



**PLANNING AND ZONING  
COMMISSION MEETING  
DECEMBER 6, 2022  
6:30 P.M.**

**1. CALL TO ORDER - PLEDGE OF ALLEGIANCE**

2. Commissioners will review the Regular Meeting Minutes of October 4, 2022.  
Commissioners will consider approving the Regular Meeting Minutes of October 4, 2022.

**Presenter:**

3. **PUBLIC PARTICIPATION** - There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes. (Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter).

**4. PUBLIC HEARING**

- a. Planning and Zoning Commission will hear an application from James and Jean Wootton, dba Yellow Car Country Wine, located at 1345 S. Broadway for a zoning map amendment for the rezoning of Section: 34 Township: 36 Range: 16 tr in SE1/4NW1/4; 0.52ac. The property is currently zoned R1 (single family residential) and the proposed rezone is C (Commercial Highway).  
Planning and Zoning Commission will consider approving an application from James and Jean Wootton, dba Yellow Car Country Wine, located at 1345 S. Broadway for a zoning map amendment for the rezoning of Section: 34 Township: 36 Range: 16 tr in SE1/4NW1/4; 0.52ac. The property is currently zoned R1 (single family residential) and the proposed rezone is C (Commercial Highway).

**Presenter:** Contract City Planner Nancy Dosdall

- b. Planning and Zoning Commission will hear an application from Donetta Hegwood, represented by Casey Spitzer, requesting a zoning map amendment for TBD N. Chestnut St. This property is currently zoned R1, single family residential, they are wanting to re-zone to R2, multi family residential.  
Planning and Zoning Commission will consider approving an application from Donetta Hegwood, represented by Casey Spitzer, requesting a zoning map amendment for TBD N. Chestnut St. This property is currently zoned R1, single family residential, they are wanting to re-zone to R2, multifamily residential.

**Presenter:** Contract City Planner Nancy Dosdall

**5. NEW BUSINESS**

- a. Planning and Zoning Commission will hear an application for a Site Plan review and a Special Exception from Monique Weese, Craig Weese and Oliver Hart, representing Zuma Apartments formerly Mesa Verde Inn. The property is located at 640 S. Broadway and is zoned Commercial.  
Planning and Zoning Commission will consider approving an application for a Site Plan review and a Special Exception from Monique Weese, Craig Weese and Oliver Hart, representing Zuma Apartments formerly Mesa Verde Inn. The property is located at 640 S. Broadway and is zoned Commercial.

**Presenter:** Contract City Planner Nancy Dosdall

- b. Planning and Zoning Commission will hear an application from Montezuma County where the applicant, Basin Co-op proposes to amend the existing High Impact Permit to include a 80ft x 150ft warehouse facility. There would be no retail sales at this location as it would be primarily used for storage of agricultural products.

Planning and Zoning Commission will hear an application from Montezuma County where the applicant, Basin Co-op proposes to amend the existing High Impact Permit to include a 80ft x 150ft warehouse facility. There would be no retail sales at this location as it would be primarily used for storage of agricultural products.

**Presenter:** Nancy Dosdall, Contract City Planner

6. UNFINISHED BUSINESS

7. OTHER ITEMS OF BUSINESS

- a. Commissioners will review the permits issued in October and November 2022.  
Commissioners will consider the permits issued in October and November 2022.

**Presenter:**

8. ADJOURNMENT



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 2.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Commissioners will review the Regular Meeting Minutes of October 4, 2022.

---

**BACKGROUND**

See attached October 4, 2022, minutes.

**RECOMMENDATION**

Staff recommends that the Planning and Zoning Commission approves the Regular Meeting Minutes of October 4, 2022.

---

**Attachments**

Minutes for the October 4, 2022, Planning & Zoning Regular meeting

PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, OCTOBER 4, 2022

1. The regular meeting was called to order 6:30 p.m. and was opened with the Pledge of Allegiance. Commission members present were Chairperson Robert Rime, Commissioners Rebecca Levy, Lance McDaniel, Jim Skvorc, and Katrina Weiss. City staff present included Building Inspector Sean Canada, City Attorney Patrick Coleman, and Deputy City Clerk Cheryl Lindquist. There was 1 person in the audience.

Commissioner McDaniel moved that the minutes of the Regular Meeting of September 6, 2022 be approved.

Commissioner Skvorc seconded the motion and the vote was as follows:

Levy	McDaniel	Skvorc	Weiss	Rime
abstain	Yes	Yes	Yes	Yes

2. PUBLIC HEARINGS:

- a. Building Inspector Sean Canada presented an application from Staton Jeter for a conditional use permit and amended plat located at 820 N. Dolores Rd. He stated that Mr. Jeter is proposing to build a 2400 sq. ft. shop/garage on the lot next to his home which requires an amendment to combine the two lots. Commissioners had questions regarding use, driveway, height, and lighting which Mr. Staton was able to answer.

Commissioner Weiss made the motion to recommend to City Council for approval, subject to the following 4 conditions to ensure compliance with the standards in the Land Use Code for a site development plan and conditional use permit:

- (1). All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
- (2). The appropriate construction drawings and reports for the project, must be approved by the Building Official, and a building permit obtained prior to any construction on site.
- (3). Prior to issuance of a full building permit, the applicant shall vacate the existing lot line and consolidate the properties.
- (4). The garage/shop is limited to accessory uses to a single-family dwelling such as personal storage.

Commissioner Skvorc seconded the motion with the vote:

Levy	McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes	Yes



### 3. NEW BUSINESS

- a. Discussion on public meeting/hearing rules of decorum. Commissioners were asking for some guidelines for meetings. City Attorney Patrick Coleman presented some rules he had drafted for discussion. After much deliberation commissioners agreed to use the same method that city council uses at their meetings for consistency. They also discussed a short coaching for the public on the rules of decorum before meetings and posting the rules of decorum on the video screens before meetings. Mr. Coleman also suggested allowing public input before each subject, and requiring name only from speakers. It was also discussed to have staff present the application/applicant to the commission, next the applicant will advocate for their project and present their documentation, then any public that wants to participate can speak on the project, and staff will then give a final summary. It was agreed that the applicant should be presenting their own project and answering any questions the commissioners may have. Commissioners also stressed the need to enforce the deadline to applicants for getting their documents in to staff for submittal of the agenda packets.

### 4. OTHER ITEMS OF BUSINESS

- a. Permits issued September, 2022

### 5. PUBLIC PARTICIPATION – none

### 6. ADJOURNMENT OF REGULAR MEETING

Commissioner Skvorc moved that the meeting be adjourned at 7:30 p.m.

Commissioner McDaniel seconded the motion, and the vote was as follows:

Levy	McDaniel	Skvorc	Weiss	Rime
absent	Yes	Yes	Yes	Yes

PLANNING AND ZONING COMMISSION

---

Robert Rime, Chairperson

ATTEST:

---

Cheryl Lindquist, Deputy City Clerk



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 4. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Planning and Zoning Commission will hear an application from James and Jean Wootton, dba Yellow Car Country Wine, located at 1345 S. Broadway for a zoning map amendment for the rezoning of Section: 34 Township: 36 Range: 16 tr in SE1/4NW1/4; 0.52ac. The property is currently zoned R1 (single family residential) and the proposed rezone is C (Commercial Highway).

---

#### BACKGROUND

See attached documentation to support an application from James and Jean Wootton, dba Yellow Car Country Wine, located at 1345 S. Broadway for a zoning map amendment for the rezoning of Section: 34 Township: 36 Range: 16 tr in SE1/4NW1/4; 0.52ac. The property is currently zoned R1 (single family residential) and the proposed rezone is C (Commercial Highway).

#### RECOMMENDATION

Staff recommends that Planning and Zoning Commissioners approve an application from James and Jean Wootton, dba Yellow Car Country Wine, located at 1345 S. Broadway for a zoning map amendment for the rezoning of Section: 34 Township: 36 Range: 16 tr in SE1/4NW1/4; 0.52ac. The property is currently zoned R1 (single family residential) and the proposed rezone is C (Commercial Highway).

---

#### Attachments

Zoning map amendment for Yellow Car Country Wine



*City of Cortez Planning  
and Building  
123 Roger Smith Avenue  
Cortez, CO 81321*

Item No: 4a

Meeting Date: December 6, 2022

Project No. ZA22-000002

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dosdall, Contract City Planner

**SUBJECT:** Public Hearing on an Application for a rezoning of a .52-acre parcel located at 1345 S. Broadway, from R1 Residential Single Family to C, Commercial Highway.

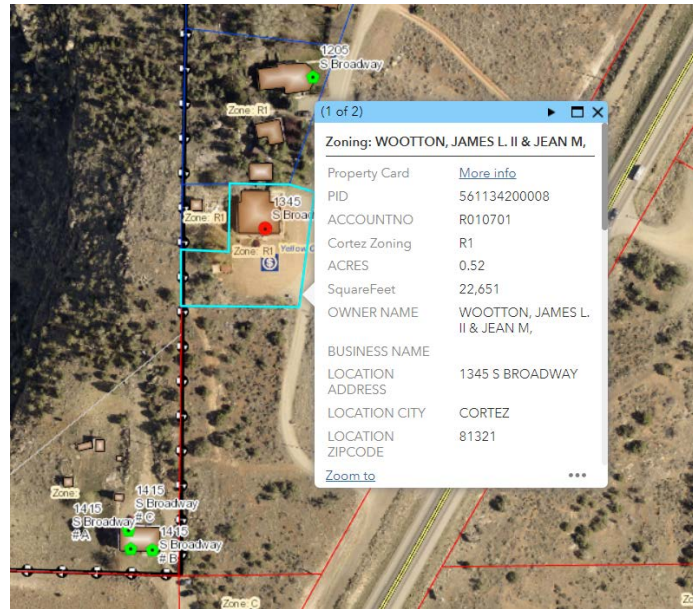
**OWNER:** James L. & Jean M. Wootton (Yellow Car Winery)

**ATTACHMENTS:** P&Z Resolution No. 13, Series 2022  
Application Packet

## **BACKGROUND**

The .52-acre parcel located at 1345 S. Broadway is currently zoned R1. The property has operated as both a residence for the Wootens and Yellow Car Winery since 2018. The Winery was originally established under the existing zoning as a Home Business, although it has since outgrown that designation and its strict requirements.

The site is bounded on the north by single family homes zoned R1, on the west by unincorporated land in Montezuma County and on the east and south by Commercially zoned land. Access to the property is through the commercially zoned property, also owned by the Wootens from S. Broadway.



*Vicinity Map*

## ISSUES

Sec. 6.02 of the Land Use Code establishes the following criteria for a zoning amendment:

1. Items for Consideration in Zoning Amendments. The planning commission shall in its action on the rezoning request, consider the following:
  - a. Was the existing zone for the property adopted in error?
  - b. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?
  - c. Is there a need for the proposed rezoning within the area or community?
  - d. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?
  - e. Will there be benefits derived by the community or area by granting the proposed rezoning?
  - f. Are adequate facilities available to serve development for the type and scope suggested by the proposed zone? If utilities are not available, could they be reasonably extended?
  - g. Is the proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan?
  - h. Does the proposed change constitute "spot zoning?"

## DISCUSSION

This property is located in an area dominated by highway oriented commercial development, with areas of single-family homes behind the commercial development. The property itself has an unusual history, having been owned by Hospice of Montezuma County from 1997 until 2018 and as church prior to that time. The photo from the County Assessor's page is below and appears to show the more commercial nature of the property:



The request is to rezone the property from R1 to C, which would allow for the existing winery to expand and operate with less stringent requirements than its current home occupation limits.

**Criteria:**

- a. It does appear that perhaps this property was zoned in error, given that the existing structure on the property was likely built as a commercial structure or perhaps a church and was only recently (2018) converted into the residence/winery. Of course, it is not possible to know what the original thought of the zoning was, the property itself is on the border between commercial and residential zoned property.
- b. The neighborhood has developed commercially over the years, although it does not appear that there have been many recent changes. The current access situation has stymied very recent proposals for adding commercial uses to the area.
- c. The rezoning is being requested to allow the winery to come into compliance with existing land use codes and to expand to some degree.
- d. The area is a mix of land uses, including single family homes, rural properties and existing commercial uses. The neighbor to the immediate north, a residential property, has expressed concerns regarding adverse impacts from the existing uses. Should the rezoning be approved, a site plan for the existing and expanded uses of the winery would be required, that could help to mitigate impacts.
- e. The rezoning to commercial will allow a locally grown business to operate legally and perhaps expand, which could lead to additional sales taxes.
- f. Adequate facilities for the business are available, including water, sewer, access and all other utilities.
- g. The Cortez Comprehensive plan includes numerous goals that support the requested rezone. Goals and policies include the following:
  - a. Sustain a well-balanced and diverse local economy (Goal 11.1)
  - b. To incubate the development and expansion of niche goods and services.
  - c. Improve the image of Cortez as a tourist destination.
  - d. Respond to the needs of the agribusiness economy to ensure sustainability of the community's rural character, promoting efforts to establish a year-round marketplace and encouraging the distribution of local products at local stores.
- h. The property is surrounded on two sides by commercially zoned property and has been operated commercially in the past so it should not be considered "spot zoning."

## AGENCY REVIEW

### **GIS Coordinator (Doug Roth)**

No Concerns. As applicant noted the use of this parcel has been commercial for over 25 years, likely pre-dating the 1996 land use code.

### **Cortez Police Department (Andy Brock)**

The Cortez Police Department has no issues with the proposed re-zoning.

### **Cortez City Engineer (George Tripp)**

The small residential lot needs to have an access and utility easement so that it does not become isolated if it gets sold separately from the newly zoned commercial lot.

### **Cortez Parks and Recreation (Creighton Wright)**

No comment.

## ALTERNATIVES

1. The Commission can recommend that the Council approve the rezone request from R1 to C for a .52-acre parcel located at 1345 S. Broadway as submitted by James L & Jean M. Wootton.
2. The Commission can recommend denial of the request for a rezoning and state their reasons;
3. The Commission can ask for more information and table the application; or
4. The Commission can recommend that Council approve the rezoning request.

## RECOMMENDATION

Staff recommends Alternative “1” above, approval of the rezoning request through P&Z Resolution No. Series 2022.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that Council approve the requested rezone from R-1 to C for property located at 1345 S. Broadway, Cortez, located in Section 34, Township 36, Range 16, tr in SE1/4NW1/4; .52 acres, as submitted by James L & Jean M. Wootton through P&Z Resolutions No. 13, Series 2022, with the following findings:**

- a. The existing zone for the property may have been adopted in error because the property has a long history of commercial use, not residential.
- b. The community will benefit from additional commercial use of the property by the additional economic benefits of additional jobs, opportunities and taxes generated.
- c. Adequate facilities are available to serve development for the type and scope suggested by the proposed zone.
- d. The proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan.

**CITY OF CORTEZ  
PLANNING AND ZONING COMMISSION  
RESOLUTION NO. 13, SERIES 2022**

**A Resolution Recommending Approval of a Rezoning of a .52-acre parcel located at 1345 S. Broadway, from R1 Residential Single Family to C, Commercial Highway**

WHEREAS, owner/applicants James L. & Jean M. Wootton have applied for review of a rezoning from R1 to C of a .52-acre parcel located at 1345 S. Broadway, Cortez, Colorado and more particularly described as follows (the “Property”):

*1345 S. Broadway, Cortez, located in Section 34, Township 36, Range 16, tr in SE1/4NW1/4*

WHEREAS, the Owner/applicant has applied to the City for a rezone from R1, Residential Single Family to C, Commercial Highway of the Property; and

WHEREAS, the Owner/applicant presented a request and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on December 6, 2022; and

WHEREAS, Land Use Code Section 6.02, Zoning Map and Land Use Code Amendments, indicates that the owner or developer of a property may request an amendment to the zoning classification of property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for an amendment to the zoning classification from R1 to C and is recommending approval of the request on the Property, as evidenced in the adoption of P&Z Resolution No. 13, Series 2022; and

WHEREAS, the Owner/applicant has held legal ownership of the Property subsequent to the adoption of this P&Z Resolution No. 13, Series 2022, and is interested in further development of the Property; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission is recommending approval of the requested zoning classification amendment; and

WHEREAS, it appears that all requirements of Chapter 6.00 of the City’s Land Use Code for a zoning classification amendment have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 13, Series 2022, establishes the finding for approval for the reclassification of the Property; and,

THAT, the reclassification and full application for the Property are hereby recommended to the Cortez City Council for approval, subject to the following findings:

1. The existing zone for the Property may have been adopted in error because the Property has a long history of commercial use, not residential.
2. The community will benefit from additional commercial use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated.
3. Adequate facilities are available to serve development for the type and scope suggested by the proposed zoning.
4. The proposal is in conformance with the policies, intents and requirements of the Cortez comprehensive plan.

MOVED, SECONDED, AND ADOPTED THIS 6<sup>th</sup> DAY OF DECEMBER, 2022

---

Robert Rime, Chairman

ATTEST:

---

Cheryl Lindquist, Deputy City Clerk



# **APPENDIX D - CITY OF CORTEZ APPLICATION FOR ZONING ACTION**

*pd \$500 = cc*

This application is for:	
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Right-of-Way or Easement Vacation	<input type="checkbox"/> Site Plan Review
<input checked="" type="checkbox"/> Replat or Plat Amendment	<input type="checkbox"/> Variance
<input type="checkbox"/> Condominium Subdivision/Conversion	<input type="checkbox"/> Minor Subdivision

## **1. APPLICANT SHALL COMPLETE:**

JAMES L. + JEAN M. WOOTTON 1345 S. BROADWAY  
 Property Owner Mailing Address Phone/Fax  
JAMES WOOTTON 1345 S. BROADWAY (970) 560-5752  
 Contact Person Mailing Address Phone/Fax  
1345 S. BROADWAY, CORTEZ  
 Subject Property Street Address

Legal Description; or ☒ Attached

YELLOW CAR WINERY + RESIDENCE

Existing Use(s)

YELLOW CAR WINERY + RESIDENCE 3323 sq ft. 14.67%  
 Proposed Use(s) Square Footage Lot Coverage (%)

.52 AC. (22,651 sq ft) N/A 16  
 Lot Size Proposed Building Height Off-Street Parking Spaces

N/A  
 Proposed Setbacks: Front Side Rear

Public Works Department Approval

Sanitation District Approval

## **OATH OF APPLICANT**

*I hereby certify, subject to penalty of perjury, that the above is true and accurate to the best of my knowledge and that I understand all provisions of City and State codes applicable to the proposed development, any and all conditions placed upon the proposed development by the City Council and all information requested by this document. I also understand that if I violate any applicable provisions of City and/or State codes, I may be required to remedy such violation(s) through appropriate legal process imposed by the City, including moving or removing structures and ceasing of construction and/or uses*

[Signature]  
 Signature of Applicant

11/1/22  
 Date

**2. APPLICANT SHALL ATTACH 2 COPIES OF A COMPLETE SITE AND ACCESS PLAN OR PLAT SHOWING THE BUILDING OR STRUCTURE IN SUFFICIENT DETAIL TO DEMONSTRATE THAT THE PROPOSED CONSTRUCTION, RECONSTRUCTION OR CONVERSION, MOVING AND/OR ALTERATION IS IN CONFORMANCE WITH THE PROVISIONS OF THE APPLICABLE ACTION.**

Other Items Required: \_\_\_\_\_

James L. II & Jean M. Wootton  
1345 S Broadway  
Cortez, CO 81321  
(970)560-5752

Re: Letter of Petition for rezoning of 1345 S Broadway from Residential to Commercial

Dear Zoning Administrator,

We are applying to change 1345 S Broadway's zoning designation from Residential to Commercial. Included is a list of paperwork requested.

The proposed zone change reflects the current usage of the property by Yellow Car Country Wines & Meads. We are an approved and State-certified winery that allows a tasting room, but we have been restricted as a designated home-based business to be able to adequately service our customers and run our business.

The building has had a history of commercial businesses, including Hospice of Montezuma County from 1997 to 2018, and Cortez Congregation of Jehovah's Witnesses prior to 1997.

The property is surrounded by Commercial-zoned land on the south & east sides, residential on the north side, and McElmo Canyon on the west side. On the Northwest corner is also a small piece of residential land located at 1349 S Broadway that is also owned by us that we plan on keeping residential at this time. We also own the Commercial-zoned land that is connected to this property on the south & east side under J4G Holdings LLC (no physical address).

A home-based designation only allows 4 customers at a time, and limited signage to be able to market our business. These are the two biggest obstacles to successfully run our winery. We feel it is in the best public interest to be able to develop and market our business to increase tourism, city taxes, jobs and help in our future endeavors of developing the adjacent commercial property owned by J4G Holdings LLC (owners James L Wootton II, and Susan Lisak).

The building is set with 2738 square feet of residential area, and 585 square feet of winery production space. There are no improvements or construction of new buildings set for this property, we would like to just use the existing structure as it is now.

Our change in zoning should have a minimal impact on the neighbors to the north of the property. Yellow Car has already been in business for 3 years since October 2019, with closing hours at 8pm in the Summer, and 7pm in the winter. Our live music is respectful to not go over these times and only happens 1-2 times a month during the summer.

Current changes to the south Cortez area, with Love's Truck Stop coming in and wired broadband installed (part of which runs down the commercial property that J4G holdings own), means that more businesses will be looking to develop the empty tracts of commercial land that currently run along the frontage road and highway. We have already noticed this, as soon as Love's announced they were going in, people were already inquiring about tracts of land down this South Broadway corridor.

There is an access road that comes up from the frontage road to the winery that is gravel. In March/April 2022 we invested \$8000 dollars in road improvements to add more gravel and blading. We are planning to add additional gravel in the spring of 2023.

We are planning future projects on the adjacent 8.4 acres owned by J4G Holdings, with 2 proposed RV parks, winery & production facility, and future condos going up. This will be a positive development in this area and for the city, and will drive more tourism, business and city taxes to the town. It will also promote more businesses to open in this area, driving the economy and jobs in a forward positive direction.

Respectfully submitted,



James L. Wootton II

Jean M. Wootton

yellowcarcountrywines@gmail.com

**3. ZONING ADMINISTRATOR SHALL VERIFY COMPLIANCE WITH:**

Application Completeness: \_\_\_\_\_ (If incomplete, return to applicant)

Zoning: \_\_\_\_\_ Conditional Use Permit # \_\_\_\_\_

Floodplain Development Permit # \_\_\_\_\_ Board of Adjustments Resolution # \_\_\_\_\_

List Conditions of Approval or Attached: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Should Building Permit Application Be Considered?      Yes \_\_\_\_\_      No \_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature of Zoning Administrator

Date

**4. BUILDING OFFICIAL SHALL VERIFY COMPLIANCE WITH:**

Use: \_\_\_\_\_      Height: \_\_\_\_\_      Setbacks: \_\_\_\_\_  
Access: \_\_\_\_\_      Driveway Width: \_\_\_\_\_      Parking Spaces: \_\_\_\_\_

Water Supply: \_\_\_\_\_

Sanitation Service: \_\_\_\_\_

Can Building Permit Be Applied For?      Yes \_\_\_\_\_      No \_\_\_\_\_

Comments \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature of Building Official

Date

**5. IF THE BUILDING OFFICIAL SO AUTHORIZES, APPLICATION(S) FOR A BUILDING PERMIT THAT CONFORM MATERIALLY WITH ALL INFORMATION PROVIDED ABOVE MAY BE SUBMITTED TO THE BUILDING DEPARTMENT.**

For Official Use Only:	Date Received:	_____
	Date Of Public Hearing(s):	_____
	Date Of Approval:	_____

**Parcels: LINDSAY, JAMES KENT & SHARON D.**

ACCOUNTNO	R010706
PID	561134200013
PermitNumber	
County Zoning	City
ACRES Actual	0.82
Property Card	<a href="#">More info</a>
OWNERNAME1	LINDSAY, JAMES KENT & SHARON D.
CAREOFNAME	
LOCATIONADDRESS	1201 S BROADWAY
LOCATIONCITY	CORTEZ
LOCATIONZIPCODE	81321
MAILADDRESS1	1201 S BROADWAY
MAILADDRESS2	
MAILCITY	CORTEZ
MAILSTATE	CO
MAILZIPCODE	81321
TAXAREA	11001
LEGALSEARCH	Section: 34 Township: 36 Range: 16 TR IN SE1/4NW1/4; 0.82AC B 498 P 277 B 517 P 209
SUBDIVISION	
LANDTYPE	RESIDENTIAL
ABSTCODE	1112, 1212
IMPACTUALVAL	165,036.00
TOTALMILLEVY	54.75
ACTUALVAL	203,646.00
ASSESSEDVAL	14,150.00
LASTSALEDATE	
SALEP	
DEEDTYPE	
GRANTOR	
GRANTEE	
RECPTNO	

**Assessor Picture**

**Parcels: LINDSAY, R. GRANT & TAMARA KAY**

ACCOUNTNO	R010707
PID	561134200014
PermitNumber	
County Zoning	City
ACRES Actual	0.00
Property Card	<a href="#">More info</a>
OWNERNAME1	LINDSAY, R. GRANT & TAMARA KAY
CAREOFNAME	
LOCATIONADDRESS	1205 S BROADWAY
LOCATIONCITY	CORTEZ
LOCATIONZIPCODE	81321
MAILADDRESS1	1205 S BROADWAY
MAILADDRESS2	
MAILCITY	CORTEZ
MAILSTATE	CO
MAILZIPCODE	81321
TAXAREA	11001
LEGALSEARCH	Section: 34 Township: 36 Range: 16 TR IN W1/2SE1/4NW1/4; 0.68AC B525 P807-08 B683 P508
SUBDIVISION	
LANDTYPE	RESIDENTIAL
ABSTCODE	1112, 1212
IMPACTUALVAL	131,945.00
TOTALMILLEVY	54.75
ACTUALVAL	170,555.00
ASSESSEDVAL	11,850.00
LASTSALEDATE	
SALEP	
DEEDTYPE	
GRANTOR	
GRANTEE	
RECPTNO	

**Assessor Picture**

2

## Property Record Card - Page 4



### Property Record Card

Montezuma Assessor

#### Abstract Summary

1212	SINGLE FAM.RES- IMPROVEMENTS	\$235,686	\$16,380	NA	NA
2230	SPEC.PURPOSE-IMPROVEMENTS	\$34,290	\$9,940	NA	NA
Total		\$315,278	\$29,470	NA	NA

# Property Record Card - Page 3



## Property Record Card

Montezuma Assessor

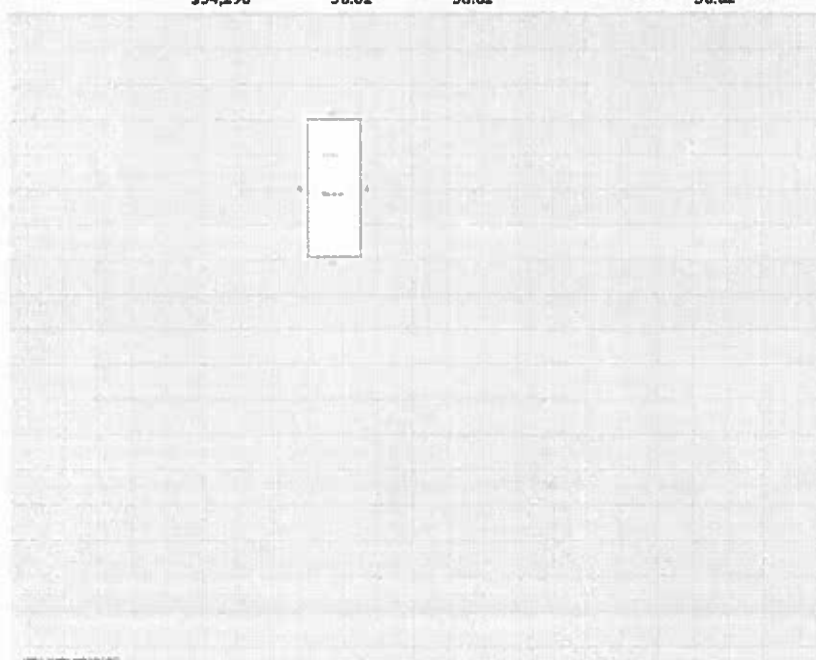
### XFOB Occurrence 1

SubArea	Actual	Effective	FlaBsmnt	Footprint	Garage	LiveArea	UnfBsmnt
SQFT - SQFT	120						
Total	120.00						
Value	Rate	Rate	Rate	Rate	Rate	Rate	Rate
\$1,162	9.68						

### Commercial/Ag Occurrence 1

Property Code	2230 - SPEC PURPOSE-IMPROVEMENTS	Actual Year Built	1986
Effective Year Built	1986	Use Code	1000 - RESIDENTIAL IMPROVED
Building Type	1603 - Winery	Architectural Style	1603 - Winery
Construction Quality	5 - Average	Stories	1 - STORIES 1.0
Roof Structure	1 - Flat	Roof Cover	2 - COMP ROLL
Percent	100	Exterior Wall	43 - Stucco
Percent	100	Interior Wall	1 - Drywall
Percent	100	Floor	1 - Allowance
Percent	100		

SubArea	Actual	Effective	FlaBsmnt	Footprint	Garage	LiveArea	UnfBsmnt
UND - Undefined	585.0	585.0		585.0		585.0	
Total	585.00	585.00		585.00		585.00	
Value	Rate	Rate	Rate	Rate	Rate	Rate	Rate
\$34,290	58.62	58.62		58.62		58.62	



### Abstract Summary

Code	Classification	Actual Value	Taxable Value	Actual Override	Taxable Override
1112	SINGLE FAMILY RESIDENTIAL	\$45,302	\$3,150	NA	NA

A#: R010701 P#: 561134200008 As of: 10/04/2022

Page 3 of 4



2

## Property Record Card - Page 2



### Property Record Card Montezuma Assessor

#### Land Occurrence 1

Value	Rate	Rate	Rate	Rate	Rate	Rate	Rate
\$45,302	2.00						

#### Residential Occurrence 1

Property Code	1212 - SINGLE FAM.RES-IMPROVEMENTS	Actual Year Built	1986
Effective Year Built	1986	Building Type	1 - Ranch 1 Story
Architectural Style	1 - Ranch 1 Story	Depreciation	1986 - 1
Construction Quality	5 - Average	Bedrooms	3
Baths	2	Roof Structure	1 - Flat
Heating Type	11 - Hot Water Radiant	Roof Cover	4 - Composition Roll
Percent	100	Exterior Wall	19 - Frame Stucco
Percent	100	Interior Wall	1 - Drywall
Percent	100	Floor	1 - Allowance

SubArea	Actual	Effective	FinBsmnt	Footprint	Garage	LiveArea	UnfBsmnt
GLA1	2738.0						
Total	2,738.00						
Value	Rate	Rate	Rate	Rate	Rate	Rate	Rate
\$234,524	85.66						



#### XFOB Occurrence 1

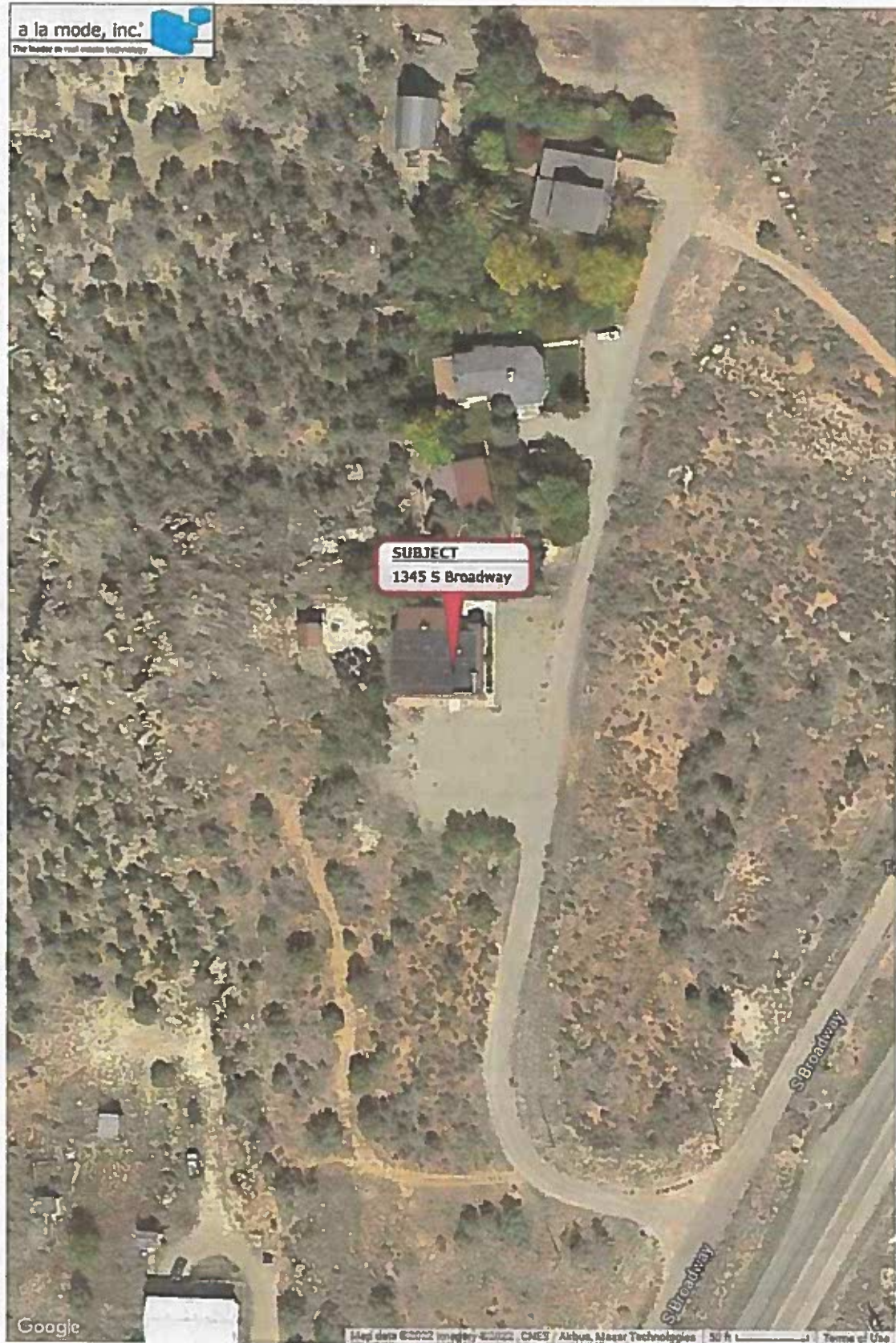
Property Code	1212 - SINGLE FAM.RES-IMPROVEMENTS	Actual Year Built	2018
Effective Year Built	2018	Depreciation	2018 - 1
Life Expectancy	65	Quality	Average
XFOB Code	1022 - SHED,WOOD		

A#: R010701 P#: 561134200008 As of: 10/04/2022

Page 2 of 4

## Location Map

Borrower	James Wootton				
Property Address	1345 S Broadway				
City	Cortez	County	Montezuma	State	CO Zip Code 81321
Lender/Client	United Wholesale Mortgage				





--> Verify your Address HERE ~ GIS Department Homepage ~



2

Property Record Card - Page 1



Property Record Card

Montezuma Assessor

WOOTTON, JAMES L. II &  
JEAN M,

1345 S. BROADWAY  
CORTEZ, CO 81321

Account: R010701

Tax Area: 11001 - DISTRICT 11001

Acres: 0.520

Parcel: 5611-342-00-008

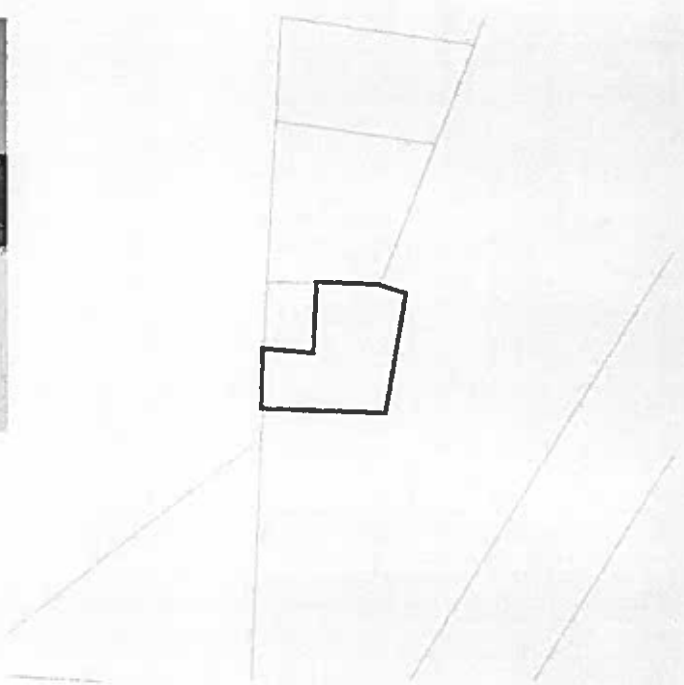
Situs Address:  
1345 S BROADWAY  
CORTEZ, 81321

Value Summary

Value By:	Market	Override
Land (1)	\$45,302	N/A
Residential (1)	\$234,524	N/A
XFOB (1)	\$1,162	N/A
Commercial/Ag (1)	\$34,290	N/A
Total	\$315,278	\$315,278

Legal Description

Section: 34 Township: 36 Range: 16 TR INSE1/4NW1/4; 0.52AC  
B588 P182 B612 P250



Sale Data

Doc. #	Sale Date	Deed Type	Validity	Verified	Sale Price	Ratio	Adj. Price	Ratio	Time Adj. Price	Ratio
620293	11/26/2018	WDJ	UV	Y	\$140,000	225.20	\$140,000	225.20	\$140,000	225.20
465325	09/16/1997	W	QI	Y	\$96,800	325.70	\$96,800	325.70	\$96,800	325.70

Land Occurrence 1

Property Code	1112 - SINGLE FAMILY RESIDENTIAL		Measure By	Square Feet			
Acres	0.52		SQFT	22651.2			
Land Code	907150S - CORTEZ, BROADWAY COM DIST		Sewer Type	0 - UNKNOWN			
SubArea	Actual	Effective	FinBsmnt	Footprint	Garage	LiveArea	UnfBsmnt
ACRES	0.52						
SQFT	22651.2						
Total	22,651.72						

A#: R010701 P#: 561134200008 As of: 10/04/2022

Page 1 of 4

(1 of 1)

**Parcels: WOOTTON, JAMES L II & JEAN M,**

---

ACCOUNTNO	R010700
PID	561134200007
PermitNumber	
County Zoning	City
ACRES Actual	0.17
Property Card	<a href="#">More info</a>
OWNERNAME1	WOOTTON, JAMES L II & JEAN M,
CAREOFNAME	
LOCATIONADDRESS	1349 S BROADWAY #GUESS
LOCATIONCITY	CORTEZ
LOCATIONZIPCODE	81321
MAILADDRESS1	1345 S. BROADWAY
MAILADDRESS2	
MAILCITY	CORTEZ
MAILSTATE	CO
MAILZIPCODE	81321
TAXAREA	11001
LEGALSEARCH	Quarter: NW/4 Section: 34 Township: 36 Range: 16 TR 75FTX100FT SE1/4NW1/4 W OF HWY .17AC B668 P301
SUBDIVISION	
LANDTYPE	VACANT_LAND
ABSTCODE	1112
IMPACTUALVAL	0.00
TOTALMILLEVY	54.75
ACTUALVAL	15,836.00
ASSESSEDVAL	1,100.00
LASTSALEDATE	11/25/2018
SALEP	140,000.00
DEEDTYPE	WDJ
GRANTOR	HOSPICE OF MONTEZUMA, INC
GRANTEE	WOOTTON, JAMES L II & JEAN M,
RECPTNO	620293

**Assessor Picture**

Lindsay, Richard M.  
& I. Nelda 340-296

(012)

3.36 Ac.

N 89° 20' E

.85 Ac.

Lindsay, James D.  
& Sharon D.

.68 Ac.

(013)

216.48'

Lindsay, Grant  
& Tamara Kay

.68 Ac.

(014)

120.18'

S 88° E

(008)

Cortez  
Congregation  
Jehovah's  
Witnesses

.52 Ac.

146.01'

C/S 669/23

(010)

12.25 Ac.

Ertel Investm

407'

N 12° 17' E

478.87'

S 19° 28' 11" W

500.00'

100'

100'

100'

100'

100'

100'

100'

100'

100'

100'

100'

100'

100'



James Wootton II <yellowcarcountrywines@gmail.com>

## property profile report

1 message

Marie Rogers <mrogers@coloradotitleservices.com>

Mon, Oct 31, 2022 at 4:27 PM

To: "yellowcarcountrywines@gmail.com" <yellowcarcountrywines@gmail.com>

Hope the attached works for what you need, I did find the 2018 tax ctf. showing the property as non-residential. Let me know if you need anything further.



### Marie Rogers Patrick

Colorado Title & Closing Services

631 E. Main Street

Cortez, CO 81321

Ph: (970) 564-9770

Fax: (970) 564-9769

### \*\*\*WIRE FRAUD ALERT\*\*\*

Before sending any funds to CTS via wire transfer, you should contact your Closing Officer directly by phone to confirm that you have received the correct wiring instructions. Protect yourself by always verifying any wiring instructions via telephone using a telephone number that is independently verified from a source other than the proposed wiring instructions. Be on guard that criminals are able to spoof the Closing Officer's email address and may have access to your emails.



20221031152802130.pdf

3279K



COLORADO TITLE &  
CLOSING SERVICES LLC

631 E. Main  
Cortez, CO 81321  
Phone: (970) 564-9770  
Fax: (970) 564-9769

**PROPERTY REPORT**

**NOTE: THIS REPORT CANNOT BE RELIED UPON AS ESTABLISHING OWNERSHIP. THIS REPORT IS ONLY INTENDED TO SHOW THE NAME(S) OF THE PERSON(S) PRESENTLY APPEARING TO CLAIM OWNERSHIP AND ANY ENCUMBRANCES OF RECORD. THIS REPORT SHOULD NOT BE CONSTRUED AS A TITLE OPINION, LIABILITY OF THE COMPANY UNDER THIS REPORT IS LIMITED TO THE AMOUNT PAID FOR SAME.**

To: CITY OF CORTEZ

Report No.: 038

Property Address: 1345 S. Broadway, Cortez, CO 81321

Tax ID No.: 5611-342-00-008/R010701

Effective Date: OCTOBER 30, 2022

1. The purported owner to the estate in said land is at the date hereof vested in:

**JAMES L. WOOTTON, II AND JEAN M. WOOTTON**

2. The encumbrance(s) (voluntary) if any, to which said land is subject:

**Deed of Trust from James L. Wootton II and Jean M. Wootton to the Public Trustee of the County of Montezuma, for the use of Amerisave Mortgage Corporation, to secure \$179,025.00, dated July 19, 2021, recorded July 23, 2021 as Reception No. 638754.**

**Deed of Trust from James L. Wootton II and Jean M. Wootton to the Public Trustee of the County of Montezuma, for the use of United Wholesale Mortgage, LLC, to secure \$252,000.00, dated October 17, 2022, recorded October 24, 2022 as Reception No. 648082.**

3. The judgment(s)/lien(s) (involuntary) if any, to which said land is subject:

**N/A**

4. Legal Description: Montezuma County

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE**

5. Tax Status: (NOTE: This tax status is based on verbal information and no guarantee is being made as to the accuracy)

**Taxes for the year 2021 have been paid and taxes for 2022 are not yet due or payable.**

Thank you for your business,

COLORADO TITLE & CLOSING SERVICES, LLC

  
Marie Rogers Patrick



COLORADO TITLE &  
CLOSING SERVICES LLC

631 E. Main  
Cortez, CO 81321  
Phone: (970) 564-9770  
Fax: (970) 564-9769

EXHIBIT "A"

A tract of land in the SE1/4NW1/4 of Section 34, Township 36 North, Range 16 West, N.M.P.M., being more particularly described as follows:

BEGINNING at a point from which point the Southwest Corner of said Section 34 bears South 22° 54' 00" West a distance of 2,498.1 feet and from which point the Northwest Corner of said SE1/4NW1/4 of said Section 34 bears North 00° 30' 00" East a distance of 758.6 feet;

Thence South 00° 30' 00" West a distance of 100 feet;  
" South 88° 00' 00" East a distance of 75 feet;  
" North 00° 30' 00" East a distance of 100 feet;  
" North 88° 00' 00" West a distance of 75 feet to the point of beginning.

AND

A tract of land in the SE1/4NW1/4 of Section 34, Township 36 North, Range 16 West, N.M.P.M., being more particularly described as follows:

BEGINNING at a point from which the Northwest Corner of the SE1/4NW1/4 of said Section 34, bears North 00° 30' West a distance of 758.6 feet;

Thence South 88° 00' 00" East a distance of 75 feet to the point of beginning of the tract hereby conveyed;  
" South 88° 00' 00" East a distance of 75 feet;  
" South 00° 30' 00" East a distance of 100 feet;  
" North 88° 30' 00" West a distance of 75 feet;  
" North 00° 30' 00" West a distance of 100 feet to the point of beginning.

AND

A tract of land in the SE1/4NW1/4 of Section 34, Township 36 North, Range 16 West, N.M.P.M., being more particularly described as follows:

BEGINNING at a point in the SE1/4NW1/4 of said Section 34 from which point the Southwest corner of said Section 34 bears South 24° 09' 39" West a distance of 3332.83 feet;

Thence East a distance of 164.02 feet;  
" North 08° 23' 38" East a distance of 97.72 feet;  
" North 06° 59' 02" East a distance of 68.06 feet;  
" North 73° 34' 30" West a distance of 38.12 feet;  
" South a distance of 100.00 feet;  
" West a distance of 150.00 feet;  
" South a distance of 75.00 feet to the point of beginning.

TOGETHER WITH a non-exclusive access easement, being 30 feet in width, and being 15 feet each side of the following described centerline:

BEGINNING at a point in the NW1/4 of Section 34, Township 36 North, Range 16 West, N.M.P.M., from which point the SW Corner of said Section 34 bears South 25° 11' 18" West a distance of 3569.42 feet;

Thence South 73° 34' 30" East a distance of 50.05 feet;  
" South 06° 59' 02" West a distance of 80.82 feet;  
" South 08° 23' 38" West a distance of 251.91 feet;  
" South 19° 32' 50" East a distance of 74.30 feet;  
" South 74° 23' 55" East a distance of 119.53 feet to the West shoulder of a frontage road which parallels U.S. Highway 160-666, from which point the SW Corner of said Section 34 bears South 30° 48' 41" West a distance of 3241.83 feet.

**COLORADO TITLE &  
CLOSING SERVICES LLC**

**631 E. Main  
Cortez, CO 81321  
Phone: (970) 564-9770  
Fax: (970) 564-9769**

Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.

1. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
4. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the Effective Date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by the Commitment.
5. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in Title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records.
7. Easement from J.W. Ertel and Edna Ertel to Empire Electric Association, Inc. recorded November 25, 1952 in Book 176 at Page 328.
8. All oil, gas and other minerals as reserved by J.W. Ertel in Deed to John Watson Ertel, recorded March 6, 1957 in Book 234 at Page 244, and any and all assignments thereof or interests therein and any easements or right of entry with respect thereto.
9. All oil, gas and other minerals as reserved by J.W. Ertel in Deed to John Watson Ertel, recorded June 4, 1957 in Book 238 at Page 373, and any and all assignments thereof or interests therein and any easements or right of entry with respect thereto.
10. Right of way easement from Ertel Investments, A Colorado Corporation to Empire Electric Association, Inc. recorded August 17, 1981 in Book 528 at Page 904.
11. All oil, gas and other minerals as reserved by Ertel Investments, Inc. in Deed to Cortez Congregation of Jehovah's Witnesses, a Colorado Non-profit Corporation, recorded June 4, 1986 in Book 588 at Page 182, and any and all assignments thereof or interests therein and any easements or right of entry with respect thereto.
12. Access easement across subject property as described in Deed from The Cortez Congregation of Jehovah's Witnesses Inc. to Robert Conner recorded February 5, 1993 in Book 668 at Page 301 and re-recorded March 2, 1993 in Book 669 at Page 83.

# MONTEZUMA COUNTY TREASURER

## CERTIFICATE OF TAXES DUE

Account Number R010701 Parcel 561134200008 Assessed To HOSPICE OF MONTEZUMA, INC. PO DRAWER 740 CORTEZ, CO 81321	Certificate Number 15266 Order Number MO21804001 Vendor ID 2 COLORADO TITLE & CLOSING SERVICES 631 E. Main Cortez, CO 81321
---	--

<b>Legal Description</b> Quarter: NW/4 Section: 34 Township: 36 Range: 16 S: 34 T: 36 R: 16 TR SE1/4NW1/4 .52A B588 1345 S BROADWAY CORTEZ P182 B612 P250	<b>Situs Address</b> 1345 S BROADWAY CORTEZ
---	--

Year	Tax	Interest	Fees	Payments	Balance
<b>Grand Total Due as of 11/02/2018</b>					<b>\$0.00</b>

Tax Billed at 2017 Rates for Tax Area 11001 - DISTRICT 11001

Authority	Mill Levy	Amount	Values	Actual	Assessed
MONTEZUMA COUNTY ROAD AND B	1.0580000	\$0.00	EXEMPT CHARITABLE NON RESIDENTIAL	\$28,750	\$8,340
CITY OF CORTEZ R/B	1.0580000	\$0.00			
RE-1 CORTEZ	18.9510000	\$0.00	CHARITABLE NON RESIDENTIAL IMP	\$138,023	\$40,030
CITY OF CORTEZ	1.2400000	\$0.00			
MONTEZUMA COUNTY HOSPITAL D	0.9940000	\$0.00	Total	\$166,773	\$48,370
MTZ-DOLORES CTY METRO REC D	0.7770000	\$0.00			
CORTEZ SANITATION	9.1960000	\$0.00			
CORTEZ CEMETERY	0.3660000	\$0.00			
DOLORES WATER DISTRICT	0.4830000	\$0.00			
DOLORES WATER BOND/DEBT	1.9248000	\$0.00			
SOUTHWEST WATER CONSERVATIO	0.4070000	\$0.00			
MOSQUITO DISTRICT	0.4080000	\$0.00			
CORTEZ FIRE DISTRICT	6.8420000	\$0.00			
CORTEZ FIRE ADDITIONAL LEVY	4.5000000	\$0.00			
MONTEZUMA-CORTEZ RE 1 BOND	3.0030000	\$0.00			
MONTEZUMA COUNTY GENERAL FU	11.4150000	\$0.00			
MONTEZUMA COUNTY SOCIAL SVC	0.8000000	\$0.00			
<b>Taxes Billed 2017</b>	<b>63.4228000</b>	<b>\$0.00</b>			

All Tax Lien Sale amounts are subject to change due to endorsement of current taxes by the lienholder or to advertising and distraint warrant fees. Changes may occur and the Treasurer's office will need to be contacted prior to remittance after the following dates:  
 Personal property and Mobile homes - September 1st, Real property - September 1.

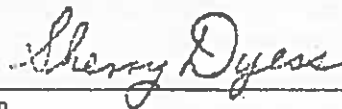
**TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIERS CHECK.**

Special taxing districts and the boundaries of such districts may be on file with the Board of County Commissioners, the County Clerk, or the County Assessor.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax or misc. tax collected on behalf of other entities, special or local improvement district assessments or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption are as noted herein. In witness whereof, I have hereunto set my hand and seal.

TREASURER, MONTEZUMA, SHERRY DYESS, BY \_\_\_\_\_  
 140 W. MAIN STREET, SUITE 2, CORTEZ, COLORADO 81321 (970) 565-7550



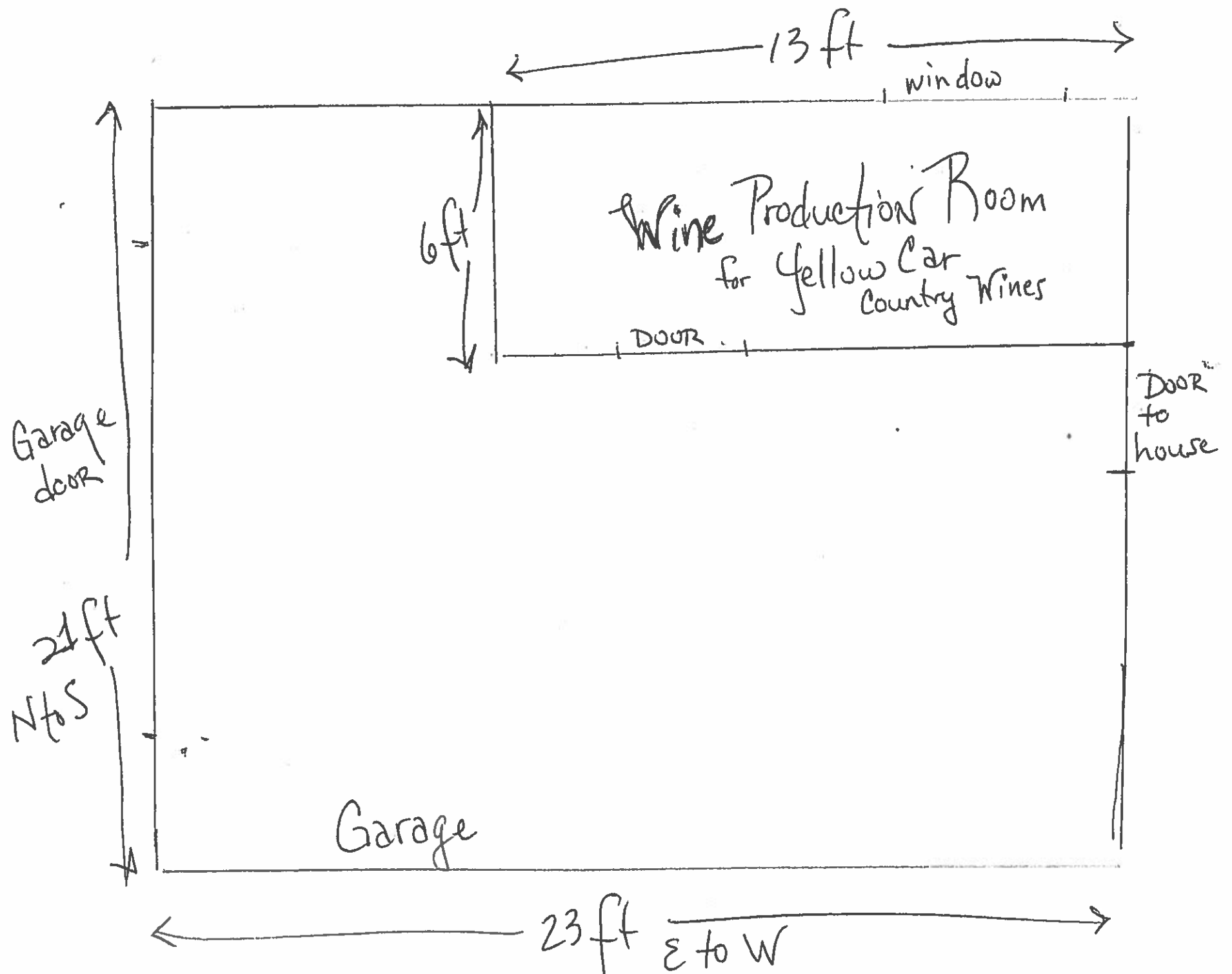




1345  
S Broadway

Yellow Car County Wines

Access Esmt.







CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 4. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Planning and Zoning Commission will hear an application from Donetta Hegwood, represented by Casey Spitzer, requesting a zoning map amendment for TBD N. Chestnut St. This property is currently zoned R1, single family residential, they are wanting to re-zone to R2, multi family residential.

---

#### **BACKGROUND**

See the attached application from Donetta Hegwood, represented by Casey Spitzer, requesting a zoning map amendment for TBD N. Chestnut St. This property is currently zoned R1, single family residential, they are wanting to re-zone to R2, multifamily residential.

#### **RECOMMENDATION**

Staff recommends approving the application from Donetta Hegwood, represented by Casey Spitzer, requesting a zoning map amendment for TBD N. Chestnut St. This property is currently zoned R1, single family residential, they are wanting to re-zone to R2, multifamily residential.

---

#### **Attachments**

Rezoning request for Donetta Hegwood



*City of Cortez Planning  
and Building  
123 Roger Smith Avenue  
Cortez, CO 81321*

Item No: 4b

Meeting Date: December 6, 2022

Project No. ZA22-000655

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dosdall, Contract City Planner

**SUBJECT:** Public Hearing on an Application for a rezoning of a .59-acre parcel located on the southwest corner of N Chestnut St and W Empire St, also known as CRSP Addition, lots 2-8, Block 1 B612 P165-66, from R1 Residential Single Family to R2 Residential Multi-family.

**AGENT:** Casey Spitzer

**OWNER:** Donetta Hegwood

**ATTACHMENTS:** P&Z Resolution No. 12, Series 2022  
Application Packet

## **BACKGROUND**

The .59-acre parcel located on the southwest corner of the intersection of N. Chestnut St. and W. Empire St. is currently zoned R1. The parcel is vacant and for sale.

The site is bounded on the north and south by single family homes zoned R1, on the west by the Rust Mobile Home Park which is a non-conforming property zoned R1. Commercially zoned property is located to the northwest.



*Vicinity Map*

## ISSUES

Sec. 6.02 of the Land Use Code establishes the following criteria for a zoning amendment:

1. Items for Consideration in Zoning Amendments. The planning commission shall in its action on the rezoning request, consider the following:
  - a. Was the existing zone for the property adopted in error?
  - b. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?
  - c. Is there a need for the proposed rezoning within the area or community?
  - d. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?
  - e. Will there be benefits derived by the community or area by granting the proposed rezoning?
  - f. Are adequate facilities available to serve development for the type and scope suggested by the proposed zone? If utilities are not available, could they be reasonably extended?
  - g. Is the proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan?
  - h. Does the proposed change constitute "spot zoning?"

## DISCUSSION

This property is located in an unusual transition area of the City. Properties to the immediate north, south and east are zoned appropriately and developed as single family residential. The current R1 zoning would allow for this parcel to be subdivided into 3 single family lots, however the property is immediately adjacent to a nonconforming use of an older mobile home park, making this property much less desirable for single family development.

The request is to rezone the property from R1 to R2, which would allow for single family, duplex or multi-family development. 4 single family lots could be developed, 6 duplex units (3 structures) or 8 townhouse style units. Should affordable housing be proposed, a maximum of 12 units could be developed. Of note, manufactured homes and parks are **not** allowed in the R2 district.



**Criteria:**

- a. It is not possible to determine whether the property was zoned in error but it appears unlikely. The neighborhood on three sides is zoned and developed with single family homes, in conformance with the zoning. The older mobile home park located immediately to the west of the property is considered legal, nonconforming to the existing R1 zoning, perhaps in an attempt to encourage redevelopment.
- b. The neighborhood does not appear to have experienced many changes in recent years, except perhaps for deterioration of the property to the west, which given its nonconforming status is likely to continue. There does appear to be a need in the neighborhood for more of a transition from the highway corridor and existing mobile home park to the developed single-family neighborhoods to the east.
- c. The recent Housing Study for the Cortez area demonstrates a need for additional housing opportunities, especially for multi-family development at a more affordable level. The existing owner has had the property listed for sale and had interest from several individuals interested in developing it for multi-family, but not for single family homes.
- d. The area is a mix of land uses, including both single family homes and an existing, older mobile home park. Commercial uses are to the northwest of the parcel. A small multi-family development, if well designed with adequate parking, could be considered compatible with the surrounding area.
- e. The rezoning to allow for multi-family development, in the midst of a housing crisis should provide the dual benefits of providing for additional housing and likely spurring development of a vacant parcel. While any housing proposed on the site is not guaranteed to be affordable, most often, multi-family development is sold or rented at the lower end of market rates.
- f. Adequate facilities for a small multi-family development are available, including water, sewer, access and all other utilities. Given its location as a proposed infill project, all other services including schools and public safety are also available.
- g. The Cortez Comprehensive plan includes numerous goals that support the requested rezone. Goals and policies include the following:
  - a. Promote infill opportunities within the corporate limits to preserve open space surrounding the City while making the best use of land within the City (Policy 5.1.12)
  - b. Encourage infill development on vacant land which will complement the established character of the neighborhood (Policy 5.4.1)
  - c. Strongly encourage new development proposed on surplus, vacant, or underutilized land throughout the city when the development is appropriate for the area and complies with the Land Use Code (Policy 5.4.2)
  - d. Encourage expansion of the housing supply within the City of Cortez to meet the needs of current and future residents (Goal 6.1, ongoing objective)
  - e. Strongly encourage the development of new housing on surplus, vacant, and underutilized land throughout the City, with appropriate incentives, zoning regulations, and development standards.
  - f. In addition to single family homes, promote the development of new duplexes and multi-family housing opportunities for families (Policy 6.4.30).
- h. The property is surrounded by R1 zoned parcels with the exception of a small corner to the northwest. While this might normally be considered “spot zoning” the nonconforming status of the property immediately to the west creates a more complicated picture for this property.

## AGENCY REVIEW

### **GIS Coordinator (Doug Roth)**

No concerns. There are other existing multi-family developments in the surrounding blocks. For future development of this lot it is important to consider that access will need to be off of N Chestnut St., not Empire St.

### **Cortez Police Department (Andy Brock)**

The Cortez Police Department has no issues with the proposed re-zoning.

### **Cortez City Engineer (George Tripp)**

I defer to P&Z for mixed use zoning allowance. Just be aware, there may be an existing 18" PVC storm drain under the NE corner of the property.

### **Cortez Parks and Recreation (Creighton Wright)**

No comment.

## ALTERNATIVES

1. The Commission can recommend that the Council approve the rezone request from R1 to R2 for a .59-acre parcel located on the southwest corner of N Chestnut and W Empire as submitted by Donetta Hegwood.
2. The Commission can recommend denial of the request for a rezoning and state their reasons;
3. The Commission can ask for more information and table the application; or
4. The Commission can recommend that Council approve the rezoning request.

## RECOMMENDATION

Staff recommends Alternative "1" above, approval of the rezoning request through P&Z Resolution No. 12, Series 2022.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that Council approve the requested rezone from R-1 to R-2 for property located on the southwest corner of N Chestnut St and W Empire St, also known as CRSP Addition, lots 2-8, Block 1 B612 P165-66, as submitted by Donetta Hegwood through P&Z Resolutions No.12, Series 2022, with the following findings:**

1. There is a demonstrated need for additional housing in the City of Cortez
2. The proposed use of multi-family housing is compatible with existing development in the surrounding area.
3. Adequate facilities for the proposed use are already present in the area.
4. The proposed rezone is consistent with multiple goals of the Cortez Comprehensive Plan including the provision of additional housing opportunities and the development of a currently vacant, infill property.

**CITY OF CORTEZ  
PLANNING AND ZONING COMMISSION  
RESOLUTION NO. 12, SERIES 2022**

**A Resolution Recommending Approval of a Rezoning of a .59-acre parcel located on the southwest corner of N Chestnut St and W Empire St, also known as CRSP Addition, lots 2-8, Block 1 B612 P165-66 from R1, Residential Single Family to R2, Residential Multi-Family**

WHEREAS, owner/applicant Donetta Hegwood has applied for review of a rezoning from R1 to R2 of a .59-acre parcel located on the southwest corner of N. Chestnut St. and W. Empire St, Cortez, Colorado and more particularly described as:

*CRSP Addition, lots 2-8, Block 1 B612 P165-66*

WHEREAS, the Owner/applicant has applied to the City for a rezone from R1 to R2 of said property; and,

WHEREAS, the Owner/applicant presented a request and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on December 6, 2022; and,

WHEREAS, Land Use Code Section 6.02, Zoning Map and Land Use Code Amendments, indicates that the owner or developer of the property may request an amendment to the zoning classification of property; and,

WHEREAS, the Planning and Zoning Commission reviewed the request for an amendment to the zoning classification from R1 to R2 and is recommending approval of the request on said property, as evidenced in the adoption of P&Z Resolution No. 12, Series 2022; and,

WHEREAS, the Owner/applicant has held legal ownership of the property subsequent to the adoption of said P&Z Resolution No. 12, Series 2022, and is interested in further development of this property; and,

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission is recommending approval of the requested zoning classification amendment; and,

WHEREAS, it appears that all requirements of Chapter 6.00 of the City's Land Use Code for a zoning classification amendment have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 12, Series 2022, establishes the finding for approval for the reclassification of the afore-mentioned property; and,

THAT, the reclassification and full application for said property are hereby recommended to Council for approval, subject to the following findings:

1. There is a demonstrated need for additional housing in the City of Cortez
2. The proposed use of multi-family housing is compatible with existing development in the surrounding area.
3. Adequate facilities for the proposed use are already present in the area.
4. The proposed rezone is consistent with multiple goals of the Cortez Comprehensive Plan including the provision of additional housing opportunities and the development of a currently vacant, infill property.

MOVED, SECONDED, AND ADOPTED THIS 6<sup>th</sup> DAY OF DECEMBER, 2022

---

Robert Rime, Chairman

ATTEST:

---

Cheryl Lindquist, Deputy City Clerk

## APPENDIX D - CITY OF CORTEZ APPLICATION FOR ZONING ACTION

This application is for	
<input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Right-of-Way or Easement Vacation <input type="checkbox"/> Replat or Plat Amendment <input type="checkbox"/> Condominium Subdivision/Conversion	<input type="checkbox"/> Special Exception <input type="checkbox"/> Site Plan Review <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Minor Subdivision

### 1. APPLICANT SHALL COMPLETE:

Donetta Hegwood      27221 Road M.7 Dolores, CO 81323      (970) 759-4234  
 Property Owner      Mailing Address      Phone/Fax

Same as above  
 Contact Person      Mailing Address      Phone/Fax

TBD N. Chestnut St., Cortez, CO 81321  
 Subject Property Street Address

Subdivision CRBP Addition Lot 2-8, Block 1, B612 P 165-66 R/478173  
 Legal Description; or ☒ Attached

Vacant Land  
 Existing Use(s)

Multi Family  
 Proposed Use(s)      Square Footage      Lot Coverage (%)

.590 Acres  
 Lot Size      Proposed Building Height      Off-Street Parking Spaces

Proposed Setbacks:      Front      Side      Rear

Public Works Department Approval      Sanitation District Approval

OATH OF APPLICANT	
<i>I hereby certify, subject to penalty of perjury, that the above is true and accurate to the best of my knowledge and that I understand all provisions of City and State codes applicable to the proposed development, any and all conditions placed upon the proposed development by the City Council and all information requested by this document. I also understand that if I violate any applicable provisions of City and/or State codes, I may be required to remedy such violation(s) through appropriate legal process imposed by the City, including moving or removing structures and ceasing of construction and/or uses</i>	
<u>Donetta Hegwood</u> Signature of Applicant	<u>11-8-22</u> Date

### 2. APPLICANT SHALL ATTACH 2 COPIES OF A COMPLETE SITE AND ACCESS PLAN OR PLAT SHOWING THE BUILDING OR STRUCTURE IN SUFFICIENT DETAIL TO DEMONSTRATE THAT THE PROPOSED CONSTRUCTION, RECONSTRUCTION OR CONVERSION, MOVING AND/OR ALTERATION IS IN CONFORMANCE WITH THE PROVISIONS OF THE APPLICABLE ACTION.

Other Items Required: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



**RE/MAX Mesa Verde Realty**

1640 E Main St.

Cortez, CO 81321

**Marti 970-739-0447**

**Casey 970-640-6378**

**Kim 970-301-0029**

To Whom it May Concern;

I am writing as a representative to Donetta Hegwood, owner of TBD N. Chestnut St. We are requesting a zoning change from R1 to R2 for this .59-acre parcel in Cortez city limits with the legal description - Subdivision: CRSP ADDITION Lot: 2-8 Block: 1 B612 P165-66.

The zoning change is being requested because we have received interest from multiple parties that would like to purchase this land. The reasons have ranged from workforce housing to multi family dwellings being used on the parcel.

This property sits adjacent to a non-conforming use property (Cortez Mobile Estates), the NW corner of the property is directly across the street from a parcel zoned commercial and it sits 3 parcels west of property zoned commercial on the Highway 491 corridor.

For the reasons stated above we feel this request is worth getting in front of the decision makers at the City of Cortez.

If any other information is needed with this application, please contact Casey Spitzer.

Thank You,

Casey Spitzer

Stephens Family Trust  
130 W Empire St.  
Cortez, CO 81321

Keith Evans  
10659 Road 26  
Cortez, CO 81321

Travis and Mia Parker  
702 N Chestnut St.  
Cortez, CO 81321

Kevin Foiles  
614 N Chestnut St.  
Cortez, CO 81321

Janet Bookless  
606 Colorado St.  
Cortez, CO 81321

Robert and Linda Sessler  
602 N Chestnut. St.  
Cortez, CO 81321

Melissa Mathews  
P.O. Box 441  
Mancos, CO 81328

Cortez Mobile Estates, LLC.  
212 E Desert Holly Dr.  
San Tan Valley, AZ 85143

Carl Godfrey  
705 N Chestnut St.  
Cortez, CO 81321

Joan Mercurio  
P.O. Box 1373  
Cortez, CO 81321

Terry Verdahl  
713 N Chestnut St.  
Cortez, CO 81321

Christiann Kantner  
706 N Chestnut St.  
Cortez, CO 81321

Kirk and Sandy Ruckman  
710 N Chestnut St.  
Cortez, CO 81321

Anthony Martinez  
102 MacArthur Ave.  
Cortez, CO 81321

Michael W. Taylor Trust  
P.O. Box 3066  
Pasole Robles, CA 93447

# Statement of Taxes Due

Account Number R018043	Parcel 561126205004
Legal Description	Situs Address
Subdivision: CRSP ADDITION Lot: 2-8 Block: 1 B612 P165-66 R/478173	TBD N. CHESTNUT ST CORTEZ

Account: R018043  
HEGWOOD, DONETTA  
27221 ROAD M.7  
DOLORES, CO 81323

Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2021	\$219.00	\$0.00	\$0.00	(\$219.00)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 11/07/2022					\$0.00

Tax Billed at 2021 Rates for Tax Area 11001 - DISTRICT 11001

Authority	Mill Levy	Amount	Values	Actual	Assessed
MONTEZUMA COUNTY ROAD AND B	1.3126000	\$5.25	LESS THAN 1 AC	\$13,806	\$4,000
CITY OF CORTEZ R/B	1.3126000	\$5.25	Total	\$13,806	\$4,000
RE-1 CORTEZ	19.8810000	\$79.52			
CITY OF CORTEZ	1.1718000*	\$4.69			
MONTEZUMA COUNTY HOSPITAL D	0.9940000	\$3.98			
MTZ-DOLORES CTY METRO REC D	0.7770000	\$3.11			
CORTEZ CEMETERY	0.3510000	\$1.40			
DWCD	0.4830000	\$1.93			
DWCD BOND/DEBT	1.8159000	\$7.26			
SOUTHWEST WATER CONSERVATIO	0.4070000	\$1.63			
MOSQUITO DISTRICT	0.3920000	\$1.57			
CORTEZ FIRE DISTRICT	6.7280000	\$26.91			
CORTEZ FIRE ADDITIONAL LEVY	4.4821000	\$17.93			
MONTEZUMA-CORTEZ RE 1 BOND	2.9740000	\$11.90			
MONTEZUMA COUNTY GENERAL FU	10.8698000	\$43.46			
MONTEZUMA COUNTY SOCIAL SVC	0.8023000	\$3.21			
Taxes Billed 2021	\$4,7541000	\$219.00			
* Credit Levy					

ALL TAX LIEN SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRRAINT WARRANT FEES. CHANGES MAY OCCUR AND THE TREASURER'S OFFICE WILL NEED TO BE CONTACTED PRIOR TO REMITTANCE AFTER THE FOLLOWING DATES: PERSONAL PROPERTY AND MOBILE HOMES - SEPTEMBER 1ST, REAL PROPERTY - SEPTEMBER 1ST. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIERS CHECK. MONTEZUMA COUNTY TREASURER, 140 WEST MAIN, SUITE 2, CORTEZ, CO 81321 (970) 565-7550.





# Property Record Card

Montezuma Assessor

**HEGWOOD, DONETTA**

27221 ROAD M.7  
DOLORES, CO 81323

**Account: R018043**

Tax Area: 11001 - DISTRICT 11001  
Acres: 0.590

**Parcel: 5611-262-05-004**

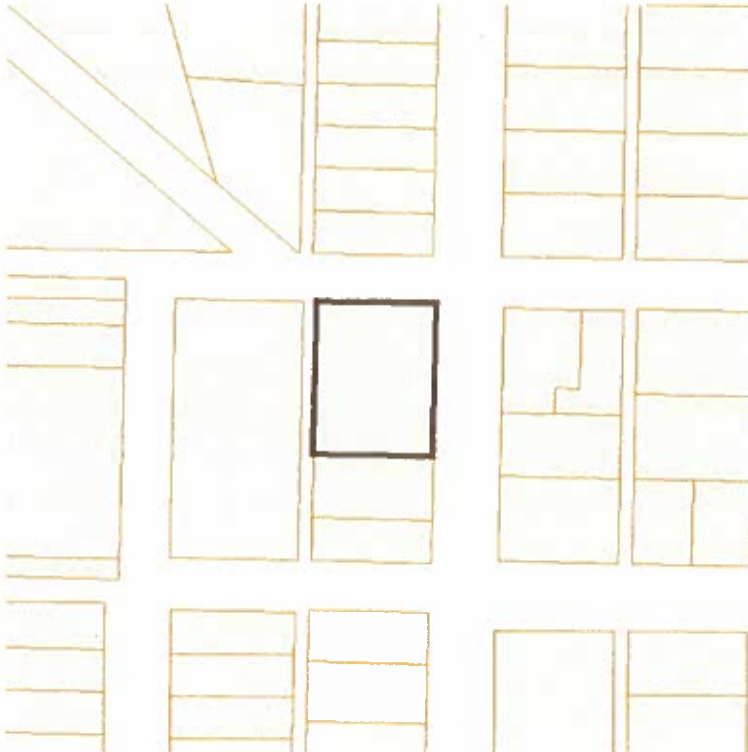
Situs Address:  
TBD N. CHESTNUT ST  
CORTEZ, 81321

## Value Summary

Value By:	Market	Override
Land (1)	\$13,806	N/A
<b>Total</b>	<b>\$13,806</b>	<b>\$13,806</b>

## Legal Description

Subdivision: CRSP ADDITION Lot: 2-8 Block: 1 B612 P165-66  
R/478173



## Land Occurrence 1

Property Code	0510 - LESS THAN 1 AC	Measure By	Acres
Acres	0.59	SQFT	93654
Units	0	Land Code	358150A - CORTEZ ACRES
Sewer Type	2 - COMM/PUBLIC		

SubArea	Actual	Effective	FinBsmnt	Footprint	Garage	LiveArea	UnfBsmnt
ACRES	0.59						
SQFT	93654						
Total	93,654.59						
	Value	Rate	Rate	Rate	Rate	Rate	Rate
	\$13,806	0.15					

## Abstract Summary

Code	Classification	Actual Value	Taxable Value	Actual Override	Taxable Override
0510	LESS THAN 1 AC	\$13,806	\$4,000	NA	NA
<b>Total</b>		<b>\$13,806</b>	<b>\$4,000</b>	<b>NA</b>	<b>NA</b>



DEPARTMENT OF PLANNING & BUILDING  
123 ROGER SMITH AVE, CORTEZ, CO 81321  
PH. 970-565-3402 FAX 970-565-8172  
24 HR. INSPECTION LINE: 970-564-4071

City of Cortez  
File Number: 22-000655

Commercial and Large Residential  
ZA22-000003

Project Address: TBD North Chestnut Street  
Legal Description:

Owner:  
Name: Donetta Hegwood  
Address: 27221 Rd M.7  
Dolores, Co /1323

Phone:

Project Description: Donetta Hegwood re-zone TBD N. Chestnut

Special Conditions: Note: This is a receipt only -- The Site Plan is subject to approval by the City of Cortez

**Fees:**

Description	Total Cost
Commercial and Large Residential Fee	500.00
<b>Total:</b>	<b>500.00</b>
<b>Total Paid:</b>	<b>500.00</b>
<b>Balance Due:</b>	<b>0.00</b>

**Payments:**

Date	Type	Reference	Receipt	Received	From	Amount
11/08/2022	Check	4280	325	Donetta Hegwood		500.00

Receipt No: 30 002391

Nov 8, 2022

Donetta Hegwood

Building Permits - Plans & Maps ZA22-3	500.00
Total:	500.00
Check                      Check No: 4280	500.00
Payor: Donetta Hegwood	
Total Applied:	500.00
Change Tendered:	.00

11/08/2022 10:31 AM



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 5. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Planning and Zoning Commission will hear an application for a Site Plan review and a Special Exception from Monique Weese, Craig Weese and Oliver Hart, representing Zuma Apartments formerly Mesa Verde Inn. The property is located at 640 S. Broadway and is zoned Commercial.

---

**BACKGROUND**

See the attached application for a Site Plan review and a Special Exception from Monique Weese, Craig Weese and Oliver Hart, representing Zuma Apartments formerly Mesa Verde Inn. The property is located at 640 S. Broadway and is zoned Commercial.

**RECOMMENDATION**

Staff recommends approval of an application for a Site Plan review and a Special Exception from Monique Weese, Craig Weese and Oliver Hart, representing Zuma Apartments formerly Mesa Verde Inn. The property is located at 640 S. Broadway and is zoned Commercial.

---

**Attachments**

Site plan and Special exception at 640 S. Broadway, Zuma Apartments



*City of Cortez Planning  
and Building  
123 Roger Smith Avenue  
Cortez, CO 81321*

Item No: 5a  
Date: December 6, 2022  
Project No. F22-000036

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dosdall, Contract City Planner

**SUBJECT:** Public Hearing on an Application for a site plan and special exception to parking requirements for 550 & 640 S. Broadway (PID 561127400079).

**APPLICANT:** Zuma Apartments, LLC

**OWNER:** Zuma Apartments, LLC

**ATTACHMENTS:** P&Z Resolution No. 14, Series 2022

Project Narrative

Floor Plans

Site Plans

Architectural Elevations

Parking Exception Narrative

## **BACKGROUND**

Zuma Apartments, LLC (the “Applicant”) has purchased the former Mesa Verde Inn located at 550 & 640 S. Broadway. The Applicant applied for an was granted variances by the Board of Adjustment to the percentage of commercial uses required on the ground floor and unit size to allow for conversion of the existing motel rooms to apartment living. Generally, site plans are only required for new development or changes in use that would intensify the impacts on the property. In this case, it could be argued that permanent residents would create less impact than the transient or overnight residents that a motel generates. However, if the change of use results in changes in traffic or the proposal involves deviations or variances from the applicable development standards, the site plan review is required. In this case, the Applicant is proposing to add parking, however, the Applicant will still not meet the full parking requirements of the City of Cortez Land Use Code (the “Code”) and is requesting exceptions.

The site is bounded by mostly commercial properties with several residential properties in the area:



## DEVELOPMENT STANDARDS

The following variances were previously granted by the Board of Adjustment:

Development Standard	C Zone Requirement	Proposed
Min. floor area/apartment	500 sq. ft.	324 sq. ft. (existing unit size for 20 units) 37 of the units will exceed the requirement
Min. commercial %	50% of ground floor	36.4% of ground floor
Parking - Residential	114	105 (9 spaces short)
Parking - Commercial	33	34 (1 space over)

No other changes to the site are proposed except for the addition of parking spaces. The existing pool area is proposed to be filled and a playground constructed where the pool is now.

## ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) of the Code states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

The only issue of concern with this project and major reason for requiring a Planning Commission review is parking. Motels have a much lower parking requirement so that conversion to full time residential living results in the need for additional parking. The Applicant has added parking where

reasonable, but the application still does not meet the minimum parking requirements of the Code. Per the Sec. 5.02 of the Code, a residential structure with more than 30 units is required to provide 2 spaces per unit, regardless of the size of the unit and 2 loading spaces. The commercial uses on site also have their own parking requirements. While these uses are not proposed for change at this time, they are apparently currently short of required parking by 4 spaces (24 spaces required, 20 provided). Please note, the Applicant's proposal doesn't quite appear to add up, they are proposing a total of 90 parking spaces for the residential and there are 20 existing spaces for the commercial.

Use	Parking Required	Parking Proposed (doesn't add)	Difference/Deficit
20 Studio Apartments	40 spaces	20 spaces	20 spaces
10 One-bedroom units	20 spaces	30 spaces	10 spaces
26 two-bedroom units	54 spaces	54 spaces	0 spaces
1 three-bedroom unit	2 spaces	3 spaces	+1 space
Commercial	24 spaces	20 spaces	4 spaces
<b>Total</b>	<b>140 spaces</b>	<b>110 spaces</b>	<b>33 spaces</b>

## DISCUSSION

The Applicant has added parking in the areas that are currently paved and reasonable for parking. There are other areas on the property that could possibly be used for parking including the pool area and the large green space in back. The Applicant would prefer to keep those areas for recreational use, rather than what it believes will be unused parking. The Applicant also own parcels to the south that could be used for parking but is hoping to add storage areas in those locations in the future.

## AGENCY REVIEW

### GIS Coordinator (Doug Roth)

- It should be noted that the applicant has undeveloped land east of Buildings G and E and also owns tracts south of Building C and D. These areas could be utilized for additional parking and children's play areas in the future as need arises.

- While it is not in the scope of this application, I feel it is important to have a 2<sup>nd</sup> entrance to the facility established to 7<sup>th</sup> Street so that residents heading east, or southbound have the option of using the traffic light at 7<sup>th</sup> and Broadway.

### Cortez Parks and Recreation (Creighton Wright)

I have no expertise-based comments (parks and recreation). I have two other comments for consideration.

1. In my experience, allowing residential parking variances when multimodal transportation isn't likely (this situation), shorting parking capacity, causes future problems, and forces/pushes parking onto surrounding lots. The current proposal also doesn't seem to accommodate visitors. This causes future concerns and complaints from neighbors.
2. I would love to see how they plan to integrate this site into the surrounding area i.e. amenities, landscaping, and aesthetic frontage enhancements. Having barren "open space" is of no value to the residents.

I understand that re-development projects such as this are a give-and-take. For it to be livable and functional long-term, people must want to live there. We need to be sure not to sacrifice livability criteria. Good Luck!

**Cortez City Engineer (George Tripp)**

This reduction of 18 required parking spaces will congest this area, but it does not have any overflow option onto city streets, which was a major concern. There should be an off-street loading area. I defer to the fire district for concerns in their required access.

**Cortez Sanitation District (Jim Webb)**

The Sanitation District has no Issues with this proposal.

**ALTERNATIVES**

1. The Commission can recommend that the Council approve the site development plan for Zuma Apartments, LLC located at 550 and 640 S. Broadway, zoned C.
2. The Commission can recommend denial of the application for the site development plan and state its reasons;
3. The Commission can ask for more information and table the application; or
4. The Commission can recommend that Council approve the site development plan, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

**RECOMMENDATION**

Staff recommends Alternative “4” above, approval of the site development plan through P&Z Resolution No. 14, Series 2022, with 3 conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that the Cortez City Council approve the site development plan for Zuma Apartments on property located at 550 and 640 South Broadway, in the Commercial Highway (C) zone, as submitted by Zuma Apartments, LLC, through P&Z Resolutions No. 14, Series 2022, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.
3. Should parking become a problem in the future, the Applicant will propose additional spaces in either the adjacent properties or existing green spaces on the property. A revised site plan will be required to be submitted to the City and review by the Planning Commission/City Council should revisions/additional parking be deemed necessary.



**CITY OF CORTEZ  
PLANNING AND ZONING COMMISSION  
RESOLUTION NO. 14, SERIES 2022**

**A Resolution Recommending Approval of a Site Development Plan and Special Exception  
for the Redevelopment of an existing motel into Residential Apartments at 550 and 640  
South Broadway, Located in the Commercial Highway (C) Zoning District**

WHEREAS, owner/applicant, Zuma Apartments LLC (the “Applicant”), has applied for review of a site development plan and special exemption to the parking requirements for the redevelopment of the property located at 550 and 640 S. Broadway, Cortez, Colorado and more particularly described on the attached exhibit “A” (the “Property”).

WHEREAS, the Applicant has applied to the City for review of a site development plan and special exception for parking for the redevelopment of the existing structures on said property; and

WHEREAS, the Applicant presented a site plan and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on December 6, 2022; and

WHEREAS, City of Cortez Land Use Code (the “Code”), Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of the site plan requirements for development on property located in the Commercial Business (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for conversion of a portion of the structure to 57 residential apartments for the Property and is recommending approval of the development and associated special exception for parking on the Property, as evidenced in the adoption of this P&Z Resolution No. 14, Series 2022; and

WHEREAS, the Applicant has held legal ownership of the Property subsequent to the adoption of this P&Z Resolution No.14, Series 2022, and is interested in further development of the Property; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission has recommended, and the Applicant has agreed to the Commission’s conditions of approval for the development; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the Code for development of the Property have been or can be met or appropriate variances have been granted.

NOW, THERFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 14, Series 2022, establishes the conditions of approval for the development on the afore-mentioned property; and

THAT, the site plan, special exception and full application for the Property are hereby recommended to the Cortez City Council for approval, subject to the following conditions to ensure compliance with the standards in the Code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.
3. Should parking become a problem in the future, the Applicant will propose additional spaces in either the adjacent properties or existing green spaces on the Property. A revised site plan will be required to be submitted to the City and review by the Planning Commission/City Council should revisions/additional parking be deemed necessary.

AND THAT, the Applicant is to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 6<sup>th</sup> DAY OF DECEMBER, 2022

---

Robert Rime, Chairman

ATTEST:

---

Cheryl Lindquist, Deputy City Clerk

## **EXHIBIT A**

### **Zuma Apartments, formerly Mesa Verde Inn Located at 550 & 640 S. Broadway**

The land referred to in this Exhibit is located in the State of Colorado, County of **Montezuma** is described as follows:

#### **TRACT I**

**Tract 11 and the North 150 feet of Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77.**

**LESS AND EXCEPT Tract 2A of the AMENDED PLAT OF LOT 2 SHAFER MINOR SUBDIVISION,  
according to the plat thereof filed for record August 12, 2005 in Book 16 at Page 10.**

**The above described tract is also known as Motel Tract, AMENDED PLAT OF LOT 2 SHAFER MINOR SUBDIVISION according to the plat thereof filed for record August 12, 2005 in Book 16 at Page 10.**

#### **TRACT II**

**A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:**

**BEGINNING at a point on the South line of Tract 12, 200 feet East of the Southwest Corner of said Tract 12;**

**Thence East a distance of 140 feet to a point;**

- “ North and at right angles and on a line parallel with the East boundary line of said Tract 12, a distance of 150 feet to a point;**
- “ West and on a parallel with the South boundary line of said Tract 12 a distance of 140 feet to a point;**
- “ South and parallel to the East line of said Tract 12 a distance of 150 feet to the point of beginning.**

#### **TRACT 111**

**A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:**

**BEGINNING at a point on the South line of said Tract 12, 390 feet East of the Southwest Corner of Tract 12;**

**Thence East along the South line of said Tract 12 a distance of 150 feet;**

- “ North at right angles and on a line parallel with the East line of said Tract 12 a distance of 150 feet;**
- “ West at right angles on a line parallel with the North line of said Tract 12 a distance of 150 feet;**
- “ South at right angles on a line parallel with the East line of said Tract 12 a distance of 150 feet to the point of beginning.**

#### **TRACT IV**

A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:

**BEGINNING** at a point on the North right of way line of West Seventh Street in said Tract 12, from which point the Southeast Corner of Section 27, Township 36 North, Range 16 West, N.M.P.M., bears South 89° 09' 34" East a distance of 1552.14 feet;

**Thence** North a distance of 150 feet;

- “ South 89° 23' 57" West a distance of 53.3 feet
- “ South a distance of 150 feet to the North right of way line of West Seventh Street;
- “ North 89° 23' 57" East a distance of 53.3 feet along the North right of way line of West Seventh Street to the point of beginning.

#### **TRACT V**

A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:

**BEGINNING** at a point in the SE1/4 of Section 27, Township 36 North, Range 16 West, N.M.P.M., from which point the Southeast Corner of Section 27 bears South 86° 39' 21" East a distance of 1756.32 feet;

**Thence** North 00° 12' 00" West a distance of 70.00 feet;

- “ South 89° 47' 15" West a distance of 50.00 feet;
- “ South 00° 12' 00" East a distance of 70.00 feet;
- “ North 89° 47' 15" East a distance of 50.00 feet to the point of beginning.

## ATTACHMENT 1

Zuma Apartments, LLC  
Craig & Monique Weese  
Oliver Hart & Lauren Brown  
130 Forest Ridge Rd  
Durango, CO 81303  
Contact: Monique Weese  
Phone: 406-381-7841  
Email: moniqueweese@gmail.com

November 8, 2022

City of Cortez  
Department of Planning and Building  
City Hall  
123 Roger Smith Ave  
Cortez, CO 81321

**RE: Letter of Petition for Special Exception Application - Proposed Zuma Apartments, currently known as Mesa Verde Inn/Margarita's Mexican Restaurant, located at 640 S Broadway/550 S Broadway, Cortez, CO 81321 ("Property")**

Dear City of Cortez Department of Planning and Building,

Zuma Apartments, LLC, a Colorado limited liability company, has purchased the above referenced Property.

Zuma Apartments, LLC is submitting this Application for Special Exception, along with the associated documentation, to request that the City of Cortez grant an exception for the following matter:

1. Special Exception for Parking - Cortez City Code 5.02 | Residential structures with more than 30 dwelling units must have two parking spaces per single-family equivalent.

Our proposal for parking spaces is 90 residential parking spaces. The proposal for proposed parking spaces to units is:

- 20 studios - 1 parking space each
- 10 one-bedrooms - 1.5 parking spaces each
- 26 two-bedrooms - 2 parking spaces each
- 1 three-bedroom - 3 parking spaces

To meet the City's Code with the proposed units, the Property would technically need 105 total parking spaces. We are asking for a variance for City Code 5.02 to allow 90 residential parking spaces instead of 105 residential parking spaces.

## **Special Exception Application Checklist**

11/8/22

Date

APPLICANT: Zuma Apartments, LLC, a Colorado limited liability company - Monique Weese, Member

MAILING ADDRESS: 130 Forest Ridge Rd, Durango, CO 81303

PHONE/FAX: 406-381-7841 EMAIL: moniqueweese@gmail.com

TYPE OF SPECIAL EXCEPTION REQUESTED: Parking

STREET ADDRESS OF SUBJECT PROPERTY: 640 S Broadway, Cortez, CO 81321  
550 S Broadway, Cortez, CO 81321

LEGAL DESCRIPTION OF PROPERTY: Subdivision: PAYSON PT OF TR 11; 2 TRS IN TR 12  
AKA MOTEL TRACK 3.9AC B479 P217

### **Submittal Requirements:**

X Application

Attachment 1 Letter of petition requesting special exception permit

Attachment 2 Narrative describing and demonstrating the need for the encroachment. The Planning and Zoning Commission will review the special exception using the criteria listed in Chapter 6.18 (attached). The narrative should discuss items 1-6 in the review criteria.

\_\_\_\_\_ Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of the requested special exception. For example, renderings of proposed signs or fences, building elevations, etc.

\_\_\_\_\_ Filing fee (\$100) to cover the costs of review in accordance with the current adopted fee schedule

\_\_\_\_\_ Site plan showing special exception structure or parking area as applicable, existing sidewalks, buildings, and any other development on the lot, etc.

## **6.18 - Special exceptions.**

- (a) The planning commission shall have the power to hear and decide the following special exceptions to the terms of this code. In granting any special exception, the planning commission may attach such reasonable conditions and safeguards, as it may deem necessary to implement the purposes of this code.
  - (1) Reconstruction of Nonconforming Uses. The planning commission shall be authorized to permit the reconstruction of a building occupied by a nonconforming use on the lot or tract occupied by such building or the reconstruction of a structure destroyed by fire or the elements not to exceed fifty percent (50%) of its reasonable value and the addition of off-street parking or off-street loading to a nonconforming use.
  - (2) Repair of Nonconforming Uses. The planning commission shall be authorized to permit the repair to a building that has been officially declared unsafe to restore it to a safe condition provided no structural alterations are made except as are required by law or ordinance or authorized by the planning commission.
  - (3) Discontinuance of Nonconforming Use. The planning commission shall be authorized to require the discontinuance of nonconforming uses of land or structures under any plan whereby the full value of the structure and facilities can be amortized within a definite period of time, taking into consideration the general character of the neighborhood and the necessity of all property to conform to the regulations of this code. All actions to discontinue a nonconforming use of land or structure shall be taken with due regard to the property rights of the persons affected when considered in the light of the public welfare and the character of the area surrounding the designated nonconforming use and the conservation and preservation of the property.
  - (4) Status of Nonconforming Uses. The planning commission shall, from time to time, on its own motion or upon cause presented by interested property owners or on request of the city council inquire into the existence, continuation or maintenance of any nonconforming use within the city.
- (b) The planning commission shall have the power to hear and decide special exceptions to the height of fences, the number of required off-street parking spaces and the sizes and locations of signs where all of the following conditions in so far as applicable are met:
  - (1) That there are unique physical circumstances or conditions such as irregularity, narrowness or shallowness of lot, or exceptional topographical or other conditions peculiar to the affected property;
  - (2) That the unusual circumstances or conditions do not exist throughout the neighborhood or district in which the property is located;
  - (3) That because of such physical circumstances or conditions, the property cannot reasonably be developed in conformity with the provisions of this code;
  - (4) That such unnecessary hardship has not been created by the applicant;
  - (5) That the exception, if granted, is a minimum exception that will afford relief and is the least modification possible of the provisions of this code which are in question; and
  - (6) That the exception, if granted, will not alter the essential character of the neighborhood or district in which the property is located, nor substantially or permanently impair the appropriate use or development of adjacent property.

20 proposed units would be studio sized units and 10 proposed units would be one-bedroom units. Federal occupancy standards allow no more than two occupants per bedroom in a rental unit. This means that 30 out of the 57 units would likely be occupied by one or two occupants with two or less vehicles, allowing one parking space per each studio, one and a half parking spaces for each one-bedroom unit and two parking spaces for each two-bedroom unit.

According to the City Code, we need 105 total residential parking spaces to match our number of units. We can fit 90 total residential parking spaces with our plans. We need a variance for the City's Code for the difference of 15 parking spaces.

For our commercial parking spaces, the restaurant and lounge will be limited to a maximum of 65 seats. According to the City Code the restaurant and lounge needs one parking space for every four seats. We are requesting a special exception to commercial parking to request one parking space for every five seats instead of four. We have dedicated 13 parking spaces to accommodate this need. About one third of the commercial building will be designated for retail business as a laundry mat. Per the City Code there needs to be one parking space for every 300 square feet of retail space. This would equal 7 required parking spaces for 2,100 square feet for the laundry mat. Our plans have 20 commercial parking spaces designated for these needs.

Ultimately, approval of variance for County Code 5.02 would not adversely affect the land use pattern as outlined by the land use plan, and would not adversely affect any other feature of the comprehensive plan of the city.

It should be noted that if the City of Cortez is unable to grant this special exception, Zuma Apartments, LLC will not be able to convert this Property, leaving the Property in its current condition.

Please contact us with any questions. We look forward to working with the City of Cortez to resolve these issues.

Sincerely,

A handwritten signature in black ink, appearing to read "Monique Weese". The signature is fluid and cursive, with the first name "Monique" written in a larger, more prominent script than the last name "Weese".

Monique Weese, Member  
Zuma Apartments, LLC





**Colorado Title & Closing Services - Cortez**  
**631 E. Main Street**  
**Cortez, CO 81321**  
**Phone: (970)564-9770**  
**Fax: (970)564-9769**

CRAIG WEESE and ANASAZI INN, LLC  
OLIVER HART  
130 Forest Ridge Road  
Durango, CO 81303

Re: Order No. MO22201869

Dear Craig, Oliver and Robert,

Enclosed please find the Owner's Title Insurance Policy issued in connection with the above captioned order.

In accordance with the Financial Services Modernization Act, also known as the Gramm-Leach-Bliley Act, effective July 1, 2001, it is our policy that we will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

We thank you for this opportunity of serving you. If you should have any questions or require further assistance, please do not hesitate to call on us.

Sincerely,

COLORADO TITLE & CLOSING SERVICES, LLC

A handwritten signature in purple ink that reads "Kathleen E. Padilla".

Policy Department 8/31/22

**ALTA OWNER'S POLICY (6-17-06)**

ISSUED BY

**WESTCOR LAND  
TITLE INSURANCE COMPANY****OWNER'S POLICY OF TITLE INSURANCE**

**Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.**

**COVERED RISKS**

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, WESTCOR LAND TITLE INSURANCE COMPANY, a South Carolina corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
  - (a) A defect in the Title caused by
    - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
    - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
    - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
    - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
    - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
    - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
    - (vii) a defective judicial or administrative proceeding.
  - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
  - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.

**COVERED RISKS Continued on next page**

IN WITNESS WHEREOF, **WESTCOR LAND TITLE INSURANCE COMPANY** has caused this policy to be signed and sealed as of the Date of Policy shown in Schedule A,

Issued By: CO1026 \* MO22201869

**WESTCOR LAND TITLE INSURANCE COMPANY****Colorado Title & Closing Services, LLC****970 Main Avenue  
Durango, CO 81301**

By:

President

Attest:

Secretary

## WESTCOR LAND TITLE INSURANCE COMPANY

### SCHEDULE A

Order No.: **MO22201869**  
Policy No.: **OP-6-CO1026-14368949**

Date of Policy: **August 10, 2022 at 2:54PM**  
Amount of Insurance: **\$350,000.00**  
Premium: **\$1,260.00**

1. Name of Insured:

**CRAIG WEESE and ANASAZI INN, LLC, A COLORADO LIMITED LIABILITY COMPANY and OLIVER HART**

2. The estate or interest in the land described herein and which is covered by this policy is:

**FEE SIMPLE**

3. The estate or interest referred to herein is at Date of Policy vested in:

**CRAIG WEESE and ANASAZI INN, LLC, A COLORADO LIMITED LIABILITY COMPANY and OLIVER HART**

4. The land referred to in this policy located in the State of Colorado, County of **Montezuma** is described as follows:

#### TRACT I

**Tract 11 and the North 150 feet of Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77.**

**LESS AND EXCEPT Tract 2A of the AMENDED PLAT OF LOT 2 SHAFER MINOR SUBDIVISION, according to the plat thereof filed for record August 12, 2005 in Book 16 at Page 10.**

**The above described tract is also known as Motel Tract, AMENDED PLAT OF LOT 2 SHAFER MINOR SUBDIVISION according to the plat thereof filed for record August 12, 2005 in Book 16 at Page 10.**

#### TRACT II

**A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:**

**BEGINNING at a point on the South line of Tract 12, 200 feet East of the Southwest Corner of said Tract 12;**

**Thence East a distance of 140 feet to a point;**

**“ North and at right angles and on a line parallel with the East boundary line of said Tract 12, a distance of 150 feet to a point;**

**“ West and on a parallel with the South boundary line of said Tract 12 a distance of 140 feet to a point;**

**“ South and parallel to the East line of said Tract 12 a distance of 150 feet to the point of beginning.**

**TRACT III**

A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:

**BEGINNING** at a point on the South line of said Tract 12, 390 feet East of the Southwest Corner of Tract 12;

**Thence** East along the South line of said Tract 12 a distance of 150 feet;

“ North at right angles and on a line parallel with the East line of said Tract 12 a distance of 150 feet;

“ West at right angles on a line parallel with the North line of said Tract 12 a distance of 150 feet;

“ South at right angles on a line parallel with the East line of said Tract 12 a distance of 150 feet to the point of beginning.

**TRACT IV**

A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:

**BEGINNING** at a point on the North right of way line of West Seventh Street in said Tract 12, from which point the Southeast Corner of Section 27, Township 36 North, Range 16 West, N.M.P.M., bears South 89° 09' 34" East a distance of 1552.14 feet;

**Thence** North a distance of 150 feet;

" South 89° 23' 57" West a distance of 53.3 feet

" South a distance of 150 feet to the North right of way line of West Seventh Street;

“ North 89° 23' 57" East a distance of 53.3 feet along the North right of way line of West Seventh Street to the point of beginning.

**TRACT V**

A tract of land in Tract 12, TOWNSITE OF PAYSON, according to the plat thereof filed for record August 7, 1943 in Book 3 at Page 77, being more particularly described as follows:

**BEGINNING** at a point in the SE1/4 of Section 27, Township 36 North, Range 16 West, N.M.P.M., from which point the Southeast Corner of Section 27 bears South 86° 39' 21" East a distance of 1756.32 feet;

**Thence** North 00° 12' 00" West a distance of 70.00 feet;

“ South 89° 47' 15" West a distance of 50.00 feet;

“ South 00° 12' 00" East a distance of 70.00 feet;

“ North 89° 47' 15" East a distance of 50.00 feet to the point of beginning.

**SCHEDULE B**

**EXCEPTIONS**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.

**NOTE: Real Estate Taxes for the year 2021 are paid. Real Estate Taxes for the year 2022 are not yet due or payable.**

6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in Title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records.
7. Easement as described in instrument from Peter D. Harder to Empire Electric Association, Inc., recorded August 12, 1964 in Book 338 at Page 14.
8. Easement(s) as reserved in instrument from Villa Catalina Building Corporation to C. Ray Johnston and Donna R. Johnston, recorded September 27, 1966 in Book 365 at Page 145.
9. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the plat of Amended Plat of Lot 2 Shafer Minor Subdivision filed for record August 12, 2005 in Plat Book 16 at Page 10, and any appurtenances thereto.
10. Easement as described in instrument from D.B. Hotel Properties, LLC, a Colorado Limited Liability Company to Empire Electric Association, Inc., recorded April 29, 2008 as Reception No. 555961.
11. Access from the insured property to Highway 491 is subject to compliance with all Federal and State laws and regulations governing said highway.
12. Deed of Trust from Anasazi Inn, LLC, a Colorado Limited Liability Company, Craig Weese and Oliver Hart to the Public Trustee of the County of Montezuma, for the use of D. B. Hotel Properties, LLC, a Colorado Limited Liability Company, to secure \$125,000.00, dated August 9, 2022, recorded August 10, 2022 as Reception No. 646803. Said Deed of Trust contains a Due on Sale Clause.
13. Deed of Trust from Anasazi Inn, LLC, a Colorado Limited Liability Company to the Public Trustee of the County of Montezuma, for the use of Garth Schultheis, to secure \$70,000.00, dated August 9, 2022, recorded August 10, 2022 as Reception No. 646804. Said Deed of Trust contains a Due on Sale Clause.

State Documentary Fee

**SPECIAL WARRANTY DEED**

Date: August 10, 2022

**THIS DEED**, Made this 9<sup>th</sup> Day of August, 2022

\$ 35.00

Between D.B. HOTEL PROPERTIES, LLC, A COLORADO LIMITED LIABILITY COMPANY

of the County of Clark and State of Nevada, grantor

and CRAIG WEESE, as to an undivided 1/3 interest, ANASAZI INN, LLC, A COLORADO LIMITED LIABILITY COMPANY, as to undivided 1/3 interest, and OLIVER HART as to an undivided 1/3 interest

whose legal address is 130 Forest Ridge Road  
Durango, CO 81303

of the County of La Plata and State of Colorado, grantee

**WITNESSETH**, That the grantor for and in consideration of the sum of  
-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----  
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee, its successors and assigns forever, all the real property together with improvements, if any, situate, lying and being in the County of Montezuma and State of Colorado described as follows:

SEE ATTACHED EXHIBIT "A"

As known by street and number as: 640 S. Broadway  
Cortez, CO 81321

**TOGETHER** with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the grantee, its successors and assigns forever. The grantor, for itself, its successors does covenant, and agree that the grantor shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee, its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or under the grantor, except: 2022 taxes due and payable in the year 2023. Subject to Statutory Exception as defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

**IN WITNESS WHEREOF**, the grantor has executed this deed on the date set forth above.

D.B. HOTEL PROPERTIES, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: [Signature]  
GLENN MCCORD, MANAGER

STATE OF COLORADO  
COUNTY OF LA PLATA

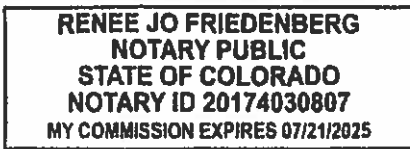


402220869

The foregoing instrument was acknowledged before me this 9<sup>th</sup> Day of August, 2022

By: GLENN MCCORD AS MANAGER OF D.B. HOTEL PROPERTIES, LLC, A COLORADO LIMITED LIABILITY COMPANY

My commission expires: July 01, 2025



Witness my hand and official seal

Renee Jo Friedenber  
Notary Public

SPECIAL WARRANTY DEED



## ATTACHMENT 2

### SITE PLAN

**Property Address:** 640 S Broadway/550 S Broadway, Cortez, CO 81321

**Parcel Number:** 5611-274-00-079

**Legal Description:** Subdivision: PAYSON PT OF TR 11; 2 TRS IN TR 12 AKA MOTEL TRACK 3.9AC B479 P217

**Current Owner Name:** D.B. HOTEL PROPERTIES, LLC

### Montezuma County Assessor's Current Records:

**Account: R014918**

<u>Location</u>	<u>Owner Information</u>	<u>Assessment History</u>
<b>Situs Address</b> 640 S BROADWAY 550 S BROADWAY	<b>Owner Name</b> D.B. HOTEL PROPERTIES, LLC	<b>Actual</b> (2022) \$1,355,645
<b>Tax Area</b> 11001 - DISTRICT 11001	<b>Owner Address</b> 640 S BROADWAY CORTEZ, CO 81321	<b>Assessed</b> \$384,220
<b>Parcel Number</b> 5611-274-00-079		<b>Tax Area:</b> 11001 <b>Mill Levy:</b> 54.754100
<b>Legal Summary</b> Subdivision: PAYSON PT OF TR 11; 2 TRS IN TR 12 AKA MOTEL TRACK 3.9AC B479 P217		<b>Type</b> <b>Actual</b> <b>Assessed</b> <b>Acres</b> <b>SQFT</b> <b>Units</b>
<b>Account Number</b> R014918		Improvements \$845,862 \$238,630 47592.000 42518.000
<b>Account Type</b> COMMERCIAL		Land \$509,783 \$145,590 3.901 169927.560 0.000
<b>Doc Description</b>		

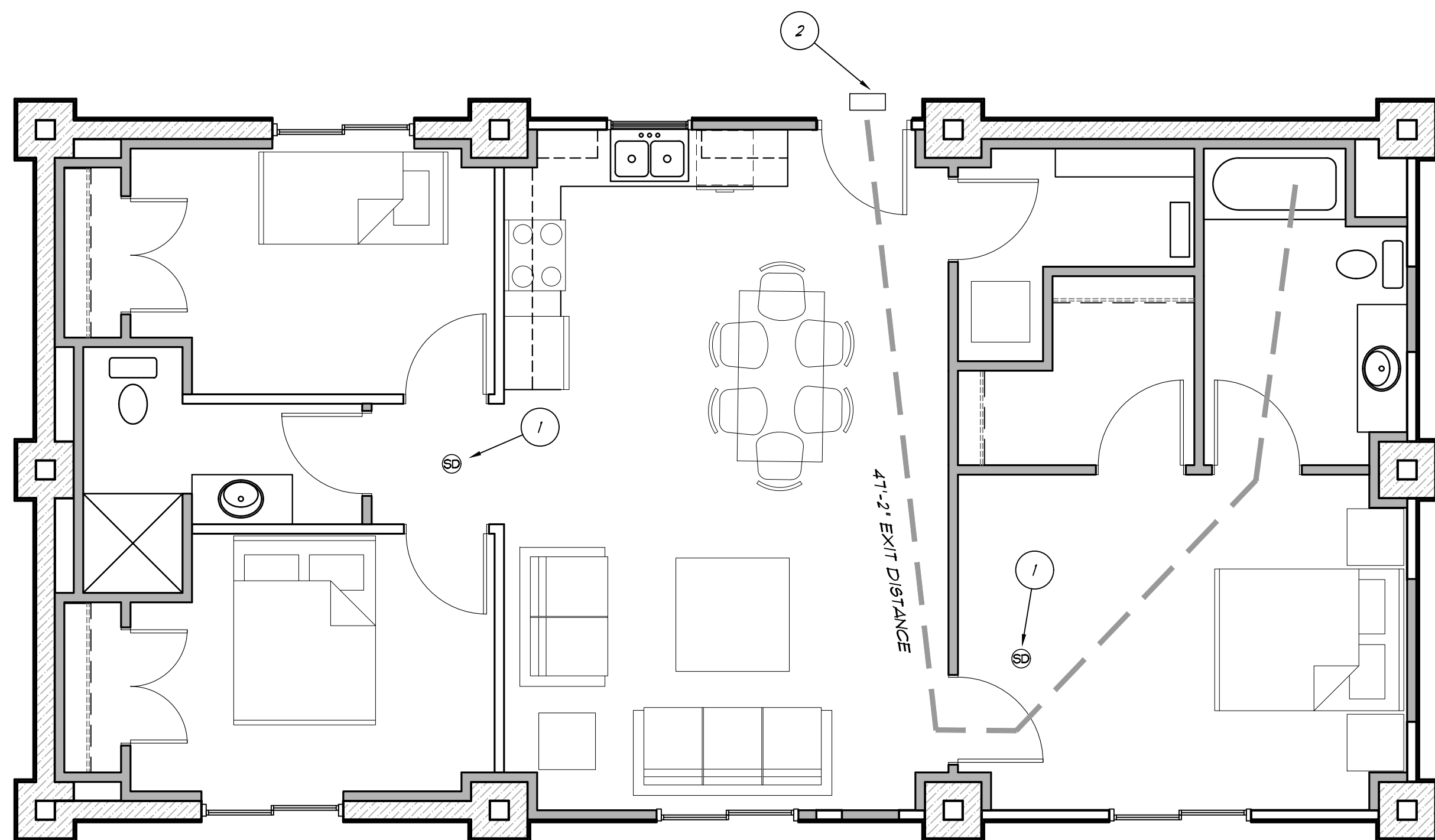
<u>Transfers</u>	<u>Sale Date</u>	<u>Sale Price</u>	<u>Doc Description</u>
	<a href="#">08/12/2005</a>	<a href="#">\$0</a>	<a href="#">Plat</a>
	<a href="#">08/23/2005</a>	<a href="#">\$0</a>	<a href="#">Land Survey Deposit Map</a>
	<a href="#">11/29/2005</a>	<a href="#">\$0</a>	<a href="#">Land Survey Deposit Map</a>
	<a href="#">08/28/2007</a>	<a href="#">\$1,300,000</a>	<a href="#">Warranty Deed</a>
	<a href="#">08/28/2007</a>	<a href="#">\$0</a>	<a href="#">Statement Authority (TR)</a>
	<a href="#">08/28/2007</a>	<a href="#">\$0</a>	<a href="#">Statement Authority (TR)</a>
	<a href="#">04/10/2008</a>	<a href="#">\$0</a>	<a href="#">Easement</a>

<u>Tax History</u>	<u>Images</u>						
<table> <tr> <th>Tax Year</th><th>Taxes</th></tr> <tr> <td>*2022</td><td>\$21,037.64</td></tr> <tr> <td>2021</td><td>\$21,042.00</td></tr> </table> <p>* Estimated</p>	Tax Year	Taxes	*2022	\$21,037.64	2021	\$21,042.00	<ul style="list-style-type: none"> <li><a href="#">GIS</a></li> </ul> 
Tax Year	Taxes						
*2022	\$21,037.64						
2021	\$21,042.00						







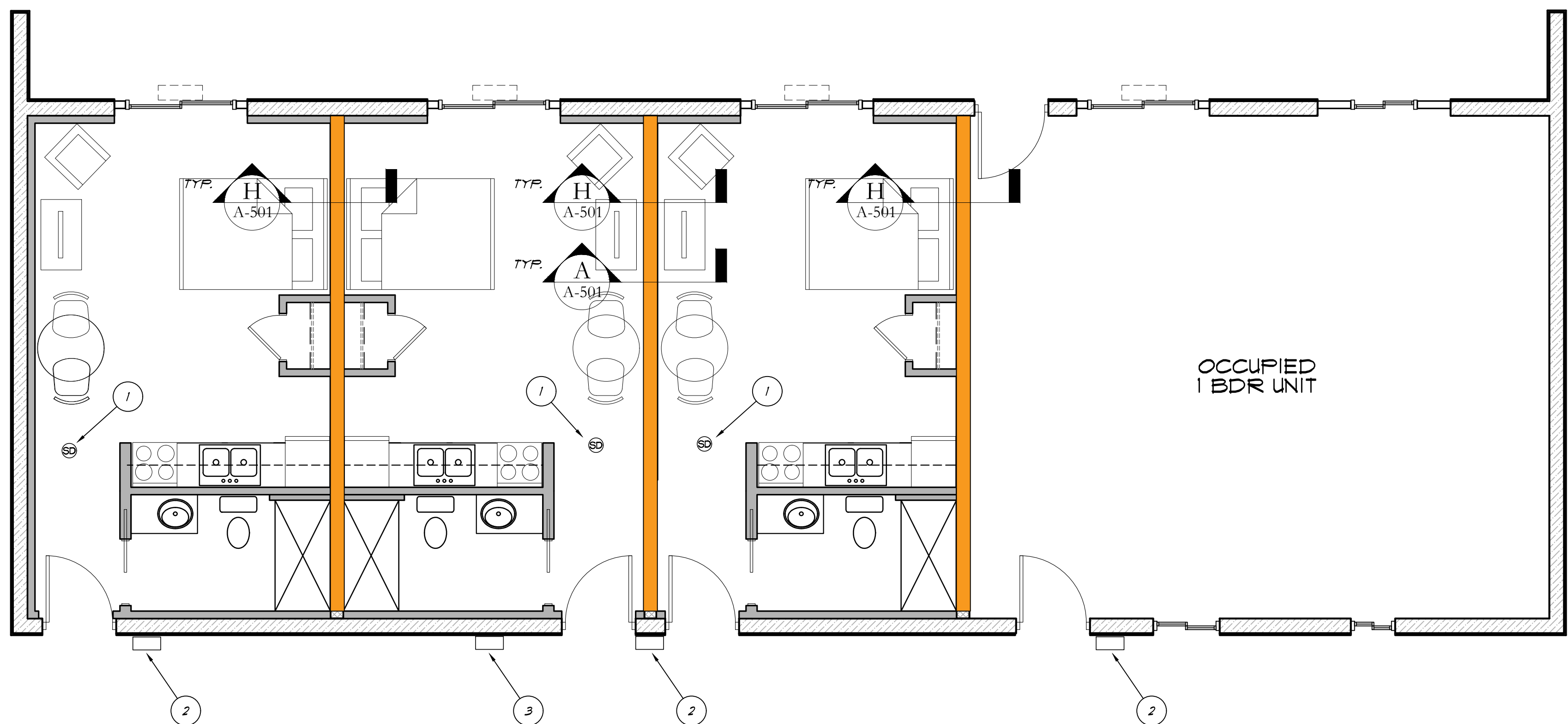


NOTE: NON-SPRINKLED UNDER IRC 2015



## BUILDING A - CODE

SCALE: 1/4" = 1'-0"



## BUILDING B- CODE

SCALE: 1/4" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2010 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (51 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)

ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20  
ROOF-CEILINGS: R-38  
SLABS: R-10  
WINDOWS: U = 0.35

CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR. SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

LEGEND:

- 1 HR FIRE RATED UNIT SEPARATION WALL
- SD SMOKE/ CARBON MONOXIDE DETECTORS



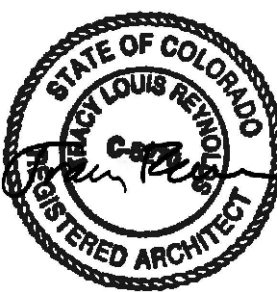
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



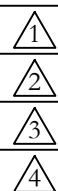
**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**

**640 S BROADWAY  
CORTEZ, CO 81321**

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



**G-102**

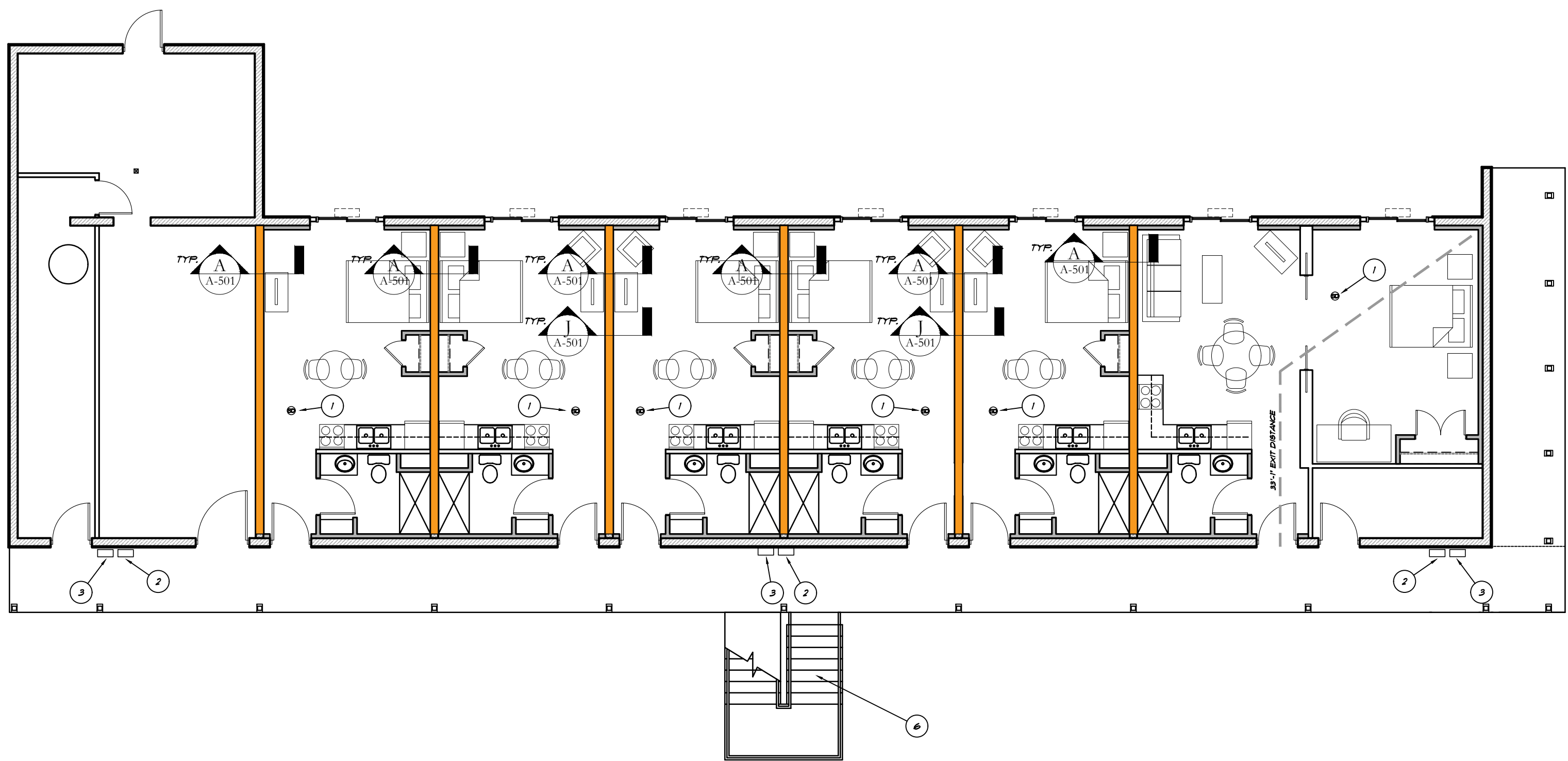
BUILDING A & B  
CODE PLAN





## BUILDING C UPPER LEVEL - CODE

SCALE: 1/8" = 1'-0"



## BUILDING C MAIN LEVEL - CODE

SCALE: 1/8" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2010 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (51 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)

ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20

ROOF-CEILING: R-38



SLAB: R-10

WINDOWS: U = 0.35

### CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR. SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

### LEGEND:

-  1 HR FIRE RATED UNIT SEPARATION WALL
-  SMOKE/ CARBON MONOXIDE DETECTORS



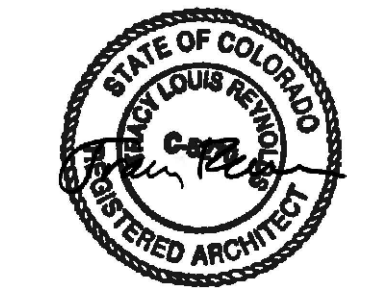
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.







**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

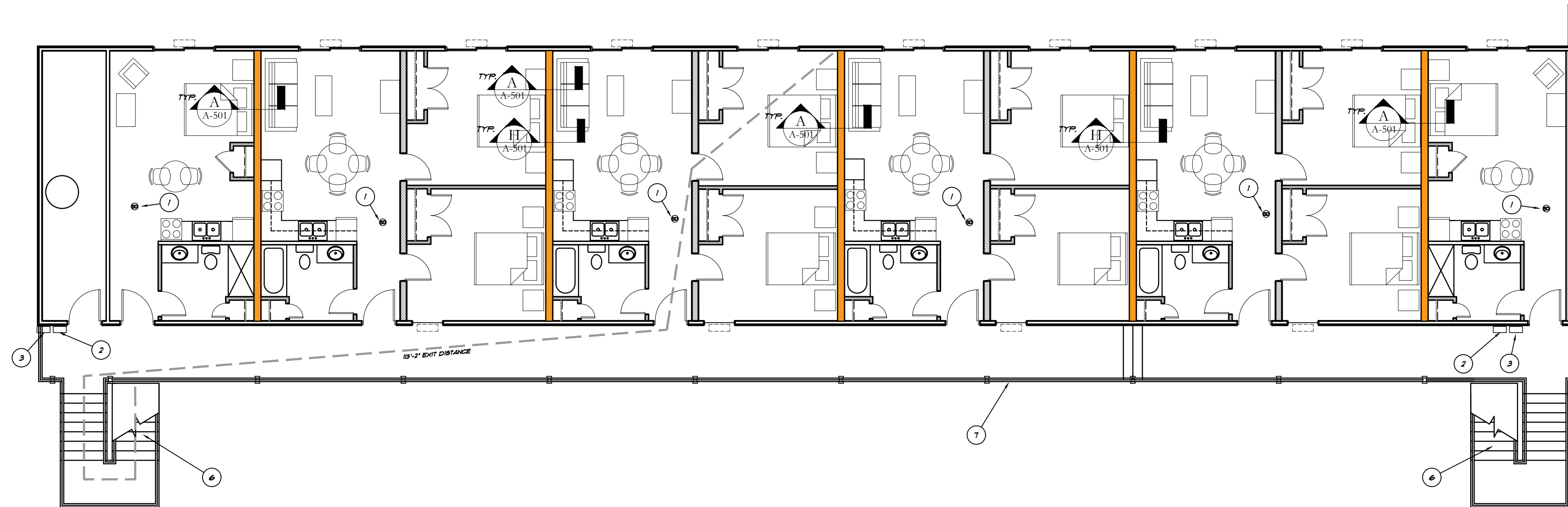
REVISIONS:

-    

**G-103**

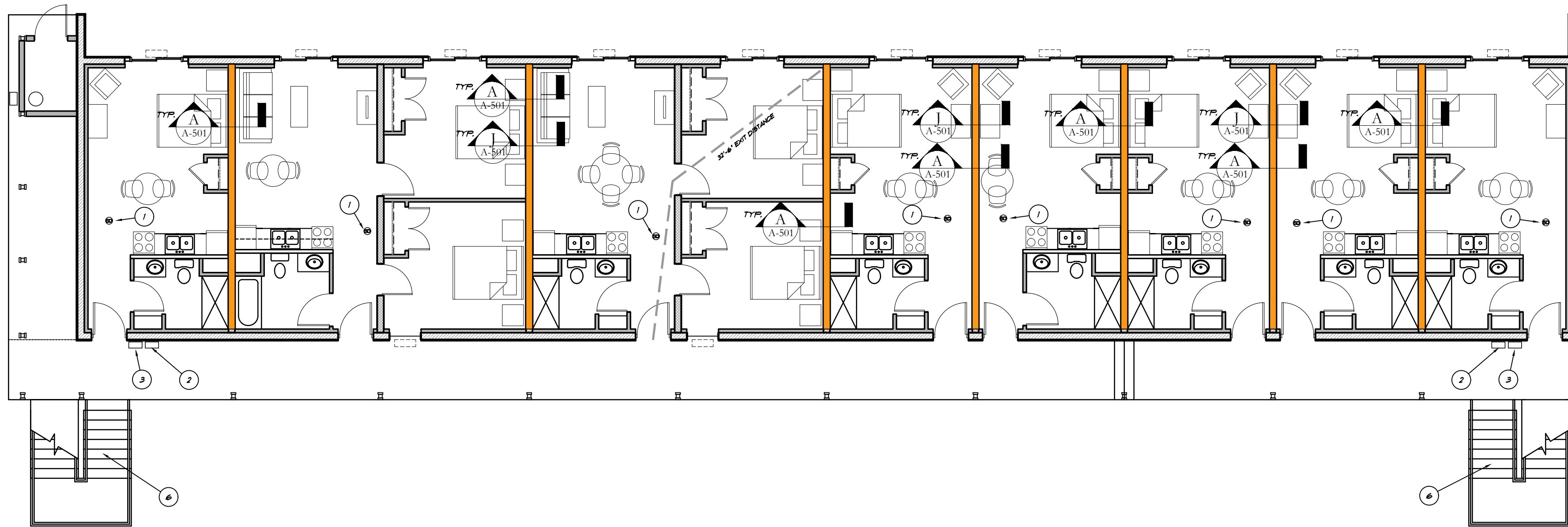
BUILDING C  
CODE PLAN





## BUILDING D UPPER LEVEL - CODE

SCALE: 1/8" = 1'-0"



## BUILDING D MAIN LEVEL - CODE

SCALE: 1/8" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2010 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (51 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)

ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20

ROOF-CEILING: R-38



SLAB: R-10

WINDOWS: U = 0.35

CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR. SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

LEGEND:

-  1 HR FIRE RATED UNIT SEPARATION WALL
-  SMOKE/ CARBON MONOXIDE DETECTORS



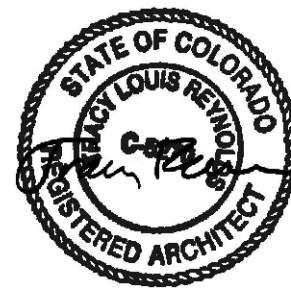
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WITHOUT THE WRITTEN PERMISSION OF  
REYNOLDS ASH + ASSOCIATES, P.C.  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

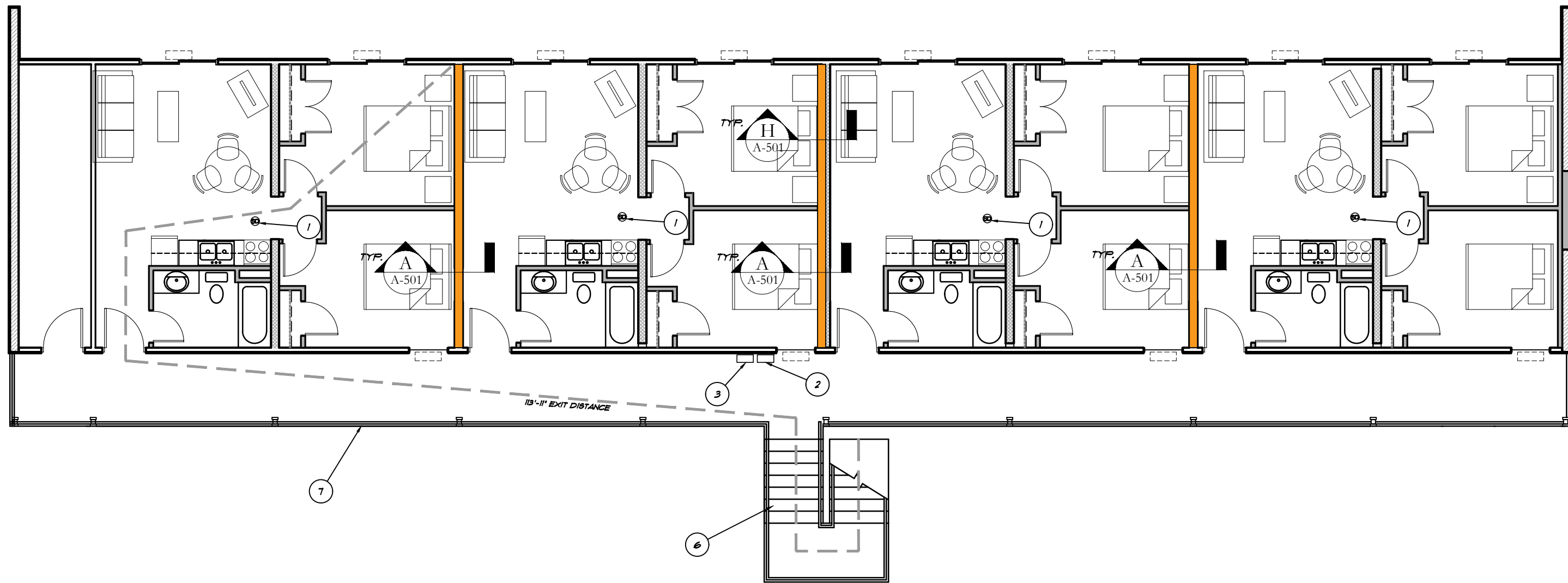
REVISIONS:



**G-104**

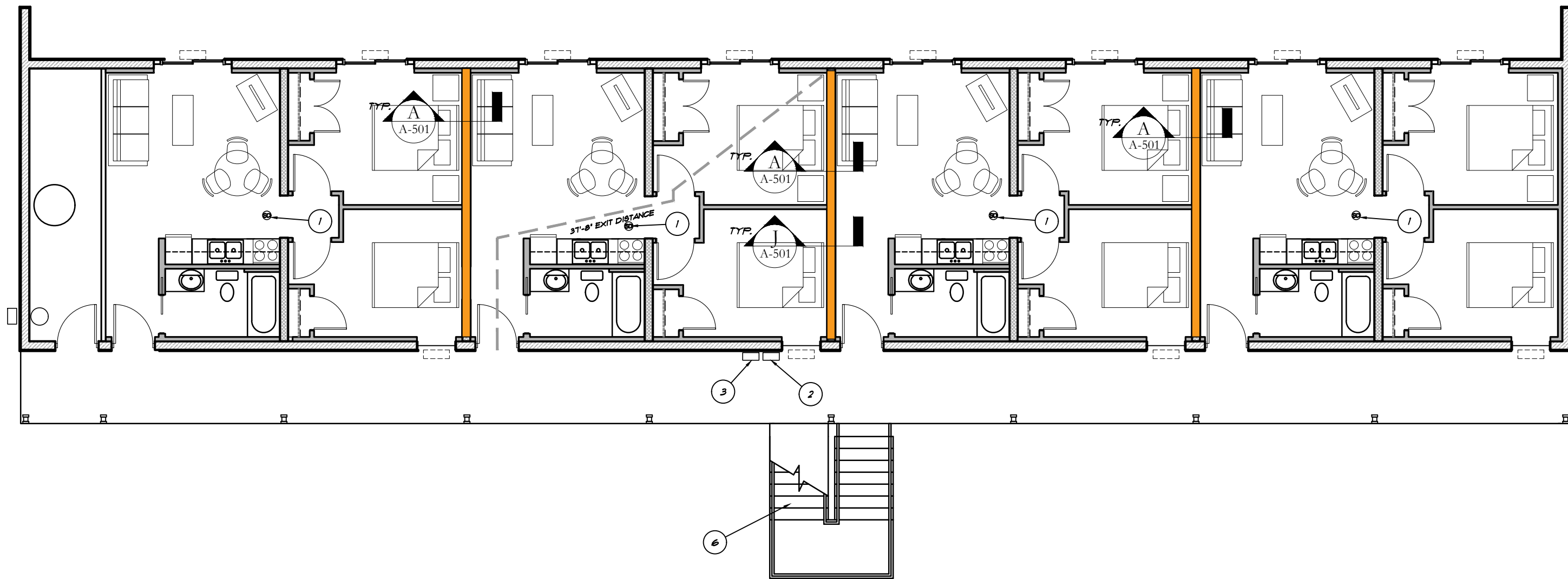
BUILDING D  
CODE PLAN





BUILDING E UPPER LEVEL - CODE

SCALE: 1/8" = 1'-0"



BUILDING E MAIN LEVEL - CODE

SCALE: 1/8" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2020 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2023 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (57 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)



ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20  
ROOF-CEILINGS: R-38  
SLABS: R-10  
WINDOWS: U = 0.35

CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR. SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

LEGEND:

-  1 HR FIRE RATED UNIT SEPARATION WALL
-  SMOKE/ CARBON MONOXIDE DETECTORS



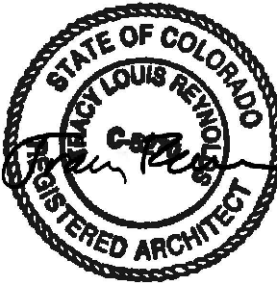
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

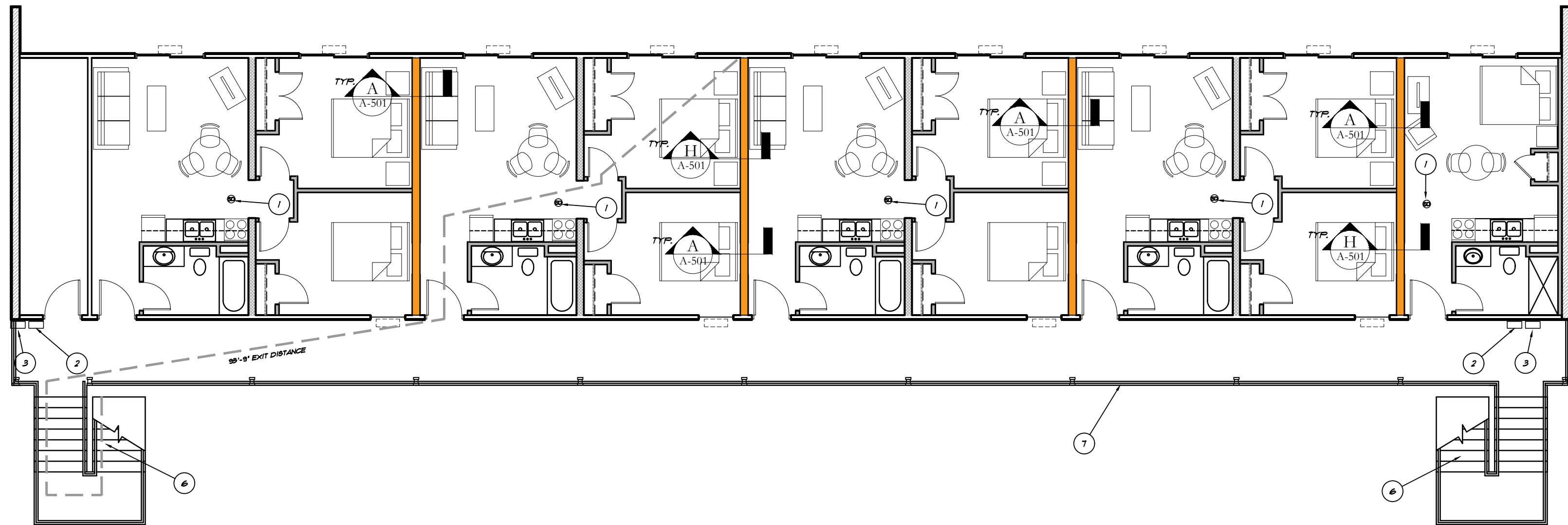
REVISIONS:



G-105

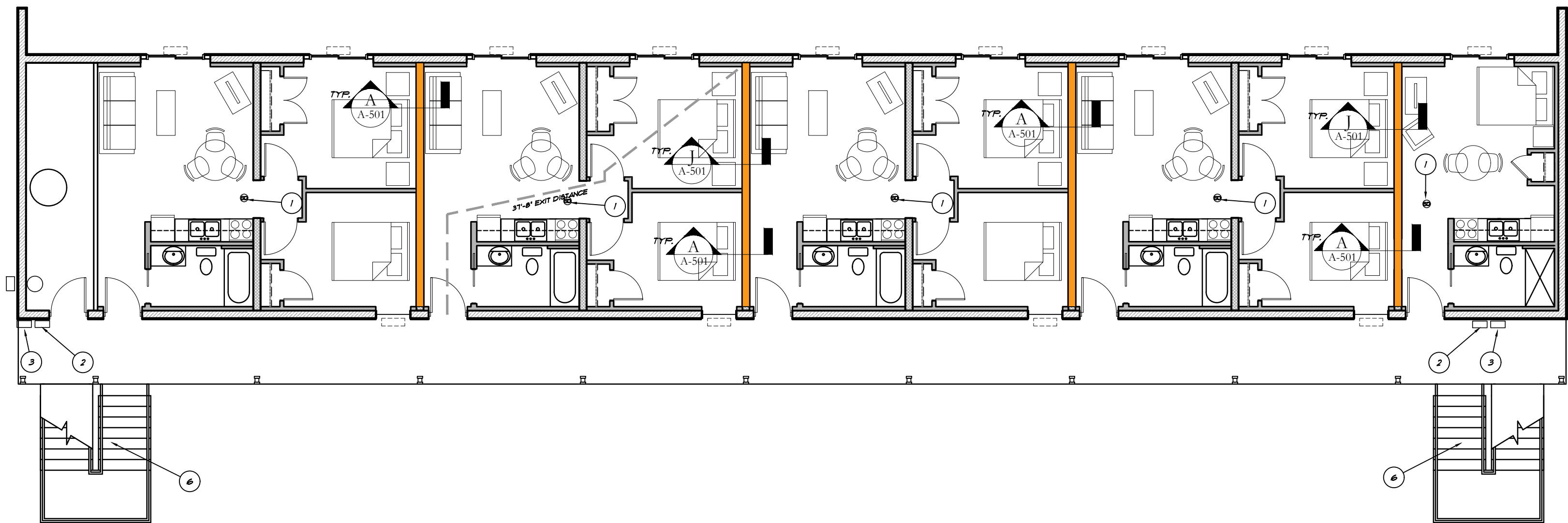
BUILDING E  
CODE PLAN





## BUILDING F UPPER LEVEL - CODE

SCALE: 1/8" = 1'-0"



## BUILDING F MAIN LEVEL - CODE

SCALE: 1/8" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2015 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (57 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)

ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20  
ROOF-CEILINGS: R-38  
SLABS: R-10  
WINDOWS: U = 0.35

CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR, SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

LEGEND:

- 1 HR FIRE RATED UNIT SEPARATION WALL
- SMOKE/ CARBON MONOXIDE DETECTORS



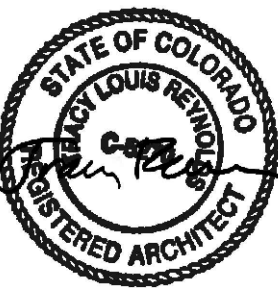
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WITHOUT THE WRITTEN PERMISSION OF  
REYNOLDS ASH + ASSOCIATES, P.C.  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



**G-106**

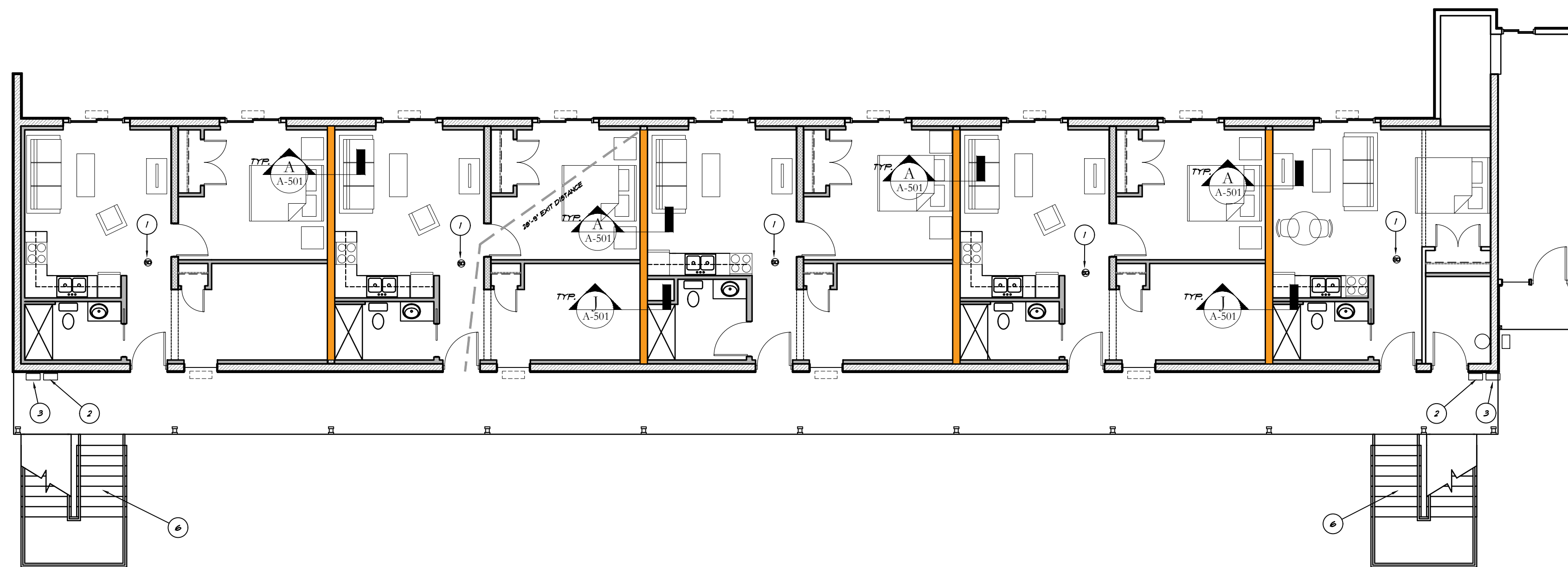
BUILDING F  
CODE PLAN





## BUILDING G UPPER LEVEL - CODE

SCALE: 1/8" = 1'-0"



## BUILDING G MAIN LEVEL - CODE

SCALE: 1/8" = 1'-0"

1. APPLICABLE CODES (TOWN OF CORTEZ):  
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL FIRE AND GAS CODE  
2010 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE  
2009 IECC INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:  
R-2: APARTMENT HOUSES (51 UNITS)

CONSTRUCTION TYPE:  
V-B NON-FIRE PROTECTED

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS:

TYPE V-B:  
STRUCTURAL FRAME: 0  
BEARING WALLS: 0  
NON-BEARING WALLS: 0  
NON-BEARING WALLS (INT.): 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

SPRINKLER REQUIREMENTS:

NFPA-13R SYSTEM IN EACH BUILDING EXCEPT FOR BUILDING A. NO SPRINKLER SYSTEM IS REQUIRED IN BUILDING A PER IRC 2015. COVERED EXTERIOR WALKWAYS MUST BE SPRINKLED.

SPRINKLER SYSTEM DESIGNED BY OTHERS - DEFERRED SUBMITTAL

SPRINKLER SERVICE LINE DESIGNED BY OTHERS - DEFERRED SUBMITTAL

DRAFTSTOPPING REQUIREMENTS:

DRAFTSTOP IN ATTIC AND FLOOR BETWEEN EVERY TWO UNITS. SEE DETAIL H AND J ON SHEET A-501 FOR DETAILS.

FIRE/ SMOKE ALARM REQUIREMENTS:

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER IBC 907.9.1

SMOKE ALARMS REQUIRED

FLOW ALARM REQUIRED

HORN/STROBE REQUIRED ON OUTSIDE OF EACH BUILDING

DIAL-IN MONITORING SERVICE REQUIRED (2 PHONE LINES)



ENERGY CODE REQUIREMENTS:

EXTERIOR WALLS: R-20  
ROOF-CEILINGS: R-38  
SLABS: R-10  
WINDOWS: U = 0.35

CODE PLAN KEYNOTES

1. COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
2. EMERGENCY LIGHTING (BATTERY BACK-UP)
3. WALL-MOUNTED FIRE EXTINGUISHER
4. EXISTING ELECTRICAL SERVICE
5. EXISTING GAS SERVICE
6. NEW EXIT STAIR. SEE DETAIL G ON SHEET A-501
7. REPLACE RAILING IF HEIGHT LESS THAN 42" AND/OR RAILING FAILS 4" SPHERE TEST

LEGEND:

 1 HR FIRE RATED UNIT SEPARATION WALL  
 SMOKE/ CARBON MONOXIDE DETECTORS



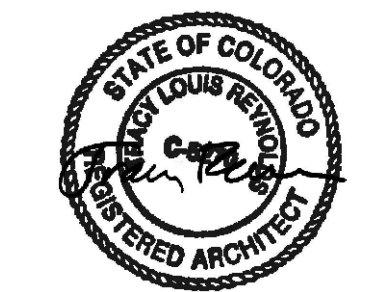
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM





REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:  
  
  
  


**G-107**

BUILDING G  
CODE PLAN





REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

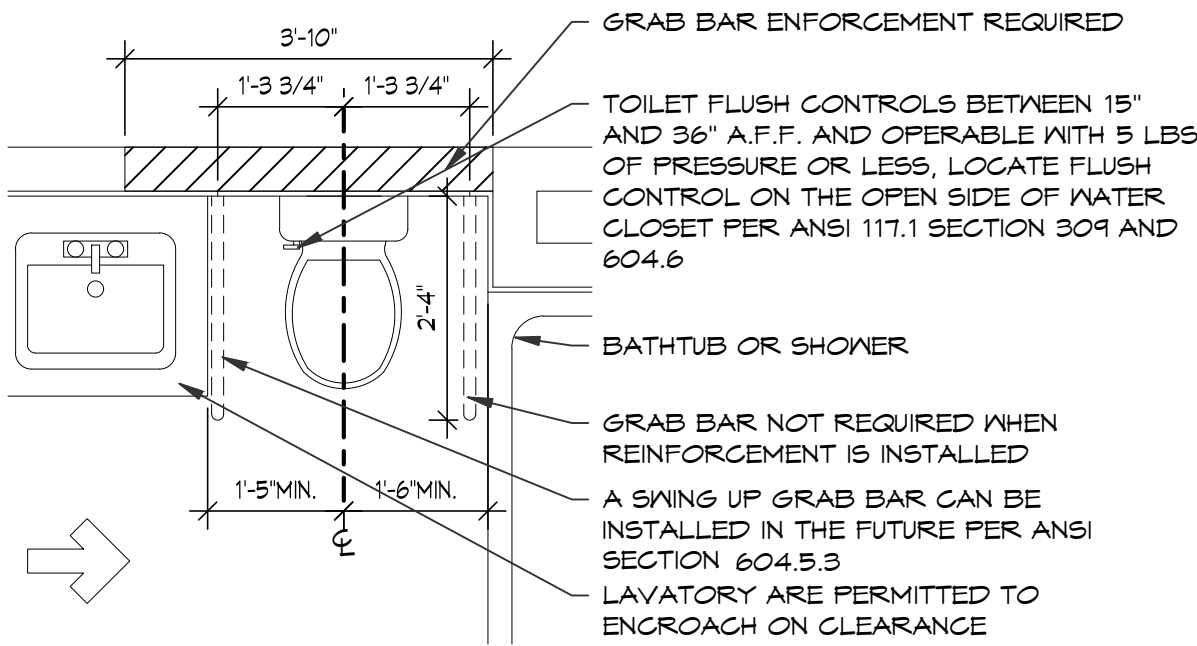
ISSUE RECORD:

REVISIONS:

1	
2	
3	
4	

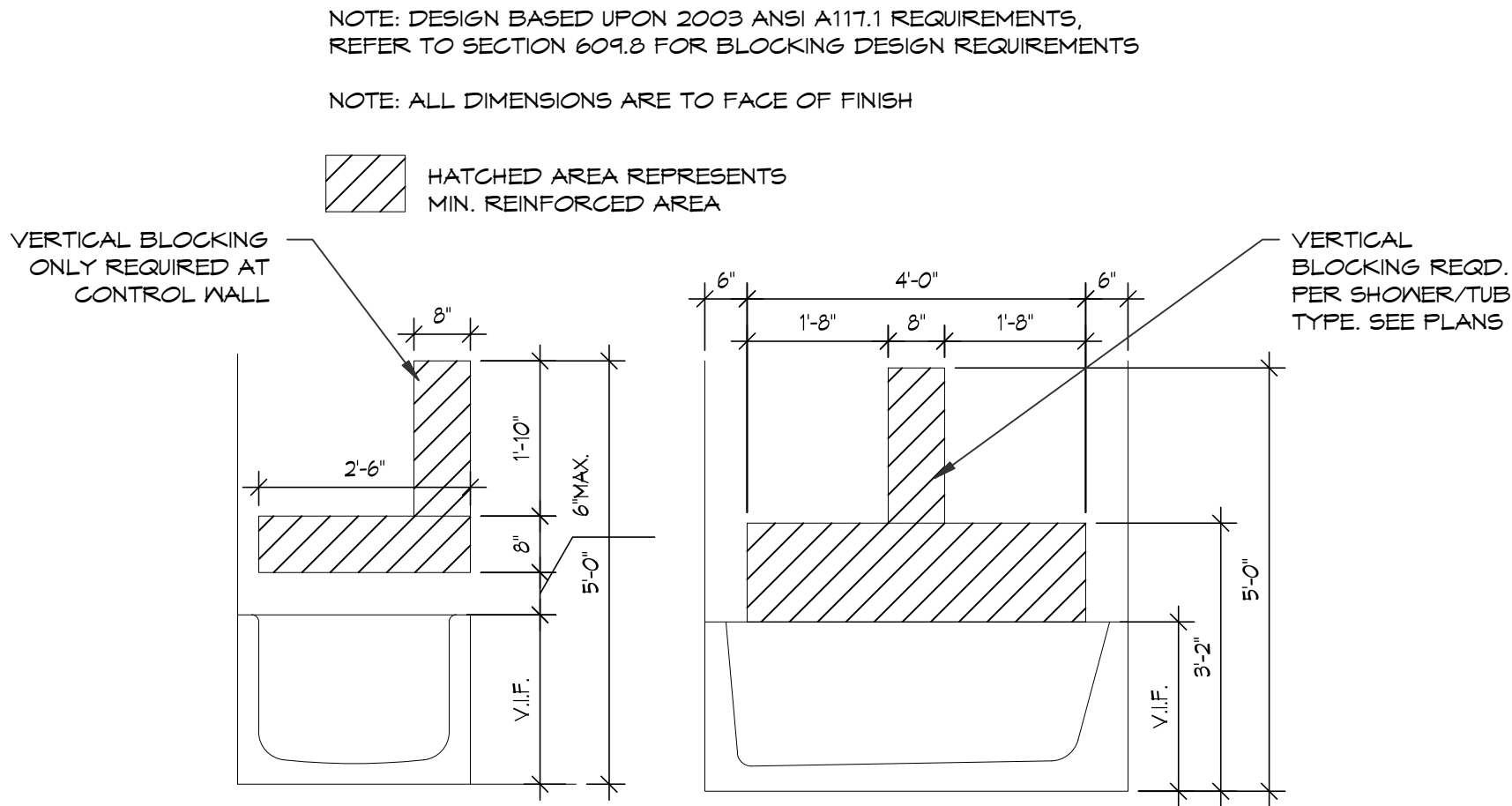
G-108

A.D.A. DETAILS

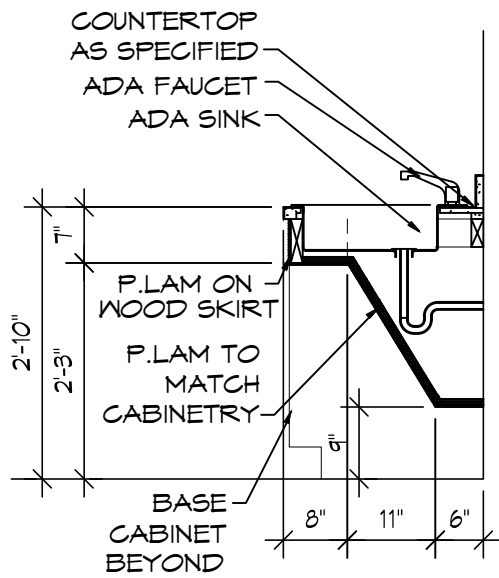


NOTE: DESIGN BASED UPON 2003 ANSI A117.1 REQUIREMENTS

NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH



NOTE: TUB SHOWN. BLOCKING SAME FOR SHOWERS.



TOILET BLOCKING -TYPE A & B BATHROOMS

SCALE: 1/2" = 1'-0"

A  
G-108

TUB/SHOWER BLOCKING -TYPE A & B BATHROOMS

SCALE: 1/2" = 1'-0"

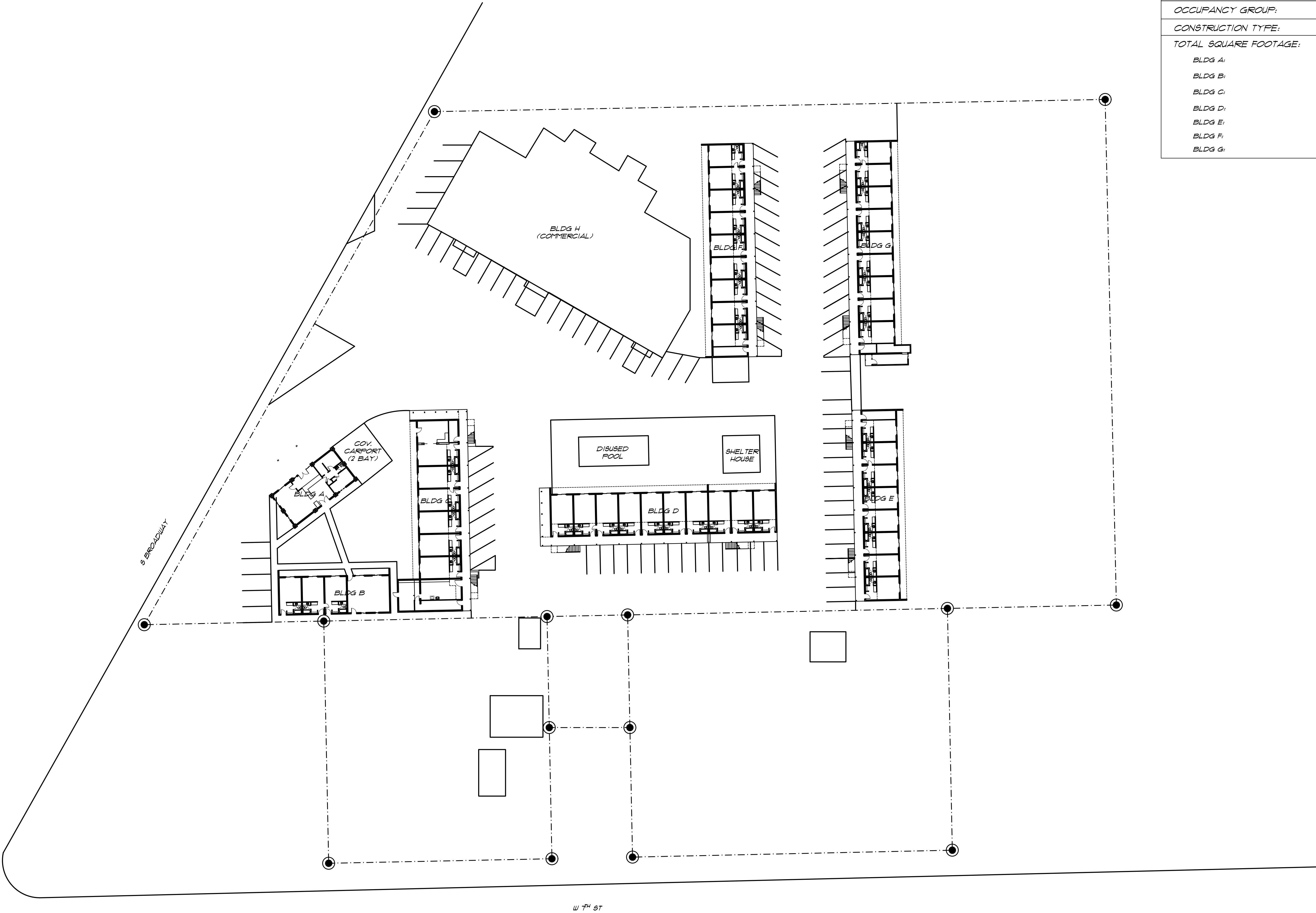
B  
G-108

KITCHEN SINK - TYPE A UNIT

SCALE: 1/2" = 1'-0"

C  
G-108

SITE ZONING:	RES./COMM.
SITE AREA:	3.72 AC
OCCUPANCY GROUP:	R-2
CONSTRUCTION TYPE:	V-B
TOTAL SQUARE FOOTAGE:	
BLDG A:	1,217 SF.
BLDG B:	1,680 SF.
BLDG C:	6,678 SF.
BLDG D:	7,720 SF.
BLDG E:	5,330 SF.
BLDG F:	6,044 SF.
BLDG G:	6,262 SF.



ARCHITECTURAL SITE PLAN -EXISTING

SCALE: 1" = 30'-0"

**REYNOLDS ASH  
+ ASSOCIATES**  
**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

**PROGRESS SET  
NOT FOR CONST.**

**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: **22233**  
DATE: **2022-11-04**  
DRAWN BY: **TR, MG**

ISSUE RECORD:

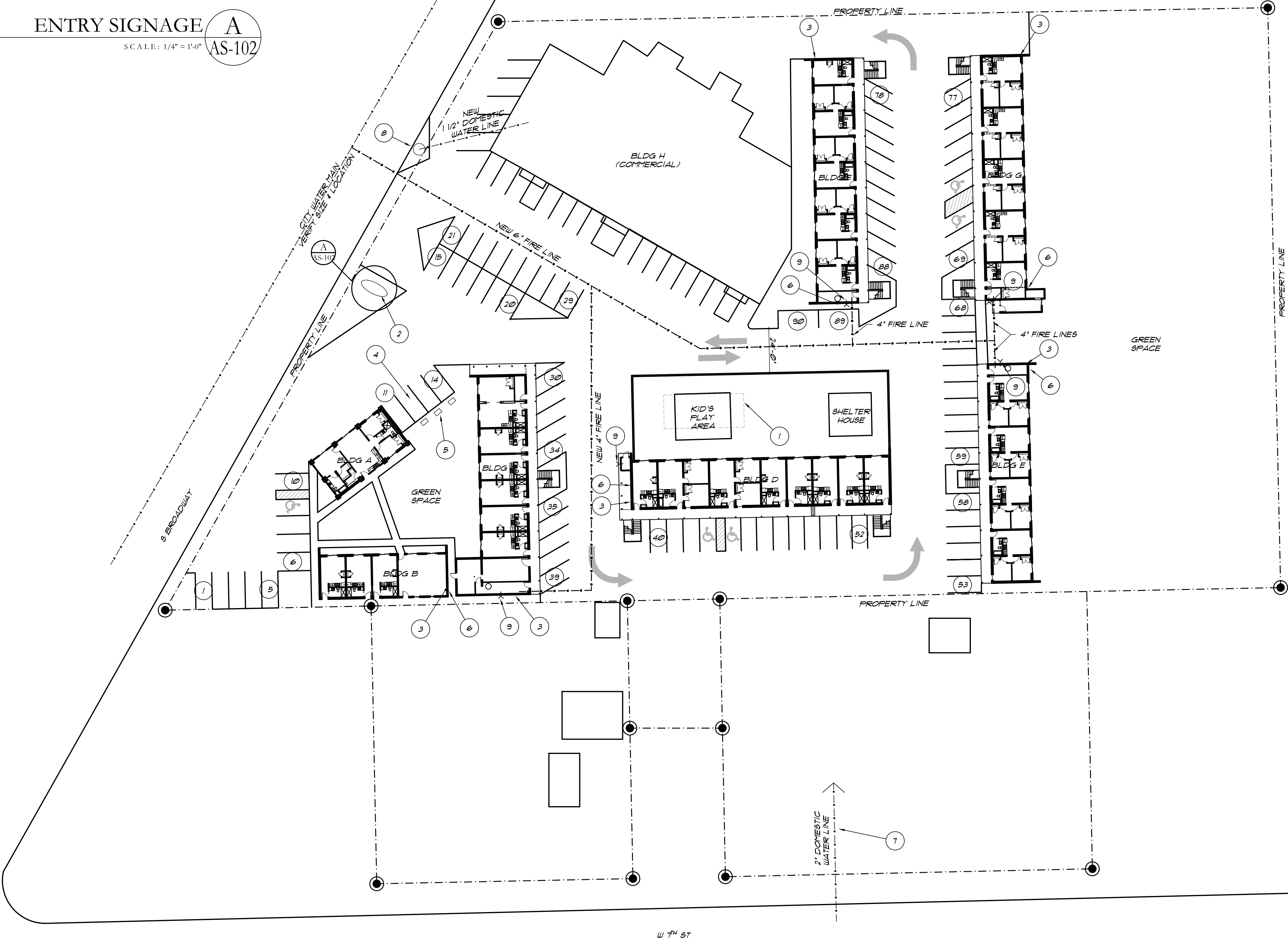
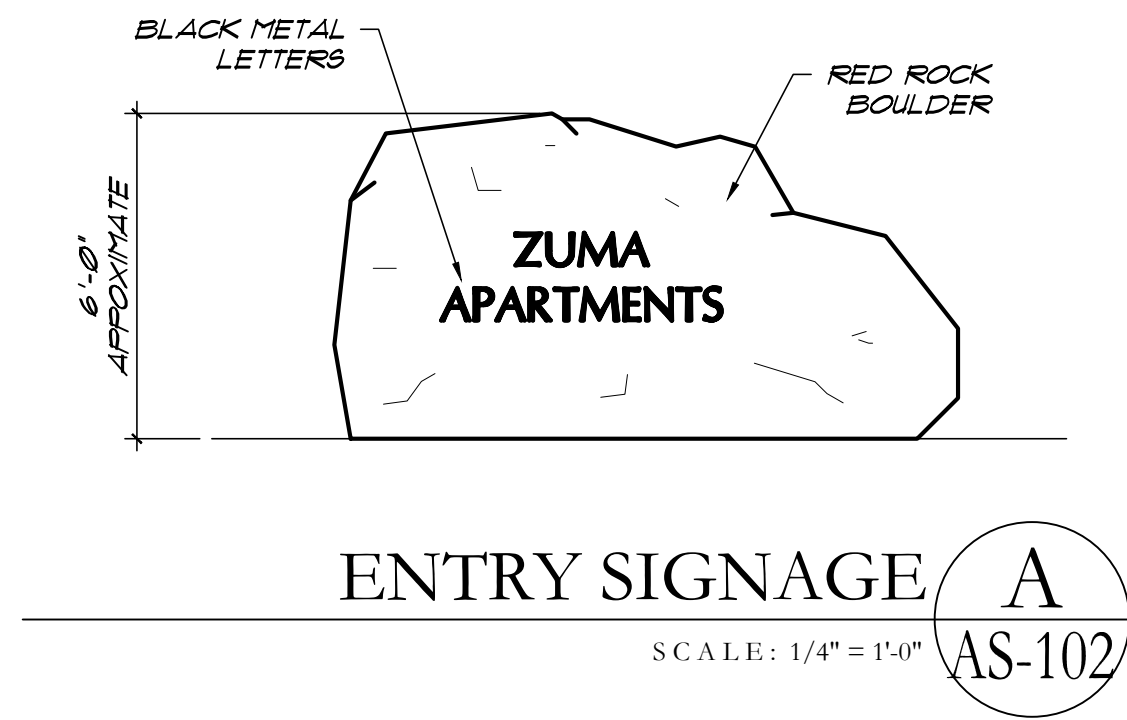

REVISIONS:

△	
△	
△	
△	
△	

**AS-101**

EXISTING  
SITE PLAN





SITE ZONING:	RES./COMM.
SITE AREA:	3.72 AC
OCCUPANCY GROUP:	R-2
CONSTRUCTION TYPE:	V-B
TOTAL SQUARE FOOTAGE:	
BLDG A:	1,217 S.F.
BLDG B:	1,680 S.F.
BLDG C:	6,678 S.F.
BLDG D:	7,120 S.F.
BLDG E:	5,330 S.F.
BLDG F:	6,044 S.F.
BLDG G:	6,262 S.F.

- SITE KEYNOTS:
1. FILL-IN POOL, REMOVE SURROUNDING CONCRETE
  2. ENTRY SIGN (BOULDER W/ LETTERING)
  3. ELECTRIC SERVICE ENTRY
  4. REMOVE EXISTING CARPORT
  5. ELECTRIC CAR CHARGERS (3)
  6. GAS SERVICE ENTRY
  7. DOMESTIC WATER SUPPLY LINE (APARTMENTS ONLY)
  8. USE EXISTING TAP TO SUPPLY COMMERCIAL BUILDING W/ SEPARATE WATER SUPPLY (VERIFY LOCATION)
  9. FIRE DEPARTMENT CONNECTION

## KEY AND SITE CALCULATIONS

UNIT SUMMARY			
STUDIO UNITS =		20 UNITS	
1 BDR UNITS =		10 UNITS	
2 BDR UNITS =		26 UNITS	
		TOTAL:	57 UNITS

PARKING CALCULATIONS			
PARKING REQUIRED	57 UNITS X 1.84 STALLS/ UNIT	=	105 STALLS
P'KNG PROVIDED		=	90 STALLS



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-4997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

PROGRESS SET  
NOT FOR CONST.

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:

△

△

△

△

△

AS-102

PROPOSED  
SITE PLAN



ARCHITECTURAL SITE PLAN -PROPOSED

SCALE: 1" = 30'-0"


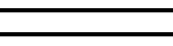
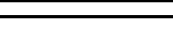

BLDG A APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	1217 SF
TOTAL	1217 SF

GENERAL PLAN NOTES:

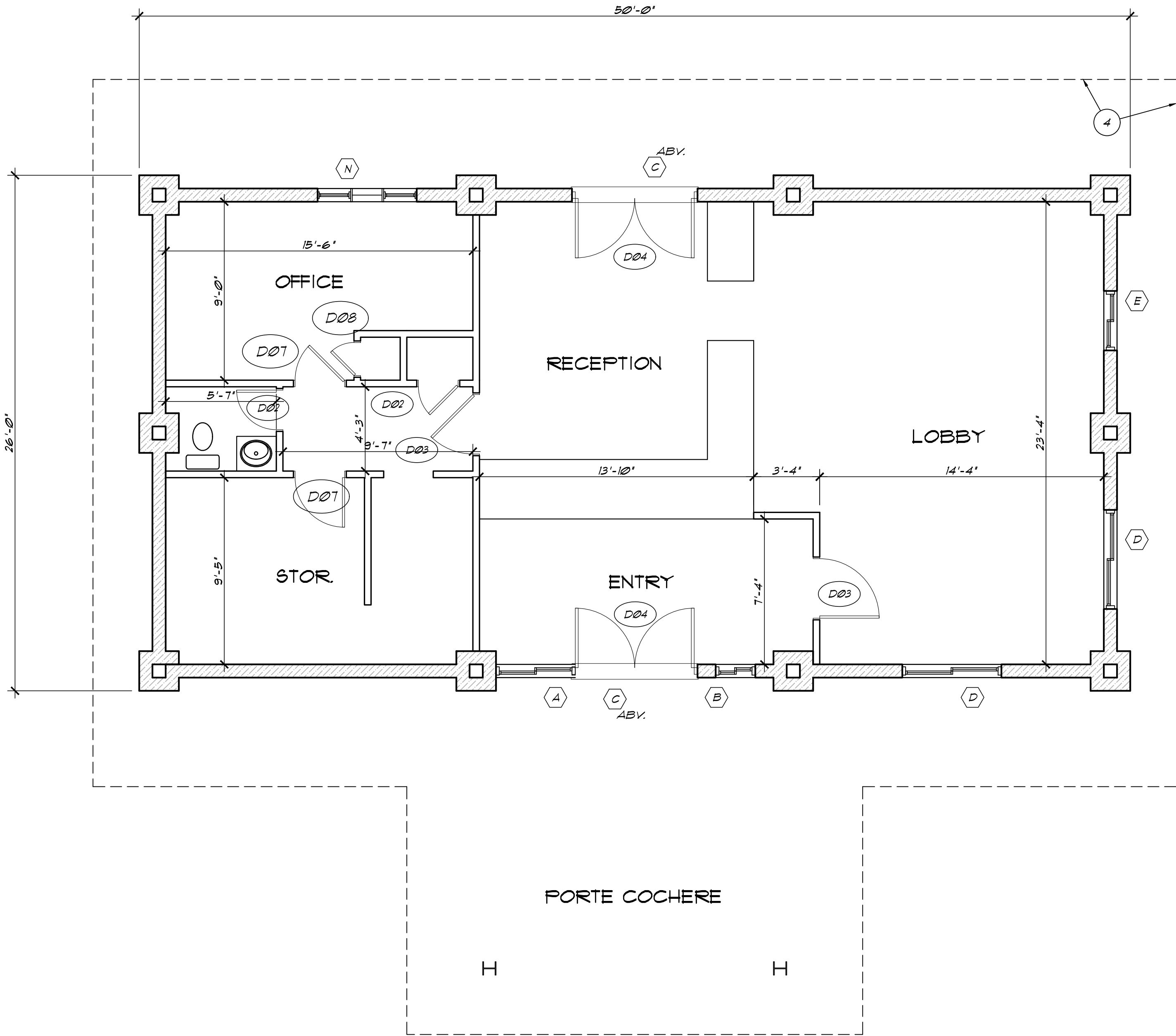
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING A - EXISTING

SCALE: 1/4" = 1'-0"



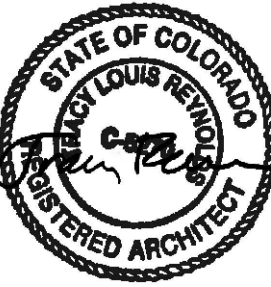
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-101

BUILDING A  
EXISTING FLOOR PLAN



BLDG B APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	1,680 S.F.
TOTAL	1,680 S.F.

GENERAL PLAN NOTES:

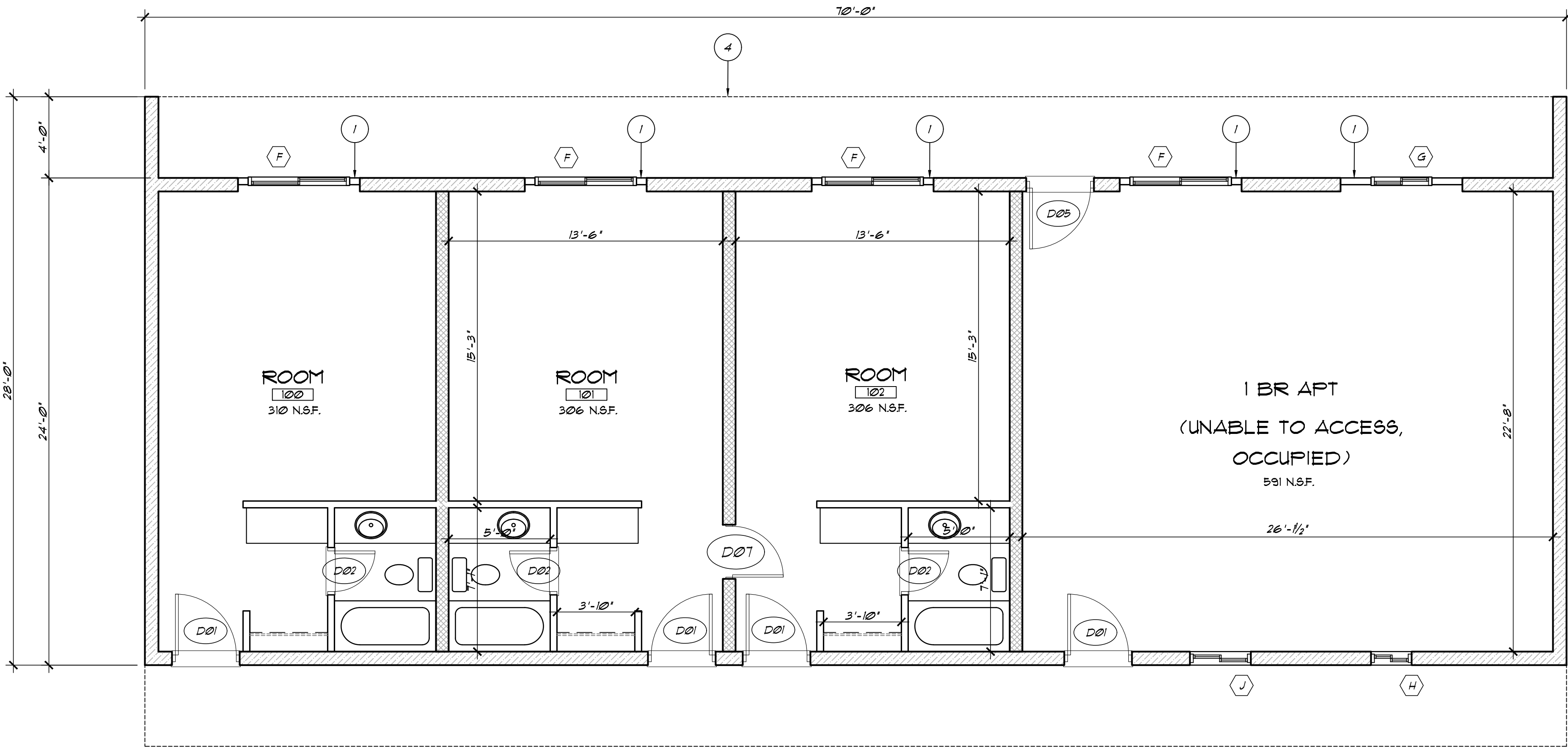
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING B- EXISTING

SCALE: 1/4" = 1'-0"



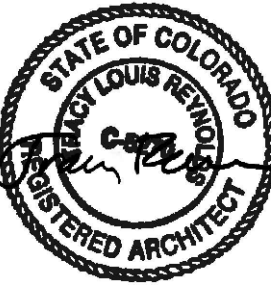
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-102

BUILDING B  
EXISTING FLOOR PLAN


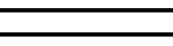
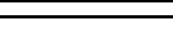

BLDG C APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,469 S.F.
UPPER LEVEL	3,209 S.F.
TOTAL	6,678 S.F.

GENERAL PLAN NOTES:

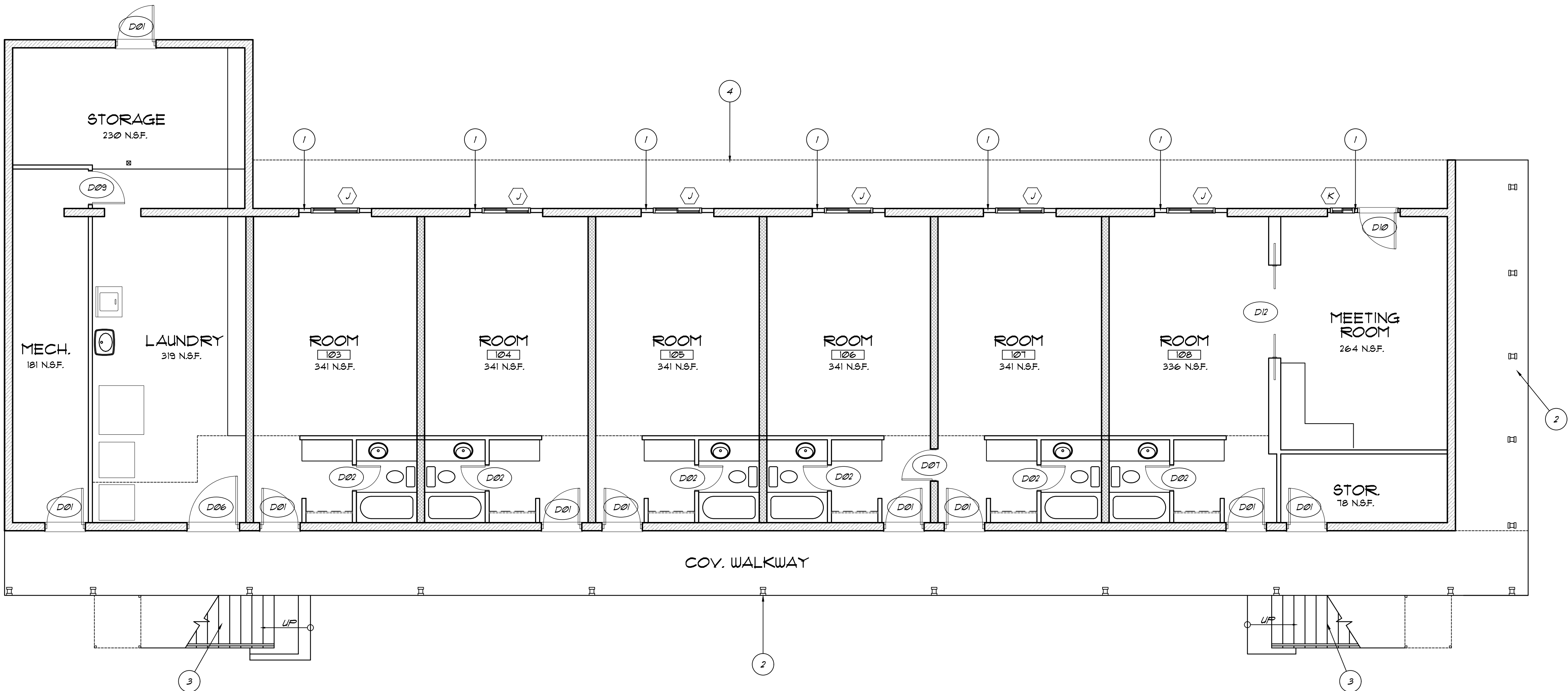
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING C MAIN LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



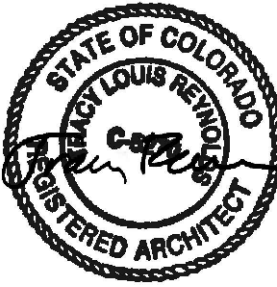
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-103

BUILDING C MAIN LEVEL  
EXISTING FLOOR PLAN




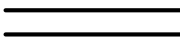
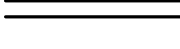

BLDG C APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,469 S.F.
UPPER LEVEL	3,209 S.F.
TOTAL	6,678 S.F.

GENERAL PLAN NOTES:

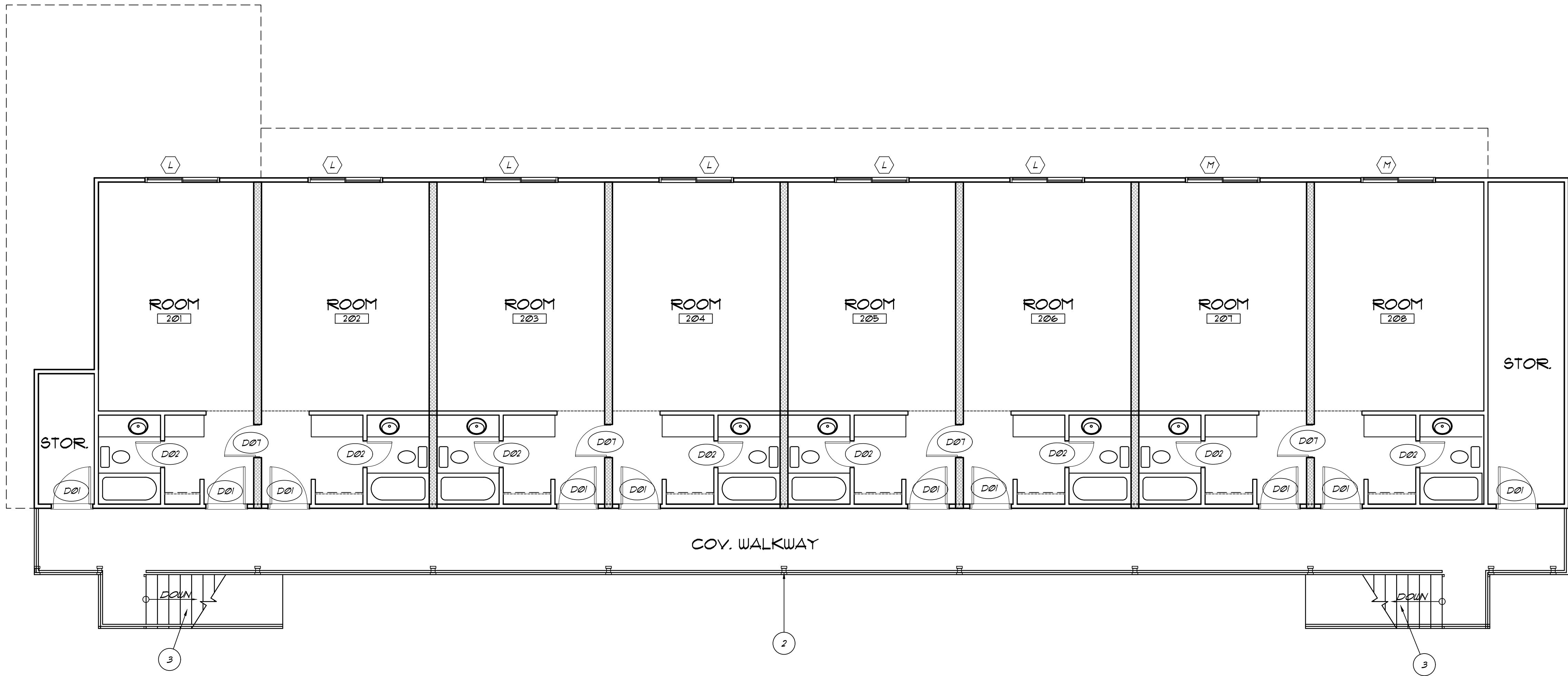
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING C UPPER LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



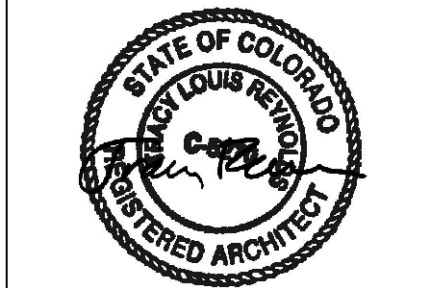
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

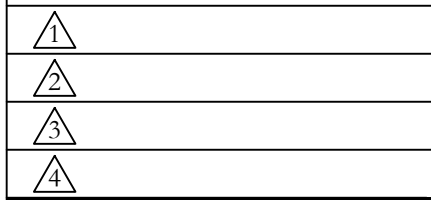


ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-104

BUILDING C UPPER LEVEL  
EXISTING FLOOR PLAN

BLDG D APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,713 S.F.
UPPER LEVEL	3,347 S.F.
TOTAL	7,120 S.F.

GENERAL PLAN NOTES:

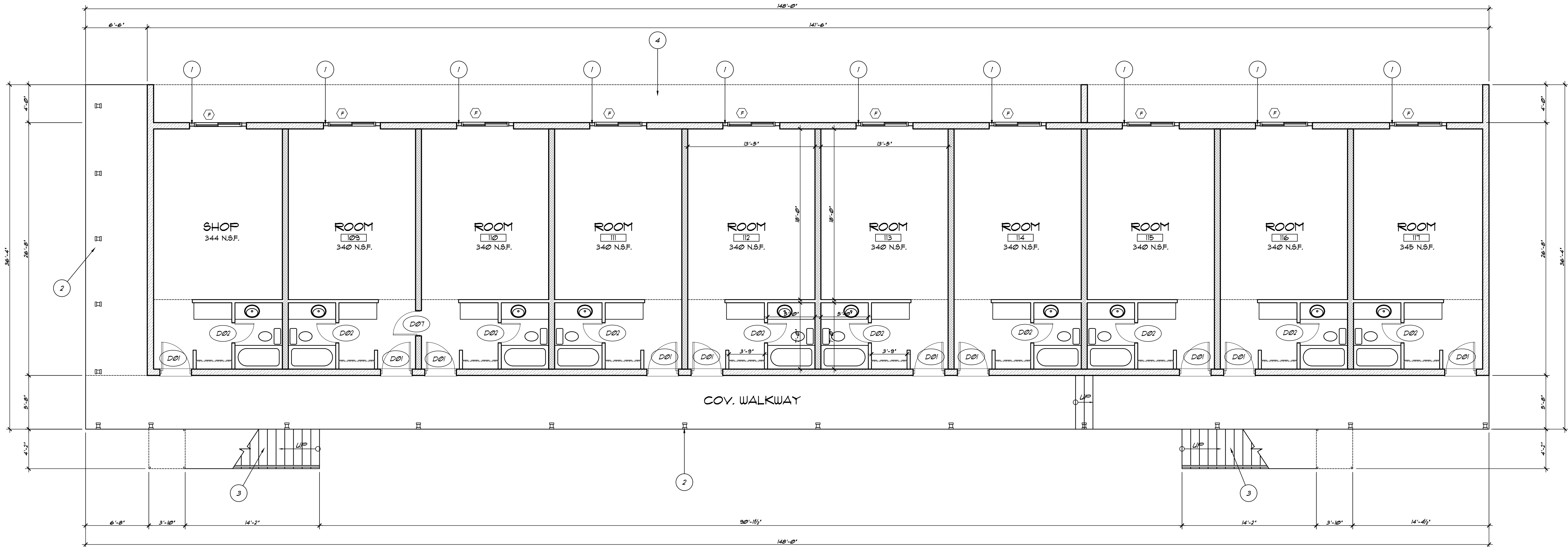
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING D MAIN LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



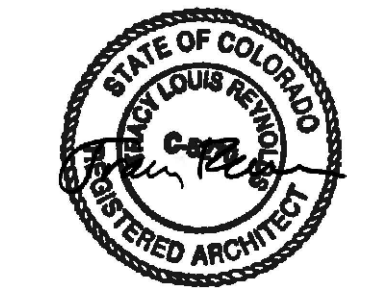
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-105

BUILDING D MAIN LEVEL  
EXISTING FLOOR PLAN




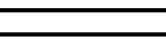
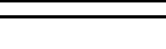

BLDG D APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,713 S.F.
UPPER LEVEL	3,347 S.F.
TOTAL	7,720 S.F.

GENERAL PLAN NOTES:

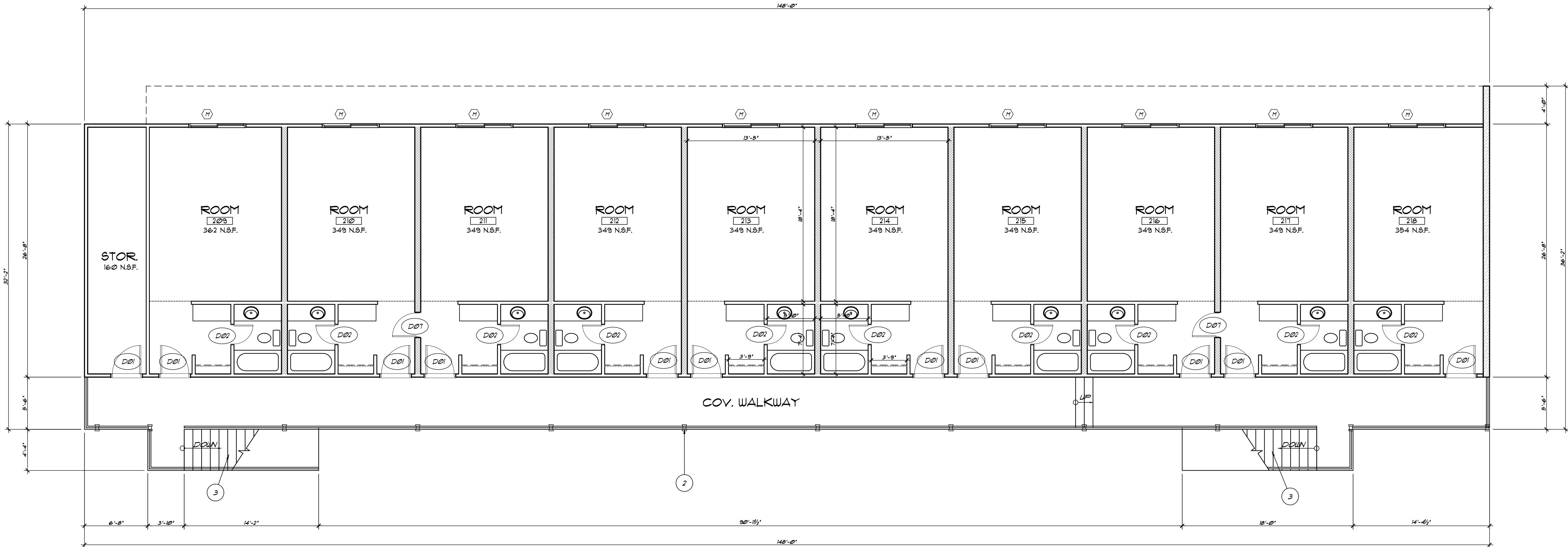
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING D UPPER LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



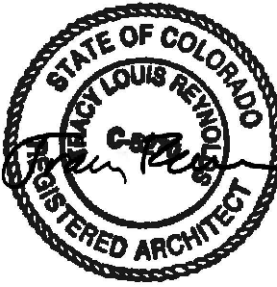
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



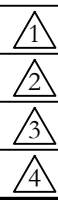
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-106

BUILDING D UPPER LEVEL  
EXISTING FLOOR PLAN

MAIN LEVEL	2,665 S.F.
UPPER LEVEL	2,665 S.F.
<hr/>	
TOTAL	5,330 S.F.

A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

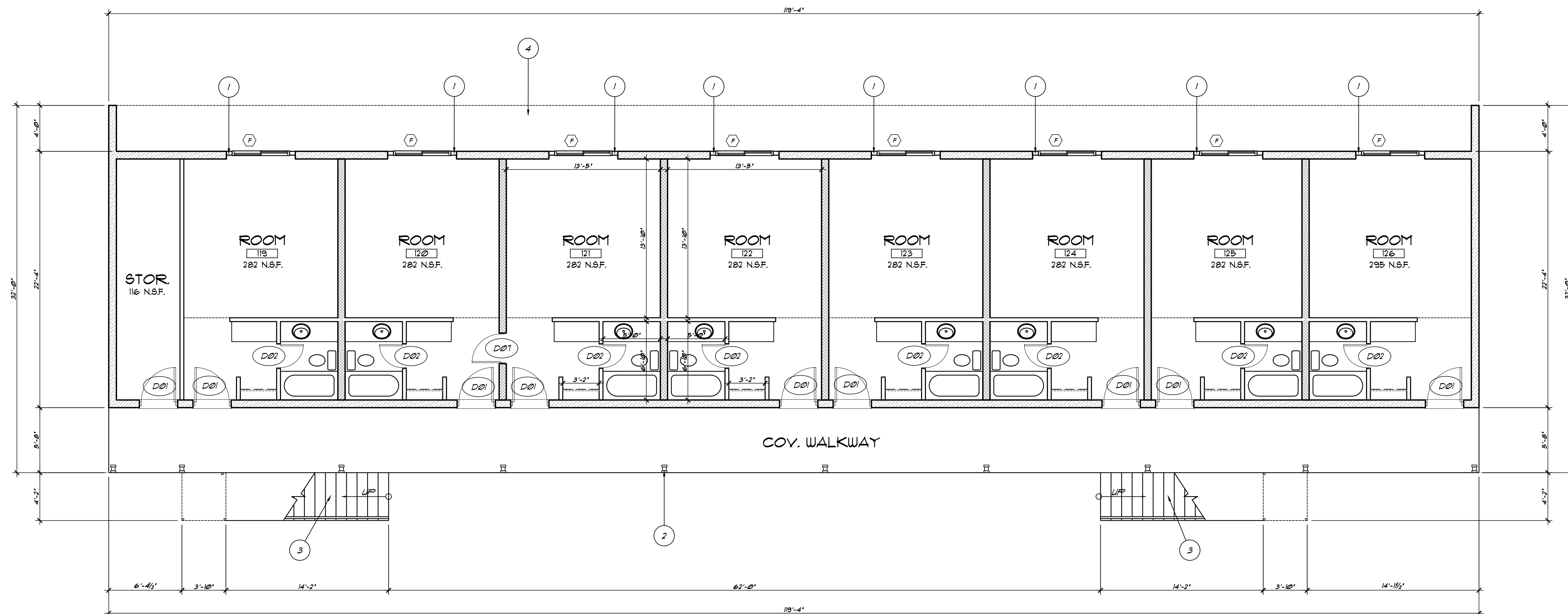
CLU WALL

EXISTING EXTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV.

EXISTING INTERIOR WALL:  
2X4 STUDS  
1/2" GYPSUM BOARD

INTERIOR UNIT SEPARATION WALL:  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
1/2" CELOTEX BOARD  
1/2" GYPSUM BOARD

1. 6' WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
2. WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
3. C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
4. FLAT ROOF OVERHANG



## BUILDING E MAIN LEVEL - EXISTING

SCALE: 3/16" = 1'-0"

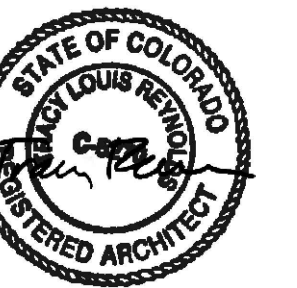
ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259 - 7494  
FAX (970) 259 - 7492

362 PAGOSA STREET, STE. 200  
P.O. BOX 96  
PAGOSA SPRINGS, CO. 81147  
(970) 264 - 6884  
FAX (970) 264 - 0997

A-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
OR TRANSFERRED IN WHOLE OR IN PART  
WITHOUT OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
OR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISSEMINATION, OR FURTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAY+A ARCHITECTS, P.C.



# ZUMA APARTMENTS - MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-107

BUILDING E MAIN LEVEL  
EXISTING FLOOR PLAN



BLDG E APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	2,665 SF.
UPPER LEVEL	2,665 SF.
TOTAL	5,330 SF.

GENERAL PLAN NOTES:

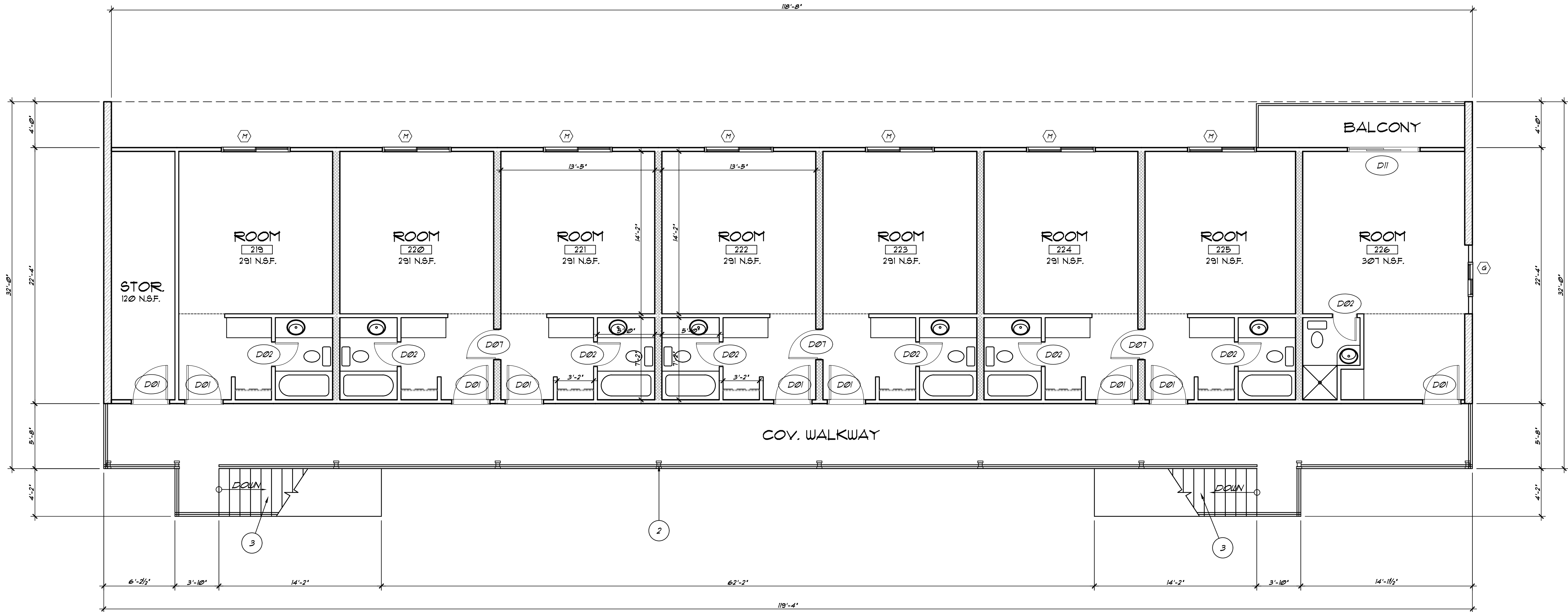
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING E UPPER LEVEL - EXISTING

SCALE: 3/16" = 1'-0"

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-108

BUILDING E UPPER LEVEL  
EXISTING FLOOR PLAN

**REYNOLDS ASH  
+ ASSOCIATES**

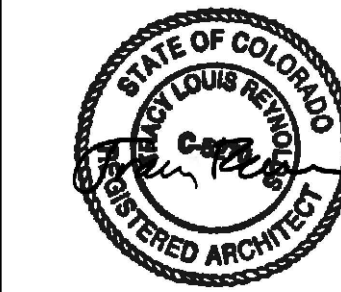
**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.




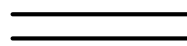
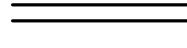

BLDG F APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,022 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,044 S.F.

GENERAL PLAN NOTES:

A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

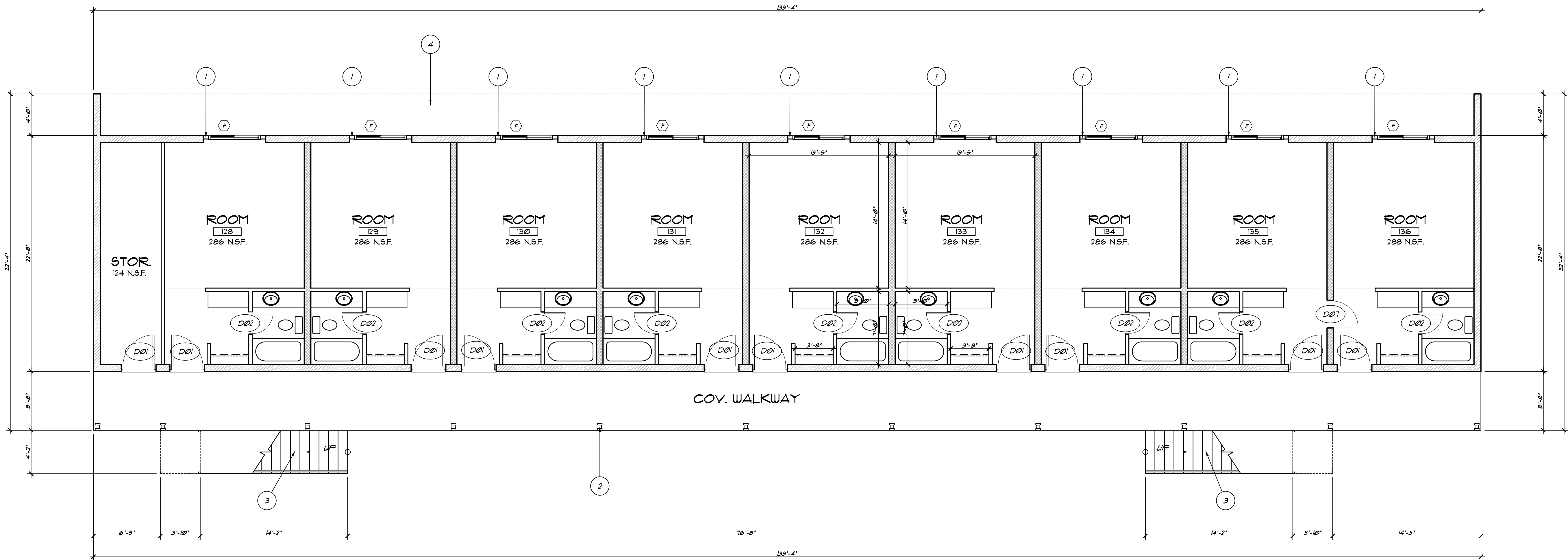
ISSUE RECORD:

REVISIONS:



A-109

BUILDING F MAIN LEVEL  
EXISTING FLOOR PLAN



BUILDING F MAIN LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



BLDG F APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,022 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,044 S.F.

GENERAL PLAN NOTES:

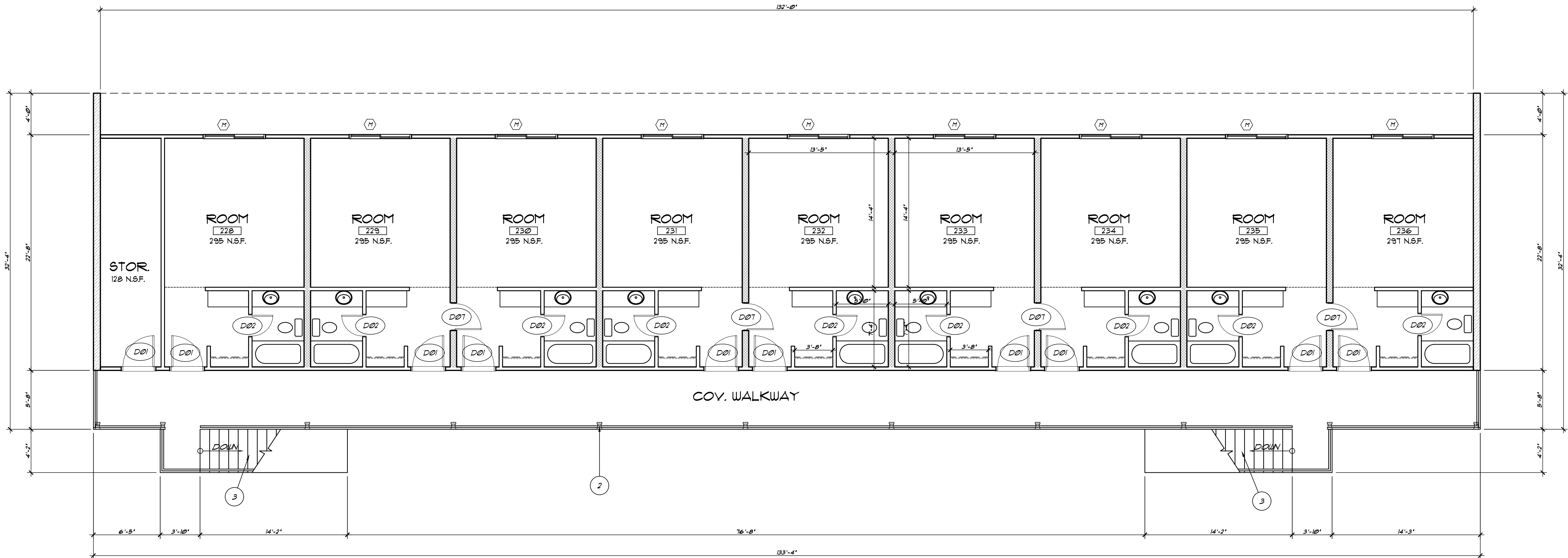
- A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING F UPPER LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



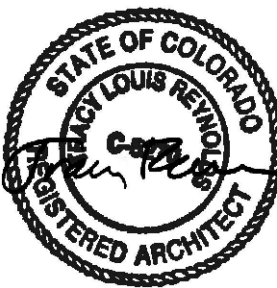
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-110

BUILDING F UPPER LEVEL  
EXISTING FLOOR PLAN

BLDG G APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,240 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,262 S.F.

GENERAL PLAN NOTES:

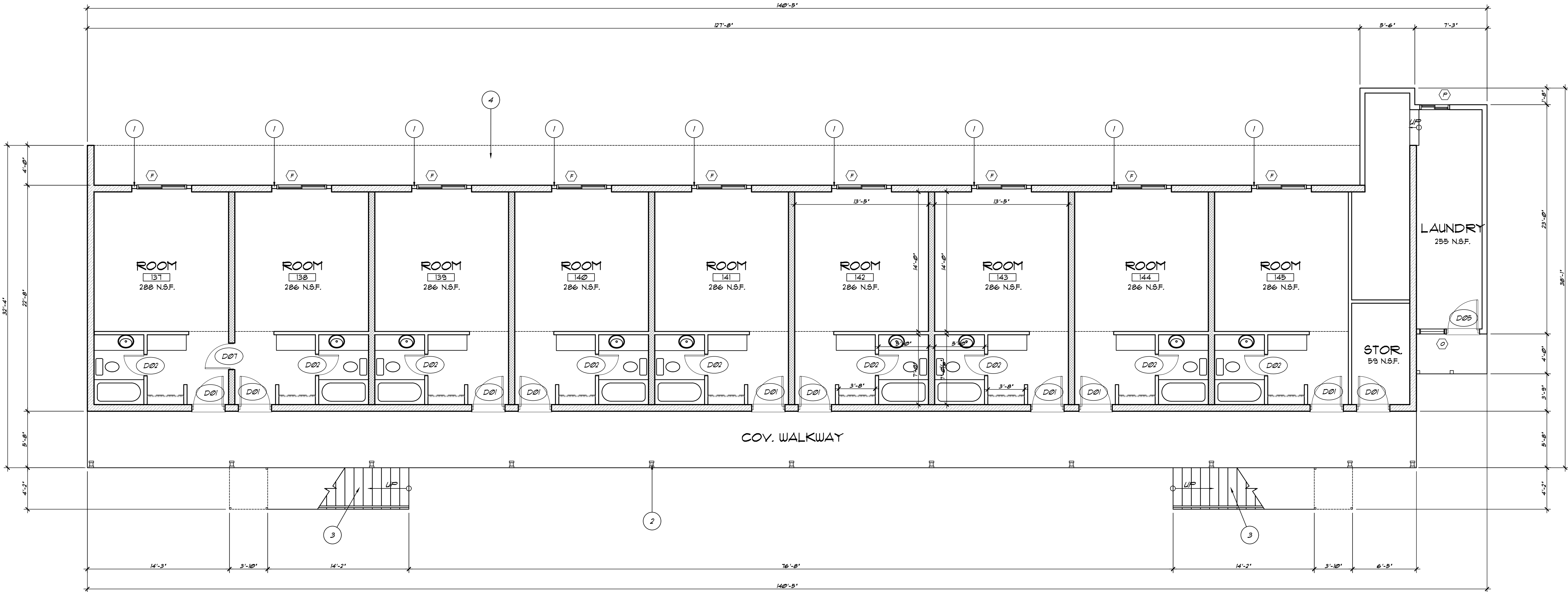
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING G MAIN LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



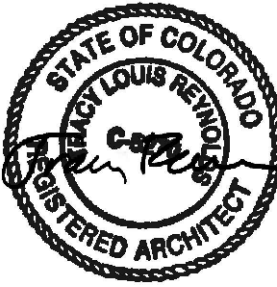
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



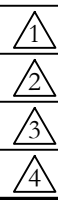
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-111

BUILDING G MAIN LEVEL  
EXISTING FLOOR PLAN




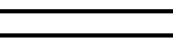
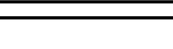

BLDG G APPROXIMATE SQUARE FOOTAGE (EXISTING):

MAIN LEVEL	3,240 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,262 S.F.

GENERAL PLAN NOTES:

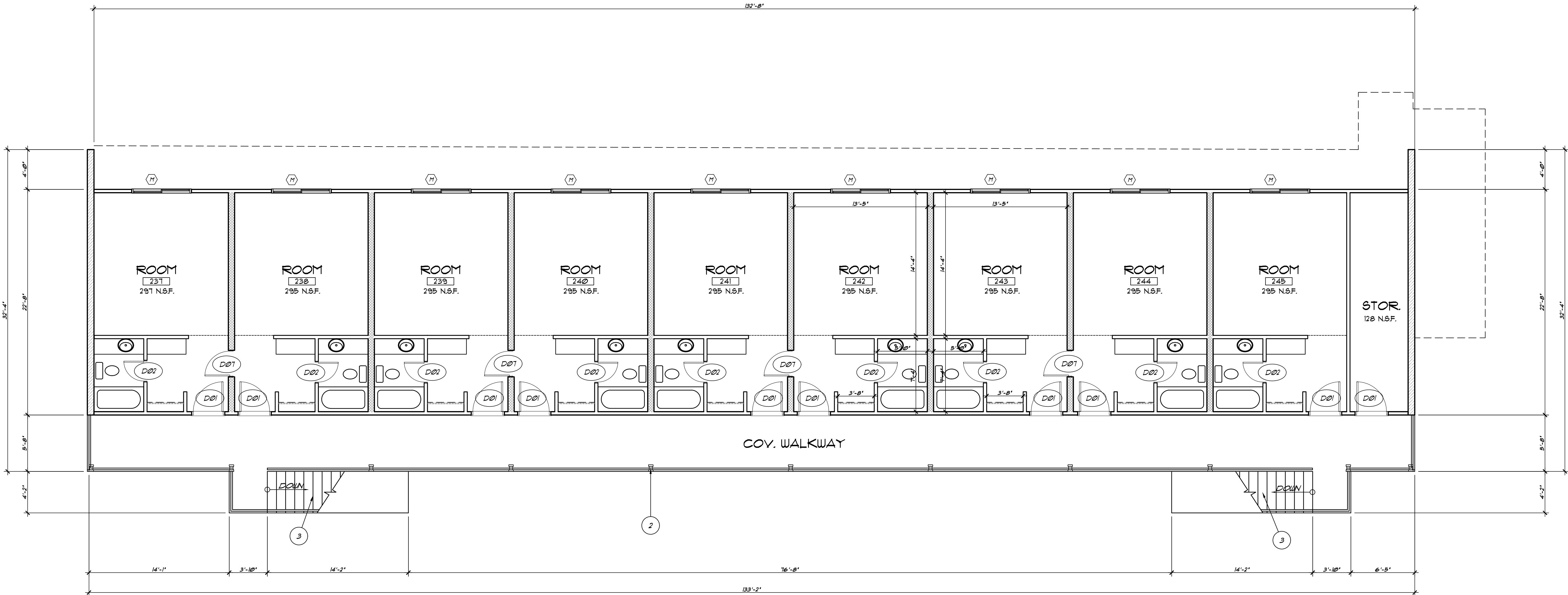
A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.

WALL TYPE LEGEND:

	CMU WALL
	EXISTING EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	EXISTING INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR UNIT SEPARATION WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 1/2" CELOTEX BOARD 1/2" GYPSUM BOARD

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82' TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ CONCRETE TREADS
- FLAT ROOF OVERHANG



BUILDING G UPPER LEVEL - EXISTING

SCALE: 3/16" = 1'-0"



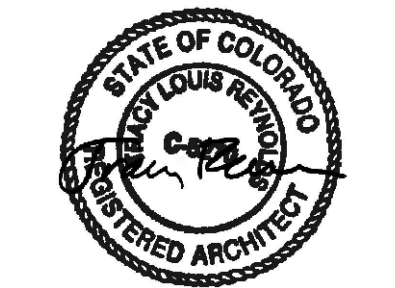
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

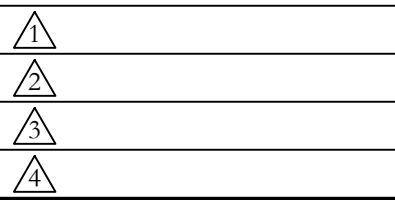


ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-112

BUILDING G UPPER LEVEL  
EXISTING FLOOR PLAN

BLDG A APPROXIMATE SQUARE FOOTAGE:

OVERALL BUILDING (GROSS) 1217 SF.  
3 BR UNIT (NET) 1013 SF.

UNIT COUNT:

3 BEDROOM 1

GENERAL PLAN NOTES:

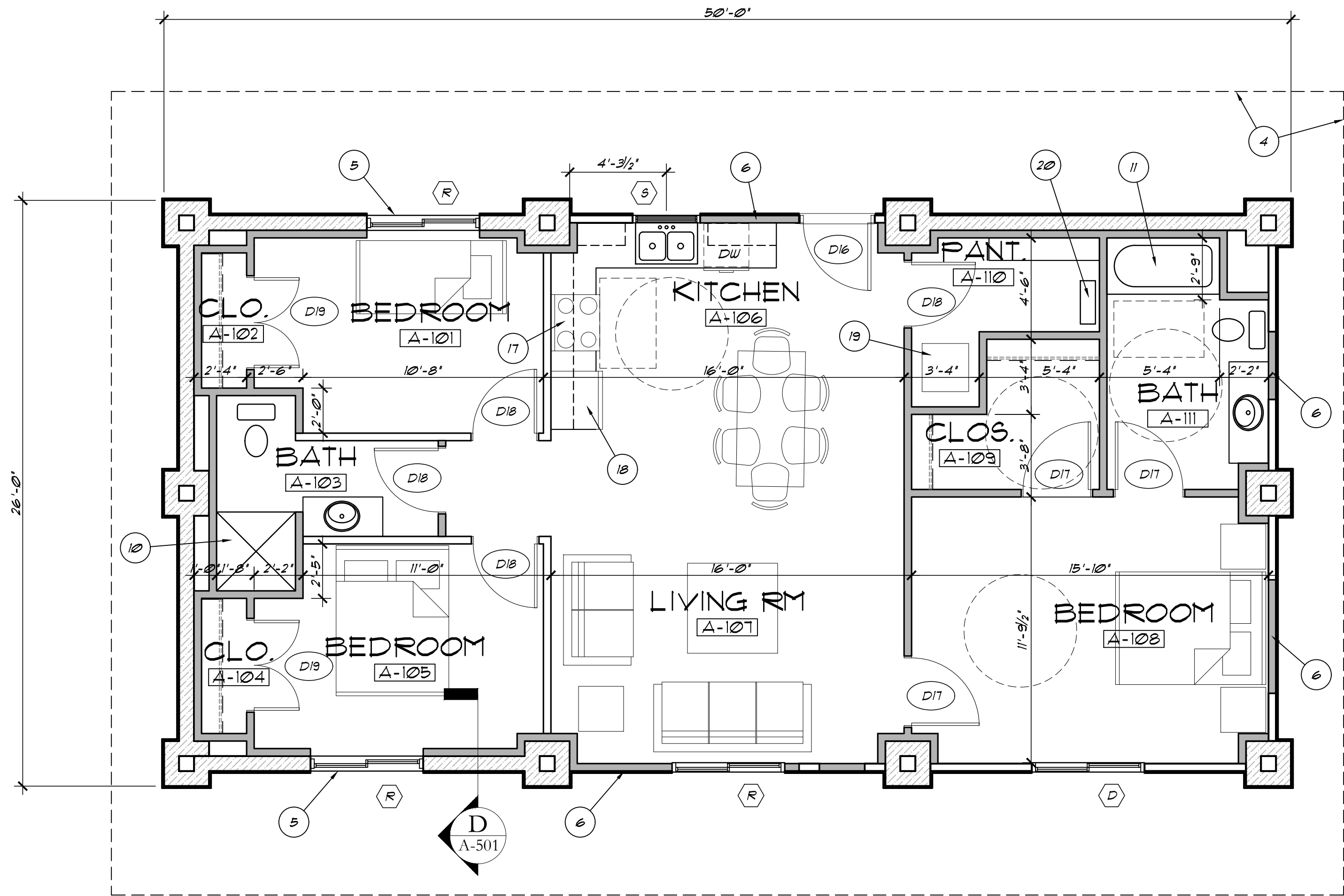
- A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- B. REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- C. REPAINT ALL BUILDING EXTERIORS.
- D. ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- E. RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

- CMU WALL
- EXTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV'S.
- INTERIOR WALL:  
2X4 STUDS  
1/2" GYPSUM BOARD
- INTERIOR WALL:  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
5/8" TYPE X DRYWALL
- NEW INTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

1. 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
2. WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
3. C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
4. FLAT ROOF OVERHANG
5. NEW OPENING IN CMU WALL
6. FRAME-IN OLD OPENING
7. PANTRY CABINET
8. RE-USE EXISTING OPENING
9. 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
10. PRE-FAB 42"X42" FIBERGLASS SHOWER
11. FIBERGLASS 60"X30" TUB + SHOWER UNIT
12. PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
13. NEW ELECTRICAL PTAC UNITS
14. FIRE RISER
15. HORN + STROBE
16. BOILER (SERVES ALL UNITS IN BUILDING)
17. 24" RANGE W/ MICROWAVE ABOVE
18. 24" REFRIGERATOR
19. FURNACE



BUILDING A - PROPOSED

SCALE: 1/4" = 1'-0"



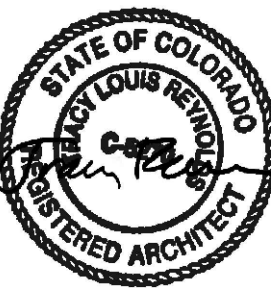
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-113

BUILDING A  
PROPOSED FLOOR PLAN



BLDG B APPROXIMATE SQUARE FOOTAGE (EXISTING):

OVERALL BUILDING (GROSS) 1,680 S.F.

UNIT COUNT:

STUDIO 3  
1 BEDROOM 1

GENERAL PLAN NOTES:

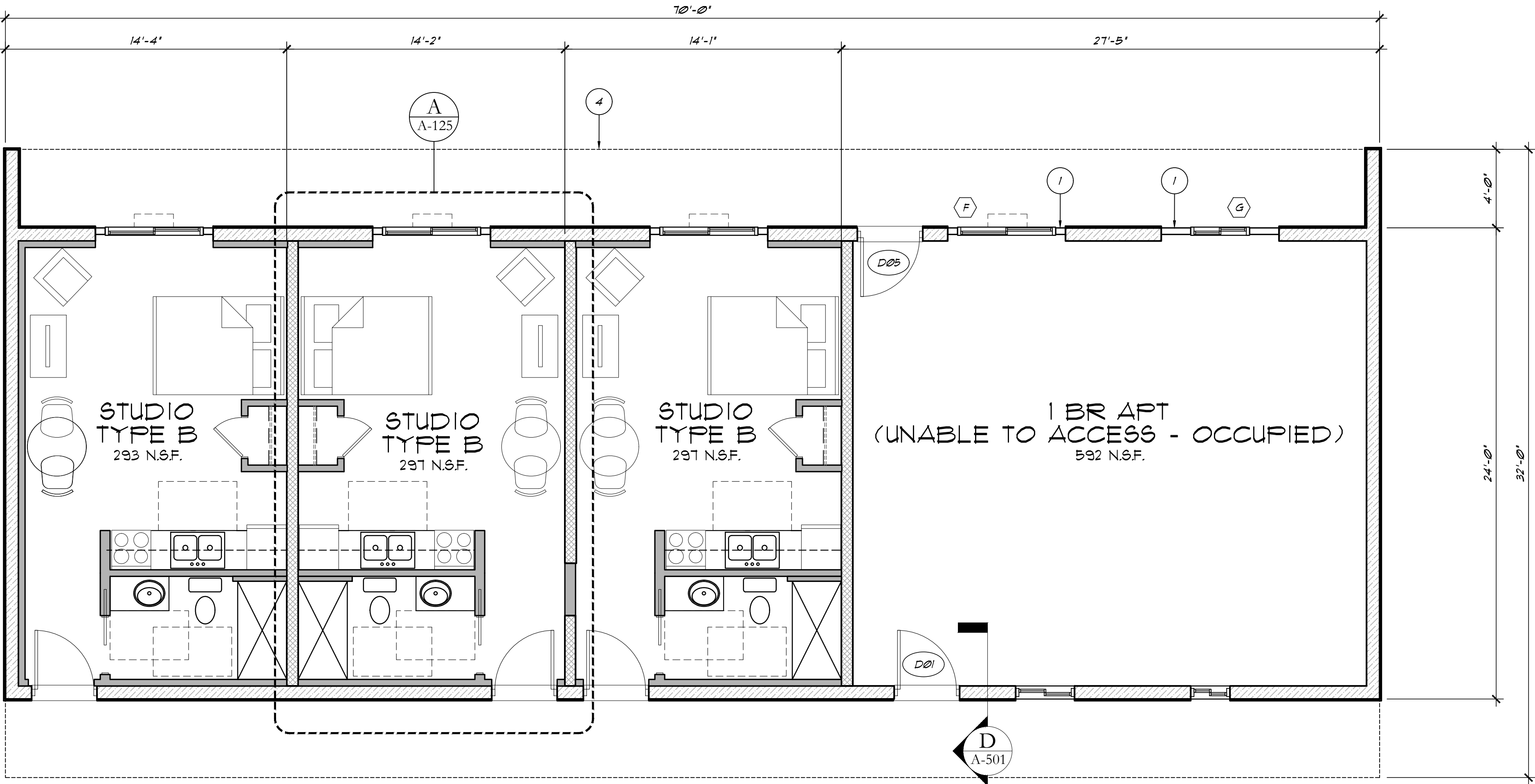
- A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- B. REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- C. REPAINT ALL BUILDING EXTERIORS.
- D. ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- E. RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

- CMU WALL
- EXTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV'S.
- INTERIOR WALL:  
2X4 STUDS  
1/2" GYPSUM BOARD
- INTERIOR WALL:  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
5/8" TYPE X DRYWALL
- NEW INTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVEING



NORTH

BUILDING B MAIN LEVEL - PROPOSED

SCALE: 1/4" = 1'-0"

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-114

BUILDING B MAIN LEVEL  
PROPOSED FLOOR PLAN



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



BLDG C APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,469 SF
UPPER LEVEL	3,209 SF
TOTAL	6,678 SF

UNIT COUNT:

STUDIO	5
1 BEDROOM	2
2 BEDROOM	4

GENERAL PLAN NOTES:

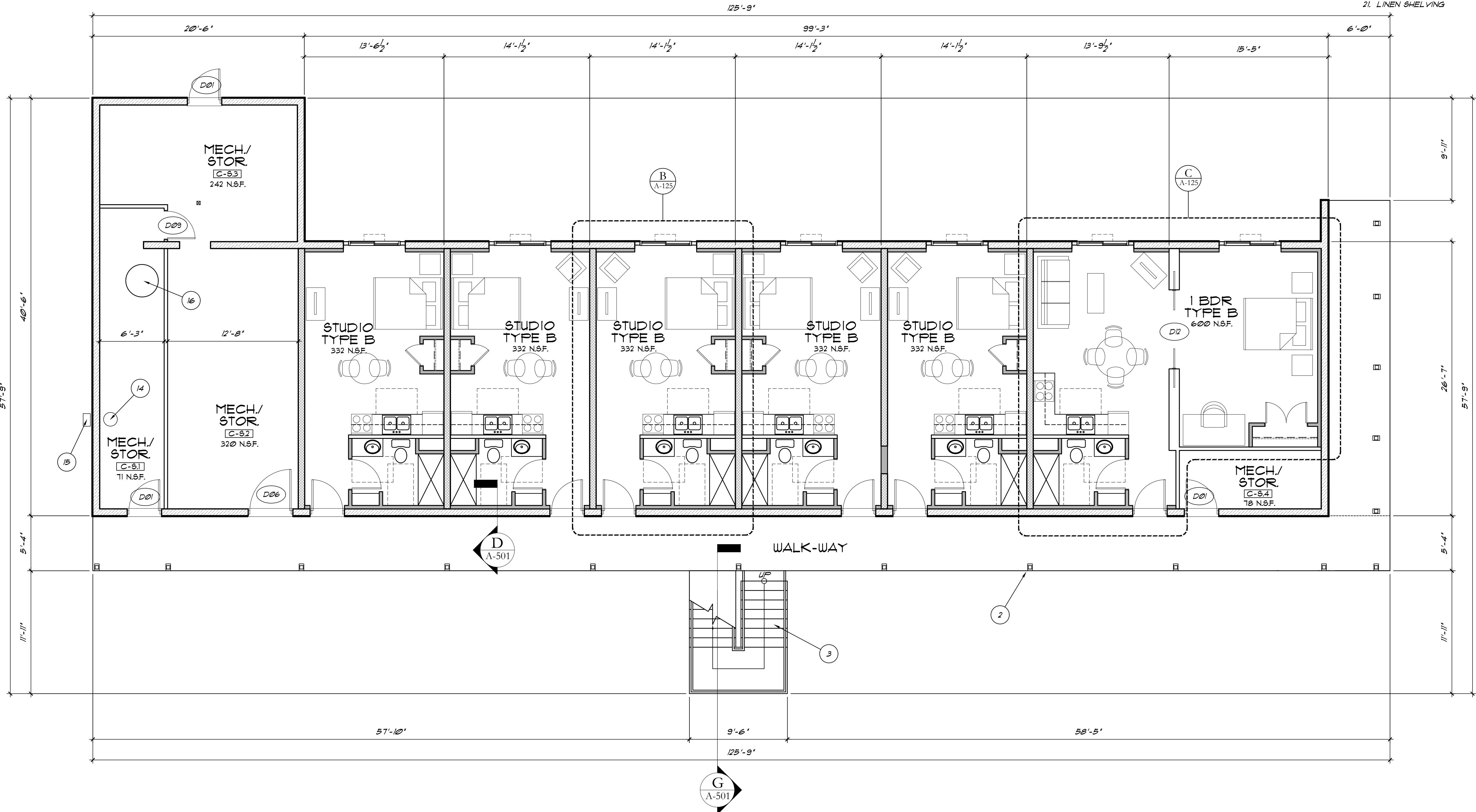
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB & SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN & STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING C MAIN LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:

△	
△	
△	
△	

A-115

BUILDING C MAIN LEVEL  
PROPOSED FLOOR PLAN



BLDG C APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,469 S.F.
UPPER LEVEL	3,209 S.F.
TOTAL	6,678 S.F.

UNIT COUNT:

STUDIO	5
1 BEDROOM	2
2 BEDROOM	4

GENERAL PLAN NOTES:

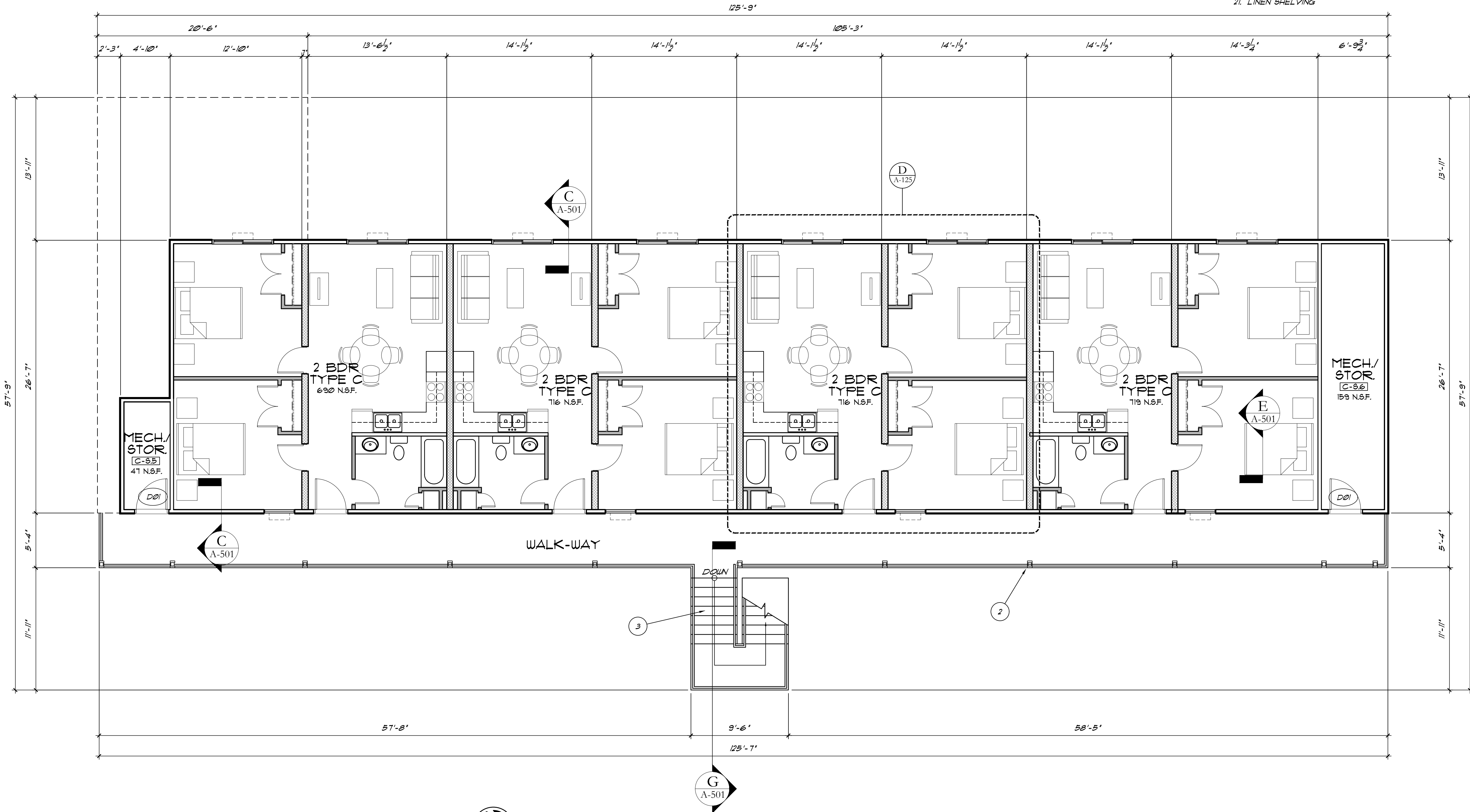
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB & SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN & STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING C UPPER LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:  
1  
2  
3  
4

A-116

BUILDING C UPPER LEVEL  
PROPOSED FLOOR PLAN



BLDG D APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,773 SF
UPPER LEVEL	3,947 SF
TOTAL	7,720 SF

UNIT COUNT:

STUDIO	8
2 BEDROOM	6

GENERAL PLAN NOTES:

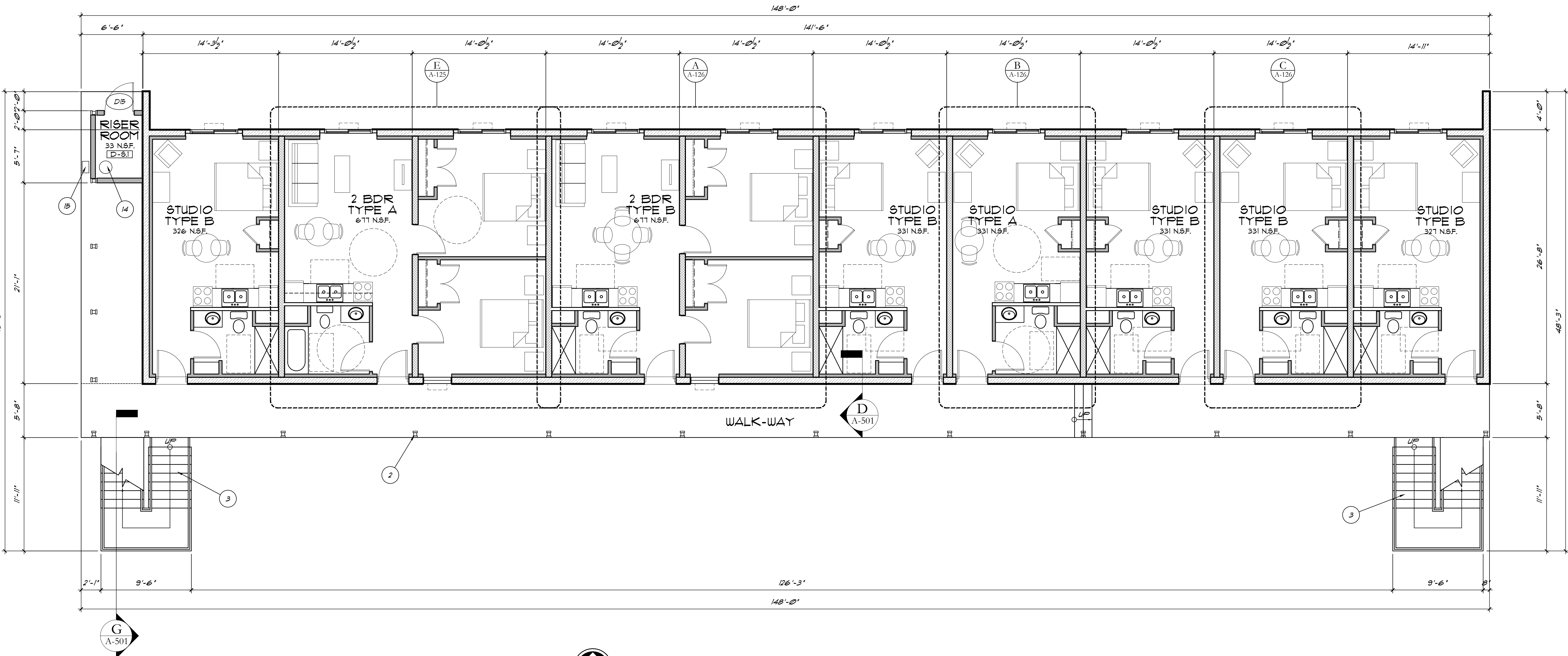
- A. CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- B. REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- C. REPAINT ALL BUILDING EXTERIORS.
- D. ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- E. RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING D MAIN LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"

**RAA**  
**REYNOLDS ASH + ASSOCIATES**  
**ARCHITECTURE ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.:	22233
DATE:	2022-11-04
DRAWN BY:	TR, MG

ISSUE RECORD:

REVISIONS:

△	
△	
△	
△	

A-117

BUILDING D MAIN LEVEL  
PROPOSED FLOOR PLAN



BLDG D APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,773 SF
UPPER LEVEL	3,947 SF
TOTAL	7,720 SF

UNIT COUNT:

STUDIO	8
2 BEDROOM	6

GENERAL PLAN NOTES:

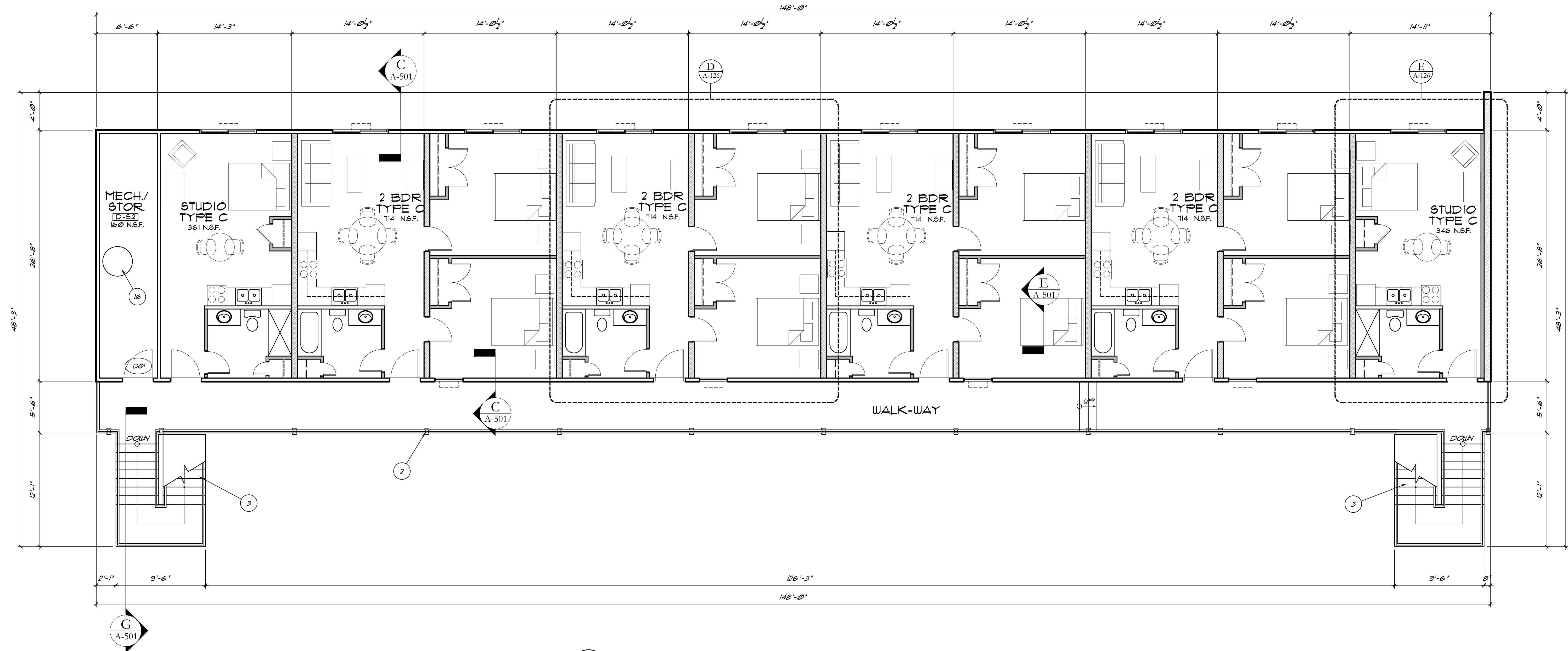
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING D UPPER LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-118

BUILDING D UPPER LEVEL  
PROPOSED FLOOR PLAN



BLDG E APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	2,665 SF
UPPER LEVEL	2,665 SF
TOTAL	5,330 SF

UNIT COUNT:

2 BEDROOM	8
-----------	---

GENERAL PLAN NOTES:

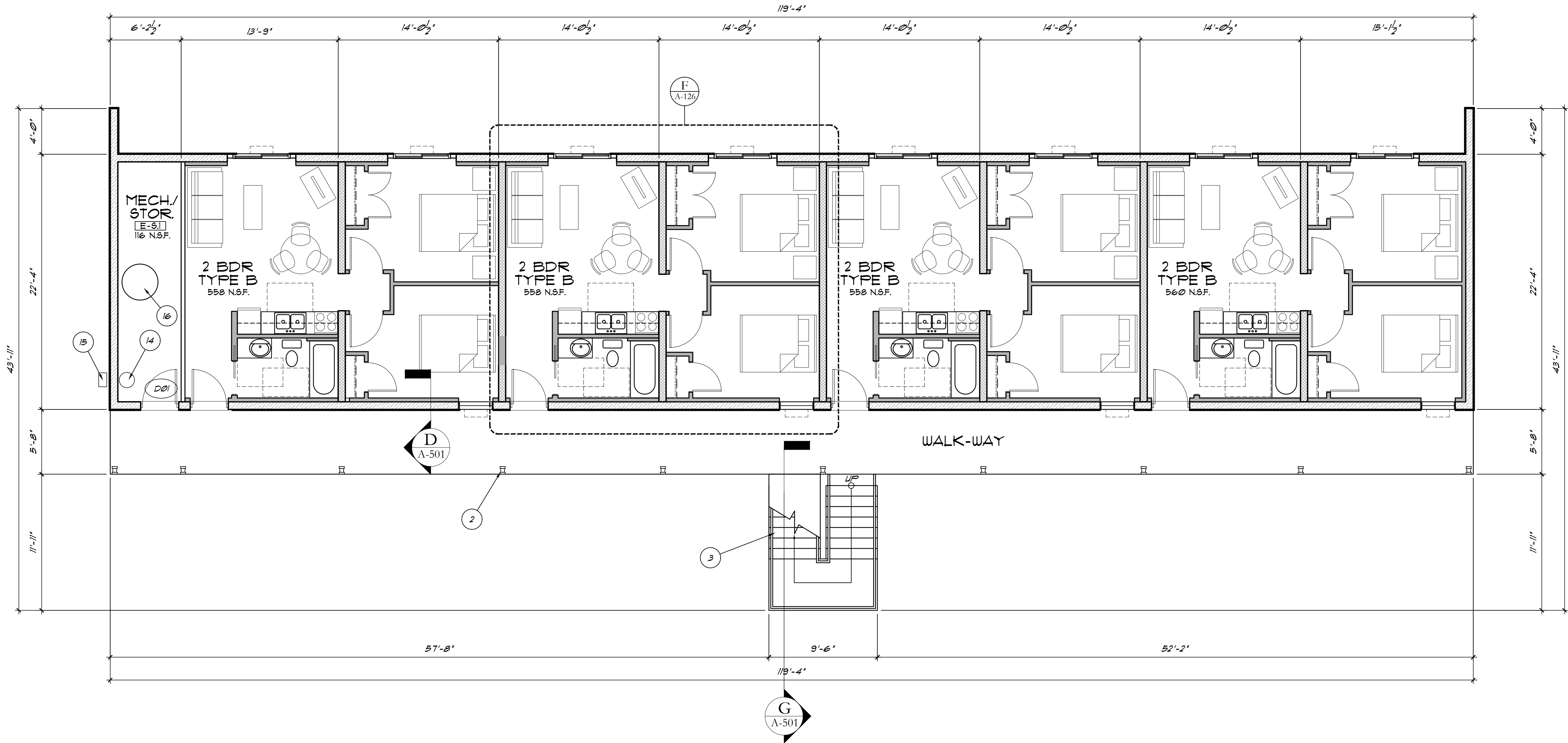
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING E MAIN LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:  
1  
2  
3  
4

A-119

BUILDING E MAIN LEVEL  
PROPOSED FLOOR PLAN

BLDG E APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	2,665 S.F.
UPPER LEVEL	2,665 S.F.
TOTAL	5,330 S.F.

UNIT COUNT:

2 BEDROOM	8
-----------	---

GENERAL PLAN NOTES:

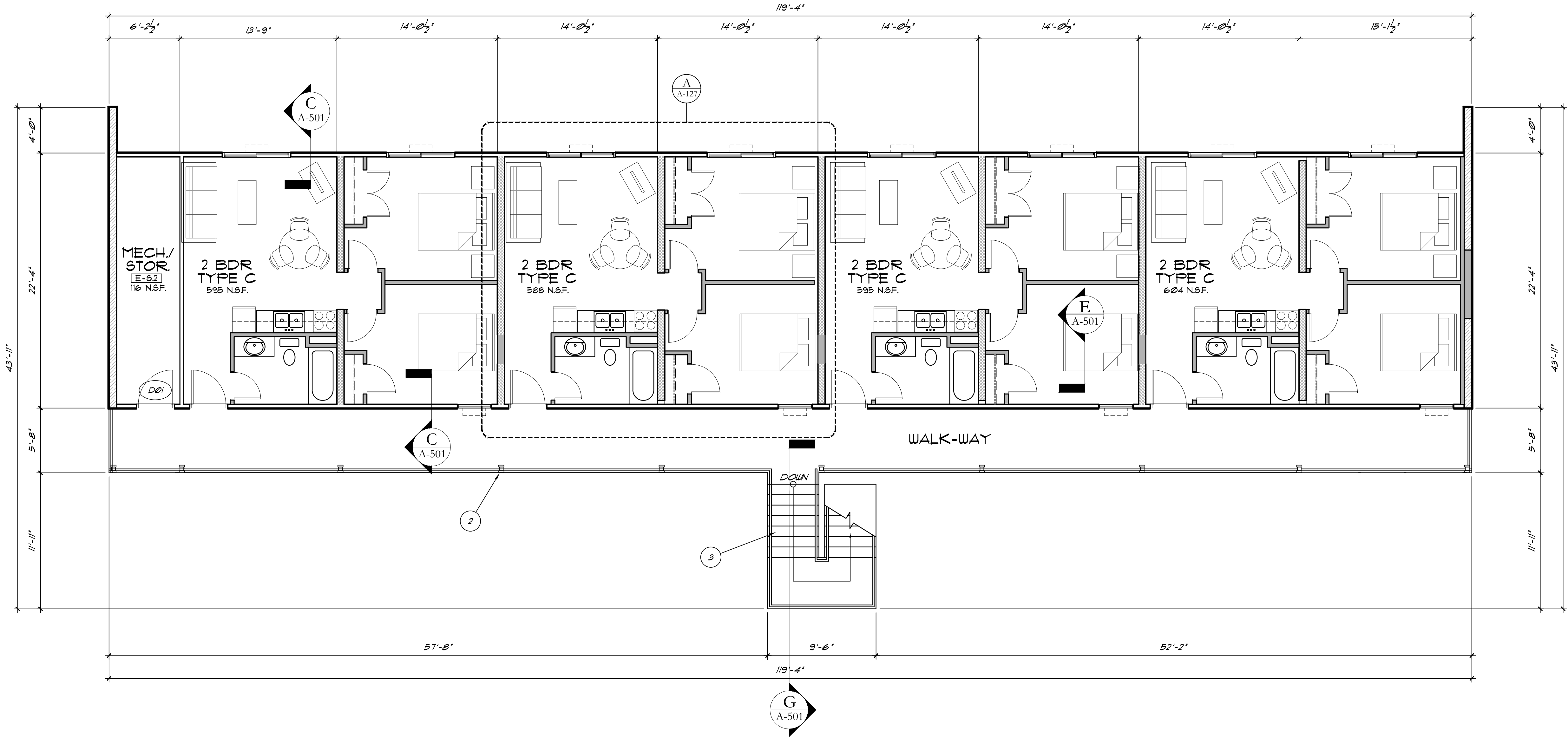
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING E UPPER LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-120

BUILDING E UPPER LEVEL  
PROPOSED FLOOR PLAN



BLDG F APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,022 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,044 S.F.

UNIT COUNT:

STUDIO	2
2 BEDROOM	8

GENERAL PLAN NOTES:

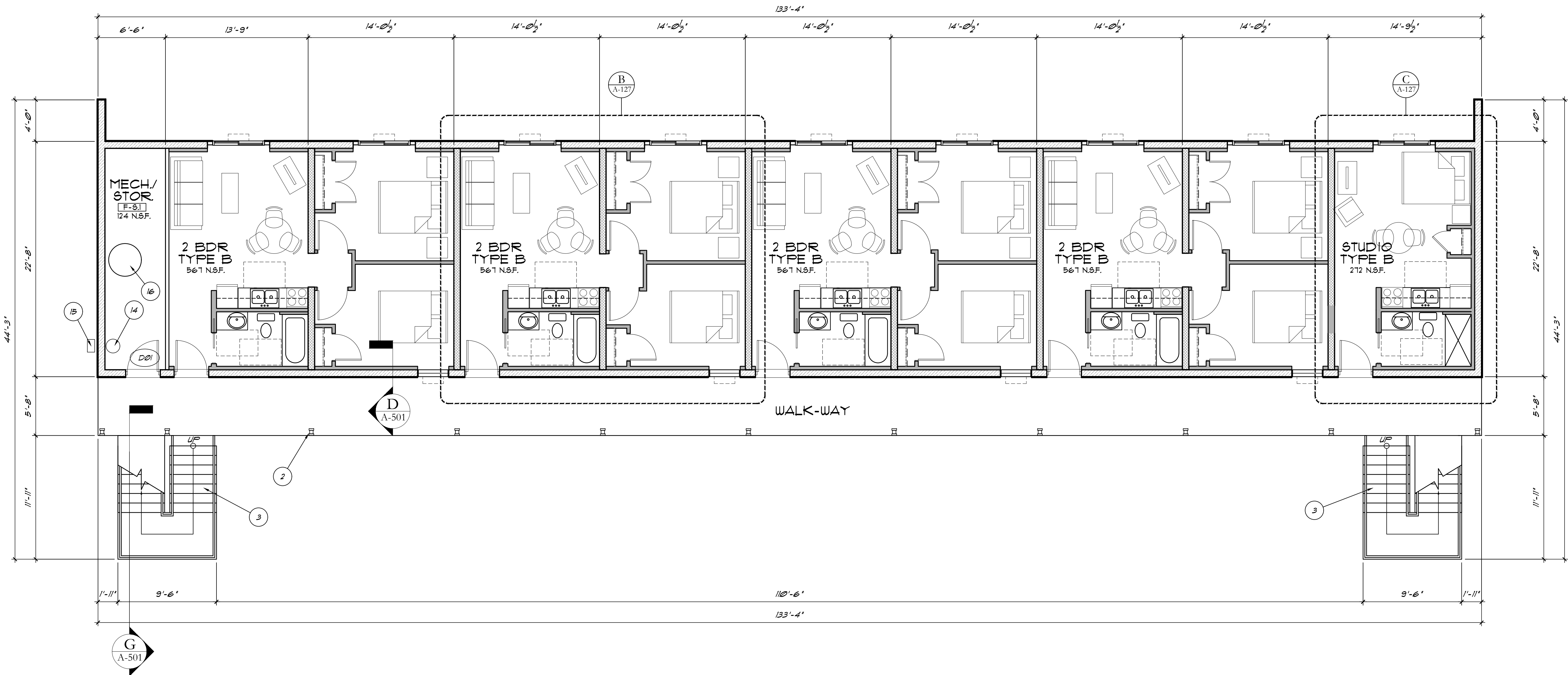
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6' WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING F MAIN LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:  
1  
2  
3  
4

A-121

BUILDING F MAIN LEVEL  
PROPOSED FLOOR PLAN



BLDG F APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,022 S.F.
UPPER LEVEL	3,022 S.F.
TOTAL	6,044 S.F.

UNIT COUNT:

STUDIO	2
2 BEDROOM	8

GENERAL PLAN NOTES:

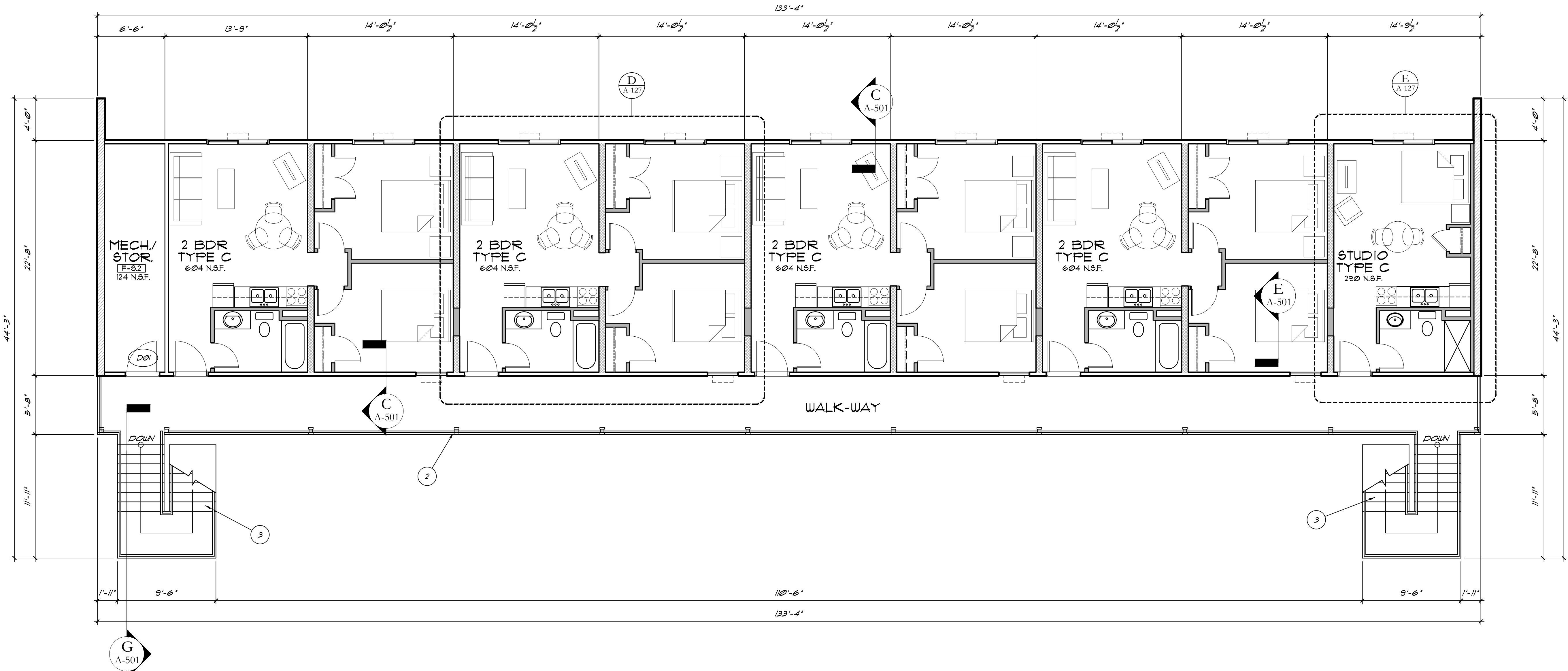
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING F UPPER LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-122

BUILDING F UPPER LEVEL  
PROPOSED FLOOR PLAN

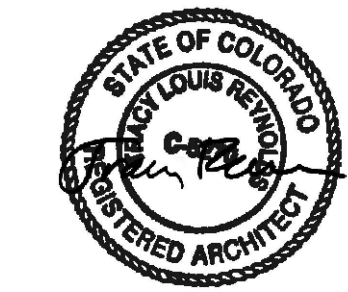
**RAA**  
**REYNOLDS ASH + ASSOCIATES**  
**ARCHITECTURE ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C., EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE, OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RAA ARCHITECTS, P.C.





BLDG G APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,240 SF.
UPPER LEVEL	3,022 SF.
TOTAL	6,262 SF.

UNIT COUNT:

STUDIO	2
1 BEDROOM	8

GENERAL PLAN NOTES:

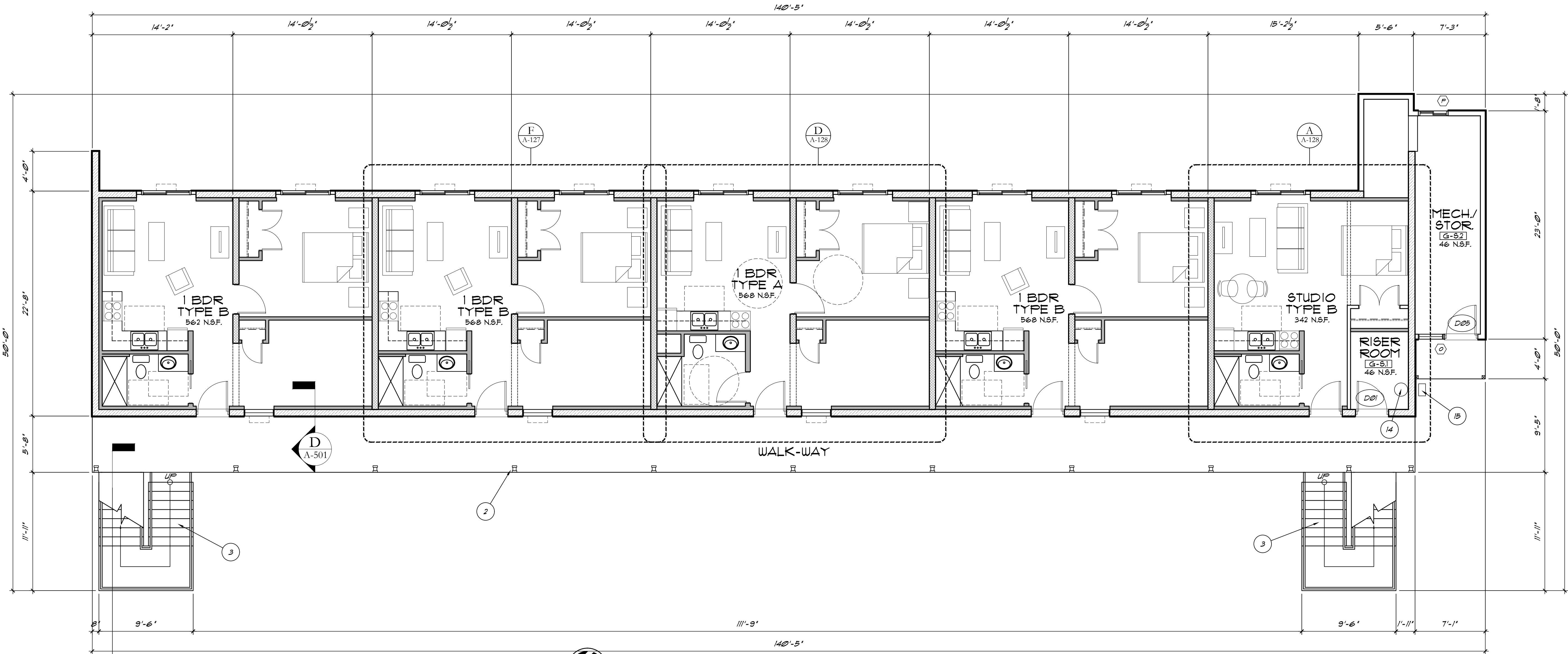
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEV'S.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING G MAIN LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-123

BUILDING G MAIN LEVEL  
PROPOSED FLOOR PLAN

**RAA**  
**REYNOLDS ASH + ASSOCIATES**  
**ARCHITECTURE ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.





BLDG G APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	3,240 SF.
UPPER LEVEL	3,022 SF.
TOTAL	6,262 SF.

UNIT COUNT:

STUDIO	2
1 BEDROOM	8

GENERAL PLAN NOTES:

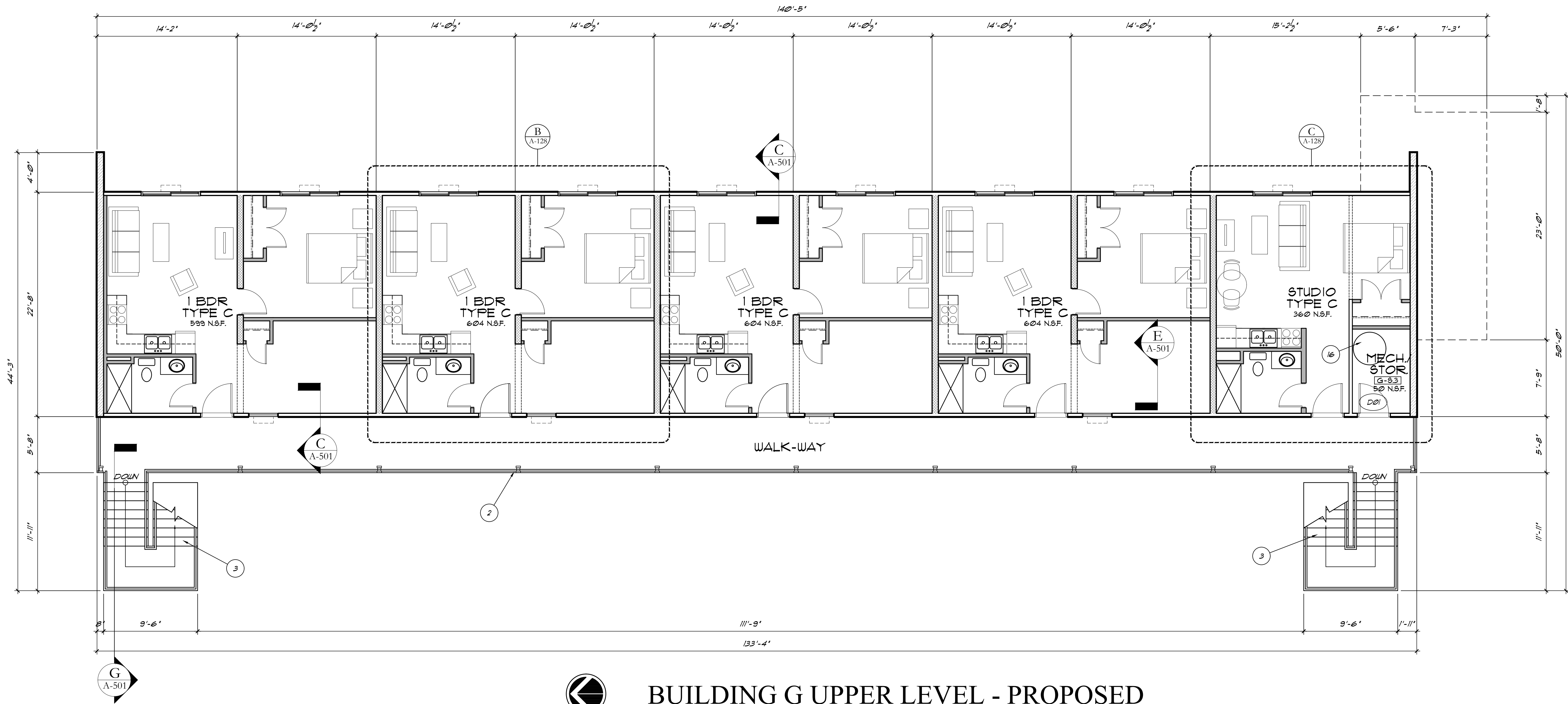
- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

	CMU WALL
	EXTERIOR WALL: 2X4 STUDS @ 16" O.C. 1/2" OSB SHEATHING WATER BARRIER + EXT. FINISH PER ELEVS.
	INTERIOR WALL: 2X4 STUDS 1/2" GYPSUM BOARD
	INTERIOR WALL: STAGGERED 2X4 STUDS ON 2X6 PLATE 5/8" TYPE X DRYWALL
	NEW INTERIOR WALL: 2X4 STUDS @ 16" O.C. R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVING



BUILDING G UPPER LEVEL - PROPOSED

SCALE: 3/16" = 1'-0"



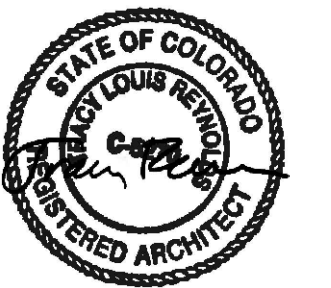
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

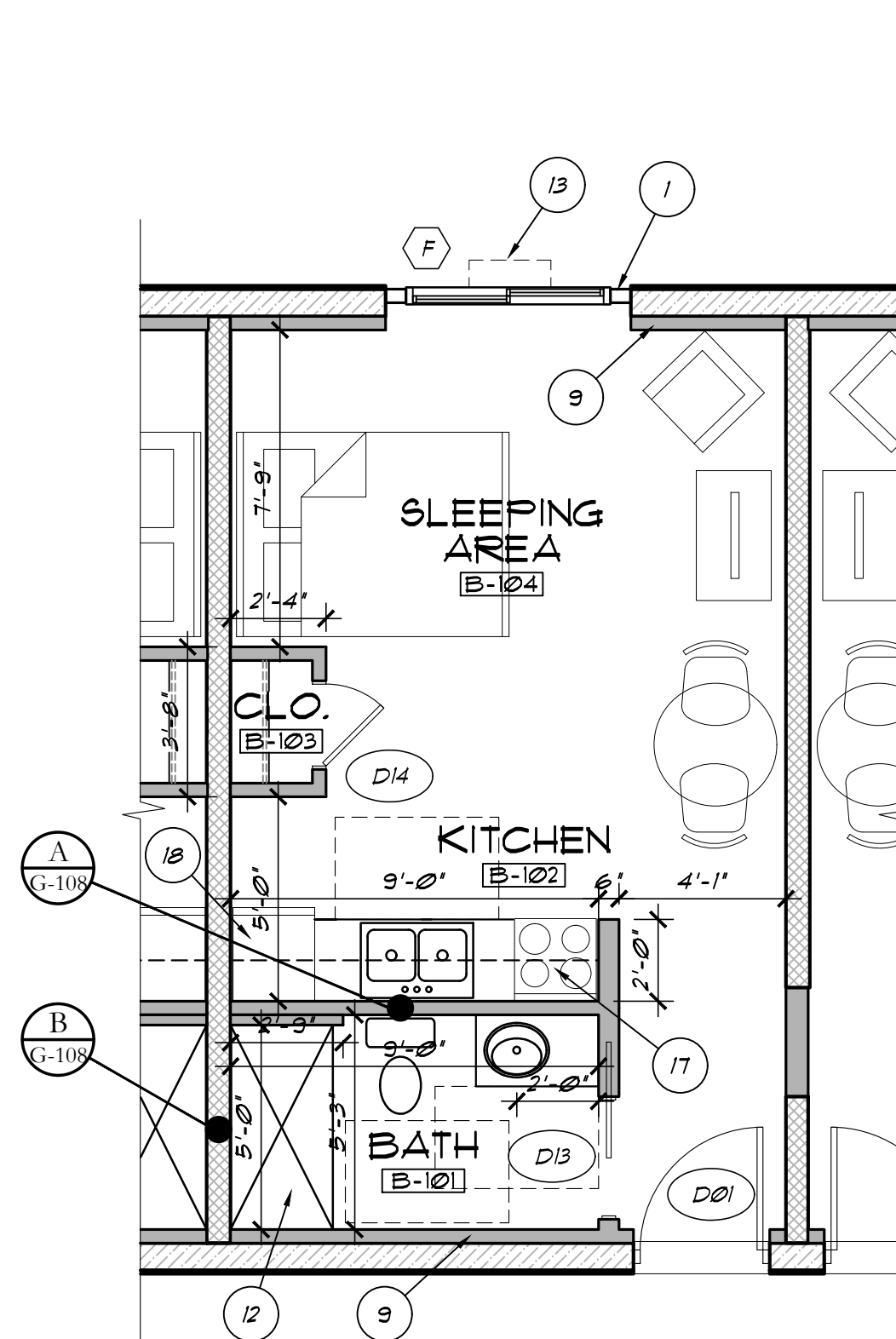
ISSUE RECORD:

REVISIONS:

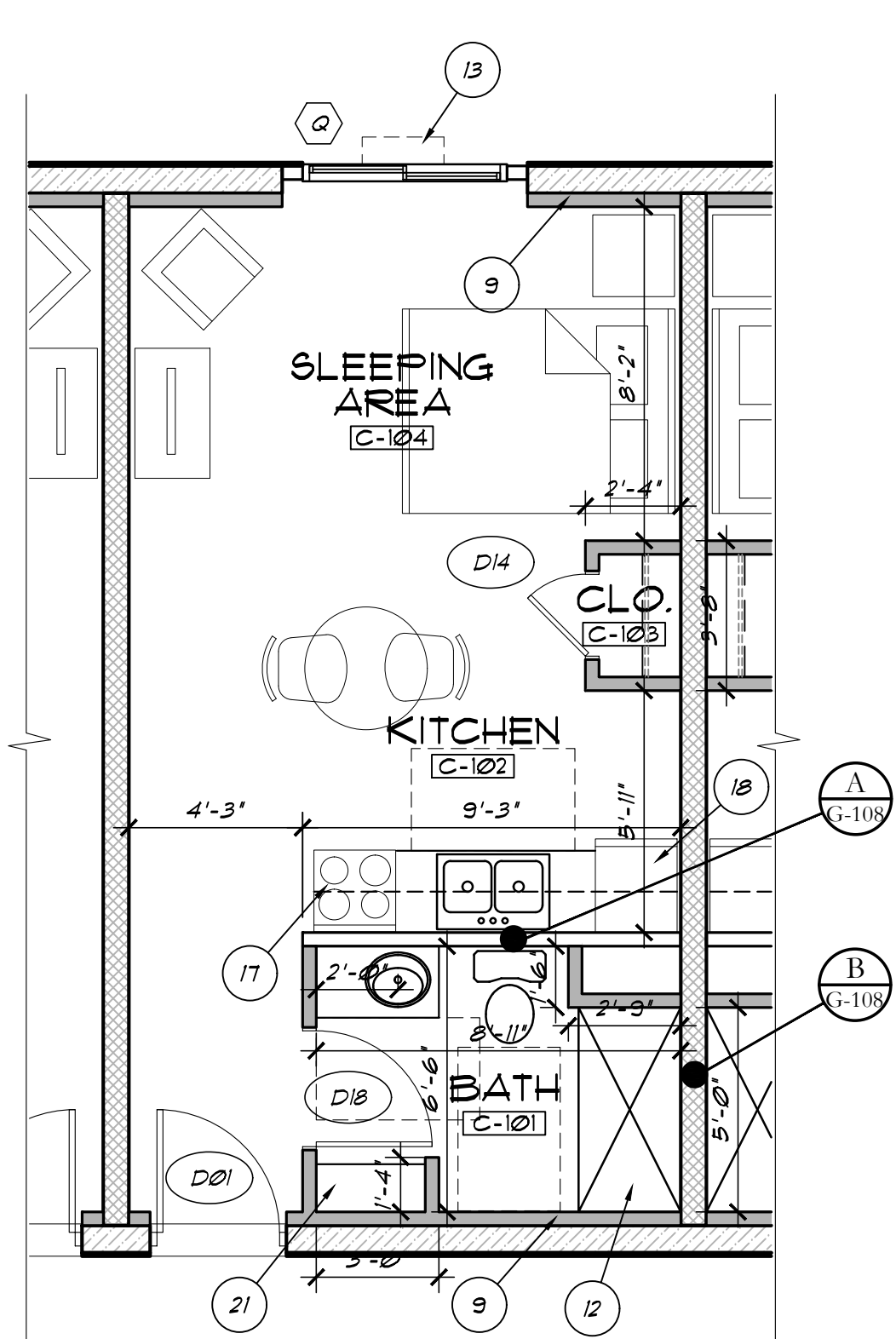
A-124

BUILDING G UPPER LEVEL  
PROPOSED FLOOR PLAN

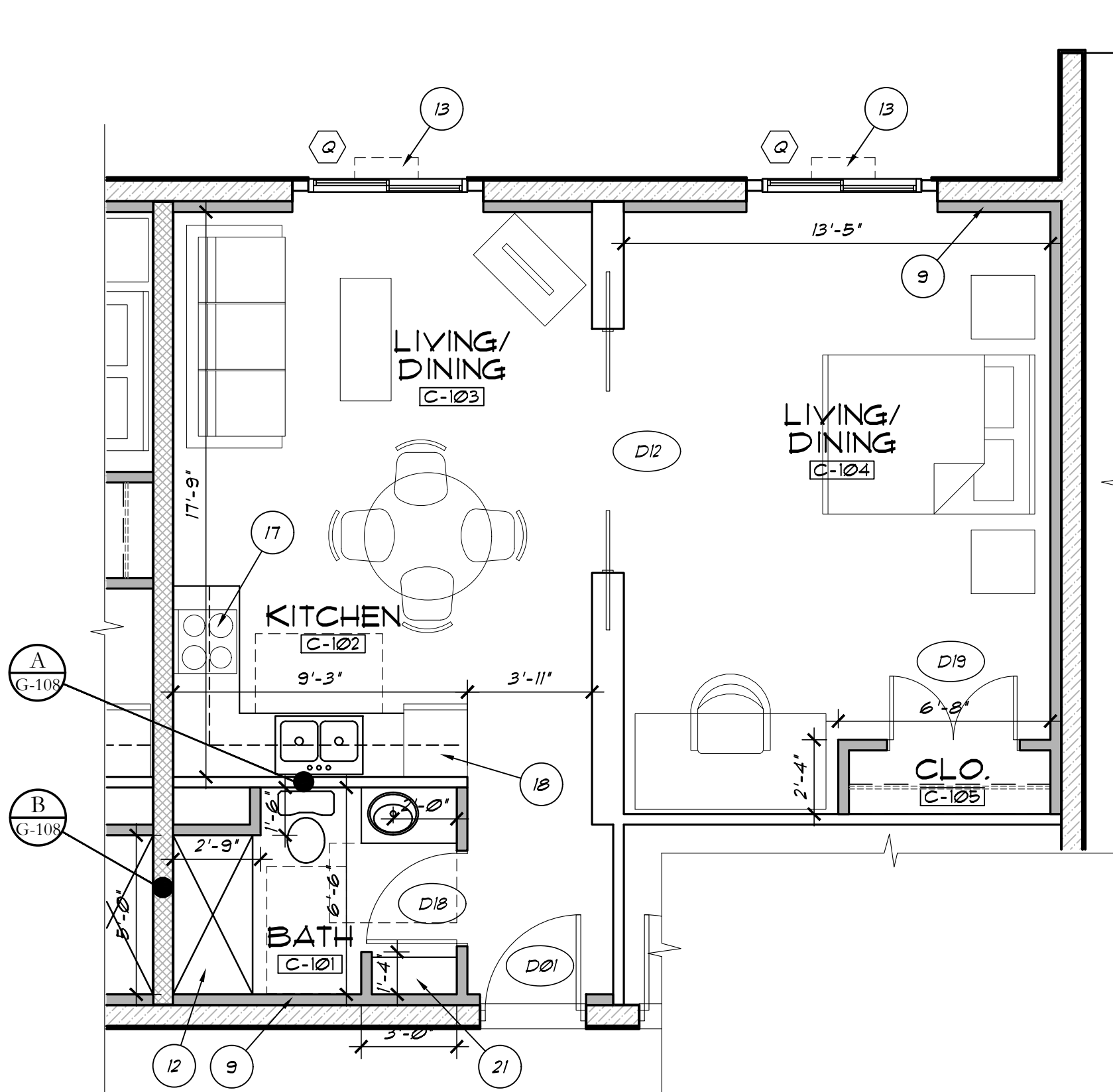




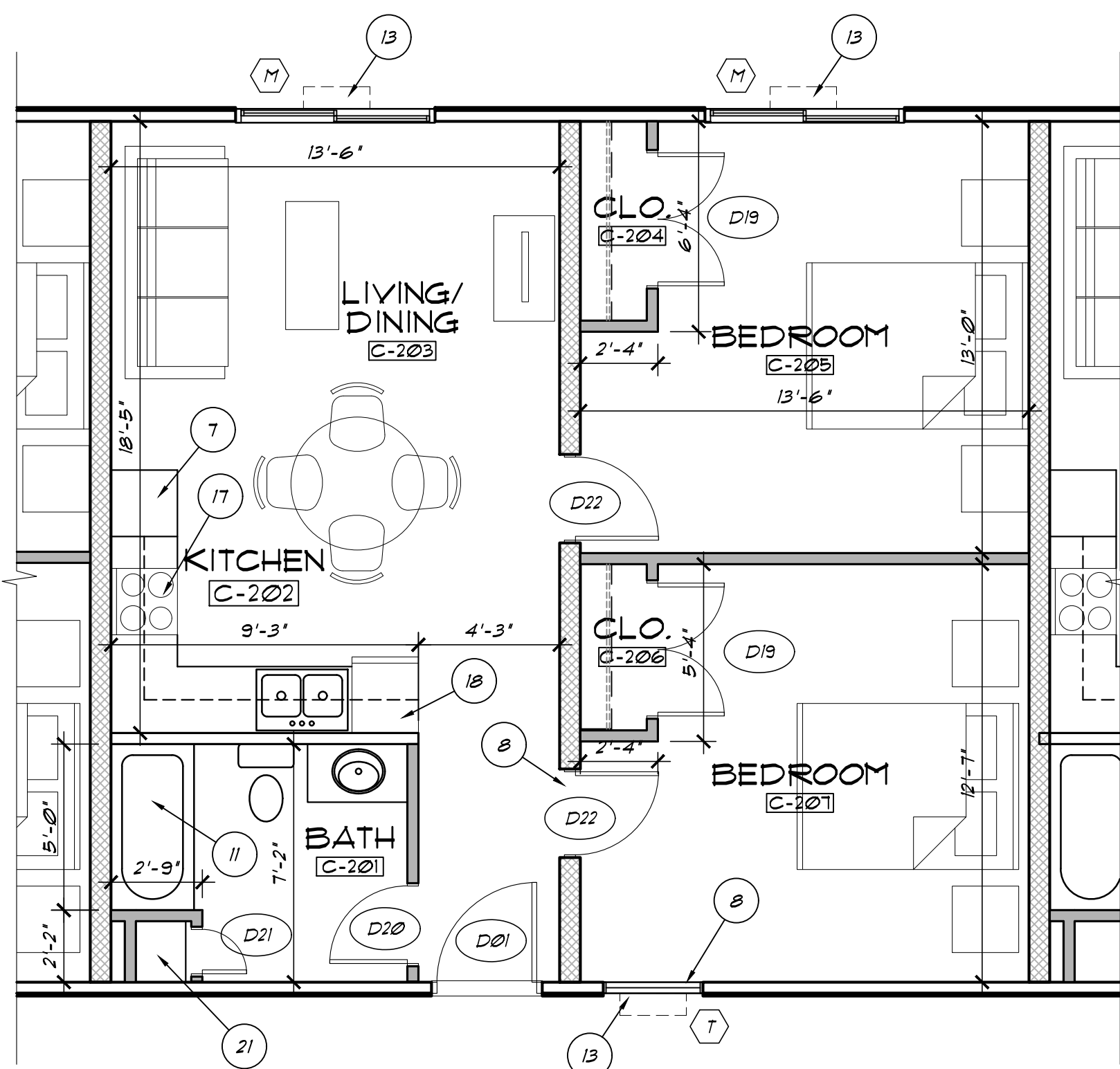
BLDG B STUDIO TYPE B **A**  
SCALE: 1/4" = 1'-0" **A-125**



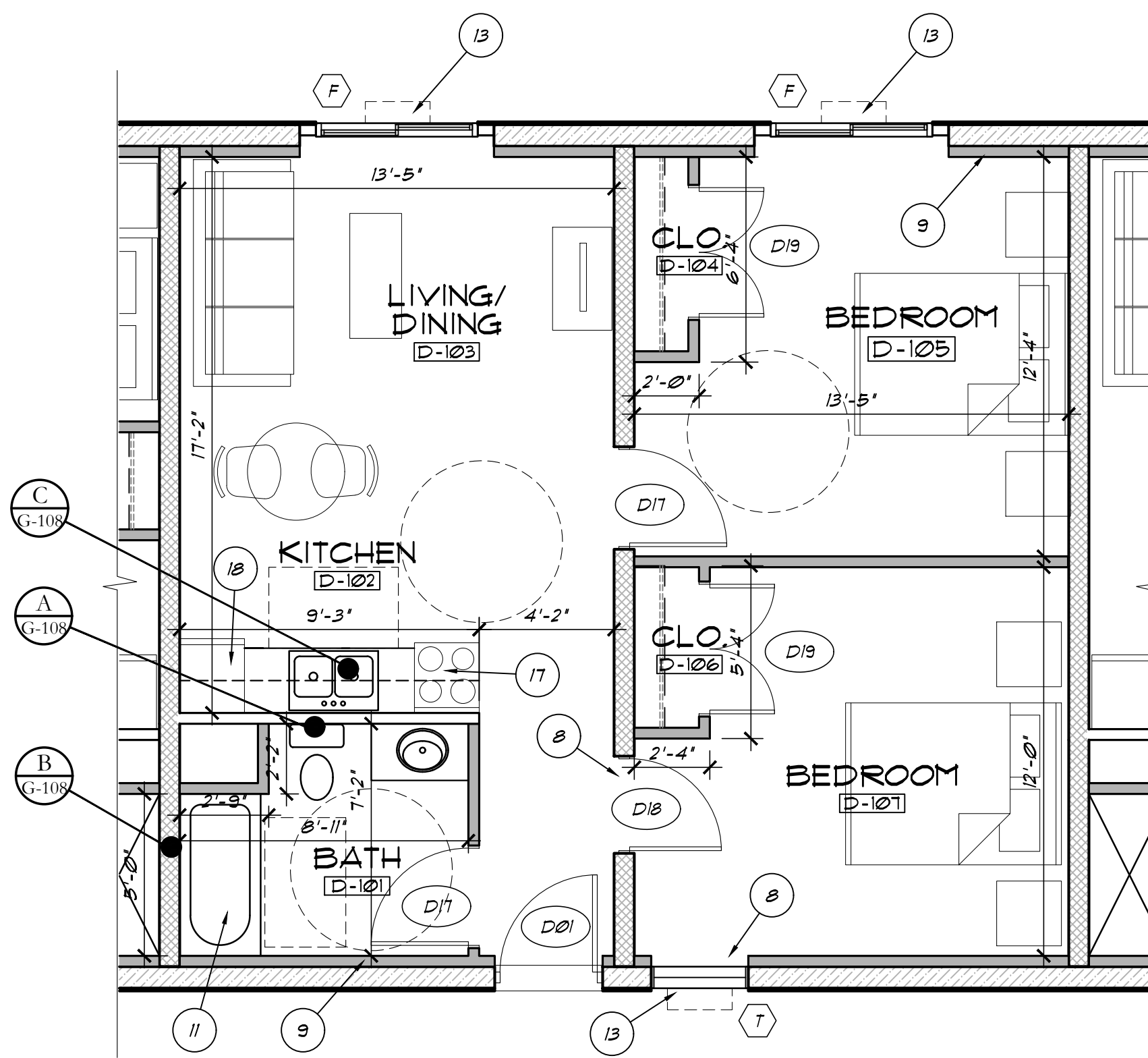
BLDG C STUDIO TYPE B **B**  
SCALE: 1/4" = 1'-0" **A-125**



BLDG C 1 BDR TYPE B **C**  
SCALE: 1/4" = 1'-0" **A-125**



BLDG C 2 BDR TYPE C **E**  
SCALE: 1/4" = 1'-0" **A-125**



BLDG D 2 BDR TYPE A **F**  
SCALE: 1/4" = 1'-0" **A-125**

#### GENERAL PLAN NOTES:

- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

#### WALL TYPE LEGEND:

- CMU WALL
- EXTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV.
- INTERIOR WALL:  
2X4 STUDS  
1/2" GYPSUM BOARD
- INTERIOR WALL:  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
5/8" TYPE X DRYWALL
- NEW INTERIOR WALL:  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION

#### FLOOR PLAN KEY NOTES:

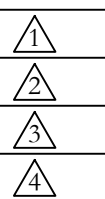
- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVE

## ZUMA APARTMENTS - MESA VERDE HOTEL CONVERSION

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

#### ISSUE RECORD:

#### REVISIONS:



**A-125**

UNIT PLANS



**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

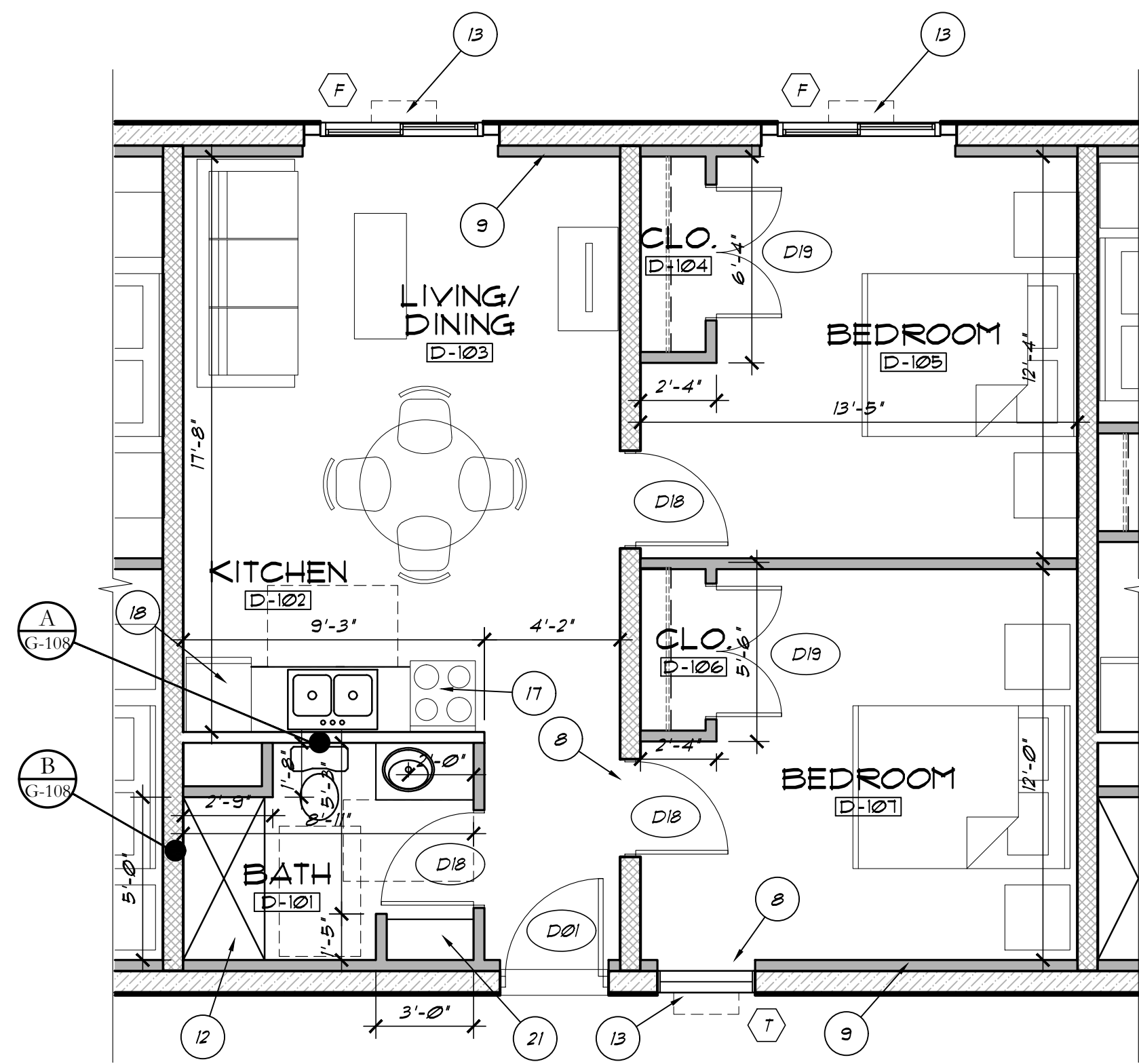
564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-4884  
FAX (970) 264-0997

RA-AE.COM

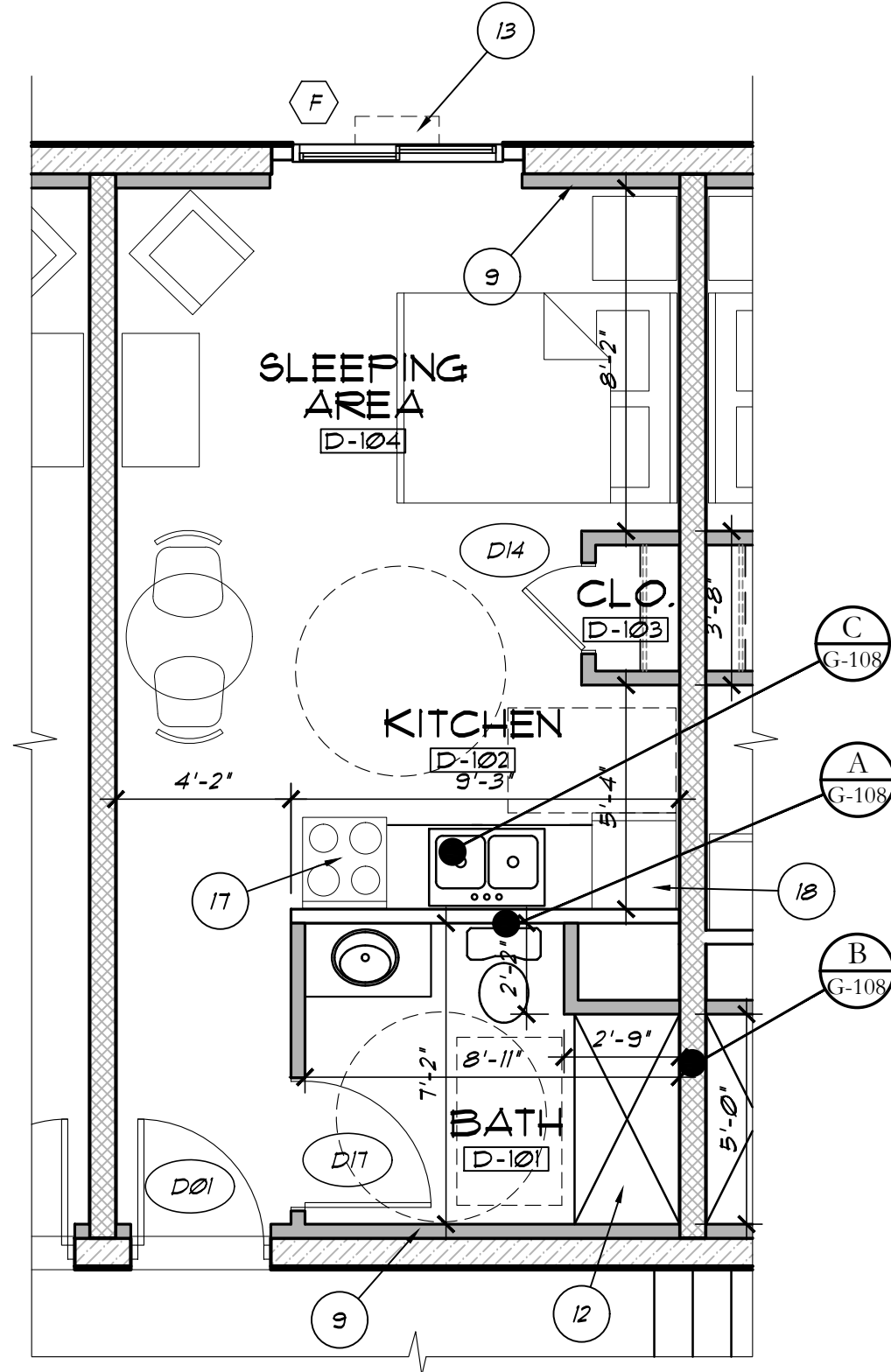
REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

640 S BROADWAY  
CORTEZ, CO 81321

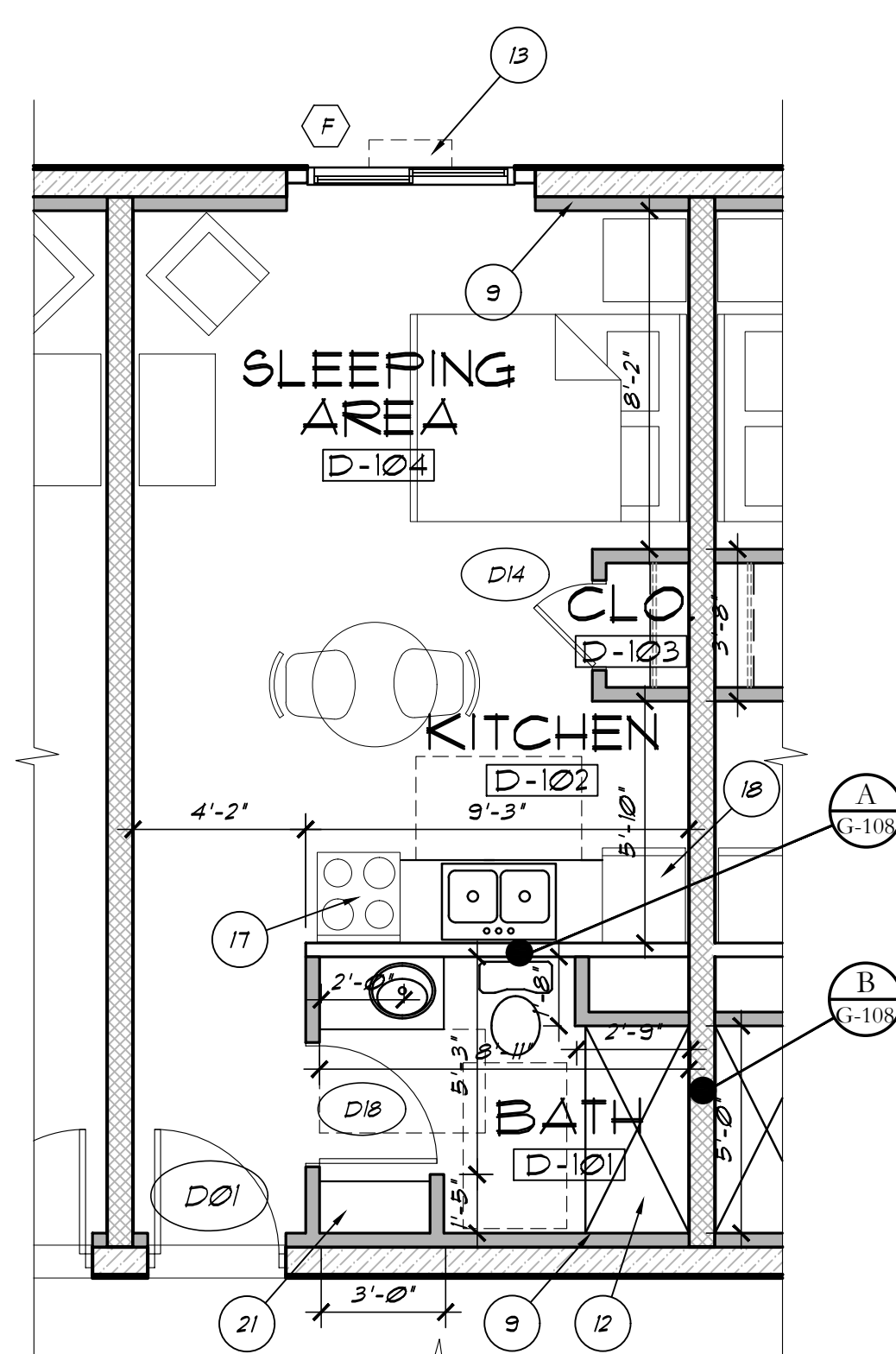




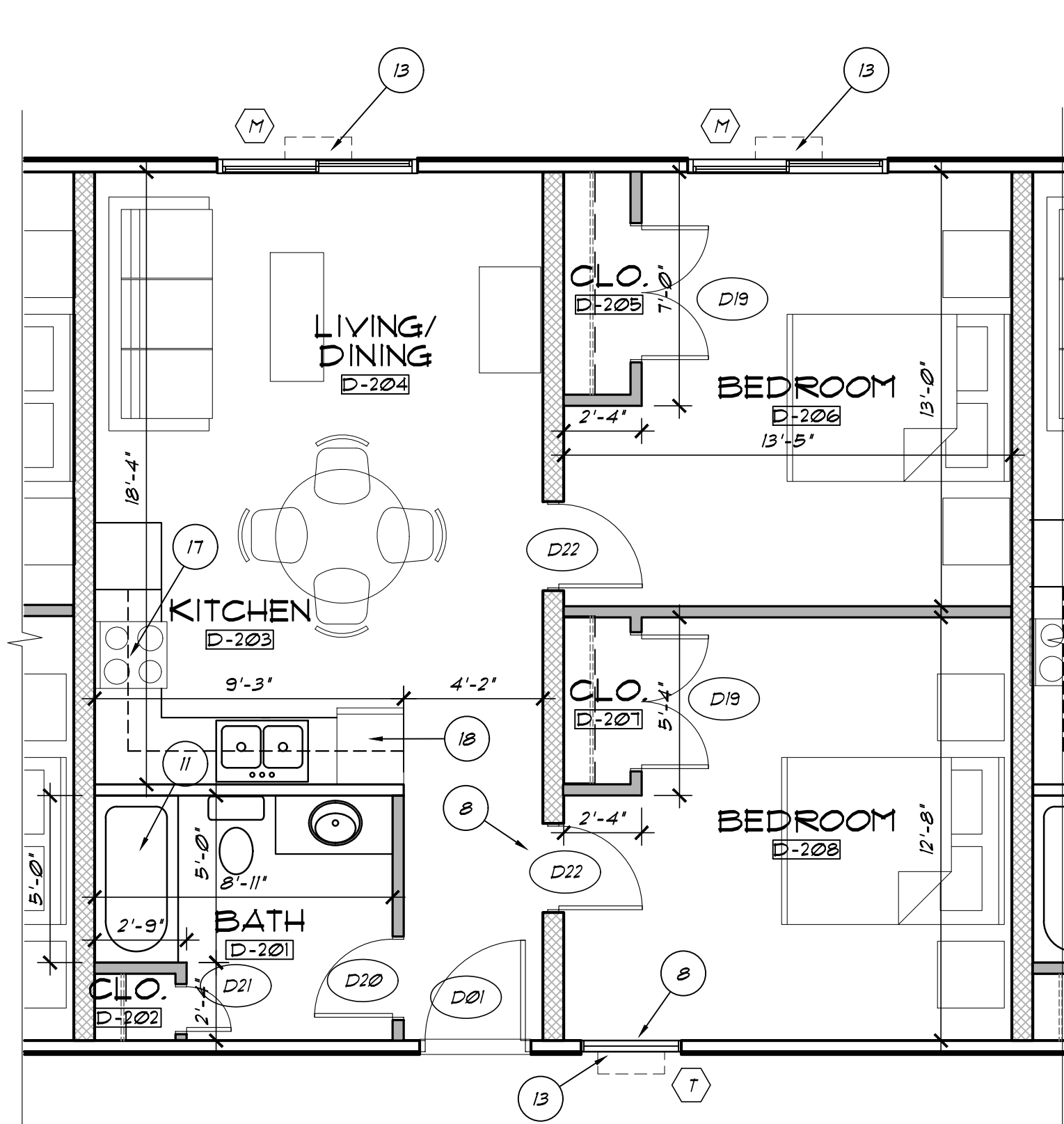
BLDG D 2 BDR TYPE B **A**  
SCALE: 1/4" = 1'-0"  
A-126



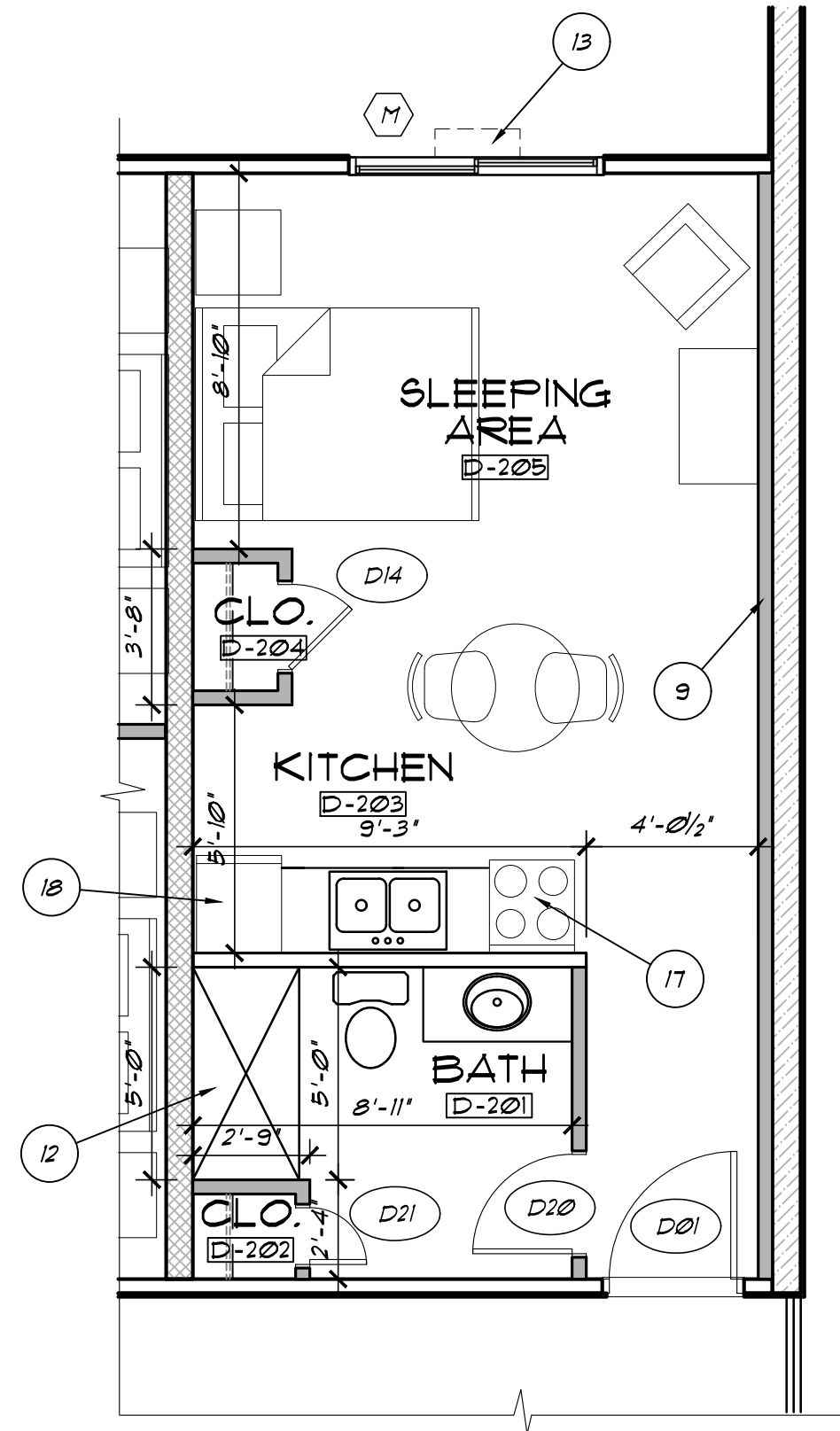
BLDG D STUDIO TYPE A **B**  
SCALE: 1/4" = 1'-0"  
A-126



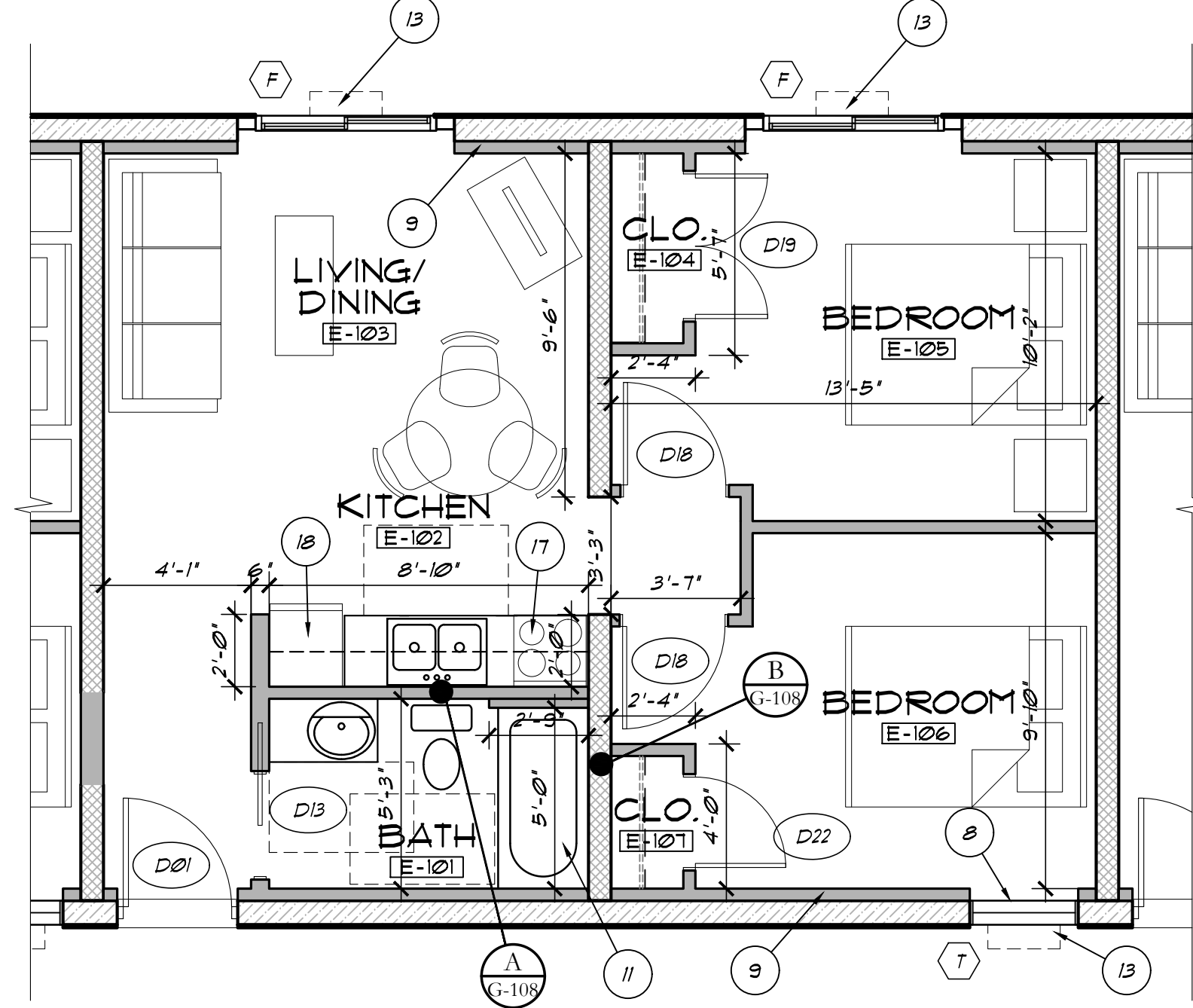
BLDG D STUDIO TYPE B **C**  
SCALE: 1/4" = 1'-0"  
A-126



BLDG D 2 BDR TYPE C **D**  
SCALE: 1/4" = 1'-0"  
A-126



BLDG D STUDIO TYPE C **E**  
SCALE: 1/4" = 1'-0"  
A-126



BLDG E 2 BDR TYPE B **F**  
SCALE: 1/4" = 1'-0"  
A-126

GENERAL PLAN NOTES:

- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

- CMU WALL**
- EXTERIOR WALL:**  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV.
- INTERIOR WALL:**  
2X4 STUDS  
1/2" GYPSUM BOARD
- INTERIOR WALL:**  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
5/8" TYPE X DRYWALL
- NEW INTERIOR WALL:**  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVE



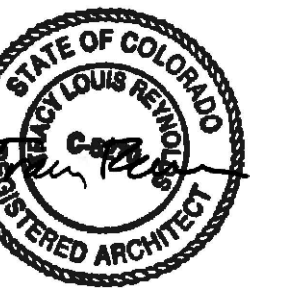
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 36  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AA.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



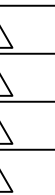
**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**

**640 S BROADWAY  
CORTEZ, CO 81321**

JOB NO.: **22233**  
DATE: **2022-11-04**  
DRAWN BY: **TR, MG**

ISSUE RECORD:

REVISIONS:



**A-126**

UNIT PLANS

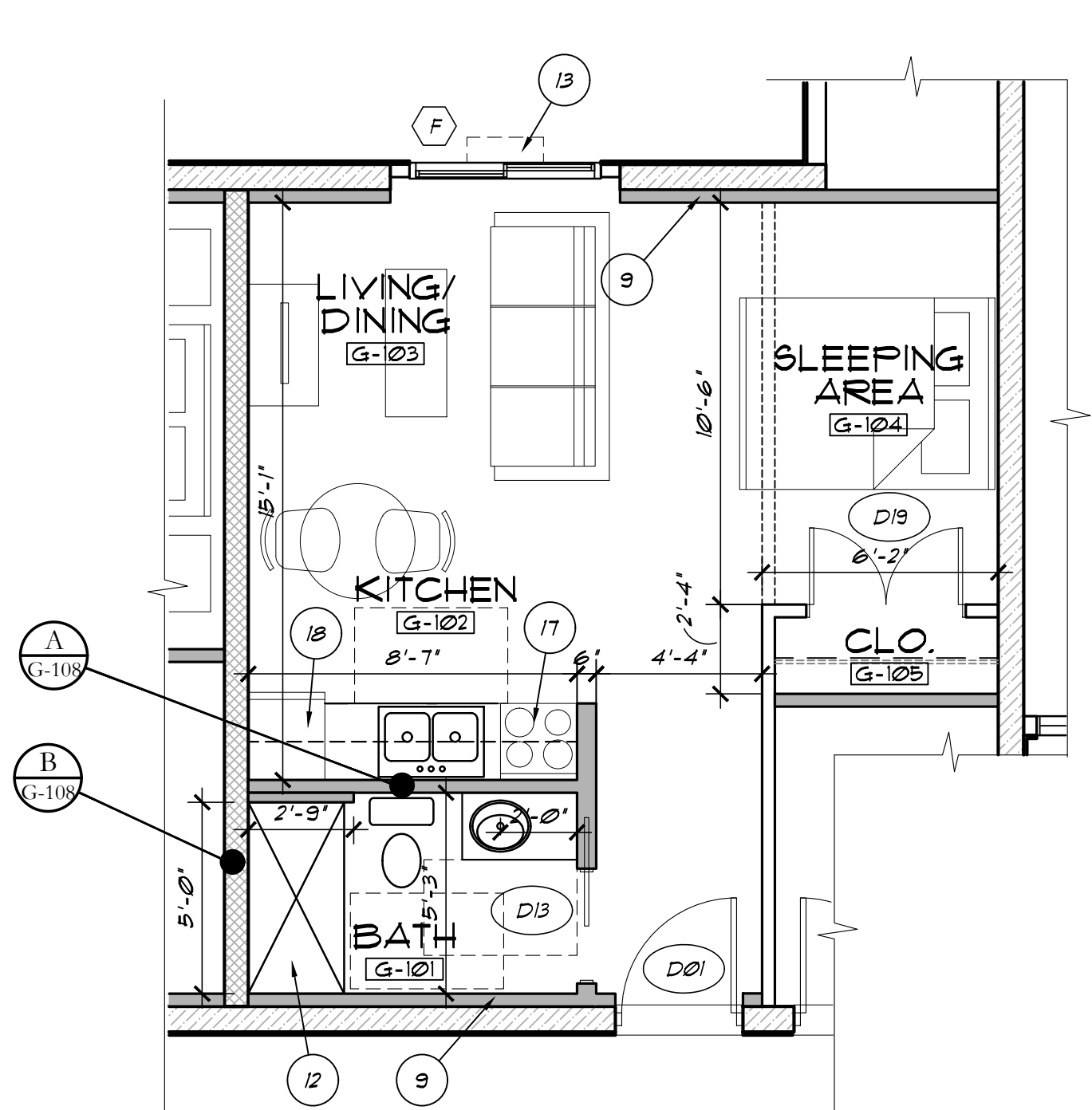




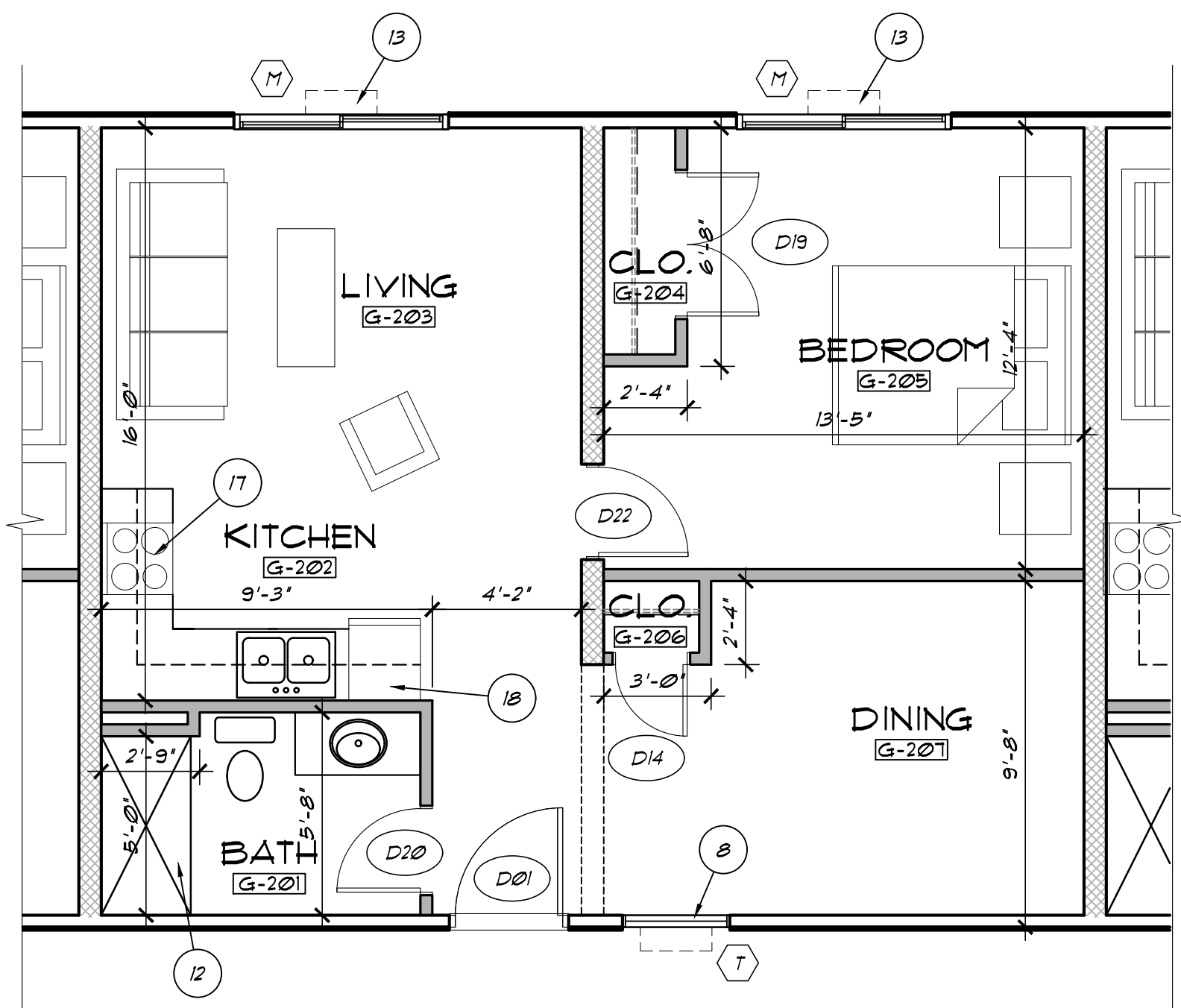
1. 6' WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
2. WOOD POST; TRUE 4X4 CORE W/ TRUE 2X6 FACES
3. C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
4. FLAT ROOF OVERHANG
5. NEW OPENING IN CMU WALL
6. FRAME-IN OLD OPENING
7. PANTRY CABINET
8. RE-USE EXISTING OPENING
9. 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
10. PRE-FAB 42"X42" FIBERGLASS SHOWER
11. FIBERGLASS 60"X30" TUB & SHOWER UNIT
12. PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
13. NEW ELECTRICAL PTAC UNITS
14. FIRE RISER
15. HORN & STROBE
16. BOILER (SERVES ALL UNITS IN BUILDING)
17. 24" RANGE W/ MICROWAVE ABOVE
18. 24" REFRIGERATOR
19. FURNACE
20. TANKLESS WATER HEATER
21. LINEN SHELVING



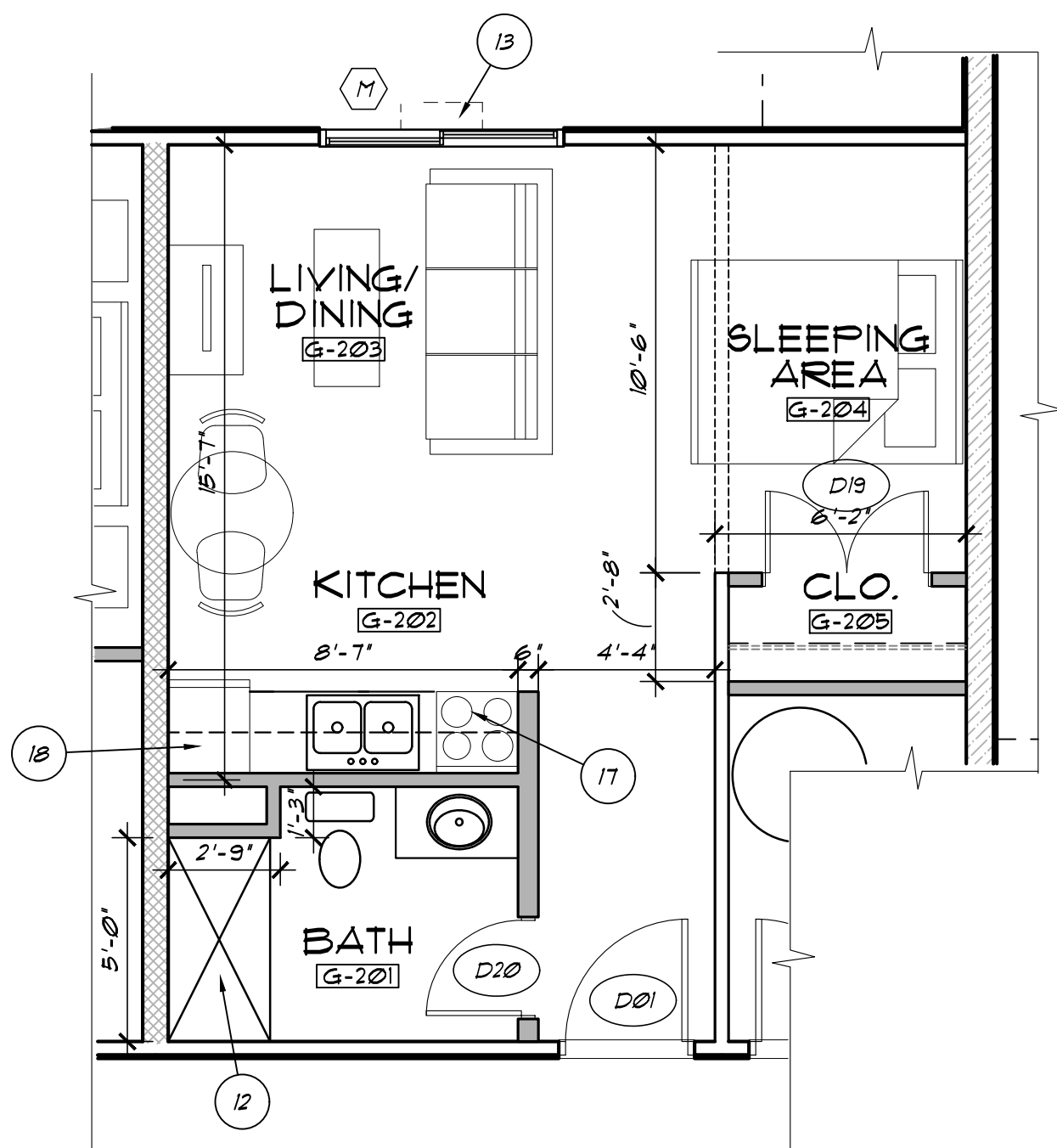




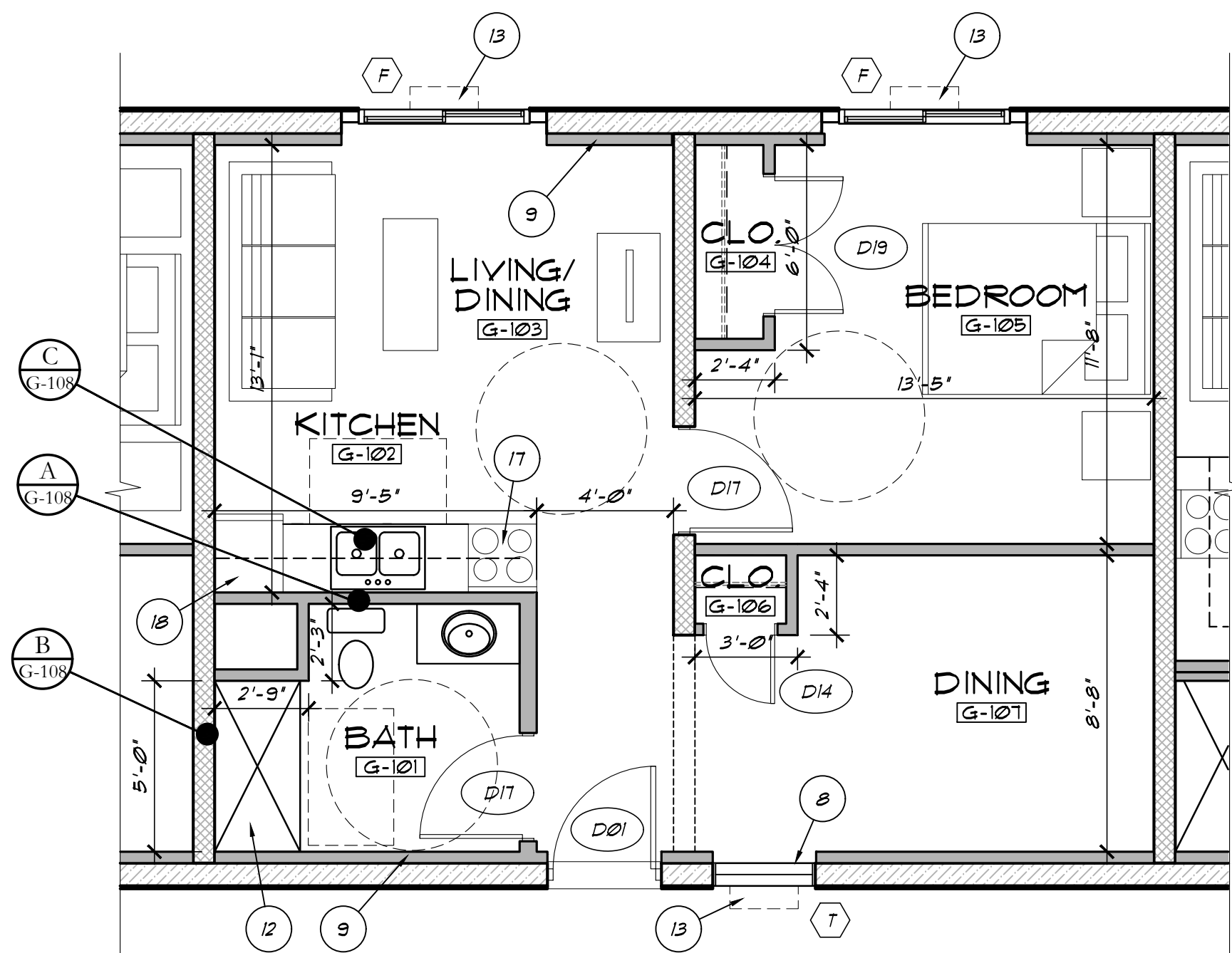
BLDG G STUDIO TYPE B **A**  
SCALE: 1/4" = 1'-0" **A-128**



BLDG G 1 BDR TYPE C **B**  
SCALE: 1/4" = 1'-0" **A-128**



BLDG G STUDIO TYPE C **C**  
SCALE: 1/4" = 1'-0" **A-128**



BLDG G 1 BDR TYPE A **D**  
SCALE: 1/4" = 1'-0" **A-128**

GENERAL PLAN NOTES:

- CELOTEX BOARD IN DIVIDING WALLS BETWEEN ROOMS MAY CONTAIN ASBESTOS. OWNER SHOULD HAVE BOARDS TESTED AND COMPLY WITH ALL LEGAL REQUIREMENTS FOR HANDLING IT, IF FOUND TO CONTAIN ASBESTOS MATERIAL.
- REPAIR OR REPLACE EXISTING SIDING AND TRIM AS NECESSARY.
- REPAINT ALL BUILDING EXTERIORS.
- ALL UNITS TO BE RE-WIRED AND BROUGHT UP TO 2017 IEC.
- RE-ROOF BUILDINGS AS NECESSARY.

WALL TYPE LEGEND:

- CMU WALL**
- EXTERIOR WALL:**  
2X4 STUDS @ 16" O.C.  
1/2" OSB SHEATHING  
WATER BARRIER + EXT. FINISH PER ELEV.
- INTERIOR WALL:**  
2X4 STUDS  
1/2" GYPSUM BOARD
- INTERIOR WALL:**  
STAGGERED 2X4 STUDS ON 2X6 PLATE  
5/8" TYPE X DRYWALL
- NEW INTERIOR WALL:**  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION

FLOOR PLAN KEY NOTES:

- 6" WIDE BY 82" TALL BLOCK-OUT IN CMU WALL
- WOOD POST: TRUE 4X4 CORE W/ TRUE 2X6 FACES
- C-CHANNEL STRINGER STAIRS W/ METAL GRATE TREADS  
(SEE DETAIL G ON A-501)
- FLAT ROOF OVERHANG
- NEW OPENING IN CMU WALL
- FRAME-IN OLD OPENING
- PANTRY CABINET
- RE-USE EXISTING OPENING
- 2X4 FURRING WALL (INSULATE W/ R-13 BATT INSULATION)
- PRE-FAB 42"X42" FIBERGLASS SHOWER
- FIBERGLASS 60"X30" TUB + SHOWER UNIT
- PRE-FAB 60"X30" FIBERGLASS SHOWER UNIT
- NEW ELECTRICAL PTAC UNITS
- FIRE RISER
- HORN + STROBE
- BOILER (SERVES ALL UNITS IN BUILDING)
- 24" RANGE W/ MICROWAVE ABOVE
- 24" REFRIGERATOR
- FURNACE
- TANKLESS WATER HEATER
- LINEN SHELVEING

ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

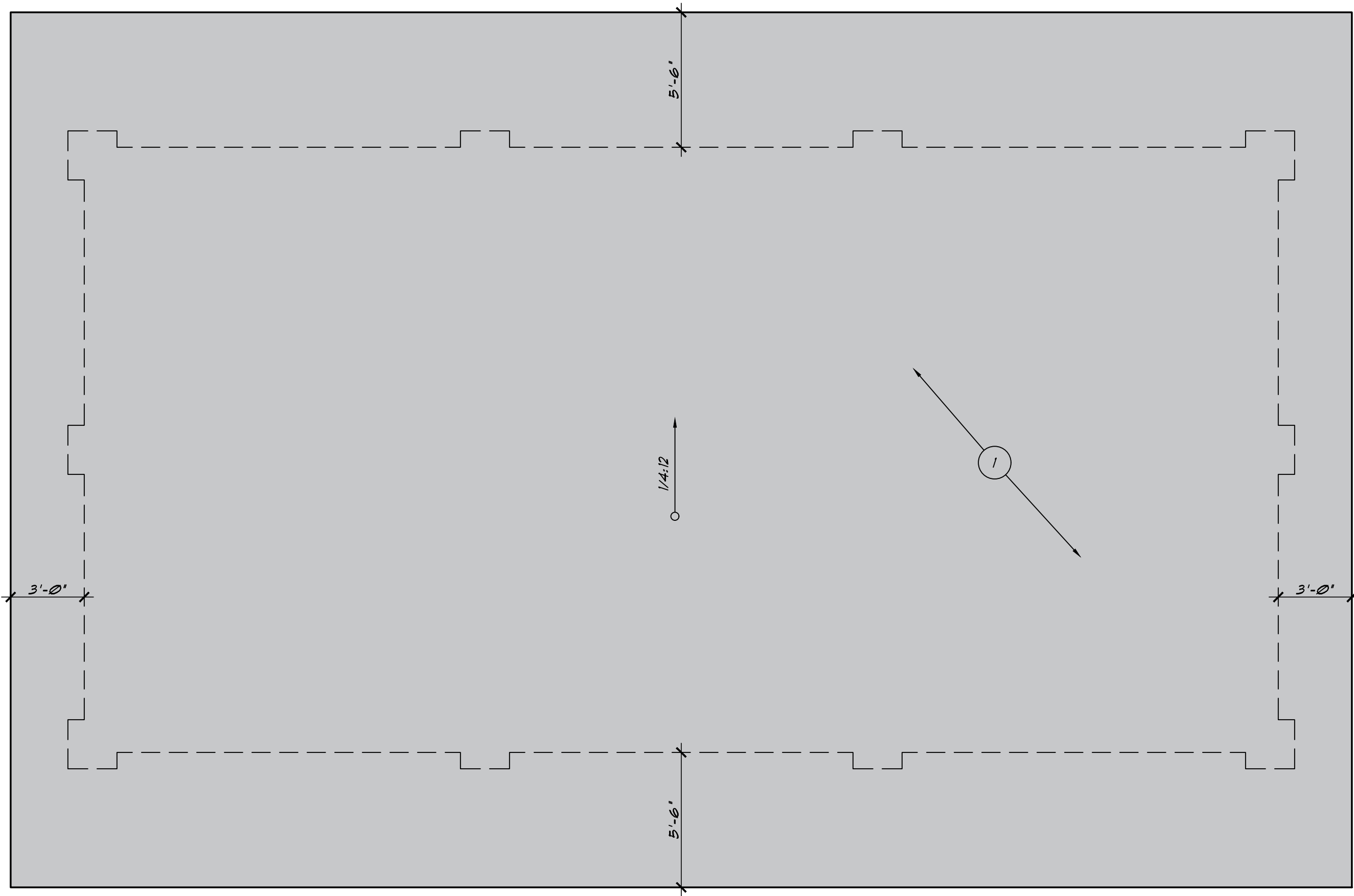
ISSUE RECORD:

REVISIONS:



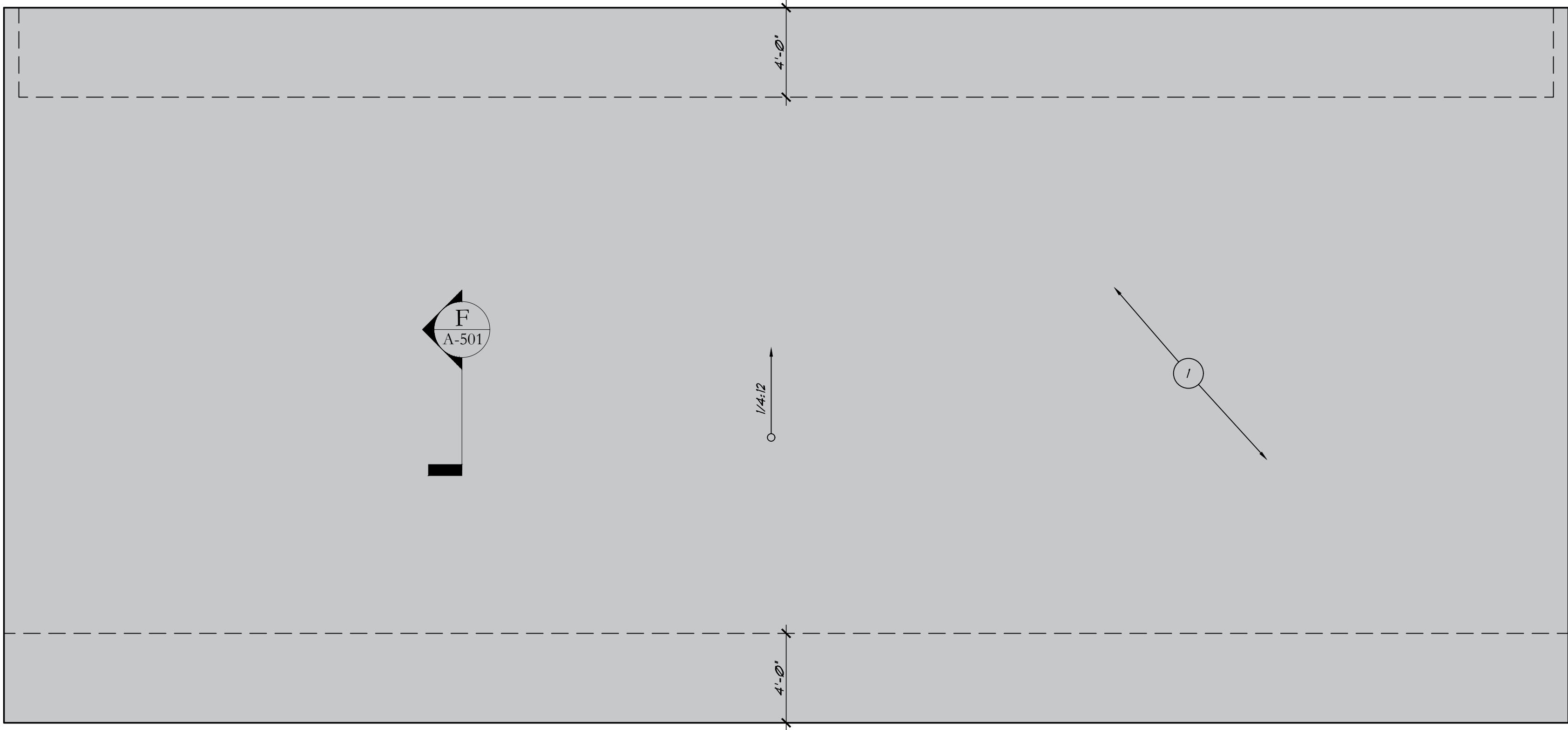
A-128

UNIT PLANS



## BUILDING A - PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



## BUILDING B - PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

### GENERAL ROOF PLAN NOTES:

- ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD MEMBRANE. LAP PER MANUFACTURER'S REQUIREMENTS.
- ROOFING TO BE SINGLE PLY ROOFING MEMBRANE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8", & INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIFFLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL. COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

### ROOF PLAN KEY NOTES:

- SINGLE PLY ROOFING MEMBRANE
- SCUFFER
- CORRUGATED METAL



**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**

**640 S BROADWAY  
CORTEZ, CO 81321**

JOB NO.: **22233**  
DATE: **2022-11-04**  
DRAWN BY: **TR, MG**

ISSUE RECORD:

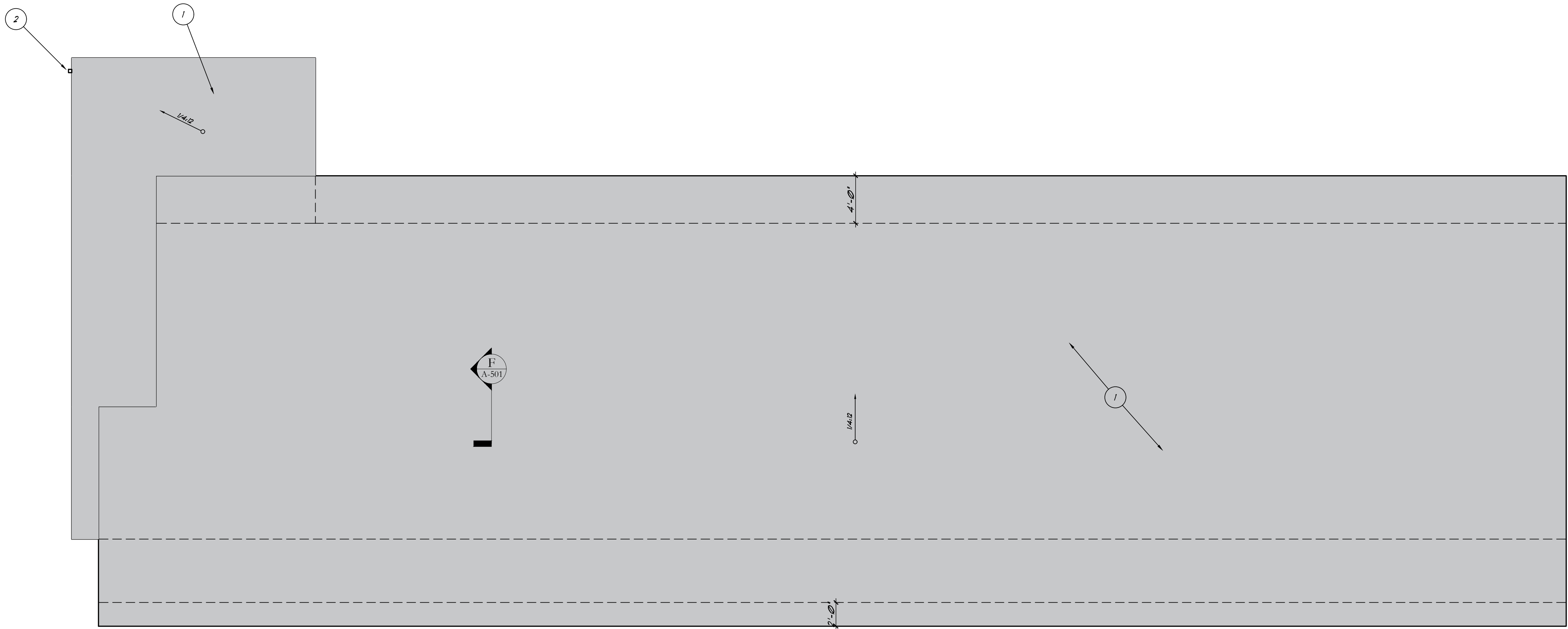
REVISIONS:



**A-129**

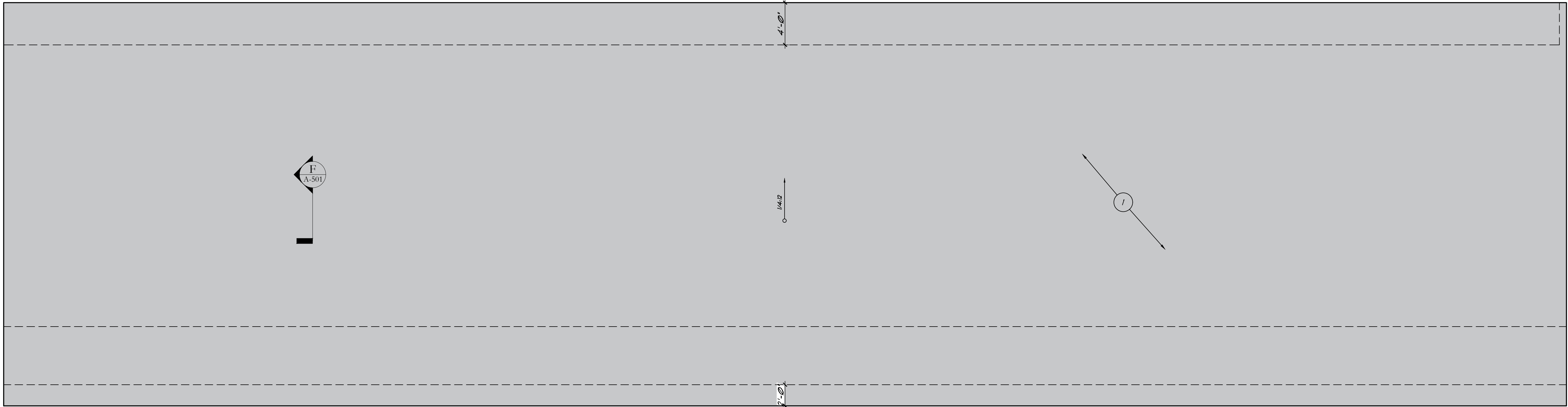
BUILDING A & B  
ROOF PLAN





BUILDING C - PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



BUILDING D - PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"

GENERAL ROOF PLAN NOTES:

- A. ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD MEMBRANE. LAP PER MANUFACTURER'S REQUIREMENTS.
- B. ROOFING TO BE SINGLE FLY ROOFING MEMBRANE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8", & INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- C. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- D. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIFFLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- F. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

ROOF PLAN KEY NOTES:

- 1. SINGLE FLY ROOFING MEMBRANE
- 2. SCUPPER
- 3. CORRUGATED METAL



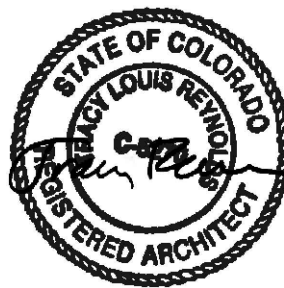
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

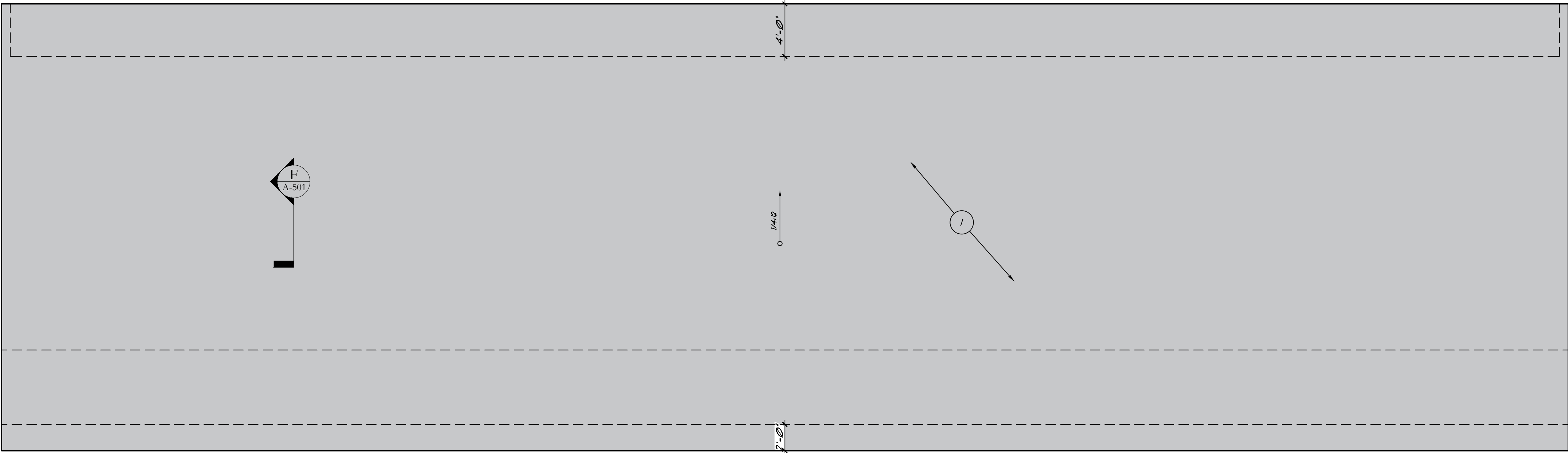
ISSUE RECORD:

REVISIONS:



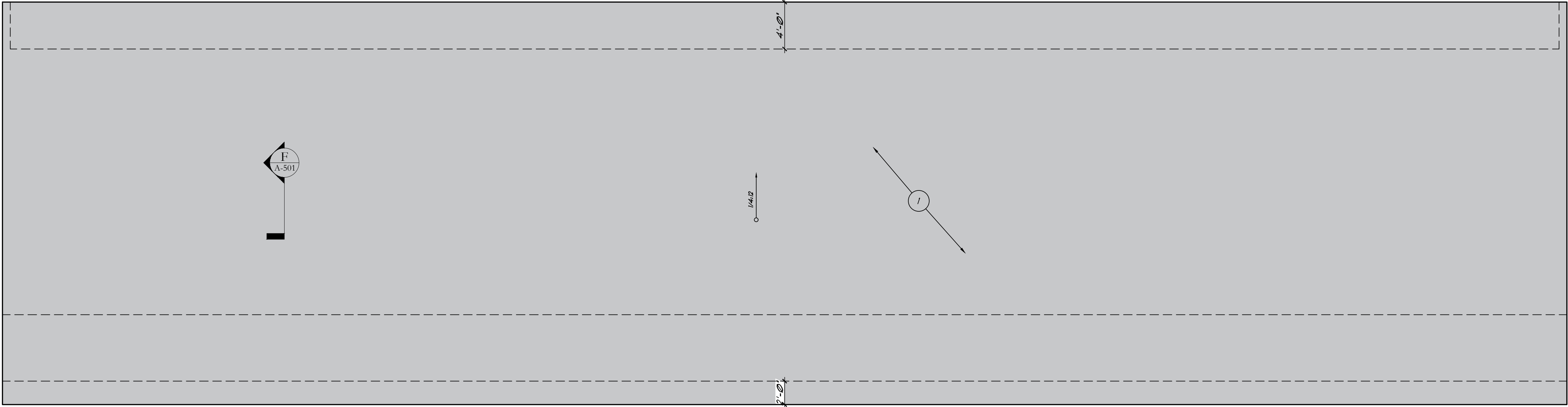
A-130

BUILDING C & D  
ROOF PLAN



## BUILDING E - PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



## BUILDING F - PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"

### GENERAL ROOF PLAN NOTES:

- ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD MEMBRANE. LAP PER MANUFACTURER'S REQUIREMENTS.
- ROOFING TO BE SINGLE FLY ROOFING MEMBRANE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8", & INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIFFLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL. COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

### ROOF PLAN KEY NOTES:

- SINGLE FLY ROOFING MEMBRANE
- SCUPPER
- CORRUGATED METAL



**REYNOLDS ASH  
+ ASSOCIATES**

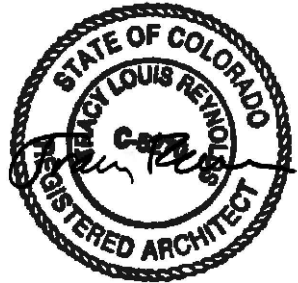
**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



**A-131**

BUILDING E & F  
ROOF PLAN



ARCHITECTURE  
ENGINEERING

262 PAGOSA STREET, STE. 200  
P.O. BOX 96  
PAGOSA SPRINGS, CO. 81147  
(970) 264 - 6884  
FAX (970) 264 - 0997

RA-AE.COM

REYNOLDS ASH & ASSOCIATES, P.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS  
IN THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OR RECORDING  
ENGINEER.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISTRIBUTION OF ANY DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MC

ISSUE RECORD:

REVISIONS:



A-131

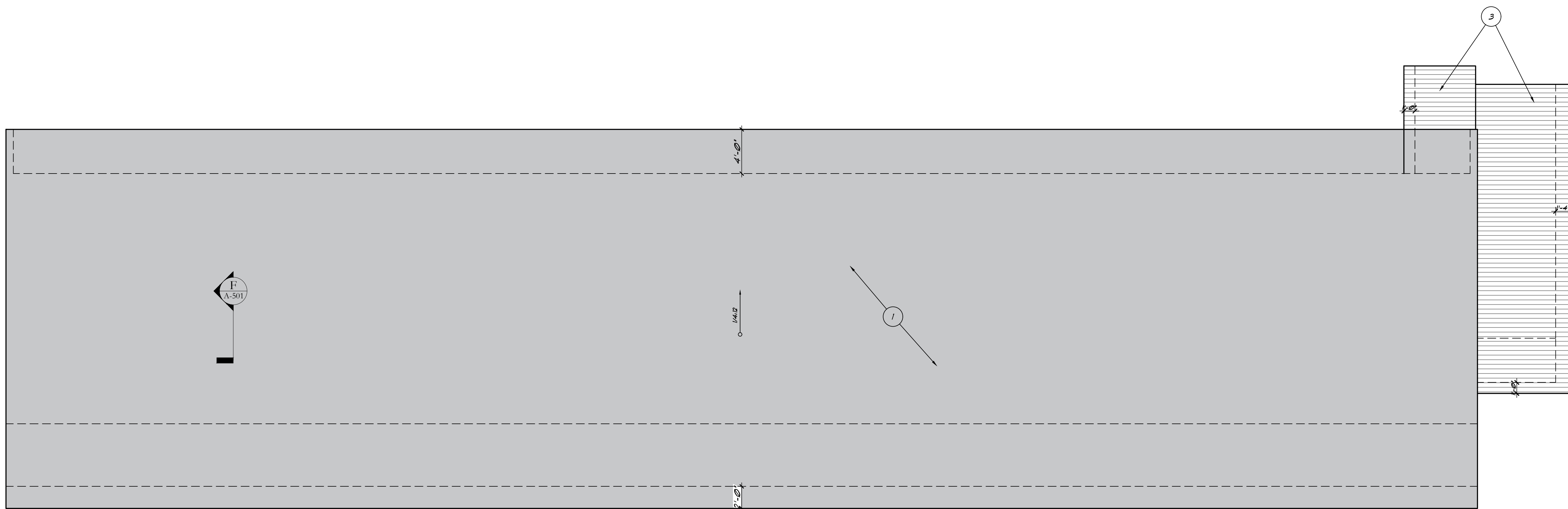
**BUILDING G  
ROOF PLAN**

GENERAL ROOF PLAN NOTES:

- A. ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD MEMBRANE. LAP PER MANUFACTURER'S REQUIREMENTS.
- B. ROOFING TO BE SINGLE PLY ROOFING MEMBRANE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROUGHEN OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES. 18" x 18" x 1/4" IN INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- C. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL. AND WARRANTY.
- D. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- F. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

ROOF PLAN KEY NOTES:

1. SINGLE PLY ROOFING MEMBRANE
2. SCUPPER
3. CORRUGATED METAL



## BUILDING G - PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



ELEVATION KEY NOTES:

1. PAINTED CMU.
2. BRICK
3. STUCCO
4. PAINTED PLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
11. DECORATIVE CMU.
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

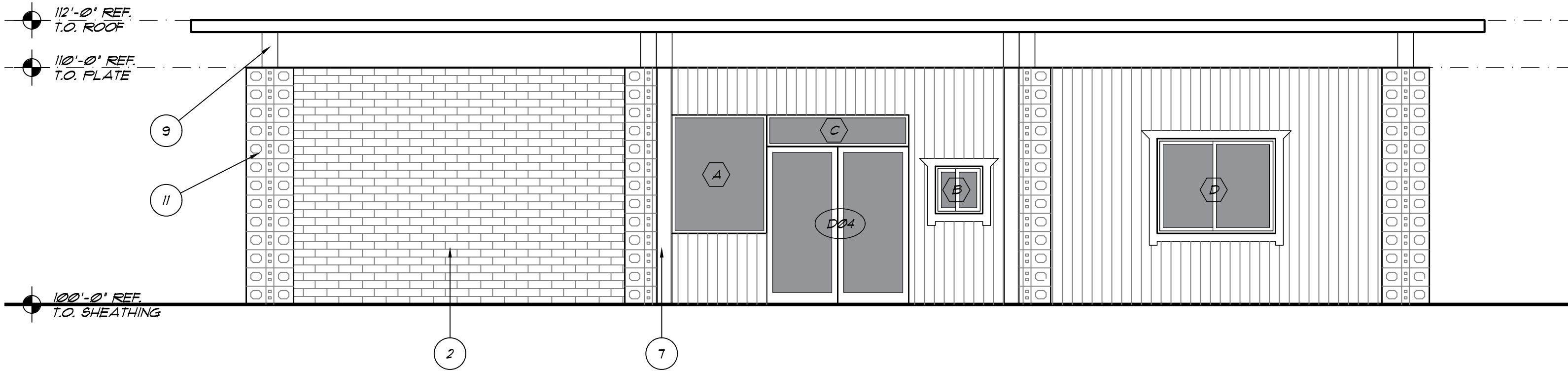
ISSUE RECORD:

REVISIONS:



A-201

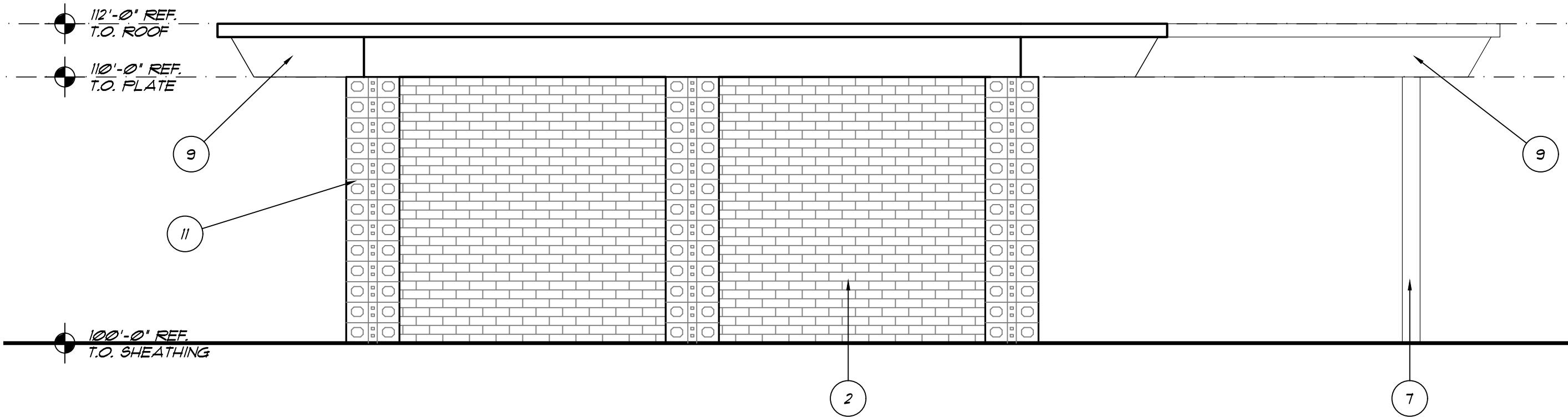
EXISTING EXTERIOR  
ELEVATIONS - BUILDING A



BLDG A NORTHWEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

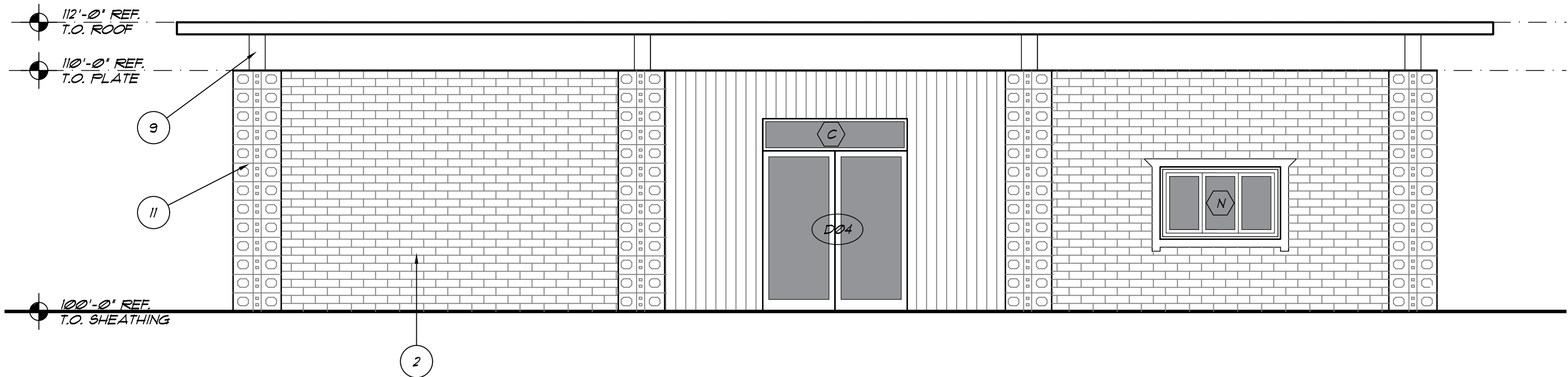
A  
A-201



BLDG A NORTHEAST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

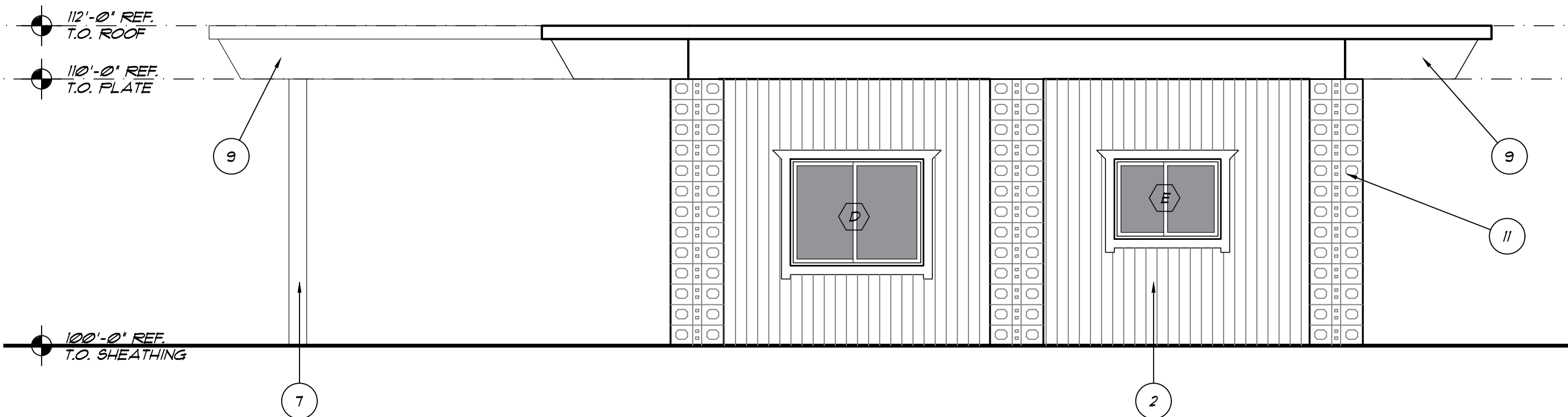
B  
A-201



BLDG A SOUTHEAST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

C  
A-201



BLDG A SOUTHWEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

D  
A-201



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:

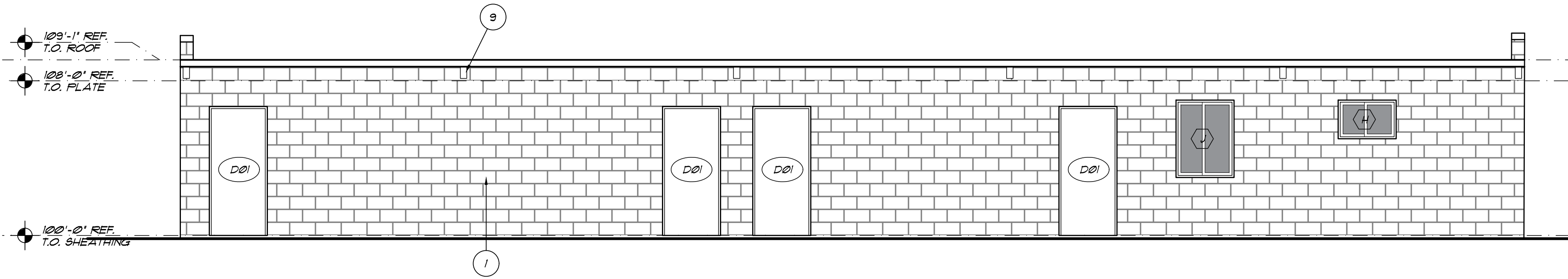


A-202

EXISTING EXTERIOR  
ELEVATIONS - BUILDING B

ELEVATION KEY NOTES:

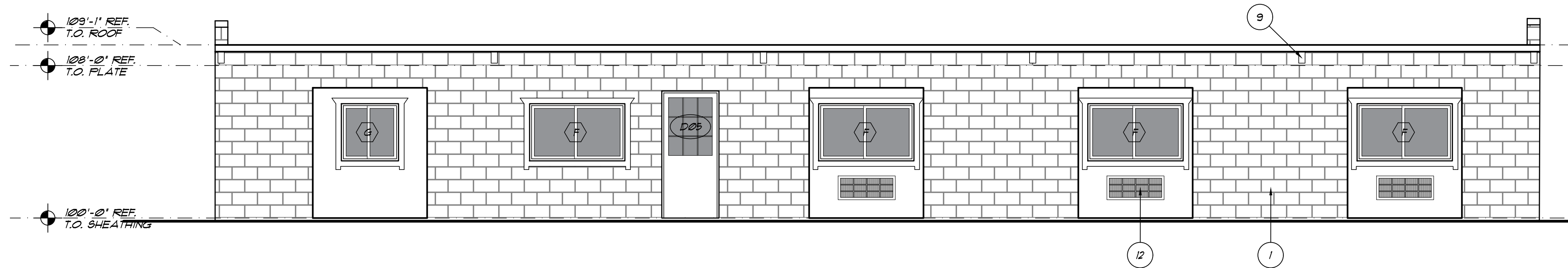
1. PAINTED CMU.
2. BRICK
3. STUCCO
4. PAINTED PLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
11. DECORATIVE CMU.
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



BLDG B SOUTH ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

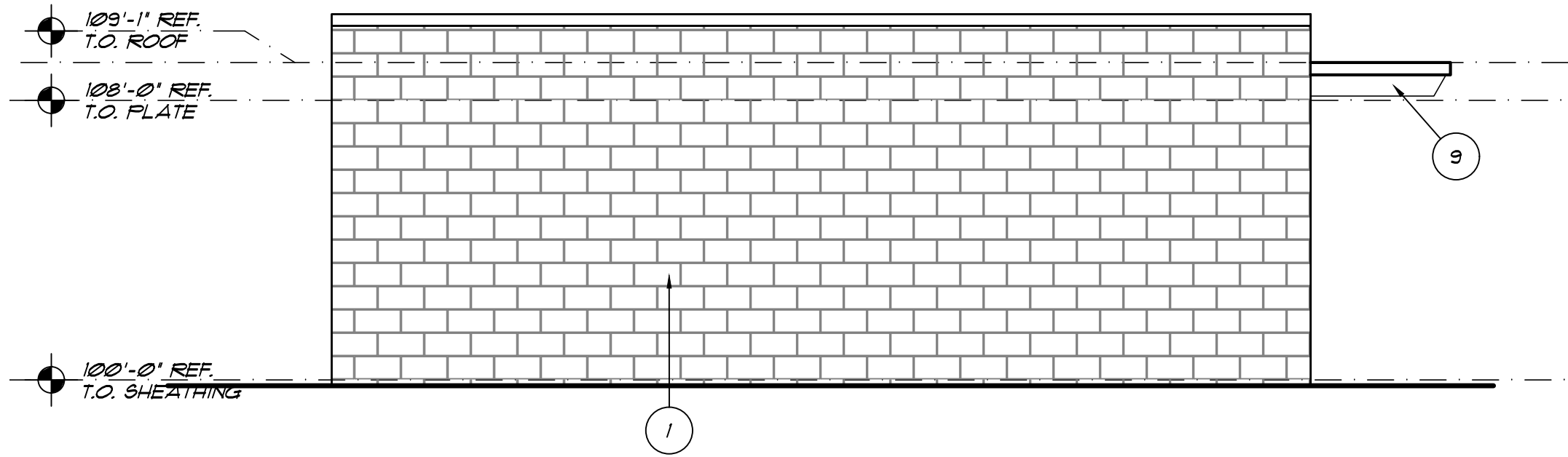
A  
A-202



BLDG B NORTH ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

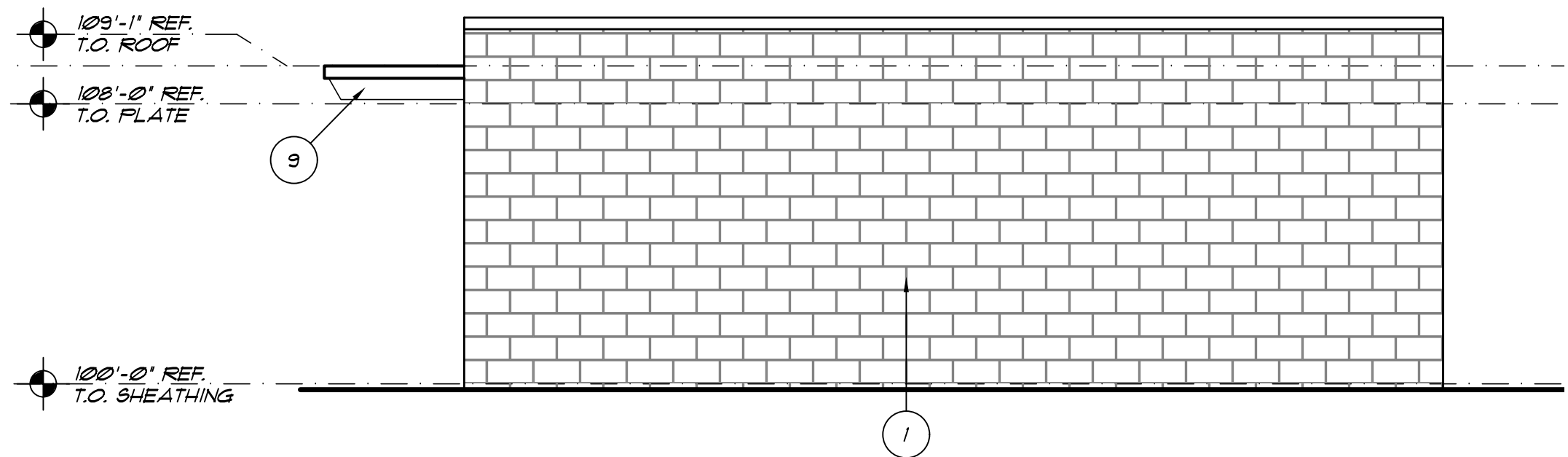
C  
A-202



BLDG B WEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

B  
A-202



BLDG B EAST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

D  
A-202





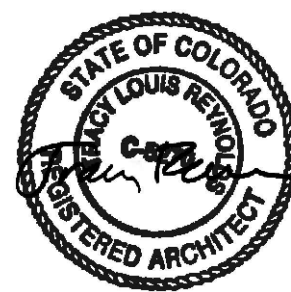
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



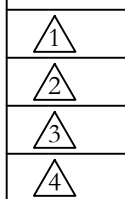
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

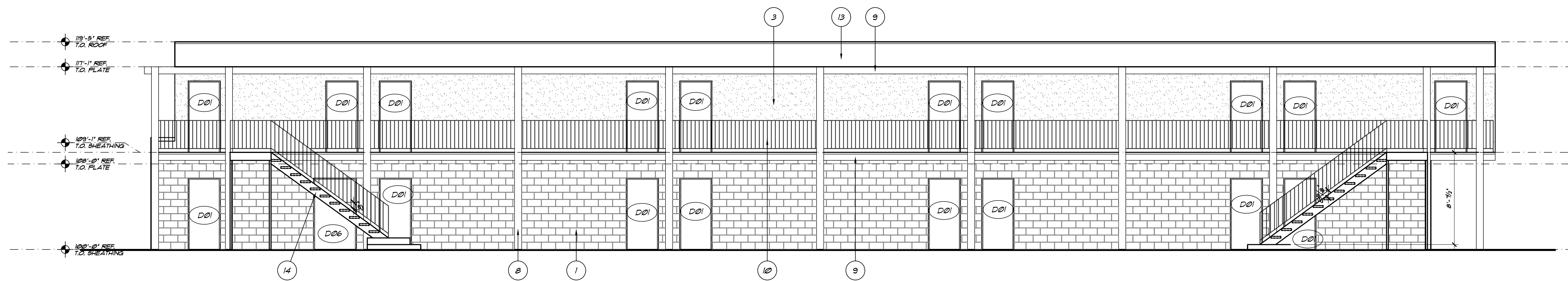
ISSUE RECORD:

REVISIONS:

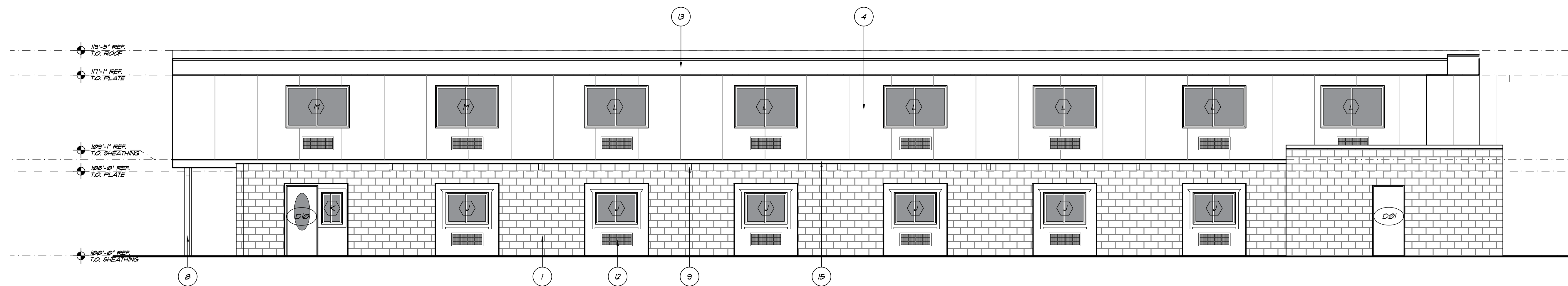


A-203

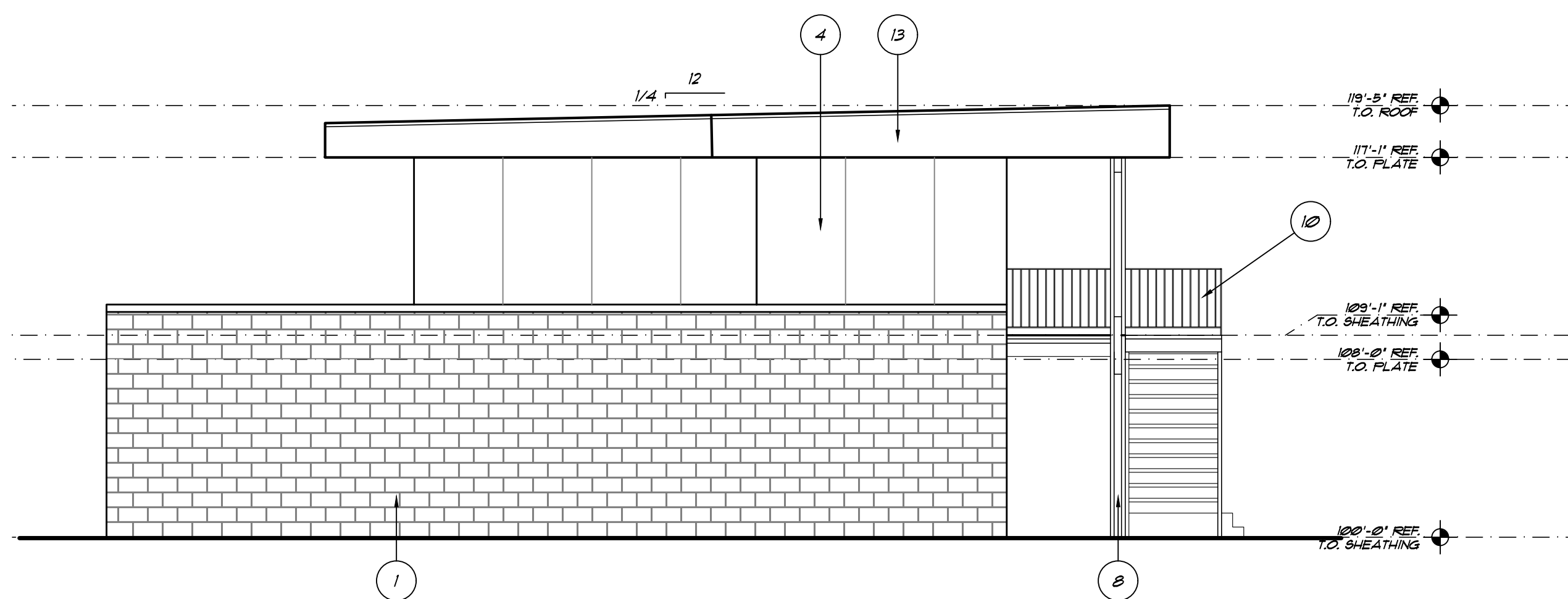
EXISTING EXTERIOR  
ELEVATIONS - BUILDING C



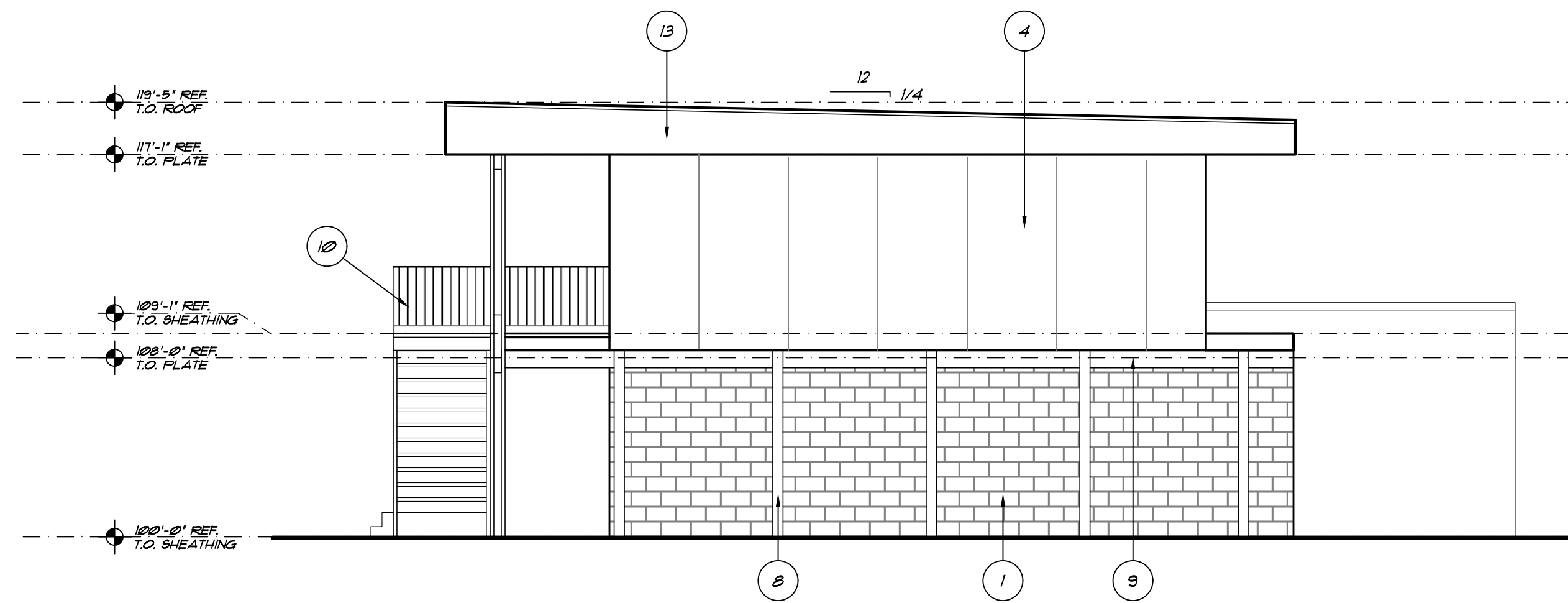
BLDG C EAST ELEVATION - EXISTING A  
SCALE: 3/16" = 1'-0" A-203



BLDG C WEST ELEVATION - EXISTING B  
SCALE: 3/16" = 1'-0" A-203



BLDG C SOUTH ELEVATION - EXISTING C  
SCALE: 3/16" = 1'-0" A-203



BLDG C NORTH ELEVATION - EXISTING D  
SCALE: 3/16" = 1'-0" A-203

ELEVATION KEY NOTES:

1. PAINTED CMU.
2. BRICK
3. STUCCO
4. PAINTED PLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
11. DECORATIVE CMU.
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



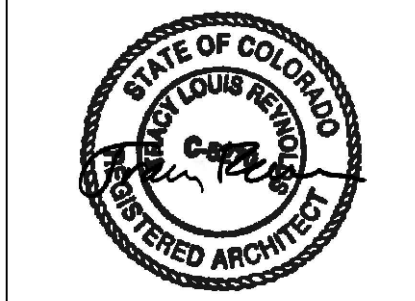


REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-0997  
RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.

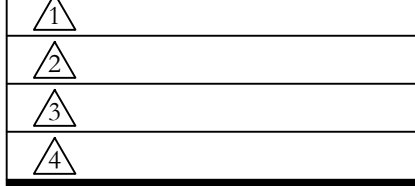


ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

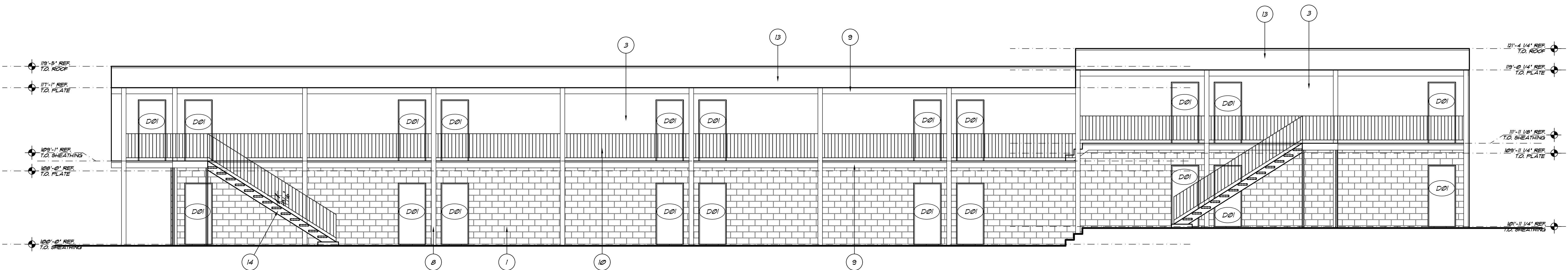
ISSUE RECORD:

REVISIONS:

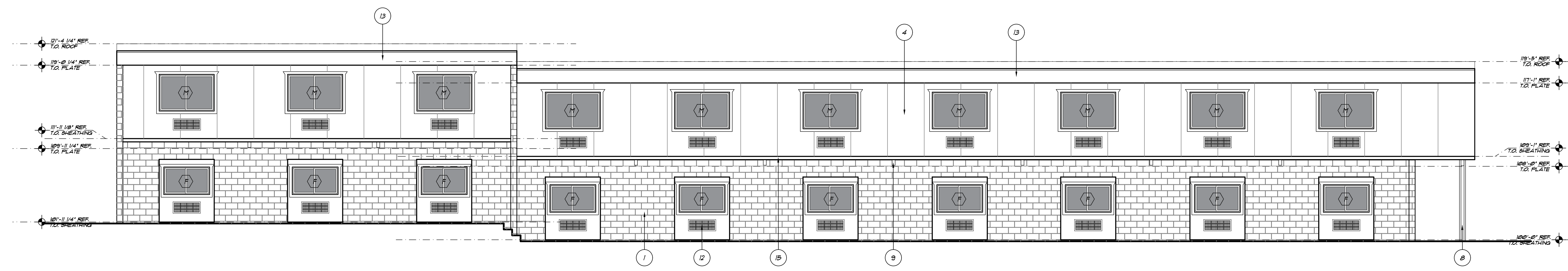


A-204

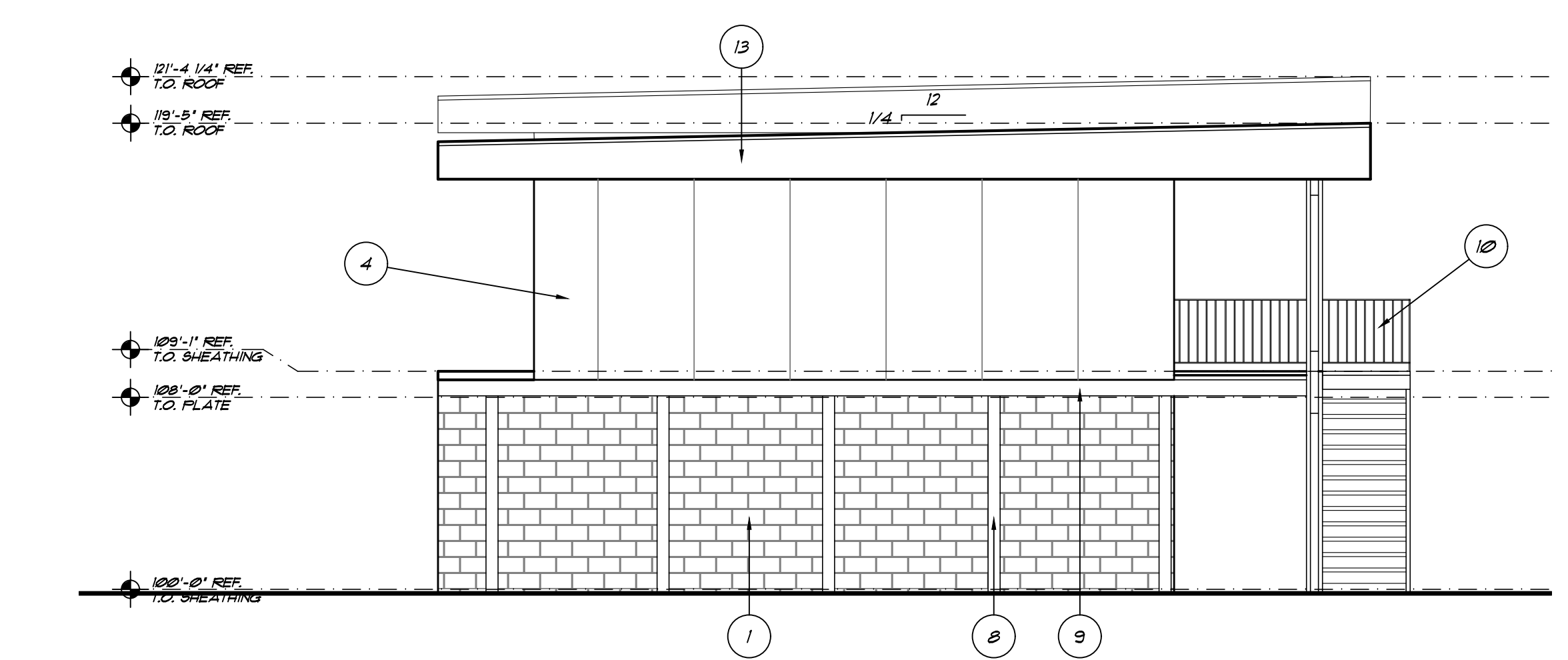
EXISTING EXTERIOR  
ELEVATIONS - BUILDING D



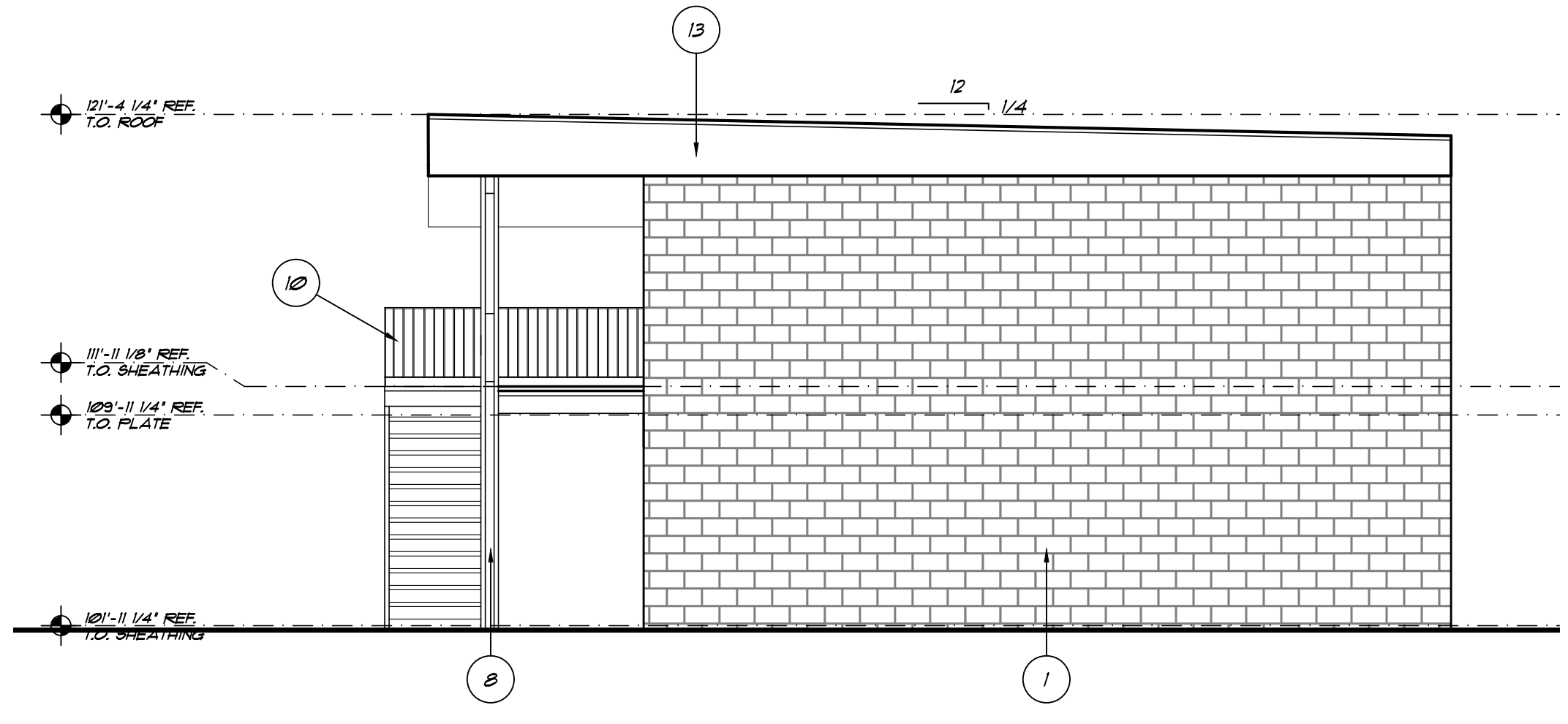
BLDG D SOUTH ELEVATION - EXISTING A  
SCALE: 3/16" = 1'-0" A-204



BLDG D NORTH ELEVATION - EXISTING B  
SCALE: 3/16" = 1'-0" A-204

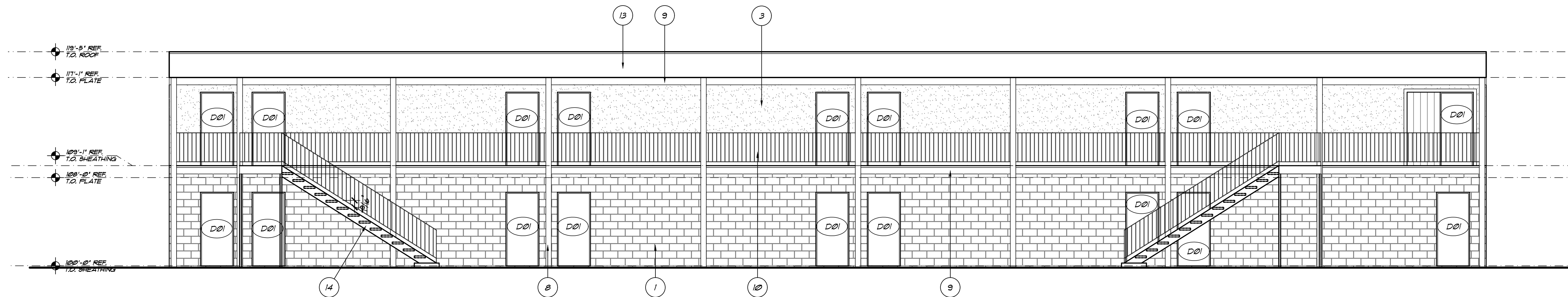


BLDG D WEST ELEVATION - EXISTING C  
SCALE: 3/16" = 1'-0" A-204



BLDG D EAST ELEVATION - EXISTING D  
SCALE: 3/16" = 1'-0" A-204

- ELEVATION KEY NOTES:
1. PAINTED CMU
  2. BRICK
  3. STUCCO
  4. PAINTED PLYWOOD PANEL
  5. VERTICAL WOOD SIDING
  6. CORRUGATED METAL
  7. STEEL COLUMN
  8. WOOD COLUMN
  9. WOOD BEAM
  10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
  11. DECORATIVE CMU
  12. PTAC UNIT
  13. METAL FLASHING
  14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
  15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR

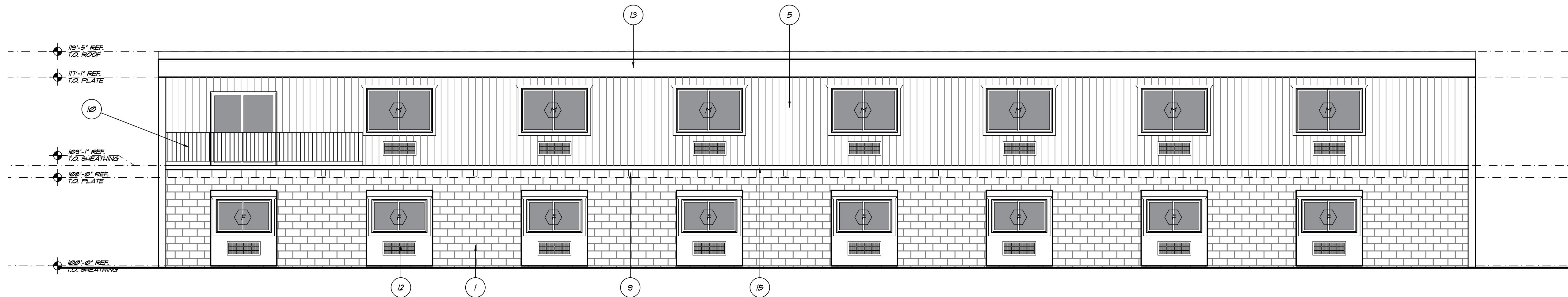


BLDG E WEST ELEVATION - EXISTING

A

SCALE: 3/16" = 1'-0"

A-205

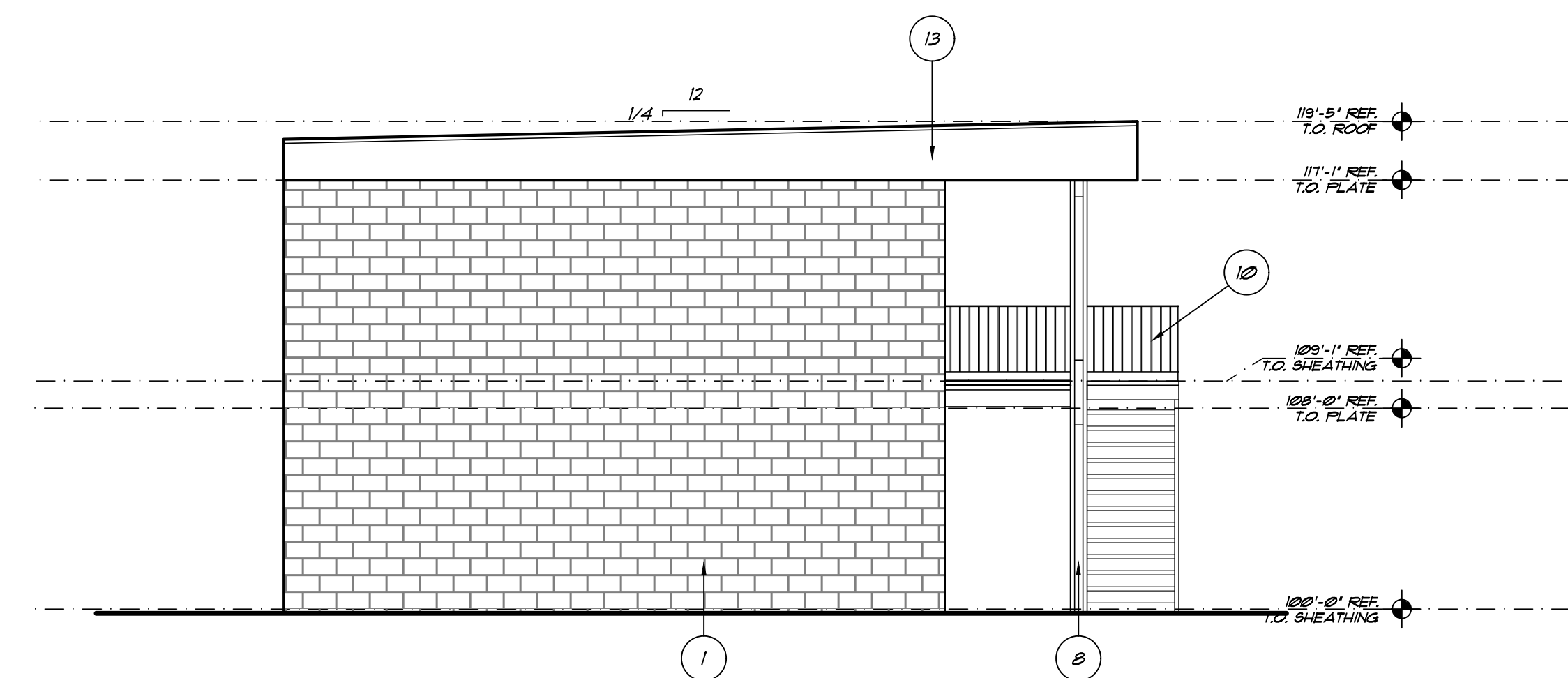


BLDG E EAST ELEVATION - EXISTING

B

SCALE: 3/16" = 1'-0"

A-205

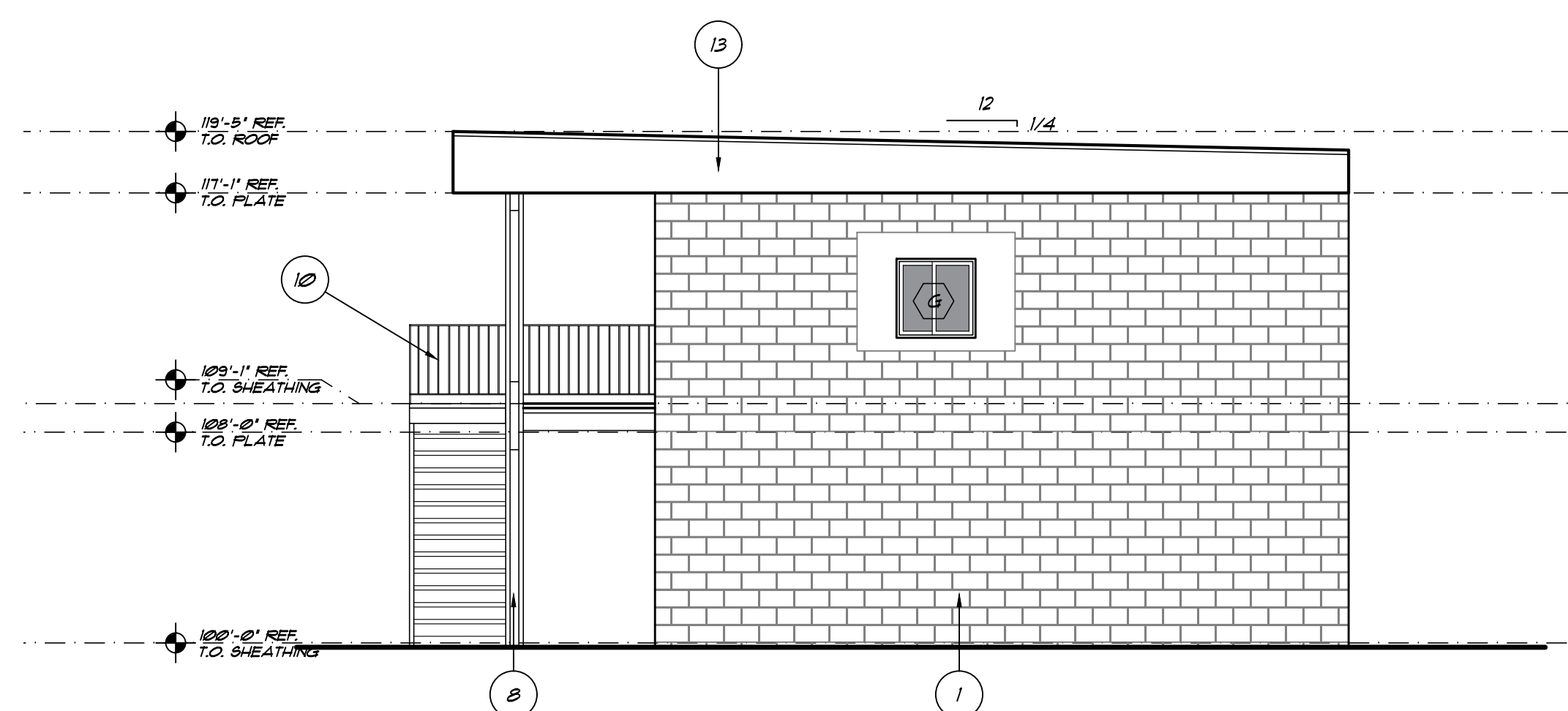


BLDG E NORTH ELEVATION - EXISTING

C

SCALE: 3/16" = 1'-0"

A-205



BLDG E SOUTH ELEVATION - EXISTING

D

SCALE: 3/16" = 1'-0"

A-205

ELEVATION KEY NOTES:

1. PAINTED CMU.
2. BRICK
3. STUCCO
4. PAINTED PLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC.)
11. DECORATIVE CMU.
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



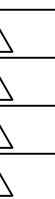
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

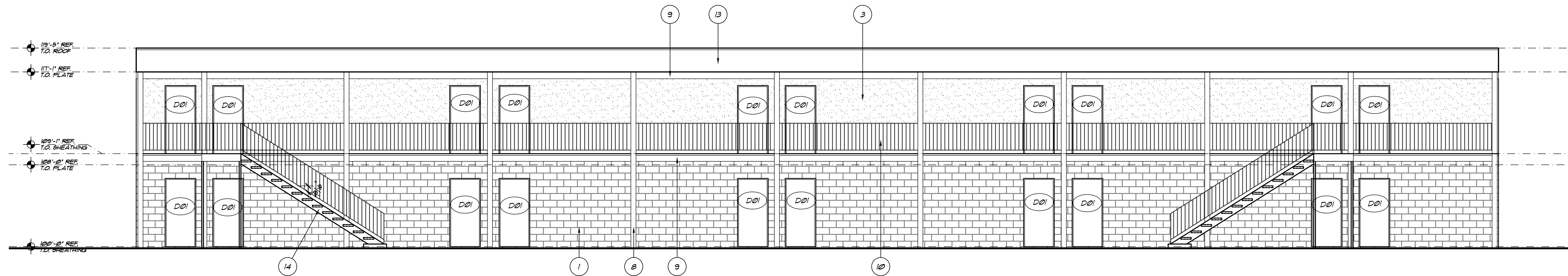
REVISIONS:



A-205

EXISTING EXTERIOR  
ELEVATIONS - BUILDING E



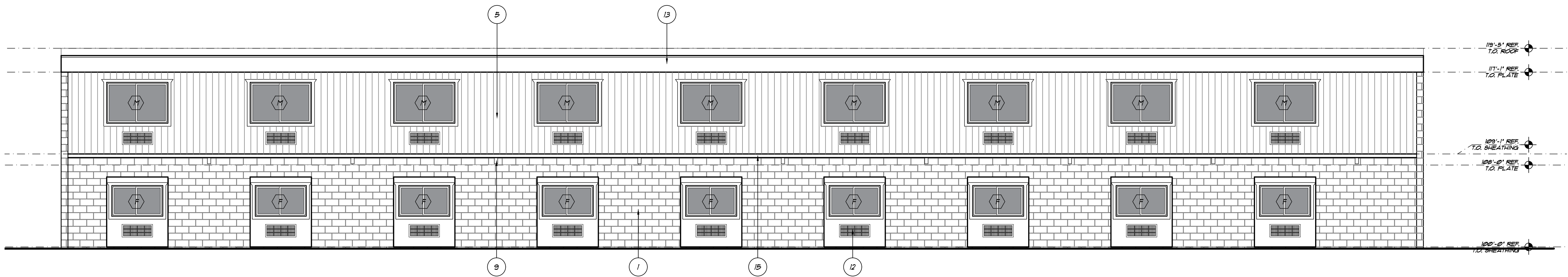


BLDG F EAST ELEVATION - EXISTING

A

SCALE: 3/16" = 1'-0"

A-206

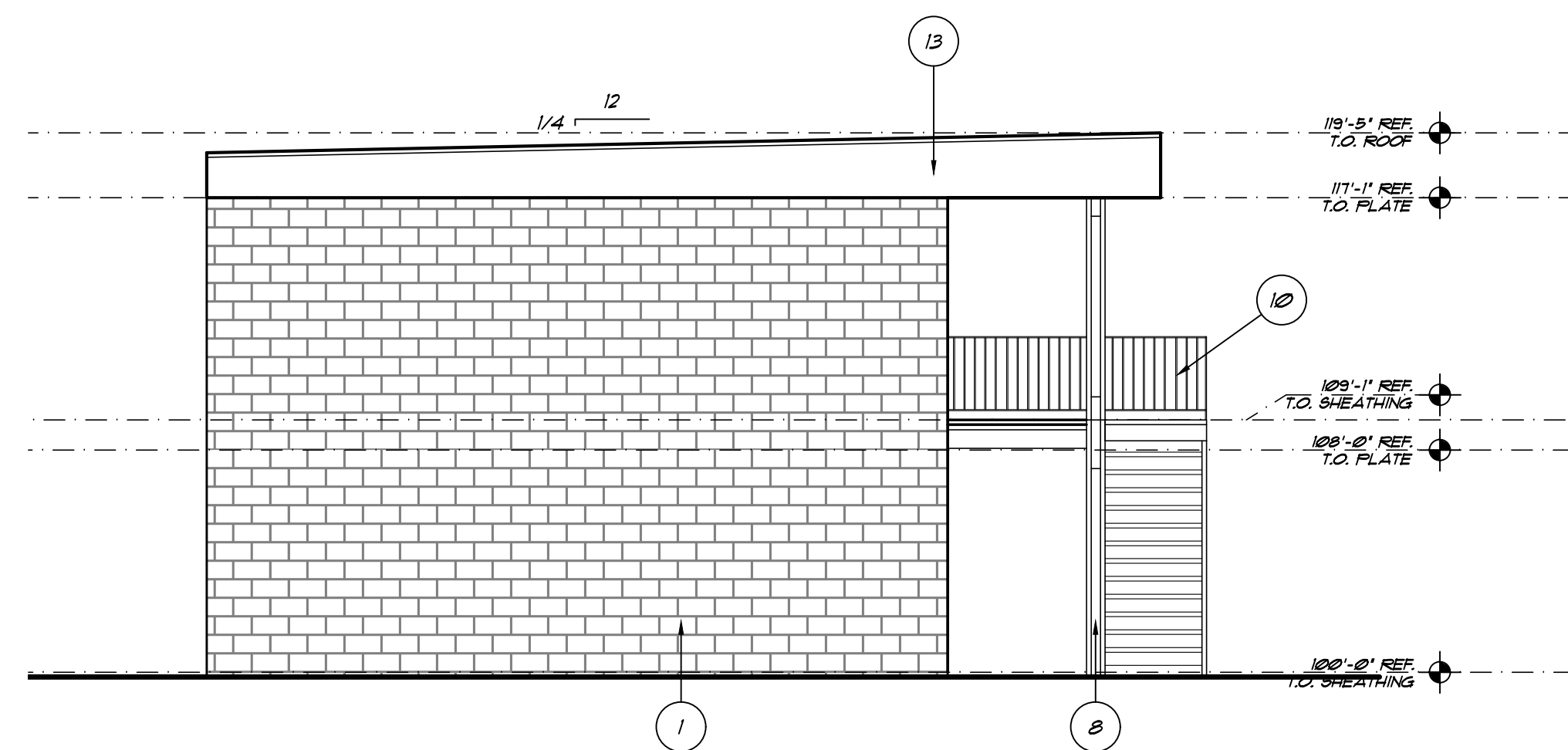


BLDG F WEST ELEVATION - EXISTING

B

SCALE: 3/16" = 1'-0"

A-206

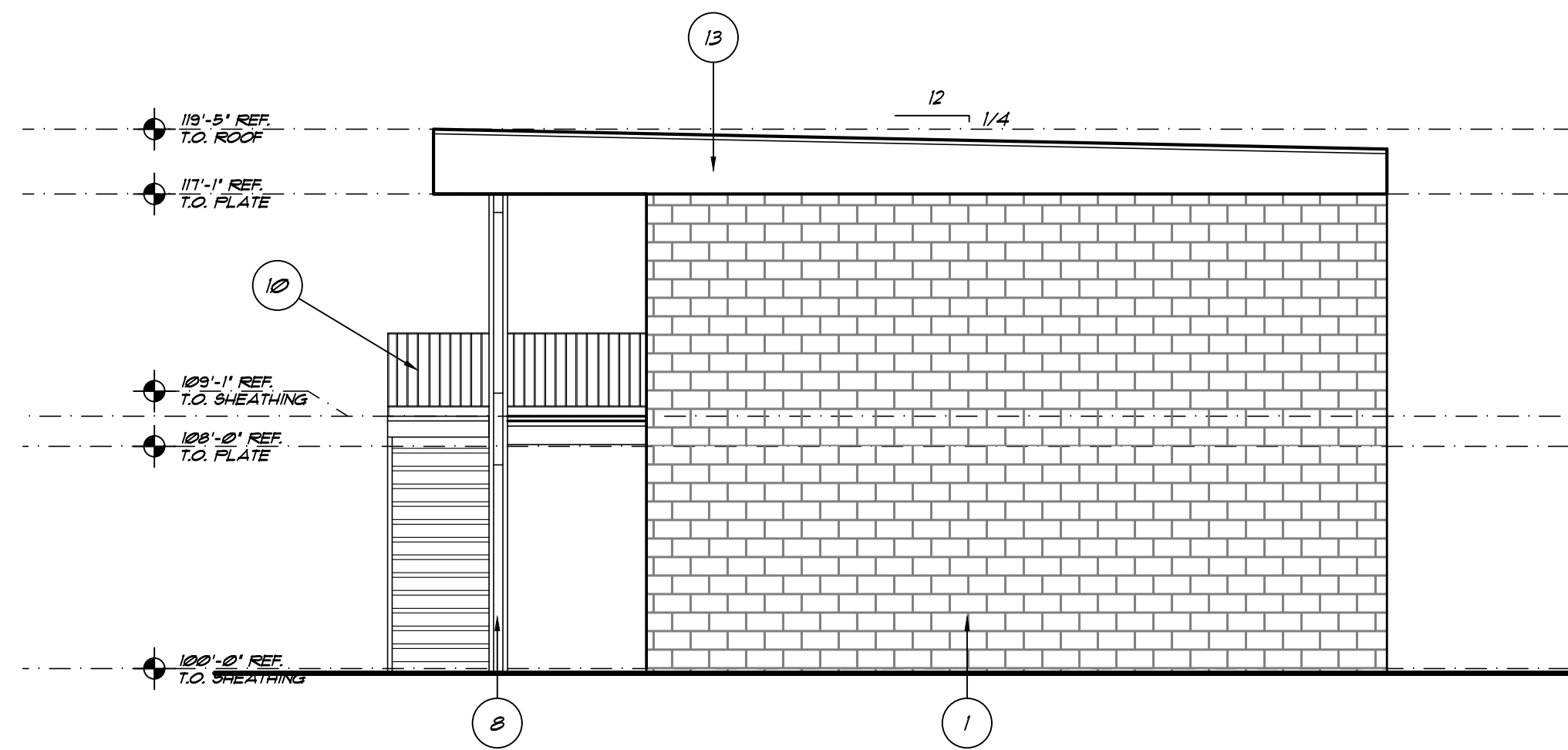


BLDG F SOUTH ELEVATION - EXISTING

C

SCALE: 3/16" = 1'-0"

A-206



BLDG F NORTH ELEVATION - EXISTING

D

SCALE: 3/16" = 1'-0"

A-206

ELEVATION KEY NOTES:

1. PAINTED CMU
2. BRICK
3. STUCCO
4. PAINTED PLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
11. DECORATIVE CMU
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RAA ARCHITECTS, P.C.



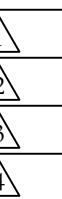
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

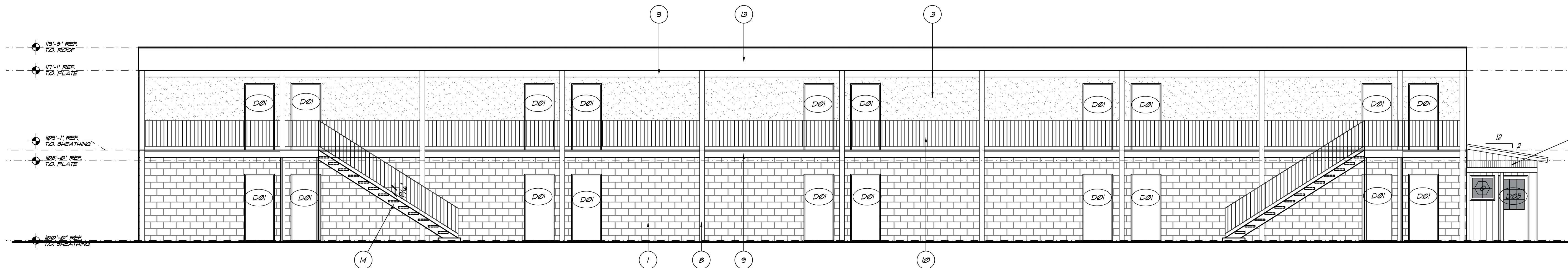
REVISIONS:



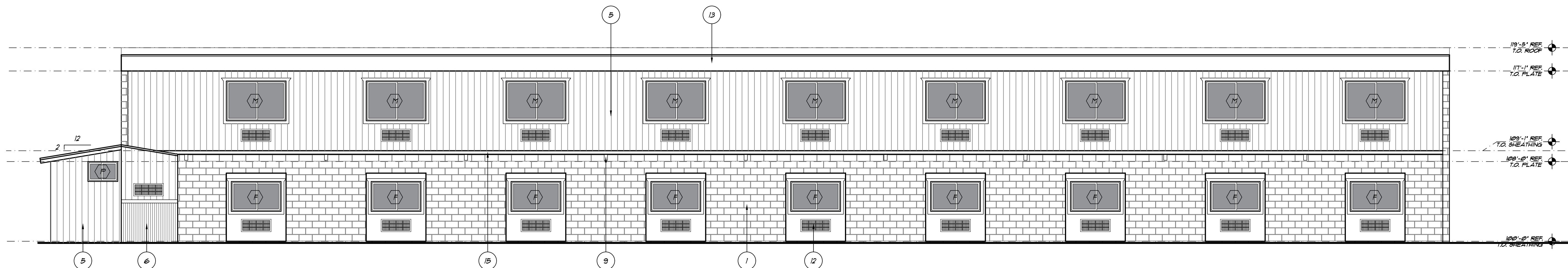
A-206

EXISTING EXTERIOR  
ELEVATIONS - BUILDING F

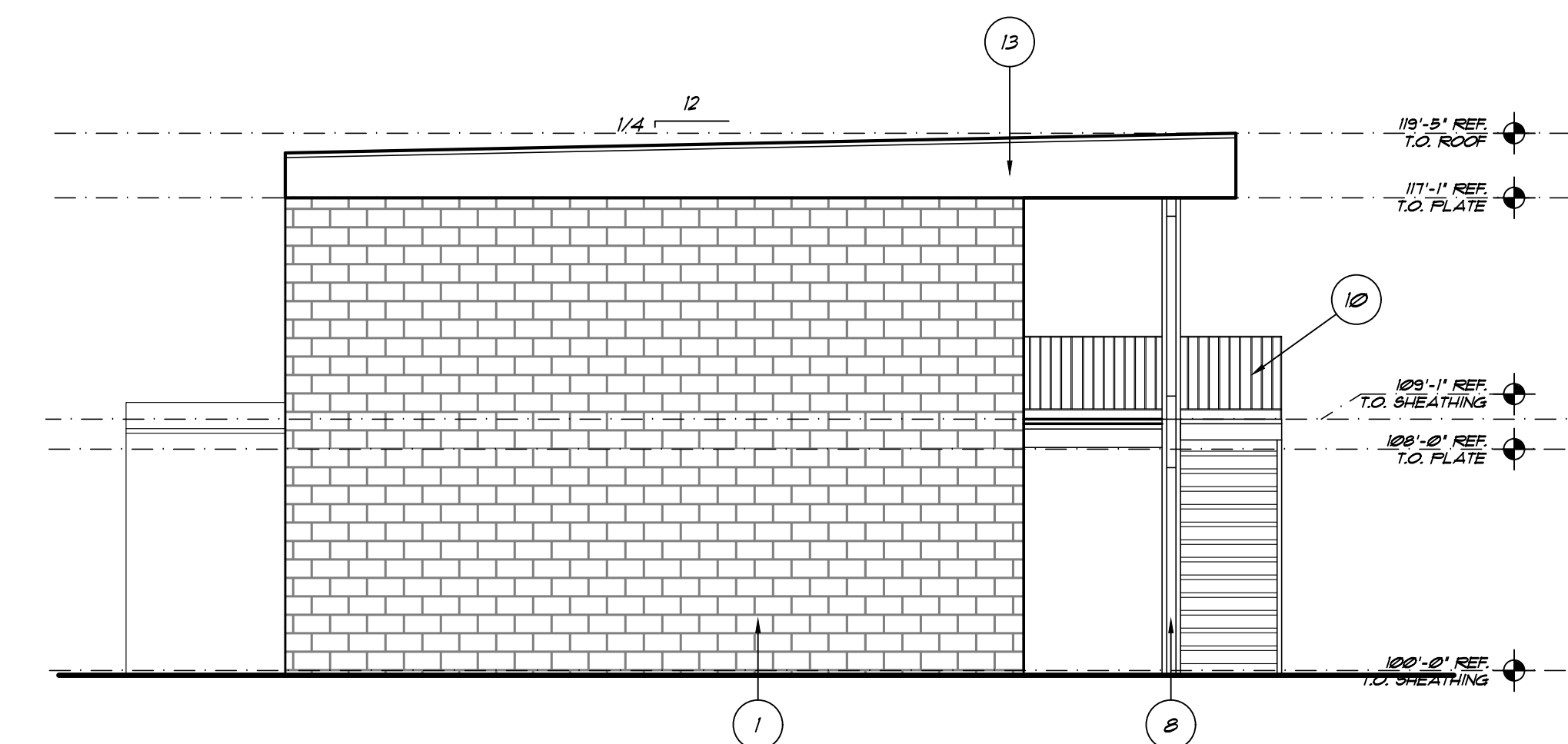




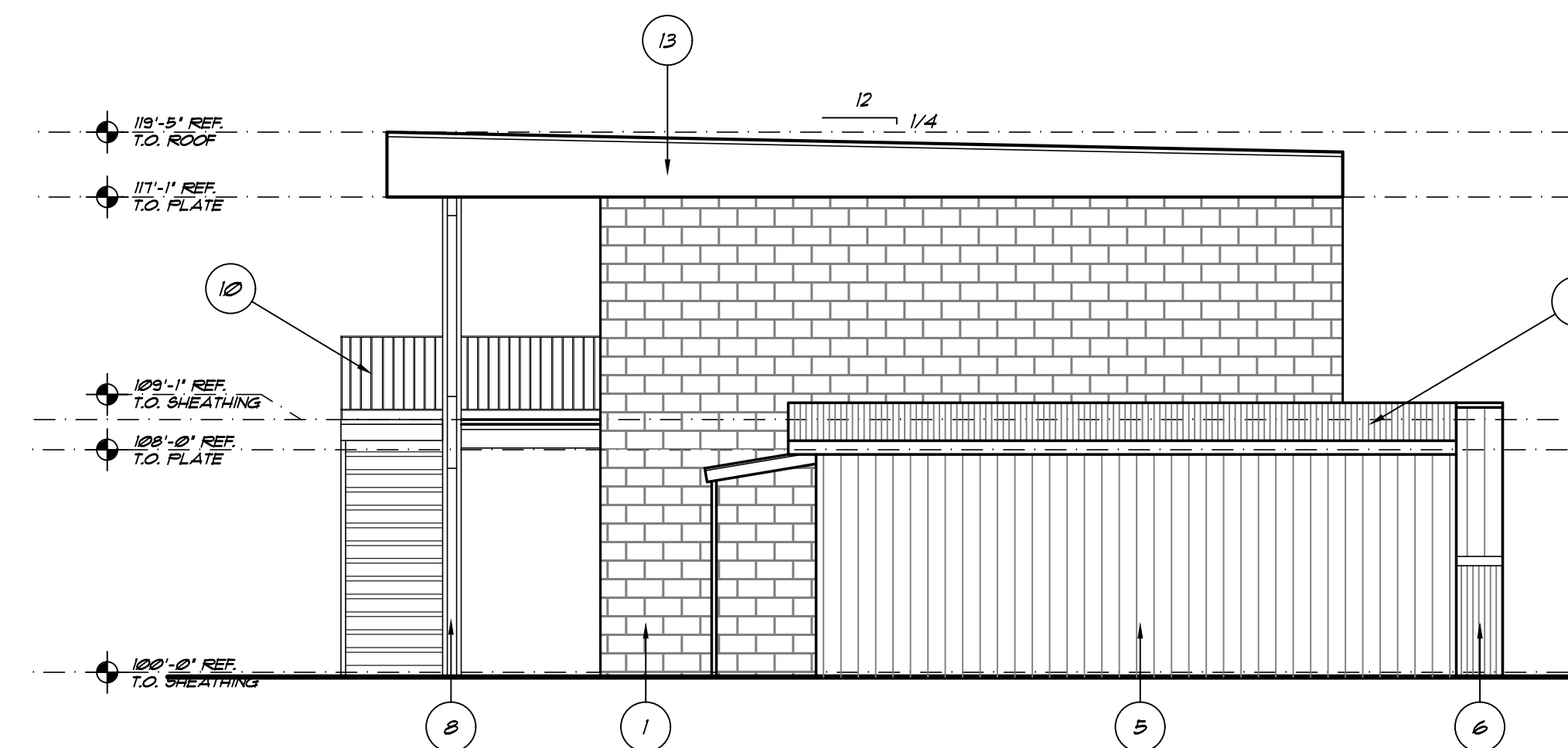
BLDG G WEST ELEVATION - EXISTING A  
SCALE: 3/16" = 1'-0" A-207



BLDG G EAST ELEVATION - EXISTING B  
SCALE: 3/16" = 1'-0" A-207



BLDG G NORTH ELEVATION - EXISTING C  
SCALE: 3/16" = 1'-0" A-207



BLDG G SOUTH ELEVATION - EXISTING D  
SCALE: 3/16" = 1'-0" A-207

ELEVATION KEY NOTES:

1. PAINTED CMU.
2. BRICK
3. STUCCO
4. PAINTED FLYWOOD PANEL
5. VERTICAL WOOD SIDING
6. CORRUGATED METAL
7. STEEL COLUMN
8. WOOD COLUMN
9. WOOD BEAM
10. METAL RAILING (REPLACE IF NOT CONFORMING TO IBC)
11. DECORATIVE CMU.
12. PTAC UNIT
13. METAL FLASHING
14. STEEL C-CHANNEL STRINGER STAIRS (REPLACE, SEE DETAIL G ON A-501)
15. REMOVE EXISTING OVERHANG BETWEEN FIRST & SECOND FLOOR



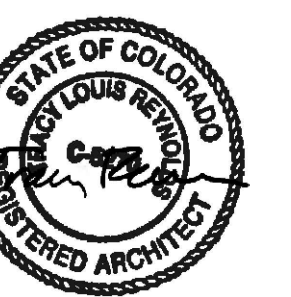
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C., EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE, OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.

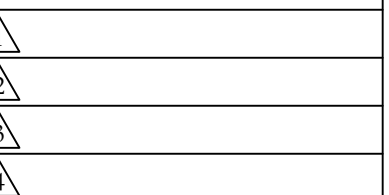


ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:



A-207

EXISTING EXTERIOR  
ELEVATIONS - BUILDING G



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:

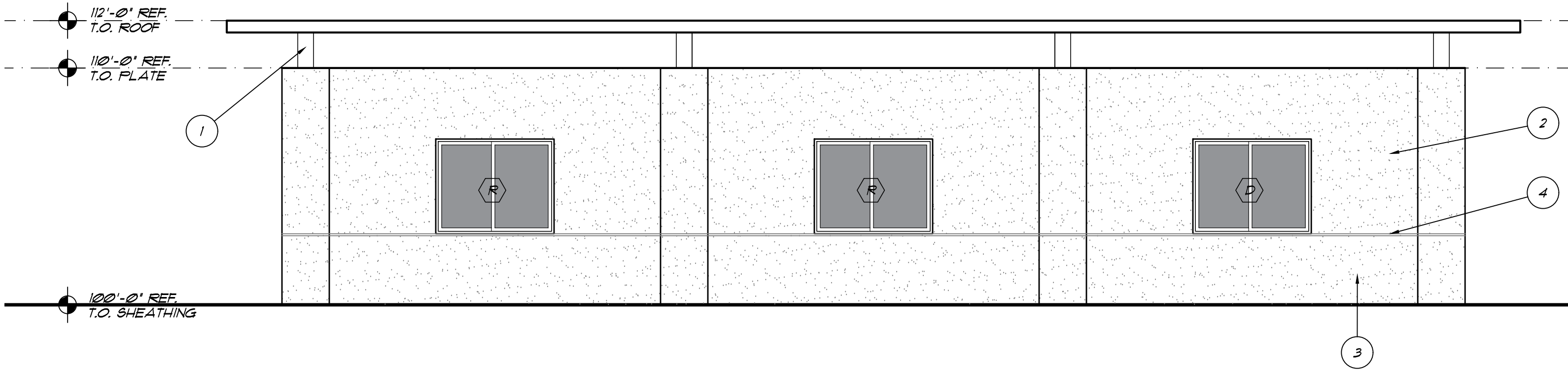


A-208

PROPOSED EXTERIOR  
ELEVATIONS - BUILDING A

ELEVATION KEY NOTES:

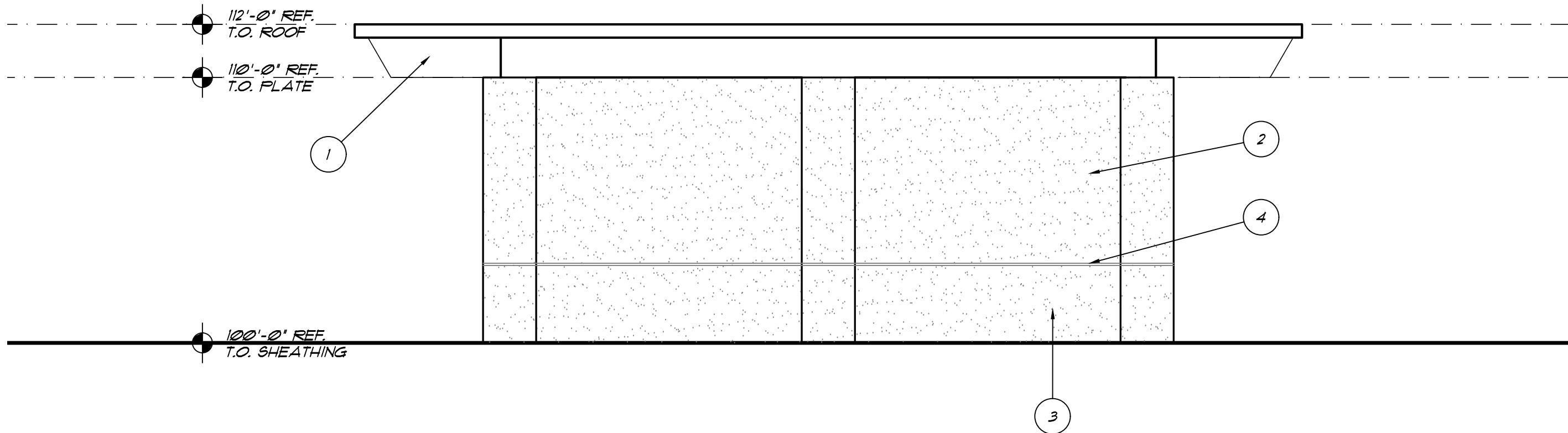
1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. FTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD  
(SEE DETAIL G ON A-501)
9. METAL RAILING
10. CORRUGATED METAL



BLDG A NORTHWEST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

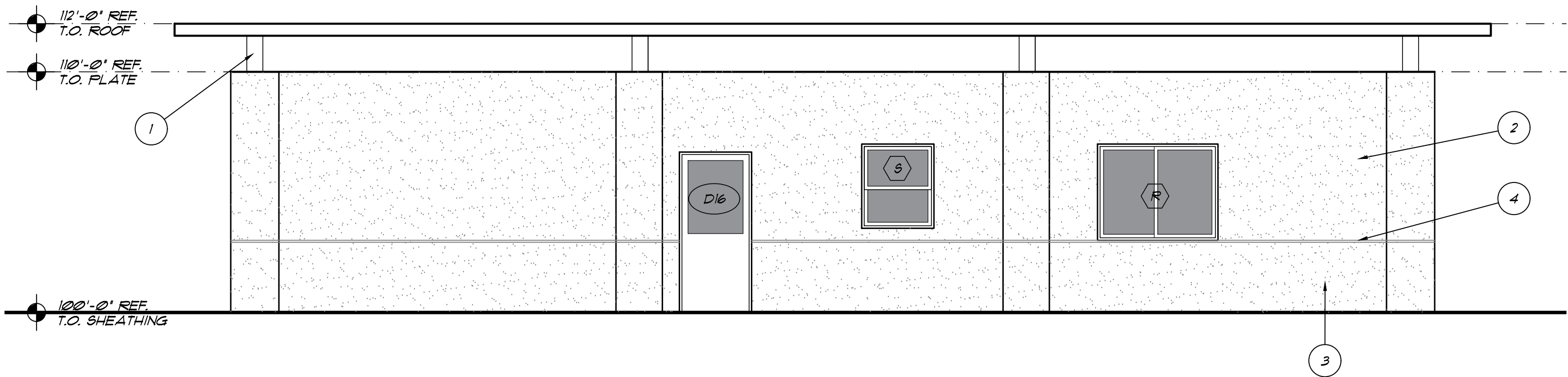
A  
A-208



BLDG A NORTHEAST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

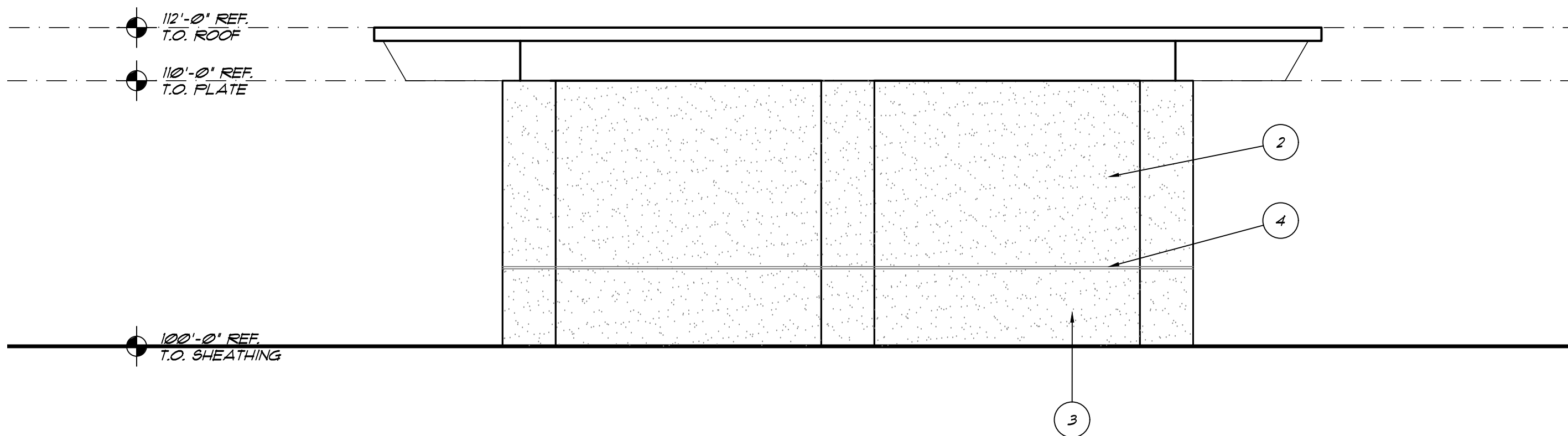
B  
A-208



BLDG A SOUTHEAST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

C  
A-208



BLDG A SOUTHWEST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

D  
A-208





REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:

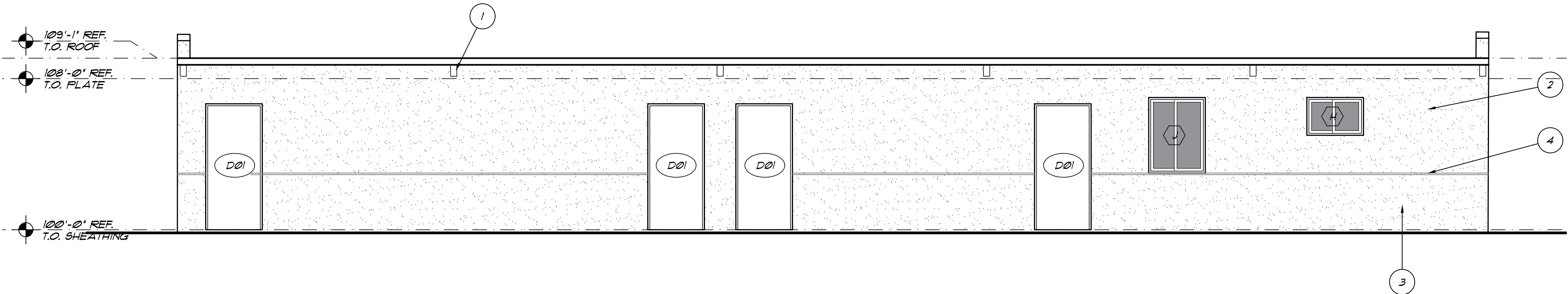


A-209

PROPOSED EXTERIOR  
ELEVATIONS - BUILDING B

ELEVATION KEY NOTES:

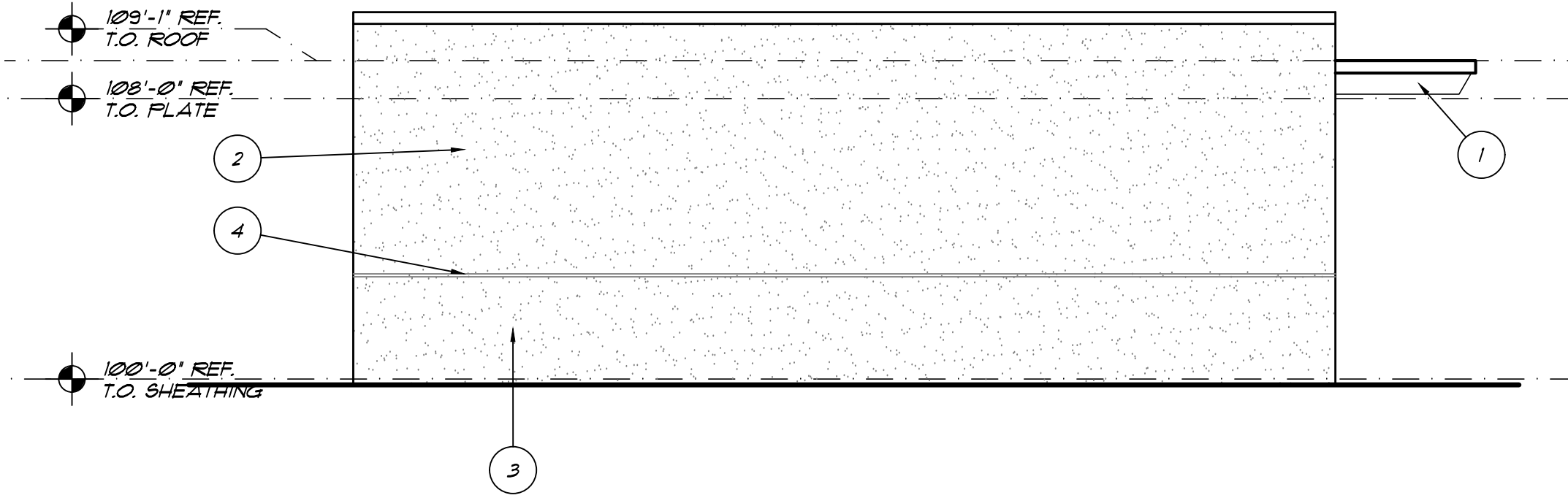
1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. PTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD  
(SEE DETAIL G ON A-501)
9. METAL RAILING
10. CORRUGATED METAL



BLDG B SOUTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

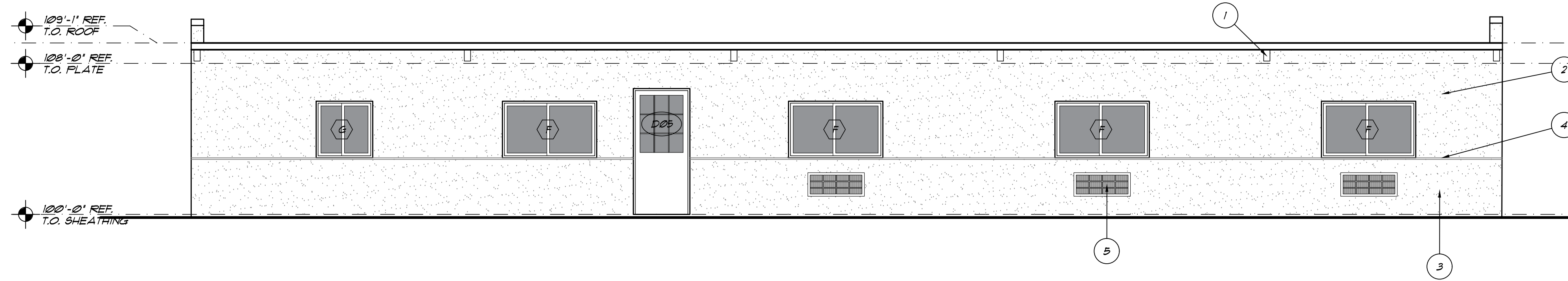
A  
A-209



BLDG B WEST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

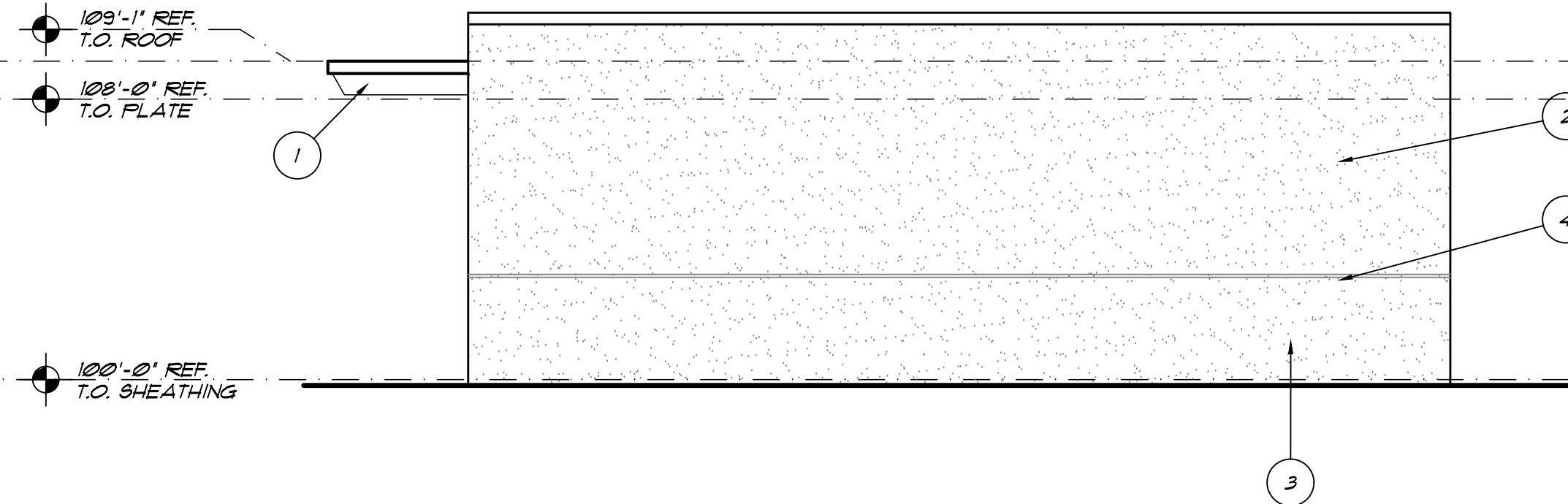
B  
A-209



BLDG B NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

C  
A-209



BLDG B EAST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

D  
A-209





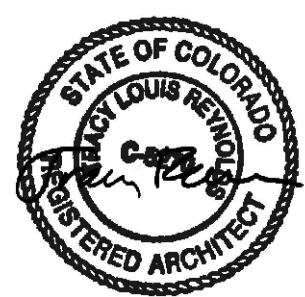
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



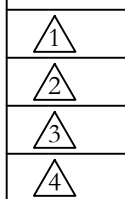
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

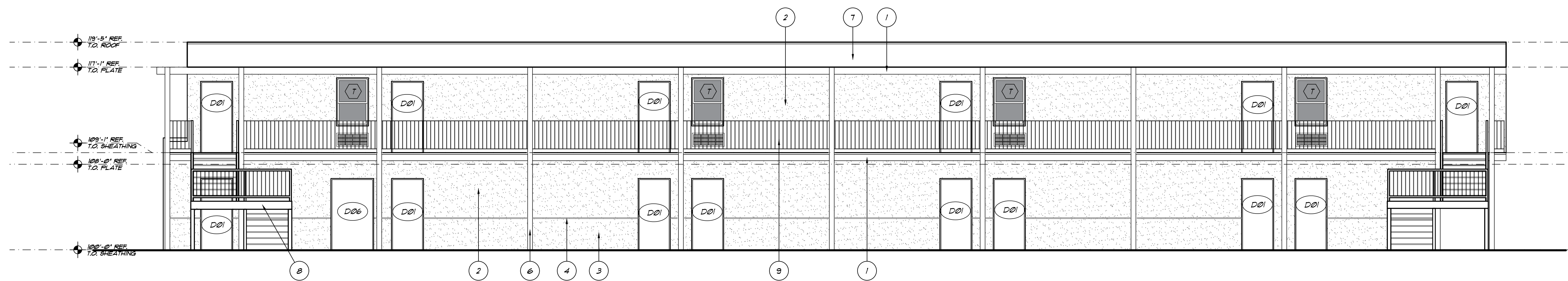
ISSUE RECORD:

REVISIONS:



A-210

PROPOSED EXTERIOR  
ELEVATIONS - BUILDING C

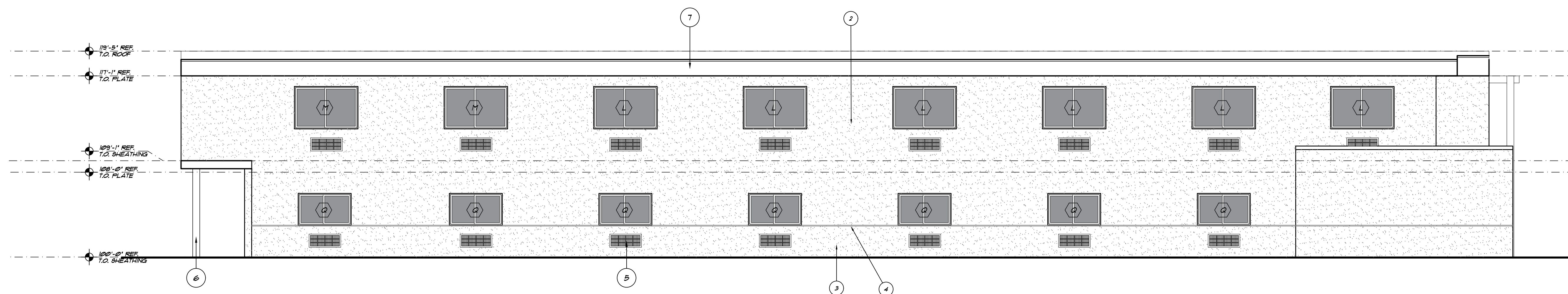


BLDG C EAST ELEVATION - PROPOSED

A

SCALE: 3/16" = 1'-0"

A-210

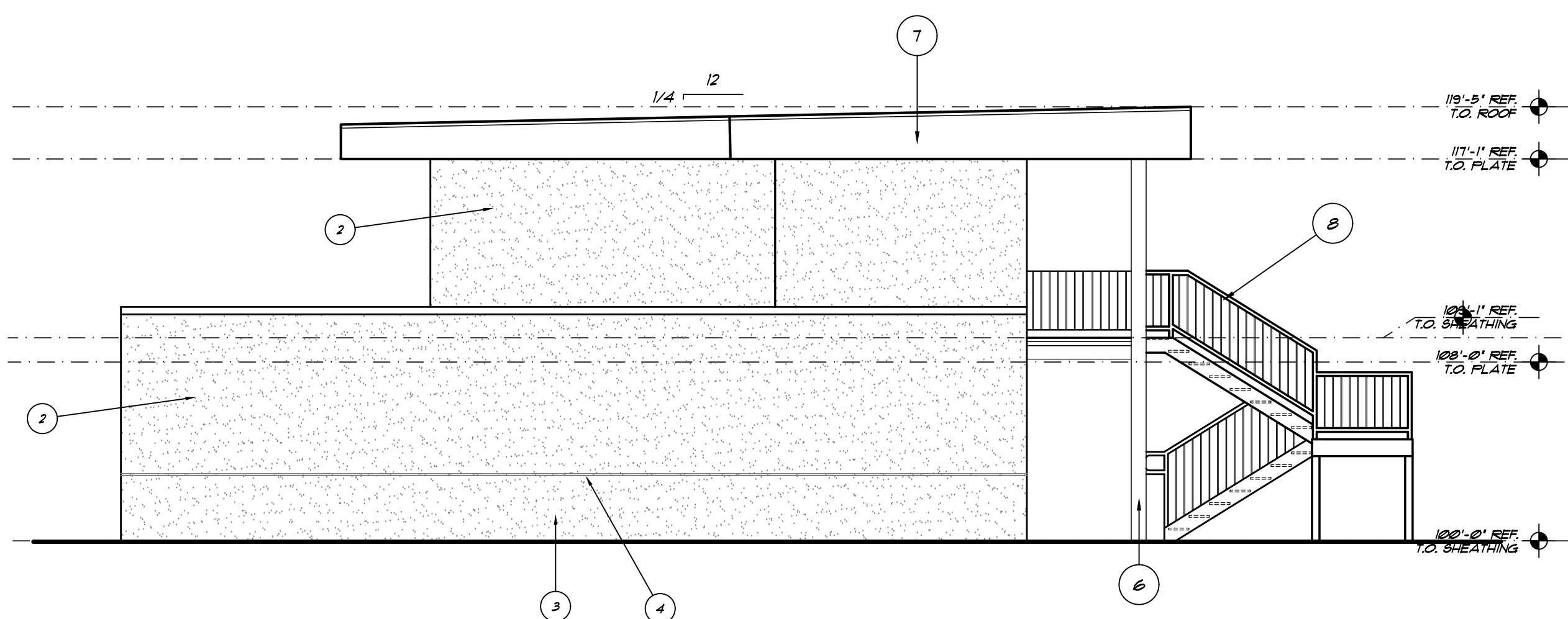


BLDG C WEST ELEVATION - PROPOSED

B

SCALE: 3/16" = 1'-0"

A-210

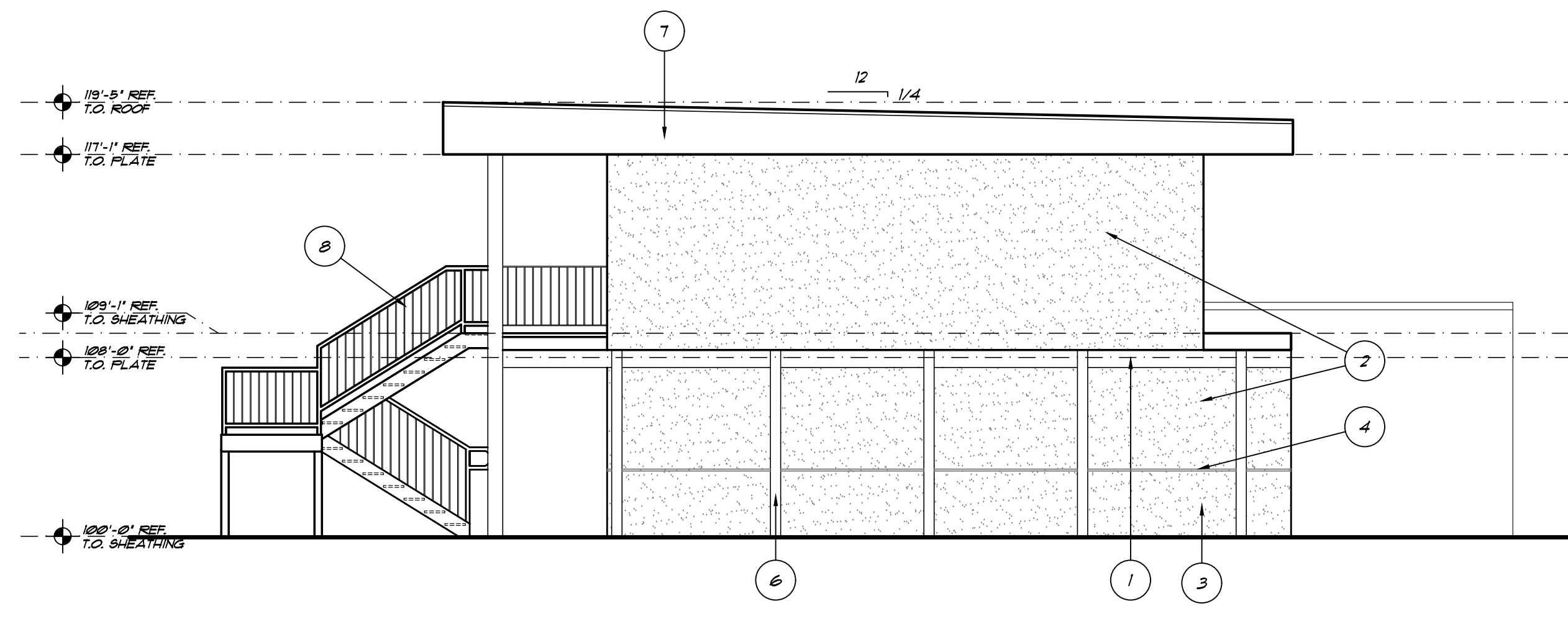


BLDG C SOUTH ELEVATION - PROPOSED

C

SCALE: 3/16" = 1'-0"

A-210



BLDG C NORTH ELEVATION - PROPOSED

D

SCALE: 3/16" = 1'-0"

A-210

ELEVATION KEY NOTES:

1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. PTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD (SEE DETAIL G ON A-501)
9. METAL RAILING
10. CORRUGATED METAL



PHYNOLDS ASH + ASSOCIATES, P.C. EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED OR TRANSFERRED IN ANY MANNER WITHOUT OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE PROJECT IN WHICH THEY WERE PREPARED AND NO REPLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISTRIBUTION, SALE, OR OTHER DISSEMINATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF PHYNOLDS ASH + ASSOCIATES, P.C.



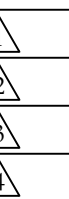
# ZUMA APARTMENTS - MESA VERDE HOTEL CONVERSION

040 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
 DATE: 2022-11-04  
 DRAWN BY: TR, MG

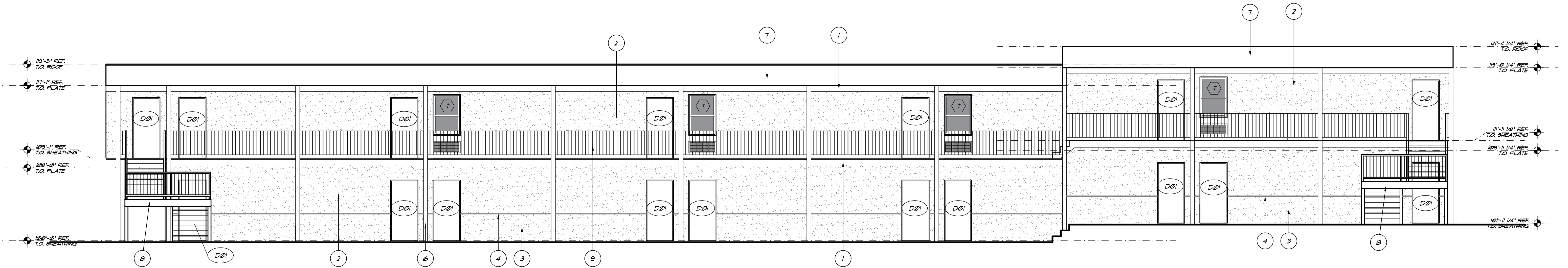
ISSUE RECORD:

REVISIONS:



A-211

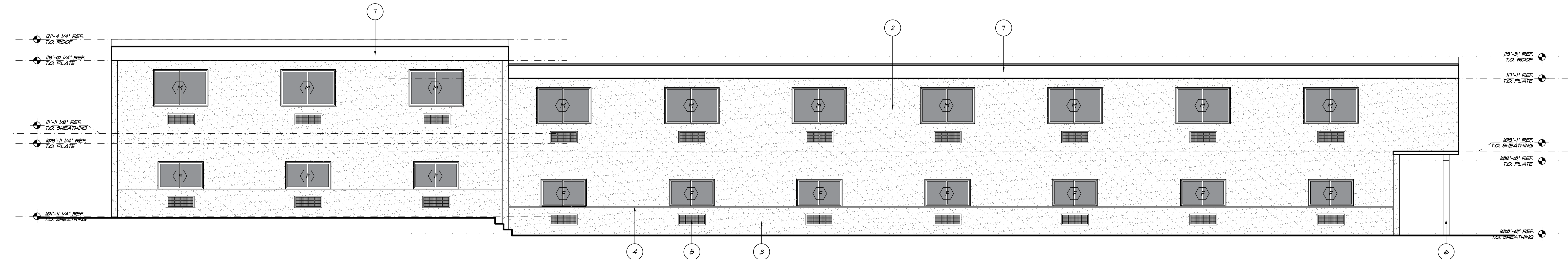
PROPOSED EXTERIOR  
ELEVATIONS - BUILDING D



BLDG D SOUTH ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

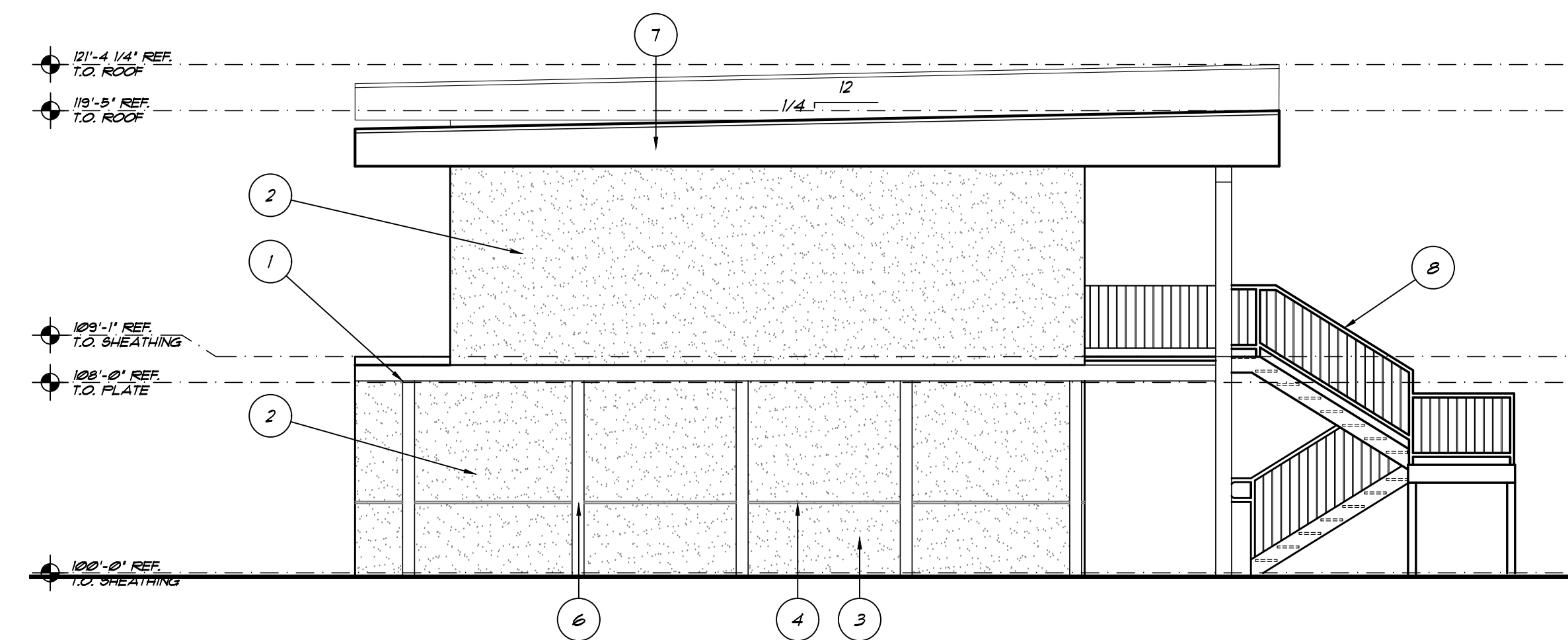
A-211



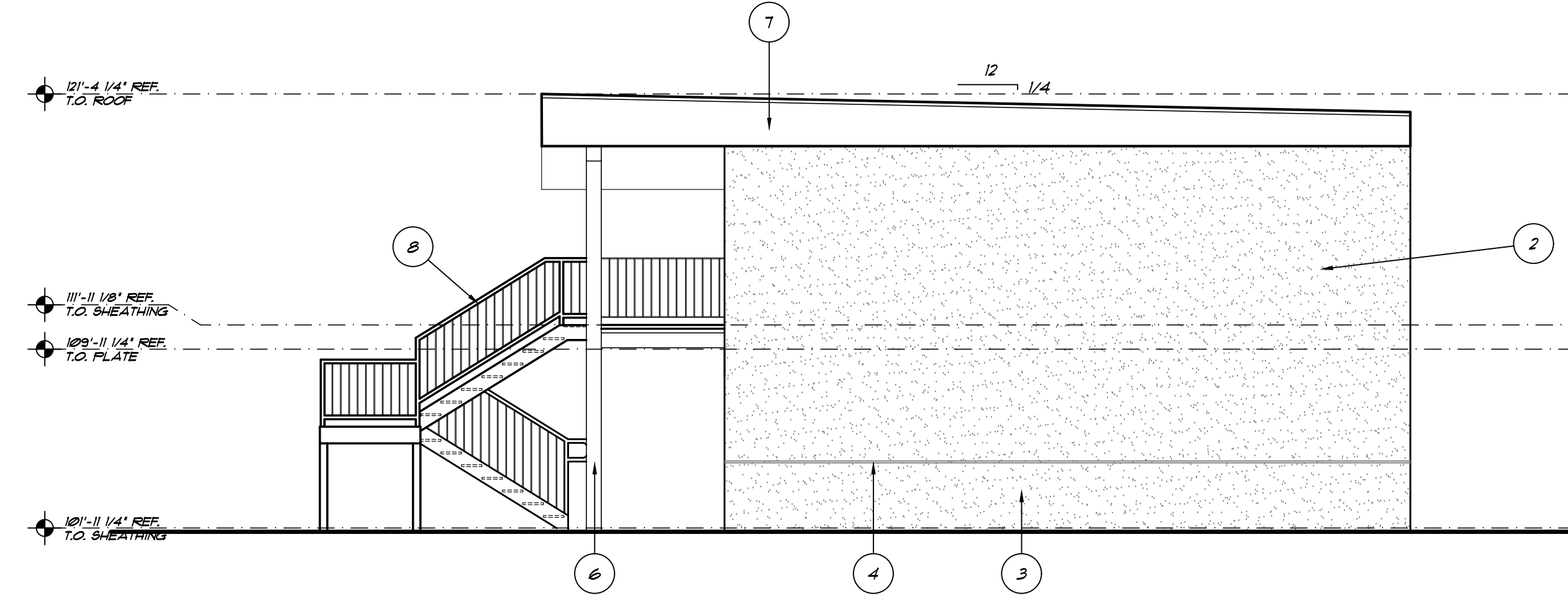
BLDG D NORTH ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

B  
A-211



BLDG D WEST ELEVATION - PROPOSED C  
SCALE: 3/16" = 1'-0" A-211



BLDG D EAST ELEVATION - PROPOSED

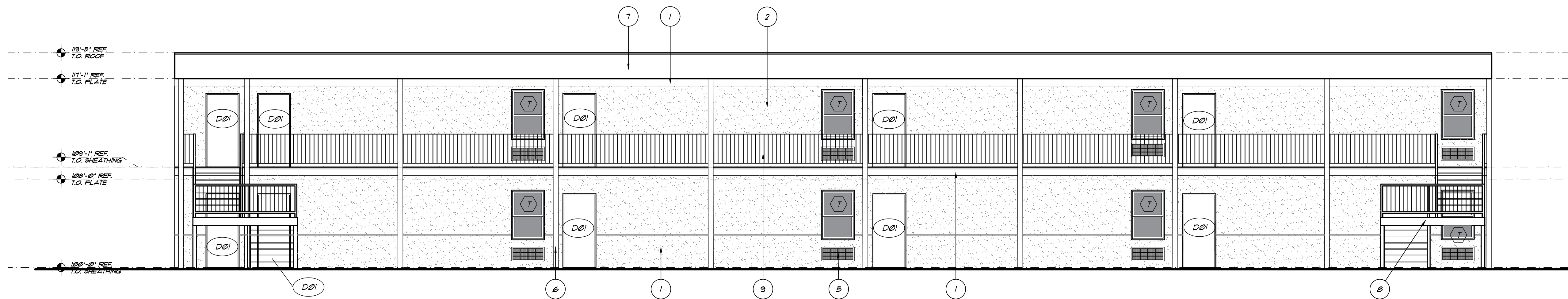
SCALE: 3/16" = 1'-0"

D  
A-211

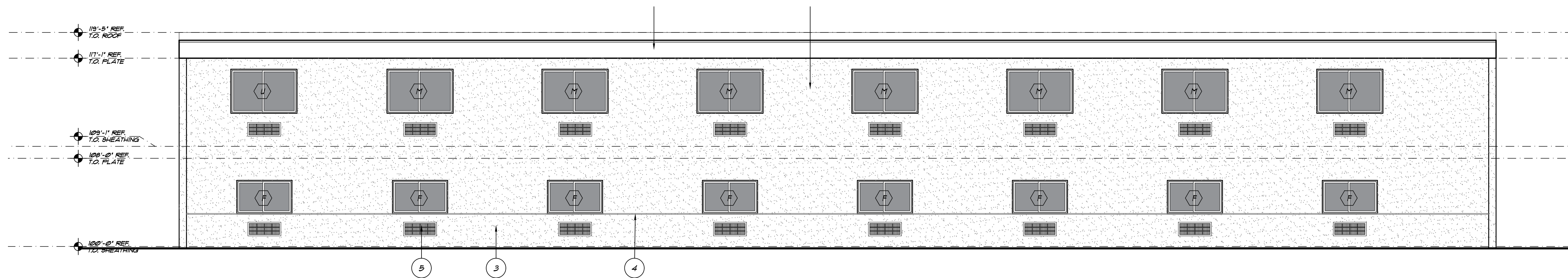
ELEVATION KEY NOTES:

1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. PTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD  
(SEE DETAIL G ON A-301)
9. METAL RAILING
10. CORRUGATED METAL

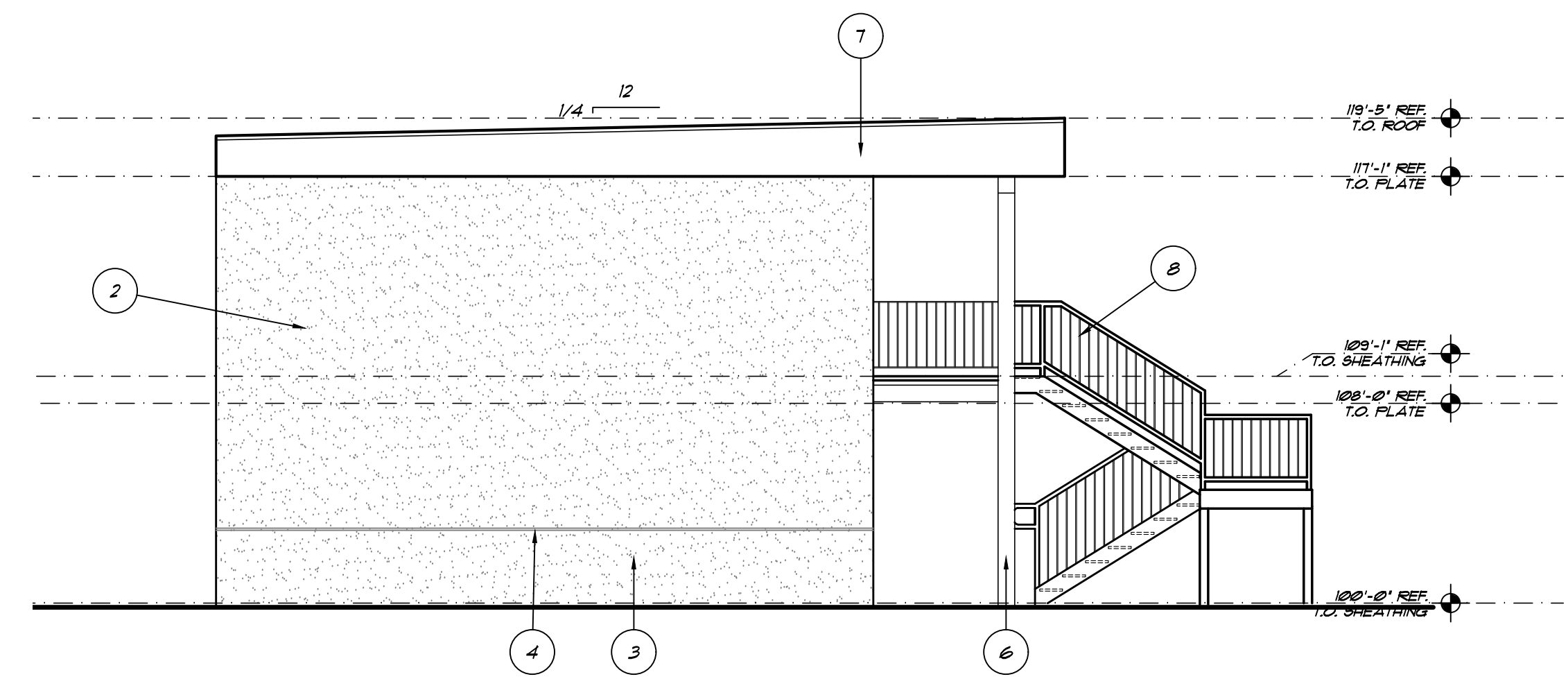




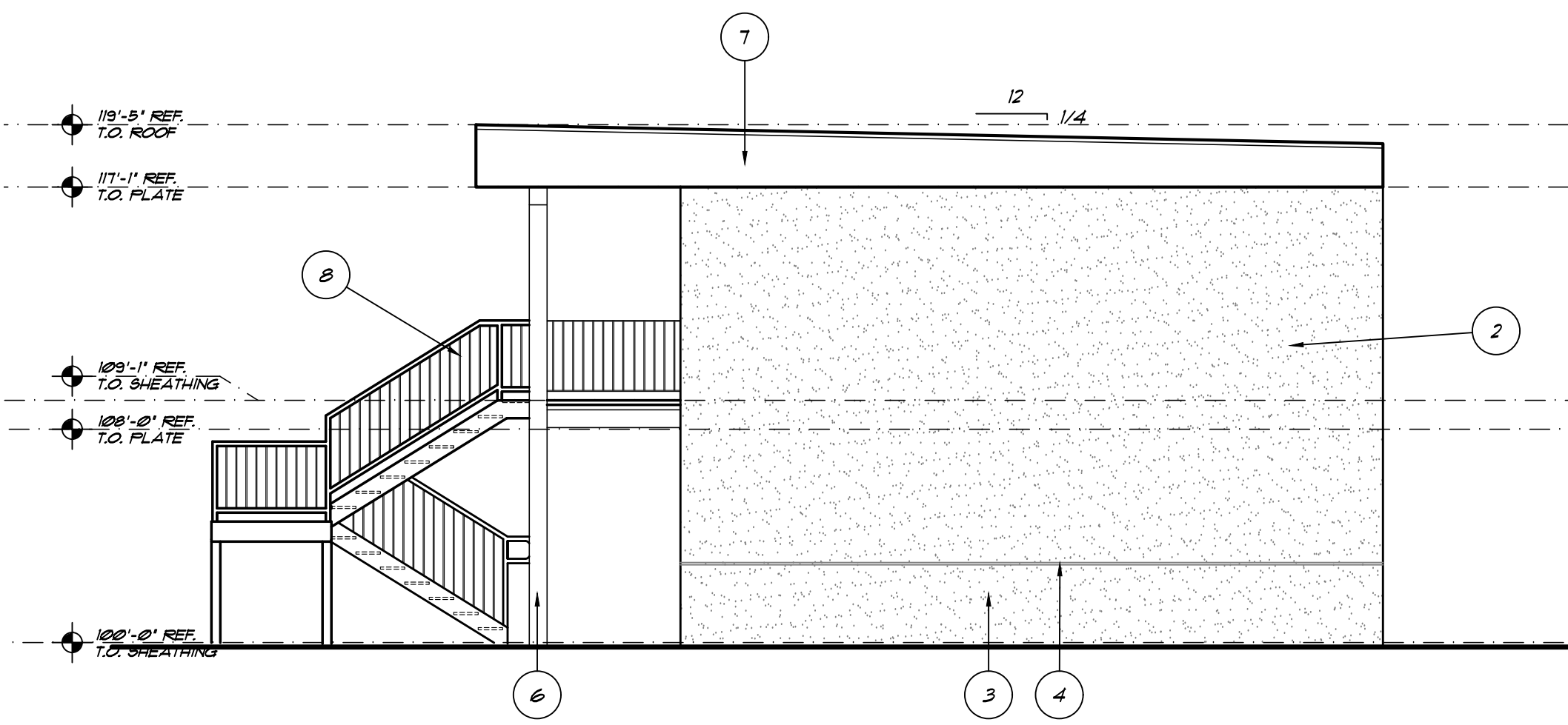
BLDG E WEST ELEVATION - PROPOSED A  
SCALE: 3/16" = 1'-0" A-212



BLDG E EAST ELEVATION - PROPOSED B  
SCALE: 3/16" = 1'-0" A-212



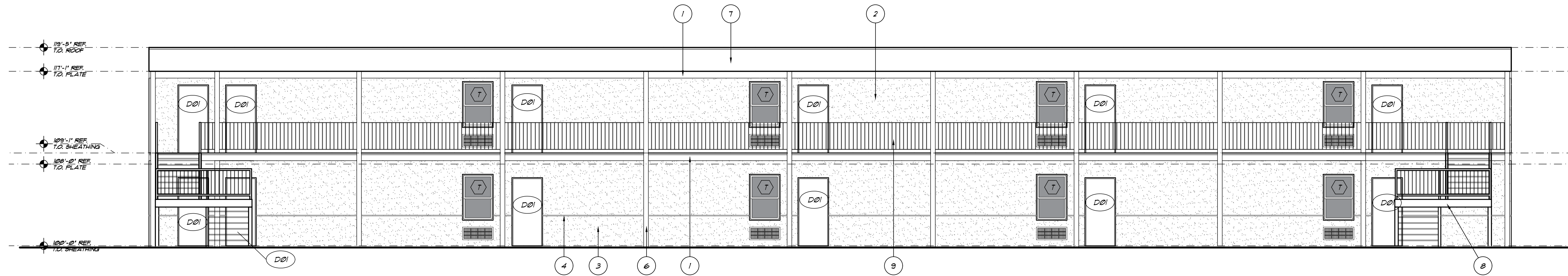
BLDG E NORTH ELEVATION - PROPOSED C  
SCALE: 3/16" = 1'-0" A-212



BLDG E SOUTH ELEVATION - PROPOSED D  
SCALE: 3/16" = 1'-0" A-212

- ELEVATION KEY NOTES:
1. WOOD BEAM (PAINTED BLACK)
  2. OFF-WHITE STUCCO
  3. BROWN STUCCO (LOWER BAND)
  4. STUCCO INDENT
  5. PTAC UNIT
  6. METAL WRAPPED COLUMN
  7. BLACK METAL FLASHING
  8. C-CHANNEL STAIRS W/ METAL GRATING TREAD (SEE DETAIL G ON A-501)
  9. METAL RAILING
  10. CORRUGATED METAL



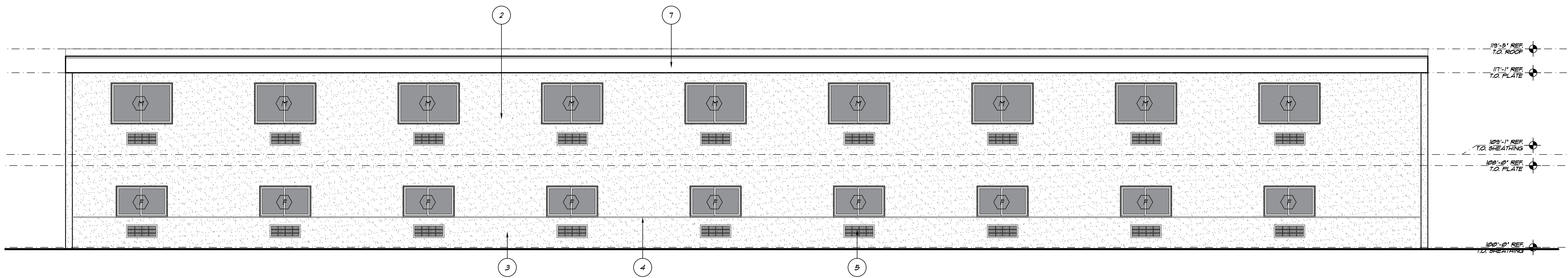


BLDG F EAST ELEVATION - PROPOSED

A

SCALE: 3/16" = 1'-0"

A-213

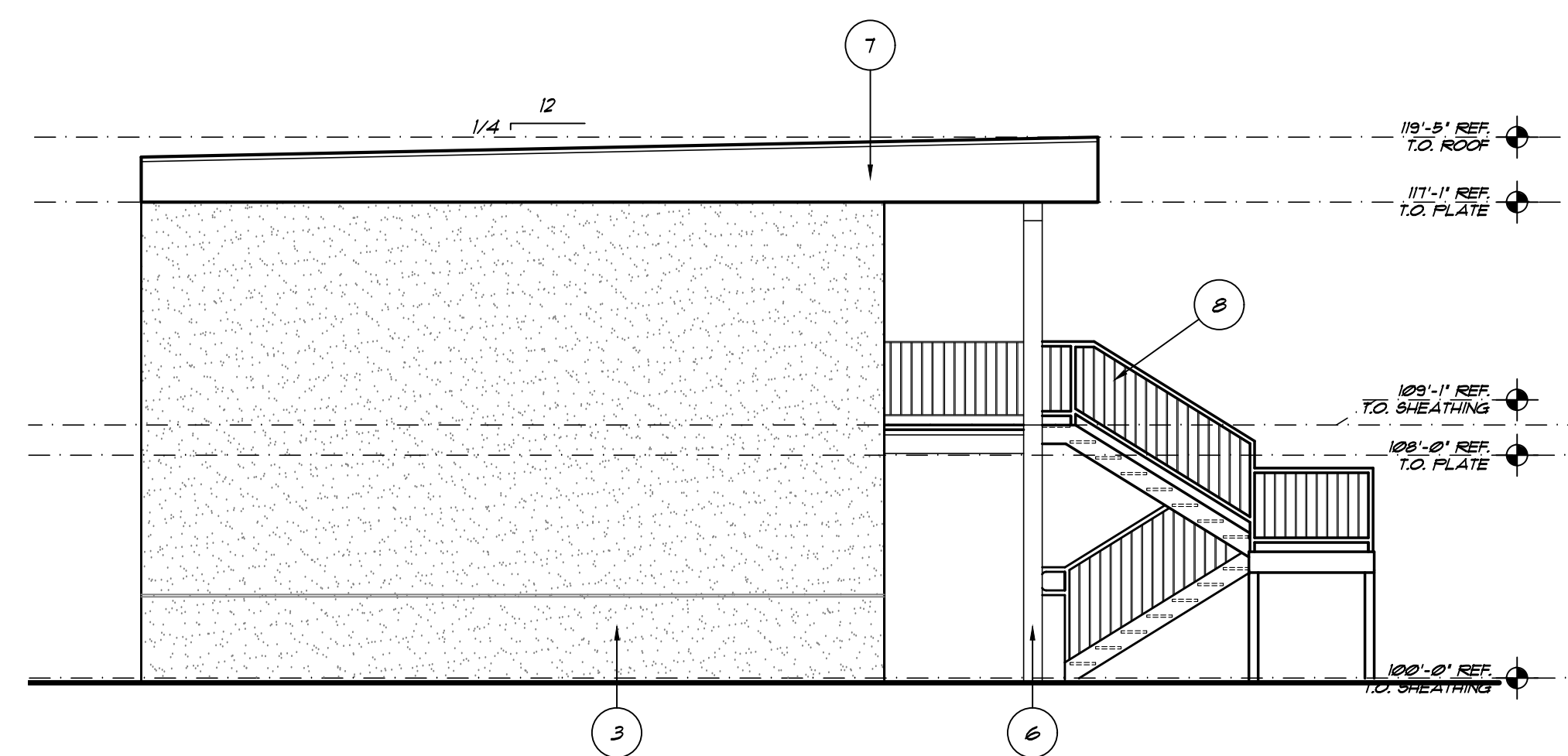


BLDG F WEST ELEVATION - PROPOSED

B

SCALE: 3/16" = 1'-0"

A-213

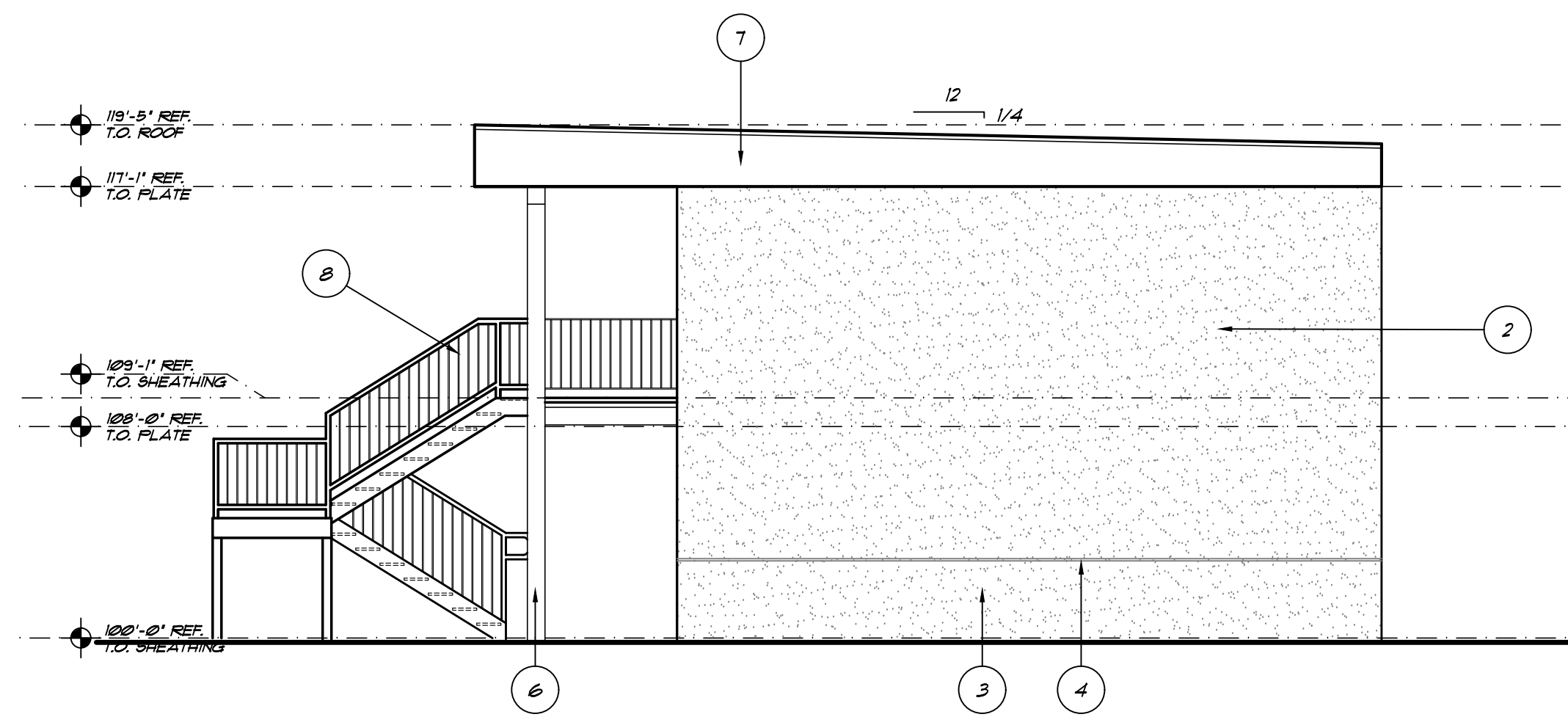


BLDG F SOUTH ELEVATION - PROPOSED

C

SCALE: 3/16" = 1'-0"

A-213



BLDG F NORTH ELEVATION - PROPOSED

D

SCALE: 3/16" = 1'-0"

A-213

ELEVATION KEY NOTES:

1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. PTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD (SEE DETAIL G ON A-501)
9. METAL RAILING
10. CORRUGATED METAL



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C., EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE, OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.



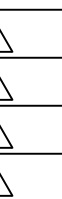
ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION

640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

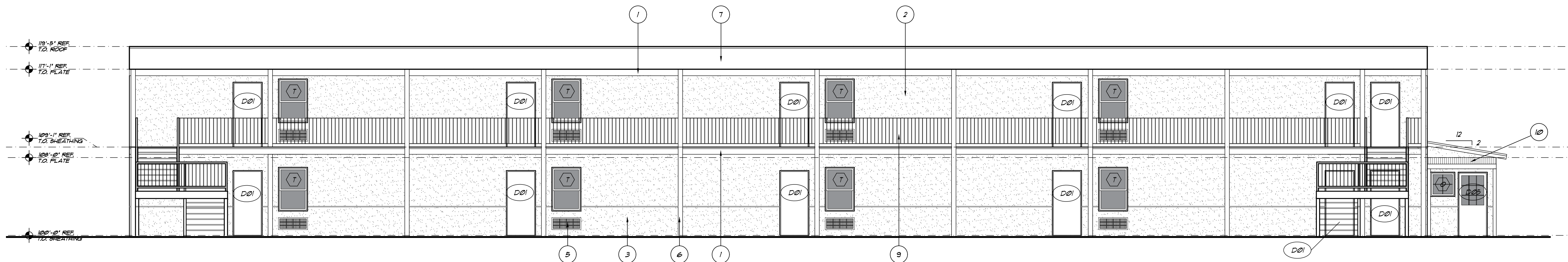
REVISIONS:



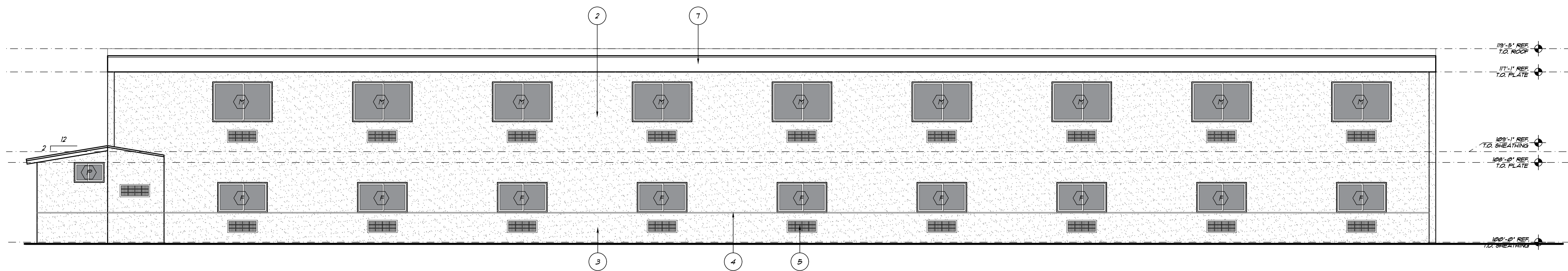
A-213

PROPOSED EXTERIOR  
ELEVATIONS - BUILDING F

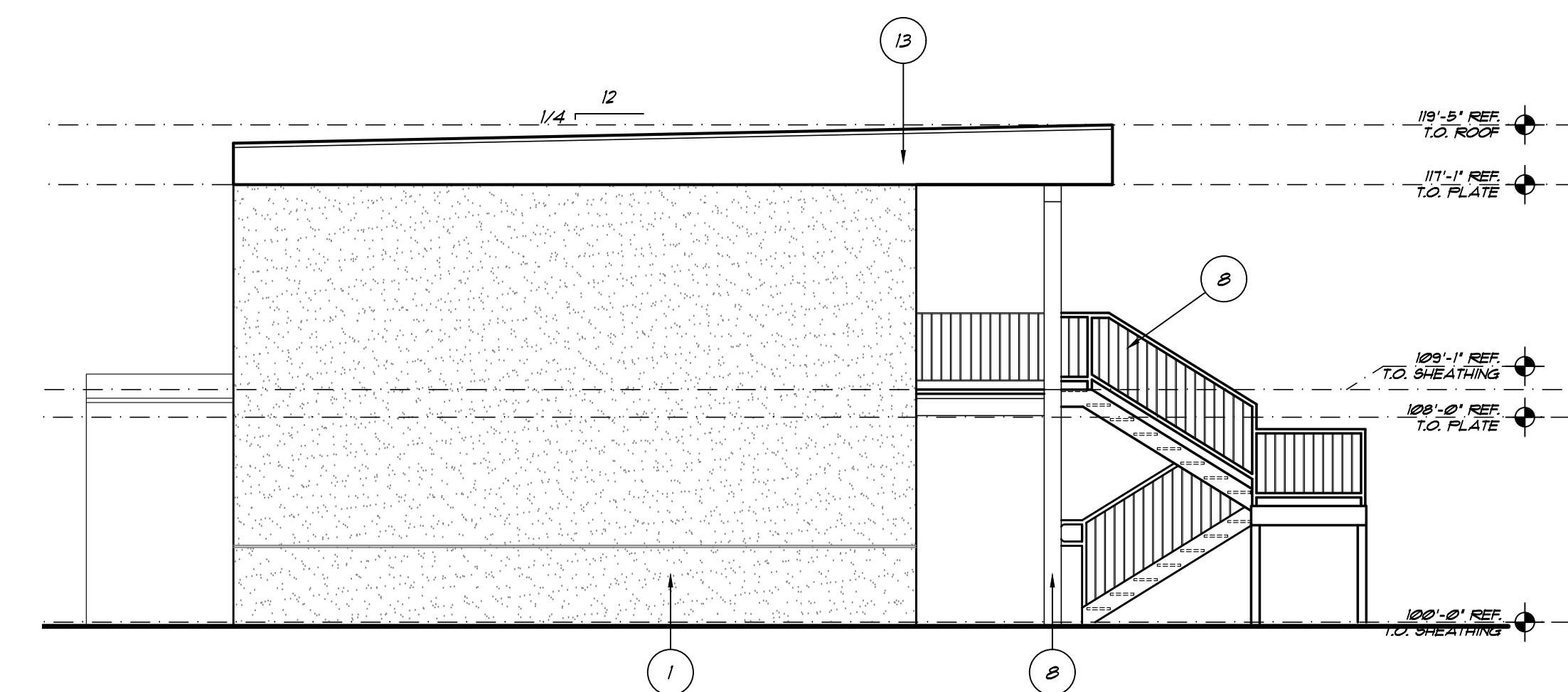




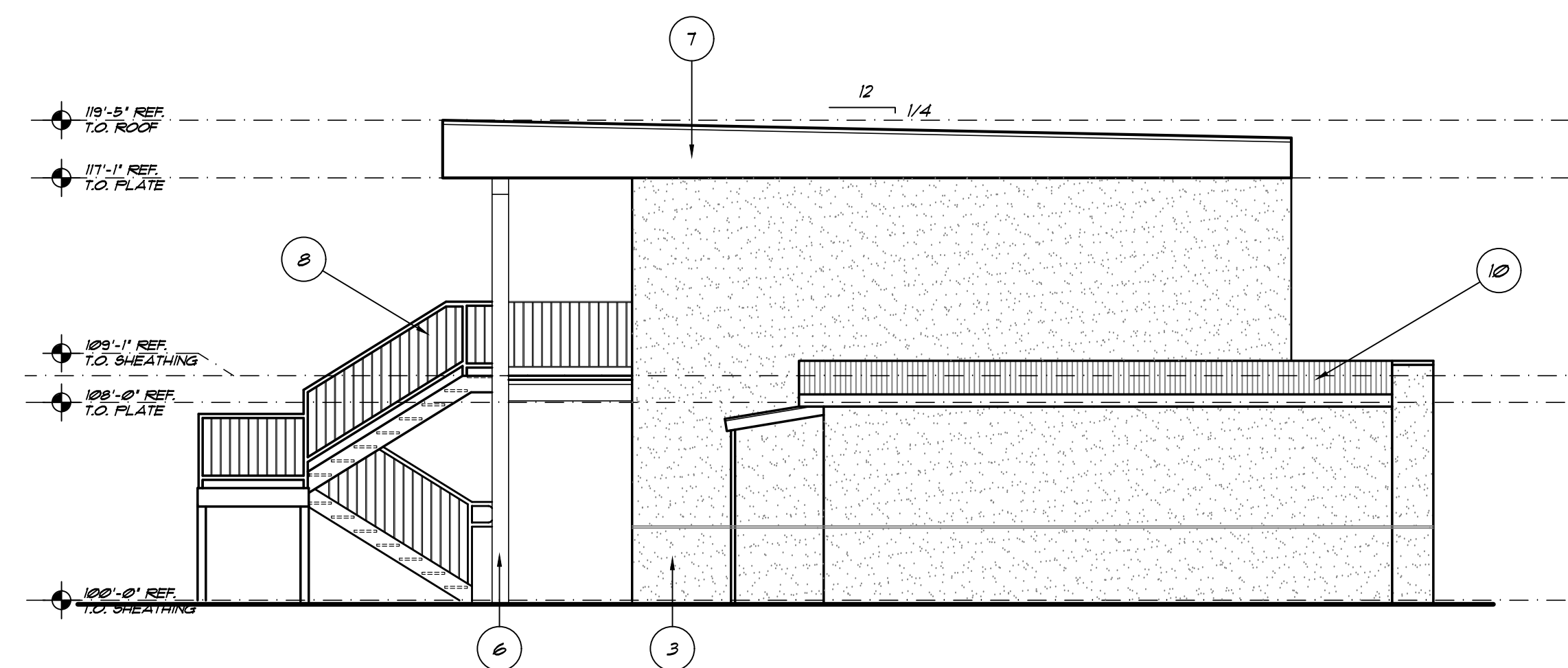
BLDG G WEST ELEVATION - PROPOSED A  
SCALE: 3/16" = 1'-0" A-214



BLDG G EAST ELEVATION - PROPOSED B  
SCALE: 3/16" = 1'-0" A-214



BLDG G NORTH ELEVATION - PROPOSED C  
SCALE: 3/16" = 1'-0" A-214



BLDG G SOUTH ELEVATION - PROPOSED D  
SCALE: 3/16" = 1'-0" A-214

ELEVATION KEY NOTES:

1. WOOD BEAM (PAINTED BLACK)
2. OFF-WHITE STUCCO
3. BROWN STUCCO (LOWER BAND)
4. STUCCO INDENT
5. PTAC UNIT
6. METAL WRAPPED COLUMN
7. BLACK METAL FLASHING
8. C-CHANNEL STAIRS W/ METAL GRATING TREAD (SEE DETAIL G ON A-501)
9. METAL RAILING
10. CORRUGATED METAL



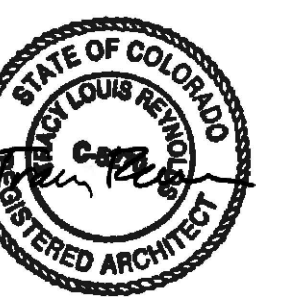
REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-0997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C., EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT OF RECORD. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE, OR OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

REVISIONS:  
A  
A  
A  
A

A-214

PROPOSED EXTERIOR  
ELEVATIONS - BUILDING G



WINDOW SCHEDULE						
MK	SIZE	TYPE	MATERIAL	FINISH	MANUF.	REMARKS
A	4'-0"X5'-0"	SLIDER	VINYL	-	-	EXISTING
B	2'-0"X2'-0"	SLIDER	VINYL	-	-	EXISTING
C	6'-0"X1'-4"	FIXED	METAL	-	-	STOREFRONT TRANSOM WINDOW ABV. DOOR, EXISTING
D	5'-0"X4'-0"	SLIDER	VINYL	-	-	3' SILL HGT, EXISTING
E	3'-0"X4'-0"	SLIDER	VINYL	-	-	EXISTING
F	5'-0"X3'-0"	SLIDER	VINYL	-	-	3' SILL HGT, EXISTING
G	3'-0"X3'-0"	SLIDER	VINYL	-	-	3' SILL HGT, EXISTING
H	3'-0"X2'-0"	SLIDER	VINYL	-	-	EXISTING
I	NOT USED FOR CLARITY					
J	4'-0"X3'-0"	SLIDER	VINYL	-	-	3' SILL HGT, EXISTING
K	2'-0"X3'-0"	SLIDER	VINYL	-	-	3' SILL HGT, EXISTING
L	6'-0"X4'-0"	SLIDER	ALUMINUM	-	-	3' SILL HGT, EXISTING
M	6'-0"X4'-0"	SLIDER	VINYL	-	-	EXISTING
N	5'-0"X3'-0"	(2) CASEMENT, (1) FIXED	VINYL	-	-	EXISTING
O	2'-6"X2'-6"	SLIDER	VINYL	-	-	4' SILL HGT, EXISTING
P	3'-0"X3'-0"	SLIDER	VINYL	-	-	6' SILL HGT, EXISTING
Q	5'-0"X3'-0"	SLIDER	VINYL	-	-	3' SILL HGT, NEW WINDOW
R	5'-0"X4'-0"	SLIDER	VINYL	-	-	3' SILL HGT, NEW WINDOW
S	3'-0"X3'-6"	DOUBLE HUNG	VINYL	-	-	3'-6" SILL HGT, NEW WINDOW
T	3'-0"X4'-6"	DOUBLE HUNG	VINYL	-	-	2'-6" SILL HGT, NEW WINDOW
U	6'-0"X4'-0"	SLIDER	VINYL	-	-	3' SILL HGT, NEW WINDOW

DOOR SCHEDULE								
NUMBER	TYPE	SIZE	MATERIAL	FINISH	FRAME MATL	FRAME FINISH	HARDWARE	REMARKS
D01	EXT	3'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		NO GLASS, EXISTING
D02	INT	2'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		EXISTING
D03	INT	3'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		EXISTING
D04	EXT	FR 3'-0"X6'-8"X1 3/4"	WOOD	FNT	WOOD	FNT		FULL GLASS STOREFRONT w/ TRANS, EXISTING
D05	EXT	3'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		HALF GLASS, EXISTING
D06	EXT	4'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		NO GLASS, EXISTING
D07	INT	2'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		EXISTING
D08	INT	1'-8"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		EXISTING
D09	INT	2'-8"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		EXISTING
D10	EXT	3'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		HALF GLASS, OVAL, EXISTING
D11	EXT	6'-0"X6'-8"X1 3/4"	VINYL	-	VINYL	-		SLIDER, FULL GLASS, EXISTING
D12	INT	7'-6"X6'-8"X1 3/8"	WOOD	STAIN	WOOD	STAIN		DOUBLE POCKET DOOR, EXISTING
D13	INT	2'-10"X6'-8"X1 3/8"	WOOD	STAIN	WOOD	STAIN		POCKET DOOR, NEW DOOR, EXISTING
D14	INT	2'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR
D15	EXT	3'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		NO GLASS, NEW DOOR
D16	EXT	3'-0"X6'-8"X1 3/4"	METAL	FNT	METAL	FNT		HALF GLASS, NEW DOOR
D17	INT	3'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR
D18	INT	2'-10"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR
D19	INT	4'-0"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		DOUBLE DOOR, NEW DOOR
D20	INT	2'-4"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR
D21	INT	1'-4"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR
D22	INT	2'-6"X6'-8"X1 3/8"	WOOD	FNT	WOOD	FNT		NEW DOOR

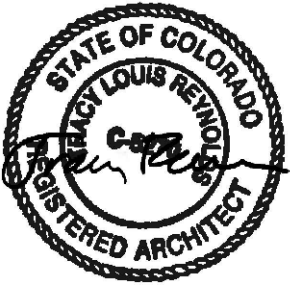


REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 239-7492  
  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-4884  
FAX (970) 264-0997  
  
RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: 22233  
DATE: 2022-11-04  
DRAWN BY: TR, MG

ISSUE RECORD:

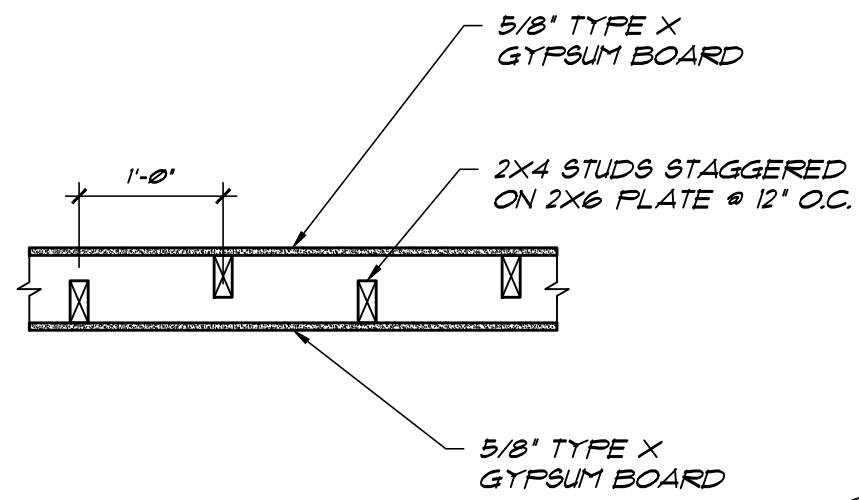
REVISIONS:



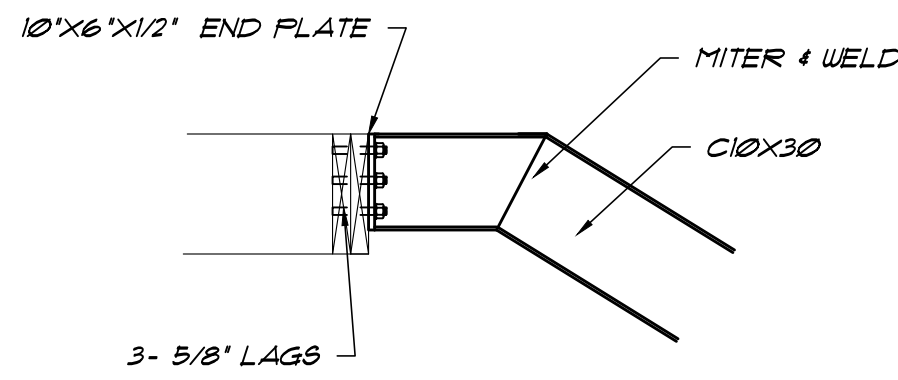
A-401

DOOR & WINDOW  
SCHEDULES

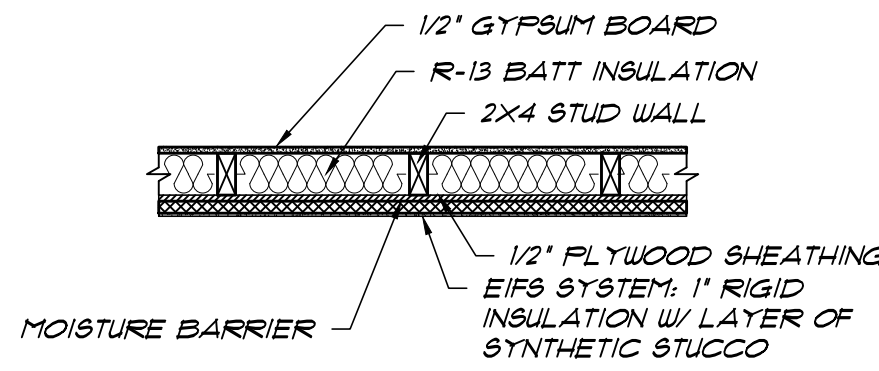




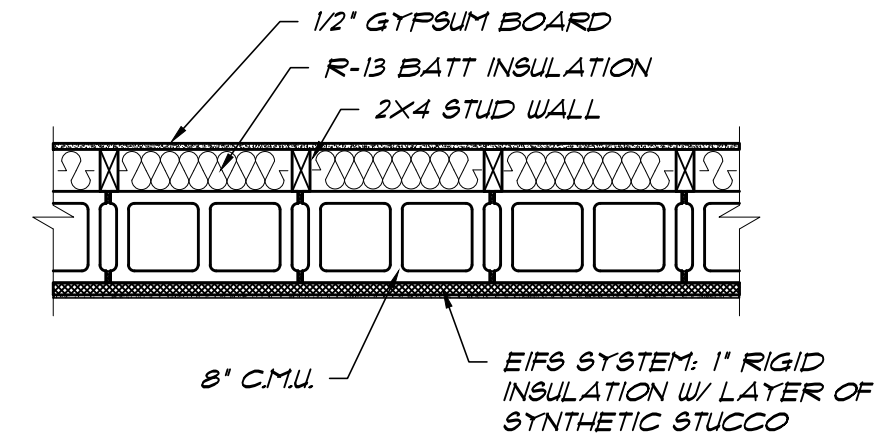
1 HR WALL - INT. PARTITION **A**  
SCALE: 3/4" = 1'-0" **A-501**



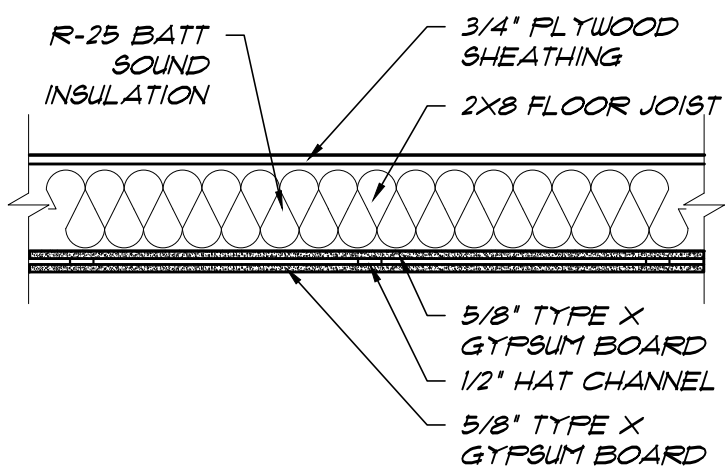
STAIR/ WALKWAY CONN. **B**  
SCALE: 3/4" = 1'-0" **A-501**



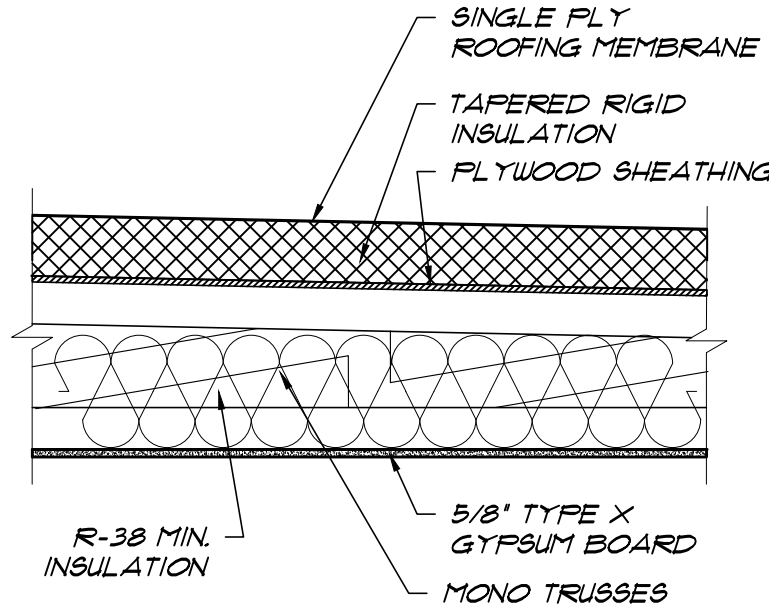
EXT. WALL - UPPER LEVEL **C**  
SCALE: 3/4" = 1'-0" **A-501**



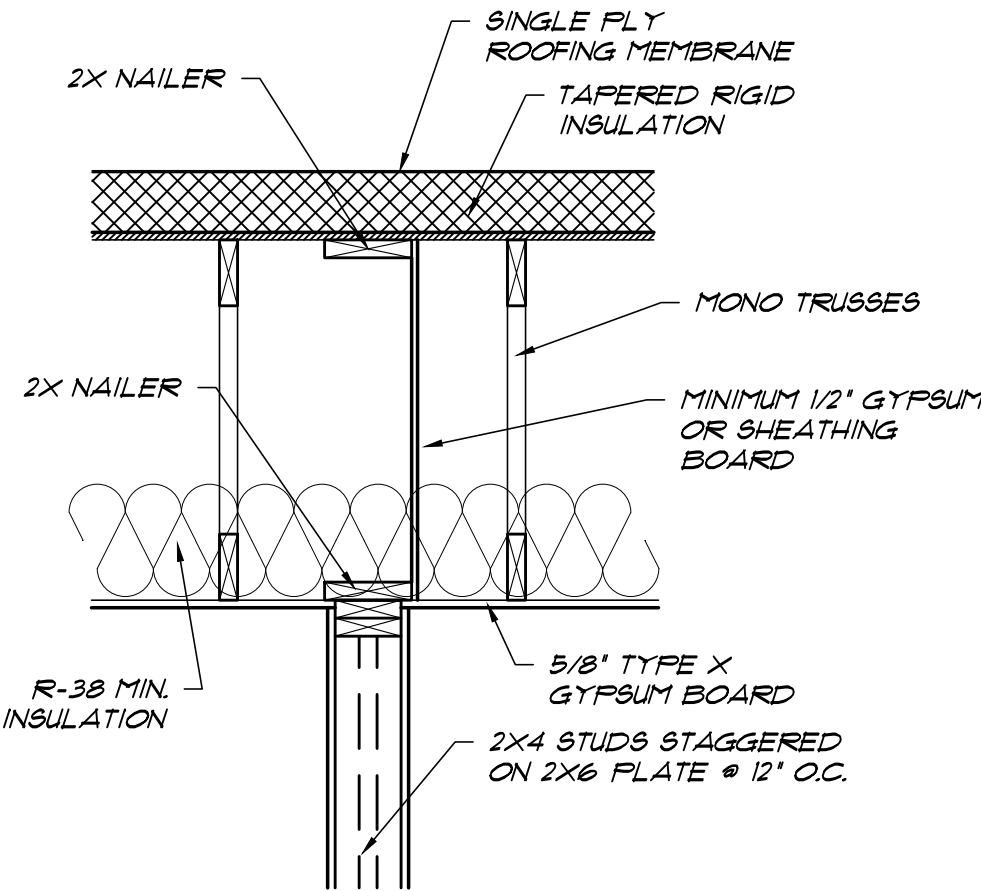
EXT. WALL - C.M.U. **D**  
SCALE: 3/4" = 1'-0" **A-501**



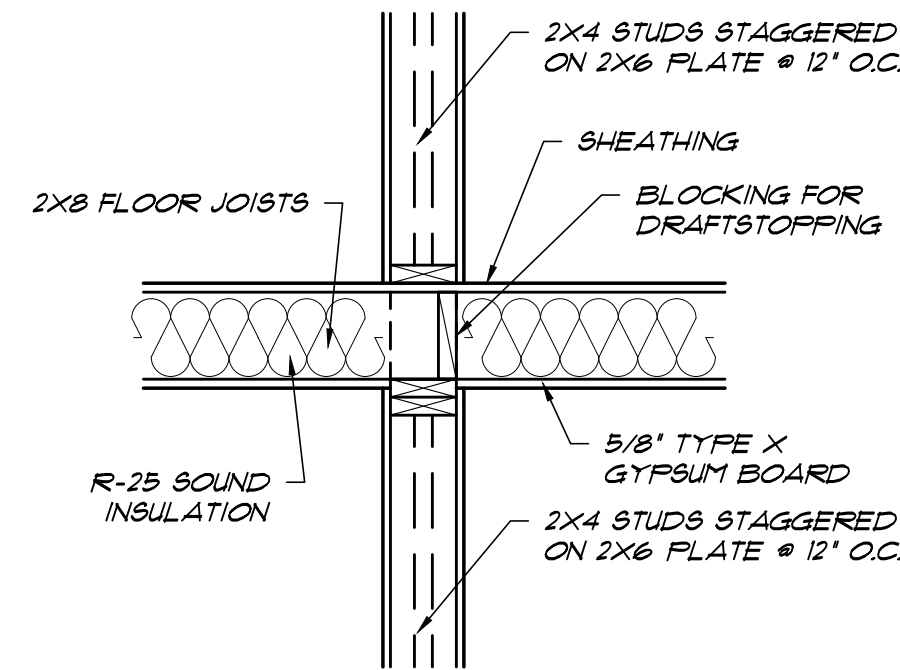
1 HR FLOOR ASSEMBLY **E**  
SCALE: 3/4" = 1'-0" **A-501**



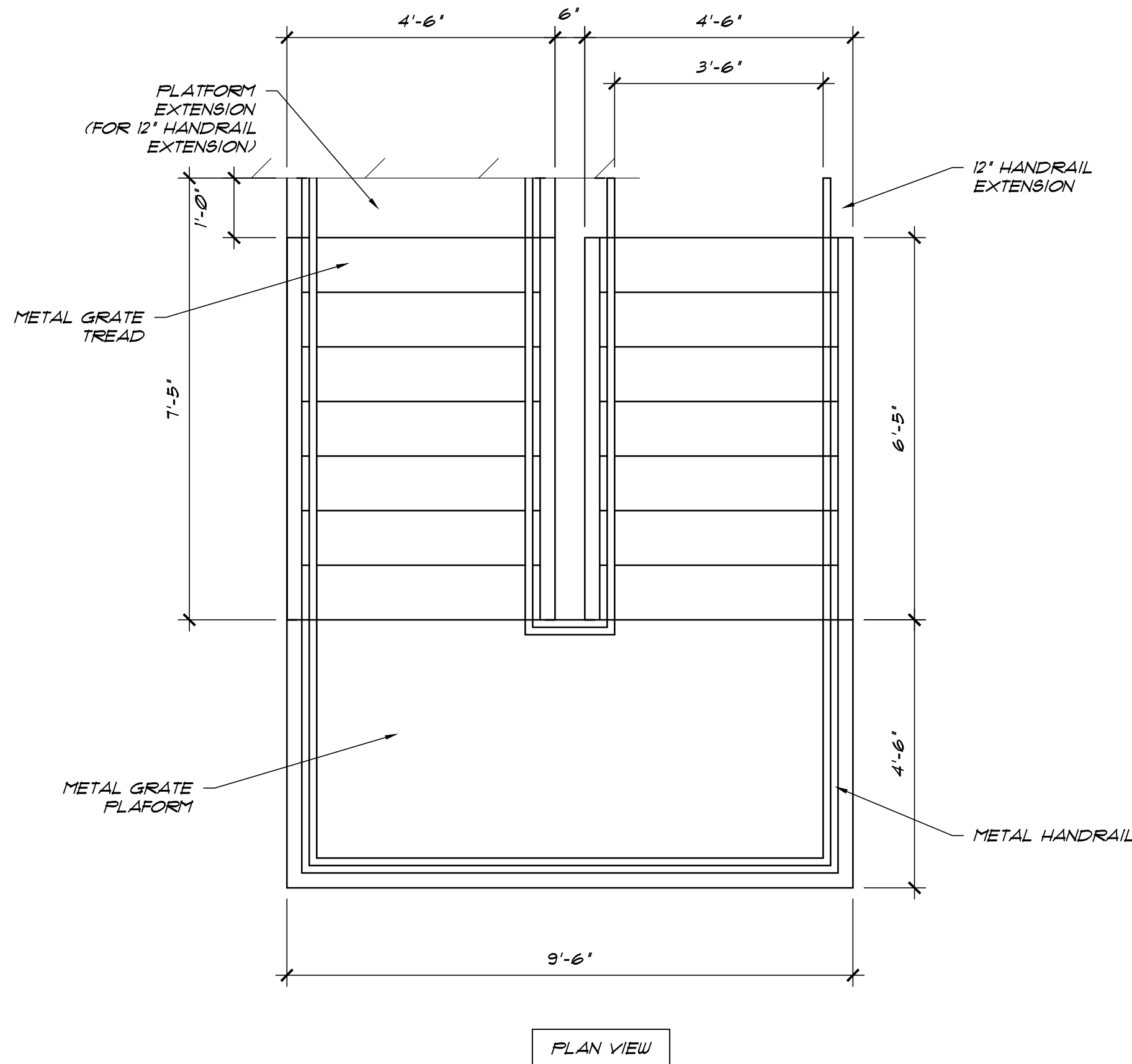
1 HR ROOF/CEILING ASSEM. **F**  
SCALE: 3/4" = 1'-0" **A-501**



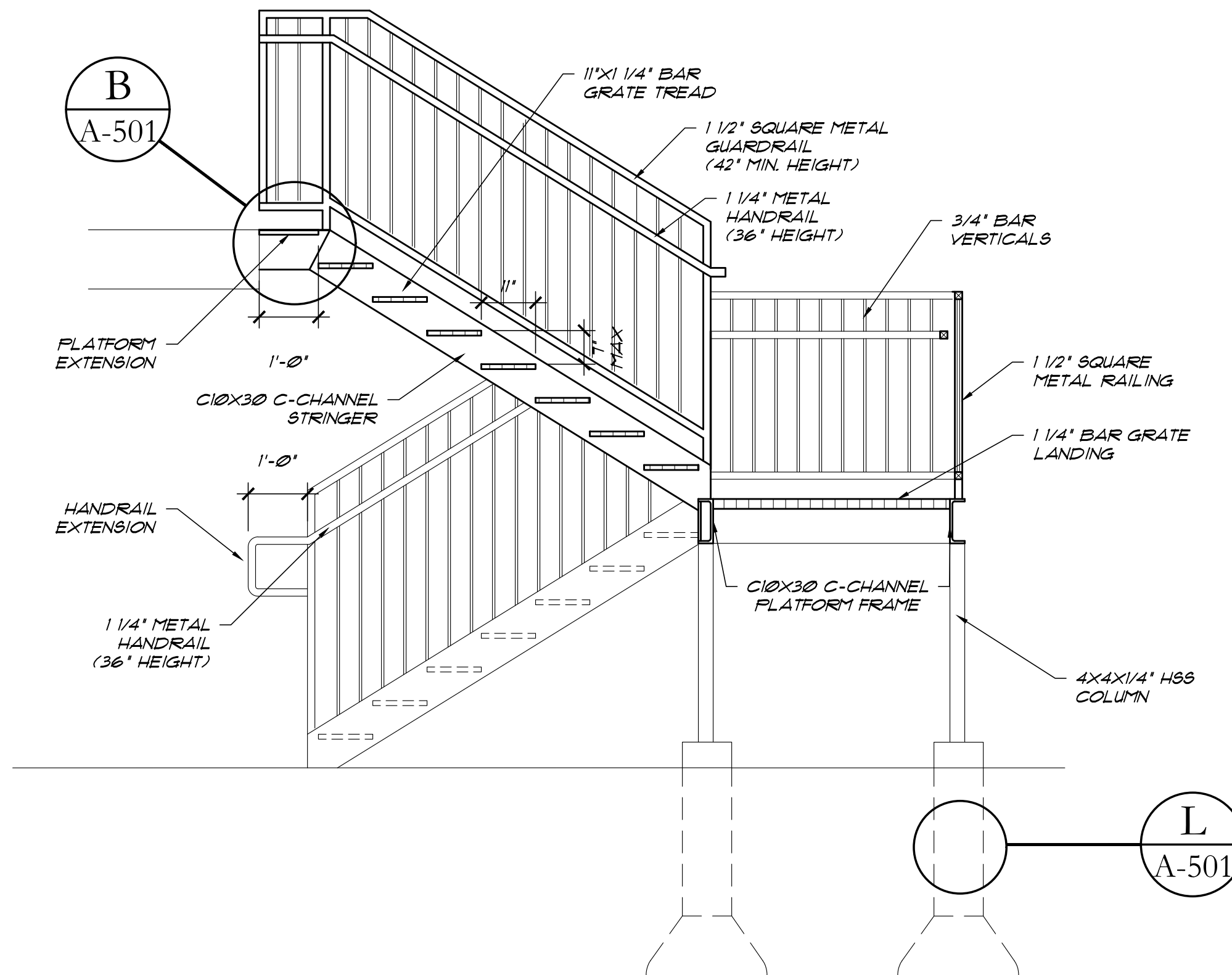
DRAFTSTOP ATTIC ASSEM. **H**  
SCALE: 3/4" = 1'-0" **A-501**



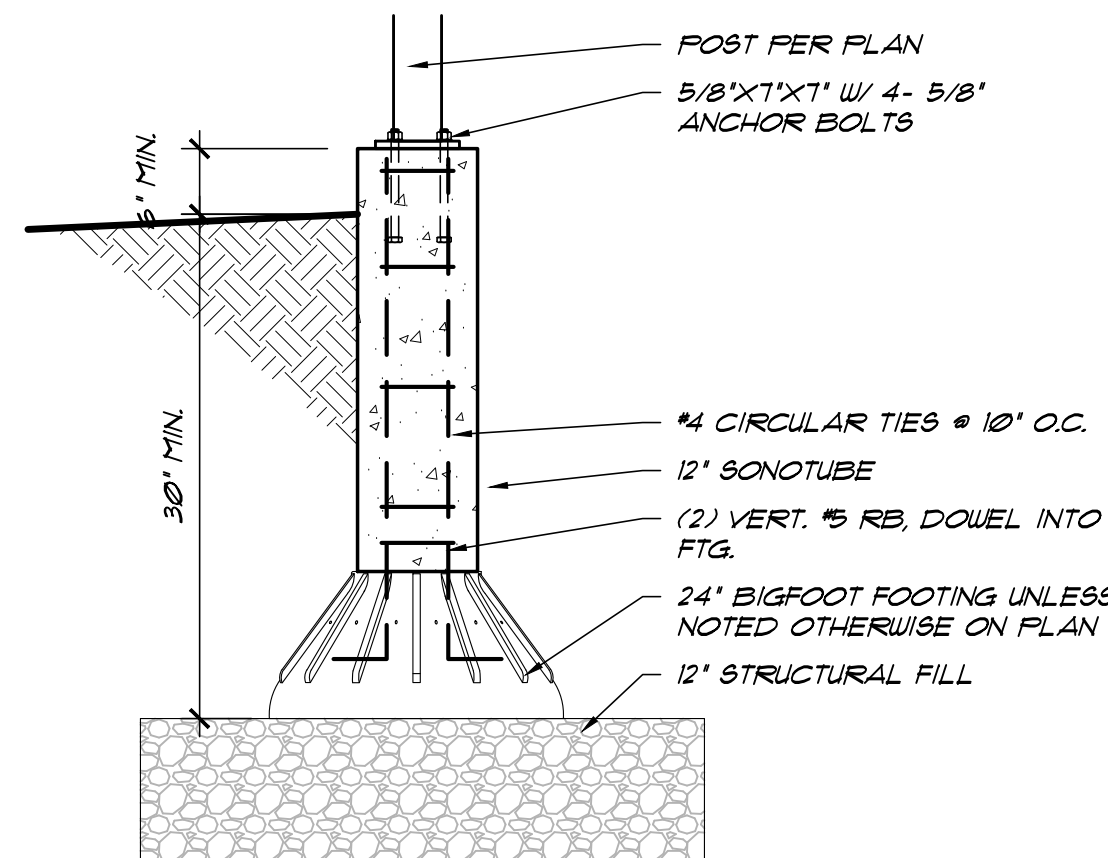
DRAFTSTOP FLOOR ASSEM. **J**  
SCALE: 3/4" = 1'-0" **A-501**



PLAN VIEW



SECTION VIEW



TYPICAL PIER DETAIL **L**  
SCALE: 3/4" = 1'-0" **A-501**

STAIR DETAIL **G**  
SCALE: 1/2" = 1'-0" **A-501**



**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO. 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



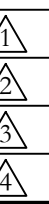
**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**

**640 S BROADWAY  
CORTEZ, CO 81321**

JOB NO.: **22233**  
DATE: **2022-11-04**  
DRAWN BY: **TR, MG**

ISSUE RECORD:

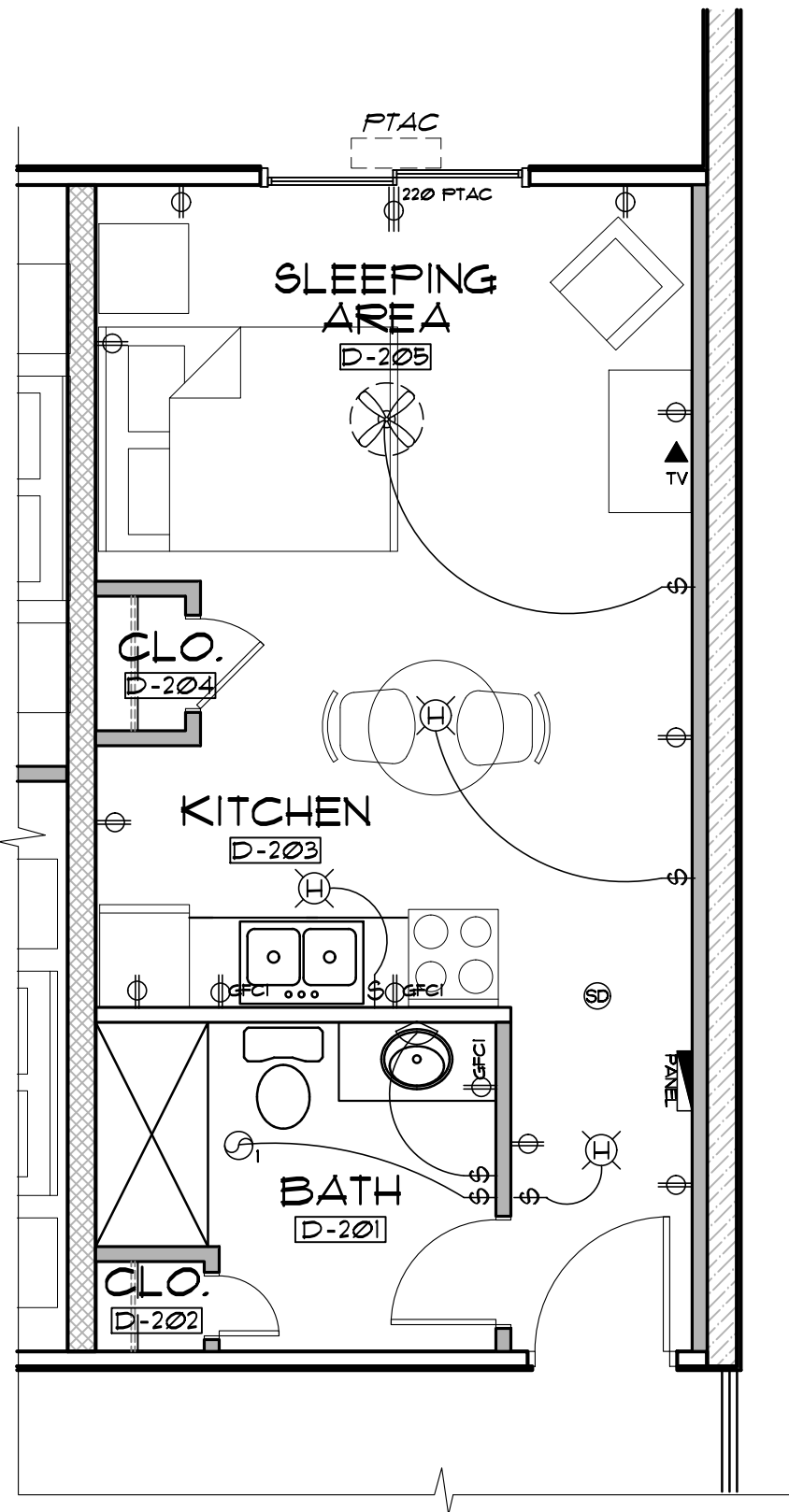
REVISIONS:



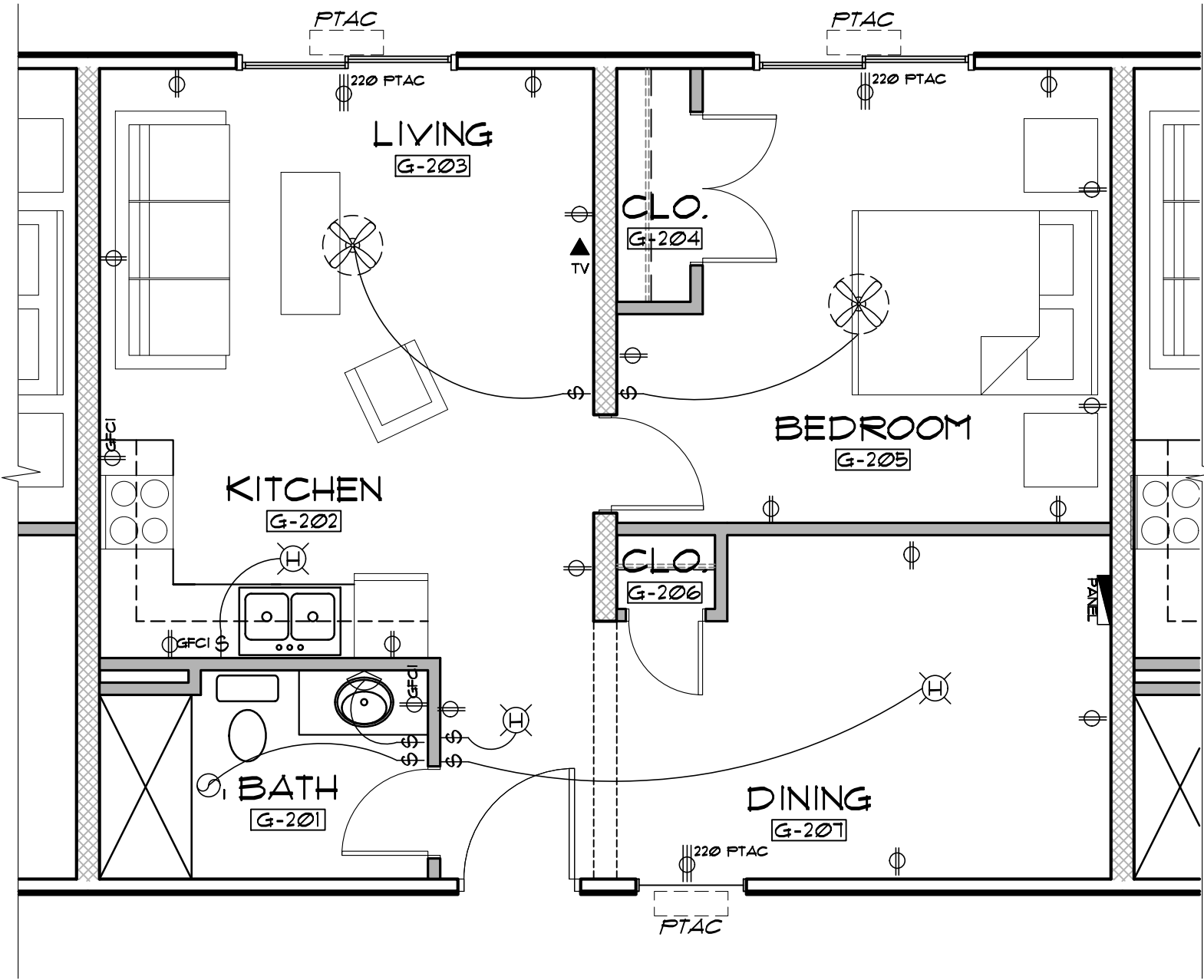
**A-501**

WALL & FLOOR ASSEMBLIES  
STAIR DETAILS

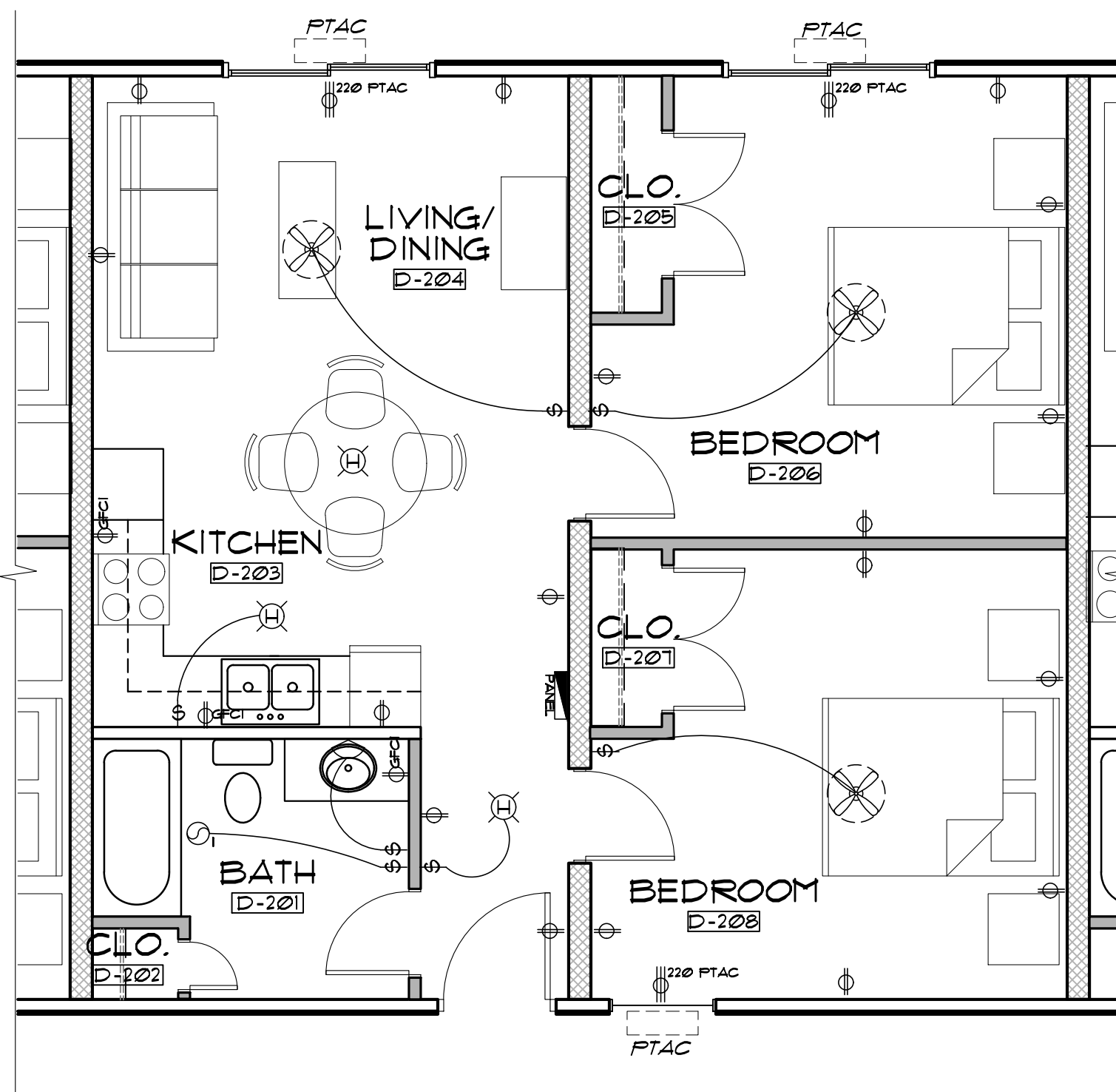




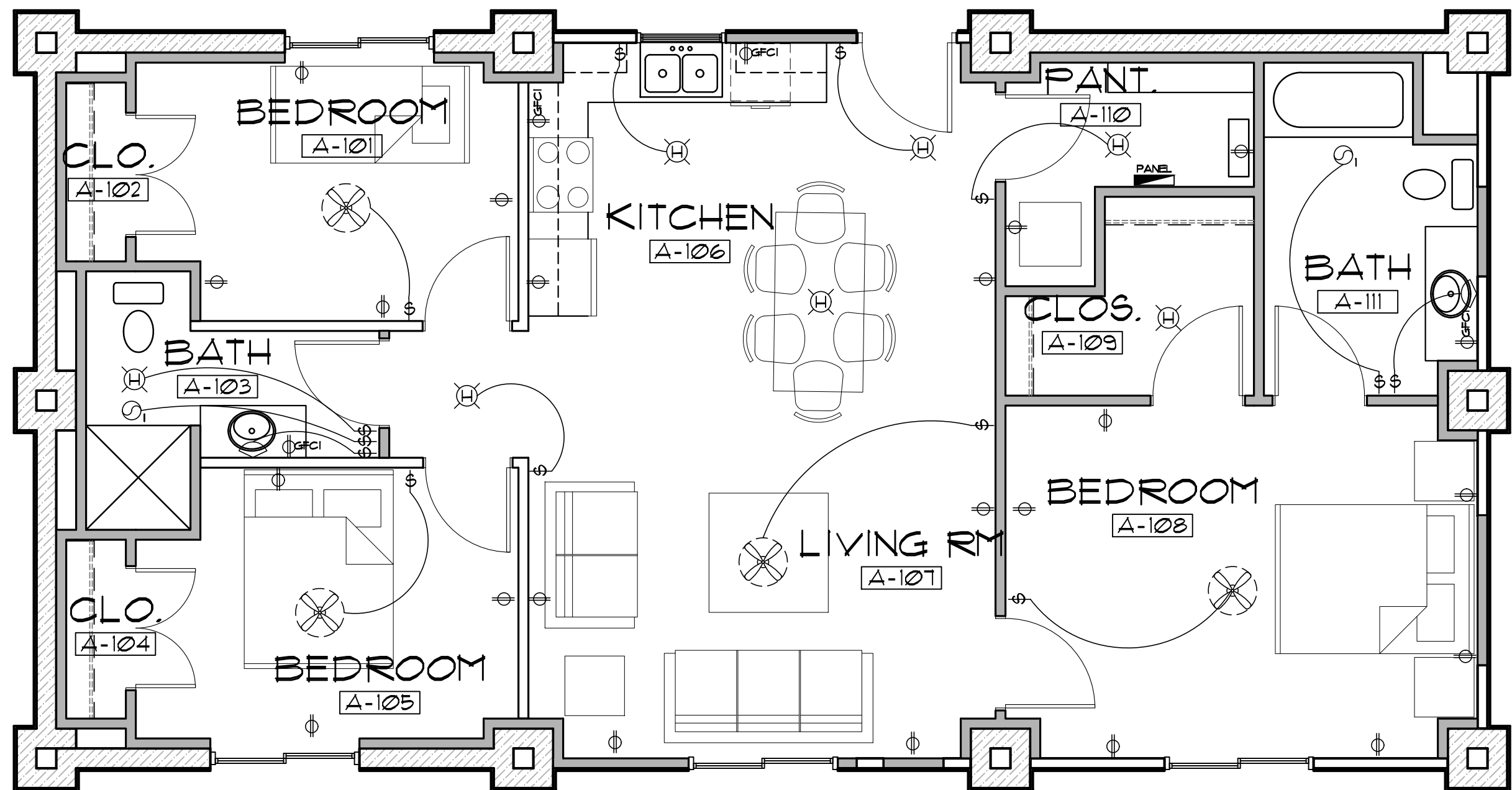
TYP. STUDIO ELEC. PLAN **A**  
SCALE: 1/4" = 1'-0" **E-101**



TYP. 1 BDR ELEC. PLAN **B**  
SCALE: 1/4" = 1'-0" **E-101**



TYP. 2 BDR ELEC. PLAN **C**  
SCALE: 1/4" = 1'-0" **E-101**



3 BDR ELEC. PLAN **D**  
SCALE: 1/4" = 1'-0" **E-101**

GENERAL ELECTRICAL PLAN NOTES:

- CONTRACTOR SHALL VERIFY WITH LOCAL POWER COMPANY THE LOCATION OF SERVICE.
- ALL WIRE SHALL BE THW COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPCACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT
- BREAKER PANEL AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE GROUND FAULT INTERRUPT BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS AS SHOWN.
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED.
- PROVIDE PRE-WIRED TELEVISION OUTLETS (CABLE TV) AS SHOWN ON PLANS. VERIFY LOCATIONS IN FIELD W/ OWNER

ELECTRICAL LEGEND:

- ⊕ SWITCH
- ⊕<sub>3</sub> 3-WAY SWITCH
- ⊕<sub>D</sub> DIMMER SWITCH
- ⊕<sub>4</sub> 4-WAY SWITCH
- ⊕<sub>WB</sub> WALL-MOUNTED DOORBELL
- ⊕<sub>4-20A</sub> DUPLEX OUTLET - 4 GANG - 20 AMP DEDICATED CIRCUIT
- ⊕ DUPLEX OUTLET
- ⊕<sub>GFCI</sub> GFCI DUPLEX OUTLET
- ⊕<sub>220</sub> 220V. OUTLET
- ⊕<sub>110V</sub> 110V. DUPLEX WATER PROOF OUTLET
- ⊕<sub>110V</sub> 110V. DUPLEX OUTLET, ONE OUTLET SWITCHED
- ⊕<sub>110 CFM</sub> 110 CFM FLUSH-MOUNT EXHAUST FAN
- ▲<sub>TV</sub> TELEVISION CABLE OUTLET - VERIFY TYPE AND LOCATION WITH OWNER
- ▲<sub>PT</sub> TELEPHONE OUTLET - MOUNT @ 12' AFF, UNLESS OTHERWISE NOTED
- ⊕<sub>FLUSH</sub> FLUSH-MOUNT CAN DOWNLIGHT - FIXTURE SELECTED BY OWNER
- ⊕<sub>MTD</sub> SURFACE MTD. FIXTURE TO BE SELECTED BY OWNER
- ◇ VANITY LIGHT - WALL MOUNT
- UNDER CABINET LIGHTING TO BE SELECTED BY OWNER
- ⊕<sub>SD</sub> SMOKE DETECTOR - INTERCONNECTED FOR SIMULTANEOUS ALERT
- ⊕<sub>GD</sub> GARBAGE DISPOSAL
- ⊕<sub>CD</sub> CARBON MONOXIDE DETECTOR
- ⊕<sub>PANEL</sub> ELECTRICAL PANEL
- ▬ ELECTRIC BASEBOARD HEATER
- ⊕<sub>RCMH</sub> RADIANT CEILING-MOUNTED HEATER IN BATHROOM (3 TOTAL)



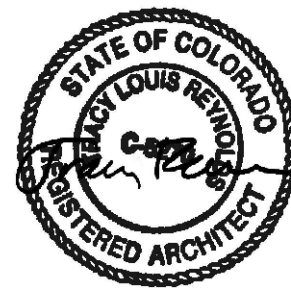
**REYNOLDS ASH  
+ ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

564 E. SECOND AVE., STE. 201  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 56  
PAGOSA SPRINGS, CO 81147  
(970) 264-6884  
FAX (970) 264-6997

RA-AE.COM

REYNOLDS ASH + ASSOCIATES, P.C.  
EXPRESSLY RESERVES THE COMMON LAW  
COPYRIGHT AND OTHER PROPERTY RIGHTS IN  
THESE PLANS. THESE PLANS ARE NOT TO BE  
CHANGED OR COPIED IN ANY FORM OR MANNER  
WHATSOEVER NOR ARE THEY TO BE ASSIGNED  
TO ANY THIRD PARTY WITHOUT FIRST  
OBTAINING WRITTEN PERMISSION AND  
CONSENT OF THE ARCHITECT OF RECORD.  
THE USE OF THESE PLANS AND SPECIFICATIONS  
SHALL BE RESTRICTED TO THE ORIGINAL SITE  
FOR WHICH THEY WERE PREPARED AND  
PUBLICATION THEREOF IS EXPRESSLY LIMITED  
TO SUCH USE. FEDERAL LAW PROHIBITS THE  
REPRODUCTION, DISPLAY, SALE, OR OTHER  
DISPOSITION OF THIS DOCUMENT WITHOUT THE  
EXPRESS WRITTEN CONSENT OF  
RA+A ARCHITECTS, P.C.



**ZUMA APARTMENTS -  
MESA VERDE HOTEL CONVERSION**  
  
640 S BROADWAY  
CORTEZ, CO 81321

JOB NO.: **22233**  
DATE: **2022-11-04**  
DRAWN BY: **TR, MG**

ISSUE RECORD:

REVISIONS:  
△  
△  
△  
△

**E-101**

TYPICAL UNIT  
ELECTRICAL PLANS

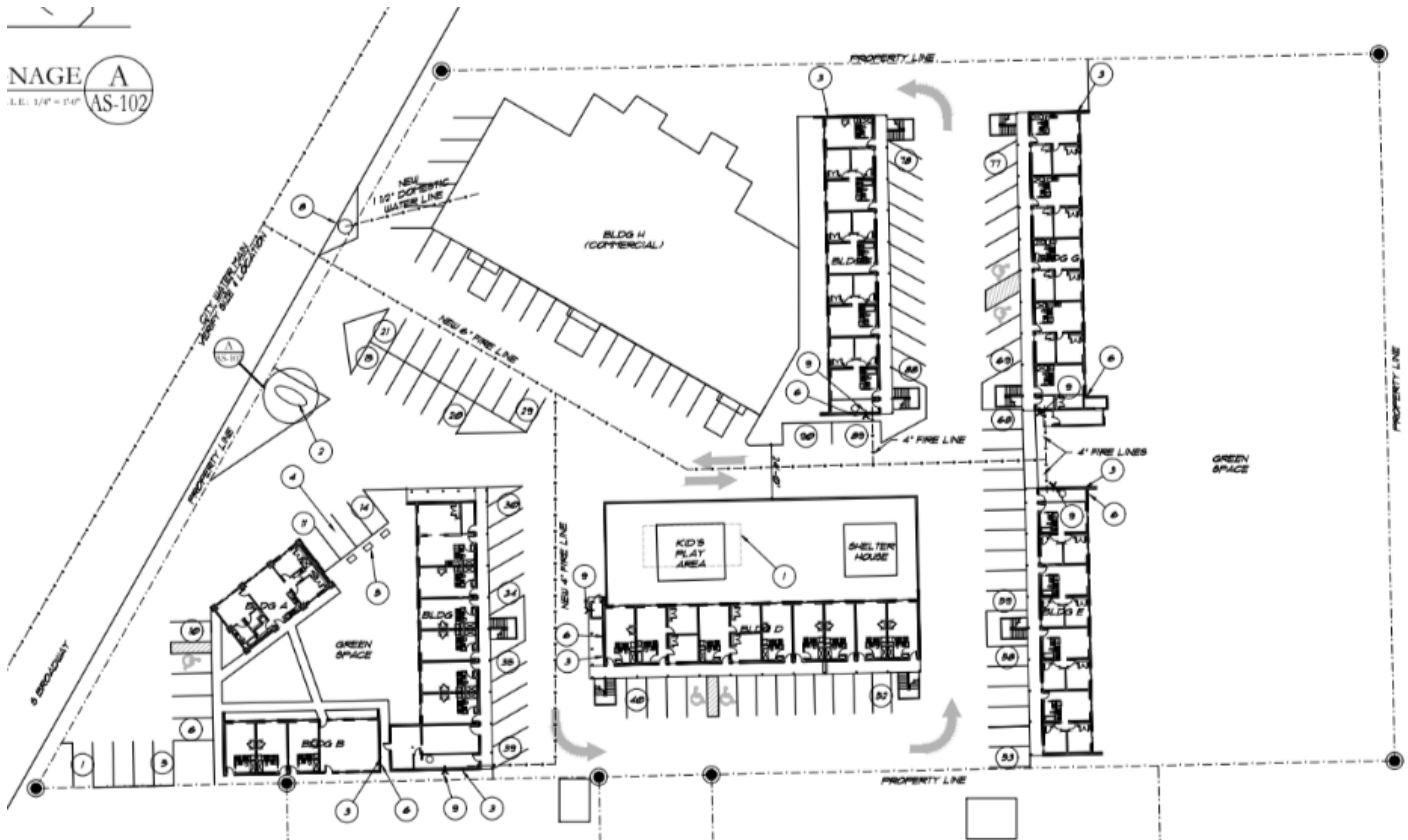


### Montezuma County GIS Map of Parcel:





## Buildings A-H Proposed Parking Spaces:



## PARKING CALCULATIONS

<b>PARKING REQUIRED</b>	<b>57 UNITS X 1.84 STALLS/ UNIT = 105 STALLS</b>
<b>PKNQ PROVIDED</b>	<b>= 90 STALLS</b>

### Proposed Residential Parking Spaces to Units:

- 20 studios - 1 parking space each
- 10 one-bedrooms - 1.5 parking spaces each
- 26 two-bedrooms - 2 parking spaces each
- 1 three-bedroom - 3 parking spaces

### Proposed Commercial Parking Spaces:

- Restaurant - 65 seats - 13 parking spaces (1 to 5 ratio)
- Retail (laundry mat) - 7 parking spaces (2,100 square feet)



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 5. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Planning and Zoning Commission will hear an application from Montezuma County where the applicant, Basin Co-op proposes to amend the existing High Impact Permit to include a 80ft x 150ft warehouse facility. There would be no retail sales at this location as it would be primarily used for storage of agricultural products.

---

**BACKGROUND**

See Attached.

**RECOMMENDATION**

Staff recommends that the Commission state any concerns and request comments be forwarded to Montezuma County if so desired.

---

**Attachments**

An application from Montezuma County



*City of Cortez Planning  
and Building  
123 Roger Smith Avenue  
Cortez, CO 81321*

Item No: 5b  
Date: December 6, 2022

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dosdall, Contract City Planner

**SUBJECT:** County Development- Review of a proposed third amendment to High Impact Permit #101 & Special Use Permit #14-2022, on property owned by BASIN COOP, INC (the “Applicant”); agent: Don Dukart, on property located at 11654 Hwy 491, Cortez, CO, consisting of 9.87 acres, more or less, situated in Section 15, T.36N, R.16W, N.M.P.M. (the “Property”).

**ATTACHMENTS:** County Application Packet

## **BACKGROUND**

The Applicant proposes to amend the existing High Impact Permit to include an 80ft x 150ft warehouse facility. There would be no retail sales at this location and it would be primarily used for storage of agricultural products. The Montezuma County Planning and Zoning Commission will hold a public hearing for this permit on December 8, 2022. A portion of the Property is located within the 1mile area of influence, and therefore City review is required. The project has direct access to Hwy 491.

## **RECOMMENDATION**

Staff recommends that the Commission develop a list of any concerns or comments about the Application and forward the list to the County.





**Montezuma County Planning & Zoning  
Commission**

109 West Main, Room 270  
Cortez, CO 81321  
(970) 565-2801  
(970) 565-3420 Fax

**PUBLIC NOTICE  
MONTEZUMA COUNTY PLANNING & ZONING COMMISSION**

Notice is hereby given that the Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a proposed third amendment to High Impact Permit #101 & Special Use Permit #14-2022, on property owned by Basin Co-op, INC; agent: Don Dukart, on property located at 11654 Hwy 491, Cortez, CO, consisting of 9.87 acres, more or less, situated in Section 15, T.36N, R.16W, N.M.P.M. The hearing will be held Thursday, December 8, 2022 at 6:00pm in the Commissioner's Hearing Room, 109 W. Main, Cortez, CO. Interested persons may attend and give input. Information may be obtained from the Planning Office on-line service at <https://co-montezuma-co.smartgovcommunity.com/Public/Home>; you may also contact the Planning Dept. at (970) 565-2801 with questions.

Dated this 9<sup>th</sup> day of November, 2022.

/s/ Kim Percell, Clerk,  
Board of County Commissioners  
Montezuma County, CO

Published in the Cortez Journal on Wednesday, November 23, 2022



Date Submitted: 11/7/2022

## MONTEZUMA COUNTY HIGH IMPACT PERMIT AMENDMENT APPLICATION & SPECIAL USE PERMIT APPLICATION

*Conditions and safeguards may be imposed by the County Commissioners*

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of the review process for a proposed zoning request. Nothing in this application is intended to retract any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code, Amended 03/02/2015, Resolution No.3-2015.

Please initial here that you have a current copy of the Montezuma County Land Use Code or can access a copy online at [www.montezumacounty.org](http://www.montezumacounty.org) ; Click on Departments; Planning; and Montezuma Land Use Code DD.

1) Applicant(s) Name: Basin Coop, INC.  
Current Landowner's Name(s)/Owner: Basin Coop, INC  
Landowner Mailing Address: P O Box 2990, Durango, CO 81302  
Telephone Number (970) 247-3066 Alternate Number: (970) 749-3066  
Email gm@basincoop.com

2) Agent(s): Don Dukart Phone No. (970) 749-3066  
Agent Mailing Address: P O Box 2990, Durango, CO 81302  
Email: gm@basincoop.com  
*(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)*

3) Requested Zoning: N/A  
Number of Lots: 1 (one) Total Acres: 9.87+/-  
A brief description of adjacent land usage: Land use in the immediate area is a mixture of agricultural, residential and industrial. Zoning in the area consists of AR35+, AGZ, AR10-34, AR3-9, INDLZ and INDHZ. Businesses in the area include Empire Electric, Reflections in Metal, the Cortez Sale Barn and Auto Repair, etc. The property is also in the Commercial/Industrial Overlay zone which encourages this type of development.

A brief description of the proposed development / use: The applicant proposes to amend the existing High Impact Permit to include an 80ft x 150ft warehouse facility. There would be no retail sales at this location and it would be primarily used for storage of agricultural products.

Parcel I.D. Number: 561115200004

Physical Address of Property: 11654 Hwy 491, Cortez, CO

Legal Description of Property: Section 15 Township 36N Range 16W, N.M.P.M.

4) Brief description of the proposed development: \_\_\_\_\_

5) General High Impact Submittal Requirements: The High Impact Permit Application will include, but not be limited to, the following required attachment(s); and will be made apart of the High Impact Permit Application, in the form of a narrative, plan, map, or description per Chapter 2, Section 2, 2201.4 of the Land Use Code:

- ☒ Names, Addresses, and contact information for the owner or representative of the owner
- ☒ Current and completed High Impact Permit Application, summarizing the level of compliance with each Threshold Standard and any recorded use or planned unit development covenants.
- ☒ A Site Plan, including a vicinity map, indicating to the extent feasible, compliance with the applicable Threshold Standards. See pages 2-4 of the Land Use Code.

- ☒ Detailed plans and specifications of the change in land use and conceptual or detailed plans for any potential enlargement of the development or land use.
- ☒ If the permit application concerns an enlargement of an existing use, the past history and expansion of the use.
- ☒ A list of the status of all other federal, state, and local permits and approvals that will be required for the change in land use, together with any proposal for coordinating these approvals with the County permitting process.
- ☒ A description of the public facilities required by the change in land use and evidence of service or specific proposals for providing facilities not currently available.
- ☒ Descriptions of those adverse impacts resulting from the change in land use which are not mitigated and which are irreversible and irretrievable.

6) A Mitigation Plan is required to address the following:

- ☐ Threshold Standards that will be exceed during the construction or operation of the High Impact Permit request require Plans for mitigating conditions that exceed said standard(s). Below is an Evaluation for certifying the level of compliance with the Threshold Standards: Please check if your project Meets, Exceeds or if the Standard would be non-applicable.

### **Threshold Standard Evaluation**

**(Applicant(s) will also be required to submit a Threshold Standard Summary describing level of compliance with each Threshold Standard, Attached herewith and made a part of the High Impact Permit Application**

Meet	Exceed	Mitigate	NA	<b>Site, Lot and Building Standards</b>	
✓				1. Minimum lot size	<ul style="list-style-type: none"> <li>◆ 3 acres</li> <li>◆ 10 acres within the Dolores River Valley</li> </ul>
✓				2. Maximum Building Height	<ul style="list-style-type: none"> <li>◆ 35 feet</li> </ul>
✓				3. Maximum Building Footprint	<ul style="list-style-type: none"> <li>◆ Maximum building footprint overall shall not exceed 12% of the lot size.</li> <li>◆ Building footprint does not apply to Commercial or Industrial zoned parcels immediately adjacent to a state or federal highway with an approved CDOT access permit and in accordance with <b>5101.5</b> of the Montezuma County Land Use Code.</li> </ul>
✓				4. Building setbacks	<ul style="list-style-type: none"> <li>◆ Primary Residence: See <b>5101.3 (A) (1-3)</b> of the Montezuma County Land Use Code. 50' from County Road and State Hwy. R.O.W. 50' from lot lines or interior use roads</li> <li>◆ Commercial/Industrial use: See <b>5101.6 (C)</b> 50' from County road and State Hwy. Rights-of-way 50' from residential lot lines and 25' from non-residential lot lines</li> <li>• Within the Dolores River Valley: All new commercial and residential construction, including I.S.D.S., set back 100' from existing streambank</li> </ul>
✓				5. New Construction	<ul style="list-style-type: none"> <li>◆ All new construction and remodeling of commercial or industrial use buildings and public buildings must be built according to the Uniform Building Code, 1997 Edition.</li> </ul>
✓				6. Livestock Fencing	<ul style="list-style-type: none"> <li>◆ Adequate to protect from livestock encroachment. <b>5101.4</b></li> </ul>
✓				7. Protection of Normal Agricultural Operations	<ul style="list-style-type: none"> <li>◆ No significant, adverse impacts on normal agricultural operations <b>5101.4</b></li> </ul>
✓				8. Outdoor Storage and/or Fabrication areas	<ul style="list-style-type: none"> <li>◆ Appropriate screening may be required</li> <li>◆ Merchandise displays are exempt</li> </ul>
Meet	Exceed	Mitigate	NA	<b>Road, Traffic, Parking and Access</b>	
✓				9. Roads	<ul style="list-style-type: none"> <li>◆ All interior roads built to county road standards. <b>5103.3 &amp; 5305.5</b></li> </ul>
✓				10. Parking/Access/Loading Areas	<ul style="list-style-type: none"> <li>◆ Adequate for intended use such that traffic flow and circulation are not impeded. <b>5101.6</b></li> <li>◆ Approved County or CDOT highway access permit</li> </ul>
✓				11. Traffic	<ul style="list-style-type: none"> <li>◆ Less than 15 vehicle round trips per business day</li> </ul>
<b>Health, Safety and Welfare</b>					
✓				12. Water	<ul style="list-style-type: none"> <li>◆ Proof of availability and adequate flow. See <b>5103.3(G) &amp; 5304(D)</b></li> </ul>
✓				13. Sanitary Sewer Disposal	<ul style="list-style-type: none"> <li>◆ Compliance with <b>5101.7; 5103.3(F); and 5304(E)</b></li> </ul>
✓				14. Stormwater Control and Site Drainage	<ul style="list-style-type: none"> <li>◆ No adverse impacts on any county road, state highway or adjacent land use. See <b>5103.3(H)</b></li> </ul>



✓				15. Solid Waste- garbage, refuse, sludge and other discarded material	<ul style="list-style-type: none"> <li>◆ Proof of disposal service</li> <li>◆ No materials transferred off-site by natural forces</li> <li>◆ No on-site burning <b>except</b> for flammable domestic waste or as part of an agricultural operation or weed control program</li> </ul>
✓				16. Fire and Wildfire Protection	◆ Compliance with <b>5101.3(G); 5302.3(J); and 5304.3W.</b>
✓				17. Law Enforcement and Emergency Service	◆ Letter of adequacy from law enforcement and/or emergency service provider may be required
✓				18. Floodplain	◆ Compliance with the Montezuma County Floodplain Resolution No. 1-91 and completion of a Floodplain Development Plan Permit, where applicable
✓				19. Geologic and Natural Hazards	◆ Identification and avoidance or mitigation of potential hazards. See <b>5103.2</b>
✓				20. Public Facilities for Outdoor Recreation Facilities, Camp and RV Parks and Mobile Home Parks	◆ Adequate restroom: one men/women set plus one extra sink and toilet per 100 weekly peak season visitors. See <b>4106.5.A.</b>
<b>Nuisance Standards</b>					
✓				21. Operational Electric Disturbances	◆ No detrimental effects such as radio and television interference beyond the boundaries of the site.
✓				22. Fire and Explosive Hazards	◆ National Fire Protection Association standards and any other fire code or standard employed by the appropriate fire district apply.
✓				23. Glare and Heat	◆ Must be contained, enclosed or treated to make glare and heat imperceptible from any point on the boundary line.
✓				24. Lighting	◆ All direct rays confined to site and adjacent properties protected from glare.
✓				25. Noise	<ul style="list-style-type: none"> <li>◆ Volume less than 70 decibels at any point on any boundary at any time as established by C.R.S. 25-12-101, et seq.</li> <li>◆ Adjacent to residential areas: not to exceed 55 decibels at any point on the boundary line between 7:00 p.m. – 6:59 a.m.</li> <li>◆ Noise from normal agricultural operations is exempt</li> </ul>
✓				26. Vibration	◆ Not perceptible, without instruments, at any point on any boundary line
✓				27. Odors	<ul style="list-style-type: none"> <li>◆ No perceptible at property boundaries</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used to maintain the lowest possible emission of odors.</li> </ul>
✓				28. Dust, Smoke and Particulate	<ul style="list-style-type: none"> <li>◆ Dust and Fumes: None beyond property line (Dust control of County roads at expense of Applicant)</li> <li>◆ Particulate matter: Less than 0.2 grain/cf flue gas at 500F stack temperature</li> <li>◆ Smoke: USEPA Regulations: Opacity System, Method 9.</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used.</li> </ul>
✓				29. Radioactivity	◆ Subject to State and Federal Regulations
✓				30. Water Pollution	◆ Subject to State and Federal Regulations
✓				31. Noxious Weeds	◆ Compliance with State (35-5.5-101 et seq. C.R.S. as amended) and Montezuma County Comprehensive Weed Management Plan Resolution No. 3-2014, as amended.
✓				32. Other Significant, Adverse Impacts	◆ Pertaining to the Health, Safety and welfare of the Citizens of Montezuma County
✓				33. Local, State, & Federal Required Permits	◆ Per <b>2202.4(F)</b>

- 7) Plans for winding down activities and service and facility demands: ☐ Attached ☒ Not Applicable
1. When the construction and/or operation of the project is complete,
  2. In the event that the project is suspended or terminated prior to completion, and
  3. For controlling, restoring, and remediation of any impacts that will continue after the construction and/or operation of the change in land use is complete.
- ☐ Plans for controlling and remediation of hazardous, toxic, and explosive substances that are used, stored, transported, disturbed, or produced in connection with the change in land use.
- ☐ Plans for monitoring the effectiveness of the mitigation measures.
- ☐ A description of how and when the mitigation plan will be implemented and financed.
- 8) Mitigation Plan: ☐ Attached, herewith and made a part of the application.
- 9) Additional requirements for projects involving the Potential of Highly Significant Impacts. Additional information may be required in the form of maps, narrative descriptions, photographs, data and studies to determine the nature and extent of potential highly significant impacts as provided for in 2202.6 and 2202.7 of the Land Use Code:

Additional Plan Submitted: ☐ Yes ☐ No ☒ Not Applicable

- 10) Weed Control Plan: ☐ Attached ☐ In Process:  
☒ The County Noxious Weed Manager has recommended a waiver for a comprehensive weed plan, however the property owner is still responsible for the management of noxious weeds.
- 11) Professional Review Fee collected: ☐ Yes ☒ No
- 12) Municipal Review: ☒ Cortez ☐ Dolores ☐ Mancos ☐ Not Applicable  
The property is located within the Commercial/Industrial Overlay Zone and is in the jurisdiction of the City of Cortez review.
- 13) Rural Water: ☒ Existing Infrastructure ☒ yes ☐ No  
Copy of Existing Tap Certificate: ☐ yes ☒ No ☐ not applicable  
Service provided by: Montezuma Water Company  
Letter attached: ☐ yes ☒ No ☐ In Process  
Service Available for \_\_\_\_\_ Additional COMZ/INDZ use(s)
- 14) Copy of Current Driveway/Access Permit from Montezuma County Road Department  
☐ Yes ☒ No ☐ In Process  
Access Permit can service up to \_\_\_\_\_ industrial use. Date on Permit: \_\_\_\_\_  
Interior Road anticipated within development: ☐ Yes ☒ No  
Road Cut and (or) Bore Permit required ☐ Yes ☒ No  
If so, copy of permit attached ☐ Yes ☒ No  
A driveway permit from the County Road Department is not required due to the access for this property is off of Hwy 491.
- 15) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required ☒ Yes Hwy: 491 No ☐
- 16) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:  
Electric: ☒ Empire Electric ☐ Other: \_\_\_\_\_  
Telephone: ☒ Cell Phone Only ☐ Centurylink ☐ Farmers ☐ Other: \_\_\_\_\_  
Gas Source: ☐ Atmos Energy ☒ Propane ☐ Other: \_\_\_\_\_
- 17) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:  
☐ Yes, requires a Comprehensive Wildfire Mitigation Plan: ☐ Attached ☐ In Process  
☒ Wildfire Adapted Partnership has recommended a waiver for a comprehensive wildfire plan, since it is in a low wildfire risk zone based on the 2020 analysis. While the property does not need a formal wildfire mitigation plan, it does not mean it is free from fire risk, mitigation efforts are always recommended. Wildfire Adapted Partnership offers free Home Wildfire Risk Site Visits. Contact Samantha Torres at 760-696-1404 or [storres@wildfireadapted.org](mailto:storres@wildfireadapted.org) if the property owner would like to schedule a wildfire risk assessment. Samantha is the Montezuma County coordinator and will walk around the property with the owner and discuss what steps can make to be better prepared for wildfire. The property owner will receive a write up of everything they need to know to take the next steps in

your wildfire preparedness journey as well as important materials to help guide them in their efforts. In many cases grant funding is available to help offset the costs of the mitigation projects. These visits generally take 60-90 minutes.

☐ Attached ☐ In Process

18) **NAMES AND CURRENT ADDRESS OF MINERAL RIGHTS OWNERS:**

☐ Attached ☐ Same as Surface Owner ☒ NO MINERAL OWNERS FOR THIS PROPERTY

Don Dukart, Agent  
Electronic Signature  
Applicant

Applicant

Date: 11/7/22

Date: \_\_\_\_\_

**COUNTY USE ONLY**

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Planning Director Review:



Date:

11/9/22



ATTACHMENT TO THE HIGH IMPACT PERMIT APPLICATION THRESHOLD STANDARDS SUMMARY				BASIN CO-OP, INC	Dated this day, 11/9/2022
NO.	STANDARD	THRESHOLD	APPLICANTS RESPONSE		PLANNING DEPARTMENT NOTES
1	Minimum lot size	<ul style="list-style-type: none"> <li>♦ 3 acres</li> <li>♦ 10 acres within the Dolores River Valley</li> </ul>	Meet. The property is 9.87 acres		Meet. This parcel is 9.87 acres, more or less.
2	Maximum Building Height	<ul style="list-style-type: none"> <li>♦ 35 feet</li> </ul>	Meet. The proposed building will not exceed 35 feet.		Meet. The proposed building will not exceed 35 feet in height.
3	Maximum Building Footprint	<ul style="list-style-type: none"> <li>♦ Maximum building footprint overall shall not exceed 12% of the lot size.</li> <li>♦ Building footprint does not apply to Commercial or Industrial zoned parcels immediately adjacent to a state or federal highway with an approved CDOT access permit and in accordance with <b>5101.5</b> of the Montezuma County Land Use Code.</li> </ul>	Meet. This standard will not be exceeded.		Meet. This standard will not be exceeded.
4	Building setbacks	<ul style="list-style-type: none"> <li>♦ Primary Residence: See <b>5101.3 (A) (1-3)</b> of the Montezuma County Land Use Code. 30' from County Road and State Hwy. R.O.W. 30' from lot lines or interior use roads</li> <li>♦ Commercial/Industrial use: See <b>5101.6 (C)</b> 30' from County road and State Hwy. Rights-of-way 50' from residential lot lines and 25' from non-residential lot lines</li> <li>• Within the Dolores River Valley: All new commercial and residential construction, including I.S.D.S., set back 100' from existing streambank</li> </ul>	Exceed. The foundation is 41 feet from the south property line.		Mitigate. For commercial/industrial property to build adjoining to residential property, 50 feet from building to boundary line is required. A setback Variance will be required, including non-opposition letter from affected neighbor.
5	New Construction and Remodeling for Commercial, Industrial, Public Buildings	<ul style="list-style-type: none"> <li>♦ All new construction and remodeling of commercial or industrial use buildings and public buildings must be built according to the Uniform Building Code, 1997 Edition.</li> </ul>	Meet. Construction will meet all State and County requirements		Meet. Cruzan Construction has been contracted to do the construction of the new building.
6	Livestock Fencing	<ul style="list-style-type: none"> <li>♦ Adequate to protect from livestock encroachment. <b>5101.4</b></li> </ul>	Meet. Property is completely fenced.		Meet. The property has a perimeter fence of approximately 10 feet in height.
7	Protection of Normal Agriculture Operations	<ul style="list-style-type: none"> <li>♦ No significant, adverse impacts on normal agricultural operations <b>5101.4</b></li> </ul>	Meet. No agricultural disturbances are anticipated.		Meet. The property has a perimeter fence of approximately 10 feet in height.
8	Outdoor Storage and/or Fabrication areas	<ul style="list-style-type: none"> <li>♦ Appropriate screening may be required</li> <li>♦ Merchandise displays are exempt</li> </ul>	Meet. There will be related storage but no retail sales at this location.		Meet. There will be related storage but no retail sales at this location.

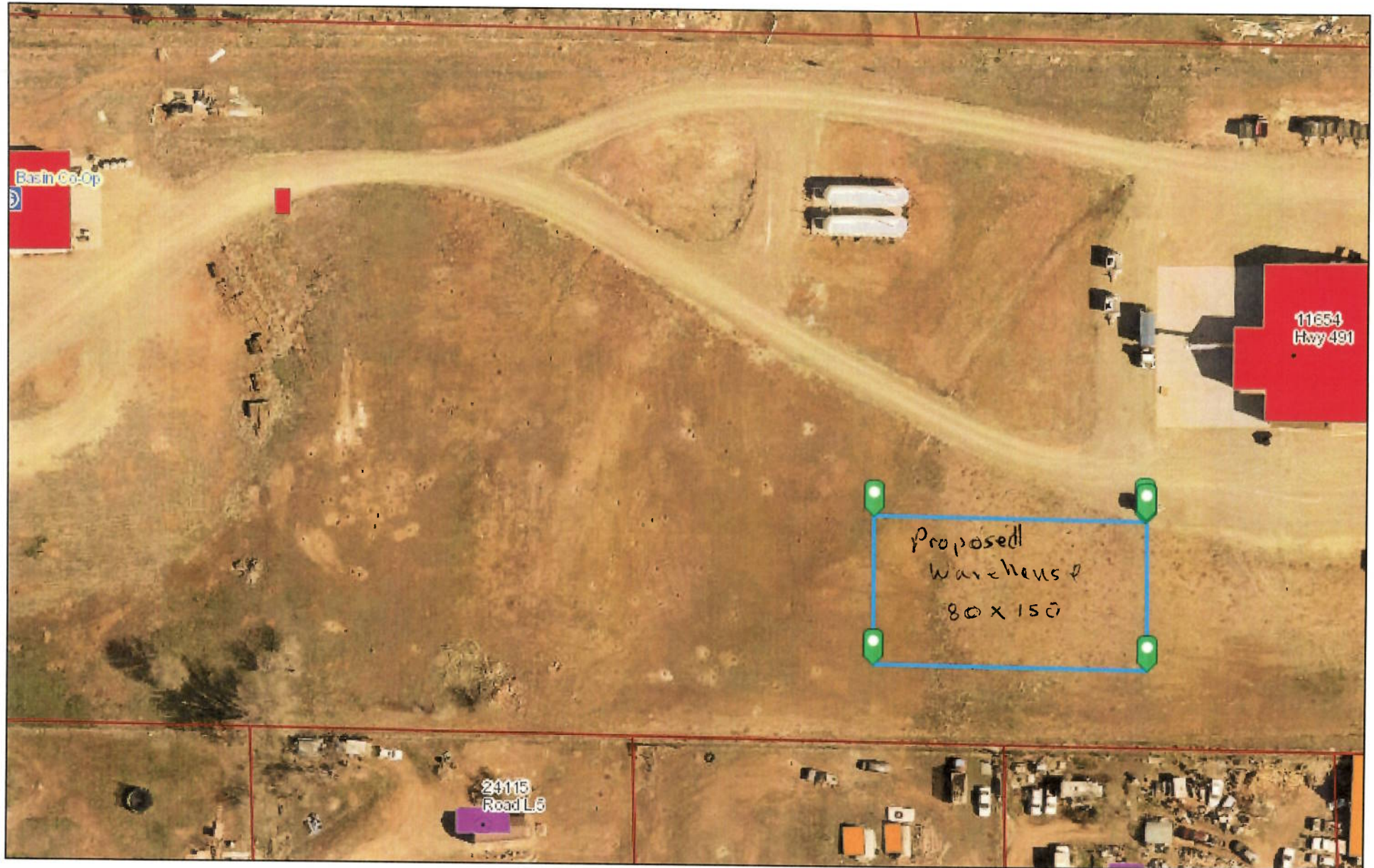
9	Roads	<ul style="list-style-type: none"> <li>♦ All interior roads built to county road standards. <b>5103.3 &amp; 5305.5</b></li> </ul>	Meet. None are proposed.	Meet. The property has an interior road/driveway extension currently in use.
10	Parking/Access/Loading Areas	<ul style="list-style-type: none"> <li>♦ Adequate for intended use such that traffic flow and circulation are not impeded. <b>5101.6</b></li> <li>♦ Approved County or CDOT highway access permit</li> </ul>	Meet. There is adequate parking at this location.	Meets, this complies with the County Land Use Code. Property owner shall contact the local fire protection district for compliance
11	Traffic	<ul style="list-style-type: none"> <li>♦ Less than 15 vehicle round trips per business day</li> </ul>	Meet. Currently less than 8 trips per day. the new warehouse may add 2 trips per day	Meets, this complies with the County Land Use Code.
12	Water	<ul style="list-style-type: none"> <li>♦ Proof of availability and adequate flow. See <b>5103.3(G) &amp; 5304(D)</b></li> </ul>	Meet. Currently serviced by Montezuma Water Company.	Meets, this complies with the County Land Use Code.
13	Sanitary Sewer Disposal	<ul style="list-style-type: none"> <li>♦ Compliance with <b>5101.7; 5103.3(F); and 5304(E)</b></li> </ul>	Meet. There is an existing permit #3049. Additional permitting will be obtained if needed.	Meets, this complies with the County Land Use Code.
14	Stormwater Control and Site Drainage	<ul style="list-style-type: none"> <li>♦ No adverse impacts on any county road, state highway or adjacent land use. See <b>5103.3(H)</b></li> </ul>	Meet. None	This is not applicable for this property.
15	Solid Waste -garbage, refuse, sludge and other discarded material	<ul style="list-style-type: none"> <li>♦ Proof of disposal service</li> <li>♦ No materials transferred off-site by natural forces</li> <li>♦ No on-site burning <b>except</b> for flammable domestic waste or as part of an agricultural operation or weed control program</li> </ul>	Meet. Self-disposal and Waste Management	Meets, this complies with the County Land Use Code.
16	Fire and Wildfire Protection	<ul style="list-style-type: none"> <li>♦ Compliance with <b>5101.3(G); 5302.3(J); and 5304.3W.</b></li> </ul>	Meet. Will provide state required fire mitigation and fire extinguishers on site	Meets, this complies with the County Land Use Code. Property owner shall contact the local fire protection district for compliance
17	Law Enforcement and Emergency Service	<ul style="list-style-type: none"> <li>♦ Letter of adequacy from law enforcement and/or emergency service provider may be required</li> </ul>	Meet. Upon approval of the amendment to the permit, we will notify law enforcement of the changes.	Meets, this complies with the County Land Use Code. Property owner shall contact the local law enforcement/emergency services for compliance
18	Floodplain	<ul style="list-style-type: none"> <li>♦ Compliance with the Montezuma County Floodplain Resolution No. 1-91 and completion of a Floodplain Development Plan Permit, where applicable</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
19	Geologic and Natural hazards	<ul style="list-style-type: none"> <li>♦ Identification and avoidance or mitigation of potential hazards. See <b>5103.2</b></li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
20	Public Facilities: Camp, RV Parks, MH parks, etc.	<ul style="list-style-type: none"> <li>♦ Adequate restroom: one men/women set plus one extra sink and toilet per 100 weekly peak season visitors. See <b>4106.5.A.</b></li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.

21	Operational Electric Disturbances	<ul style="list-style-type: none"> <li>◆ No detrimental effects such as radio and television interference beyond the boundaries of the site.</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
22	Fire and Explosive Hazards	<ul style="list-style-type: none"> <li>◆ National Fire Protection Association standards and any other fire code or standard employed by the appropriate fire district apply.</li> </ul>	Meet. Upon completion of building we will do a walk through with local Fire Department	Meets, this complies with the County Land Use Code. Property owner shall contact the local fire protection district for compliance
23	Glare and Heat	<ul style="list-style-type: none"> <li>◆ Must be contained, enclosed or treated to make glare and heat imperceptible from any point on the boundary line.</li> </ul>	Meet. None.	Meets, this complies with the County Land Use Code.
24	Lighting	<ul style="list-style-type: none"> <li>◆ All direct rays confined to site and adjacent properties protected from glare.</li> </ul>	Meet. Proposed amendments and structures will meet these standards	Meets, this complies with the County Land Use Code.
25	Noise	<ul style="list-style-type: none"> <li>◆ Volume as established by C.R.S. 25-12-101, et seq.</li> <li>◆ Volume as established by COGCC Rule 802 pertaining specifically to oil &amp; gas development.</li> <li>◆ Noise from normal agricultural operations is exempt</li> </ul>	Meet. Noise for the proposed amendment will not exceed the standards.	Meets, this complies with the County Land Use Code.
26	Vibration	<ul style="list-style-type: none"> <li>◆ Not perceptible, without instruments, at any point on any boundary line</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
27	Odors	<ul style="list-style-type: none"> <li>◆ No perceptible at property boundaries</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used to maintain the lowest possible emission of odors.</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
28	Dust, Smoke and Particulate	<ul style="list-style-type: none"> <li>◆ Dust and Fumes: None beyond property line (Dust control of County roads at expense of Applicant)</li> <li>◆ Particulate matter: Less than 0.2 grain/cf flue gas at 500F stack temperature</li> <li>◆ Smoke: USEPA Regulations: Opacity System, Method 9.</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used.</li> </ul>	Meet. none	Meets, this complies with the County Land Use Code.
29	Radioactivity	<ul style="list-style-type: none"> <li>◆ Subject to State and Federal Regulations</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
30	Water Pollution	<ul style="list-style-type: none"> <li>◆ Subject to State and Federal Regulations</li> </ul>	Meet. None	Meets, this complies with the County Land Use Code.
31	Noxious Weeds	<ul style="list-style-type: none"> <li>◆ Compliance with State (35-5.5-101 et seq. C.R.S. as amended) and Montezuma County</li> </ul>	Meet. Noxious weeds will be controlled by employees as well	Meets, this complies with the County Land Use Code. The County Weed

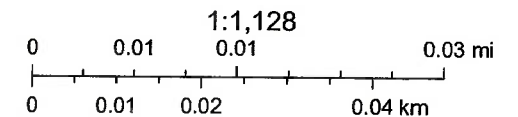


		Comprehensive Weed Management Plan Resolution No. 3-2014, as amended.	as a local pest control company	Department has recommended a waiver from a comprehensive weed plan, however the property owner is still responsible for the management of noxious weeds.
32	Other Significant Adverse Impacts	♦ Pertaining to the Health, Safety and welfare of the Citizens of Montezuma County	Meet. None	Meets, this complies with the County Land Use Code.
33	Local, State, & Federal Required Permits	♦ Per <b>2202.4(F)</b>	Meet	Meets, this complies with the County Land Use Code.

# Montezuma County Property Detail Map



11/8/2022, 8:56:05 AM



Hexagon Imagery, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



# Montezuma County Property Detail Map



11/8/2022, 3:01:01 PM

- Override 1

Public Lands & BIA Land

BIA

BLM
- NPS

USFS

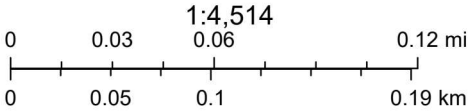
Irrigation Canals

Rivers
- Parks

Trails

Highway Milemarkers

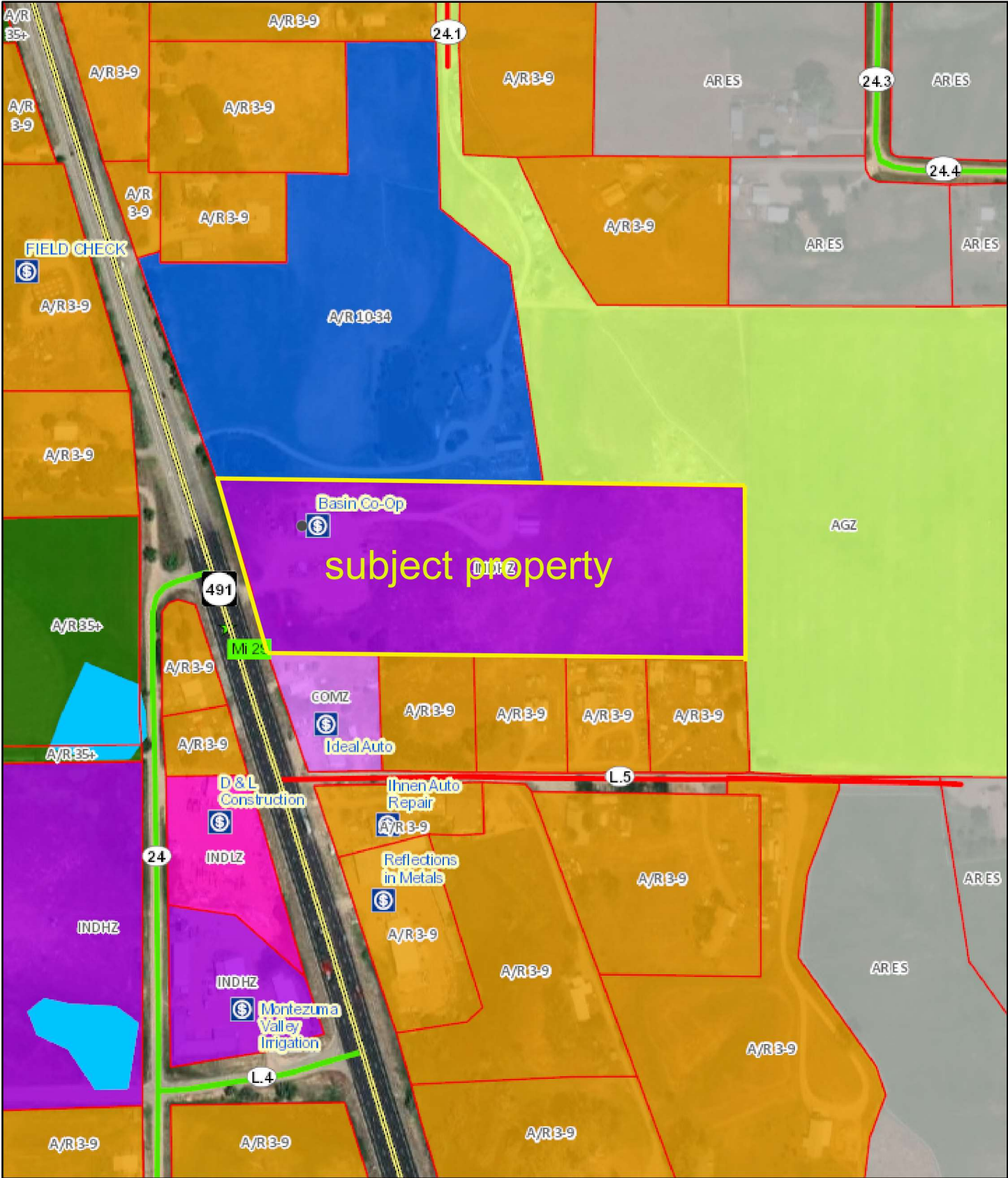
Road Sign



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



# Montezuma County Property Detail Map



11/8/2022, 3:46:51 PM

Override 1

A/R 10-34

A/R 3-9

R-3

AR ES

INDHZ

INDLZ

USZ

HISTZ

Public Lands & BIA Land

BIA

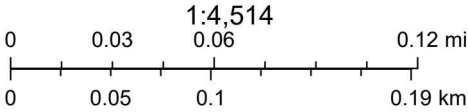
BLM

CO State

Zoning Designation

A-80+

A/R 35+



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

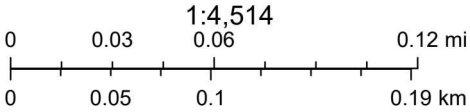


# Montezuma County Property Detail Map



11/8/2022, 3:57:19 PM

- Override 1
- Public Lands & BIA Land
  - BIA
  - BLM
- NPS
- USFS
- Irrigation Canals
- Rivers
- Parks
- Trails
- Highway Milemarkers
- Road Sign



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

# Neighbor List for: Basin Coop, INC 117220 Hwy 491, Cortez, CO

	Property Owner	Mailing Address	Physical Address	Zone	Acres
1	Danny & Jeanie Wilkin	11728 Hwy 491, Cortez, CO 81321	11728 Hwy 491, Cortez, CO 81321	AR10-34	12.48+/-
2	Danny & Jeanie Wilkin	11728 Hwy 491, Cortez, CO 81321	11792 Road 24.1, Cortez, CO 81321	AGZ	38.11+/-
3	Felicia Herrmann	Box 357, Pleasant View, CO 81331	24231 Road L.5, Cortez, CO 81321	AR3-9	1.15+/-
4	Jesus Marquez Chavira	P O Box 465, Cortez, CO 81321	24191 Road L.5, Cortez, CO 81321	AR3-9	1.15+/-
5	Jesus Marquez	P O Box 465, Cortez, CO 81321	24153 Road L.5, Cortez, CO 81321	AR3-9	1.15+/-
6	Juanita Adams	33086 Hidden Meadow Lane, Trinidad, CO 81082	24115 Road L.5, Cortez, CO 81321	AR3-9	1.15+/-
7	Robert Griffith	264 26 1/4 Road, Grand Junction, CO 81503	11590 Hwy 491, Cortez, CO 81321	COMZ	1.26+/-
8	Mariah Bair	11617 Hwy 491, Cortez, CO 81321	11617 Hwy 491, Cortez, CO 81321	AR3-9	0.30+/-
9	Glenn Wells	11727 Hwy 491, Cortez, CO 81321	11551 Road 24, Cortez, CO 81321	AR35+	37.27+/-
10	Glenn Wells	11727 Hwy 491, Cortez, CO 81321	11727 Hwy 491, Cortez, CO 81321	AR3-9	3+/-





CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

December 6, 2022

Agenda Item: 7. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Commissioners will review the permits issued in October and November 2022.

---

**BACKGROUND**

See attached.

**RECOMMENDATION**

Commissioners will accept the permits issued in October and November 2022.

---

**Attachments**

October 2022 Permits Issued

November Permits Issued

## OCTOBER 2022 PERMITS ISSUED

Permit Type	Sub Type	Permit#	Address	Issue Date
Building	Commercial Remodel	B22-000148	201 Pinon Drive Unit A1	10/19/2022
Building	Commercial Remodel	B22-000154	2224 East Main Street	10/27/2022
<b>Building Total</b>	<b>Commercial Remodel Total</b>			<b>2</b>
Building	Foundation Only	B22-000142	820 North DOLORES Road	10/14/2022
Building	Foundation Only	B22-000127	945 LIVESAY Drive	10/06/2022
Building	Foundation Only	B22-000138	2310 PELOTA Drive	10/06/2022
<b>Building Total</b>	<b>Foundation Only Total</b>			<b>3</b>
Building	Manufactured Home	B22-000132	321 South BROADWAY Avenue	09/30/2022
<b>Building Total</b>	<b>Manufactured Home Total</b>			<b>1</b>
Building	New Residential	B22-000128	712 Gerald's Way	10/03/2022
Building	New Residential	B22-000140	427 Juniper Place	10/14/2022
Building	New Residential	B22-000141	632 Lois Lane	10/19/2022
<b>Building Total</b>	<b>New Residential Total</b>			<b>3</b>
Building	Other	B22-000151	1317 Jackson Street	10/26/2022
Building	Other	B22-000152	607 BAKER Avenue Lot 9&13	10/26/2022
Building	Other	B22-000153	318 South ASH	10/26/2022
Building	Other	B22-000143	615 Kansas Street	10/17/2022
Building	Other	B22-000144	235 North Chestnut Street	10/17/2022
Building	Other	B22-000146	1417 Aldridge Road	10/18/2022
Building	Other	B22-000133	613 North Beech	09/30/2022
Building	Other	B22-000135	201 North Edith Street	10/03/2022
Building	Other	B22-000136	937 Garrison Drive	10/03/2022
Building	Other	B22-000114	610 East MAIN Street	10/13/2022
<b>Building Total</b>	<b>Other Total</b>			<b>10</b>
Building	Residential Addition	B22-000145	432 North LINDEN Street	10/24/2022
<b>Building Total</b>	<b>Residential Addition Total</b>			<b>1</b>
Building	Residential Remodel	B22-000139	501 North Ash Street	10/10/2022
<b>Building Total</b>	<b>Residential Remodel Total</b>			<b>1</b>
<b>Building Total</b>				<b>21</b>
Burn Permit	Bonfire	BRN22-000034	120 South LINDEN Street	10/21/2022
<b>Burn Permit Total</b>	<b>Bonfire Total</b>			<b>1</b>
Burn Permit	Debris	BRN22-000035	33 East 5TH Street	10/21/2022
Burn Permit	Debris	BRN22-000036	80 South Harrisoin Street	10/25/2022

Burn Permit	Debris	BRN22-000033	1200 North DOLORES Road	10/11/2022
Burn Permit	Debris	BRN22-000031	2010 Rolling Road	10/03/2022
<b>Burn Permit Total</b>	<b>Debris Total</b>			<b>4</b>
Burn Permit	Disposal	BRN22-000032	1921 North Dolores Road	10/07/2022
Burn Permit	Disposal	BRN22-000030	1311 Melrose	09/30/2022
<b>Burn Permit Total</b>	<b>Disposal Total</b>			<b>2</b>
<b>Burn Permit Total</b>				<b>7</b>
Plumbing	Commercial	P22-000065	1630 East Main Street	10/24/2022
Plumbing	Commercial	P22-000062	505 East 2nd Street 505,507,509,511	10/07/2022
Plumbing	Commercial	P22-000061	36 North Maple Street	10/06/2022
Plumbing	Commercial	P22-000066	1630 East Main Street	10/25/2022
<b>Plumbing Total</b>	<b>Commercial Total</b>			<b>4</b>
Plumbing	Residential	P22-000064	222 North Market Street	10/24/2022
Plumbing	Residential	P22-000063	725 Stratton Drive	10/19/2022
<b>Plumbing Total</b>	<b>Residential Total</b>			<b>2</b>
<b>Plumbing Total</b>				<b>6</b>
Right of Way	Public Right-of-Way	ROW22-000079	427 Juniper Place	10/14/2022
Right of Way	Public Right-of-Way	ROW22-000080	632 Lois Lane	10/19/2022
Right of Way	Public Right-of-Way	ROW22-000075	712 Gerald's Way	10/03/2022
Right of Way	Public Right-of-Way	ROW22-000078	222 North Market Street	10/13/2022
<b>Right of Way Total</b>	<b>Public Right-of-Way Total</b>			<b>4</b>
<b>Right of Way Total</b>				<b>4</b>
Sign	Freestanding	S22-000016	2423 East MAIN Street Ste. 1,2,3,4	10/28/2022
<b>Sign Total</b>	<b>Freestanding Total</b>			<b>1</b>
<b>Sign Total</b>				<b>1</b>
Water Tap	3/4 inch	WT22-000024	712 Gerald's Way	10/03/2022
Water Tap	3/4 inch	WT22-000026	632 Lois Lane	10/19/2022
Water Tap	3/4 inch	WT22-000025	427 Juniper Place	10/14/2022
<b>Water Tap Total</b>	<b>3/4 inch Total</b>			<b>3</b>
<b>Water Tap Total</b>				<b>3</b>
<b>All Permits Total</b>				<b>42</b>



Permit Type	Sub Type	Permit#	Address	Issue Date
Building	Accessory Structure	B22-000157	820 North DOLORES Road	11/08/2022
Building	Accessory Structure	B22-000159	810 North Mildred Road	11/03/2022
Building	Accessory Structure	B22-000162	1420 North Mildred Road	11/15/2022
<b>Building Total</b>	<b>Accessory Structure Total</b>			<b>3</b>
Building	Commercial Remodel	B22-000154	2224 East Main Street	10/27/2022
<b>Building Total</b>	<b>Commercial Remodel Total</b>			<b>1</b>
Building	New Residential	B22-000149	736 L Way	11/07/2022
<b>Building Total</b>	<b>New Residential Total</b>			<b>1</b>
Building	Other	B22-000160	1608 MacArthur Avenue	11/07/2022
Building	Other	B22-000152	607 BAKER Avenue Lot 9&13	10/26/2022
Building	Other	B22-000151	1317 Jackson Street	10/26/2022
Building	Other	B22-000163	1206 North MILDRED Road	11/17/2022
Building	Other	B22-000158	202 North Park Street	11/02/2022
Building	Other	B22-000164	90 North MILDRED Road	11/18/2022
Building	Other	B22-000153	318 South ASH	10/26/2022
Building	Other	B22-000165	310 East Main	11/28/2022
Building	Other	B22-000161	321 South BROADWAY Avenue	11/15/2022
<b>Building Total</b>	<b>Other Total</b>			<b>9</b>
<b>Building Total</b>				<b>14</b>
Burn Permit	Debris	BRN22-000038	104 East CARPENTER Street	11/16/2022
Burn Permit	Debris	BRN22-000035	33 East 5TH Street	11/21/2022
<b>Burn Permit Total</b>	<b>Debris Total</b>			<b>2</b>
Burn Permit	Disposal	BRN22-000040	1301 North Dolores Road	11/28/2022
Burn Permit	Disposal	BRN22-000037	510 Texas Street	11/04/2022
Burn Permit	Disposal	BRN22-000039	80 South Harrisoin Street	11/22/2022
<b>Burn Permit Total</b>	<b>Disposal Total</b>			<b>3</b>
<b>Burn Permit Total</b>				<b>5</b>
Fire Inspection Permit	Fire Inspection Permit	F22-000092	30 North Beech Street	11/15/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000088	17 North Maple Street	11/09/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000097	100 North Market Street	11/28/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000090	15 North Maple Street	11/15/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000103	631 East Montezuma Avenue	11/30/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000093	1010 North Broadway	11/15/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000098	35 North Ash Street	11/29/2022

Fire Inspection Permit	Fire Inspection Permit	F22-000094	1480 Industrial Road	11/16/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000089	301 West Montezuma Avenue	11/14/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000104	641 East Main Street	11/30/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000095	1711 Industrial Drive	11/17/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000099	110 East Main Street	11/29/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000101	108 South Chestnut Street	11/30/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000091	50 North Henry Street	11/15/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000102	105 South Harrison Street	11/30/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000087	1423 East Main Street Ste. A	11/07/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000096	208 West North Street	11/28/2022
Fire Inspection Permit	Fire Inspection Permit	F22-000100	10 North Beech Street	11/29/2022
<b>Fire Inspection Permit Total</b>	<b>Fire Inspection Permit Total</b>			<b>18</b>
<b>Fire Inspection Permit Total</b>				<b>18</b>
Mechanical	Residential	M22-000002	735 Canyon Drive	11/09/2022
<b>Mechanical Total</b>	<b>Residential Total</b>			<b>1</b>
<b>Mechanical Total</b>				<b>1</b>
Plumbing	Residential	P22-000070	1313 Balsam Street	11/22/2022
Plumbing	Residential	P22-000068	1309 Acoma Drive	11/15/2022
Plumbing	Residential	P22-000069	1320 North Mildred Street	11/16/2022
Plumbing	Residential	P22-000067	204 South Chestnut Street	11/04/2022
<b>Plumbing Total</b>	<b>Residential Total</b>			<b>4</b>
<b>Plumbing Total</b>				<b>4</b>
Right of Way	Public Right-of-Way	ROW22-000086	725 Stratton Drive	11/22/2022
Right of Way	Public Right-of-Way	ROW22-000084	7th St. & Broadway	11/09/2022
Right of Way	Public Right-of-Way	ROW22-000085	1311 North MILDRED Road	11/15/2022
Right of Way	Public Right-of-Way	ROW22-000081	736 L Way	11/07/2022
<b>Right of Way Total</b>	<b>Public Right-of-Way Total</b>			<b>4</b>
<b>Right of Way Total</b>				<b>4</b>
Sign	Billboard	S22-000017	Broadway and Main Billboards	11/04/2022
<b>Sign Total</b>	<b>Billboard Total</b>			<b>1</b>
Sign	Freestanding	S22-000016	2423 East MAIN Street Ste. 1,2,3,4	10/28/2022
<b>Sign Total</b>	<b>Freestanding Total</b>			<b>1</b>
Sign	Wall-mounted	S22-000018	1630 East Main Street	11/30/2022
<b>Sign Total</b>	<b>Wall-mounted Total</b>			<b>1</b>
<b>Sign Total</b>				<b>3</b>

All Permits Total				49
-------------------	--	--	--	----