND	1,490.00	8,208.48	20,000.00	11,791.52	41.0
410-5817-589-91-00	DEPRECIATION EXPENSE	.00	.00	217,195.00	217,195.00	.0
	TOTAL FILTRATION & TREATMENT	60,080.14	534,049.54	959,311.97	425,262.43	55.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TRANSMISSION/DISTRIBUTION</u>					
410-5818-589-10-01	REGULAR WAGES	28,380.82	241,762.43	306,704.00	64,941.57	78.8
410-5818-589-10-10	EMPLOYEE INCENTIVES	.00	.00	351.75	351.75	.0
410-5818-589-11-01	OVERTIME	1,871.24	10,680.24	10,500.00	(180.24)	101.7
410-5818-589-16-00	CITY RETIREMENT	1,359.12	11,376.66	15,335.20	3,958.54	74.2
410-5818-589-20-01	FICA/MEDICARE	2,214.35	18,505.46	23,367.92	4,862.46	79.2
410-5818-589-21-01	HEALTH/LIFE INSURANCE	10,125.00	81,000.00	139,860.00	58,860.00	57.9
410-5818-589-21-05	DENTAL INSURANCE	525.00	4,200.00	6,300.00	2,100.00	66.7
410-5818-589-21-06	WORKMENS COMPENSATION	762.92	4,515.63	29,700.00	25,184.37	15.2
410-5818-589-21-07	UNEMPLOYMENT	60.48	504.78	876.30	371.52	57.6
410-5818-589-30-04	COMPUTER/SOFTWARE SERVICE	253.41	1,777.51	1,500.00	(277.51)	118.5
410-5818-589-30-11	SOLID WASTE DISPOSAL	.00	.00	1,100.00	1,100.00	.0
410-5818-589-30-19	INSURANCE & BONDS	.00	8,444.45	8,343.73	(100.72)	101.2
410-5818-589-30-34	EMPLOYEE LICENSES/TESTING	.00	686.60	1,100.00	413.40	62.4
410-5818-589-30-90	OTHER CONTRACTUAL SERVICES	150.53	2,588.26	7,000.00	4,411.74	37.0
410-5818-589-40-00	TRAVEL & TRAINING	116.99	1,310.44	3,000.00	1,689.56	43.7
410-5818-589-42-01	TELEPHONE	296.69	2,216.86	3,500.00	1,283.14	63.3
410-5818-589-44-00	OFFICE SUPPLIES	.00	.00	200.00	200.00	.0
410-5818-589-45-07	CLOTHING ALLOWANCE	624.44	1,652.08	3,500.00	1,847.92	47.2
410-5818-589-45-10	OPERATING SUPPLIES	486.32	1,584.37	8,000.00	6,415.63	19.8
410-5818-589-45-17	LINE REPAIR	19,186.70	60,231.24	42,000.00	(18,231.24)	143.4
410-5818-589-46-02	OTHER REPAIR & MAINT	1,707.23	9,603.31	7,500.00	(2,103.31)	128.0
410-5818-589-46-10	COMPUTER MAINTENANCE	.00	7,879.80	.00	(7,879.80)	.0
410-5818-589-50-00	MEMBERSHIP & DUES	.00	.00	200.00	200.00	.0
410-5818-589-51-00	PUBLICATION/SUBSCRIPTION	.00	337.00	300.00	(37.00)	112.3
410-5818-589-52-00	EQUIPMENT RENTALS	.00	.00	350.00	350.00	.0
410-5818-589-91-00	DEPRECIATION EXPENSE	.00	.00	125,000.00	125,000.00	.0
	TOTAL TRANSMISSION/DISTRIBUTION	68,121.24	470,857.12	745,588.90	274,731.78	63.2
	TOTAL AIRPORT	.00	.00	.00	.00	.0
	<u>METER MAINTENANCE</u>					
410-5820-589-30-19	INSURANCE & BONDS	.00	.00	387.36	387.36	.0
410-5820-589-30-34	EMPLOYEE LICENSES/TESTING	.00	80.00	200.00	120.00	40.0
410-5820-589-32-90	MAINT. CONTRACTS - OTHER	.00	4,074.45	7,150.00	3,075.55	57.0
410-5820-589-40-00	TRAVEL & TRAINING	.00	.00	500.00	500.00	.0
410-5820-589-45-07	CLOTHING ALLOWANCE	.00	297.56	1,000.00	702.44	29.8
410-5820-589-45-10	OPERATING SUPPLIES	52.14	370.32	6,000.00	5,629.68	6.2
410-5820-589-46-02	OTHER REPAIR & MAINT	.00	786.32	2,350.00	1,563.68	33.5
	TOTAL METER MAINTENANCE	52.14	5,608.65	17,587.36	11,978.71	31.9
	TOTAL ALL 21	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>DEBT RETIREMENT</u>					
410-5822-589-70-01	DOLORES WATER PRINCIPAL	.00	.00	77,617.00	77,617.00	.0
410-5822-589-70-02	DOLORES WATER INTEREST	.00	.00	172,464.00	172,464.00	.0
410-5822-589-70-03	STATE LOAN PRINCIPAL	.00	.00	86,785.00	86,785.00	.0
410-5822-589-70-04	STATE LOAN INTEREST	.00	.00	9,289.00	9,289.00	.0
410-5822-589-70-20	DOLA-ENERGY IMPACT ASST INTERE	.00	4,214.69	4,215.00	.31	100.0
410-5822-589-70-21	DOLA-ENERGY IMPACT ASST PRINCP	.00	19,557.18	19,557.00	(.18)	100.0
410-5822-589-70-22	W&P AUTHORITY INTEREST	.00	2,234.00	5,128.00	2,894.00	43.6
410-5822-589-70-23	W&P AUTHORITY PRINCIPAL	.00	11,389.39	26,962.00	15,572.61	42.2
410-5822-589-70-26	CWCB (CT-2015-152) INTEREST	.00	.00	263.00	263.00	.0
410-5822-589-70-27	CWCB (CT-2015-152) PRINCIPAL	.00	.00	5,257.00	5,257.00	.0
	TOTAL DEBT RETIREMENT	.00	37,395.26	407,537.00	370,141.74	9.2
	<u>CAPITAL PROJECTS</u>					
410-5855-589-60-06	WATER DISTRIBUTION IMP	.00	15,743.26	120,000.00	104,256.74	13.1
410-5855-589-60-07	TREATMENT PLANT	2,590.77	2,590.77	280,000.00	277,409.23	.9
410-5855-589-60-10	CAPITAL PROJECTS	113,310.11	309,783.99	1,156,000.00	846,216.01	26.8
410-5855-589-61-47	CONSERVATION PROJECT	.00	2,862.70	25,000.00	22,137.30	11.5
410-5855-589-61-50	HYDRO INSPECTION/VALVE WORK	.00	946.66	44,000.00	43,053.34	2.2
	TOTAL CAPITAL PROJECTS	115,900.88	331,927.38	1,625,000.00	1,293,072.62	20.4
	TOTAL ALL 60	.00	.00	.00	.00	.0
	TOTAL ENTERPRISE	259,386.89	1,443,529.62	3,882,798.77	2,439,269.15	37.2
	TOTAL FUND EXPENDITURES	259,386.89	1,443,529.62	3,882,798.77	2,439,269.15	37.2
	NET REVENUE OVER EXPENDITURES	554,816.26	1,277,157.48	(205,497.22)	(1,482,654.70)	621.5

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

HYDRO PLANT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
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415-0000-349-10-02	RPS CREDIT	.00	.00	12,300.00	12,300.00	.0
	TOTAL SOURCES 349	.00	.00	12,300.00	12,300.00	.0
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	REVENUE					
415-0000-367-16-18	HYDRO-PRODUCTION CREDITS	.00	8,240.14	4,813.00	(3,427.14)	171.2
415-0000-367-16-19	ENERGY CREDITS	262.42	826.04	3,061.00	2,234.96	27.0
	TOTAL REVENUE	262.42	9,066.18	7,874.00	(1,192.18)	115.1
	TOTAL FUND REVENUE	262.42	9,066.18	20,174.00	11,107.82	44.9

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

HYDRO PLANT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>						
<u>ADMINISTRATIVE</u>						
415-5816-589-30-19	INSURANCE & BONDS	.00	4,316.58	4,298.78	(17.80)	100.4
415-5816-589-45-10	OPERATING SUPPLIES	.00	.00	500.00	500.00	.0
415-5816-589-46-02	OTHER REPAIR & MAINT	782.34	938.14	15,000.00	14,061.86	6.3
415-5816-589-70-22	W&P AUTHORITY INTEREST	.00	11,330.01	11,330.00	(.01)	100.0
415-5816-589-70-23	W&P AUTHORITY PRINCIPAL	.00	58,075.02	58,075.00	(.02)	100.0
415-5816-589-91-00	DEPRECIATION EXPENSE	.00	.00	65,802.00	65,802.00	.0
TOTAL ADMINISTRATIVE		782.34	74,659.75	155,005.78	80,346.03	48.2
TOTAL ENTERPRISE		782.34	74,659.75	155,005.78	80,346.03	48.2
TOTAL FUND EXPENDITURES		782.34	74,659.75	155,005.78	80,346.03	48.2
NET REVENUE OVER EXPENDITURES		(519.92)	(65,593.57)	(134,831.78)	(69,238.21)	(48.7)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

CCN FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
416-0000-340-10-01	FIBER TO THE BUSINESS	4,115.00	30,565.00	185,570.88	155,005.88	16.5
416-0000-340-10-02	CONNECTION DROPS	.00	1,050.00	.00	(1,050.00)	.0
416-0000-340-10-03	DARK FIBER	10,456.96	84,918.00	12,962.40	(71,955.60)	655.1
416-0000-340-10-04	EQUIPMENT RENTAL FEES	435.00	3,310.00	.00	(3,310.00)	.0
416-0000-340-10-05	FIBER SERVICE	3,200.00	24,099.00	.00	(24,099.00)	.0
	TOTAL SOURCES 340	18,206.96	143,942.00	198,533.28	54,591.28	72.5
	FEES					
416-0000-342-05-00	E-RATE REVENUE	9,948.40	79,794.00	109,006.08	29,212.08	73.2
416-0000-342-12-00	GOVNET	10,560.16	84,481.28	155,028.00	70,546.72	54.5
	TOTAL FEES	20,508.56	164,275.28	264,034.08	99,758.80	62.2
	TOTAL FUND REVENUE	38,715.52	308,217.28	462,567.36	154,350.08	66.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

CCN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
ENTERPRISE					
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CITY COMMUNITY NETWORK					
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416-5830-582-10-01 REGULAR WAGES	4,734.40	40,242.40	62,990.93	22,748.53	63.9
416-5830-582-16-00 CITY RETIREMENT	236.72	2,012.12	3,013.92	1,001.80	66.8
416-5830-582-20-01 FICA/MEDICARE	358.86	3,010.47	4,592.64	1,582.17	65.6
416-5830-582-21-01 HEALTH/LIFE INSURANCE	1,556.00	12,448.00	18,648.00	6,200.00	66.8
416-5830-582-21-05 DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
416-5830-582-21-06 WORKMENS COMPENSATION	380.86	2,254.26	2,250.00	(4.26)	100.2
416-5830-582-21-07 UNEMPLOYMENT	9.46	80.41	172.22	91.81	46.7
416-5830-582-30-19 INSURANCE & BONDS	.00	43.24	60.00	16.76	72.1
416-5830-582-30-23 EQUIPMENT RENTALS	.00	.00	500.00	500.00	.0
416-5830-582-30-90 OTHER CONTRACTUAL SERVICES	30.00	1,350.00	3,620.00	2,270.00	37.3
416-5830-582-40-00 TRAVEL & TRAINING	.00	.00	500.00	500.00	.0
416-5830-582-42-01 TELEPHONE	75.00	600.00	900.00	300.00	66.7
416-5830-582-44-00 OFFICE SUPPLIES	.00	.00	200.00	200.00	.0
416-5830-582-45-07 CLOTHING ALLOWANCE	.00	.00	200.00	200.00	.0
416-5830-582-46-02 OTHER REPAIR & MAINT	.00	229.26	15,000.00	14,770.74	1.5
416-5830-582-46-09 FLEET FUEL COSTS	.00	1,052.17	1,000.00	(52.17)	105.2
416-5830-582-58-00 BAD DEBT EXPENSE	.00	2,488.00	.00	(2,488.00)	.0
416-5830-582-60-41 OTHER IMPROVEMENTS	.00	.00	5,000.00	5,000.00	.0
416-5830-582-90-02 SHOP FUND	.00	928.13	.00	(928.13)	.0
416-5830-583-30-33 PROFESSIONAL SERVICES	1,073.80	13,345.80	.00	(13,345.80)	.0
416-5830-583-30-90 OTHER CONTRACTUAL SERVICES	109.20	5,464.40	4,200.00	(1,264.40)	130.1
416-5830-583-32-90 MAINT. CONTRACTS - OTHER	.00	4,985.00	48,000.00	43,015.00	10.4
416-5830-583-45-10 OPERATING SUPPLIES	518.13	1,508.54	5,000.00	3,491.46	30.2
416-5830-583-46-02 REPAIR & MAINTENANCE	1,469.95	3,018.70	8,500.00	5,481.30	35.5
416-5830-583-50-00 MEMBERSHIP & DUES	.00	1,165.00	.00	(1,165.00)	.0
416-5830-583-60-00 CAPITAL PROJECTS	.00	10,484.96	50,000.00	39,515.04	21.0
416-5830-583-90-01 GENERAL FUND	.00	.00	11,485.65	11,485.65	.0
416-5830-583-90-02 SHOP FUND	.00	.00	5,300.00	5,300.00	.0
416-5830-583-91-00 DEPRECIATION EXPENSE	.00	.00	90,000.00	90,000.00	.0
416-5830-586-30-56 UPSTREAM CONNECTIVITY	5,447.20	38,740.20	58,000.00	19,259.80	66.8
416-5830-586-44-00 OFFICE SUPPLIES	.00	.00	200.00	200.00	.0
416-5830-586-45-10 OPERATING SUPPLIES	.00	.00	2,500.00	2,500.00	.0
416-5830-586-46-02 OTHER REPAIR & MAINT	.00	.00	10,000.00	10,000.00	.0
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TOTAL CITY COMMUNITY NETWORK	16,069.58	146,011.06	412,673.36	266,662.30	35.4
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TOTAL ENTERPRISE	16,069.58	146,011.06	412,673.36	266,662.30	35.4
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TOTAL FUND EXPENDITURES	16,069.58	146,011.06	412,673.36	266,662.30	35.4
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NET REVENUE OVER EXPENDITURES	22,645.94	162,206.22	49,894.00	(112,312.22)	325.1
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CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

REFUSE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CHARGES</u>					
421-0000-347-10-01	SALES REFUSE PICKUP	133,266.04	1,047,587.94	1,572,280.71	524,692.77	66.6
421-0000-347-10-02	PENALTY	415.48	2,647.56	1,000.00	(1,647.56)	264.8
421-0000-347-10-05	CONTAINER LOCKS	.00	.00	80.00	80.00	.0
421-0000-347-18-00	CHIPPER/MULCHER	.00	.00	450.00	450.00	.0
	TOTAL CHARGES	133,681.52	1,050,235.50	1,573,810.71	523,575.21	66.7
	<u>INTEREST</u>					
421-0000-361-20-00	INVESTMENT	180.06	448.67	1,800.00	1,351.33	24.9
	TOTAL INTEREST	180.06	448.67	1,800.00	1,351.33	24.9
	<u>REVENUE</u>					
421-0000-367-12-00	DUMP-TRUCK/LANDFILL FEES	90.00	805.50	1,900.00	1,094.50	42.4
421-0000-367-13-00	RECYCLED REFUSE	2,199.60	12,056.11	30,000.00	17,943.89	40.2
421-0000-367-16-00	MISCELLANEOUS SALES & FEE	151.29	151.29	.00	(151.29)	.0
	TOTAL REVENUE	2,440.89	13,012.90	31,900.00	18,887.10	40.8
	TOTAL FUND REVENUE	136,302.47	1,063,697.07	1,607,510.71	543,813.64	66.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

REFUSE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
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<u>ENTERPRISE</u>						
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<u>ADMINISTRATIVE</u>						
421-5816-587-42-01	TELEPHONE	.00	.00	1,100.00	1,100.00	.0
421-5816-587-42-03	POSTAGE	608.44	4,258.86	7,500.00	3,241.14	56.8
421-5816-587-46-08	EQUIPMENT REPAIR-INTERNAL	5,789.16	40,252.03	.00	(40,252.03)	.0
421-5816-587-46-09	FLEET FUEL COSTS	8,467.74	50,093.86	.00	(50,093.86)	.0
421-5816-589-58-00	BAD DEBT EXPENSE	.00	120.40	.00	(120.40)	.0
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	TOTAL ADMINISTRATIVE	14,865.34	94,725.15	8,600.00	(86,125.15)	1101.5
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<u>INTERFUND SERVICES</u>						
421-5821-589-90-01	GENERAL FUND	.00	.00	(23,457.51)	(23,457.51)	.0
421-5821-589-90-02	SHOP FUND	.00	.00	4,094.95	4,094.95	.0
421-5821-589-90-08	TRANSF TO COMPUTER FUND	.00	.00	162.93	162.93	.0
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	TOTAL INTERFUND SERVICES	.00	.00	(19,199.63)	(19,199.63)	.0
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<u>COLLECTION</u>						
421-5823-587-10-01	REGULAR WAGES	19,392.80	230,480.53	341,362.97	110,882.44	67.5
421-5823-587-10-02	REIMBURSED WAGES	.00	(6,240.00)	.00	6,240.00	.0
421-5823-587-10-10	EMPLOYEE INCENTIVES	.00	.00	175.35	175.35	.0
421-5823-587-11-01	OVERTIME	1,598.83	11,536.63	15,635.24	4,098.61	73.8
421-5823-587-16-00	CITY RETIREMENT	969.64	9,244.94	17,068.15	7,823.21	54.2
421-5823-587-20-01	FICA/MEDICARE	1,561.70	17,912.55	26,008.61	8,096.06	68.9
421-5823-587-21-01	HEALTH/LIFE INSURANCE	6,257.00	71,675.00	149,184.00	77,509.00	48.0
421-5823-587-21-05	DENTAL INSURANCE	350.00	3,500.00	6,720.00	3,220.00	52.1
421-5823-587-21-06	WORKMENS COMPENSATION	4,184.37	24,823.32	27,090.00	2,266.68	91.6
421-5823-587-21-07	UNEMPLOYMENT	41.98	484.04	975.32	491.28	49.6
421-5823-587-23-01	VA/SL PROGRAM	.00	.00	100.00	100.00	.0
421-5823-587-30-11	SOLID WASTE DISPOSAL	31,251.25	214,924.72	365,000.00	150,075.28	58.9
421-5823-587-30-19	INSURANCE & BONDS	.00	12,375.57	2,569.94	(9,805.63)	481.6
421-5823-587-30-34	EMPLOYEE LICENSES/TESTING	.00	1,522.80	800.00	(722.80)	190.4
421-5823-587-30-90	OTHER/CONTRACTUAL SERVICES	480.00	4,080.00	4,000.00	(80.00)	102.0
421-5823-587-40-00	TRAVEL & TRAINING	.00	.00	500.00	500.00	.0
421-5823-587-42-01	TELEPHONE	150.00	1,457.05	2,800.00	1,342.95	52.0
421-5823-587-44-00	OFFICE SUPPLIES	.00	.00	300.00	300.00	.0
421-5823-587-45-06	CHEMICALS & LAB	.00	.00	500.00	500.00	.0
421-5823-587-45-07	CLOTHING ALLOWANCE	379.05	2,618.72	5,200.00	2,581.28	50.4
421-5823-587-45-10	OPERATING SUPPLIES	2,688.82	18,859.84	38,000.00	19,140.16	49.6
421-5823-587-46-02	OTHER REPAIR & MAINT	252.09	3,662.24	12,000.00	8,337.76	30.5
421-5823-587-63-10	CAPITAL OUTLAY	.00	.00	200,000.00	200,000.00	.0
421-5823-587-91-00	DEPRECIATION EXPENSE	.00	.00	40,000.00	40,000.00	.0
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	TOTAL COLLECTION	69,557.53	622,917.95	1,255,989.58	633,071.63	49.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

REFUSE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	RECYCLING					
421-5824-587-10-01	REGULAR WAGES	9,325.61	89,318.66	119,741.10	30,422.44	74.6
421-5824-587-10-10	EMPLOYEE INCENTIVES	122.50	122.50	351.75	229.25	34.8
421-5824-587-11-01	OVERTIME	.00	8,113.61	2,526.88	(5,586.73)	321.1
421-5824-587-16-00	CITY RETIREMENT	466.28	4,257.92	6,029.06	1,771.14	70.6
421-5824-587-20-01	FICA/MEDICARE	676.29	7,178.21	9,187.13	2,008.92	78.1
421-5824-587-21-01	HEALTH/LIFE INSURANCE	1,567.00	12,602.00	55,944.00	43,342.00	22.5
421-5824-587-21-05	DENTAL INSURANCE	70.00	560.00	2,520.00	1,960.00	22.2
421-5824-587-21-06	WORKMENS COMPENSATION	779.76	4,615.32	800.00	(3,815.32)	576.9
421-5824-587-21-07	UNEMPLOYMENT	18.64	194.82	344.52	149.70	56.6
421-5824-587-30-19	INSURANCE & BONDS	.00	483.24	481.42	(1.82)	100.4
421-5824-587-30-34	EMPLOYEE LICENSES/TESTING	80.00	405.55	800.00	394.45	50.7
421-5824-587-30-90	CONTRACTUAL SERVICES	(2,590.00)	(20,355.80)	1,500.00	21,855.80	(1357.0
421-5824-587-40-00	TRAVEL & TRAINING	.00	93.75	1,000.00	906.25	9.4
421-5824-587-42-01	TELEPHONE	130.00	850.00	750.00	(100.00)	113.3
421-5824-587-42-03	POSTAGE	.00	.00	600.00	600.00	.0
421-5824-587-45-07	CLOTHING ALLOWANCE	(205.42)	2,161.50	1,200.00	(961.50)	180.1
421-5824-587-45-10	OPERATING SUPPLIES	345.09	2,192.61	4,000.00	1,807.39	54.8
421-5824-587-46-02	OTHER REPAIR & MAINT	184.19	330.97	800.00	469.03	41.4
421-5824-587-50-00	MEMBERSHIP & DUES	.00	1,674.00	1,600.00	(74.00)	104.6
	TOTAL RECYCLING	10,969.94	114,798.86	210,175.86	95,377.00	54.6
	TOTAL ENTERPRISE	95,392.81	832,441.96	1,455,565.81	623,123.85	57.2
	TOTAL FUND EXPENDITURES	95,392.81	832,441.96	1,455,565.81	623,123.85	57.2
	NET REVENUE OVER EXPENDITURES	40,909.66	231,255.11	151,944.90	(79,310.21)	152.2

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2022

CONSERVATION TRUST FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STATE/COLO</u>					
603-0000-332-17-00	LOTTERY	.00	.00	336,521.00	336,521.00	.0
	TOTAL STATE/COLO	.00	.00	336,521.00	336,521.00	.0
	TOTAL FUND REVENUE	.00	.00	336,521.00	336,521.00	.0
	NET REVENUE OVER EXPENDITURES	.00	.00	336,521.00	336,521.00	.0



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 5. a.

MEMO TO: Honorable Mayor and City Council

FROM: Rachael Marchbanks, Director of Community/Economic Development

SUBJECT: Ordinance No. 1311, Series 2022

BACKGROUND

See Attached.

RECOMMENDATION

Staff recommends that Council approves on second reading Ordinance No. 1311, Series 2022, Affordable Housing (Density) an Ordinance amending the City of Cortez Land Use Code, Sections 2.02, Definitions, 3.06 Residential area regulations, 3.09 R-2 Residential Multi-family District, 3.10 MH, Residential Manufactured Home District, and NB, Neighborhood Business District, to create definitions for affordable and workforce housing and increase density in the R-2, MH, and NB Zones for affordable and workforce housing.

Attachments

Affordable Housing (Density) Ordinance No. 1311, Series 2022

**ORDINANCE NO. 1311,
SERIES 2022**

AN ORDINANCE AMENDING THE CITY OF CORTEZ LAND USE CODE, SECTIONS 2.02, DEFINITIONS, 3.06 RESIDENTIAL AREA REGULATIONS, 3.09 R-2 RESIDENTIAL MULTI-FAMILY DISTRICT, 3.10 MH, RESIDENTIAL MANUFACTURED HOME DISTRICT, and 3.14 NB, NEIGHBORHOOD BUSINESS DISTRICT, TO CREATE DEFINITIONS FOR AFFORDABLE AND WORKFORCE HOUSING AND INCREASE DENSITY IN THE R-2, MH AND NB ZONES FOR AFFORDABLE AND WORKFORCE HOUSING.

WHEREAS, housing costs have been rising rapidly in the City of Cortez; and

WHEREAS, the City Council of the City of Cortez wishes to promote housing for all residents;
and

WHEREAS, the Cortez Land Use Code (the “Code”) currently lacks a definition of affordable housing and workforce housing; and

WHEREAS, the Code currently allows multi-family developments at a density of 3,000 sq. ft. per multi-family unit in the R-2, MH and NB zones; and

WHEREAS, the City Council desires to encourage more affordable and workforce housing projects by allowing an increased density for qualifying development; and

WHEREAS, at the September 6, 2022 Planning and Zoning Commission meeting, the Planning and Zoning Commission reviewed the revisions to the Code as described in this ordinance and as evidenced by the adoption of P&Z Resolution No. 7, Series 2022; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission recommends that Sections 2.02, 3.06, 3.09, 3.10 and 3.14 be amended as described in this ordinance:

WHEREAS, the authority and procedure for amending the City Land Use Code is set forth in the Cortez City Charter, and the Code.

NOW THEREFORE, BE IT ORDAINED BY THE CORTEZ CITY COUNCIL THAT THE CITY OF CORTEZ LAND USE CODE, SECTIONS 2.02, 3.06, 3.09, 3.10, AND 3.14, ARE AMENDED AS FOLLOWS:

Section 2.02 – Definitions is amended to add the following two definitions:

“Affordable Housing” means housing that is affordable to a household with an income that is eighty (80) percent or lower than area median income of households of that size. Housing developed or co-developed by non-profit or governmental/quasi-governmental organizations whose mission or intent is to provide affordable and/or workforce housing will meet this definition. Non-profits and governmental organizations that do not intend to hold the property for at least 20 years and for-profit

developers will be required to provide assurances that the housing is and will remain affordable for at least 20 years.

“Workforce Housing” means housing that is affordable to a household with an income of between eighty (80) percent and one hundred and forty (140) percent of the area median income for households of that size. Housing developed or co-developed by non-profit or governmental/quasi-governmental organizations whose mission or intent is to provide affordable and/or workforce housing will meet this definition. Non-profits and governmental organizations that do not intend to hold the property for at least 20 years and for-profit developers will be required to provide assurances that the housing is and will remain affordable for at least 20 years.

Section 3.09 - R-2, residential multi-family district, Subsection (f) is deleted in its entirety and replaced with the following:

(f) Minimum Lot Area. The minimum lot area per dwelling unit in the R-2, residential multi-family district shall be as follows, subject to [Section 3.06\(c\)](#) of this chapter:

- (1) Six thousand (6,000) square feet per single-family dwelling unit;
- (2) Three thousand five hundred (3,500) square feet per duplex unit.
- (3) Three thousand (3,000) square feet per multi-family dwelling unit; and
- (4) Two thousand (2,000) square feet per multi-family dwelling unit for affordable and workforce housing. Where affordable and workforce housing projects are mixed with market rate projects the density will be pro-rated based on the percent of affordable versus market units. For example, a project proposing 10 affordable units and 10 market rate units would achieve an overall density of 2,500 sq. ft. per unit.

Section 3.10 MH, residential manufactured home district, Subsection (f) is deleted in its entirety and replaced with the following:

(f) Minimum Lot Area. The minimum lot area per dwelling unit in the MH residential manufactured home district shall be as follows, subject to [Section 3.06\(c\)](#) of this chapter:

- (1) Six thousand (6,000) square feet per single-family and manufactured home dwelling unit;
- (2) Three thousand five hundred (3,500) square feet per duplex unit.
- (3) Three thousand (3,000) square feet per multi-family dwelling unit; and
- (4) Two thousand (2,000) square feet per multi-family dwelling unit for affordable and workforce housing. Where affordable and workforce housing projects are mixed with market rate projects the density will be pro-rated based on the percent of affordable versus market units. For example, a project proposing 10 affordable units and 10 market rate units would achieve an overall density of 2,500 sq. ft. per unit.

Section 3.14 N-B, neighborhood business district, Subsection (f) is deleted in its entirety and replaced with the following:

(f) Minimum Lot Area. The minimum lot area per dwelling unit in the NB neighborhood business district shall be as follows, subject to [Section 3.06\(c\)](#) of this chapter:

- (1) Six thousand (6,000) square feet per single-family and manufactured home dwelling unit;
- (2) Three thousand five hundred (3,500) square feet per duplex unit.
- (3) Three thousand (3,000) square feet per multi-family dwelling unit; and
- (4) Two thousand (2,000) square feet per multi-family dwelling unit for affordable and workforce housing. Where affordable and workforce housing projects are mixed with market rate projects the density will be pro-rated based on the percent of affordable versus market units. For example, a project proposing 10 affordable units and 10 market rate units would achieve an overall density of 2,500 sq. ft. per unit.

REPEALER. All orders, bylaws, ordinances, and resolutions of the City, or parts thereof, inconsistent or in conflict with this Ordinance, are hereby repealed to the extent only of such inconsistency or conflict.

SEVERABILITY. If any section, paragraph, clause, or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall not affect any of the remaining provisions of this Ordinance, the intent being that the same are severable.

RECORDING AND AUTHENTICATION. Upon adoption hereof, this Ordinance shall be recorded in a book kept for that purpose and shall be authenticated by the signatures of the Mayor and the City Clerk.

EFFECTIVE DATE. This ordinance shall be effective upon publication after second reading and final passage.

FIRST READING. This ordinance shall be considered first reading on the 13th day of September, 2022, at the hour of 7:30 p.m., in the City Council Chambers in City Hall, Cortez, Colorado, at which time this ordinance shall be read and the public hearing for the second or final reading of this ordinance shall be set.

PUBLIC HEARING. This ordinance shall be considered for second or final reading on the 25th day of October, 2022, at the hour of 7:30 p.m., in the City Council Chambers in City Hall, Cortez, Colorado, at which time and place all persons may appear and be heard concerning the same.

PASSED, ADOPTED AND APPROVED ON FIRST READING THIS 13th DAY OF SEPTEMBER, 2022.

CITY OF CORTEZ

ATTEST:

RACHEL B MEDINA, MAYOR

LINDA L. SMITH, CITY CLERK

PASSED, ADOPTED AND APPROVED ON SECOND AND FINAL READING THIS 25th
DAY OF OCTOBER, 2022.

CITY OF CORTEZ

ATTEST:

RACHEL B MEDINA, MAYOR

LINDA L. SMITH, CITY CLERK

APPROVED AS TO FORM:

J. PATRICK COLEMAN, CITY ATTORNEY



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 5. b.

MEMO TO: Honorable Mayor and City Council

FROM: Rachael Marchbanks, Director of Community/Economic Development

SUBJECT: Resolution No. 23, Series 2022

BACKGROUND

See Attached

RECOMMENDATION

Staff recommends that Council approves Resolution No. 23, Series 2022, approving an application for a conditional use permit and site development plan for a 3,537 sq ft car wash (Champion Xpress) to be located at 699 Canyon Dr. and 313 S. Broadway, zoned (C) Commercial Highway.

Attachments

Resolution No. 23, Series 2022, Champion Express Car Wash



*City of Cortez Planning
and Building
123 Roger Smith Avenue
Cortez, CO 81321*

Item No: 5b.

Meeting Date: October 25, 2022

Project No. F22-0000

TITLE: Public Hearing on an Application for a site plan/Conditional Use Permit for a 3,537 sq. ft. car wash (Champion Xpress) to be located on 1.58 acres located at 699 Canyon Dr. and 313 S Broadway/zoned C Commercial Highway.

SUBMITTING DEPARTMENT: Planning and Building

ATTACHMENTS: P&Z Resolution No. 8, Series 2022

Project Narrative

Civil Site Plans

Building Renderings

Traffic Impact Study

Title Report

BACKGROUND

7B Building and Development, is proposing a conditional use permit and site plan to construct a new 3,537 sq. ft. car wash to be located on two parcels totaling 1.58 acres (consolidation will be required) located at 699 Canyon Dr. and 313 S. Broadway. Access is proposed off Canyon Dr. The property is zoned commercial highway (C) and is currently vacant. Car washes are considered a conditional use in the C zone.

The site is bounded on the south by commercially zoned land that include other auto oriented land uses. Family Dollar is located across Broadway. Properties to the north and west are residential, zone R-1. The property to the north along Canyon Dr. is developed with single family homes. The property to the west is a mobile home park.

DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	68,824
Min. front yard (ft.)	10'	40' approx
Min. side yard (ft)	7'	30' approx
Min. rear yard (ft)	20'	120' approx
Max. lot coverage	50%	5%
Min. floor area	n/a	n/a
Max height (ft)	50'	18'
Parking	11 spaces	17 spaces
Landscaping	10% or 6,882 sq. ft.	36,079 sq. ft.

Signs		
Height	25'	45' exceeds requirement
Area	200 sq. ft.	110 sq. ft pole sign, 86' on building

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

A conditional use is a use that may be permitted subject to conditions imposed upon the approval of the use that are designed to reasonably mitigate any adverse impacts upon surrounding properties. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

- (1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.
- (2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.
- (3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.
- (4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.
- (5) Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.
- (6) The proposed conditional use shall conform to adopted plans, hours of operation, policies and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

DISCUSSION

At the Planning Commission meeting neighbors along Canyon Dr. expressed significant concerns with the proposal including impacts from noise and traffic. The applicants have provided revised plans after the Planning Commission meeting to better address development standards including revising the height of the sign to meet the height requirement and provision of sidewalks along all street frontages.

In addition, the applicants provided additional sound buffering and landscaping to better address neighbor concerns. Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity and general welfare.

The conditional use presents more issues regarding the potential impact on adjacent residential properties. Of particular concern are the single-family homes on Canyon Dr. These existing homes are fenced with wood privacy fences at this time. A car wash is however, likely to be loud and difficult to mitigate when located in such close proximity to residences. The vacuum station is located particularly close to residential properties. The applicants have proposed to locate the vacuum structure in a masonry building and have added additional fencing and landscaping to the residential fences that already exist. Hours of operation are proposed for 8:00am to 8:00pm, seven days a week. Start up and closing will begin at 7:30am and cease at approximately 8:30pm.

LUC Sec. 5.07(d) states that noise shall not create a nuisance at the property line. The State of Colorado mitigates noise and defines noise as a nuisance at the following levels:

C.R.S. 25-12-103. Maximum Permissible noise levels.

1) Every activity to which this article is applicable shall be conducted in a manner so that any noise produced is not objectionable due to intermittence, beat frequency, or shrillness. Sound levels of noise radiating from a property line at a distance of twenty-five feet or more therefrom in excess of the db(A) established for the following time periods and zones shall constitute prima facie evidence that such noise is a public nuisance:

Zone	7:00 a.m. to next 7:00 p.m.	7:00 p.m. to next 7:00 a.m.
Residential	55 db(A)	50 db(A)
Commercial	60 db(A)	55 db(A)
Light industrial	70 db(A)	65 db(A)
Industrial	80 db(A)	75 db(A)

AGENCY REVIEW

GIS Coordinator (Doug Roth)

- 699 Canyon Drive address can be retained for project unless driveway access point changes.
- Considerations should be made to isolate adjoining residences from the visual and noise effects of the car wash operation, especially the vacuum stall area.

Cortez City Engineer

If the city is to provide trash service, they may want to relocate or re-orient the trash enclosure so the truck won't be blocking main traffic during collection times. They will have to back in as there is no turn around area on the property. Colby says they pick up 3-4 times per week at other car wash locations.

It appears, from document text, they are aware of the setbacks for commercial use, I just didn't see any distances on the site plan relating to that.

I believe there will be some cross-connection requirements with the 2" water tap. I forwarded the contact information on to Tony Hernandez and he is going to contact them for verification.

Cortez Sanitation District (Jim Webb)

After reviewing the attached plans for this car wash we noticed a couple notables as far as the Sanitation District is concerned. First off, we noted in the plans that a 2" water meter is proposed for the project,

if in fact this is true we feel they should be aware that the sewer tap fee is based on the size of the water tap which equates out to be \$40,000. To be paid prior to tapping out sewer main. Secondly, the plans are showing a 4" sewer tap in a manhole inside of Sikis village property. The District does not allow tapping into manholes. They would be required to tap no closer than 10' of the proposed manhole in the 8" PVC sewer line downstream of the manhole they are wanting to tap. Thirdly, they will be required to install a sand/oil trap somewhere in the service line system prior to the drainage reaching our sewer main. Lastly, The Drawings are showing 2 manholes and a sewer line in West 4th St., Just to clear up any confusion these are not the property of the District, but are in fact privately owned by The Napa retail store.

Cortez General Services (Rick Smith)

Thank you for the email. The City fiber system would like to request the opportunity at the appropriate time of bringing fiber communications along south Broadway into the new building. Hopefully during the construction document time. Thank you. Rick

Cortez Building Department (Sean Canada)

The Building Department has no concerns on the Champion Express Car Wash based on the conceptual plans. For permit review, I will need three (3) sets of full-size wet-stamped prints. We are looking at a minimum of ten working days for review.

ALTERNATIVES

1. The Council can approve the conditional use permit and site development plan for Champion Xpress Car Wash on property located at 699 Canyon Dr, in the C zone, as submitted by 7B Building and Development;
2. The Council can deny the application for the site development plan and state their reasons;
3. The Council can ask for more information and table the application; or
4. The Council can approve the conditional use permit and site development plan, and state any conditions they feel would be necessary to ensure compliance with the Land Use Code.

PLANNING COMMISSION RECOMMENDATION

The Planning Commission recommends Alternative "4" above, approval of the conditional use permit and site development plan through P&Z Resolution No. 8, Series 2022, with 7 conditions.

RECOMMENDATION

If the City Council so chooses to follow the recommendation of Planning Commission and Staff, the Council can **make the motion to approve the conditional use permit and site development plan for Champion Xpress Car wash on property located at 699 Canyon Dr., in the Commercial Highway (C) zone, as submitted by 7B Building and Development through Resolutions No. 23, Series 2022, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.

3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the applicant desires a Certificate of Occupancy, the applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
4. Prior to issuance of a certificate of occupancy, the applicant shall vacate the existing lot line and consolidate the properties.
5. Prior to issuance of a building permit, the applicant shall revise the plans to provide sidewalks meeting all City standards along all street frontages.
6. Prior to issuance of a sign permit, the proposed pole sign shall be revised to meet standards.
7. Operation of the car wash shall not exceed CRS 25-12-103, maximum permissible noise levels. Specifically, from 7:00am to 7:00pm noise levels shall not exceed 55 db(A) at the property line. From 7:00pm to 7:00am noise levels shall not exceed 50 db(A) at the property line.

CITY OF CORTEZ
RESOLUTION NO. 23, SERIES 2022
CHAMPION XPRESS CAR WASH
699 CANYON DR.

**CITY OF CORTEZ
RESOLUTION NO. 23, SERIES 2022**

**A RESOLUTION APPROVING A SITE DEVELOPMENT PLAN AND CONDITIONAL
USE PERMIT FOR THE CONSTRUCTION OF A CAR WASH (CHAMPION XPRESS)
AT 699 CANYON DR., LOCATED IN THE COMMERCIAL HIGHWAY (C) ZONING
DISTRICT**

WHEREAS, applicant 7B Building and Development has applied for review of a site development plan and conditional use permit for the construction of a 3,537 sq. ft. car wash on property at 699 Canyon Dr., Cortez, Colorado and more particularly described as:

Subdivision: PINON GROVE Lot: 81 Subdivision: PINON GROVE Lot: 82 Subdivision: PINON GROVE Lot: 83 Subdivision: PINON GROVE Lot: 84 SUBDIVISION: PINON GROVE LOT: 81 THRU LOT: 84, B571 P655 B702 P286,928 B708 P523 R/465810 R/476694 R/471397 and Subdivision: PAYSON SUBDIVISION: PAYSON 2 TRS INC. HWY FRONTAGE IN 18 & 19A 1.21A B449 P288 B487 P433 B720 P321 R/461378 R/476693 & R/471397

WHEREAS, the Owner/applicant has applied to the City for review of a site development plan and conditional use permit for the construction of a new building and associated development on said property; and

WHEREAS, the Owner/applicant presented a site plan and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on September 6, 2022; and

WHEREAS, Land Use Code Section 6.14, Site Plans and 6.10 Conditional Use Permits, indicates that the owner or developer of the property may request an application of these site plan requirements for development on property located in the Commercial Business (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for a car wash for the same property and recommended approval of the development on said property, as evidenced in the adoption of P&Z Resolution No. 8, Series 2022; and

WHEREAS, the Owner/applicant has held legal ownership of the property subsequent to the adoption of said P&Z Resolution No. 8, Series 2022, and is interested in further development of this property; and

CITY OF CORTEZ
RESOLUTION NO. 23, SERIES 2022
CHAMPION XPRESS CAR WASH
699 CANYON DR.

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission and the Owner have agreed to certain conditions of approval for the development; and

WHEREAS, all requirements of Chapters 5.00 and 6.00 of the City's Land Use Code for development of this site have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL:

THAT, Resolution No. 23, Series 2022, establishes the conditions of approval for the development on the afore-mentioned property; and

THAT, the site plan and full application for said property are hereby approved, subject to the following conditions to ensure compliance with the standards in the land use code for a site development plan and conditional use permit:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the applicant desires a Certificate of Occupancy, the applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
4. Prior to issuance of a certificate of occupancy, the applicant shall vacate the existing lot line and consolidate the properties.
5. Prior to issuance of a building permit, the applicant shall revise the plans to provide sidewalks meeting all City standards along all street frontages.
6. Prior to issuance of a sign permit, the proposed pole sign shall be revised to meet standards.
7. Operation of the car wash shall not exceed CRS 25-12-103, maximum permissible noise levels. Specifically, from 7:00am to 7:00pm noise levels shall not exceed 55 db(A) at the property line. From 7:00pm to 7:00am noise levels shall not exceed 50 db(A) at the property line.

AND THAT, the Owner/applicant are to coordinate with City staff to ensure that these conditions are fully met.

CITY OF CORTEZ
RESOLUTION NO. 23, SERIES 2022
CHAMPION XPRESS CAR WASH
699 CANYON DR.

MOVED, SECONDED, AND ADOPTED THIS 25th DAY OF OCTOBER, 2022

Rachel B. Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk



October 17, 2022

City of Cortez
Attn: Planning and Building Department
123 Roger Smith Ave
Cortez, CO 81321

Subject: Site Plan Application and Conditional Use Permit, Second Submittal

Revised text is noted within the asterisks *

Dear Development Review Team,

Baseline Engineering represents 7B Building and Development in submitting a Conditional Use and Site Plan Application. The proposed development is the Champion Xpress Car Wash, an automatic tunnel car wash.

The subject properties of this application are 699 Canyon Drive and 313 South Broadway; these properties are contiguous lots in the Commercial Highway Zone District.

Property 1: 699 Canyon Drive, Cortez, CO 8132

Legal Description: Pinon Grove Subdivision, Lots 81-84; Parcel Number: 5611-274-03-030

Property 2: 313 S Broadway Cortez, CO 81321

Legal Description: Payson Subdivision: Payson 2 TRS Inc. Hwy frontage in 1B & 19A; Parcel Number: 5611-274-00-055

The attachments included in this submittal are listed here:

1. Property Owner Authorization Form
2. Title Commitment
3. Site Development Plan
 - a. Site Plan
 - b. Grading and Drainage Plan
 - c. Utility Plan
 - d. Landscape Plan
 - e. Building Elevations
 - f. Photometric Plan
4. Lighting Specifications
5. Building Renderings
6. Traffic Impact Study
7. CDOT Correspondence
8. List of Adjacent Property Owner Addresses

Project Request and Land Use

	Proposed	Required
Land Use Category	Car Wash	Conditional Use Permit/Commercial Highway District
Lot Size	1.58 Acres/ 68,824 SF	3, 000 SF
Building Area	3,537	3,537
Pavement Area	27, 656 SF	N/A
Impervious Coverage	N/A	31,193 SF
Parking	*16* [Reduced]	12
Minimum Front yard	20'	10'
Minimum Rear yard	30'	7'
Minimum Side Yard	40	0'-10'
Max Lot Coverage	5 %	50%
Max Building Height	18'	50'
Maximum Sign Height	25'	25'

Champion Xpress Car Wash Operational Information

The Car Wash is open to customers 12 hours a day from 8 a.m. to 8 p.m. ***To fall within noise regulations of the City, the car wash has revised its hours to 8am to 7pm.*** The Champion Xpress Car wash operates with ***4-5*** Employees on site. The AM shift begins one hour to a half-hour before the car wash opens, and the PM shift ends one hour to a half-hour after the car wash closes.

The Champion Xpress Car wash building does not have a customer service lobby and is only accessible to customers accessing the tunnel with their vehicles. The building area only includes maintenance storage areas, employee office areas, and the tunnel car wash. There are two points of sale for the car wash, which include the pay stations located just before the entrance to the car wash tunnel and the vacuums stalls located in the parking areas

Conditional Use Standards

Section 6.10 of the City of Cortez Land Use Code states the standards of review for a Conditional Use Permit. The standards and how the Champion Xpress Car Wash meets those standards are provided in this section.

- The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.*

Response: The proposed is compatible with the adjacent uses.

- ☐ Appearance Including Architectural Scale and Features: The building scale with 18' of height and 3,537 SF of building area is less than or comparable to the adjacent commercial and

residential uses. The building colors and materials are consistent with the surrounding commercial buildings but also incorporates features that are unique to the car wash.

- Site Design and Scope: The site is designed to meet all site development standards required by the City of Cortez's land use regulations. The site is also designed for efficient circulation to reduce overstacking and maximize car wash operations.
- Landscaping: The Landscape plan included in Attachment 3 is intended to meet all landscaping requirements stated in the City of Cortez's land use regulations.
- Noise: To Mitigate noise impacts, a six-foot screening fence **with double sided wood planks** is proposed between the car wash property and the adjacent residential properties to the north and west. **Additionally, vacuum enclosures are revised from Champion Xpress's traditional metal enclosure to a concrete masonry unit enclosure. Lastly, the initial landscape plan is revised to replace the deciduous shrubs and trees with coniferous plantings to provide year-round noise and visual screening at the commercial/residential property line adjacent to the vacuum enclosure.**
- Vibration, smoke, fumes, gas dust, and odor: The proposed car wash does not produce any impacts related to vibration, smoke, fumes, gas dust, or odor.
- Lighting and Glare: The proposed car wash does not produce any lighting and glare impacts. Downcast lighting is used to mitigate impacts to adjacent properties. Lighting will not cast onto adjacent properties.
- Traffic Circulation and Parking: The required number of parking spaces for the car wash is 12 spaces or 1 space per 300 SF of building. The car wash is proposed to have 18 parking spaces to meet this requirement. Additionally, the site is designed for efficient circulation to reduce overstacking and maximize the operations of the car wash; the site can stack up to 46 vehicles.

A level three traffic impact study by a licensed traffic engineer was completed with the Colorado Department of Transportation (CDOT) Region five access coordinator [see attached; CDOT approved the methodology of the TIS. The purpose of the TIS was to ensure that the car wash did not constitute any improvements to public or private roads. The TIS concluded that no improvements were necessary as a result of the proposed car wash.

- Undesirable or Hazardous Conditions: The proposed Champion Xpress car wash does not produce any other undesirable or hazardous conditions.

2. *The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.*

Response:

- ② Service Areas: Service, including the vacuum stalls and car wash tunnel, do not impede adjacent property owners use of their property.
- ② Pedestrian Circulation: Pedestrian access to and from the site will be constructed per the right-of-way standards and requirements of the City of Cortez and CDOT. Pedestrian circulation with the site is provided as needed; however, the Champion Xpress Car Wash does not have a lobby or indoor point of sale. The points of sale are located at the drive aisle pay stations and the vacuum stalls. **The initial site plans was revised to add sidewalks along Canyon Drive and Broadway.**
- ② Vehicular Circulation: The site is designed for efficient circulation to reduce overstacking and maximize the operations of the car wash; the site can stack up to 46 vehicles.
- ② Safety provisions, building placement, and access: The car wash incorporates all necessary safety provisions for customers and employees. The building will meet all applicable building,

fire, electrical, and plumbing requirements; additionally, all car wash-related equipment is designed to be operated safely. The building placement and site layout is designed to provide safe vehicular movements, site distance, and provide access to emergency vehicles; the building is also placed on the south side of the site to buffer the tunnel car wash from the adjacent residential properties. In addition, a six-foot-tall screening fence will be placed between the car wash site and adjacent residential properties.

Except for the emergency/fire access on the site's south side, the car wash has a single access point at Canyon Drive. The emergency/fire land on the south side of the site provides access to the car wash building and the adjacent residential properties.

3. All proposed accessory use must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.

Response:

- There are no proposed accessory uses for this property.

4. Adequate public services (such as streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police, and fire protection) must be available without reducing services to other existing uses.

Response:

- All public services to this property exist, including water, wastewater/sewer, fire protection, electricity, and gas. Off-street parking, pedestrian facilities, and onsite stormwater infrastructure will be developed with the proposed car wash. **The trash enclosure is relocated to a more desirable area to allow for better turning movements for the trash vehicle operator. **

5. *Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.*

Response:

- The property owner will maintain all onsite facilities, components, and infrastructure, including drive aisles, landscaping, lighting, building, stormwater, parking and loading areas, signs, and fencing.

6. *The proposed conditional use shall conform to adopted plans, hours of operation, policies and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.*

Response:

- The Champion Xpress Car wash intends to meet all applicable codes, requirements, and standards pursuant to the attached site development plan.

Sewer/Water Tap Information

- Water Tap Size: 2"
- Sewer Tap Size: 2"

Applicant Background

7B Building & Development is a family-owned and operated business. The company has gained a strong reputation for its quality construction services, dependable service to customers, strict budgetary adherence, and outstanding performance as a commercial contractor. At its core, 7B is a general contracting firm that has grown into a full-service commercial construction company. Its rapid growth is fueled by its commercial contracting experience and delivery.

7B Building and Development is the Developer and General Contractor of Champion Xpress Car Washes. Champion Xpress Car Wash is an express car wash company with locations in New Mexico, Colorado, and Utah; the company's headquarters is located in Lubbock, TX. Champion Xpress Car Wash values excellence, hard work, stewardship, and making a difference in the communities they serve.

Contact Information

Title	Name	Organization	Email	Phone
<u>Applicant</u>	<u>Steve Snelson</u>	<u>7B & Development</u>	ssnelson@7bdev.com	432.661.4489
<u>Applicant Contact</u>	<u>Alan Kirchhoff</u>	<u>7B & Development</u>	alan@7bdev.com	512.608.1904
<u>Representative</u>	<u>Tez Hawkins</u>	<u>Baseline Engineering</u>	Tez.hawkins@baselinecorp.com	970.688.2175
<u>Civil Engineer</u>	<u>Luke Meyers</u>	<u>Baseline Engineering</u>	Luke.meyers@baselinecorp.com	303.940.9966 x208
<u>Architect</u>	<u>Ben Woods</u>	<u>Helt</u>	BenW@clhelt.com	704.677.5771
<u>Landscape Architect</u>	<u>Sarah Adamson</u>	<u>Baseline Engineering</u>	kortney.harris@baselinecorp.com	303.202.5010

Sincerely,

Baseline Engineering on behalf of 7B Building and Development

Property Owner Letter of Authorization

Property 1: 699 Canyon Dr, Cortez, CO 81321

Legal Description: Pinon Grove Subdivision, Lots 81-84; Parcel Number: 5611-274-03-030

Property 2: 313 S Broadway Cortez, CO 81321

Legal Description: Payson Subdivision: Payson 2 TRS Inc. Hwy frontage in 18 & 19A; Parcel Number: 5611-274-00-055

I, Glenn Leighton, authorized signatory for DOB LLC, a Colorado limited Liability company, hereby certify that I am the owner of the property describe above.

I authorize VIA Real Estate, 78 Building and Development, and Baseline Engineering Corporation to submit documentation related to development and land use entitlements, building permitting, site planning, site development review, and zoning compliance.

DOB LLC, a Colorado limited liability company

Glenn Leighton

Glenn Leighton

10/3/17/2022

(Date)



ALTA COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, STEWART TITLE GUARANTY COMPANY, a Texas corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Countersigned by:

Authorized Countersignature
Misty M. Kvasnicka, License #: 113762

Mon Do Title Co., Inc.
Company Name

Cortez, CO 81321
City, State

Frederick H. Eppinger
President and CEO
David Hisey
Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.

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File No.: _____

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COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I - Requirements;
- (f) Schedule B, Part II - Exceptions; and
- (g) a countersignature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I - Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.

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File No.: _____

008-UN ALTA Commitment For Title Insurance 8-1-16

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- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

STEWART TITLE GUARANTY COMPANY

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252-2029.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.

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008-UN ALTA Commitment For Title Insurance 8-1-16

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COMMITMENT FOR TITLE INSURANCE

SCHEDULE A

Transaction Identification Data for reference only:

Issuing Agent: Mon Do Title Co., Inc.

Issuing Office: 236 W. North St, Cortez, CO 81321

ALTA® Universal ID: 1135005

Loan ID Number:

Issuing Office File Number: 2022-01-08

Property Address: 313 South Broadway, Cortez, CO 81321 and 699 Canyon Drive, Cortez, CO 81321

Revision Number: 3

1. Effective Date: 01/07/2022 at 8:00 AM

2. Policy or Policies To Be Issued:

- a. ALTA Owners Policy
 - Proposed Insured: **VIA Real Estate, LLC**
 - Amount of Insurance: **\$175,000.00**
 - Policy Premium: **\$745.00**
 - Endorsements: **NONE**

3. The estate or interest in the land described or referred to in this Commitment is:

Property 1: fee simple, and title to the estate or interest in the land is at the Effective Date vested in DOB, L.L.C., a Colorado Limited Liability Company by deed from Larry Leighton dated 04/07/2004 and recorded with Montezuma County Recording Office on 04/16/2004 as Instrument #521899.

Property 2: fee simple, and title to the estate or interest in the land is at the Effective Date vested in DOB, L.L.C., a Colorado Limited Liability Company by deed from Gregg M. Leighton dated 04/07/2004 and recorded with Montezuma County Recording Office on 04/09/2004 as Instrument #621768.

4. The land referred to in this Commitment is described as follows:

The land is described as set forth in Exhibit A attached hereto and made a part hereof.



By: _____

Authorized Countersignature

Misty M. Kvasnicka, License #: 113762

Mon Do Title Co., Inc., 403909

(This Schedule A valid only when Schedule B is attached)

COMMITMENT FOR TITLE INSURANCE

SCHEDULE B Part I - Requirements

File No.: 2022-01-08

Loan No.:

The following are the requirements to be complied with:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Duly authorized and executed Deed from DOB, L.L.C., a Colorado Limited Liability Company, to VIA Real Estate, LLC, a Wyoming Limited Liability Company, to be executed and recorded at closing.

5. Statement of Authority pursuant to the provisions of Section 38-30-172, C.R.S. for VIA Real Estate, LLC disclosing the name of the Member(s)/Manager(s), and the name(s), address and position of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to Real Property.
6. Statement of Authority pursuant to the provisions of Section 38-30-172, C.R.S. for DOB, L.L.C. disclosing the name of the Member(s)/Manager(s), and the name(s), address and position of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to Real Property.
7. Delivery to the Company of an executed copy of the Articles of Organization for DOB, L.L.C. for inspection and approval prior to issuing any policies. Subject to any additional requirements deemed necessary by the company upon review of said Articles of Organization.

NOTE: No certification is made as to status of ad valorem taxes due to the fact that the Montezuma County Treasurer is unable to issue current tax information until the new tax rolls are complete, Per the Montezuma County Assessor's Office taxes for 2021 are estimated to be \$4,017.32 as of January 10, 2021. Tax Certificate information will be provided once it is received from the Montezuma County Treasurer's office, as to property 1.

NOTE: No certification is made as to status of ad valorem taxes due to the fact that the Montezuma County Treasurer is unable to issue current tax information until the new tax rolls are complete, Per the Montezuma County Assessor's Office taxes for 2021 are estimated to be \$1,269.76 as of January 11, 2022. Tax Certificate information will be provided once it is received from the Montezuma County Treasurer's office, as to property 2.

NOTE: C.R.S. §30-10-40 requires that all documents received for recording or filing in the Clerk & Recorder's office shall contain a top margin of at least one inch and a left, right, and bottom margin of at least one half inch. The Clerk & Recorder may refuse or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document. Regulations of County Clerk and Recorder's offices require that all documents submitted for recording must contain a return address on the front page of every document being recorded.

NOTE: If the transaction includes sale of the property and the price exceeds \$100,000.00, the seller must

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File No.: 2022-01-08

ALTA Commitment Form 06-17-06



comply with the disclosure/withholding provisions of C.R.S. §39-22-604.5 (non-resident withholding)

NOTE: C.R.S. §39-14-102 requires that a real property transfer declaration accompany any conveyance document presented for recordation in the State of Colorado. Said declaration shall be completed and signed by either the grantor or grantee.

NOTE: Notwithstanding to the contrary in this commitment, if the policy to be issued is other than an ALTA Owner's Policy (6/17/06), the policy may not contain an arbitration clause, or the terms of the arbitration clause may be different from those set forth in this Commitment. If the Policy does contain an arbitration clause, and the amount of insurance is less than the amount, if any, set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.

NOTE: Please be aware that due to conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the company is not able to close or insure any transaction involving land that is associated with these activities.

Nothing herein contained will be deemed to obligate the company to provide any of the coverages referred to herein unless the above conditions are fully satisfied.

COMMITMENT FOR TITLE INSURANCE

SCHEDULE B Part II – Exceptions

File No.: 2022-01-08

Loan No.:

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attached, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I — Requirements are met.
2. Right or claims of parties in possession not shown by the public records.
3. Easements, liens or encumbrances or claims thereof, which are not shown by the public record.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments and any facts which a correct survey and inspection of the premises would disclose and which are not shown by public records.
5. Any lien, or right to a lien, for services, labor or material heretofore furnished, imposed by law and not shown by public records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Act authorizing issuance thereof; (c) water, rights, claims or title to water; (d) Minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records or listed in Schedule B.
7. Assessments, taxes, fees or charges arising pursuant to the inclusion of the land in one or more special districts or municipalities, including but not limited to order of inclusion into the Cortez Sanitation District recorded in Book 257 at Page 87; Resolution from the Montezuma County Commissioners for inclusion in the Cortez Cemetery District recorded in Book 197 at Page 198, Petition recorded in Book 197 at Page 394 and Order for inclusion into the Mosquito Control District recorded in Book 385 at Page 153; and the terms, conditions, provisions and obligations as contained therein.
8. Montezuma County Regulations for Subdivisions as recorded February 1, 1972 in Book 426 at page 379 including amendments; and the terms, conditions, regulations and restrictions set forth therein.
9. Taxes and assessments for the year 2021 and subsequent years.

Affecting Property 1:

10. Easement to Empire Electric Association, Inc., recorded on June 15, 1959 in Book 272, Page 240 in the [official records](#), in instrument recorded on November 8, 1963 in Book 324, Page 407 in the [official records](#), in instrument recorded on May 25, 1969 in Book 392, Page 207 in the [official records](#), and in instrument recorded on February 26, 1979 in Book 498, Page 915 in the [official records](#) of Montezuma County Clerk & Recorder; for an easement to construct, operate and maintain an electric transmission or distribution line or system, and to cut and trim trees and shrubbery to the extent necessary to keep them clear of said electric line or system; and the terms, conditions, obligations, and restrictions with respect thereto.
11. Easement from Ralph and Evelyn Odell Tanner to the Cortez Sanitation District as described in instrument recorded on January 6, 1975 in Book 452, Page 322 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.

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ALTA Commitment Form 06-17-06



12. An easement for purposes of a sewer line as set forth in document recorded on May 9, 1980 in Book 513, Page 628 in the [official records](#); and recorded, on May 9, 1980 in Book 513, Page 630 in the [official records](#) and recorded on May 9, 1980 in Book 513, Page 632 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, agreements, provisions, conditions, and obligations, as contained therein.
13. An easement for purposes of a roadway as set forth in instrument recorded on October 16, 1981 in Book 531, Page 456 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
14. An easement for purposes of a water line as described in instrument recorded on May 9, 1980 in Book 513, Page 626 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
15. Agreement for upkeep and snow removal for street easement as set forth in instrument recorded on July 20, 1982 in Book 540, Page 358 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
16. Deed to The Department of Highways, State of Colorado for each and every right or rights of access of the Grantor or Grantors to and from any part of the right-of-way for Colorado State Highway, a freeway established according to the laws of the State of Colorado, and from and to any part of said Real Property of the Grantor or Grantors abutting upon said Highway, along or across the access line or lines as described in Deed recorded on March 4, 1958 in Book 251, Page 79 in the [official records](#) and in Deed recorded on March 4, 1958 in Book 251, Page 81 in the [official records](#) and in Deed recorded on August 11, 1958 in Book 258, Page 293 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, provisions and obligations as contained therein.

Affecting Property 2:

17. Easements, Plat Notes, Notices, Building Setbacks, General Dedications, Rights of Ways, Restrictions and Reservations as shown on the plat of Pinon Grove Subdivision recorded on February 4, 1950 in Book 6, Page 3 in the [official records](#) of Montezuma County Clerk & Recorder.
18. Right of Way to the The Town of Cortez for water lines and water mains as set forth in instrument recorded on January 10, 1950 in Book 137, Page 241 in the [official records](#) of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
19. Access from the insured property to Highway 491 is subject to compliance with all federal and state regulations governing said highway.

NOTE: The policy(s) of insurance may contain a clause permitting arbitration of claims at the request of either the Insured or the Company. Upon request, the Company will provide a copy of this clause and the accompanying arbitration rules prior to the closing of the transaction.

NOTE: Our Privacy Policy is stated as follows: We do not reveal nonpublic, personal customer information to any external non affiliated organization or person unless authorized to do so by said customer, or are required to do so by law or court order.

EXCEPTIONS NUMBERED NONE ARE HEREBY OMITTED

Exhibit A

File No.: 2022-01-08

Loan No.:

Property 1:

A Tract of land in Tracts 18 and 19A, Payson Townsite, City of Cortez, also being within the SE¼ of Section 27, Township 36 North, Range 16 West, N.M.P.M., being more particularly described as follows:

Beginning at a point on the West right of way line of U.S. Highway 491 (formerly known as Highway 666) in Tract 19A of Payson Townsite, City of Cortez, also being within the SE¼ of Section 27, Township 36 North, Range 16 West, N.M.P.M., from which point the SE Corner of said Section 27 bears South 49°52'02" East a distance of 1973.33 feet; thence, South 88°27'18" West a distance of 315.89 feet; thence, South 65°38'14" West a distance of 148.14 feet; thence, North a distance of 160.94 feet; thence, North 88°42'00" East a distance of 298.00 feet; thence, North 89°26'38" East a distance of 209.61 feet to the West right of way line of U.S. Highway 491 (formerly known as Highway 666); thence, South 29°34'00" West a distance of 115.10 feet along the West right of way line of U.S. Highway 491 (formerly known as Highway 666) to the point of beginning.

County of Montezuma,
State of Colorado.

Property 2:

TRACT II:

All of Lots 81, 82, 83 and 84, of Pinon Grove Subdivision, being part of the Hartman Addition to the City of Cortez, as per the plat thereof filed for record February 4, 1950 in Book 6 at Page 3 in the office of the Montezuma County, State of Colorado Clerk and Recorder.

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File No.: 2022-01-08

ALTA Commitment Form 06-17-06



Chain of Title

File No.: 2022-01-08

Loan No.:

The only conveyances affecting said land, which recorded within twenty-four (24) months of the date of this report, are as follows:

Property 1:

1. Larry Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/16/2004 as Instrument Number 521899 in the Official Records of the Montezuma County Recording Office.
2. Glenn R. Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/16/2004 as Instrument Number 521898 in the Official Records of the Montezuma County Recording Office.
3. Gregg M. Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/16/2004 as Instrument Number 521897 in the Official Records of the Montezuma County Recording Office.

Property 2:

1. Gregg M. Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/09/2004 as Instrument Number 621768 in the Official Records of the Montezuma County Recording Office.
2. Glenn R. Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/09/2004 as Instrument Number 521769 in the Official Records of the Montezuma County Recording Office.
3. Larry Leighton to DOB, L.L.C., a Colorado Limited Liability Company by deed dated 04/07/2004 and recorded on 04/09/2004 as Instrument Number 521770 in the Official Records of the Montezuma County Recording Office.

DISCLOSURES

File No.: 2022-01-08

Pursuant to C.R.S. 10-11-122, notice is hereby given that:

- A. THE SUBJECT REAL PROPERTY MAY BE LOCATED IN A SPECIAL TAXING DISTRICT;
- B. A CERTIFICATE OF TAXES DUE LISTING EACH TAXING JURISDICTION SHALL BE OBTAINED FROM THE COUNTY TREASURER OR THE COUNTY TREASURER'S AUTHORIZED AGENT;
- C. INFORMATION REGARDING SPECIAL DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE OBTAINED FROM THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK AND RECORDER, OR THE COUNTY ASSESSOR

Note: Colorado Division of Insurance Regulations 8-1-2, Section 5, Paragraph G requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed." Provided that Title Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 1 will not appear on the Owner's Title Policy and the Lender's Title Policy when issued.

Note: Affirmative Mechanic's Lien Protection for the Owner may be available (typically by deletion of Exception No. 5 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- A. The land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
- B. No labor or materials have been furnished by mechanics or materialmen for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- C. The Company must receive an appropriate affidavit indemnifying the Company against unfiled Mechanic's and Materialmen's Liens.
- D. The Company must receive payment of the appropriate premium.
- E. If there has been construction, improvements or major repairs undertaken on the property to be purchased, within six months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and/or the contractor; payment of the appropriate premium; fully executed Indemnity agreements satisfactory to the company; and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

To comply with the provisions of C.R.S. 10-11-123, the Company makes the following disclosure:

- a. That there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- b. That such mineral estate may include the right to enter and use the property without the surface owner's permission.

NOTE: THIS DISCLOSURE APPLIES ONLY IF SCHEDULE B, SECTION 2 OF THE TITLE COMMITMENT HEREIN INCLUDES AN EXCEPTION FOR SEVERED MINERALS.

Notice of Availability of a Closing Protection Letter: Pursuant to Colorado Division of Insurance Regulation 8-1-3, Section 5, Paragraph C (11)(f), a closing protection letter is available to the consumer.

NOTHING HEREIN CONTAINED WILL BE DEEMED TO OBLIGATE THE COMPANY TO PROVIDE ANY OF THE COVERAGES REFERRED TO HEREIN, UNLESS THE ABOVE CONDITIONS ARE FULLY SATISFIED.



SEE DEVELOPMENT PLANS
CHAMPION XPRESS CAR WASH
LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX	
SHT. NO.	SHEET TITLE
C1.0	COVER SHEET
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES
L1.2	LANDSCAPE DETAILS
A1.0	ARCHITECTURAL SITE PLAN
A1.1	ARCHITECTURAL ELEVATIONS
A2.1	TRASH ENCLOSURE PLAN & ELEVATIONS
A2.2	VACUUM ENCLOSURE PLAN & ELEVATIONS
E1.0	PHOTOMETRICS PLAN

CONTACT
7B BUILDING & DEVELOPMENT
7B BUILDING AND DEVELOPMENT
13105 DOWDY AVENUE
LIMBROOK, CO 79424
CONTACT: STEPHEN SNEELSON
TELEPHONE: (806) 368-7843

STATE ENGINEER
BASLINE ENGINEERING
112 N. RUSSETT DRIVE, #210
GOLDEN, CO 80403
TELEPHONE: (303) 940-9986
CONTACTS: **LINE WORK**, PE

ARCHITECT
C.L. WILLY ARCHITECT, INC.
6400 W. WILKINSON BLVD., SUITE 100
BELMONT, NC 28012
TELEPHONE: (704) 342-1888
CONTACTS: **MR. WOOD**

MUNICIPALITY
CITY OF CORTEZ
123 ROGERS SMITH AVE.
CORTEZ, CO 81322
TELEPHONE: (970) 565-3402
CONTACT: **JOHN WOOD**

FIRE DISTRICT
CORTEZ FIRE PROTECTION DISTRICT
300 W. WASHINGTON STREET
CORTEZ, CO 81322
TELEPHONE: (970) 565-3157
CONTACT: **CHUCK BORDEN**

WATER
CORTEZ WATER
123 ROGERS SMITH AVENUE
CORTEZ, CO 81322
TELEPHONE: (970) 565-3402

SANITARY
CORTEZ SANITATION DISTRICT
2900 SOUTH BROADWAY
CORTEZ, CO 81322
TELEPHONE: (970) 565-3962



DESIGNED BY
I.T.V.
DRAWN BY
A.R.
CHECKED BY
I.T.V.

DATE
6/12/2022

PROJECT BY
I.T.V.

REVISION DESCRIPTION
SUBMIT #

7B BUILDING & DEVELOPMENT

CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
COVER SHEET

CITY OF CORTEZ

MONTEZUMA COUNTY

STATE OF COLORADO

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022

6/16/2022



Know what's below.
Call before you dig.

SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

BASELINE
Engineering • Planning • Surveying

102 N. RUBY DRIVE, SUITE 200, CORTEZ, COLORADO 81302
P. 970.547.0081 F. 970.547.0082

DESIGNED BY: JTV
PROJECT NO.: 17-002
DATE: 6/12/2022
DRAWN BY: AR
CHECKED BY: EM

7B BUILDING & DEVELOPMENT
MONTEZUMA COUNTY
CORTAZ CAR WASH
CANYON DRIVE & S. BROADWAY
SITE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

LEGEND

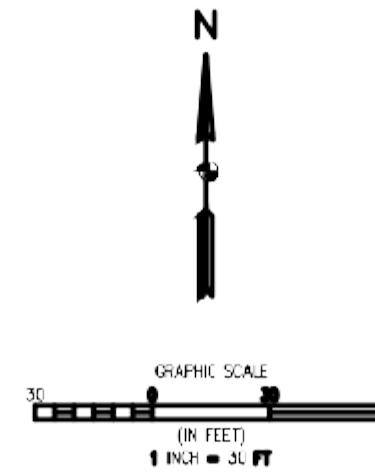
EXISTING LINES	PROPOSED LINES	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	BUILDING SETBACK
---	---	EDGE OF ASPHALT
---	---	EDGE OF GRAVEL
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	WIRE FENCE
---	---	SOUND WALL
---	---	STORM SEWER

EXISTING	PROPOSED	
⊗	⊗	WATER METER
⊙	⊙	WATER MANHOLE
⊕	⊕	FIRE HYDRANT
⊖	⊖	IRRIGATION METER
⊗	⊗	ADA PARKING STALL
⊙	⊙	SILO
⊕	⊕	DOWNSPOUT
⊖	⊖	LIGHT POLE

PROPOSED HATCHES	
▨	ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
▩	GRAVEL PAVING
▧	CONCRETE PAVING
▦	LANDSCAPING
▤	VEHICLE TRACKING - PASSENGER CAR
▥	BAIL OUT LANE
▧	RETENTION/WATER QUALITY POND

SITE DATA

LOT SIZE	4.100 ACRES
BUILDING AREA	3,237 SF
PAVEMENT AREA	27,854 SF
LANDSCAPE AREA	36,075 SF
VACUUM PARKING	13 SPACES
EMPLOYEE PARKING	3 SPACES
ADA VAP PARKING	2 SPACE
ZONING	C COMMERCIAL HIGHWAY
TEMA FIRM MAP	0808350801 (ZONE X)



1
C2.0/C2.0
SITE PLAN



Know what's below.
Call before you dig.

SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

BASELINE
Engineering • Planning • Surveying

102 N. RUBY DRIVE, SUITE 200 • CORTEZ, COLORADO 81302
P. 970.547.0000 • F. 970.547.0001 • WWW.BASLINECO.COM

DESIGNED BY: JTV
PROJECT NO.: 17-0002
DRAWN BY: JTV
CHECKED BY: JTV

REVISION DESCRIPTION
DATE: 6/12/2022
BY: JTV

7B BUILDING & DEVELOPMENT
CITY OF CORTEZ

MONTEZUMA COUNTY

CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY

GRADING PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

CSO/C3.0

CSO/C3.0

CSO/C3.0

CSO/C3.0

CSO/C3.0

CSO/C3.0

CSO/C3.0

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CSO/C3.0

CSO/C3.0

CSO/C3.0

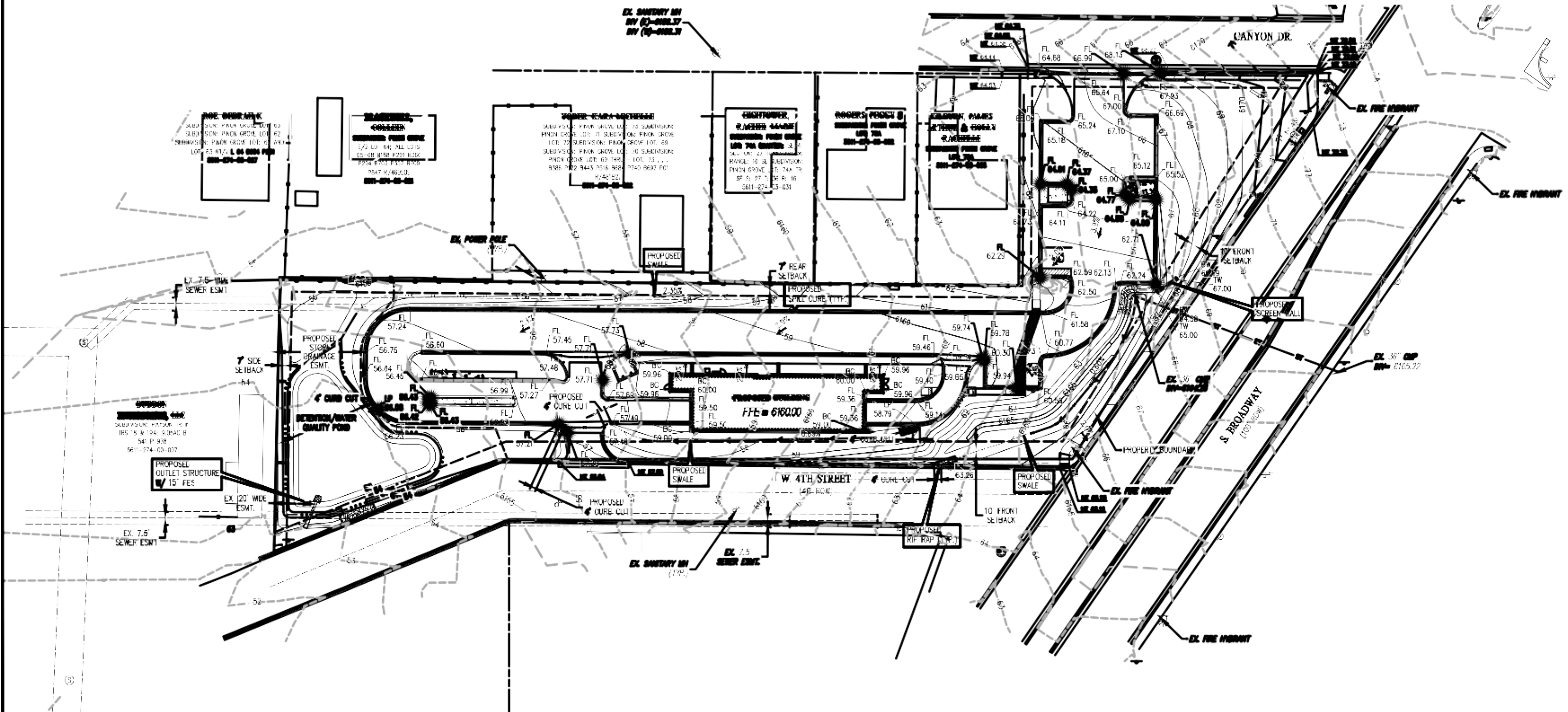
CSO/C3.0

CSO/C3.0

CSO/C3.0

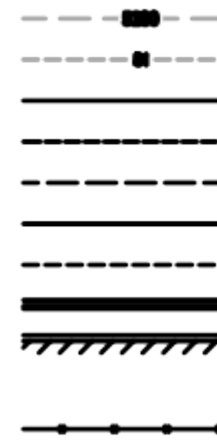
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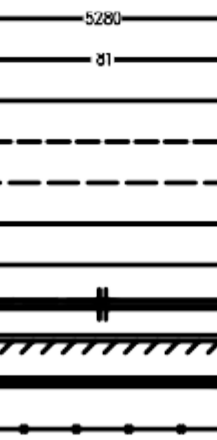


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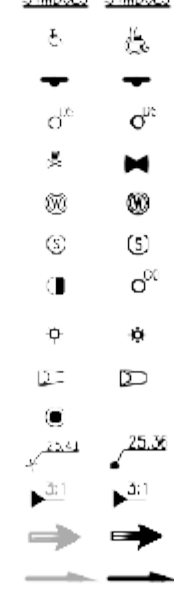
EXISTING LINE TYPES



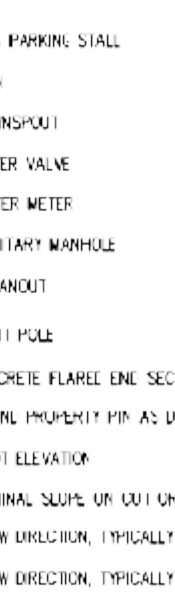
PROPOSED LINE TYPES



EXISTING SYMBOLS



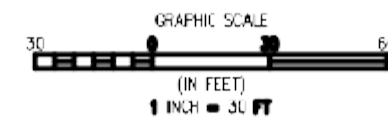
PROPOSED SYMBOLS



PROPOSED HALVES



ABBREVIATION



GRADING PLAN



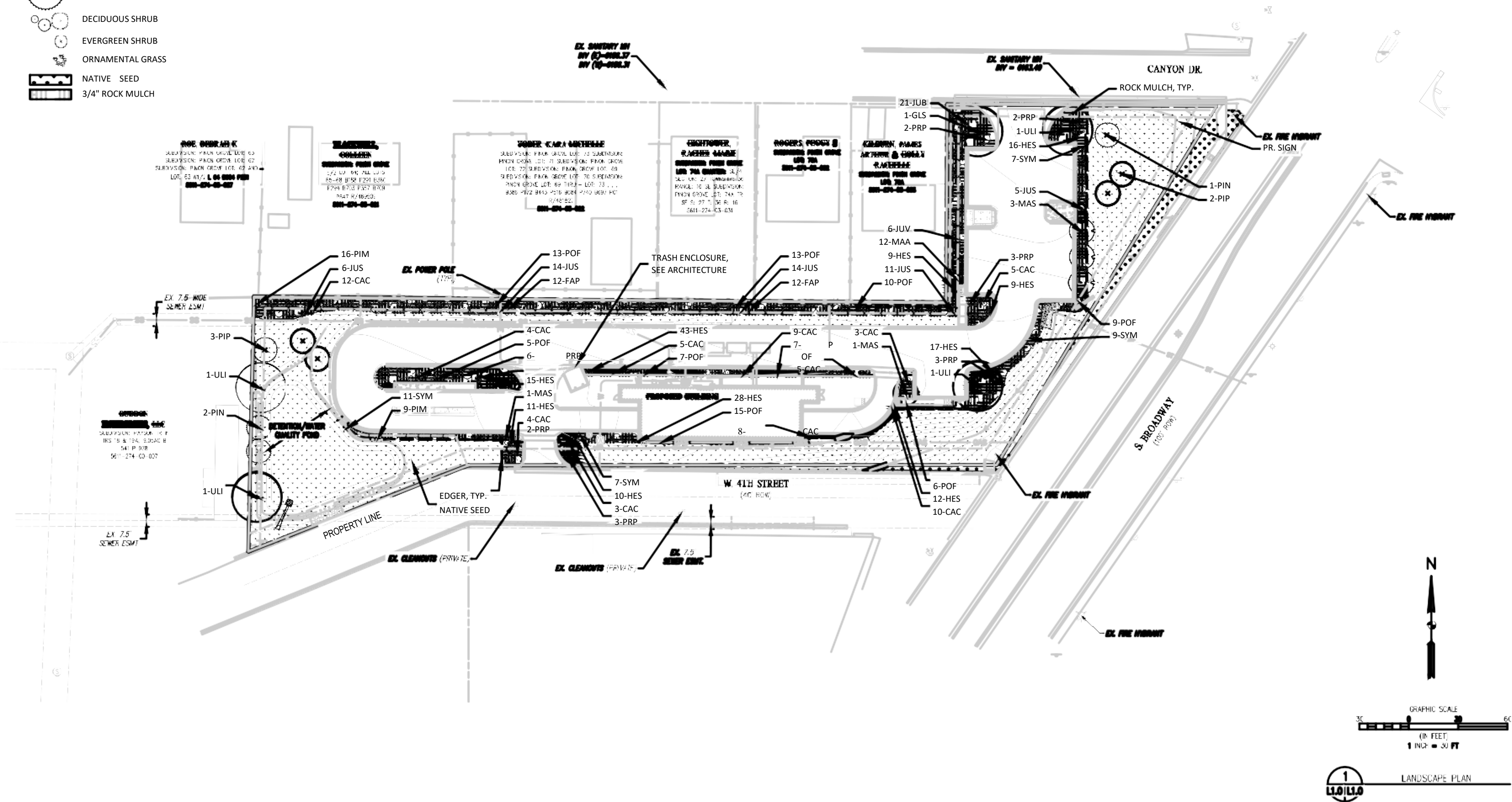
Know what's below.
Call before you dig.

LEGEND

- LIMIT OF WORK
- EASEMENT
- METAL EDGER
- DECIDUOUS CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- NATIVE SEED
- 3/4" ROCK MULCH

SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



DESIGNED BY
KEH

DRAWN BY
KEH

CHECKED BY
SRM

DATE
6/12/2022

PROJECT
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REVISION
REVISION

DESCRIPTION
DESCRIPTION

DATE
6/12/2022

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6/12/2022

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DATE
6/12/2022

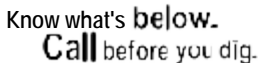
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REVISION

DESCRIPTION
DESCRIPTION

DATE
6/12/2022

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**LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTIZ, MONTEZUMA COUNTY, STATE OF COLORADO**

GENERAL

- ## WARRANTY

- ## PLANTS

- ## IRRIGATION

- ## SOIL PREPARATION

- ## TREES

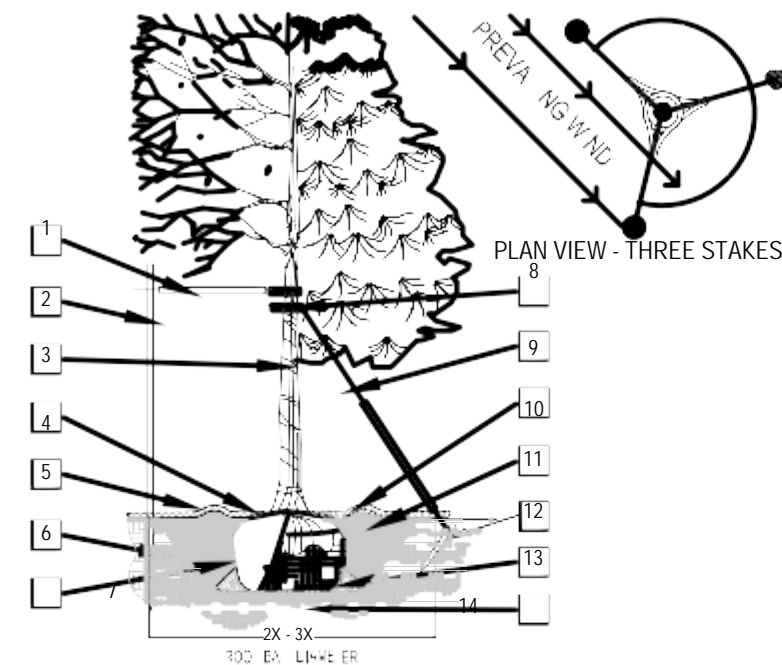
- ## MULCH & EDGING

- ## PLANTING SCHEDULE

N:\PLANNING\488 7E Development - Cortez Site\Drawings\Planning Documents\Site Plan\488 SDP_Landscape Plan.dwg, 9/29/2022 11:14:30 AM

SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



PRUNING NOTES:

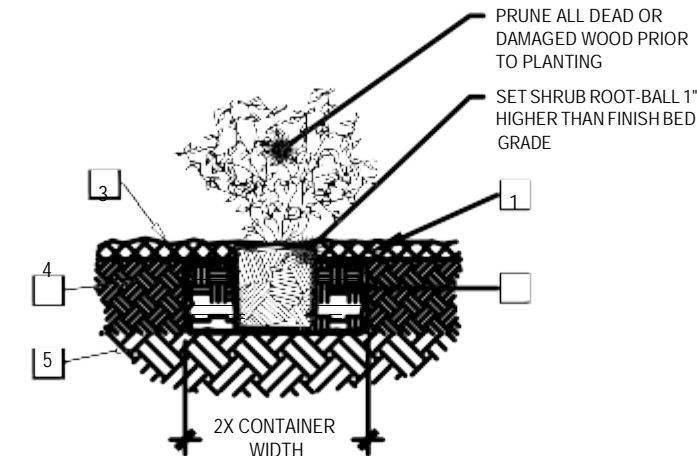
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1.1 1 1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2 1 1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

1. PLACE MIN. 1/4" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
2. 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
3. TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
4. PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
5. 3" DEEP WOOD MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
6. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
7. REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK

8. GROMMETED NYLON STRAPS
9. GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
10. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
11. BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
12. 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
13. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
14. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



1. SPECIFIED MULCH
2. AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
3. FINISH GRADE (TOP OF MULCH)
4. AMENDED TOPSOIL
5. EXISTING SUBGRADE

NOTE:

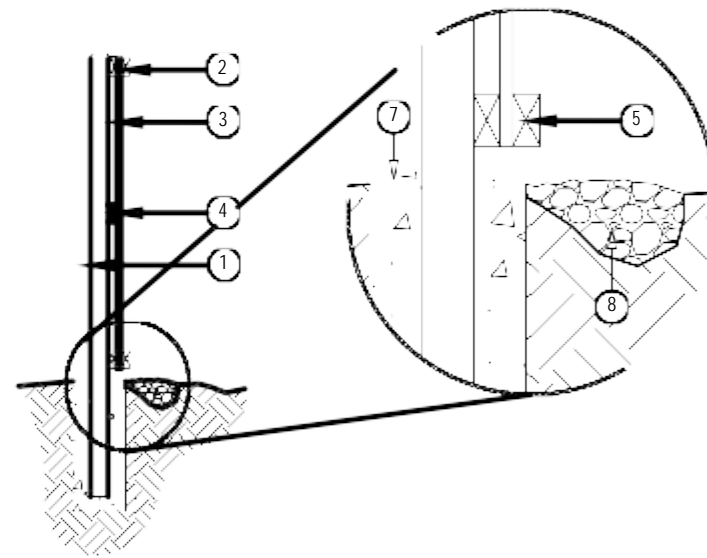
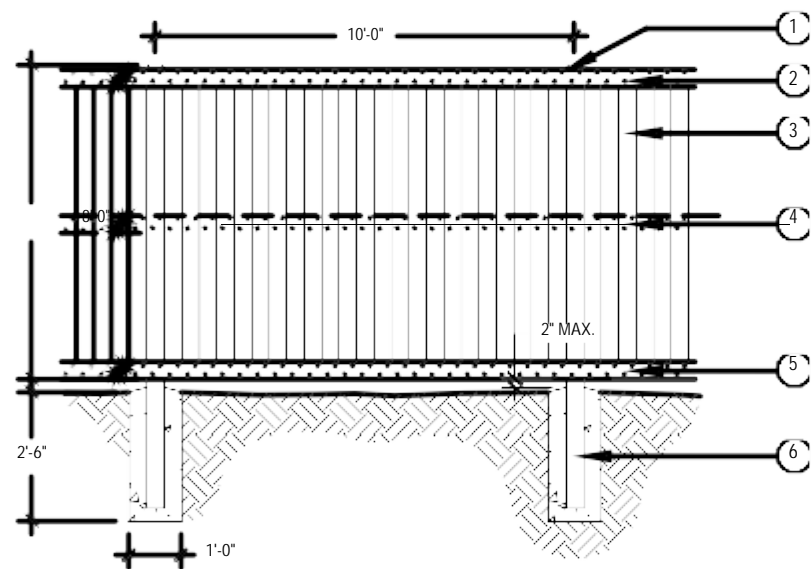
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
2. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
3. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

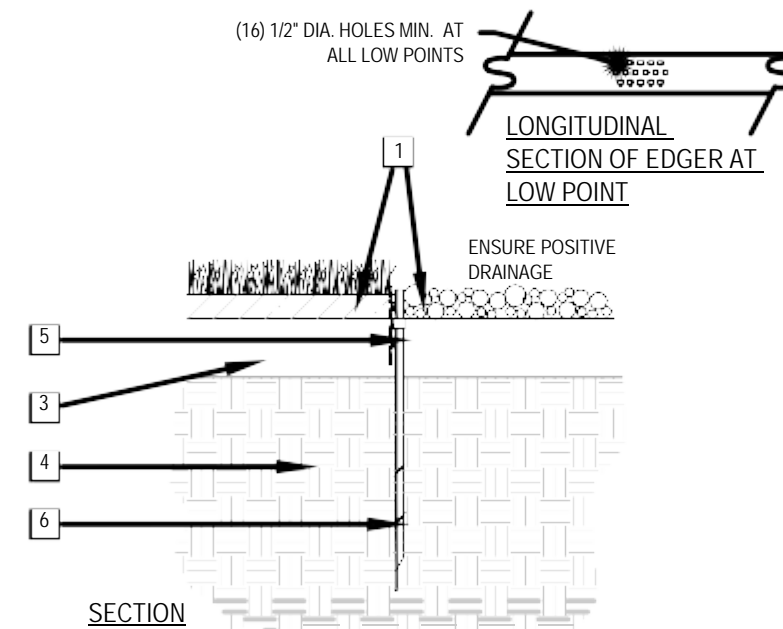
2 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



1. CEDAR POST
2. TOP RAIL
3. CEDAR PICKET
4. MIDDLE RAIL
5. BOTTOM RAIL
6. CONCRETE FOOTING
7. SLOPE CONCRETE TO DRAIN AWAY FROM POST
8. GRAVEL MULCH STRIP

FENCE SHALL PROVIDE A DOUBLE PANEL AND BE COORDINATED WITH CONTRACTOR.
FENCE SHALL BE STAINED TO BE COMPLIMENT WITH PROPOSED BUILDING COLORS.
FENCE SHALL MEET ALL CONSTRUCTION METHODS OF THE CITY OF CORTEZ LAND USE CODE CHAPTER 5 - SITE DEVELOPMENT STANDARDS 5.04 FENCE AND WALLS.
NOT FOR CONSTRUCTION - TO BE DESIGNED BY OTHERS.



1. FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
2. TURF THATCH
3. AMENDED SOIL PER SPECIFICATIONS
4. SUBGRADE
5. STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
6. EDGER STAKE

NOTES:

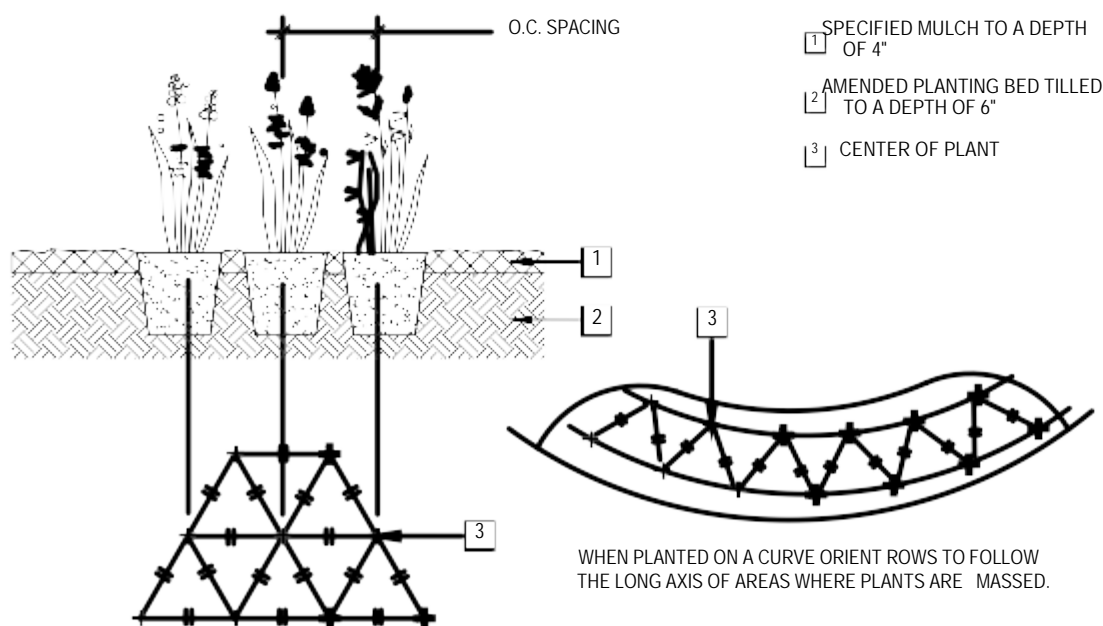
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

3 8' HT. WOOD PRIVACY FENCE

SCALE: 1/2" = 1'-0"

4 METAL EDGER

SCALE: 1" = 1'-0"



5 ORNAMENTAL GRASS LAYOUT

SCALE: 1" = 1'-0"



SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY STATE OF COLORADO



ARCHITECT
C.L. MELT ARCHITECT INC.
1111 S. 1ST AVE.
CORTEZ, CO 81301

PREPARED BY
DATE
6/9/2022

REVISION DESCRIPTION
DATE
6/9/2022

7B BUILDING & DEVELOPMENT
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
ARCHITECTURAL SITE PLAN

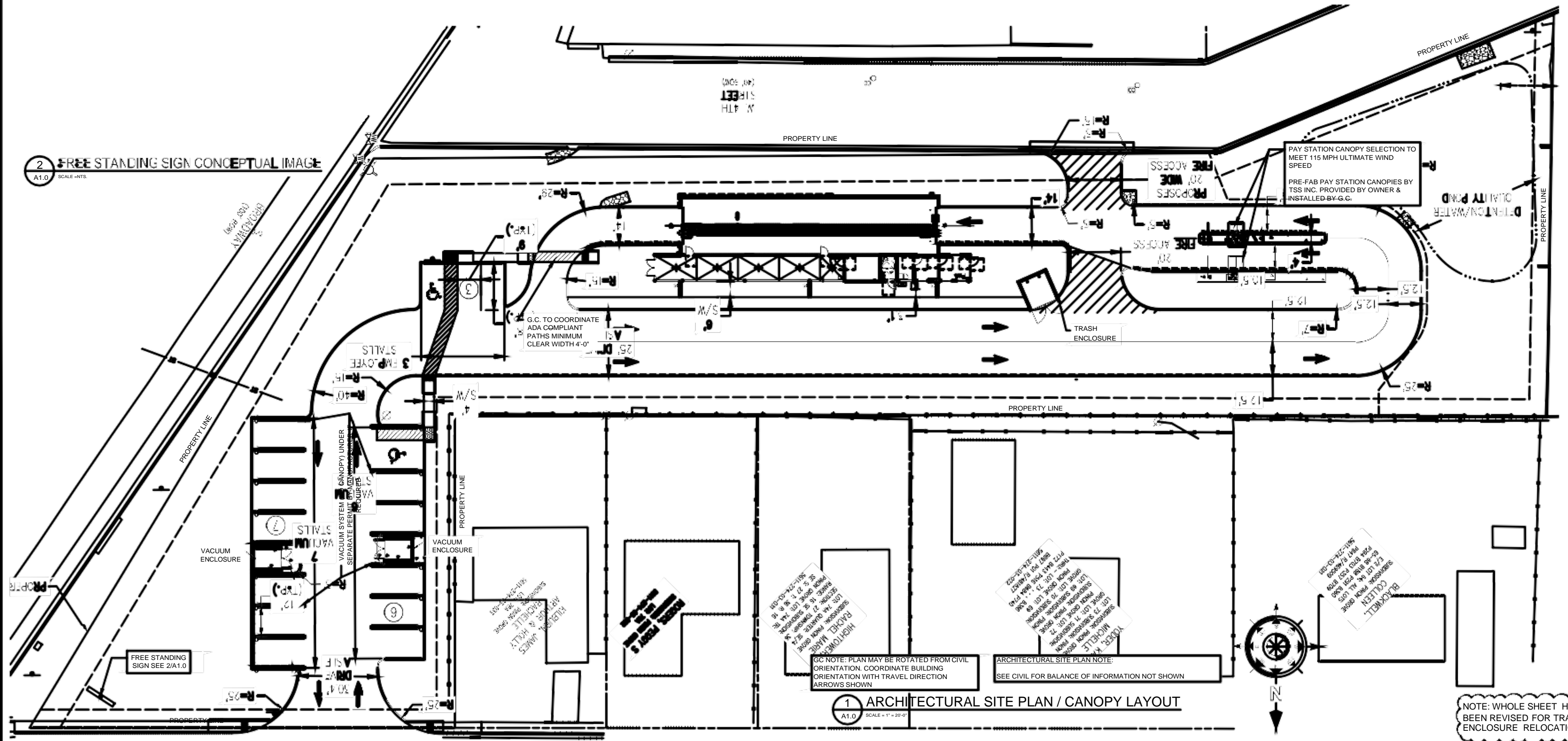
MONTEZUMA COUNTY
CITY OF CORTEZ

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE
3/3/2022

SCALE
1" = 20'-0"

1
A1.0

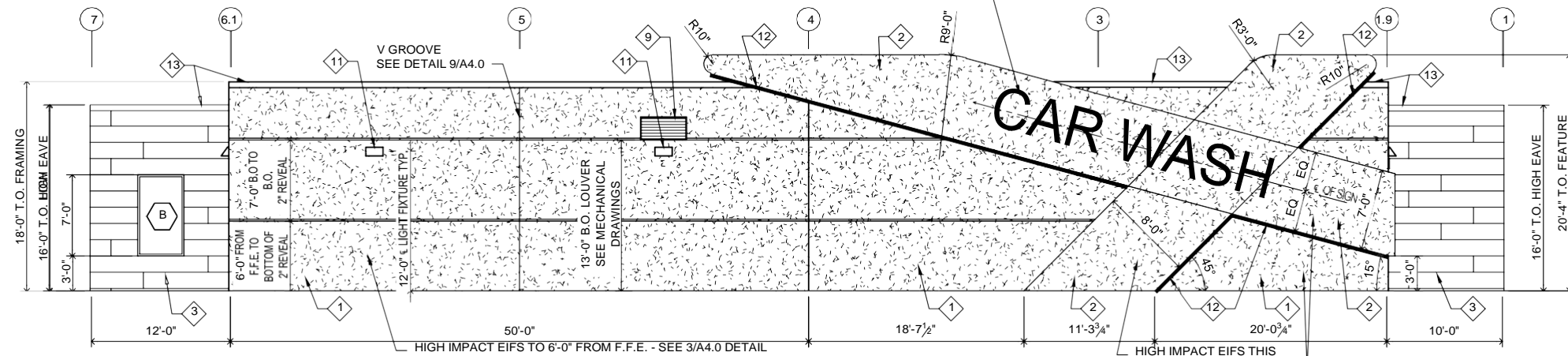




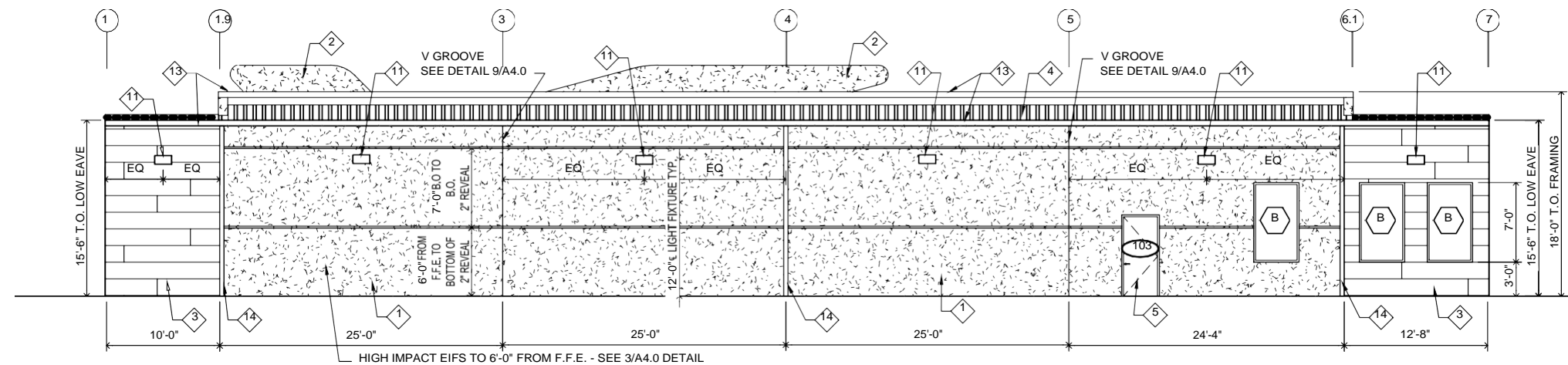
SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

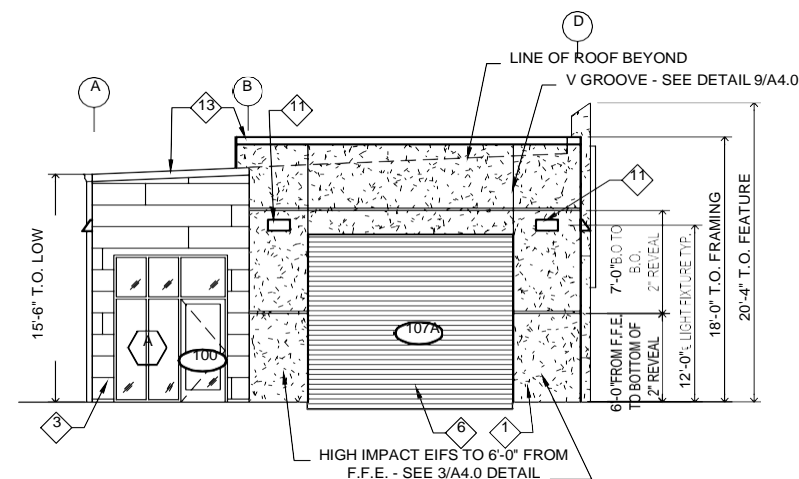
SIGN TYPE TO BE INTERNALLY ILLUMINATED CHANNEL LETTERS,
SIGN FONT STYLE 'BRANDON GROTESQUE',
SIGN SHOWN 3'-6" X 24'-7" EQUALING TOTAL AREA OF 86 S.F.
SIGN PERMITTED BY SIGN CONTRACTOR UNDER SEPARATE PERMIT.



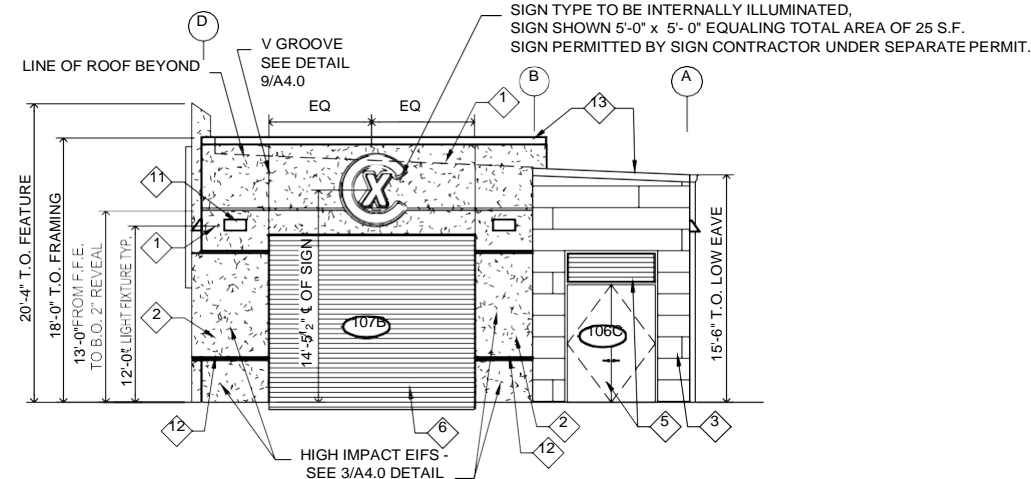
1 W 4TH STREET ELEVATION
A1.1 SCALE = 1/8" = 1'-0"



2 REAR ELEVATION
A1.1 SCALE = 1/8" = 1'-0"



3 ENTRANCE ELEVATION
A1.1 SCALE = 1/8" = 1'-0"



4 EXIT ELEVATION
A1.1 SCALE = 1/8" = 1'-0"

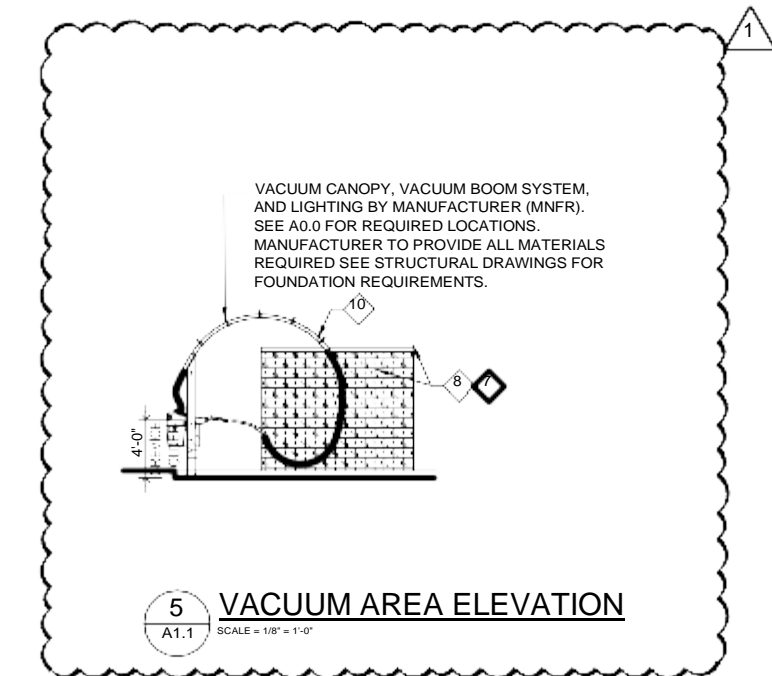
LEGEND	
000	WINDOW TYPE. SEE WINDOW GLAZING ELEVATION ON SHEET A5.0
000	DOOR TYPE. SEE DOOR SCHEDULE ON SHEET A5.0
000	FINISH TYPE. SEE EXTERIOR FINISH SPEC. LEGEND

EXTERIOR FINISH SPEC. LEGEND

NOTE: SAMPLES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION

1	EIFS WALL SYSTEM MANUF: STO OR EQUAL COLOR: STO 37110 TEXTURE: STOLIT 1.5 (MEDIUM)
2	EIFS WALL SYSTEM AT "X" MANUF: STO OR EQUAL COLOR: STO 36140 TEXTURE: 81130 STOLIT 1.0 DARK GLOSSY
3	FIBER CEMENT SIDING MANUF: NICHHA SERIE: CORBOSA CONCRETE SERIES COLOR: SHADOW
4	MAIN BUILDING ROOF PANEL MANUF: WHIRLWINDSTEEL COLOR: GALVALUME PLUS STYLE: SUPER SPAN X
5	PAINT FINISH DOORS, LOUVER IN HOLLOW METAL DOOR FRAME, AND LOUVERS AT NICHHA FIBER CEMENT SIDING MANUF: SHERWIN WILLIAMS COLOR: SW 7675 (1 PRIME + 2 COATS COLOR) NAME: SEALSKIN
6	PAINT FINISH (1 PRIME + 2 COATS COLOR) MANUF: IFS COATING COLOR: RAL 9033 CRYSTAL WHITE PRODUCT#: PLSF 60337 PAINT FINISH
7	SPLIT FACE CMU COLOR: PAINTED TO MATCH EIFS COLOR STO 37110
8	CMU WALL CAP TO MATCH CMU
9	LOUVERS TO MATCH EIFS COLOR MANUF: SHERWIN WILLIAMS COLOR: SW 7653 (1 PRIME + 2 COATS COLOR) NAME: SILVERPOINT
10	VACUUM BOOM FRAME MANUF: SONNY COLOR: SILVER
11	WALL PACK - SEE ELECTRICAL CENTER BETWEEN EIFS GROVE TYP.
12	COVE LIGHTING FEATURE - SEE ELECTRICAL
13	COPING CAP, GUTTER, TRIM, AND ACCESSORIES MANUF: WHIRLWINDSTEEL COLOR: BURNISHED SLATE
14	DOWNSPOUT BY PEMB COLOR: POLAR WHITE

NOTE: SIGN CONTRACTOR SHALL ENGINEER ATTACHMENT OF SIGN TO BUILDING STRUCTURE AND DETERMINE NUMBER OF FASTENERS, SIZE OF FASTENERS, AND ATTACHMENT POINTS. FASTENERS SHALL BE BLIND TO BE INSTALLED FROM EXTERIOR ONLY. PROVIDE PIPE SPACER TO AVOID CRUSHING WALL FINISH. SEAL ALL PENETRATION WATERTIGHT.



5 VACUUM AREA ELEVATION
A1.1 SCALE = 1/8" = 1'-0"



REVISION	DESCRIPTION	DATE	BY	CHKD	APP'D
1	INITIAL	6/9/2022	CL	CL	CL
2	REVISED	6/9/22	CL	CL	CL

7B BUILDING & DEVELOPMENT
MONTEZUMA COUNTY
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
ARCHITECTURAL ELEVATIONS

CITY OF CORTEZ

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE	6/9/2022
BY	CL
CHKD	CL
APP'D	CL
SCALE	1/8" = 1'-0"
SHEET	A1.1

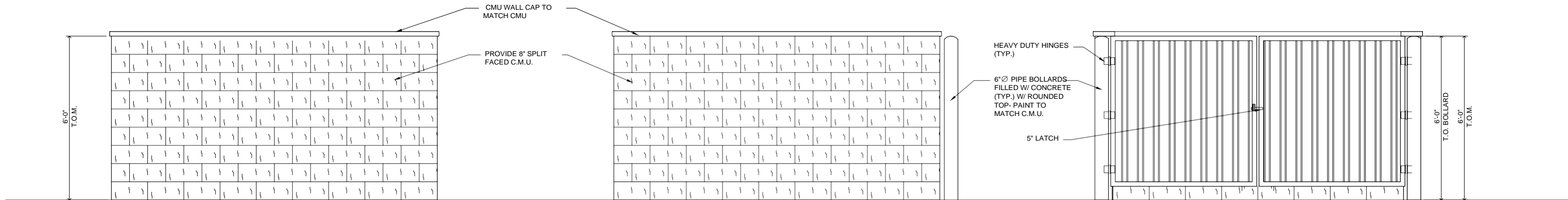


Know what's below.
Call before you dig.

SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY STATE OF COLORADO

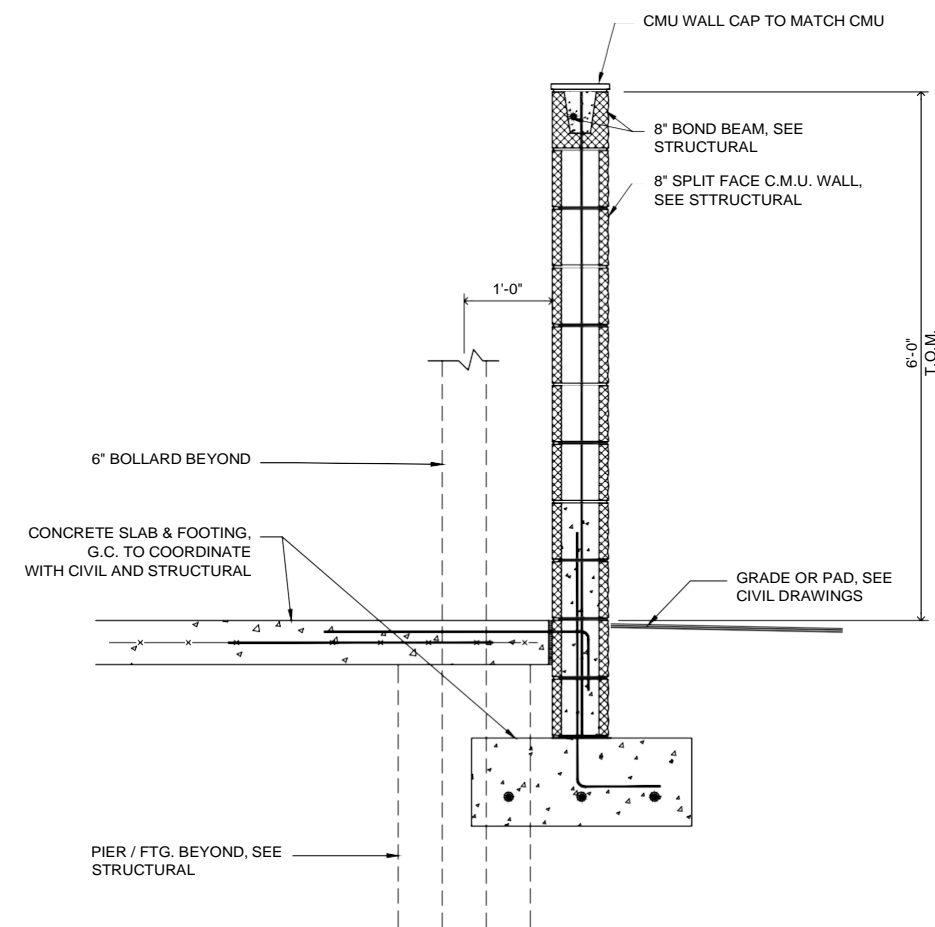
NOTE: SEE SHEET A2.0 FOR FINISHES



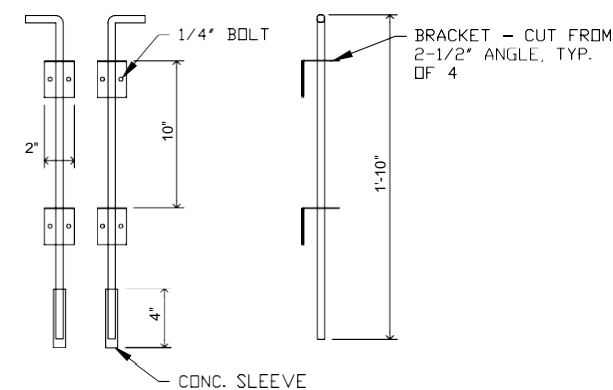
5 TRASH ENCLOSURE ELEVATION
A2.1 SCALE = 1/2" = 1'-0"

4 TRASH ENCLOSURE ELEVATION
A2.1 SCALE = 1/2" = 1'-0"

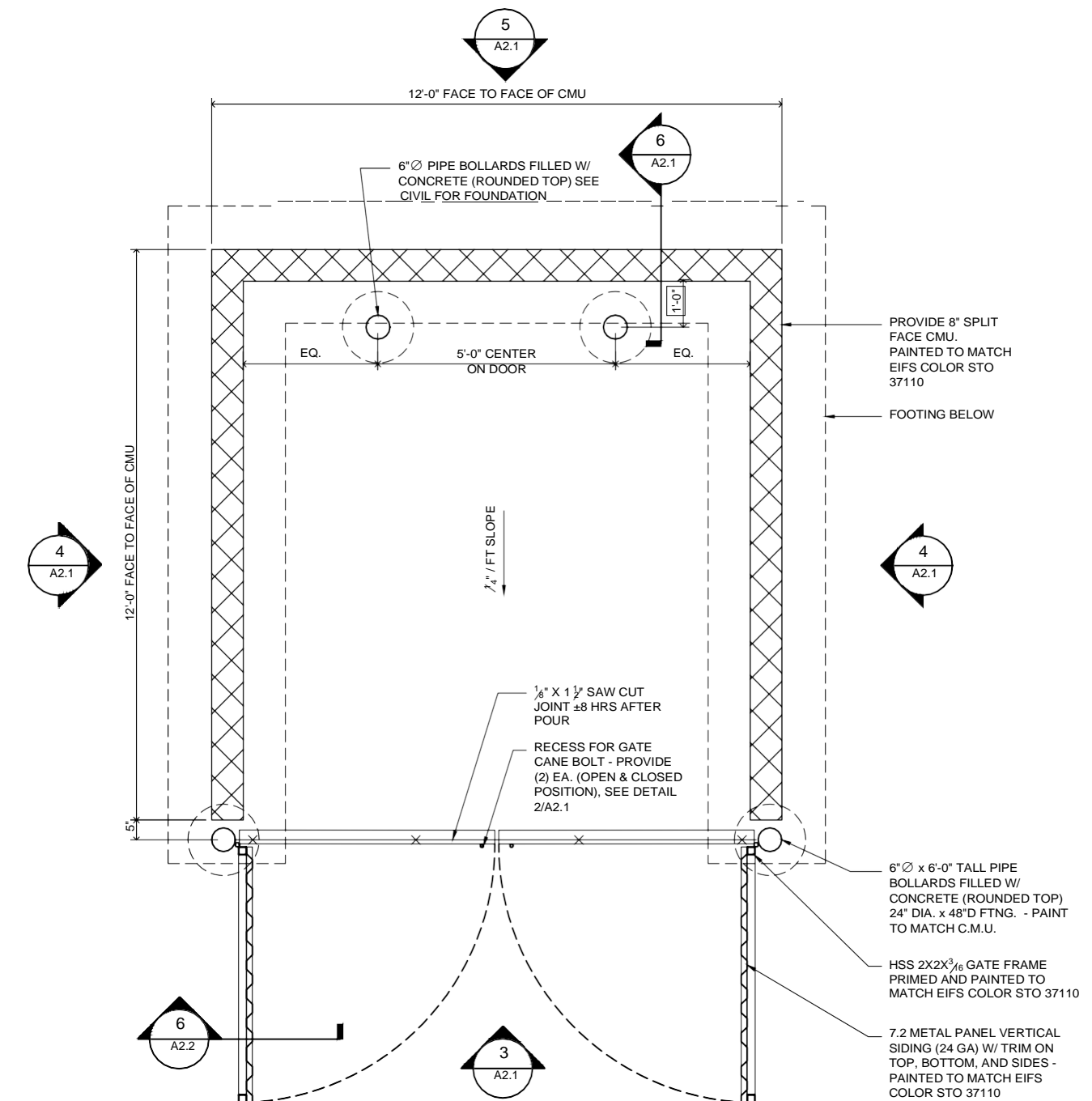
3 TRASH ENCLOSURE ELEVATION
A2.1 SCALE = 1/2" = 1'-0"



6 TYP. WALL SECTION
A2.1 SCALE = 3/4" = 1'-0"



2 CANE BOLT KEEPER DETAIL
A2.1 SCALE = 1/2" = 1'-0"



ENLARGED TRASH ENCLOSURE PLAN
A2.1 SCALE = 1/4" = 1'-0"

NOTE: THIS SHEET HAS BEEN ADDED



PREPARED BY: J. H. HELT
DATE: 6/9/2022

REVISION: J. H. HELT
DATE: 6/9/2022

REVISION: J. H. HELT
DATE: 6/9/2022

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DATE: 6/9/2022

REVISION: J. H. HELT
DATE: 6/9/2022



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SITE DEVELOPMENT PLANS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY STATE OF COLORADO



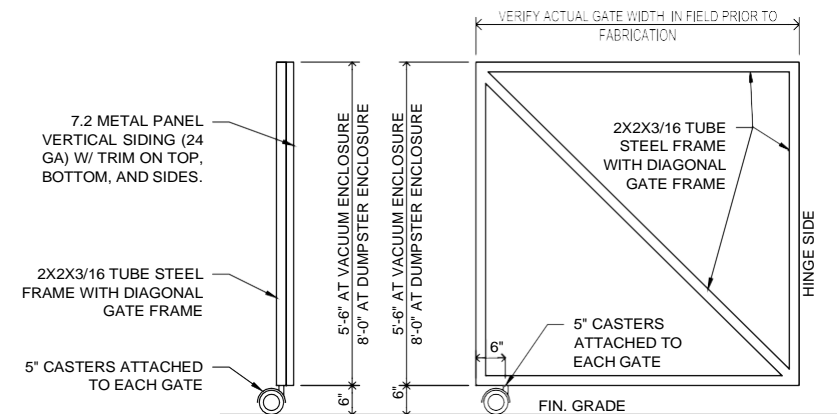
PREPARED BY
DATE
6/9/2022
6/9/2022

REVISION DESCRIPTION
DATE
6/9/2022

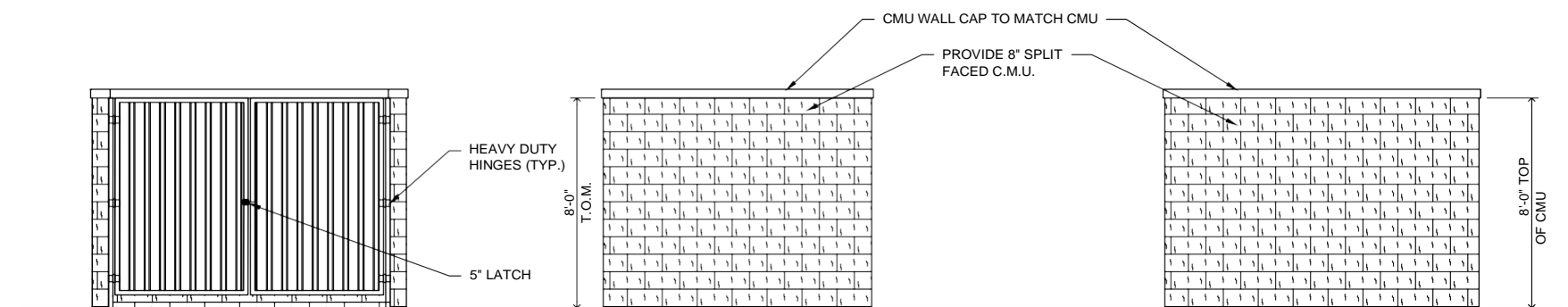
7B BUILDING & DEVELOPMENT
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
VACUUM ENCLOSURE PLAN & ELEVATIONS

7B BUILDING & DEVELOPMENT
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
VACUUM ENCLOSURE PLAN & ELEVATIONS

PRELIMINARY
NOT FOR
CONSTRUCTION
3/7/2023
A2.2



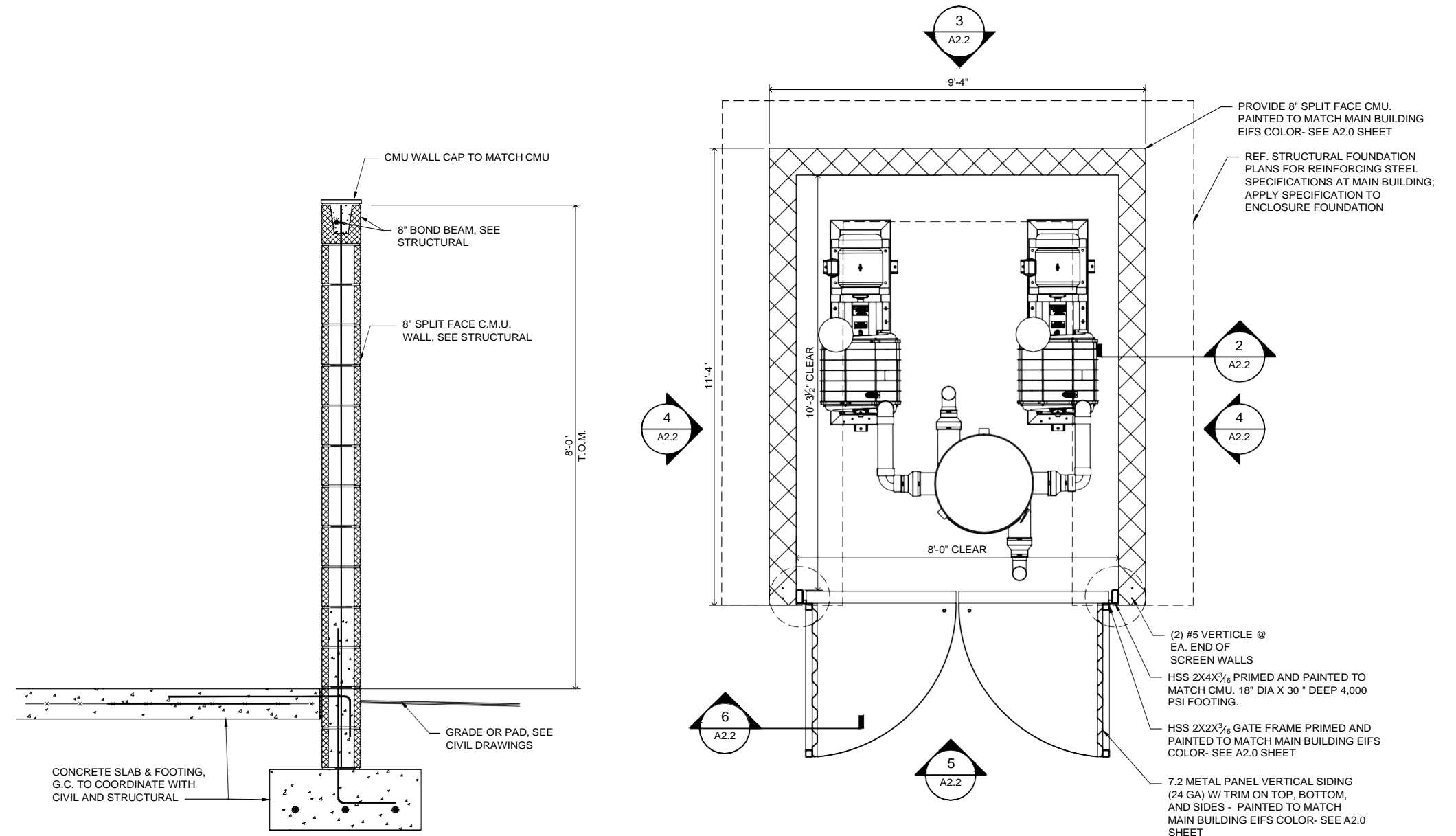
6 TYPICAL GATE SECTION
A2.2 SCALE = 1/2" = 1'-0"



5 VACUUM ENCLOSURE ELEVATION A2.2 SCALE = 1/4" = 1'-0"

4 VACUUM ENCLOSURE ELEVATION A2.2 SCALE = 1/4" = 1'-0"

3 VACUUM ENCLOSURE ELEVATION A2.2 SCALE = 1/4" = 1'-0"



2 TYPICAL WALL SECTION
A2.2 SCALE = 3/4" = 1'-0"

CMU VACUUM ENCLOSURE PLAN
A2.2 SCALE = 1/2" = 1'-0"

NOTE: REFERENCE ARCHITECTURAL SITE PLAN FOR SITE ORIENTATION

NOTE: THIS SHEET HAS BEEN ADDED

Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Product Features



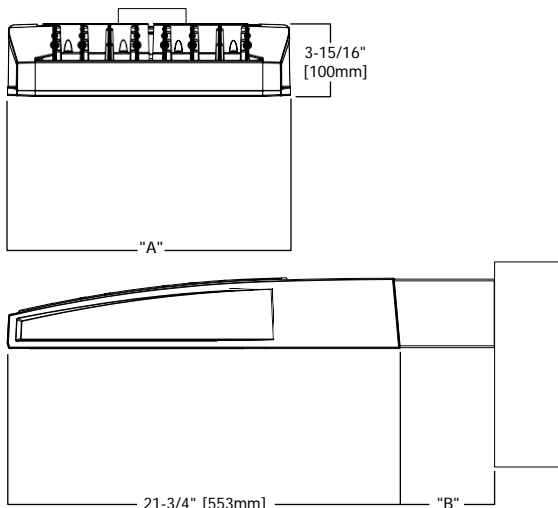
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Dimensional Details



NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Product Certifications



Connected Systems

- WaveLinx
- Enlighted

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length ¹	"B" Quick Mount Arm Length	"B" Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	--
9-10	33-3/4"	7"	16"	--	--


NOTES:
For arm selection requirements and additional line art, see Mounting Details section.

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

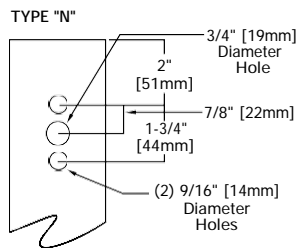
Product Family ^{1, 2}	Light Engine		Color	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current	Temperature				
GLEON=Galleon BAA-GLEON=Galleon, Buy American Act Compliant ³⁵ TAA-GLEON=Galleon, Trade Agreements Act Compliant ³⁵	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares ⁴ SA6=6 Squares SA7=7 Squares ⁵ SA8=8 Squares ⁵ SA9=9 Squares ⁶ SA0=10 Squares ⁶	A=600mA B=800mA C=1000mA D=1200mA ¹⁶	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm ^{14, 16}	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V ^{7, 8} 9=347V ⁷	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLI=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁹ MA=Mast Arm Adapter ¹⁰ WM=Wall Mount QM=Quick Mount Arm (Standard Length) ¹¹ OML=Quick Mount Arm (Standard Length, Large) ¹⁷ QMEA=Quick Mount Arm (Extended Length) ¹²	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White RALXX=Custom Color
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)				Accessories (Order Separately) ³⁶	
DIM=External 0-10V Dimming Leads ^{19, 20} F=Single Fuse (120, 277 or 347V Specify Voltage) FF=Double Fuse (208, 240 or 480V Specify Voltage) 20K=Series 20kV UL 1449 Surge Protective Device 2L=Two Circuits ^{17, 18} HA=50°C High Ambient HSS=Installed House Side Shield ²⁸ GRSBK=Glare Reducing Shield, Black ²³ GRSWH=Glare Reducing Shield, White ²³ LCF=Light Square Trim Painted to Match Housing ²⁷ MT=Installed Mesh Top TH=Tool-less Door Hardware CC=Coastal Construction finish ³ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right CE=CE Marking ²⁹ AHD145=After Hours Dim, 5 Hours ²² AHD245=After Hours Dim, 6 Hours ²² AHD255=After Hours Dim, 7 Hours ²² AHD355=After Hours Dim, 8 Hours ²² DALI=DALI Drivers		BPC=Button Type Photocontrol PR=NEMA 3-PIN Photocontrol Receptacle PR7=NEMA 7-PIN Photocontrol Receptacle ²¹ SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8' - 20' Mounting ³⁴ SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21' - 40' Mounting ³⁴ MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ²⁴ MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ²⁴ MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{24, 25} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{24, 25} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ²⁴ MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ²⁴ ZW=WaveLinx Module and 4-PIN Receptacle ZD=WaveLinx Module with DALI driver and 4-PIN Receptacle SWPD4XX=WaveLinx Sensor Only, 7'-15' ^{13, 32, 33} SWPD5XX=WaveLinx Sensor Only, 15'-40' ^{13, 32, 33} WOBXX=WaveLinx Sensor with Bluetooth, 7'-15' ^{13, 32} WOFXX=WaveLinx Sensor with Bluetooth, 15'-40' ^{13, 32} LWR-LW=Enlighted Sensor, 8'-16' Mounting Height ²⁶ LWR-LN=Enlighted Sensor, 16'-40' Mounting Height ²⁶ DIM10-MS/DIM-L08=Synapse Occupancy Sensor (<8' Mounting) ¹⁹ DIM10-MS/DIM-L20=Synapse Occupancy Sensor (9'-20' Mounting) ¹⁹ DIM10-MS/DIM-L40=Synapse Occupancy Sensor (21'-40' Mounting) ¹⁹				OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁴ GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit ¹¹ GLEON-QMEA=Quick Mount Extended Arm Kit ¹² LS/HSS=Field Installed House Side Shield ^{28, 30} LS/GRSBK=Glare Reducing Shield, Black ^{23, 30} LS/GRSWH=Glare Reducing Shield, White ^{23, 30} LS/PFS=Perimeter Shield, Black ¹⁵ WOLC-7P-10A=WaveLinx Outdoor Control Module ^{19, 31} SWPD4-XX=WaveLinx Wireless Sensor, 7'-15' Mounting Height ^{13, 19, 32, 33} SWPD5-XX=WaveLinx Wireless Sensor, 15'-40' Mounting Height ^{13, 19, 32, 33}	
NOTES: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information. 2. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 3. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option. 4. Not compatible with MS/4-LXX or MS/1-LXX sensors. 5. Not compatible with extended quick mount arm (QMEA). 6. Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA). 7. Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A. 8. 480V must utilize Wye system only. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems.) 9. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table. 10. Factory installed. 11. Maximum 8 light squares. 12. Maximum 6 light squares. 13. Requires ZW or ZD receptacle. 14. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option. 15. Set of 4 pcs. One set required per Light Square. 16. Not available with HA option. 17. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in SA2 through SA4 requires a larger housing, normally used for SA5 or SA6. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 18. Not available with Enlighted wireless sensors. 19. Cannot be used with other control options. 20. Low voltage control lead brought out 18" outside fixture. 21. Not available if any "MS" sensor is selected. Motion sensor has an integral photocell. 22. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information. 23. Not for use with T4FT, T4W or SL4 optics. See IES files for details. 24. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information. 25. Replace X with number of Light Squares operating in low output mode. 26. Enlighted wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1 and LWP-PoE8 in appropriate quantities. 27. Not available with house side shield (HSS). 28. Not for use with 5NQ, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected. 29. CE is not available with the LWR, MS, MS/X, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only. 30. One required for each Light Square. 31. Requires PR7. 32. Replace XX with sensor color (WH, BZ or BK.) 33. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. 34. Smart device with mobile application required to change system defaults. See controls section for details. 35. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 36. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 37. Available for 7-10 squares.							

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

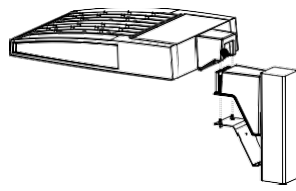
Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	C=Cellular, NoSIM A=Cellular, AT&T V=Cellular, Verizon S=Cellular, Sprint R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

Mounting Details

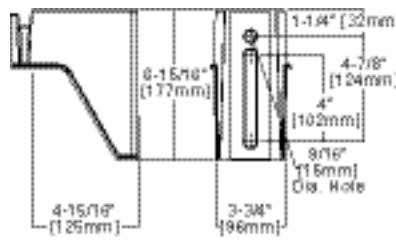
Standard Arm (Drilling Pattern)



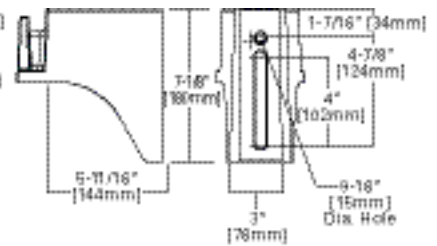
Quick Mount Arm (Includes fixture adapter)



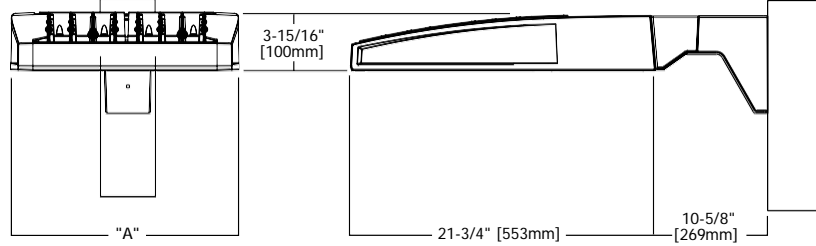
QM and QMEA Pole Mount



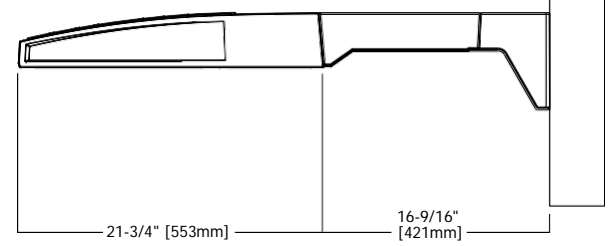
QML Pole Mount



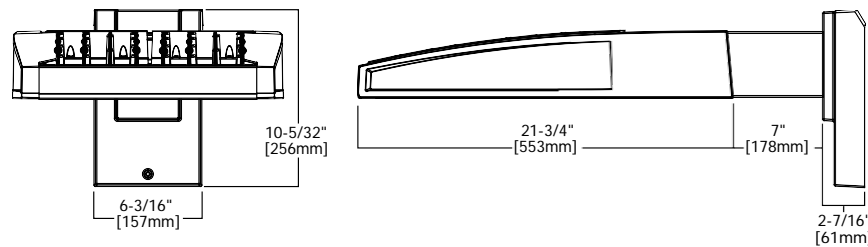
QM Quick Mount Arm (Standard)



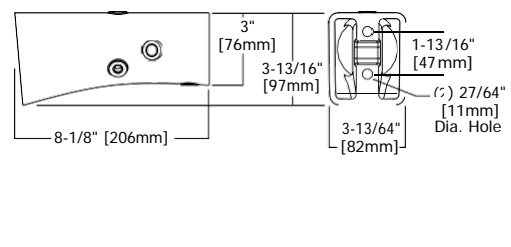
QMEA Quick Mount Arm (Extended)



Standard Wall Mount

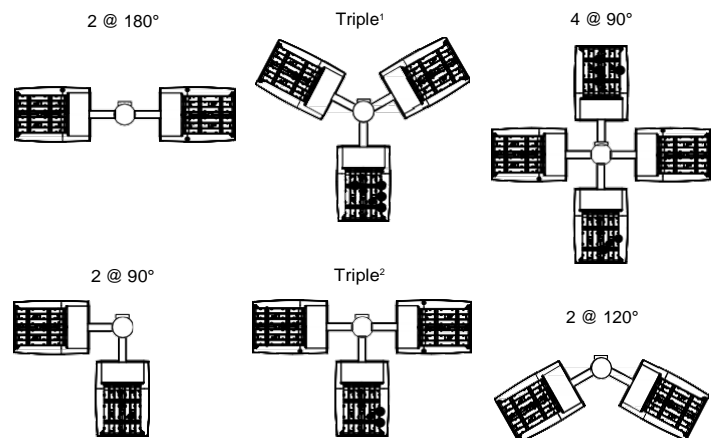


Mast Arm Mount



Arm Mounting Requirements

Number of Light Squares	Standard Arm @ 90° Apart	Standard Arm @ 120° Apart	Quick Mount Arm @ 90° Apart	Quick Mount Arm @ 120° Apart
1	Standard	Standard	QM Extended	Quick Mount
2	Standard	Standard	QM Extended	Quick Mount
3	Standard	Standard	QM Extended	Quick Mount
4	Standard	Standard	QM Extended	Quick Mount
5	Extended	Standard	QM Extended	Quick Mount
6	Extended	Standard	QM Extended	Quick Mount
7	Extended	Extended	--	Quick Mount
8	Extended	Extended	--	Quick Mount
9	Extended	Extended	--	--
10	Extended	Extended	--	--

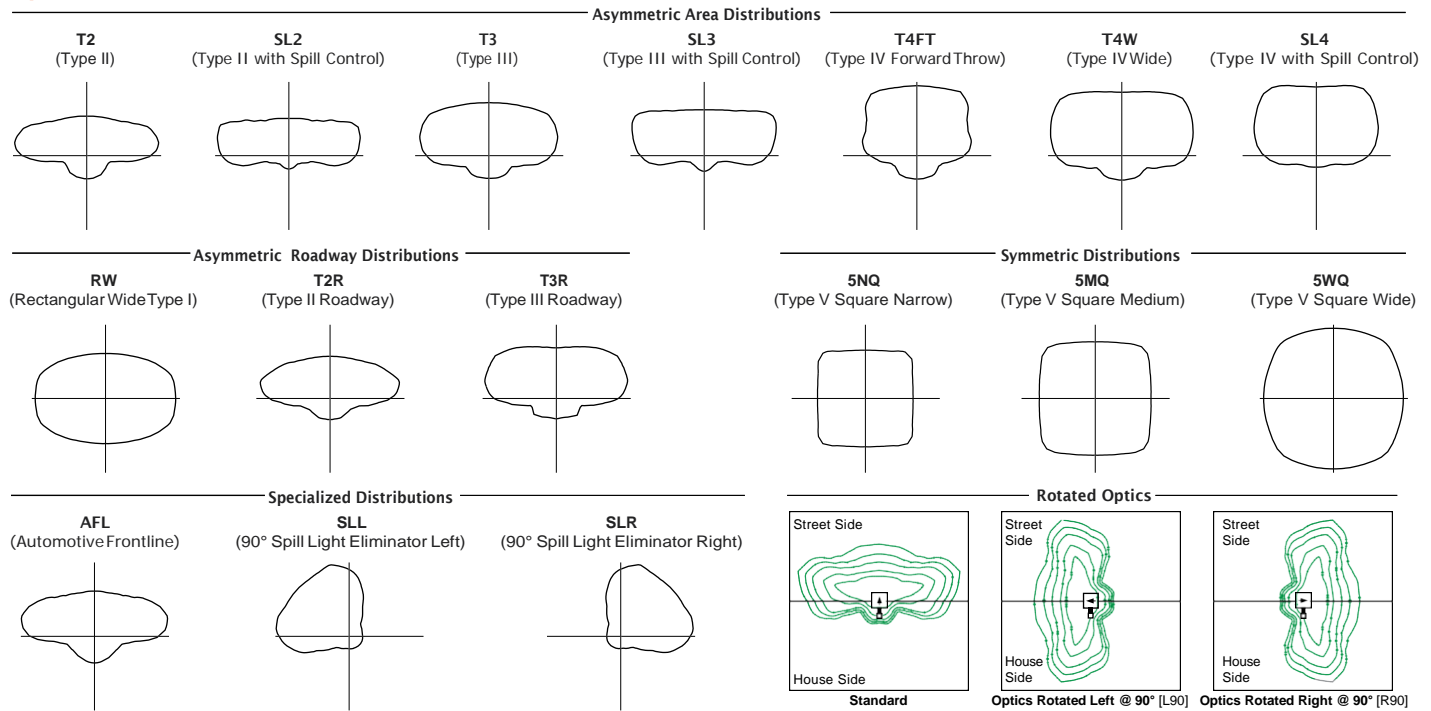


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°. 3 Shown with 4 square configurations.

Fixture Weights and EPAs

Number of Light Squares	Weight with Standard and Extended Arm (lbs.)	EPA with Standard and Extended Arm (Sq. Ft.)	Weight with QM Arm (lbs.)	EPA with QM Arm (Sq. Ft.)	Weight with QML (lbs.)	EPA with QML (Sq. Ft.)	Weight with QMEA (lbs.)	EPA with QMEA (Sq. Ft.)
1-4	33	0.96	35	1.11	--	--	38	1.11
5-6	44	1.00	46	1.11	--	--	49	1.11
7-8	54	1.07	56	1.11	58	1.11	--	--
9-10	63	1.12	--	--	67	1.11	--	--

Optical Distributions



Product Specifications

Construction

- Extruded aluminum driver enclosure
- Heavy-wall, die-cast aluminum end caps
- Die-cast aluminum heat sinks
- Patent pending interlocking housing and heat sink

Optics

- Patented, high-efficiency injection-molded AccuLED Optics technology
- 16 optical distributions
- 3 shielding options including HSS, GRS and PFS
- IDA Certified (3000K CCT and warmer only)

Electrical

- LED drivers are mounted to removable tray

assembly for ease of maintenance

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.

Mounting

- Standard extruded arm includes internal bolt guides and round pole adapter
- Extended arms (EA and QMEA) may be required in 90° or 120° pole mount configurations, see arm mounting requirements table

- Mast arm (MA) factory installed
- Wall mount (WM) option available
- Quick mount arm (QM and QMEA) includes pole adapter and factory installed fixture mount for fast installation to square or round poles

Finish

- Super housing durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Heat sink is powder coated black
- RAL and custom color matches available
- Coastal Construction (CC) option available

Warranty

- Five year warranty

Energy and Performance Data

Lumen Maintenance (TM-21)

Drive Current	Ambient Temperature	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 hours**
Up to 1A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.7%	98.3%	98.1%	97.4%	> 1.9M
	50°C	98.2%	97.2%	96.8%	95.2%	> 851,000
1.2A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.5%	97.9%	97.7%	96.7%	> 1.3M

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



View GLEON IES files

Nominal Power Lumens (1.2A)

 Supplemental Performance Guide™

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Nominal Power (Watts)		67	129	191	258	320	382	448	511	575	640
Input Current @ 120V (A)		0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87
Input Current @ 208V (A)		0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14
Input Current @ 240V (A)		0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71
Input Current @ 277V (A)		0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36
Input Current @ 347V (A)		0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92
Input Current @ 480V (A)		0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45
Optics											
T2	4000K Lumens	7,972	15,580	23,245	30,714	38,056	45,541	53,857	61,024	68,072	75,366
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	121	122	119	119	119	120	119	118	118
T2R	4000K Lumens	8,462	16,539	24,680	32,609	40,401	48,348	57,176	64,783	72,266	80,010
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	128	129	126	126	127	128	127	126	125
T3	4000K Lumens	8,125	15,879	23,693	31,307	38,787	46,417	54,893	62,197	69,381	76,818
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	121	123	124	121	121	122	123	122	121	120
T3R	4000K Lumens	8,306	16,232	24,220	32,001	39,651	47,447	56,114	63,580	70,924	78,523
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	124	126	127	124	124	124	125	124	123	123
T4FT	4000K Lumens	8,173	15,970	23,831	31,488	39,014	46,686	55,212	62,558	69,783	77,261
	BUG Rating	B1-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	122	124	125	122	122	122	123	122	121	121
T4W	4000K Lumens	8,067	15,764	23,522	31,080	38,510	46,082	54,499	61,751	68,881	76,263
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	120	122	123	120	120	121	122	121	120	119
SL2	4000K Lumens	7,958	15,552	23,206	30,662	37,989	45,462	53,763	60,920	67,952	75,235
	BUG Rating	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	121	121	119	119	119	120	119	118	118
SL3	4000K Lumens	8,124	15,877	23,690	31,302	38,784	46,410	54,885	62,189	69,372	76,805
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	121	123	124	121	121	121	123	122	121	120
SL4	4000K Lumens	7,719	15,085	22,510	29,741	36,850	44,097	52,148	59,089	65,913	72,977
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	115	117	118	115	115	115	116	116	115	114
5NQ	4000K Lumens	8,380	16,375	24,436	32,287	40,003	47,870	56,610	64,144	71,552	79,221
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	125	127	128	125	125	125	126	126	124	124
5MQ	4000K Lumens	8,534	16,676	24,885	32,881	40,739	48,752	57,653	65,326	72,868	80,679
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	127	129	130	127	127	128	129	128	127	126
5WQ	4000K Lumens	8,556	16,723	24,951	32,968	40,847	48,881	57,808	65,499	73,063	80,894
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	128	130	131	128	128	128	129	128	127	126
SLL/ SLR	4000K Lumens	7,140	13,951	20,817	27,506	34,081	40,783	48,231	54,649	60,959	67,492
	BUG Rating	B1-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	107	108	109	107	107	107	108	107	106	105
RW	4000K Lumens	8,304	16,228	24,215	31,994	39,641	47,437	56,100	63,566	70,907	78,504
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
	Lumens per Watt	124	126	127	124	124	124	125	124	123	123
AFL	4000K Lumens	8,335	16,287	24,302	32,110	39,784	47,610	56,303	63,796	71,163	78,790
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	Lumens per Watt	124	126	127	124	124	125	126	125	124	123

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (1A)

 Supplemental Performance Guide™

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Nominal Power (Watts)		59	113	166	225	279	333	391	445	501	558
Input Current @ 120V (A)		0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.60	5.07
Input Current @ 208V (A)		0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75
Input Current @ 240V (A)		0.26	0.48	0.71	0.96	1.19	0.41	1.67	1.89	2.12	2.39
Input Current @ 277V (A)		0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09
Input Current @ 347V (A)		0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68
Input Current @ 480V (A)		0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28
Optics											
T2	4000K Lumens	7,267	14,201	21,190	28,000	34,692	41,515	49,096	55,627	62,053	68,703
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	126	128	124	124	125	126	125	124	123
T2R	4000K Lumens	7,715	15,077	22,497	29,725	36,829	44,073	52,122	59,056	65,876	72,937
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	133	136	132	132	132	133	133	131	131
T3	4000K Lumens	7,408	14,475	21,598	28,539	35,358	42,313	50,039	56,698	63,246	70,024
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	128	130	127	127	127	128	127	126	125
T3R	4000K Lumens	7,571	14,798	22,078	29,172	36,145	43,253	51,153	57,959	64,653	71,581
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	128	131	133	130	130	130	131	130	129	128
T4FT	4000K Lumens	7,451	14,559	21,725	28,703	35,564	42,558	50,330	57,027	63,613	70,430
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	129	131	128	127	128	129	128	127	126
T4W	4000K Lumens	7,354	14,371	21,442	28,333	35,105	42,007	49,681	56,291	62,792	69,521
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	127	129	126	126	126	127	126	125	125
SL2	4000K Lumens	7,254	14,178	21,155	27,951	34,631	41,443	49,011	55,533	61,944	68,584
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	125	127	124	124	124	125	125	124	123
SL3	4000K Lumens	7,406	14,474	21,596	28,534	35,355	42,307	50,033	56,690	63,237	70,014
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	128	130	127	127	127	128	127	126	125
SL4	4000K Lumens	7,037	13,751	20,519	27,112	33,592	40,198	47,538	53,864	60,087	66,524
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	119	122	124	120	120	121	122	121	120	119
5NQ	4000K Lumens	7,640	14,928	22,275	29,431	36,465	43,637	51,606	58,472	65,226	72,218
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	129	132	134	131	131	131	132	131	130	129
5MQ	4000K Lumens	7,779	15,203	22,684	29,973	37,137	44,441	52,555	59,549	66,427	73,545
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	132	135	137	133	133	133	134	134	133	132
5WQ	4000K Lumens	7,800	15,243	22,744	30,052	37,236	44,560	52,697	59,708	66,603	73,742
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	132	135	137	134	133	134	135	134	133	132
SLL/ SLR	4000K Lumens	6,510	12,719	18,977	25,075	31,067	37,176	43,967	49,817	55,569	61,525
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	110	113	114	111	111	112	112	112	111	110
RW	4000K Lumens	7,570	14,793	22,073	29,165	36,137	43,243	51,140	57,945	64,637	71,564
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	128	131	133	130	130	130	131	130	129	128
AFL	4000K Lumens	7,598	14,847	22,154	29,272	36,267	43,400	51,326	58,156	64,872	71,824
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4
	Lumens per Watt	129	131	133	130	130	130	131	131	129	129

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (800mA)

 Supplemental Performance Guide™

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Nominal Power (Watts)		44	85	124	171	210	249	295	334	374	419
Input Current @ 120V (A)		0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80
Input Current @ 208V (A)		0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12
Input Current @ 240V (A)		0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84
Input Current @ 277V (A)		0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67
Input Current @ 347V (A)		0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52
Input Current @ 480V (A)		0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96
Optics											
T2	4000K Lumens	5,871	11,474	17,121	22,622	28,029	33,542	39,667	44,944	50,134	55,508
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	133	135	138	132	133	135	134	135	134	132
T2R	4000K Lumens	6,233	12,181	18,176	24,016	29,756	35,608	42,111	47,714	53,224	58,929
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5
	Lumens per Watt	142	143	147	140	142	143	143	143	142	141
T3	4000K Lumens	5,986	11,695	17,450	23,057	28,568	34,186	40,430	45,809	51,099	56,576
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	136	138	141	135	136	137	137	137	137	135
T3R	4000K Lumens	6,117	11,955	17,838	23,569	29,203	34,946	41,328	46,827	52,235	57,832
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	139	141	144	138	139	140	140	140	140	138
T4FT	4000K Lumens	6,019	11,763	17,551	23,190	28,734	34,384	40,663	46,074	51,396	56,904
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	137	138	142	136	137	138	138	138	137	136
T4W	4000K Lumens	5,942	11,610	17,324	22,891	28,363	33,940	40,138	45,480	50,732	56,169
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	135	137	140	134	135	136	136	136	136	134
SL2	4000K Lumens	5,862	11,454	17,091	22,583	27,980	33,484	39,598	44,867	50,048	55,411
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	133	135	138	132	133	134	134	134	134	132
SL3	4000K Lumens	5,985	11,694	17,447	23,053	28,565	34,182	40,424	45,804	51,092	56,568
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	136	138	141	135	136	137	137	137	137	135
SL4	4000K Lumens	5,685	11,111	16,577	21,905	27,140	32,478	38,409	43,520	48,546	53,748
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	129	131	134	128	129	130	130	130	130	128
5NQ	4000K Lumens	6,172	12,061	17,997	23,778	29,462	35,256	41,694	47,242	52,699	58,347
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	140	142	145	139	140	142	141	141	141	139
5MQ	4000K Lumens	6,285	12,283	18,328	24,217	30,004	35,907	42,462	48,112	53,669	59,421
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
	Lumens per Watt	143	145	148	142	143	144	144	144	144	142
5WQ	4000K Lumens	6,303	12,317	18,377	24,281	30,085	36,001	42,575	48,241	53,812	59,579
	BUG Rating	B3-U0-G1	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	143	145	148	142	143	145	144	144	144	142
SL/SLR	4000K Lumens	5,260	10,276	15,332	20,259	25,101	30,037	35,522	40,249	44,898	49,708
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	120	121	124	118	120	121	120	121	120	119
RW	4000K Lumens	6,116	11,952	17,834	23,563	29,196	34,938	41,317	46,817	52,224	57,819
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	139	141	144	138	139	140	140	140	140	138
AFL	4000K Lumens	6,139	11,996	17,899	23,650	29,302	35,064	41,468	46,987	52,412	58,030
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4
	Lumens per Watt	140	141	144	138	140	141	141	141	140	138

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Nominal Power Lumens (600mA)

 Supplemental Performance Guide™

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Nominal Power (Watts)		34	66	96	129	162	193	226	257	290	323
Input Current @ 120V (A)		0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89
Input Current @ 208V (A)		0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63
Input Current @ 240V (A)		0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43
Input Current @ 277V (A)		0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33
Input Current @ 347V (A)		0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99
Input Current @ 480V (A)		0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77
Optics											
T2	4000K Lumens	4,787	9,357	13,961	18,448	22,856	27,353	32,347	36,651	40,884	45,265
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	141	142	145	143	141	142	143	143	141	140
T2R	4000K Lumens	5,083	9,934	14,822	19,585	24,266	29,038	34,341	38,911	43,404	48,055
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
	Lumens per Watt	150	151	154	152	150	150	152	151	150	149
T3	4000K Lumens	4,880	9,537	14,231	18,803	23,296	27,878	32,970	37,358	41,671	46,137
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	144	145	148	146	144	144	146	145	144	143
T3R	4000K Lumens	4,988	9,749	14,547	19,220	23,814	28,497	33,703	38,188	42,598	47,162
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	147	148	152	149	147	148	149	149	147	146
T4FT	4000K Lumens	4,909	9,591	14,312	18,911	23,432	28,040	33,161	37,574	41,913	46,404
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	144	145	149	147	145	145	147	146	145	144
T4W	4000K Lumens	4,845	9,468	14,128	18,668	23,130	27,678	32,732	37,088	41,371	45,805
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	143	143	147	145	143	143	145	144	143	142
SL2	4000K Lumens	4,779	9,341	13,937	18,416	22,818	27,305	32,292	36,589	40,813	45,188
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	141	142	145	143	141	141	143	142	141	140
SL3	4000K Lumens	4,879	9,536	14,229	18,800	23,294	27,874	32,965	37,351	41,666	46,130
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	144	144	148	146	144	144	146	145	144	143
SL4	4000K Lumens	4,637	9,059	13,519	17,863	22,132	26,486	31,322	35,490	39,589	43,831
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	136	137	141	138	137	137	139	138	137	136
5NQ	4000K Lumens	5,033	9,835	14,676	19,392	24,026	28,751	34,002	38,526	42,975	47,581
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	148	149	153	150	148	149	150	150	148	147
5MQ	4000K Lumens	5,126	10,015	14,946	19,747	24,468	29,281	34,628	39,236	43,766	48,457
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	151	152	156	153	151	152	153	153	151	150
5WQ	4000K Lumens	5,139	10,043	14,985	19,801	24,533	29,359	34,721	39,339	43,883	48,586
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
	Lumens per Watt	151	152	156	153	151	152	154	153	151	150
SLL/ SLR	4000K Lumens	4,289	8,380	12,502	16,520	20,469	24,494	28,967	32,823	36,613	40,537
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	126	127	130	128	126	127	128	128	126	126
RW	4000K Lumens	4,987	9,746	14,543	19,215	23,808	28,491	33,695	38,178	42,587	47,151
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	147	148	151	149	147	148	149	149	147	146
AFL	4000K Lumens	5,007	9,782	14,597	19,285	23,896	28,594	33,817	38,317	42,742	47,322
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3
	Lumens per Watt	147	148	152	149	148	148	150	149	147	147

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Control Options

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC, PR and PR7)

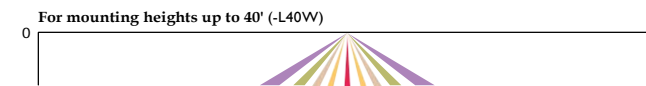
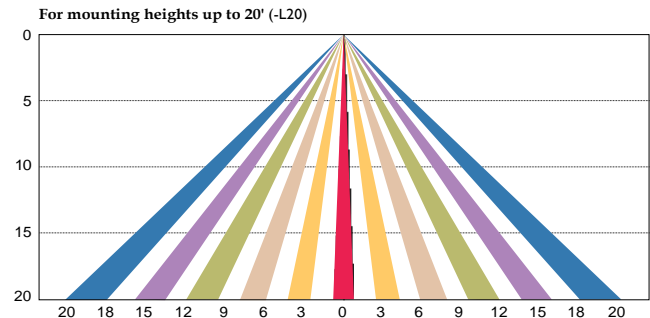
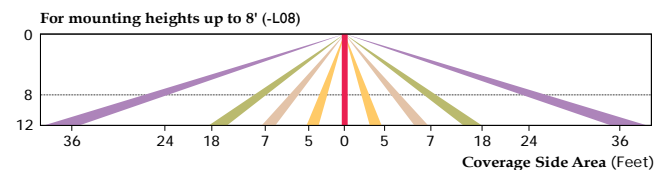
Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

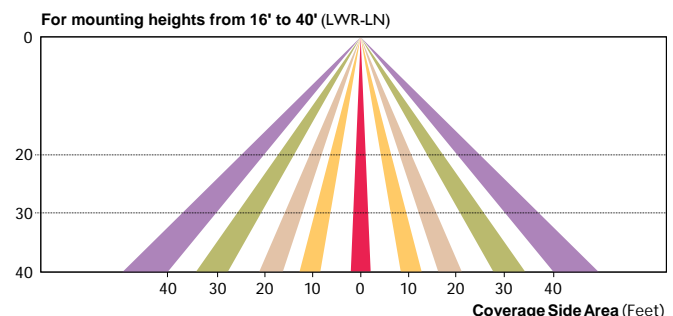
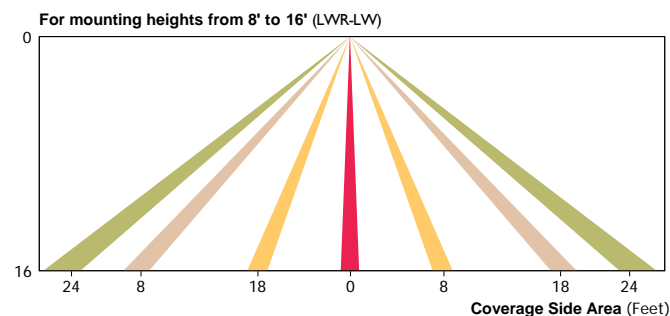
Dimming **Occupancy** **Sensor** **(SPB, MS/DIM-LXX, MS/X-LXX and MS-LXX)**

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN)

Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomical or time schedules based on a 7 day week.

LumenSafe **Integrated** **Network** **Security** **Camera** **(LD)**

Cooper Lighting Solutions brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

Synapse

SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and MS/DC motion sensor; requires additional Synapse system components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty and terms and conditions.

Steel Poles



SSS SQUARE STRAIGHT STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

FE AT U R ES

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
- 10'-39' mounting heights
- Drilled or tenon (specify)

DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

NOTE: The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

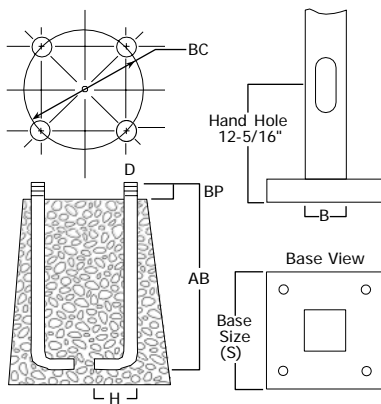
ORDERING INFORMATION

SAMPLE NUMBER: SSA5A20SFM1XG

Product Family	Shaft Size (Inches) ¹	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
SSS=Square Straight Steel	4=4" 5=5" 6=6"	A=0.120" M=0.188" X=0.250"	10=10' 15=15' 20=20' 25=25' 30=30' 35=35' 39=39'	S=Square Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 9=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling N=Type N Drilling R=Type R Drilling S=Standard Upsweep Arm ⁶ Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple ² 4=4 at 90° 5=2 at 90° X=None	X=None 2=2' 3=2.5' 4=4' 6=6' 8=8'	A=1/2" Tapped Hub ³ B=3/4" Tapped Hub ³ C=Convenience Outlet ⁴ E=GFCI Convenience Outlet ⁴ G=Ground Lug H=Additional Hand Hole ⁵ V=Vibration Dampener

NOTES: 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Tapped Hub is located 5' below the pole top and on the same side of pole as hand hole, unless specified otherwise. 4. Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 5. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified. 6. Arm must be ordered separately.

ANCHORAGE DATA



See technical information.

Pole	Template Number	Bolt Number	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)
SSS4	TMP1	AB1	8.5 - 11.0	4	3/4 x 25 x 3
SSS5	TMP1	AB1	11.0	4	3/4 x 25 x 3
SSS6	TMP2	AB3	12.5	4	1 x 36 x 4

EFFECTIVE PROJECTED AREA (At Pole Top)

Mounting Height (Feet)	Catalog Number ^{1,2}	Wall Thickness (Inches)	Base Square ³ (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection ³ (Inches)	Shaft Size ³ (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) ⁴				Max. Fixture Load - Includes Bracket (Pounds)
MH			S	BC	BP	B	D x AB x H		80 mph	90 mph	100 mph	110 mph	
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	30.0	22.0	17.0	13.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	15.0	11.5	8.7	6.5	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	8.7	5.9	3.9	2.5	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	15.4	11.1	7.9	5.5	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.7	1.7	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	9.3	6.0	3.5	1.6	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.9	6.1	3.5	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	4.7	2.1	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	10.4	6.4	3.5	1.5	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.3	1.4	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	19.0	13.0	8.7	5.6	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.8	2.8	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	12.8	7.2	3.7	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.5	11.0	6.8	3.5	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.3	3.0	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	13.0	7.0	3.7	0.8	300

EFFECTIVE PROJECTED AREA (Two Feet Above Pole Top)

Mounting Height (Feet)	Catalog Number ^{1,2}	Wall Thickness (Inches)	Base Square ³ (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection ³ (Inches)	Shaft Size ³ (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) ⁴				Max. Fixture Load - Includes Bracket (Pounds)
MH			S	BC	BP	B	D x AB x H		80 mph	90 mph	100 mph	110 mph	
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	23.0	17.5	14.0	11.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	13.4	10.0	7.5	5.7	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	7.6	5.2	3.4	2.1	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	13.8	9.9	7.1	4.9	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.4	1.6	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	8.5	5.5	3.2	1.5	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.1	5.6	3.0	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	1.8	--	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	9.6	5.9	1.9	0.2	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.1	1.3	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	18.5	12.5	8.4	5.3	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.5	2.4	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	11.8	7.0	3.5	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.0	10.5	6.4	3.4	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.0	2.4	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	12.0	6.7	3.0	0.5	300

NOTES:

1. Catalog number includes pole with hardware kit. Anchor bolts not included. Before installing, make sure proper anchor bolts and templates are obtained.
2. Tenon size or machining for rectangular arms must be specified. Hand hole position relative to drill location.
3. Shaft size, base square, anchor bolts and projections may vary slightly. All dimensions nominal.
4. EPAs based on shaft properties with wind normal to flat. EPAs calculated using base wind velocity as indicated plus 30% gust factor.

VIBRATION

Vibrations may cause damage to structures, including poles. Vibrations are unpredictable, and there are many factors and variables that can cause damaging vibrations. Many wind conditions exist that can create damaging vibrations to poles and luminaires, such as constant winds between 10-30 mph. Although all pole types can experience vibration, straight square poles seem to be most prone. Vibration dampers and/or a round tapered design may be used to mitigate damage from vibrations, but there is no guarantee damaging vibrations will be prevented. Vibration dampers are not included with this pole but can be ordered separately. Consult with a professional, and local and federal standards, to ensure this pole is appropriate for the intended purpose and installation location. Refer to Cooper Lighting Solutions' Light Pole White Paper for risk factors and design considerations.

MAINTENANCE

Perform inspections periodically. A prudent inspection schedule would be: one week after installation, one month after installation, yearly after installation, and following any major wind event. During the inspection, check the poles for cracks. If cracks are detected, remedial action is required. Recheck anchor bolt torques and re-tighten according to the recommended torque values. Check for missing covers and pole caps and replace as necessary. Check the pole for corrosion and deterioration of the finish. Should there be corrosion or deterioration, take remedial action to correct.

WARNING: Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to pole white paper WP513001EN for additional support information. Before installing, make sure proper anchor bolts and templates are obtained. The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty and may result in pole failure causing serious injury or property damage. Information regarding total loading capacity can be supplied upon request. The pole warranty is void unless poles are used and installed as a complete pole and luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

RATIO Wall

RWL1/RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photocontrol, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-Pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500lm and 5500lm configurations at 4000K



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations.

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W.

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Driver RoHS and IP66
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard.

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -25°C to 40°C

RELATED PRODUCTS

[Ratio Family](#) [Ratio Area](#) [Ratio Flood](#)



CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.

CERTIFICATIONS

- Listed to UL 1598 and CSAC 22.2#250.0-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1,300–18,800
Wattage Range	10–155
Efficacy Range (LPW)	119–148
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	6.5/16.5 (2.9/7.5)

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

RATIO WALL

RWL1/RWL2 LED WALLPACK

ORDERING GUIDE

Example: RWL1-48L-10-3K7-2-UNV-BLS-E

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color
RWL1 Ratio Wall 1	48L-10 1,000 Lumens ⁴	3K7 3000K, 70 CRI	2 IES TYPE II ¹	UNV 120-277V	BLT Black Matte Textured
	48L-15 2,000 Lumens ⁴	4K7 4000K, 70 CRI	3 IES TYPE III	120 120V	BLS Black Gloss Smooth
	48L-20 2,500 Lumens ⁴	5K7 5000K, 70 CRI	4W IES TYPE IV	208 208V	DBT Dark Bronze Matte Textured
	48L-25 3,500 Lumens ⁴			240 240V	DBS Dark Bronze Gloss Smooth
	48L-35 4,500 Lumens			277 277V	GTT Graphite Matte Textured
	48L-45 5,500 Lumens			347 347V	LGS Light Grey Gloss Smooth
RWL2 Ratio Wall 2	160L-45 6,500 Lumens			480 480V	LGT Light Grey Matte Textured
	160L-50 7,500 Lumens				PSS Platinum Silver Smooth
	160L-65 9,500 Lumens				WHT White Matte Textured
	160L-80 11,000 Lumens				WHS White Gloss Smooth
	160L-95 13,000 Lumens				VGT Verde Green Textured
	160L-115 15,000 Lumens				Color Option
	160L-135 17,500 Lumens				CC Custom Color
	160L-155 19,500 Lumens				

Control Options Network	
NXWE	NX Wireless Enabled (module + radio) ^{4,7}
NXSPW_F	NX Wireless, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
NXSP_F	NX, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
WIR	Wireless Controls, wiSCAPE™ ^{2,6}
Stand Alone Sensors	
SCP-8F	Remote control programmable line voltage sensor ^{3,4}
SCP-20F	Remote control programmable line voltage sensor ^{3,4}
Control Options	
7PR_	7-Pin Receptacle ⁸

Options	
F	Fusing ³
E	Emergency Battery Backup ^{7,8,9}
EH	Emergency Battery w/ Heater Option ^{7,8}
2DR	Dual Driver ^{4,6}
2PF	Dual Power Feed ^{4,6}
PC	Button Photocontrol ⁸

Notes:

- Only available with RWL2
- wiSCAPE Gateway required for system programming
- Specific voltage selection is required
- Not available with 347/480V
- Replace " " with "14" for up to 14' mounting height, "40" for up to 40' mounting height
- This item is located in the integral backbox which will be automatically added onto the fixture if chosen.
- This item is located in the integral backbox for RWL1 configurations only.
- Option only available at 120 or 277V

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Finish
RWL1-48L-25-4K-3	3500lm	25	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-25-4K-4W	3500lm	25	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured
RWL1-48L-45-4K-3	5500lm	45	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-45-4K-4W	5500lm	45	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured

CONTROLS

Control Options	
Standalone	
SCPREMOTE	Order at least one per project location to program and control

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> WP-BB-XXX	Accessory for conduit entry ¹

Notes:

- replace "xxx" with color option

RATIO WALL

RWL1/RWL2 LED WALLPACK

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RWL1	10	10.1	3	1362	135	0	0	1	1355	134	0	0	1	1303	129	0	0	1
			4W	1343	133	0	0	1	1336	132	0	0	1	1285	127	0	0	1
	15	14.5	3	1972	136	1	0	1	1962	135	1	0	1	1887	130	1	0	1
			4W	1945	134	0	0	1	1935	133	0	0	1	1861	128	0	0	1
	20	19.9	3	2722	137	1	0	1	2709	136	1	0	1	2605	131	1	0	1
			4W	2685	135	1	0	1	2672	134	1	0	1	2569	129	1	0	1
	25	28.0	3	3749	134	1	0	1	3732	133	1	0	1	3588	128	1	0	1
			4W	3698	132	1	0	1	3680	131	1	0	1	3538	126	1	0	1
	35	36.9	3	4751	129	1	0	2	4728	128	1	0	2	4546	123	1	0	1
			4W	4685	127	1	0	2	4663	126	1	0	2	4483	121	1	0	2
	45	46.5	3	5812	125	1	0	2	5784	124	1	0	2	5562	120	1	0	2
			4W	5731	123	1	0	2	5704	123	1	0	2	5485	118	1	0	2
RWL2	45	46.1	2	6701	145	1	0	2	6668	145	1	0	2	6412	139	1	0	2
			3	6812	148	1	0	2	6780	147	1	0	2	6519	141	1	0	2
			4W	6678	145	1	0	2	6646	144	1	0	2	6390	139	1	0	2
	50	54.0	2	7747	143	1	0	2	7710	143	1	0	2	7413	137	1	0	2
			3	7876	146	1	0	2	7838	145	1	0	2	7537	140	1	0	2
			4W	7720	143	1	0	2	7683	142	1	0	2	7388	137	1	0	2
	65	67.2	2	9539	142	1	0	2	9494	141	1	0	2	9129	136	1	0	2
			3	9699	144	2	0	2	9652	144	2	0	2	9281	138	2	0	2
			4W	9507	141	2	0	2	9461	141	2	0	2	9097	135	2	0	2
	80	80.8	2	11228	139	2	0	2	11174	138	2	0	2	10745	133	2	0	2
			3	11416	141	2	0	2	11361	141	2	0	2	10924	135	2	0	2
			4W	11190	138	2	0	2	11136	138	2	0	2	10708	133	2	0	2
	95	93.2	2	13148	141	2	0	2	13085	140	2	0	2	12582	135	2	0	2
			3	13368	143	2	0	2	13304	143	2	0	2	12792	137	2	0	2
			4W	13103	141	2	0	2	13040	140	2	0	2	12539	135	2	0	2
	115	109.8	2	15102	138	2	0	3	15030	137	2	0	3	14452	132	2	0	3
			3	15354	140	2	0	3	15281	139	2	0	3	14693	134	2	0	3
			4W	15050	137	2	0	3	14978	136	2	0	3	14402	131	2	0	3
	135	137.1	2	17533	128	2	0	3	17449	127	2	0	3	16778	122	2	0	3
			3	17826	130	2	0	3	17740	129	2	0	3	17058	124	2	0	3
			4W	17473	127	2	0	3	17389	127	2	0	3	16720	122	2	0	3
	155	156.8	2	19495	124	2	0	3	19402	124	2	0	3	18656	119	2	0	3
			3	19821	126	2	0	3	19726	126	2	0	3	18967	121	2	0	3
			4W	19542	125	2	0	3	19448	124	2	0	3	18700	119	2	0	3

RATIO WALL

RWL1/RWL2 LED WALLPACK

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL1	10	120	0.08	10.1
		208	0.05	
		240	0.04	
		277	0.04	
		347	0.03	
		480	0.02	
	15	120	0.12	14.5
		208	0.07	
		240	0.06	
		277	0.05	
		347	0.04	
		480	0.03	
	20	120	0.17	19.9
		208	0.10	
		240	0.08	
		277	0.07	
		347	0.06	
		480	0.04	
	25	120	0.23	28.0
		208	0.13	
		240	0.12	
		277	0.10	
		347	0.08	
		480	0.06	
	35	120	0.31	36.9
		208	0.18	
		240	0.15	
		277	0.13	
		347	0.11	
		480	0.08	
	45	120	0.39	46.5
		208	0.22	
		240	0.19	
		277	0.17	
		347	0.13	
		480	0.10	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL2	45	120	0.38	46.1
		208	0.22	
		240	0.19	
		277	0.17	
		347	0.13	
		480	0.10	
	50	120	0.45	54.0
		208	0.26	
		240	0.23	
		277	0.19	
		347	0.16	
		480	0.11	
	65	120	0.56	67.2
		208	0.32	
		240	0.28	
		277	0.24	
		347	0.19	
		480	0.14	
	80	120	0.67	80.8
		208	0.39	
		240	0.34	
		277	0.29	
		347	0.23	
		480	0.17	
	95	120	0.78	93.2
		208	0.45	
		240	0.39	
		277	0.34	
		347	0.27	
		480	0.19	
	115	120	0.92	109.8
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.14	137.1
		208	0.66	
		240	0.57	
		277	0.49	
		347	0.40	
		480	0.29	
	155	120	1.31	156.8
		208	0.75	
		240	0.65	
		277	0.57	
		347	0.45	
		480	0.33	

RATIO WALL

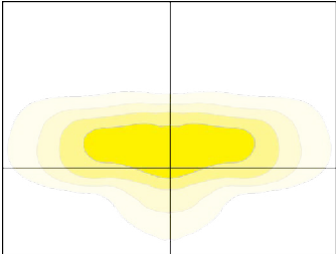
RWL1/RWL2 LED WALLPACK

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

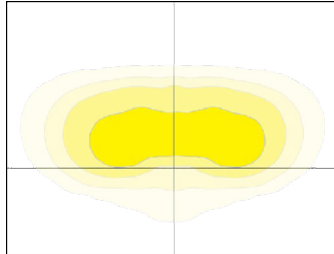
PHOTOMETRY

Mounting Height: 30ft

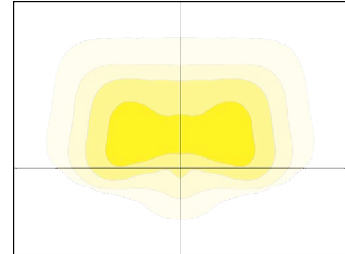
Type II



Type III

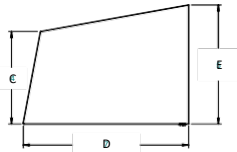
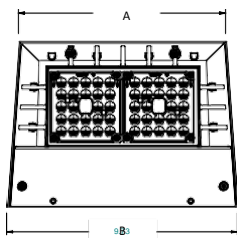


Type VI



DIMENSIONS

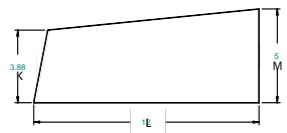
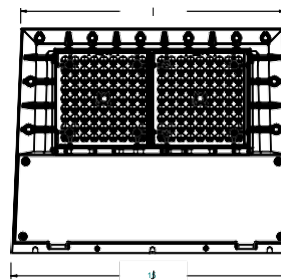
RWL1



A	B	C	D	E
8.7"	9.7"	3.9"	7.0"	5.0"
221mm	246mm	99mm	178mm	127mm

Weight
6.5 lbs (2.95 kgs)

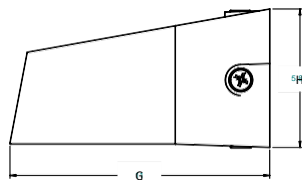
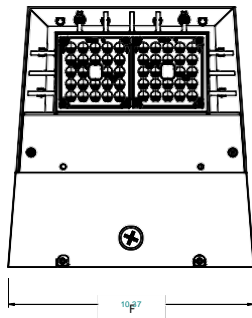
RWL2



I	J	K	L	M
14.0"	15.0"	3.9"	12.0"	5.0"
356mm	381mm	99mm	305mm	127mm

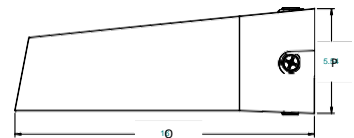
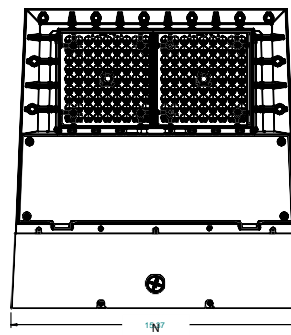
Weight
16.5 lbs (7.48 kgs)

RWL1 with
Integral Back Box



F	G	H
10.4"	11.0"	5.9"
264mm	279mm	150mm

RWL2 with
Integral Back Box



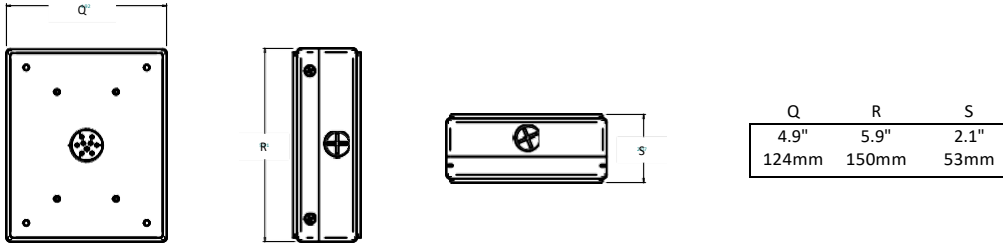
N	O	P
15.4"	16.0"	5.5"
391mm	406mm	140mm

RATIO WALL

RWL1/RWL2 LED WALLPACK

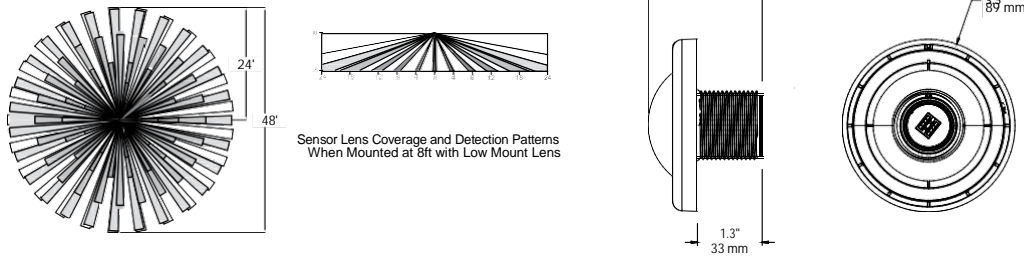
DIMENSIONS (CONTINUED)

Back Box Accessory

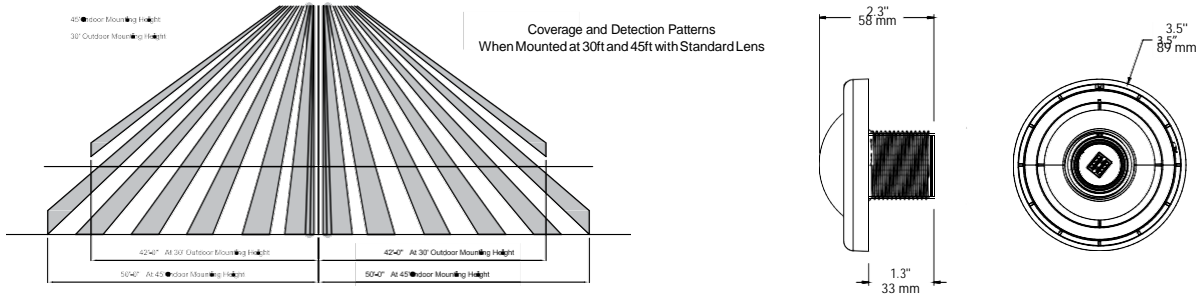


ADDITIONAL INFORMATION

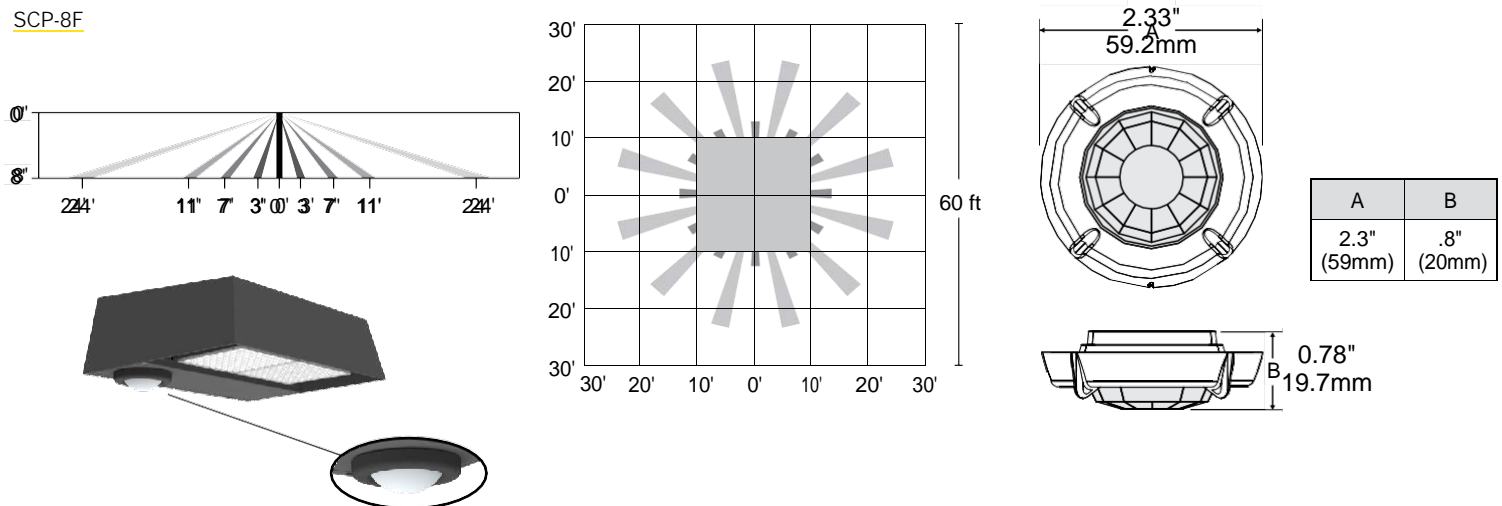
NXSP-14F



NXSP-40F



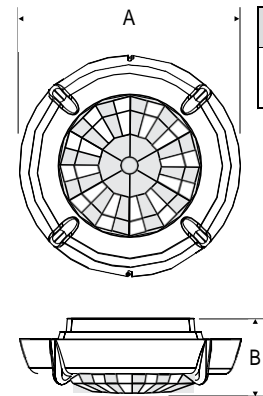
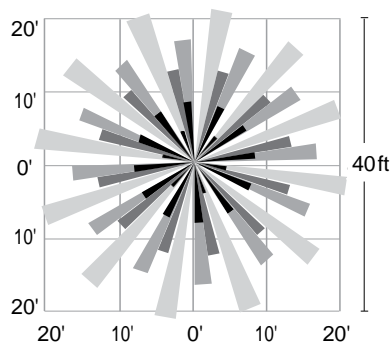
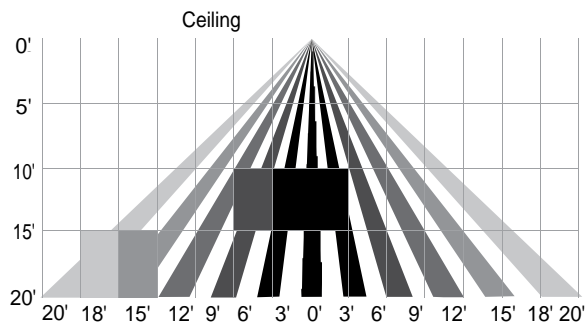
SCP-8F



RATIO WALL

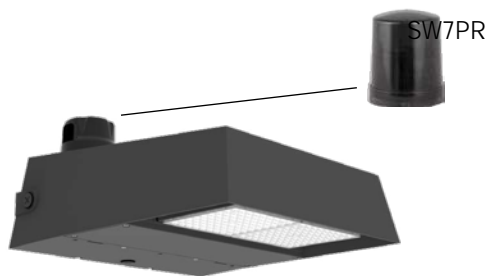
RWL1/RWL2 LED WALLPACK

SCP-20F



A	B
2.3" (59mm)	.8" (20mm)

SITESYNC 7-PIN MODULE



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)



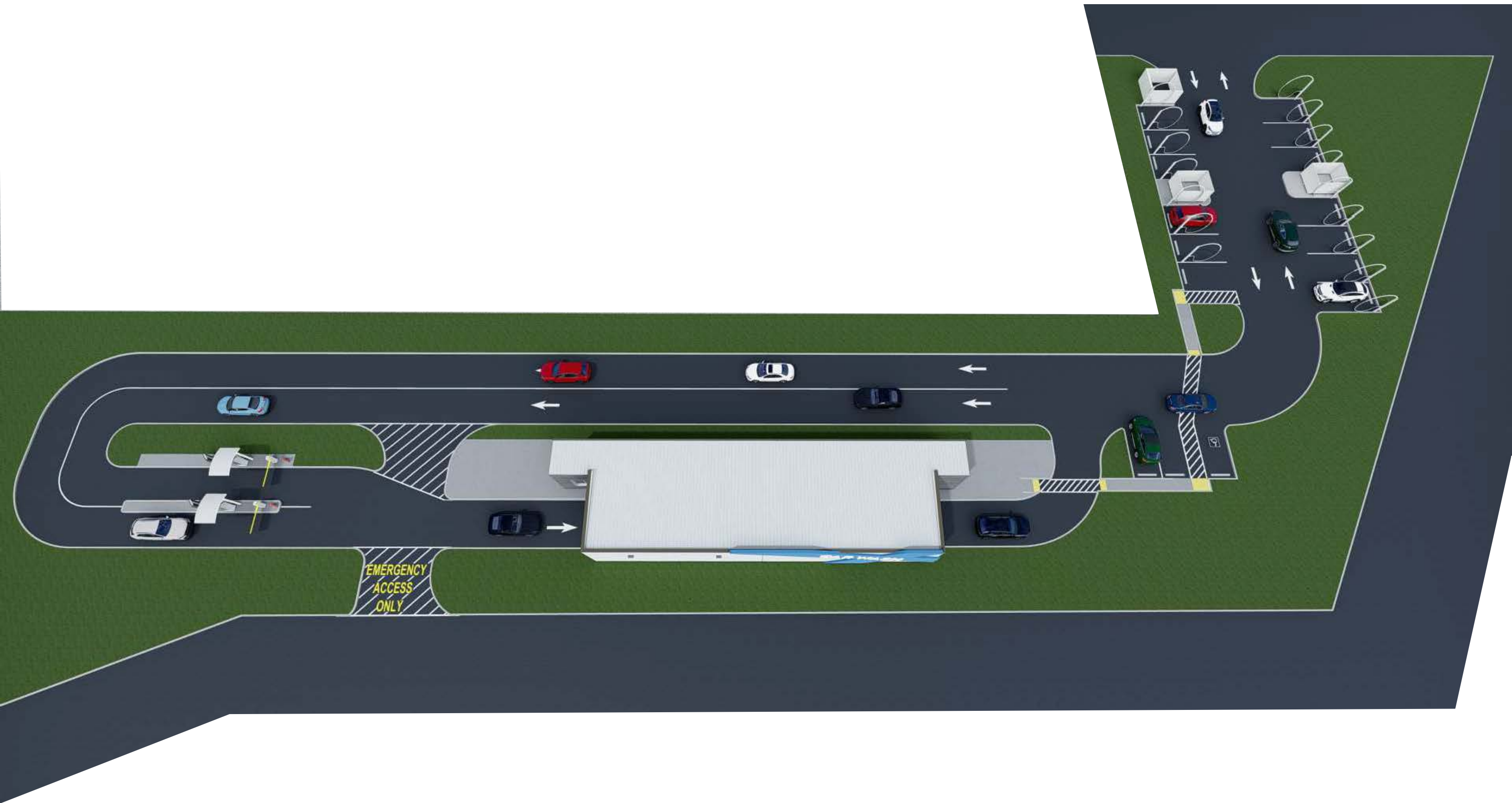
Exit View Champion Xpress-CO-Cortez (Canyon)



Entrance View Champion Xpress-CO-Cortez (Canyon)



Side View Champion Xpress-CO-Cortez (Canyon)



Aerial View Champion Xpress-CO-Cortez (Canyon)

TRAFFIC IMPACT STUDY

For

Champion Xpress Car Wash
Cortez, Colorado

May 2022

Prepared for:

7B Building & Development
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I. Introduction

Project Overview

This traffic impact study is provided as a planning document and addresses the capacity, geometric, and control requirements associated with the development entitled Champion Xpress Car Wash.

This proposed service retail development is understood to entail the new construction of an approximate 3,320 square foot, single tunnel, automated car wash with outdoor vacuum bays. The development is located near the southwest corner of S Broadway and Canyon Drive in Cortez, Colorado.

Study Area Boundaries

The study area to be examined in this analysis was coordinated with Stolfus & Associates, Inc., on behalf of CDOT Staff, and encompasses the Canyon Drive intersections with S Broadway and proposed site access.

Figure 1 illustrates location of the site and study intersections.

Site Description

Land for the development is currently vacant and surrounded by a mix of residential, commercial, lodging, and institutional land uses.

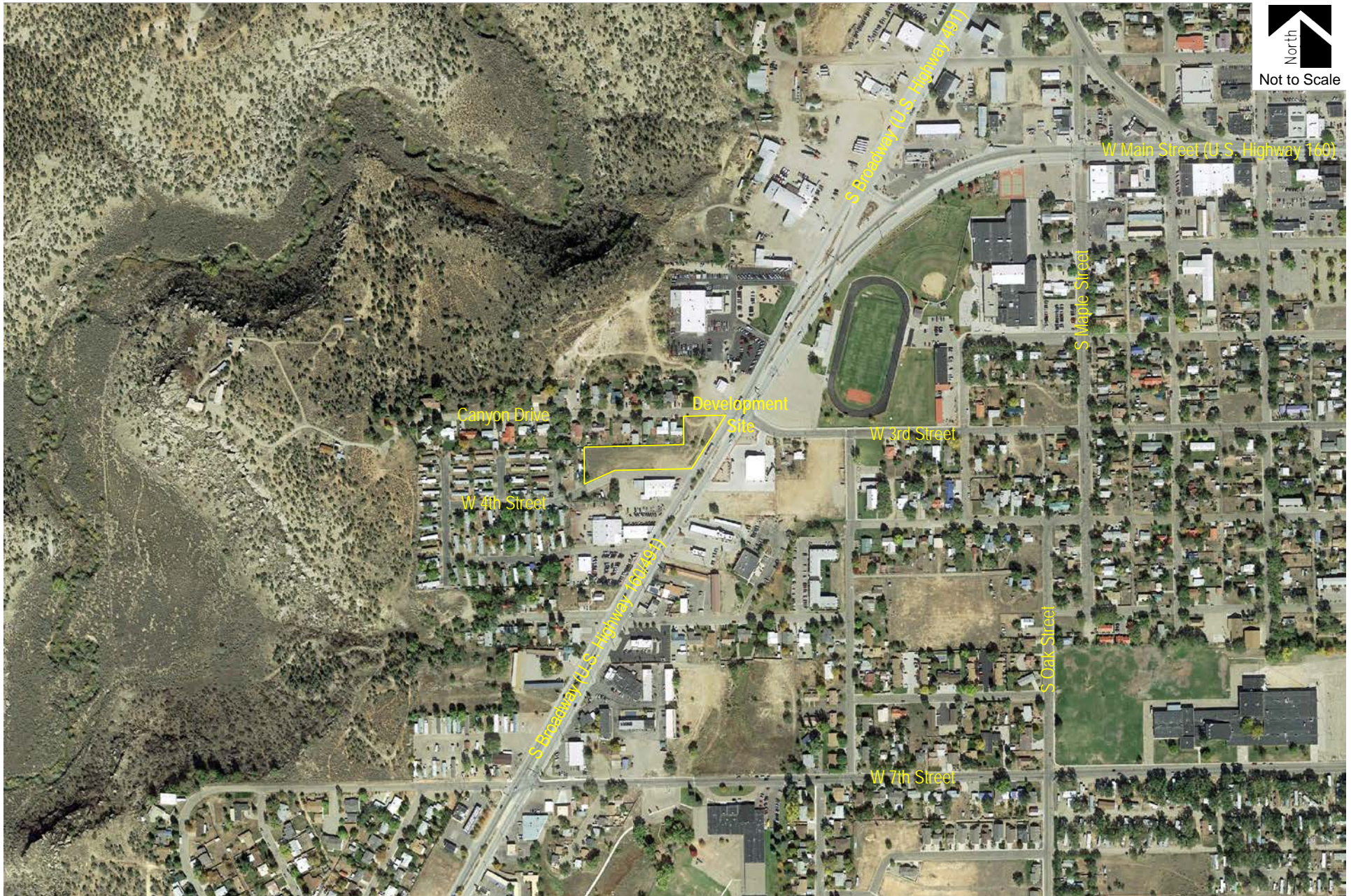
The proposed development is understood to entail the new construction of an approximate 3,320 square foot, single tunnel, automated Champion Xpress Car Wash facility with associated outdoor vacuum stalls.

Proposed access to the development is provided via one full-movement access onto Canyon Drive (referred to as Site Access).

For purposes of this study, it is anticipated that development construction would be completed by end of Year 2024.

General site and access locations are shown on Figure 1.

A preliminary site plan, as prepared by Baseline Engineering Corporation, is shown on Figure 2. This plan is provided for illustrative purposes only.



CHAMPION XPRESS CAR WASH

Traffic Impact Study

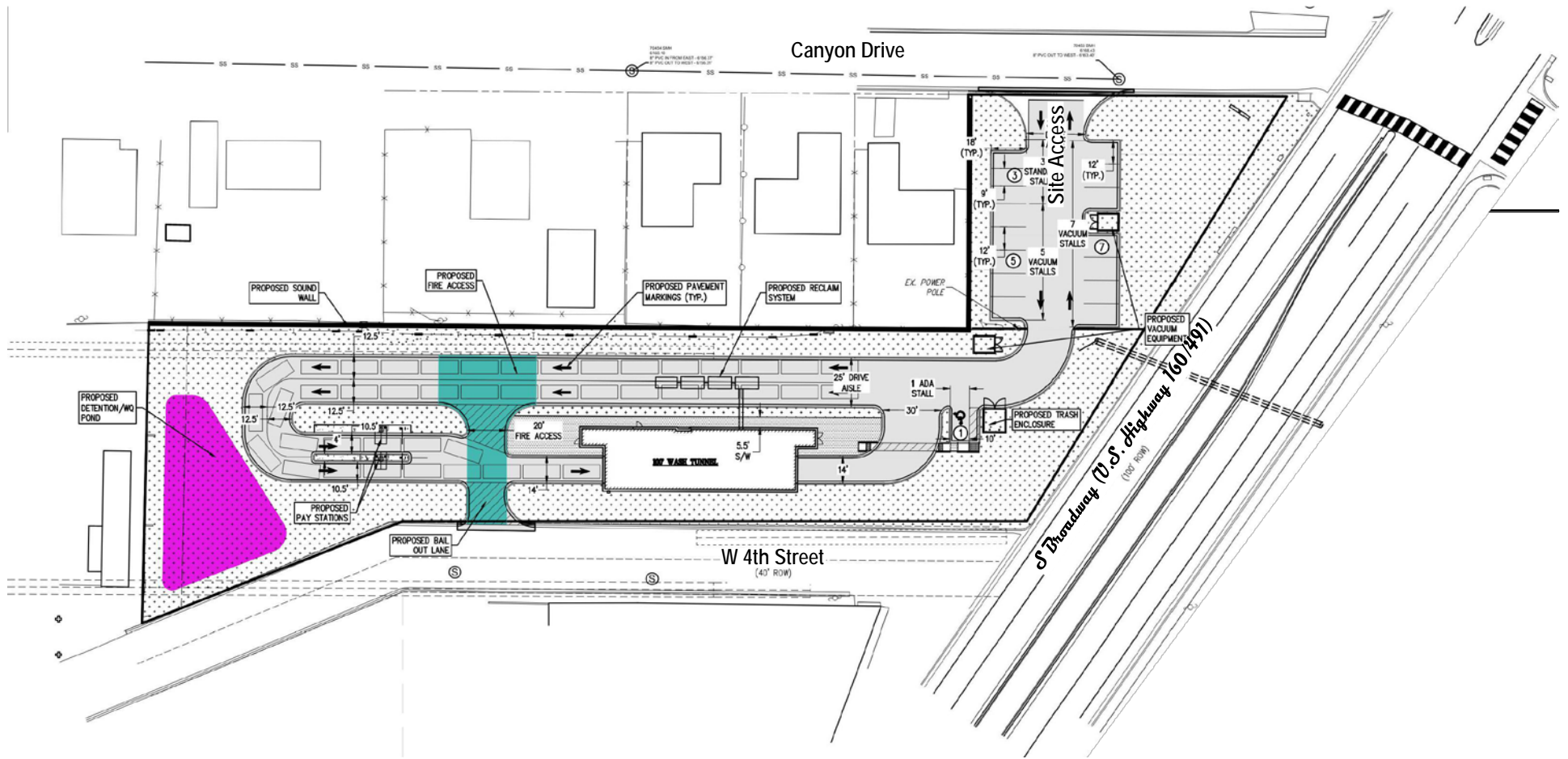
SM ROCHA, LLC

Traffic and Transportation Consultants

Figure 1
SITE LOCATION

May 2022

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Existing and Committed Surface Transportation Network

Within the study area, Canyon Drive is the primary roadway that will accommodate traffic to and from the proposed development. The secondary roadway includes S Broadway. A brief description of both roadways, based on the City of Cortez Master Street Plan¹, is provided below:

Canyon Drive is an east-west local roadway having two through lanes (one lane in each direction) with shared turn lanes at the intersection within the study area. Canyon Drive provides a posted speed limit of 20 MPH. Canyon Drive ends at S Broadway and continues east as W 3rd Street with a collector roadway classification.

S Broadway is a north-south state and federal roadway (U.S. Highway 160) having four through lanes (two lanes in each direction) with a combination of shared and exclusive turn lanes at the intersection within the study area. The Colorado Department of Transportation (CDOT) categorizes the adjacent segment of S Broadway (U.S. Highway 160) as a Non-Rural Arterial (NR-B) and provides a posted speed limit of 40 MPH.

The study intersection of Canyon Drive and S Broadway is unsignalized and operates under stop-controlled conditions for the eastbound and westbound approaches. A stop-controlled intersection is defined as a roadway intersection where vehicle rights-of-way are controlled by one or more "STOP" signs. S Broadway is a free-flow condition with the exception that there are existing warning signs with supplemental Rapid Repeating Flashing Beacons (RRFB) and pedestrian push buttons serving the marked crosswalk on the south side of the intersection. RRFB provide additional visual warning to the presence of a pedestrian traveling within the marked crosswalk.

No regional or specific improvements for the above-described roadways are known to be planned or committed at this time. The study area roadways appear to be built to their ultimate cross-sections.

¹ City of Cortez Master Street Plan, City of Cortez, August 2021.

II. Existing Traffic Conditions

Afternoon (PM) peak hour traffic counts were collected on both a weekday and Saturday at the intersection of Canyon Drive and S Broadway. Average daily traffic (ADT) volumes were collected over a 24-hour period during the week on S Broadway. Counts were collected on Thursday, April 28, 2022, with PM peak hour counts being collected during the period of 4:00 p.m. to 6:00 p.m. Weekend peak hour counts were collected on Saturday, April 30, 2022, during the period of 11:00 a.m. to 1:00 p.m.

Existing volumes and intersection geometry are shown on Figure 3. Traffic count data is included for reference in Appendix A.

LEGEND

- Study Intersection Volumes
- Study Intersection Lane Geometry
- Development Site

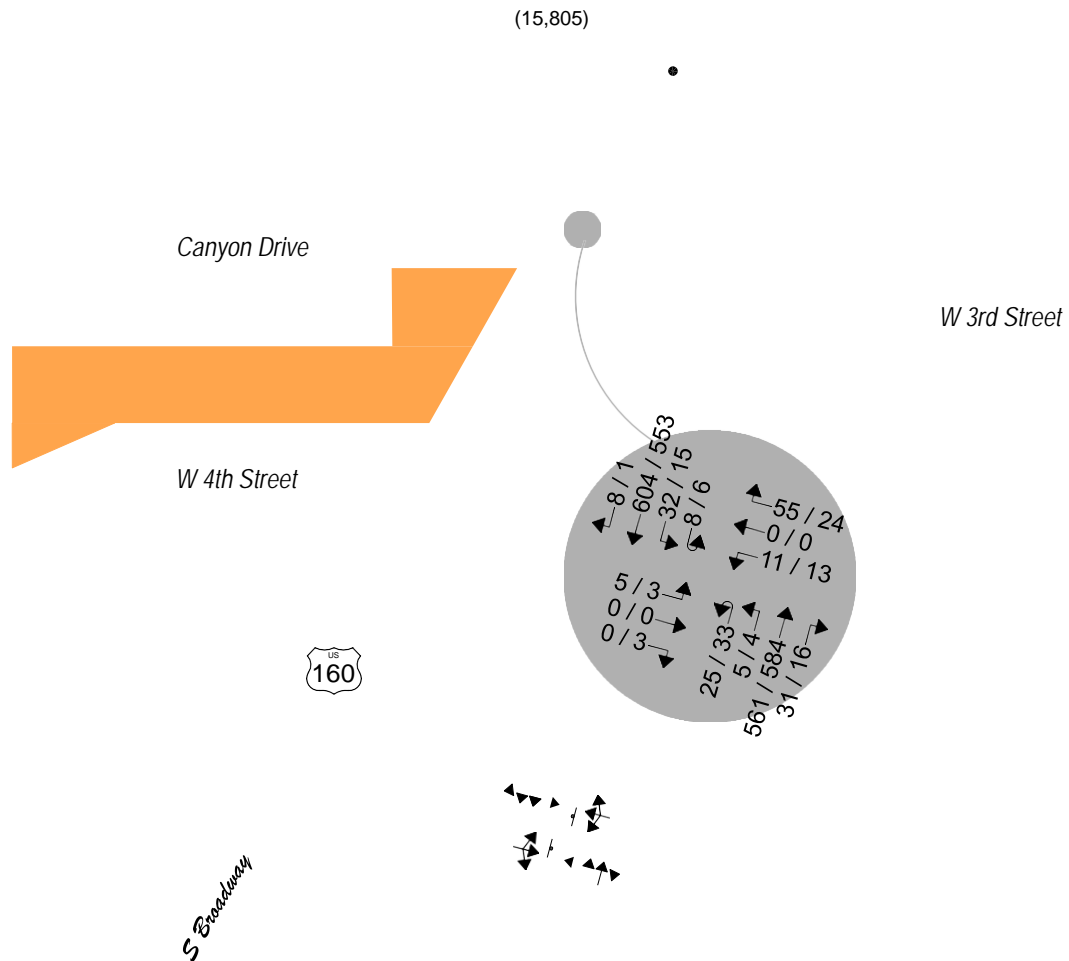


Figure 3
EXISTING TRAFFIC
 Volumes & Intersection Geometry
 PM / Saturday Peak Hour
 (ADT) : Average Daily Traffic



Peak Hour Intersection Levels of Service – Existing Traffic

The Unsignalized Intersection Analysis technique, as published in the Highway Capacity Manual (HCM), 6th Edition, by the Transportation Research Board and as incorporated into the SYNCHRO computer program, was used to analyze the study intersection for existing and future traffic conditions. This nationally accepted technique allows for determination of intersection level of service (LOS) based on the congestion and delay of each traffic movement.

Level of service is a method of measurement used by transportation professionals to quantify a driver's perception of travel conditions that include travel time, number of stops, and total amount of stopped delay experienced on a roadway network. The HCM categorizes level of service into a range from "A" which indicates little, if any, vehicle delay, to "F" which indicates a level of operation considered unacceptable to most drivers. These levels of service grades with brief descriptions of the operating condition, for unsignalized and signalized intersections, are included for reference in Appendix B and have been used throughout this study.

The level of service analyses results for existing conditions are summarized in Table 1.

Intersection capacity worksheets developed for this study are provided in Appendix C.

Table 1 – Intersection Capacity Analysis Summary – Existing Traffic

INTERSECTION LANE GROUPS	LEVEL OF SERVICE	
	PM PEAK HOUR	SATURDAY PEAK HOUR
Canyon Drive / S Broadway (Stop-Controlled)		
Eastbound Left, Through and Right	D	C
Westbound Left, Through and Right	C	C
Northbound Left	B	B
Southbound Left	A	A

Key : Stop-Controlled Intersection: Level of Service

Existing Traffic Analysis Results

Under existing conditions, operational analysis shows that the stop-controlled intersection of Canyon Drive with S Broadway has turning movement operations at or better than LOS D during the weekday afternoon peak traffic hour and LOS C or better during the Saturday peak traffic hour.

III. Future Traffic Conditions Without Proposed Development

Background traffic is the traffic projected to be on area roadways without consideration of the proposed development. Background traffic includes traffic generated by development of vacant parcels in the area.

To account for projected increases in background traffic for Years 2024 and 2042, a compounded annual growth rate was determined using historical traffic data along the adjacent segment of S Broadway (U.S. Highway 160) provided by CDOT's Online Transportation Information System (OTIS), which indicates a 20-year growth rate of less than one percent. Therefore, in order to provide for a conservative analysis, a growth rate of one percent was applied to existing traffic volumes. This annual growth rate is assumed to account for regional growth projections and the level of in-fill development expected within the area.

It is important to note that ingress and egress traffic volumes at the Canyon Drive and S Broadway intersection are not subject to annual growth patterns since this west leg of the intersection does not provide connection to other roadways, and therefore does not serve regional traffic. However, application of the one percent growth rate continues to provide for a conservative analysis.

Pursuant to the area roadway improvements discussed in Section I, Year 2024 and Year 2042 background traffic conditions assume no roadway improvements to accommodate regional transportation demands. This assumption provides for a conservative analysis.

Projected background traffic volumes and intersection geometry for Years 2024 and 2042 are shown on Figure 4 and Figure 5, respectively.

LEGEND

- Study Intersection Volumes
- Study Intersection Lane Geometry
- Development Site

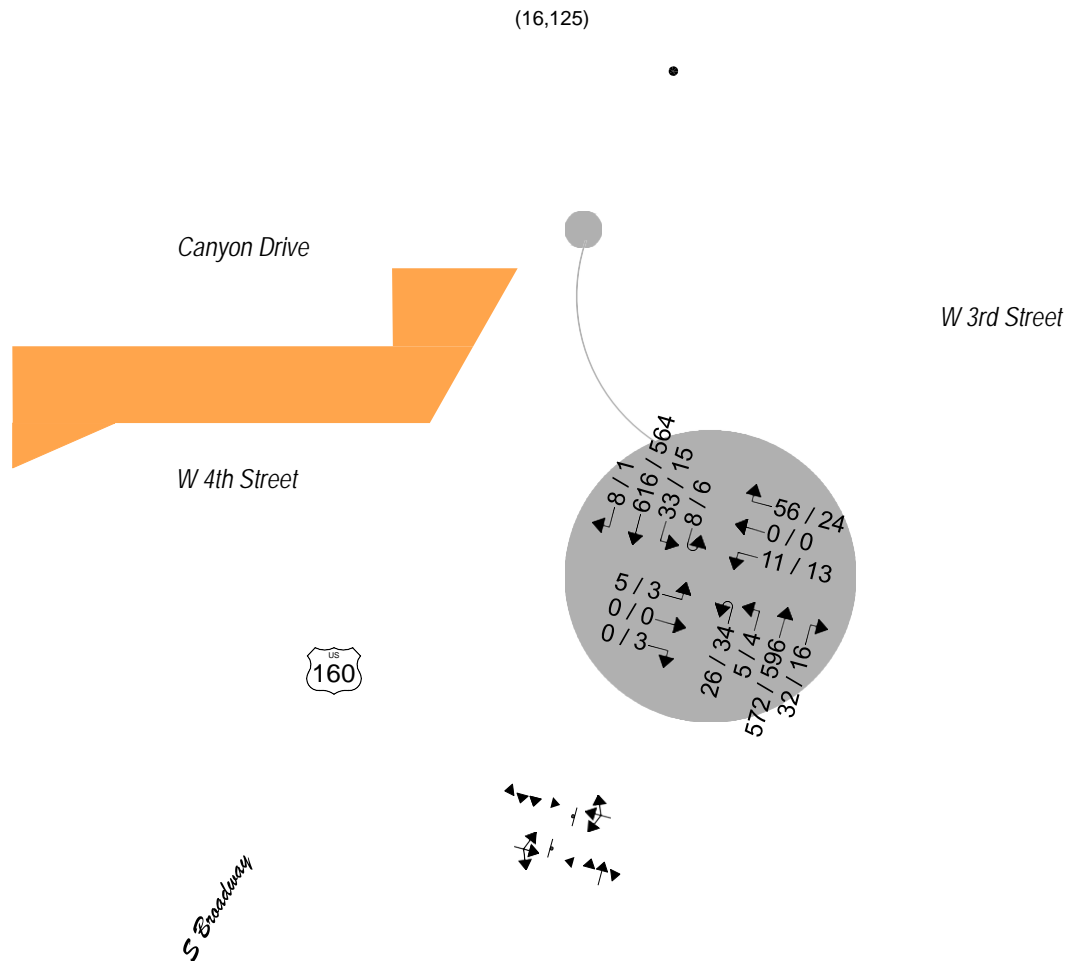


Figure 4
BACKGROUND TRAFFIC - YEAR 2024
 Volumes & Intersection Geometry
 PM / Saturday Peak Hour
 (ADT) : Average Daily Traffic



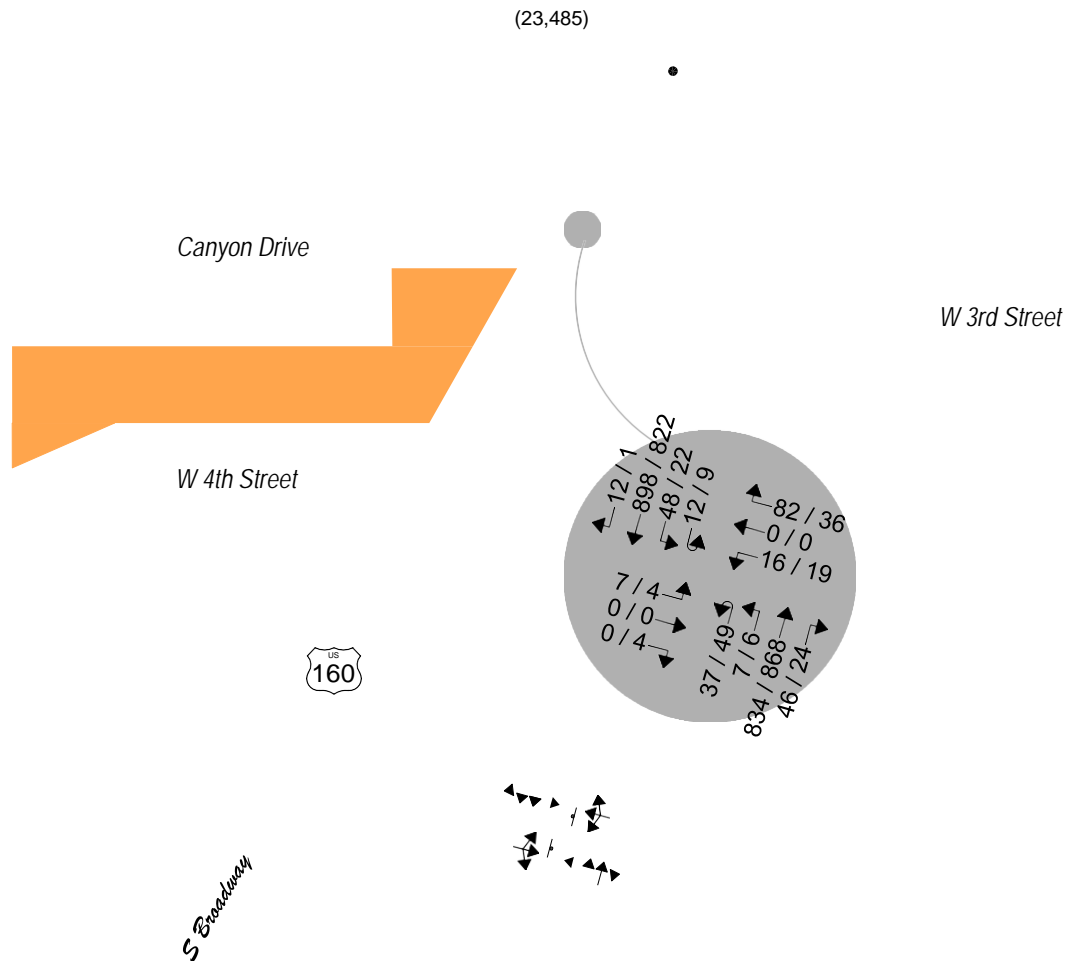


Figure 5
BACKGROUND TRAFFIC - YEAR 2042
 Volumes & Intersection Geometry
 PM / Saturday Peak Hour
 (ADT) : Average Daily Traffic



Peak Hour Intersection Levels of Service – Background Traffic

As with existing traffic conditions, the operations of study intersections were analyzed under background conditions, without the proposed development, using the SYNCHRO computer program.

Background traffic level of service analysis results for Year 2024 are listed in Table 2. Year 2042 operational results are summarized in Table 3.

Definitions of levels of service are given in Appendix B. Intersection capacity worksheets are provided in Appendix C.

Table 2 – Intersection Capacity Analysis Summary – Background Traffic – Year 2024

INTERSECTION LANE GROUPS	LEVEL OF SERVICE	
	PM PEAK HOUR	SATURDAY PEAK HOUR
Canyon Drive / S Broadway (Stop-Controlled)		
Eastbound Left, Through and Right	D	C
Westbound Left, Through and Right	C	C
Northbound Left	B	B
Southbound Left	A	A

Key : Stop-Controlled Intersection: Level of Service

Background Traffic Analysis Results – Year 2024

Year 2024 background traffic analysis indicates that the stop-controlled intersection of Canyon Drive with S Broadway experiences turning movement operations at or better than LOS D during the weekday afternoon peak traffic hour and LOS C or better during the Saturday peak traffic hour.

Table 3 – Intersection Capacity Analysis Summary – Background Traffic – Year 2042

INTERSECTION LANE GROUPS	LEVEL OF SERVICE	
	PM PEAK HOUR	SATURDAY PEAK HOUR
Canyon Drive / S Broadway (Stop-Controlled)		
Eastbound Left, Through and Right	F	E
Westbound Left, Through and Right	E	E
Northbound Left	C	C
Southbound Left	B	B

Key : Stop-Controlled Intersection: Level of Service

Background Traffic Analysis Results – Year 2042

By Year 2042 and without the proposed development, the study intersection of Canyon Drive with S Broadway anticipates LOS C or better turning movement operations during the weekday afternoon and Saturday peak traffic hours. Exceptions would include the eastbound and westbound turning movements which operate at LOS E and LOS F during their respective peak hours. The LOS E and LOS F operations are attributed to the through traffic volume along S Broadway and the stop-controlled nature of the intersection.

It is to be noted that it is not uncommon for unsignalized movements to or from an arterial roadway, in urban areas, to operate with noticeable delays during peak traffic hours. It is, however, likely that turn movements will operate better than the results obtained with this HCM Two-Way Stop-Control (TWSC) level of service analysis would indicate, as the HCM analysis may not accurately account for the effect of vehicle platooning and gaps caused by upstream signals.

IV. Proposed Project Traffic

Trip Generation

Standard traffic generation characteristics compiled by the Institute of Transportation Engineers (ITE) in their report entitled Trip Generation Manual, 11th Edition, were applied to the proposed land use in order to estimate average daily traffic (ADT), PM Peak Hour, and Saturday Peak Hour vehicle trips. A vehicle trip is defined as a one-way vehicle movement from a point of origin to a point of destination.

The ITE land use code 948 (Automated Car Wash) was used for estimating trip generation because of its conservative rates and best fit to the proposed land use description.

Trip generation rates used in this study are presented in Table 4.

Table 4 – Trip Generation Rates

ITE CODE	LAND USE	UNIT	TRIP GENERATION RATES						
			24 HOUR	PM PEAK HOUR			SATURDAY PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
948	Automated Car Wash	WS	592.50	38.75	38.75	77.50	18.86	22.14	41.00

Key: WS = Wash Stalls.

Table 5 illustrates projected ADT, weekday PM Peak Hour, and Saturday PM Peak Hour traffic volumes likely generated by the proposed development upon build-out.

Table 5 – Trip Generation Summary

ITE CODE	LAND USE	SIZE	TOTAL TRIPS GENERATED						
			24 HOUR	PM PEAK HOUR			SATURDAY PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
948	Automated Car Wash	1 WS	593	39	39	78	19	22	41
<i>Total:</i>			593	39	39	78	19	22	41

Key: WS = Wash Stalls.

Note: All data and calculations above are subject to being rounded to nearest value.

Upon build-out, Table 5 illustrates that the proposed development has the potential to generate approximately 593 daily vehicle trips with 78 of those occurring during the weekday afternoon peak hour and 41 during the Saturday afternoon peak hour.

Adjustments to Trip Generation Rates

A development of this type is likely to attract trips from within area land uses as well as pass-by trips from the adjacent roadway system. ITE defines a pass-by trip as an intermediate stop on the way from an origin to a primary trip destination without a route diversion. Due to this behavior, pass-by trips are not considered as “new” traffic generated by the development since the trips are already present on the roadway network enroute to their primary destination.

However, ITE’s Trip Generation Manual, 3rd Edition, does not provide pass-by trip data for the proposed land use. Upon consideration of the proposed land use description, an estimated 10 percent reduction was applied in order to account for the probability of pass-by trip generation.

Table 6 illustrates projected ADT, weekday PM Peak Hour, and Saturday PM Peak Hour traffic volumes likely generated by the proposed development upon build-out with a reduction applied due to the probability of pass-by trips.

Table 6 – Trip Generation Summary with Pass-By Trip Reductions

ITE CODE	LAND USE	SIZE	TOTAL NEW TRIPS GENERATED						
			24 HOUR	PM PEAK HOUR			SATURDAY PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
948	Automated Car Wash	1 WS	593	39	39	78	19	22	41
	<i>Pass-By Trip Reduction:</i>		10%	10%	10%	10%	10%	10%	10%
	<i>Total New Trips:</i>		533	35	35	69	17	20	37

Key: WS = Wash Stalls.

Note: All data and calculations above are subject to being rounded to nearest value.

Upon build-out and with consideration for pass-by trip reductions, Table 6 illustrates that the proposed development has the potential to generate approximately 533 new daily trips with 69 of those occurring during the weekday afternoon peak hour and 37 during the Saturday afternoon peak hour.

Trip Distribution

The overall directional distribution of site-generated traffic was determined based on the location of development site within the City, proposed and existing area land uses, allowed turning movements, available roadway network, distribution patterns of existing traffic count data, and in reference to historical traffic count data provided by CDOT’s Traffic Count Database System (TCDS)².

² Transportation Data Management System, MS2, 2022.

Additional pass-by trip distribution is assumed to include vehicle routes heading north-south along S Broadway. Distribution percentages utilized for pass-by trips are assumed to be approximately 50 percent from the north and south.

Overall trip distribution patterns for the development are shown on Figure 6.

Trip Assignment

Trip assignment is how generated and distributed vehicle trips are expected to be loaded onto the available roadway network.

Applying trip distribution patterns to site-generated traffic provides the overall site-generated trip assignments shown on Figure 6.

It is to be noted that the overall site-generated trip assignments shown on Figure 6 represent the combination of both primary trip generation and pass-by trips. Due to the application of pass-by trips, some negative site-generated trips may be shown at the study intersections. These negative trips are the result of redistributing existing through volumes along S Broadway to site-generated ingress volumes.

LEGEND



Study Intersection
Volumes



Development Site



Not to Scale

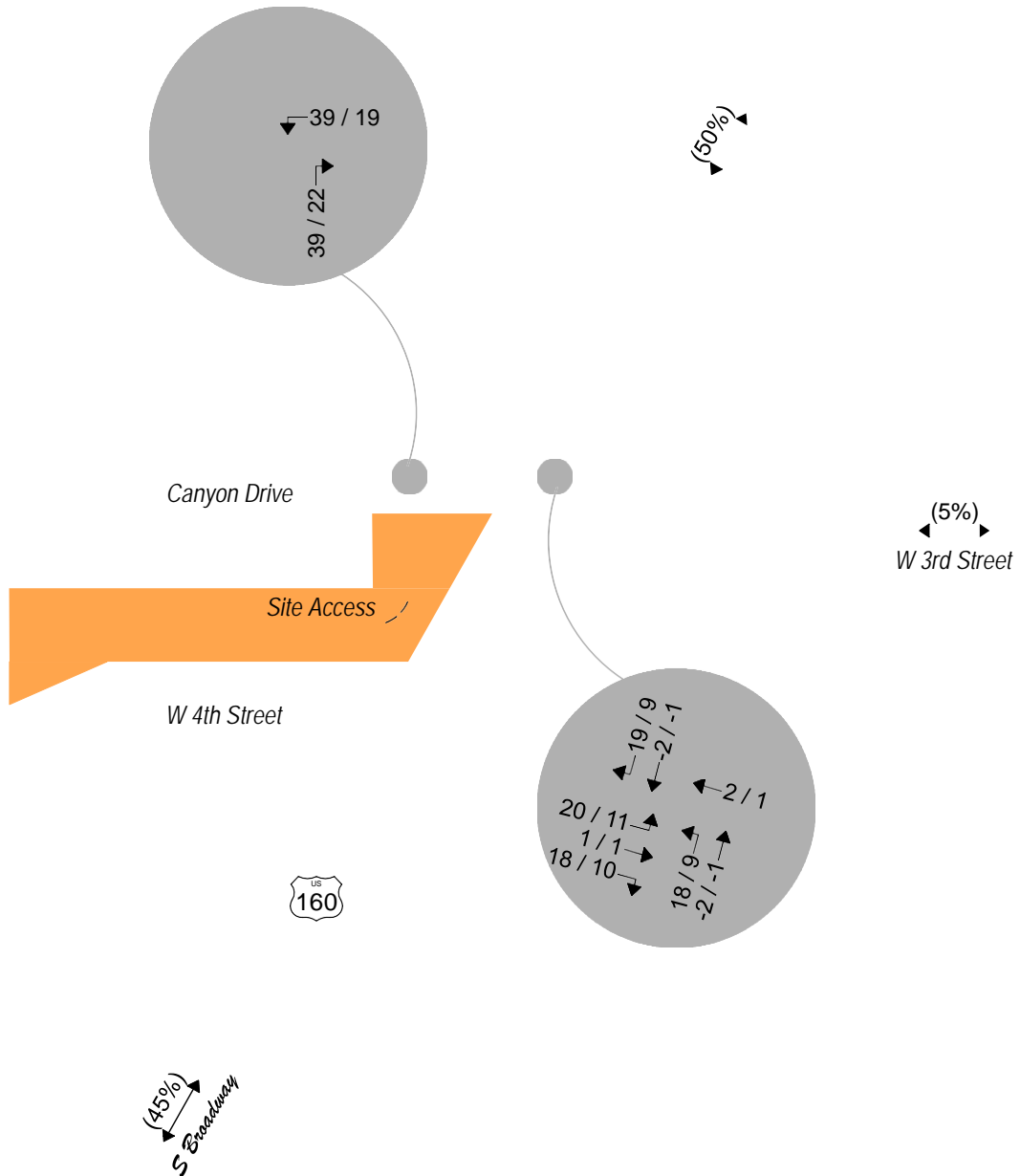


Figure 6
SITE DEVELOPMENT DISTRIBUTION
 (%) : Overall
SITE-GENERATED
 PM / Saturday Peak Hour



CHAMPION XPRESS CAR WASH
 Traffic Impact Study

SM ROCHA, LLC
 Traffic and Transportation Consultants

V. Future Traffic Conditions With Proposed Developments

Total traffic is the traffic projected to be on area roadways with consideration of the proposed development. Total traffic includes background traffic projections for Years 2024 and 2042 with consideration of site-generated traffic. For analysis purposes, it was assumed that development construction would be completed by end of Year 2024.

Year 2024 and Year 2042 total traffic conditions assume no roadway improvements to accommodate regional transportation demands. Roadway improvements associated with site development are expected to be limited to site access and frontage as required by the governing agency.

Projected Year 2024 total traffic volumes and intersection geometry are shown in Figure 7.

Figure 8 shows projected total traffic volumes and intersection geometry for Year 2042.

LEGEND

- Study Intersection Volumes
- Study Intersection Lane Geometry
- Development Site

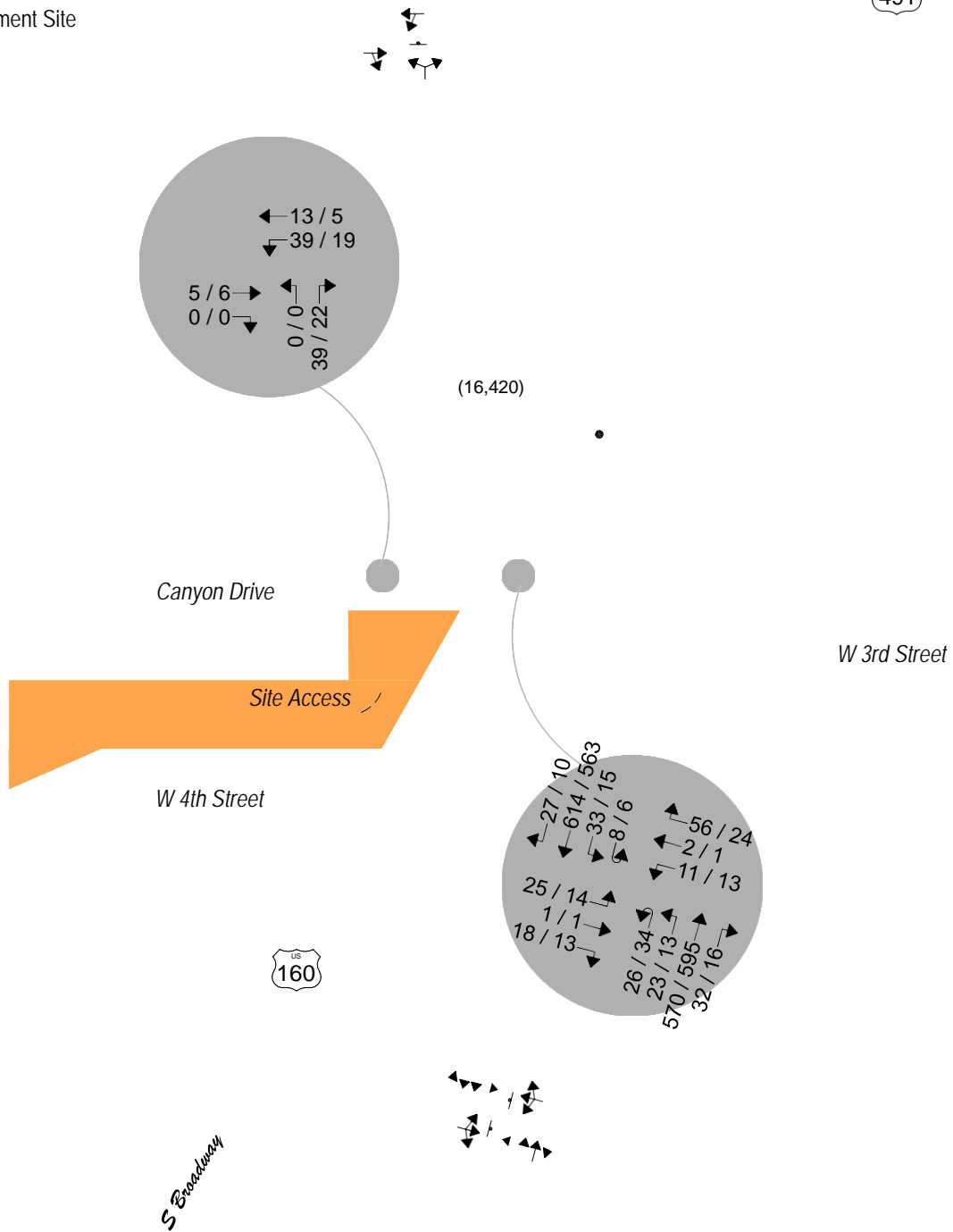


Figure 7
TOTAL TRAFFIC - YEAR 2024
 Volumes & Intersection Geometry
 PM / Saturday Peak Hour
 (ADT) : Average Daily Traffic



LEGEND

- Study Intersection Volumes
- Study Intersection Lane Geometry
- Development Site

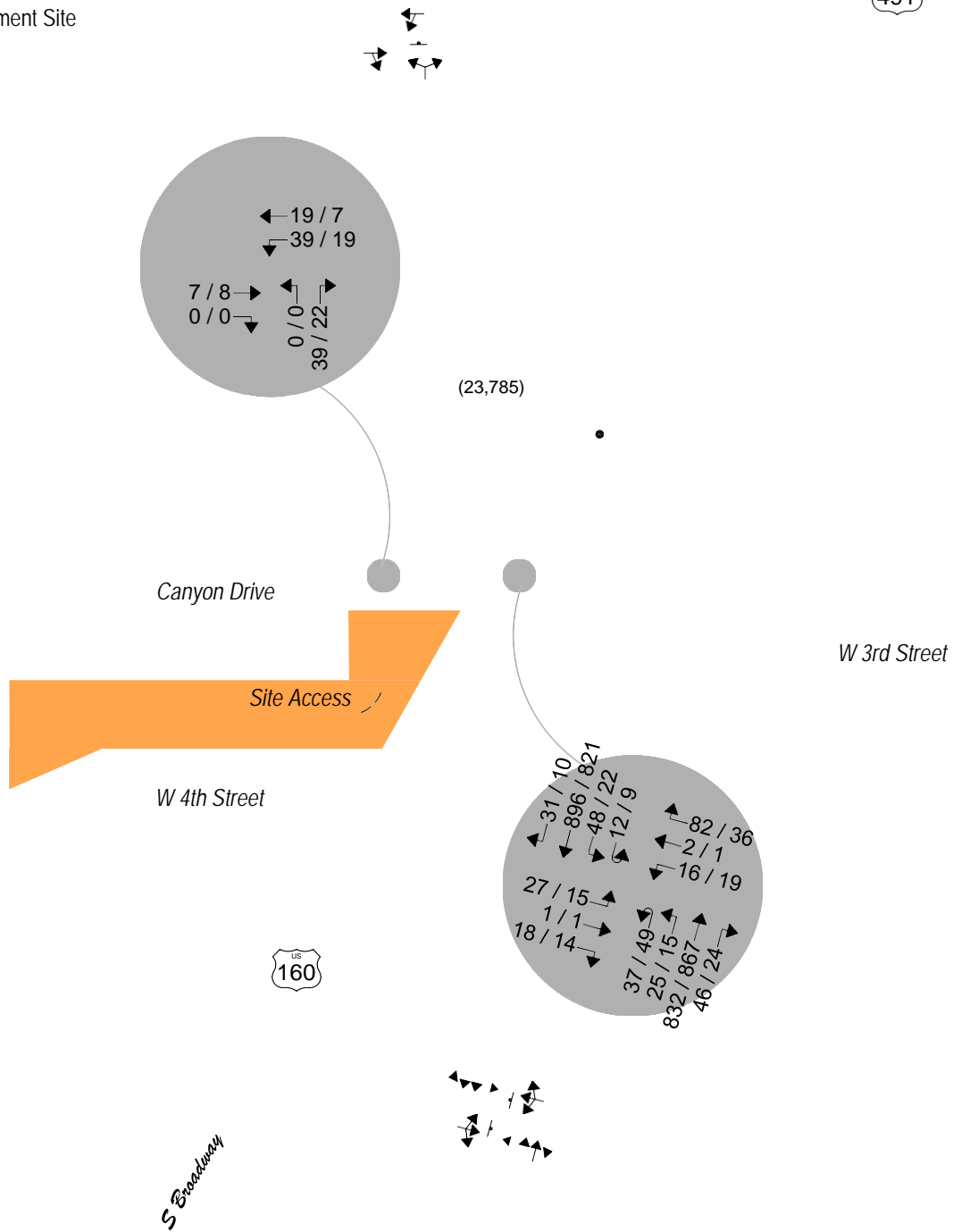


Figure 8
TOTAL TRAFFIC - YEAR 2042
 Volumes & Intersection Geometry
 PM / Saturday Peak Hour
 (ADT) : Average Daily Traffic



VI. Project Impacts

The analyses and procedures described in this study were performed in accordance with the latest edition of the HCM and are based upon the worst-case conditions that occur during a typical weekday and Saturday upon build-out of site development and analyzed land uses. Therefore, study intersections are likely to operate with traffic conditions better than those described within this study, which represent the peak hours of weekday and weekend operations only.

Peak Hour Intersection Levels of Service – Total Traffic

As with background traffic, the operations of the study intersections were analyzed under projected total traffic conditions using the SYNCHRO computer program. Total traffic level of service analysis results for Years 2024 and 2042 are summarized in Table 7 and Table 8, respectively.

Definitions of levels of service are given in Appendix B. Intersection capacity worksheets are provided in Appendix C.

Table 7 – Intersection Capacity Analysis Summary – Total Traffic – Year 2024

INTERSECTION LANE GROUPS	LEVEL OF SERVICE	
	PM PEAK HOUR	SATURDAY PEAK HOUR
Canyon Drive / S Broadway (Stop-Controlled)		
Eastbound Left, Through and Right	D	C
Westbound Left, Through and Right	C	C
Northbound Left	B	B
Southbound Left	A	A
Canyon Drive / Access A (Stop-Controlled)		
Westbound Left and Through	A	A
Northbound Left and Right	A	A

Key : Stop-Controlled Intersection: Level of Service

Table 8 – Intersection Capacity Analysis Summary – Total Traffic – Year 2042

INTERSECTION LANE GROUPS	LEVEL OF SERVICE	
	PM PEAK HOUR	SATURDAY PEAK HOUR
Canyon Drive / S Broadway (Stop-Controlled)		
Eastbound Left, Through and Right	F	F
Westbound Left, Through and Right	F	F
Northbound Left	C	C
Southbound Left	B	B
Canyon Drive / Access A (Stop-Controlled)		
Westbound Left and Through	A	A
Northbound Left and Right	A	A

Key : Stop-Controlled Intersection: Level of Service

Total Traffic Analysis Results Upon Development Build-Out

Table 8 illustrates how, by Year 2042 and upon development build-out, the stop-controlled intersection of Canyon Drive with S Broadway is projected to have turning movement operations at or better than LOS C during the weekday afternoon and Saturday peak traffic hours. Exceptions still include the eastbound and westbound turning movements which are projected to operate at LOS F during both peak hours. Similar to background traffic conditions, the poor operations are attributed to the through traffic volume along S Broadway and the stop-controlled nature of the intersection.

The stop-controlled intersection of Canyon Drive with Site Access is projected to have turning movement operations at LOS A during both peak traffic hours.

It is to be noted that it is not uncommon for unsignalized movements to or from an arterial roadway, in urban areas, to operate with noticeable delays during peak traffic hours. It is, however, likely that turn movements will operate better than the results obtained with this HCM Two-Way Stop-Control (TWSC) level of service analysis would indicate, as the HCM analysis may not accurately account for the effect of vehicle platooning and gaps caused by upstream signals.

These intersection operations are similar to background conditions.

Total Traffic Auxiliary Lane Analysis

Auxiliary lanes for the S Broadway and Canyon Drive intersection are to be based on CDOT's State Highway Access Code (SHAC)³.

Considering development build-out, an evaluation of auxiliary lane requirements, pursuant to Section 3.11(4)(b) of the State's SHAC, reveals that a southbound right turn deceleration lane at Canyon Drive along S Broadway is not required since the development's projected peak hour right turn ingress volume does not exceed CDOT's threshold of 50 vehicles per hour.

Queue Length Analysis – S Broadway & Canyon Drive

Queue lengths for the existing intersection with S Broadway with Canyon Drive was analyzed using Year 2042 total traffic conditions. The analysis yields estimate of 95th percentile queue lengths, which have only a five percent probability of being exceeded during the analysis time period. Queue lengths were modeled and are included with the Synchro worksheets in Appendix C.

No significant vehicle queuing at the intersection was indicated during the Saturday peak traffic hour. However, the afternoon weekday peak traffic hour indicates the potential for 95th percentile queues to be approximately three to four vehicles for the eastbound approach, or approximately 100 feet. Review of the preliminary site plan, as shown in Figure 2, indicates this projected queue length will not block the proposed Site Access intersection, nor negatively impact the operations of S Broadway.

Additionally, 95th percentile queue length estimates shown in Appendix C indicate that the existing northbound and southbound left turn lanes along S Broadway are of sufficient length to accommodate long-term projected vehicle volumes and queuing, and no improvements are recommended.

Car Wash Queuing Analysis

Vehicle storage associated with the proposed car wash self-pay stations was evaluated against ITE research, publications and recommendations.

ITE research and associated publications recommend 140 feet of drive-through lane for car wash establishments. This drive-through length provides for seven cars of total storage and is based on an 85th percentile queue which has a fifteen percent chance of occurring. It is noted that ITE analysis assumes a typical car length of 20 feet.

In order to provide a conservative drive-through queuing analysis, a typical vehicle length of 25 feet was applied. Review of the preliminary site plan, as shown in Figure 2, indicates approximately 950 feet of total drive-through storage, or approximately 38 vehicles. It is therefore concluded that the proposed development provides adequate on-site vehicle queuing to accommodate typical site traffic demand. A drive-through storage length exhibit is included for reference in Appendix D.

³ State Highway Access Code, The Transportation Commission of Colorado, March 2002.

VII. Conclusion

This traffic impact study is provided as a planning document and addressed the capacity, geometric, and control requirements associated with the development entitled Champion Xpress Car Wash. This proposed service retail development is understood to entail the new construction of an approximate 3,320 square foot, single tunnel, automated car wash with outdoor vacuum stalls. The development is located near the southwest corner of S Broadway and Canyon Drive in Cortez, Colorado.

The study area examined in this analysis was coordinated with Stolfus & Associates, Inc., on behalf of CDOT Staff, and encompassed the Canyon Drive intersections with S Broadway and proposed site access.

Analysis was conducted for critical weekday PM Peak Hour and Saturday PM Peak Hour traffic operations for existing traffic conditions, Year 2024 and Year 2042 background traffic conditions, and Year 2024 and Year 2042 total traffic conditions.

Analysis of existing traffic conditions indicates that the stop-controlled intersection of Canyon Drive with S Broadway has turning movement operations at or better than LOS D during the weekday afternoon peak traffic hour and LOS C or better during the Saturday peak traffic hour.

Without the proposed development, Year 2024 background operational analysis shows that the stop-controlled intersection of Canyon Drive with S Broadway experiences turning movement operations at or better than LOS D during the weekday afternoon peak traffic hour and LOS C or better during the Saturday peak traffic hour.

By Year 2042 and without the proposed development, the study intersection of Canyon Drive with S Broadway anticipates LOS C or better turning movement operations during the weekday afternoon and Saturday peak traffic hours. Exceptions would include the eastbound and westbound turning movements which operate at LOS E and LOS F during their respective peak hours. The LOS E and LOS F operations are attributed to the through traffic volume along S Broadway and the stop-controlled nature of the intersection.

It is to be noted that it is not uncommon for unsignalized movements to or from an arterial roadway, in urban areas, to operate with noticeable delays during peak traffic hours. It is, however, likely that turn movements will operate better than the results obtained with this HCM Two-Way Stop-Control (TWSC) level of service analysis would indicate, as the HCM analysis may not accurately account for the effect of vehicle platooning and gaps caused by upstream signals.

Analysis of future traffic conditions indicates that the addition of site-generated traffic is expected to create minimal negative impact to traffic operations for the existing and surrounding roadway system. With all conservative assumptions defined in this analysis, the study intersection is projected to operate at future levels of service comparable to Year 2042 background traffic conditions. Proposed site access has long-term operations at LOS A during peak traffic periods and upon build-out.

APPENDIX A

Traffic Count Data



(303) 216-2439

www.alltrafficdata.net

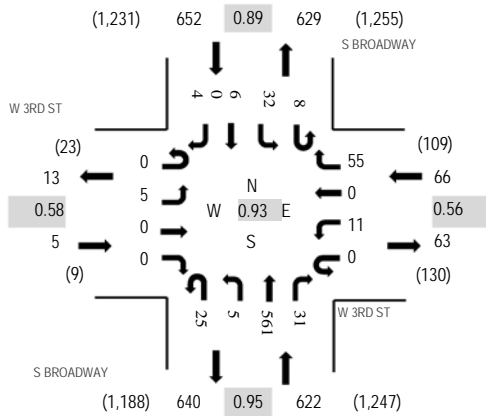
Location: 1 S BROADWAY & W 3RD ST PM

Date: Thursday, April 28, 2022

Peak Hour: 04:15 PM - 05:15 PM

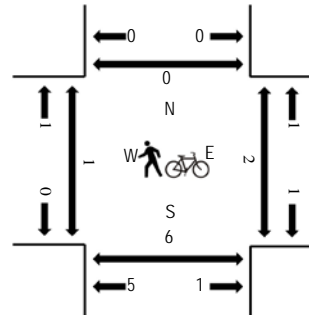
Peak 15-Minutes: 05:00 PM - 05:15 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	W 3RD ST Eastbound				W 3RD ST Westbound				S BROADWAY Northbound				S BROADWAY Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	0	0	0	0	0	13	3	0	129	9	2	8	134	0	298	1,283	0	0	0	0
4:15 PM	0	1	0	0	0	2	0	29	8	3	135	11	0	9	150	2	350	1,345	0	0	2	0
4:30 PM	0	1	0	0	0	4	0	13	4	1	134	3	3	6	144	0	313	1,301	1	0	0	0
4:45 PM	0	1	0	0	0	1	0	7	7	0	142	10	2	7	142	3	322	1,325	0	0	1	0
5:00 PM	0	2	0	0	0	4	0	6	6	1	150	7	3	10	168	3	360	1,313	0	0	0	0
5:15 PM	0	1	0	2	0	0	0	4	3	1	164	5	5	10	107	4	306		0	0	1	0
5:30 PM	0	0	0	1	0	1	0	12	9	0	145	10	4	10	144	1	337		0	0	0	0
5:45 PM	0	0	0	0	0	0	0	13	5	2	133	7	1	8	139	2	310		0	0	0	0
Count Total	0	6	0	3	0	12	0	97	45	8	1,132	62	20	68	1,128	15	2,596		1	0	4	0
Peak Hour	0	5	0	0	0	11	0	55	25	5	561	31	8	32	604	8	1,345		1	0	3	0



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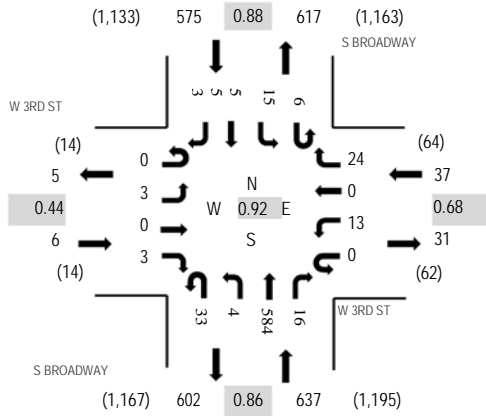
Location: 1 S BROADWAY & W 3RD ST Noon

Date: Saturday, April 30, 2022

Peak Hour: 11:30 AM - 12:30 PM

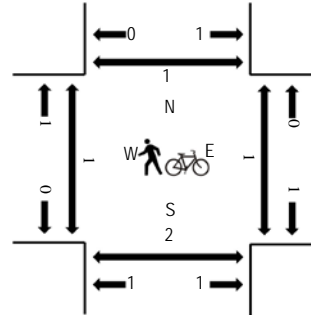
Peak 15-Minutes: 11:45 AM - 12:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	W 3RD ST Eastbound				W 3RD ST Westbound				S BROADWAY Northbound				S BROADWAY Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
11:00 AM	0	2	0	2	0	2	0	2	7	2	114	3	1	8	132	0	275	1,216	0	0	0	0
11:15 AM	0	1	0	0	0	2	0	4	6	1	121	4	0	7	123	1	270	1,244	0	0	0	0
11:30 AM	0	1	0	1	0	4	0	6	4	1	144	5	1	1	163	0	331	1,255	0	0	0	1
11:45 AM	0	0	0	0	0	6	0	0	13	0	170	4	0	2	145	0	340	1,218	0	0	1	0
12:00 PM	0	1	0	1	0	3	0	11	7	3	138	5	3	7	124	0	303	1,190	0	1	0	0
12:15 PM	0	1	0	1	0	0	0	7	9	0	132	2	2	5	121	1	281		1	0	1	0
12:30 PM	0	0	0	0	0	1	0	9	4	2	153	1	0	2	121	1	294		0	0	0	0
12:45 PM	0	1	0	2	0	3	0	4	5	1	131	3	3	3	155	1	312		0	0	0	0
Count Total	0	7	0	7	0	21	0	43	55	10	1,103	27	10	35	1,084	4	2,406		1	1	2	1
Peak Hour	0	3	0	3	0	13	0	24	33	4	584	16	6	15	553	1	1,255		1	1	2	1

Site Code: 2
Station ID:
S BROADWAY N.O. W 3RD ST
Latitude: 0' 0.0000 Undefined

Start Time	28-Apr-22 Thu	NB	SB	Total
12:00 AM		34	48	82
01:00		34	31	65
02:00		27	19	46
03:00		34	28	62
04:00		51	37	88
05:00		125	112	237
06:00		173	175	348
07:00		317	362	679
08:00		415	389	804
09:00		513	493	1006
10:00		559	568	1127
11:00		578	598	1176
12:00 PM		655	652	1307
01:00		583	576	1159
02:00		550	559	1109
03:00		568	573	1141
04:00		612	612	1224
05:00		643	619	1262
06:00		407	436	843
07:00		352	357	709
08:00		264	328	592
09:00		157	213	370
10:00		99	141	240
11:00		57	73	130
Total		7807	7999	15806
Percent		49.4%	50.6%	
AM Peak	-	11:00	11:00	- - - - - 11:00
Vol.	-	578	598	- - - - - 1176
PM Peak	-	12:00	12:00	- - - - - 12:00
Vol.	-	655	652	- - - - - 1307
Grand Total		7807	7999	15806
Percent		49.4%	50.6%	
ADT		ADT 15,806	AADT 15,806	

APPENDIX B

Level of Service Definitions

The following information can be found in the Highway Capacity Manual, Transportation Research Board, 2016: Chapter 19 – Signalized Intersections and Chapter 20 – Two-Way Stop Controlled Intersections.

Automobile Level of Service (LOS) for Signalized Intersections

Levels of service are defined to represent reasonable ranges in control delay.

LOS A

Describes operations with a control delay of 10 s/veh or less and a volume-to-capacity ratio no greater than 1.0. This level is typically assigned when the volume-to-capacity ratio is low and either progression is exceptionally favorable or the cycle length is very short. If it is due to favorable progression, most vehicles arrive during the green indication and travel through the intersection without stopping.

LOS B

Describes operations with control delay between 10 and 20 s/veh and a volume-to-capacity ratio no greater than 1.0. This level is typically assigned when the volume-to-capacity ratio is low and either progression is highly favorable or the cycle length is short. More vehicles stop than with LOS A.

LOS C

Describes operations with control delay between 20 and 35 s/veh and a volume-to-capacity ratio no greater than 1.0. This level is typically assigned when progression is favorable or the cycle length is moderate. Individual *cycle failures* (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear at this level. The number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.

LOS D

Describes operations with control delay between 35 and 55 s/veh and a volume-to-capacity ratio no greater than 1.0. This level is typically assigned when the volume-to-capacity ratio is high and either progression is ineffective or the cycle length is long. Many vehicles stop and individual cycle failures are noticeable.

LOS E

Describes operations with control delay between 55 and 80 s/veh and a volume-to-capacity ratio no greater than 1.0. This level is typically assigned when the volume-to-capacity ratio is high, progression is unfavorable, and the cycle length is long. Individual cycle failures are frequent.

LOS F

Describes operations with control delay exceeding 80 s/veh or a volume-to-capacity ratio greater than 1.0. This level is typically assigned when the volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.

Level of Service (LOS) for Unsignalized TWSC Intersections

Level of Service ($v/c \leq 1.0$)	Average Control Delay (s/veh)
A	0 - 10
B	> 10 - 15
C	> 15 - 25
D	> 25 - 35
E	> 35 - 50
F	> 50

APPENDIX C

Capacity Worksheets

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Existing Traffic Conditions
PM Peak Hour

Intersection														
Int Delay, s/veh	1.4													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕			↕	
Traffic Vol, veh/h	5	0	0	11	0	55	25	5	561	31	8	32	604	8
Future Vol, veh/h	5	0	0	11	0	55	25	5	561	31	8	32	604	8
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	0	0	12	0	60	27	5	610	34	9	35	657	9
Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1119	1458	333	1108	1445	322	665	666	0	0	643	644	0	0
Stage 1	750	750	-	691	691	-	-	-	-	-	-	-	-	-
Stage 2	369	708	-	417	754	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	161	128	663	164	131	674	544	919	-	-	562	937	-	-
Stage 1	369	417	-	401	444	-	-	-	-	-	-	-	-	-
Stage 2	623	436	-	584	415	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-				
Mov Cap-1 Maneuver	135	114	663	151	117	674	584	584	-	-	806	806	-	-
Mov Cap-2 Maneuver	135	114	-	151	117	-	-	-	-	-	-	-	-	-
Stage 1	348	395	-	378	419	-	-	-	-	-	-	-	-	-
Stage 2	536	411	-	553	393	-	-	-	-	-	-	-	-	-
Approach	EB		WB		NB		SB							
HCM Control Delay, s	32.8		15.1		0.6		0.6							
HCM LOS	D		C											
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR						
Capacity (veh/h)	584	-	-	135	427	806	-	-						
HCM Lane V/C Ratio	0.056	-	-	0.04	0.168	0.054	-	-						
HCM Control Delay (s)	11.5	-	-	32.8	15.1	9.7	-	-						
HCM Lane LOS	B	-	-	D	C	A	-	-						
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.6	0.2	-	-						

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Existing Traffic Conditions
Saturday Peak Hour

Intersection														
Int Delay, s/veh	1.2													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations		↔			↔			↔	↔			↔	↔	
Traffic Vol, veh/h	3	0	3	13	0	24	33	4	584	16	6	15	553	1
Future Vol, veh/h	3	0	3	13	0	24	33	4	584	16	6	15	553	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	3	0	3	14	0	26	36	4	635	17	7	16	601	1
Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1046	1380	301	1071	1372	326	602	602	0	0	652	652	0	0
Stage 1	648	648	-	724	724	-	-	-	-	-	-	-	-	-
Stage 2	398	732	-	347	648	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	183	143	695	175	145	670	596	971	-	-	554	930	-	-
Stage 1	425	464	-	383	429	-	-	-	-	-	-	-	-	-
Stage 2	599	425	-	642	464	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-			-	-
Mov Cap-1 Maneuver	163	130	695	162	132	670	619	619	-	-	767	767	-	-
Mov Cap-2 Maneuver	163	130	-	162	132	-	-	-	-	-	-	-	-	-
Stage 1	397	450	-	358	401	-	-	-	-	-	-	-	-	-
Stage 2	538	397	-	620	450	-	-	-	-	-	-	-	-	-
Approach	EB		WB		NB		SB							
HCM Control Delay, s	19		17.9		0.7		0.4							
HCM LOS	C		C											
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR							
Capacity (veh/h)	619	-	-	264	319	767	-							
HCM Lane V/C Ratio	0.065	-	-	0.025	0.126	0.03	-							
HCM Control Delay (s)	11.2	-	-	19	17.9	9.8	-							
HCM Lane LOS	B	-	-	C	C	A	-							
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.4	0.1	-							

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Background Traffic Conditions

Year 2024 - PM Peak Hour

Intersection														
Int Delay, s/veh	1.4													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕			↕	
Traffic Vol, veh/h	5	0	0	11	0	56	26	5	572	32	8	33	616	8
Future Vol, veh/h	5	0	0	11	0	56	26	5	572	32	8	33	616	8
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	0	0	12	0	61	28	5	622	35	9	36	670	9

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1142	1488	340	1131	1475	329	678	679	0	0	657	657	0	0
Stage 1	765	765	-	706	706	-	-	-	-	-	-	-	-	-
Stage 2	377	723	-	425	769	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	155	123	656	158	125	667	534	909	-	-	550	926	-	-
Stage 1	362	410	-	393	437	-	-	-	-	-	-	-	-	-
Stage 2	616	429	-	578	409	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-				
Mov Cap-1 Maneuver	129	109	656	144	111	667	572	572	-	-	796	796	-	-
Mov Cap-2 Maneuver	129	109	-	144	111	-	-	-	-	-	-	-	-	-
Stage 1	341	387	-	370	411	-	-	-	-	-	-	-	-	-
Stage 2	527	404	-	545	386	-	-	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	34.1		15.4		0.6		0.6	
HCM LOS	D		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	572	-	-	129	418	796	-
HCM Lane V/C Ratio	0.059	-	-	0.042	0.174	0.056	-
HCM Control Delay (s)	11.7	-	-	34.1	15.4	9.8	-
HCM Lane LOS	B	-	-	D	C	A	-
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.6	0.2	-

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Background Traffic Conditions
Year 2024 - Saturday Peak Hour

Intersection														
Int Delay, s/veh	1.2													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕			↕	
Traffic Vol, veh/h	3	0	3	13	0	24	34	4	596	16	6	15	564	1
Future Vol, veh/h	3	0	3	13	0	24	34	4	596	16	6	15	564	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	3	0	3	14	0	26	37	4	648	17	7	16	613	1

Major/Minor	Minor2		Minor1		Major1				Major2					
Conflicting Flow All	1066	1407	307	1092	1399	333	614	614	0	0	665	665	0	0
Stage 1	660	660	-	739	739	-	-	-	-	-	-	-	-	-
Stage 2	406	747	-	353	660	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	177	138	689	169	139	663	586	961	-	-	544	920	-	-
Stage 1	418	458	-	375	422	-	-	-	-	-	-	-	-	-
Stage 2	593	418	-	637	458	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-				
Mov Cap-1 Maneuver	158	125	689	156	126	663	608	608	-	-	757	757	-	-
Mov Cap-2 Maneuver	158	125	-	156	126	-	-	-	-	-	-	-	-	-
Stage 1	390	444	-	350	394	-	-	-	-	-	-	-	-	-
Stage 2	531	390	-	615	444	-	-	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	19.4		18.3		0.7		0.4	
HCM LOS	C		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	608	-	-	257	310	757	-
HCM Lane V/C Ratio	0.068	-	-	0.025	0.13	0.03	-
HCM Control Delay (s)	11.3	-	-	19.4	18.3	9.9	-
HCM Lane LOS	B	-	-	C	C	A	-
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.4	0.1	-

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Background Traffic Conditions
Year 2042 - PM Peak Hour

Intersection														
Int Delay, s/veh	2.9													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕			↕	
Traffic Vol, veh/h	7	0	0	16	0	82	37	7	834	46	12	48	898	12
Future Vol, veh/h	7	0	0	16	0	82	37	7	834	46	12	48	898	12
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	8	0	0	17	0	89	40	8	907	50	13	52	976	13

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1663	2166	495	1646	2147	479	989	989	0	0	957	957	0	0
Stage 1	1113	1113	-	1028	1028	-	-	-	-	-	-	-	-	-
Stage 2	550	1053	-	618	1119	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	64	46	520	65	48	533	337	695	-	-	354	714	-	-
Stage 1	222	282	-	251	310	-	-	-	-	-	-	-	-	-
Stage 2	487	301	-	443	280	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-				
Mov Cap-1 Maneuver	44	35	520	53	37	533	367	367	-	-	560	560	-	-
Mov Cap-2 Maneuver	44	35	-	53	37	-	-	-	-	-	-	-	-	-
Stage 1	193	249	-	218	269	-	-	-	-	-	-	-	-	-
Stage 2	353	262	-	392	248	-	-	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	103.2		37.1		0.8		0.8	
HCM LOS	F		E					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	367	-	-	44	215	560	-
HCM Lane V/C Ratio	0.13	-	-	0.173	0.495	0.116	-
HCM Control Delay (s)	16.3	-	-	103.2	37.1	12.3	-
HCM Lane LOS	C	-	-	F	E	B	-
HCM 95th %tile Q(veh)	0.4	-	-	0.6	2.5	0.4	-

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Background Traffic Conditions
Year 2042 - Saturday Peak Hour

Intersection														
Int Delay, s/veh	2.2													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕			↕	
Traffic Vol, veh/h	4	0	4	19	0	36	49	6	868	24	9	22	822	1
Future Vol, veh/h	4	0	4	19	0	36	49	6	868	24	9	22	822	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	4	0	4	21	0	39	53	7	943	26	10	24	893	1

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1554	2051	447	1591	2038	485	895	894	0	0	970	969	0	0
Stage 1	962	962	-	1076	1076	-	-	-	-	-	-	-	-	-
Stage 2	592	1089	-	515	962	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	77	55	559	72	56	528	388	755	-	-	347	707	-	-
Stage 1	275	332	-	234	294	-	-	-	-	-	-	-	-	-
Stage 2	460	290	-	511	332	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-				
Mov Cap-1 Maneuver	60	44	559	60	45	528	407	407	-	-	526	526	-	-
Mov Cap-2 Maneuver	60	44	-	60	45	-	-	-	-	-	-	-	-	-
Stage 1	234	310	-	199	250	-	-	-	-	-	-	-	-	-
Stage 2	363	247	-	474	310	-	-	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	41.2		47.2		0.9		0.4	
HCM LOS	E		E					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	407	-	-	108	143	526	-
HCM Lane V/C Ratio	0.147	-	-	0.081	0.418	0.064	-
HCM Control Delay (s)	15.4	-	-	41.2	47.2	12.3	-
HCM Lane LOS	C	-	-	E	E	B	-
HCM 95th %tile Q(veh)	0.5	-	-	0.3	1.8	0.2	-

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Total Traffic Conditions
Year 2024 - PM Peak Hour

Intersection														
Int Delay, s/veh	2.5													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations		↕			↕			↕	↕			↕	↕	
Traffic Vol, veh/h	25	1	18	11	2	56	26	23	570	32	8	33	614	27
Future Vol, veh/h	25	1	18	11	2	56	26	23	570	32	8	33	614	27
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	27	1	20	12	2	61	28	25	620	35	9	36	667	29

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1189	1533	348	1168	1530	328	697	696	0	0	654	655	0	0
Stage 1	772	772	-	744	744	-	-	-	-	-	-	-	-	-
Stage 2	417	761	-	424	786	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	143	115	648	149	116	668	519	896	-	-	553	928	-	-
Stage 1	358	407	-	373	420	-	-	-	-	-	-	-	-	-
Stage 2	584	412	-	578	401	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-			-	-
Mov Cap-1 Maneuver	115	100	648	128	100	668	635	635	-	-	799	799	-	-
Mov Cap-2 Maneuver	115	100	-	128	100	-	-	-	-	-	-	-	-	-
Stage 1	328	384	-	342	385	-	-	-	-	-	-	-	-	-
Stage 2	484	378	-	527	379	-	-	-	-	-	-	-	-	-




Approach	EB		WB		NB		SB	
HCM Control Delay, s	33.8		17.4		0.8		0.6	
HCM LOS	D		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	635	-	-	172	364	799	-
HCM Lane V/C Ratio	0.084	-	-	0.278	0.206	0.056	-
HCM Control Delay (s)	11.2	-	-	33.8	17.4	9.8	-
HCM Lane LOS	B	-	-	D	C	A	-
HCM 95th %tile Q(veh)	0.3	-	-	1.1	0.8	0.2	-

HCM 6th TWSC

2: Site Access & Canyon Drive

Total Traffic Conditions
Year 2024 - PM Peak Hour

Intersection						
Int Delay, s/veh	6.4					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	5	0	39	13	0	39
Future Vol, veh/h	5	0	39	13	0	39
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	0	42	14	0	42
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	5	0	103	5
Stage 1	-	-	-	-	5	-
Stage 2	-	-	-	-	98	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1616	-	895	1078
Stage 1	-	-	-	-	1018	-
Stage 2	-	-	-	-	926	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1616	-	872	1078
Mov Cap-2 Maneuver	-	-	-	-	872	-
Stage 1	-	-	-	-	1018	-
Stage 2	-	-	-	-	902	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		5.5		8.5	
HCM LOS	A					
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	1078	-	-	1616	-	
HCM Lane V/C Ratio	0.039	-	-	0.026	-	
HCM Control Delay (s)	8.5	-	-	7.3	0	
HCM Lane LOS	A	-	-	A	A	
HCM 95th %tile Q(veh)	0.1	-	-	0.1	-	

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Total Traffic Conditions
Year 2024 - Saturday Peak Hour

Intersection														
Int Delay, s/veh	1.6													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations		↕			↕			↕	↕			↕	↕	
Traffic Vol, veh/h	14	1	13	13	1	24	34	13	595	16	6	15	563	10
Future Vol, veh/h	14	1	13	13	1	24	34	13	595	16	6	15	563	10
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	15	1	14	14	1	26	37	14	647	17	7	16	612	11

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1090	1430	312	1111	1427	332	623	623	0	0	664	664	0	0
Stage 1	664	664	-	758	758	-	-	-	-	-	-	-	-	-
Stage 2	426	766	-	353	669	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	170	133	684	164	134	664	578	954	-	-	545	921	-	-
Stage 1	416	456	-	365	413	-	-	-	-	-	-	-	-	-
Stage 2	577	410	-	637	454	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-			-	-
Mov Cap-1 Maneuver	149	119	684	146	120	664	639	639	-	-	758	758	-	-
Mov Cap-2 Maneuver	149	119	-	146	120	-	-	-	-	-	-	-	-	-
Stage 1	383	442	-	336	380	-	-	-	-	-	-	-	-	-
Stage 2	509	377	-	603	440	-	-	-	-	-	-	-	-	-




Approach	EB		WB		NB		SB	
HCM Control Delay, s	22.9		19.8		0.8		0.3	
HCM LOS	C		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	639	-	-	231	285	758	-
HCM Lane V/C Ratio	0.08	-	-	0.132	0.145	0.03	-
HCM Control Delay (s)	11.1	-	-	22.9	19.8	9.9	-
HCM Lane LOS	B	-	-	C	C	A	-
HCM 95th %tile Q(veh)	0.3	-	-	0.4	0.5	0.1	-

HCM 6th TWSC

2: Site Access & Canyon Drive

Total Traffic Conditions
Year 2024 - Saturday Peak Hour

Intersection						
Int Delay, s/veh	6.2					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	6	0	19	5	0	22
Future Vol, veh/h	6	0	19	5	0	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	7	0	21	5	0	24
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	7	0	54	7
Stage 1	-	-	-	-	7	-
Stage 2	-	-	-	-	47	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1614	-	954	1075
Stage 1	-	-	-	-	1016	-
Stage 2	-	-	-	-	975	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1614	-	942	1075
Mov Cap-2 Maneuver	-	-	-	-	942	-
Stage 1	-	-	-	-	1016	-
Stage 2	-	-	-	-	962	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		5.7		8.4	
HCM LOS	A					
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	1075	-	-	1614	-	
HCM Lane V/C Ratio	0.022	-	-	0.013	-	
HCM Control Delay (s)	8.4	-	-	7.3	0	
HCM Lane LOS	A	-	-	A	A	
HCM 95th %tile Q(veh)	0.1	-	-	0	-	

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Total Traffic Conditions
Year 2042 - PM Peak Hour

Intersection														
Int Delay, s/veh	7.7													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations		↕			↕			↕	↕			↕	↕	
Traffic Vol, veh/h	27	1	18	16	2	82	37	25	832	46	12	48	896	31
Future Vol, veh/h	27	1	18	16	2	82	37	25	832	46	12	48	896	31
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	29	1	20	17	2	89	40	27	904	50	13	52	974	34

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1708	2209	504	1681	2201	477	1008	1008	0	0	954	954	0	0
Stage 1	1121	1121	-	1063	1063	-	-	-	-	-	-	-	-	-
Stage 2	587	1088	-	618	1138	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	59	44	513	62	44	534	328	683	-	-	355	716	-	-
Stage 1	220	280	-	238	298	-	-	-	-	-	-	-	-	-
Stage 2	463	290	-	443	275	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-			-	-
Mov Cap-1 Maneuver	37	32	513	46	32	534	403	403	-	-	561	561	-	-
Mov Cap-2 Maneuver	37	32	-	46	32	-	-	-	-	-	-	-	-	-
Stage 1	183	248	-	198	249	-	-	-	-	-	-	-	-	-
Stage 2	319	242	-	375	243	-	-	-	-	-	-	-	-	-




Approach	EB		WB		NB		SB	
HCM Control Delay, s	194.3		53.2		1		0.7	
HCM LOS	F		F					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	403	-	-	58	177	561	-
HCM Lane V/C Ratio	0.167	-	-	0.862	0.614	0.116	-
HCM Control Delay (s)	15.7	-	-	194.3	53.2	12.3	-
HCM Lane LOS	C	-	-	F	F	B	-
HCM 95th %tile Q(veh)	0.6	-	-	3.9	3.4	0.4	-

HCM 6th TWSC

2: Site Access & Canyon Drive

Total Traffic Conditions
Year 2042 - PM Peak Hour

Intersection						
Int Delay, s/veh	5.9					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	7	0	39	19	0	39
Future Vol, veh/h	7	0	39	19	0	39
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	8	0	42	21	0	42
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	8	0	113	8
Stage 1	-	-	-	-	8	-
Stage 2	-	-	-	-	105	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1612	-	884	1074
Stage 1	-	-	-	-	1015	-
Stage 2	-	-	-	-	919	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1612	-	861	1074
Mov Cap-2 Maneuver	-	-	-	-	861	-
Stage 1	-	-	-	-	1015	-
Stage 2	-	-	-	-	895	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		4.9		8.5	
HCM LOS	A					
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	1074	-	-	1612	-	
HCM Lane V/C Ratio	0.039	-	-	0.026	-	
HCM Control Delay (s)	8.5	-	-	7.3	0	
HCM Lane LOS	A	-	-	A	A	
HCM 95th %tile Q(veh)	0.1	-	-	0.1	-	

HCM 6th TWSC
1: S Broadway (US-160) & Canyon Drive/W 3rd Street

Total Traffic Conditions
Year 2042 - Saturday Peak Hour

Intersection														
Int Delay, s/veh	3.3													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Lane Configurations		↕			↕			↕	↕			↕	↕	
Traffic Vol, veh/h	15	1	14	19	1	36	49	15	867	24	9	22	821	10
Future Vol, veh/h	15	1	14	19	1	36	49	15	867	24	9	22	821	10
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	65	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	-	0	-	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	16	1	15	21	1	39	53	16	942	26	10	24	892	11

Major/Minor	Minor2		Minor1		Major1		Major2							
Conflicting Flow All	1576	2072	452	1608	2064	484	903	903	0	0	968	968	0	0
Stage 1	966	966	-	1093	1093	-	-	-	-	-	-	-	-	-
Stage 2	610	1106	-	515	971	-	-	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	6.44	4.14	-	-	6.44	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.52	2.22	-	-	2.52	2.22	-	-
Pot Cap-1 Maneuver	74	53	555	70	54	529	383	749	-	-	348	707	-	-
Stage 1	273	331	-	229	288	-	-	-	-	-	-	-	-	-
Stage 2	448	284	-	511	329	-	-	-	-	-	-	-	-	-
Platoon blocked, %									-	-			-	-
Mov Cap-1 Maneuver	56	41	555	55	42	529	423	423	-	-	526	526	-	-
Mov Cap-2 Maneuver	56	41	-	55	42	-	-	-	-	-	-	-	-	-
Stage 1	228	309	-	191	240	-	-	-	-	-	-	-	-	-
Stage 2	345	237	-	463	308	-	-	-	-	-	-	-	-	-




Approach	EB	WB	NB	SB
HCM Control Delay, s	62.4	56.3	1	0.4
HCM LOS	F	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	423	-	-	94	128	526	-
HCM Lane V/C Ratio	0.164	-	-	0.347	0.476	0.064	-
HCM Control Delay (s)	15.2	-	-	62.4	56.3	12.3	-
HCM Lane LOS	C	-	-	F	F	B	-
HCM 95th %tile Q(veh)	0.6	-	-	1.4	2.2	0.2	-

HCM 6th TWSC

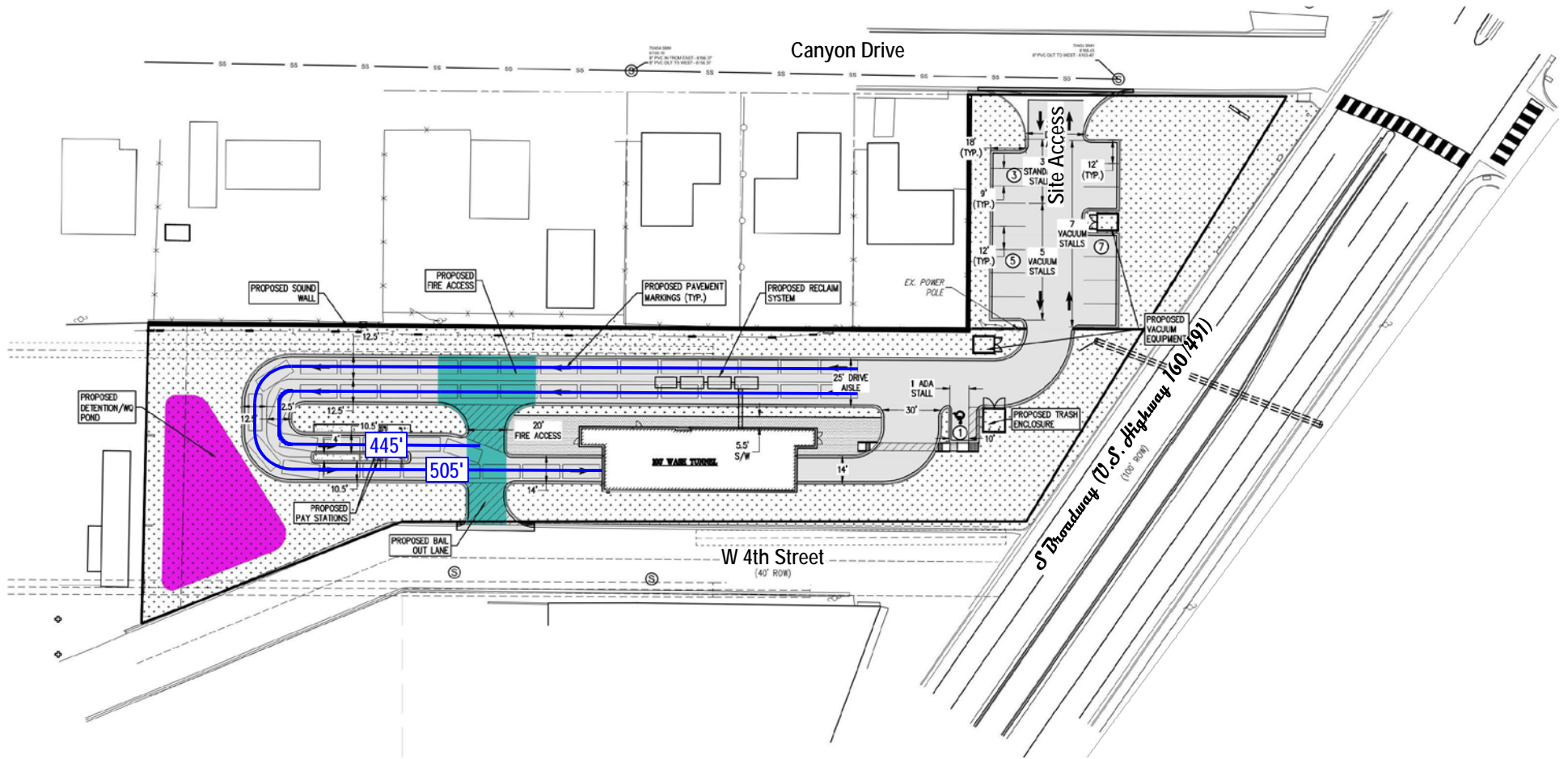
2: Site Access & Canyon Drive

Total Traffic Conditions
Year 2042 - Saturday Peak Hour

Intersection						
Int Delay, s/veh	5.8					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	8	0	19	7	0	22
Future Vol, veh/h	8	0	19	7	0	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	0	21	8	0	24
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	9	0	59	9
Stage 1	-	-	-	-	9	-
Stage 2	-	-	-	-	50	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1611	-	948	1073
Stage 1	-	-	-	-	1014	-
Stage 2	-	-	-	-	972	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1611	-	936	1073
Mov Cap-2 Maneuver	-	-	-	-	936	-
Stage 1	-	-	-	-	1014	-
Stage 2	-	-	-	-	959	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		5.3		8.4	
HCM LOS	A					
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	1073	-	-	1611	-	
HCM Lane V/C Ratio	0.022	-	-	0.013	-	
HCM Control Delay (s)	8.4	-	-	7.3	0	
HCM Lane LOS	A	-	-	A	A	
HCM 95th %tile Q(veh)	0.1	-	-	0	-	

APPENDIX D

Drive-Through Storage Length Exhibit



From: [Reider - CDOT, Randee](#)
To: [Tez Hawkins](#)
Cc: [Cassi Sattazahn - CDOT](#)
Subject: Re: Access Permit Application-699 Canyon/313 S Broadway Cortez, CO (tunnel car wash)
Date: Tuesday, March 29, 2022 12:57:22 PM
Attachments: [Application cover memo.pdf](#)
[Access Permit Application Checklist 2022.pdf](#)
[Levels of Traffic Assessments August 2021.pdf](#)
[TIS Methodology Form.pdf](#)

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hi Tez,

Thanks for submitting the CDOT Access Permit application. It looks like we'll need a few more documents before the application can be considered complete:

1. Warranty Deed(s)
2. Legal verification that Glenn Leighton has the authority to sign/act on behalf DOB, LLC/7B Building and Development . He will also need to sign the application and be listed as the Permittee in Section 1). of the application. The letter you provided does not give you the authority to sign legal documents, only submit documents on the organization's behalf.
3. This development will require a level three traffic assessment (Traffic Impact Study) based on the traffic generation of an automated car wash. The TIS will dictate what type of highway improvements will be warranted based on traffic volume and trip distribution. The selected Traffic Engineer should submit the completed TIS Methodology form to me prior to the creation of the TIS.

Please see the attachments for further details.

Thank you,
Randee Reider
Access Manager
Region 5 - Traffic & Safety



P 970.385.3626 | F 970.385.8361
3803 N. Main Ave., Suite 100, Durango, CO 81301
randee.reider@state.co.us | www.codot.gov | www.cotrip.org



On Mon, Mar 21, 2022 at 11:26 AM Tez Hawkins <tez.hawkins@baselinecorp.com> wrote:

Hi Randee,

Attached is an access permit application, a preliminary site plan, and the authorization form

from the property owner. The subject properties are 313 S Broadway and 699 Canyon Road in Cortez, CO. The big question for us is what type of infrastructure improvements, if any, are anticipated on Broadway (Hwy 491/Hwy 160). Also, what are the timelines to process access permit applications.

Thank you,

TEZ HAWKINS | SENIOR PLANNER

Baseline Engineering Corporation | Engineering, Planning, & Surveying

Phone: 970.688.2175 | www.baselinecorp.com | [Social Media](#)

Situs Address	Mailing Address	Property Owner Name
321 S BROADWAY #1-60	121 CODY ROAD DURANGO, CO 81303	BUDBON ENTERPRISES, LLC
721 CANYON DR	721 CANYON DR CORTEZ, CO 81321	DAVIS, ERICA D.
719 CANYON DR	719 CANYON DRIVE CORTEZ, CO 81321	MALONEY, JOSHUA Y. & SANDRA
717 CANYON DR	717 CANYON DRIVE CORTEZ, CO 81321	HAGER, AUDRA M. & MATTHEW P.
715 CANYON DR	715 CANYON DR CORTEZ, CO 81321	RAKOWSKI, SHANNON &
713 CANYON DR	713 CANYON DR CORTEZ, CO 81321	ROE, DEBRAH K
711 CANYON DR	711 CANYON DRIVE CORTEZ, CO 81321	BLACKWELL, COLLEEN
707 CANYON DR	707 CANYON DR CORTEZ, CO 81321	YODER, KARA MICHELLE
705 CANYON DR	705 CANYON DRIVE CORTEZ, CO 81321	HIGHTOWER, RACHEL MARIE
703 CANYON DR	703 CANYON DR CORTEZ, CO 81321	ROGERS, PEGGY S.
701 CANYON DR	1013 S CEDAR ST CORTEZ, CO 81321	KILBURN, JAMES ARTHUR & HOLLY RACHELLE
325 S BROADWAY	P.O. BOX 433 MANCOS, CO 81328	DAVES, DARRELL D. & JOLEEN
333 S BROADWAY	197 PEBBLE DR DURANGO, CO 81301	SELLERS ARIANO JOINT VENTURE
723 W 4TH ST	2997 FENWICK LANE GRAND JUNCTION , CO 81504	SHELEY, HELEN L. & JEFFREY T.
413 S BROADWAY	197 pebble drive DURANGO, CO 81301	SELLERS ARIANO JOINT VENTURE
324 S BROADWAY	PO BOX 1017 CHARLOTTE, NC 28201	FD RETAIL PROPERTIES, LLC
621 W 3RD ST	615 W 3RD ST CORTEZ, CO 81321	JOHNSON, SYLVIANNE
330 S BROADWAY	BOX 2300 GRAND JUNCTION, CO 81502	J & L DEVELOPMENT LLC
436 S BROADWAY	608 BAKER AVE CORTEZ, CO 81321	F. GON INCORPORATED
438 S BROADWAY	608 BAKER AVE CORTEZ, CO 81321	IIIF. GON INCORPORATED
712 CANYON DR	38790 ROAD K.4 MANCOS, CO 81328	SUMMERS, CARRIE REVOCABLE LIVING TRUST
710 CANYON DR	710 CANYON DRIVE CORTEZ, CO 81321	BALTES, ALICE R LIVING TRUST

708 CANYON DR	708 CANYON DR CORTEZ, CO 81321	QUASTE, ANTHONY
706 CANYON DR	23488 ROAD F CORTEZ, CO 81321	LACKEY, ROY N. & PATRICIA A.
704 CANYON DR	704 CANYON DR CORTEZ, CO 81321	SANCHEZ, NIKKI L. & SANCHEZ, MICHAEL H.
702 CANYON DR	PO BOX 1621 CORTEZ, CO 81321	POWERS SHALAKO LAWSON
275 S BROADWAY	111 S BROADWAY CORTEZ, CO 81321	KEESEE MOTOR CO
111 S BROADWAY	111 S BROADWAY CORTEZ, CO 81321	KEESEE FAMILY LLC
450 W 2ND ST	PO DRAWER R CORTEZ, CO 81321	MONTEZUMA-CORTEZ SCH DIST RE-1



Know what's below.
Call before you dig.

CIVIL CONSTRUCTION DOCUMENTS

CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF CORTEZ STANDARDS AND SPECIFICATIONS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE CITY OF CORTEZ.
- ALL REFERENCES TO ANY PUBLISHED STANDARD SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONSULTANT ENGINEER SHALL PROVIDE, ON THE COVER OF THE PLAN SET, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND/OR AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION OR REQUEST TO EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS, ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR APPLICABLE AGENCIES. ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS WILL NOT BE PERMITTED UNTIL THE RECORDATION OF PLAT(S) AND/OR EASEMENTS, AND A PRE-CONSTRUCTION MEETING. THE DEVELOPER, ENGINEER OR CONTRACTOR, SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. APPROVED PLANS SHALL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY NOTIFICATION OF AND SHALL COORDINATE WORK IN ALL WORK AREAS WITH THE APPROPRIATE STATE, COUNTY, CITY, OR LOCAL AGENCIES.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF CORTEZ, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF UTILITY SERVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE), FOR APPROVAL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT CITY OF CORTEZ IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE PROJECT'S COLORADO PERMIT FOR STORM WATER DISCHARGE, THE STORM WATER MANAGEMENT PLAN AND THE EROSION CONTROL PLAN, WHERE APPLICABLE.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE LANDSCAPING. THE CITY OF CORTEZ MAINTAINS THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF NECESSARY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES, DRY UTILITIES, CURB AND GUTTER, AND PAVING.
- ALL EXISTING STRUCTURES, FENCES, SIGNS, AND IMPROVEMENTS DESTROYED, DAMAGED, OR REMOVED DUE TO THE CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE AND KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DISPOSAL SITE FOR ALL UNUSABLE MATERIAL REMOVED FROM THE PROJECT.
- ALL PAVEMENT MARKING REQUIRED FROM THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY/COUNTY AT ALL TIMES.

GRADING PLAN CONSTRUCTION NOTES

- ALL CONSTRUCTION WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS AND THE CITY OF CORTEZ, "STANDARD CONSTRUCTION SPECIFICATIONS," DATED 2009. ANY WORK NOT COVERED IN THE ABOVE SHALL CONFORM TO THE "2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE "2019 CDOT M&S STANDARD PLANS," AND SUPPLEMENTAL, UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ACROSS THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 AT LEAST 2 DAYS IN ADVANCE BEFORE COMMENCEMENT OF WORK.
- UPON COMPLETION OF WORK, THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL CURBS, WITH THE UPPER 4" DEPTH TO BE TOPSOIL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSURANCE OF MATERIALS, INSTALLATION AND MAINTENANCE OF THE COMBINATION HAY BALE/SILT FENCE BARRIER AROUND THE LIMITS OF CONSTRUCTION AND AS SHOWN ON THE APPROVED PLAN, DURING CONSTRUCTION AND UNTIL ALL WORK IS COMPLETE AND VEGETATION IS REESTABLISHED.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES, SHALL CONFORM TO THE COLORADO STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS.
- IN AREAS WHERE CONCRETE PAVING IS TO ADJUT ASPHALTIC PAVING, THE CONTRACTOR SHALL CONSTRUCT A 10" THICKENED EDGE IN THE CONCRETE.
- ALL PAVEMENT REMOVAL CONTIGUOUS TO PAVEMENT REMAINING, SHALL BE SAW-CUT IN A STRAIGHT LINE TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS ON-SITE WILL NOT BE PERMITTED.
- UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. ALL SUBGRADE, CONCRETE AND ASPHALTIC PAVEMENT TESTING SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION", COLORADO DEPT. OF HIGHWAYS, LATEST EDITION AND SUPPLEMENTAL. ALL TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL CONCRETE, FOUNDATIONS, WALKS, WALLS, TREES AND OTHER DEBRIS INDICATED ON THE SURVEY OR SPECIFIED IN THE SITE WORK SPECIFICATIONS. ALL SALVAGEABLE STORM SEWER GRATES, INLETS OR MANHOLE RING AND COVERS WHICH ARE NOT BEING RE-USED ON SITE SHALL BE RETURNED TO CITY OF CORTEZ.
- THE CONTRACTOR SHALL PROTECT ALL HISTORIC STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE.
- CONSTRUCTION SPECIFICATION: 2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SPECIAL PROVISIONS AND REVISIONS THERETO.
- SPECIFICATION DETAILS CAN BE FOUND UNDER THE FOLLOWING ITEM AND SECTION NUMBERS:
EMBANKMENT COMPACTION --- SECTION 203
AGGREGATE BASE COURSE --- SECTION 304
- SUBGRADE COMPACTION: APPROVED MATERIAL MAY BE REQUIRED IF THE NATIVE MATERIAL IS UNSATISFACTORY. THE APPROVED MATERIAL SHALL THEN BE COMPACTED TO A DENSITY TO FORM THE PREPARED SURFACE FOR THE ROAD SURFACE MATERIAL. MINIMUM DENSITY WILL BE DETERMINED IN ACCORDANCE WITH AASHTO DESIGNATION T 180 OR T189, IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS 203.11 (1986 ED.), EXCEPT NOT LESS THAN 95% T180 ON THE TOP 12" OF SUBGRADE MATERIAL.
- VARIABLE SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE APPROVED BY CITY OF CORTEZ.

STANDARD EROSION & SEDIMENT CONTROL NOTES

- THE CONTRACTOR MUST NOTIFY THE CITY OF CORTEZ DIVISION OF PUBLIC WORKS AT LEAST THREE DAYS PRIOR TO STARTING CONSTRUCTION.
- ALL GRADING, EROSION, AND SEDIMENT CONTROL MUST CONFORM TO APPROVED PLANS. REVISIONS TO DISTURBANCE AREAS, SLOPES, AND/OR EROSION AND SEDIMENT CONTROL MEASURES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL FROM CITY OF CORTEZ PLANNING AND ZONING DIVISION. FIELD MODIFICATIONS TO AN EQUIVALENT BMP THAT DOES NOT AFFECT THE SITE HYDROLOGY MAY BE APPROVED BY CITY OF CORTEZ TRANSPORTATION AND ENGINEERING STAFF.
- THE APPROVED PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF APPROVAL FROM CITY OF CORTEZ.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT LEAST 10 DAYS PRIOR THE START OF CONSTRUCTION ACTIVITIES FOR LAND DISTURBANCE AREAS OF ONE ACRE OR GREATER. THE PERMIT MUST BE KEPT CURRENT THROUGHOUT THE CONSTRUCTION PROCESS. STATE STORMWATER PERMIT APPLICATIONS ARE AVAILABLE AT THIS ADDRESS: [HTTP://WWW.CDPRHE.STATE.CO.US/WQ/PERMITSUNIT/WQCDPM1.HTML](http://www.cdprhe.state.co.us/wq/permitsunit/wqcdpm1.html)
- EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) MUST BE INSTALLED PRIOR TO GRADING ACTIVITIES.
- APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THE PROJECT. AT A MINIMUM, THE PROPERTY OWNER OR CONTRACTOR SHALL INSPECT ALL BMPs IN ACCORDANCE WITH THE APPROVED PLANS. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED IMMEDIATELY. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED.
- ALL TOPSOIL MUST BE SALVAGED, SEGREGATED, AND STOCKPILED SEPARATELY FROM THE OVERBURDEN. TOPSOIL AND OVERBURDEN MUST BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS THAT MUST BE SEEDED AND PLANTED. RUNOFF FROM THE STOCKPILED AREA MUST BE CONTROLLED TO PREVENT EROSION AND SEDIMENTATION OF RECEIVING WATERS.
- SOILS THAT ARE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION.
- THE LANDOWNER AND/OR CONTRACTOR MUST IMMEDIATELY TAKE ALL NECESSARY STEPS TO CONTROL SEDIMENT DISCHARGE.
- SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN THIRTY (30) DAYS TO DISTURBED AREAS, WHICH MAY NOT BE AT FINAL GRADE, BUT WILL BE LEFT DORMANT FOR LONGER THAN SIXTY (60) DAYS.
- IF APPLICABLE, THE FOLLOWING NOTE SHALL BE COMPLETED:
TEMPORARY VEGETATIVE COVER CONSISTING OF ANNUAL RYE GRASS MUST BE HYDRO-SEEDED AT 20 POUNDS PURE LIVE SEED PER ACRE. MULCH CONSISTING OF GRASS HAY, APPLIED AT A RATE OF 1 TON PER ACRE AND CRIMPED MUST BE USED TO STABILIZED THE EXPOSED SURFACE.

PERMANENT VEGETATIVE COVER CONSISTING OF THE MIX NOTE BELOW MUST BE HYDRO-SEEDED AT THE PORTION STATED BELOW:

LOAMY/CLAYEY SOILS PERMANENT SEED MIX				DRAINAGE POND OVERFLOW/BOTTOM SEED MIX			
SPECIES	VARIETY	% OF MIX	PLS/ACRE	SPECIES	VARIETY	% OF MIX	PLS/ACRE
WESTERN WHEATGRASS	ARRIBA	25	8.0	WESTERN WHEATGRASS	ARRIBA	45	14.4
GREEN NEEDLEGRASS	LODOM	20	4.0	GREEN NEEDLEGRASS	LODOM	20	4
BLUE GRAMA	LOVINGTON	20	1.2	SWITCHGRASS	NEBRASKA 28	15	1.4
BUFFALO GRASS	TEXOKA	10	3.3	BLUE GRAMA	LOVINGTON	10	0.6
SANDBERG BLUEGRASS		10	0.6	YELLOW INDIGRASS	HOLT	5	1
SIDEOTS GRAMA	VAUGHN	15	2.8	BIG BLUESTEM	KAW	5	1.2

- ALL DISTURBED SLOPES (UNLESS IN A COMPLETE ROCK CUT) GREATER THAN OR EQUAL TO 3:1 (+/-), FLOW LINES OF SWALES, GUTTER DOWNSPOUTS, OR ADDITIONAL AREAS AT THE DISCRETION OF CITY OF CORTEZ STAFF, SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET OR EQUIVALENT BMP.
- IF IT IS NECESSARY TO MOVE MATERIAL IN EXCESS OF 300 CUBIC YARDS AND/OR 10,000 SQUARE FEET OF LAND DISTURBANCE AREA TO OR FROM ANOTHER CITY OF CORTEZ SITE, A GRADING PERMIT OR NOTICE OF INTENT (NOI) IS NECESSARY FOR THE OFF-SITE PROPERTY. IF THE MATERIAL IS MOVED TO A PROPERTY LOCATED WITHIN ANOTHER JURISDICTION, EVIDENCE IS REQUIRED THAT THE LOCAL GOVERNMENT HAS APPROVED THE GRADING OPERATION.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES DURING THE ENTIRE CONSTRUCTION PROCESS.
- THE LANDOWNER AND/OR CONTRACTOR MUST TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS ON TO STREETS/ROADS AND MUST IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
- THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTROLLING LITTER SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, AND SANITARY WASTE, AS APPLICABLE. IN ADDITION, SPILL PREVENTION AND CONTAINMENT BMPs FOR CONSTRUCTION MATERIALS, WASTE, AND FUEL MUST BE PROVIDED, AS APPLICABLE. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS, AND TRASH RECEPTACLES MUST BE CLEARLY SHOWN ON THE PLANS. *LITTERING IS DEFINED AND ENFORCED BY CRS 18-4-511.
- FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY, AS DEFINED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT THE TIME OF GRADING. DURING GRADING, APPLYING A COMBINATION OF WATER, TACKIFIER AND SILT FENCE TO BREAK UP WIND SURFACE VELOCITIES MAY CONTROL DUST. IF WIND SPEEDS EXCEED THE ABILITY OF BMPs TO CONTROL FUGITIVE DUST, GRADING ACTIVITIES MUST CEASE.
- EARTH MATERIALS AND CONSTRUCTION SUPPLIES ARE TO BE STORED ON A CONSTRUCTION SITE STAGING AREA, AND ARE NOT TO BE STORE ON STREET OR SIDEWALK. LOCATION OF STOCKPILES, CONCRETE WASHOUT AND TRASH RECEPTACLES ARE CLEARLY LOCATED ON THE PLANS.
- THE CITY OF CORTEZ PLANNING AND ZONING DIVISION, OR ITS AUTHORIZED REPRESENTATIVE, MAY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN AS FIELD CONDITIONS WARRANT.

UTILITY PLAN CONSTRUCTION NOTES

- ALL CONSTRUCTION WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS AND THE CITY OF CORTEZ, "STANDARD CONSTRUCTION SPECIFICATIONS". ANY WORK NOT COVERED IN THE ABOVE SHALL CONFORM TO THE "2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE "2019 CDOT M&S STANDARD PLANS," AND SUPPLEMENTALS, UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ACROSS THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 AT LEAST 2 DAYS IN ADVANCE BEFORE COMMENCEMENT OF WORK.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAGING. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR THE ACCURACY OF ALL STAKING IN ACCORDANCE WITH THE APPROVED PLANS. IN THE EVENT THAT DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OR PROJECT MANAGER PRIOR TO COMMENCING WITH CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVED COUNTY PLANS, WORK ORDERS AND CONNECTION PERMITS REQUIRED BY THE CITY OF CORTEZ. THE RESPONSIBILITY FOR THE FEES IS ESTABLISHED IN THE GENERAL CONDITIONS.
- ALL UTILITIES SHALL BE BACKFILLED, AND COMPACTED IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS OR CITY OF CORTEZ STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE EROSION PROTECTION DURING CONSTRUCTION AND FOLLOWING CONSTRUCTION UNTIL SUCH TIME AS PROPER VEGETATION IS REESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING BARRICADES AND OTHER TRAFFIC WARNING DEVICES AS NECESSARY AROUND THE PERIMETER OF CONSTRUCTION AND ADJACENT TO ANY OPEN TRENCHES.
- THOSE UTILITIES WHICH ARE PUBLIC, SHALL BE INSTALLED BY A CONTRACTOR LICENSED AND BONDED WITH CITY OF CORTEZ.
- ALL VALVES, MANHOLE LIDS, AND SEWER CLEAN-OUTS LOCATED IN PAVED AREA, SHALL BE H-20 TRAFFIC RATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ELEVATIONS AND ADJUSTING ALL COVERS AND LIDS IN PAVED AREAS TO FINISHED GRADE. ALL FIELD ADJUSTMENTS SHALL BE NOTED AND BROUGHT TO THE ENGINEERS ATTENTION AND APPROVAL.
- CONSTRUCTION ACCESS TO THE SITE SHALL BE FROM CANYON DRIVE, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR THE COUNTY.
- ALL UTILITIES LOCATED BENEATH PAVED SURFACES SHALL BE BACKFILLED WITH SAND AND COMPACTED 95% S.P.D. COMPACTION SHALL BE ACCOMPLISHED BY TAMPING.
- THE CONTRACTOR SHALL NOTIFY CITY OF CORTEZ TRAFFIC MANAGEMENT 48 HOURS PRIOR TO ANY STREET CLOSING.

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
5280	5280	MAJOR CONTOUR (5' INTERVAL)
81	81	MINOR CONTOUR (1' INTERVAL)
X X X X	X X X X	WIRE FENCE
		PROPERTY BOUNDARY
		LOT LINE
		EASEMENT
		BUILDING SETBACK
		CURB AND GUTTER (SPILL/CATCH)
		EDGE OF BUILDING
W W	W	WATER LINE
WS WS	WS	WATER SERVICE
ST ST		STORM SEWER
SAN SAN	SAN	SANITARY SEWER
X X X X	X X X X	WIRE FENCE
GAS GAS	GAS	GASLINE
		SAWCUT LINE

EXISTING SYMBOLS	PROPOSED SYMBOLS	
Ø	Ø	POWER POLE
—	—	SIGN
⊗	⊗	FIRE HYDRANT
⊕	⊕	WATER VALVE
⊙	⊙	WATER METER
⊖	⊖	SANITARY MANHOLE
⊗	⊗	STORM DRAIN MANHOLE
⊙	⊙	CONIFEROUS TREE
⊖	⊖	DECIDUOUS TREE
⊕	⊕	ELECTRIC PEDESTAL
⊗	⊗	GAS METER
⊕	⊕	FIRE DEPARTMENT CONNECTION
⊕	⊕	SPOT ELEVATION
➔	➔	FLOW DIRECTION
⊕	⊕	ELECTRIC METER
⊕	⊕	ELECTRIC TRANSFORMER
⊕	⊕	CLEANOUT
⊕	⊕	IRRIGATION METER
⊕	⊕	DOWNSPOUT
⊕	⊕	TYPE '13' CURB INLET
⊕	⊕	CONCRETE FLARED END SECTION
⊕	⊕	LIGHT POLE
⊕	⊕	TELECOMMUNICATION MH

ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION	
SIDEWALK PAVING (4" THICK CONCRETE, 4000 PS)	
CONCRETE PAVING	
GRAVEL PAVING	
VEHICLE TRACKING CONTROL (VTC)	
MULCHING (MU)	
PERMANENT SEEDING (PS)	
EROSION CONTROL BLANKET (ECB)	
STABILIZED STAGING AREA (SSA)	
CONCRETE WASHOUT AREA (CWA)	
STOCKPILE MANAGEMENT (SP)	
ROCK SOCK (RS)	
SILT FENCE (SF)	
LIMITS OF CONSTRUCTION (LOC)	

ABBREVIATIONS

FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FL	FLOWLINE
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
ME	MATCH EXISTING
PVC	POLYVINYL CHLORIDE
R	RIM
RCP	REINFORCED CONCRETE PIPE
S/W	SIDEWALK



DESIGNED BY
I TV
DRAWN BY
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CHECKED BY
M

PREPARED BY
L Y
REVISION DESCRIPTION
CITY OF CORTEZ INITIAL 1

7B BUILDING & DEVELOPMENT
CITY OF CORTEZ

MONTEZUMA COUNTY

CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY

NOTES & LEGEND

44363

4/16/2022

4/16/2022

4/16/2022

4/16/2022

4/16/2022

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CIVIL CONSTRUCTION DOCUMENTS CHAMPION XPRESS CAR WASH

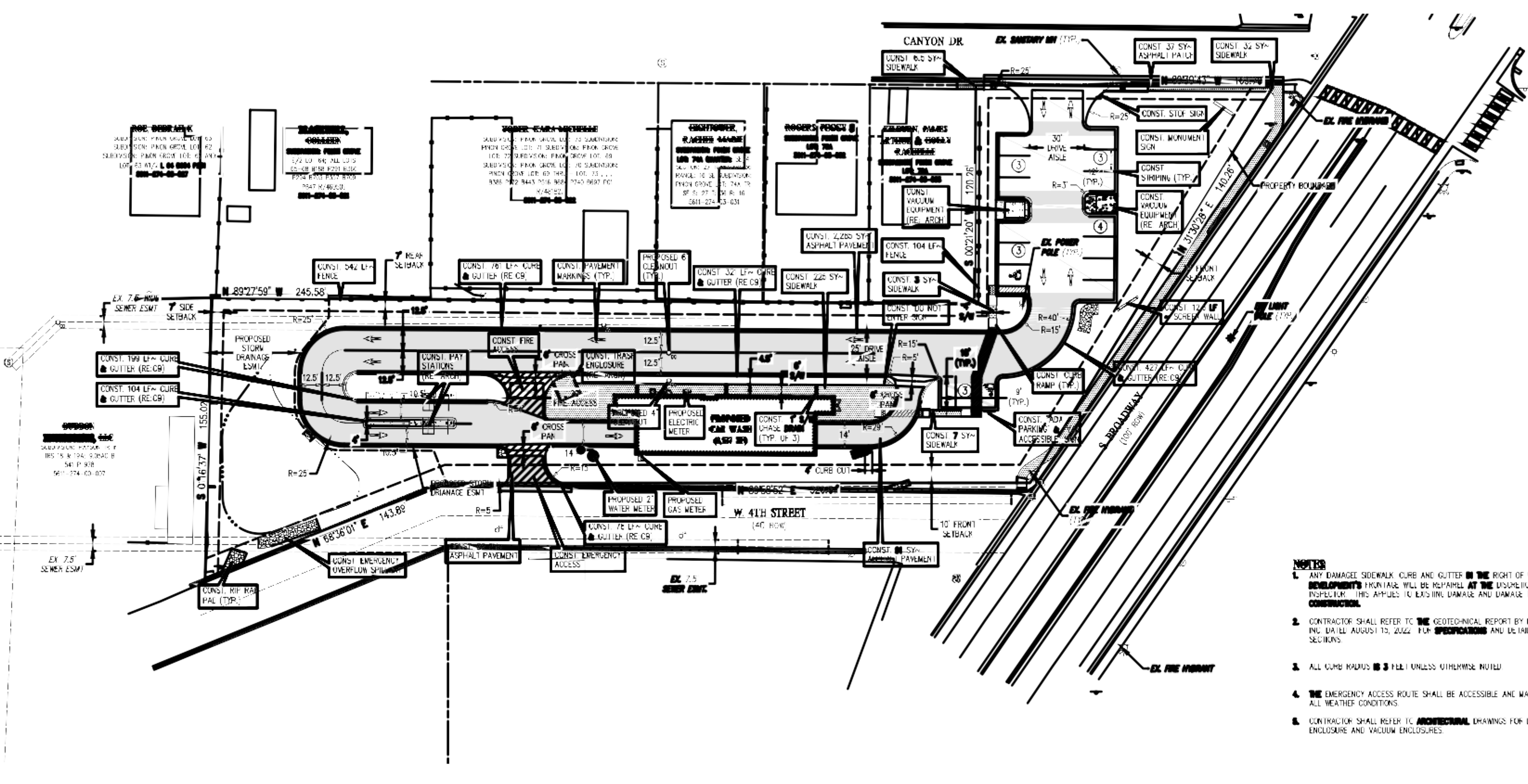
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CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

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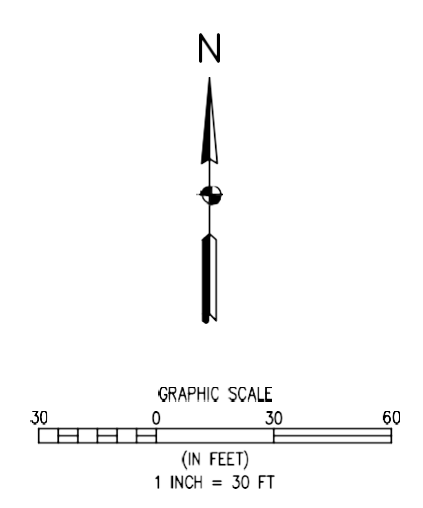
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7B BUILDING & DEVELOPMENT
CITY OF CORTEZ
MONTEZUMA COUNTY
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
HORIZONTAL CONTROL PLAN



- NOTES**
1. ANY DAMAGED SIDEWALK, CURB AND GUTTER IN THE RIGHT OF WAY ON THIS DEVELOPMENT'S FRONTAGE WILL BE REPAIRED AT THE DISCRETION OF THE RIGHT OF WAY INSPECTOR. THIS APPLIES TO EXISTING DAMAGE AND DAMAGE THAT OCCURS DURING CONSTRUCTION.
 2. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT BY KUMAR & ASSOCIATES, INC. DATED AUGUST 13, 2022 FOR SPECIFICATIONS AND DETAILS REGARDING PAVEMENT SECTIONS.
 3. ALL CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
 4. THE EMERGENCY ACCESS ROUTE SHALL BE ACCESSIBLE AND MAINTAINED AT ALL TIMES IN ALL WEATHER CONDITIONS.
 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF TRASH ENCLOSURE AND VACUUM ENCLOSURES.



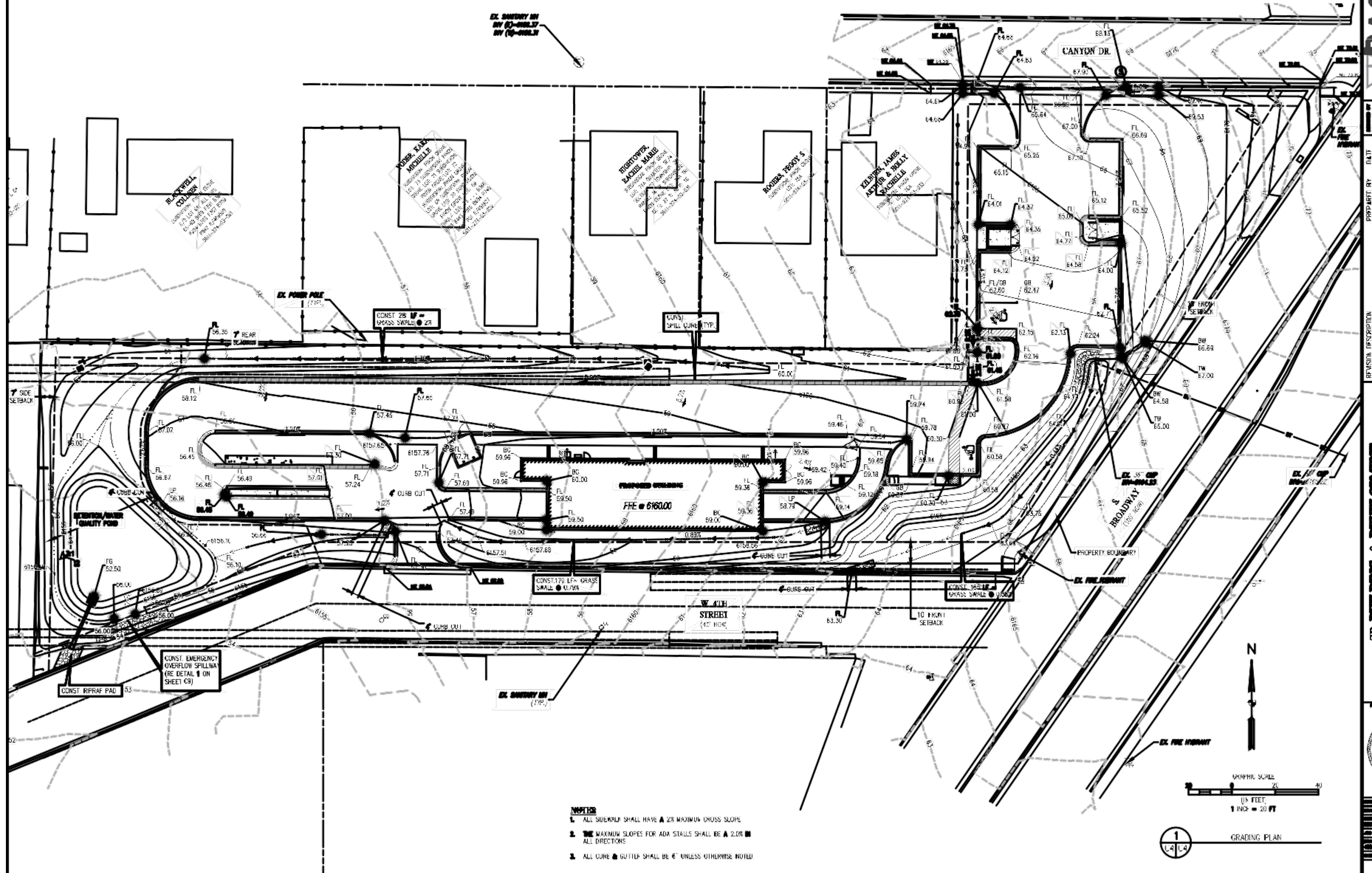
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HORIZONTAL CONTROL PLAN



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CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



- NOTES**
1. ALL SIDEWALKS SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
 2. THE MAXIMUM SLOPES FOR ADA STALLS SHALL BE A 2.0% IN ALL DIRECTIONS.
 3. ALL CURE & BUTTER SHALL BE 6" UNLESS OTHERWISE NOTED.

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BY	LM
CHECKED BY	LM
APPROVED BY	LM

7B BUILDING & DEVELOPMENT
CITY OF CORTEZ
MONTEZUMA COUNTY
CORTIZ CAR WASH
CANYON DRIVE & S. BROADWAY
GRADING PLAN

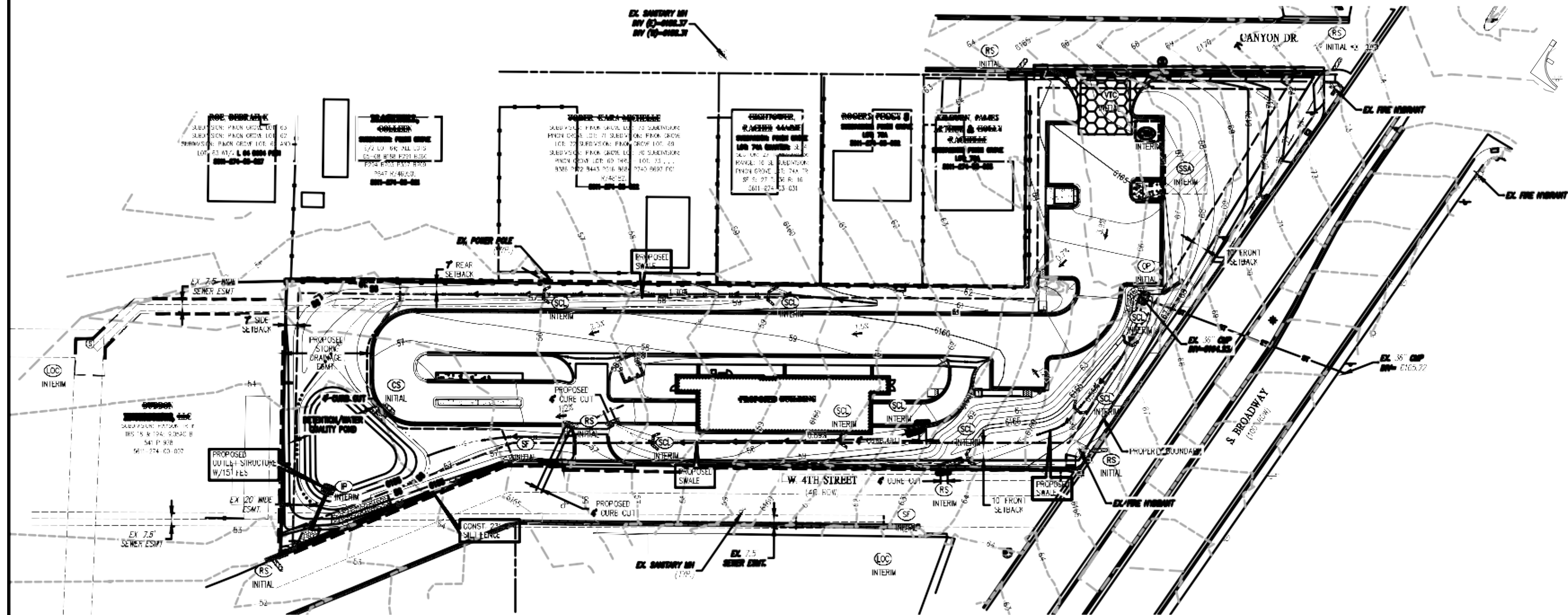
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GRADING PLAN



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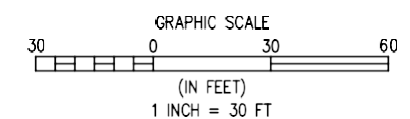
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LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



LEGEND EROSION & SEDIMENT

- VEHICLE TRACKING CONTROL (VTC)
- STABILIZED STAGING AREA (SSA)
- CONCRETE WASHOUT AREA (CWA)
- STOCKPILE MANAGEMENT (SP)
- INLET PROTECTION (IP)
- ROCK SOCK (RS)
- SEDIMENT CONTROL LOG (SCL)
- SILT FENCE (SF)
- LIMITS OF CONSTRUCTION (LOC)



1
C5/C5

EROSION & SEDIMENT CONTROL I - INITIAL & INTERIM

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7B BUILDING & DEVELOPMENT
MONTEZUMA COUNTY
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
EROSION & SEDIMENT CONTROL I - INITIAL & INTERIM

CITY OF CORTEZ



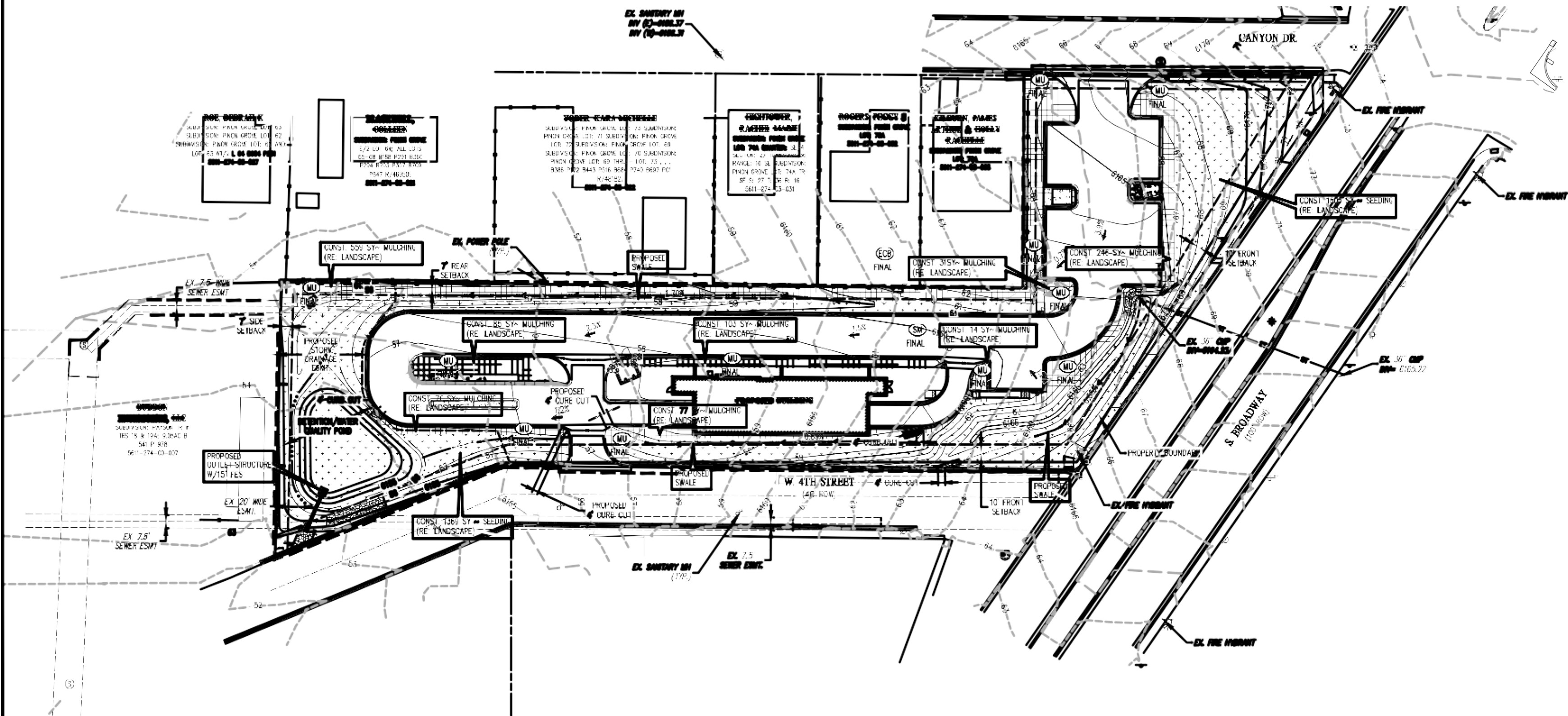
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CITY OF CORTEZ
44363
CITY OF CORTEZ, COLORADO
4/10/2022
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C5/C5



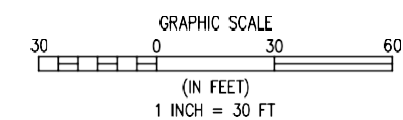
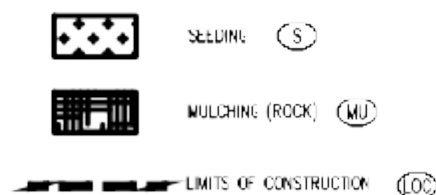
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CIVIL CONSTRUCTION DOCUMENTS CHAMPION XPRESS CAR WASH

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CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



LEGEND EROSION & SEDIMENT



1
C6/C6

EROSION & SEDIMENT CONTROL II - FINAL

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MONTEZUMA COUNTY
CORTX CAR WASH
CANYON DRIVE & S. BROADWAY
EROSION & SEDIMENT CONTROL II - FINAL



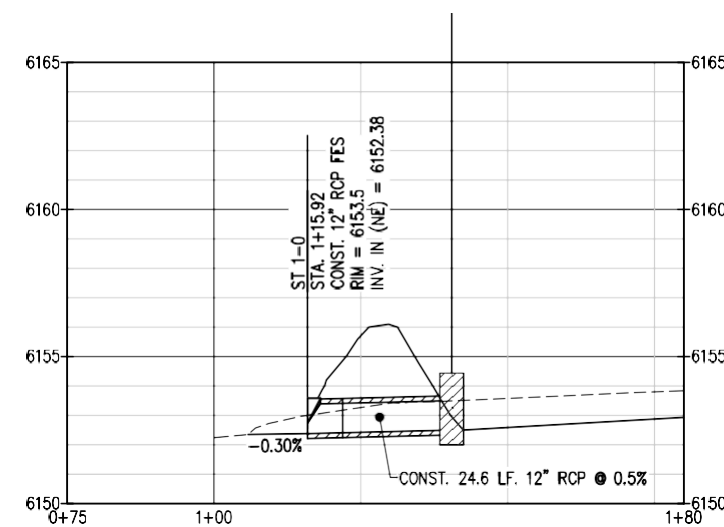
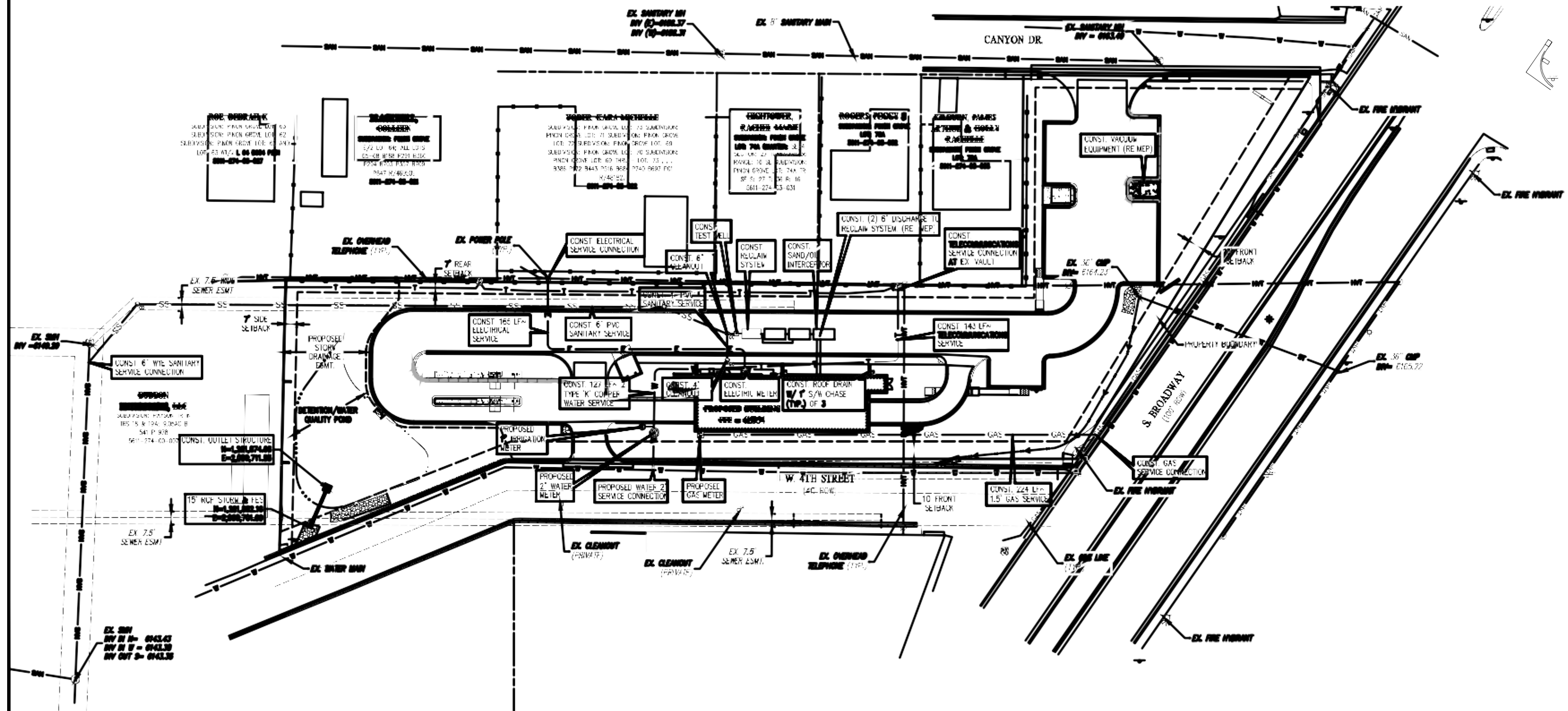
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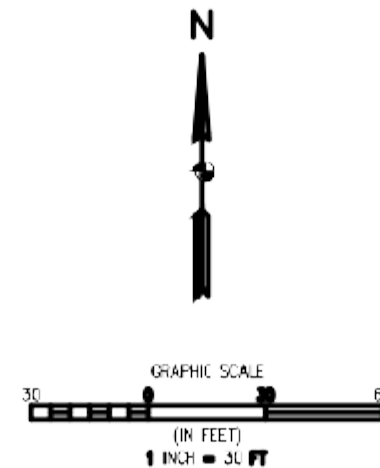
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CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



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STORM OUTFALL PROFILE



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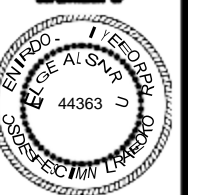
OVERALL UTILITY PLAN

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7B BUILDING & DEVELOPMENT
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MONTEZUMA COUNTY
CORTX CAR WASH
CANYON DRIVE & S. BROADWAY
OVERALL UTILITY PLAN



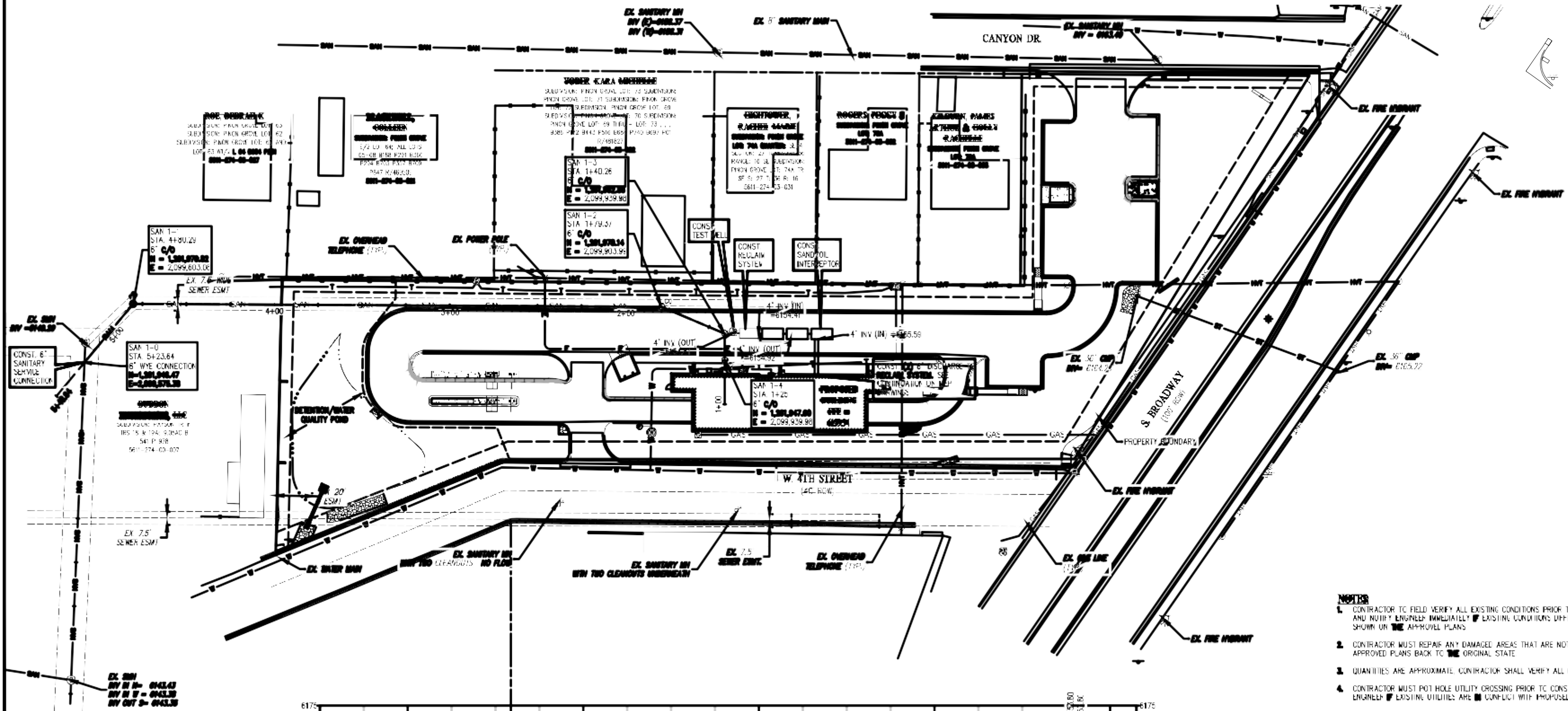
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CORTX CAR WASH
CANYON DRIVE & S. BROADWAY
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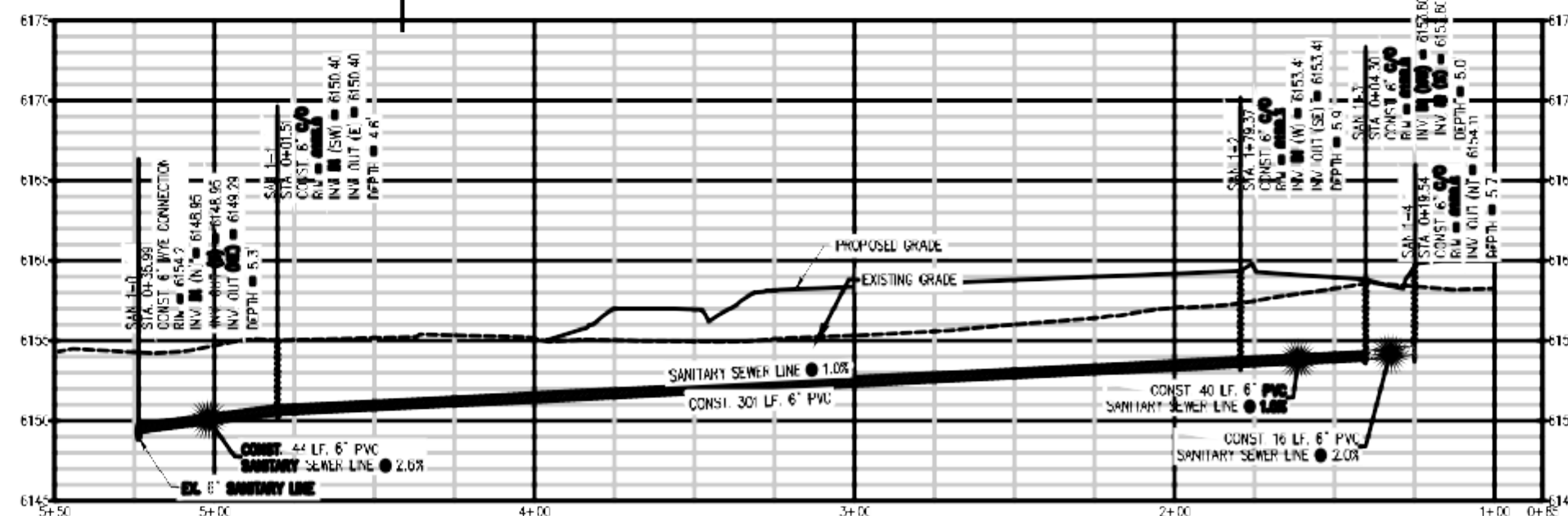
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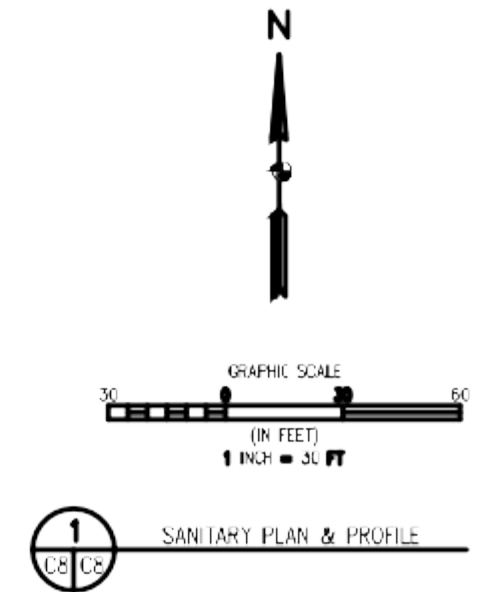


NOTES

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY IF EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN ON THE APPROVED PLANS.
2. CONTRACTOR MUST REPAIR ANY DAMAGED AREAS THAT ARE NOT A PART OF THE APPROVED PLANS BACK TO THE ORIGINAL STATE.
3. QUANTITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
4. CONTRACTOR MUST POT HOLE UTILITY CROSSING PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF EXISTING UTILITIES ARE IN CONFLICT WITH PROPOSED UTILITIES.

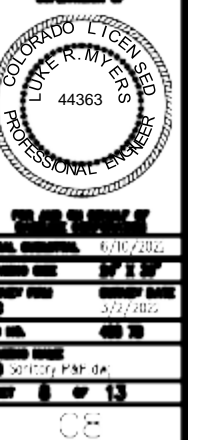


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7B BUILDING & DEVELOPMENT
MONTEZUMA COUNTY
CORTEZ CAR WASH
CANYON DRIVE & S. BROADWAY
SANITARY PLAN & PROFILE



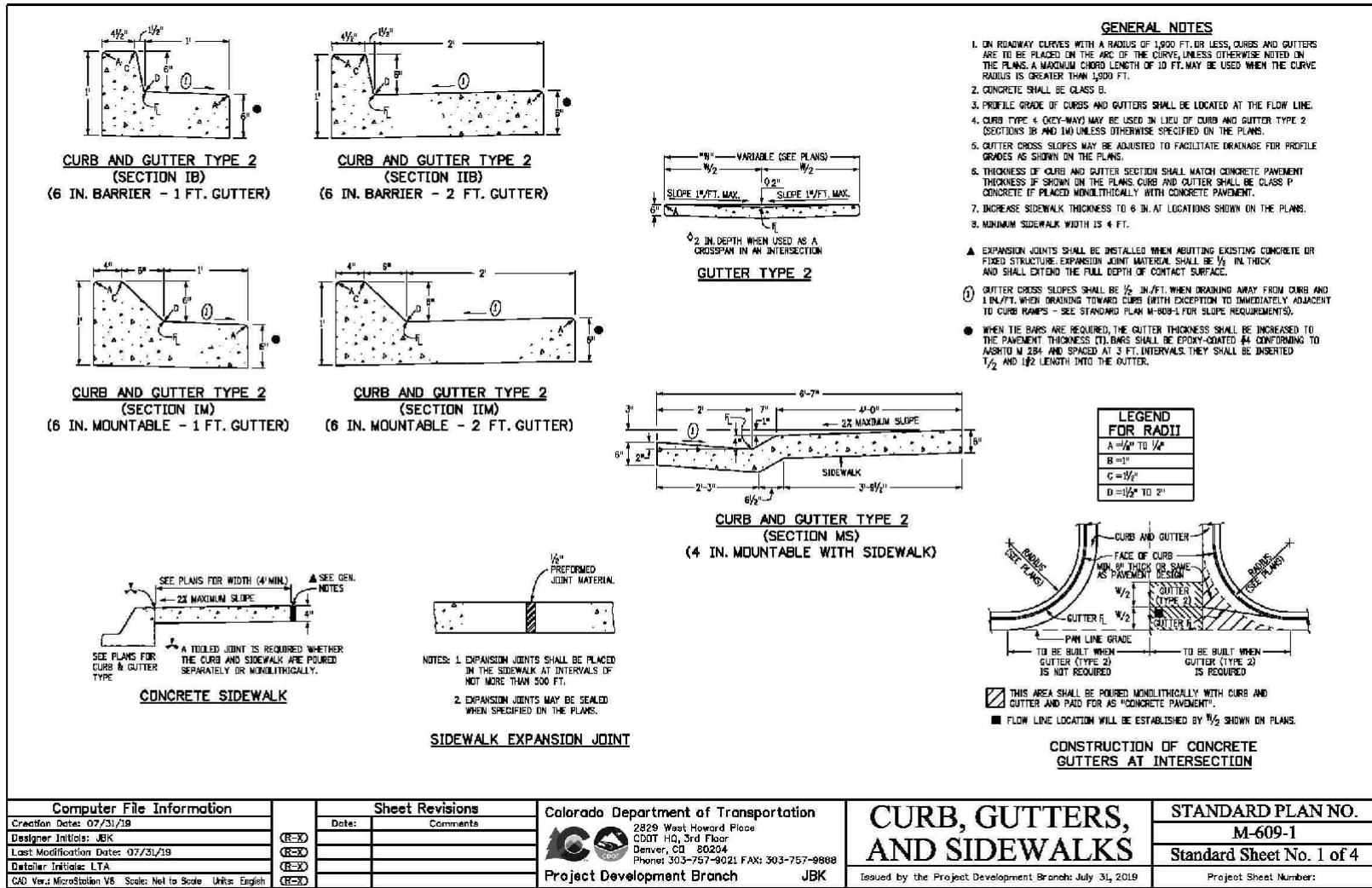
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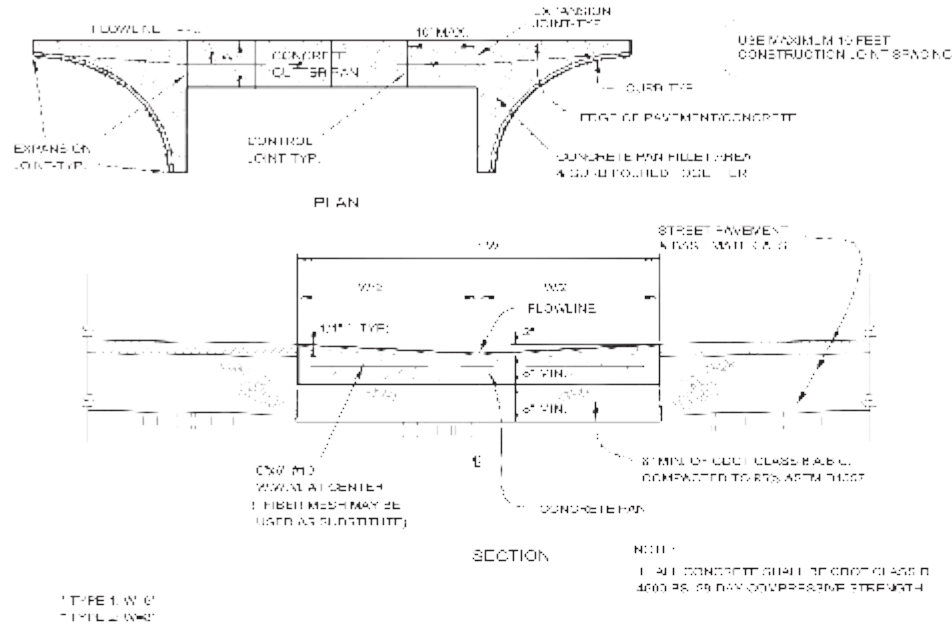
CIVIL CONSTRUCTION DOCUMENTS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
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CONFERENCE CALL STATE DEVELOPMENT LINE 9, 2019

FIGURE 3.6 CONCRETE GUTTER PAN



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DRAWN BY: A.R.
CHECKED BY: J.M.
REVISION DESCRIPTION: 1. CITY OF CORTEZ INITIAL 1
PROPART: RY
DATE: 07/31/19
BY: JLB

7B BUILDING & DEVELOPMENT
CITY OF CORTEZ
MONTEZUMA COUNTY
CCR EZ CAR WASH
CANYON DRIVE & S. BROADWAY
SITE DETAILS

JLB
6/30/2022
PTB
3/27/2022
JLB
JLB
C9



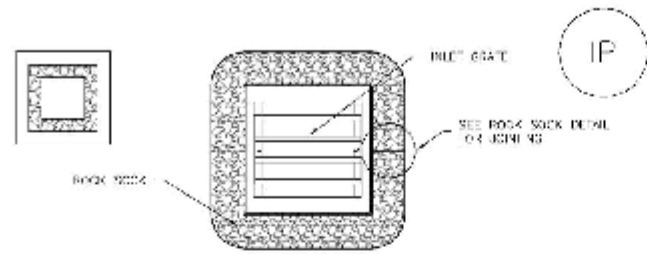
Know what's below.
Call before you dig.

CIVIL CONSTRUCTION DOCUMENTS CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

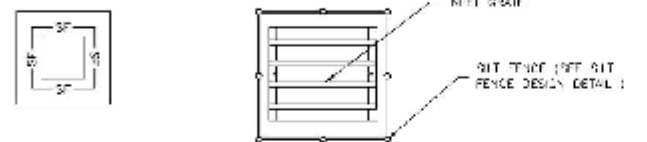
Inlet Protection (IP)

SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

- ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
 - STRAW WHITEL-SUBSURFACE CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR FILTER IN PERVIOUS AREAS. INSTALL PER SUBSURFACE CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

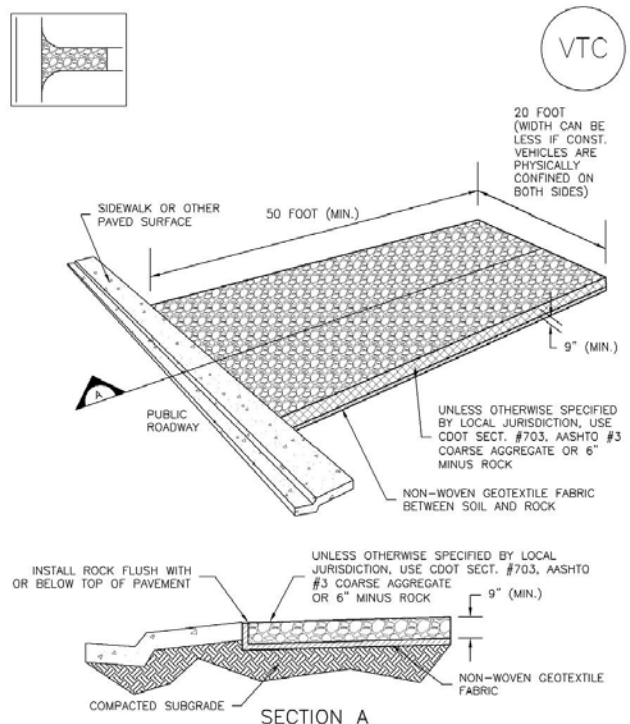
- SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- PLUS 3 SHALL BE PLACED AT EACH CORNER OF THE PILE AND AROUND THE EDGES AT A MINIMUM SPACING OF 3 FEET.
- STRAW WHITEL-SUBSURFACE CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR FILTER IN PERVIOUS AREAS. INSTALL PER SUBSURFACE CONTROL LOG DETAIL.

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IP-5

Vehicle Tracking Control (VTC)

SM-4



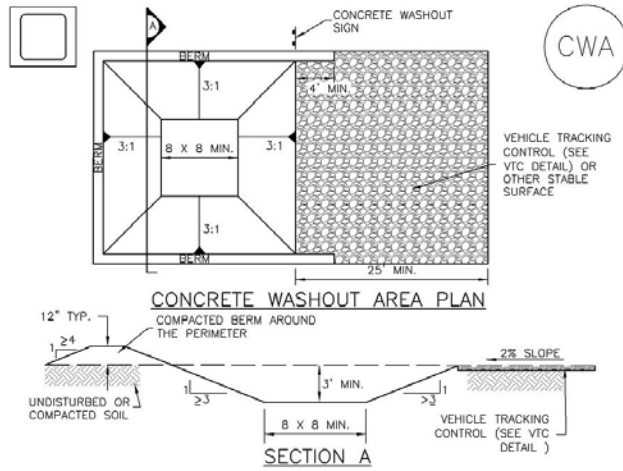
VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

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VTC-3

Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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CWA-3

Stabilized Staging Area (SSA)

SM-6

STABILIZED STAGING AREA MAINTENANCE NOTES

- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District
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November 2010

Concrete Washout Area (CWA)

MM-1

CWA MAINTENANCE NOTES

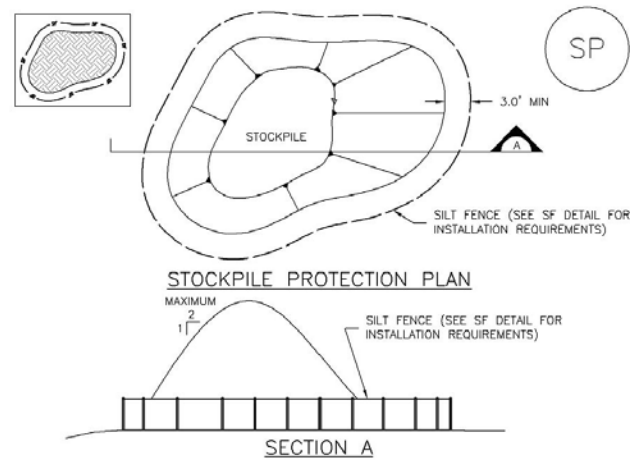
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF FARMER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District
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Stockpile Management (SP)

MM-2



SP-1. STOCKPILE PROTECTION

STOCKPILE PROTECTION INSTALLATION NOTES

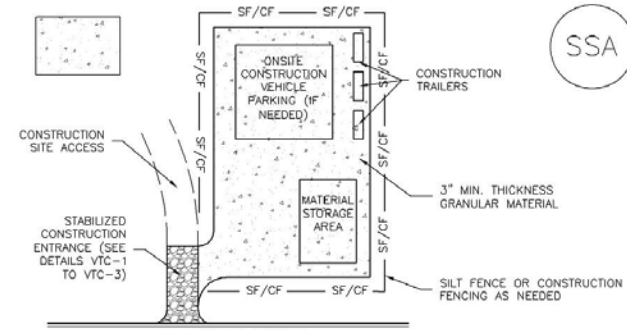
- SEE PLAN VIEW FOR:
-LOCATION OF STOCKPILES
-TYPE OF STOCKPILE PROTECTION.
- INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEGMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
- STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS, OR SOIL BINDERS, SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
- FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

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SP-3

Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-LOCATION OF STAGING AREA(S)
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

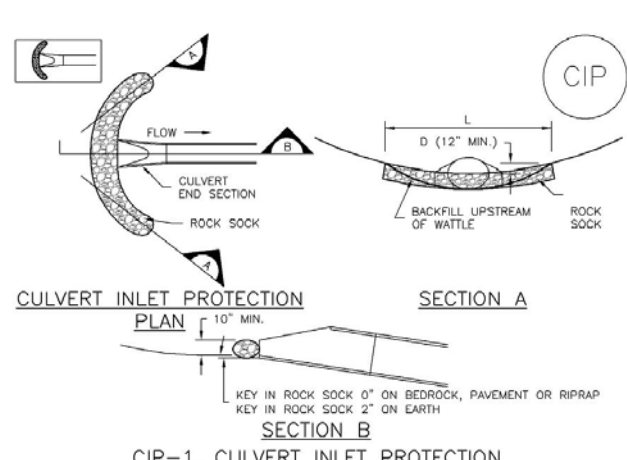
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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SSA-3

Inlet Protection (IP)

SC-6



CIP-1. CULVERT INLET PROTECTION

CULVERT INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-LOCATION OF CULVERT INLET PROTECTION.
 - SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINTING DETAIL.
- CULVERT INLET PROTECTION MAINTENANCE NOTES
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
 - CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- (DETAILS ADAPTED FROM AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Urban Storm Drainage Criteria Manual Volume 3

IP-7



DESIGNED BY
DRAWN BY
CHECKED BY

DATE
CITY OF CORTEZ, MONTEZUMA COUNTY

PROJECT NO.
CITY OF CORTEZ, MONTEZUMA COUNTY

REVISION DESCRIPTION
CITY OF CORTEZ, MONTEZUMA COUNTY

DATE
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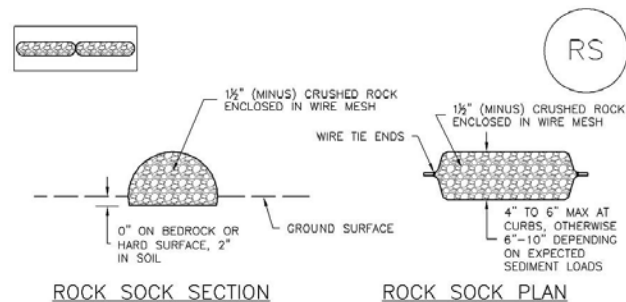
CIVIL CONSTRUCTION DOCUMENTS

CHAMPION XPRESS CAR WASH

LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO

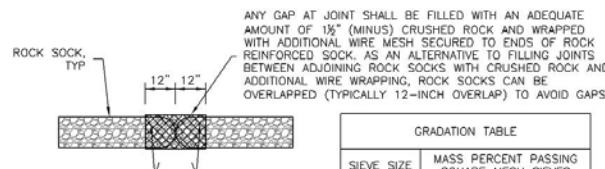
SC-5

Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

GRADATION TABLE	
SIEVE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
2"	NO. 4
1 1/2"	100
1"	90 - 100
3/4"	20 - 55
3/8"	0 - 15
3/16"	0 - 5
MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER ASTM M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.	

ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

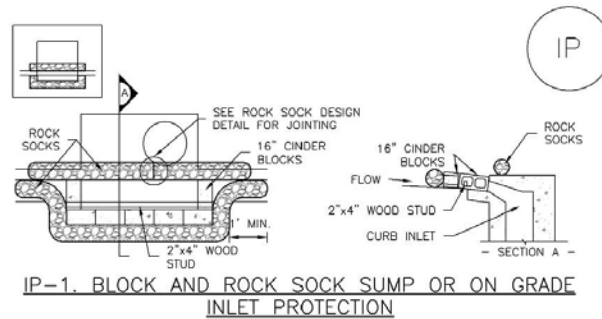
RS-3

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SC-5

SC-6

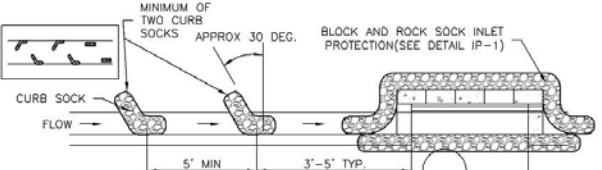
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
- GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
- PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
- AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

GENERAL INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-LOCATION OF INLET PROTECTION.
-TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
- INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
- MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/2 OF THE HEIGHT FOR STRAW BALES.
- INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
- WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

IP-8

Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

August 2013



DESIGNED BY
DRAWN BY
CHECKED BY

DATE
REV
REV

PROJECT NO.
SHEET NO.

REVISION DESCRIPTION
CITY OF CORTEZ, MONTEZUMA COUNTY

7B BUILDING & DEVELOPMENT
CORTÉZ CAR WASH
CANYON DRIVE & S. BROADWAY
EROSION CONTROL DETAILS II

44363

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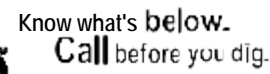
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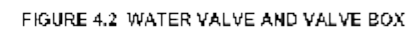


CIVIL CONSTRUCTION DOCUMENTS
CHAMPION XPRESS CAR WASH
LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTIZ, MONTEZUMA COUNTY, STATE OF COLORADO



Ordinance 41-25, Series 2079, Adopted June 9, 2009

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Guidance 4F-15, Series 2079-Adopted June 9, 2009

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Online: 41-25, Series: 2079, Adopted: June 6, 2009

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Publication 41-23, Series 2009-Adopted June 6, 2009

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7/B BUILDING & DEVELOPMENT

CITY OF CORTEZ

CCR EZ CAR WASH
CANYON DRIVE & S. BROADWAY
WATER & SEWER DETAILS

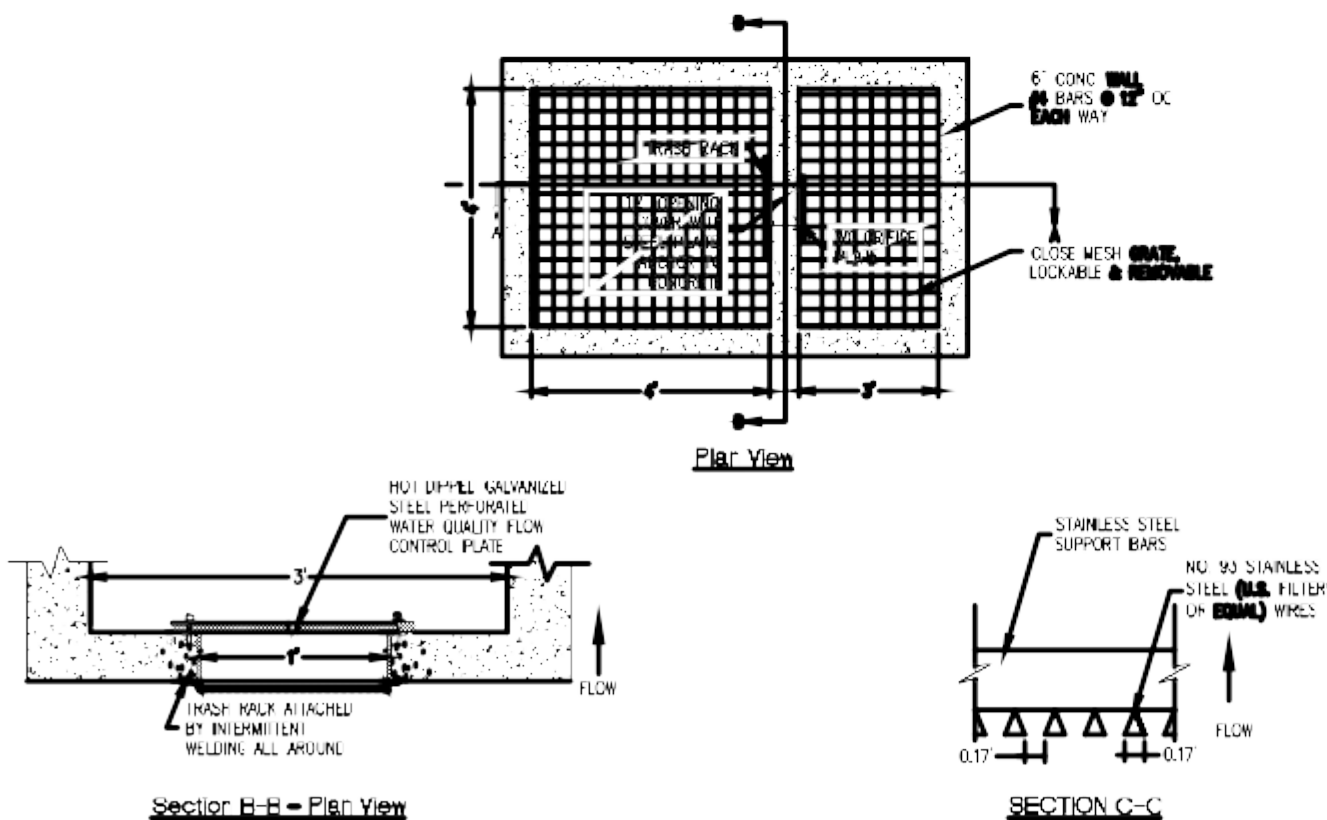
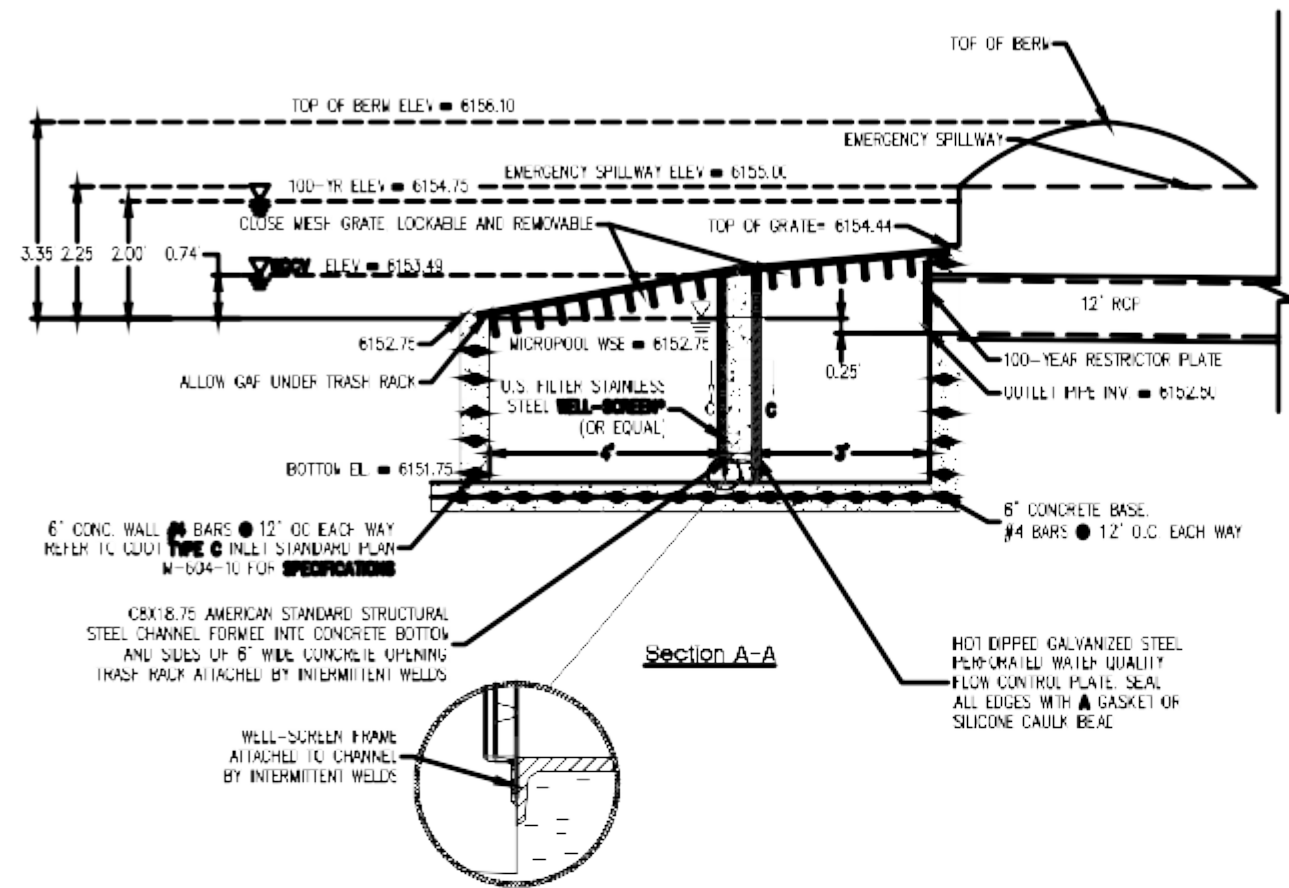
MARICOPA COUNTY



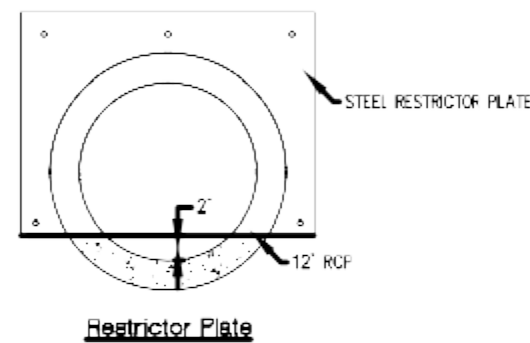
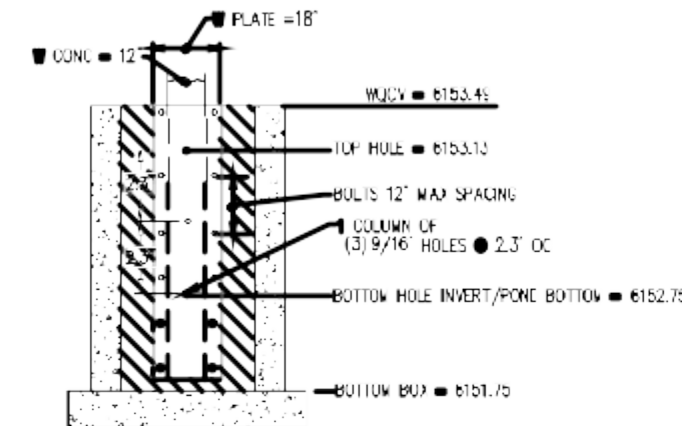
CIVIL CONSTRUCTION DOCUMENTS

CHAMPION XPRESS CAR WASH

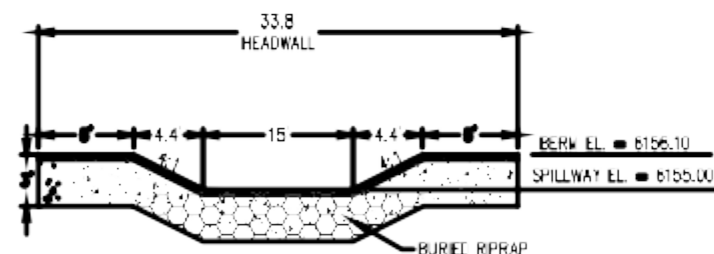
LOCATED IN SECTION 27, TOWNSHIP 36 NORTH, RANGE 16 WEST OF THE 6th PRINCIPAL MERIDIAN
CITY OF CORTEZ, MONTEZUMA COUNTY, STATE OF COLORADO



1 POND OUTLET STRUCTURE
NOT TO SCALE

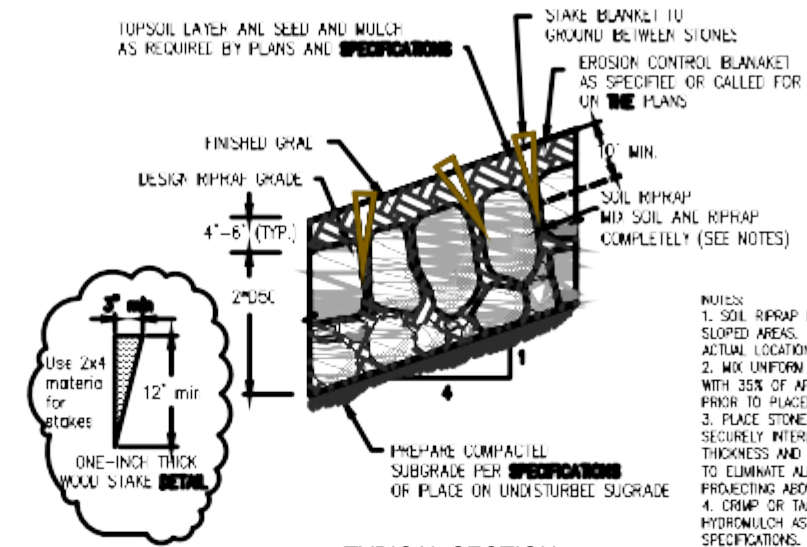


3 OUTLET RESTRICTOR PLATE DETAIL
NOT TO SCALE



- NOTES:
1. CONCRETE CUTOFF WALL SHALL BE 3' DEEP 8" THICK, AND EXTEND 5' INTO THE EMBANKMENT ON EACH SIDE OF THE SPILLWAY.
 2. RIPRAP SHALL BE 1 1/2" MEDIAL SIZE 18".
 3. MINIMUM RIPRAP WIDTH SHALL MATCH TOP WIDTH OF SPILLWAY.
 4. BURIED RIPRAP SHALL EXTEND 14' FROM THE CUTOFF WALL DOWN THE EMBANKMENT AS SHOWN ON THE DRAINAGE PLAN AND BE INSTALLED PER DETAIL 5 ON THIS SHEET.

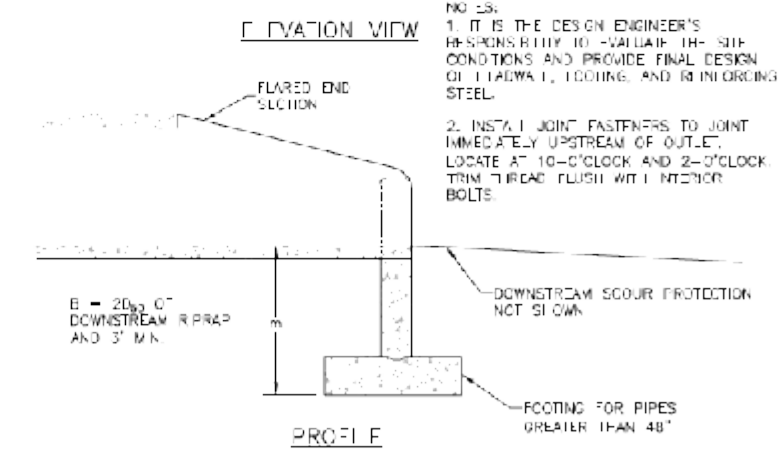
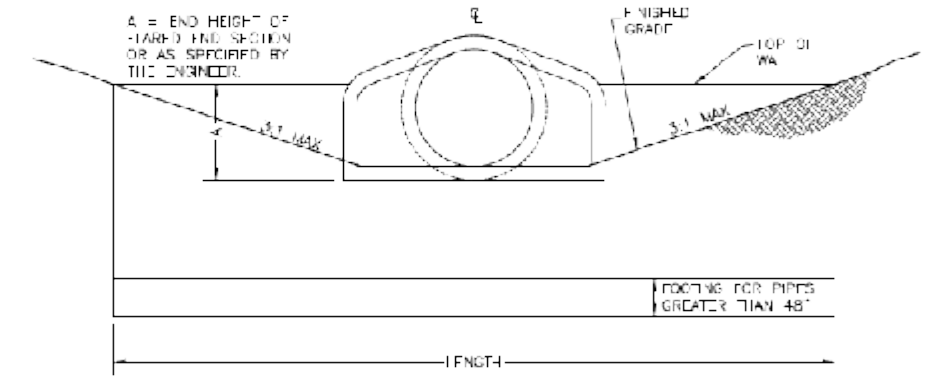
5 BURIED RIPRAP DETAIL
NOT TO SCALE



6 BURIED RIPRAP DETAIL
NOT TO SCALE

Hydraulic Structures

Chapter 9



HEADWALL DESIGN TABLE

PIPE SIZE	LENGTH MIN
18"	7'-0"
24"	8'-0"
30"	10'-0"
36"	12'-0"
42"	15'-0"
48"	17'-0"
54"	19'-0"
60"	21'-0"
66"	22'-0"
72"	24'-0"

Figure 9-29. Flared end section (FES) headwall concept

6 HEADWALL DETAIL
NOT TO SCALE



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 5. c.

MEMO TO: Honorable Mayor and City Council

FROM: Rachael Marchbanks, Director of Community/Economic Development

SUBJECT: Resolution No. 29, Series 2022

BACKGROUND

See Attached.

RECOMMENDATION

Staff recommends that Council approves Resolution No. 29, Series 2022, Staton Jeter CUP, a Resolution approving a Conditional Use Permit and Plat Amendment for a Garage/Shop accessory to a Single Family Residence at 820 N. Dolores Rd., Located in the Residential Single Family (R1) Zoning District

Attachments

Resolution No. 29, Series 2022, Jeter



*City of Cortez Planning
and Building
123 Roger Smith Avenue
Cortez, CO 81321*

Item No: 5c.
Meeting Date: October 25, 2022
Project No. F17-000028

TITLE: Public Hearing on an Application for a Plat Amendment to the Stearman Minor Subdivision to vacate the lot line between lots 1 and 2 located at 820 N Dolores Rd/zoned R1.

SUBMITTING DEPARTMENT: Planning and Building

ATTACHMENTS: P&Z Resolution No. 29, Series 2022
Application Packet

BACKGROUND

Staton Jeter is proposing to consolidate two lots that he owns in the Stearman Minor Subdivision to facilitate the construction of a large shop/garage structure as an accessory use to the existing single-family home. The combined lots will total 1.18 acres or 51,400 sq. ft.

The site is bounded on all sides by R1, Residential Single-Family zoned property. The R-1 zoned parcels surrounding the property are all larger than the minimum lot size for the R1 zone. The proposed property is significantly larger than the minimum for the zone.

DEVELOPMENT STANDARDS

Development Standard	R1 Zone Requirement	Proposed
Min. lot area (sq. ft.)	7,000	51,400
Min. front yard (ft.)	20'	140'
Min. side yard (ft)	7'	10'
Min. rear yard (ft)	7'	65'
Max. lot coverage	40%	9%
Max. floor area	800 sq. ft. or 33% of total sq. ft. of structure	2,400 sq. ft.
Max height (ft)	20'	15'8"
Parking	2 spaces	2+ spaces

ISSUES

Section 6.09 of the City's Land Use Code allows a replat or plat amendment under the following circumstances:

- (a) Replats and plat amendments shall be subject to all of the requirements of this code regarding preliminary plats and final plats, provided, however, that the city council shall be authorized to approve a replat or plat amendment without notice or hearing where the replat or plat amendment is solely for one or more of the following purposes and does not remove any covenants or restrictions or increase the number of lots. Such approval and issuance shall not require notice, hearing, or approval of other lot owners. Allowable purposes for a replat or plat amendment include to:
- (1) Correct an error in any course or distance shown on the prior plat.
 - (2) Add any course or distance that was omitted on the prior plat.
 - (3) Correct an error in the description of the real property shown on the prior plat.
 - (4) Indicate monuments set after death, disability, or retirement from practice of the engineer responsible for setting the monuments.
 - (5) Show the proper location or character of any monument that has been changed in location or character or that originally was shown at the wrong location or incorrectly as to its character on the prior plat.
 - (6) Correct any other type of clerical error or omission in the previously approved plat.
 - (7) Correct an error in courses and distances of lot lines between two (2) adjacent lots where both lot owners join in the application for plat amendment and neither lot is abolished, provided that such amendment does not have a material adverse effect on the property rights of the owners in the plat.
 - (8) Relocate a lot line in order to cure an inadvertent encroachment of a building or improvement on a lot line or on an easement.
 - (9) Relocate or vacate one (1) or more lot lines between one (1) or more adjacent lots and /or parcels or tracts where the owner or owners of all such property join in the application for the plat amendment.

DISCUSSION

The purpose of this request is to combine the two existing lots into one. The resultant lot will meet or exceed all requirements of the R-1 zoning district.



AGENCY REVIEW

GIS Coordinator (Doug Roth)

No comments or concerns

Cortez Building Department

No comment

City of Cortez Public Works

No comment

Cortez Sanitation District (Jim Webb)

The Sanitation District has no conflict with this proposal as long as we are granted our existing easement on the east side of the property.

Cortez City Engineer (George Tripp)

Only comments is that there should be no structures built on the easements that bisect, in both directions, the new lot 1A.

ALTERNATIVES

1. The Council can approve the amended plat/boundary adjustment;
2. The Council can deny the amended plat and state their reasons;
3. The Council can ask for more information and table the application; or
4. The Council can approve the amended plat, and state any conditions they feel would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative “4” above, approval of the amended plat/lot consolidation with 2 conditions.

If the City Council so chooses to follow the recommendation of Staff, the Council can **make the motion to approve the amended plat as submitted by Staton Jeter through Resolution No., Series 2022, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
2. The plat shall be recorded at the Montezuma County Clerk and Records Office within six (6) months of Council approval, in accordance with Land Use Code Section 6.05 (d)(2)a.

CITY OF CORTEZ
CITY COUNCIL
RESOLUTION NO. 29, SERIES 2022
JETER CONDITIONAL USE PERMIT
820 N. DOLORES RD

**CITY OF CORTEZ
CITY COUNCIL
RESOLUTION NO. 29, SERIES 2022**

**A Resolution approving a Conditional Use Permit for a Garage/Shop accessory to a Single Family Residence at 820 N. Dolores Rd.,
Located in the Residential Single Family (R1) Zoning District**

WHEREAS, applicant Staton Jeter has applied for review of a conditional use permit for the construction of a 2,400 sq. ft. garage/shop on property at 820 N. Dolores Rd., Cortez, Colorado and more particularly described as:

Lot 1 and 2, Stearman Minor Subdivision

WHEREAS, the Owner/applicant has applied to the City for review of a conditional use permit for the construction of a new building on said property; and

WHEREAS, the Owner/applicant presented an application and necessary submittal items for review by the Cortez City Council at a regular meeting held on October 11, 2022; and

WHEREAS, Land Use Code Section 3.05(b)4.2.f Accessory Use or Structure and 6.10 Conditional Use Permits, indicates that the owner or developer of the property may request an application of the proposed use/structure on property located in the Residential Single Family (R1) Zoning District; and,

WHEREAS, the Planning and Zoning Commission reviewed the conditional use permit for the same property and is recommending approval of the development on said property, as evidenced in the adoption of P&Z Resolution No. 11, Series 2022; and

WHEREAS, the Owner/applicant has held legal ownership of the property subsequent to the adoption of said P&Z Resolution No. 11, Series 2022, and is interested in further development of this property; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission and the Owner have agreed to certain conditions of approval for the development; and

WHEREAS, it appears that all requirements of Chapters 3.00 and 6.00 of the City's Land Use Code for development of this site have been or can be met.

CITY OF CORTEZ
CITY COUNCIL
RESOLUTION NO. 29, SERIES 2022
JETER CONDITIONAL USE PERMIT
820 N. DOLORES RD

NOW, THERFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL:

THAT, Cortez City Council Resolution No. 29, Series 2022, establishes the conditions of approval for the development on the afore-mentioned property; and

THAT, the conditional use permit and full application for said property are hereby recommended to Council for approval, subject to the following conditions to ensure compliance with the standards in the land use code for a site development plan and conditional use permit:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, must be approved by the Building Official, and a building permit obtained prior to any construction on site.
3. Prior to issuance of a full building permit, the applicant shall vacate the existing lot line and consolidate the properties.
4. The garage/shop is limited to accessory uses to a single family dwelling such as personal storage and hobbies. No commercial use of the structure is permitted.

AND THAT, the Owner/applicant are to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 25TH DAY OF OCTOBER, 2022

Rachel B. Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk

**CITY OF CORTEZ
RESOLUTION NO.29, SERIES 2022**

A Resolution Approving an Amended Plat of the Stearman Minor Subdivision

WHEREAS, applicant Staton Jeter has applied for review of plat amendment to the Stearman Minor Subdivision, Cortez, Colorado and more particularly described as:

Lot 1 and 2, Stearman Minor Subdivision

WHEREAS, the Owner/applicant has applied to the City for review of a plat amendment to consolidate lots 1 and 2; and,

WHEREAS, the Owner/applicant presented an application and necessary submittal items for review by the City Council at a regular meeting held on October 25, 2022; and,

WHEREAS, Land Use Code Section 6.09, Replats and plat amendments, it is a requirement of the Land Use Code that this proposed amendment go through a review by Staff and Council prior to approval of the desired plat being recorded; and,

WHEREAS, the Council reviewed the proposal and heard testimony concerning the application for an amended plat to combine lots 1 and 2 of the Stearman Minor Subdivision; and,

WHEREAS, based on the evidence and testimony presented at said meeting, Council approved, with conditions, the proposed amended plat as evidenced in the approved minutes of their meeting on October 25, 2022, and the adoption of Council Resolution No. 29, Series 2022; and,

WHEREAS, based on the evidence and testimony presented at said meeting, the Council and the Owner have agreed to certain conditions of approval for the development; and,

WHEREAS, it appears that all requirements of Chapters 3.00 and 6.00 of the City's Land Use Code for development of this site have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ CITY COUNCIL:

THAT, the amended plat and full application of lots 1 and 2 Stearman Minor Subdivision is hereby approved, subject to the following conditions to ensure compliance with the standards in the land use code:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

CITY OF CORTEZ

RESOLUTION NO. 29, SERIES 2022

STEARMAN MINOR SUBDIVISION AMENDMENT

2. The plat shall be recorded at the Montezuma County Clerk and Records Office within six (6) months of Council approval, in accordance with Land Use Code Section 6.05 (d)(2)a.

AND THAT, the Owner/applicant are to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 25TH DAY OF OCTOBER, 2022

Rachel B. Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk

When recorded, return to:
Prime Choice Funding, Inc.
Post Closing
17852 E. 17th Street, Suite 107
Tustin, CA 92780
877-787-7463

Title Order No.: NSWREF21396159
Escrow No.: NSWREF21396159
LOAN #: 211091857

[Space Above This Line For Recording Data]

DEED OF TRUST

MIN 1014166-0000088515-3
MERS PHONE #: 1-888-679-6377

DEFINITIONS
Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 16.
(A) "Security Instrument" means this document, which is dated December 6, 2021, together with all Riders to this document.
(B) "Borrower" is STATON JETER.

whose address is 820 North Dolores Road, Cortez, CO 81321.

Borrower is the trustor under this Security Instrument.
(C) "Lender" is Prime Choice Funding, Inc..

Lender is a Corporation, organized and existing
under the laws of California.
Lender's address is 17852 E. 17th Street, Suite 107, Tustin, CA 92780.

(D) "Trustee" is the Public Trustee of Montezuma County, Colorado.
(E) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. MERS is the beneficiary under this Security Instrument. MERS is organized and existing under the laws of Delaware, and has an address and telephone number of P.O. Box 2026, Flint, MI 48501-2026, tel. (888) 679-MERS.
(F) "Note" means the promissory note signed by Borrower and dated December 6, 2021. The Note states that Borrower owes Lender TWO HUNDRED FIFTY SIX THOUSAND TWO HUNDRED AND NO/100* * * * * Dollars (U.S. \$256,200.00) plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than January 1, 2052.
(G) "Property" means the property that is described below under the heading "Transfer of Rights in the Property."
(H) "Loan" means the debt evidenced by the Note, plus interest, any prepayment charges and late charges due under the Note, and all sums due under this Security Instrument, plus interest.



(I) "Riders" means all Riders to this Security Instrument that are executed by Borrower. The following Riders are to be executed by Borrower [check box as applicable]:

- ☐ Adjustable Rate Rider
- ☐ Balloon Rider
- ☐ Biweekly Payment Rider
- ☐ Other(s) [specify]
- ☐ Condominium Rider
- ☐ Planned Unit Development Rider
- ☐ V.A. Rider
- ☐ Second Home Rider
- ☐ 1-4 Family Rider

(J) "Applicable Law" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(K) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(L) "Electronic Funds Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(M) "Escrow Items" means those items that are described in Section 3.

(N) "Miscellaneous Proceeds" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(O) "Mortgage Insurance" means insurance protecting Lender against the nonpayment of, or default on, the Loan.

(P) "Periodic Payment" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(Q) "RESPA" means the Real Estate Settlement Procedures Act (12 U.S.C. §2601 et seq.) and its implementing regulation, Regulation X (12 C.F.R. Part 1024), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Loan does not qualify as a "federally related mortgage loan" under RESPA.

(R) "Successor in Interest of Borrower" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

TRANSFER OF RIGHTS IN THE PROPERTY

The beneficiary of this Security Instrument is MERS (solely as nominee for Lender and Lender's successors and assigns) and the successors and assigns of MERS. This Security Instrument secures to Lender: (i) the repayment of the Loan, and all renewals, extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower, in consideration of the debt and the trust herein created, irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described property located in the County of Montezuma

[Type of Recording Jurisdiction] [Name of Recording Jurisdiction]:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF AS "EXHIBIT A".
APN #: 5609-193-03-001

which currently has the address of 820 North Dolores Road, Cortez,

[Street] [City]

Colorado 81321 ("Property Address")
[Zip Code]

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property." Borrower understands and agrees that MERS holds only legal title to the interests granted by Borrower in this Security Instrument, but, if necessary to comply with law or custom, MERS (as nominee for Lender and Lender's successors and assigns) has the right: to exercise any or all of those interests, including, but not limited to, the right to foreclose and sell the Property; and to take any action required of Lender including, but not limited to, releasing and canceling this Security Instrument.



BORROWER COVENANTS that Borrower is lawfully seized of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record and liens for taxes for the current year not yet due and payable.

THIS SECURITY INSTRUMENT combines uniform covenants for national use and non-uniform covenants with limited variations by jurisdiction to constitute a uniform security instrument covering real property.

UNIFORM COVENANTS. Borrower and Lender covenant and agree as follows:

1. Payment of Principal, Interest, Escrow Items, Prepayment Charges, and Late Charges. Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any prepayment charges and late charges due under the Note. Borrower shall also pay funds for Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

Payments are deemed received by Lender when received at the location designated in the Note or at such other location as may be designated by Lender in accordance with the notice provisions in Section 15. Lender may return any payment or partial payment if the payment or partial payments are insufficient to bring the Loan current. Lender may accept any payment or partial payment insufficient to bring the Loan current, without waiver of any rights hereunder or prejudice to its rights to refuse such payment or partial payments in the future, but Lender is not obligated to apply such payments at the time such payments are accepted. If each Periodic Payment is applied as of its scheduled due date, then Lender need not pay interest on unapplied funds. Lender may hold such unapplied funds until Borrower makes payment to bring the Loan current. If Borrower does not do so within a reasonable period of time, Lender shall either apply such funds or return them to Borrower. If not applied earlier, such funds will be applied to the outstanding principal balance under the Note immediately prior to foreclosure. No offset or claim which Borrower might have now or in the future against Lender shall relieve Borrower from making payments due under the Note and this Security Instrument or performing the covenants and agreements secured by this Security Instrument.

2. Application of Payments or Proceeds. Except as otherwise described in this Section 2, all payments accepted and applied by Lender shall be applied in the following order of priority: (a) interest due under the Note; (b) principal due under the Note; (c) amounts due under Section 3. Such payments shall be applied to each Periodic Payment in the order in which it became due. Any remaining amounts shall be applied first to late charges, second to any other amounts due under this Security Instrument, and then to reduce the principal balance of the Note.

If Lender receives a payment from Borrower for a delinquent Periodic Payment which includes a sufficient amount to pay any late charge due, the payment may be applied to the delinquent payment and the late charge. If more than one Periodic Payment is outstanding, Lender may apply any payment received from Borrower to the repayment of the Periodic Payments if, and to the extent that, each payment can be paid in full. To the extent that any excess exists after the payment is applied to the full payment of one or more Periodic Payments, such excess may be applied to any late charges due. Voluntary prepayments shall be applied first to any prepayment charges and then as described in the Note.

Any application of payments, insurance proceeds, or Miscellaneous Proceeds to principal due under the Note shall not extend or postpone the due date, or change the amount, of the Periodic Payments.

3. Funds for Escrow Items. Borrower shall pay to Lender on the day Periodic Payments are due under the Note, until the Note is paid in full, a sum (the "Funds") to provide for payment of amounts due for: (a) taxes and assessments and other items which can attain priority over this Security Instrument as a lien or encumbrance on the Property; (b) leasehold payments or ground rents on the Property, if any; (c) premiums for any and all insurance required by Lender under Section 5; and (d) Mortgage Insurance premiums, if any, or any sums payable by Borrower to Lender in lieu of the payment of Mortgage Insurance premiums in accordance with the provisions of Section 10. These items are called "Escrow Items." At origination or at any time during the term of the Loan, Lender may require that Community Association Dues, Fees, and Assessments, if any, be escrowed by Borrower, and such dues, fees and assessments shall be an Escrow Item. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this Section. Borrower shall pay Lender the Funds for Escrow Items unless Lender waives Borrower's obligation to pay the Funds for any or all Escrow Items. Lender may waive Borrower's obligation to pay to Lender Funds for any or all Escrow Items at any time. Any such waiver may only be in writing. In the event of such waiver, Borrower shall pay directly, when and where payable, the amounts due for any Escrow Items for which payment of Funds has been waived by Lender and, if Lender requires, shall furnish to Lender receipts evidencing such payment within such time period as Lender may require. Borrower's obligation to make such payments and to provide receipts shall for all purposes be deemed to be a covenant and agreement contained in this Security Instrument, as the phrase "covenant and agreement" is used in Section 9. If Borrower is obligated to pay Escrow Items directly, pursuant to a waiver, and Borrower fails to pay the amount due for an Escrow Item, Lender may exercise its rights under Section 9 and pay such amount and Borrower shall then be obligated under Section 9 to repay to Lender any such amount. Lender may revoke the waiver as to any or all Escrow Items at any time by a notice given in accordance with Section 15 and, upon such revocation, Borrower shall pay to Lender all Funds, and in such amounts, that are then required under this Section 3.

Lender may, at any time, collect and hold Funds in an amount (a) sufficient to permit Lender to apply the Funds at the time specified under RESPA, and (b) not to exceed the maximum amount a lender can require under RESPA. Lender shall estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with Applicable Law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is an institution whose deposits are so insured) or in any Federal Home Loan Bank. Lender shall



apply the Funds to pay the Escrow Items no later than the time specified under RESPA. Lender shall not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays Borrower interest on the Funds and Applicable Law permits Lender to make such a charge. Unless an agreement is made in writing or Applicable Law requires interest to be paid on the Funds, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender can agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds as required by RESPA.

If there is a surplus of Funds held in escrow, as defined under RESPA, Lender shall account to Borrower for the excess funds in accordance with RESPA. If there is a shortage of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the shortage in accordance with RESPA, but in no more than 12 monthly payments. If there is a deficiency of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the deficiency in accordance with RESPA, but in no more than 12 monthly payments.

Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender.

4. Charges; Liens. Borrower shall pay all taxes, assessments, charges, fines, and impositions attributable to the Property which can attain priority over this Security Instrument, leasehold payments or ground rents on the Property, if any, and Community Association Dues, Fees, and Assessments, if any. To the extent that these items are Escrow Items, Borrower shall pay them in the manner provided in Section 3.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender, but only so long as Borrower is performing such agreement; (b) contests the lien in good faith by, or defends against enforcement of the lien in, legal proceedings which in Lender's opinion operate to prevent the enforcement of the lien while those proceedings are pending, but only until such proceedings are concluded; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which can attain priority over this Security Instrument, Lender may give Borrower a notice identifying the lien. Within 10 days of the date on which that notice is given, Borrower shall satisfy the lien or take one or more of the actions set forth above in this Section 4.

Lender may require Borrower to pay a one-time charge for a real estate tax verification and/or reporting service used by Lender in connection with this Loan.

5. Property Insurance. Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage," and any other hazards including, but not limited to, earthquakes and floods, for which Lender requires insurance. This insurance shall be maintained in the amounts (including deductible levels) and for the periods that Lender requires. What Lender requires pursuant to the preceding sentences can change during the term of the Loan. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's right to disapprove Borrower's choice, which right shall not be exercised unreasonably. Lender may require Borrower to pay, in connection with this Loan, either: (a) a one-time charge for flood zone determination, certification and tracking services; or (b) a one-time charge for flood zone determination and certification services and subsequent charges each time remappings or similar changes occur which reasonably might affect such determination or certification. Borrower shall also be responsible for the payment of any fees imposed by the Federal Emergency Management Agency in connection with the review of any flood zone determination resulting from an objection by Borrower.

If Borrower fails to maintain any of the coverages described above, Lender may obtain insurance coverage, at Lender's option and Borrower's expense. Lender is under no obligation to purchase any particular type or amount of coverage. Therefore, such coverage shall cover Lender, but might or might not protect Borrower, Borrower's equity in the Property, or the contents of the Property, against any risk, hazard or liability and might provide greater or lesser coverage than was previously in effect. Borrower acknowledges that the cost of the insurance coverage so obtained might significantly exceed the cost of insurance that Borrower could have obtained. Any amounts disbursed by Lender under this Section 5 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

All insurance policies required by Lender and renewals of such policies shall be subject to Lender's right to disapprove such policies, shall include a standard mortgage clause, and shall name Lender as mortgagee and/or as an additional loss payee. Lender shall have the right to hold the policies and renewal certificates. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. If Borrower obtains any form of insurance coverage, not otherwise required by Lender, for damage to, or destruction of, the Property, such policy shall include a standard mortgage clause and shall name Lender as mortgagee and/or as an additional loss payee.

In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower. Unless Lender and Borrower otherwise agree in writing, any insurance proceeds, whether or not the underlying insurance was required by Lender, shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such insurance proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such insurance proceeds, Lender shall not be required to pay Borrower any interest or earnings on such proceeds. Fees for public adjusters, or other third parties, retained by Borrower shall not be paid out of the insurance proceeds and shall be the sole obligation of Borrower. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such insurance proceeds shall be applied in the order provided for in Section 2.



If Borrower abandons the Property, Lender may file, negotiate and settle any available insurance claim and related matters. If Borrower does not respond within 30 days to a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may negotiate and settle the claim. The 30-day period will begin when the notice is given. In either event, or if Lender acquires the Property under Section 22 or otherwise, Borrower hereby assigns to Lender (a) Borrower's rights to any insurance proceeds in an amount not to exceed the amounts unpaid under the Note or this Security Instrument, and (b) any other of Borrower's rights (other than the right to any refund of unearned premiums paid by Borrower) under all insurance policies covering the Property, insofar as such rights are applicable to the coverage of the Property. Lender may use the insurance proceeds either to repair or restore the Property or to pay amounts unpaid under the Note or this Security Instrument, whether or not then due.

6. Occupancy. Borrower shall occupy, establish, and use the Property as Borrower's principal residence within 60 days after the execution of this Security Instrument and shall continue to occupy the Property as Borrower's principal residence for at least one year after the date of occupancy, unless Lender otherwise agrees in writing, which consent shall not be unreasonably withheld, or unless extenuating circumstances exist which are beyond Borrower's control.

7. Preservation, Maintenance and Protection of the Property; Inspections. Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate or commit waste on the Property. Whether or not Borrower is residing in the Property, Borrower shall maintain the Property in order to prevent the Property from deteriorating or decreasing in value due to its condition. Unless it is determined pursuant to Section 5 that repair or restoration is not economically feasible, Borrower shall promptly repair the Property if damaged to avoid further deterioration or damage. If insurance or condemnation proceeds are paid in connection with damage to, or the taking of, the Property, Borrower shall be responsible for repairing or restoring the Property only if Lender has released proceeds for such purposes. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. If the insurance or condemnation proceeds are not sufficient to repair or restore the Property, Borrower is not relieved of Borrower's obligation for the completion of such repair or restoration.

Lender or its agent may make reasonable entries upon and inspections of the Property. If it has reasonable cause, Lender may inspect the interior of the improvements on the Property. Lender shall give Borrower notice at the time of or prior to such an interior inspection specifying such reasonable cause.

8. Borrower's Loan Application. Borrower shall be in default if, during the Loan application process, Borrower or any persons or entities acting at the direction of Borrower or with Borrower's knowledge or consent gave materially false, misleading, or inaccurate information or statements to Lender (or failed to provide Lender with material information) in connection with the Loan. Material representations include, but are not limited to, representations concerning Borrower's occupancy of the Property as Borrower's principal residence.

9. Protection of Lender's Interest in the Property and Rights Under this Security Instrument. If (a) Borrower fails to perform the covenants and agreements contained in this Security Instrument, (b) there is a legal proceeding that might significantly affect Lender's interest in the Property and/or rights under this Security Instrument (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture, for enforcement of a lien which may attain priority over this Security Instrument or to enforce laws or regulations), or (c) Borrower has abandoned the Property, then Lender may do and pay for whatever is reasonable or appropriate to protect Lender's interest in the Property and rights under this Security Instrument, including protecting and/or assessing the value of the Property, and securing and/or repairing the Property. Lender's actions can include, but are not limited to: (a) paying any sums secured by a lien which has priority over this Security Instrument; (b) appearing in court; and (c) paying reasonable attorneys' fees to protect its interest in the Property and/or rights under this Security Instrument, including its secured position in a bankruptcy proceeding. Securing the Property includes, but is not limited to, entering the Property to make repairs, change locks, replace or board up doors and windows, drain water from pipes, eliminate building or other code violations or dangerous conditions, and have utilities turned on or off. Although Lender may take action under this Section 9, Lender does not have to do so and is not under any duty or obligation to do so. It is agreed that Lender incurs no liability for not taking any or all actions authorized under this Section 9.

Any amounts disbursed by Lender under this Section 9 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. Borrower shall not surrender the leasehold estate and interests herein conveyed or terminate or cancel the ground lease. Borrower shall not, without the express written consent of Lender, alter or amend the ground lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

10. Mortgage Insurance. If Lender required Mortgage Insurance as a condition of making the Loan, Borrower shall pay the premiums required to maintain the Mortgage Insurance in effect. If, for any reason, the Mortgage Insurance coverage required by Lender ceases to be available from the mortgage insurer that previously provided such insurance and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to obtain coverage substantially equivalent to the Mortgage Insurance previously in effect, at a cost substantially equivalent to the cost to Borrower of the Mortgage Insurance previously in effect, from an alternate mortgage insurer selected by Lender. If substantially equivalent Mortgage Insurance coverage is not available, Borrower shall continue to pay to Lender the amount of the separately designated payments that were due when the insurance coverage ceased to be in effect. Lender will accept, use and retain these payments as a non-refundable loss reserve in lieu of Mortgage Insurance. Such loss reserve shall be non-refundable, notwithstanding the fact that the Loan is ultimately paid in full, and Lender shall not be required to pay Borrower any interest or earnings on such loss reserve. Lender can no longer require loss reserve payments if Mortgage Insurance coverage (in the amount and for the period that Lender requires) provided by an insurer selected by Lender again becomes available, is obtained, and Lender requires separately designated payments toward the premiums for Mortgage Insurance. If Lender required Mortgage Insurance as a condition of making the Loan and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to maintain Mortgage Insurance in effect, or to provide a non-refundable loss reserve, until Lender's requirement for Mortgage



Insurance ends in accordance with any written agreement between Borrower and Lender providing for such termination or until termination is required by Applicable Law. Nothing in this Section 10 affects Borrower's obligation to pay interest at the rate provided in the Note.

Mortgage Insurance reimburses Lender (or any entity that purchases the Note) for certain losses it may incur if Borrower does not repay the Loan as agreed. Borrower is not a party to the Mortgage Insurance.

Mortgage insurers evaluate their total risk on all such insurance in force from time to time, and may enter into agreements with other parties that share or modify their risk, or reduce losses. These agreements are on terms and conditions that are satisfactory to the mortgage insurer and the other party (or parties) to these agreements. These agreements may require the mortgage insurer to make payments using any source of funds that the mortgage insurer may have available (which may include funds obtained from Mortgage Insurance premiums).

As a result of these agreements, Lender, any purchaser of the Note, another insurer, any reinsurer, any other entity, or any affiliate of any of the foregoing, may receive (directly or indirectly) amounts that derive from (or might be characterized as) a portion of Borrower's payments for Mortgage Insurance, in exchange for sharing or modifying the mortgage insurer's risk, or reducing losses. If such agreement provides that an affiliate of Lender takes a share of the insurer's risk in exchange for a share of the premiums paid to the insurer, the arrangement is often termed "captive reinsurance." Further:

(a) Any such agreements will not affect the amounts that Borrower has agreed to pay for Mortgage Insurance, or any other terms of the Loan. Such agreements will not increase the amount Borrower will owe for Mortgage Insurance, and they will not entitle Borrower to any refund.

(b) Any such agreements will not affect the rights Borrower has - if any - with respect to the Mortgage Insurance under the Homeowners Protection Act of 1998 or any other law. These rights may include the right to receive certain disclosures, to request and obtain cancellation of the Mortgage Insurance, to have the Mortgage Insurance terminated automatically, and/or to receive a refund of any Mortgage Insurance premiums that were unearned at the time of such cancellation or termination.

11. Assignment of Miscellaneous Proceeds; Forfeiture. All Miscellaneous Proceeds are hereby assigned to and shall be paid to Lender.

If the Property is damaged, such Miscellaneous Proceeds shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such Miscellaneous Proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may pay for the repairs and restoration in a single disbursement or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such Miscellaneous Proceeds, Lender shall not be required to pay Borrower any interest or earnings on such Miscellaneous Proceeds. If the restoration or repair is not economically feasible or Lender's security would be lessened, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such Miscellaneous Proceeds shall be applied in the order provided for in Section 2.

In the event of a total taking, destruction, or loss in value of the Property, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the Miscellaneous Proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the partial taking, destruction, or loss in value divided by (b) the fair market value of the Property immediately before the partial taking, destruction, or loss in value. Any balance shall be paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is less than the amount of the sums secured immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the Opposing Party (as defined in the next sentence) offers to make an award to settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the Miscellaneous Proceeds either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due. "Opposing Party" means the third party that owes Borrower Miscellaneous Proceeds or the party against whom Borrower has a right of action in regard to Miscellaneous Proceeds.

Borrower shall be in default if any action or proceeding, whether civil or criminal, is begun that, in Lender's judgment, could result in forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. Borrower can cure such a default and, if acceleration has occurred, reinstate as provided in Section 19, by causing the action or proceeding to be dismissed with a ruling that, in Lender's judgment, precludes forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. The proceeds of any award or claim for damages that are attributable to the impairment of Lender's interest in the Property are hereby assigned and shall be paid to Lender.

All Miscellaneous Proceeds that are not applied to restoration or repair of the Property shall be applied in the order provided for in Section 2.

12. Borrower Not Released; Forbearance By Lender Not a Waiver. Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to Borrower or any Successor in Interest of Borrower shall not operate to release the liability of Borrower or any Successors in Interest of Borrower. Lender shall not be required to commence proceedings against any Successor in Interest of Borrower or to refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand



made by the original Borrower or any Successors in Interest of Borrower. Any forbearance by Lender in exercising any right or remedy including, without limitation, Lender's acceptance of payments from third persons, entities or Successors in Interest of Borrower or in amounts less than the amount then due, shall not be a waiver of or preclude the exercise of any right or remedy.

13. Joint and Several Liability; Co-signers; Successors and Assigns Bound. Borrower covenants and agrees that Borrower's obligations and liability shall be joint and several. However, any Borrower who co-signs this Security Instrument but does not execute the Note (a "co-signer"): (a) is co-signing this Security Instrument only to mortgage, grant and convey the co-signer's interest in the Property under the terms of this Security Instrument; (b) is not personally obligated to pay the sums secured by this Security Instrument; and (c) agrees that Lender and any other Borrower can agree to extend, modify, forbear or make any accommodations with regard to the terms of this Security Instrument or the Note without the co-signer's consent.

Subject to the provisions of Section 18, any Successor in Interest of Borrower who assumes Borrower's obligations under this Security Instrument in writing, and is approved by Lender, shall obtain all of Borrower's rights and benefits under this Security Instrument. Borrower shall not be released from Borrower's obligations and liability under this Security Instrument unless Lender agrees to such release in writing. The covenants and agreements of this Security Instrument shall bind (except as provided in Section 20) and benefit the successors and assigns of Lender.

14. Loan Charges. Lender may charge Borrower fees for services performed in connection with Borrower's default, for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument, including, but not limited to, attorneys' fees, property inspection and valuation fees. In regard to any other fees, the absence of express authority in this Security Instrument to charge a specific fee to Borrower shall not be construed as a prohibition on the charging of such fee. Lender may not charge fees that are expressly prohibited by this Security Instrument or by Applicable Law.

If the Loan is subject to a law which sets maximum loan charges, and that law is finally interpreted so that the interest or other loan charges collected or to be collected in connection with the Loan exceed the permitted limits, then: (a) any such loan charge shall be reduced by the amount necessary to reduce the charge to the permitted limit; and (b) any sums already collected from Borrower which exceeded permitted limits will be refunded to Borrower. Lender may choose to make this refund by reducing the principal owed under the Note or by making a direct payment to Borrower. If a refund reduces principal, the reduction will be treated as a partial prepayment without any prepayment charge (whether or not a prepayment charge is provided for under the Note). Borrower's acceptance of any such refund made by direct payment to Borrower will constitute a waiver of any right of action Borrower might have arising out of such overcharge.

15. Notices. All notices given by Borrower or Lender in connection with this Security Instrument must be in writing. Any notice to Borrower in connection with this Security Instrument shall be deemed to have been given to Borrower when mailed by first class mail or when actually delivered to Borrower's notice address if sent by other means. Notice to any one Borrower shall constitute notice to all Borrowers unless Applicable Law expressly requires otherwise. The notice address shall be the Property Address unless Borrower has designated a substitute notice address by notice to Lender. Borrower shall promptly notify Lender of Borrower's change of address. If Lender specifies a procedure for reporting Borrower's change of address, then Borrower shall only report a change of address through that specified procedure. There may be only one designated notice address under this Security Instrument at any one time. Any notice to Lender shall be given by delivering it or by mailing it by first class mail to Lender's address stated herein unless Lender has designated another address by notice to Borrower. Any notice in connection with this Security Instrument shall not be deemed to have been given to Lender until actually received by Lender. If any notice required by this Security Instrument is also required under Applicable Law, the Applicable Law requirement will satisfy the corresponding requirement under this Security Instrument.

16. Governing Law; Severability; Rules of Construction. This Security Instrument shall be governed by federal law and the law of the jurisdiction in which the Property is located. All rights and obligations contained in this Security Instrument are subject to any requirements and limitations of Applicable Law. Applicable Law might explicitly or implicitly allow the parties to agree by contract or it might be silent, but such silence shall not be construed as a prohibition against agreement by contract. In the event that any provision or clause of this Security Instrument or the Note conflicts with Applicable Law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision.

As used in this Security Instrument: (a) words of the masculine gender shall mean and include corresponding neuter words or words of the feminine gender; (b) words in the singular shall mean and include the plural and vice versa; and (c) the word "may" gives sole discretion without any obligation to take any action.

17. Borrower's Copy. Borrower shall be given one copy of the Note and of this Security Instrument.

18. Transfer of the Property or a Beneficial Interest in Borrower. As used in this Section 18, "Interest in the Property" means any legal or beneficial interest in the Property, including, but not limited to, those beneficial interests transferred in a bond for deed, contract for deed, installment sales contract or escrow agreement, the intent of which is the transfer of title by Borrower at a future date to a purchaser.

If all or any part of the Property or any Interest in the Property is sold or transferred (or if Borrower is not a natural person and a beneficial interest in Borrower is sold or transferred) without Lender's prior written consent, Lender may require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if such exercise is prohibited by Applicable Law.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is given in accordance with Section 15 within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

19. Borrower's Right to Reinstate After Acceleration. If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earliest of: (a) five days before sale of the Property pursuant to any power of sale contained in this Security Instrument; (b) such other period as Applicable Law might specify for the termination of Borrower's right to reinstate; or (c) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under



this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees, property inspection and valuation fees, and other fees incurred for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument; and (d) takes such action as Lender may reasonably require to assure that Lender's interest in the Property and rights under this Security Instrument, and Borrower's obligation to pay the sums secured by this Security Instrument, shall continue unchanged. Lender may require that Borrower pay such reinstatement sums and expenses in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality or entity; or (d) Electronic Funds Transfer. Upon reinstatement by Borrower, this Security Instrument and obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under Section 18.

20. Sale of Note; Change of Loan Servicer; Notice of Grievance. The Note or a partial interest in the Note (together with this Security Instrument) can be sold one or more times without prior notice to Borrower. A sale might result in a change in the entity (known as the "Loan Servicer") that collects Periodic Payments due under the Note and this Security Instrument and performs other mortgage loan servicing obligations under the Note, this Security Instrument, and Applicable Law. There also might be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change which will state the name and address of the new Loan Servicer, the address to which payments should be made and any other information RESPA requires in connection with a notice of transfer of servicing. If the Note is sold and thereafter the Loan is serviced by a Loan Servicer other than the purchaser of the Note, the mortgage loan servicing obligations to Borrower will remain with the Loan Servicer or be transferred to a successor Loan Servicer and are not assumed by the Note purchaser unless otherwise provided by the Note purchaser.

Neither Borrower nor Lender may commence, join, or be joined to any judicial action (as either an individual litigant or the member of a class) that arises from the other party's actions pursuant to this Security Instrument or that alleges that the other party has breached any provision of, or any duty owed by reason of, this Security Instrument, until such Borrower or Lender has notified the other party (with such notice given in compliance with the requirements of Section 15) of such alleged breach and afforded the other party hereto a reasonable period after the giving of such notice to take corrective action. If Applicable Law provides a time period which must elapse before certain action can be taken, that time period will be deemed to be reasonable for purposes of this paragraph. The notice of acceleration and opportunity to cure given to Borrower pursuant to Section 22 and the notice of acceleration given to Borrower pursuant to Section 18 shall be deemed to satisfy the notice and opportunity to take corrective action provisions of this Section 20.

21. Hazardous Substances. As used in this Section 21: (a) "Hazardous Substances" are those substances defined as toxic or hazardous substances, pollutants, or wastes by Environmental Law and the following substances: gasoline, kerosene, other flammable or toxic petroleum products, toxic pesticides and herbicides, volatile solvents, materials containing asbestos or formaldehyde, and radioactive materials; (b) "Environmental Law" means federal laws and laws of the jurisdiction where the Property is located that relate to health, safety or environmental protection; (c) "Environmental Cleanup" includes any response action, remedial action, or removal action, as defined in Environmental Law; and (d) an "Environmental Condition" means a condition that can cause, contribute to, or otherwise trigger an Environmental Cleanup.

Borrower shall not cause or permit the presence, use, disposal, storage, or release of any Hazardous Substances, or threaten to release any Hazardous Substances, on or in the Property. Borrower shall not do, nor allow anyone else to do, anything affecting the Property (a) that is in violation of any Environmental Law, (b) which creates an Environmental Condition, or (c) which, due to the presence, use, or release of a Hazardous Substance, creates a condition that adversely affects the value of the Property. The preceding two sentences shall not apply to the presence, use, or storage on the Property of small quantities of Hazardous Substances that are generally recognized to be appropriate to normal residential uses and to maintenance of the Property (including, but not limited to, hazardous substances in consumer products).

Borrower shall promptly give Lender written notice of (a) any investigation, claim, demand, lawsuit or other action by any governmental or regulatory agency or private party involving the Property and any Hazardous Substance or Environmental Law of which Borrower has actual knowledge, (b) any Environmental Condition, including but not limited to, any spilling, leaking, discharge, release or threat of release of any Hazardous Substance, and (c) any condition caused by the presence, use or release of a Hazardous Substance which adversely affects the value of the Property. If Borrower learns, or is notified by any governmental or regulatory authority, or any private party, that any removal or other remediation of any Hazardous Substance affecting the Property is necessary, Borrower shall promptly take all necessary remedial actions in accordance with Environmental Law. Nothing herein shall create any obligation on Lender for an Environmental Cleanup.

NON-UNIFORM COVENANTS. Borrower and Lender further covenant and agree as follows:

22. Acceleration; Remedies. Lender shall give notice to Borrower prior to acceleration following Borrower's breach of any covenant or agreement in this Security Instrument (but not prior to acceleration under Section 18 unless Applicable Law provides otherwise). The notice shall specify: (a) the default; (b) the action required to cure the default; (c) a date, not less than 30 days from the date the notice is given to Borrower, by which the default must be cured; and (d) that failure to cure the default on or before the date specified in the notice may result in acceleration of the sums secured by this Security Instrument and sale of the Property. The notice shall further inform Borrower of the right to reinstate after acceleration and the right to assert in the foreclosure proceeding the non-existence of a default or any other defense of Borrower to acceleration and sale. If the default is not cured on or before the date specified in the notice, Lender at its option may require immediate payment in full of all sums secured by this Security Instrument without further demand and may invoke the power of sale and any other remedies permitted by Applicable Law. Lender shall be entitled to collect all expenses incurred in pursuing the remedies provided in this Section 22, including, but not limited to, reasonable attorneys' fees and costs of title evidence.

If Lender invokes the power of sale, Lender shall give written notice to Trustee of the occurrence of an event of default and of Lender's election to cause the Property to be sold. Lender shall mail a copy of the notice to



Borrower as provided in Section 15. Trustee shall record a copy of the notice in the county in which the Property is located. Trustee shall publish a notice of sale for the time and in the manner provided by Applicable Law and shall mail copies of the notice of sale in the manner prescribed by Applicable Law to Borrower and to the other persons prescribed by Applicable Law. After the time required by Applicable Law, Trustee, without demand on Borrower, shall sell the Property at public auction to the highest bidder for cash at the time and place and under the terms designated in the notice of sale in one or more parcels and in any order Trustee determines. Trustee may postpone sale of any parcel of the Property by public announcement at the time and place of any previously scheduled sale. Lender or its designee may purchase the Property at any sale.

Trustee shall deliver to the purchaser Trustee's certificate describing the Property and the time the purchaser will be entitled to Trustee's deed. The recitals in the Trustee's deed shall be prima facie evidence of the truth of the statements made therein. Trustee shall apply the proceeds of the sale in the following order: (a) to all expenses of the sale, including, but not limited to, reasonable Trustee's and attorneys' fees; (b) to all sums secured by this Security Instrument; and (c) any excess to the person or persons legally entitled to it.

23. Release. Upon payment of all sums secured by this Security Instrument, Lender shall request that Trustee release this Security Instrument and shall produce for Trustee, duly cancelled, all notes evidencing debts secured by this Security Instrument. Trustee shall release this Security Instrument without further inquiry or liability. Borrower shall pay any recordation costs and the statutory Trustee's fees.

24. Waiver of Homestead. Borrower waives all right of homestead exemption in the Property.

BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

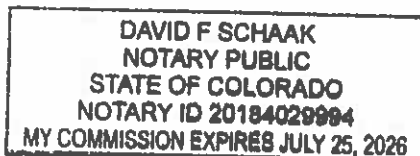

STATON JETER
10/14/22 (Seal)
DATE

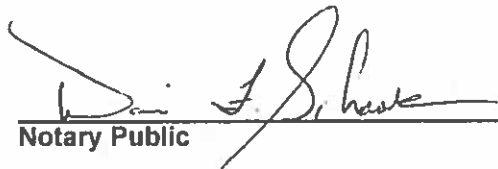
STATE OF COLORADO
County ss: MONTEZUMA

The foregoing instrument was acknowledged before me this 14th day of October, by
STATON JETER.

Witness my hand and official seal.

My Commission Expires: 7-25-2026




Notary Public

Lender: Prime Choice Funding, Inc.
NMLS ID: 117375
Loan Originator: Terry Weiler
NMLS ID: 281457



E RECORDED DATE 7/18/22
COUNTY Montezuma
REC. NO. 646368

SPECIAL WARRANTY DEED

THIS DEED, Made this 18th Day of July, 2022

Between **C & S COY FAMILY TRUST, DATED DEC 31, 2016**

of the County of Montezuma and State of Colorado, grantor

and **STATON JETER**

whose legal address is 820 N. Dolores Rd
Cortez, CO 81321

of the County of Montezuma and State of Colorado, grantee

State Documentary Fee

Date: 7/18/22

\$ 2.30

WITNESSETH, That the grantor for and in consideration of the sum of

-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, all the real property together with improvements, if any, situate, lying and being in the County of Montezuma and State of Colorado described as follows:

Lot 2, STEARMAN MINOR SUBDIVISION, according to the plat thereof filed for record August 13, 2008 in Book 17 at Page 7.

As known by street and number as: TBD N Dolores Road
Dolores, CO 81323

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee, their heirs and assigns forever. The grantor, for itself, its successors does covenant, and agree that the grantor shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee, their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or under the grantor, except: 2022 taxes due and payable in the year 2023. Subject to Statutory Exceptions as defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

C & S COY FAMILY TRUST, DATED DEC 31, 2016

BY: Steven G. Coy
STEVEN G. COY, TRUSTEE

BY: Connie L. Coy
CONNIE L. COY, TRUSTEE

STATE OF COLORADO
COUNTY OF MONTEZUMA

The foregoing instrument was acknowledged before me this 18TH Day of July, 2022

By: STEVEN G. COY AND CONNIE L. COY AS TRUSTEES OF THE C & S COY FAMILY TRUST, DATED DEC 31, 2016

My commission expires: 2/7/24

Witness my hand and official seal

Notary Public

LIZ GAGNEAUX
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID #19964001809
My Commission Expires February 7, 2024

SPECIAL WARRANTY DEED

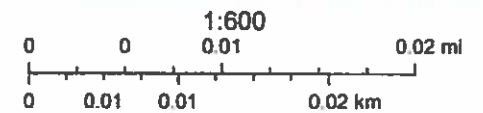
M02202286



Montezuma County Property Detail Map



8/11/2022, 4:47:35 PM



Hexagon Imagery, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Montezuma County Property Detail Map



8/23/2022, 3:23:14 PM

- Override 1

Public Lands & BIA Land

BIA
- BLM

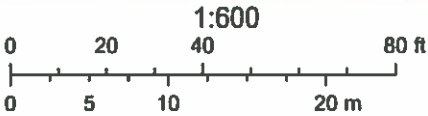
CO State
- NPS

USFS
- Irrigation Canals

Rivers
- Water Bodies

Parks
- Trails

Highway Milemarkers



Hexagon Imagery. Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Second Amended Plat of Lots 1 and 2 of STEARMAN MINOR SUBDIVISION

SW/4 SW/4 SECTION 19, T.36 N., R.15 W., NMPM,
MONTEZUMA COUNTY, COLORADO

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS that Staton Jeter is the owner of a portion of property in the City of Cortez, Montezuma County, Colorado, being more particularly described as follows:

Lots 1 and 2, Amended Plat of Stearman Minor Subdivision, recorded in Plat Book 17 at Page 7, Reception #558155 contained in the SW/4 SW/4 of Section 19, T.36 N., R.15 W., NMPM, Montezuma County, Colorado. Containing 51,310 sq. ft./1.18 acres more or less. SUBJECT TO all easements of record, prescriptive or dedicated herein.

have by these presents laid out, re-subdivided and platted the same into a lot as shown on this plat, under the name and style of SECOND AMENDED PLAT OF LOTS 1 and 2, STEARMAN MINOR SUBDIVISION, And do hereby dedicate to the public utilities those portions labeled as drainage or utility easements on this plat, for the purpose of installation and maintenance of utilities and drainage facilities, including but not limited to electric lines, telephone lines, water lines, sewer lines, gas lines, communication cables, and drainage structures and other utilities as may be necessary. Also, a perpetual easement for the installation and maintenance of utilities and drainage facilities is reserved and dedicated to the public utilities over and through the private roads and streets within this subdivision, and according to the easements as shown on this plat; the right of ingress and egress for the maintenance, operation, repair, and replacement of such utilities, including the right to trim interfering trees and shrubs. Landowner shall maintain easement area clear of buildings and structures. Said easements and rights shall be utilized in a reasonable and prudent manner.

Executed by owner:

Staton Jeter

The foregoing dedication was acknowledged before me this _____ day of _____, _____ by Staton Jeter.

My commission expires _____ Notary Public

CITY COUNCIL ACCEPTANCE STATEMENT

This plat and the statement hereon are accepted and approved by the City Council of the City of Cortez this _____ day of _____, _____.

Mayor

City Clerk

EASEMENTS ACCEPTED AND APPROVED BY:

City of Cortez, Public Works

Atmos Energy

CenturyLink Communications

Cortez Sanitation District

Empire Electric Association, Inc.

SURVEYOR'S CERTIFICATE

I do hereby certify to the above signed owner, Staton Jeter, that this plat was prepared from data collected by a survey performed by me, or under my direct supervision, and is correct to the best of my knowledge and belief.

Gerald G. Huddleston - LS 17490

date

ATTEST:

This plat was filed for record in the office of the County Clerk and Recorder of Montezuma County, Colorado, at _____ (a.m., p.m.) on the _____ day of _____, and duly filed in Plat Book _____ at Page _____ under Reception Number _____.

NOTICE:

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

JETER

Second Amended Plat of Lots 1 and 2
Stearman Minor Subdivision -
SW/4 SW/4 of Section 19,
T.36 N., R.15 W., NMPM,
Montezuma County, Colorado

3 October 2022

HUDDLESTON LAND SURVEYING
P.O. Box KK - Cortez, CO 81321 - (970) 565-3330

PRELIMINARY

KNOW ALL MEN BY THESE PRESENTS, that I, GERALD G. HUDDLESTON, Colorado LS 17490, do hereby certify that this plat was prepared from field notes of an actual survey made by me or under my supervision and that the same is true and accurate to the best of my knowledge and belief. This plat is in accordance with applicable standards of practice. This statement is not a guaranty or warranty, either expressed or implied.

W 1/4 Corner
Section 19
CDOT monument

MTK, L.L.C.
(not a part)

common driveway off Hwy 145
access and utility easement
previously dedicated

Lot 1A
51,3310 s.f.
1.18 acres.

MTK, L.L.C.
Rec #532297
(not a part)

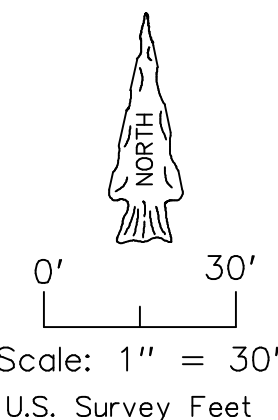
20' sewerline easement
Rec. #513978

N 89°51' 03" E
17.17

Mitchell Springs, LLC
(not a part)

Jensen
(not a part)

Jensen
(not a part)



Statement of Basis of Bearing:

The Basis of Bearing is N 0°00' 03" E between the found SW Corner and W 1/4 Corner of Section 19, as shown.

Legend -

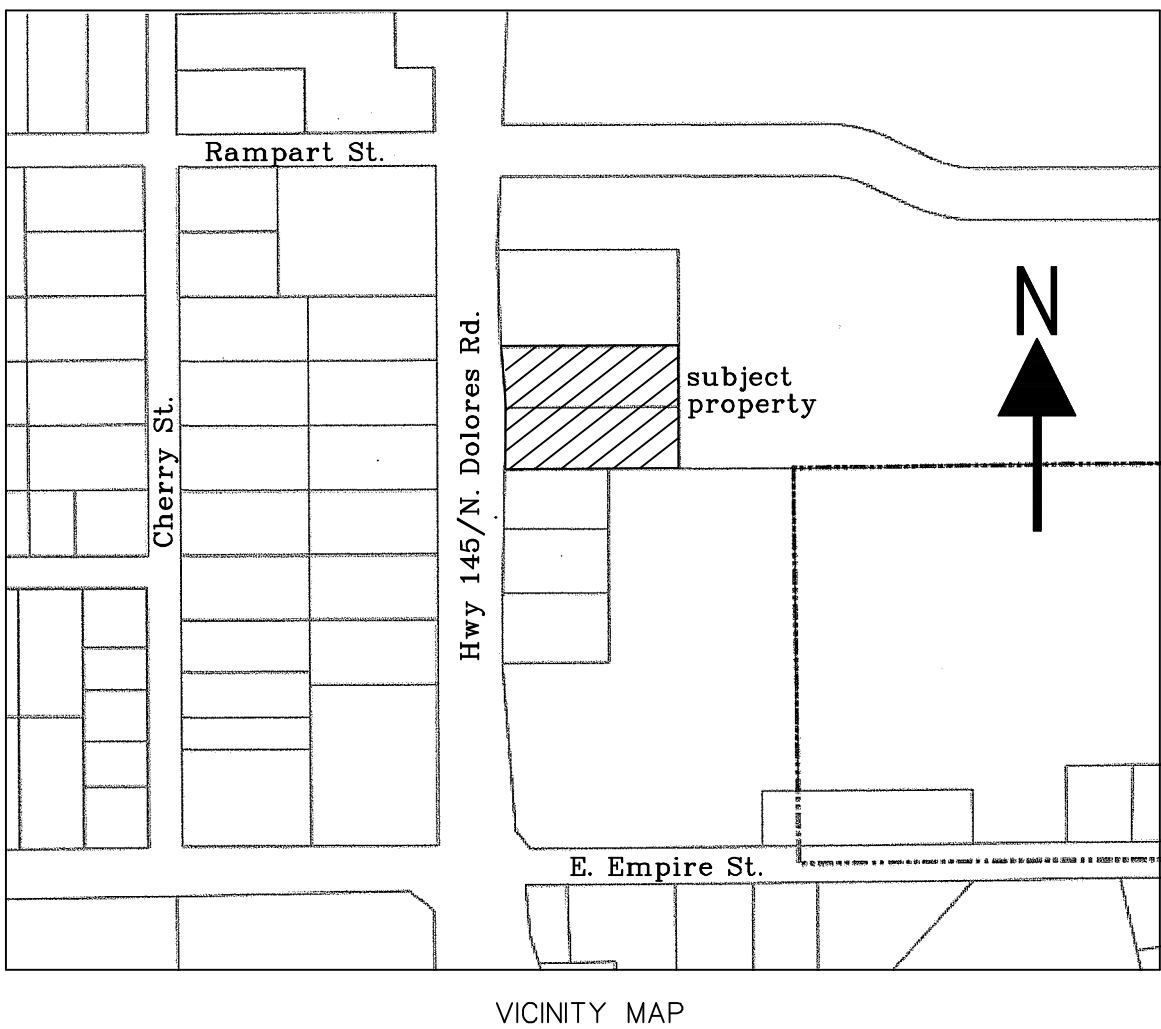
found 3.25" aluminum cap CDOT monument in previous survey

found #4 rebar/cap LS 17490

set #4 rebar/plastic cap in previous survey

angle point, not found or set

fence



VICINITY MAP



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 6. a.

MEMO TO: Honorable Mayor and City Council

FROM: Rachael Marchbanks, Director of Community/Economic Development

SUBJECT: Ordinance No. 1303, Series 2022

BACKGROUND

See Attached.

RECOMMENDATION

Staff recommends that Council approves on first reading Ordinance 1303, Series 2022, an Ordinance amending the City Land Use Code, Section 3.05 - Use Regulations Regarding Dwelling, Accessory Unit - ADU, and set for Public Hearing on November 23, 2022.

Attachments

ADU Ordinance No. 1303, Series 2022

ORDINANCE NO. 1303
SERIES 2022

AN ORDINANCE AMENDING THE CITY OF CORTEZ LAND USE CODE, SECTION 3.05 – USE REGULATIONS REGARDING DWELLING, ACCESSORY UNIT – ADU.

WHEREAS, uses identified in the City of Cortez Land Use Code (the “Code”), Section 3.05, as dwelling, accessory unit - ADU, are classified as Conditional Uses in the RE and R-1 zone districts in the City of Cortez; and

WHEREAS, dwelling, accessory unit – ADU are further subject to the standards in Section 3.05 (22); and

WHEREAS, the City desires to expand the opportunity for ADU’s in additional zone districts; and

WHEREAS, at the October 4, 2022 Cortez Planning and Zoning Commission meeting, the Planning and Zoning Commission reviewed the revisions to the Code as described in this ordinance, as evidenced by the adoption of P&Z Resolution No. 5, Series 2022; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission recommends that the Cortez Land Use Code, Section 3.05, be amended as set forth in this ordinance.

WHEREAS, the authority and procedure for amending the City Land Use Code is set forth in the Cortez City Charter, and the Code.

NOW THEREFORE, BE IT ORDAINED BY THE CORTEZ CITY COUNCIL THAT THE CITY OF CORTEZ LAND USE CODE, SECTION 3.05, IS AMENDED AS FOLLOWS:

Section 3.05 – Schedule of Use Regulations is amended to include dwelling, accessory unit - ADU as a Permitted Use (P) in the R-2, MH, NB and C zone districts.

Section 3.05(22) – Accessory Dwelling Units (ADUs) is deleted in its entirety and replaced with the following:

(22) Accessory Dwelling Units (ADUs). This type of use is intended to provide a mechanism to help meet the need of affordable housing by allowing accessory residential dwelling units under certain circumstances in areas normally restricted to a single unit, while preserving existing single-family character. All accessory single-family dwelling units shall be subject to the following requirements:

a. An ADU shall be permitted within the RE and R-1 zones in the City as a conditional use and shall be reviewed by the planning and zoning commission and the city council as per [Section 6.10](#) of this code, Conditional use permits.

- b. An ADU shall be permitted within the R-2, MH and NB zones in the City as a permitted use and shall be reviewed by zoning administrator pursuant to these standards.
- c. The parcel must contain an existing or proposed single-family unit. Either the single-family dwelling or the ADU must be occupied by the property owner.
- d. The ADU may be attached or incorporated within the living area of the existing primary dwelling or detached.
- e. The ADU shall not exceed 850 gross sq. ft. of living area.
- f. The ADU may be used for long term rental purposes (greater than 30 days) and shall be reserved for occupancy of one family.
- g. The ADU must be provided with one off-street parking space, in addition to the two required for the existing single family residence as per [Section 5.01](#) of this code. Spaces may be contained in a garage or protected by a carport. The spaces provided may be in tandem.
- h. Any new construction associated with the ADU shall comply with all setbacks, lot coverage, height, and design standards contained within the base zone and shall not alter the general appearance of the primary dwelling as a single-family residence.
- i. The ADU shall have adequate sewer and water services and additional tap fees may be required for the dwelling.
- j. The ADU shall not adversely impact traffic flow or parking in the neighborhood.
- k. The lot shall be a legal lot of record.

An ADU that conforms to these requirements shall not be considered to exceed the allowable density for the lot upon which it is located, and shall be deemed to be a residential use consistent with the existing general plan and zoning designation for the lot.

REPEALER. All orders, bylaws, ordinances, and resolutions of the City, or parts thereof, inconsistent or in conflict with this Ordinance, are hereby repealed to the extent only of such inconsistency or conflict.

SEVERABILITY. If any section, paragraph, clause, or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall not affect any of the remaining provisions of this Ordinance, the intent being that the same are severable.

RECORDING AND AUTHENTICATION. Upon adoption hereof, this Ordinance shall be recorded in a book kept for that purpose and shall be authenticated by the signatures of the Mayor and the City Clerk.

EFFECTIVE DATE. This ordinance shall be effective upon publication after second reading and final passage.

FIRST READING. This ordinance shall be considered first reading on the 25th day of, October 2022, at the hour of 7:30 p.m., in the City Council Chambers in City Hall, Cortez, Colorado, at which time this ordinance shall be read and the public hearing for the second or final reading of this ordinance shall be set.

PUBLIC HEARING. This ordinance shall be considered for second or final reading on the 22nd day of November, 2022, at the hour of 7:30 p.m., in the City Council Chambers in City Hall, Cortez, Colorado, at which time and place all persons may appear and be heard concerning the same.

PASSED, ADOPTED AND APPROVED ON FIRST READING THIS 25th DAY OF OCTOBER, 2022.

CITY OF CORTEZ

ATTEST:

RACHEL B MEDINA, MAYOR

LINDA L. SMITH, CITY CLERK

PASSED, ADOPTED AND APPROVED ON SECOND AND FINAL READING THIS 22nd DAY OF NOVEMBER, 2022.

CITY OF CORTEZ

ATTEST:

RACHEL B MEDINA, MAYOR

LINDA L. SMITH, CITY CLERK

APPROVED AS TO FORM:

J. PATRICK COLEMAN, CITY ATTORNEY



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 7. a.

MEMO TO: Honorable Mayor and City Council

FROM: Kelly Koskie, Director of Finance

SUBJECT: Ordinance No. 1313, Series 2022, Approval of the 2023 Budget

BACKGROUND

Through ClearGov, the 2023 proposed budget has been reviewed by all Directors and Supervisors. After those budgets were submitted to the Finance Director, the City Manager and the Finance Director met with each director individually. The proposed budget was then reviewed by all Council Members and the Mayor. Through the ClearGov transparency button titled "2023 Proposed Budget" located on the City of Cortez webpage, public comment has been made and noted.

RECOMMENDATION

Council will consider approving on first reading Ordinance No. 1313, Series 2022, the appropriations and Budget for the 2023 calendar year, and set for second reading and public hearing on November 8, 2022.

Attachments

Ordinance 1313 series 2022
Appendix A
Public Comment

**ORDINANCE TO ADOPT BUDGET
NO. 1313 SERIES 2022**

AN ORDINANCE SUMMARIZING EXPENDITURES AND REVENUES FOR EACH FUND AND ADOPTING A BUDGET FOR THE CITY OF CORTEZ, COLORADO, FOR THE CALENDAR YEAR BEGINNING ON THE FIRST DAY OF JANUARY 2023 AND ENDING ON THE LAST DAY OF DECEMBER 2023.

WHEREAS, the City Council of the City of Cortez, Colorado, has appointed the City Manager to prepare and submit a proposed budget to said governing body at the proper time; and

WHEREAS, the City Manager has submitted a proposed budget to this governing body on September 24th 2022 for its consideration; and

WHEREAS, upon due and proper notice, published or posted, in accordance with the law, said proposed budget was open for inspection by the public at City Hall and online at www.ClearGov.com, a public hearing will be held on October 25, 2022, and interested taxpayers have been given the opportunity to file or register any objections to said proposed budget; and

WHEREAS, whatever increase may have been made in the expenditures, like increases were added to the revenues or planned to be expended from reserves/fund balances so that the budget remains in balance, as required by law. See Appendix A

NOW, THEREFORE, BE IT RESOLVED/ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORTEZ, COLORADO:

Section 1. That the budget as submitted, amended, and summarized by fund, attached hereto as Appendix A, is approved and adopted as the budget of the City of Cortez for the year stated above.

Section 2. That the budget hereby approved and adopted and made part of the public records of the City of Cortez.

EFFECTIVE DATE. This ordinance shall be effective upon publication after final passage.

PUBLIC HEARING. This ordinance shall be considered for second or final reading on the 8th day of November 2022 at the hour of 7:30 p.m. in the City Council Chambers in City Hall, Cortez, Colorado, at which time and place all persons may appear and be heard concerning the same.

PASSED, ADOPTED AND APPROVED ON FIRST READING THIS 25TH DAY OF OCTOBER 2022.

CITY OF CORTEZ

RACHEL MEDINA, MAYOR

ATTEST:

DONNA MURPHY, DEPUTY CITY CLERK

PASSED, ADOPTED, AND APPROVED ON SECOND AND FINAL READING THIS 8TH DAY OF
NOVEMBER 2022.

CITY OF CORTEZ

RACHEL MEDINA, MAYOR PRO-TEM

ATTEST:

LINDA L. SMITH, CITY CLERK

APPROVED AS TO FORM:

PATRICK COLEMAN, CITY ATTORNEY

Ordinance # 1313 Series 2022 Appendix A, page 1

	Approved Budget 2022	Proposed Budget 2023
GENERAL FUND		
REVENUES	\$15,551,104	\$18,571,034
OPERATING EXPENDITURES		
City Council	670,258.00	4,108,224.00
City Attorney	228,622.00	251,422.00
Municipal Court	213,712.00	225,667.00
Marketing	155,075.00	153,963.00
City Manager	334,197.17	308,068.00
Human Resources	288,841.47	323,236.00
City Clerk	278,483.21	294,900.00
Finance	658,729.26	725,942.00
Grants Administrator	78,000.00	0.00
Library	689,976.53	716,186.00
General Services	592,592.78	659,132.00
Police	4,420,926.56	4,564,535.00
Public Works	1,702,969.64	2,004,451.00
Parks & Recreation	1,786,798.17	2,449,660.00
Depreciation	355,420.00	0.00
TOTAL OPERATING EXPENDITURES	12,454,601.79	16,785,386.00
OTHER EXPENDITURES		
Capital Projects/Capital Items	860,000.00	460,250.00
Grants/Support Programs		
Roger Smith Ave - Debt Service	0.00	
TOTAL OTHER EXPENDITURES	860,000.00	460,250.00
TOTAL EXPENDITURES	13,314,601.79	17,245,636.00
Total Revenue over Expenses	2,236,502.21	1,325,398.00

Ordinance # 1313 Series 2022 Appendix A, page 2

	Approved Budget 2022	Proposed Budget 2023
Airport		
Revenues	\$1,031,663	\$1,013,209
Operating Expenditures	<u>\$718,045</u>	<u>\$677,171</u>
Total Revenue over Expenses	\$313,617	\$336,038
Cortez Community Network Fund		
Revenues	\$462,567	\$462,000
Operating Expenditures	<u>\$305,888</u>	<u>\$410,144</u>
Total Revenue over Expenses	\$156,679	\$51,856
Dispatch Fund		
Revenues	\$957,366	\$993,642
Operating Expenditures	<u>\$991,061</u>	<u>\$905,242</u>
Total Revenue over Expenses	(\$33,695)	\$88,400
Hydro Plant Fund		
Revenues	\$20,174	\$20,174
Operating Expenditures	<u>\$89,204</u>	<u>\$74,723</u>
Total Revenue over Expenses	(\$69,030)	(\$54,549)
Recreation Center Fund		
Revenues	\$2,122,082	\$2,230,584
Operating Expenditures	<u>\$1,351,196</u>	<u>\$1,893,002</u>
Total Revenue over Expenses	\$770,886	\$337,582
Refuse Fund		
Revenues	\$1,607,511	\$1,635,183
Operating Expenditures	<u>\$1,434,466</u>	\$1,912,873
Total Revenue over Expenses	\$173,045	(\$277,690)
Water Fund		
Revenues	\$3,677,302	\$7,702,302
Operating Expenditures	<u>\$3,504,126</u>	<u>\$7,492,582</u>
Total Revenue over Expenses	\$173,176	\$209,720

Ordinance # 1313 Series 2022 Appendix A, page 3

	Approved Budget 2022	Proposed Budget 2023
Self-Insured Health Fund		
Revenues	\$2,853,400	\$2,856,300
Operating Expenditures	<u>\$2,397,240</u>	<u>\$2,147,240</u>
Total Revenue over Expenses	\$456,160	\$709,060
Shop Fund		
Revenues	\$421,997	\$518,315
Operating Expenditures	<u>\$970,239</u>	<u>\$1,056,555</u>
Total Revenue over Expenses	(\$548,242)	(\$538,240)
Technology Fund		
Revenues	\$32,000	\$44,000
Operating Expenditures	<u>\$843,461</u>	<u>\$877,824</u>
Total Revenue over Expenses	(\$811,461)	(\$833,824)
Conservation Trust Fund		
Revenues	\$345,000	\$336,521
Operating Expenditures	<u>0</u>	<u>0</u>
Total Revenue over Expenses	\$345,000	\$336,521
Equipment Fund		
Revenues	\$441,504	\$460,000
Operating Expenditures	<u>\$418,992</u>	<u>\$458,608</u>
Total Revenue over Expenses	\$22,512	\$1,392
Lodgers Tax Fund		
Revenues	\$164,556	\$245,000
Operating Expenditures	<u>\$164,556</u>	<u>\$245,000</u>
Total Revenue over Expenses	\$0	\$0
Street Improvement Fund		
Revenues	\$1,730,606	\$2,632,710
Operating Expenditures	<u>\$2,997,236</u>	<u>\$2,632,710</u>
Total Revenue over Expenses	(\$1,266,630)	\$0

COMMENTS

- **08/18/2022 Joe Keck, wrote:**

Kelly, is there some reason why on the Cortez analysis there is not a comparison of where our revenues and expenditures for Cortez compare with other similar size towns? The report for Rifle CO does have that comparison. When I was on Council and Mayor 1996-2004, we did a comparison of all of our departments compared to similar size cities/towns department budgets. We didn't have a resource like Clear Gov so our Finance Director had to do original custom research. I know there can be significant differences between each city/town and what each one of their department is responsible for. However it can be beneficial to do the comparisons and determine what the reasons for the differences in budget and revenue are. Also, does the City have a summary by department of what the annual and long term desired goals and outcomes are? Thanks for the opportunity to provide some input. The ClearGov resource looks like a great tool/resource. Joe Keck

Kelly Koskie replied to this comment via email on 09/08/2022

Approve Reply Archive

- **09/08/2022 Kelly Koskie, Finance Director, replied via email:**

Thank you for your input on this. Much of what you point out is a part of the current budget process.

COMMENTS

- **09/07/2022 Deborah Uroda, wrote:**

Budget should address affordable housing and economic development.

COMMENTS

- **09/25/2022 , wrote:**

Feel the loss we are taking in Recycling program is quite substantial. According to 07/31/2022, for Recycling portion of Refuse Fund--YTD Revenue \$10,572.01 and YTD expenditures \$103,828.92. This is a loss of over \$93,000. Recycling is important but I feel those of us who want to recycle can take our items to a drop off location. There's a lot of other important programs the city can fund for over \$100,000 that benefit a larger pool of citizens. Not budget numbers, but would also like to see the city address/publish the financial policies that are in place to prevent future

embezzlement. Would it be possible for citizens to see the monthly financials published at regular intervals? I understand you need a month or so to close the books. Really appreciate seeing the July 2022 financials in September. Wondering why the balance sheet financials are not included with Comparison to budget? Otherwise, think you all are doing a great job!



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

October 25, 2022

Agenda Item: 7. b.

MEMO TO: Honorable Mayor and City Council

FROM: Brian Peckins, Director of Public Works

SUBJECT: Bid Results on Rehabilitation of the City's 2-MG Drinking Water Storage Tank #3

BACKGROUND

The City's water storage tanks are cleaned and inspected on a regular schedule. During the last inspection in 2019, it was noted that it was time to have the water tanks repaired and recoated. The repairs are necessary because of rusty interior parts, which are mostly above the water level. This is due to the chlorine gas oxidizing the metal above the water. Tanks #1 and #2 were rehabilitated last year, and work on Tank #3 is scheduled to begin in 2022, with a completion date of March 10, 2023. Tank #3 has been in service since 1962.

This project consists of the rehabilitation of the City's 2-MG above-ground welded steel drinking water storage Tank #3. This work will include spot steel shell and structural support repairs and replacements; clip replacements; floor plate spot replacements; media blasting; epoxy coating the interior and exterior; and other appurtenant work on tank #3. The tank is approximately 48 feet high and 84 feet in diameter.

ISSUES

The City's contract engineer, SGM out of Durango, prepared the bid plans and specifications for this project. A pre-bid meeting was conducted on September 21, 2022, with all interested prospective bidders. Bids were opened on October 12, 2022, with five bids received, as shown below. All bidders submitted the mandatory 5% bid bond with their bid.

Classic Protective Coatings, Inc. - Menomonie, WI	\$1,129,300
Riley Industrial Services, Inc. -- Farmington, NM	\$ 959,591
TMI Coatings, Inc. -- St. Paul, MN	\$1,015,000
Viking Painting LLC -- Omaha, NE	\$1,433,850
WBS Coatings, Inc. -- Grand Junction, CO	\$ 715,646
<i>Engineer's Estimate</i>	<i>\$ 943,855</i>
<i>Capital Projects Budget</i>	<i>\$ 750,000</i>

RECOMMENDATION

Staff recommends awarding the bid to WBS Coatings, Inc. as low bidder at \$715,646. WBS is very capable of handling this project and is able to meet our schedule. The monies have been budgeted in the Water Capital Fund.

Attachments

Bid Tab - Tank #3 Rehabilitation

