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**CORTEZ CITY COUNCIL
REGULAR MEETING
TUESDAY, JULY 25, 2023
7:30 P.M.**

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL, APPROVAL OF AGENDA.
2. CONSENT AGENDA

The listing under "Consent Agenda" is a group of items to be acted on with a single motion and vote. This agenda is designed to expedite the handling of limited routine matters by City Council. Either the public or a Councilmember may request that an item may be removed from the Consent Agenda at that time, prior to Council's vote. The Mayor will ask if a citizen or Councilmember wishes to have any specific item removed from the Consent Agenda for discussion.

- a. Approval of the Council Worksession and Agenda Minutes for July 11, 2023.
- b. Approval of the Expenditure List for July 25, 2023
- c. Approval of a Retail Marijuana Store License application from Green Kiwi 4, LLC, DBA LivWell, located at 1819 East Main Street, Cortez.
- d. Approval of a renewal application for a Medical Marijuana Center/On Site Optional Premises Cultivation License for Durango Organics, LLP, DBA DO Cortez, located at 1013 East Main Street, Cortez.
- e. Approval of a renewal Tavern Liquor License and Change in Corporation Structure for Cortez Elks Lodge 1789, Inc., DBA Cortez Elks 1789, located at 2100 North Dolores Road, Cortez.
- f. Approval of a renewal Hotel and Restaurant Liquor License for Once Upon, LLC DBA Once Upon a Sandwich, located at 7 West Main Street, Cortez.
- g. Approval of a renewal Arts Liquor License for The Cortez Center Inc., DBA Cortez Cultural Center, located at 25 North Market Street, Cortez.

3. PUBLIC PARTICIPATION

There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes.

(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)

4. PRESENTATIONS
 - a. **2023 June Financial Statements**
 - b. **City Council Chambers AV Options**

5. PUBLIC HEARINGS

a. **Resolution No. 17, Series 2023**

Resolution No. 17, Series 2023, Conditional Use Permit for Quick N Clean Car Wash located at 1511 E. Main St, Cortez, Colorado.

Presenter: Contract City Planner Nancy Dossdall

b. **Ordinance No. 1317, Series 2023**

Ordinance No. 1317, Series 2023, an ordinance on second reading approving a re-zoning of property located at 10206 Highway 491, Cortez, CO, from C, Commercial Highway to I, Industrial.

Presenter: Contract City Planner Nancy Dossdall

c. **Resolution No. 16, Series 2023**

Resolution No. 16, Series 2023, a resolution approving a Conditional Use Permit for property located at 10206 Hwy 491, Cortez, CO.

Presenter: Contract City Planner Nancy Dossdall

6. UNFINISHED BUSINESS

7. NEW BUSINESS

a. **Vehicle Transfer to another governmental agency.**

Transfer the title to a 2010 Ford Explorer to the Town of Rico in exchange for a Bakcou Mule e-bike.

Presenter: Vern Knuckles, Chief of Police

8. DRAFT RESOLUTION/ORDINANCES

9. CITY ATTORNEY'S REPORT

10. CITY MANAGER'S REPORT

11. CITY COUNCIL COMMITTEE REPORTS

a. Mayor's Report on Workshop

b. Other Board Reports

12. OTHER ITEMS OF BUSINESS

a. Executive Session as needed.

13. PUBLIC PARTICIPATION

There is no limit to the number of speakers and no overall time limit.

(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)

14. ADJOURNMENT

PURSUANT TO RESOLUTION 11, SERIES 2022, PUBLIC COMMENT:

--Individuals may comment regarding items on the Council agenda or any other topic they wish to address the City Council about, including items discussed in a previous Council Workshop. Those wishing to comment must register by completing an "Intent to Speak" card (located outside of the Council chambers). Completed cards will be collected at the start of the meeting and delivered to the Mayor, who will call each speaker to the podium at the appropriate time. Comments specific to agenda items scheduled for public hearings should be reserved and delivered during the public hearing session.

--Courtesy, civility, and respect for others is expected. All comments should be addressed directly to the Council. Commenters who are called upon by the Mayor to speak are the only persons allowed to speak during the allotted time. Comments, or other distractions from the audience intended for commenters or others are not permitted. The Mayor, as the chairperson for the meeting, retains the discretion to deviate from the formats described below.

--There are two general opportunities for citizens to address the Council:

For the first opportunity (which will occur toward the start of the meeting) there is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes so City business may proceed. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

For the second opportunity (which will occur toward the end of the meeting) there is no limit to the number of speakers, and no overall time limit. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

--Other Opportunities to Participate

Citizens may also participate via email if addressed to councilcomments@cortezco.gov. Comments received by 3:00pm the day of a Council meeting will be delivered to Council the same day and entered into the meeting minutes. Citizens may also send letters to the Council by addressing them to "City Council" 123 Roger Smith Ave., Cortez, CO 81321. In-person deliveries are also accepted.

MOTION TO GO INTO EXECUTIVE SESSION:

--For a conference with the City attorney for the purpose of receiving legal advice on specific legal questions under C.R.S. Section 24-6-402(4)(b);

--For the purpose of determining positions relative to matters that may be subject to negotiations, developing strategy for negotiations, and/or instructing negotiators under C.R.S. Section 24-6-402(4)(e);

--To discuss the purchase, acquisition, lease, transfer, or sale of real, personal, or other property interest under C.R.S. Section 24-6-402(4)(a)

--For discussion of a personnel matter under C.R.S. Section 24-6-402(4)(f) and not involving: any specific fire employees who have requested discussion of the matter in open session: any member of this body or any elected official: the appointment of any person to fill an office of this body or of an elected official: or personnel policies that do not require the discussion of matters personal to particular employees

--For discussion of a matter required to be kept confidential by the following federal or state law, or regulation: _____ under C.R.S. Section 24-6-402(4)(c)

--For discussion of specialized details of security arrangements or investigations under C.R.S. Section 24-6-402(4)(d)

--For consideration of documents protected by the mandatory nondisclosure provisions of the Open Records Act under C.R.S. Section 24-6-402(4)(g)

AND THE FOLLOWING ADDITIONAL DETAILS ARE PROVIDED:

(a brief description must be included following the statute citation regarding why the executive session is being held)



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 07/18/2023

RE: Approval of the Council Worksession and Agenda Minutes for July 11, 2023.

Attachments

Worksession Minutes
Council Agenda Minutes

CITY COUNCIL
REGULAR WORKSHOP/SPECIAL MEETING
TUESDAY JULY 11, 2023
6:00 p.m.

1. The Workshop was called to order at 6:01 p.m., at the City Council Chambers. Councilmembers present included, Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Robert Dobry, Matt Keefauver, David Rainey, Dennis Spruell, and Lydia DeHaven. Staff members present included, Police Chief Vernon Knuckles, IT Technician Aaron Holleman, Deputy City Clerk Donna Murphy, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were no people present in the audience.

2. Councilmember Dobry moved that Council adjourn into Executive Session at 6:02 p.m. for discussion of a personnel matter, and specifically to conduct an annual performance review of Patrick Coleman, the Cortez City Attorney, and to discuss possible amendments to Mr. Coleman’s employment agreement as authorized by C.R.S. Section 24-6-402(4)(f)(I). The Executive Session will not involve any specific employee who has requested discussion of the matter in open session; any member of this body or any elected official; the appointment of any person to fill an office of this body or of an elected official; or personnel policies that do not require the discussion of matters personal to particular employees. Councilmember Rainey seconded the motion and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

Council returned from Executive Session at 7:25 p.m. Participants in the Executive Session included City Manager Sanders, City Attorney Coleman, Mayor Medina, Mayor Pro-tem Yazzie, Councilmember DeHaven, Councilmember Dobry, Councilmember Keefauver, Councilmember Rainey, and Councilmember Spruell. No adoption of any policy, position, resolution, rule, regulations, or other formal action occurred during Executive Session.

3. General Discussion: None

The regular workshop was adjourned at 7:26 p.m.

CITY COUNCIL
REGULAR MEETING
TUESDAY, JULY 11, 2023

1. The meeting was called to order in the City Council Chambers at 7:32 p.m., with the Pledge of Allegiance. Roll Call was taken and the following Councilmembers were present: Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Lydia DeHaven, Robert Dobry, Matthew Keefauver, David Rainey, and Dennis Spruell. Staff present included: Chief of Police Vernon Knuckles, Community and Economic Development Director Rachael Marchbanks, Contract City Planner Nancy Dossdall, Director of General Services Rick Smith, Director of Parks and Recreation Creighton Wright, Court Clerk/Administrator Carla Odell, Director of Public Works Brian Peckins, Refuse/Recycling Foreman Colby Earley, Human Resources Director Matt Cashner, Library Director Isabella Sharpsteen, IT Technician Aaron Holleman, Deputy City Clerk Donna Murphy, City Clerk Linda Smith, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were twelve people present in the audience.

Councilmember Dobry made the motion to amend the agenda to relocate the executive session agenda item, currently number 12(a), to occur prior to the public hearing agenda items that commence with agenda item 5(a), to accommodate the schedule of an anticipated participant in the executive session. Councilmember Rainey seconded the motion and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

2. The Consent Agenda items acted upon by Council were as follows:
 - a. Approval of the Council Worksession and Agenda Minutes of June 13, 2023.
 - b. Approval of the Expenditure List for July 11, 2023.
 - c. Authorize the Mayor to sign the application on behalf of the Local Licensing Authority for the Colorado Liquor Sales Room License for Yellow Car Country Wines, LP, to be located at 1345 South Broadway, Cortez, noting that the City of Cortez does not have any objection to the application being approved by the State of Colorado Liquor Licensing Authority.
 - d. Approval of a renewal Liquor Store Liquor License for Marjana Lloyd, DBA The Cellar, located at 2410 Fairway Drive, Suite B, Cortez.
 - e. Approval of a renewal Liquor Store Liquor License for Seven Eighteen Cortez, Inc., DBA Liquid Assets, located at 718 East Main Street, Cortez.
 - f. Approval of a renewal Fermented Malt Beverage and Wine Liquor License for Good 2 Go Stores, LLC, DBA Good 2 Go, located at 717 South Broadway, Cortez.
 - g. Approval of a renewal Fermented Malt Beverage and Wine Liquor License for Good 2 Go

Stores, LLC, DBA Good 2 Go, located at 302 West Main Street, Cortez.

h. Approval of a renewal Hotel and Restaurant Liquor License for Mi Mexico, Inc., DBA Mi Mexico, located at 801 East Main Street, Cortez.

i. Approval of a renewal Hotel and Restaurant Liquor License and Outdoor Dining Agreement for Blondies Trophy Room LLC, DBA Blondies Trophy Room, located at 45 East Main Street, Cortez.

Councilmember DeHaven moved that the Consent Agenda be approved as amended. Mayor Pro-tem Yazzie seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

3. PUBLIC PARTICIPATION:

- Eric Henderson, W. 6th Street, Cortez, asked Council the status of the South Side Park noting his involvement in the early stages of the plan. Mayor Medina gave a brief update on the status stating that the project was put on hold due to the audits and financial issues and not being able to receive grant funding as well as a change in leadership. She stated that the park is an ongoing project.

4. PRESENTATIONS:

a. Proclamation in Recognition of Rebecca Levy for her service to the City of Cortez. Mayor Medina read the Proclamation in Recognition of Rebecca Levy for her service to the City of Cortez and presented Ms. Levy with a copy of the proclamation and a picture with Council was taken.

b. 2023 May Financial Statements. Director of Finance Koskie presented Council with the May 2023 Financial statements noting that Municipal Court revenue is over the projected income budgeted. Investment revenue is up significantly over last year due to a consolidation of CDs which brought a higher rate of return. Mayor Medina asked a question regarding sales tax revenue.

12. EXECUTIVE SESSION: (Moved to earlier spot on the Agenda by motion)

a. Councilmember Dobry moved that Council adjourn into Executive Session at 7:47 p.m. for a conference with legal counsel for the purpose of receiving legal advice on specific legal questions pursuant to C.R.S. Section 24-6-402(4)(b), and for discussion of a personnel matter pursuant to C.R.S. Section 24-6-402(f)(b)(I), all of which specifically relate to a personnel matter involving the City Manager, who has not requested discussion of the matter in open session. Mayor Pro-tem Yazzie seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

Council returned from Executive Session at 9:01 p.m. Participants in the Executive Session included City Manager Sanders, City Attorney Coleman, Special Counsel Bill Kelly, Mayor Medina, Councilmember DeHaven, Councilmember Dobry, Councilmember Keefauver, Councilmember Rainey, and Councilmember Spruell. No adoption of any policy, position, resolution, rule, regulations, or other formal action occurred during Executive Session.

5. PUBLIC HEARINGS:

a. Ordinance No. 1321, Series 2023. City Manager Sanders presented Council with Ordinance No. 1321, Series 2023, for second reading, an ordinance proposing amendments to Section 2-3, Council Rules of Procedure Generally of the City Code. He stated that there are outdated references to gender, notification practices that are not in keeping with current methods, and a requirement for strict adherence to Roberts Rules of Order, and other restrictions. The need has arisen to update the rules to reflect current practices. Public Hearing was opened, no one spoke, and it was closed. There was no Council discussion.

Mayor Pro-tem Yazzie moved that Council approve on second and final reading Ordinance No. 1321, Series 2023, an ordinance approving a revision to Section 2-3, Council Rules of Procedure Generally, of the Cortez City Code. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

b. Resolution No. 15, Series 2023. Contract City Planner Dosdall presented Council with Resolution No. 15, Series 2023, for approval of a Conditional Use Permit at 210 E. 1st Street, Cortez. The proposal is to replace the existing business, Jimmy’s Transmission, with a new business, Rocky Mountain Spray Liners. She noted that although the businesses have similar impacts, the existing use was grandfathered, with no evidence of ever receiving a Conditional Use Permit as required under the current Land Use Code. The building also has frontage at 24 S. Ash Street, which is proposed for a hair salon. Hair salons are permitted uses in the Central Business District (“CBD”). Parking in front of the building will only be used for temporary parking. Apartments are located adjacent to the business. She outlined the criteria for a Conditional Use Permit and that the Planning Commission has reviewed and recommended approval. Staff is also recommending approval with standard conditions and noise levels during and after business hours.

Councilmember Keefauver asked about the chemicals used in the spray process and the mitigation of the chemicals given the location of the apartments adjacent to the business. Mayor Medina asked if the Cortez Sanitation District had any comments on the proposal and the answer was they did not. Kathy Stone, representing Rocky Mountain Spray Liners, spoke about the chemicals stating there should not be a problem and that parking of vehicles would only be temporary. Public Hearing was opened, no one spoke, and it was closed.

Councilmember Spruell moved that Council approve the Conditional Use Permit for Rocky Mountain Spray Liners on property located at 210 East 1st Street, in the Central Business District (CBD) zone, as submitted by Kathy Stone through City of Cortez Resolution No. 15, Series 2023, with the following conditions:

1. All requirement of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with minimum requirements of the 2009 City of Cortez Construction design standards and Specifications.

2. Operation of the business shall not exceed CRS 25-102-103, maximum permissible noise levels. Specifically, from 7:00 am to 7:00 pm noise levels shall not exceed 55db(A) at the property line. From 7:00 pm to 7:00 am noise levels shall not exceed 50db(A) at the property line.

3. The Owners shall operate the business in conformance with all provision of the submitted narrative.

Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	No	Yes	Yes	Yes	Yes

6. UNFINISHED BUSINESS: None

7. NEW BUSINESS

a. Ordinance No. 1317, Series 2023. Contract City Planner Dosdall presented Council with Ordinance No. 1317, Series 2023 stating that this is a first reading only on an ordinance approving a rezoning of property located at 10206 Highway 491, Cortez from (C) Commercial Highway to (I) Industrial. She outlined the process of passing the ordinance noting that the first reading is presented to Council and they will set the ordinance for a second reading and public hearing. During the public hearing is where public comment will be allowed. Mayor Medina reiterated the process as well.

Mayor Pro-tem Yazzie moved that Council approve on first reading Ordinance No. 1317, Series 2023, an ordinance approving an application for a rezoning from C, Commercial Highway, to I, Industrial, of a parcel of land located at 10206 Hwy 491, Cortez, Colorado, and set for second reading and public hearing on July 25, 2023. Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

b. Resolution No. 14, Series 2023. Finance Director Koskie presented Council with Resolution No. 14, Series 2023, approving Exhibit D, Government Obligation Contract dated June 5, 2023, between KS State Bank and the City of Cortez. She stated that part of the financing process to lease four new refuse trucks is to have the Obligor Resolution signed by the City of Cortez and submitted to Kansas State Bank since the total lease price is over one million dollars. Councilmember Dobry verified this was approved by City Council in the 2023 Budget and Mayor Medina asked if this was coming out of the Enterprise Fund.

Councilmember Dobry moved that Council approve Resolution No. 14, Series 2023, to be included in the financing packet for Kansas State Bank, approving Exhibit D, Government Obligation Contract dated as of June 5, 2023 between KS State Bank (Obligee) and City of Cortez, Colorado (Obligor). Mayor Pro-tem Yazzie seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

8. DRAFT RESOLUTION/ORDINANCES: None

9. CITY ATTORNEY’S REPORT: None

10. CITY MANAGER’S REPORT: City Manager Sanders gave a report on the following items:

- The City of Cortez has been selected to receive the very competitive 2023 RAISE Grant in the amount of \$825,300. The project will fund a comprehensive plan, spread across three phases, to evaluate and reform the city's interstate corridors, including a corridor assessment and public engagement strategy, engineering and technical design, and a feasibility study, including benefit-cost analysis.
- The July 4th festivities were abundant in Cortez this year culminating with a stellar firework show. The City hosted two bands in Centennial Park, the Four Corners Community Band from 4:30 – 6 p.m. and then Flashback from 7 – 9 p.m., along with several food trucks. It was estimated that Cortez hosted even more revelers this year than in the past.
- Mike Monarco’s last day with the City of Cortez was on July 7, 2023 after 31 years of service. He has accepted a position with Clearnetworkx. Mike started in the parks department, and transferred to the building maintenance staff. When the City started the fiber project, Cortez Community Network, Mike stepped up to learn everything about fiber, from fiber drops and construction, maintaining electronics, trouble-shooting connectivity, customer service, and everything in between to help manage the project in the field for the City. Mike will now take his skills to help Clearnetworkx complete the full fiber network build out for Cortez. His knowledge and abilities will be great assets to Clearnetworkx, but he will be truly missed here at the City.
- CML/Mayor panel – The Colorado Municipal League conference was a success. There were some very relevant topics presented and discussed that will help us with our mission here in Cortez. Of note was the invitation by CML to our Mayor Medina to sit on what was termed as

the “Meeting of the Minds” panel that discussed various municipal topics. Others on the panel included other mayors from municipalities such as Golden, Colorado Springs, and Aurora, as well as Senator Hickenlooper. She made some significant contributions to the panel discussion and was very well received by the audience. At the conclusion of the panel discussion my title changed from the Cortez City Manager to “that guy with the Cortez Mayor”. We were all very proud of her performance.

- The heater at the indoor pool had a catastrophic breakdown. The estimated closure will be approximately four to six weeks. Lap swimmers will be able to swim at the outdoor pool between 11:45 to 12:45 p.m. after paying the daily fee or buying a pass.

11. CITY COUNCIL COMMITTEE REPORTS

a. Mayor’s Report on Workshop. Mayor Medina stated that during the workshop Council went into Executive Session to conduct the annual review of City Attorney, Patrick Coleman. She spoke about her time at the CML conference and the great feedback from the community about the fireworks. She stated that there is an opening on the P&Z Commission and applicants can send their letter of intent to City Clerk, Linda Smith.

b. Public Arts Committee. Councilmember Rainey attended the Public Arts Committee meeting on July 10, 2023. Discussion was held on supporting and raising awareness of all the arts.

c. Golf Advisory Board. Councilmember Spruell attended the Golf Advisory Board on June 21, 2023. He stated that revenue is ahead of last year by seven percent. The committee will be reviewing tournament play and the discussion of a kid’s golf camp.

12. OTHER ITEMS OF BUSINESS:

- a. Executive Session. Moved to earlier time on the agenda.

13. PUBLIC PARTICIPATION: None

14. ADJOURNMENT: Mayor Pro-tem Yazzie moved that the regular meeting be adjourned at 9:32 p.m. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

Rachel B. Medina, Mayor

ATTEST:

Donna Murphy, Deputy City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Kelly Koskie
Director of Finance
123 Roger Smith Ave
Cortez, CO. 81321
kkoskie@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: SARA COFFEY, PAYROLL/SALES TAX ADMINISTRATOR

Date: 07/19/2023

RE: Approval of the Expenditure List for July 25, 2023

Attachments

Expenditure List

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
City Attorney	EMPLOYERS COUNCIL SERVICES INC	WORKPLACE INVESTIGATION	\$ 6,665.00
		Total	\$ 6,665.00
Finance	POSTAL PROS, INC.	INVOICES	\$ 515.79
		Total	\$ 515.79
City Clerk	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 9.75
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 105.00
		Total	\$ 114.75
Events	JIM DODSON	POSTERS	\$ 100.00
	JIM DODSON	FLASHBACK BAND FOR JULY 4TH	\$ 2,000.00
	POSTAL PROS, INC.	THIRD THURSDAYS INSERT	\$ 334.21
		Total	\$ 2,434.21
Library	CITY OF CORTEZ	REFUSE	\$ 135.60
	CITY OF CORTEZ	WATER	\$ 37.15
	INGRAM LIBRARY SERVICES	BOOKS	\$ 10.15
	INGRAM LIBRARY SERVICES	BOOKS	\$ 14.30
	INGRAM LIBRARY SERVICES	BOOKS	\$ 16.99
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.02
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.56
	INGRAM LIBRARY SERVICES	BOOKS	\$ 18.67
	INGRAM LIBRARY SERVICES	BOOKS	\$ 18.74
	INGRAM LIBRARY SERVICES	BOOKS	\$ 18.76
	INGRAM LIBRARY SERVICES	BOOKS	\$ 30.83
	INGRAM LIBRARY SERVICES	BOOKS	\$ 31.57
	INGRAM LIBRARY SERVICES	BOOKS	\$ 32.90
	INGRAM LIBRARY SERVICES	BOOKS	\$ 34.16
	INGRAM LIBRARY SERVICES	BOOKS	\$ 34.90
	INGRAM LIBRARY SERVICES	BOOKS	\$ 354.41
	INGRAM LIBRARY SERVICES	BOOKS	\$ 471.17
	INGRAM LIBRARY SERVICES	BOOKS	\$ 634.11
		Total	\$ 1,928.99
City Hall Operations	WAGNER ENTERPRISE, L.L.C.	JANITORIAL SERVICE - JUN 2023	\$ 2,300.00
	ORKIN LLC	Blanket PO - Pest Control Services - City Hall	\$ 152.99
	ATMOS ENERGY	GAS SERVICE	\$ 728.02
	CITY OF CORTEZ	REFUSE	\$ 235.40
	CITY OF CORTEZ	WATER	\$ 73.55
	AMERICAN FIRST AID & SAFETY	First Aid Kit Refills - City Hall	\$ 41.02
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - CH	\$ 39.34
	WESTERN PAPER DISTRIBUTORS	BSL-71027 Multifold Towels - CH	\$ 43.26
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - CH	\$ 78.90
	MONTEZUMA VALLEY PLUMBING LLC	Labor - Remove waterless urinals and pipe/ins	\$ 4,200.00

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
		Total	\$ 7,892.48
Welcome Center	ATMOS ENERGY	GAS SERVICE	\$ 33.77
	CITY OF CORTEZ	REFUSE	\$ 94.80
	CITY OF CORTEZ	WATER	\$ 33.60
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet tissue - WC	\$ 39.34
		Total	\$ 201.51
Police Department	AT&T MOBILITY	PHONES	\$ 131.79
	VERIZON WIRELESS	DEMO LAPTOP	\$ 40.01
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 11.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 11.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 11.00
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	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 15.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 16.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
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	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 27.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 27.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 33.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 33.00
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - TURNBAUGH, C	\$ 110.00
	TRANSUNION RISK AND ALTERNATIVE	PERSON SEARCH	\$ 80.60
	AXIS HEALTH SYSTEM	Blanket Purchase Order for Jail Contract	\$ 350.00
	WAGNER ENTERPRISE, L.L.C.	JANITORIAL SERVICE - JUN 2023	\$ 1,499.58
	ORKIN LLC	PEST CONTROL SERVICES	\$ 187.99
	ATMOS ENERGY	GAS SERVICE	\$ 34.86

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
	ATMOS ENERGY	GAS SERVICE	\$ 84.17
	CITY OF CORTEZ	REFUSE	\$ 218.30
	CITY OF CORTEZ	WATER	\$ 51.35
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - PD	\$ 39.34
	WESTERN PAPER DISTRIBUTORS	BSL-71027 Multifold Towels - PD	\$ 64.89
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - PD	\$ 78.90
		Total	\$ 3,555.78
Animal Shelter	DOLORES ANIMAL HOSPITAL	CASTRATION	\$ 60.00
	FOUR CORNERS M.A.S.H., LLC	CASTRATIONS	\$ 120.00
	ORKIN LLC	PEST CONTROL SERVICES	\$ 110.99
	CITY OF CORTEZ	REFUSE	\$ 54.00
	CITY OF CORTEZ	WATER	\$ 83.30
		Total	\$ 428.29
Public Works	LIGHTLE ENTERPRISES OF OHIO LLC	ITB 23-3 Street Signs per Submitted Bid	\$ 5,471.60
	ENNIS-FLINT INC	985202-5P WB Yellow Fast Dry, 5 gallon pails -	\$ 2,045.85
	CORTEZ RETAIL ENHANCEMENT ASSN	Cortez Cash Cards - Name the Trucks	\$ 100.00
		Total	\$ 7,617.45
Outdoor Pool	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	CITY OF CORTEZ	REFUSE	\$ 161.40
	CITY OF CORTEZ	WATER	\$ 84.46
		Total	\$ 290.86
Golf Pro	RUDOSKY GOLF, LLC	Yearly Contract for Golf Pro - Quarterly Payme	\$ 9,000.00
	CITY OF CORTEZ	REFUSE	\$ 235.40
	CITY OF CORTEZ	WATER	\$ 125.90
		Total	\$ 9,361.30
Golf Course Maint	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	NCSI	APPLICANT PROFILES	\$ 18.50
	ATMOS ENERGY	GAS SERVICE	\$ 38.15
	CITY OF CORTEZ	REFUSE	\$ 235.40
	CITY OF CORTEZ	WATER	\$ 40.70
	WESTERN PAPER DISTRIBUTORS	BSL-71027 Multifold Towels - GC	\$ 64.89
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - GC	\$ 78.90
		Total	\$ 521.54
Parks	MCC DRUG & ALCOHOL SCREENING	DRUG TESTING	\$ 62.00
	BRAVO CLEANING & RESTORATION	Blanket PO - Janitorial Services for the Outside	\$ 2,377.62
	BRAVO CLEANING & RESTORATION	Blanket PO - Trash Collection Service for the Pa	\$ 3,660.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance 3rd/4th St Po	\$ 685.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance Brandon's Gat	\$ 900.00
	ATMOS ENERGY	GAS SERVICE	\$ 39.23

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
	CITY OF CORTEZ	REFUSE	\$ 1,810.15
	CITY OF CORTEZ	WATER	\$ 3,963.94
	AMERICAN FIRST AID & SAFETY	MEDICAL SUPPLIES	\$ 62.04
	CHOICE BUILDING SUPPLY	OIL, MOWING HEAD, LINE	\$ 76.96
	FERGUSON WATERWORKS #1116	ROTOR FLACONS, WIRE CONN	\$ 1,675.56
	GLOBAL EQUIPMENT COMPANY, INC.	PARK BENCH	\$ 788.29
	GLOBAL EQUIPMENT COMPANY, INC.	PARK BENCH	\$ 788.29
	QIS SUPPLY	SERVICE WORK	\$ 115.00
	SLAVENS TRUE VALUE	LAWN RAKE	\$ 29.10
	SLAVENS TRUE VALUE	LAWN EDGING, WEEK BARRIER	\$ 132.19
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 40.86
		Total	\$ 17,206.23
Recreation	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 90.00
	NCSI	APPLICANT PROFILES	\$ 37.00
	BRAND CENTRAL	CAD CUT ON SHIRTS	\$ 60.00
		Total	\$ 187.00
Planning & Building	NCSI	APPLICANT PROFILES	\$ 18.50
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 58.59
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 62.37
	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 71.82
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - TURNBAUGH, C	\$ 110.00
		Total	\$ 321.28
Shop	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 20.00
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 35.00
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 190.00
	FASTENAL COMPANY	Blanket PO - Fasteners and Shop Supplies	\$ 27.02
	FRONTIER CONTRACTING	Parts/Labor - Cylinder Repair - Unit 727	\$ 227.97
	FRONTIER CONTRACTING	Parts/Labor - Cylinder Repair - Unit 989	\$ 290.12
	KEESEE MOTORS	2C3Z8A080AA Radiator tank assembly - Unit 5	\$ 119.50
	KEESEE MOTORS	BL3Z9E926B Throttle body - Unit 489	\$ 152.73
	O'REILLY AUTO PARTS	Blanket PO - Parts for Fleet Repairs and Supplie	\$ (62.93)
	O'REILLY AUTO PARTS	Blanket PO - Parts for Fleet Repairs and Supplie	\$ 62.93
	O'REILLY AUTO PARTS	Blanket PO - Parts for Fleet Repairs and Supplie	\$ 78.96
	PARTNERS IN PARTS, INC.	Blanket PO - Parts/Supplies for Fleet Maintena	\$ (54.00)
	PARTNERS IN PARTS, INC.	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 61.43
	PARTNERS IN PARTS, INC.	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 332.76
	ROBERTS TRUCK CENTER	4080114C2 Filter element - Stock	\$ 240.10
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ (267.08)
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 10.78
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 12.24
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 12.37
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 14.68

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 16.39
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 17.84
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 35.89
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 48.99
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 48.99
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 49.68
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 50.42
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 66.78
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 69.27
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 85.73
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 85.78
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 104.94
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 147.84
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 202.11
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintena	\$ 267.08
	SENERGY PETROLEUM	86UL Unleaded Gas for Parks Shop	\$ 1,135.92
	SENERGY PETROLEUM	Dyed Diesel for Parks Shop	\$ 1,317.73
	SUPERIOR SERVICES, LLC	Blanket PO - Janitorial Services at Service Cent	\$ 1,950.00
	PITNEY BOWES PURCHASE POWER	Blanket PO - Postage for Service Center	\$ 208.99
	CITY OF CORTEZ	REFUSE	\$ 380.65
	CITY OF CORTEZ	WATER	\$ 351.68
	FASTENAL COMPANY	Blanket PO - Batteries, 1st Aid Supplies	\$ 67.84
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - SC	\$ 39.34
	WESTERN PAPER DISTRIBUTORS	SCA-HB9201 Kitchen Roll Towels - SC	\$ 39.45
		Total	\$ 8,293.91
Technology	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 12.48
		Total	\$ 12.48
Streets	BALLANTINE COMMUNICATIONS	NEWSPAPER ADS/NOTICES	\$ 29.46
	CHAVEZ CONSTRUCTION	2023 Concrete Cost Share - Curb & Gutter	\$ 10,011.24
		Total	\$ 10,040.70
Airport	CITY OF CORTEZ	REFUSE	\$ 75.05
		Total	\$ 75.05
Rec Center	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 230.00
	NCSI	APPLICANT PROFILES	\$ 92.50
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - TURNBAUGH, C	\$ 110.00
	SYMMETRY ENERGY SOLUTIONS LLC	GAS SERVICE	\$ 2,663.98
	CITY OF CORTEZ	REFUSE	\$ 235.40
	CITY OF CORTEZ	WATER	\$ 282.22
	AMERICAN FIRST AID & SAFETY	MEDICAL SUPPLIES	\$ 77.43
	WESTERN PAPER DISTRIBUTORS	CLEANING SUPPLIES	\$ 361.36
	WESTERN PAPER DISTRIBUTORS	CLEANING SUPPLIES	\$ 697.41

EXPENDITURE LIST FOR WEEK ENDING JULY 15, 2023

Department	Vendor Name	Description	Amount
		Total	\$ 4,750.30
Water	POSTAL PROS, INC.	POSTAGE	\$ 671.67
	SAN JUAN BASIN HEALTH DEPT.	Blanket PO - Lab Testing for Bac-T's	\$ 375.00
	VERIZON WIRELESS	CRADLE PORTS	\$ 160.08
	CITY OF CORTEZ	REFUSE	\$ 54.00
	CHEMTRADE CHEMICALS US LLC	Blanket PO - Liquid Alum AL2	\$ 7,674.93
	KUBWATER RESOURCES INC	Blanket PO - T-FLOC Polymer	\$ 5,580.00
	ALLWATER SUPPLY, LLC.	SPK 1023112 Spare parts kit	\$ 289.82
	WRS	Rental of 320LR Excavator to clean the recycle	\$ 1,750.00
	WRS	Rental of 320LR Excavator to clean the recycle	\$ 1,750.00
	WRS	Rental of 320LR Excavator to clean the recycle	\$ 3,931.24
	MOUNTAINLAND SUPPLY COMPANY	3M 270308 Red/Yellow Wire Nut	\$ 23.53
	MOUNTAINLAND SUPPLY COMPANY	3M DBR/Y-6 Waterproof Connector - Bulk	\$ 158.82
	FERGUSON WATERWORKS #1116	4 inch MJ Cap	\$ 42.50
	FERGUSON WATERWORKS #1116	4 inch Foster Adaptor	\$ 127.61
		Total	\$ 22,589.20
CCN Fund	UTILITY NOTIFICATION CENTER	Blanket PO - Utility Notification Charges	\$ 176.73
	MAMMOTH NETWORKS	Blanket PO - D1A, CRTZ2018-001R 2Gbps com	\$ 1,695.00
	VISIONARY COMMUNICATIONS, INC.	Blanket PO - Tower rental, Business wireless in	\$ 1,949.60
		Total	\$ 3,821.33
Refuse	POSTAL PROS, INC.	POSTAGE	\$ 671.66
	MCC DRUG & ALCOHOL SCREENING	DRUG TESTING	\$ 124.00
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - TURNBAUGH, C	\$ 110.00
	CORTEZ RETAIL ENHANCEMENT ASSN	Cortez Cash Cards - Name the Trucks	\$ 300.00
		Total	\$ 1,205.66
Total			\$ 110,031.09

EXPENDITURE LIST FOR WEEK ENDING JULY 21, 2023

Department	Vendor Name	Description	Amount
City Council	RYAN HURLEY	LAND APPRAISAL	\$ 450.00
		Total	\$ 450.00
City Attorney	KELLY LAW PARTNERS, LLC	LEGAL SERVICES	\$ 1,095.00
		Total	\$ 1,095.00
Municipal Court	MARSHALL SUMRALL	LEGAL SERVICES - SIMP	\$ 85.00
	MARSHALL SUMRALL	LEGAL SERVICES - MORGAN, TOM	\$ 552.50
	PADILLA LAW P.C.	MUNICIPAL COURT JUDGE	\$ 1,549.58
	RACHEL D. MUHONEN, P.C.	LEGAL SERVICES - MUSTACHE	\$ 51.00
	RACHEL D. MUHONEN, P.C.	LEGAL SERVICES - COTTONWOOD	\$ 51.00
	RACHEL D. MUHONEN, P.C.	LEGAL SERVICES - RODRIGUEZ	\$ 68.00
	RACHEL D. MUHONEN, P.C.	LEGAL SERVICES - FARLEY	\$ 187.00
	RACHEL D. MUHONEN, P.C.	LEGAL SERVICES - BEASLEY	\$ 246.50
	RICHARD SIMS LAW OFFICE	LEGAL SERVICES - RICHARD, KOONTZ	\$ 40.00
	STAPLES ADVANTAGE	HP201A CF401A Print cartridge, Cyan	\$ 70.57
	STAPLES ADVANTAGE	HP201A CF402A Print cartridge, Yellow	\$ 70.57
	STAPLES ADVANTAGE	HP201A CF403A Print cartridge, Magenta	\$ 70.57
	STAPLES ADVANTAGE	HP201A CF400A Print cartridge, Black	\$ 179.46
		Total	\$ 3,221.75
Events	PIONEER PRINTING	4TH OF JULY POSTERS	\$ 32.00
		Total	\$ 32.00
Library	ATMOS ENERGY	GAS SERVICE	\$ 79.60
	PIONEER PRINTING	BUSINESS CARDS	\$ 32.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
		Total	\$ 157.10
City Hall Operations	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 30.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	FP MAILING SOLUTIONS	INKJET CARTRIDGE	\$ 286.29
	IMAGENET CONSULTING LLC	EQUIPMENT RENTAL	\$ 175.71
		Total	\$ 537.50
Welcome Center	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	COLORADO CUSTOM ELEVATOR & LIFT	Semi-Annual Service - Welcome Center	\$ 400.00
	REDFIN JANITORIAL LLC	JANITORIAL SERVICE - JUL 2023	\$ 1,700.00
	COLORADO CUSTOM ELEVATOR & LIFT	Key Switch for Fire Service - Welcome Center	\$ 11.70
		Total	\$ 2,157.20
Police Department	LEXIPOL, LLC.	Annual Law Enforcement Policy Update	\$ 8,617.25
	AT&T MOBILITY	PHONES	\$ 132.76
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - SCHARNHURST	\$ 110.00
	MONTEZUMA COUNTY LANDFILL	POLICE/ANIMALS	\$ 105.00

EXPENDITURE LIST FOR WEEK ENDING JULY 21, 2023

Department	Vendor Name	Description	Amount
	MONTEZUMA COUNTY SHERIFF	JUNE 2023 INMATE CHARGES	\$ 6,300.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	ORKIN LLC	PEST CONTROL SERVICES	\$ 187.99
	AMERICAN FIRST AID & SAFETY	First aid supplies	\$ 26.72
	IMAGENET CONSULTING LLC	EQUIPMENT RENTAL	\$ 87.62
		Total	\$ 15,612.84
Animal Shelter	FOUR CORNERS M.A.S.H., LLC	SPAY	\$ 96.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
		Total	\$ 141.50
Public Works	BIG R/JOHN DEERE FINANCIAL	WORK CLOTHES	\$ 129.99
	FOUR CORNERS MATERIALS	Blanket PO - Hot Mix Material for Street Rep	\$ 718.55
	MONTEZUMA COUNTY LANDFILL	COMPOST & YARD WASTE	\$ 16.46
	MONTEZUMA COUNTY LANDFILL	MATTRESS	\$ 68.00
	INTERWEST SAFETY SUPPLY LLC	629313-50LB Glass beads M247 - Quote #25	\$ 433.53
		Total	\$ 1,366.53
Outdoor Pool	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	AMERICAN RED CROSS	LIFEGUARDING CLASS	\$ 126.00
	ATMOS ENERGY	GAS SERVICE	\$ 1,448.60
	SYSCO FOOD SERVICES	OUTDOOR POOL CONCESSIONS	\$ 574.02
	SYSCO FOOD SERVICES	OUTDOOR POOL CONCESSIONS	\$ 729.24
	CEM SALES AND SERVICE	PUMP MOTOR	\$ 1,405.96
		Total	\$ 4,329.32
Golf Pro	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 35.50
	ALPINE SECURITY & ELECTRONICS	REPLACE GOLF CART DOOR SENSORS	\$ 478.76
		Total	\$ 514.26
Golf Course Maint	CIRSA	ADDITION/REMOVAL OF VEHICLES	\$ (4.84)
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	LE PEW PORTA-JOHNS INC.	Delivery/Pickup	\$ 45.00
	LE PEW PORTA-JOHNS INC.	Fuel Surcharge - 20%	\$ 71.70
	LE PEW PORTA-JOHNS INC.	Portolet Rental #13 Tee - Monthly	\$ 148.50
	LE PEW PORTA-JOHNS INC.	Portolet Rental #16 Tee - Monthly	\$ 165.00
	AMERICAN FIRST AID & SAFETY	MEDICAL SUPPLIES	\$ 54.85
	R & R PRODUCTS INC.	RCT586325 Carlisle 20x10.00-10 Smooth tire	\$ 421.80
		Total	\$ 947.51
Parks	CHIROPRACTIC HEALTH ALLIANCE	DOT PHYSICAL - BAIR	\$ 80.00
	MONTEZUMA COUNTY HEALTH DEPARTMENT	VACCINE	\$ 140.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 22.00
	LE PEW PORTA-JOHNS INC.	4TH OF JULY RENTALS	\$ 5,940.00
	NICE ELECTRIC	ADJUST PICKLEBALL COURT LIGHTS	\$ 4,853.76

EXPENDITURE LIST FOR WEEK ENDING JULY 21, 2023

Department	Vendor Name	Description	Amount
	FASTENAL COMPANY	1KA-0338 Master Lock Keyed Alike Padlocks	\$ 78.48
	FERGUSON WATERWORKS #1116	GOLF FIELD DECODER, ROTORS	\$ 2,371.93
	PIONEER ATHLETICS	BRITE STRIPE WHITE 5 GL	\$ 872.47
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - PKS	\$ 393.40
	BRAND CENTRAL	SIGNS	\$ 363.20
	BRAD GOODELL	MURAL REPAIR	\$ 2,926.00
	THE STATION LTD	BEAUTIFICATION GRANT	\$ 1,000.00
		Total	\$ 19,041.24
Recreation	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 22.00
		Total	\$ 22.00
Planning & Building	PIONEER PRINTING	BUSINESS CARDS	\$ 32.00
		Total	\$ 32.00
Shop	CIRSA	ADDITION/REMOVAL OF VEHICLES	\$ 124.21
	FOUR STATES TIRE CO.	New tires, mount and balance - Unit 479	\$ 746.40
	CORTEZ COPY & PRINT	Decals for equipment	\$ 116.05
	HARDLINE EQUIPMENT	E632600000 Sensor - Unit 900	\$ 134.68
	HONNEN EQUIPMENT COMPANY	Windowpane for Unit 1002	\$ 316.44
	PARTNERS IN PARTS, INC.	BATTERY	\$ 286.26
	SENERGY PETROLEUM	Dyed diesel for Airport	\$ 635.34
	SENERGY PETROLEUM	86E10 Unleaded for Service Center	\$ 5,296.24
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	ORKIN LLC	Blanket PO - Pest Control Services - Service C	\$ 176.99
	ATMOS ENERGY	GAS SERVICE	\$ 56.32
	ATMOS ENERGY	GAS SERVICE	\$ 60.59
	ATMOS ENERGY	GAS SERVICE	\$ 70.74
	AMAZON CAPITAL SERVICES	108R00646 Transfer roller for Dell 5110n	\$ 126.61
		Total	\$ 8,192.37
Technology	ZOHO CORPORATION	ManageEngine Service Desk Renewal - 6 Tec	\$ 5,575.00
	CONVERGEONE, INC	ISE PIC VM License - Software and Maintena	\$ 1,145.46
	DELL MARKETING L.P.	Dell EcoLoop Pro Briefcase 15	\$ 148.52
	DELL MARKETING L.P.	Dell Latitude 3540 Laptop, i7-1355U, Win 11	\$ 4,600.96
		Total	\$ 11,469.94
Streets	SGM INC.	MEETING REGARDING SIDEWALK PROJECT	\$ 82.50
		Total	\$ 82.50
Airport	CIRSA	ADDITION/REMOVAL OF VEHICLES	\$ (19.97)
	GARVER LLC	Terminal Parking Lot Rehab. Design - #22A25	\$ 10,385.00
	GARVER LLC	Hangar Development Categorical Exclusion -	\$ 1,462.54
		Total	\$ 11,827.57

EXPENDITURE LIST FOR WEEK ENDING JULY 21, 2023

Department	Vendor Name	Description	Amount
Dispatch	RAGSDALE AND ASSOC. P.C.	Psychological testing - Rytting	\$ 375.00
	SOUTHWEST COLORADO TV	Blanket PO - Electrical Usage Caviness Site Re	\$ 200.00
		Total	\$ 575.00
Rec Center	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 30.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	KETTLEBELL CAVE LLC	KETTLEBELL CLASSES	\$ 72.80
	WEIR HOMETOWN HEALTHCARE, LLC	PRE-EMPLOYMENT PHYSICAL - CODNER	\$ 110.00
	COLORADO CUSTOM ELEVATOR & LIFT	Semi-Annual Service - Rec Center	\$ 350.00
	WESTERN PAPER DISTRIBUTORS	CLEANING SUPPLIES	\$ 312.82
	COLORADO CUSTOM ELEVATOR & LIFT	6V12AH Battery	\$ 71.09
		Total	\$ 992.21
Water	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	POSTAL PROS, INC.	Printing Services - 2022 CCR - 2,840 x 2 - Set	\$ 1,171.00
	ATMOS ENERGY	GAS SERVICE	\$ 283.22
	AT&T MOBILITY	IPADS	\$ 258.51
	CORE AND MAIN	6 PVC 4006 MegaLug Gland only"	\$ 222.90
	CORE AND MAIN	2E2G1SG90 2x17 Mach10 R900i Meter w/an	\$ 2,094.88
		Total	\$ 4,076.01
CCN Fund	2210CORTEZ, LLC	1/3 Cost for Security Fence Project at Fiber H	\$ 4,100.00
		Total	\$ 4,100.00
Refuse	MONTEZUMA COUNTY LANDFILL	RECYCLE CREDIT	\$ (341.50)
	MONTEZUMA COUNTY LANDFILL	Blanket PO - Landfill Charges	\$ 34,826.98
	CIRSA	ADDITION/REMOVAL OF VEHICLES	\$ 731.75
	CHIROPRACTIC HEALTH ALLIANCE	DOT PHYSICAL - SKINNER	\$ 80.00
	MONTEZUMA COUNTY LANDFILL	RECYCLE CHARGE	\$ 1,045.80
		Total	\$ 36,343.03
Total			\$ 127,316.38



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: LINDA SMITH, CITY CLERK

Date: July 12, 2023

RE: Approval of a Retail Marijuana Store License application from Green Kiwi 4, LLC, DBA LivWell, located at 1819 East Main Street, Cortez.

Attachments

LivWell Renewal Application Letter



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

June 27, 2023

MEMO TO: Honorable Mayor and City Council

FROM: Linda Smith, City Clerk

SUBJECT: RENEWAL APPLICATION ON A RETAIL MARIJUANA CENTER
LICENSE FOR GREEN KIWI 4, LLC, DBA LIVWELL, LOCATED AT
1819 EAST MAIN STREET, CORTEZ

BACKGROUND

The renewal Retail Marijuana Store referred to above was filed in the City Clerk's office on June 23, 2023. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows there were no violations to the Fire Code.

The sales tax account is current.

The police report shows they are in compliance with the Marijuana Licensing Code.

RECOMMENDATION

Staff recommends approval of the Retail Marijuana Center License for Green Kiwi 4, LLC, DBA LivWell, located at 1819 East Main Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: LINDA SMITH, CITY CLERK

Date: July 11, 2023

RE: **Approval of a renewal application for a Medical Marijuana Center/On Site Optional Premises Cultivation License for Durango Organics, LLP, DBA DO Cortez, located at 1013 East Main Street, Cortez.**

Attachments

Durango Organics Renewal Letter



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

June 30, 2023

MEMO TO: Honorable Mayor and City Council

FROM: Linda Smith, City Clerk 

SUBJECT: RENEWAL APPLICATION ON A MEDICAL MARIJUANA CENTER/ON SITE OPTIONAL PREMISES CULTIVATION LICENSE FOR DURANGO ORGANICS, LLP, DBA DO CORTEZ, LOCATED AT 1013 EAST MAIN STREET, CORTEZ

BACKGROUND

The renewal application for a Medical Marijuana Center/On Site Optional Premises Cultivation License for Durango Organics, LLP, DBA DO Cortez, located at 1013 East Street, Cortez, was filed in the City Clerk's office on June 27, 2023. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows there were no violations to the Fire Code.

The sales tax account is current.

The police report shows they are in compliance with the Marijuana Licensing Code.

RECOMMENDATION

Staff recommends approval of the renewal application for a Medical Marijuana Center/On Site Optional Premises Cultivation License for Durango Organics, LLP, DBA DO Cortez, located at 1013 East Main Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 07/03/2023

RE: Approval of a renewal Tavern Liquor License and Change in Corporation Structure for Cortez Elks Lodge 1789, Inc., DBA Cortez Elks 1789, located at 2100 North Dolores Road, Cortez.

Attachments

Renewal/Corp. Change- Elks



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

7/3/2023

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: RENEWAL APPLICATION FOR A TAVERN LIQUOR LICENSE AND CHANGE IN CORPORATION STRUCTURE FOR CORTEZ ELKS LODGE 1789, INC., DBA CORTEZ ELKS 1789, LOCATED AT 2100 NORTH DOLORES ROAD, CORTEZ

BACKGROUND

- The renewal application referred to above was filed in the City Clerk's office on June 23, 2023. The application appears to be complete and all fees were paid.
- The Change in Corporation form was filed in the City Clerk's office on June 23, 2023. Carol Click is a Trustee within the organization. Fingerprints for Ms. Click were sent to CBI and an individual history record have been completed. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows no violation to the Fire Code.

The police report shows no liquor violations were found over the past twelve months.

The sales tax account is current.

RECOMMENDATION

Staff recommends approval of a Tavern Liquor License and Change of Corporation Structure for Cortez Elks Lodge 1789, Inc., DBA Cortez Elks 1789, located at 2100 North Dolores Road, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 07/13/2023

RE: Approval of a renewal Hotel and Restaurant Liquor License for Once Upon, LLC DBA Once Upon a Sandwich, located at 7 West Main Street, Cortez.

Attachments

Renewal- Once Upon



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

7/13/2023

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: RENEWAL APPLICATION ON A HOTEL AND RESTAURANT LIQUOR
LICENSE FOR ONCE UPON LLC, DBA ONCE UPON A SANDWICH,
LOCATED AT 7 WEST MAIN STREET, CORTEZ.

BACKGROUND

The renewal application referred to above was filed in the City Clerk's office on July 10, 2023. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows no violation to the Fire Code.

The police report shows no liquor violations were found over the past twelve months.

The sales tax account is current.

RECOMMENDATION

Staff recommends approval of a Hotel and Restaurant Liquor License for Once Upon a Sandwich, Located at 7 West Main Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 07/13/2023

RE: Approval of a renewal Arts Liquor License for The Cortez Center Inc., DBA Cortez Cultural Center, located at 25 North Market Street, Cortez.

Attachments

Renewal- Cultural Center



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

7/13/2022

MEMO TO: Honorable Mayor and City Council
FROM: Donna Murphy, Deputy City Clerk
SUBJECT: RENEWAL APPLICATION FOR AN ARTS LIQUOR LICENSE FOR THE CORTEZ CULTURAL CENTER, INC., DBA CORTEZ CULTURAL CENTER, LOCATED AT 25 NORTH MARKET STREET, CORTEZ

BACKGROUND

The liquor license renewal application referred to above was filed in the City Clerk's office on July 10, 2023. The application appears to be complete and all fees were paid.

ISSUES

The police report shows there have been no liquor code violations found over the past twelve months.

The fire inspection report shows no violations to the Fire Code.

The sales tax account is current.

RECOMMENDATION

Staff recommends approval of the renewal Arts Liquor License for The Cortez Cultural Center, Inc., DBA Cortez Cultural Center, located at 25 North Market Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Kelly Koskie
Director of Finance
123 Roger Smith Ave
Cortez, CO. 81321
kkoskie@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: KELLY KOSKIE, DIRECTOR OF FINANCE

Date: 07/19/2023

RE: 2023 June Financial Statements

Attachments

Memo June 2023
2023 June Financials



City of Cortez
123 Roger Smith Ave
Cortez, CO 81321

Item No:

Meeting Date: July 25th, 2023

TITLE: Financial Statements

SUBMITTING DEPARTMENT: Finance

ATTACHMENTS: 2023 June Financial Statements

You will find attached the Financial Statements for June 2023. They are broken down by revenue and expense (labeled at the top of each page). They are also broken down by department.

Items to Note:

Street Improvement Enterprise Fund

This department looks like it's only spent a small portion of their budget. This is because the projects they have budgeted are just now getting underway. By the end of the summer those projects should be complete and their budget will reflect those larger expenditures.

Equipment Enterprise Fund

This department also looks like it's spent a small portion of their budget. Some vehicles and equipment have been ordered but not yet delivered.

As always, I'm available for questions by phone 970-565-3402, in person, or by email at

kkoskie@cortezco.gov

Kelly Koskie

Finance Director, City of Cortez

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>					
001-0000-311-10-01	.00	433,370.77	600,000.00	166,629.23	72.2
001-0000-311-10-03	.00	1,863.10	.00	(1,863.10)	.0
001-0000-311-11-00	.00	175,214.18	.00	(175,214.18)	.0
001-0000-311-12-01	909,463.93	4,949,473.87	14,132,895.00	9,183,421.13	35.0
001-0000-311-12-03	7,285.95	58,613.65	103,648.00	45,034.35	56.6
001-0000-311-13-00	1,573.51	9,502.25	21,172.00	11,669.75	44.9
	<u>918,323.39</u>	<u>5,628,037.82</u>	<u>14,857,715.00</u>	<u>9,229,677.18</u>	<u>37.9</u>
<u>FRANCHISE TAXES</u>					
001-0000-312-10-00	.00	11,914.82	26,286.00	14,371.18	45.3
001-0000-312-11-00	37,089.26	250,456.67	479,806.00	229,349.33	52.2
001-0000-312-12-00	.00	166,359.51	207,760.00	41,400.49	80.1
001-0000-312-13-00	1,000.00	6,000.00	12,000.00	6,000.00	50.0
	<u>38,089.26</u>	<u>434,731.00</u>	<u>725,852.00</u>	<u>291,121.00</u>	<u>59.9</u>
<u>PERMITS</u>					
001-0000-321-10-00	.00	1,125.00	16,733.00	15,608.00	6.7
001-0000-321-11-00	160.00	960.00	2,200.00	1,240.00	43.6
001-0000-321-12-00	79.00	995.25	1,875.00	879.75	53.1
001-0000-321-13-00	58,287.99	128,160.95	152,712.00	24,551.05	83.9
001-0000-321-14-00	155.00	335.00	1,410.00	1,075.00	23.8
001-0000-321-14-01	.00	800.00	1,800.00	1,000.00	44.4
001-0000-321-14-02	.00	3,875.00	5,200.00	1,325.00	74.5
001-0000-321-15-00	180.00	600.00	5,926.00	5,326.00	10.1
	<u>58,861.99</u>	<u>136,851.20</u>	<u>187,856.00</u>	<u>51,004.80</u>	<u>72.9</u>
<u>LICENSES</u>					
001-0000-322-10-00	906.25	32,473.75	97,034.00	64,560.25	33.5
001-0000-322-11-00	.00	201.50	300.00	98.50	67.2
001-0000-322-12-00	95.00	1,125.00	2,890.00	1,765.00	38.9
001-0000-322-13-00	.00	100.00	250.00	150.00	40.0
	<u>1,001.25</u>	<u>33,900.25</u>	<u>100,474.00</u>	<u>66,573.75</u>	<u>33.7</u>

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>STATE/COLO</u>					
001-0000-332-10-00	HIGHWAY USER TAX	23,881.46	135,427.10	285,894.00	150,466.90 47.4
001-0000-332-11-00	STATE OF CO SNOW REMOVAL REIMB	.00	.00	3,000.00	3,000.00 .0
001-0000-332-12-00	LOCAL GOVT SEVERANCE TAX	.00	.00	60,000.00	60,000.00 .0
001-0000-332-13-00	MINERAL LEASING TAX	.00	.00	297,574.00	297,574.00 .0
001-0000-332-20-00	STATE MARIJUANA TAX	17,943.25	100,881.55	252,962.00	152,080.45 39.9
	TOTAL STATE/COLO	41,824.71	236,308.65	899,430.00	663,121.35 26.3
<u>COUNTY</u>					
001-0000-333-10-00	LIBRARY AID	.00	(12,000.00)	.00	12,000.00 .0
001-0000-333-11-00	ROAD AND BRIDGE	6,964.53	91,292.85	193,096.00	101,803.15 47.3
001-0000-333-23-00	KENNEL SERVICES	.00	27,500.00	.00	(27,500.00) .0
	TOTAL COUNTY	6,964.53	106,792.85	193,096.00	86,303.15 55.3
<u>SCHOOL DISTRICT RE-1</u>					
001-0000-334-10-00	SCHOOL RESOURCE OFFICER	.00	.00	23,000.00	23,000.00 .0
	TOTAL SCHOOL DISTRICT RE-1	.00	.00	23,000.00	23,000.00 .0
<u>SERVICES</u>					
001-0000-341-11-00	OUTDOOR POOL CONCESSIONS	3,214.36	3,214.36	10,010.00	6,795.64 32.1
001-0000-341-21-00	RECREATION PROGRAMS	2,430.00	4,825.00	5,736.00	911.00 84.1
	TOTAL SERVICES	5,644.36	8,039.36	15,746.00	7,706.64 51.1
<u>FEES</u>					
001-0000-342-02-00	KENNEL ADOPTION FEES	240.00	1,465.00	3,880.00	2,415.00 37.8
001-0000-342-04-00	SPAY/NEUTER PROGRAM	1,395.00	12,012.00	22,642.00	10,630.00 53.1
001-0000-342-06-00	RABIES DEPOSIT	125.00	600.00	750.00	150.00 80.0
001-0000-342-10-00	ANNUAL IMPOUND FEES	695.00	3,350.00	11,940.00	8,590.00 28.1
	TOTAL FEES	2,455.00	17,427.00	39,212.00	21,785.00 44.4
<u>FEES</u>					
001-0000-343-10-01	GREEN FEES	23,924.95	76,352.20	173,454.00	97,101.80 44.0
001-0000-343-10-02	PASSES/TICKETS	11,940.00	185,089.21	318,616.00	133,526.79 58.1
001-0000-343-10-08	GOLF CART REVENUE	2,025.00	48,600.00	105,974.00	57,374.00 45.9
	TOTAL FEES	37,889.95	310,041.41	598,044.00	288,002.59 51.8

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>FEES</u>					
001-0000-344-10-00 POOL	26,198.00	26,198.00	56,520.00	30,322.00	46.4
001-0000-344-10-03 PLAYGROUND DAYS	6,966.00	35,068.00	55,000.00	19,932.00	63.8
001-0000-344-11-00 RECREATION ACTIVITIES	.00	384.60	.00	(384.60)	.0
001-0000-344-11-02 BASKETBALL	.00	80.00	2,720.00	2,640.00	2.9
001-0000-344-12-01 SOFTBALL	300.00	300.00	4,075.00	3,775.00	7.4
001-0000-344-13-01 VOLLEYBALL	.00	2,838.00	1,745.00	(1,093.00)	162.6
001-0000-344-20-00 VEHICLE INSPECTION FEES	.00	100.00	760.00	660.00	13.2
TOTAL FEES	33,464.00	64,968.60	120,820.00	55,851.40	53.8
<u>CHARGES</u>					
001-0000-347-17-01 PARK RENTAL FEES	180.00	3,240.00	7,320.00	4,080.00	44.3
001-0000-347-18-00 CHIPPER/MULCHER	200.00	464.00	720.00	256.00	64.4
TOTAL CHARGES	380.00	3,704.00	8,040.00	4,336.00	46.1
<u>FINES</u>					
001-0000-351-10-00 MUNICIPAL COURT FINES	3,974.00	29,809.00	17,290.00	(12,519.00)	172.4
001-0000-351-10-01 DUI/SEAT BELT - COUNTY	256.45	3,617.60	3,314.00	(303.60)	109.2
001-0000-351-10-02 OVERTIME PARKING	115.00	425.00	2,214.00	1,789.00	19.2
001-0000-351-10-03 D.A.R.E. FINES	65.00	305.00	.00	(305.00)	.0
TOTAL FINES	4,410.45	34,156.60	22,818.00	(11,338.60)	149.7
<u>FINES</u>					
001-0000-352-11-00 LIBRARY	53.20	363.09	.00	(363.09)	.0
TOTAL FINES	53.20	363.09	.00	(363.09)	.0
<u>INTEREST</u>					
001-0000-361-10-00 INVESTMENTS	.00	40,956.98	9,140.00	(31,816.98)	448.1
001-0000-361-10-15 PINON PROJECT - INTEREST REPAY	803.79	4,845.75	8,434.00	3,588.25	57.5
001-0000-361-10-16 PINON PROJECT - PRINCIPAL PAY	412.25	2,450.49	12,000.00	9,549.51	20.4
001-0000-361-20-03 CHANGE IN MARKET VALUE	.00	5,066.30	18,951.00	13,884.70	26.7
TOTAL INTEREST	1,216.04	53,319.52	48,525.00	(4,794.52)	109.9

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>REVENUE</u>					
001-0000-362-14-00	1,329.37	5,146.68	6,826.00	1,679.32	75.4
001-0000-362-17-00	.00	.00	62,000.00	62,000.00	.0
001-0000-362-18-00	339,020.62	339,020.62	.00	(339,020.62)	.0
001-0000-362-19-00	53,395.85	53,395.85	.00	(53,395.85)	.0
TOTAL REVENUE	393,745.84	397,563.15	68,826.00	(328,737.15)	577.6
<u>GIFTS/DONATIONS</u>					
001-0000-366-14-00	.00	.00	7,200.00	7,200.00	.0
001-0000-366-19-00	150.00	4,235.00	2,000.00	(2,235.00)	211.8
001-0000-366-20-00	.00	5,000.00	.00	(5,000.00)	.0
001-0000-366-24-00	272.00	1,323.50	1,050.00	(273.50)	126.1
TOTAL GIFTS/DONATIONS	422.00	10,558.50	10,250.00	(308.50)	103.0
<u>REVENUE</u>					
001-0000-367-15-00	.00	4,874.00	42,620.00	37,746.00	11.4
001-0000-367-15-01	.00	1.38	.00	(1.38)	.0
001-0000-367-16-00	641.47	6,041.94	3,350.00	(2,691.94)	180.4
001-0000-367-16-03	.00	5,862.30	3,456.00	(2,406.30)	169.6
001-0000-367-16-14	.00	665.11	.00	(665.11)	.0
001-0000-367-18-01	.00	10,612.74	.00	(10,612.74)	.0
TOTAL REVENUE	641.47	28,057.47	49,426.00	21,368.53	56.8
<u>GRANTS</u>					
001-0000-368-01-01	.00	.00	259,450.00	259,450.00	.0
001-0000-368-01-02	.00	14,226.00	15,440.00	1,214.00	92.1
001-0000-368-04-00	2,994.40	12,499.43	11,500.00	(999.43)	108.7
001-0000-368-11-00	.00	16,089.75	62,338.00	46,248.25	25.8
001-0000-368-44-00	.00	.00	8,500.00	8,500.00	.0
TOTAL GRANTS	2,994.40	42,815.18	357,228.00	314,412.82	12.0
<u>INTERNAL SERVICE CHGS</u>					
001-0000-371-11-00	.00	.00	244,676.00	244,676.00	.0
TOTAL INTERNAL SERVICE CHGS	.00	.00	244,676.00	244,676.00	.0
TOTAL FUND REVENUE	1,548,381.84	7,547,635.65	18,571,034.00	11,023,398.35	40.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL GOVERNMENT</u>					
<u>CITY COUNCIL</u>					
001-4010-400-10-01	2,775.00	17,000.00	47,250.00	30,250.00	36.0
001-4010-400-10-11	.00	600.00	.00	(600.00)	.0
001-4010-400-20-01	212.29	1,300.51	2,900.00	1,599.49	44.9
001-4010-400-21-06	267.87	1,602.56	113.00	(1,489.56)	1418.2
001-4010-400-30-12	.00	28,081.00	112,324.00	84,243.00	25.0
001-4010-400-30-13	.00	139.56	.00	(139.56)	.0
001-4010-400-30-19	1,222.77	3,679.42	4,887.00	1,207.58	75.3
001-4010-400-30-20	.00	.00	4,250.00	4,250.00	.0
001-4010-400-40-00	3,231.78	6,876.54	10,000.00	3,123.46	68.8
001-4010-400-40-06	.00	.00	1,000.00	1,000.00	.0
001-4010-400-44-00	.00	.00	500.00	500.00	.0
001-4010-400-50-00	.00	14,581.00	14,581.00	.00	100.0
001-4010-400-50-01	15,593.00	92,723.77	156,419.00	63,695.23	59.3
001-4010-400-53-00	(2,500.00)	29,500.00	32,000.00	2,500.00	92.2
001-4010-400-53-04	.00	12,000.00	12,000.00	.00	100.0
001-4010-400-54-00	.00	3,811,246.51	3,710,000.00	(101,246.51)	102.7
TOTAL CITY COUNCIL	20,802.71	4,019,330.87	4,108,224.00	88,893.13	97.8
<u>CITY ATTORNEY</u>					
001-4011-401-10-01	19,601.51	77,899.98	185,000.00	107,100.02	42.1
001-4011-401-16-00	980.07	3,894.98	9,250.00	5,355.02	42.1
001-4011-401-20-01	1,493.56	5,933.19	14,152.00	8,218.81	41.9
001-4011-401-21-01	2,334.00	10,119.50	18,540.00	8,420.50	54.6
001-4011-401-21-05	105.00	490.00	1,680.00	1,190.00	29.2
001-4011-401-21-07	39.21	155.82	.00	(155.82)	.0
001-4011-401-30-13	3,063.75	3,063.75	9,550.00	6,486.25	32.1
001-4011-401-40-00	715.47	1,770.55	4,000.00	2,229.45	44.3
001-4011-401-41-00	.00	448.00	1,000.00	552.00	44.8
001-4011-401-42-01	85.00	510.00	.00	(510.00)	.0
001-4011-401-42-04	.00	.00	300.00	300.00	.0
001-4011-401-44-00	.00	466.40	4,950.00	4,483.60	9.4
001-4011-401-44-01	.00	.00	3,000.00	3,000.00	.0
TOTAL CITY ATTORNEY	28,417.57	104,752.17	251,422.00	146,669.83	41.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>HUMAN RESOURCES</u>					
001-4012-402-10-01	21,384.01	92,320.01	194,200.00	101,879.99	47.5
001-4012-402-10-10	.00	69.25	.00	(69.25)	.0
001-4012-402-16-00	1,069.20	4,616.00	8,221.00	3,605.00	56.2
001-4012-402-20-01	1,597.34	6,866.10	11,931.00	5,064.90	57.6
001-4012-402-21-01	3,112.00	18,672.00	38,415.00	19,743.00	48.6
001-4012-402-21-05	140.00	840.00	1,680.00	840.00	50.0
001-4012-402-21-06	255.20	1,526.76	3,000.00	1,473.24	50.9
001-4012-402-21-07	42.78	184.70	439.00	254.30	42.1
001-4012-402-21-20	820.26	820.26	.00	(820.26)	.0
001-4012-402-30-19	149.74	450.58	600.00	149.42	75.1
001-4012-402-30-34	.00	.00	100.00	100.00	.0
001-4012-402-30-90	.00	7,100.00	30,000.00	22,900.00	23.7
001-4012-402-40-00	.00	258.17	6,000.00	5,741.83	4.3
001-4012-402-40-06	199.98	1,995.61	11,000.00	9,004.39	18.1
001-4012-402-40-08	.00	406.69	1,500.00	1,093.31	27.1
001-4012-402-40-10	.00	1,891.36	7,500.00	5,608.64	25.2
001-4012-402-42-01	124.99	750.69	1,450.00	699.31	51.8
001-4012-402-44-00	.00	204.89	1,800.00	1,595.11	11.4
001-4012-402-45-10	63.50	596.17	1,000.00	403.83	59.6
001-4012-402-46-02	.00	493.37	1,000.00	506.63	49.3
001-4012-402-49-03	.00	.00	500.00	500.00	.0
001-4012-402-50-00	.00	169.00	1,500.00	1,331.00	11.3
001-4012-402-51-00	.00	.00	1,400.00	1,400.00	.0
TOTAL HUMAN RESOURCES	28,959.00	140,231.61	323,236.00	183,004.39	43.4
<u>MUNICIPAL COURT</u>					
001-4013-403-10-01	15,084.81	53,700.81	117,315.00	63,614.19	45.8
001-4013-403-10-10	.00	69.25	.00	(69.25)	.0
001-4013-403-16-00	754.24	2,685.04	5,866.00	3,180.96	45.8
001-4013-403-20-01	1,084.41	3,767.21	8,513.00	4,745.79	44.3
001-4013-403-21-01	3,112.00	18,672.00	37,344.00	18,672.00	50.0
001-4013-403-21-05	140.00	840.00	1,680.00	840.00	50.0
001-4013-403-21-06	251.13	1,502.41	198.00	(1,304.41)	758.8
001-4013-403-21-07	30.16	107.36	319.00	211.64	33.7
001-4013-403-30-04	.00	87.50	.00	(87.50)	.0
001-4013-403-30-06	2,048.58	14,820.48	23,375.00	8,554.52	63.4
001-4013-403-30-19	675.13	2,031.52	2,698.00	666.48	75.3
001-4013-403-30-36	.00	405.75	5,000.00	4,594.25	8.1
001-4013-403-40-00	.00	64.00	2,500.00	2,436.00	2.6
001-4013-403-40-10	1,651.00	8,040.80	18,000.00	9,959.20	44.7
001-4013-403-42-01	85.00	510.00	360.00	(150.00)	141.7
001-4013-403-44-00	1,631.06	1,217.99	2,500.00	1,282.01	48.7
001-4013-403-45-11	.00	595.50	.00	(595.50)	.0
001-4013-403-50-00	.00	60.00	.00	(60.00)	.0
TOTAL MUNICIPAL COURT	26,547.52	109,177.62	225,668.00	116,490.38	48.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CITY MANAGER</u>					
001-4014-404-10-01	23,856.00	103,216.00	216,345.00	113,129.00	47.7
001-4014-404-16-00	1,192.80	5,160.80	6,590.00	1,429.20	78.3
001-4014-404-20-01	1,710.12	7,384.08	9,290.00	1,905.92	79.5
001-4014-404-21-01	3,112.00	18,672.00	19,207.00	535.00	97.2
001-4014-404-21-05	140.00	840.00	840.00	.00	100.0
001-4014-404-21-06	456.75	2,732.54	.00	(2,732.54)	.0
001-4014-404-21-07	47.70	206.38	.00	(206.38)	.0
001-4014-404-30-19	943.27	1,631.07	1,056.00	(575.07)	154.5
001-4014-404-40-00	.00	2,882.95	7,500.00	4,617.05	38.4
001-4014-404-40-03	786.47	1,572.85	3,500.00	1,927.15	44.9
001-4014-404-42-01	115.00	690.00	2,540.00	1,850.00	27.2
001-4014-404-42-02	.00	98.35	.00	(98.35)	.0
001-4014-404-42-04	265.33	1,070.41	4,000.00	2,929.59	26.8
001-4014-404-44-00	.00	455.39	2,000.00	1,544.61	22.8
001-4014-404-44-01	159.99	159.99	2,000.00	1,840.01	8.0
001-4014-404-46-02	.00	.00	500.00	500.00	.0
001-4014-404-48-90	.00	.00	500.00	500.00	.0
001-4014-404-50-00	.00	.00	2,500.00	2,500.00	.0
001-4014-404-51-00	.00	24.00	500.00	476.00	4.8
001-4014-404-59-01	.00	.00	4,700.00	4,700.00	.0
001-4014-499-30-90	1,035.00	6,817.50	20,000.00	13,182.50	34.1
001-4014-499-40-06	.00	653.49	2,000.00	1,346.51	32.7
001-4014-499-45-10	.00	.00	2,500.00	2,500.00	.0
TOTAL CITY MANAGER	33,820.43	154,267.80	308,068.00	153,800.20	50.1
<u>FINANCE DEPARTMENT</u>					
001-4015-405-10-01	52,508.81	215,513.64	389,760.00	174,246.36	55.3
001-4015-405-11-01	.00	187.66	5,000.00	4,812.34	3.8
001-4015-405-16-00	2,625.44	10,775.68	13,305.00	2,529.32	81.0
001-4015-405-20-01	3,882.05	15,808.52	25,680.00	9,871.48	61.6
001-4015-405-21-01	9,336.00	56,016.00	92,703.00	36,687.00	60.4
001-4015-405-21-05	420.00	2,520.00	4,500.00	1,980.00	56.0
001-4015-405-21-06	265.89	1,590.71	1,000.00	(590.71)	159.1
001-4015-405-21-07	105.01	431.45	900.00	468.55	47.9
001-4015-405-30-04	2,000.00	26,412.51	75,000.00	48,587.49	35.2
001-4015-405-30-07	1,165.47	7,755.17	9,000.00	1,244.83	86.2
001-4015-405-30-19	626.45	1,885.04	2,829.00	943.96	66.6
001-4015-405-30-24	.00	.00	500.00	500.00	.0
001-4015-405-30-28	139.30	10,516.72	5,000.00	(5,516.72)	210.3
001-4015-405-30-90	8,200.00	23,750.00	88,000.00	64,250.00	27.0
001-4015-405-40-00	.00	2,309.23	4,500.00	2,190.77	51.3
001-4015-405-42-01	265.00	1,590.00	840.00	(750.00)	189.3
001-4015-405-42-03	.00	69.91	2,000.00	1,930.09	3.5
001-4015-405-44-00	.00	815.78	3,500.00	2,684.22	23.3
001-4015-405-44-01	.00	1,409.33	.00	(1,409.33)	.0
001-4015-405-48-90	513.37	3,066.30	500.00	(2,566.30)	613.3
001-4015-405-50-00	.00	3,232.20	1,250.00	(1,982.20)	258.6
001-4015-405-51-00	.00	324.00	175.00	(149.00)	185.1
001-4015-405-59-00	.00	(.01)	.00	.01	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL FINANCE DEPARTMENT	82,052.79	385,979.84	725,942.00	339,962.16	53.2
TOTAL ALL 16	.00	.00	.00	.00	.0
<u>CITY CLERK</u>					
001-4018-408-10-01 REGULAR WAGES	13,968.02	60,445.41	166,111.00	105,665.59	36.4
001-4018-408-16-00 CITY RETIREMENT	543.24	2,354.04	6,932.00	4,577.96	34.0
001-4018-408-20-01 FICA/MEDICARE	1,065.24	4,604.22	10,564.00	5,959.78	43.6
001-4018-408-21-01 HEALTH/LIFE INSURANCE	1,556.00	9,336.00	38,464.00	29,128.00	24.3
001-4018-408-21-05 DENTAL INSURANCE	70.00	420.00	1,680.00	1,260.00	25.0
001-4018-408-21-06 WORKMENS COMPENSATION	249.09	1,490.22	2,000.00	509.78	74.5
001-4018-408-21-07 UNEMPLOYMENT	27.93	120.86	396.00	275.14	30.5
001-4018-408-30-14 ELECTION SERVICES	.00	.00	20,000.00	20,000.00	.0
001-4018-408-30-19 INSURANCE & BONDS	176.12	529.96	703.00	173.04	75.4
001-4018-408-30-90 CONTRACT SERVICES-OTHER	.00	1,010.23	6,000.00	4,989.77	16.8
001-4018-408-40-00 TRAVEL & TRAINING	.00	512.02	4,500.00	3,987.98	11.4
001-4018-408-42-01 TELEPHONE	80.00	480.00	.00	(480.00)	.0
001-4018-408-44-00 OFFICE SUPPLIES	68.25	423.56	2,500.00	2,076.44	16.9
001-4018-408-45-08 EMPLOYEE BENCHMARKING	.00	.00	5,000.00	5,000.00	.0
001-4018-408-45-09 WELLNESS PROGRAM	425.00	5,760.42	27,500.00	21,739.58	21.0
001-4018-408-45-10 OTHER OPERATING SUPPLIES	.00	377.50	2,000.00	1,622.50	18.9
001-4018-408-50-00 MEMBERSHIP & DUES	.00	310.00	550.00	240.00	56.4
TOTAL CITY CLERK	18,228.89	88,174.44	294,900.00	206,725.56	29.9
<u>GRANTS ADMINISTER</u>					
001-4040-404-30-90 CONTRACT SERVICES	5,244.00	10,487.00	.00	(10,487.00)	.0
TOTAL GRANTS ADMINISTER	5,244.00	10,487.00	.00	(10,487.00)	.0
<u>MARKETING</u>					
001-4044-404-10-01 REGULAR WAGES	7,456.82	32,312.88	62,228.00	29,915.12	51.9
001-4044-404-10-10 EMPLOYEE INCENTIVES	.00	69.25	.00	(69.25)	.0
001-4044-404-11-01 OVERTIME	116.51	116.51	.00	(116.51)	.0
001-4044-404-16-00 CITY RETIREMENT	372.84	1,615.64	3,200.00	1,584.36	50.5
001-4044-404-20-01 FICA/MEDICARE	481.32	2,142.70	4,515.00	2,372.30	47.5
001-4044-404-21-01 HEALTH/LIFE INSURANCE	1,556.00	9,336.00	19,207.00	9,871.00	48.6
001-4044-404-21-05 DENTAL INSURANCE	70.00	420.00	840.00	420.00	50.0
001-4044-404-21-06 WORKMENS COMPENSATION	247.40	1,480.11	1,000.00	(480.11)	148.0
001-4044-404-21-07 UNEMPLOYMENT	15.14	64.84	169.00	104.16	38.4
001-4044-404-24-00 MARKETING	2,748.06	24,550.86	40,000.00	15,449.14	61.4
001-4044-404-30-19 INSURANCE & BONDS	27.26	82.03	115.00	32.97	71.3
001-4044-404-40-00 TRAVEL & TRAINING	.00	128.00	1,000.00	872.00	12.8
001-4044-404-42-01 TELEPHONE	85.00	510.00	1,132.00	622.00	45.1
001-4044-404-44-00 OFFICE SUPPLIES	.00	366.84	555.00	188.16	66.1
001-4044-404-45-15 EMP APPRECTION/PICNIC	.00	5,422.70	20,000.00	14,577.30	27.1
TOTAL MARKETING	13,176.35	78,618.36	153,961.00	75,342.64	51.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>LIBRARY</u>					
001-4055-407-10-01	40,938.57	174,262.14	408,700.00	234,437.86	42.6
001-4055-407-10-10	.00	229.75	150.00	(79.75)	153.2
001-4055-407-16-00	1,479.20	5,599.91	14,130.00	8,530.09	39.6
001-4055-407-20-01	3,075.69	13,044.99	25,531.00	12,486.01	51.1
001-4055-407-21-01	7,780.00	40,478.00	96,037.00	55,559.00	42.2
001-4055-407-21-05	350.00	1,960.00	4,200.00	2,240.00	46.7
001-4055-407-21-06	317.05	1,896.78	1,440.00	(456.78)	131.7
001-4055-407-21-07	81.83	348.52	957.00	608.48	36.4
001-4055-407-30-19	3,969.42	11,944.31	15,839.00	3,894.69	75.4
001-4055-407-30-27	.00	.00	1,000.00	1,000.00	.0
001-4055-407-30-90	3,600.00	3,600.00	.00	(3,600.00)	.0
001-4055-407-32-01	.00	.00	2,000.00	2,000.00	.0
001-4055-407-40-00	.00	100.00	2,500.00	2,400.00	4.0
001-4055-407-42-01	.00	262.56	576.00	313.44	45.6
001-4055-407-42-03	.00	148.68	1,050.00	901.32	14.2
001-4055-407-42-10	3,503.40	21,020.40	.00	(21,020.40)	.0
001-4055-407-43-01	1,107.74	5,504.78	17,510.00	12,005.22	31.4
001-4055-407-43-02	.00	223.00	567.00	344.00	39.3
001-4055-407-43-03	122.73	4,494.12	2,880.00	(1,614.12)	156.1
001-4055-407-43-04	135.60	813.60	1,449.00	635.40	56.2
001-4055-407-43-05	37.15	203.56	720.00	516.44	28.3
001-4055-407-45-10	171.49	9,845.50	26,250.00	16,404.50	37.5
001-4055-407-45-19	2,351.75	18,799.13	35,280.00	16,480.87	53.3
001-4055-407-45-20	.00	995.42	4,520.00	3,524.58	22.0
001-4055-407-45-21	92.34	666.21	3,500.00	2,833.79	19.0
001-4055-407-45-22	1,366.84	3,299.36	10,000.00	6,700.64	33.0
001-4055-407-46-02	45.50	1,542.80	8,400.00	6,857.20	18.4
001-4055-407-50-00	.00	(574.01)	1,000.00	1,574.01	(57.4)
001-4055-407-51-00	.00	795.55	10,000.00	9,204.45	8.0
001-4055-407-59-26	.00	3,177.31	12,000.00	8,822.69	26.5
001-4055-407-63-10	.00	182,481.18	200,000.00	17,518.82	91.2
001-4055-407-80-27	3,354.43	3,354.43	5,500.00	2,145.57	61.0
001-4055-407-80-30	.00	.00	2,500.00	2,500.00	.0
TOTAL LIBRARY	73,880.73	510,517.98	916,186.00	405,668.02	55.7
TOTAL GENERAL GOVERNMENT	331,129.99	5,601,537.69	7,307,607.00	1,706,069.31	76.7
<u>GENERAL SERVICES</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GEN SERV - ADMINISTRATION</u>					
001-4116-406-10-01	13,065.60	56,617.60	104,012.00	47,394.40	54.4
001-4116-406-16-00	653.28	2,830.88	4,822.00	1,991.12	58.7
001-4116-406-20-01	990.11	4,274.81	7,347.00	3,072.19	58.2
001-4116-406-21-01	1,556.00	9,336.00	19,207.00	9,871.00	48.6
001-4116-406-21-05	70.00	420.00	840.00	420.00	50.0
001-4116-406-21-06	258.63	1,547.28	315.00	(1,232.28)	491.2
001-4116-406-21-07	26.13	113.23	276.00	162.77	41.0
001-4116-406-30-19	1,143.16	3,439.86	4,568.00	1,128.14	75.3
001-4116-406-30-90	.00	.00	7,000.00	7,000.00	.0
001-4116-406-40-00	.00	2,329.31	2,500.00	170.69	93.2
001-4116-406-42-01	70.00	420.00	840.00	420.00	50.0
001-4116-406-44-00	.00	.00	1,500.00	1,500.00	.0
001-4116-406-50-00	.00	190.00	.00	(190.00)	.0
001-4116-406-63-10	24,856.28	190,929.63	181,250.00	(9,679.63)	105.3
	<u>42,689.19</u>	<u>272,448.60</u>	<u>334,477.00</u>	<u>62,028.40</u>	<u>81.5</u>
<u>BUILDING MAINTENANCE</u>					
001-4117-406-10-01	18,189.60	77,972.80	161,157.00	83,184.20	48.4
001-4117-406-16-00	909.48	3,898.64	7,659.00	3,760.36	50.9
001-4117-406-20-01	1,350.49	5,752.02	11,671.00	5,918.98	49.3
001-4117-406-21-01	4,668.00	28,008.00	57,622.00	29,614.00	48.6
001-4117-406-21-05	210.00	1,260.00	2,520.00	1,260.00	50.0
001-4117-406-21-06	686.47	4,418.40	5,895.00	1,476.60	75.0
001-4117-406-21-07	36.36	155.88	437.00	281.12	35.7
001-4117-406-30-19	1,237.93	3,725.03	5,245.00	1,519.97	71.0
001-4117-406-30-90	.00	.00	2,000.00	2,000.00	.0
001-4117-406-40-00	.00	128.00	3,400.00	3,272.00	3.8
001-4117-406-42-01	210.00	1,140.00	3,360.00	2,220.00	33.9
001-4117-406-45-07	.00	809.53	800.00	(9.53)	101.2
001-4117-406-45-10	.00	3,446.14	14,600.00	11,153.86	23.6
001-4117-406-51-00	.00	.00	66.00	66.00	.0
	<u>27,498.33</u>	<u>130,714.44</u>	<u>276,432.00</u>	<u>145,717.56</u>	<u>47.3</u>
TOTAL G.S. CITY HALL OPERATIONS	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CITY HALL ROGER SMITH AVE</u>					
001-4119-406-30-15	.00	.00	400.00	400.00	.0
001-4119-406-30-37	.00	39,691.00	40,000.00	309.00	99.2
001-4119-406-30-90	1,412.38	1,412.38	.00	(1,412.38)	.0
001-4119-406-32-01	.00	11,500.00	30,800.00	19,300.00	37.3
001-4119-406-32-90	228.49	1,331.96	10,000.00	8,668.04	13.3
001-4119-406-42-01	.00	608.52	1,400.00	791.48	43.5
001-4119-406-42-03	310.85	1,041.13	8,000.00	6,958.87	13.0
001-4119-406-42-10	599.64	3,597.84	7,200.00	3,602.16	50.0
001-4119-406-43-01	746.54	7,699.48	6,000.00	(1,699.48)	128.3
001-4119-406-43-02	.00	231.00	2,800.00	2,569.00	8.3
001-4119-406-43-03	732.02	9,298.59	5,830.00	(3,468.59)	159.5
001-4119-406-43-04	235.40	1,369.95	2,150.00	780.05	63.7
001-4119-406-43-05	80.65	448.25	2,625.00	2,176.75	17.1
001-4119-406-44-00	310.88	310.88	1,300.00	989.12	23.9
001-4119-406-45-10	.00	2,612.84	5,000.00	2,387.16	52.3
001-4119-406-45-22	1,358.85	4,736.85	11,100.00	6,363.15	42.7
001-4119-406-46-02	37.99	3,559.91	10,000.00	6,440.09	35.6
TOTAL CITY HALL ROGER SMITH AVE	6,053.69	89,450.58	144,605.00	55,154.42	61.9
<u>WELCOME CENTER (CITY)</u>					
001-4158-511-21-06	304.62	1,822.42	.00	(1,822.42)	.0
001-4158-511-30-90	2,708.78	17,890.20	40,372.00	22,481.80	44.3
001-4158-511-32-01	1,700.00	10,200.00	20,900.00	10,700.00	48.8
001-4158-511-42-01	89.22	876.74	.00	(876.74)	.0
001-4158-511-42-10	806.76	4,840.56	9,600.00	4,759.44	50.4
001-4158-511-43-01	483.11	2,817.75	5,500.00	2,682.25	51.2
001-4158-511-43-02	.00	223.00	480.00	257.00	46.5
001-4158-511-43-03	65.40	1,641.61	1,875.00	233.39	87.6
001-4158-511-43-04	94.80	568.80	1,260.00	691.20	45.1
001-4158-511-43-05	30.05	171.95	380.00	208.05	45.3
001-4158-511-45-10	.00	417.85	.00	(417.85)	.0
001-4158-511-45-22	64.69	388.14	.00	(388.14)	.0
001-4158-511-46-07	.00	85.91	4,500.00	4,414.09	1.9
TOTAL WELCOME CENTER (CITY)	6,347.43	41,944.93	84,867.00	42,922.07	49.4
TOTAL ALL 60	.00	.00	.00	.00	.0
TOTAL GENERAL SERVICES	82,588.64	534,558.55	840,381.00	305,822.45	63.6
<u>PUBLIC SAFETY</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>POLICE ADMINISTRATION</u>					
001-4220-420-10-01	REGULAR WAGES	32,556.00	155,652.97	385,000.00	229,347.03 40.4
001-4220-420-11-01	OVERTIME	.00	.00	1,600.00	1,600.00 .0
001-4220-420-16-00	CITY RETIREMENT	1,627.80	7,280.43	15,662.00	8,381.57 46.5
001-4220-420-20-01	FICA/MEDICARE	859.60	4,801.41	11,022.00	6,220.59 43.6
001-4220-420-21-01	HEALTH/LIFE INSURANCE	4,668.00	29,564.00	74,688.00	45,124.00 39.6
001-4220-420-21-05	DENTAL INSURANCE	210.00	1,330.00	3,360.00	2,030.00 39.6
001-4220-420-21-06	WORKMENS COMPENSATION	500.68	2,995.36	7,110.00	4,114.64 42.1
001-4220-420-21-07	UNEMPLOYMENT	65.10	311.25	637.00	325.75 48.9
001-4220-420-22-01	ICMA POLICE	2,068.02	8,961.42	16,130.00	7,168.58 55.6
001-4220-420-30-04	COMPUTER/SOFWARE SERVICES	.00	.00	5,000.00	5,000.00 .0
001-4220-420-30-19	INSURANCE & BONDS	2,991.53	8,996.30	11,955.00	2,958.70 75.3
001-4220-420-30-90	CONTRACT SERVICES-OTHER	.00	2,210.48	35,748.00	33,537.52 6.2
001-4220-420-32-90	MAINT CONTRACTS-OTHER	.00	.00	85,000.00	85,000.00 .0
001-4220-420-40-00	TRAVEL/TRAINING	107.60	2,125.81	9,500.00	7,374.19 22.4
001-4220-420-42-01	TELEPHONE	2,678.85	17,286.19	20,280.00	2,993.81 85.2
001-4220-420-45-07	CLOTHING ALLOWANCE	.00	80.00	2,200.00	2,120.00 3.6
001-4220-420-45-10	OPERATING SUPPLIES-OTHER	90.00	1,593.70	4,000.00	2,406.30 39.8
001-4220-420-45-12	EQUITABLE SHARING	.00	10,508.16	42,620.00	32,111.84 24.7
001-4220-420-45-26	ACUTE CARE FACILITY	.00	.00	4,200.00	4,200.00 .0
001-4220-420-48-90	PRINTING-OTHER	.00	.00	200.00	200.00 .0
001-4220-420-49-03	ADVERTISING-OTHER	.00	.00	2,040.00	2,040.00 .0
001-4220-420-50-00	MEMBERSHIP & DUES	.00	395.66	2,835.00	2,439.34 14.0
001-4220-420-51-00	PUBLICATION/SUBSCRIPTION	.00	205.00	575.00	370.00 35.7
	TOTAL POLICE ADMINISTRATION	48,423.18	254,298.14	741,362.00	487,063.86 34.3
<u>PATROL</u>					
001-4221-421-10-01	REGULAR WAGES	170,839.90	744,336.81	1,479,238.00	734,901.19 50.3
001-4221-421-11-01	OVERTIME	6,167.53	19,287.87	68,250.00	48,962.13 28.3
001-4221-421-11-03	GRANT OVERTIME	3,608.00	7,498.85	42,000.00	34,501.15 17.9
001-4221-421-16-00	CITY RETIREMENT	8,409.20	36,486.00	70,440.00	33,954.00 51.8
001-4221-421-20-01	FICA/MEDICARE	3,630.67	15,067.19	21,141.00	6,073.81 71.3
001-4221-421-21-01	HEALTH/LIFE INSURANCE	37,344.00	227,176.00	466,200.00	239,024.00 48.7
001-4221-421-21-05	DENTAL INSURANCE	1,680.00	10,220.00	21,000.00	10,780.00 48.7
001-4221-421-21-06	WORKMENS COMPENSATION	4,411.34	26,952.59	40,500.00	13,547.41 66.6
001-4221-421-21-07	UNEMPLOYMENT	361.16	1,541.91	3,842.00	2,300.09 40.1
001-4221-421-22-01	ICMA POLICE	12,060.41	52,618.15	100,112.00	47,493.85 52.6
001-4221-421-30-19	INSURANCE & BONDS	8,267.04	29,935.34	34,979.00	5,043.66 85.6
001-4221-421-30-34	EMPLOYEE LICENSES/TESTING	.00	190.00	4,000.00	3,810.00 4.8
001-4221-421-30-90	CONTRACT SERVICES	.00	.00	2,050.00	2,050.00 .0
001-4221-421-30-95	ANIMAL IMPOUNDMENT	130.96	839.71	2,448.00	1,608.29 34.3
001-4221-421-32-90	MAINT CONTRACTS - OTHER	.00	902.52	2,000.00	1,097.48 45.1
001-4221-421-40-00	TRAVEL & TRAINING	2,070.10	(5,755.18)	22,440.00	28,195.18 (25.7)
001-4221-421-45-07	CLOTHING ALLOWANCE	2,013.59	7,050.71	23,000.00	15,949.29 30.7
001-4221-421-45-10	OPERATING SUPPLIES-OTHER	23.61	2,122.20	14,500.00	12,377.80 14.6
001-4221-421-45-13	DARE TRAINING MATERIALS	.00	.00	3,500.00	3,500.00 .0
001-4221-421-45-15	AMMUNITION	.00	5,618.00	25,000.00	19,382.00 22.5
001-4221-421-46-02	OTHER REPAIR & MAINT	.00	3,436.97	.00	(3,436.97) .0
001-4221-421-50-00	MEMBERSHIP & DUES	.00	.00	125.00	125.00 .0
001-4221-421-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	153.00	153.00 .0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL PATROL	261,017.51	1,185,525.64	2,446,918.00	1,261,392.36	48.5
<u>POLICE SUPPORT SERVICES</u>					
001-4222-422-10-01 REGULAR WAGES	20,801.60	83,176.00	157,128.00	73,952.00	52.9
001-4222-422-10-10 EMPLOYEE INCENTIVES	.00	91.25	.00	(91.25)	.0
001-4222-422-11-01 OVERTIME	.00	.00	1,575.00	1,575.00	.0
001-4222-422-16-00 CITY RETIREMENT	1,040.08	4,158.80	7,482.00	3,323.20	55.6
001-4222-422-20-01 FICA/MEDICARE	1,568.70	6,227.22	10,883.00	4,655.78	57.2
001-4222-422-21-01 HEALTH/LIFE INSURANCE	3,123.00	18,738.00	55,944.00	37,206.00	33.5
001-4222-422-21-05 DENTAL INSURANCE	140.00	840.00	2,520.00	1,680.00	33.3
001-4222-422-21-06 WORKMENS COMPENSATION	257.53	1,540.70	2,000.00	459.30	77.0
001-4222-422-21-07 UNEMPLOYMENT	41.61	166.37	408.00	241.63	40.8
001-4222-422-30-19 INSURANCE & BONDS	13.99	42.10	55.00	12.90	76.6
001-4222-422-30-90 CONTRACT SERVICES-OTHER	.00	1,500.00	.00	(1,500.00)	.0
001-4222-422-40-00 TRAVEL/TRAINING	.00	.00	3,250.00	3,250.00	.0
001-4222-422-45-07 CLOTHING ALLOWANCE	.00	.00	510.00	510.00	.0
001-4222-422-45-10 OPERATING SUPPLIES-OTHER	.00	43.29	1,100.00	1,056.71	3.9
TOTAL POLICE SUPPORT SERVICES	26,986.51	116,523.73	242,855.00	126,331.27	48.0
<u>POLICE INVESTIGATION</u>					
001-4223-423-10-01 REGULAR WAGES	55,752.01	243,455.40	462,434.00	218,978.60	52.7
001-4223-423-10-10 EMPLOYEE INCENTIVES	.00	130.00	.00	(130.00)	.0
001-4223-423-11-01 OVERTIME	763.02	2,437.01	11,550.00	9,112.99	21.1
001-4223-423-11-03 GRANT OVERTIME	436.40	1,004.60	4,200.00	3,195.40	23.9
001-4223-423-16-00 CITY RETIREMENT	2,787.60	11,978.32	22,021.00	10,042.68	54.4
001-4223-423-20-01 FICA/MEDICARE	1,153.77	4,966.50	5,805.00	838.50	85.6
001-4223-423-21-01 HEALTH/LIFE INSURANCE	10,892.00	65,352.00	130,536.00	65,184.00	50.1
001-4223-423-21-05 DENTAL INSURANCE	490.00	2,940.00	5,880.00	2,940.00	50.0
001-4223-423-21-06 WORKMENS COMPENSATION	1,118.52	6,691.66	4,635.00	(2,056.66)	144.4
001-4223-423-21-07 UNEMPLOYMENT	113.88	493.71	1,201.00	707.29	41.1
001-4223-423-22-01 ICMA POLICE	4,004.94	17,169.51	32,030.00	14,860.49	53.6
001-4223-423-30-19 INSURANCE & BONDS	67.37	410.95	270.00	(140.95)	152.2
001-4223-423-30-90 CONTRACT SERVICES-OTHER	675.00	4,239.00	2,125.00	(2,114.00)	199.5
001-4223-423-40-00 TRAVEL & TRAINING	.00	482.08	10,000.00	9,517.92	4.8
001-4223-423-45-07 CLOTHING ALLOWANCE	157.82	1,800.93	3,000.00	1,199.07	60.0
001-4223-423-45-10 OPERATING SUPPLIES	83.94	878.85	2,500.00	1,621.15	35.2
001-4223-423-45-11 OPERATING EQUIPMENT	.00	18,962.00	2,500.00	(16,462.00)	758.5
001-4223-423-46-02 OTHER REPAIR & MAINT	.00	1,115.70	.00	(1,115.70)	.0
001-4223-423-49-03 ADVERTISING	.00	.00	250.00	250.00	.0
001-4223-423-50-00 MEMBERSHIP & DUES	.00	65.00	125.00	60.00	52.0
001-4223-423-51-00 PUBLICATION/SUBSCRIPTION	.00	792.29	780.00	(12.29)	101.6
001-4223-423-52-00 EQUIPMENT RENTALS	.00	.00	1,000.00	1,000.00	.0
TOTAL POLICE INVESTIGATION	78,496.27	385,365.51	702,842.00	317,476.49	54.8
<u>POLICE CORRECTIONS</u>					
001-4224-424-30-16 PRISTONER CUSTODY	.00	18,560.00	40,000.00	21,440.00	46.4
001-4224-424-30-90 CONTRACT SERVICES-OTHER	350.00	2,100.00	.00	(2,100.00)	.0
001-4224-424-40-02 PRISONER TRANSPORT	(506.88)	(3,548.16)	400.00	3,948.16	(887.0)
TOTAL POLICE CORRECTIONS	(156.88)	17,111.84	40,400.00	23,288.16	42.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>BUILDING OPERATIONS</u>					
001-4225-425-32-01	.00	7,497.90	21,000.00	13,502.10	35.7
001-4225-425-32-02	.00	.00	6,000.00	6,000.00	.0
001-4225-425-32-90	45.50	2,896.60	9,500.00	6,603.40	30.5
001-4225-425-42-01	.00	1,644.51	4,896.00	3,251.49	33.6
001-4225-425-42-03	186.33	1,085.28	4,192.00	3,106.72	25.9
001-4225-425-42-10	1,136.52	6,819.12	.00 (	6,819.12)	.0
001-4225-425-43-01	2,767.64	20,360.90	38,000.00	17,639.10	53.6
001-4225-425-43-02	.00	283.00	918.00	635.00	30.8
001-4225-425-43-03	124.33	2,658.49	3,100.00	441.51	85.8
001-4225-425-43-04	218.30	1,309.80	2,678.00	1,368.20	48.9
001-4225-425-43-05	54.90	309.21	700.00	390.79	44.2
001-4225-425-44-00	97.16	1,734.38	5,610.00	3,875.62	30.9
001-4225-425-45-10	80.72	1,800.48	7,000.00	5,199.52	25.7
001-4225-425-45-22	21.90	2,754.90	7,650.00	4,895.10	36.0
001-4225-425-46-02	.00	2,050.28	16,000.00	13,949.72	12.8
TOTAL BUILDING OPERATIONS	4,733.30	53,204.85	127,244.00	74,039.15	41.8
<u>KENNEL OPERATIONS</u>					
001-4226-426-10-01	18,409.35	79,951.34	155,085.00	75,133.66	51.6
001-4226-426-11-01	.00	.00	1,050.00	1,050.00	.0
001-4226-426-16-00	485.28	2,196.24	3,779.00	1,582.76	58.1
001-4226-426-20-01	1,382.74	5,962.82	11,253.00	5,290.18	53.0
001-4226-426-21-01	3,112.00	18,672.00	37,296.00	18,624.00	50.1
001-4226-426-21-05	140.00	840.00	1,680.00	840.00	50.0
001-4226-426-21-06	374.83	2,242.46	3,000.00	757.54	74.8
001-4226-426-21-07	36.82	159.87	422.00	262.13	37.9
001-4226-426-30-19	347.20	1,044.75	1,387.00	342.25	75.3
001-4226-426-30-37	.00	3,579.00	.00 (	3,579.00)	.0
001-4226-426-30-39	1,416.00	5,456.23	15,000.00	9,543.77	36.4
001-4226-426-30-90	45.50	807.97	2,000.00	1,192.03	40.4
001-4226-426-40-00	.00	.00	2,000.00	2,000.00	.0
001-4226-426-42-01	.00	.00	490.00	490.00	.0
001-4226-426-42-10	650.20	3,901.20	.00 (	3,901.20)	.0
001-4226-426-43-01	.00	199.50	2,142.00	1,942.50	9.3
001-4226-426-43-02	.00	399.00	796.00	397.00	50.1
001-4226-426-43-03	92.00	1,558.22	1,346.00 (	212.22)	115.8
001-4226-426-43-04	54.00	324.00	653.00	329.00	49.6
001-4226-426-43-05	79.75	436.16	734.00	297.84	59.4
001-4226-426-45-07	.00	144.49	600.00	455.51	24.1
001-4226-426-45-10	83.32	7,103.57	16,000.00	8,896.43	44.4
001-4226-426-46-02	.00	180.62	6,200.00	6,019.38	2.9
TOTAL KENNEL OPERATIONS	26,708.99	135,159.44	262,913.00	127,753.56	51.4
TOTAL PUBLIC SAFETY	446,208.88	2,147,189.15	4,564,534.00	2,417,344.85	47.0
<u>PUBLIC WORKS</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>P.W. ADMINISTRATION</u>					
001-4330-430-10-01	25,485.66	110,557.17	185,444.00	74,886.83	59.6
001-4330-430-11-01	76.30	920.98	.00	(920.98)	.0
001-4330-430-16-00	1,152.60	4,922.53	8,831.00	3,908.47	55.7
001-4330-430-20-01	1,916.84	8,340.00	13,456.00	5,116.00	62.0
001-4330-430-21-01	3,895.50	21,828.00	74,592.00	52,764.00	29.3
001-4330-430-21-05	210.00	1,225.00	3,360.00	2,135.00	36.5
001-4330-430-21-06	705.41	4,220.19	3,825.00	(395.19)	110.3
001-4330-430-21-07	51.14	222.97	505.00	282.03	44.2
001-4330-430-30-04	.00	.00	578.00	578.00	.0
001-4330-430-30-19	2,683.40	8,074.57	11,566.00	3,491.43	69.8
001-4330-430-30-24	.00	.00	250.00	250.00	.0
001-4330-430-30-31	4,290.00	4,643.54	6,500.00	1,856.46	71.4
001-4330-430-30-34	127.00	127.00	400.00	273.00	31.8
001-4330-430-30-90	2,250.00	10,475.00	26,250.00	15,775.00	39.9
001-4330-430-40-00	277.50	2,122.87	20,000.00	17,877.13	10.6
001-4330-430-42-01	139.99	805.59	3,150.00	2,344.41	25.6
001-4330-430-44-00	118.54	1,038.50	2,730.00	1,691.50	38.0
001-4330-430-45-07	127.64	1,470.35	1,470.00	(.35)	100.0
001-4330-430-45-12	476.05	1,332.98	3,150.00	1,817.02	42.3
001-4330-430-46-02	.00	.00	105.00	105.00	.0
001-4330-430-49-03	.00	.00	2,100.00	2,100.00	.0
001-4330-430-50-00	.00	462.00	400.00	(62.00)	115.5
001-4330-430-51-00	.00	58.72	630.00	571.28	9.3
TOTAL P.W. ADMINISTRATION	43,983.57	182,847.96	369,292.00	186,444.04	49.5
<u>STREETS & UTILITIES</u>					
001-4332-432-10-01	31,274.40	136,427.51	206,993.00	70,565.49	65.9
001-4332-432-11-01	208.32	5,716.88	.00	(5,716.88)	.0
001-4332-432-16-00	1,563.72	6,548.61	10,350.00	3,801.39	63.3
001-4332-432-20-01	2,345.83	10,509.94	15,772.00	5,262.06	66.6
001-4332-432-21-01	8,558.00	45,022.36	74,592.00	29,569.64	60.4
001-4332-432-21-05	385.00	2,372.92	3,360.00	987.08	70.6
001-4332-432-21-06	2,298.97	13,753.82	10,000.00	(3,753.82)	137.5
001-4332-432-21-07	62.96	285.26	591.00	305.74	48.3
001-4332-432-30-11	.00	1,842.40	10,000.00	8,157.60	18.4
001-4332-432-30-18	.00	1,273.37	8,200.00	6,926.63	15.5
001-4332-432-30-19	5,580.98	16,793.64	5,437.00	(11,356.64)	308.9
001-4332-432-30-34	125.00	1,174.61	1,100.00	(74.61)	106.8
001-4332-432-30-90	.00	4,880.00	3,000.00	(1,880.00)	162.7
001-4332-432-40-00	.00	1,427.75	1,575.00	147.25	90.7
001-4332-432-42-01	378.18	2,061.33	4,410.00	2,348.67	46.7
001-4332-432-45-07	.00	2,640.51	6,000.00	3,359.49	44.0
001-4332-432-45-10	.00	608.97	4,000.00	3,391.03	15.2
001-4332-432-45-18	1,117.03	9,106.45	25,000.00	15,893.55	36.4
001-4332-432-46-02	54.45	1,078.99	1,000.00	(78.99)	107.9
001-4332-432-51-00	.00	.00	200.00	200.00	.0
001-4332-432-52-00	.00	.00	200.00	200.00	.0
001-4332-432-59-19	6,809.44	7,487.44	5,000.00	(2,487.44)	149.8
001-4332-432-62-06	.00	.00	5,000.00	5,000.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL STREETS & UTILITIES	60,762.28	271,012.76	401,780.00	130,767.24	67.5
<u>TRAFFIC SERVICES</u>					
001-4333-433-30-90 OTHER CONTRACTUAL SERVICES	.00	1,452.12	46,000.00	44,547.88	3.2
001-4333-433-43-01 ELECTRIC	11,044.95	74,243.66	135,000.00	60,756.34	55.0
001-4333-433-45-02 SIGN SUPPLIES	2,351.01	3,033.84	15,500.00	12,466.16	19.6
001-4333-433-45-03 PAINT SUPPLIES	44,284.85	49,470.95	15,000.00	(34,470.95)	329.8
001-4333-433-46-02 OTHER REPAIR & MAINT	.00	43.47	4,500.00	4,456.53	1.0
TOTAL TRAFFIC SERVICES	57,680.81	128,244.04	216,000.00	87,755.96	59.4
<u>SNOW & ICE REMOVAL</u>					
001-4334-434-11-01 OVERTIME	.00	520.80	.00	(520.80)	.0
001-4334-434-20-01 FICA/MEDICARE	.00	38.31	.00	(38.31)	.0
001-4334-434-21-01 HEALTH/LIFE INSURANCE	.00	156.64	.00	(156.64)	.0
001-4334-434-21-05 DENTAL INSURANCE	.00	7.08	.00	(7.08)	.0
001-4334-434-30-19 INSURANCE & BONDS	.00	.00	27,941.00	27,941.00	.0
001-4334-434-30-34 SNOW REMOVAL	.00	.00	200.00	200.00	.0
001-4334-434-30-90 CONTRACTUAL SERVICES	.00	158.30	10,000.00	9,841.70	1.6
001-4334-434-45-10 OPERATING SUPPLIES	.00	21,229.75	30,000.00	8,770.25	70.8
TOTAL SNOW & ICE REMOVAL	.00	22,110.88	68,141.00	46,030.12	32.5
<u>STREET CLEANING</u>					
001-4335-435-10-01 REGULAR WAGES	7,723.20	42,506.80	109,123.00	66,616.20	39.0
001-4335-435-11-01 OVERTIME	247.86	475.88	1,575.00	1,099.12	30.2
001-4335-435-16-00 CITY RETIREMENT	386.16	2,122.34	5,196.00	3,073.66	40.9
001-4335-435-20-01 FICA/MEDICARE	606.47	3,219.90	7,918.00	4,698.10	40.7
001-4335-435-21-01 HEALTH INSURANCE PREMIUM	1,556.00	14,004.00	37,296.00	23,292.00	37.6
001-4335-435-21-05 DENTAL INSURANCE	70.00	630.00	1,680.00	1,050.00	37.5
001-4335-435-21-06 WORKMENS COMPENSATION	591.32	3,537.64	5,544.00	2,006.36	63.8
001-4335-435-21-07 UNEMPLOYMENT	29.50	131.14	297.00	165.86	44.2
001-4335-435-30-19 INSURANCE & BONDS	277.98	808.19	2,590.00	1,781.81	31.2
001-4335-435-30-34 EMPLOYEE LICENSES/TESTING	.00	142.86	368.00	225.14	38.8
001-4335-435-45-07 CLOTHING ALLOWANCE	.00	544.94	630.00	85.06	86.5
001-4335-435-45-10 OPERATING SUPPLIES	.00	.00	10,000.00	10,000.00	.0
TOTAL STREET CLEANING	11,488.49	68,123.69	182,217.00	114,093.31	37.4
TOTAL PUBLIC WORKS	173,915.15	672,339.33	1,237,430.00	565,090.67	54.3
<u>PARKS & RECREATION</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATION</u>					
001-4550-459-10-01	13,065.60	60,820.80	109,187.00	48,366.20	55.7
001-4550-459-16-00	653.28	3,041.04	6,000.00	2,958.96	50.7
001-4550-459-20-01	981.20	4,542.90	6,117.00	1,574.10	74.3
001-4550-459-21-01	1,556.00	9,336.00	19,207.00	9,871.00	48.6
001-4550-459-21-05	70.00	420.00	840.00	420.00	50.0
001-4550-459-21-06	292.37	1,749.19	1,000.00	(749.19)	174.9
001-4550-459-21-07	26.13	121.64	229.00	107.36	53.1
001-4550-459-30-19	33.62	101.17	115.00	13.83	88.0
001-4550-459-30-90	.00	18.50	105,000.00	104,981.50	.0
001-4550-459-40-00	.00	128.00	4,500.00	4,372.00	2.8
001-4550-459-42-01	.00	.00	840.00	840.00	.0
001-4550-459-44-00	.00	33.59	250.00	216.41	13.4
001-4550-459-45-07	.00	.00	400.00	400.00	.0
001-4550-459-45-10	.00	.00	500.00	500.00	.0
001-4550-459-48-00	.00	.00	300.00	300.00	.0
001-4550-459-50-00	.00	945.00	2,425.00	1,480.00	39.0
001-4550-459-53-00	.00	.00	15,000.00	15,000.00	.0
	<u>16,678.20</u>	<u>81,257.83</u>	<u>271,910.00</u>	<u>190,652.17</u>	<u>29.9</u>
<u>AQUATICS</u>					
001-4551-451-10-01	30,941.66	47,574.23	173,000.00	125,425.77	27.5
001-4551-451-11-01	4,259.13	4,959.04	4,000.00	(959.04)	124.0
001-4551-451-16-00	237.35	976.55	1,400.00	423.45	69.8
001-4551-451-20-01	2,691.15	4,007.89	9,500.00	5,492.11	42.2
001-4551-451-21-01	626.53	3,759.99	7,683.00	3,923.01	48.9
001-4551-451-21-05	51.26	321.61	450.00	128.39	71.5
001-4551-451-21-06	275.88	1,650.48	2,950.00	1,299.52	56.0
001-4551-451-21-07	70.43	105.13	330.00	224.87	31.9
001-4551-451-30-19	1,313.86	3,953.50	4,929.00	975.50	80.2
001-4551-451-30-90	562.50	6,460.34	954.00	(5,506.34)	677.2
001-4551-451-40-00	.00	.00	2,000.00	2,000.00	.0
001-4551-451-42-01	.00	320.46	600.00	279.54	53.4
001-4551-451-42-10	323.80	1,942.80	3,000.00	1,057.20	64.8
001-4551-451-43-01	1,650.58	5,121.41	10,000.00	4,878.59	51.2
001-4551-451-43-02	.00	223.00	1,200.00	977.00	18.6
001-4551-451-43-03	2,000.01	2,149.06	6,500.00	4,350.94	33.1
001-4551-451-43-04	161.40	939.30	2,000.00	1,060.70	47.0
001-4551-451-43-05	16.48	16.48	250.00	233.52	6.6
001-4551-451-44-00	.00	219.24	1,000.00	780.76	21.9
001-4551-451-45-02	.00	1,019.28	1,200.00	180.72	84.9
001-4551-451-45-06	854.58	10,080.76	12,000.00	1,919.24	84.0
001-4551-451-45-07	.00	1,402.50	1,500.00	97.50	93.5
001-4551-451-45-10	350.00	4,046.94	6,200.00	2,153.06	65.3
001-4551-451-45-23	1,934.53	1,934.53	5,000.00	3,065.47	38.7
001-4551-451-46-02	2,889.56	8,306.94	246,500.00	238,193.06	3.4
001-4551-451-48-90	550.00	550.00	1,000.00	450.00	55.0
001-4551-451-49-03	.00	50.00	500.00	450.00	10.0
	<u>51,760.69</u>	<u>112,091.46</u>	<u>505,646.00</u>	<u>393,554.54</u>	<u>22.2</u>

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GOLF COURSE ADMIN</u>					
001-4552-452-30-05	.00	9,000.00	41,500.00	32,500.00	21.7
001-4552-452-30-07	601.76	5,398.80	6,500.00	1,101.20	83.1
001-4552-452-30-19	514.72	1,548.84	1,904.00	355.16	81.4
001-4552-452-32-90	145.49	647.97	1,064.00	416.03	60.9
001-4552-452-42-01	.00	.00	850.00	850.00	.0
001-4552-452-43-01	414.28	414.28	.00	(414.28)	.0
001-4552-452-43-02	.00	319.00	900.00	581.00	35.4
001-4552-452-43-04	235.40	1,369.95	1,800.00	430.05	76.1
001-4552-452-43-05	97.50	383.59	750.00	366.41	51.2
001-4552-452-45-10	.00	.00	1,000.00	1,000.00	.0
001-4552-452-46-02	.00	40.63	3,500.00	3,459.37	1.2
001-4552-452-48-90	.00	197.00	500.00	303.00	39.4
001-4552-452-49-03	.00	.00	5,000.00	5,000.00	.0
TOTAL GOLF COURSE ADMIN	2,009.15	19,320.06	65,268.00	45,947.94	29.6
<u>GOLF COURSE MAINTENANCE</u>					
001-4553-453-10-01	31,828.84	89,847.85	245,000.00	155,152.15	36.7
001-4553-453-10-10	.00	.00	400.00	400.00	.0
001-4553-453-11-01	362.98	1,166.33	1,500.00	333.67	77.8
001-4553-453-16-00	848.52	3,200.92	7,464.00	4,263.08	42.9
001-4553-453-20-01	2,421.91	6,769.42	16,402.00	9,632.58	41.3
001-4553-453-21-01	4,668.00	20,239.00	57,622.00	37,383.00	35.1
001-4553-453-21-05	210.00	980.00	2,520.00	1,540.00	38.9
001-4553-453-21-06	472.17	2,824.82	5,850.00	3,025.18	48.3
001-4553-453-21-07	64.39	182.02	615.00	432.98	29.6
001-4553-453-30-19	476.08	1,432.56	2,057.00	624.44	69.6
001-4553-453-30-26	.00	4,205.36	30,205.00	25,999.64	13.9
001-4553-453-30-34	265.50	943.93	1,050.00	106.07	89.9
001-4553-453-30-37	.00	3,913.00	3,913.00	.00	100.0
001-4553-453-30-90	225.00	12,543.77	750.00	(11,793.77)	1672.5
001-4553-453-32-90	447.23	1,412.73	9,970.00	8,557.27	14.2
001-4553-453-40-00	.00	1,979.38	5,500.00	3,520.62	36.0
001-4553-453-42-01	158.22	949.32	2,825.00	1,875.68	33.6
001-4553-453-42-10	563.80	3,382.80	6,766.00	3,383.20	50.0
001-4553-453-43-01	3,427.63	6,620.78	19,550.00	12,929.22	33.9
001-4553-453-43-02	.00	223.00	444.00	221.00	50.2
001-4553-453-43-03	38.64	794.99	700.00	(94.99)	113.6
001-4553-453-43-04	235.40	1,369.95	3,000.00	1,630.05	45.7
001-4553-453-43-05	33.60	168.40	3,500.00	3,331.60	4.8
001-4553-453-45-01	.00	.00	2,000.00	2,000.00	.0
001-4553-453-45-02	.00	.00	500.00	500.00	.0
001-4553-453-45-06	.00	3,338.00	28,000.00	24,662.00	11.9
001-4553-453-45-07	.00	230.86	2,000.00	1,769.14	11.5
001-4553-453-45-10	63.99	8,079.14	30,000.00	21,920.86	26.9
001-4553-453-45-16	1,355.24	6,207.56	13,000.00	6,792.44	47.8
001-4553-453-46-02	.00	2,821.14	35,500.00	32,678.86	8.0
001-4553-453-47-02	1,514.29	6,508.22	.00	(6,508.22)	.0
001-4553-453-49-03	.00	.00	250.00	250.00	.0
001-4553-453-50-00	.00	.00	1,000.00	1,000.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL GOLF COURSE MAINTENANCE	49,681.43	192,335.25	539,853.00	347,517.75	35.6
<u>CITY PARKS</u>					
001-4554-454-10-01 REGULAR WAGES	49,151.35	125,385.65	385,100.00	259,714.35	32.6
001-4554-454-11-01 REGULAR OVERTIME	45.21	2,975.52	3,500.00	524.48	85.0
001-4554-454-16-00 CITY RETIREMENT	1,162.92	3,707.82	8,479.00	4,771.18	43.7
001-4554-454-20-01 FICA/MEDICARE	3,723.52	9,628.74	21,000.00	11,371.26	45.9
001-4554-454-21-01 HEALTH/LIFE INSURANCE	4,679.00	20,250.00	80,000.00	59,750.00	25.3
001-4554-454-21-05 DENTAL INSURANCE	280.00	1,050.00	2,200.00	1,150.00	47.7
001-4554-454-21-06 WORKMENS COMPENSATION	740.63	4,430.91	7,800.00	3,369.09	56.8
001-4554-454-21-07 UNEMPLOYMENT	84.81	211.47	800.00	588.53	26.4
001-4554-454-30-19 INSURANCE & BONDS	2,099.95	6,339.81	8,500.00	2,160.19	74.6
001-4554-454-30-26 MVI IRRIGATION WATER	.00	3,352.64	30,000.00	26,647.36	11.2
001-4554-454-30-34 EMPLOYEE LICENSES/TESTING	192.00	847.79	775.00	(72.79)	109.4
001-4554-454-30-90 CONTRACT SERVICES-OTHER	22.00	12,450.77	9,000.00	(3,450.77)	138.3
001-4554-454-32-90 MAINT CONTRACTS - OTHER	13,879.25	35,239.25	26,400.00	(8,839.25)	133.5
001-4554-454-40-00 TRAVEL & TRAINING	.00	360.99	7,500.00	7,139.01	4.8
001-4554-454-42-01 TELEPHONE	83.22	946.99	3,531.00	2,584.01	26.8
001-4554-454-42-10 FIBER CHARGES	386.68	2,320.08	4,640.00	2,319.92	50.0
001-4554-454-43-01 ELECTRIC	3,970.59	12,539.52	35,000.00	22,460.48	35.8
001-4554-454-43-02 SEWER	.00	1,581.00	4,500.00	2,919.00	35.1
001-4554-454-43-03 GAS	55.82	1,242.41	1,500.00	257.59	82.8
001-4554-454-43-04 REFUSE	1,339.35	7,851.05	14,000.00	6,148.95	56.1
001-4554-454-43-05 WATER	3,241.23	6,433.54	40,000.00	33,566.46	16.1
001-4554-454-45-01 PLANTS & TREES	.00	5,434.13	3,000.00	(2,434.13)	181.1
001-4554-454-45-02 SIGN & PAINT SUPPLIES	.00	1,097.89	5,000.00	3,902.11	22.0
001-4554-454-45-06 CHEMICALS & LAB	.00	.00	12,000.00	12,000.00	.0
001-4554-454-45-07 CLOTHING ALLOWANCE	.00	399.33	2,500.00	2,100.67	16.0
001-4554-454-45-10 OPERATING SUPPLIES-OTHER	1,906.03	15,714.66	39,000.00	23,285.34	40.3
001-4554-454-45-16 VEH REPAIR & MAINTENANCE	1,009.11	2,172.80	12,000.00	9,827.20	18.1
001-4554-454-46-02 OTHER REPAIR & MAINT	12,746.61	26,021.53	47,500.00	21,478.47	54.8
001-4554-454-49-03 ADVERTISING-OTHER	.00	64.62	250.00	185.38	25.9
001-4554-454-50-00 MEMBERSHIP & DUES	.00	.00	300.00	300.00	.0
001-4554-454-52-00 EQUIPMENT RENTALS	.00	.00	1,500.00	1,500.00	.0
001-4554-454-62-07 L.TAX BEAUTIFICATION	405.14	405.14	36,750.00	36,344.86	1.1
001-4554-454-63-10 CAPITAL OUTLAY	.00	.00	200,000.00	200,000.00	.0
TOTAL CITY PARKS	101,204.42	310,456.05	1,054,025.00	743,568.95	29.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>RECREATION</u>					
001-4555-455-10-01	24,600.32	38,698.90	163,300.00	124,601.10	23.7
001-4555-455-10-10	.00	138.50	.00	(138.50)	.0
001-4555-455-11-01	319.38	319.38	1,050.00	730.62	30.4
001-4555-455-16-00	241.96	379.80	1,987.00	1,607.20	19.1
001-4555-455-20-01	1,903.07	2,981.69	8,040.00	5,058.31	37.1
001-4555-455-21-01	1,556.00	1,567.00	29,197.00	27,630.00	5.4
001-4555-455-21-05	70.00	140.00	840.00	700.00	16.7
001-4555-455-21-06	304.22	1,820.02	2,000.00	179.98	91.0
001-4555-455-21-07	49.85	78.09	302.00	223.91	25.9
001-4555-455-30-19	575.20	1,730.82	2,401.00	670.18	72.1
001-4555-455-30-55	.00	.00	1,000.00	1,000.00	.0
001-4555-455-30-90	552.50	1,419.00	17,000.00	15,581.00	8.4
001-4555-455-40-00	360.00	360.00	4,500.00	4,140.00	8.0
001-4555-455-42-01	70.00	70.00	840.00	770.00	8.3
001-4555-455-44-00	.00	.00	250.00	250.00	.0
001-4555-455-45-07	.00	.00	1,500.00	1,500.00	.0
001-4555-455-45-10	4,614.19	6,478.72	13,000.00	6,521.28	49.8
001-4555-455-46-02	.00	20.98	800.00	779.02	2.6
001-4555-455-49-03	.00	.00	1,500.00	1,500.00	.0
001-4555-455-50-00	.00	460.89	450.00	(10.89)	102.4
001-4555-455-55-00	.00	261.00	3,000.00	2,739.00	8.7
TOTAL RECREATION	35,216.69	56,924.79	252,957.00	196,032.21	22.5
TOTAL ALL 56	.00	.00	.00	.00	.0
TOTAL CAPITAL PROJECTS	.00	.00	.00	.00	.0
TOTAL PARKS & RECREATION	256,550.58	772,385.44	2,689,659.00	1,917,273.56	28.7
<u>PLANNING & ZONING DEPT</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PLANNING & ZONING DEPT</u>					
001-4661-409-10-01	33,568.40	131,096.68	321,670.00	190,573.32	40.8
001-4661-409-10-10	.00	53.50	.00	(53.50)	.0
001-4661-409-11-01	.00	.00	1,050.00	1,050.00	.0
001-4661-409-16-00	1,645.92	6,309.28	12,886.00	6,576.72	49.0
001-4661-409-20-01	2,512.30	9,754.11	20,511.00	10,756.89	47.6
001-4661-409-21-01	5,457.00	28,857.50	93,240.00	64,382.50	31.0
001-4661-409-21-05	245.00	1,330.00	4,200.00	2,870.00	31.7
001-4661-409-21-06	553.31	3,310.24	4,725.00	1,414.76	70.1
001-4661-409-21-07	67.13	262.21	769.00	506.79	34.1
001-4661-409-30-03	.00	.00	5,000.00	5,000.00	.0
001-4661-409-30-04	.00	.00	15,200.00	15,200.00	.0
001-4661-409-30-19	542.48	1,632.38	2,200.00	567.62	74.2
001-4661-409-30-24	.00	47.29	750.00	702.71	6.3
001-4661-409-30-34	.00	.00	750.00	750.00	.0
001-4661-409-30-90	22,584.00	101,478.76	247,020.00	145,541.24	41.1
001-4661-409-40-00	1,301.53	7,769.35	14,350.00	6,580.65	54.1
001-4661-409-42-01	156.98	1,337.68	4,000.00	2,662.32	33.4
001-4661-409-44-00	.00	10.39	2,500.00	2,489.61	.4
001-4661-409-45-07	.00	69.99	1,000.00	930.01	7.0
001-4661-409-45-10	.00	872.95	2,000.00	1,127.05	43.7
001-4661-409-45-33	.00	387.25	1,200.00	812.75	32.3
001-4661-409-49-03	239.67	1,719.07	3,200.00	1,480.93	53.7
001-4661-409-49-05	.00	.00	5,600.00	5,600.00	.0
001-4661-409-49-06	.00	.00	750.00	750.00	.0
001-4661-409-50-00	.00	1,100.00	1,950.00	850.00	56.4
001-4661-409-51-00	.00	.00	500.00	500.00	.0
TOTAL PLANNING & ZONING DEPT	68,873.72	297,398.63	767,021.00	469,622.37	38.8
TOTAL PLANNING & ZONING DEPT	68,873.72	297,398.63	767,021.00	469,622.37	38.8
<u>CITYWIDE OPERATIONS</u>					
<u>INTERNAL OPERATION EXP</u>					
001-9899-989-46-08	12,661.71	83,755.09	.00	(83,755.09)	.0
001-9899-989-46-09	10,734.22	87,387.05	.00	(87,387.05)	.0
001-9899-989-90-12	.00	327,214.00	.00	(327,214.00)	.0
TOTAL INTERNAL OPERATION EXP	23,395.93	498,356.14	.00	(498,356.14)	.0
TOTAL CITYWIDE OPERATIONS	23,395.93	498,356.14	.00	(498,356.14)	.0
TOTAL FUND EXPENDITURES	1,382,662.89	10,523,764.93	17,406,632.00	6,882,867.07	60.5

CITY OF CORTEZ
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
NET REVENUE OVER EXPENDITURES	165,718.95	(2,976,129.28)	1,164,402.00	4,140,531.28	(255.6)

CITY OF CORTEZ
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

LODGERS TAX FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
005-0000-311-12-03	LODGERS TAX	21,280.63	85,009.89	245,000.00	159,990.11	34.7
	TOTAL TAXES	21,280.63	85,009.89	245,000.00	159,990.11	34.7
	TOTAL FUND REVENUE	21,280.63	85,009.89	245,000.00	159,990.11	34.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

LODGERS TAX FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL GOVERNMENT</u>					
<u>CITY COUNCIL</u>					
005-4010-400-30-07	9.97	46.02	324.00	277.98	14.2
005-4010-400-30-12	82,937.91	131,856.91	195,676.00	63,819.09	67.4
005-4010-400-90-01	.00	.00	36,750.00	36,750.00	.0
005-4010-400-90-10	.00	.00	12,250.00	12,250.00	.0
TOTAL CITY COUNCIL	82,947.88	131,902.93	245,000.00	113,097.07	53.8
TOTAL GENERAL GOVERNMENT	82,947.88	131,902.93	245,000.00	113,097.07	53.8
TOTAL FUND EXPENDITURES	82,947.88	131,902.93	245,000.00	113,097.07	53.8
NET REVENUE OVER EXPENDITURES	(61,667.25)	(46,893.04)	.00	46,893.04	.0

CITY OF CORTEZ
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

SHOP FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>REVENUE</u>					
101-0000-367-39-00 SALES TO OTHER FUNDS	15,624.76	149,830.34	218,564.00	68,733.66	68.6
101-0000-367-39-01 SALES TO OTHER FUNDS - REPAIRS	21,154.71	149,188.69	294,631.00	145,442.31	50.6
101-0000-367-40-00 BUILDING OVERHEAD	.00	.00	5,120.00	5,120.00	.0
TOTAL REVENUE	36,779.47	299,019.03	518,315.00	219,295.97	57.7
TOTAL FUND REVENUE	36,779.47	299,019.03	518,315.00	219,295.97	57.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

SHOP FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL SERVICES</u>					
<u>SHOP</u>					
101-4110-616-10-01	34,240.00	151,798.42	272,293.00	120,494.58	55.8
101-4110-616-10-10	.00	107.00	.00	(107.00)	.0
101-4110-616-16-00	1,712.00	7,589.92	13,615.00	6,025.08	55.8
101-4110-616-20-01	2,541.93	11,192.19	21,074.00	9,881.81	53.1
101-4110-616-21-01	7,780.00	46,680.00	92,700.00	46,020.00	50.4
101-4110-616-21-05	350.00	2,100.00	4,200.00	2,100.00	50.0
101-4110-616-21-06	945.39	5,655.90	7,080.00	1,424.10	79.9
101-4110-616-21-07	68.45	303.55	817.00	513.45	37.2
101-4110-616-30-04	.00	4,350.00	5,000.00	650.00	87.0
101-4110-616-30-19	1,370.53	4,133.36	775.00	(3,358.36)	533.3
101-4110-616-30-34	62.00	354.93	500.00	145.07	71.0
101-4110-616-30-90	285.11	2,528.58	7,500.00	4,971.42	33.7
101-4110-616-32-90	1,910.67	3,029.92	9,000.00	5,970.08	33.7
101-4110-616-40-00	.00	2,128.00	6,000.00	3,872.00	35.5
101-4110-616-42-01	30.00	180.00	1,080.00	900.00	16.7
101-4110-616-44-00	113.31	113.31	500.00	386.69	22.7
101-4110-616-45-04	1,264.00	6,228.53	18,000.00	11,771.47	34.6
101-4110-616-45-05	1,393.94	7,284.46	38,000.00	30,715.54	19.2
101-4110-616-45-07	.00	.00	2,500.00	2,500.00	.0
101-4110-616-45-10	233.39	1,997.64	5,000.00	3,002.36	40.0
101-4110-616-45-16	3,528.35	45,095.34	121,000.00	75,904.66	37.3
101-4110-616-46-02	.00	7,883.32	16,500.00	8,616.68	47.8
101-4110-616-47-02	25,460.62	100,583.74	245,000.00	144,416.26	41.1
101-4110-616-90-01	.00	.00	44,377.00	44,377.00	.0
101-4110-617-32-01	1,950.00	11,700.00	25,740.00	14,040.00	45.5
101-4110-617-32-90	222.49	3,725.26	7,500.00	3,774.74	49.7
101-4110-617-42-01	.00	568.20	1,200.00	631.80	47.4
101-4110-617-42-03	200.37	927.17	3,000.00	2,072.83	30.9
101-4110-617-42-10	256.00	1,536.00	3,072.00	1,536.00	50.0
101-4110-617-43-01	2,714.83	19,068.33	43,000.00	23,931.67	44.3
101-4110-617-43-02	.00	526.00	1,675.00	1,149.00	31.4
101-4110-617-43-03	402.13	12,321.36	10,500.00	(1,821.36)	117.4
101-4110-617-43-04	380.65	2,215.25	4,100.00	1,884.75	54.0
101-4110-617-43-05	332.79	1,702.59	2,258.00	555.41	75.4
101-4110-617-44-00	.00	701.40	1,000.00	298.60	70.1
101-4110-617-45-10	.00	2,242.58	5,000.00	2,757.42	44.9
101-4110-617-45-22	1,027.33	4,782.94	9,000.00	4,217.06	53.1
101-4110-617-46-02	254.08	1,174.10	6,000.00	4,825.90	19.6
101-4110-618-32-90	.00	.00	1,000.00	1,000.00	.0
TOTAL SHOP	91,030.36	474,509.29	1,056,556.00	582,046.71	44.9
TOTAL GENERAL SERVICES	91,030.36	474,509.29	1,056,556.00	582,046.71	44.9

CITY OF CORTEZ
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

SHOP FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL FUND EXPENDITURES	91,030.36	474,509.29	1,056,556.00	582,046.71	44.9
NET REVENUE OVER EXPENDITURES	(54,250.89)	(175,490.26)	(538,241.00)	(362,750.74)	(32.6)

CITY OF CORTEZ
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

TECHNOLOGY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
105-0000-333-18-00 CITY-WIDE COMPUTER	.00	.00	12,000.00	12,000.00	.0
TOTAL SOURCES 333	.00	.00	12,000.00	12,000.00	.0
<u>COMPUTER SERVICES</u>					
105-0000-336-10-00 CORTEZ FIRE PROTECTION DI	2,750.00	6,250.00	32,000.00	25,750.00	19.5
TOTAL COMPUTER SERVICES	2,750.00	6,250.00	32,000.00	25,750.00	19.5
TOTAL FUND REVENUE	2,750.00	6,250.00	44,000.00	37,750.00	14.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

TECHNOLOGY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL GOVERNMENT</u>					
<u>IT DEPARTMENT</u>					
105-4015-615-10-01	REGULAR WAGES	33,261.60	142,306.40	266,323.00	124,016.60 53.4
105-4015-615-11-01	REGULAR OVERTIME	774.25	2,843.34	2,500.00 (343.34)	113.7
105-4015-615-16-00	CITY RETIREMENT	1,663.08	7,115.32	13,369.00	6,253.68 53.2
105-4015-615-20-01	FICA/MEDICARE	2,535.59	10,749.26	13,327.00	2,577.74 80.7
105-4015-615-21-01	HEALTH/LIFE INSURANCE	7,780.00	46,680.00	55,944.00	9,264.00 83.4
105-4015-615-21-05	DENTAL INSURANCE	350.00	2,100.00	2,520.00	420.00 83.3
105-4015-615-21-06	WORKMENS COMPENSATION	254.32	1,521.49	1,000.00 (521.49)	152.2
105-4015-615-21-07	UNEMPLOYMENT	68.09	290.31	500.00	209.69 58.1
105-4015-615-30-04	COMPUTER SERVICES	.00	239.88	.00 (239.88)	.0
105-4015-615-30-19	INSURANCE & BONDS	269.99	812.42	882.00	69.58 92.1
105-4015-615-30-34	EMPLOYEE LICENSES/TESTING	.00	.00	200.00	200.00 .0
105-4015-615-30-57	E-WASTE	.00	1,075.50	1,500.00	424.50 71.7
105-4015-615-30-90	COMPUTER MAINT CONTRACTS	95,196.33	175,001.27	302,343.00	127,341.73 57.9
105-4015-615-40-00	TRAVEL & TRAINING	.00	5,389.00	10,000.00	4,611.00 53.9
105-4015-615-42-01	TELEPHONE	381.74	4,165.27	.00 (4,165.27)	.0
105-4015-615-45-10	OPERATING SUPPLIES	12.48	84.39	.00 (84.39)	.0
105-4015-615-60-11	CAPITAL PROJECTS	.00	26,577.88	55,000.00	28,422.12 48.3
105-4015-615-91-00	DEPRECIATION EXPENSE	.00	.00	7,825.00	7,825.00 .0
	TOTAL IT DEPARTMENT	142,547.47	426,951.73	733,233.00	306,281.27 58.2
	TOTAL FIBER NETWORK	.00	.00	.00	.00 .0
<u>NETWORK SERVICES</u>					
105-4019-581-32-90	MAINT. CONTRACTS - OTHER	13,937.87	48,658.10	96,000.00	47,341.90 50.7
105-4019-581-42-06	CITY-WIDE T-1 LINE	.00	3,142.10	.00 (3,142.10)	.0
105-4019-581-46-02	OTHER REPAIR & MAINT	.00	.00	4,000.00	4,000.00 .0
105-4019-581-46-03	EQUIPMENT REPLACEMENTS	.00	.00	44,591.00	44,591.00 .0
	TOTAL NETWORK SERVICES	13,937.87	51,800.20	144,591.00	92,790.80 35.8
	TOTAL GENERAL GOVERNMENT	156,485.34	478,751.93	877,824.00	399,072.07 54.5
	TOTAL FUND EXPENDITURES	156,485.34	478,751.93	877,824.00	399,072.07 54.5
	NET REVENUE OVER EXPENDITURES	(153,735.34)	(472,501.93)	(833,824.00)	(361,322.07) (56.7)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

STREET IMPROVEMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
301-0000-311-12-01	SALES TAX	157,901.03	859,331.80	1,810,000.00	950,668.20	47.5
	TOTAL TAXES	157,901.03	859,331.80	1,810,000.00	950,668.20	47.5
<u>INTEREST</u>						
301-0000-361-20-00	INVESTMENT	.00	5,558.19	802,710.00	797,151.81	.7
	TOTAL INTEREST	.00	5,558.19	802,710.00	797,151.81	.7
<u>REVENUE</u>						
301-0000-367-25-00	SIDEWALK COST SHARE	.00	.00	20,000.00	20,000.00	.0
	TOTAL REVENUE	.00	.00	20,000.00	20,000.00	.0
	TOTAL FUND REVENUE	157,901.03	864,889.99	2,632,710.00	1,767,820.01	32.9

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

STREET IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC WORKS</u>					
<u>CAPITAL PROJECTS</u>					
301-4355-432-10-01	25,247.03	97,322.48	124,689.00	27,366.52	78.1
301-4355-432-11-01	103.00	1,011.49	1,050.00	38.51	96.3
301-4355-432-16-00	960.00	4,080.13	6,234.00	2,153.87	65.5
301-4355-432-20-01	1,914.09	7,406.64	9,048.00	1,641.36	81.9
301-4355-432-21-01	2,339.50	12,492.01	27,972.00	15,479.99	44.7
301-4355-432-21-05	140.00	805.00	1,260.00	455.00	63.9
301-4355-432-21-06	242.48	1,450.65	117.00	(1,333.65)	1239.9
301-4355-432-21-07	50.66	196.59	339.00	142.41	58.0
301-4355-432-30-05	2,707.26	16,098.70	30,000.00	13,901.30	53.7
301-4355-432-30-07	73.21	479.10	.00	(479.10)	.0
301-4355-432-60-01	115,021.58	115,021.58	1,007,000.00	891,978.42	11.4
301-4355-432-60-04	6,799.89	6,855.93	210,000.00	203,144.07	3.3
301-4355-432-60-09	10,289.31	10,289.31	40,000.00	29,710.69	25.7
301-4355-432-60-10	.00	44,637.00	1,175,000.00	1,130,363.00	3.8
301-4355-432-61-03	.00	185.00	.00	(185.00)	.0
TOTAL CAPITAL PROJECTS	165,888.01	318,331.61	2,632,709.00	2,314,377.39	12.1
TOTAL PUBLIC WORKS	165,888.01	318,331.61	2,632,709.00	2,314,377.39	12.1
TOTAL FUND EXPENDITURES	165,888.01	318,331.61	2,632,709.00	2,314,377.39	12.1
NET REVENUE OVER EXPENDITURES	(7,986.98)	546,558.38	1.00	(546,557.38)	54655

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

HEALTH INSURANCE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>INTERNAL SERVICE CHGS</u>					
302-0000-371-35-00 HEALTH INSURANCE PREMIUMS	.00	1,171,113.00	2,502,900.00	1,331,787.00	46.8
302-0000-371-40-00 EMPLOYEE PAYROLL TRANSFER	8,990.69	104,563.96	240,000.00	135,436.04	43.6
302-0000-371-41-00 DELTA DENTAL TRANSFER	.00	56,140.00	113,400.00	57,260.00	49.5
TOTAL INTERNAL SERVICE CHGS	8,990.69	1,331,816.96	2,856,300.00	1,524,483.04	46.6
<u>REVENUE</u>					
302-0000-372-18-00 COBRA REVENUE	.00	268.58	.00	(268.58)	.0
TOTAL REVENUE	.00	268.58	.00	(268.58)	.0
TOTAL FUND REVENUE	8,990.69	1,332,085.54	2,856,300.00	1,524,214.46	46.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

HEALTH INSURANCE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>HEALTH INSURANCE CLAIMS</u>					
<u>CITY MANAGER</u>					
302-5314-539-21-01 HEALTH/LIFE INSURANCE	55,723.67	305,379.95	549,928.00	244,548.05	55.5
302-5314-539-21-05 DENTAL INSURANCE	7,743.23	45,194.05	102,312.00	57,117.95	44.2
302-5314-539-21-09 COBRA EXPENDITURES	.00	26.01	.00	(26.01)	.0
302-5314-539-21-10 HSA MATCH	1,500.00	3,250.00	45,000.00	41,750.00	7.2
302-5314-539-23-01 CLAIMS EXPENSE	200,894.22	737,888.34	1,450,000.00	712,111.66	50.9
TOTAL CITY MANAGER	265,861.12	1,091,738.35	2,147,240.00	1,055,501.65	50.8
TOTAL HEALTH INSURANCE CLAIMS	265,861.12	1,091,738.35	2,147,240.00	1,055,501.65	50.8
TOTAL FUND EXPENDITURES	265,861.12	1,091,738.35	2,147,240.00	1,055,501.65	50.8
NET REVENUE OVER EXPENDITURES	(256,870.43)	240,347.19	709,060.00	468,712.81	33.9

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

EQUIPMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
304-0000-311-12-01	SALES TAX	39,219.75	213,442.44	440,000.00	226,557.56	48.5
	TOTAL TAXES	39,219.75	213,442.44	440,000.00	226,557.56	48.5
<u>INTEREST</u>						
304-0000-361-20-00	INVESTMENT	.00	6,731.57	.00	(6,731.57)	.0
	TOTAL INTEREST	.00	6,731.57	.00	(6,731.57)	.0
<u>REVENUE</u>						
304-0000-367-18-00	SALE OF EQUIPMENT	.00	.00	20,000.00	20,000.00	.0
304-0000-367-18-01	SURPLUS AUCTION	312.00	4,962.00	.00	(4,962.00)	.0
	TOTAL REVENUE	312.00	4,962.00	20,000.00	15,038.00	24.8
	TOTAL FUND REVENUE	39,531.75	225,136.01	460,000.00	234,863.99	48.9

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

EQUIPMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL SERVICES</u>					
<u>SHOP</u>					
304-4110-516-30-05	672.43	3,998.62	.00	(3,998.62)	.0
304-4110-516-30-07	18.18	118.99	.00	(118.99)	.0
304-4110-516-30-41	.00	122,804.01	86,940.00	(35,864.01)	141.3
304-4110-516-30-90	18,161.00	18,161.00	363,000.00	344,839.00	5.0
304-4110-516-59-00	.00	66.81	.00	(66.81)	.0
304-4110-516-90-01	.00	.00	301.00	301.00	.0
304-4110-516-90-02	.00	.00	8,367.00	8,367.00	.0
TOTAL SHOP	18,851.61	145,149.43	458,608.00	313,458.57	31.7
TOTAL GENERAL SERVICES	18,851.61	145,149.43	458,608.00	313,458.57	31.7
TOTAL FUND EXPENDITURES	18,851.61	145,149.43	458,608.00	313,458.57	31.7
NET REVENUE OVER EXPENDITURES	20,680.14	79,986.58	1,392.00	(78,594.58)	5746.2

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

AIRPORT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STATE/COLO</u>					
401-0000-332-16-00 FUEL	1,656.34	6,375.92	20,000.00	13,624.08	31.9
TOTAL STATE/COLO	1,656.34	6,375.92	20,000.00	13,624.08	31.9
<u>AIRPORT</u>					
401-0000-363-11-00 AIRLINES	2,696.90	16,251.24	50,000.00	33,748.76	32.5
401-0000-363-11-01 LANDING FEES	4,395.39	25,606.03	36,338.00	10,731.97	70.5
401-0000-363-11-02 RENT	1,579.46	4,723.28	9,300.00	4,576.72	50.8
401-0000-363-11-08 PASSENGER FACILITY CHG	.00	.00	27,750.00	27,750.00	.0
401-0000-363-12-02 FUEL TAX	755.30	6,126.65	31,000.00	24,873.35	19.8
401-0000-363-13-00 CAR RENTAL	552.41	2,365.65	10,000.00	7,634.35	23.7
401-0000-363-15-00 CORPORATE	344.88	50,926.87	74,000.00	23,073.13	68.8
401-0000-363-16-00 CONCESSIONS	.00	34.69	140.00	105.31	24.8
TOTAL AIRPORT	10,324.34	106,034.41	238,528.00	132,493.59	44.5
<u>REVENUE</u>					
401-0000-367-16-00 MISCELLANEOUS SALES & FEE	.00	155.50	.00	(155.50)	.0
TOTAL REVENUE	.00	155.50	.00	(155.50)	.0
<u>GRANTS</u>					
401-0000-368-20-00 STATE OF COLORADO	.00	38,814.30	.00	(38,814.30)	.0
401-0000-368-21-00 FEDERAL GRANTS	102,687.11	206,223.18	754,681.00	548,457.82	27.3
TOTAL GRANTS	102,687.11	245,037.48	754,681.00	509,643.52	32.5
TOTAL FUND REVENUE	114,667.79	357,603.31	1,013,209.00	655,605.69	35.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

AIRPORT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>					
<u>AIRPORT</u>					
401-5819-588-10-01	14,560.00	71,994.03	154,204.00	82,209.97	46.7
401-5819-588-11-01	1,759.53	9,797.93	16,897.00	7,099.07	58.0
401-5819-588-16-00	728.00	3,400.98	5,749.00	2,348.02	59.2
401-5819-588-20-01	1,190.60	5,921.54	8,112.00	2,190.46	73.0
401-5819-588-21-01	3,123.00	20,261.00	37,296.00	17,035.00	54.3
401-5819-588-21-05	210.00	1,120.00	1,680.00	560.00	66.7
401-5819-588-21-06	395.38	2,365.39	1,600.00	(765.39)	147.8
401-5819-588-21-07	32.64	163.58	304.00	140.42	53.8
401-5819-588-30-19	2,309.71	9,860.05	11,505.00	1,644.95	85.7
401-5819-588-30-37	.00	13,418.00	6,800.00	(6,618.00)	197.3
401-5819-588-30-90	.00	109,273.32	.00	(109,273.32)	.0
401-5819-588-30-93	.00	43,127.00	45,000.00	1,873.00	95.8
401-5819-588-32-90	.00	.00	35,000.00	35,000.00	.0
401-5819-588-40-00	.00	737.36	8,000.00	7,262.64	9.2
401-5819-588-42-01	140.00	930.00	2,374.00	1,444.00	39.2
401-5819-588-43-01	621.13	4,155.91	10,500.00	6,344.09	39.6
401-5819-588-43-03	86.96	5,164.42	2,500.00	(2,664.42)	206.6
401-5819-588-43-04	45.05	262.18	500.00	237.82	52.4
401-5819-588-43-05	.00	641.00	1,500.00	859.00	42.7
401-5819-588-44-00	.00	40.55	1,000.00	959.45	4.1
401-5819-588-45-07	.00	.00	2,000.00	2,000.00	.0
401-5819-588-45-10	.00	1,620.79	10,500.00	8,879.21	15.4
401-5819-588-46-02	.00	1,074.77	.00	(1,074.77)	.0
401-5819-588-46-03	1,464.97	7,185.85	18,000.00	10,814.15	39.9
401-5819-588-46-08	3,355.94	5,784.73	10,000.00	4,215.27	57.9
401-5819-588-46-09	608.32	6,395.67	3,000.00	(3,395.67)	213.2
401-5819-588-49-03	.00	1,980.14	6,000.00	4,019.86	33.0
401-5819-588-50-00	.00	353.00	1,200.00	847.00	29.4
401-5819-588-51-00	.00	.00	950.00	950.00	.0
401-5819-588-60-00	.00	57,403.85	.00	(57,403.85)	.0
401-5819-588-80-15	.00	34,538.57	.00	(34,538.57)	.0
401-5819-588-80-16	.00	4,139.90	.00	(4,139.90)	.0
401-5819-588-90-03	(184.00)	(184.00)	.00	184.00	.0
401-5819-588-91-00	.00	.00	275,000.00	275,000.00	.0
TOTAL AIRPORT	30,447.23	422,927.51	677,171.00	254,243.49	62.5
TOTAL ENTERPRISE	30,447.23	422,927.51	677,171.00	254,243.49	62.5
TOTAL FUND EXPENDITURES	30,447.23	422,927.51	677,171.00	254,243.49	62.5
NET REVENUE OVER EXPENDITURES	84,220.56	(65,324.20)	336,038.00	401,362.20	(19.4)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

DISPATCH FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
402-0000-333-21-00 E-911 AUTHORITY	.00	.00	122,206.00	122,206.00	.0
TOTAL SOURCES 333	.00	.00	122,206.00	122,206.00	.0
<u>USER FEES</u>					
402-0000-348-10-01 MONTEZUMA COUNTY SHERIFF	.00	315,085.00	315,085.00	.00	100.0
402-0000-348-10-02 CITY OF CORTEZ	.00	327,214.00	327,214.00	.00	100.0
402-0000-348-10-03 CORTEZ FIRE DEPARTMENT	.00	56,124.00	56,124.00	.00	100.0
402-0000-348-10-04 MANCOS FIRE DEPARTMENT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-05 DOLORES FIRE DEPARTMENT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-06 LEWIS-ARRIOLA FIRE DEPT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-07 PLEASANT VIEW FIRE DEPT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-11 MANCOS MARSHALL	.00	40,155.00	40,155.00	.00	100.0
402-0000-348-10-12 DOLORES COUNTY	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-14 MESA VERDE NATIONAL PARK	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-15-00 SW MEMORIAL HOSPITAL	.00	80,568.00	80,568.00	.00	100.0
TOTAL USER FEES	.00	871,436.00	871,436.00	.00	100.0
TOTAL FUND REVENUE	.00	871,436.00	993,642.00	122,206.00	87.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

DISPATCH FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC SAFETY</u>					
<u>POLICE SUPPORT SERVICES</u>					
402-4222-422-10-01	REGULAR WAGES	69,962.61	277,290.73	550,998.00	273,707.27 50.3
402-4222-422-11-01	OVERTIME	3,967.43	18,508.19	46,430.00	27,921.81 39.9
402-4222-422-16-00	CITY RETIREMENT	3,498.13	13,539.82	26,000.00	12,460.18 52.1
402-4222-422-20-01	FICA/MEDICARE	5,341.11	21,298.93	42,000.00	20,701.07 50.7
402-4222-422-21-01	HEALTH/LIFE INSURANCE	18,683.00	91,903.00	195,000.00	103,097.00 47.1
402-4222-422-21-05	DENTAL INSURANCE	840.00	4,340.00	7,200.00	2,860.00 60.3
402-4222-422-21-06	WORKMENS COMPENSATION	295.59	1,768.41	1,000.00	(768.41) 176.8
402-4222-422-21-07	UNEMPLOYMENT	147.88	591.70	1,500.00	908.30 39.5
402-4222-422-30-19	INSURANCE & BONDS	.00	.00	1,664.00	1,664.00 .0
402-4222-422-30-34	EMPLOYEE LICENSES/TESTING	.00	879.50	1,500.00	620.50 58.6
402-4222-422-30-90	CONTRACT SERVICES-OTHER	221.23	1,294.57	500.00	(794.57) 258.9
402-4222-422-32-90	MAINT CONTRACTS-OTHER	.00	1,895.00	3,250.00	1,355.00 58.3
402-4222-422-40-00	TRAVEL/TRAINING	.00	5,251.35	12,000.00	6,748.65 43.8
402-4222-422-42-01	TELEPHONE	75.00	1,089.72	2,000.00	910.28 54.5
402-4222-422-44-00	OFFICE SUPPLIES	.00	783.36	3,250.00	2,466.64 24.1
402-4222-422-45-10	OPERATING SUPPLIES-OTHER	.00	49.50	5,400.00	5,350.50 .9
402-4222-422-46-02	OTHER REPAIR & MAINT	908.62	908.62	.00	(908.62) .0
402-4222-422-46-10	COMPUTER MAINTENANCE	.00	.00	5,000.00	5,000.00 .0
402-4222-422-50-00	MEMBERSHIP & DUES	.00	100.00	550.00	450.00 18.2
	TOTAL POLICE SUPPORT SERVICES	103,940.60	441,492.40	905,242.00	463,749.60 48.8
	TOTAL PUBLIC SAFETY	103,940.60	441,492.40	905,242.00	463,749.60 48.8
	TOTAL FUND EXPENDITURES	103,940.60	441,492.40	905,242.00	463,749.60 48.8
	NET REVENUE OVER EXPENDITURES	(103,940.60)	429,943.60	88,400.00	(341,543.60) 486.4

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

RECREATION CENTER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
403-0000-311-12-01	SALES TAX	170,931.69	930,247.53	1,841,091.00	910,843.47	50.5
	TOTAL TAXES	170,931.69	930,247.53	1,841,091.00	910,843.47	50.5
<u>SERVICES</u>						
403-0000-341-16-00	CONCESSIONS	.00	.00	850.00	850.00	.0
403-0000-341-21-00	RECREATION PROGRAMS	631.00	6,514.00	7,000.00	486.00	93.1
	TOTAL SERVICES	631.00	6,514.00	7,850.00	1,336.00	83.0
<u>FEES</u>						
403-0000-344-11-03	HEALTHWAYS/SILVER SNEAKER	5,414.75	31,524.00	41,267.00	9,743.00	76.4
403-0000-344-15-00	MISC REC ACTIVITIES	.00	.00	3,000.00	3,000.00	.0
	TOTAL FEES	5,414.75	31,524.00	44,267.00	12,743.00	71.2
<u>FEES</u>						
403-0000-346-20-00	PASSES/ADMISSION	16,983.99	124,415.12	208,400.00	83,984.88	59.7
403-0000-346-20-01	GENERAL ADMISSION	10,174.00	63,980.23	120,776.00	56,795.77	53.0
403-0000-346-20-02	MERCHANDISE	310.31	1,664.67	2,200.00	535.33	75.7
	TOTAL FEES	27,468.30	190,060.02	331,376.00	141,315.98	57.4
<u>CHARGES</u>						
403-0000-347-17-00	FACILITY USE FEE	715.00	9,053.75	5,000.00	(4,053.75)	181.1
	TOTAL CHARGES	715.00	9,053.75	5,000.00	(4,053.75)	181.1
<u>INTEREST</u>						
403-0000-361-20-00	INVESTMENT	.00	16,338.01	.00	(16,338.01)	.0
	TOTAL INTEREST	.00	16,338.01	.00	(16,338.01)	.0
<u>CASH</u>						
403-0000-365-10-00	OVERAGE/SHORTAGE	2.00	(45.00)	.00	45.00	.0
	TOTAL CASH	2.00	(45.00)	.00	45.00	.0

CITY OF CORTEZ
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

RECREATION CENTER FUND

		<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>UNEXPENDED</u>	<u>PCNT</u>
<u>REVENUE</u>						
403-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	1,480.18	1,000.00	(480.18)	148.0
	TOTAL REVENUE	.00	1,480.18	1,000.00	(480.18)	148.0
	TOTAL FUND REVENUE	205,162.74	1,185,172.49	2,230,584.00	1,045,411.51	53.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PARKS & RECREATION</u>					
<u>RECREATION CENTER</u>					
403-4556-456-10-01	66,173.92	308,983.71	879,200.00	570,216.29	35.1
403-4556-456-10-10	.00	336.50	.00	(336.50)	.0
403-4556-456-11-01	6,416.81	12,839.25	3,959.00	(8,880.25)	324.3
403-4556-456-16-00	1,259.87	5,852.49	14,501.00	8,648.51	40.4
403-4556-456-20-01	5,531.44	24,422.53	56,080.00	31,657.47	43.6
403-4556-456-21-01	5,619.47	39,951.01	189,750.00	149,798.99	21.1
403-4556-456-21-05	298.74	2,338.39	2.00	(2,336.39)	11691
403-4556-456-21-06	659.28	3,944.22	5,800.00	1,855.78	68.0
403-4556-456-21-07	145.15	643.60	2,224.00	1,580.40	28.9
403-4556-456-30-04	.00	9,053.62	.00	(9,053.62)	.0
403-4556-456-30-07	842.44	5,612.14	3,000.00	(2,612.14)	187.1
403-4556-456-30-19	8,588.51	25,843.54	34,322.00	8,478.46	75.3
403-4556-456-30-34	.00	874.00	500.00	(374.00)	174.8
403-4556-456-30-90	1,720.75	11,394.36	25,000.00	13,605.64	45.6
403-4556-456-32-90	.00	3,175.60	4,400.00	1,224.40	72.2
403-4556-456-40-00	.00	2,182.66	19,500.00	17,317.34	11.2
403-4556-456-42-01	90.00	1,100.86	1,060.00	(40.86)	103.9
403-4556-456-42-10	599.64	3,597.84	7,200.00	3,602.16	50.0
403-4556-456-43-01	9,692.19	44,031.94	120,000.00	75,968.06	36.7
403-4556-456-43-02	.00	2,855.00	8,400.00	5,545.00	34.0
403-4556-456-43-03	3,778.35	63,073.79	44,000.00	(19,073.79)	143.4
403-4556-456-43-04	235.40	1,369.95	2,600.00	1,230.05	52.7
403-4556-456-43-05	317.24	1,722.54	4,000.00	2,277.46	43.1
403-4556-456-44-00	.00	218.48	500.00	281.52	43.7
403-4556-456-45-06	197.08	3,471.03	15,000.00	11,528.97	23.1
403-4556-456-45-07	.00	2,305.74	2,000.00	(305.74)	115.3
403-4556-456-45-10	929.43	20,348.11	45,000.00	24,651.89	45.2
403-4556-456-45-22	.00	2,689.87	5,500.00	2,810.13	48.9
403-4556-456-45-23	.00	1,493.54	4,000.00	2,506.46	37.3
403-4556-456-45-28	.00	.00	2,000.00	2,000.00	.0
403-4556-456-45-29	.00	34.95	.00	(34.95)	.0
403-4556-456-45-30	158.72	560.59	25,000.00	24,439.41	2.2
403-4556-456-46-02	777.25	23,859.75	87,760.00	63,900.25	27.2
403-4556-456-46-10	.00	.00	1,000.00	1,000.00	.0
403-4556-456-48-90	.00	278.00	200.00	(78.00)	139.0
403-4556-456-49-03	.00	1,796.92	1,500.00	(296.92)	119.8
403-4556-456-51-00	.00	.00	45.00	45.00	.0
403-4556-456-55-00	.00	154.07	26,000.00	25,845.93	.6
403-4556-456-91-00	.00	.00	252,000.00	252,000.00	.0
TOTAL RECREATION CENTER	114,031.68	632,410.59	1,893,003.00	1,260,592.41	33.4
TOTAL PARKS & RECREATION	114,031.68	632,410.59	1,893,003.00	1,260,592.41	33.4

CITY OF CORTEZ
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL FUND EXPENDITURES	114,031.68	632,410.59	1,893,003.00	1,260,592.41	33.4
NET REVENUE OVER EXPENDITURES	91,131.06	552,761.90	337,581.00	(215,180.90)	163.7

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FEEES</u>					
410-0000-346-10-01 SALES METERED WATER	325,696.20	1,346,399.17	3,179,306.55	1,832,907.38	42.4
410-0000-346-10-02 BULK SALES	3,149.25	29,790.75	65,000.00	35,209.25	45.8
410-0000-346-10-03 PENALTY	(.04)	4,441.57	15,000.00	10,558.43	29.6
410-0000-346-10-04 CONNECT/DISCONNECT FEES	2,050.00	8,822.50	20,000.00	11,177.50	44.1
410-0000-346-10-05 WATER DEVELOPMENT FEES	40,859.50	99,061.00	35,000.00	(64,061.00)	283.0
TOTAL FEES	371,754.91	1,488,514.99	3,314,306.55	1,825,791.56	44.9
<u>INTEREST</u>					
410-0000-361-20-00 INVESTMENT	.00	7,824.58	1,500.00	(6,324.58)	521.6
TOTAL INTEREST	.00	7,824.58	1,500.00	(6,324.58)	521.6
<u>REVENUE</u>					
410-0000-367-11-00 TOWAOC - TREATED WATER	.00	.00	343,495.00	343,495.00	.0
410-0000-367-16-00 MISCELLANEOUS SALES & FEE	.00	.00	331,000.00	331,000.00	.0
410-0000-367-16-01 GENERAL FUND	.00	3,292,652.70	3,700,000.00	407,347.30	89.0
410-0000-367-32-00 CORTEZ SANITATION DIST.	1,100.00	6,600.00	12,000.00	5,400.00	55.0
TOTAL REVENUE	1,100.00	3,299,252.70	4,386,495.00	1,087,242.30	75.2
TOTAL FUND REVENUE	372,854.91	4,795,592.27	7,702,301.55	2,906,709.28	62.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>					
<u>ADMINISTRATIVE</u>					
410-5816-589-21-06	242.48	1,450.65	.00	(1,450.65)	.0
410-5816-589-30-07	2,443.49	14,690.25	41,000.00	26,309.75	35.8
410-5816-589-30-19	44.04	132.52	598.54	466.02	22.1
410-5816-589-30-21	.00	.00	6,500.00	6,500.00	.0
410-5816-589-30-22	.00	.00	13,000.00	13,000.00	.0
410-5816-589-30-90	450.00	11,661.27	6,500.00	(5,161.27)	179.4
410-5816-589-40-00	337.00	1,532.40	7,000.00	5,467.60	21.9
410-5816-589-42-01	.00	.00	3,500.00	3,500.00	.0
410-5816-589-42-03	668.85	5,030.64	7,000.00	1,969.36	71.9
410-5816-589-45-10	.00	131.01	200.00	68.99	65.5
410-5816-589-46-08	887.06	7,450.43	.00	(7,450.43)	.0
410-5816-589-46-09	906.66	10,593.88	.00	(10,593.88)	.0
410-5816-589-50-00	.00	950.00	1,875.00	925.00	50.7
410-5816-589-51-00	.00	167.79	300.00	132.21	55.9
410-5816-589-58-00	.00	676.93	.00	(676.93)	.0
410-5816-589-59-00	.00	19.33	.00	(19.33)	.0
410-5816-589-91-00	.00	.00	35,000.00	35,000.00	.0
TOTAL ADMINISTRATIVE	5,979.58	54,487.10	122,473.54	67,986.44	44.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FILTRATION & TREATMENT</u>					
410-5817-589-10-01	REGULAR WAGES	33,271.10	133,194.11	310,224.00	177,029.89 42.9
410-5817-589-11-01	OVERTIME	795.94	1,220.10	9,345.00	8,124.90 13.1
410-5817-589-16-00	CITY RETIREMENT	1,532.84	6,143.68	12,051.68	5,908.00 51.0
410-5817-589-20-01	FICA/MEDICARE	2,525.82	9,865.62	18,364.46	8,498.84 53.7
410-5817-589-21-01	HEALTH/LIFE INSURANCE	7,780.00	38,933.00	74,592.00	35,659.00 52.2
410-5817-589-21-05	DENTAL INSURANCE	350.00	1,890.00	3,360.00	1,470.00 56.3
410-5817-589-21-06	WORKMENS COMPENSATION	902.94	5,401.93	4,500.00 (	901.93) 120.0
410-5817-589-21-07	UNEMPLOYMENT	68.13	268.80	688.67	419.87 39.0
410-5817-589-30-10	WATER ANALYSIS	474.20	4,538.80	13,000.00	8,461.20 34.9
410-5817-589-30-19	INSURANCE & BONDS	13,663.39	41,114.27	55,499.57	14,385.30 74.1
410-5817-589-30-34	EMPLOYEE LICENSES/TESTING	.00	765.22	500.00 (	265.22) 153.0
410-5817-589-30-90	OTHER CONTRACTUAL SERVICES	485.94	9,413.98	10,000.00	586.02 94.1
410-5817-589-40-00	TRAVEL & TRAINING	.00	470.00	5,000.00	4,530.00 9.4
410-5817-589-42-01	TELEPHONE	315.00	2,053.58	7,520.00	5,466.42 27.3
410-5817-589-42-10	FIBER CHARGES	556.00	3,336.00	.00 (	3,336.00) .0
410-5817-589-43-01	ELECTRIC	2,658.79	15,861.47	32,550.00	16,688.53 48.7
410-5817-589-43-03	GAS	531.03	10,601.84	11,000.00	398.16 96.4
410-5817-589-43-04	REFUSE	54.00	324.00	850.00	526.00 38.1
410-5817-589-44-00	OFFICE SUPPLIES	.00	491.38	800.00	308.62 61.4
410-5817-589-45-06	CHEMICALS & LAB	28,745.76	110,051.84	170,000.00	59,948.16 64.7
410-5817-589-45-07	CLOTHING ALLOWANCE	.00	1,503.64	1,200.00 (	303.64) 125.3
410-5817-589-45-10	OPERATING SUPPLIES	538.37	1,589.31	5,000.00	3,410.69 31.8
410-5817-589-46-02	OTHER REPAIR & MAINT	7,123.26	23,577.72	28,000.00	4,422.28 84.2
410-5817-589-50-00	MEMBERSHIP & DUES	.00	.00	700.00	700.00 .0
410-5817-589-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	400.00	400.00 .0
410-5817-589-61-34	BACKWASH POND	.00	.00	20,000.00	20,000.00 .0
410-5817-589-91-00	DEPRECIATION EXPENSE	.00	.00	217,195.00	217,195.00 .0
	TOTAL FILTRATION & TREATMENT	102,372.51	422,610.29	1,012,340.38	589,730.09 41.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TRANSMISSION/DISTRIBUTION</u>					
410-5818-589-10-01	47,792.59	199,221.29	322,039.20	122,817.91	61.9
410-5818-589-10-10	.00	229.50	300.00	70.50	76.5
410-5818-589-11-01	1,603.12	12,967.39	11,025.00	(1,942.39)	117.6
410-5818-589-16-00	2,166.96	9,157.43	16,101.96	6,944.53	56.9
410-5818-589-20-01	3,664.86	15,648.16	23,367.92	7,719.76	67.0
410-5818-589-21-01	10,125.00	57,637.99	139,860.00	82,222.01	41.2
410-5818-589-21-05	525.00	3,010.00	6,300.00	3,290.00	47.8
410-5818-589-21-06	798.39	4,776.45	29,700.00	24,923.55	16.1
410-5818-589-21-07	98.76	424.27	876.30	452.03	48.4
410-5818-589-30-04	273.51	1,675.86	1,500.00	(175.86)	111.7
410-5818-589-30-11	.00	.00	1,100.00	1,100.00	.0
410-5818-589-30-19	234.20	704.73	8,343.73	7,639.00	8.5
410-5818-589-30-34	.00	303.15	1,100.00	796.85	27.6
410-5818-589-30-90	398.20	4,338.84	7,000.00	2,661.16	62.0
410-5818-589-40-00	.00	475.00	3,000.00	2,525.00	15.8
410-5818-589-42-01	266.13	1,627.98	3,500.00	1,872.02	46.5
410-5818-589-44-00	.00	11.95	200.00	188.05	6.0
410-5818-589-45-07	.00	1,812.13	3,500.00	1,687.87	51.8
410-5818-589-45-10	504.43	2,095.38	2,500.00	404.62	83.8
410-5818-589-45-17	.00	13,073.52	50,000.00	36,926.48	26.2
410-5818-589-46-02	82.38	5,197.76	10,000.00	4,802.24	52.0
410-5818-589-50-00	.00	.00	200.00	200.00	.0
410-5818-589-51-00	.00	.00	300.00	300.00	.0
410-5818-589-52-00	.00	.00	350.00	350.00	.0
410-5818-589-91-00	.00	.00	125,000.00	125,000.00	.0
TOTAL TRANSMISSION/DISTRIBUTION	68,533.53	334,388.78	767,164.11	432,775.33	43.6
TOTAL AIRPORT	.00	.00	.00	.00	.0
<u>METER MAINTENANCE</u>					
410-5820-589-30-19	.00	.00	387.36	387.36	.0
410-5820-589-30-34	.00	.00	200.00	200.00	.0
410-5820-589-32-90	.00	.00	7,150.00	7,150.00	.0
410-5820-589-40-00	.00	.00	500.00	500.00	.0
410-5820-589-45-07	.00	.00	1,000.00	1,000.00	.0
410-5820-589-45-10	6.66	470.96	3,000.00	2,529.04	15.7
410-5820-589-46-02	1,881.46	9,169.91	12,350.00	3,180.09	74.3
TOTAL METER MAINTENANCE	1,888.12	9,640.87	24,587.36	14,946.49	39.2
TOTAL ALL 21	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>DEBT RETIREMENT</u>					
410-5822-589-70-01	.00	2,642,227.00	77,617.00	(2,564,610.00)	3404.2
410-5822-589-70-02	.00	26,254.84	172,464.00	146,209.16	15.2
410-5822-589-70-03	.00	.00	86,785.00	86,785.00	.0
410-5822-589-70-04	.00	.00	9,289.00	9,289.00	.0
410-5822-589-70-20	.00	1,349.34	4,215.00	2,865.66	32.0
410-5822-589-70-21	.00	64,736.94	19,557.00	(45,179.94)	331.0
410-5822-589-70-22	.00	802.03	5,128.00	4,325.97	15.6
410-5822-589-70-23	.00	200,507.35	26,962.00	(173,545.35)	743.7
410-5822-589-70-26	.00	1,223.69	.00	(1,223.69)	.0
410-5822-589-70-27	.00	355,551.51	3,700,000.00	3,344,448.49	9.6
410-5822-589-70-28	197,559.16	197,559.16	.00	(197,559.16)	.0
410-5822-589-70-29	141,461.46	141,461.46	.00	(141,461.46)	.0
TOTAL DEBT RETIREMENT	339,020.62	3,631,673.32	4,102,017.00	470,343.68	88.5
<u>CAPITAL PROJECTS</u>					
410-5855-589-60-06	14,425.18	125,794.19	270,000.00	144,205.81	46.6
410-5855-589-60-07	25.33	12,125.99	310,000.00	297,874.01	3.9
410-5855-589-60-10	40,623.50	564,495.86	754,000.00	189,504.14	74.9
410-5855-589-61-47	.00	5,597.34	50,000.00	44,402.66	11.2
410-5855-589-61-48	.00	30,667.90	.00	(30,667.90)	.0
410-5855-589-61-50	.00	.00	30,000.00	30,000.00	.0
410-5855-589-62-05	.00	.00	50,000.00	50,000.00	.0
TOTAL CAPITAL PROJECTS	55,074.01	738,681.28	1,464,000.00	725,318.72	50.5
TOTAL ALL 60	.00	.00	.00	.00	.0
TOTAL ENTERPRISE	572,868.37	5,191,481.64	7,492,582.39	2,301,100.75	69.3
TOTAL FUND EXPENDITURES	572,868.37	5,191,481.64	7,492,582.39	2,301,100.75	69.3
NET REVENUE OVER EXPENDITURES	(200,013.46)	(395,889.37)	209,719.16	605,608.53	(188.8)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

HYDRO PLANT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
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415-0000-349-10-02 RPS CREDIT	.00	.00	12,300.00	12,300.00	.0
TOTAL SOURCES 349	.00	.00	12,300.00	12,300.00	.0
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<u>REVENUE</u>					
415-0000-367-16-18 HYDRO-PRODUCTION CREDITS	.00	.00	4,813.00	4,813.00	.0
415-0000-367-16-19 ENERGY CREDITS	.00	.00	3,061.00	3,061.00	.0
TOTAL REVENUE	.00	.00	7,874.00	7,874.00	.0
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<u>SOURCES 371</u>					
415-0000-371-13-00 GENERAL FUND	.00	518,593.81	.00	(518,593.81)	.0
TOTAL SOURCES 371	.00	518,593.81	.00	(518,593.81)	.0
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TOTAL FUND REVENUE	.00	518,593.81	20,174.00	(498,419.81)	2570.6
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CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

HYDRO PLANT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>					
<u>ADMINISTRATIVE</u>					
415-5816-589-30-19 INSURANCE & BONDS	738.20	2,221.32	4,317.00	2,095.68	51.5
415-5816-589-46-02 OTHER REPAIR & MAINT	.00	.00	1,000.00	1,000.00	.0
415-5816-589-70-22 W&P AUTHORITY INTEREST	.00	10,168.51	10,169.00	.49	100.0
415-5816-589-70-23 W&P AUTHORITY PRINCIPAL	.00	508,425.30	59,237.00	(449,188.30)	858.3
415-5816-589-70-24 GEN FUND INTEREST	31,115.63	31,115.63	.00	(31,115.63)	.0
415-5816-589-70-25 GEN FUND PRINCIPAL	22,280.22	22,280.22	.00	(22,280.22)	.0
TOTAL ADMINISTRATIVE	54,134.05	574,210.98	74,723.00	(499,487.98)	768.5
TOTAL ENTERPRISE	54,134.05	574,210.98	74,723.00	(499,487.98)	768.5
TOTAL FUND EXPENDITURES	54,134.05	574,210.98	74,723.00	(499,487.98)	768.5
NET REVENUE OVER EXPENDITURES	(54,134.05)	(55,617.17)	(54,549.00)	1,068.17	(102.0)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

CCN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
416-0000-340-10-01 FIBER TO THE BUSINESS	.00	15,035.00	185,004.00	169,969.00	8.1
416-0000-340-10-02 CONNECTION DROPS	.00	210.00	.00	(210.00)	.0
416-0000-340-10-03 DARK FIBER	5,473.96	47,792.76	12,962.00	(34,830.76)	368.7
416-0000-340-10-04 EQUIPMENT RENTAL FEES	.00	1,295.00	.00	(1,295.00)	.0
416-0000-340-10-05 FIBER SERVICE	.00	9,540.00	.00	(9,540.00)	.0
416-0000-340-10-06 VERO LEASE PAYMENT	.00	1,800,000.00	.00	(1,800,000.00)	.0
TOTAL SOURCES 340	5,473.96	1,873,872.76	197,966.00	(1,675,906.76)	946.6
FEES					
416-0000-342-05-00 E-RATE REVENUE	3,400.00	52,590.72	109,006.00	56,415.28	48.3
416-0000-342-12-00 GOVNET	7,693.11	54,759.81	155,028.00	100,268.19	35.3
TOTAL FEES	11,093.11	107,350.53	264,034.00	156,683.47	40.7
TOTAL FUND REVENUE	16,567.07	1,981,223.29	462,000.00	(1,519,223.29)	428.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

CCN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>					
<u>CITY COMMUNITY NETWORK</u>					
416-5830-582-10-01	7,456.80	32,312.80	66,140.00	33,827.20	48.9
416-5830-582-16-00	372.84	1,615.64	3,165.00	1,549.36	51.1
416-5830-582-20-01	567.13	2,452.03	4,593.00	2,140.97	53.4
416-5830-582-21-01	1,556.00	9,336.00	18,648.00	9,312.00	50.1
416-5830-582-21-05	70.00	420.00	840.00	420.00	50.0
416-5830-582-21-06	398.56	2,384.43	2,250.00	(134.43)	106.0
416-5830-582-21-07	14.91	64.61	172.00	107.39	37.6
416-5830-582-30-19	17.02	51.21	65.00	13.79	78.8
416-5830-582-30-23	.00	.00	500.00	500.00	.0
416-5830-582-30-90	.00	30.00	3,620.00	3,590.00	.8
416-5830-582-40-00	.00	.00	500.00	500.00	.0
416-5830-582-42-01	75.00	450.00	900.00	450.00	50.0
416-5830-582-44-00	.00	.00	200.00	200.00	.0
416-5830-582-45-07	.00	.00	200.00	200.00	.0
416-5830-582-46-02	.00	150.00	15,000.00	14,850.00	1.0
416-5830-582-46-09	.00	914.87	1,000.00	85.13	91.5
416-5830-582-58-00	.00	2,155.20	.00	(2,155.20)	.0
416-5830-582-60-41	.00	.00	5,000.00	5,000.00	.0
416-5830-582-90-02	.00	5,585.17	.00	(5,585.17)	.0
416-5830-583-30-33	.00	.00	16,000.00	16,000.00	.0
416-5830-583-30-90	121.26	1,511.77	4,200.00	2,688.23	36.0
416-5830-583-32-90	.00	6,295.00	48,000.00	41,705.00	13.1
416-5830-583-45-10	.00	419.21	5,000.00	4,580.79	8.4
416-5830-583-46-02	.00	1,040.00	8,500.00	7,460.00	12.2
416-5830-583-50-00	.00	.00	1,165.00	1,165.00	.0
416-5830-583-60-00	.00	.00	25,000.00	25,000.00	.0
416-5830-583-90-01	.00	.00	11,486.00	11,486.00	.0
416-5830-583-90-02	.00	.00	5,300.00	5,300.00	.0
416-5830-583-91-00	.00	.00	90,000.00	90,000.00	.0
416-5830-586-30-56	4,982.00	29,892.00	60,000.00	30,108.00	49.8
416-5830-586-44-00	.00	.00	200.00	200.00	.0
416-5830-586-45-10	.00	.00	2,500.00	2,500.00	.0
416-5830-586-46-02	.00	.00	10,000.00	10,000.00	.0
TOTAL CITY COMMUNITY NETWORK	15,631.52	97,079.94	410,144.00	313,064.06	23.7
TOTAL ENTERPRISE	15,631.52	97,079.94	410,144.00	313,064.06	23.7
TOTAL FUND EXPENDITURES	15,631.52	97,079.94	410,144.00	313,064.06	23.7
NET REVENUE OVER EXPENDITURES	935.55	1,884,143.35	51,856.00	(1,832,287.35)	3633.4

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

REFUSE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CHARGES</u>					
421-0000-347-10-01 SALES REFUSE PICKUP	158,758.90	940,240.51	1,599,953.00	659,712.49	58.8
421-0000-347-10-02 PENALTY	(14.75)	1,491.68	1,000.00	(491.68)	149.2
421-0000-347-10-05 CONTAINER LOCKS	.00	.00	80.00	80.00	.0
421-0000-347-18-00 CHIPPER/MULCHER	.00	.00	450.00	450.00	.0
TOTAL CHARGES	158,744.15	941,732.19	1,601,483.00	659,750.81	58.8
<u>INTEREST</u>					
421-0000-361-20-00 INVESTMENT	.00	1,564.92	1,800.00	235.08	86.9
TOTAL INTEREST	.00	1,564.92	1,800.00	235.08	86.9
<u>REVENUE</u>					
421-0000-367-12-00 DUMP-TRUCK/LANDFILL FEES	270.00	540.00	1,900.00	1,360.00	28.4
421-0000-367-13-00 RECYCLED REFUSE	5,567.01	7,897.91	30,000.00	22,102.09	26.3
TOTAL REVENUE	5,837.01	8,437.91	31,900.00	23,462.09	26.5
TOTAL FUND REVENUE	164,581.16	951,735.02	1,635,183.00	683,447.98	58.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

REFUSE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>					
<u>ADMINISTRATIVE</u>					
421-5816-587-42-01	.00	.00	1,100.00	1,100.00	.0
421-5816-587-42-03	668.86	3,982.64	7,500.00	3,517.36	53.1
421-5816-587-46-08	7,533.38	52,305.72	.00	(52,305.72)	.0
421-5816-587-46-09	3,375.56	44,538.87	.00	(44,538.87)	.0
421-5816-589-58-00	.00	96.89	.00	(96.89)	.0
TOTAL ADMINISTRATIVE	11,577.80	100,924.12	8,600.00	(92,324.12)	1173.5
TOTAL INTERFUND SERVICES	.00	.00	.00	.00	.0
<u>COLLECTION</u>					
421-5823-587-10-01	42,197.25	183,675.22	461,016.00	277,340.78	39.8
421-5823-587-10-02	.00	(668.57)	.00	668.57	.0
421-5823-587-10-10	.00	290.00	175.00	(115.00)	165.7
421-5823-587-11-01	2,174.23	8,214.10	10,000.00	1,785.90	82.1
421-5823-587-16-00	2,043.16	8,692.02	17,068.00	8,375.98	50.9
421-5823-587-20-01	3,316.63	14,219.00	26,009.00	11,790.00	54.7
421-5823-587-21-01	8,591.00	50,001.02	149,184.00	99,182.98	33.5
421-5823-587-21-05	455.00	2,730.00	6,720.00	3,990.00	40.6
421-5823-587-21-06	6,788.14	30,742.82	37,250.00	6,507.18	82.5
421-5823-587-21-07	88.74	383.73	975.00	591.27	39.4
421-5823-587-30-11	37,756.42	182,264.91	460,000.00	277,735.09	39.6
421-5823-587-30-19	3,325.73	10,007.40	2,570.00	(7,437.40)	389.4
421-5823-587-30-34	284.00	1,063.15	3,600.00	2,536.85	29.5
421-5823-587-30-90	.00	2,880.00	4,000.00	1,120.00	72.0
421-5823-587-40-00	.00	1,029.01	2,000.00	970.99	51.5
421-5823-587-42-01	245.00	1,410.00	2,800.00	1,390.00	50.4
421-5823-587-44-00	.00	25.40	300.00	274.60	8.5
421-5823-587-45-06	.00	.00	500.00	500.00	.0
421-5823-587-45-07	199.73	2,242.48	5,200.00	2,957.52	43.1
421-5823-587-45-10	4,453.88	32,320.86	45,600.00	13,279.14	70.9
421-5823-587-46-02	.00	5,635.74	6,000.00	364.26	93.9
421-5823-587-50-00	.00	1,824.66	.00	(1,824.66)	.0
421-5823-587-63-10	118,348.12	118,348.12	250,000.00	131,651.88	47.3
421-5823-587-91-00	.00	.00	150,000.00	150,000.00	.0
TOTAL COLLECTION	230,267.03	657,331.07	1,640,967.00	983,635.93	40.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2023

REFUSE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>RECYCLING</u>					
421-5824-587-10-01	16,074.44	63,352.90	129,320.00	65,967.10	49.0
421-5824-587-10-10	.00	.00	379.00	379.00	.0
421-5824-587-11-01	801.84	2,603.23	15,656.00	13,052.77	16.6
421-5824-587-16-00	664.92	2,860.25	6,511.00	3,650.75	43.9
421-5824-587-20-01	1,261.85	4,889.69	9,187.00	4,297.31	53.2
421-5824-587-21-01	2,345.00	14,069.98	55,944.00	41,874.02	25.2
421-5824-587-21-05	105.00	630.00	2,520.00	1,890.00	25.0
421-5824-587-21-06	816.01	5,425.87	6,112.00	686.13	88.8
421-5824-587-21-07	33.73	131.82	345.00	213.18	38.2
421-5824-587-30-19	217.57	654.69	481.00	(173.69)	136.1
421-5824-587-30-34	.00	97.86	800.00	702.14	12.2
421-5824-587-30-90	956.10	4,538.40	1,500.00	(3,038.40)	302.6
421-5824-587-40-00	.00	.00	1,000.00	1,000.00	.0
421-5824-587-42-01	95.00	570.00	750.00	180.00	76.0
421-5824-587-42-03	.00	.00	600.00	600.00	.0
421-5824-587-45-07	300.00	918.87	2,000.00	1,081.13	45.9
421-5824-587-45-10	.00	2,010.15	4,000.00	1,989.85	50.3
421-5824-587-46-02	.00	398.02	800.00	401.98	49.8
421-5824-587-50-00	.00	.00	5,400.00	5,400.00	.0
421-5824-587-91-10	.00	.00	20,000.00	20,000.00	.0
TOTAL RECYCLING	23,671.46	103,151.73	263,305.00	160,153.27	39.2
TOTAL ENTERPRISE	265,516.29	861,406.92	1,912,872.00	1,051,465.08	45.0
TOTAL FUND EXPENDITURES	265,516.29	861,406.92	1,912,872.00	1,051,465.08	45.0
NET REVENUE OVER EXPENDITURES	(100,935.13)	90,328.10	(277,689.00)	(368,017.10)	32.5

CITY OF CORTEZ
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2023

CONSERVATION TRUST FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STATE/COLO</u>						
603-0000-332-17-00	LOTTERY	.00	.00	336,521.00	336,521.00	.0
TOTAL STATE/COLO		.00	.00	336,521.00	336,521.00	.0
TOTAL FUND REVENUE		.00	.00	336,521.00	336,521.00	.0
NET REVENUE OVER EXPENDITURES		.00	.00	336,521.00	336,521.00	.0



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Kelly Koskie
Director of Finance
123 Roger Smith Ave
Cortez, CO. 81321
kkoskie@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: KELLY KOSKIE, DIRECTOR OF FINANCE

Date: 07/25/2023

RE: City Council Chambers AV Options

Attachments

Memo Council AV options
Council Chambers PowerPoint



City of Cortez
123 Roger Smith Ave
Cortez, CO 81321

Item No:

Meeting Date: July 25th, 2023

TITLE: City Council AV Equipment Options

SUBMITTING DEPARTMENT: Finance

ATTACHMENTS: Memo & PowerPoint presentation

Background

Plans to replace the AV equipment that resides in the City Council Chambers and provides live streaming services of all City Council meetings were approved in the 2023 budget at \$86,734.00. Since that time there have been wide ranging discussions about the level of quality and corresponding expense needed for an appropriate level of streaming service for Cortez.

Discussion

No new equipment for the Council AV system has been ordered. There is also a new lower cost option to consider.

We are seeking Council guidance regarding the level and quality of user experience for our residents when accessing meeting videos.

As always, I'm available for questions by phone 970-565-3402, in person, or by email at

kkoskie@cortezco.gov

Kelly Koskie

Finance Director, City of Cortez

City Council Chambers AV Equipment

Considerations

- ▶ Cost
- ▶ Flexibility
- ▶ What fits our needs?



We've got options

▶ Option 1

\$40,000 to \$80,000

- ▶ Uses a laptop to stream live video and to YouTube
- ▶ Uses 2 camera for split room view
- ▶ No outside support

▶ Option 2

\$80,000 to \$120,000

- ▶ Replaces console to stream live video and to YouTube
- ▶ Uses 3 cameras for full room view
- ▶ 1 year of outside support during business hours



We've got options

▶ Option 3

\$120,000 to \$180,000

- ▶ Replaces console to stream live video and to YouTube
- ▶ Uses 3 cameras for panoramic room view
- ▶ Includes interactive Council tablets at dais for voting
- ▶ 1 year of outside support during business hours


▶ Option 4

\$180,000 to \$210,000

- ▶ Replaces console to stream live video and to YouTube
- ▶ Uses voice recognition cameras to focus on speaker
- ▶ Includes interactive Council tablets at dais for voting
- ▶ Can integrate with AgendaQuick to create meeting minutes
- ▶ 24 hour 7 days a week outside support for 1 year



What do we need?

- ▶ A cost efficient way to give the public access to City Council meetings
 - ▶ A reliable system
 - ▶ A system that can flex with our changing needs
- 



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL
From: Cheryl Lindquist, Permit Technician/Deputy City Clerk
Date: 7/18/2023
RE: Resolution No. 17, Series 2023

DISCUSSION

See attached

BACKGROUND

Quick N Clean CO-03, LLC, (the "Applicant") is requesting approval of a Conditional Use Permit to construct a new 5,380 sq. ft. express car wash with associated vacuum and pay station canopies to be located on property that was platted as 28 separate lots separated by a city-owned alley. City Council has already approved the alley vacation, lot consolidation and site plan for the proposed use. The new consolidated lot totals 2.185 acres. The property is located 1511 E. Main Street, Cortez, CO (the "Property"). The Property is currently vacant. The Property is zoned Commercial Highway (C).

FISCAL IMPACT

None

RECOMMENDATION

Staff and the Planning and Zoning Commission recommend that Council approve the Conditional Use Permit, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that Council approve Resolution No. 17, Series 2023, a resolution approving a Conditional Use Permit for a new car wash on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC, with the conditions stated in the Resolution.

Attachments

Staff Report
Resolution No. 17, Series 2023
P&Z Resolution No. 12, Series 2023
documentation



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: July 25, 2023
Project No. PL22-000023

MEMO

TO: Members of the Cortez City Council

FROM: Nancy Dossdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a Conditional Use Permit for a 5,380 sq. ft. car wash (Quick N Clean) with associated vacuum and pay station canopies to be located on property at 1511 E. Main St., Cortez, CO, zoned Commercial Highway (C).

APPLICANT: Michael Scarbrough, Quick N Clean CO-03 LLC

OWNER: Quick N Clean CO-03, LLC

ATTACHMENTS: City Council Resolution No. 17, Series 2023
P&Z Resolution No. 12, Series 2023
Plan Set including: Civil Site Plans
Landscape Plans
Floor Plans
Architectural Elevations

BACKGROUND

Quick N Clean CO-03, LLC, (the “Applicant”) is proposing a Conditional Use Permit to construct a new 5,380 sq. ft. express car wash with associated vacuum and pay station canopies to be located on what is currently platted as 28 separate lots separated by a city-owned alley. An alley vacation, lot consolidation and site plan have already been approved for the use. Once consolidated, the new lot will total 2.185 acres. The property is located 1511 E. Main Street, Cortez, CO (the “Property”). The Property is currently vacant. The Property is zoned Commercial Highway (C).

The Property is bounded on the west by commercially zoned land that includes Papa Murphy’s, on the east and south by vacant parcels and on the north by East Main St and across East Main St is Safeway. All neighboring properties are zoned Commercial Highway (C.)

DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	2.185 acres (after consolidation)
Min. front yard (ft.)	10'	100+' approx
Min. side yard (ft)	0'	20'+ approx
Min. rear yard (ft)	7'	23' approx
Max. lot coverage	50%	n/a
Min. floor area	n/a	n/a
Max height (ft)	50'	28' 9"
Parking	18 spaces	45 spaces
Landscaping	10% or 9,518 sq. ft.	40,992 sq. ft. or 43%

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

A conditional use is a use that may be permitted subject to conditions imposed upon the approval of the use that are designed to reasonably mitigate any adverse impacts upon surrounding properties. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

- (1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.
- (2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.
- (3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.

(4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.

(5) Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.

(6) The proposed conditional use shall conform to adopted plans, hours of operation, polices and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

DISCUSSION

The project as submitted appears to meet all development standards. Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity and general welfare.

AGENCY REVIEW (Note – two rounds of comments were collected after a revised submittal and most agencies combined their comments on the site plan and alley vacation plat)

GIS Coordinator (Doug Roth)

No issues with the configuration of this site plan or procedurally vacating the 16' Alley ROW in order to rededicate the same area as a non-exclusive utility easement.

Cortez City Engineer (Kevin Kissler)

There is a sewer line that also runs on the south side of their property within their property boundaries, I'd like to see their site plan include at least a 10' utility easement on the south side of the lot as well as their proposed 40' easement on the west side of the lot. Also, I would like to see their grease trap configuration included in the plans so we can pass that along to the sanitation district for their review. They need to specify the sidewalk width as 5' and being composed of 4500 psi concrete

Cortez Sanitation District (Jim Webb)

After a careful review of the final plat, I have noted they have identified all of the Sanitation District's Collection system assets and we have no issues with the proposed plat.

Atmos Energy (Gary Arnett)

Thank you for the clarification.

The existing width is good but if we ever needed to repair or replace that line it would be nice to have some additional room to the N. of the existing easement +5'. The fiber optic line appears to be close.

ALTERNATIVES

1. The Commission can recommend that the Council approve the Conditional Use Permit for the proposed car wash on property located at 1511 E. Main, in the C zone, as submitted by Quick N Clean CO-03 LLC; or
2. The Commission can recommend denial of the application for the Conditional Use Permit and state its reasons; or

3. The Commission can ask for more information and table the application or continue the application to a date certain; or
4. The Commission can recommend that Council approve the Conditional Use Permit, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative “4” above, approval of the Conditional Use Permit through Cortez City Council Resolution No. 17, Series 2023, with 5 conditions.

The Planning and Zoning Commission recommends **that Council approve the Conditional Use Permit for a new car wash on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC through Cortez City Council Resolutions No. 17, Series 2023, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
4. The ROW vacation and plat amendment shall be approved and recorded prior to issuance of a building permit for the property.
5. The alley vacation and plat amendment shall be recorded prior to issuance of a building permit.

**CORTEZ CITY COUNCIL
RESOLUTION NO. 17, SERIES 2023**

A Resolution approving a Conditional Use Permit for a car wash located at 1511 E. Main St., Cortez, Colorado, located in the Commercial Highway (C) zoning district.

WHEREAS, the owner/applicant Quick N Clean CO-03 LLC (the “Owner/applicant”) has applied for review of a conditional use permit for establishment of a new car wash to be located on property at 1511 E. Main St., Cortez, Colorado (the “Property”) and more particularly described as:

Lots 1 through 28 inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6 of the real property records of the Montezuma County Clerk and Recorder’s Office.

WHEREAS, the Owner/applicant presented a request and necessary submittal items for review of the application by the City Planning and Zoning Commission at a regular meeting held on July 18, 2023; and

WHEREAS, the Cortez Land Use Code Section 6.10, Conditional Use Permits, indicates that the owner or developer of a property may request a conditional use permit for development of said property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for a Conditional Use Permit and is recommending approval of the request on the Property, as evidenced in the adoption of P&Z Resolution No. 12, Series 2023; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for issuance of a conditional use permit on the Property have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL:

THAT, this Resolution No. 17, Series 2023, establishes the conditions of approval for a Conditional Use Permit on the Property; and

THAT, the Conditional Use Permit for the Property is hereby approved, subject to the following conditions to ensure compliance with the standards in the Land Use Code for a conditional use permit:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

- Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. Operation of the business shall not exceed CRS 25-12-103, maximum permissible noise levels. Specifically, from 7:00am to 7:00pm noise levels shall not exceed 55 db(A) at the property line. From 7:00pm to 7:00am noise levels shall not exceed 50 db(A) at the property line.
 - c. The Owner/applicant shall operate the business in conformance with all provision of the submitted narrative.

MOVED, SECONDED, AND ADOPTED THIS 25th DAY OF JULY, 2023

CORTEZ CITY COUNCIL

Rachel B. Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 12, SERIES 2023**

A Resolution Recommending Approval of a Conditional Use Permit for a car wash located at 1511 E. Main St., Cortez, Colorado, located in the Commercial Highway (C) zoning district.

WHEREAS, owner/applicant Quick N Clean CO-03 LLC (the “Owner/applicant”) has applied for review of a conditional use permit for establishment of a new car wash to be located on property at 1511 E. Main St., Cortez, Colorado (the “Property”) and more particularly described as:

Lots 1 through 28 inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6

WHEREAS, the Owner/applicant presented a request and necessary submittal items for review of the application by the City Planning and Zoning Commission at a regular meeting held on July 18, 2023; and

WHEREAS, the Cortez Land Use Code Section 6.10, Conditional Use Permits, indicates that the owner or developer of a property may request a conditional use permit for development of said property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for a Conditional Use Permit and is recommending approval of the request on the Property, as evidenced in the adoption of this P&Z Resolution No. 12, Series 2023; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission is recommending approval of the requested Conditional Use Permit; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of this site have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 12, Series 2023, establishes the conditions of approval for a Conditional Use Permit on the Property; and

THAT, the Conditional Use Permit for the Property is hereby recommended to Council for approval, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a conditional use permit:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. Operation of the business shall not exceed CRS 25-12-103, maximum permissible noise levels. Specifically, from 7:00am to 7:00pm noise levels shall not exceed 55 db(A) at the property line. From 7:00pm to 7:00am noise levels shall not exceed 50 db(A) at the property line.
- c. The Owner/applicant shall operate the business in conformance with all provision of the submitted narrative.

MOVED, SECONDED, AND ADOPTED THIS 18th DAY OF JULY, 2023

PLANNING AND ZONING COMMISSION

Robert Rime, Chairman

ATTEST:

Cheryl Lindquist, Deputy City Clerk

WHEN RECORDED RETURN TO:

Quick N Clean CO-03, LLC,
a Colorado limited liability company
7291 East Adobe Drive,
Suite 115
Scottsdale, Arizona 85255

SPECIAL WARRANTY DEED

For valuable consideration, the receipt and sufficiency of which are acknowledged, Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust (“**Grantor**”), conveys to Quick N Clean CO-03, LLC, a Colorado limited liability company (“**Grantee**”), the following real property situated in Mesa County, Colorado, together with all appurtenant interests, benefits, rights, and privileges (collectively, the “**Property**”):

SEE **Exhibit “A”** ATTACHED HERETO
AND BY THIS REFERENCE MADE A PART HEREOF

This conveyance is made by Grantor and accepted by Grantee subject to the terms, conditions and provisions hereof and further subject to all applicable easements, conditions, restrictions, covenants, minerals or royalty interests, mineral reservations, surface waivers, liens, encumbrances, regulations or orders of municipal and/or other governmental authorities, if any, or other matters of record, to the extent, but only to the extent, they are validly existing and affect the Property as of the date hereof.

To have and hold the Property, together with all rights and appurtenances thereto and in anyway belonging thereto, unto the Grantee, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to warrant and forever defend the Property unto the Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under the Grantor, but not otherwise.

DATED as of July 5, 2022.

“GRANTOR”

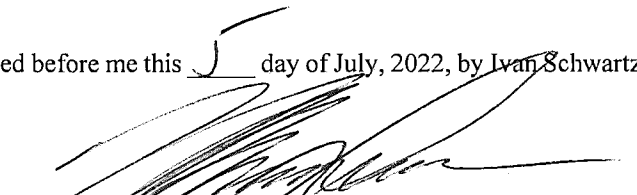
The Gilbert B. Schwartz Trust

By: 

Ivan Schwartz,
Trustee

STATE OF FL)
) ss.
COUNTY OF BREVARD)

The foregoing instrument was acknowledged before me this 5 day of July, 2022, by Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust.



Notary Public *Mark Lewin*

My Commission expires:
12-16-25



MARK LEWIN
Commission # HH 200816
Expires December 16, 2025

EXHIBIT "A"
TO
SPECIAL WARRANTY DEED

[Legal Description]

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6, excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

TD-1000
Confidential Document

This form provides essential market information to the county assessor to ensure accurate, fair and uniform assessments for all property. **This document is not recorded, is kept confidential, and is not available for public inspection.**

This declaration must be completed and signed by either the grantor (seller) or grantee (buyer). Questions 1, 2, 3, and 4 may be completed (prefilled) by a third party, such as a title company or closing agent, familiar with details of the transaction. The signatory should confirm accuracy before signing.

This form is required when conveyance documents are presented for recording. If this form is not completed and submitted, the county assessor may send notice. If the completed and signed form is not returned to the assessor within 30 days of notice, the assessor may impose a penalty of \$25.00 or 0.025% (0.00025) of the sale price, whichever is greater.

Additional information as to the purpose, requirements, and level of confidentiality regarding this form are outlined in Colorado Revised Statutes, sections 39-14-102, 39-5-121.5, and 39-13-102.

1. Physical Address and/or legal description of the real property sold: Please do not use P.O. Box numbers.

1511 East Main Street, Cortez, CO 81321

2. Type of property purchased: Single Family Residential Townhome Condominium Multi-Unit Residential

Commercial Industrial Agricultural Mixed Use Vacant Land Other: _____

3. 07/06/2022
Date of closing: mm/dd/yyyy

09/17/2021
Date of contract: mm/dd/yyyy

4. \$450,000.00
Total Sale Price: include all real and personal property

\$
Contracted price (if different from final sale price)

5. List any personal property included in the transaction that materially impacts the total sale price. Personal property may include, but is not limited to: machinery or equipment, vehicles, exceptional appliances, electronic devices, furniture, or anything that would not typically transfer with the real property (attach additional pages if necessary).

<u>Description</u>	<u>Approximate Value</u>
_____	\$ _____
_____	\$ _____
_____	\$ _____
Personal Property Total:	\$ _____

If no personal property is listed, the entire purchase price will be assumed to be for the real property.

6. Did the total sale price include a trade or exchange of additional real or personal property? No Yes

If Yes, approximate value of the goods or services as of the date of closing: \$ _____

If Yes, does this transaction involve a trade under IRS Code Section 1031? No Yes

7. Was 100% interest in the real property purchased? No Yes

Mark "No" if only a partial interest is being purchased. If No, interest purchased _____%

8. Is this a transaction between related parties or acquaintances? This includes persons connected by blood or marriage, or business affiliates, or those acquainted prior to the transaction. No Yes

9. Please mark type of sale: Builder (new construction) Public (MLS or Broker Representation)
 Private (For Sale By Owner) Other (describe) _____

10. Mark any of the following that apply to the condition of the improvements at the time of purchase.
 New Excellent Good Average Fair Poor Salvage

11. Type of financing: (mark all that apply)
 None (all cash or cash equivalent)
 New/Mortgage Lender (government-backed or conventional bank loan)
 New/Private Third Party (nonconventional lender, e.g. relative, friend, or acquaintance)
 Seller (buyer obtained a mortgage directly from the seller)
 Assumed (buyer assumed an existing mortgage)
 Combination or Other: Please explain: _____

12. Total amount financed: \$ _____

13. Terms:
 Variable; Starting interest rate: _____ % Fixed; Interest rate: _____
Length of time: _____ years
Balloon payment? No Yes If yes, amount \$ _____ Due Date: _____

14. Mark any that apply: Seller assisted down payments Seller concessions Special terms or financing
If marked, please specify terms: _____

15. Was an independent appraisal obtained in conjunction with this transaction? No Yes

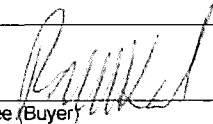
For properties OTHER THAN Residential (Residential is defined as: single family detached, townhomes, apartments and condominiums), please complete questions 16-18, if applicable.

16. Did the purchase price include a franchise or license fee? No Yes
If yes, franchise or license fee value \$ _____

17. Did the purchase price involve an installment land contract? No Yes
If yes, date of contract: _____

18. If this is vacant land, was an on-site inspection conducted by the buyer prior to the closing? No Yes

Please include any additional information concerning the transaction and price paid that you feel is important:

x 
Signature of Grantee (Buyer)

7-5-2022
Date: mm/dd/yyyy

Quick N Clean CO-03, LLC
Richard Karle, Manager
Printed name of Grantee

Signed in counterpart
Signature of Grantor (Seller)

Date: mm/dd/yyyy

Ivan Schwartz
Printed name of Grantor

9. Please mark type of sale: Builder (new construction) Public (MLS or Broker Representation)
 Private (For Sale By Owner) Other (describe) _____

10. Mark any of the following that apply to the condition of the improvements at the time of purchase.
 New Excellent Good Average Fair Poor Salvage

11. Type of financing: (mark all that apply)
 None (all cash or cash equivalent)
 New/Mortgage Lender (government-backed or conventional bank loan)
 New/Private Third Party (nonconventional lender, e.g. relative, friend, or acquaintance)
 Seller (buyer obtained a mortgage directly from the seller)
 Assumed (buyer assumed an existing mortgage)
 Combination or Other: Please explain: _____

12. Total amount financed: \$ _____

13. Terms:
 Variable; Starting interest rate: _____ % Fixed; Interest rate: _____
Length of time: _____ years
Balloon payment? No Yes If yes, amount \$ _____ Due Date: _____

14. Mark any that apply: Seller assisted down payments Seller concessions Special terms or financing
If marked, please specify terms: _____

15. Was an independent appraisal obtained in conjunction with this transaction? No Yes

For properties OTHER THAN Residential (Residential is defined as: single family detached, townhomes, apartments and condominiums), please complete questions 16-18, if applicable.

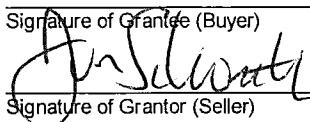
16. Did the purchase price include a franchise or license fee? No Yes
If yes, franchise or license fee value \$ _____

17. Did the purchase price involve an installment land contract? No Yes
If yes, date of contract: _____

18. If this is vacant land, was an on-site inspection conducted by the buyer prior to the closing? No Yes

Please include any additional information concerning the transaction and price paid that you feel is important:

Signed in counterpart

Signature of Grantee (Buyer) 	Date: mm/dd/yyyy 7/5/22	Richard Karle Printed name of Grantee
Signature of Grantor (Seller)	Date: mm/dd/yyyy	Ivan Schwartz Printed name of Grantor

Buyer Mailing Address: Future correspondence (tax bills, property valuations, etc.) regarding this property should be mailed to:

7291 East Adobe Drive, Ste 115	Scottsdale	Arizona	85255
Address (mailing)	City	State	Zip Code
(480)444-8060	richard@upperimage.net		
Daytime Phone	Email Address		

Contact information is kept confidential, for County Assessor and Treasurer use only, to contact buyer with questions regarding this form, property valuation, or property tax information.



Region 5 Levels of Traffic Assessments

Section 2.3(5) of The State Highway Access Code (SHAC) specifies the thresholds and general requirements of a traffic impact study (TIS). A TIS is required when the proposed land use will generate a Design Hour Volume (DHV) of 100 vehicles or more, or when considered necessary or desirable by CDOT. However, the SHAC provides little detail about traffic assessment requirements for projects generating less than 100 vehicles per hour. This document describes the three levels of traffic assessments required for access permitting in CDOT Region 5. The permit applicant should contact CDOT R5 access permitting (970-385-3626) to determine the appropriate level of traffic evaluation and the specific requirements for each individual application.

Level One – Trip Generation Assessment

The purpose of a Level One Assessment is to document the project trip generation and to confirm that auxiliary turn lanes are not required at the proposed access point.

A Level One Assessment is required for all projects that generate less than ten trips in the peak hour. A single-family home usually generates one trip in the peak hour so a project with nine or fewer homes would fit in this category. It is unlikely that any commercial or industrial development would fit in this category.

The Level One Assessment shall include the following:

- Description of project size and location
- Trip Generation Calculations per the Institute of Transportation Engineers Trip Generation document (latest version)
- A Professional Engineers seal on the calculation is preferred, but not required.

Level Two Auxiliary Turn Lane Assessment

The purpose of a Level Two Assessment is to document the project trip generation and to determine auxiliary turn lane requirements at the proposed access points. The results of this assessment may reveal that no turn lanes are needed. The assessment may also reveal that a Traffic Impact Study is necessary (see Level Three), as determined by CDOT. It is strongly recommended that all assumptions be confirmed with the CDOT traffic engineer prior to completing the assessment.

A Level Two Assessment shall be required for all projects that generate between 10 and 99 trips in the peak hour. It shall include the following:

- Description of project size and location, include site & location maps
- Trip Generation Calculations per the ITE Trip Generation document (latest version)
- Diagram or table showing existing driveways and side roads within 1000 feet from the access
- A detailed statement of directional distribution assumptions for project traffic, include all correspondence; phone, emails etc., with local authorities concerning directional distribution.
- A detailed statement of the 20-year background traffic growth calculation (source of existing data, growth rate, factors, etc)
- Diagram or table showing am & pm peak-hour traffic volumes for:



COLORADO
Department of
Transportation

Short Term Traffic – existing, site generated, & total

Long Term Traffic (20 Year) – background, site generated, & total

- Recommendations for auxiliary turn lanes per the SHAC
- Entering site distance at proposed access, include relative photos
- A Professional Engineer's seal and signature is required

Level Three Traffic Impact Study

The purpose of a TIS is to understand the full traffic impact of the proposed development, and to identify traffic mitigation measures. A TIS is required when the proposed land use will generate a DHV of 100 vehicles or more, or when considered necessary or desirable by CDOT. Section 2.3(5) of the SHAC specifies the thresholds and general requirements of a TIS. A Professional Engineers seal is required. It is strongly recommended that all assumptions be confirmed with the CDOT traffic engineer prior to completing the study.



Consulting Services, LLC.

Project Narrative
Quick N Clean
1511 Main Street
Cortez, CO

Summary

This project involves the development of an express car wash with associated vacuum and pay station canopies located at 1511 Main Street Cortez, CO. The property is currently zoned C.



Description of Property – Current Conditions

The property is currently vacant with an internal access drive on the eastern edge of the site with an access driveway onto Main Street.

Proposed Improvements

Quick N Clean Car Wash (QNC) proposes to develop the existing, vacant parcel, into an express car wash with associated vacuums and pay station canopies. The tunnel will be fully enclosed with roll up doors being installed on both ends of the tunnel.

In addition, vacuum canopies, security lighting, and landscaping will be installed to City standards. A well-defined entrance to the tunnel will included 3 ATM style payment stations that will help direct customers to the beginning of the tunnel. Once the customer exits the tunnel, they will have the opportunity to vacuum their vehicle or leave the site. The proposed QNC will operate from 7 am –7p.m seven days a week.

Relationship to Surrounding Properties

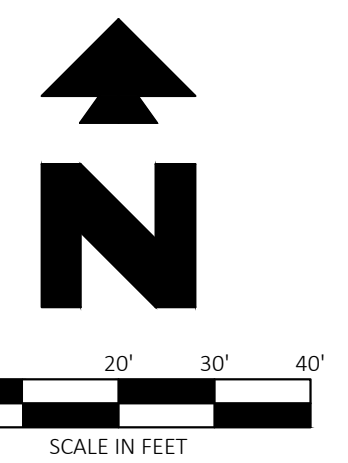
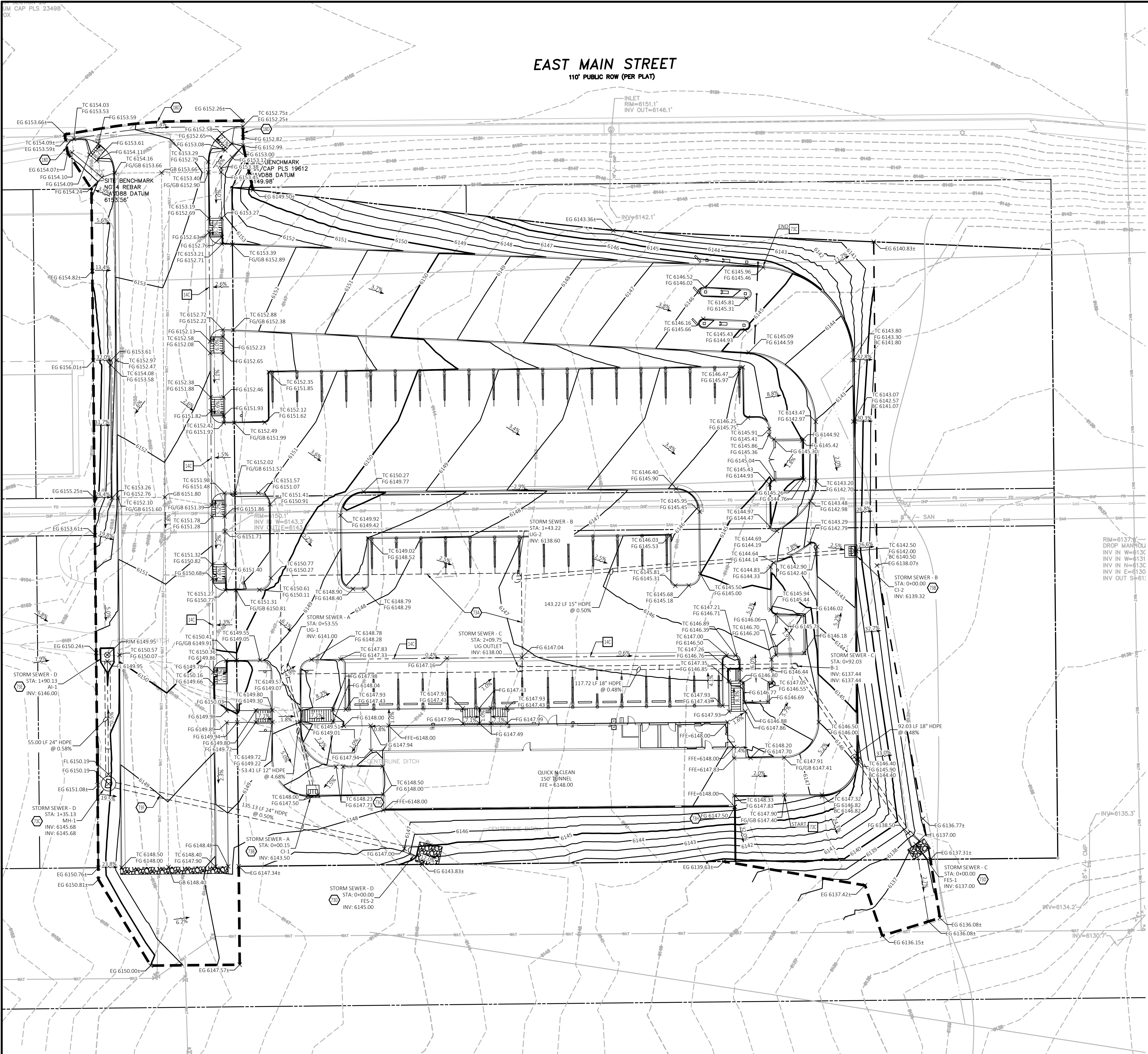
The property to the East and South is currently vacant. The property to west is an existing four tenant strip mall. The property to the North is a State Farm Insurance business as well as Safeway.



Property Contacts

Richard Karle 480-444-8060 Richard@upperimage.net 7291 East Adobe Drive Suite 115 Scottsdale, AZ 85255

Michael Scarbrough 602-684-5210 Mike@3K1.us 11811 North Tatum Boulevard Suite 1051 Phoenix, AZ 85028



EXISTING LEGEND

- LEGEND**
- LIGHT POLE
 - FIRE HYDRANT
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - WATER VALVE
 - GAS VALVE
 - WATER METER
 - OVERHEAD UTILITY LINES
 - UNDERGROUND GAS LINES
 - UNDERGROUND SANITARY SEWER LINES
 - UNDERGROUND STORM SEWER LINES
 - UNDERGROUND FIBER OPTIC LINE
 - UNDERGROUND WATER LINES
 - (A) FND PIN/CAP PLS 19612
 - (B) FND PIN/CAP PLS ILLEGIBLE
 - (C) FND NO 4 REBAR
 - (D) SET PIN/CAP PLS 14142

- ZONE AE LIMITS BY ELEVATIONS
- ZONE AE LIMITS BY SCALING GRAPHIC

PROPOSED LEGEND

- XXX PROPERTY LINE/RIGHT OF WAY LINE
- CONTOUR ELEVATIONS
- GRADE BREAK
- FLOWLINE
- STORM DRAIN
- LIMITS OF OFF-SITE GRADING
- LIMITS OF ON-SITE GRADING
- x XX.XX SPOT ELEVATIONS: BC = BOTTOM OF CURB
- EG = EXISTING GRADE
- FG = FINISHED GRADE
- FL = FLOW LINE
- GB = GRADE BREAK
- TC = TOP OF CURB

GENERAL GRADING NOTES

- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- B. CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE PROJECT CONTRACT REQUIREMENTS FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- C. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- E. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS OF THE LOCAL AUTHORITIES: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A (REF. C9.1 - DETAIL SHEET). ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING NOTES

- 18D MATCH EXISTING PAVEMENT ELEVATIONS
- 73A UNDERGROUND DETENTION SYSTEM: ADS SC-310 STORMTECH SYSTEM WITH MIN. INSTALLED VOLUME OF 5000 CF
- 73B 4" COMBINATION INLET
- 73C 4" STORM MANHOLE
- 73D FLARED END SECTION WITH RIP RAP
- 73E AREA INLET
- 73F CONTRACTOR TO VERIFY CROSSING BETWEEN STORM AND WATER MAIN
- 73G 3' CURB CUT FOR LANDSCAPE DRAINAGE RELIEF
- 73H 6" SLAB REVEAL

GRADING DETAILS (REF. DETAIL SHEETS)

- 14C CONCRETE SWALE IN PAVED AREA (REF. SHEET C9 - DETAIL SHEET)
- 73C REINFORCED REVERSED CURB (REF. SHEET C9.1 - DETAIL SHEET)

FLOOD ZONE INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 08083C0802C, DATED 09/26/2008, THIS PROPERTY IS IN FLOOD ZONE AE. THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.

Cut/Fill Summary

Name	Cut	Fill	811	20' Area	Dist	1111	Met
22270-000000	1.100	1.100	10000.00	20.00	20.00	10000.00	20.00
20000.00	1.100	1.100	10000.00	20.00	20.00	10000.00	20.00



CEI ENGINEERING ASSOCIATES, INC.
710 W Pinedale AVE
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8100



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, COLORADO, 81321

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	4/13/2023
REVISION	REV-2

GRADING PLAN
SHEET TITLE
SHEET NUMBER

C5

DRAWING LOCATION: P:\32372\DRAWINGS\DESIGN\WORKING\32372-GR.DWG. SAVED BY: JCOLLIER

REVISION		
NO.	DESCRIPTION	DATE

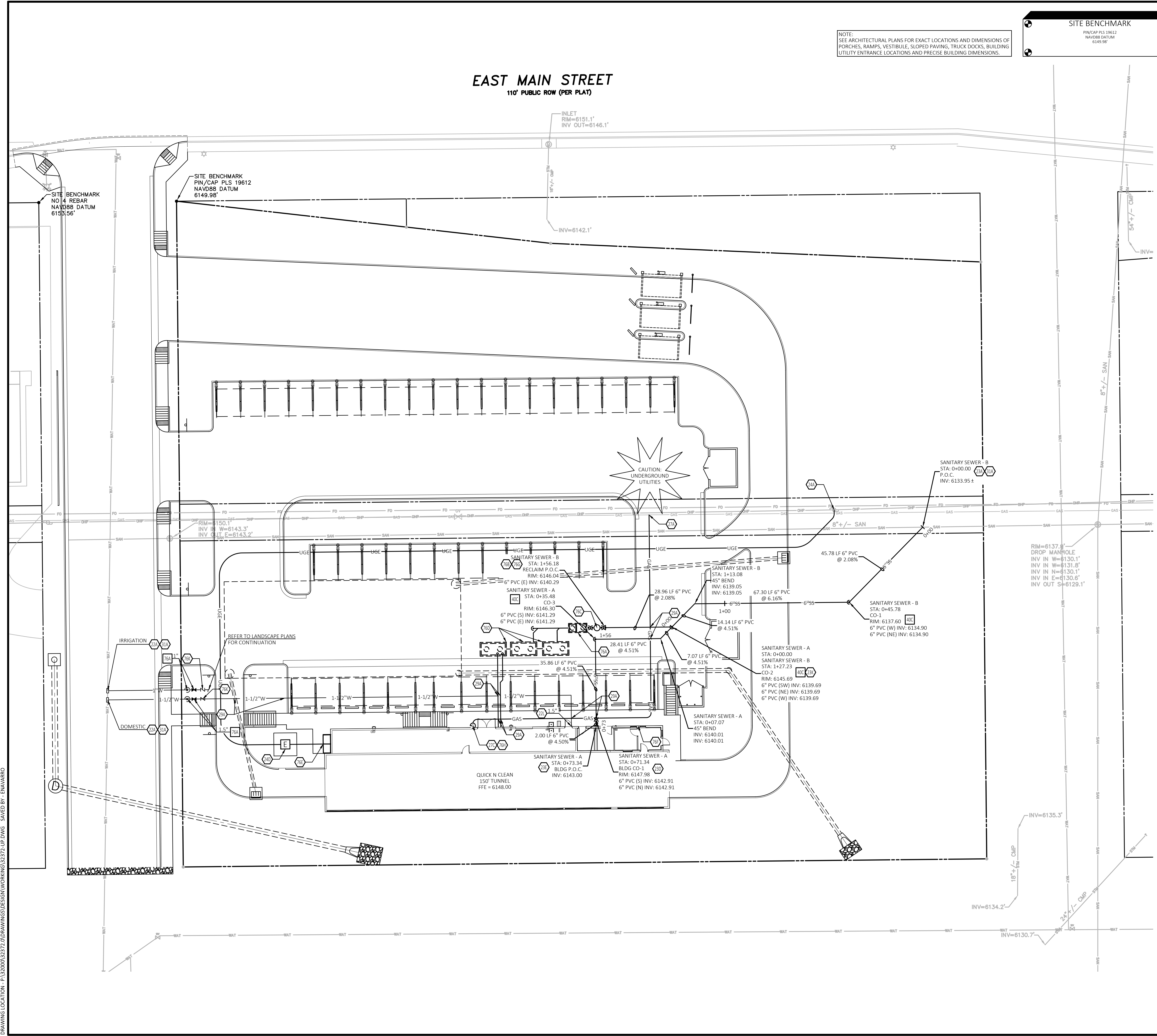
QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, COLORADO, 81321

FOR REVIEW ONLY
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PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	4/25/2023
REVISION	REV-2

UTILITY PLAN
SHEET TITLE
SHEET NUMBER

C8



- EXISTING LEGEND**
- LIGHT POLE
 - FIRE HYDRANT
 - UTILITY POLE
 - SANITARY SEWER MAHOLE
 - STORM SEWER MANHOLE
 - WATER VALVE
 - GAS VALVE
 - WATER METER
 - OVERHEAD UTILITY LINES
 - GAS - UNDERGROUND GAS LINES
 - SAN - UNDERGROUND SANITARY SEWER LINES
 - STM - UNDERGROUND STORM SEWER LINES
 - FO - UNDERGROUND FIBER OPTIC LINE
 - WAT - UNDERGROUND WATER LINES
 - (A) FND PIN/CAP PLS 19612
 - (B) FND PIN/CAP PLS ILLEGIBLE
 - (C) FND NO 4 REBAR
 - (D) SET PIN/CAP PLS 14142
- ZONE AE LIMITS BY ELEVATIONS
— ZONE AE LIMITS BY SCALING GRAPHIC

- PROPOSED LEGEND**
- PROPERTY LINE/RIGHT OF WAY LINE
 - STORM DRAIN
 - GAS SERVICE
 - UNDERGROUND ELECTRIC SERVICE
 - UGT - UNDERGROUND TELEPHONE SERVICE
 - "X"SS - SANITARY SEWER SERVICE
 - "X"W - WATER SERVICE

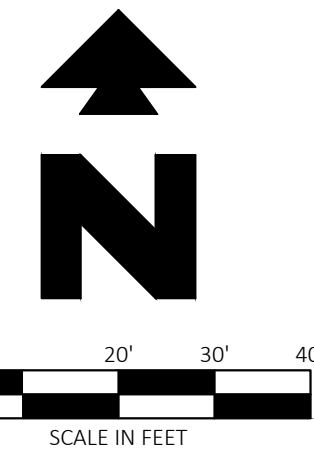
- GENERAL UTILITY NOTES**
- A. ALL WATER LINES 2" AND SMALLER SHALL BE TYPE K-COPPER, ALL WATER LINES 4" AND LARGER SHALL BE PVC AWWA C900 (DR14, RATED AT 200 PSI) OR APPROVE EQUAL. ALL WATER LINES SHALL HAVE 4'-0" MIN. COVER.
 - B. ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 12" MIN. COVER.
 - C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 - G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31C. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

- UTILITY NOTES**
- 22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
 - 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SHEET THIS SHEET).
 - 23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
 - 23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT.
 - 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
 - 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
 - 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
 - 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
 - 24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (CONTRACTOR TO COORDINATE WITH ELECTRIC PROVIDER).
 - 24D PROPOSED ELECTRIC TRANSFORMER.
 - 27A PROPOSED POINT OF CONNECTION FOR GAS SERVICE (CONTRACTOR TO COORDINATE WITH GAS PROVIDER).
 - 27C PROPOSED GAS METER.
 - 29A MAINTAIN MIN. 18" VERTICAL SEPARATION.
 - 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING ASSOCIATES, INC. IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
 - 76A SAND OIL SEPARATOR (REF. PLUMBING PLANS).
 - 76B REF. PLUMBING PLANS FOR CONTINUATION.
 - 76C SAMPLE PORT (REF. ARCH. PLANS).
 - 76D RECLAIMED SYSTEM (REF. PLUMBING PLANS).
 - 76E UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH. PLANS) (REF. ELECTRICAL SCHEMATIC PLANS FOR ELECTRICAL SERVICE CONSTRUCTION INFORMATION).
 - 76F UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH. PLANS) (REF. TELEPHONE SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION).
 - 76G POINT OF CONNECTION TO BE VERIFIED BETWEEN CIVIL AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF SANITARY SEWER SYSTEM.
 - 76H UNDERGROUND GAS SERVICE ENTRY (PER ARCH. PLANS) (REF. SCHEMATIC PLANS FOR GAS SERVICE CONSTRUCTION INFORMATION).
 - 76K CITY OF CORTEZ APPROVED BACKFLOW PREVENTER.

- UTILITY DETAILS (REF. DETAIL SHEETS)**
- 40C SANITARY SEWER CLEAN-OUT (REF. SHEET C9.1, CONSTRUCTION DETAILS).
 - 76A WATER METER AND PIT PER MONTEZUMA WATER COMPANY DETAIL (REF. SHEET C9.3, CONSTRUCTION DETAILS).

DRAWING LOCATION - P:\232000\32372\DRAWINGS\DESIGN\WORKING\32372-LUP-DWG - SAVED BY - ENVARIO

EAST MAIN STREET
110' PUBLIC ROW (PER PLAT)



CEI ENGINEERING ASSOCIATES, INC.
710 W Pinedale Ave
Fresno, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT:
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
RAMPS, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS AND
PRECISE BUILDING DIMENSIONS.

PROJECT INFORMATION	
PROJECT NAME:	QUICK N CLEAN
PROJECT ADDRESS:	1511 EAST MAIN STREET, CORTEZ, COLORADO
PROJECT DESCRIPTION:	DEVELOPMENT OF A FREE-STANDING EXPRESS CAR WASH BUILDING WITH ASSOCIATED VACUUM AND PAY STATION CANOPIES.
SITE INFORMATION	
EXISTING PROPERTY:	2.19± AC. / 95,191± S.F.
PROPOSED R/W DEDICATION:	N/A
PROPOSED PROPERTY:	2.19± AC. / 95,191± S.F.
BUILDING AREA:	5,380± S.F.
LANDSCAPE AREA (ONSITE):	0.94± AC. / 40,992± S.F.
SITE LANDSCAPE RATIO:	43.06% (10% REQUIRED)
ZONING INFORMATION	
JURISDICTION:	CITY OF CORTEZ, COLORADO
EXISTING ZONING:	C-COMMERCIAL HIGHWAY DISTRICT
PROPOSED ZONING:	C-COMMERCIAL HIGHWAY DISTRICT
MAX. BUILDING HEIGHT ALLOWED:	50'-0"
PROPOSED BUILDING HEIGHT:	28'-9"
SETBACKS:	BUILDING: FRONT YARD: 10 FT SIDE YARD: 0 FT REAR YARD: 7 FT LANDSCAPE: FRONT YARD: 0 FT SIDE YARD: 0 FT REAR YARD: 0 FT
PARKING REQUIREMENTS	
PARKING REQUIRED:	CAR WASH: 1 SPACE PER 300 SQ. FT.
PARKING PROVIDED:	STANDARD: 43 ACCESSIBLE: 2 TOTAL PARKING: 45
BICYCLE PARKING REQUIRED:	TBD
BICYCLE PARKING PROVIDED:	TBD

EXISTING LEGEND	
	LIGHT POLE
	FIRE HYDRANT
	UTILITY POLE
	SANITARY SEWER MAHOLE
	STORM SEWER MAHOLE
	WATER VALVE
	GAS VALVE
	WATER METER
	OVERHEAD UTILITY LINES
	UNDERGROUND GAS LINES
	UNDERGROUND SANITARY SEWER LINES
	UNDERGROUND STORM SEWER LINES
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND WATER LINES
	(A) FND PIN/CAP PLS 19612
	(B) FND PIN/CAP PLS ILLEGIBLE
	(C) FND NO 4 REBAR
	(D) SET PIN/CAP PLS 14142
	ZONE AE LIMITS BY ELEVATIONS
	ZONE AE LIMITS BY SCALING GRAPHIC
AE CROSS SECTIONS SCALED FROM FIRMETTE OVERLAY	

PROPOSED LEGEND	
	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B (REF. SHEET C9 - DETAIL SHEET).
	BUILDING CONTROL POINT
	PROPOSED PARKING SPACES
	PEDESTRIAN PATH OF TRAVEL

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F (REF. SHEET C9 - DETAIL SHEET).

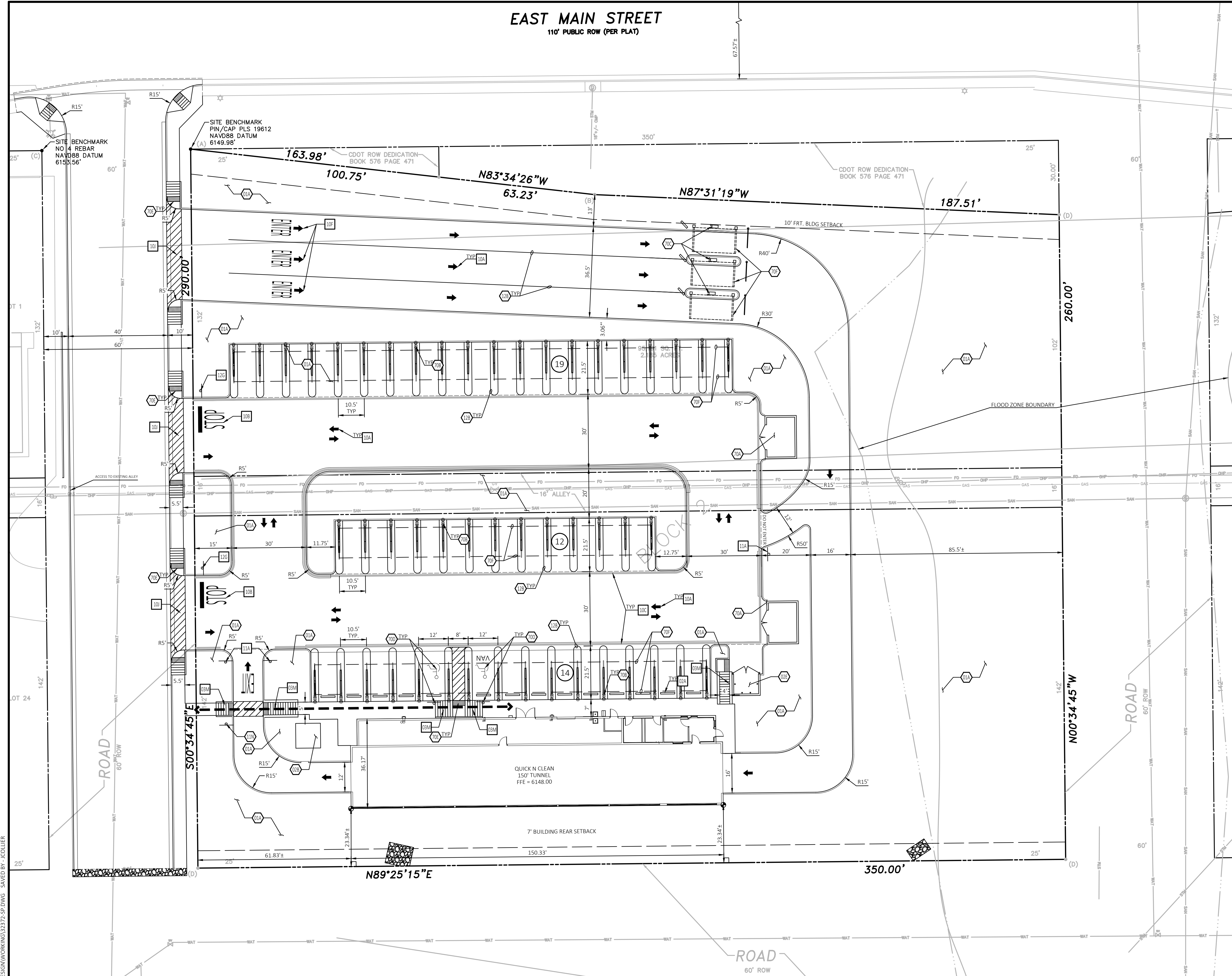
QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, COLORADO, 81321

FOR REVIEW ONLY
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PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	4/24/2023
REVISION	REV-2

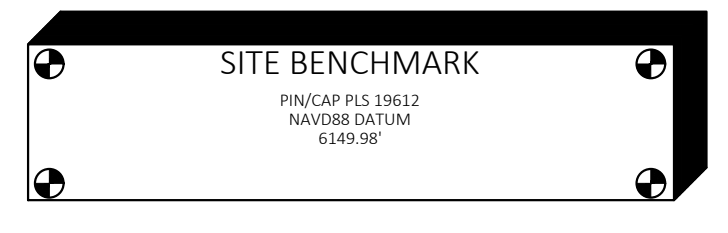
SITE PLAN
SHEET TITLE
SHEET NUMBER

C3

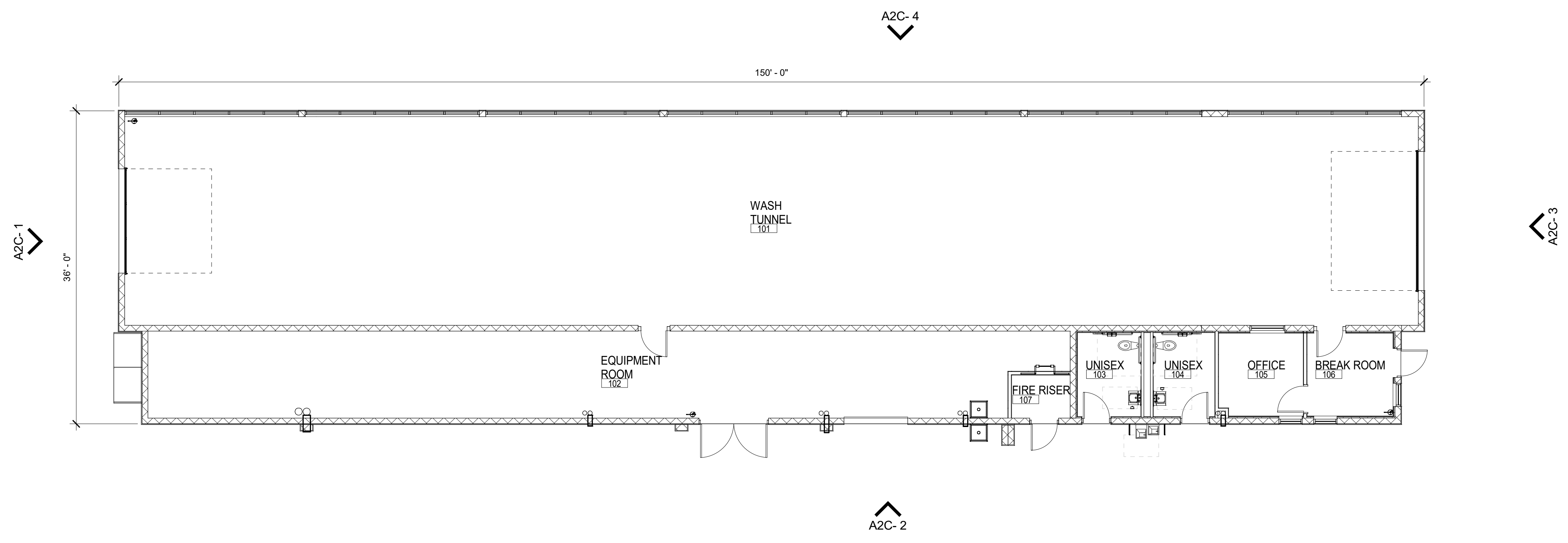


SITE DETAILS	
02A	PRECAST CONCRETE WHEEL STOP (REF. SHEET C9 - DETAIL SHEET).
03M	WHEELCHAIR RAMP IN SIDEWALK (REF. SHEET C9 - DETAIL SHEET).
10A	TRAFFIC FLOW ARROW (REF. SHEET C9 - DETAIL SHEET).
10B	STOP BAR (REF. SHEET C9 - DETAIL SHEET).
10C	FIRE LANE MARKING (REF. SHEET C9 - DETAIL SHEET).
10F	ENTER PAVEMENT MARKING WITH ARROW (REF. SHEET C9 - DETAIL SHEET).
10G	EXIT PAVEMENT MARKING WITH ARROW (REF. SHEET C9 - DETAIL SHEET).
10I	CROSSWALK MARKING (REF. SHEET C9 - DETAIL SHEET).
11A	DO NOT ENTER SIGN (REF. SHEET C9 - DETAIL SHEET).
11N	PEDESTRIAN CROSSING SIGN (REF. SHEET C9 - DETAIL SHEET).
12G	STOP SIGN (REF. SHEET C9 - DETAIL SHEET).

SITE NOTES	
01A	SEEDED GREEN AREA.
02B	TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
02E	TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
12B	4-INCH TRAFFIC YELLOW ALIGNMENT STRIPES (TYP.).
70A	"VACUTECH" VACUUM ENCLOSURE; REF. ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
70B	"VACUTECH" VACUUM; REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS
70C	PAY STATION (REF ARCH. PLANS.)
70D	ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH. PLANS)
70E	TWO (2) FOOT DETECTABLE WARNING
70F	"VACUTECH" SHADE CLOTH CANOPY; REF. ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
70G	ROLL BACK CURB SEGMENT TO RETAIN VEHICULAR ACCESS FOR ALLEY (PER CITY OF CORTEZ STANDARDS)

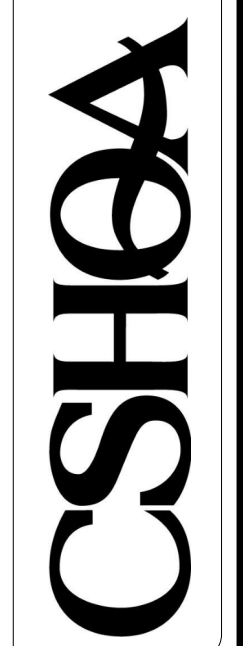


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1 FLOOR PLAN
 1/8" = 1'-0"

QUICK N CLEAN CAR WASH
 1511 EAST MAIN STREET
 CORTEZ, CO 81321



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 DENVER, CO 80222
 (303) 962-9764
 www.cshoa.com

JESSE GOLDMAN, ARCHITECT
 2686 S COLORADO BLVD, SUITE 525
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 (303) 962-9764

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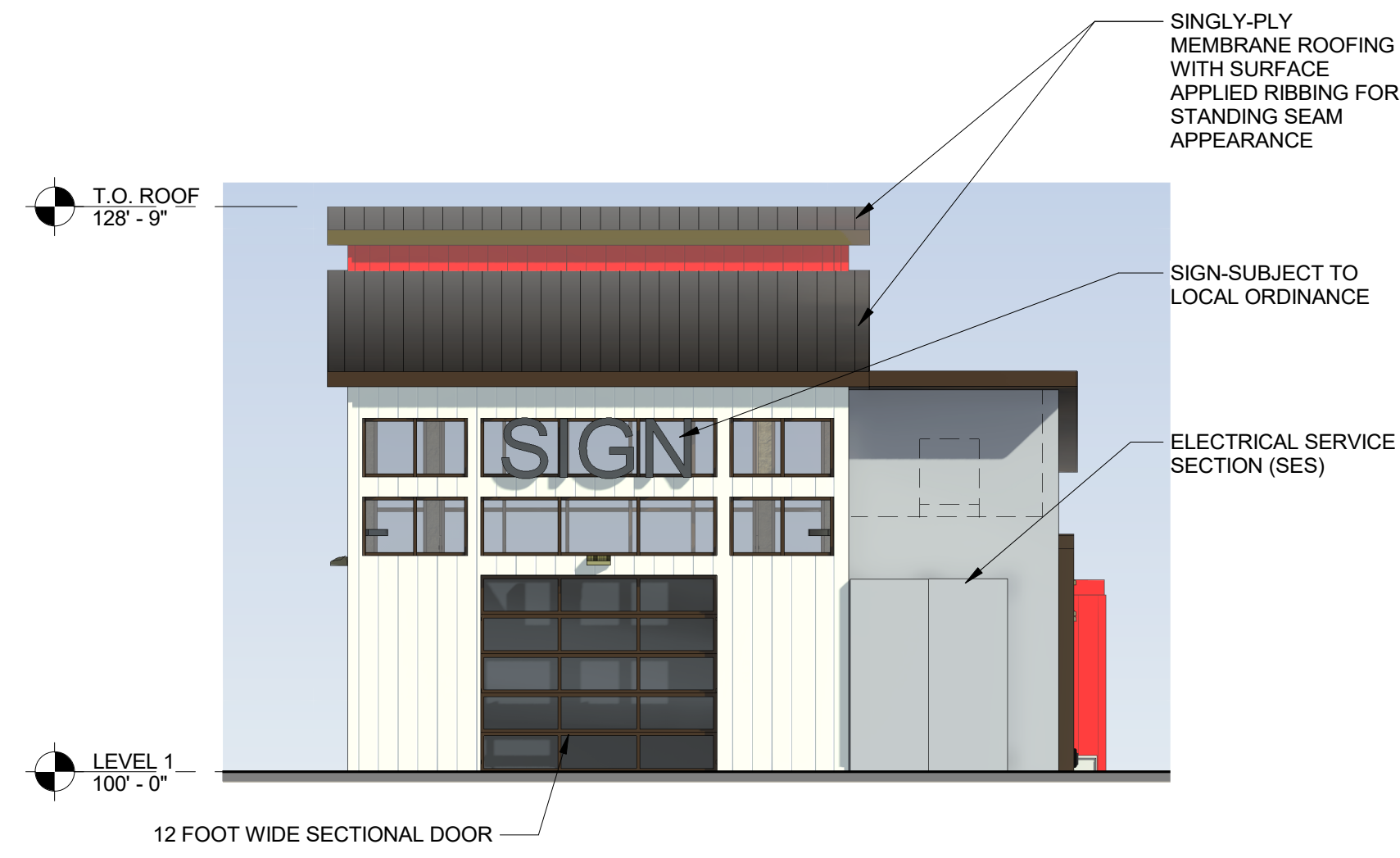
**SCHEMATIC
 DESIGN**

PROJECT 22075.000	DATE 04-29-2022
DRAWN WRS	CHECKED MES

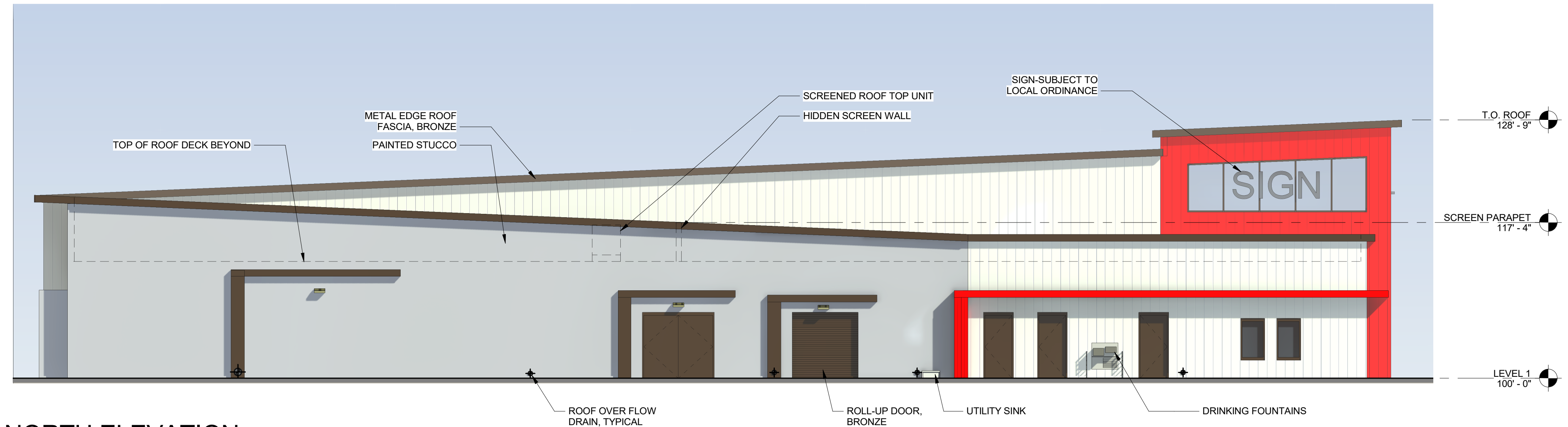
REVISED

SHEET TITLE
FLOOR PLAN

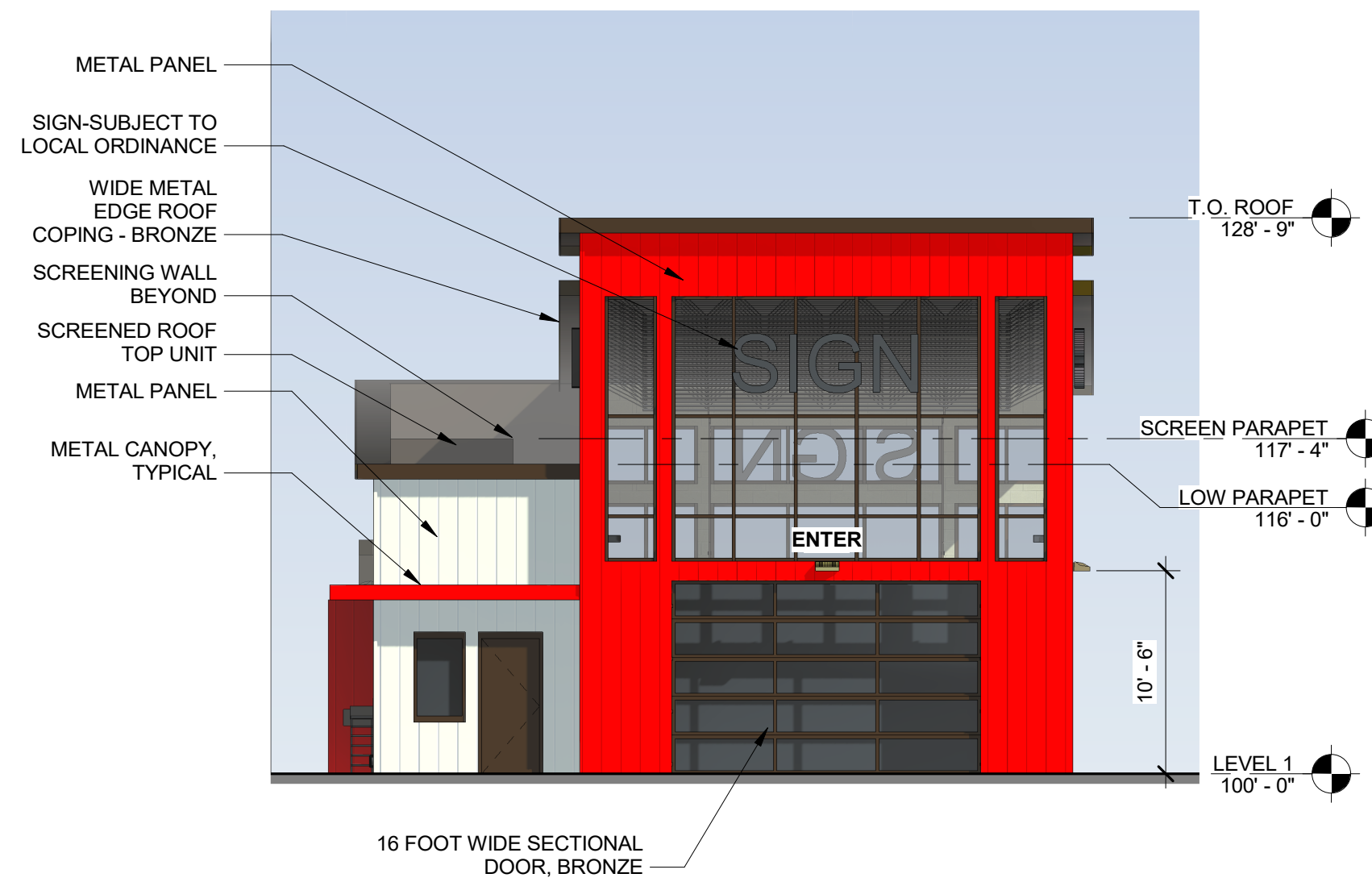
SHEET
A1C
 ORIGINAL SHEET SIZE
 24" x 36"



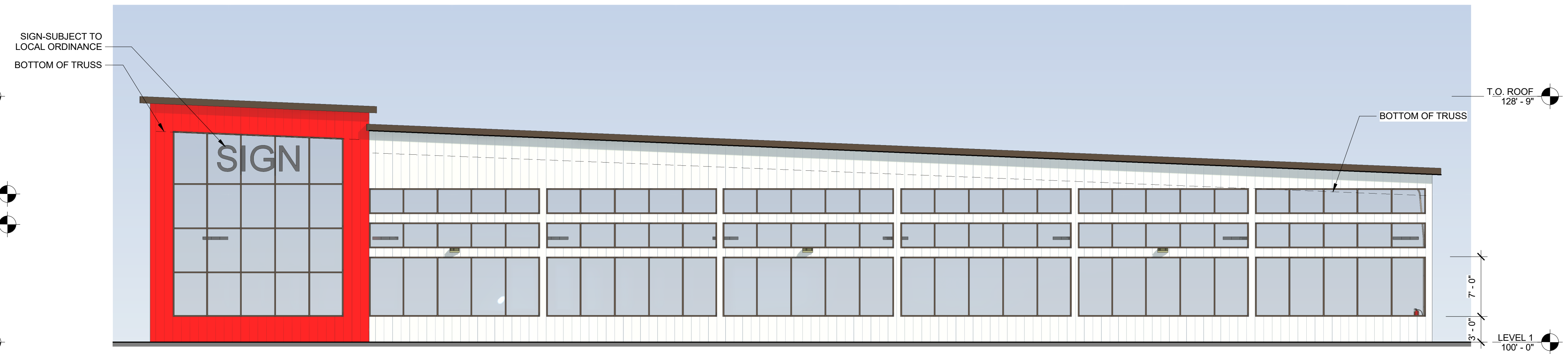
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"


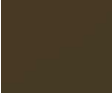




3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIALS AND FINISHES

	STUCCO FIELD COLOR	BENJAMIN MOORE - SMOKE EMBERS 1466
	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE

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(303) 962-9164

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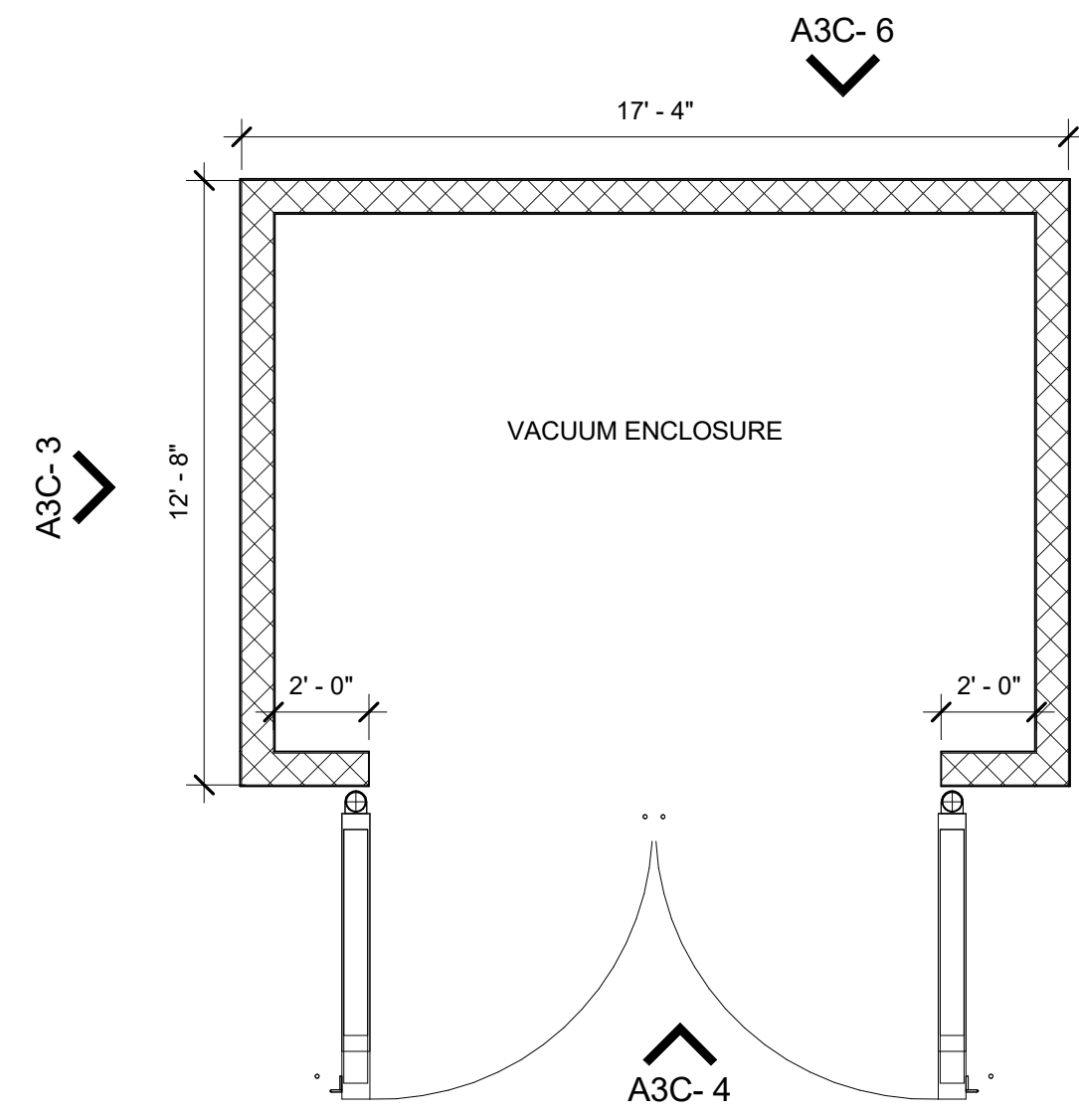
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DESIGN**

PROJECT 22075.000	DATE 04-29-2022
DRAWN RJ	CHECKED MES

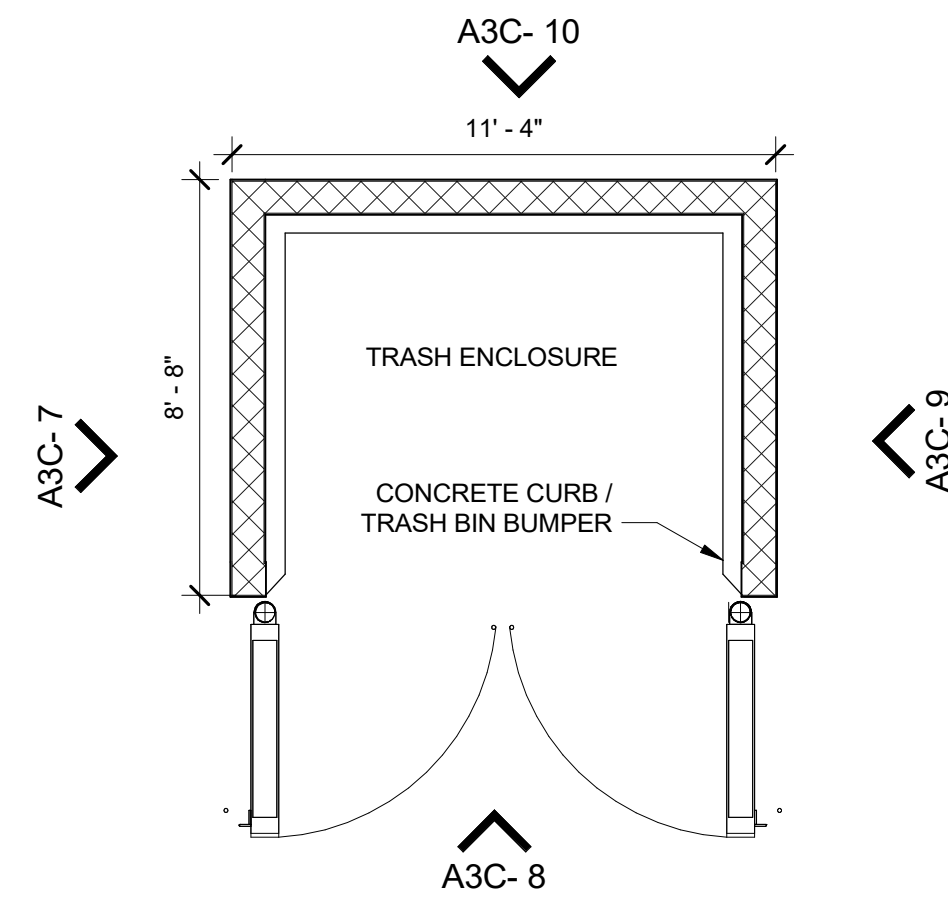
REVISED

SHEET TITLE
**BUILDING
ELEVATIONS**

SHEET
A2C
ORIGINAL SHEET SIZE
24" x 36"


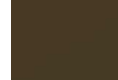




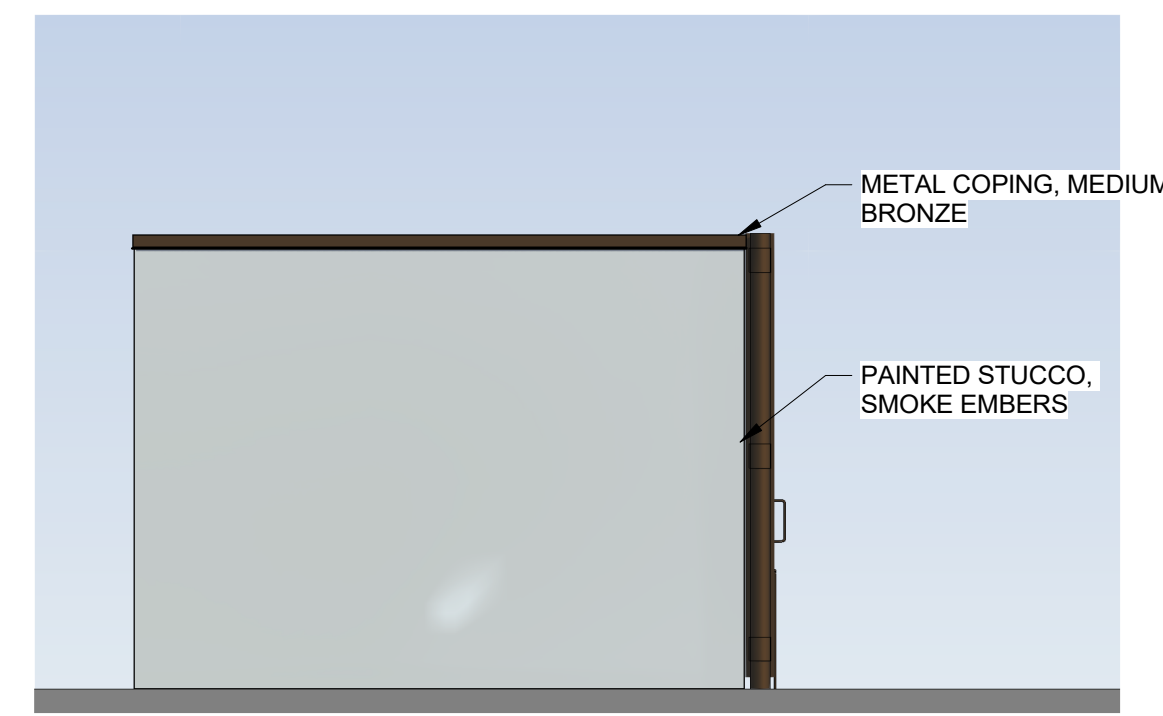
1 VACUUM ENCLOSURE PLAN
1/4" = 1'-0"



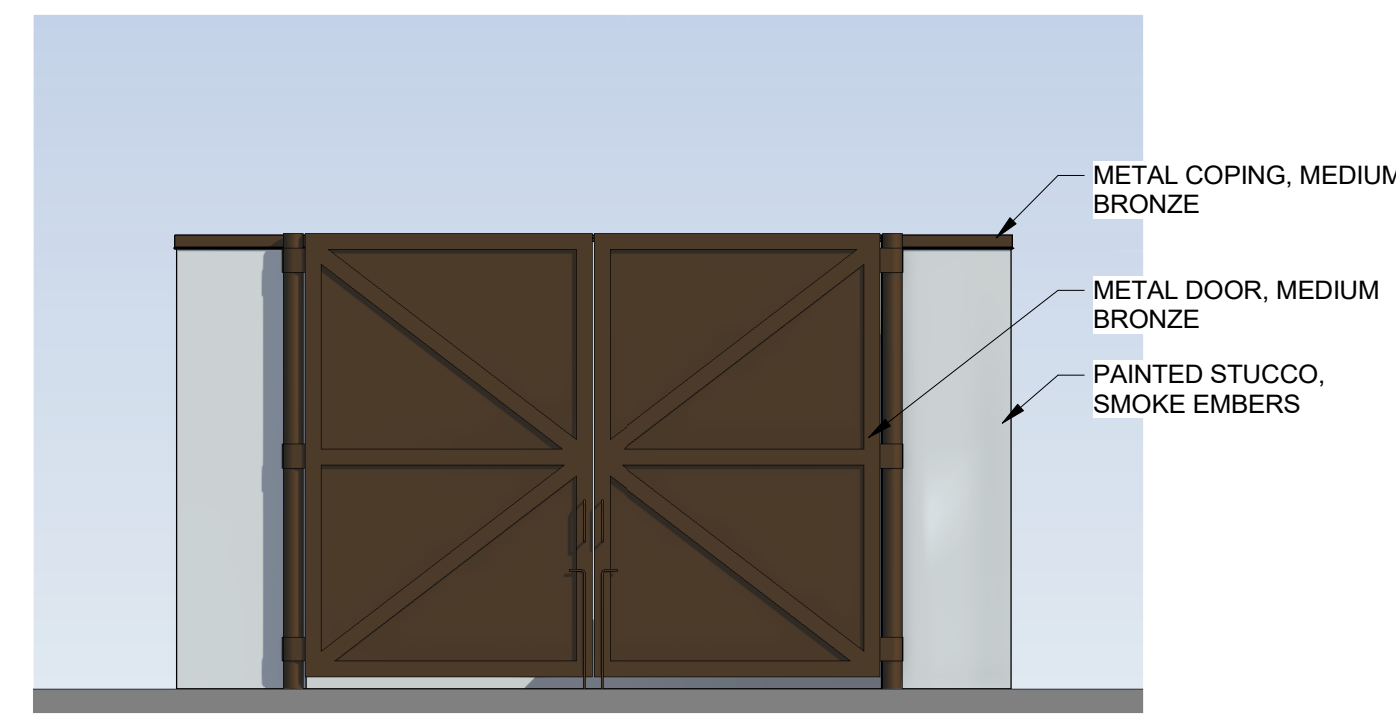
2 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

MATERIALS AND FINISHES

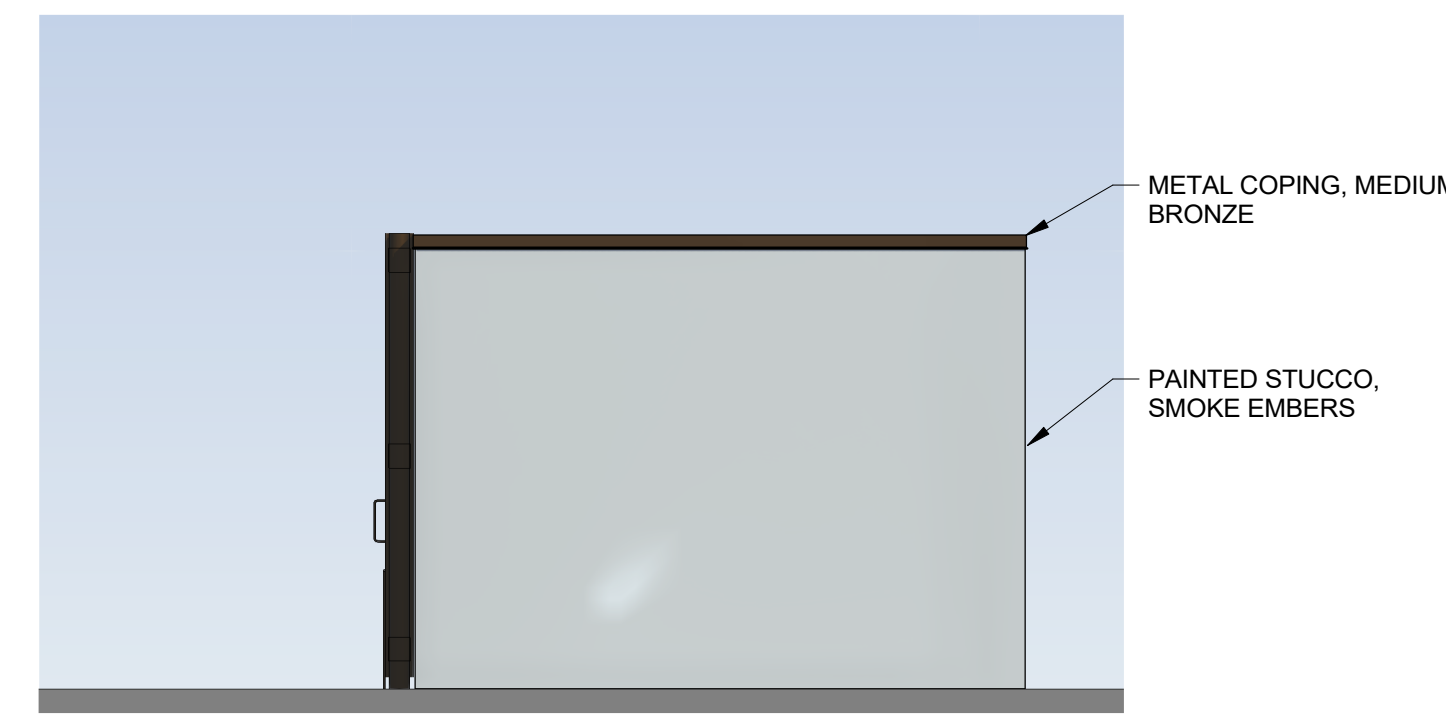
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	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE



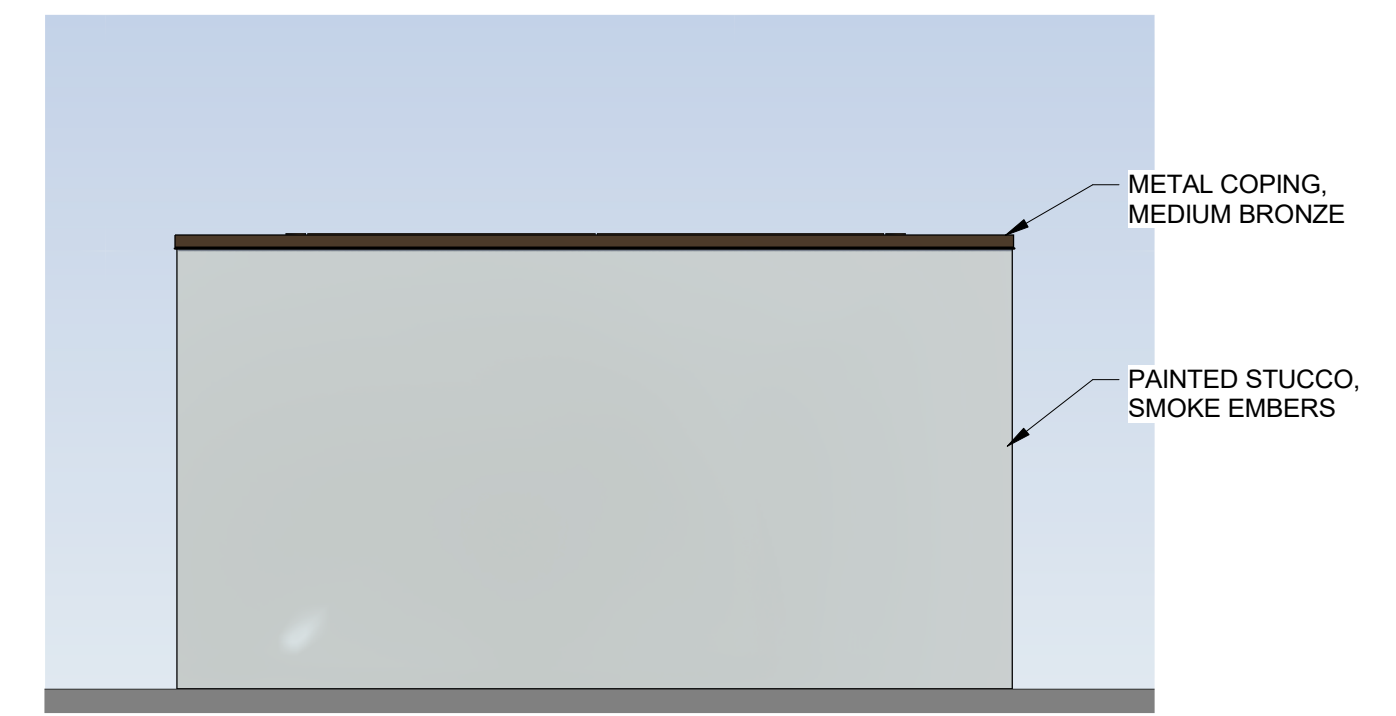
3 VACUUM ENCLOSURE LEFT ELEVATION
1/4" = 1'-0"



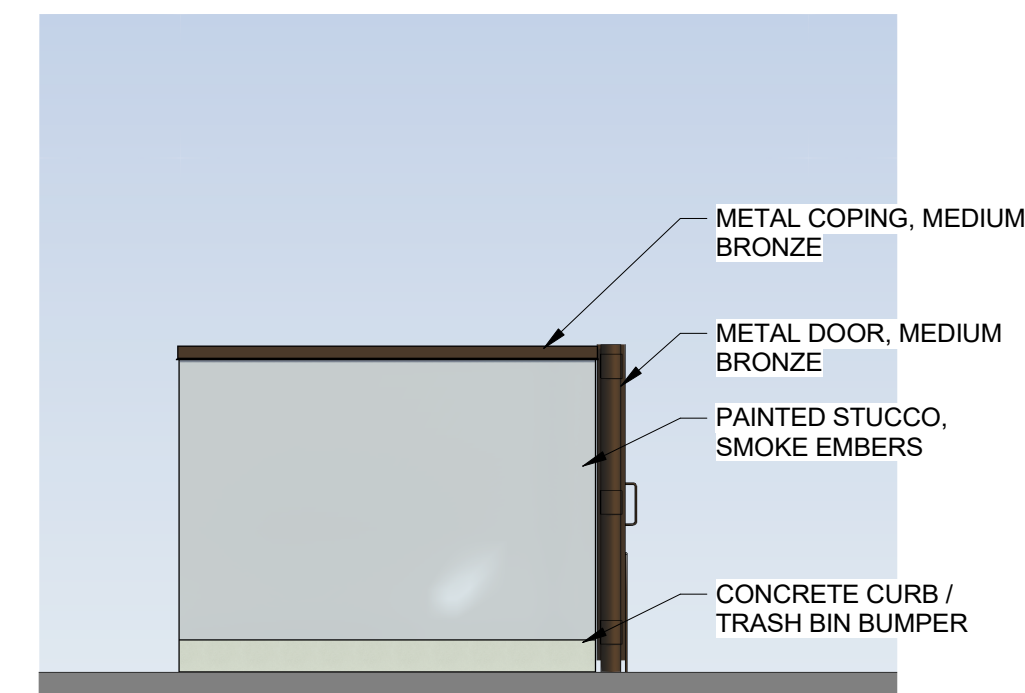
4 VACUUM ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



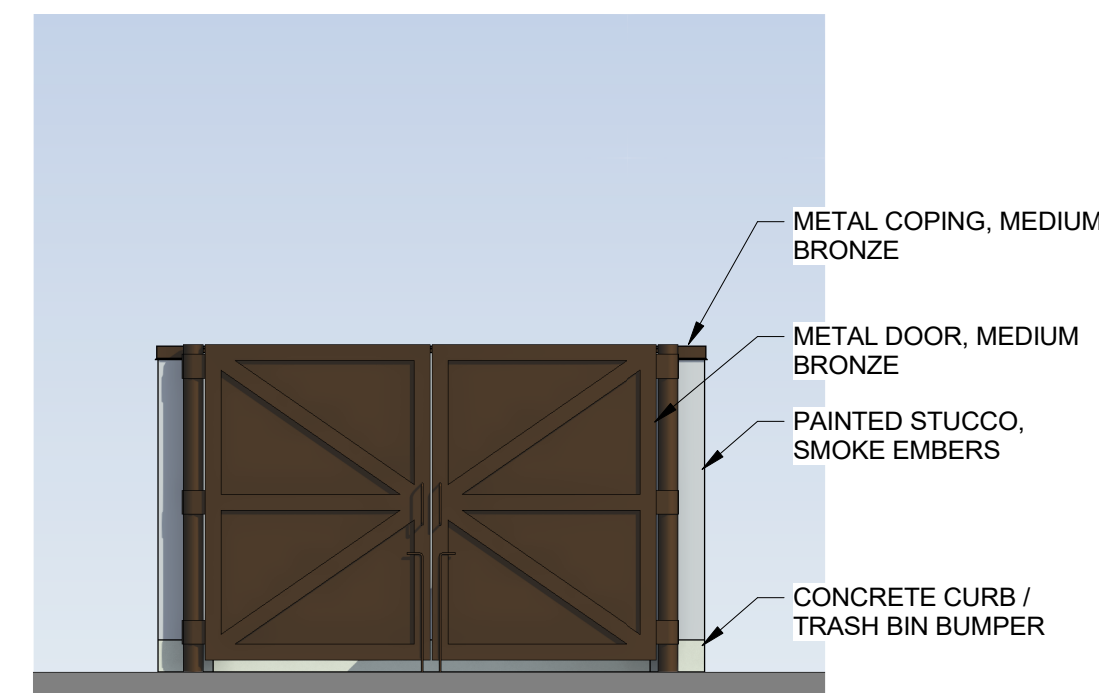
5 VACUUM ENCLOSURE RIGHT ELEVATION
1/4" = 1'-0"



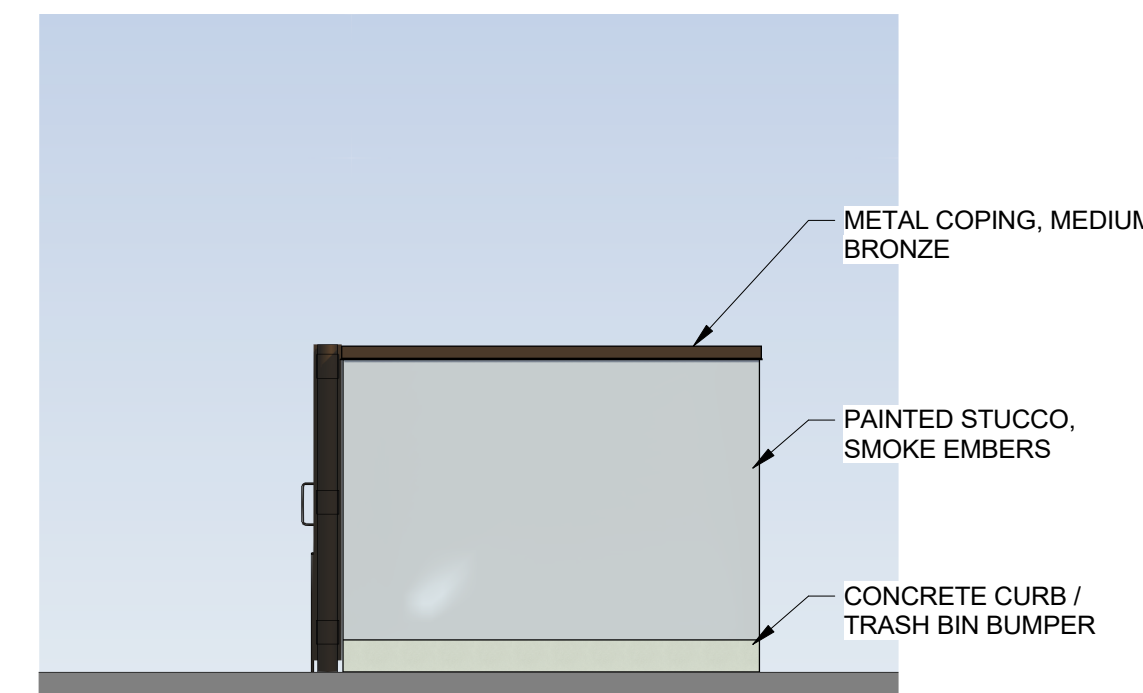
6 VACUUM ENCLOSURE REAR ELEVATION
1/4" = 1'-0"



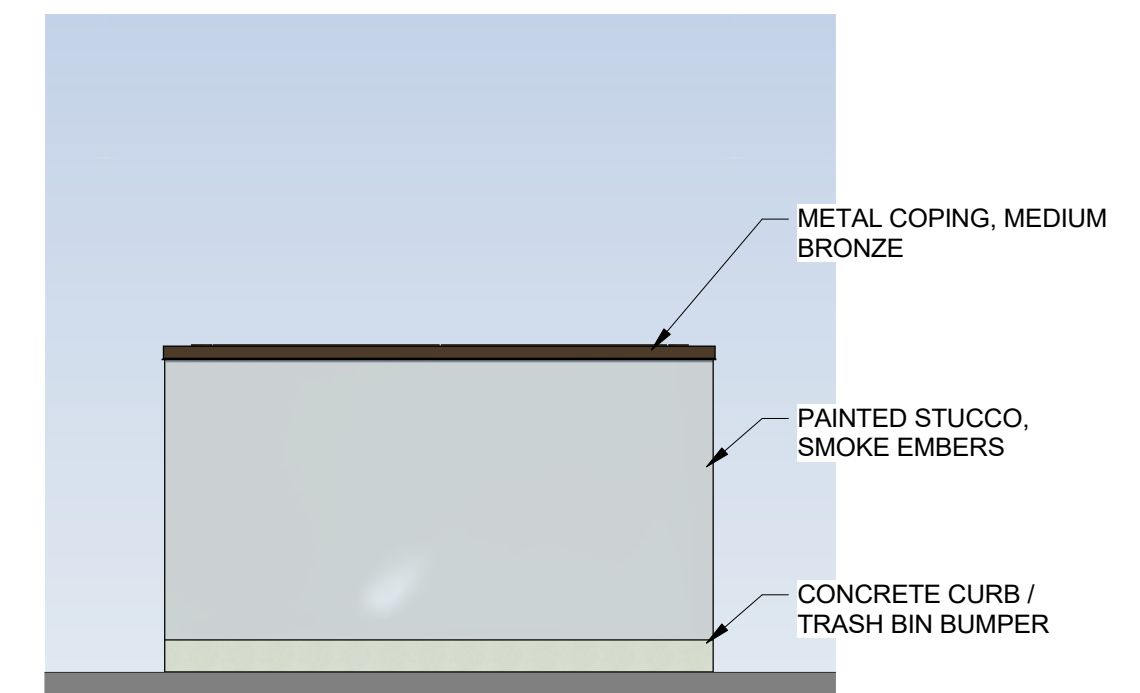
7 TRASH LEFT ELEVATION
1/4" = 1'-0"



8 TRASH FRONT ELEVATION
1/4" = 1'-0"



9 TRASH RIGHT ELEVATION
1/4" = 1'-0"



10 TRASH REAR ELEVATION
1/4" = 1'-0"

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(303) 962-9164
www.cshqa.com

QUICK N CLEAN CAR WASH
CORTEZ, CO 81321
1511 EAST MAIN STREET

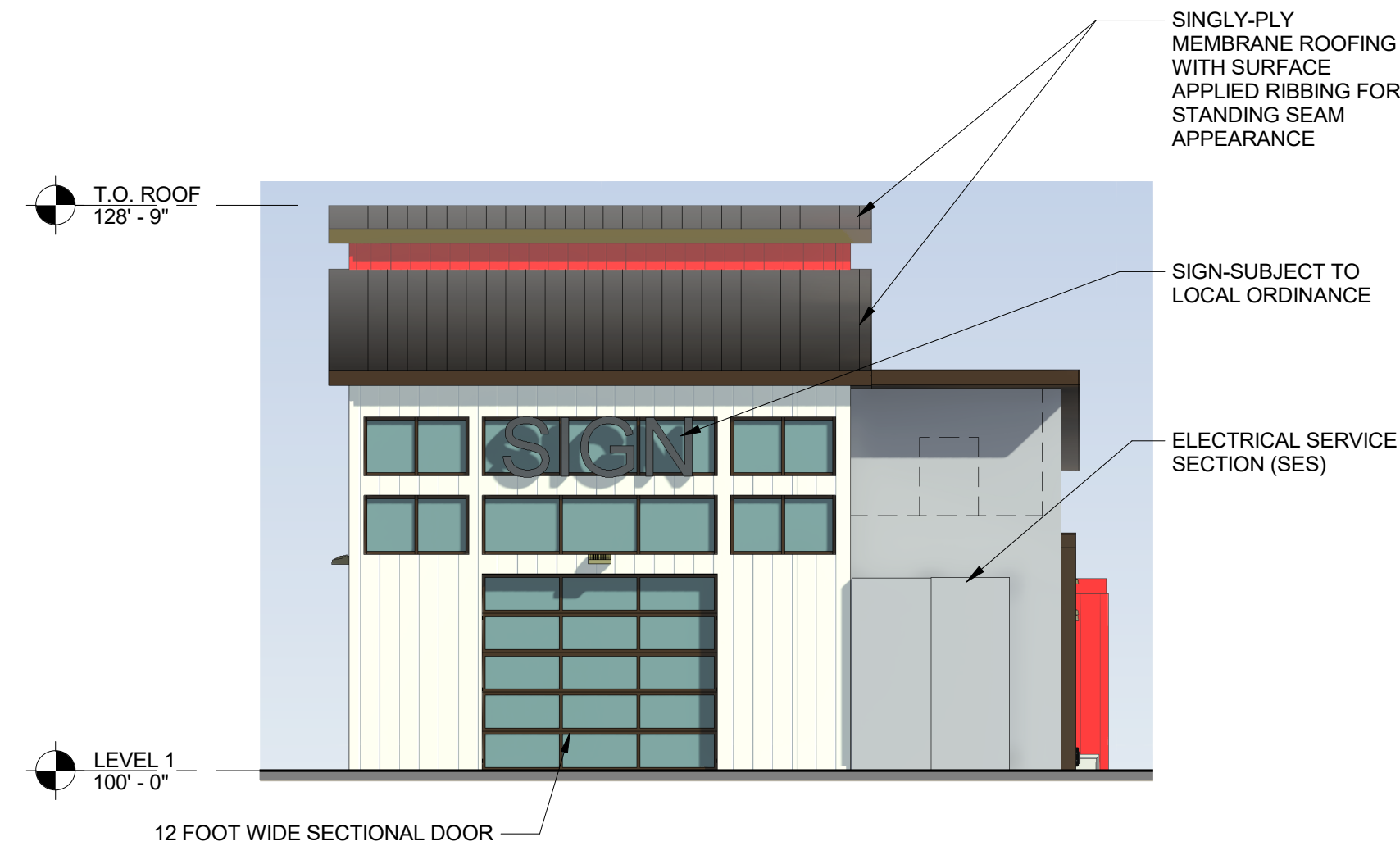
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DESIGN**

PROJECT 22075.000	DATE 04-29-2022
DRAWN RJ	CHECKED Checker
REVISED	

SHEET TITLE
ENCLOSURES

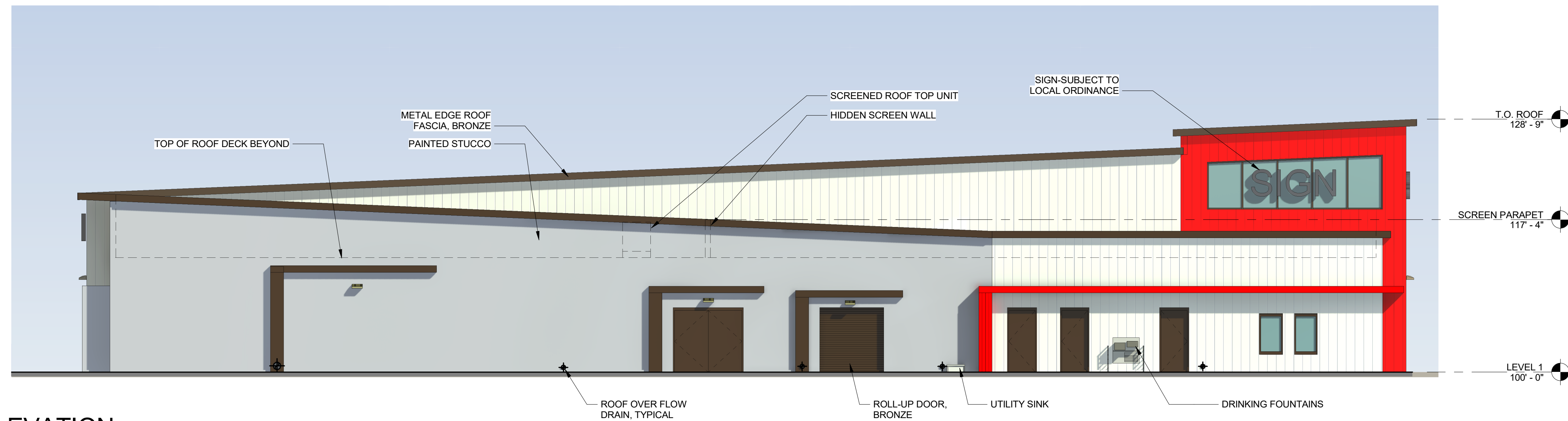
SHEET
A3C
ORIGINAL SHEET SIZE
24" x 36"



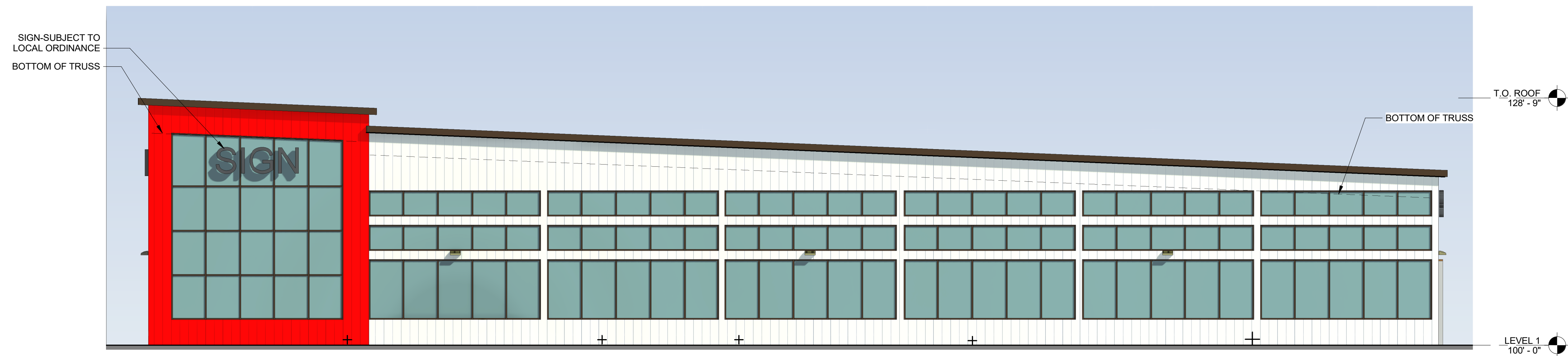
1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIALS AND FINISHES

	STUCCO FIELD COLOR	BENJAMIN MOORE - SMOKE EMBERS 1466
	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE

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1511 EAST MAIN STREET
CSHQQA

SCHEMATIC
DESIGN

PROJECT 22075.000	DATE 11-02-2022
DRAWN PP	CHECKED WS

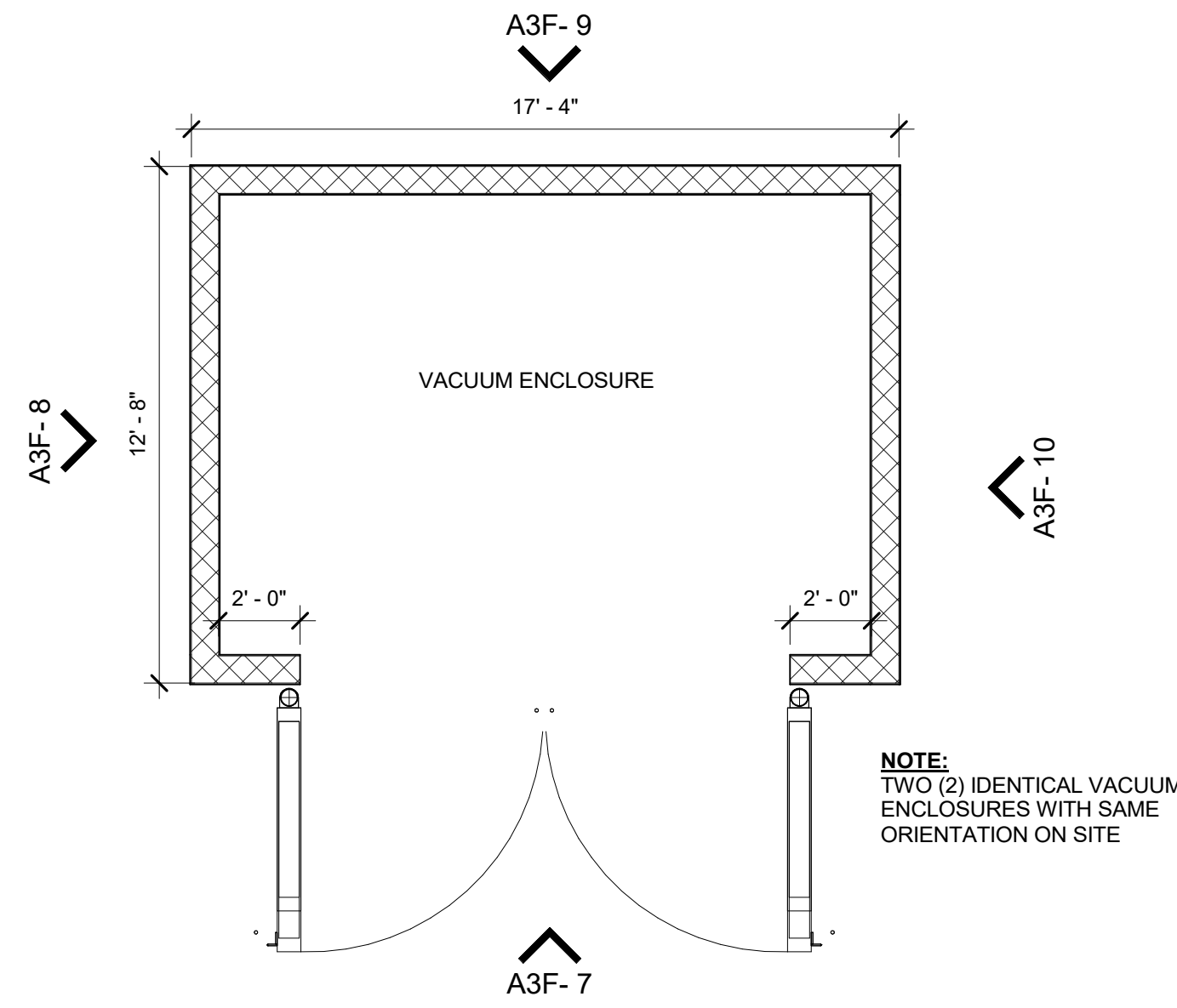
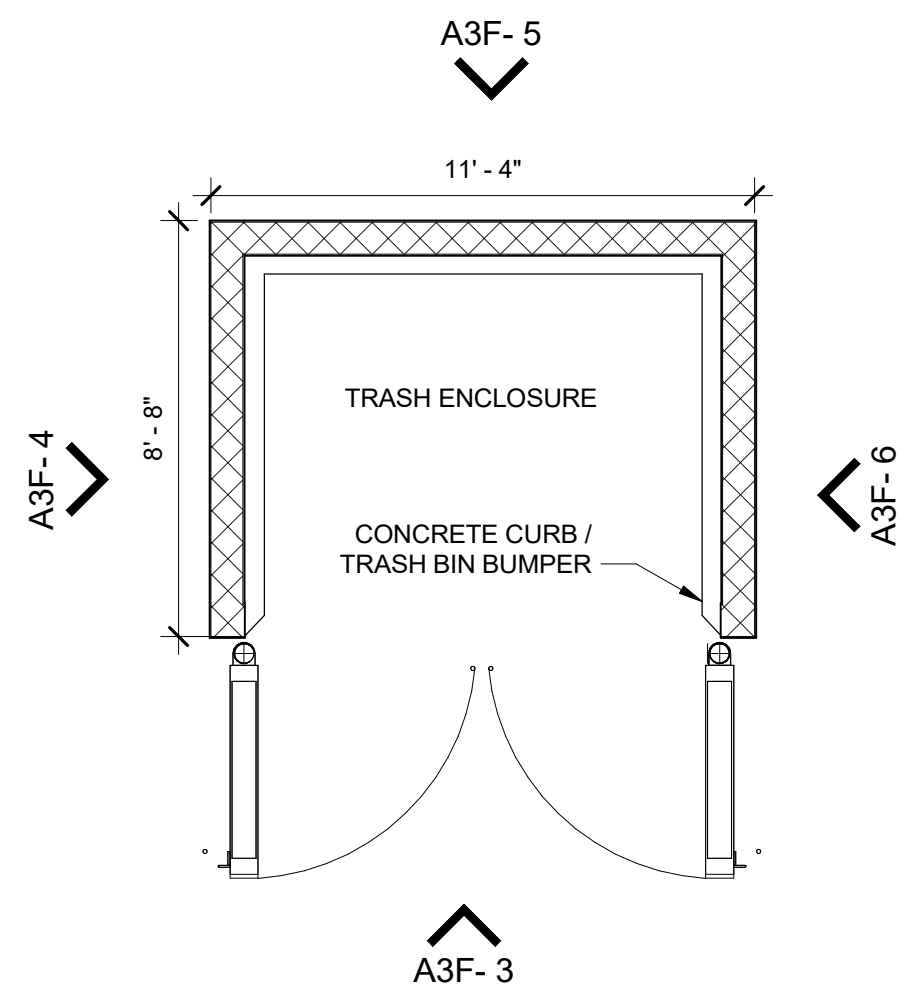
REVISED

SHEET TITLE
**BUILDING
ELEVATIONS**

SHEET

A2F

ORIGINAL SHEET SIZE
24" x 36"

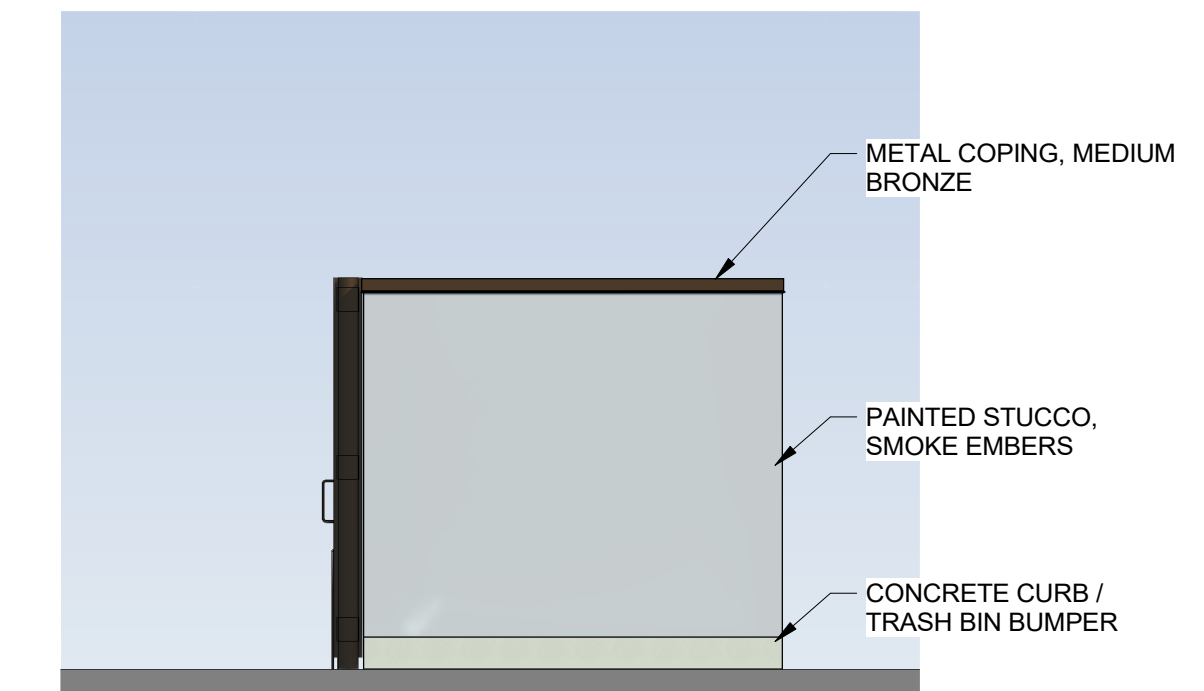
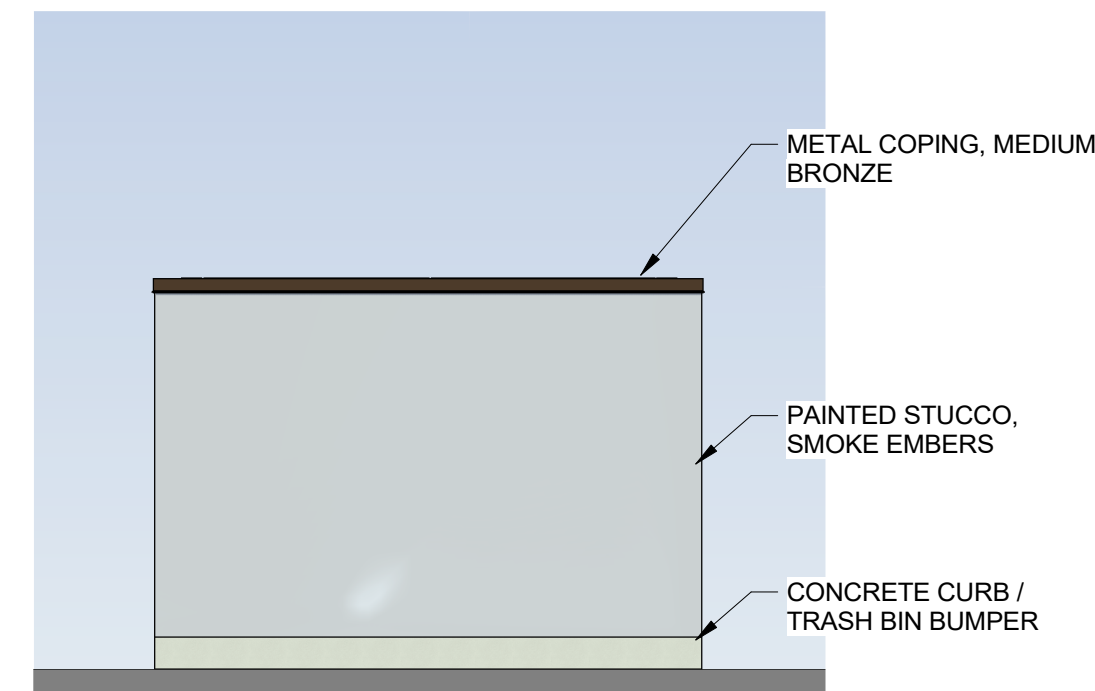
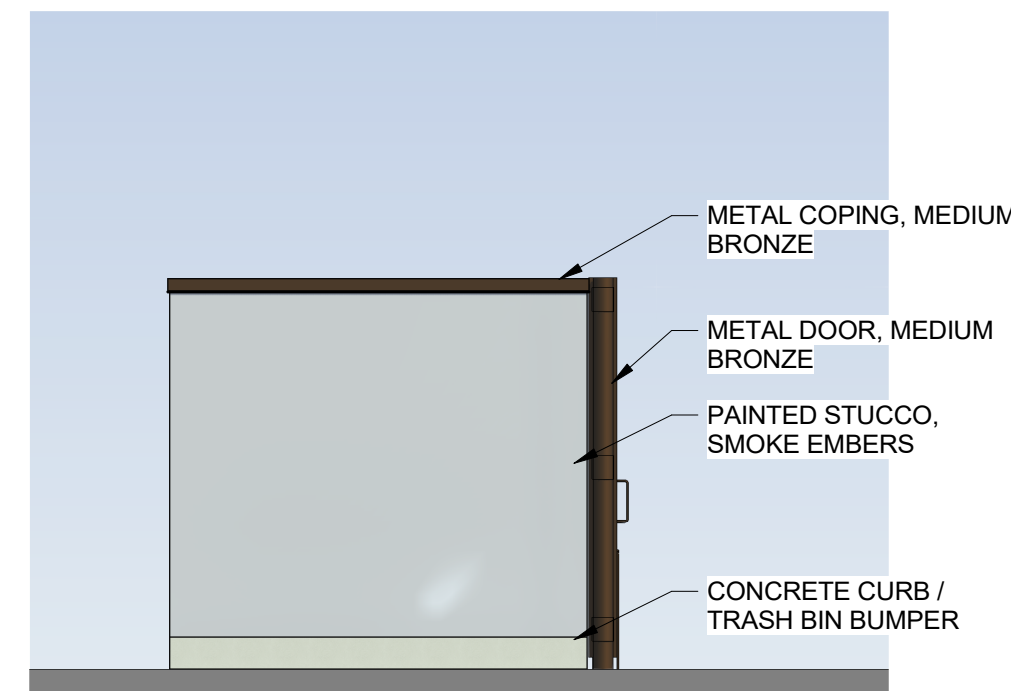
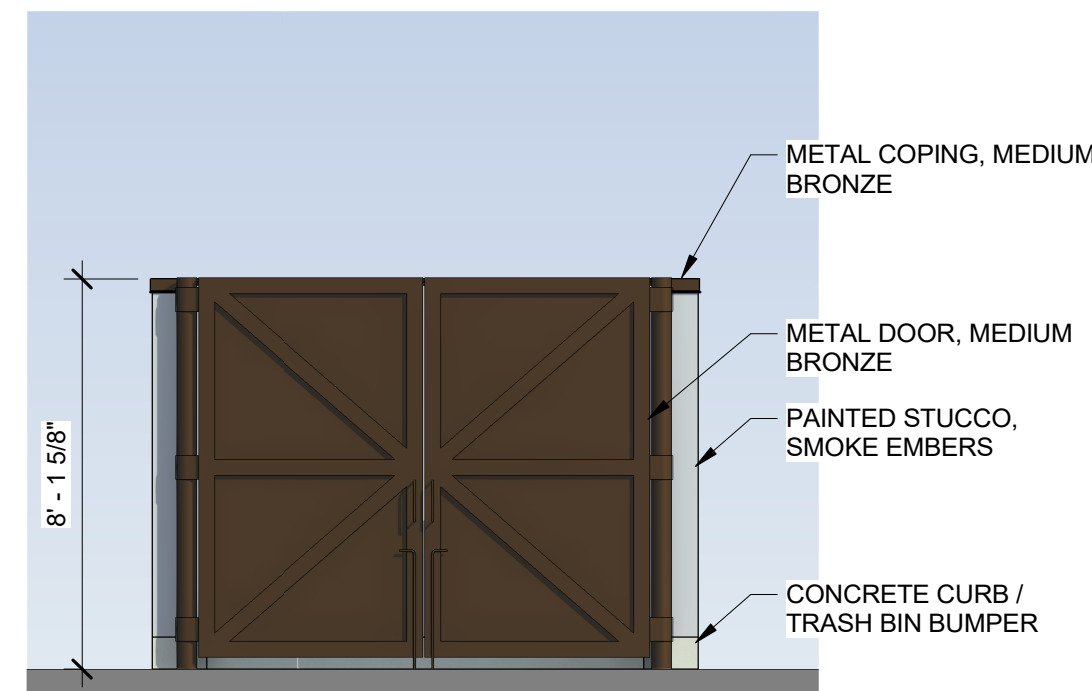


MATERIALS AND FINISHES

	STUCCO FIELD COLOR	BENJAMIN MOORE - SMOKE EMBERS 1466
	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE

1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

2 VACUUM ENCLOSURE PLAN
1/4" = 1'-0"

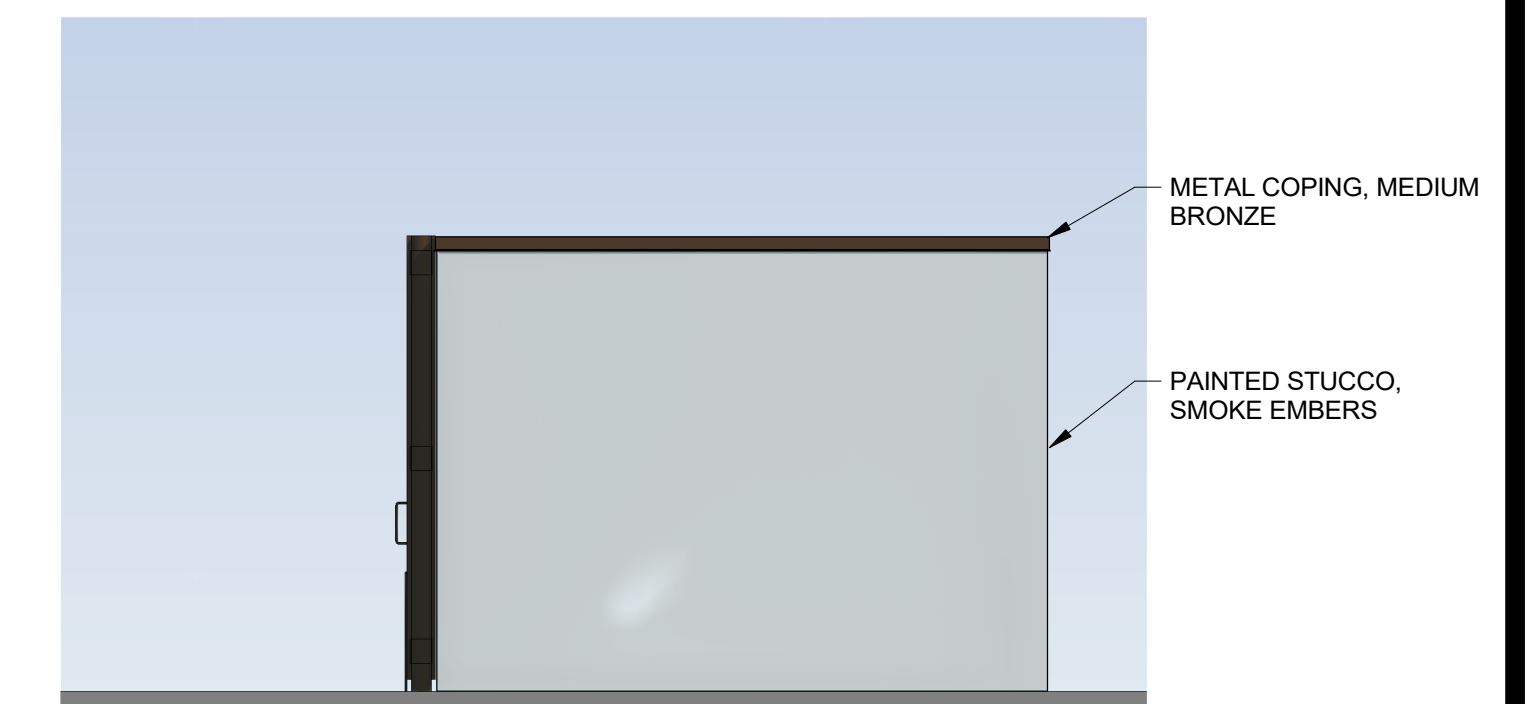
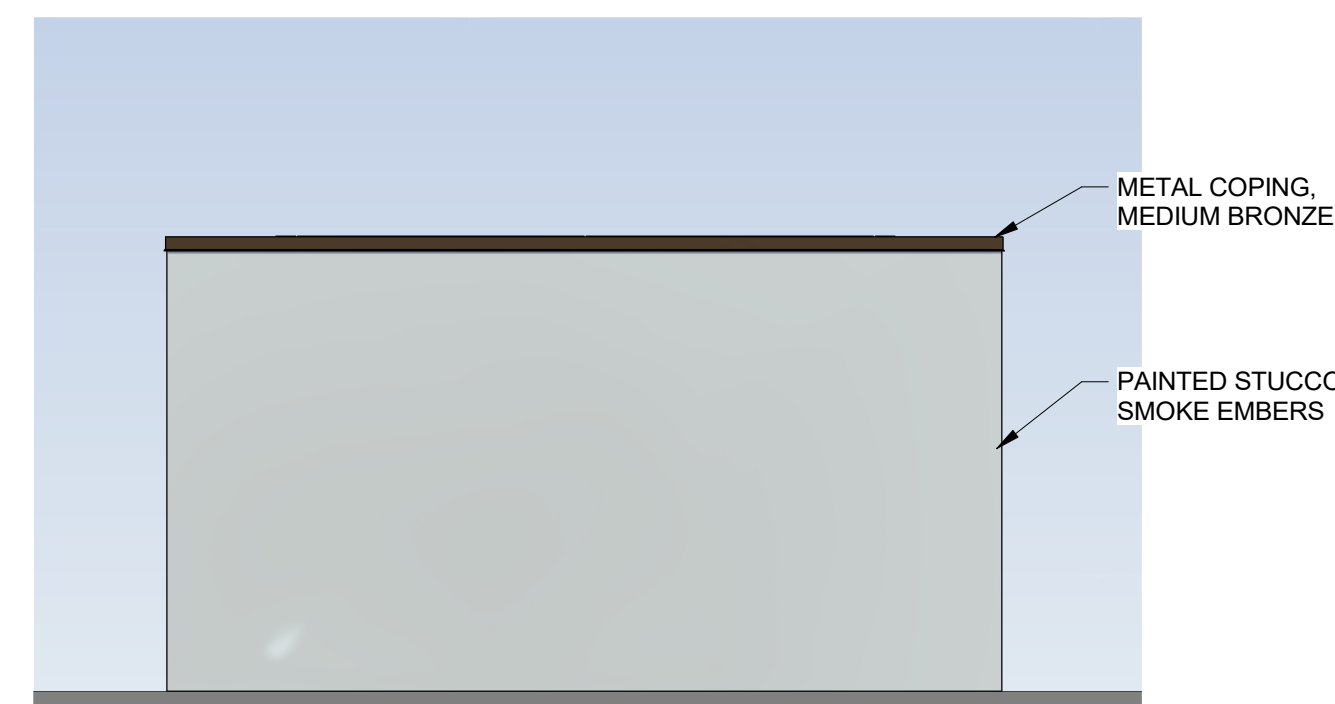
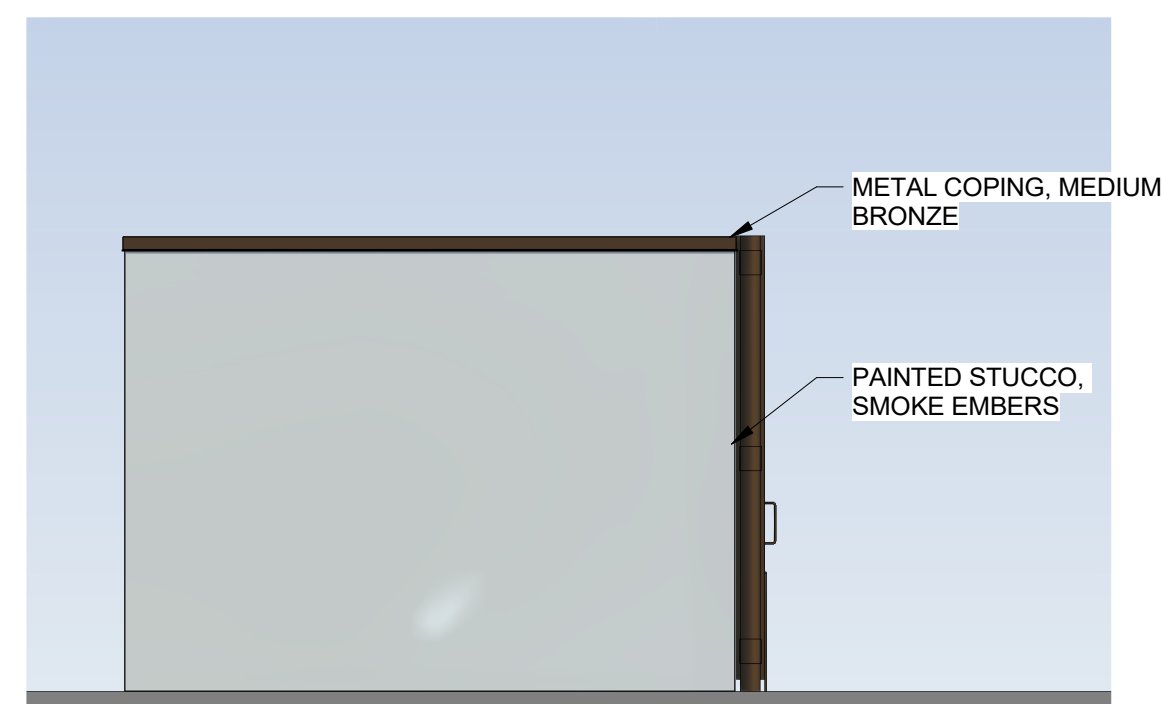
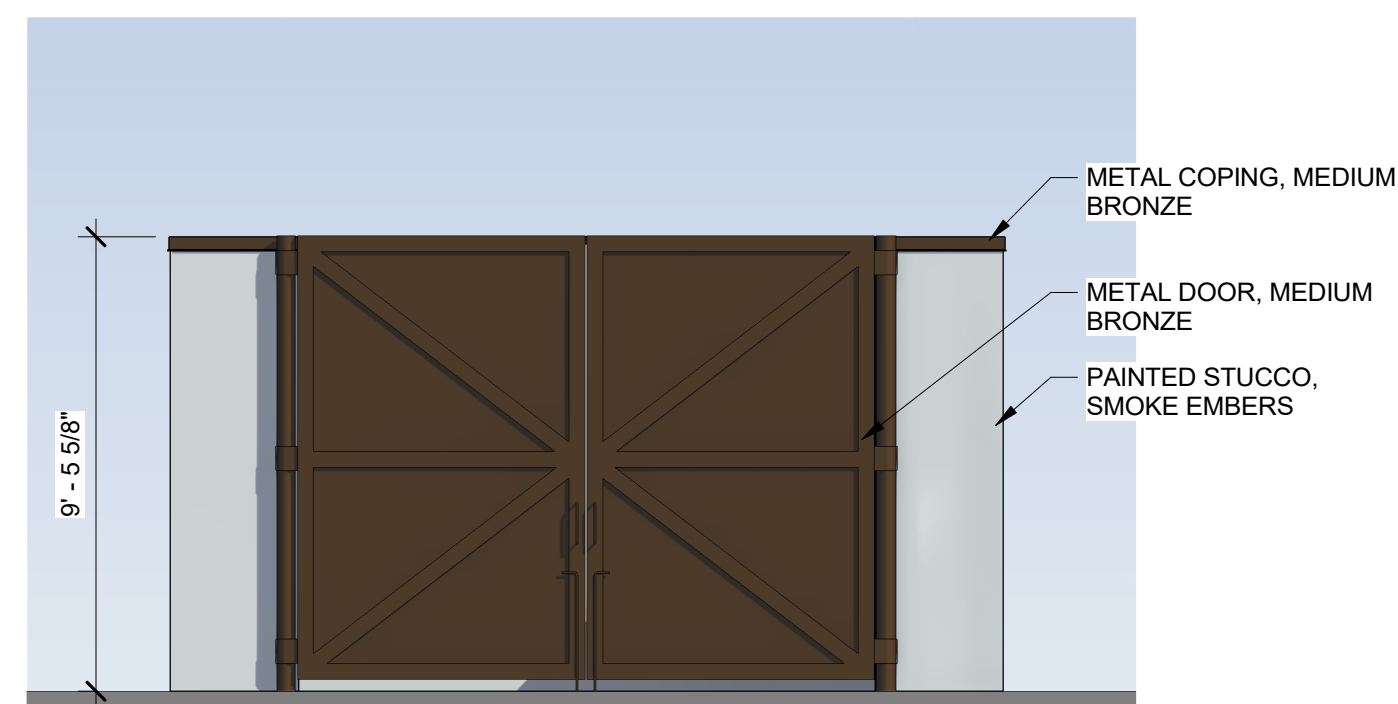


3 TRASH FRONT ELEVATION
1/4" = 1'-0"

4 TRASH LEFT ELEVATION
1/4" = 1'-0"

5 TRASH REAR ELEVATION
1/4" = 1'-0"

6 TRASH RIGHT ELEVATION
1/4" = 1'-0"



7 VACUUM ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"

8 VACUUM ENCLOSURE LEFT ELEVATION
1/4" = 1'-0"

9 VACUUM ENCLOSURE REAR ELEVATION
1/4" = 1'-0"

10 VACUUM ENCLOSURE RIGHT ELEVATION
1/4" = 1'-0"

QUICK N CLEAN CAR WASH
1511 EAST MAIN STREET
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DESIGN**

PROJECT 22075.000	DATE 11-02-2022
DRAWN PP	CHECKED WS

SHEET TITLE
ENCLOSURES

SHEET
A3F
ORIGINAL SHEET SIZE
24" x 36"

GENERAL NOTES:

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATE SHOWN HEREON.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY RUBINO SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT OF WAY OR TITLE OF RECORD. RUBINO SURVEYING RELIED UPON FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 5941-F-CO-CP-CR, EFFECTIVE SEPTEMBER 21, 2021. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.
3. THE BEARINGS ARE BASED ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 25 ASSUMED TO BEAR N89°29'08"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.
4. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE THE U.S. SURVEY FOOT.
5. PER FEMA'S FLOOD INSURANCE RATE MAP 08083C0802C DATED SEPTEMBER 26, 2008, A PORTION OF THE EASTERLY SIDE OF THE SUBJECT PROPERTY IS LOCATED IN A FLOOD HAZARD AREA - ZONE AE WITH FLOOD ELEVATIONS ESTABLISHED. THE REMAINDER OF THE SUBJECT PROPERTY IS IN ZONE X (UNSHADED).
6. NGS BENCHMARK DESIGNATION Q 397 / PID HM0425 A STAINLESS STEEL ROD IN A LOGO BOX ON THE NORTH SIDE OF MAIN STREET 141 FEET EAST OF MILDRED ROAD, 2 FEET OF THE EAST EDGE OF THE CONCRETE PAD FOR A BELL. NAVD88 ELEVATION 6179.68.

AMENDED PLAT OF BLOCK 2, VEACH SUBDIVISION

A PORTION OF THE SW 1/4 OF SECTION 25, TOWNSHIP 36 NORTH,
RANGE 16 WEST OF THE N.M. P.M. COUNTY OF
MONTEZUMA, STATE OF COLORADO

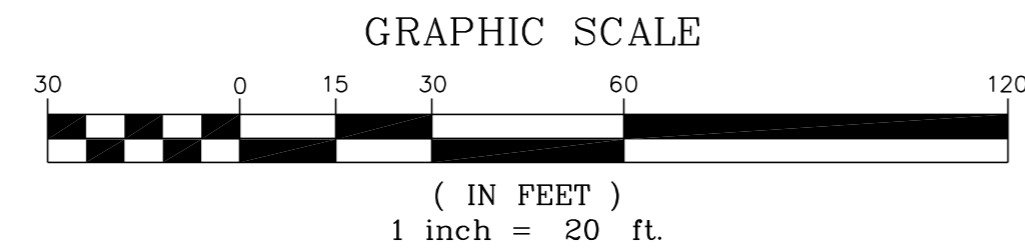
SHEET 1 OF 2

LEGEND

- (A) FND PIN/CAP PLS 19612
- (B) FND PIN/CAP PLS ILLEGIBLE
- (C) FND NO 4 REBAR
- (D) SET PIN/CAP PLS 14142

PLAT NOTES:

1. ALL INTERNAL LOT LINES OF LOTS 1 THROUGH 28, INCLUSIVE, BLOCK 2, VEACH SUBDIVISION ARE HEREBY VACATED BY THIS PLAT.
2. THE 16' PUBLIC ALLEY IN BLOCK 2, VEACH SUBDIVISION HAS BEEN VACATED BY ORDINANCE NO. _____



CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT QUICK N CLEAN CO-03, LLC, BEING THE OWNER OF A PORTION OF PROPERTY IN THE CITY OF CORTEZ, MONTEZUMA COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 1 THROUGH 28, INCLUSIVE, BLOCK 2, VEACH SUBDIVISION, THE PLAT OF WHICH IS RECORDED IN BOOK 8 AT PAGE 6,

EXCEPTING THAT PORTION OF SAID BLOCK 2 TO THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO DESCRIBED IN BOOK 576 AT PAGE 471, COUNTY OF MONTEZUMA, STATE OF COLORADO.

CONTAINING 95,191 SQ. FT./2.185 ACRES MORE OR LESS. SUBJECT TO ALL EASEMENTS OF RECORD, PRESCRIPTIVE OR DEDICATED HEREIN.

HAVE BY THESE PRESENTS LAID OUT, RE-SUBDIVIDED AND PLATTED THE SAME INTO A LOT AND BLOCK AS SHOWN ON THIS PLAT, UNDER THE NAME AND STYLE OF AMENDED PLAT OF BLOCK 2, VEACH SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC UTILITIES THOSE PORTIONS LABELED AS DRAINAGE OR UTILITY EASEMENTS ON THIS PLAT, FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC LINES, TELEPHONE LINES, WATER LINES, SEWER LINES, GAS LINES, COMMUNICATION CABLES, AND DRAINAGE STRUCTURES AND OTHER UTILITIES AS MAY BE NECESSARY. ALSO, A PERPETUAL EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES IS RESERVED AND DEDICATED TO THE PUBLIC UTILITIES OVER AND THROUGH THE PRIVATE ROADS AND STREETS WITHIN THIS SUBDIVISION, AND ACCORDING TO THE EASEMENTS AS SHOWN ON THIS PLAT; THE RIGHT OF INGRESS AND EGRESS FOR THE MAINTENANCE, OPERATION, REPAIR, AND REPLACEMENT OF SUCH UTILITIES, INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. LANDOWNER SHALL MAINTAIN EASEMENT AREA CLEAR OF BUILDINGS AND STRUCTURES. SAID EASEMENTS AND RIGHTS SHALL BE UTILIZED IN A REASONABLE AND PRUDENT MANNER.

IN WITNESS WHEREOF:

THE AFOREMENTIONED QUICK N CLEAN CO-03, LLC, HAS EXECUTED THIS INSTRUMENT THIS _____ DAY OF _____, 20____

BY: _____ NAME: _____

TITLE: _____

ATTEST:

STATE OF _____)
COUNTY OF _____) SS.

THE ABOVE AND AFOREMENTIONED WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____ OF QUICK N CLEAN CO-03, LLC.

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL _____ NOTARY PUBLIC

CITY COUNCIL ACCEPTANCE STATEMENT:

THIS PLAT AND THE STATEMENT HEREON ARE ACCEPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORTEZ THIS _____ DAY OF _____ 20____

MATOR _____

CITY CLERK _____

EASEMENTS ACCEPTED AND APPROVED BY:

CITY OF CORTEZ, PUBLIC WORKS BY: _____

CENTURY LINK COMMISSION BY: _____

EMPIRE ELECTIC ASSOCIATION, INC. BY: _____

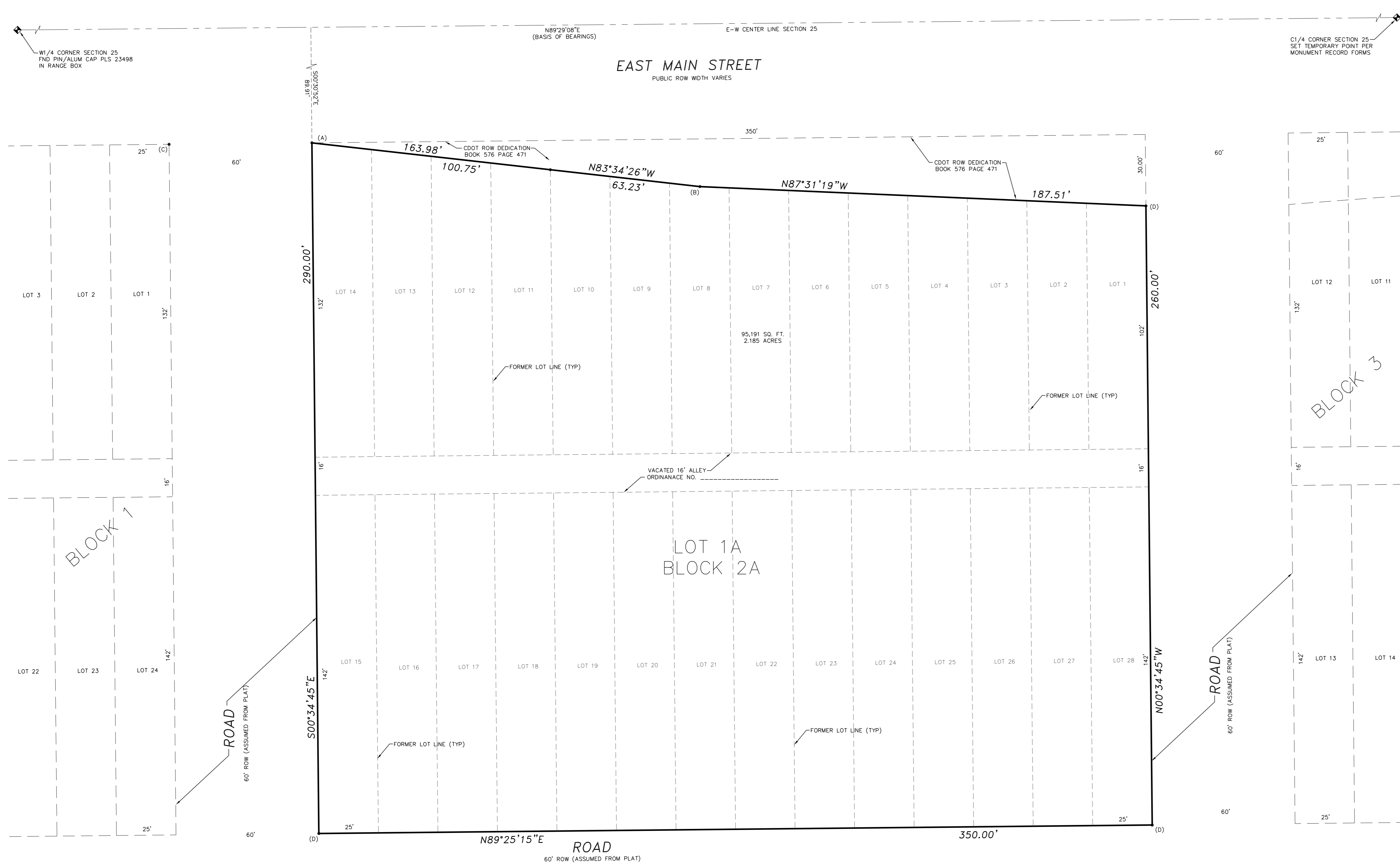
CLERK AND RECORDER:

STATE OF COLORADO)
COUNTY OF MONTEZUMA) SS.

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____, AND WAS RECORDED AT RECEPTION NUMBER _____ OF THE RECORDS OF MONTEZUMA COUNTY

MONTEZUMA COUNTY CLERK AND RECORDER

prepared by:
RUBINO SURVEYING
3312 AIRPORT ROAD
BOULDER, COLORADO 80301
(303) 464-9515



From: Reider - CDOT, Randee <randee.reider@state.co.us>
Sent: Tuesday, January 31, 2023 8:22 AM
To: Nick Barber <nick@3k1.us>
Cc: Roussin - CDOT, Daniel <daniel.roussin@state.co.us>
Subject: Re: 1511 Main Street - Access Control Permit

Hi Nick,

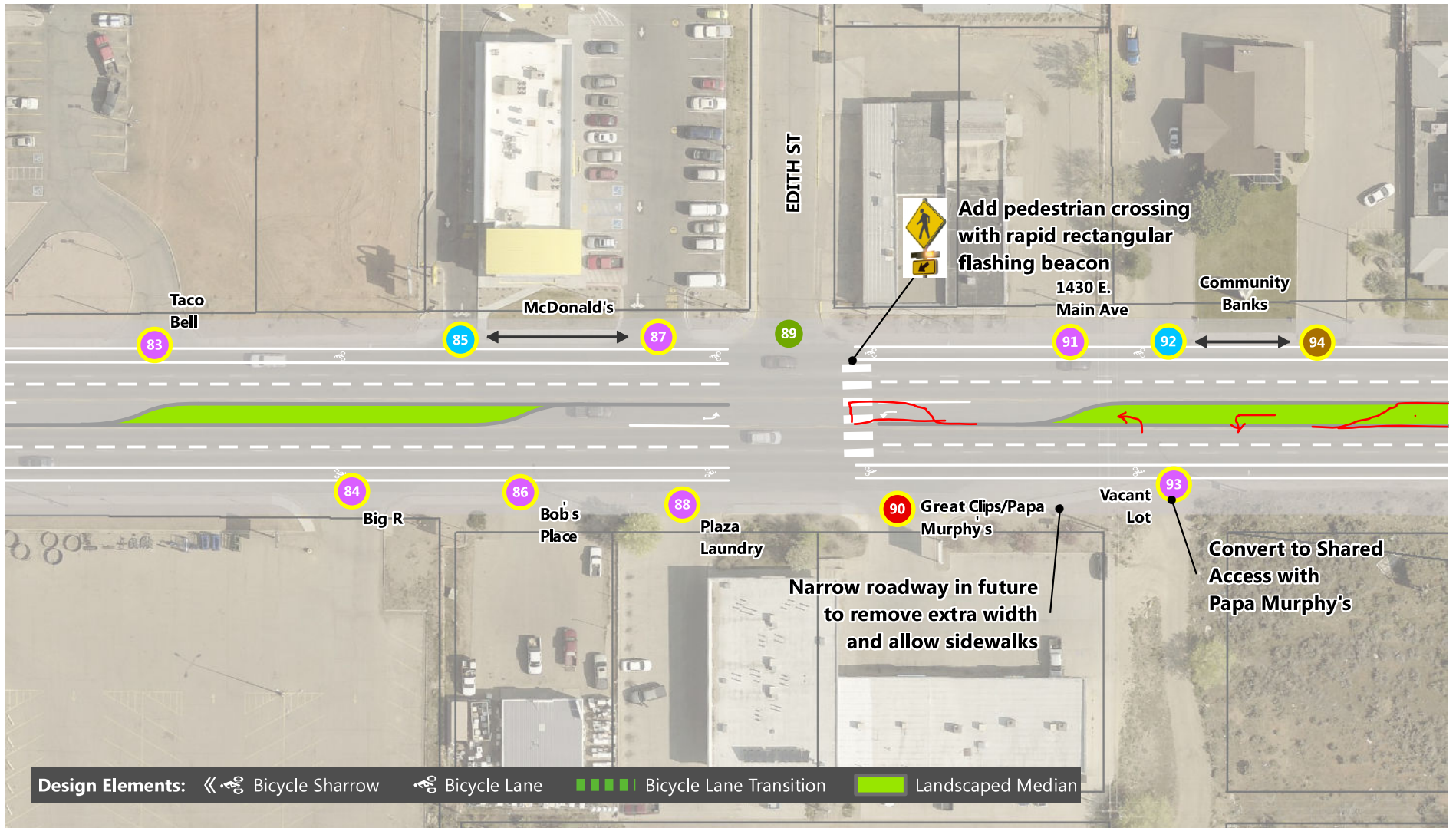
Please see attached for comments related to the TIS.

Also, as stated in an earlier email, CDOT will also need to know who the owner of the road is, as I assume it is platted to the City of Cortez. If that is the case, the City of Cortez needs to provide documentation to delegate to the land owner to apply for the Access Permit. An email from the City of Cortez will suffice for delegation purposes.

Please let me know if you have any questions.

Thank you,
Randee Reider
Region 5 Permits Program Manager

P 970.385.3626 | F 970.385.8361
3803 N. Main Ave., Suite 100, Durango, CO 81301
randee.reider@state.co.us | codot.gov | cotrip.org



- Access Recommendations**
- Full
 - Left In Only
 - Recommended Closure
 - Access Change
 - 3/4 Access
 - Right In Only
 - Planned Closure
 - Traffic Signal
 - Ingress Only
 - Right In/Right Out
 - Access Closed
 - Multiple Accesses per Business
 - Right Out Only

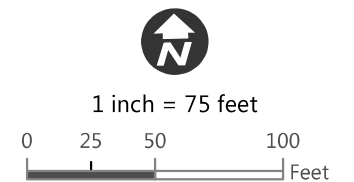


Figure: 9J
US 160 Access Recommendations and Design Concepts

**INTERGOVERNMENTAL AGREEMENT
BETWEEN
THE CITY OF CORTEZ (THE CITY) and
THE STATE OF COLORADO DEPARTMENT OF TRANSPORTATION
(THE DEPARTMENT)
FOR THE CORTEZ ACCESS CONTROL PLAN**

THIS INTERGOVERNMENTAL AGREEMENT is entered into effective as of this 15th day of September 2016, by and between the City and the Department, all of said parties being referred to collectively herein as "Agencies."

RECITALS

- A. The Agencies are authorized by the provisions of Article XIV, Section 18(2)(a), Colorado Constitution, and Sections 29-1-201 et. Seq., C.R.S., to enter into contracts with each other for the performance of functions which they are authorized by law to perform on their own; and
- B. Each Agency is authorized by Section 43-2-147(I)(a) C.R.S. to regulate access to public highways within its respective jurisdiction; And
- C. The coordinated regulation of vehicular access to public highways is necessary to maintain the efficient and smooth flow of traffic, to reduce the potential for traffic accidents, to protect the functional level and optimize the traffic capacity, to provide an efficient spacing of traffic signals and access points; and
- D. The Agencies desire to provide for the coordinated regulation of vehicular, pedestrian, and bicycle access and safety for the US Hwy 160 corridor through Cortez as follows:

Between MP 38.05 and MP 40.51 (hereafter referred to as the "Segments") which is within the jurisdiction of the Agencies; and
- E. The Agencies are authorized pursuant to Section 2.12 of the 1998 State Highway Access Code, 2 C.C.R. 601-1 (the "Access Code") to enter into a written agreement adopting and implementing a comprehensive and mutually acceptable highway access control plan for the Segments for the purposes above recited; and
- F. The Agencies specifically find and determine that this access control plan is a necessary exercise of the Agencies' legislative, governmental, or police powers to promote and protect the public health, safety, and general welfare of the citizens of the City, County, State; and
- G. The development of this Access Control Plan adheres to the requirements of the Access Code, Section 2.12.

NOW THEREFORE, for and in consideration of the mutual promises, agreements, and commitments herein contained, the Agencies agree as follows:

- 1. The Access Control Plan, dated _____, 2016, for the Segments (herein referred to as the "ACP") is attached hereto as Exhibits A, B, and C, and incorporated herein by this reference.

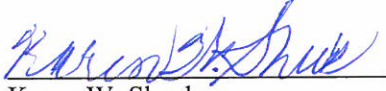
2. The Agencies shall regulate access to the ACP in compliance with the Access Control Plan. Section 42-2-147 C.R.S. (the "Access Law"), and the applicable sections of the Access Code. Vehicular access within the ACP may be permitted only when such access is in compliance with this Agreement, the ACP, Access Control Plan, and Access Law and the applicable sections of the Access Code. Per section 2.12(a) of Access Code, design waivers necessary for access design and construction within State Highway Right-of-Way may be approved by the Regional Transportation Director, or his/her approved designee.
3. Accesses that were in existence in compliance with the Access Law prior to the effective date of this Agreement may continue in existence until such time as a change in the private access is required by the Access Control Plan, the Access Law, in the course of highway reconstruction, or as determined appropriate in the course of development, subdivision actions, or change of use by the City. When closure, modification, or relocation of access is necessary or required, the Agencies having jurisdiction shall utilize the appropriate legal process to effect such action.
4. Actions taken by the Agencies with regard to transportation planning, transportation facilities, and traffic operations within the ACP shall be in conformity with this Agreement. The Agencies agree to develop and adopt the necessary ordinances, official documents, plans and maps to fulfill their respective responsibilities under this Agreement.
5. Parcels of real property created after the effective date of this Agreement which adjoin the Segments shall be provided with access to the Segments as documented in the ACP, as the use, location, and design thereof, conform to the provisions of this Agreement, the City and County Codes, except in unforeseen circumstances, or based upon approved amendments to the ACP.
6. This Agreement is based upon and intended to be consistent with the Access Law and Access Code.
7. This Agreement does not create any current specific financial obligation for any of the Agencies. Any further financial obligation of any Agency shall be subject to the execution of an appropriate encumbrance document, where required. Agencies involved in or affected by any particular or site-specific undertaking provided for herein will cooperate with each other to agree upon a fair and equitable allocation of the costs associated therewith, but, notwithstanding any provision of this Agreement. No Agency shall be required to expend its public funds for such undertaking without the express prior approval of its governing body or director. All financial obligations of the Agencies hereunder shall be approval of its governing body or director. All financial obligations of the Agencies hereunder shall be contingent upon sufficient funds therefore being appropriated, budgeted, and otherwise made available.
8. Should any section(s) or provision(s) of this Agreement be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Agreement, the intention being that the various provisions hereof are severable.
9. This Agreement supersedes and controls all prior written and oral agreements and representations of the Agencies concerning regulating vehicular access to the Segments. No additional or different oral representation, promise, or agreement shall be binding on any Agency.

10. This Agreement may be amended or terminated only in writing executed by the Agencies with express authorization from their respective governing bodies or legally designated officials. To the extent the Access Control Plan is modified by a change, closure, relocation, consolidation, or addition of an access, the Agencies may amend the attached Access Control Plan so long as the amendment is executed in writing and amended in accord with Access Law and the Access Code. The Access Control Plan Amendment Process is attached hereto and is incorporated in Exhibit C.
11. By Signing this Agreement, the Agencies acknowledge and represent to on another that all procedures necessary to validly contract and execute this Agreement have been performed, and that the persons signing for each Agency have been duly authorized to sign.
12. No portion of this Agreement shall be deemed to constitute a waiver of any immunities the parties or their officers or employees may possess, nor shall any portion of this Agreement be deemed to have created a duty of care which did not previously exist with respect to any person not a party to this Agreement.
13. It is expressly understood and agreed that the enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the undersigned parties and nothing in this Agreement shall give or allow any claim or right of action whatsoever by any other person not included in this Agreement. It is an express intention of the undersigned parties that any entity other than the undersigned parties receiving services or benefits under this Agreement shall be incidental beneficiary only.

IN WITNESS THEREOF, the Agencies have executed this Agreement effective as of the day and year written above.


City of Cortez, Colorado

ATTEST:



Karen W. Sheek
Mayor, City of Cortez

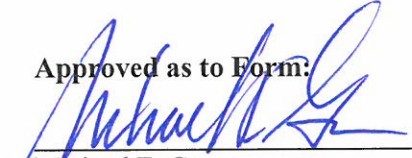
4/27/16
Date



Linda E. Smith
City Clerk

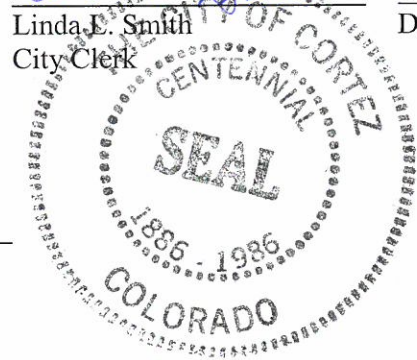
4/27/16
Date

Approved as to Form:

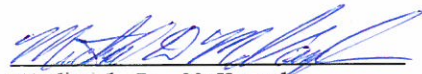


Michael F. Green
City Attorney

3 June 16
Date



State of Colorado
Department of Transportation

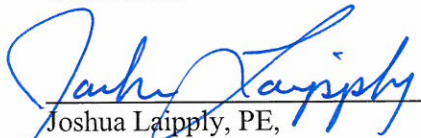


Michael D. McVaugh
Region Transportation Director

9/19/16
Date


CONCUR:

ATTEST:



Joshua Laipply, PE,
Chief Engineer

9/15/2016
Date



Chief Clerk

9-15-2015
Date

Exhibits A & B

ACCESS CONTROL PLAN

United States Highway 160 between MP 38.05 and MP 40.51

City of Cortez and the State of Colorado Department of Transportation

I. Purpose

The purpose of this Access Control Plan (ACP) is to provide the Agencies with a comprehensive roadway access control plan for the pertinent segments of United States highway 160 through Cortez, Colorado.

II. Authority

The development of this Access Control Plan was completed pursuant to the requirements of the Access Code, Section 2.12, and adopted by the attached Agreement.

III. Responsibilities

It is the responsibility of each of the Agencies to this Agreement to ensure that vehicular access to the Segments shall only be in conformance with this Agreement. The cost of access improvements, closures and modifications shall be determined pursuant to section 43-2-147(6)(b) C.R.S., the Agreement, and this Access Control Plan. All access construction shall be consistent with the design criteria and specifications of the Access Code.

IV. Existing and Future Access

- A. The attached table (Exhibit A) provides a listing of each existing and future access point in the Segments. The Attached Map (Exhibit B) shows the access points along the Segments of US 160 through Cortez. For each access point the following information is provided: location, description of the current access status, and the proposed configuration or condition for change (Access Plan). All access points are defined by the approximate Department mile point (in hundredths of a mile) along United States Highway 160. All access points are located at the approximate centerline of the access.
- B. All highway design and construction will be based on the assumption that the Segments have a sufficient cross section to accommodate all travel lanes and sufficient right-of-way to accommodate longitudinal installation of utilities.



Exhibit C

ACCESS CONTROL PLAN AMENDMENT PROCESS United States Highway 160 between MP 38.05 and MP 40.51

City of Cortez and the State of Colorado Department of Transportation

Any request for amendment must be submitted to the Department's Region 5 Access Manager by a signatory of the Agreement (either of the Agencies). The amendment must be located within the jurisdiction and have the written support of the submitting signatory. Amendments shall be required for any change to the Access Control Plan as shown in the Exhibit A and B, including, but not limited to, any new or changes to the location of:

1. Signalized intersections
2. Full movement intersections/access points
3. $\frac{3}{4}$ intersections/access points
4. Right-in/right-out only intersections/access points

The amendment request shall include the following documents:

1. Descriptions of the proposed access and changes to the Access Control Plan.
2. Justification for the requested amendment.
3. For signalized intersections, a supporting Traffic Impact Study per the State Highway Access Code.
4. A list of any requested design waivers as applicable.
5. A proposed revised plan sheet clearly depicting the access modifications. The revised plan sheet will replace the corresponding sheet in Exhibit B.

Upon Submission of Information:

1. The Department shall review the submittal for completeness and for consistency with the access objectives, principles, and strategies described in the United States Highway 160 - City of Cortez Access Control Plan and the State Highway Access Code ("Access Code"). The Department shall also determine if any applicable design waivers can be granted. Any amendment request that results in a violation of the Access Code or for which a design waiver cannot be granted will not be considered.
2. If the amendment request is found to be complete, it will be forwarded, along with a brief report, to an Access Control Plan Advisory Committee, consisting of representatives from the City and the Department. Each Agency is responsible for appointing one Advisory Committee member. An Alternative Advisory Committee member may be appointed as an alternate.
3. After the forwarding, each Advisory Committee member will be responsible for coordinating their agency review and providing a decision on whether to accept or decline the amendment. The Advisory Committee members will have 30 days to submit their agency's vote to the Department Region 5 Access Manager in writing. A unanimous vote of the Agencies will be necessary to approve the amendment. An agency not responding within the 30-day period will be interpreted as a

“decline” decision. The Department will provide voting results, to include a tally sheet documenting each agency vote, to all Advisory Committee members within 15 days of receiving all votes, or following the 30-day review period.

4. Acceptable votes from the Agencies include: accept without modifications; accept with conditions or modifications; or disapprove.
5. If an agency accepts with conditions or modifications, the agency requesting the condition or the modification must provide supporting justification and any applicable requests for a design waiver. Any vote to accept with conditions or modifications that results in a violation of the Access Code or for which a design waiver cannot be granted will not be considered.
6. If found to be complete, The Department will forward the conditions or modifications to all members of the Access Control Plan Advisory Committee.
7. After the forwarding, each Advisory Committee member will be responsible for coordinating their agency review and providing a decision on whether to accept or decline the conditions and modifications. The Advisory Committee members will have 20 days to submit their agency’s subsequent vote to the Department in writing. A unanimous vote of the Agencies will be necessary to approve the conditions and modifications. An agency not responding within the 20-day period will be interpreted as a “decline” decision. The Department will provide voting results to all Advisory Committee members within 10 days of receiving all votes, or following the 20-day review period.

Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
DOWNTOWN SEGMENT						
1	38.04	Lt		Maple Street	Full movement, public access, signalized intersection	No change
2	38.04	Rt		Maple Street	Full movement, public access, signalized intersection	No change
3	38.08	Rt	561126307001	Nero's Restaurant	Access closed	No change
4	38.09	Rt	561126307001	Sand Canyon Motel	Enter only, commercial access	Restrict to right in only
5	38.2	Lt	561126251004	Conoco station	Full movement, commercial access	Restrict to right in/right out only
6	38.11	Rt	561126307001	Sand Canyon Motel	Exit only, commercial access	Restrict to right/out only
7	38.12	Rt		Linden Street	Full movement, public access	No change
8	38.12	Lt		Linden Street	Full movement, public access	No change
9	38.15	Lt		North Pinon Drive	Enter only, public access	No change
10	38.13	Lt		Elm Street	Full movement, public access	No change
11	38.13	Rt		Elm Street	Full movement, public access	No change
12	38.29	Lt		Chestnut Street	Full movement, public access, signalized intersection	No change
13	38.29	Rt		Chestnut Street	Full movement, public access, signalized intersection	No change
14	38.36	Lt		Market Street	Full movement, public access, signalized intersection	No change
15	38.36	Rt		Market Street	Full movement, public access, signalized intersection	No change
16	38.43	Lt		Beech Street	Full movement, public access	No change
17	38.43	Rt		Beech Street	Enter only, public access	No change
18	38.5	Lt	561126245004	Gravel Parking Lot	Full movement, commercial access	Restrict to right in/right out only
19	38.48	Lt	561126245003	Rent A Wheel	Full movement, commercial access	Restrict to right in/right out only
20	38.46	Lt		Ash Street	Full movement, public access, signalized intersection	No change
21	38.46	Rt		Ash Street	Full movement, public access, signalized intersection	No change
22	38.7	Rt	561126404005	Wendy's	Full movement, commercial access	Restrict to right in/right out only



Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
23	38.53	Lt	561126126003	ALON Station	Full movement, commercial access	Restrict to right in/right out only; potentially change to egress only or consolidate upon redevelopment
24	38.54	Lt	561126126003	ALON Station	Full movement, commercial access	Restrict to right in/right out only; potentially change to ingress only or consolidate upon redevelopment
25	38.54	Lt		Washington Street	Full movement, public access	No change
26	38.54	Rt		Washington Street	Full movement, public access	No change
27	38.7	Rt	561126403003	Criston Mall	Full movement, commercial access	Restrict to right in/right out only; reduce access width to 30' upon redevelopment
28	38.57	Lt	561126125005	Ocean Pearl Restaurant	Access closed	No change
29	38.58	Lt	561126125008	La Casita Restaurant	Full movement, commercial access	Restrict to right in/right out only
30	38.69	Rt	561126403001	Community Banks	Enter only, commercial access	Restrict to right in only
31	38.68	Rt	561126403001	Community Banks	Exit only, commercial access	Restrict to right out only
32	38.59	Lt		Madison Street	Full movement, public access	No change
33	38.59	Rt		Madison Street	Full movement, public access	No change
34	38.67	Rt	561126402003	Aqua Carwash	Full movement, commercial access	No change
35	38.61	Lt	561126124007	Burger Boy	Full movement, commercial access	No change
36	38.66	Rt	561126402003	Aqua Carwash	Full movement, commercial access	Recommended closure
37	38.62	Lt	561126124012	Methodist Thrift Store	Full movement, commercial access	Recommended closure; share access with existing Burger Boy access
38	38.65	Rt	561126402002	Jimmer's Restaurant	Full movement, commercial access	No change
39	38.62	Lt	561126124012	Garcia & Company	Full movement, commercial access	No change
40	38.65	Rt	561126402011	Cork & Bottle	Full movement, commercial access	No change
41	38.64	Lt		Harrison Street	Full movement, public access, signalized intersection	No change
42	38.64	Rt		Harrison Street	Full movement, public access, signalized intersection	No change
CITY PARK SEGMENT						
43	39.03	Rt	561126401002	Super 8 Motel	Full movement, commercial access	Restrict to right in/right out only; open emergency access on Harrison Street
44	38.73	Lt	561126123001	City Market	Full movement, commercial access	Restrict to right in/right out only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
45	39.02	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to right in/right out only
46	39	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to 3/4 access
47	38.74	Lt	561126100031	Cortez Dialysis	Full movement, commercial access	Restrict to right in/right out only; close upon redevelopment and share access with Front Row Seat
48	38.93	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to right in/right out only
49	38.92	Rt	561126400008	CO Land & Title	Full movement, commercial access	Restrict to right in/right out only
50	38.75	Lt	561126100031	Front Row Seat	Full movement, commercial access	Restrict to 3/4 access; upon redevelopment share access with Cortez Dialysis and Liquid Assets
51	38.91	Rt	561126400008	Carpenter Plaza	Full movement, commercial access	Restrict to right in/right out only
52	38.77	Lt	561126100024	Liquid Assets	Full movement, commercial access	Restrict to right in/right out only; close upon redevelopment and share access with Front Row Seat
53	38.91	Rt	561126400006	Aneth Lodge	Full movement, commercial access	Restrict to 3/4 access
54	38.79	Lt	561126100025	Dolores State Bank	Full movement, commercial access	Restrict to right in/right out only
55	38.88	Rt	561126400005	Cortez Auto Repair	Full movement, commercial access	Restrict to right in/right out only
56	38.87	Rt	561126400004	Jack's Country Kitchen	Full movement, commercial access	No change
57	38.8	Lt		Park Street	Full movement, public access	No change
58	38.86	Rt	561126400004	Jack's Country Kitchen	Full movement, commercial access	Restrict to 3/4 access; upon redevelopment prevent left turns via pork chop
59	38.84	Rt	561126400003	Sundance RV Park	Full movement, commercial access	Restrict to 3/4 access
60	38.83	Rt	561126447001	Rent All Rentals	Full movement, commercial access	Restrict to right in/right out only
61	38.83	Rt	561126400001	Giant Station	Full movement, commercial access	Restrict to right in/right out only
62	38.81	Lt		Mildred Street	Full movement, public access, signalized intersection	No change
63	38.81	Rt		Mildred Street	Full movement, public access, signalized intersection	No change
64	39.16	Rt	561125308009	One Stop Taqueria	Planned Closure	No change
65	39.07	Lt	561125200010	C&G Health	Full movement, commercial access	Restrict to right in/right out only
66	39.16	Rt	561125308009	One Stop Taqueria	Full movement, commercial access	Restrict to right in/right out only
67	39.09	Lt	561125200008	Long Trailer Court	Full movement, commercial access	Restrict to right in/right out only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
68	39.09	Lt	561125200012	Durango Organics	Full movement, commercial access	Restrict to right in/right out only
69	39.17	Rt	561125308009	Vacant Lot	Full movement, residential access	Restrict to right in/right out only
70	39.17	Rt	561125300007	Holgate's Carwash	Full movement, commercial access	Restrict to right in/right out only
71	39.17	Rt	561125300007	Holgate's Tools	Full movement, commercial access	Restrict to right in/right out only
72	39.1	Lt	561125200013	1118 Main Ave	Full movement, residential access	Restrict to right in/right out only
73	39.11	Lt	561125225001	Travel Lodge	Full movement, commercial access	Restrict to 3/4 access
74	39.19	Rt	561125300006	Dairy Queen/Pizza Hut	Full movement, commercial access	Restrict to 3/4 access
75	39.12	Lt	561125225001	Willis Furniture	Full movement, commercial access	Restrict to right in/right out only
76	39.2	Rt	561125300013	Dairy Queen	Exit only, commercial access	Restrict to right out only
77	39.12	Lt	561125200019	Sunshine Motors	Full movement, commercial access	Restrict to right in/right out only
78	39.21	Rt	561125312004	Cortez Flooring and Others	Full movement, commercial access	Restrict to 3/4 access
79	39.13	Lt	561125200019	Sunshine Motors	Full movement, commercial access	Restrict to right in/right out only
80	39.14	Lt	561125200018	Auto Zone	Full movement, commercial access	Restrict to right in/right out only
81	39.15	Lt		Roger Smith Avenue	Full movement, public access	No change
82	39.24	Rt	561125300004	Big R	Full movement, commercial access	No change
83	39.57	Lt	561125215007	Taco Bell	Full movement, commercial access	Restrict to right in/right out only
84	39.27	Rt	561125300004	Big R	Full movement, commercial access	Restrict to right in/right out only
85	39.55	Lt	561125213004	McDonalds	Exit only, commercial access	Restrict to right out only
86	39.27	Rt	561125304003	Bob's Place	Full movement, commercial access	Restrict to right in/right out only
87	39.55	Lt	561125213004	McDonalds	Full movement, commercial access	Restrict to right in/right out only
88	39.32	Rt	561125313002	Plaza Laundry	Full movement, commercial access	Restrict to right in/right out only
89	39.53	Lt		Edith Street	Full movement, public access	No change
90	39.33	Rt	561125313001	Great Clips/Papa Murphy's	Full movement, commercial access	Recommended closure; share access with access # 93 (vacant lot)
91	39.49	Lt	561125212003	1430 E. Main Ave	Full movement, commercial access	Restrict to right in/right out only
92	39.48	Lt	561125200022	Community Banks	Exit only, commercial access	Restrict to right out only
93	39.33	Rt		Vacant Lot	Full movement, commercial access	Restrict to right in/right out only; convert to shared access with Papa Murphy's
94	39.45	Lt	561125200022	Community Banks	Enter only, commercial access	Restrict to right in only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
95	39.42	Lt	561125218001	1st S.W. Bank	Full movement, commercial access	Restrict to right in/right out only
96	39.39	Lt	561125222001	Safeway	Full movement, commercial access	Restrict to 3/4 access
132	39.39	Rt	561125303001	N/A	N/A	Configure as 3/4 access when development occurs
97	39.37	Lt	561125217015	Net Force PC	Full movement, commercial access	Restrict to right in/right out only
98	39.34	Rt	561125311001	Wal-Greens	Right in/right out, commercial access	No change
99	39.37	Lt	561125217006	Super Splash Carwash	Exit only, commercial access	Restrict to right out only
100	39.36	Lt	561125217006	Super Splash Carwash	Enter only, commercial access	Recommended closure
EASTERN GATEWAY SEGMENT						
101	39.35	Rt		Sligo Street	Full movement, public access, signalized intersection	No change
102	39.57	Rt		Veach Street	Full movement, public access	No change
103	39.62	Rt	561125403002	Cedarwood Animal Clinic	Planned Closure	No change
104	39.62	Lt		Henry Street	Full movement, public access	Restrict to right in/right out only
105	39.6	Rt	561125403002	Cedarwood Animal Clinic	Full movement, commercial access	Restrict to right in/right out only
106	39.63	Lt	561125100019	American Home Patient	Full movement, commercial access	Restrict to right in/right out only
107	39.69	Rt	561125412001	O'Reilly's	Full movement, commercial access	Restrict to right in/right out only
108	39.64	Lt	561125100019	Pro Nails	Full movement, commercial access	Restrict to right in/right out only
109	39.64	Lt		Texas Street	Full movement, public access	Restrict to right in/right out only
110	39.69	Rt	561125402001	Mountain Chiropractic	Full movement, commercial access	Restrict to right in/right out only
111	39.72	Rt		Cactus Street	Full movement, public access	Restrict to 3/4 access
112	39.73	Lt	561125100024	Econo Lodge	Full movement, commercial access	Restrict to right in/right out only; can provide 3/4 access if access is reconfigured to align with Cactus Street
113	39.77	Rt	561125401004	Shell Station	Full movement, commercial access	Restrict to right in/right out only
114	39.76	Lt	561125100024	Econo Lodge	Full movement, commercial access	Restrict to right in/right out only
115	39.8	Lt	561125100024	Econo Lodge	Full movement, commercial access	Left in only
116	39.8	Rt	561125401006	Denny's	Full movement, commercial access	Restrict to right in/right out only; potential for future 3/4 access
117	39.82	Lt	561125100016	Retro Inn	Exit only, commercial access	Restrict to right out only





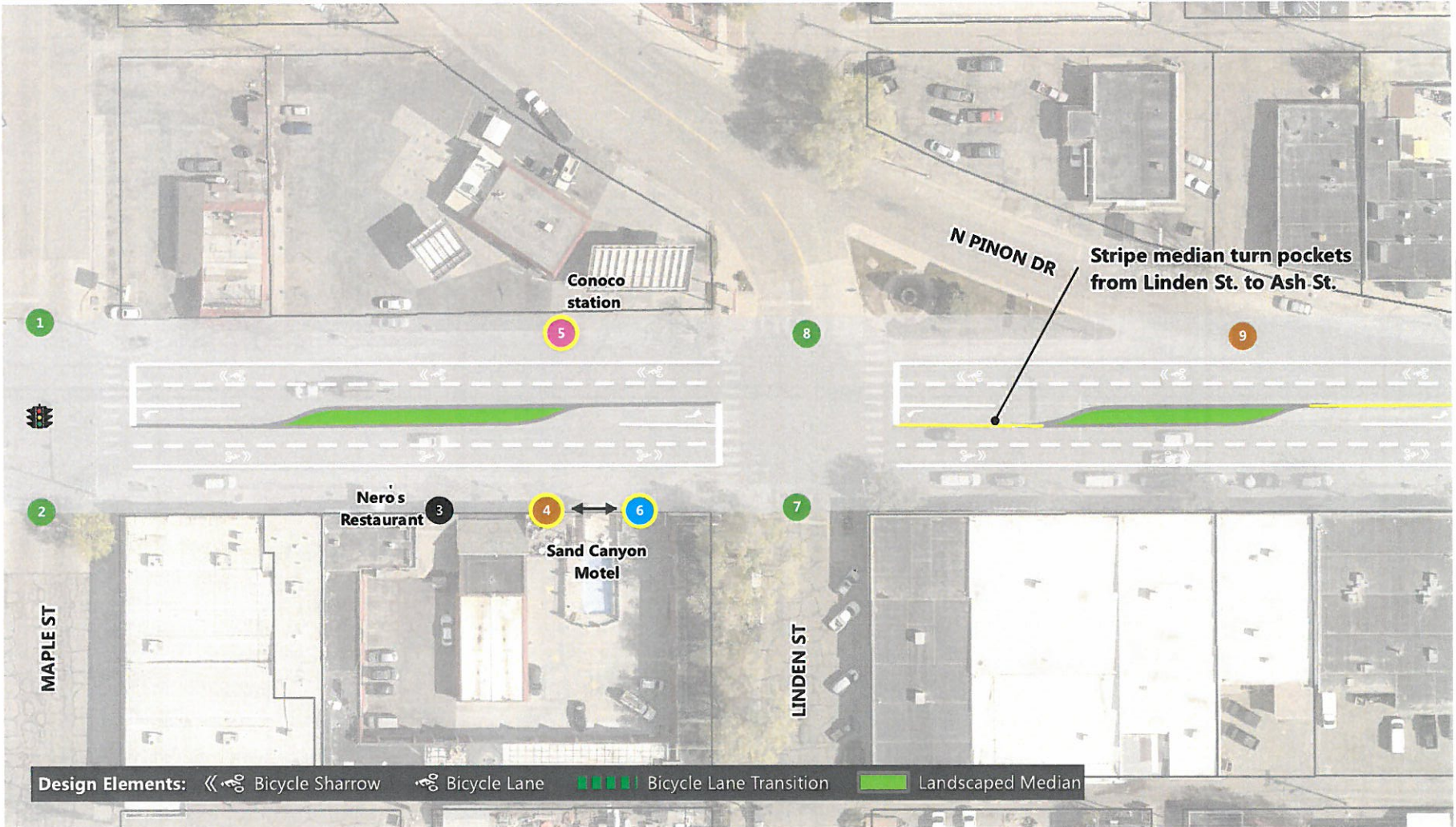
Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
118	39.84	Lt	561125100016	Retro Inn	Full movement, commercial access	Restrict to right in/right out only
119	39.85	Rt	561125400004	Holiday Inn	Full movement, commercial access	Restrict to right in/right out only
120	39.89	Lt	561125118104	Cortez Plaza	Full movement, commercial access	No change
121	39.89	Rt		Hawkins Street	Full movement, public access	No change
122	40.1	Lt	561125118100	Cortez Plaza	Full movement, commercial access	No change
123	40.09	Rt		Trinity Avenue	Full movement, public access	No change
124	40.12	Lt	561125100013	Conoco station	Full movement, commercial access	Restrict to right in/right out only
125	40.17	Lt	561125100025	La Mesa RV Park	Full movement, commercial access	Restrict to right in/right out only
126	40.19	Lt		Dolores Street	Right in/right out, public access	No change
127	40.29	Lt		US Highway 145/State Street	Full movement, public access, signalized intersection	No change
128	40.29	Rt		US Highway 145/State Street	Full movement, public access, signalized intersection	No change
129	40.53	Lt	560930200012	Days Inn	Full movement, commercial access	Restrict to right in/right out only
130	40.41	Rt		Lakeside Drive	Full movement, public access	Restrict to 3/4 access
131	40.44	Lt		Patton Street	Full movement, public access	Restrict to right in/right out only

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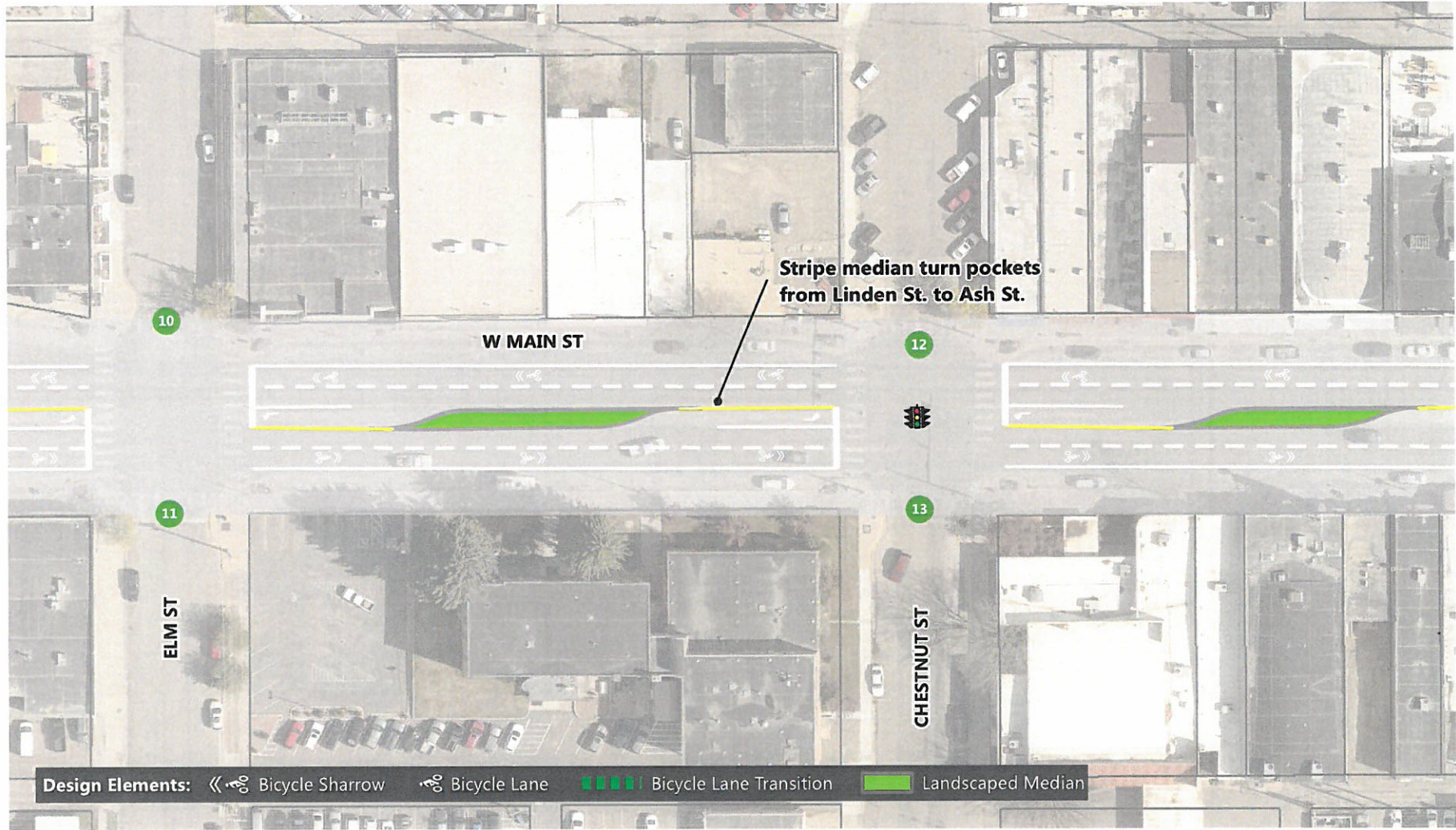




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 Kim Percell Clerk/Recorder, Montezuma County, Co

	Full		Left In Only		New Access		Access Change		1 inch = 75 feet 0 25 50 100 Feet
	3/4 Access		Right In Only		Recommended Closure		Traffic Signal	Multiple Accesses per Business	
	Ingress Only		Right In/Right Out		Planned Closure		Access Closed		

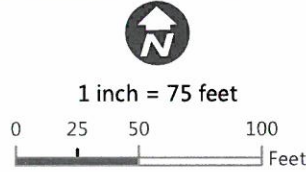




Design Elements: <<🚲 Bicycle Sharrow 🚲 Bicycle Lane 🟢🟢🟢🟢 Bicycle Lane Transition 🟢 Landscaped Median

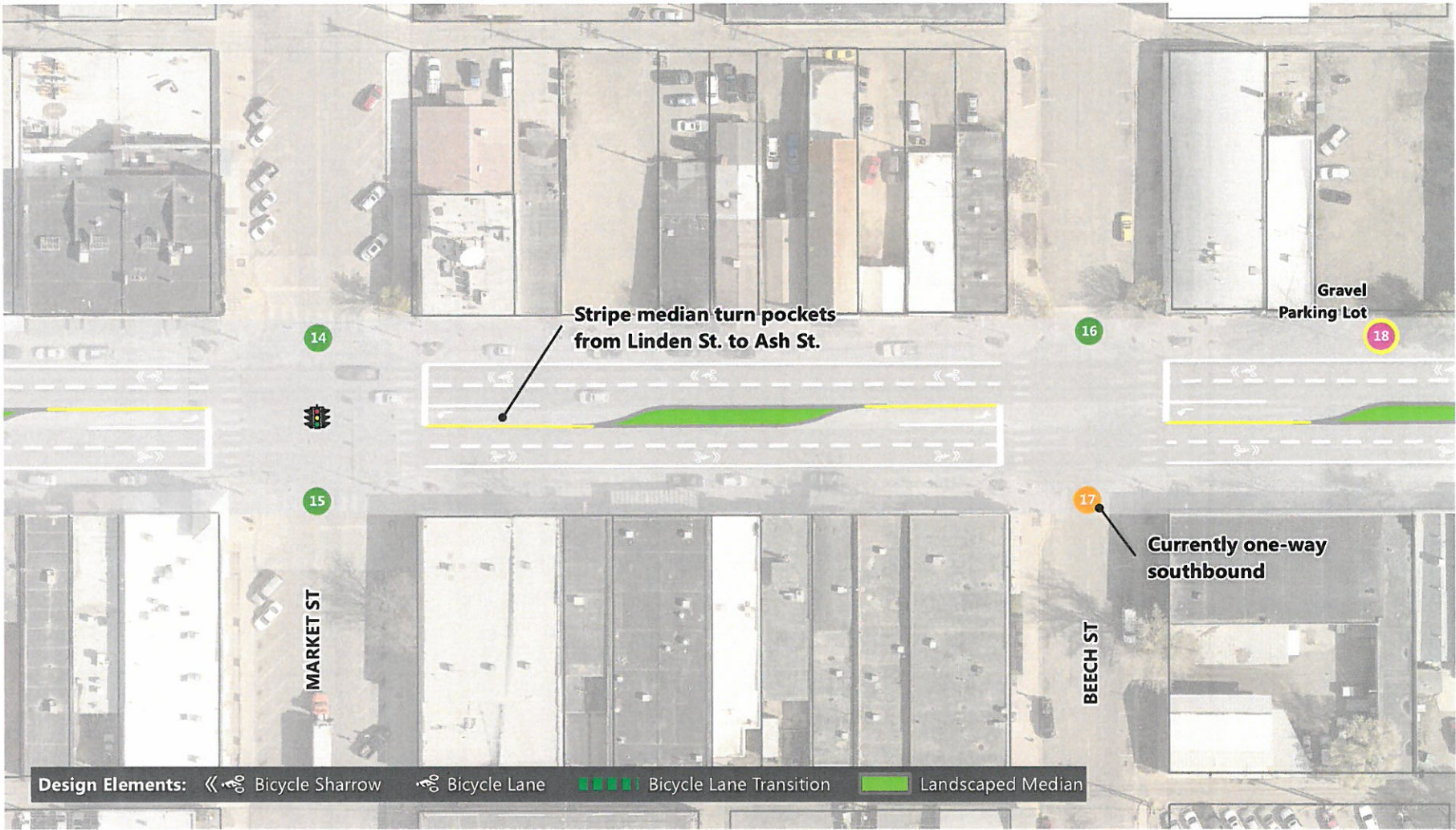
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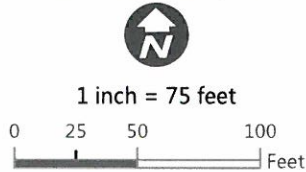


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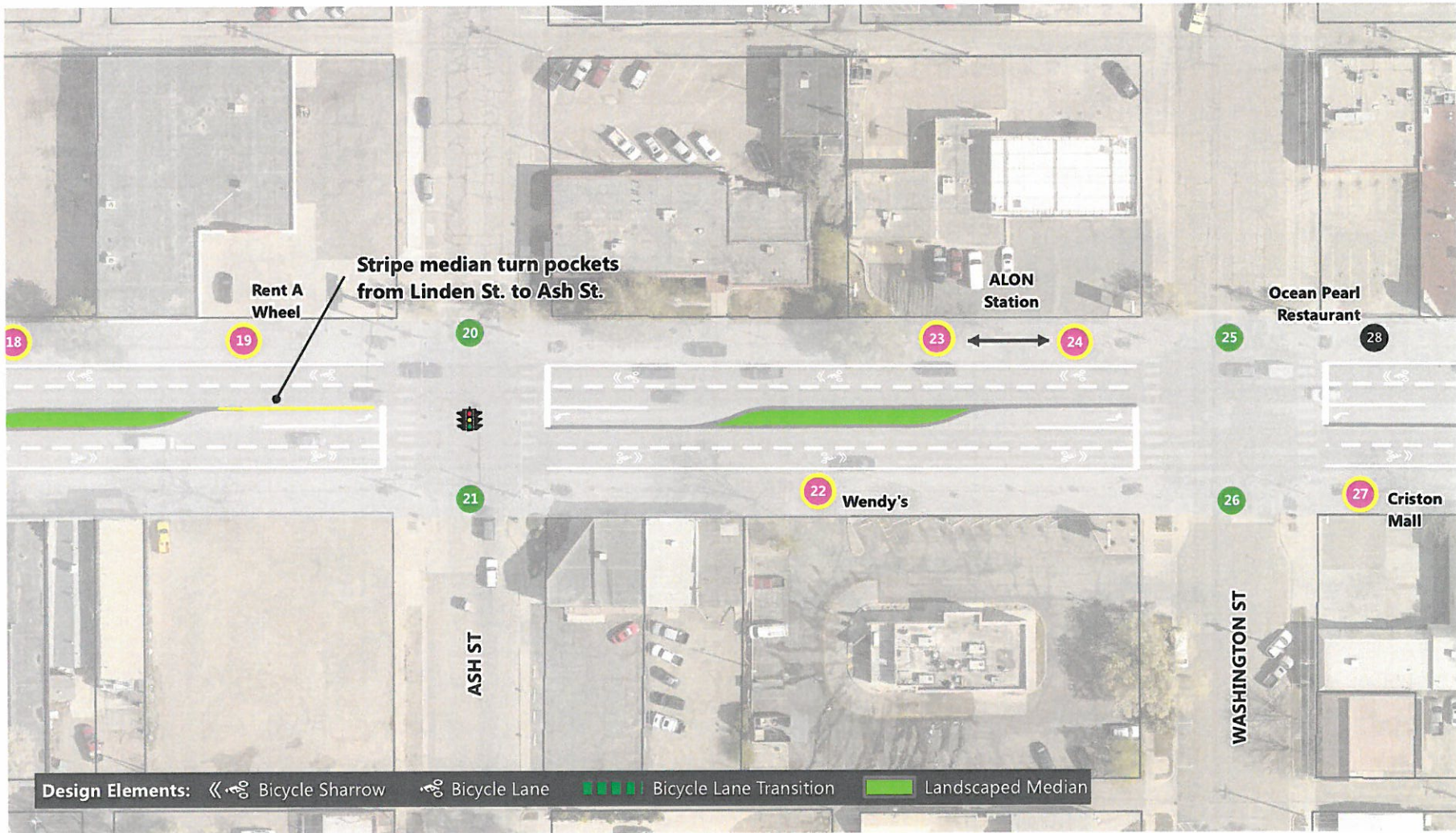




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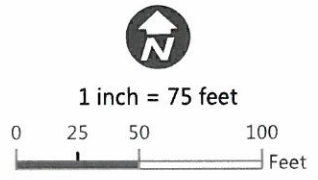


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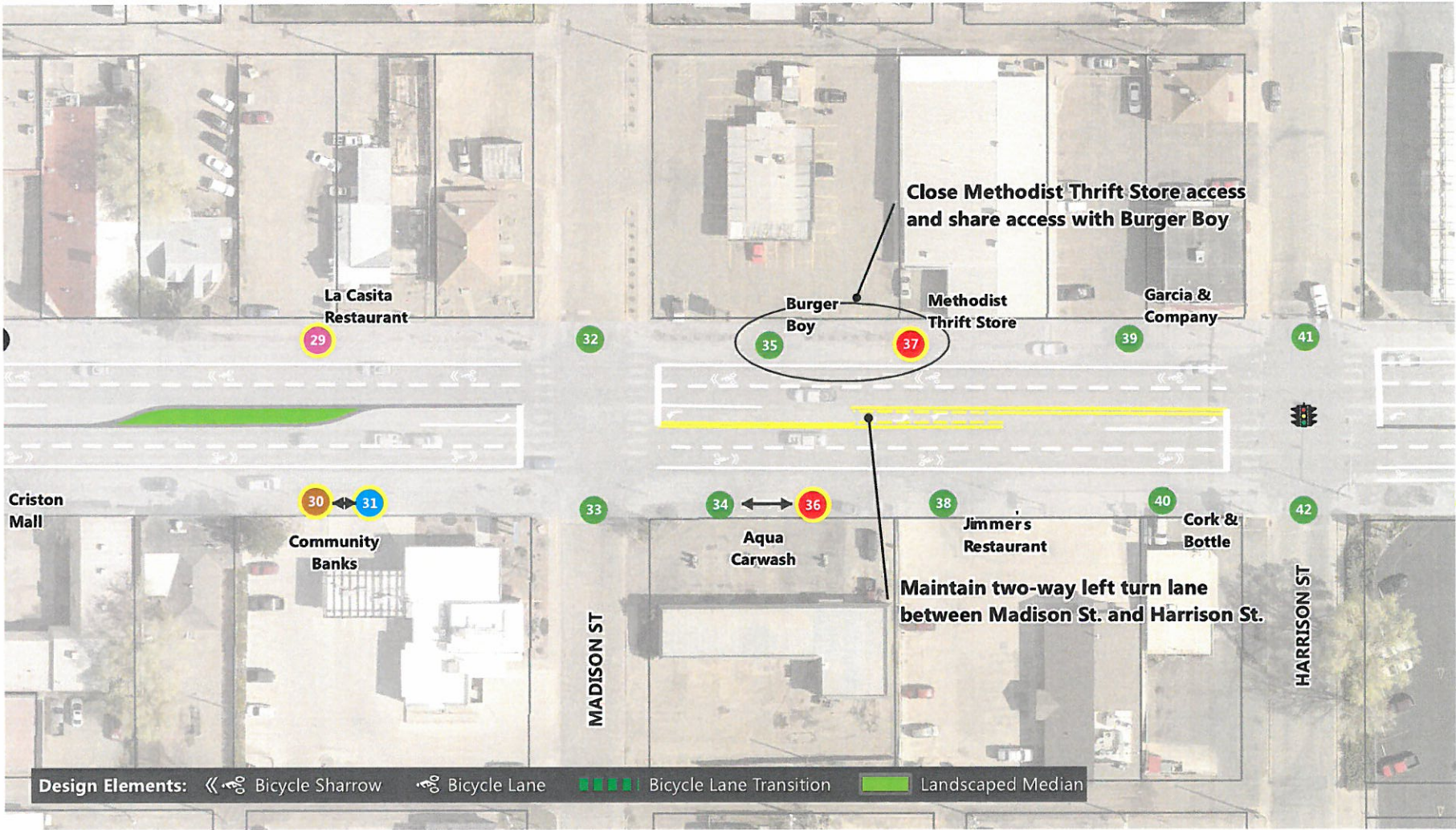
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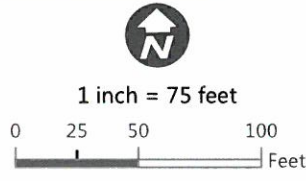


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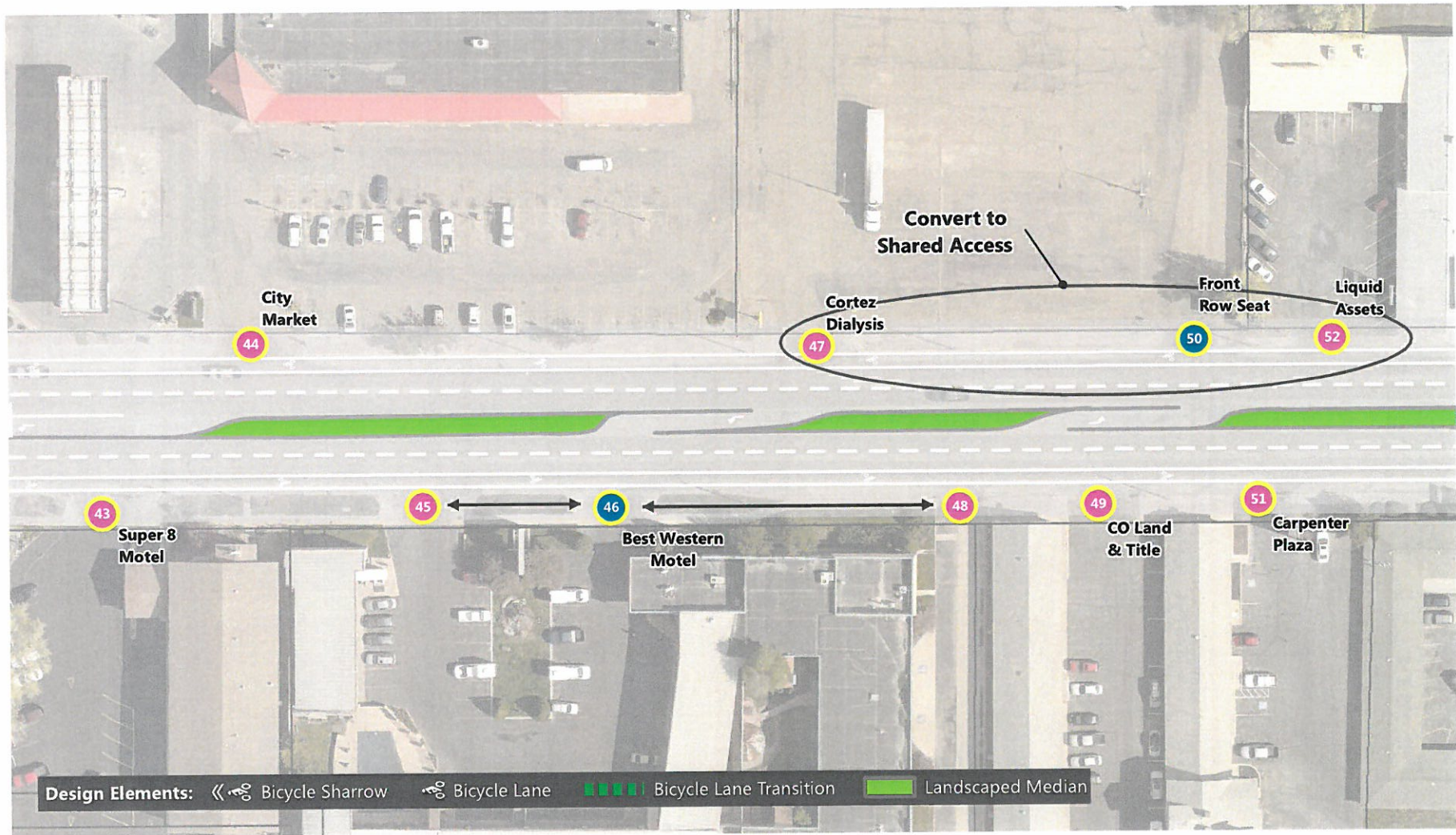


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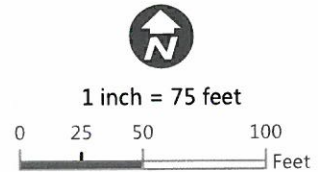


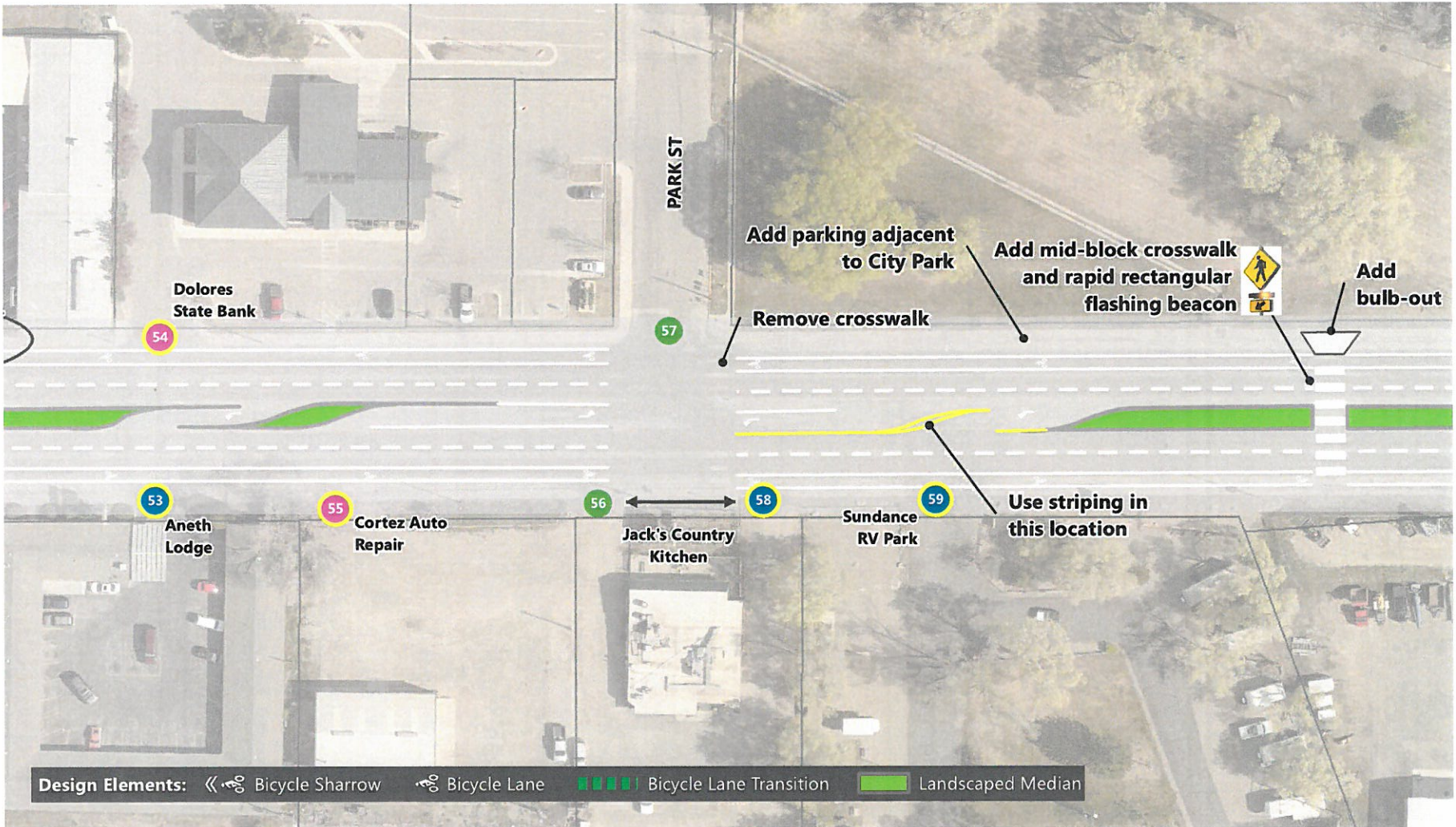


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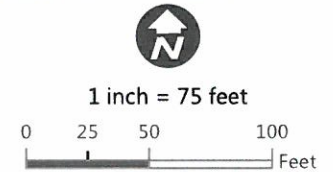
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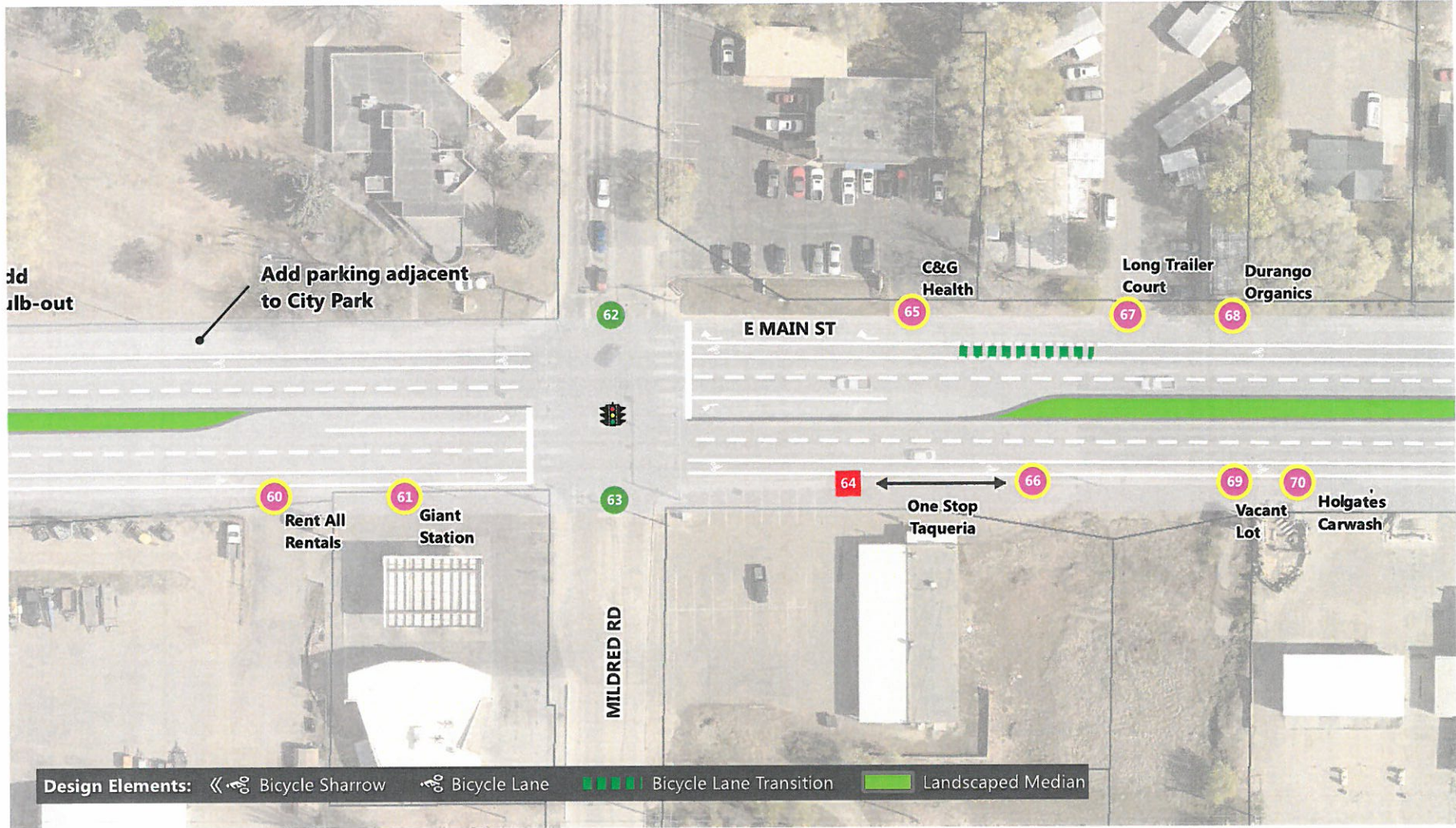


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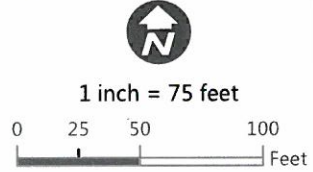


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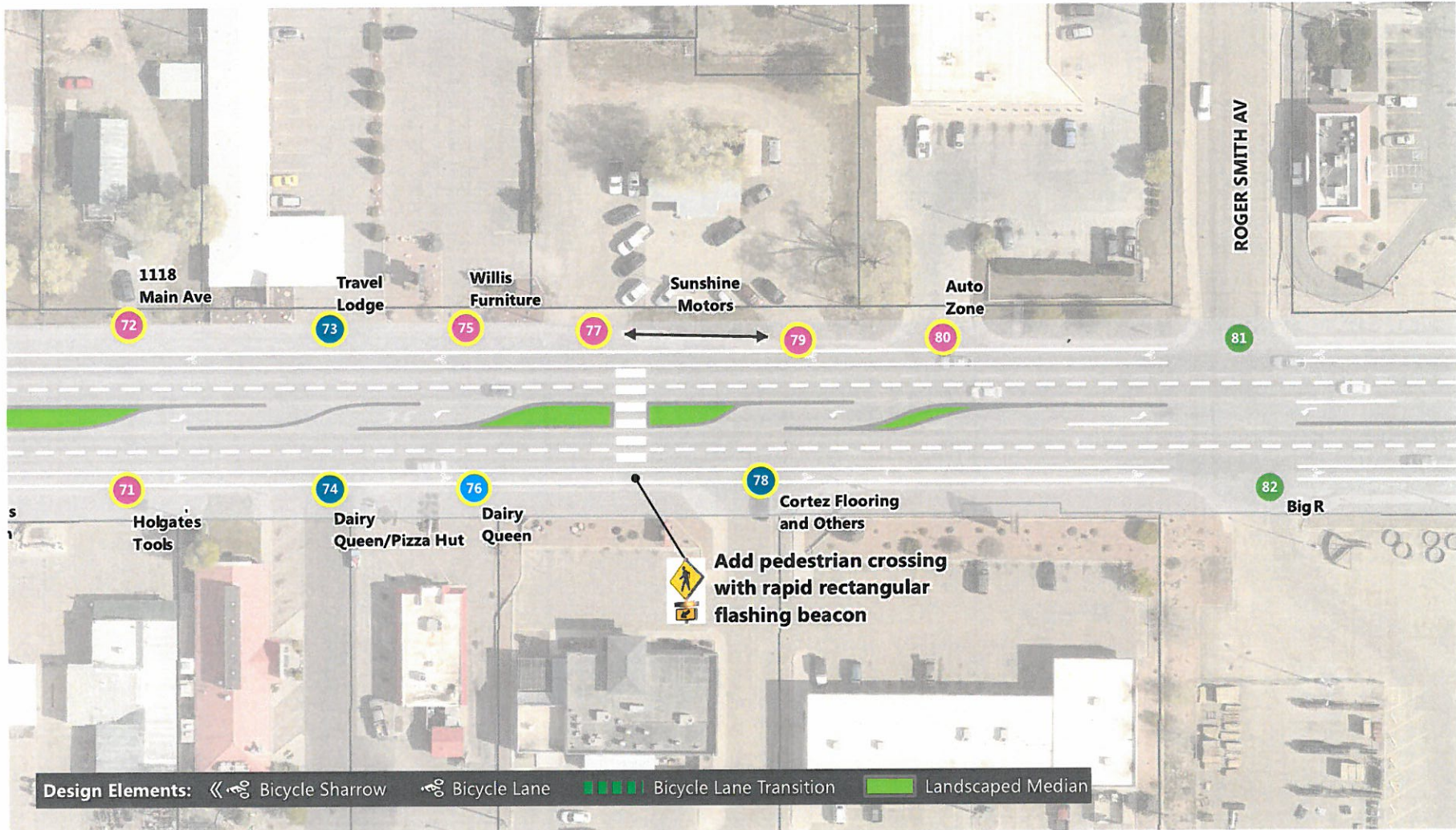




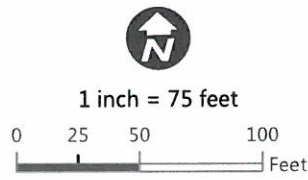
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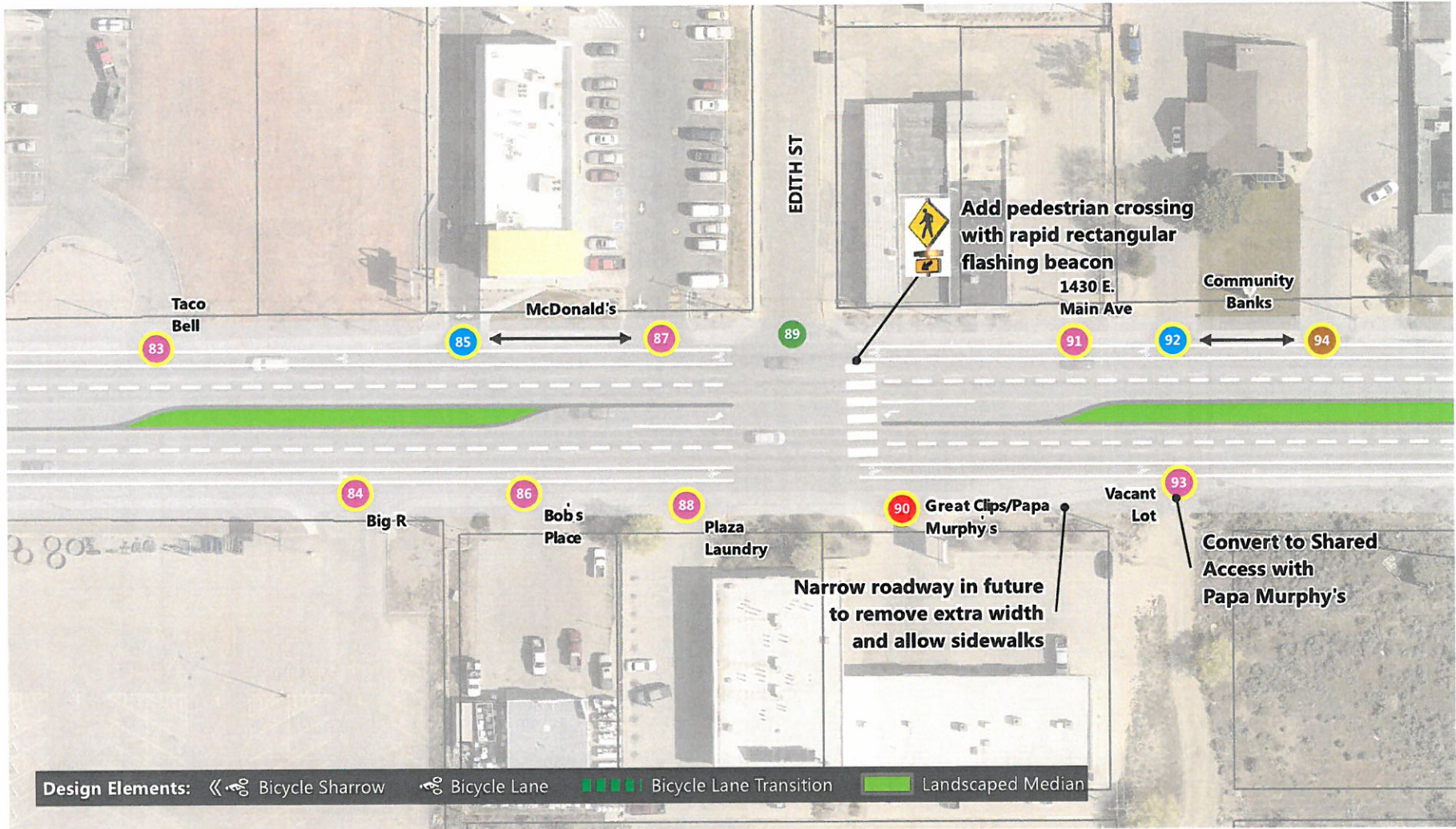
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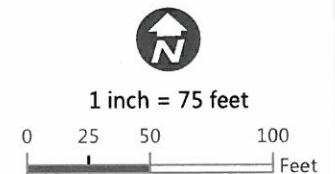
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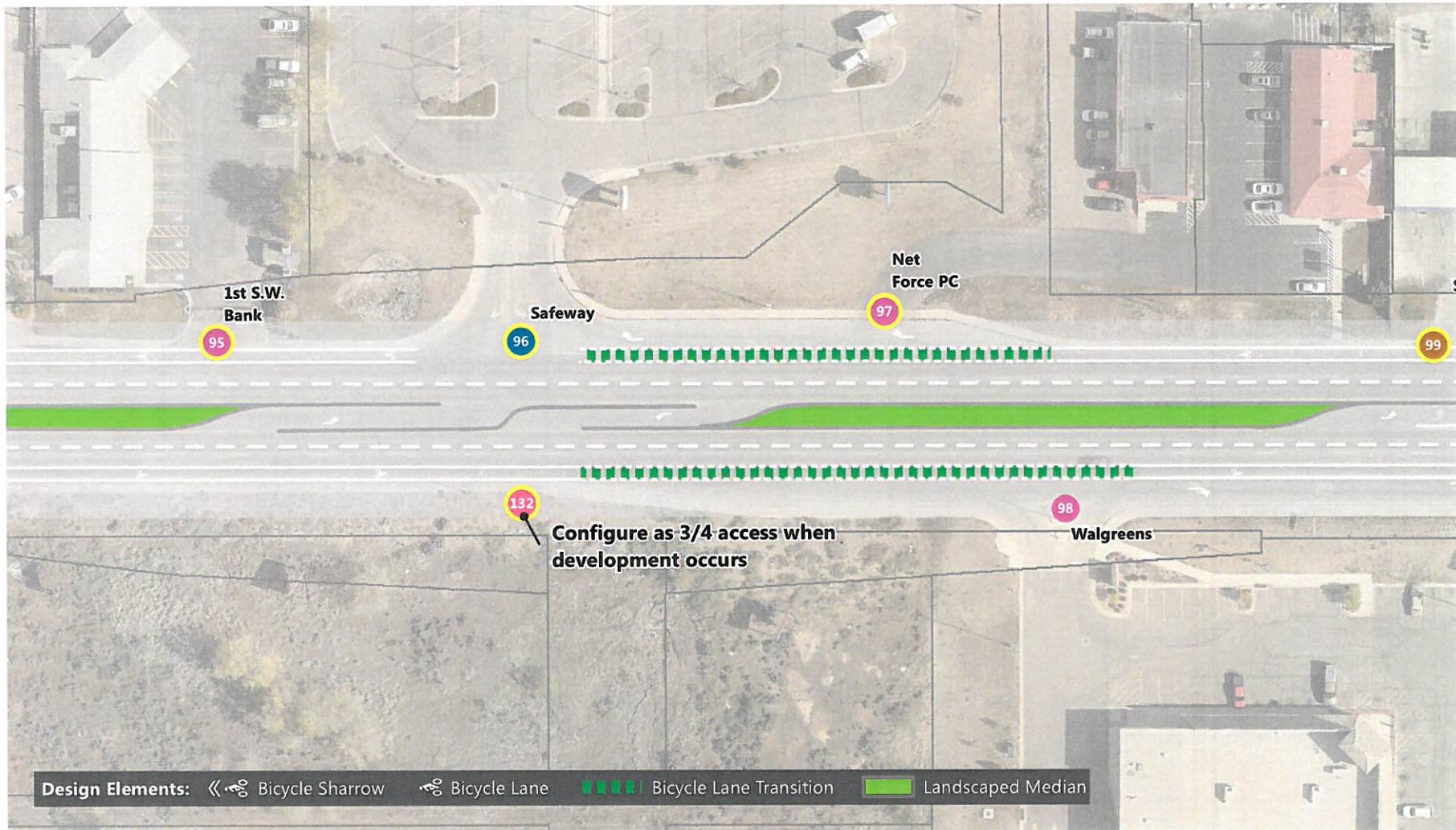


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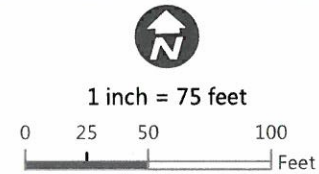


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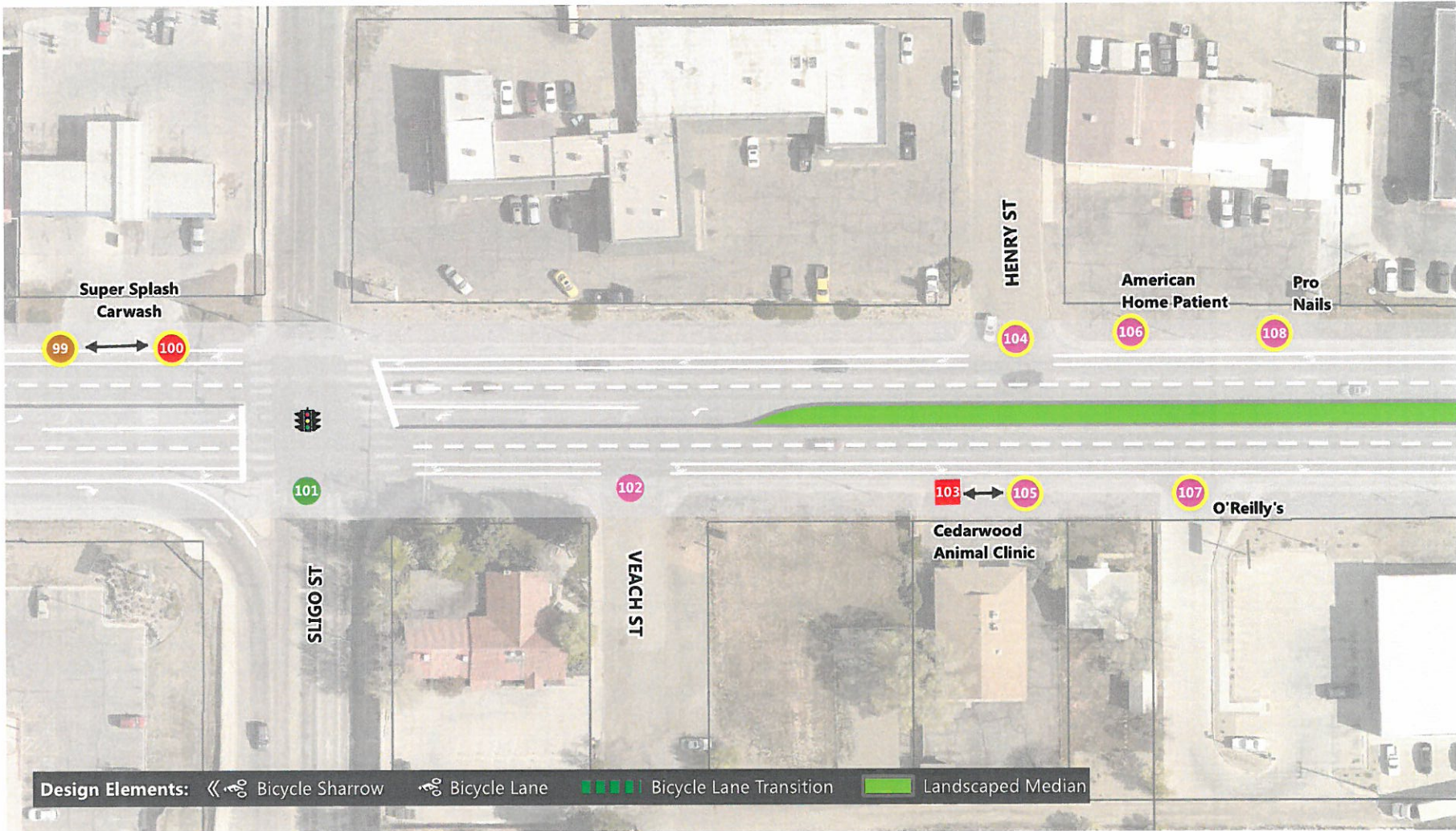


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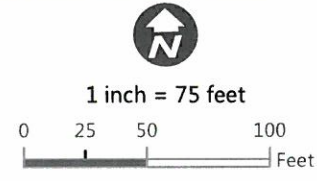


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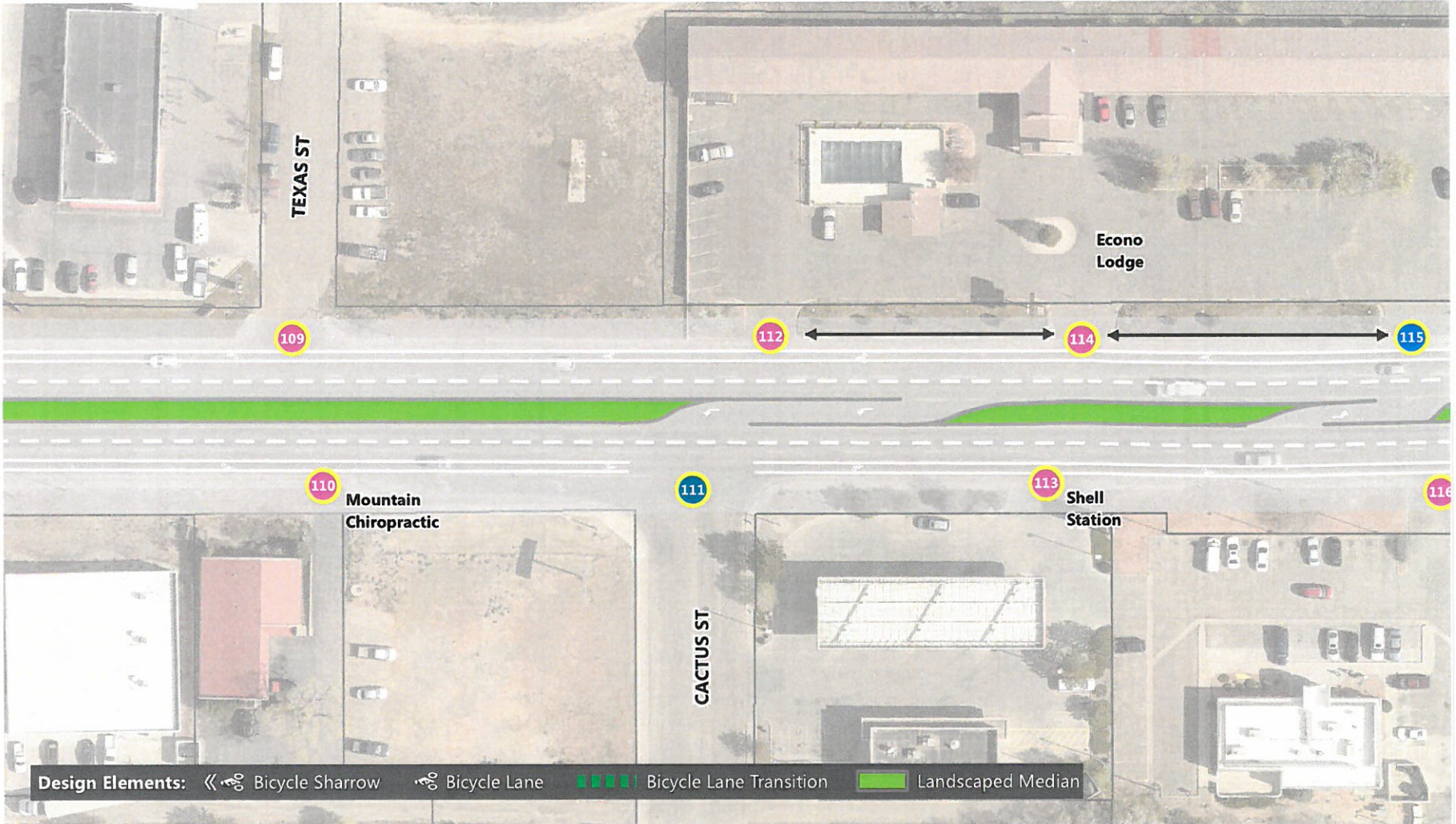




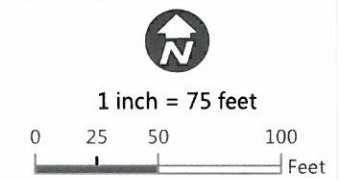
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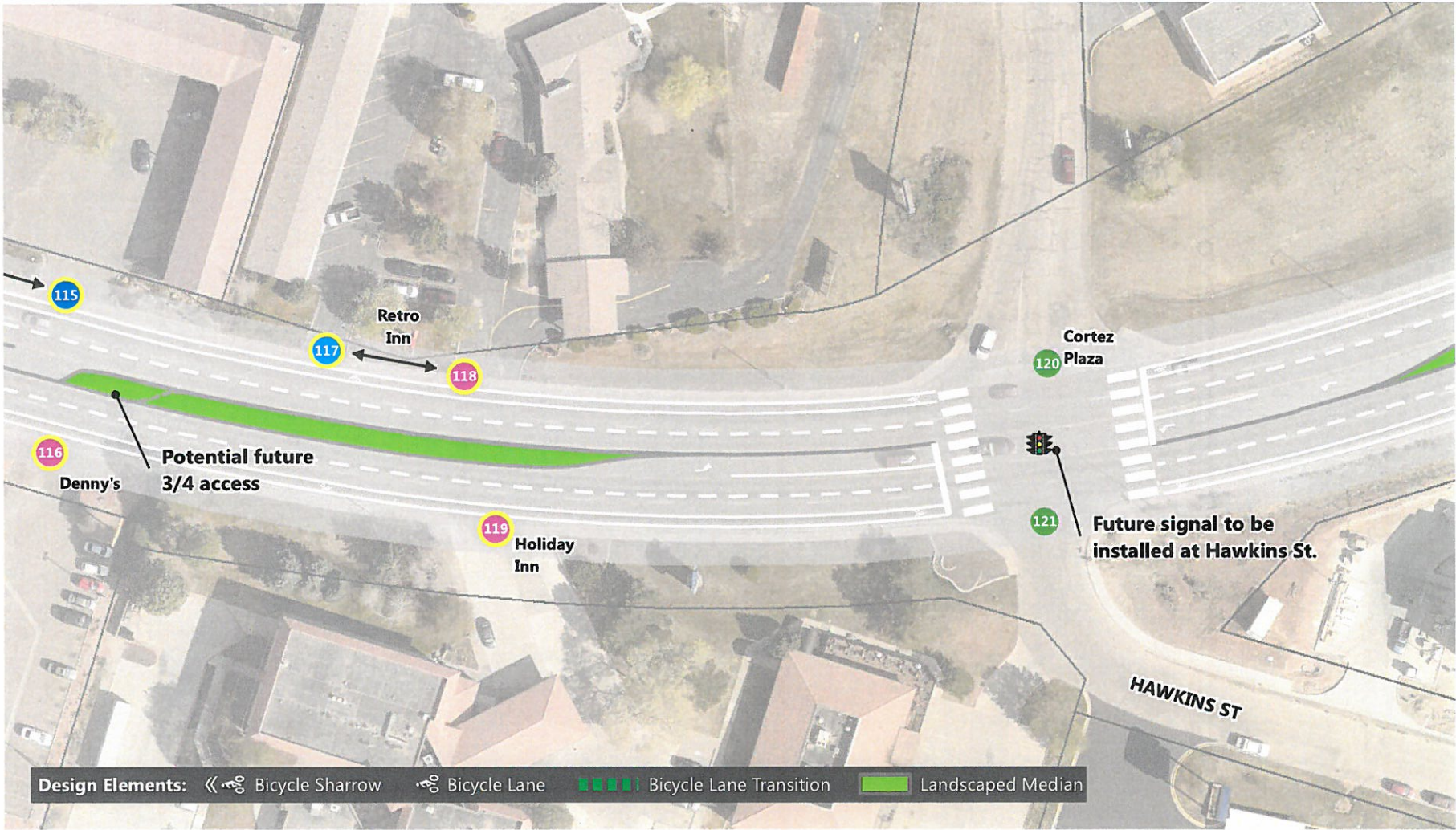


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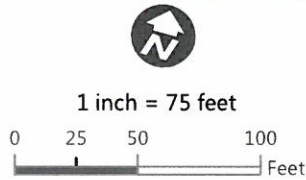
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Design Elements: Bicycle Sharrows Bicycle Lane Bicycle Lane Transition Landscaped Median

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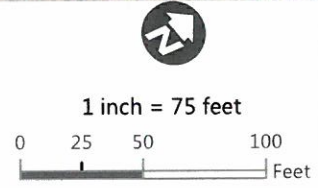
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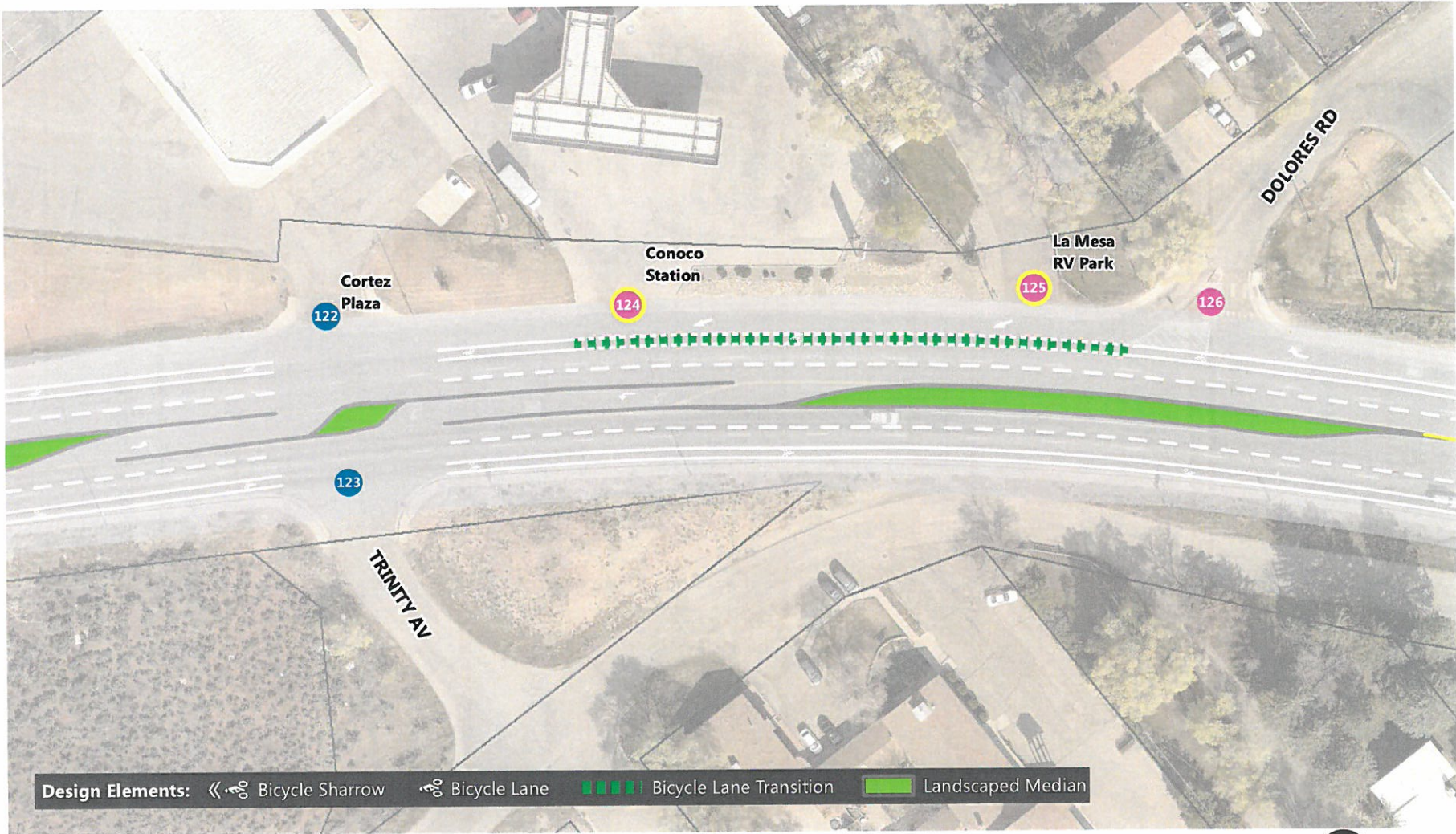
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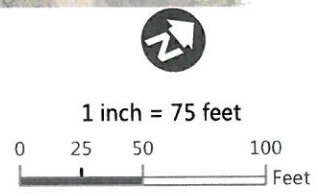


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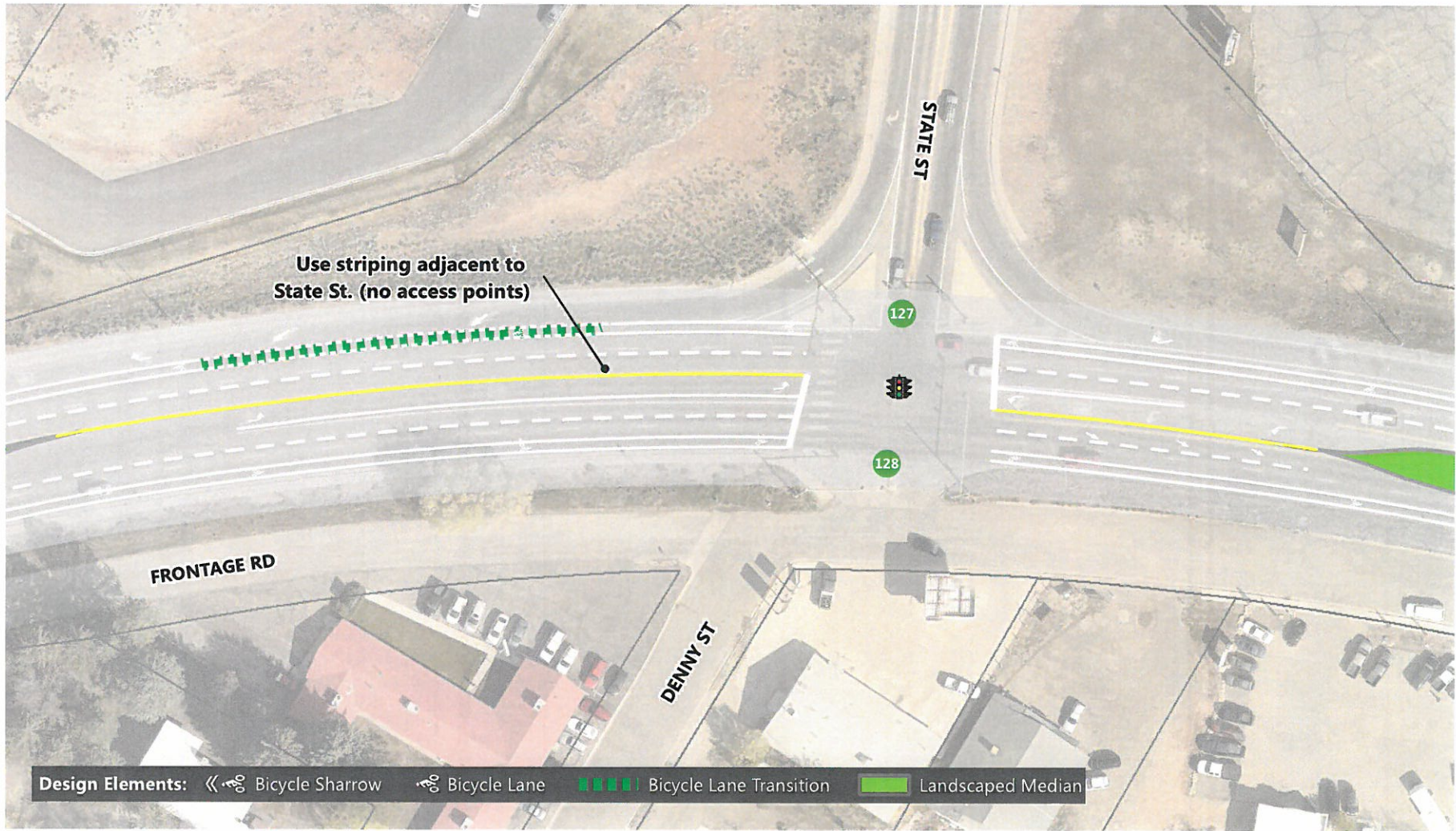


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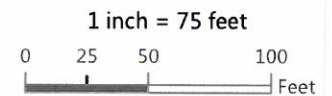
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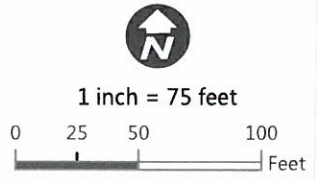




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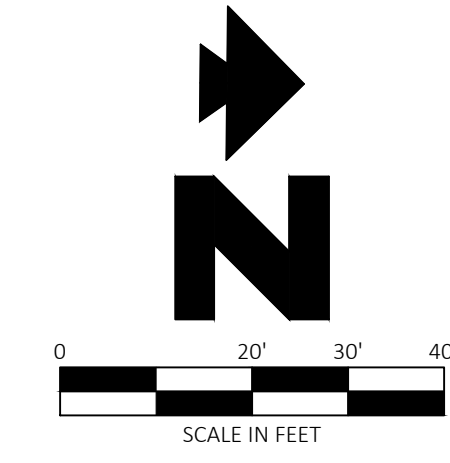
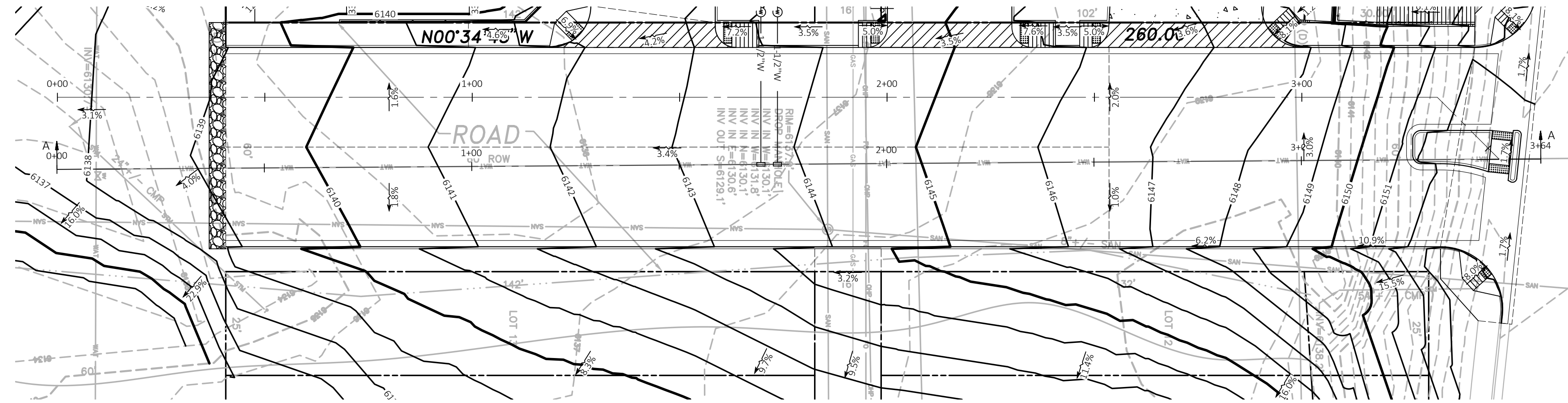


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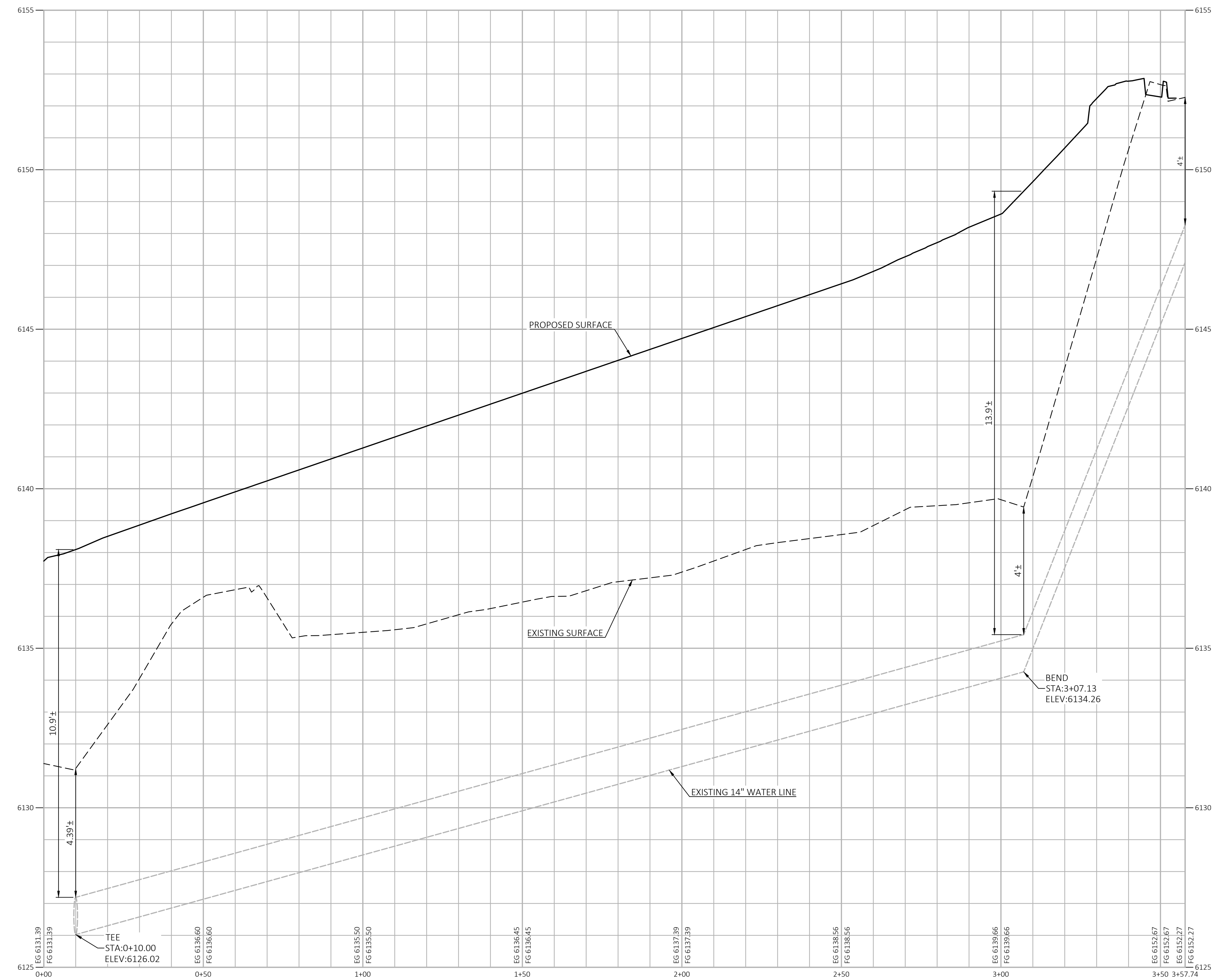


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WATER LINE - A PROFILE
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



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CEI ENGINEERING ASSOCIATES, INC.
 710 W Pinedale AVE
 FRESNO, CA 93711
 PHONE: (559) 447-3119
 FAX: (559) 447-3129



CLIENT:
 3K1 CONSULTING SERVICES, LLC.
 11811 N. TATUM BOULEVARD,
 PHOENIX, ARIZONA 85028
 PHONE: (602) 850-8101



PLANS PREPARED FOR
 QUICK N CLEAN
 7291 E. ADOBE DRIVE, SUITE 115
 SCOTTSDALE, AZ 85255
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN
 1511 EAST MAIN STREET
 CORTEZ, CO

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	2/7/2023
REVISION	REV-2

EXISTING WATER LINE
 PROFILE
 SHEET TITLE
 SHEET NUMBER

EX1

GEOTECHNICAL INVESTIGATION REPORT

**Proposed Quick N Clean Carwash
1511 Main Street
Cortez, Colorado**

Yeh Project No.: 222-475

November 10, 2022

Prepared for:

**3K1 Consulting Services, LLC
11811 N. Tatum Boulevard, Suite 1051
Tucson, Arizona 85028**

Attn: Mr. Nick Barber

Prepared by:

**Yeh and Associates, Inc.
570 Turner Dr. Suite D
Durango, CO. 81303
Phone: 970-475-9590**

GEOTECHNICAL INVESTIGATION REPORT

Proposed Quick N Clean Carwash
1511 Main Street
Cortez, Colorado

Yeh Project No.: 222-475

November 10, 2022

Prepared by:



Roger K. Southworth, P.E.
Senior Project Engineer

Reviewed by:

Marty Skyrman, P.E.
Senior Project Engineer

TABLE OF CONTENTS

1.0 PURPOSE AND SCOPE OF STUDY.....	1
2.0 PROPOSED CONSTRUCTION	1
3.0 SITE CONDITIONS	3
4.0 SUBSURFACE INVESTIGATION	4
4.1 FIELD EXPLORATION	4
4.2 LABORATORY TESTING	4
5.0 SUBSURFACE CONDITIONS	5
6.0 RECOMMENDATIONS.....	5
6.1 DESIGN CONSIDERATIONS	5
6.2 FOUNDATIONS	5
6.3 FLOOR SLAB.....	6
6.4 SEISMIC CONSIDERATIONS.....	7
6.5 DRAINAGE CONSIDERATIONS	8
6.6 PAVEMENT	9
6.6 DETENTION BASIN DESIGN	11
7.0 EARTHWORK RECOMMENDATIONS.....	11
7.1 SITE GRUBBING AND STRIPPING	11
7.2 BUILDING PAD SUBGRADE PREPARATION.....	11
7.3 PAVEMENT SUBGRADE PREPARATION	12
7.4 SUBGRADE PREPARATION CONSIDERATIONS.....	12
7.5 FILL MATERIAL	12
7.6 COMPACTION RECOMMENDATIONS.....	13
8.0 LIMITATIONS.....	14

List of Figures

FIGURE 1. PROJECT LOCATION MAP	2
Figures 2. SITE PHOTOGRAPH.....	3

List of Tables

TABLE 1. SEISMIC DESIGN PARAMETERS	8
TABLE 2. RECOMMENDED PAVEMENT SECTIONS	10
TABLE 3. COMPACTION REQUIREMENTS	13

LIST OF APPENDICES

APPENDIX A – BORING LOCATION PLAN	
APPENDIX B – LOGS AND LEGEND	
APPENDIX C – SEISMIC DESIGN DATA	



1.0 PURPOSE AND SCOPE OF STUDY

This report presents the results of our geotechnical investigation for the carwash that will be constructed in Cortez, Colorado. This investigation was performed in general accordance with our Proposal No. 222-475 dated October 13, 2022. Our scope of services included a field exploration, laboratory testing, geotechnical engineering analyses, and preparation of this report.

The purposes of this investigation were to evaluate the subsurface conditions on the site and to develop geotechnical recommendations to guide design and construction of the proposed carwash. Our scope of services included the following:

- Drilling soil borings to evaluate the subsurface conditions in the proposed building and pavement areas.
- Laboratory testing of the soils encountered during the field exploration to evaluate pertinent engineering properties of the soil.
- Foundation design recommendations, including allowable bearing pressure, approximate depth to bearing stratum, and estimated movement.
- Floor slab design considerations and floor slab subgrade preparation recommendations.
- Pavement subgrade preparation and recommended pavement sections.
- Estimated soil percolation rate for detention basin design
- Earthwork, including recommendations for fill placement and compaction, suitability of the site soil for reuse as engineered fill, and subgrade preparation.
- Discussion of geotechnical conditions that could impact construction, such as subgrade stabilization, hard rock excavation, and drainage.

2.0 PROPOSED CONSTRUCTION

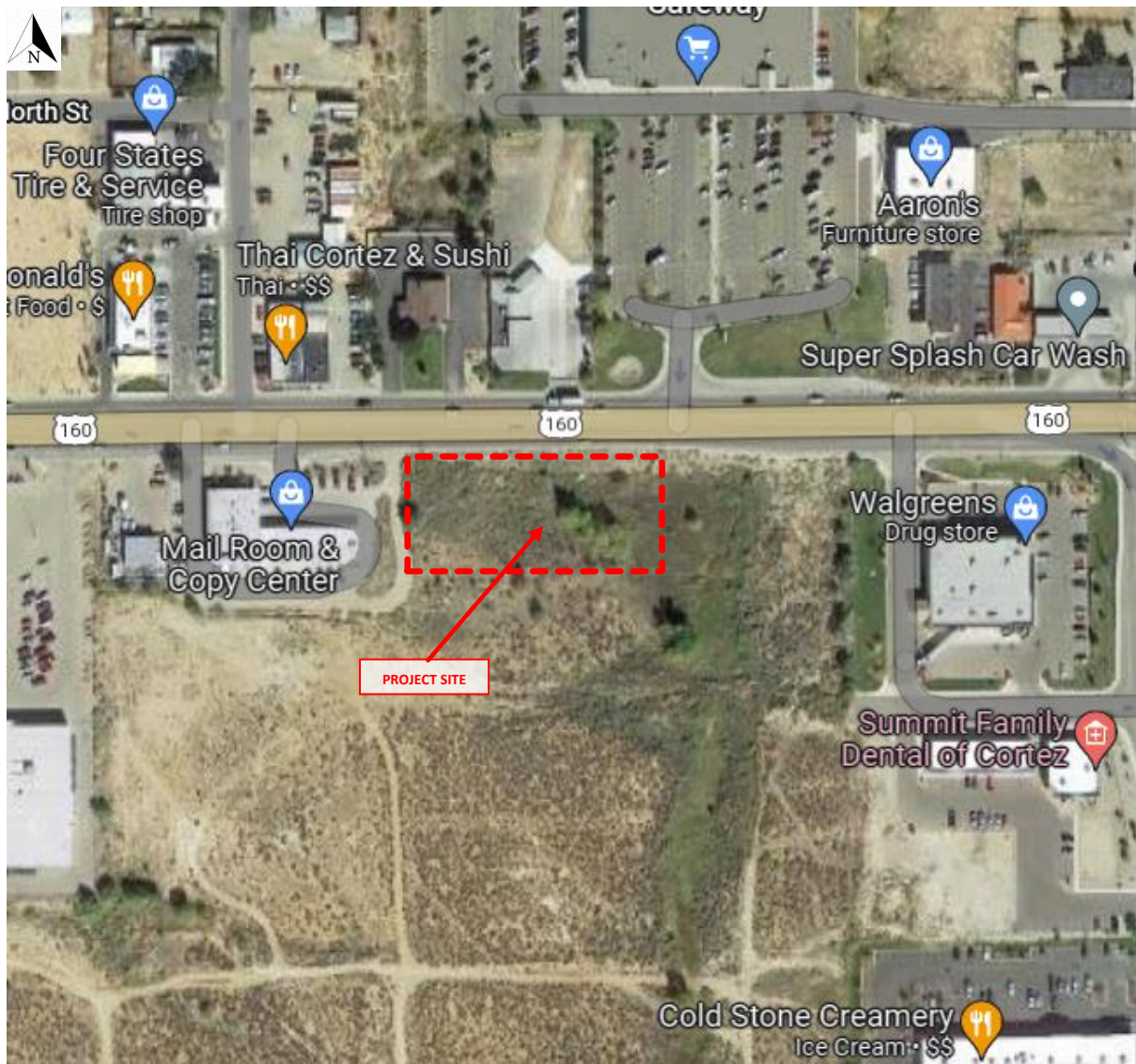
The project will consist of constructing a carwash in Cortez, Colorado. The location of the project site is depicted on the following Figure 1, *Project Location Map*. The facility will include a one-story building with a footprint of approximately 5,380 square feet, a parking lot and drives, a detention pond, and associated infrastructure. It was assumed that the building will have maximum column loads of less than 100 kips and maximum wall loads of less than 3 kips per linear foot.

The *Grading Plan* for the project prepared by CEI Engineering Associates, Inc dated October 4, 2022 indicates that a finish floor elevation of El. 6142.5 feet is planned for the building. The site grades in the proposed building area currently vary from about El. 6138 to 6142 feet. The finish

floor of the building will therefore vary from about ½ foot lower to 4 feet higher than the current site grades.

The project site slopes down from the west towards the east approximately 11 feet, with elevations ranging from about El. 6136 to 6147 feet. The final site grades in the western portion of the site will be within about 1 foot of the current site grades. The final site grades in the eastern portion of the site will be about 3 to 10 feet higher than the current site grades. We should be contacted if this information is incorrect so that we can determine if a revision of the recommendations contained herein is necessary.

Figure 1 – Project Location Map



3.0 SITE CONDITIONS

The project site was vacant and vegetated with native grasses, brush, and small trees at the time of the field investigation. The site slopes down from the west towards the east approximately 11 feet. The site is on the order of 3 to 18 feet lower than East Main Street, which is located immediately north of the site. The site is bounded by vacant land to the south and east of the site, and by a strip shopping center to the west of the site. A site photograph is provided in the following Figure 2.

Figure 2 –Site Photograph



Project site looking north from near the southeast property corner

4.0 SUBSURFACE INVESTIGATION

4.1 Field Exploration

Eight borings were drilled for this project to depths ranging from approximately 5 to 10 feet. Four of the borings were terminated due to auger refusal in sandstone. The other four borings were terminated at a depth of 5 feet, prior to encountering the sandstone. The approximate boring locations are indicated on the *Boring Location Plan* attached in Appendix A.

Samples of the subsurface materials were obtained from the borings at select depths by driving a split-spoon sampler. Bulk samples of the soil were recovered from auger cuttings as the borings were advanced. The samples were transported to our laboratory where they were examined by the project geotechnical engineer and a program of laboratory testing was prepared.

Penetration resistance measurements were made by driving the samplers into the subsurface materials with a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 12 inches, after an initial penetration of 6 inches for the standard sampler, constitutes the N-value as shown on the boring logs. The N-values can be correlated to the relative density of granular soil and the consistency of cohesive soil.

Water levels were recorded in each boring at completion of the drilling operations. The borings were backfilled with the auger spoil after the water level readings were obtained. The water level readings are presented on the boring logs.

The drilling operations were monitored by a Yeh and Associates geotechnical engineer. The engineer prepared field logs documenting the soil conditions encountered, groundwater levels, standard penetration test blow counts (N-values), sampling intervals, and types of samples obtained. The field logs were used by the project geotechnical engineer as an aid in preparing the final boring logs. Copies of the boring logs are presented in Appendix B. Our scope of services did not include survey of the boring locations.

4.2 Laboratory Testing

The recovered soil samples were classified by the project geotechnical engineer in accordance with the Unified Soil Classification System (USCS). Laboratory tests were then performed on select samples to evaluate the pertinent engineering properties of the soil. The laboratory testing was conducted in general accordance with the American Society for Testing and Materials (ASTM) test procedures. The following laboratory tests were performed for this evaluation:

- Water Content
- Dry Unit Weight
- Liquid and Plastic Limits
- Swell/Compression Potential
- Percent Passing No. 200 Sieve

The laboratory test results are presented on the boring logs.

5.0 SUBSURFACE CONDITIONS

Lean clay with variable sand content was encountered in the borings to depths of about 6 to 9½ feet, underlain by sandstone that extended to the boring termination depths. Sandstone was not encountered in Borings B-2 through B-5, which were terminated at a depth of 5 feet, prior to encountering the sandstone. The consistency of the lean clay varied from medium stiff to hard.

Groundwater was not encountered in the borings during drilling. Variations in the groundwater level may occur seasonally. The magnitude of the variation will be largely dependent upon the amount of spring snowmelt, duration and intensity of precipitation, irrigation practices, site grading changes, and the surface and subsurface drainage characteristics of the surrounding area. Perched water tables may be present but were not encountered in the borings.

6.0 RECOMMENDATIONS

6.1 Design Considerations

The borings indicate that the project site is underlain by highly expansive clay, which will experience volume change with variations in its water content. Structures and related improvements situated within the clay will experience large movements if the moisture content of the clay increases. The foundations and floor slabs should therefore be underlain by non-expansive fill and moisture conditioned soil in order to reduce the amount of movement due to clay shrink/swell. Recommendations for treatment of the foundation/floorslab subgrade in order to reduce the potential for excessive movement are presented herein.

6.2 Foundations

The proposed carwash can be supported by spread footings. However, the site soil is expansive and is not recommended for direct foundation support. The footings should be underlain by a layer of engineered fill having a minimum thickness of 24 inches in order to reduce the potential for movement due to soil shrink/swell. Foundation subgrade preparation is discussed in greater detail in the **Earthwork** section of this report.

Foundations bearing on the newly placed engineered fill can be designed for a maximum net allowable bearing pressure of 2,500 pounds per square foot (psf). The allowable bearing pressure applies to dead load plus design live load conditions. The design bearing pressure can be increased by one-third or as allowed by local code, when considering transient loads, such as wind or seismic.

Resistance to lateral loads will be provided by the passive earth pressure acting against the footings and the frictional resistance acting along the base of the footings. An ultimate passive earth pressure resistance of 300 pounds per square foot per foot (psf/ft) is recommended for design. A coefficient of sliding resistance of 0.35 is recommended for design. The lateral load resistance should incorporate a factor of safety of at least 1.5.

The foundations should be founded a minimum of 32 inches below the final site grade for frost considerations. Interior footings in heated areas should have a minimum embedment depth of 12 inches. Strip footings should have a minimum width of 16 inches and isolated column pad foundations should have a minimum dimension of 24 inches.

We estimate that the total post-construction movement of foundations supported as recommended herein will be on the order of 1 inch or less. We estimate that the differential movement between comparably sized and loaded foundations could equal the total foundation movement. Additional foundation movement can occur if water from any source infiltrates the foundation subgrade. Therefore, proper drainage should be provided in the final design and during construction.

Foundation excavations should be observed by the project geotechnical engineer, or a representative of the engineer, to document that the foundation bearing stratum is similar to the conditions encountered in the borings. If the subsurface conditions encountered differ from those presented herein, supplemental recommendations may be required.

6.3 Floor Slab

A slab-on-grade floor can be used for the proposed carwash. However, the site soil is expansive and is not recommended for direct floor slab support. The floor slab should therefore be underlain by a minimum of 18 inches of non-expansive fill to reduce the potential for floor slab movement due to shrink/swell of the expansive clays. The floor slab subgrade should be prepared in accordance with the recommendations presented in the **Earthwork Recommendations** section of this report.

Additional floor slab design and construction recommendations are as follows:

- Positive separations and/or isolation joints should be provided between slabs and all foundations, columns, or utility lines to allow independent movement.
- Control joints should be provided in slabs to control the location and extent of cracking.
- Interior trench backfill placed beneath slabs should be compacted in accordance with recommended specifications outlined herein.
- If moisture-sensitive floor coverings are used on interior slabs, barriers to reduce the potential for vapor rise through the slab are recommended.
- Floor slabs should not be constructed on frozen subgrade.
- Other design and construction considerations, as outlined in Section 302.1 R of the "ACI Design Manual", are recommended.

6.4 Seismic Considerations

The building should be designed to resist lateral forces generated by earthquake shaking in accordance with the current building codes and applicable design practice. The site is classified as Site Class C "Very Dense Soil and Soft Rock" per Table 20.3-1 *Site Classification* in ASCE-7 (ASCE 2016). The site class was based on the conditions encountered in our shallow exploratory soil borings and our knowledge of the soil conditions in the site vicinity. The soil characteristics extending beyond the depth of our borings were assumed for the purposes of providing this site classification. Values for use in seismic design are presented in the following table.

The design parameters were determined using a website application (www.seismicmaps.org) developed by the Structural Engineers Association of California (SEAOC) and California's Office of Statewide Health Planning and Development (OSHPD). The program uses the United States Geological Survey (USGS) web services to retrieve seismic design data and present it in a report format. A copy of the computer output from this program is attached in Appendix C.

Table 1 – Seismic Design Parameters

Seismic Parameter	Value
Latitude, degrees	37.348462
Longitude, degrees	-108.566535
Site Class	C
S_s , Seismic Factor for Site Class D at 0.2 seconds	0.172
S_1 , Seismic Factor for Site Class D at 1 second	0.055
F_a , Site Amplification Factor at 0.2 seconds	1.3
F_v Site Amplification Factor at 1 second	1.5
S_{MS} , Site Specific Response Parameter at 0.2 seconds	0.223
S_{M1} , Site Specific Response Parameter at 1 second period	0.082
$S_{DS} = 2/3 S_{MS}$, Design Spectral Acceleration Parameter at Short Periods	0.149
$S_{D1} = 2/3 S_{M1}$, Design Spectral Acceleration Parameter at 1 second period	0.055

6.5 Drainage Considerations

Properly functioning foundations and floor slabs require appropriately constructed and maintained site drainage conditions. Therefore, it is extremely important that positive drainage be provided during construction and maintained throughout the life of the structure. It is also important that proper planning and control of landscape and irrigation be performed.

The building should be provided with downspouts extensions to direct water away from the structure. The downspouts should discharge into drainage swales or into the storm sewer system.

Infiltration of water into utility or foundation excavations must be prevented during construction. Backfill against footings, exterior walls, and in utility and sprinkler line trenches should be well compacted and free of all construction debris to reduce the potential for moisture infiltration. If utility line trenches are backfilled with the on-site clay, care should be taken not to overcompact the backfill. However, if the trenches are backfilled with granular soil then a clay plug should be placed in the trench adjacent to the building to reduce the potential for water following the trench back under the structure.

In areas where sidewalks, patios, or driveways do not immediately adjoin the structure, the ground surface adjacent to the structure should slope down at a grade of about five percent for a distance of at least 10 feet from the perimeter walls. Planters or other surface features that could retain water adjacent to the structure should be avoided. If planters and/or landscaping are adjacent to or near the structure, we recommend the following:

- Grades should slope away from the structure.
- Planters should slope away from the structure and should not pond water. Drains should be installed in enclosed planters to facilitate flow out of the planters.
- Watering should be kept to a minimum. Irrigation systems should be situated on the far side of any planting and away from the building to reduce the potential for infiltration beneath the structure from possible leaks.
- A minimum horizontal distance of 36 inches should be maintained between the building foundations and shallow-rooted plants. In a like manner, for deeper-rooted plants a minimum of 72 inches should be maintained between the building foundations and the plants. These deeper-rooted plants should also have a low water requirement.
- Trees should be planted no closer than a distance equal to one-half their mature height or fifteen feet, whichever is greater, from the building.

These recommendations will help reduce the potential for soil movement and the resulting distress but will not eliminate this potential.

6.6 Pavement

The project will include the construction of parking lots and drives. Based upon the conditions encountered in the borings it is anticipated that the pavement subgrade will consist of lean clay. Design traffic volumes were not provided for our analysis. It was assumed that the development would be subject to automobile and light truck traffic, with occasional moderately loaded delivery traffic. A pavement design life of 20 years was assumed for the analysis.

A revision of the recommended pavement sections may be necessary if the design traffic loading conditions are different than assumed. An evaluation of the type and volume of traffic that each portion of the parking lot will experience should be conducted to determine if the pavement sections presented herein are appropriate.

Table 2: Recommended Pavement Sections

Traffic Area	Asphalt Pavement	Aggregate Base Course
Parking Stalls	3 inches	6 inches
Access Drives	4 inches	8 inches

The "design life" of a pavement is defined as the expected life at the end of which reconstruction of the pavement will need to occur. Normal maintenance, including crack sealing, slurry sealing, and/or chip sealing, should be performed during the life of the pavement.

A rigid pavement section is recommended in loading and unloading areas, at dumpster locations, and access drives due to the high static loads imposed by the vehicles in these areas. A minimum six-inch thick Portland cement concrete pavement bearing on compacted subgrade is recommended. The pavement should be reinforced with No. 4 rebar placed at 24 inches on center in each direction.

Bituminous pavement should be constructed of dense-graded, central plant-mix, asphalt concrete. Base course, Portland cement, and asphalt concrete should conform to the City of Cortez standard specifications. Material and compaction requirements should conform to recommendations presented in the **Earthwork Recommendations** section of this report.

The site soils are expansive and differential heave may occur. The pavement service life may be reduced due to water infiltration into the subgrade soils and heave induced cracks in the pavement. This will result in a softening and loss of strength of the subgrade soils. A regular maintenance program to seal pavement cracks will help prolong the life of the pavement.

Pavement design methods are intended to provide an adequate thickness of structural materials over a particular subgrade such that wheel loads are reduced to a level the subgrade can support. The support characteristics of the subgrade for pavement design do not account for shrink and swell movements of an expansive soil subgrade, such as the soils encountered on this project. Consequently, the pavement may be adequate from a structural standpoint, yet still experience cracking and deformation due to shrink/swell movement of the subgrade. It is therefore important to minimize moisture changes in the subgrade to reduce shrink/swell movements. The pavement surface, subbase surface, and adjacent areas should be well drained. Excessive watering of landscaped areas adjacent to pavements should be avoided. Proper maintenance should be performed on cracks in the pavement surface to prevent water from penetrating into

the base, subbase, or subgrade material. Even with these precautions, some movement and related cracking may still occur, requiring periodic maintenance.

6.6 Detention Basin Design

A detention basin will be constructed in the southeast corner of the site. The basin is planned to have a base elevation of El. 6135 and will extend approximately 1 to 2 feet below the current site grades.

Boring B-7 was drilled in the area of the proposed detention basin. The boring encountered lean clay to a depth of approximately 6 feet underlain by sandstone bedrock. According to information provided in the report entitled *Regulation No. 43 – On-Site Wastewater Treatment System Regulation* by the Colorado Water Quality Control Commission, the lean clay has an estimated percolation rate of 90 minutes per inch.

7.0 EARTHWORK RECOMMENDATIONS

Site preparation and earthwork operations should be performed in accordance with applicable codes, safety regulations, and other local, state, or federal guidelines. Earthwork on the project should be observed and evaluated by Yeh and Associates (Yeh). The evaluation of earthwork should include observation and testing of engineered fills, subgrade preparation, foundation bearing soils, and other geotechnical conditions exposed during the construction of the project.

7.1 Site Grubbing and Stripping

Topsoil, vegetation, tree root balls, and any other deleterious materials should be removed from the proposed building and pavement areas. All exposed surfaces should be free of mounds and depressions, which could prevent uniform compaction.

7.2 Building Pad Subgrade Preparation

Following site clearing operations, the building pad should be cut, as required, to a minimum depth of 18 inches below the proposed bottom of floor slab. The foundation areas should be overexcavated to a minimum depth of 24 inches below the design foundation bearing grade. The foundation overexcavations do not have to extend beyond the outside edges of the foundations unless required for construction purposes.

The base of foundation/floor slab overexcavations should then be scarified to a minimum depth of 8 inches, moisture conditioned to a water content between 0 and 4 percentage points above the optimum water content, and recompacted to between 93 and 97 percent of the standard

Proctor maximum dry density (ASTM D 698). The site can then be raised to the design finish grade with imported non-expansive fill that meets the requirements presented in Section 7.5.

The perimeter foundation excavations on the exterior side of the building should be backfilled with on-site clay to reduce the potential for surface water ponding in the non-expansive fill underlying the foundations. This clay backfill should extend from the base of the foundation to the planned finish grade. The ground surface should be sloped away from the building to promote drainage away from the structure.

7.3 Pavement Subgrade Preparation

Following site clearing operations, pavement areas should be cut, as required, to the design finish grade. The subgrade should then be scarified to a minimum depth of 8 inches, moisture conditioned as required, and recompacted in accordance with the recommendations presented in Section 7.6. The site can then be raised to the design finish grade with engineered fill.

The pavement subgrade should be proof rolled under the observation of the project geotechnical engineer, or a representative of the engineer, to verify stability immediately prior to placing the aggregate base course. Proof rolling should be accomplished with a fully loaded water truck or similar heavy rubber-tired equipment weighing a minimum of 10 tons and should include multiple equipment passes in two directions. Any soft, loose, or otherwise unsuitable material detected during proof rolling operations should be removed and replaced with engineered fill or otherwise stabilized.

7.4 Subgrade Preparation Considerations

The lean clay deposits exhibit relatively low strength characteristics and may be unstable, especially during wet weather. In areas where unsuitable material is encountered, placement of a geogrid, coarse aggregate, or other forms of subgrade stabilization could be necessary to develop a suitable subgrade for pavement support. The actual method of subgrade stabilization, if required, should be determined by the project geotechnical engineer at the time of construction.

7.5 Fill Material

The existing site soil can be used as fill in the proposed pavement areas provided any deleterious material is removed prior to reuse. It should be noted that these deposits are moisture sensitive and that it may be necessary to adjust the moisture content of the soil to achieve the required compaction.

The existing site soil is expansive and is not recommended for use as fill in the planned building areas. Imported fill should consist of granular fill with no more than 35 percent passing the No. 200 sieve, maximum liquid limit of 40 and maximum PI of 15. Samples of any imported material proposed for use on the project should be submitted to our office for approval and testing at least three days prior to stockpiling at the site.

7.6 Compaction Recommendations

Fill should be placed in horizontal lift thicknesses that are suitable for the compaction equipment being used but in no case should exceed 8 inches by loose measure. Fill should be moisture conditioned and compacted in accordance with the criteria shown in Table 3.

Table 3 - Compaction Requirements

Fill Location	Material Type	Percent Compaction	Moisture Content
Scarified and Recompact Building Pad and Pavement Subgrades	On-Site Soils	93 to 97 (ASTM D698)	0 to +4% of optimum
Engineered Fill for Building Pad Areas	Imported Granular Fill	95 minimum (ASTM D698)	± 3 % of optimum
Engineered Fill for Pavement Areas	On-Site Soils or Imported Fill	95 minimum (ASTM D 698)	± 3 % of optimum
Aggregate Base Course (ABC) for Pavement Areas	CDOT Class 6 ABC	95 minimum (ASTM D1557)	± 3 % of optimum

Engineered fill should be placed and compacted in horizontal lifts, using equipment and procedures that will produce a uniform fill with the recommended moisture contents and densities throughout the lift.

Fill should be keyed into any slopes that are steeper than 4 horizontal to 1 vertical (4H:1V). The benches should be well keyed and a minimum of 8 feet wide.

We recommend that a representative of Yeh and Associates monitor construction operations to verify that the soil exposed during construction is consistent with those encountered during our subsurface exploration, and that foundations, floor slabs, and pavement are constructed in accordance with the recommendations presented herein.

8.0 LIMITATIONS

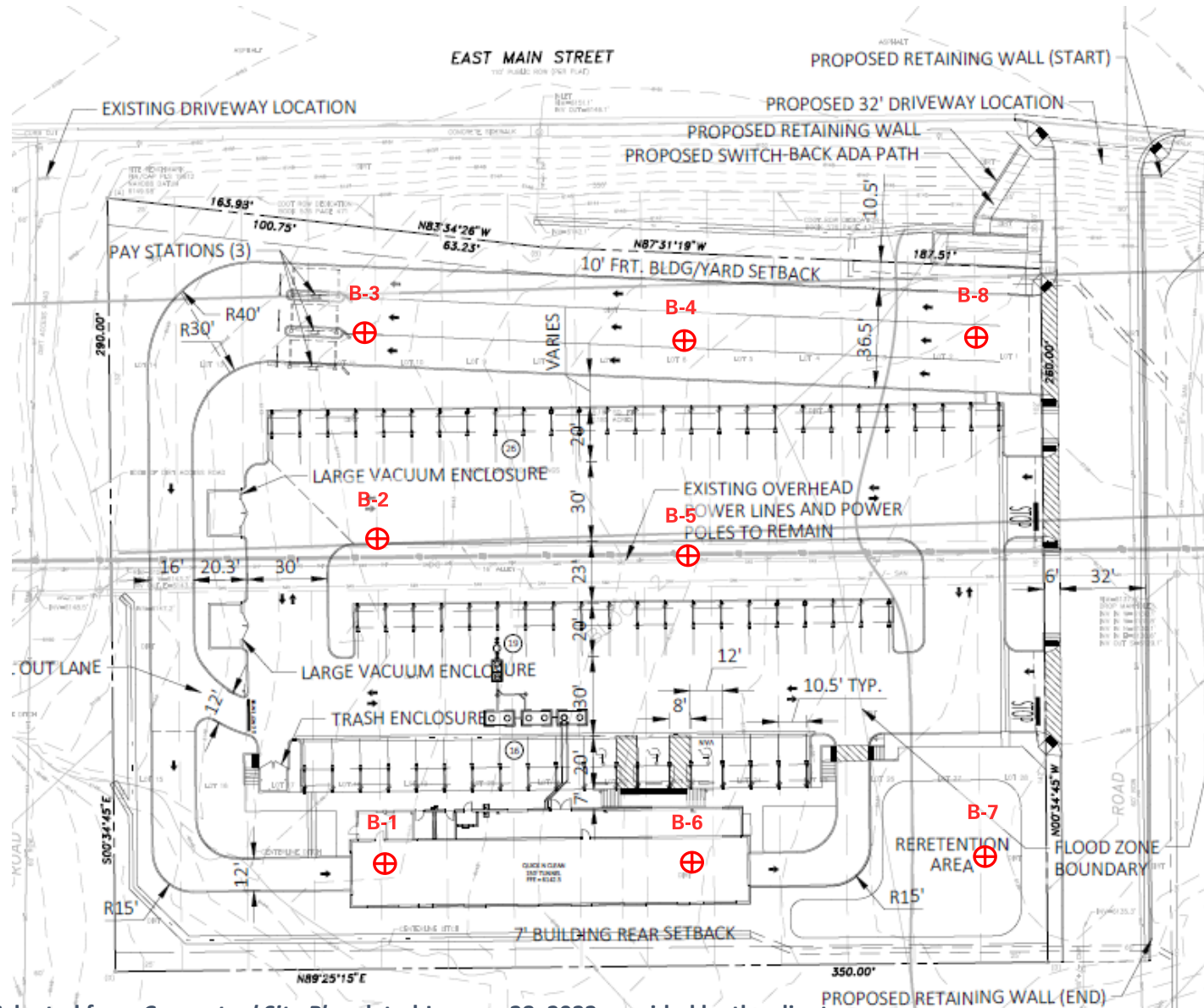
The recommendations in this report are based on our field observations, laboratory testing, and our present understanding of the proposed construction. It is possible that subsurface conditions can vary beyond the limits explored. If the conditions found during construction differ from those described in this report, please notify us immediately so that we can review our report considering those conditions and provide supplemental recommendations as necessary. We should also review this report if the scope of the proposed construction, including the proposed loads or structure locations, changes from that described in this report.

The scope of services for this project did not include, specifically or by implication, any environmental or biological (e.g. mold, fungi, and bacteria) assessment of the site or identification or prevention of pollutants, or conditions or biological conditions. If the owner is concerned about the potential for such contamination, conditions or pollution, other studies should be undertaken and a professional in that field should be consulted.

Yeh and Associates has prepared this report for the exclusive use of 3K1 Consulting Services. This report was prepared in substantial accordance with the generally accepted standards of practice for geotechnical engineering as they exist in the site area at the time of our investigation. No warranty is expressed or implied. The recommendations in this report are based on the assumption that Yeh and Associates will conduct an adequate program of construction testing and observation to evaluate compliance with our recommendations.

APPENDIX A
BORING LOCATION PLAN





Adapted from *Conceptual Site Plan* dated January 28, 2022 provided by the client

Not to Scale



BORING LOCATION DIAGRAM

PROPOSED QUICK N CLEAN CARWASH

Job No.: 222-475

FIGURE A-1

APPENDIX B

BORING LOGS AND LEGEND





Legend for Symbols Used on Borehole Logs

Sample Types



Bulk Sample of
auger/odex cuttings



Standard
Penetration Test
(ASTM D1586)

Drilling Methods



SOLID-STEM
AUGER

Lithology Symbols (see Boring Logs for complete descriptions)



Lean Clay (CL)



Sandstone

Lab Test Standards

Moisture Content	ASTM D2216
Dry Density	ASTM D7263
Sand/Fines Content	ASTM D421, ASTM C-136, ASTM D1140
Atterberg Limits	ASTM D4318
AASHTO Class.	AASHTO M145, ASTM D3282
USCS Class.	ASTM D2487
(Fines = % Passing #200 Sieve Sand = % Passing #4 Sieve, but not passing #200 Sieve)	

Other Lab Test Abbreviations

pH	Soil pH (AASHTO T289-91)
S	Water-Soluble Sulfate Content (AASHTO T290-91, ASTM D4327)
Chl	Water-Soluble Chloride Content (AASHTO T291-91, ASTM D4327)
S/C	Swell/Collapse (ASTM D4546)
UCCS	Unconfined Compressive Strength (Soil - ASTM D2166, Rock - ASTM D7012)
R-Value	Resistance R-Value (ASTM D2844)
DS (C)	Direct Shear cohesion (ASTM D3080)
DS (phi)	Direct Shear friction angle (ASTM D3080)
Re	Electrical Resistivity (AASHTO T288-91)
PtL	Point Load Strength Index (ASTM D5731)

Notes

1. Visual classifications are in general accordance with ASTM D2488, "Standard Practice for Description and Identification of Soils (Visual-Manual Procedures)".
2. "Penetration Resistance" on the Boring Logs refers to the uncorrected N value for SPT samples only, as per ASTM D1586. For samples obtained with a Modified California (MC) sampler, drive depth is 12 inches, and "Penetration Resistance" refers to the sum of all blows. Where blow counts were > 50 for the 3rd increment (SPT) or 2nd increment (MC), "Penetration Resistance" combines the last and 2nd-to-last blows and lengths; for other increments with > 50 blows, the blows for the last increment are reported.
3. The Modified California sampler used to obtain samples is a 2.5-inch OD, 2.0-inch ID (1.95-inch ID with liners), split-barrel sampler with internal liners, as per ASTM D3550. Sampler is driven with a 140-pound hammer, dropped 30 inches per blow.
4. "ER" for the hammer is the Reported Calibrated Energy Transfer Ratio for that specific hammer, as provided by the drilling company.



Boring Began: 10/25/2022

Total Depth: 8.5 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 8.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, very stiff to hard, moist.							
				12-16-11	27			7.0	102.6	72.4	26	14		2.8 ft - 1.9% swell under 200 psf load
	5			11-15-15	30			4.6		52.5				
				13-25-50	75									
							8.0 - 8.5 ft. SANDSTONE; light brown, very hard.							
Bottom of Hole at 8.5 ft.														8.5 ft - Auger refusal at 8.5 feet



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Symbol	Dry	-	-
Depth	-	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples			Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance	Lithology					Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	6.9		77.9				

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Symbol	Groundwater Levels:		
Depth	Dry	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples			Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance	Lithology					Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.							

5

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Symbol	Dry	-	-
Depth	-	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples			Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance	Lithology					Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	9.6		68.4	32	19		

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Symbol	Groundwater Levels:		
Depth	Dry	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples			Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance	Lithology					Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.							

5 Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 10.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Symbol	Groundwater Levels:		
Depth	Dry	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 9.5 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	8.1		75.1				
				8-8-7	15		changing to hard.	9.2	112.9	79.1	27	15		2.8 ft - 4.9% swell under 200 psf load
	5			12-17-20	37		changing to very stiff.	15.2	110.6					5.8 ft - 0.8% swell under 500 psf load
				7-5-12	17			17.6		83				
	10						9.5 - 10.0 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 10.0 ft.

10.0 ft - Auger refusal at 10 feet



Boring Began: 10/25/2022

Total Depth: 8.5 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Symbol	Groundwater Levels:		
Depth	Dry	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 6.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, medium stiff, moist.	10.4		68.5				
				2-2-2	4			22.2		74				
	5			10-31-50	81			13.1		59.9				
				50	50		6.0 - 8.5 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 8.5 ft.

8.5 ft - Auger refusal at 8.5 feet



Boring Began: 10/25/2022

Total Depth: 10.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work:

Driller: Geomat

Groundwater Levels:

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifications	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 9.5 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, medium stiff, moist.							
				2-2-2	4		changing to stiff.	18.9		65.8				
	5			2-4-5	9		changing to very stiff.	15.2		89.1				
				5-10-14	24									
	10						9.5 - 10.0 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 10.0 ft.

10.0 ft - Auger refusal at 10 feet

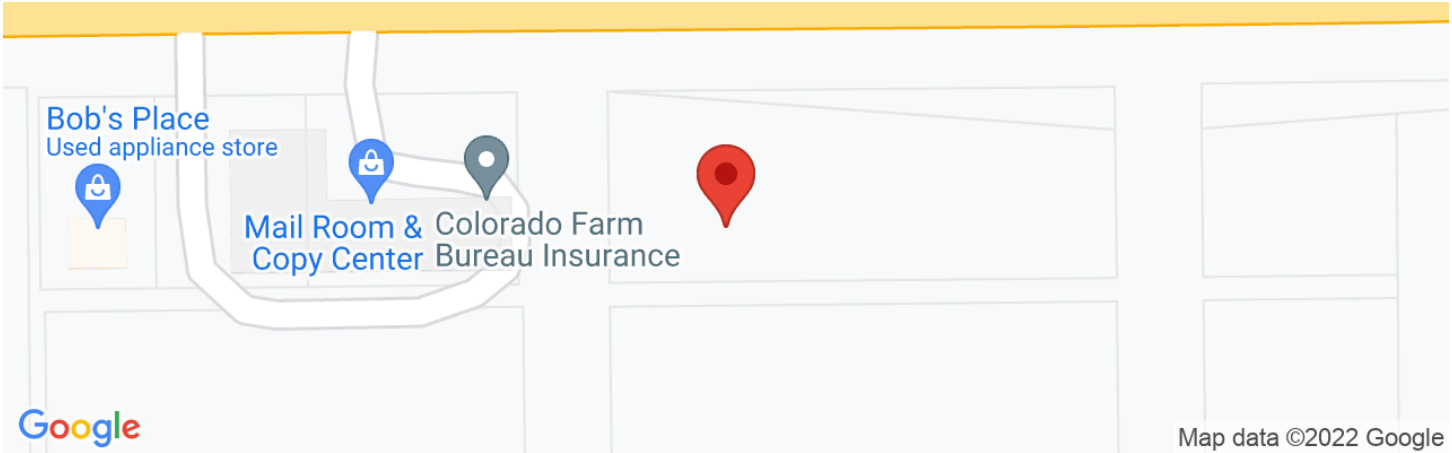
APPENDIX C

SEISMIC DESIGN DATA





Latitude, Longitude: 37.34846245, -108.56653587



Date	11/9/2022, 3:51:47 PM
Design Code Reference Document	ASCE7-16
Risk Category	II
Site Class	C - Very Dense Soil and Soft Rock

Type	Value	Description
S_S	0.172	MCE_R ground motion. (for 0.2 second period)
S_1	0.055	MCE_R ground motion. (for 1.0s period)
S_{MS}	0.223	Site-modified spectral acceleration value
S_{M1}	0.082	Site-modified spectral acceleration value
S_{DS}	0.149	Numeric seismic design value at 0.2 second SA
S_{D1}	0.055	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	A	Seismic design category
F_a	1.3	Site amplification factor at 0.2 second
F_v	1.5	Site amplification factor at 1.0 second
PGA	0.087	MCE_G peak ground acceleration
F_{PGA}	1.3	Site amplification factor at PGA
PGA_M	0.114	Site modified peak ground acceleration
T_L	4	Long-period transition period in seconds
$SsRT$	0.172	Probabilistic risk-targeted ground motion. (0.2 second)
$SsUH$	0.181	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
SsD	1.5	Factored deterministic acceleration value. (0.2 second)
$S1RT$	0.055	Probabilistic risk-targeted ground motion. (1.0 second)
$S1UH$	0.059	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
$S1D$	0.6	Factored deterministic acceleration value. (1.0 second)
PGAd	0.5	Factored deterministic acceleration value. (Peak Ground Acceleration)
PGA_{UH}	0.087	Uniform-hazard (2% probability of exceedance in 50 years) Peak Ground Acceleration
C_{RS}	0.948	Mapped value of the risk coefficient at short periods
C_{R1}	0.927	Mapped value of the risk coefficient at a period of 1 s
C_v	0.7	Vertical coefficient

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710 W. Pinedale Avenue
Fresno, CA 93711
Office: 559.447.3119
Toll-free: 1.800.473.1887
ceieng.com

February 09, 2023

Planning Department - Review Team
City of Cortez
110 W. Progress Circle
Cortez, CO 81321

Re: Initial City Comments for Proposed Quick N Clean Car Wash at 1511 East Main Street

Dear Review Team,

Please find below our responses to the initial comments for this project as presented in the city coordination meeting on Jan 11, 2023. In addition, CEI has prepared some rough updated site and grading plans to assist in further progress with the proposed development. There are additional items which CEI would also like some clarification or further direction on before finalizing revised plan sets.

CEI Responses in blue

- **Alley** - Due to the number of utilities in the alley, access needs to be maintained. Although the city has no existing water line at this location, it may be necessary to install a loop connection in the future. Also, future trash removal access may be needed. Therefore, if this development gets approved, the city will want to have the option of returning this easement back to its original, intended use. The intended level of fill over this location needs to be addressed - utilities cannot be buried deeper than the capability of equipment and personnel access below grade utility depths for repairs/replacement.

CEI Response: Please note that per city meeting on Jan 11, alley access at proposed Quick N Clean Car Wash shall be maintained. CEI has now proposed a larger collector street for the site which will have (2) lanes on each side. A single sidewalk is currently proposed along the western side. A mountable curb has been proposed to aid in existing alley access on the eastern side of the road.

For the fill over existing utilities, current proposed grades currently would result in max fill heights or 14-15' over sanitary and water lines (based on existing water line at minimum cover requirements and survey data for sanitary line). Unfortunately, to be able to develop the city collector street off of CDOT HWY, there will need to be additional fill for the running slope of the street to stay within reasonable levels. CEI is open to reducing the amount of fill, but would greatly appreciate some feedback from the city on what type of max fill heights for additional fill would be deemed acceptable to be able to access with city equipment and what would be the max slopes the city would allow for the collector street to help reduce the fill height? City standards mention a max street slope of 7% where practicable. Current grading has some slopes in excess of 10%. In addition, if the street slopes were to increase, pedestrian sidewalk access would be very difficult due to extreme running slopes.

CEI is also providing a quick profile of the existing water line with existing and proposed grades shown. The water line has not been shown to be brought up as there was some concern as well about raising the water line and adding more vertical bends in certain locations. Does the city have some guidance or direction on this as well?

- **Street** - The existing 60'-0" street ROW is the standard for a collector street. Therefore, it needs to have a minimum pavement width, slope, curvature, etc. associated with that designation. Again, the amount of fill intended for construction of this street would require the existing water line to be raised to an accessible depth. This would require coordination with CDOT, for the section within their ROW, and all modifications are the responsibility of the project owner. Also, this location is in a FEMA designated floodplain, so development here would have to meet FEMA requirements.

CEI Response: The collector street has been added to latest site and grading plans. Please note that only the western side of the street currently shows a pedestrian sidewalk. Would the city like a sidewalk along the eastern side as well? Also a porkchop island has been added at access of CDOT HWY to help accommodate a right in/left in and right out traffic pattern per city and CDOT meeting. Striping of street is not shown yet, but will be added after further coordination. Please note that there would again be challenges with max street slopes and additional fill over existing utilities.

For the water line, it can be raised, but CEI would kindly appreciate some clarification on what direction it should proceed in as far as raising the water line or keeping it as is to avoid additional vertical bends.

For FEMA floodplain, CEI is currently working to obtain FEMA hydraulic models to perform a flood study to meet FEMA requirements.

- **Drainage** - Stormwater diversion would need to follow city standards, and it is not desired for this drainage to be discharged onto the location that is in the existing city street ROW (planned 1st St). Therefore, it should be planned to discharge at a location that is beyond the edge of the existing city street ROW. Due to CDOT and FEMA regulations, there would need to be inquiries about their drainage requirements (their jurisdictions may apply to this element from beginning to end).

CEI Response: Updated plans show stormwater discharge beyond existing city street ROW. CEI will work to complete flood study to help satisfy any FEMA requirements. Who is the current contact for the floodplain administrator for the area? Previous coordination had been with Chad Hill and Eric Krch with SGM regarding the flood study. They mentioned a flood study would be required for the project.

For CDOT drainage requirements, there was mention of concern about proposed sidewalk and drainage development within CDOT ROW dedication area. Current plans still have this proposed development shown, however CEI is looking at options to remove. But there is an 18" CMP pipe from CDOT highway where the drainage needs to be captured appropriately as well as any drainage from the CDOT ROW dedication area and then routed through or around site to final discharge location.

- **Permit requirements** - following city standards, development here would require applications for permits such as ROW, Grading, and Floodplain Development for review and approval by the city engineer.

CEI Response: Understood. To be coordinated by client.

Please let us know your feedback at your earliest convenience and if any additional questions or concerns arise. Thank you!

Regards,



Eric Lawrence, P.E.
Assistant Project Engineer



COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, *First American Title Insurance Company*, a(n) Nebraska corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within 180 Days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
 - (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
 - (h) "Title": The estate or interest described in Schedule A.
2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - (a) the Notice;
 - (b) the Commitment to Issue Policy;
 - (c) the Commitment Conditions;
 - (d) Schedule A;
 - (e) Schedule B, Part I—Requirements; and
 - (f) Schedule B, Part II—Exceptions[; and
 - (g) a counter-signature by the Company or its issuing agent that may be in electronic form].

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I - Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

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6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing [and authenticated by a person authorized by the Company].
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

Transaction Identification Data for reference only:

Issuing Agent: Kensington Vanguard National Land Services, LLC
Issuing Office: 39 W 37th Street, 3rd Fl, New York, NY 10018
Issuing Office's ALTA® Registry ID:
Loan ID No.:
Commitment No.: 594124-F-CO-CP-CR

SCHEDULE A

1. Commitment Date: September 21, 2021 at 08:00 AM
2. Policy to be issued:
 - a. ALTA Owners Policy (06/17/06)
Proposed Insured: Upper Image Services, LLC, an Arizona limited liability company
Proposed Policy Amount: \$450,000.00
 - b. ALTA Loan Policy (06/17/06)
Proposed Insured: Lender to be named
Proposed Policy Amount: TBD
3. The estate or interest in the Land described or referred to in this Commitment is Fee Simple.
4. The Title is, at the Commitment Date, vested in:

Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust

Gilbert Schwartz, as Trustee, who acquired title by Warranty Deed made by Harold I. Lovell, Jr., Trustee and Danny W. Case, Trustee, dated June 29, 1983 and recorded July 22, 1983, in [Book 553, Page 528](#), in the Office of the Clerk of Montezuma County.
5. The Land is described as follows:

SEE SCHEDULE C ATTACHED HERETO

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SCHEDULE A
(Continued)

Kensington Vanguard National Land Services,
LLC

By:



Authorized Signatory

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Warranty Deed from Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust to Upper Image Services, LLC, an Arizona limited liability company.

Deed of Trust from Upper Image Services, LLC, an Arizona limited liability company to Trustee(s) for Lender to be named, securing the principal amount of \$0.00.

5. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
6. Pay the agreed amount for the estate or interest to be insured.
7. Pay the premiums, fees, and charges for the Policy to the Company.
8. Payment of all taxes and assessments now due and payable as shown on a certificate of taxes due from the County Treasurer or the County Treasurer's Authorized Agent.
9. Evidence that all assessments for common expenses, if any, have been paid.
10. Final Affidavit and Agreement executed by Owners and/or Purchasers must be provided to the Company.

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SCHEDULE B

(Continued)

11. This Company must be provided with an existing survey less than ten years old and an Affidavit certifying that the survey accurately represents the configuration of the Property and the location of the improvements thereon and uses thereof as of the date of the Survey, and since the date of the Survey there have been no other improvements on the Property or uses thereof given by the Borrower and there have been no encroachments upon Property or uses of the Property taken by other parties to the best of Borrower's knowledge and belief.
12. Provide the Company with a survey prepared by a registered land surveyor to confirm proper legal description prior to closing. The Company reserves the right to make additional requirements and/or exceptions, and to amend the legal description of the land described in Schedule A, upon review of the description furnished by said surveyor.
13. Proof of payment of any and all Homeowners Association liens and/or assessments against the land described in Schedule A (including, but not limited to, any special assessments or payments due to others such as master associations).
14. Receipt by the Company of a certified rent roll, identifying all leases and tenancies on the subject property.

NOTE: This commitment is subject to further requirements and/or exceptions upon review of the rent roll.

15. Receipt by the Company of the following documentation for Upper Image Services, LLC, an Arizona limited liability company, a Arizona limited liability company:

Operating Agreement, and all amendments thereto, if any.

Certificate of Good Standing issued by the Colorado Secretary of State.
16. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Upper Image Services, LLC, an Arizona limited liability company, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
17. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
18. Recordation of an Affidavit(s) for Grantee Acting in a Representative Capacity pursuant to C.R.S. 38-30-108, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust.
19. Updates to the title commitment are required to disclose defects, liens, encumbrances, adverse claims or other matters, if any are created, first appearing in the public records or attaching subsequent to the effective date of the commitment and prior to the effective date of the Policy.

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SCHEDULE B

(Continued)

20. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
21. This Company requires a copy of the Agreement, Indenture, or Declaration of Trust of Gilbert B. Schwartz Trust, together with copies of any amendments, modifications, or revocations. In the event that there have been no amendments, modifications, or revocations, this Company will require satisfactory evidence to that effect. Upon receipt additional exceptions may be raised.
22. Company finds no open mortgages of record in the County Office. Company is to be advised of any unrecorded mortgages or any other liens against the premises under examination.
23. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

NOTE: The following is for informational purposes only and is given without assurance or guarantee: 2020 taxes show Due. The gross amount is \$2,030.73 for Tax Identification No. 561125303001.

24. The Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242, must comply with the following:
 - (a) Include the signature and certification of Robert J. Rubino, PLS No. 14142
 - (b) Confirm whether the instrument referenced in Exception No. 11 in Schedule B, Part II affects the subject property

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SCHEDULE B

(Continued)

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easements, not shown by the Public Records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct land survey and inspection of the Land would disclose, and which are not shown by the Public Records.
5. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown in the Public Records.
6. Any and all unpaid taxes, assessments and unredeemed tax sales.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in [Book 8 at Page 6](#), recorded on May 28, 1958 . We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

11. Electric Line Right of Way Easement granted to Empire Electric Association, Inc. disclosed by Document No. [597797](#) recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. [609187](#) recorded December 12, 2017.
13. Any existing leases or tenancies.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property
 - (d) Rights, if any, due to centerline ditch

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE C SCHEDULE C

The Land is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in [Book 8 at Page 6](#), excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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OWNER'S POLICY OF TITLE INSURANCE

Issued By
First American Title Insurance Company

SCHEDULE A

Name and Address of Title Insurance Company:
First American Title Insurance Company
1 First American Way, Santa Ana, CA 92707

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

Address Reference: 1511 East Main Street, Cortez, CO 81321

Amount of Insurance: \$450,000.00

Premium: \$0.00

Date of Policy: at

1. Name of Insured:

Upper Image Services, LLC, an Arizona limited liability company

2. The estate or interest in the Land that is insured by this policy is:

Fee Simple

3. Title is vested in:

Upper Image Services, LLC, an Arizona limited liability company

4. The Land referred to in this policy is described as follows:

SEE SCHEDULE C ATTACHED HERETO

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

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AMERICAN
LAND TITLE
ASSOCIATION



SCHEDULE B

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. Intentionally deleted.
2. Intentionally deleted.
3. Intentionally deleted.
4. Intentionally deleted.
5. Intentionally deleted.
6. Intentionally deleted.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in Book 8 at Page 6, recorded on May 28, 1958. We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).
11. Electric Line Right of Way Easement granted to Empire Electric Association, Inc. disclosed by Document No. 597797, recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. 609187, recorded December 12, 2017.
13. Intentionally deleted.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property

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SCHEDULE B
(Continued)

(d) Rights, if any, due to centerline ditch

PROFORMA

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AMERICAN
LAND TITLE
ASSOCIATION



SCHEDULE C

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

The land referred to in this Policy is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6, excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

PROFORMA

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured if, at Date of Policy (i) the Land does not abut and have both actual vehicular and pedestrian access to and from East Main Street (the "Street"), (ii) the Street is not physically open and publicly maintained, or (iii) the Insured has no right to use existing curb cuts or entries along that portion of the Street abutting the Land.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

PROFORMA

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured by reason of the lack of a right of access to the following utilities or services: **[CHECK ALL THAT APPLY]**

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Water service | <input checked="" type="checkbox"/> Natural gas service | <input type="checkbox"/> Telephone service |
| <input checked="" type="checkbox"/> Electrical power service | <input checked="" type="checkbox"/> Sanitary sewer | <input checked="" type="checkbox"/> Storm water drainage |
| <input type="checkbox"/> _____ | | |

either over, under or upon rights-of-way or easements for the benefit of the Land because of:

- (1) a gap or gore between the boundaries of the Land and the rights-of-way or easements;
- (2) a gap between the boundaries of the rights-of-way or easements; or
- (3) a termination by a grantor, or its successor, of the rights-of-way or easements.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured by reason of the failure of the Land as described in Schedule A to be the same as that identified on the survey made by Robert J. Rubino, PLS No. 14142 dated November 8, 2021, and designated Job No. 21242.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By: 

Authorized Signatory

PROFORMA

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

1. The insurance provided by this endorsement is subject to the exclusion in Section 4 of this endorsement; and the Exclusions from Coverage, the Exceptions from Coverage contained in Schedule B, and the Conditions in the policy.
2. For purposes of this endorsement only, "Improvement" means a building, structure located on the surface of the Land, and any paved road, walkway, parking area, driveway, or curb, affixed to the Land at Date of Policy and that by law constitutes real property, but excluding any crops, landscaping, lawn, shrubbery, or trees.
3. The Company insures against loss or damage sustained by the Insured by reason of the enforced removal or alteration of any Improvement, resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of minerals or any other subsurface substances excepted from the description of the Land or excepted in Schedule B.
4. This endorsement does not insure against loss or damage (and the Company will not pay costs, attorneys' fees, or expenses) resulting from:
 - a. contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence; or
 - b. negligence by a person or an Entity exercising a right to extract or develop minerals or other subsurface substances; or
 - c. the exercise of the rights described in None.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

1. The insurance provided by this endorsement is subject to the exclusion in Section 4 of this endorsement; and the Exclusions from Coverage, the Exceptions from Coverage contained in Schedule B, and the Conditions in the policy.
2. For purposes of this endorsement only, "Improvement" means a building, structure located on the surface of the Land, and any paved road, walkway, parking area, driveway, or curb, affixed to the Land at Date of Policy and that by law constitutes real property, but excluding any crops, landscaping, lawn, shrubbery, or trees.
3. The Company insures against loss or damage sustained by the Insured by reason of the enforced removal or alteration of any Improvement, resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of water excepted from the description of the Land or excepted in Schedule B.
4. This endorsement does not insure against loss or damage (and the Company will not pay costs, attorneys' fees, or expenses) resulting from:
 - a. contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence;
 - b. negligence by a person or an Entity exercising a right to extract or develop water; or
 - c. the exercise of the rights described in None.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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Kensington Vanguard National Land Services,
LLC

By: *Mem Saml*

Authorized Signatory

PROFORMA

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

Item No. 14 of Conditions is hereby deleted.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By: 

Authorized Signatory

PROFORMA

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ENDORSEMENT
Attached to Policy No.: PRO FORMA
Issued By
First American Title Insurance Company

The Company hereby insures the Insured against loss which the Insured shall sustain by reason of damage to existing and future improvements, including lawns, shrubbery or trees resulting from the exercise of any right to use the surface of the land for enforcement of any of the reservations contained in the Patent to said land excepted from the description or shown in Exception No. 7 of Schedule B.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By: 

Authorized Signatory

PROFORMA

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Warranty Deed from Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust to Upper Image Services, LLC, an Arizona limited liability company.

Deed of Trust from Upper Image Services, LLC, an Arizona limited liability company to Trustee(s) for Lender to be named, securing the principal amount of \$0.00.

5. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
6. Pay the agreed amount for the estate or interest to be insured.
7. Pay the premiums, fees, and charges for the Policy to the Company.
8. Payment of all taxes and assessments now due and payable as shown on a certificate of taxes due from the County Treasurer or the County Treasurer's Authorized Agent.
9. Evidence that all assessments for common expenses, if any, have been paid.
10. Final Affidavit and Agreement executed by Owners and/or Purchasers must be provided to the Company.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

11. This Company must be provided with an existing survey less than ten years old and an Affidavit certifying that the survey accurately represents the configuration of the Property and the location of the improvements thereon and uses thereof as of the date of the Survey, and since the date of the Survey there have been no other improvements on the Property or uses thereof given by the Borrower and there have been no encroachments upon Property or uses of the Property taken by other parties to the best of Borrower's knowledge and belief.
12. Provide the Company with a survey prepared by a registered land surveyor to confirm proper legal description prior to closing. The Company reserves the right to make additional requirements and/or exceptions, and to amend the legal description of the land described in Schedule A, upon review of the description furnished by said surveyor.
13. Proof of payment of any and all Homeowners Association liens and/or assessments against the land described in Schedule A (including, but not limited to, any special assessments or payments due to others such as master associations).
14. Receipt by the Company of a certified rent roll, identifying all leases and tenancies on the subject property.

NOTE: This commitment is subject to further requirements and/or exceptions upon review of the rent roll.

15. Receipt by the Company of the following documentation for Upper Image Services, LLC, an Arizona limited liability company, a Arizona limited liability company:

Operating Agreement, and all amendments thereto, if any.

Certificate of Good Standing issued by the Colorado Secretary of State.
16. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Upper Image Services, LLC, an Arizona limited liability company, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
17. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
18. Recordation of an Affidavit(s) for Grantee Acting in a Representative Capacity pursuant to C.R.S. 38-30-108, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust.
19. Updates to the title commitment are required to disclose defects, liens, encumbrances, adverse claims or other matters, if any are created, first appearing in the public records or attaching subsequent to the effective date of the commitment and prior to the effective date of the Policy.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

20. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
21. This Company requires a copy of the Agreement, Indenture, or Declaration of Trust of Gilbert B. Schwartz Trust, together with copies of any amendments, modifications, or revocations. In the event that there have been no amendments, modifications, or revocations, this Company will require satisfactory evidence to that effect. Upon receipt additional exceptions may be raised.
22. Company finds no open mortgages of record in the County Office. Company is to be advised of any unrecorded mortgages or any other liens against the premises under examination.
23. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

NOTE: The following is for informational purposes only and is given without assurance or guarantee: 2020 taxes show Due. The gross amount is \$2,030.73 for Tax Identification No. 561125303001.

24. The Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242, must comply with the following:
 - (a) Include the signature and certification of Robert J. Rubino, PLS No. 14142
 - (b) Confirm whether the instrument referenced in Exception No. 11 in Schedule B, Part II affects the subject property

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easements, not shown by the Public Records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct land survey and inspection of the Land would disclose, and which are not shown by the Public Records.
5. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown in the Public Records.
6. Any and all unpaid taxes, assessments and unredeemed tax sales.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in [Book 8 at Page 6](#), recorded on May 28, 1958 . We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

11. Electric Line Right of Way Easement granted to Empire Electric Association, Inc. disclosed by Document No. [597797](#) recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. [609187](#) recorded December 12, 2017.
13. Any existing leases or tenancies.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property
 - (d) Rights, if any, due to centerline ditch

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE C SCHEDULE C

The Land is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in [Book 8 at Page 6](#), excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 7/18/2023

RE: Ordinance No. 1317, Series 2023

DISCUSSION

This Property is located in an area at the edge of the City that includes industrial and heavy commercial land uses and some residential properties in the County. Staff determined that since Section 5.07(j) of the LUC is applicable to the proposed use, a rezoning from C, Commercial Highway, to I, Industrial is required. See attached

BACKGROUND

The parcel located at 10206 Hwy 491, in the SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M. (the "Property"), is currently zoned C, Commercial Highway. The owners, Anthony D. Moore and Mary K. Lancaster (the "Owners"), who also own the parcel located at 1107 Lebanon Road, directly west of the Property, wish to use the Property for equipment and material storage for their business, Independent Log Company. Staff has determined that the unique circumstances of the Property and the proposed uses require a rezoning to the I, Industrial zone district.

FISCAL IMPACT

Not researched

RECOMMENDATION

Staff recommends approval of the rezoning request through City Council Ordinance No. 1317, Series 2023 with the following findings:

- a. The Property is adjacent to or close by existing Industrial uses. Impacts can be mitigated with appropriate use conditions.
- b. The community will benefit from use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much-needed natural resource use.
- c. Adequate facilities are available to serve development for the type and scope suggested by the proposed zoning.
- d. The proposal is in conformance with the policies, intents and requirements of the Cortez comprehensive plan.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that Council approve Ordinance No. 1317, Series 2023, an ordinance approving an application for a rezoning of a parcel of land located at 10206 Hwy 491, Cortez, Colorado.

Attachments

Staff Report

Ordinance No. 1317, Series 2023

Resolution No. 8, Series 2023

letter

survey

O&E, legal description

Application



*City of Cortez
Comm. & Economic Dev.
123 Roger Smith Ave.
Cortez, Co. 81321*

Meeting Date: July 25, 2023
Project No. ZA23-000002

MEMO

TO: Members of the Cortez City Council
FROM: Nancy Dossdall, Contract City Planner

SUBJECT: Public Hearing on an ordinance to approve an application for a rezoning of a parcel of land located at 10206 Hwy 491, Cortez, Co., A tract of land in the SE/4NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., from C, Commercial Highway to I, Industrial, and request for a Conditional Use Permit for the property.

OWNER: Anthony D. Moore, Mary K. Lancaster

ATTACHMENTS: City of Cortez Ordinance No. 1317, Series 2023
P&Z Resolution No. 8, Series 2023
Application Packet



BACKGROUND/CODE DISCUSSION

The parcel located at 10206 Hwy 491, in the SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M. (the “Property”), is currently zoned C, Commercial Highway. The owners, Anthony D. Moore and Mary K. Lancaster (the “Owners”), who also own the parcel located at 1107 Lebanon Road, directly west of the Property, wish to use the Property for equipment and material storage for their business, Independent Log Company. They have been cited by the City of Cortez Code Enforcement for grading the Property without permits. Staff believes that this request for a rezoning and a conditional use permit, if approved, would bring the Property into conformance with the Cortez Land Use Code (the “LUC”), although the uniqueness of the Property and the proposed uses makes the application of the LUC to this application challenging, which will be explained in the discussion section of this report.

Independent Log Company operates as a Fire Mitigation and Response Company with several components (see narrative). It operates and maintains equipment which is used for wildfire response including trucks, trailers, water trucks, earth moving equipment, and chain saws. For the most part, this equipment is off site at wildfire events during the wildfire season and returns for storage during the winter months. The season and amount of events can vary wildly, but has recently been longer and fires are more frequent than in past years. In addition to wildfire response, the company conducts wildfire mitigation services which primarily include tree cutting and thinning services. The cut trees are then brought to Independent Log Company’s properties, prepared and used in several ways, depending on the quality and size of the product, including log home construction, wood furniture construction, fence materials and firewood. These uses would most likely be considered “manufacturing” in that there the Owners are not proposing any retail sales of products from the Property.

The LUC contains some rather complicated regulations concerning outdoor uses such as those being proposed. Contractor storage or equipment yards and manufacturing, wood products are similar uses that are listed as Conditional Uses in the “C” zone and permitted uses in the “I” zone, indicating that perhaps rezoning is not required, and a Conditional Use Permit is appropriate to authorize the proposed uses. Applicable definitions are below. The proposed uses related to wood products do appear to fit in the definition of “manufacturing, wood products” and “manufacturing, heavy,” which the LUC lists as a conditional use in the Commercial Highway zone and a permitted use in the Industrial zone. However Sec 5.07(j) of the LUC states that “No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No open storage operation shall be located in front of a main building.” Staff has determined that although both equipment storage and log home construction appear to be Conditional Uses in the “C” zone, when Section 5.07(j) is applied, the proposed uses are more properly authorized by a rezoning of the Property to I, Industrial. Since open storage is a key component of the proposed use, Section 5.07(j) applies. While the companion request from the Owners to rezone and approve a CUP for the property located at 1050 Lebanon Road does not include a structure, there are structures located on this Property.

The relevant LUC Sections and definitions are as follows:

Manufacturing, General. "General manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials, excluding uses classified as "manufacturing, hazardous or objectionable."

Manufacturing, Hazardous or Objectionable. "Hazardous or objectionable manufacturing" means a use engaged in storage of, or manufacturing processes utilizing, flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions. Typical uses include chemical manufacturing and warehousing, dry ice manufacturing, fat rendering plants, fertilizer manufacturing, fireworks and explosives manufacturing and warehousing, petroleum refineries, pulp processing and paper products manufacturing, radioactive materials manufacture or use, steel works, slaughterhouses and tanneries.

Manufacturing, Light. "Light manufacturing" means an establishment or use engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment and packaging of such products, and incidental storage, sales and distribution of such products, but excluding activities classified in another land use category. Typical uses include apparel and garment factories, appliance and computer products assembly, bakeries engaged in large-scale production and wholesale distribution, boat building and repair, electrical and electronic equipment, furniture and fixtures, jewelry manufacturing, leather products, meat cutting and wholesale storage, monument and grave marker manufacturing, motion picture production lots, musical instrument manufacturing, pharmaceutical and toiletries manufacturing, printing and publishing, rubber and plastics products, sports equipment manufacturing, and toy manufacturing.

Manufacturing, Wood Products. "Wood products manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from raw wood materials. These uses may be further subdivided into "light manufacturing" which includes small-scale production of cabinets, lath, grade stakes, furniture, wood art, moulding; and "heavy manufacturing" which includes such uses as prefabricated wall components, lumber mills, and log home manufacturing.

Land Use Code:

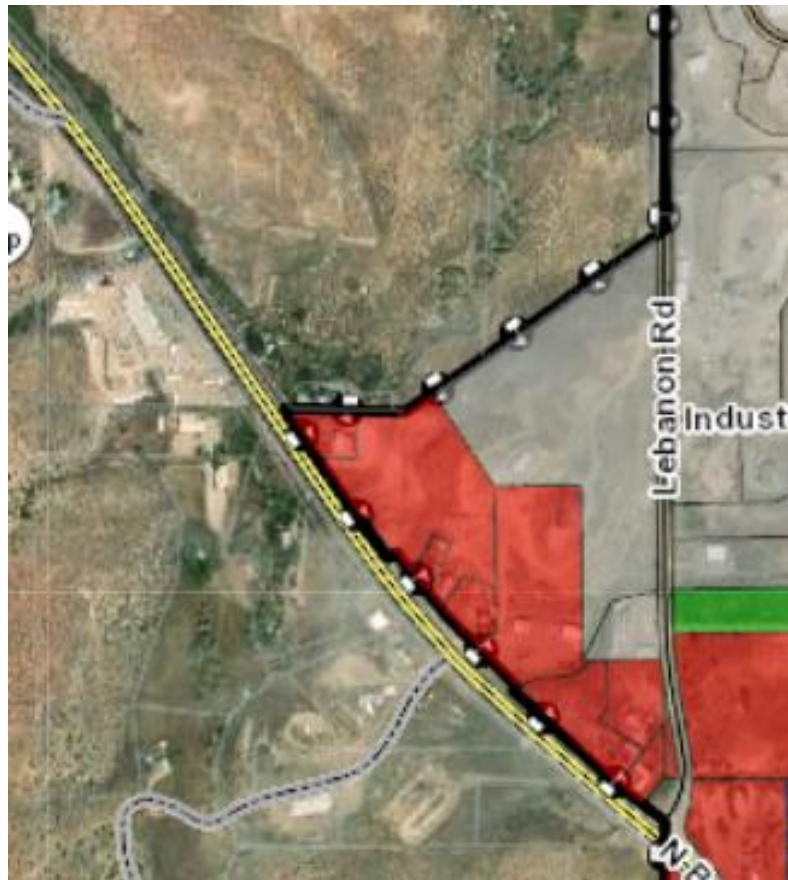
Use Type	RE	R-1	R-2	MH	O	CBD	C	NB	I
Manufacturing, general									P
Manufacturing, hazardous/objectional									C
Manufacturing, light						C	C		P
Manufacturing, wood products							C		P

5.07 (j) Open Storage. No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No

open storage operation shall be located in front of a main building. No wrecking, junk, or salvage yard shall be permitted as a storage use in any district.

The current request is to rezone the property from C to I, which is the most permissive zone in regards to outdoor storage and uses in general and then grant a Conditional Use Permit to allow the proposed outdoor storage uses, for which the code is unclear as to where/how they are permitted. This is somewhat of an unusual approach to deal with unclear and contradictory code provisions. There are two other options to approach this use; 1) Keep the existing zoning in place, grant or deny a Conditional Use Permit for the use or 2) Rezone to Industrial and review the use as a Site Plan only, since Manufacturing, wood products would be considered a Permitted Use. The interpretation of 5.07(j) is unclear in either case.

Location/Surrounding Land Uses



Surrounding Zoning

The Property is bounded on the north by commercial property, unincorporated land and industrial zoned land, on the west by unincorporated land, south is both Commercial and unincorporated, east is both commercial and industrial. Access to the Property is directly off Hwy 491.

ISSUES

Sec. 6.02 of the Land Use Code establishes the following criteria for a zoning amendment:

1. Items for Consideration in Zoning Amendments. The planning commission shall in its action on the rezoning request, consider the following:
 - a. Was the existing zone for the property adopted in error?
 - b. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?
 - c. Is there a need for the proposed rezoning within the area or community?
 - d. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?
 - e. Will there be benefits derived by the community or area by granting the proposed rezoning?
 - f. Are adequate facilities available to serve development for the type and scope suggested by the proposed zone? If utilities are not available, could they be reasonably extended?
 - g. Is the proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan?
 - h. Does the proposed change constitute "spot zoning?"

And the following criteria for a Conditional Use Permit:

(f) Conditions of Approval. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

(1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.

(2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.

(3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.

(4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.

(5) Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.

(6) The proposed conditional use shall conform to adopted plans, hours of operation, polices and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

DISCUSSION

This Property is located in an area at the edge of the City that includes industrial and heavy commercial land uses and some residential properties in the County. Staff determined that since Section 5.07(j) of the LUC is applicable to the proposed use, a rezoning from C, Commercial Highway, to I, Industrial is

required.

The request is to rezone the Property from C to I, which is the most permissive zone in regards to outdoor storage and uses in general. Conditional Use Permits have also been requested, which may or may not be required depending on whether or not the rezone is granted and how 5.07(j) is interpreted.

Criteria Discussion:

Rezone:

- a. It does not appear that this Property was zoned in error, the area is a mix of industrial and heavy commercial uses. The Property is directly adjacent to only Industrial and Commercially zoned property, in addition to unincorporated land that appears to be in similar heavy commercial type uses.
- b. The most recent new uses in the area are the Herbal Alternative, a marijuana dispensary and grow operation and Target Rental. The Herbal Alternative is located on C zoned property while Target Rental is located on I zoned property. Many of the uses in the area incorporate outdoor storage of a variety of materials and equipment.
- c. The rezoning is being requested to allow for a heavy manufacturing use in an area of the city where these types of uses are somewhat common. There are many vacant C zoned properties in the city, while only a few vacant I zoned properties exist. This lack of zoned and available land for Industrial type uses could be considered a need for the rezoning.
- d. The area is mostly industrial and heavy commercial uses, most of which include an outdoor storage component. It does not appear that any of the nearby uses comply with 5.07(j).
- e. The use is a necessary use in this area where wildfire is a constant and concerning threat. The business provides both firefighting and fire mitigation services, and also makes use of all of the byproducts, adding value to what can be a difficult waste product to dispose of.
- f. Adequate facilities for the business are available, including water, sewer, access and all other utilities, although at this phase, no services are necessary for the use.
- g. The Cortez Comprehensive plan includes numerous goals that support the requested rezone. Goals and policies include the following:
 - a. Sustain a well-balanced and diverse local economy (Goal 11.1)
 - b. Encourage industries that employ City residents for the reclamation of resource extraction. (Policy 11.1.47)
 - c. Encourage manufacturing businesses and other skilled labor businesses to enhance employment opportunities at “living wage” income levels. (Policy 11.3.8)
- h. The Property is adjacent to other industrial zoned property so it should not be considered “spot zoning.”

Conditional Use Permit:

With this use, a conditional use permit can help to make a difficult use for the city compatible with surrounding land uses. The Owner/applicant’s narrative does a good job of establishing that the proposed uses will not be objectionable due to noise, lighting, smoke, fumes, hours of operation or hazardous materials, as long as all statements in the narrative are adhered to at all times. The site plan is entirely lacking in terms of buffering, fencing and landscaping, which, if added, would go a long way to improving the appearance of the site.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

- The application packet does not specify what zoning is being requested so I can't comment on that.
- All situs addresses for both properties are good. Due to hazardous nature of the operation make sure addresses are clearly marked for emergency response.
- A new (additional) address will be assigned to the proposed manufacturing building on PID 561122400044 once a building permit is pulled
- No other concerns

Cortez Sanitation District (Jim Webb) – note, comments address Lebanon Rd property, not these

The Sanitation District has some concerns about a couple of exposed manhole covers in this property. Could you please let the owners know that we have a 20’ prescribed easement across this property 10” Each side of the pipe. We have to have access to these manholes and pipeline for normal maintenance. The covers being exposed like they are, can not withstand big equipment hitting them and the buried manholes would not be able to handle a whole lot of abuse either. We would prefer that the easement stay clear of any permanent structures and any stored logs, giving us access to the exposed manholes Any time of the day or night. This Sewer main is a major Trunk line for the entire North side of town.



Cortez City Engineer (Kevin Kissler)

Public works staff performed a site visit on 5/19 and a follow up visit on 5/23 of the properties in question. Attached are updated site plans showing field observations and comments for 1050 Lebanon and 10206 Highway 491, within are specific engineering concerns and suggestions. The applicant is encouraged to have a Colorado licensed professional engineer certify the adequacy of their installations and earthwork, the attached site plans are not providing or implying warranty or adequacy as to the performance of the installations and earthwork and only reflect a mutual understanding of the work the applicant intends to perform during grading operations.

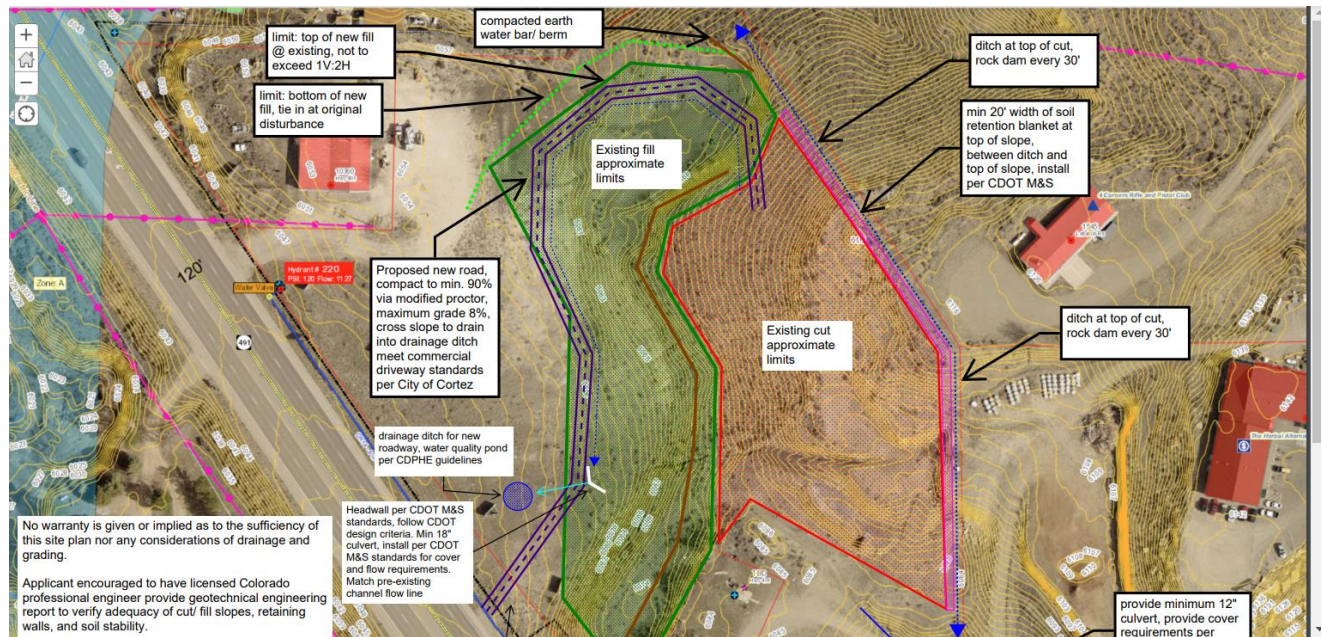
With that said, it appears that the applicant has removed roughly 40,000 cubic yards of material from the hill on their property at 10206 Highway 491 and has used that material to create a filled pad. While in my opinion this is beyond the scope of a typical grading permit, I am not seeing much support from within the land use code or construction design standards to differentiate this project from a grading permit, nor to my knowledge was this scope of work outlined in their original grading permit from last

year. It appears a legal basis to keep their operations suspended is not clearly defined, therefore we will allow work to continue and monitor operations on the site.

I have not heard from CDOT, however the applicant intends to add a second access on their property. They assured me that they have already had communications with CDOT, the access is shown on their plat, and that access from highway 491 at that location is already approved within CDOT's access control plan for highway 491. I had concerns regarding sight distance for oncoming traffic if using that access, however it was noted that roll back curb had already been installed by CDOT at that location.

If they are to eventually propose a structure on any of the filled areas, the city would want to require a soils analysis for any permanent foundations as the placed fill may or may not be unstable. A formal soils and/ or engineering analysis may be a prudent demand the city could make as a condition of re-zoning if supported and permissible by the land use code. It is my recommendation that the city update as soon as possible the LUC and/ or CDS such that any placed fill greater than 4' in depth should require a geotechnical engineering analysis and design certified by a Colorado licensed professional engineer. This update should also include verbiage that outlines a stop work procedure for clearly defined violations and a formal review and/ or remediation process to bring the work back into compliance. Considering the current uses in the area include a concrete batch plant, auto body shop, granite cutter and retailer, fuel station, heavy equipment rental, and marijuana dispensary, it would appear that industrial is an appropriate zoning determination for both 1050 Lebanon and 10206 highway 491. As for specific engineering concerns, I would like to see the following:

10206 Highway 491: Statement from CDOT regarding access permission from the second proposed access indicated by the applicant at a recent site visit. There may be a concern of sight distance for traffic exiting from this point.



Cortez Parks and Recreation (Creighton Wright)

As City's primary representative for parks, open space, forestry, and recreation, I desire to be a good neighbor and respectfully ask that Mr. Moore's business ventures don't negatively impact the recreation

pursuits of Cortez residents and visitors. While I do support the business development opportunities, especially the very cool log homes that Mr. Moore proposes to build, I respectfully request mitigation to support the serene Carpenter Natural Area directly adjacent to the property. The preserve's primary parking lot is directly adjacent to the north of the proposed equipment storage area.

The Carpenter Natural Area is a unique ecological and geologic gem within the city that allows residents and visitors to enjoy the natural scenery and outstanding views without leaving the city. Residents and visitors routinely (some daily) use the space for trail walking, birding, light hiking, mountain biking, and generally, the opportunity to get outside and enjoy nature literally out their back doors. I request mitigation by the adjacent property owner to screen, protect and preserve the natural aesthetic value and uniquely serene environment found at the Carpenter Open Space Preserve.

Requested mitigation:

1. Secure and preserve the water quality of inflow into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
2. Restrict access to preserve drives and parking areas from the equipment, supplies, and deliveries to Mr. Moore's business.
3. Prevent any waste, construction debris, or other by-products from blowing or coming onto the preserve or associated areas.
4. Provide buffer and naturally-oriented visual screening along Mr. Moore's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

PLANNING COMMISSION RECOMMENDATION – Rezone (Note – if the Rezoning Application is approved on first reading, the Conditional Use Permit Application will be brought to Council along with the second reading of the re-zoning ordinance)

Staff and the Planning Commission recommend approval of the rezoning request through City Council Ordinance No. 1317, Series 2023 with the following findings:

- a. The Property is adjacent to existing Industrial uses. Impacts can be mitigated with appropriate use conditions.
- b. The community will benefit from use of the property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much needed natural resource use.
- c. Adequate facilities are available to serve development for the type and scope suggested by the proposed zone.
- d. The proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan.

If the City Council agrees with the recommendations of Staff and the Planning Commission, a possible motion would be: I move that Council introduce and approve on first reading Ordinance No. 1317, Series 2023, an ordinance approving an application for a rezoning of a parcel of land located at 10206 Hwy 491, Cortez, Colorado.

**CITY OF CORTEZ
ORDINANCE NO. 1317, SERIES 2023**

**AN ORDINANCE AMENDING THE CITY OF CORTEZ ZONING MAP FOR A 7.86
ACRE PARCEL LOCATED AT 10206 HIGHWAY 491, CORTEZ COLORADO, IN
THE SE/4, NE/4 OF SECTION 22, TOWNSHIP 36 NORTH, RANGE 16 WEST,
N.M.P.M, FROM C, COMMERCIAL HIGHWAY TO I, INDUSTRIAL DISTRICT**

WHEREAS. Owners/applicants Anthony Moore and Mary Lancaster, (the “Owners/applicants”) have applied for review of a rezoning from C, Commercial Highway to I, Industrial of a parcel of land located at 10206 Hwy 491, Cortez, Colorado, and more particularly described as (the “Property”):

A tract of land in SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M.

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review of a rezoning of the Property by the City Planning and Zoning Commission at its regular meeting held on June 6, 2023; and

WHEREAS, Land Use Code Section 6.02, Zoning Map and Land Use Code Amendments, indicates that the owner or developer of a property may request an amendment to the zoning classification of property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for an amendment to the zoning classification from C, Commercial Highway to I, Industrial, and based on the evidence and testimony presented at said meeting, is recommending approval of the request for an amendment to the zoning classification on the Property, as evidenced in the adoption of P&Z Resolution No. 8, Series 2023; and

WHEREAS, it appears that all requirements of Chapter 6.00 of the City’s Land Use Code for a zoning classification amendment have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL THAT THE CITY OF CORTEZ ZONING MAP IS AMENDED TO RECLASSIFY THE DESCRIBED PROPERTY FROM C, COMMERCIAL HIGHWAY TO I, INDUSTRIAL, SUBJECT TO THE FOLLOWING FINDINGS:

1. The Property is adjacent to existing Industrial uses. Impacts can be mitigated with appropriate use conditions.
2. The community will benefit from use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much needed natural resource use.

3. Adequate facilities are available to serve development for the type and scope suggested by the proposed zoning.
4. The proposal is in conformance with the policies, intents and requirements of the Cortez comprehensive plan.
5. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.

PASSED, ADOPTED AND APPROVED ON FIRST READING THIS 11th DAY OF JULY 2023.

ATTEST:



LINDA L. SMITH, CITY CLERK

CITY OF CORTEZ



RACHEL B MEDINA, MAYOR

PASSED, ADOPTED AND APPROVED ON SECOND AND FINAL READING THIS 25th DAY OF JULY 2023.

ATTEST:

LINDA L. SMITH, CITY CLERK

CITY OF CORTEZ

RACHEL B MEDINA, MAYOR

APPROVED AS TO FORM:

J. PATRICK COLEMAN, CITY ATTORNEY

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 8, SERIES 2023**

A Resolution Recommending Approval of a Rezoning of a parcel of land located at 10206 Hwy 491, Cortez, Colorado, in the SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., from C, Commercial Highway District to I, Industrial District

WHEREAS, Owners/applicants Anthony Moore and Mary Lancaster, (the Owners/applicants”) have applied for review of a rezoning from C, Commercial Highway to I, Industrial of a parcel of land located at 10206 Hwy 491, Cortez, Colorado, and more particularly described as (the “Property”):

A tract of land in SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M.

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review of a rezoning of the Property by the City Planning and Zoning Commission at its regular meeting held on June 6, 2023; and

WHEREAS, Land Use Code Section 6.02, Zoning Map and Land Use Code Amendments, indicates that the owner or developer of a property may request an amendment to the zoning classification of property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for an amendment to the zoning classification of the Property from C, Commercial Highway to I, Industrial, and is recommending approval of the request, as evidenced by the adoption of this P&Z Resolution No. 8, Series 2023; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission is recommending approval of the requested zoning classification amendment; and

WHEREAS, it appears that all requirements of Chapter 6.00 of the City’s Land Use Code for a zoning classification amendment have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, this P&Z Resolution No. 8, Series 2023, establishes the finding for approval for the reclassification of the Property; and

THAT, the reclassification and full application for the Property are hereby recommended to the Cortez City Council for approval, subject to the following findings:

- a. The Property is adjacent to existing Industrial uses. Impacts can be mitigated with appropriate use conditions.
- b. The community will benefit from use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much needed natural resource use.
- c. Adequate facilities are available to serve development for the type and scope suggested by the proposed zoning.
- d. The proposal is in conformance with the policies, intents and requirements of the Cortez comprehensive plan.
- e. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.

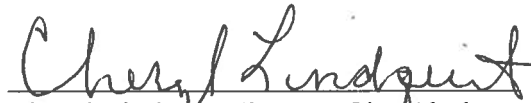
MOVED, SECONDED, AND ADOPTED THIS 6th DAY OF JUNE, 2023

PLANNING AND ZONING COMMISSION



Lance McDaniel, Vice-Chairman

ATTEST:


Cheryl Lindquist, Deputy City Clerk

4/14/2023

Dear To Whom It May Concern:

City of Cortez: Planning and Zoning

Nancy,

Here is my official request to Rezone 10206 Highway 491 Cortez Colorado 81321.

Parcel Number : 561122400044

Legal: Section: 22 Township: 36 Range: 16 TR INN1/2SE1/4

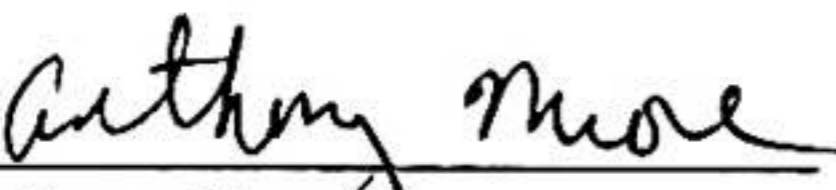
Acreage: 7.86 AC

Currently zoned Commercial "C"

Requesting to Rezone Industrial "I"

Any question or concern please contact at 1-719-588-3450 or by email to justmemory7@yahoo.com

Thank you


Anthony Moore



Mary Lancaster

Tax Account

Summary

Account Id R007615
Parcel Number 561122400044
Owners MOORE, ANTHONY D. &
LANCASTER, MARY K.
Address PO BOX 1034
ALAMOSA, CO 81101
Situs Address 10206 HWY 491 CORTEZ
Legal Section: 22 Township: 36 Range: 16 TR INN1/2SE1/4; 7.86AC B432 P334 B655 P146 B665 P349-350 B690 P553

Inquiry

As Of 04/14/2023 

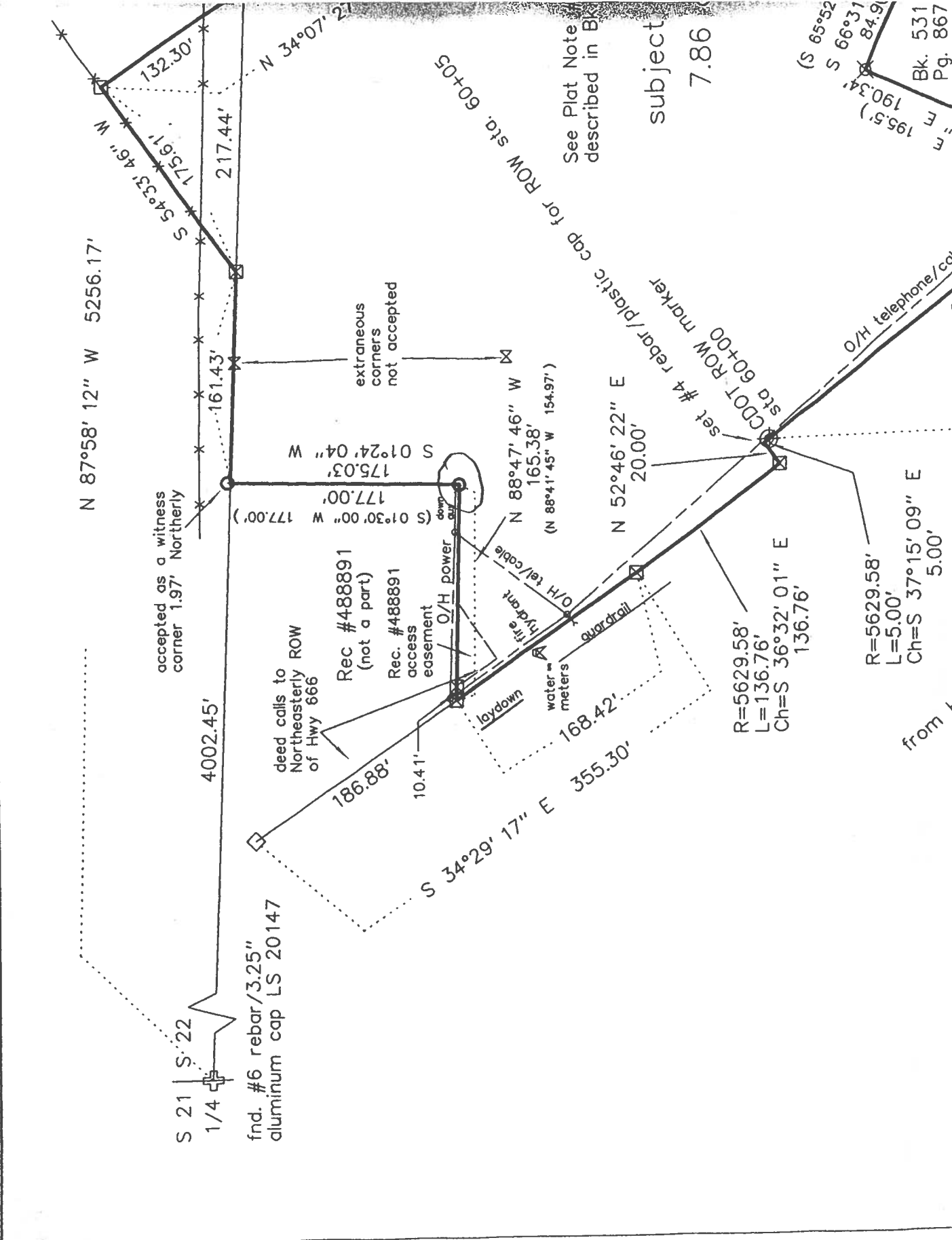
Payment Type First
 Full

Taxes Due \$1,287.72
Total Due \$1,287.72

Value

Area Id	Mill Levy	
11001 - DISTRICT 11001		55.3859800
	Actual	Assessed
SPEC.PURPOSE-LAND - 2130	66,400	19,260
SPEC.PURPOSE-IMPROVEMENTS - 2230	13,768	3,990
Total Value	80,168	23,250
Taxes		\$1,287.72

The amounts of taxes due on this page are based on last year's property value assessments.
For current year values visit the [Montezuma County Assessor's site](#).



N 87°58' 12" W 5256.17'

accepted as a witness corner 1.97' Northerly

4002.45'

S 21 1/4 S 22
fnd. #6 rebar/3.25" aluminum cap LS 20147

deed calls to Northeastly ROW of Hwy 666

Rec #488891 (not a part)

Rec. #488891 access easement

10.41'

laydown

water meters

fire hydrant

O/H tel/cable

quadrant

168.42'

355.30'

S 34°29' 17" E

R=5629.58'
L=136.76'
Ch=S 36°32' 01" E

136.76'

20.00'

N 52°46' 22" E

165.38'

N 88°47' 46" W

177.00'

(S 01°30' 00" W 177.00')

S 01°24' 04" W

175.03'

161.43'

N 34°07' 21"

217.44'

S 54°33' 46" W

175.61'

132.30'

extraneous corners not accepted

down

O/H power

set #4 rebar/plastic cap for ROW sta. 60+05

CDOT ROW marker

std 60+00

O/H telephone/cor

from R.

R=5629.58'
L=5.00'
Ch=S 37°15' 09" E

5.00'

5.00'

subject

7.86

See Plat Note described in Bk

(S 65°52'

S 66°31'

84.9'

190.34'

195.5'

Bk. 531

Pg. 867

Mon Do Title Co., Inc.
236 W. North St
Cortez, Co 81321
Ph. (970)565-8491
misty@mondotitleco.com

Date: 04-19-2023

PROPERTY REPORT

NOTE: THIS REPORT CANNOT BE RELIED UPON AS ESTABLISHING OWNERSHIP. THIS REPORT IS ONLY INTENDED TO SHOW THE NAME(S) OF THE PERSON(S) PRESENTLY APPEARING TO CLAIM OWNERSHIP AND ANY ENCUMBRANCES OF RECORD. THIS REPORT SHOULD NOT BE CONSTRUED AS A TITLE OPINION, LIABILITY OF THE COMPANY UNDER THIS REPORT IS LIMITED TO THE AMOUNT PAID FOR SAME.

To: M. Lancaster

Report No: 20230419

Property Address: 10206 Hwy 491; Cortez, Colo. 81321

Tax ID No.: 5611-224-00-044

Effective Date: 04/18/2023 at 8:00 am

1. The purported owner to the estate in said land is at the date hereof vested in:
-Anthony D. Moore and Mary K. Lancaster
2. Legal Description of the subject property is attached hereto and made a part of as Exhibit A.
3. The encumbrance(s) (voluntary) if any, to which said land is subject:
-Deed of Trust from Anthony D. Moore aka Anthony Moore and Mary K. Lancaster aka Mary Lancaster to the Public Trustee of Montezuma County for the benefit of the Dolores State Bank in the amount of \$628,923.38 dated June 8, 2022 and filed for record June 8, 2022 under Reception No. 645665 in the office of the Montezuma County Clerk and Recorder.
4. The judgment(s)/lien(s) (involuntary) if any, to which said land is subject:
-None of record were found as of the effective date.
-Taxes for the year 2022 are due in the amount of \$1287.72, per the Statement of Taxes Due, dated April 19, 2023.

By: Misty M. Kvasnicka Date: April 19, 2023

Exhibit A

A tract of land in the SE/4NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., being more particularly described as follows:

Beginning at a point on the South line of said Section 22, Township 36 North, Range 16 West, N.M.P.M., lying East of the East right of way line of U.S. Highway 491 (formerly known as U.S. Highway 666) and West of a line described as follows:

Beginning at a point on the South line of said SE/4NE/4, which point is 1064 feet West of the East Quarter Corner of said Section 22; thence North $57^{\circ}48'$ East a distance of 194 feet; thence South $34^{\circ}0'$ East to the South line of said SE/4NE/4; thence West along the South line of said SE/4NE/4 to the point of beginning.

And

All that portion of the N/2SE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., lying East of the East right of way line of U.S. Highway 491 (formerly U.S. Highway 666) and West of a line described as follows:

Beginning at a point on the North right of way line of U.S. Highway 491 from whence the Southeast Corner of said Section 22 bears South $27^{\circ}16'$ East a distance of 2230.6 feet; thence South $43^{\circ}11'$ East a distance of 77.5 feet; thence North 32° East a distance of 173.3 feet; thence South 67° East a distance of 142.6 feet; thence North a distance of 412 feet; thence North $34^{\circ}0'$ West to the North line of the said N/2SE/4 of said Section 22.

Less and Except a tract of land as conveyed in Deeds recorded September 26, 1958 in Book 261 at Page 76 and in Deed recorded February 13, 1964 in Book 329 at Page 241.

Also Less and Except a tract of land conveyed in Deed to the Department of Highways, State of Colorado, recorded March 8, 1972 in Book 428 at Page 4.

Also Less and Except any portion lying in or being used as a Highway as cited in Deed recorded July 28, 1972 in Book 432 at Page 334.

County of Montezuma,
State of Colorado.

APPLICATION FOR ZONING AMENDMENT
(Land Use Code Section 6.02)

Name: Anthony Moore Mary Lancaster Phone: 719-588-3450
Address: 10286 Highway 491 COCKE COLORADO 81321

- Statement of requested change and legal description of property
- Title certificate with list of owners and all liens, easements, etc. on property
- Statement from Treasurer showing status of current taxes due on property
- Survey of property which shows existing zoning, existing uses, and zoning within 300' of land to be rezoned
- List of surrounding property owners (and addresses) within 300' cheryl
- Statement showing effect that new zoning would have on adjacent uses ?
- Explanation for rezoning request
- Filing fee \$ 500

RECORD OF PROCEDURES

Review by Department Heads:	Date	Initials
Police Department	_____	_____
Public Works/Planning Department	_____	_____
Parks & Recreation Department	_____	_____
Fire Department	_____	_____

P&Z Public Hearing: _____ Advertised in Paper: _____

Action taken by P&Z: _____

Council Public Hearing: _____ Advertised in Paper: _____

Action taken by Council: _____

4/14/2023

Dear To Whom It May Concern:

City of Cortez: Planning and Zoning

Nancy,

Here is my official request to Rezone 10206 Highway 491 Cortez Colorado 81321.

Parcel Number : 561122400044

Legal: Section: 22 Township: 36 Range: 16 TR INN1/2SE1/4

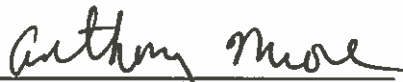
Acreage: 7.86 AC

Currently zoned Commercial "C"

Requesting to Rezone Industrial "I"

Any question or concern please contact at 1-719-588-3450 or by email to justmemyrrtle7@yahoo.com

Thank you



Anthony Moore




Mary Lancaster

Tax Account

Summary

Account Id R007615
Parcel Number 561122400044
Owners MOORE, ANTHONY D. &
LANCASTER, MARY K.
Address PO BOX 1034
ALAMOSA, CO 81101
Situs Address 10206 HWY 491 CORTEZ
Legal Section: 22 Township: 36 Range: 16 TR INN1/2SE1/4; 7.86AC B432 P334 B655 P146 B665 P349-350 B690 P553

Inquiry

As Of 

Payment Type First
 Full

Taxes Due \$1,287.72
Total Due \$1,287.72

Value

Area Id	Mill Levy	
11001 - DISTRICT 11001		55.3859800
	Actual	Assessed
SPEC.PURPOSE-LAND - 2130	66,400	19,260
SPEC.PURPOSE-IMPROVEMENTS - 2230	13,768	3,990
Total Value	80,168	23,250
Taxes		\$1,287.72

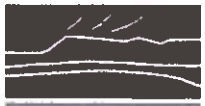
The amounts of taxes due on this page are based on last year's property value assessments. For current year values visit the [Montezuma County Assessor's site.](#)



**City of Cortez Address Change:
MOORE, ANTHONY and LANCASTER, MARY
10206 Hwy 491, Cortez, CO 81321**

PID 5611-224-00-044

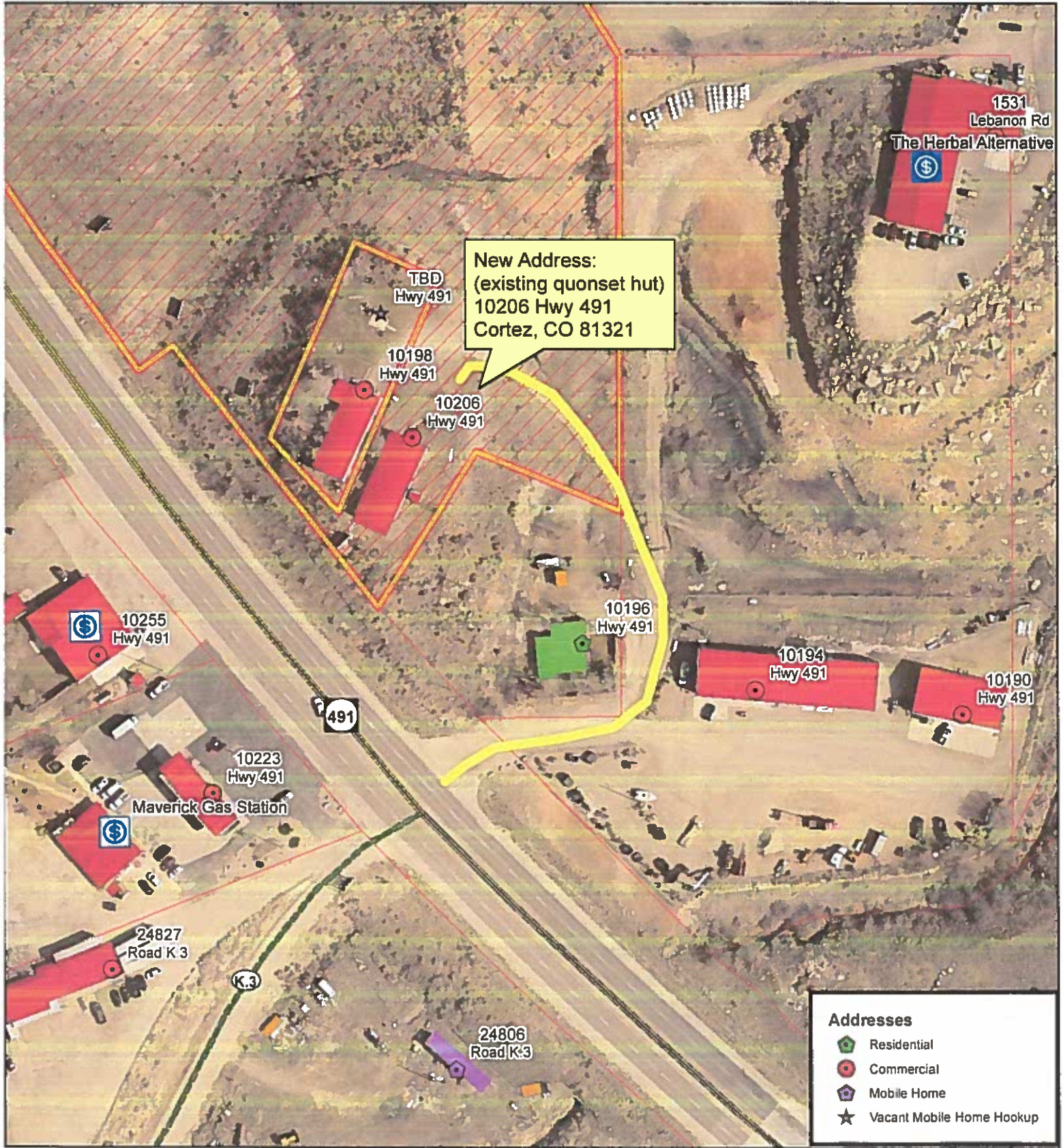
Subdivision: S22 T36 R16 TR INN1/2SE1/4; 7.86AC
(FKA 10230 Hwy 491)



CORTEZ

3/31/2022

1 inch = 120 feet



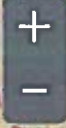
New Address:
(existing quonset hut)
10206 Hwy 491
Cortez, CO 81321

Addresses

-  Residential
-  Commercial
-  Mobile Home
-  Vacant Mobile Home Hookup



-LAT-
-LONG



Hatchman Draw

Hwy 491

491

10400 Hwy 491

10360 Hwy 491

10355 Hwy 491

10359 Hwy 491

10361 Hwy 491

TED Hwy 491

10192 Hwy 491

10206 Hwy 491

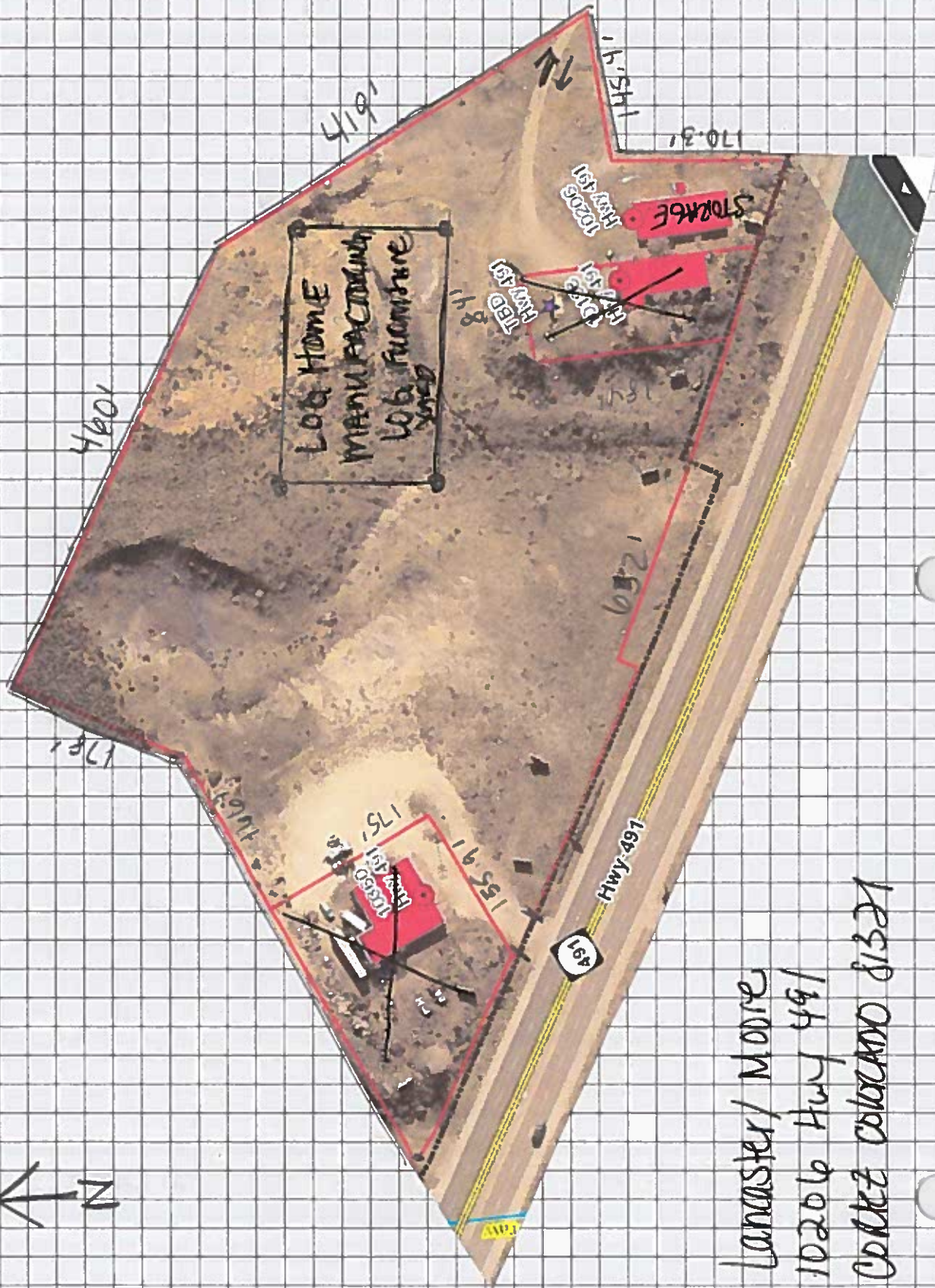
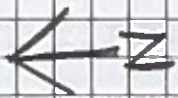
Smity's Liquor
10255 Hwy 491

10196 Hwy 491



0 100 200ft

37.36241 -108.59607 Degrees



Lancaster / Moore
10206 Hwy 491
Corte Colorado 81321





CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 1/18/2023

RE: Resolution No. 16, Series 2023

DISCUSSION

This Property is located in an area at the edge of the City that includes industrial and heavy commercial land uses and some residential properties in the County.

See attached

BACKGROUND

A conditional use permit can make a difficult use for the city compatible with surrounding land uses. The Owners/applicants' narrative provides a description of the Owners/applicants' position that the proposed uses will not be objectionable due to noise, dust, lighting, smoke, fumes, hours of operation or hazardous materials, as long as all statements in the narrative are adhered to at all times.

FISCAL IMPACT

None

RECOMMENDATION

Staff and Planning and Zoning Commission recommend the Cortez City Council approve Resolution No. 16, a resolution approving a Conditional Use Permit for property located at 10206 Hwy 491, Cortez, Colorado, a tract of land in the SE/4NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., as described in the Staff Report and as submitted by the Owners/applicants, with conditions.

MOTION

If agreed upon by the City Council, a possible motion would be:

I make a motion to approve Resolution No. 16, Series 2023, a resolution approving a Conditional Use Permit for property located at 10206 Hwy 491, Cortez, Colorado, as described in the Staff Report and as submitted by the Owners, with the following conditions:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. The address shall be clearly marked for emergency response.
- c. The Owners shall comply with the submitted project narrative at all times.
- d. The Owners shall comply with all requirements of the City Engineer prior to establishment of any uses on the

Property.

- e. Prior to approval of a final site plan for the development, the Owner shall submit a revised plan that complies with all landscape requirements for the LUC.
- f. Prior to approval of a final site plan for the development, the Owner shall propose a fencing plan that adequately screens the storage uses from Hwy 491 or demonstrate that the storage will not be visible from the Hwy.
- g. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.
- h. The Owners shall submit a plan for control of fugitive dust prior to start of operation.
- i. Operations shall comply at all times with CRS 25-12-103, maximum permissible noise levels.

Attachments

Staff Report

Resolution No. 16, Series 2023

P&Z Resolution No. 11, Series 2023

Application

survey

grid



*City of Cortez
Comm. & Economic Dev.
123 Roger Smith Ave.
Cortez, Co. 81321*

Meeting Date: July 25, 2023
Project No. ZA23-000002

MEMO

TO: Members of the Cortez City Council
FROM: Nancy Dossdall, Contract City Planner

SUBJECT: Public Hearing on an ordinance to approve an application for a rezoning of a parcel of land located at 10206 Hwy 491, Cortez, Co., A tract of land in the SE/4NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., from C, Commercial Highway to I, Industrial, and request for a Conditional Use Permit for the property.

OWNER: Anthony D. Moore, Mary K. Lancaster

ATTACHMENTS: City of Cortez Ordinance No. 1317, Series 2023
Cortez City Council Resolution No. 16, Series 2023
P&Z Resolution No. 11, Series 2023
Application Packet



BACKGROUND/CODE DISCUSSION

The parcel located at 10206 Hwy 491, in the SE/4, NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M. (the “Property”), is currently zoned C, Commercial Highway. The owners, Anthony D. Moore and Mary K. Lancaster (the “Owners”), who also own the parcel located at 1107 Lebanon Road, directly west of the Property, wish to use the Property for equipment and material storage for their business, Independent Log Company. They have been cited by the City of Cortez Code Enforcement for grading the Property without permits. Staff believes that this request for a rezoning and a conditional use permit, if approved, would bring the Property into conformance with the Cortez Land Use Code (the “LUC”), although the uniqueness of the Property and the proposed uses makes the application of the LUC to this application challenging, which will be explained in the discussion section of this report.

Independent Log Company operates as a Fire Mitigation and Response Company with several components (see narrative). It operates and maintains equipment which is used for wildfire response including trucks, trailers, water trucks, earth moving equipment, and chain saws. For the most part, this equipment is off site at wildfire events during the wildfire season and returns for storage during the winter months. The season and amount of events can vary wildly, but has recently been longer and fires are more frequent than in past years. In addition to wildfire response, the company conducts wildfire mitigation services which primarily include tree cutting and thinning services. The cut trees are then brought to Independent Log Company’s properties, prepared and used in several ways, depending on the quality and size of the product, including log home construction, wood furniture construction, fence materials and firewood. These uses would most likely be considered “manufacturing” in that there the Owners are not proposing any retail sales of products from the Property.

The LUC contains some rather complicated regulations concerning outdoor uses such as those being proposed. Contractor storage or equipment yards and manufacturing, wood products are similar uses that are listed as Conditional Uses in the “C” zone and permitted uses in the “I” zone, indicating that perhaps rezoning is not required, and a Conditional Use Permit is appropriate to authorize the proposed uses. Applicable definitions are below. The proposed uses related to wood products do appear to fit in the definition of “manufacturing, wood products” and “manufacturing, heavy,” which the LUC lists as a conditional use in the Commercial Highway zone and a permitted use in the Industrial zone. However Sec 5.07(j) of the LUC states that “No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No open storage operation shall be located in front of a main building.” Staff has determined that although both equipment storage and log home construction appear to be Conditional Uses in the “C” zone, when Section 5.07(j) is applied, the proposed uses are more properly authorized by a rezoning of the Property to I, Industrial. Since open storage is a key component of the proposed use, Section 5.07(j) applies. While the companion request from the Owners to rezone and approve a CUP for the property located at 1050 Lebanon Road does not include a structure, there are structures located on this Property.

The relevant LUC Sections and definitions are as follows:

Manufacturing, General. "General manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials, excluding uses classified as "manufacturing, hazardous or objectionable."

Manufacturing, Hazardous or Objectionable. "Hazardous or objectionable manufacturing" means a use engaged in storage of, or manufacturing processes utilizing, flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions. Typical uses include chemical manufacturing and warehousing, dry ice manufacturing, fat rendering plants, fertilizer manufacturing, fireworks and explosives manufacturing and warehousing, petroleum refineries, pulp processing and paper products manufacturing, radioactive materials manufacture or use, steel works, slaughterhouses and tanneries.

Manufacturing, Light. "Light manufacturing" means an establishment or use engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment and packaging of such products, and incidental storage, sales and distribution of such products, but excluding activities classified in another land use category. Typical uses include apparel and garment factories, appliance and computer products assembly, bakeries engaged in large-scale production and wholesale distribution, boat building and repair, electrical and electronic equipment, furniture and fixtures, jewelry manufacturing, leather products, meat cutting and wholesale storage, monument and grave marker manufacturing, motion picture production lots, musical instrument manufacturing, pharmaceutical and toiletries manufacturing, printing and publishing, rubber and plastics products, sports equipment manufacturing, and toy manufacturing.

Manufacturing, Wood Products. "Wood products manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from raw wood materials. These uses may be further subdivided into "light manufacturing" which includes small-scale production of cabinets, lath, grade stakes, furniture, wood art, moulding; and "heavy manufacturing" which includes such uses as prefabricated wall components, lumber mills, and log home manufacturing.

Land Use Code:

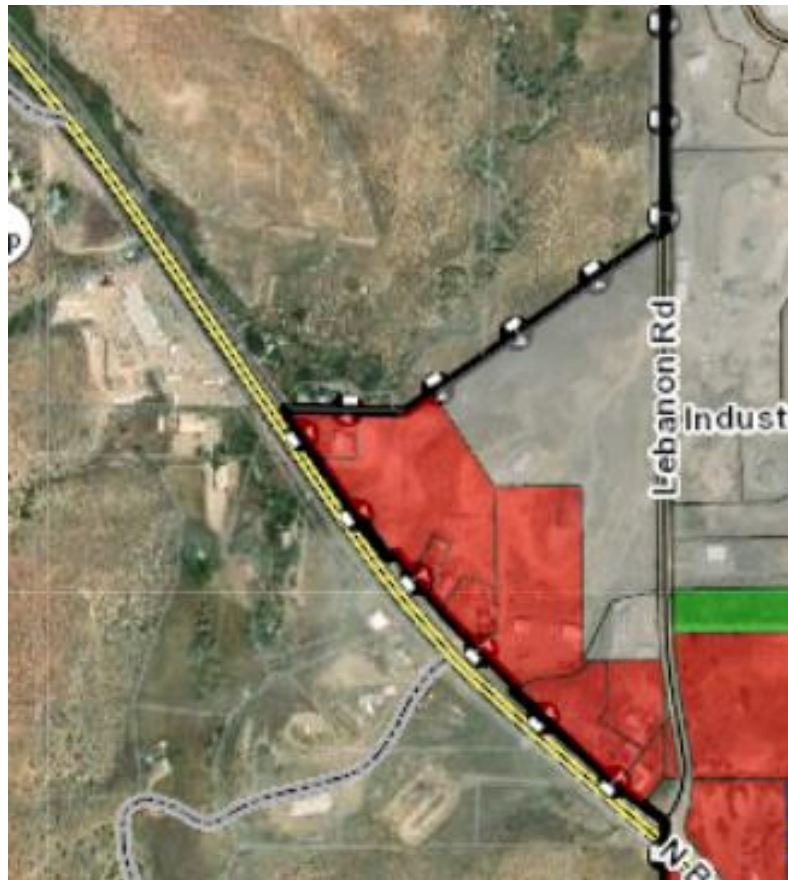
Use Type	RE	R-1	R-2	MH	O	CBD	C	NB	I
Manufacturing, general									P
Manufacturing, hazardous/objectional									C
Manufacturing, light						C	C		P
Manufacturing, wood products							C		P

5.07 (j) Open Storage. No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No

open storage operation shall be located in front of a main building. No wrecking, junk, or salvage yard shall be permitted as a storage use in any district.

The current request is to rezone the property from C to I, which is the most permissive zone in regards to outdoor storage and uses in general and then grant a Conditional Use Permit to allow the proposed outdoor storage uses, for which the code is unclear as to where/how they are permitted. This is somewhat of an unusual approach to deal with unclear and contradictory code provisions. There are two other options to approach this use; 1) Keep the existing zoning in place, grant or deny a Conditional Use Permit for the use or 2) Rezone to Industrial and review the use as a Site Plan only, since Manufacturing, wood products would be considered a Permitted Use. The interpretation of 5.07(j) is unclear in either case.

Location/Surrounding Land Uses



Surrounding Zoning

The Property is bounded on the north by commercial property, unincorporated land and industrial zoned land, on the west by unincorporated land, south is both Commercial and unincorporated, east is both commercial and industrial. Access to the Property is directly off Hwy 491.

ISSUES

Sec. 6.02 of the Land Use Code establishes the following criteria for a zoning amendment:

1. Items for Consideration in Zoning Amendments. The planning commission shall in its action on the rezoning request, consider the following:
 - a. Was the existing zone for the property adopted in error?
 - b. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?
 - c. Is there a need for the proposed rezoning within the area or community?
 - d. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?
 - e. Will there be benefits derived by the community or area by granting the proposed rezoning?
 - f. Are adequate facilities available to serve development for the type and scope suggested by the proposed zone? If utilities are not available, could they be reasonably extended?
 - g. Is the proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan?
 - h. Does the proposed change constitute "spot zoning?"

And the following criteria for a Conditional Use Permit:

(f) Conditions of Approval. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

(1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.

(2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.

(3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.

(4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.

(5) Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.

(6) The proposed conditional use shall conform to adopted plans, hours of operation, polices and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

DISCUSSION

This Property is located in an area at the edge of the City that includes industrial and heavy commercial land uses and some residential properties in the County. Staff determined that since Section 5.07(j) of the LUC is applicable to the proposed use, a rezoning from C, Commercial Highway, to I, Industrial is

required.

The request is to rezone the Property from C to I, which is the most permissive zone in regards to outdoor storage and uses in general. Conditional Use Permits have also been requested, which may or may not be required depending on whether or not the rezone is granted and how 5.07(j) is interpreted.

Criteria Discussion:

Rezone:

- a. It does not appear that this Property was zoned in error, the area is a mix of industrial and heavy commercial uses. The Property is directly adjacent to only Industrial and Commercially zoned property, in addition to unincorporated land that appears to be in similar heavy commercial type uses.
- b. The most recent new uses in the area are the Herbal Alternative, a marijuana dispensary and grow operation and Target Rental. The Herbal Alternative is located on C zoned property while Target Rental is located on I zoned property. Many of the uses in the area incorporate outdoor storage of a variety of materials and equipment.
- c. The rezoning is being requested to allow for a heavy manufacturing use in an area of the city where these types of uses are somewhat common. There are many vacant C zoned properties in the city, while only a few vacant I zoned properties exist. This lack of zoned and available land for Industrial type uses could be considered a need for the rezoning.
- d. The area is mostly industrial and heavy commercial uses, most of which include an outdoor storage component. It does not appear that any of the nearby uses comply with 5.07(j).
- e. The use is a necessary use in this area where wildfire is a constant and concerning threat. The business provides both firefighting and fire mitigation services, and also makes use of all of the byproducts, adding value to what can be a difficult waste product to dispose of.
- f. Adequate facilities for the business are available, including water, sewer, access and all other utilities, although at this phase, no services are necessary for the use.
- g. The Cortez Comprehensive plan includes numerous goals that support the requested rezone. Goals and policies include the following:
 - a. Sustain a well-balanced and diverse local economy (Goal 11.1)
 - b. Encourage industries that employ City residents for the reclamation of resource extraction. (Policy 11.1.47)
 - c. Encourage manufacturing businesses and other skilled labor businesses to enhance employment opportunities at “living wage” income levels. (Policy 11.3.8)
- h. The Property is adjacent to other industrial zoned property so it should not be considered “spot zoning.”

Conditional Use Permit:

With this use, a conditional use permit can help to make a difficult use for the city compatible with surrounding land uses. The Owner/applicant’s narrative does a good job of establishing that the proposed uses will not be objectionable due to noise, lighting, smoke, fumes, hours of operation or hazardous materials, as long as all statements in the narrative are adhered to at all times. The site plan is entirely lacking in terms of buffering, fencing and landscaping, which, if added, would go a long way to improving the appearance of the site.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

- The application packet does not specify what zoning is being requested so I can't comment on that.
- All situs addresses for both properties are good. Due to hazardous nature of the operation make sure addresses are clearly marked for emergency response.
- A new (additional) address will be assigned to the proposed manufacturing building on PID 561122400044 once a building permit is pulled
- No other concerns

Cortez Sanitation District (Jim Webb) – note, comments address Lebanon Rd property, not these

The Sanitation District has some concerns about a couple of exposed manhole covers in this property. Could you please let the owners know that we have a 20’ prescribed easement across this property 10” Each side of the pipe. We have to have access to these manholes and pipeline for normal maintenance. The covers being exposed like they are, can not withstand big equipment hitting them and the buried manholes would not be able to handle a whole lot of abuse either. We would prefer that the easement stay clear of any permanent structures and any stored logs, giving us access to the exposed manholes Any time of the day or night. This Sewer main is a major Trunk line for the entire North side of town.



Cortez City Engineer (Kevin Kissler)

Public works staff performed a site visit on 5/19 and a follow up visit on 5/23 of the properties in question. Attached are updated site plans showing field observations and comments for 1050 Lebanon and 10206 Highway 491, within are specific engineering concerns and suggestions. The applicant is encouraged to have a Colorado licensed professional engineer certify the adequacy of their installations and earthwork, the attached site plans are not providing or implying warranty or adequacy as to the performance of the installations and earthwork and only reflect a mutual understanding of the work the applicant intends to perform during grading operations.

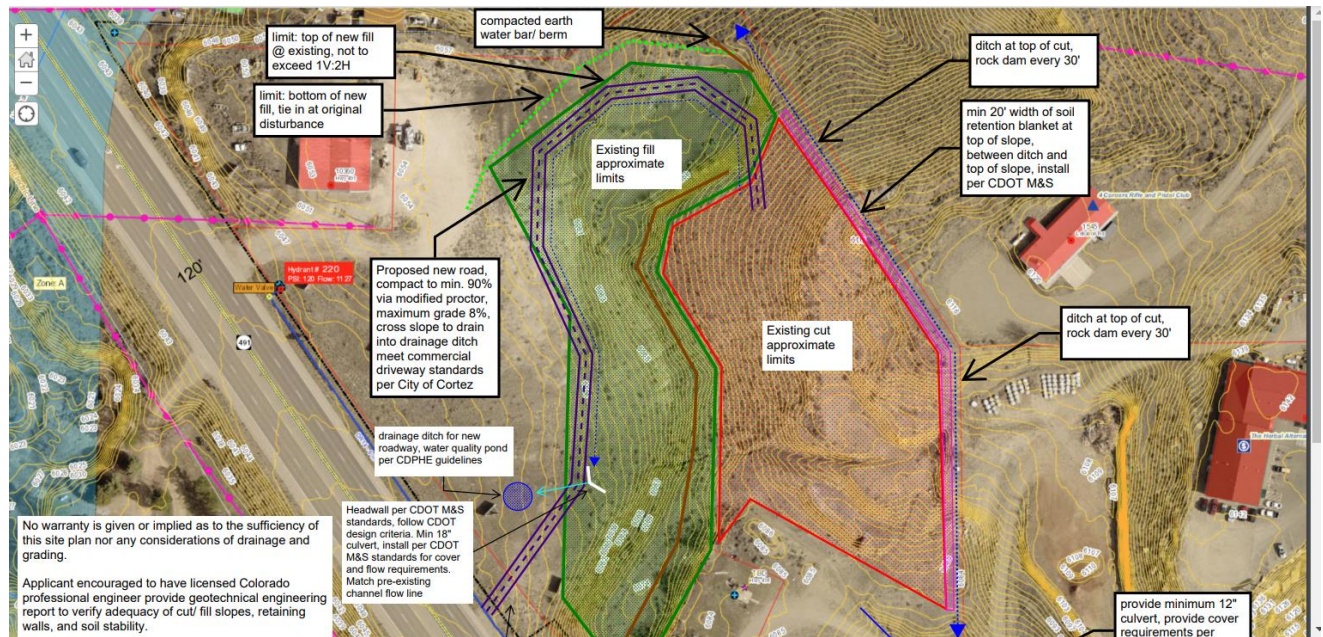
With that said, it appears that the applicant has removed roughly 40,000 cubic yards of material from the hill on their property at 10206 Highway 491 and has used that material to create a filled pad. While in my opinion this is beyond the scope of a typical grading permit, I am not seeing much support from within the land use code or construction design standards to differentiate this project from a grading permit, nor to my knowledge was this scope of work outlined in their original grading permit from last

year. It appears a legal basis to keep their operations suspended is not clearly defined, therefore we will allow work to continue and monitor operations on the site.

I have not heard from CDOT, however the applicant intends to add a second access on their property. They assured me that they have already had communications with CDOT, the access is shown on their plat, and that access from highway 491 at that location is already approved within CDOT's access control plan for highway 491. I had concerns regarding sight distance for oncoming traffic if using that access, however it was noted that roll back curb had already been installed by CDOT at that location.

If they are to eventually propose a structure on any of the filled areas, the city would want to require a soils analysis for any permanent foundations as the placed fill may or may not be unstable. A formal soils and/ or engineering analysis may be a prudent demand the city could make as a condition of re-zoning if supported and permissible by the land use code. It is my recommendation that the city update as soon as possible the LUC and/ or CDS such that any placed fill greater than 4' in depth should require a geotechnical engineering analysis and design certified by a Colorado licensed professional engineer. This update should also include verbiage that outlines a stop work procedure for clearly defined violations and a formal review and/ or remediation process to bring the work back into compliance. Considering the current uses in the area include a concrete batch plant, auto body shop, granite cutter and retailer, fuel station, heavy equipment rental, and marijuana dispensary, it would appear that industrial is an appropriate zoning determination for both 1050 Lebanon and 10206 highway 491. As for specific engineering concerns, I would like to see the following:

10206 Highway 491: Statement from CDOT regarding access permission from the second proposed access indicated by the applicant at a recent site visit. There may be a concern of sight distance for traffic exiting from this point.



Cortez Parks and Recreation (Creighton Wright)

As City's primary representative for parks, open space, forestry, and recreation, I desire to be a good neighbor and respectfully ask that Mr. Moore's business ventures don't negatively impact the recreation

pursuits of Cortez residents and visitors. While I do support the business development opportunities, especially the very cool log homes that Mr. Moore proposes to build, I respectfully request mitigation to support the serene Carpenter Natural Area directly adjacent to the property. The preserve's primary parking lot is directly adjacent to the north of the proposed equipment storage area.

The Carpenter Natural Area is a unique ecological and geologic gem within the city that allows residents and visitors to enjoy the natural scenery and outstanding views without leaving the city. Residents and visitors routinely (some daily) use the space for trail walking, birding, light hiking, mountain biking, and generally, the opportunity to get outside and enjoy nature literally out their back doors. I request mitigation by the adjacent property owner to screen, protect and preserve the natural aesthetic value and uniquely serene environment found at the Carpenter Open Space Preserve.

Requested mitigation:

1. Secure and preserve the water quality of inflow into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
2. Restrict access to preserve drives and parking areas from the equipment, supplies, and deliveries to Mr. Moore's business.
3. Prevent any waste, construction debris, or other by-products from blowing or coming onto the preserve or associated areas.
4. Provide buffer and naturally-oriented visual screening along Mr. Moore's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

RECOMMENDATION – Conditional Use Permit

Staff recommends approval of the request for a Conditional Use Permit through Cortez City Council Resolution No. 16, Series 2023.

Planning & Zoning Commission recommends that the Cortez City Council approve the requested Conditional Use Permit for property located at 10206 Hwy 491, Cortez, Colorado, A tract of land in the SE/4NE/4 of Section 22, Township 36 North, Range 16 West, N.M.P.M., as described in the Staff Report and as submitted by the Owners through Resolution No. 16, Series 2023, with the following conditions:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. The address shall be clearly marked for emergency response.
- c. The applicant shall comply with the submitted project narrative at all times.
- d. The applicant shall comply with all requirements of the City Engineer prior to establishment of any uses on the property.
- e. Prior to approval of a final site plan for the development, the applicant shall submit a revised plan that complies with all landscape requirements for the LUC.
- f. Prior to approval of a final site plan for the development, the applicant shall propose a fencing plan that adequately screens the storage uses from Hwy 491 or demonstrate that the

storage will not be visible from the Hwy.

- g. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.
- h. The applicant shall submit a plan for control of fugitive dust prior to start of operation.
- i. Operations shall comply at all times with CRS 25-12-103, maximum permissible noise levels.

CITY OF CORTEZ
RESOLUTION NO. 16, SERIES 2023

A Resolution approving a Conditional Use Permit for a parcel of land located at 10206 Hwy 491, Cortez, Colorado, in the SW¼ of Section 23, Township 36 North, Range 16 West, N.M.P.M., County of Montezuma, State of Colorado

WHEREAS, the owners/applicants Anthony Moore and Mary Lancaster (the “Owners/applicants”) have applied for review of a Conditional Use Permit for an equipment storage yard and wood products manufacturing on a parcel of land located at 10206 Hwy 491, Cortez, Colorado and more particularly described as (the “Property”):

A tract of land in the SW¼ of Section 23, Township 36 North, Range 16 West, N.M.P.M.,
County of Montezuma, State of Colorado

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review of a Conditional Use Permit by the City Planning and Zoning Commission at its regular meeting held on June 6, 2023; and

WHEREAS, Land Use Code Section 6.10, Conditional Use Permits, indicates that the owner or developer of a property may request a conditional use permit for development of said property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for a Conditional Use Permit and is recommending approval of the request on the Property, as evidenced by the adoption of this P&Z Resolution No. 11, Series 2023; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of this site have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL:

THAT, this Resolution No. 16, Series 2023, establishes the conditions of approval for a Conditional Use Permit on the Property; and

THAT, the Conditional Use Permit for the Property is hereby approved, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a conditional use permit:

- a. All requirements of utility providers, City departments, CDOT and affected districts

- must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. The property address shall be clearly marked for emergency response.
 - c. The Owners shall comply with the submitted project narrative at all times.
 - d. The Owners shall comply with all requirements of the City Engineer prior to establishment of any uses on the Property.
 - e. Prior to approval of a final site plan for the development, the Owners shall submit a revised plan that complies with all landscape requirements for the LUC.
 - f. Prior to approval of a final site plan for the development, the Owners shall propose a fencing plan that adequately screens the storage uses from Hwy 491 or demonstrate that the storage will not be visible from the highway.
 - g. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.
 - h. The Owners shall submit a plan for control of fugitive dust prior to start of operation.
 - i. Operations shall comply at all times with CRS 25-12-103, maximum permissible noise levels.

MOVED, SECONDED, AND ADOPTED THIS 25th DAY OF JULY, 2023

CORTEZ CITY COUNCIL

Rachel B. Medina, Mayor

ATTEST:

Linda Smith, City Clerk

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 11, SERIES 2023**

A Resolution Recommending Approval of a Conditional Use Permit for a parcel located at 10206 Hwy 491, Cortez, Colorado, in the SW¼ of Section 23, Township 36 North, Range 16 West, N.M.P.M., County of Montezuma, State of Colorado

WHEREAS, owners/applicants Anthony Moore and Mary Lancaster have applied for review of a Conditional Use Permit for an equipment storage yard and wood products manufacturing for a parcel located at 10206 Hwy 491, Cortez, Colorado and more particularly described as (the “Property”):

A tract of land in the SW¼ of Section 23, Township 36 North, Range 16 West, N.M.P.M.,
County of Montezuma, State of Colorado

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review by the City Planning and Zoning Commission at its regular meeting held on June 6, 2023; and

WHEREAS, Land Use Code Section 6.10, Conditional Use Permits, indicates that the owner or developer of a property may request a conditional use permit for development of said property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for a Conditional Use Permit and is recommending approval of the request on the Property, as evidenced in the adoption of this P&Z Resolution No. 11, Series 2023; and

WHEREAS, based on the evidence and testimony presented at said meeting, the Planning and Zoning Commission is recommending approval of the requested Conditional Use Permit; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of this site have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, this P&Z Resolution No. 11, Series 2023, establishes the conditions of approval for a Conditional Use Permit on the Property; and

THAT, the Conditional Use Permit for the Property is hereby recommended to the Cortez City Council for approval, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a conditional use permit:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. The address shall be clearly marked for emergency response.
- c. The applicant shall comply with the submitted project narrative at all times.
- d. The applicant shall comply with all requirements of the City Engineer prior to establishment of any uses on the property.
- e. Prior to approval of a final site plan for the development, the applicant shall submit a revised plan that complies with all landscape requirements for the LUC.
- f. Prior to approval of a final site plan for the development, the applicant shall propose a fencing plan that adequately screens the storage uses.
- g. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.


MOVED, SECONDED, AND ADOPTED THIS 6th DAY OF JUNE, 2023

PLANNING AND ZONING COMMISSION



Lance McDaniel, Vice-Chairman

ATTEST:


Cheryl Lindquist, Deputy City Clerk

Conditional Use Permit Application Checklist

21 MAR 2023
Date

APPLICANT: Anthony Moore
ADDRESS: 10206 Highway 491
PHONE/FAX: 719-588-3450
FOR: log home manufacturing,

Submittal Requirements:

- Letter of petition requesting conditional use permit
- Title certificate from licensed title company or attorney listing:
 - The name of the property owner(s)
 - All liens
 - All easements and judgments of record affecting the subject property

The Petition Shall Show or be Accompanied By:

- Street address and legal description of the property
- Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any building or proposed use. Such as floor plans, site plan, or operating information. Provide a detailed narrative addressing the applicable criteria for a CUP, LUC section 6.10(f).
- Filing fee (\$300) to cover the costs of review in accordance with the current adopted fee schedule ✓ #2027

Notification Requirements

- _____ Public hearing notice to paper 15 days prior to P&Z Meeting (20 days for paper to print on the 15 day schedule)
- _____ Notice to landowners 15 days prior to P&Z meeting
- _____ Public Hearing notice to paper 15 days prior to Council Meeting (20 days for paper to print on the 15 day schedule)

21 March 2023

To Whom It May Concern:

City of Cortez,

This is my request to have a conditional use on

Street Address: 10206 highway 491 Cortez Colorado 81321

Legal Description: Section:23 Township :36 Range: 16 TR INN1/2SE1/4; 7.86 ACRES

Parcel Number: 5611-224-00-044

This property is compatible with adjacent uses and other allowed uses in the zoning district. Already Existing ingress and egress will be directly from highway 491 and will continue to the top of the property. Sanchez Excavating, City of Cortez gun club, the Dispensary, and a Commercial shop all surround this property all with similar uses. Across the street is the Maverick station, and Meadow gold dairy operates.

This property will used for Log Home Manufacturing and milling, storage of equipment and logs and lumber for the log cabins. This property does have a 30'x88' already existing shop and will be used for Log Home Manufacturing, log furniture. Anthony Moore and Mary Lancaster own the adjacent shop at 10198 highway 491 and the residential property at 10196 Highway 491. Both these properties are attached to the 10206 highway 491 property we are wanting conditional use on.

Anthony Moore will be improving these properties with gravel and dirt work. That has already been approved with grading permit # G22-000004.

We will comply with all policies and requirements needed for this conditional use.

Sincerely,

Anthony Moore
Mary Lancaster
Independent Log Company

Anthony Moore
Mary Lancaster

Account: R007615

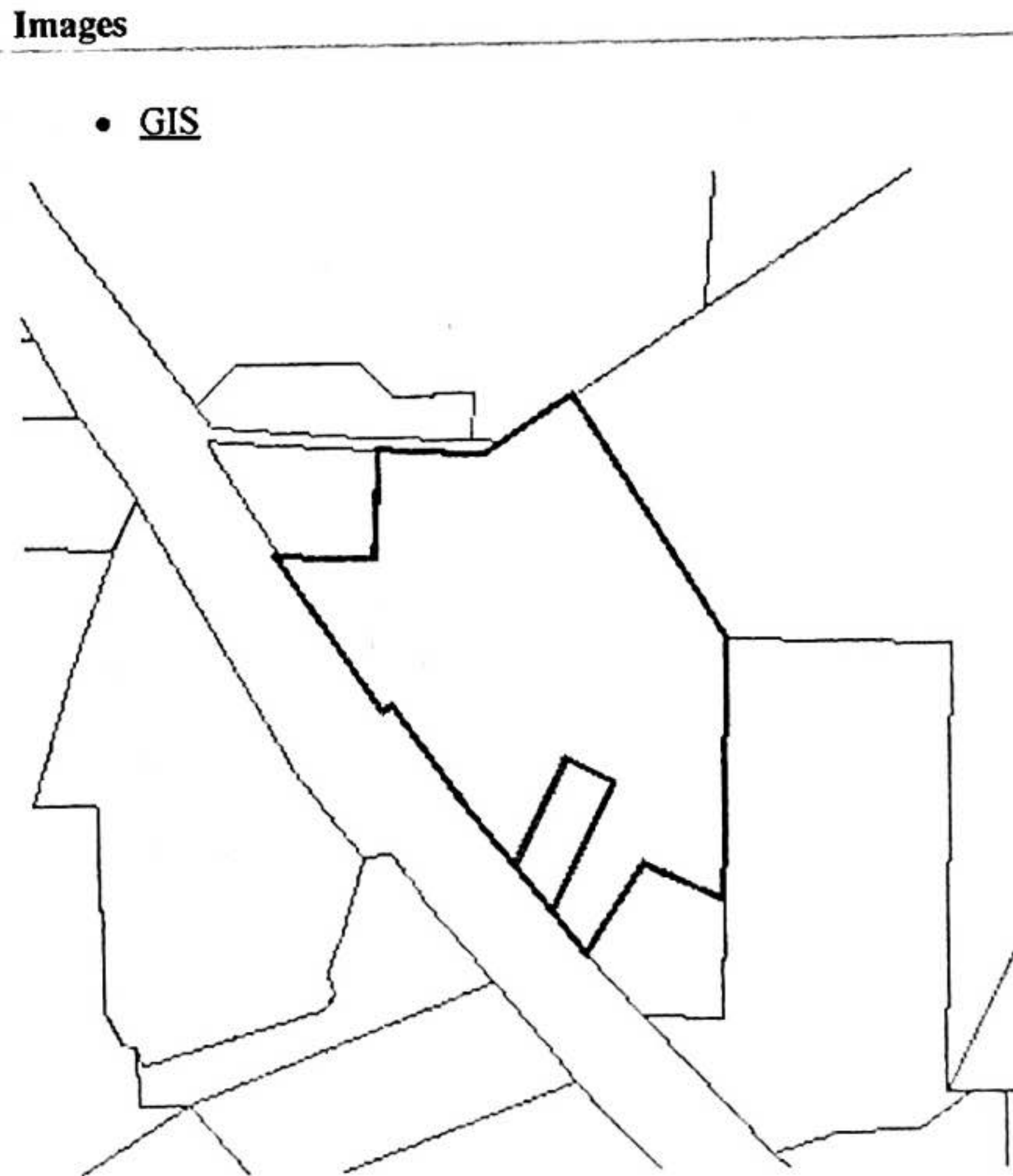
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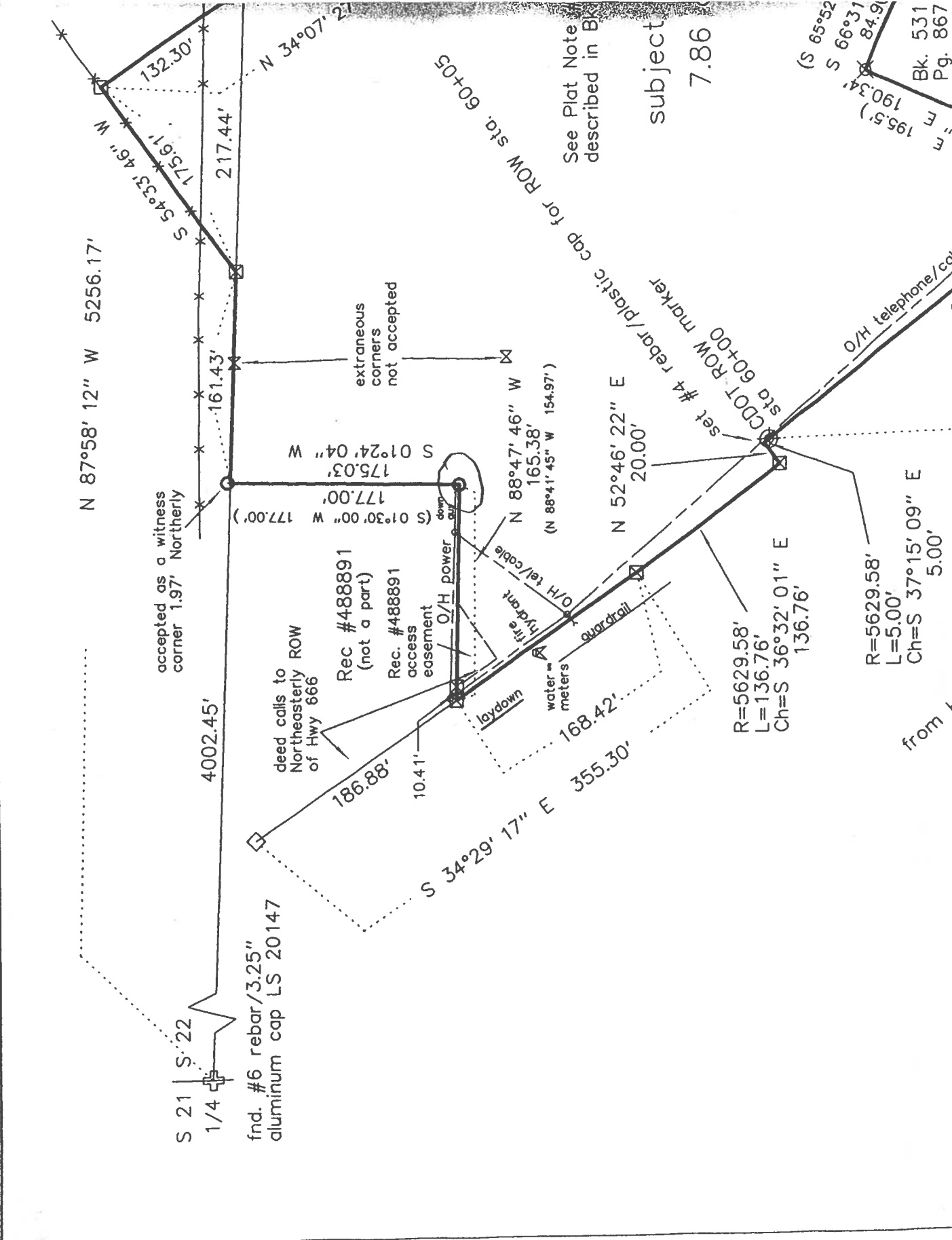
Location	Owner Information	Assessment History
Situs Address 10206 HWY 491	Owner Name MOORE, ANTHONY	Actual (2023) \$109,059
Tax Area 11001 - DISTRICT 11001	D. &	Assessed \$31,630
Parcel Number 5611-224-00-044	Owner Address PO BOX 1034	Tax Area: 11001 Mill Levy: 55.380980
Legal Summary Section: 22 Township: 36 Range: 16 TR INNI/2SE1/4; 7.86AC B432 P334 B655 P146 B665 P349-350 B690 P553	ALAMOSA, CO 81101	Type Actual Assessed Acres SQFT Units
Account Number R007615		Improvements \$17,759 \$5,150 2688.000
Account Type COMMERCIAL		Land \$91,300 \$26,480 7.860 342381.600 1.000
Doc Description		

Transfers	Sale Date	Sale Price	Doc Description
	<u>07/28/1972</u>		<u>Warranty Deed</u>
	<u>04/03/1992</u>		<u>Quitclaim Deed Joint Tenants NoSale</u>
	<u>11/19/1992</u>		<u>Quitclaim Deed NoSale</u>
	<u>01/16/2002</u>	\$0	<u>Affidavit</u>
	<u>09/09/2021</u>	\$90,000	<u>Special Warranty Deed JT</u>
	<u>12/09/2019</u>		<u>Survey</u>

Tax History	Taxes
*2023	\$1,751.72
2022	\$1,287.72

* Estimated







CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Vern Knuckles
Chief of Police
608 N. Park Street
Cortez, CO. 81321
vknuckles@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Lori Millich, Administrative Secretary/Police

Date: 07-18-2023

RE: Vehicle Transfer to another governmental agency.

DISCUSSION

The Cortez Police Department is asking City Council to approve the transfer of title to one of its patrol vehicles, a 2010 Ford Explorer, VIN 1FMEU7DE8AUA04795, to the Town of Rico. In return, the Town of Rico will purchase a Bakcou Mule e-bike with police lights and one extra battery for the Cortez Police Department in trade for the Explorer. Under this proposal, no money will be expended or exchanged.

BACKGROUND

The Cortez Police Department was approached by the Town of Rico, Colorado, inquiring about old police vehicles that might be for sale. With the Police Department acquiring four new patrol vehicles in 2023, the Police Department would have patrol vehicles that would be rotated out of service. One of the vehicles to be rotated out of service is a 2010 Ford Explorer with 106,767 miles. The Town of Rico expressed interest in purchasing the 2010 Ford Explorer.

The Cortez Police Department, in an attempt to build a more robust Bike Patrol Program, has been looking at purchasing e-bikes. The Chief of Police requested funding during the FY2023 budget process for e-bikes, but the funding was not approved.

When the Town of Rico expressed interest in the 2010 Ford Explorer, I approached the City Manager and asked if it was possible to trade the 2010 Ford Explorer worth \$3,500.00 to \$5,000.00 for an e-bike worth just under \$6,500.00. The City Manager granted permission to pursue the trade.

The proposal was given to the Town of Rico, and they agreed to purchase an e-bike to the specifications of the Cortez Police Department and trade it for the 2010 Ford Explorer as is.

FISCAL IMPACT

There are no fiscal impacts.

RECOMMENDATION

Staff recommends that Council approve the transfer of title on the 2010 Ford Explorer, Unit #469, VIN 1FMEU7DE8AUA04795, to the Town of Rico in exchange for a Bakcou Mule e-bike with police lights and one extra battery for the Cortez Police Department.

MOTION

If agreed upon by the City Council, a possible motion would be: "I move that Council authorize the transfer of title on the 2010 Ford Explorer, Unit #469, VIN 1FMEU7DE8AUA04795, to the Town of Rico in exchange for a Bakcou Mule e-bike with police lights and one extra battery for the Cortez Police Department."
