

PLEASE VIEW THE LIVE STREAMED CITY COUNCIL MEETINGS ON THE CITY'S WEB SITE:
[City-Council-Live-Stream](#)

**CORTEZ CITY COUNCIL
REGULAR MEETING
TUESDAY, SEPTEMBER 26, 2023
7:30 P.M.**

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL, APPROVAL OF AGENDA.
2. CONSENT AGENDA

The listing under "Consent Agenda" is a group of items to be acted on with a single motion and vote. This agenda is designed to expedite the handling of limited routine matters by City Council. Either the public or a Councilmember may request that an item may be removed from the Consent Agenda at that time, prior to Council's vote. The Mayor will ask if a citizen or Councilmember wishes to have any specific item removed from the Consent Agenda for discussion.

- a. Approval of the Council Work Session and Agenda Minutes for September 12, 2023.
 - b. Approval of the Expenditure List for September 26, 2023
 - c. Approval of a Tavern Liquor License Renewal for Purple Sage Rib Company & Saloon, LLC, DBA Purple Sage Rib Company, located at 2591 East Main Street, Cortez.
 - d. Approval of a Special Event Permit application for Crow Canyon Archaeological Center to host a special event on Thursday, October 12, 2023, and Friday, October 13, 2023, from 4:00 to 10:00pm, on the premises of Montezuma County Senior Center Annex, located at 107 North Chestnut Street, Cortez.
 - e. Approval of Three Special Event Permits for The Good Samaritan Center to host fundraiser events on September 27, October 25, and November 29, 2023, at Buffalo Bob's, located at 90 North Mildred Road, Cortez.
3. PUBLIC PARTICIPATION
There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes.
(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)
4. PRESENTATIONS
 - a. Swearing In - Jeremy Patton as Airport Director
 - b. 2023 August Financial Statements

5. PUBLIC HEARINGS

a. **New Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant, LLC.**

Public Hearing for a New Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant, LLC, located at 1430 East Main Street, Cortez.

Presenter: Donna Murphy, Deputy City Clerk

b. **Resolution No. 24, Series 2023**

Resolution No. 24, Series 2023, Public Hearing on an Application for a Site Plan for a 3,456 sq. ft. office building to be located on property with an address to be determined at approximately 60 and 72 N. Sligo St., Cortez CO, zoned Commercial Highway.

Presenter: Contract City Planner Nancy Dosdall

c. **Ordinance No. 1322, Series 2023**

Ordinance No. 1322, Series 2023, a Public Hearing on an Application for rezoning of an approximately 10-acre parcel located at 1050 Lebanon Road from C, Commercial Highway to I, Industrial.

Presenter: Contract City Planner Nancy Dosdall

d. **Resolution No. 21, Series 2023**

Resolution No. 21, Series 2023, a Public Hearing on an Application for a Conditional Use Permit for an approximately 10-acre parcel located at 1050 Lebanon Road, Cortez as submitted by applicants, Anthony Moore and Mary Lancaster.

Presenter: Contract City Planner Nancy Dosdall

6. UNFINISHED BUSINESS

7. NEW BUSINESS

a. **Resolution No. 23, Series 2023**

Resolution No. 23, Series 2023, an application for an amended plat at 817 N. Sligo St., consolidating three parcels.

Presenter: Contract City Planner Nancy Dosdall

b. **Resource Central Quote for Turf Replacement Program Services**

Council will consider contracting with Resource Central to provide turf replacement program development and administrative services.

Presenter: Brian K. Peckins, Director of Public Works

c. **City Council Representative for Mesa Verde Country**

Request to Change Cortez City Council Representative for Mesa Verde Country.

Presenter: Drew Sanders, City Manager

8. DRAFT RESOLUTION/ORDINANCES

9. CITY ATTORNEY'S REPORT

10. CITY MANAGER'S REPORT

11. CITY COUNCIL COMMITTEE REPORTS

a. Mayor's Report on Workshop

b. Other Board Reports

12. OTHER ITEMS OF BUSINESS

a. Executive Session as needed.

13. PUBLIC PARTICIPATION

There is no limit to the number of speakers and no overall time limit.

(Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter. Please reference rules below.)

14. ADJOURNMENT

PURSUANT TO RESOLUTION 11, SERIES 2022, PUBLIC COMMENT:

--Individuals may comment regarding items on the Council agenda or any other topic they wish to address the City Council about, including items discussed in a previous Council Workshop. Those wishing to comment must register by completing an "Intent to Speak" card (located outside of the Council chambers). Completed cards will be collected at the start of the meeting and delivered to the Mayor, who will call each speaker to the podium at the appropriate time. Comments specific to agenda items scheduled for public hearings should be reserved and delivered during the public hearing session.

--Courtesy, civility, and respect for others is expected. All comments should be addressed directly to the Council. Commenters who are called upon by the Mayor to speak are the only persons allowed to speak during the allotted time. Comments, or other distractions from the audience intended for commenters or others are not permitted. The Mayor, as the chairperson for the meeting, retains the discretion to deviate from the formats described below.

--There are two general opportunities for citizens to address the Council:

For the first opportunity (which will occur toward the start of the meeting) there is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes so City business may proceed. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

For the second opportunity (which will occur toward the end of the meeting) there is no limit to the number of speakers, and no overall time limit. Speakers have a time limit of 3 minutes per person, may only speak once, and may not cede time to other commenters.

--Other Opportunities to Participate

Citizens may also participate via email if addressed to councilcomments@cortezco.gov. Comments received by 3:00pm the day of a Council meeting will be delivered to Council the same day and entered into the meeting minutes. Citizens may also send letters to the Council by addressing them to "City Council" 123 Roger Smith Ave., Cortez, CO 81321. In-person deliveries are also accepted.

MOTION TO GO INTO EXECUTIVE SESSION:

--For a conference with the City attorney for the purpose of receiving legal advice on specific legal questions under C.R.S. Section 24-6-402(4)(b);

--For the purpose of determining positions relative to matters that may be subject to negotiations, developing strategy for negotiations, and/or instructing negotiators under C.R.S. Section 24-6-402(4)(e);

--To discuss the purchase, acquisition, lease, transfer, or sale of real, personal, or other property interest under C.R.S. Section 24-6-402(4)(a)

--For discussion of a personnel matter under C.R.S. Section 24-6-402(4)(f) and not involving: any specific fire employees who have requested discussion of the matter in open session: any member of this body or any elected official: the appointment of any person to fill an office of this body or of an elected official: or personnel policies that do not require the discussion of matters personal to particular employees

--For discussion of a matter required to be kept confidential by the following federal or state law, or regulation: _____ under C.R.S. Section 24-6-402(4)(c)

--For discussion of specialized details of security arrangements or investigations under C.R.S. Section 24-6-402(4)(d)

--For consideration of documents protected by the mandatory nondisclosure provisions of the Open Records Act under C.R.S. Section 24-6-402(4)(g)

AND THE FOLLOWING ADDITIONAL DETAILS ARE PROVIDED:

(a brief description must be included following the statute citation regarding why the executive session is being held)



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 09/19/2023

RE: Approval of the Council Work Session and Agenda Minutes for September 12, 2023.

Attachments

Work Session Minutes
Council Agenda Minutes

CITY COUNCIL
REGULAR WORKSHOP/SPECIAL MEETING
TUESDAY SEPTEMBER 12, 2023
7:00 p.m.

1. The Workshop was called to order at 7:00 p.m., at the City Council Chambers. Councilmembers present included, Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Robert Dobry, Matt Keefauver, David Rainey, Dennis Spruell, and Lydia DeHaven. Staff members present included: Assistant Chief of Police Andy Brock, Finance Director Kelly Koskie, Grants Administrator Scott Baker, Director of Parks and Recreation Creighton Wright, Director of Public Works Brian Peckins, Director of General Services Rick Smith, IT Technician Aaron Holleman, Deputy City Clerk Donna Murphy, City Clerk Linda Smith, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were four people present in the audience.

2. Grants Administrator Baker presented Council with an update on grants administration for 2022-2023 stating that he has worked on about 20 discrete funding projects over the last year and currently sustains or oversees about 10 awards from either Federal or State programs. The leading receivers of the grants have been Public Works, Community and Economic Development, and the Police Department. Specifically, funds have been secured for road infrastructure, housing development, the South Neighborhood Project, and mobile computers for Police vehicles. Additional departments furnished with major servicing or assistance with funders included the Historic Preservation Board and Parks and Recreation. A list of potential grants that are in process or under development for submission was given.

3. General Discussion: None

The regular workshop was adjourned at 7:19 p.m.

CITY COUNCIL
REGULAR MEETING
TUESDAY, SEPTEMBER 12, 2023

1. The meeting was called to order in the City Council Chambers at 7:30 p.m., with the Pledge of Allegiance. Roll Call was taken and the following Councilmembers were present: Mayor Rachel Medina, Mayor Pro-tem Arlina Yazzie, Lydia DeHaven, Robert Dobry, Matthew Keefauver, David Rainey, and Dennis Spruell. Staff present included: Assistant Chief of Police Andy Brock, Director of Finance Kelly Koskie, Airport Manager Jeremy Patton, Director of Parks and Recreation Creighton Wright, Court Clerk/Administrator Carla Odell, Director of Public Works Brian Peckins, Director of General Services Rick Smith, Parks Superintendent Lyle Bair, Human Resources Director Matt Cashner, IT Technician Aaron Holleman, Deputy City Clerk Donna Murphy, City Clerk Linda Smith, City Manager Drew Sanders, and City Attorney Patrick Coleman. There were five people present in the audience.

Mayor Pro-tem Yazzie moved that the agenda be approved. Councilmember DeHaven seconded the motion and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

2. The Consent Agenda items acted upon by Council were as follows:
 - a. Approval of the Council Worksession/Special Meeting and Agenda Minutes of August 22, 2023.
 - b. Approval of the Expenditure List for September 12, 2023.
 - c. Approval of a renewal Brew Pub Liquor License and Outdoor Dining Agreement for WildEdge Brewing Collective, LLC, DBA WildEdge Brewing Collective, located at 111 North Market Street, Cortez.
 - d. Approval of a renewal Hotel and Restaurant Liquor License for Loungin' Lizard Inc., DBA Loungin' Lizard, located at 2 West Main Street, Cortez.
 - e. Approval of a renewal Brew Pub Liquor License for L&D Development, Inc., DBA J Fargos, located at 1209 East Main Street, Cortez.
 - f. Approval of an Outdoor Dining Agreement for Jodi Jahrling, DBA Zu Gallery, located at 48 West Main Street, Cortez.

Councilmember Dobry moved that the Consent Agenda be approved as amended. Councilmember Keefauver seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

3. PUBLIC PARTICIPATION:

- Jim Mischke, Cortez- Spoke about noise pollution and the health effects and sleep disruption caused by excess noise exposure.

4. PRESENTATIONS:

- a. Thank you to Mr. Lance McDaniel for his service to the City of Cortez. City Manager Sanders spoke about the service that Mr. McDaniel has provided to the City of Cortez listing the multiple years and different Boards in which he has served. Mr. McDaniel spoke about his time on the City boards and thanked Council for the gift he was presented.

5. PUBLIC HEARINGS: None

6. UNFINISHED BUSINESS: None

7. NEW BUSINESS

- a. New Application for a Hotel and Restaurant Liquor License. Deputy City Clerk Murphy presented Council with an application for a New Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant, LLC to be located at 1430 East Main Street, Suite 6. She stated that per statute Council is directed to determine the needs of the neighborhood, the desires of the residents of the neighborhood and verify that the applicant is of good character. Fingerprints for the applicants were sent to CBI and an individual history record have been completed. State regulations require that the local licensing authority schedule a public hearing not less than thirty days from the application date and to set the neighborhood boundaries. Public notice has been given by posting the premises and advertising in the Cortez Journal. Staff is requesting a public hearing date of Tuesday, September 26, 2023 and the neighborhood boundaries set as the Cortez City limits.

Councilmember Dobry moved that Council set a Public Hearing date of Tuesday, September 26, 2023, for review of a New Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant, LLC, and that the neighborhood boundaries be set as the Cortez City limits. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

- b. 2023 Equipment Fund Purchase of Used Truck for Parks Department. Director of General Service Smith stated that the 2023 Equipment Fund budget provides \$45,000.00 for the purchase of a good used 4wd pickup for the Parks Department. The City reached out to two local dealers and Morehart in Durango for comparative quotes. Mechanic evaluations and test drives were conducted on two of the vehicles, the other was excluded due to higher mileage. The purchase bid is \$1,500.00 lower than the budgeted amount.

Councilmember DeHaven moved that Council award the used pickup purchase for the Parks Department to Keesee Motors at the quoted amount of \$43,500.00. Councilmember Keefauver seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

c. Letter of Support for Clearnetworx/Montezuma County Priority 1 &2 Project. Councilmember Dobry recused himself on the discussion noting a conflict of interest. Director of General Service Smith presented Council with a Letter of Support request for Clearnetworx and Montezuma County Priority 1 & 2 Project. He stated that the Colorado Broadband Office has the Advance Colorado Capital Project Fund (CPF) grant program. The purpose of the grant is to bring broadband to the unserved and underserved areas of the State and this is a last mile grant program. He stated that Montezuma County conducted an Invitation to Negotiate (ITN) process and awarded Clearnetworx to partner with them to bring broadband service to the rural areas of Montezuma County. The CPF is the first of two grant rounds for the buildout of the County. Clearnetworx and the County have identified two areas that meet the criteria of the CPF grant; this includes the rural areas between the Town of Mancos and Dolores along Highway 184, and between Mancos and Cortez.

Mayor Pro-tem Yazzie moved that Council authorize the Mayor to sign a Letter of Support for Clearnetworx/Montezuma County Priority 1 and 2 CPF Project. Councilmember DeHaven seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	*	Yes	Yes	Yes	Yes	Yes

* Councilmember Dobry recused himself on the discussion and vote noting a conflict of interest.

d. Award of 2023 South Pocket Park Playground Project. Director of Parks and Recreation Wright stated the City of Cortez Parks and Recreation Department planned to begin construction on the South Side Park this year; however, many things changed regarding that site, and with dialogue between Department Staff, the Parks, Recreation and Forestry Advisory Board, and City Administration, it was determined that it would be better to install playgrounds in the two pocket parks at Market Street and Harrison Street. This project was included in the 2023 budget. Bid documents were prepared and advertised and bids were received from five (5) firms with a total of eight (8) different options. Each firm was allowed to submit two (2) playground options per location and one (1) fitness option instead of a playground at Market Street. The Request for Proposal (RFP) specified that playgrounds are to be designed for youth 5-12 years of age and were not to include swings but should include climbing structures, spiral slides, monkey bars, individual play features, and an engineered wood fiber fall surface. Integrated shade was also to be attached to the play structure. The proposals must be ADA-accessible and meet current playground safety standards. Option 1 was for playgrounds at both Market and Harrison with various elements, and Option 2 was for playgrounds at both Market and Harrison with different features. The selection and award process were in two parts: 1.) an Evaluation Committee consisting of one Parks, Recreation, and Forestry Advisory Board (PARFAB) Member, the assigned PARFAB Council Member, the Special Projects Manager and Former Parks and Recreation Director, the Parks

Superintendent, and the current Parks and Recreation Director. The committee reviewed and scored the proposals based on several criteria identified in the RFP to select a preferred vendor and 2.) a final design was chosen from the options proposed and neighborhood feedback. The RFP requested the submission of a Fitness Station option for the Market Street Pocket Park, possibly in lieu of a playground. The evaluation committee strongly felt that a playground should be a priority for both sites and while the Fitness Station option was scored, it was not seriously contemplated. The Evaluation Committee considered color, elements provided, proprietary maintenance equipment required, value for the dollar, and price as the primary items to evaluate. Manufacturers are required to install playgrounds and engineered wood fiber fall surfaces. The South Pocket Park Playground Enhancement Project was budgeted at \$200,000. The concrete necessary for the playgrounds will be completed separately through the Concrete Share Project but is included in this budget. Upon review by the Evaluation Committee, A to Z Recreation Product is the top-ranked proposal when all aspects were considered.

Councilmember Keefauver moved that Council award the 2023 South Pocket Park Playground Enhancement Project to A to Z Recreation Products in the amount of \$166,601.00. Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

e. Award of Outdoor Pool Heater. Director of Parks and Recreation Wright stated the City of Cortez Parks and Recreation Department has been experiencing issues with the outdoor pool boiler for several years; it is over 35 years old. Due to the anticipated cost of replacement and the ability to make repairs, the Department limped along with temporary repairs so that it could be put into the 2023 budget. Bid documents were prepared and advertised, and bids were received from two (2) firms. After evaluating the cost vs. value and considering that pool heaters operate for only four months per year, staff has selected the least expensive unit to award. It was noted that this is the same brand used in the Recreation Center, and staff is very familiar with their operation and maintenance. The two vendors provided references and came back as very professional, top quality work, dependable, and have been in business for many years in the four corners area. The replacement pool heater was budgeted at \$155,000 in the Outdoor Pool Budget. Staff recommends the bid be awarded to the low bidder, Farmington Heating and Metal, Co., at the bid amount of \$126,923.00.

Councilmember DeHaven moved that Council award the Outdoor Pool Heater bid to Farmington Heating and Metal, Co., not to exceed \$126,923.00. Councilmember Rainey seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

f. Award of Outdoor Pool Domestic Water Heater Bid. Director of Parks and Recreation Wright stated each locker room in the Outdoor Pool is designed to be fed hot water by a dedicated water heater. Two years ago, one of the units failed, and a band-aid repair was made to plumb one water heater into both locker rooms. While this works, it causes a limited supply of hot water. The

current water heaters are 20 years old and the plan is to replace both hot water heaters. This project was approved for replacement in the 2023 budget. Bid documents were prepared and advertised and bids were received from five (5) firms. A Lochinvar SIT080 or equal was determined to be the best fit for the City's application. The Outdoor Pool Water Heater Replacement project was budgeted at \$20,000. Staff recommends that the bid be awarded to the low bidder, Montezuma Valley Plumbing at the low bid amount for two units of \$9,809.80.

Mayor Pro-tem Yazzie moved that Council award the Outdoor Pool Domestic Water Heater bid to Montezuma Valley Plumbing for two water heaters, not exceeding a total for both water heaters of \$9,809.80. Councilmember Spruell seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

8. DRAFT RESOLUTION/ORDINANCES: None
9. CITY ATTORNEY'S REPORT: None
10. CITY MANAGER'S REPORT: City Manager Sanders gave a report on the following items:
 - Airport Manager Jeremy Patton is the president of the local chapter of the Experimental Aircraft Association, EAA. EAA hosts the Young Eagles program which is dedicated to giving youth ages 8–17, an opportunity to go flying in a general aviation airplane. These flights are offered free of charge and are made possible by local EAA members and pilots. The program inspires and introduces children to the world of aviation. Four rallies have been held during the past year, and in conjunction with the aviation themed summer reading program through the Cortez Library. As a result many of our local youth now see aviation as a career opportunity available to them.
 - Staff is working on budget preparations and the City Manager and Finance Director Koskie are currently meeting with all departments and working to solidify requests.
 - The 2023 Council budget meeting will be held at 8:00 a.m., Saturday, September 23, 2023 at City Hall. The public is invited.
11. CITY COUNCIL COMMITTEE REPORTS
 - a. Mayor's Report on Workshop. Mayor Medina stated that during the workshop, Grants Administrator Scott Baker gave an update on grant administration in 2022-2023 noting that he worked on about 20 discrete funding projects over the last year and currently oversees 10 awards from state and federal programs. The Mayor spoke about attending the CML Fall District Meeting in Bayfield with Councilmember DeHaven and several staff members and how good it is to connect with other municipalities in the area.
 - b. Public Arts Committee. Councilmember Rainey stated there is a vacancy on the Public Arts Committee.

c. Historic Preservation Board. Councilmember Dobry stated there are two vacancies on the Board and there has been outreach to eligible historic properties in the City.

d. Golf Advisory Committee. Councilmember Spruell stated that revenue at the golf course is up and the course is in excellent shape.

e. Southwest Memorial Walk. Mayor Pro-tem Yazzie said she participated in the 2nd annual Southwest Memorial walk and it was a successful event noting there were many more participants than anticipated. She thanked the City Police Department for their help keeping everyone safe during the event.

12. OTHER ITEMS OF BUSINESS: None

13. PUBLIC PARTICIPATION: None

14. ADJOURNMENT: Councilmember DeHaven moved that the regular meeting be adjourned at 8:34 p.m. Councilmember Dobry seconded the motion, and the vote was as follows:

DeHaven	Dobry	Keefauver	Medina	Rainey	Spruell	Yazzie
Yes	Yes	Yes	Yes	Yes	Yes	Yes

Rachel B. Medina, Mayor

ATTEST:

Donna Murphy, Deputy City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Kelly Koskie
Director of Finance
123 Roger Smith Ave
Cortez, CO. 81321
kkoskie@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: SARA COFFEY, PAYROLL/SALES TAX ADMINISTRATOR

Date: 09/20/2023

RE: Approval of the Expenditure List for September 26, 2023

Attachments

Expenditure List

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 15, 2023

Department	Vendor Name	Description	Amount
Municipal Court	MARSHALL SUMRALL	LEGAL SERVICES - LEWIS	\$ 70.00
	MARSHALL SUMRALL	LEGAL SERVICES - JOHN, ARCHULETA	\$ 150.00
	MARSHALL SUMRALL	LEGAL SERVICES - MULTIPLE	\$ 350.00
	MARSHALL SUMRALL	LEGAL SERVICES - MULTIPLE	\$ 500.00
	MARSHALL SUMRALL	LEGAL SERVICES - WILEY, WELLS, THOMPSON, SILA	\$ 500.00
	CITY OF CORTEZ	FORMS	\$ 975.00
		Total	\$ 2,545.00
Events	LE PEW PORTA-JOHNS INC.	THIRD THURSDAY RENTAL	\$ 360.00
		Total	\$ 360.00
Library	CITY OF CORTEZ	FIBER	\$ 3,503.40
	INGRAM LIBRARY SERVICES	BOOKS	\$ 16.44
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.02
	INGRAM LIBRARY SERVICES	BOOKS	\$ 102.71
	INGRAM LIBRARY SERVICES	BOOKS	\$ 672.58
		Total	\$ 4,312.15
City Hall Operations	FP MAILING SOLUTIONS	Blanket PO - Postbase IMI Commercial NPSD	\$ 110.85
	FIRST RESPOND	FIRST AID SUPPLIES	\$ 35.85
	IMAGENET CONSULTING LLC	EQUIPMENT RENTAL	\$ 175.71
		Total	\$ 322.41
Welcome Center	ATMOS ENERGY	GAS SERVICE	\$ 30.13
		Total	\$ 30.13
Police Department	AT&T MOBILITY	PHONES	\$ 164.50
	VERIZON WIRELESS	DEMO LAPTOP	\$ 40.01
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 270.00
	ATMOS ENERGY	GAS SERVICE	\$ 34.04
	ATMOS ENERGY	GAS SERVICE	\$ 80.37
		Total	\$ 588.92
Animal Shelter	DOLORES ANIMAL HOSPITAL	SPAY	\$ 112.00
	FOUR CORNERS M.A.S.H., LLC	CASTRATION	\$ 108.00
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
		Total	\$ 265.00
Public Works	MCC DRUG & ALCOHOL SCREENING	DRUG TESTING	\$ 62.00
	NCSI	APPLICANT PROFILES	\$ 18.50
		Total	\$ 80.50
Golf Course Maint	LE PEW PORTA-JOHNS INC.	Fuel Surcharge - 20%	\$ 33.00
	LE PEW PORTA-JOHNS INC.	Portolet Rental #16 Tee - Monthly	\$ 165.00
	ATMOS ENERGY	GAS SERVICE	\$ 39.76

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 15, 2023

Department	Vendor Name	Description	Amount
	RUDOSKY GOLF, LLC	UA SHIRTS	\$ 1,505.67
	AMAZON CAPITAL SERVICES	Omoojee Push Button Spigot for Igloo, 3 pk	\$ 6.99
	AMAZON CAPITAL SERVICES	Mountain Water Cooler Spigot for Rubbermaid/Go	\$ 7.89
	AMAZON CAPITAL SERVICES	BHA Green Zirconia Sanding Discs, 80g, 2 inch, 25 p	\$ 21.77
	AMAZON CAPITAL SERVICES	Sali Zirconia Flap Disc, 40g, 4.5x7/8, T29, 20 pack	\$ 32.49
	KANSAS GOLF & TURF INC	1004290 Joystick for GP 400	\$ 195.38
	POTESTIO BROTHERS EQUIPMENT, INC	TCA24938 Rear Spindle	\$ 2,459.82
		Total	\$ 4,467.77
Parks	NCSI	APPLICANT PROFILES	\$ 18.50
	ATMOS ENERGY	GAS SERVICE	\$ 36.21
		Total	\$ 54.71
Planning & Building	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	NCSI	APPLICANT PROFILES	\$ 18.50
		Total	\$ 63.50
Shop	SAFETY-KLEEN SYSTEMS INC	30150 MDL 30 Solvent	\$ 286.11
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 20.00
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 21.60
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 21.60
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 50.00
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 60.00
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 64.99
	FOUR STATES TIRE CO.	Blanket PO - Tire Repairs and Alignments	\$ 65.00
	FOUR CORNERS WELDING & GAS SUPP	Pipe Jack Stand, V-Head, Folding Legs, 2500# Cap.	\$ 78.95
	BELT SALVAGE	SOLID	\$ 10.70
	BELT SALVAGE	PIPE, FLATSTOCK	\$ 13.84
	HARDLINE EQUIPMENT	E14K400000 LH Brush Switch - Unit 900	\$ 99.10
	TRU WEST CDJR	4877161AF Lower arm - Unit 495	\$ 268.80
	FIRST RESPOND	Blanket PO - 1st Aid Supplies	\$ 120.30
		Total	\$ 1,180.99
Technology	CENTURYLINK	DID	\$ 3.06
		Total	\$ 3.06
Self Insured Health Fun	TRIAD EAP	EAP SERVICE 9/1/23 TO 11/30/23	\$ 1,488.00
		Total	\$ 1,488.00
Airport	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	MYPLANE INC	CP-23L Cigarette Lighter Cable for IC-A220	\$ 36.95
	MYPLANE INC	HM-240 Waterproof Hand Speaker Microphone	\$ 92.95
	MYPLANE INC	K220C Permanent Vehicle Mount Antenna Whip fo	\$ 137.00
	MYPLANE INC	Icom IC-A220 w/MB-53 Vehicle Mount VHF Air Bar	\$ 3,417.95
	NCSI	APPLICANT PROFILES	\$ 18.50

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 15, 2023

Department	Vendor Name	Description	Amount
		Total	\$ 3,748.35
Dispatch	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	NCSI	APPLICANT PROFILES	\$ 18.50
	LANGUAGE LINE SERVICE	INTERPRETATION SERVICES	\$ 36.67
		Total	\$ 100.17
Rec Center	STAPLES ADVANTAGE	INK CARTRIDGE	\$ 191.94
		Total	\$ 191.94
Water	VERIZON WIRELESS	CRADLE PORTS	\$ 160.12
	MCC DRUG & ALCOHOL SCREENING	DRUG TESTING	\$ 107.00
		Total	\$ 267.12
Refuse	MCC DRUG & ALCOHOL SCREENING	DRUG TESTING	\$ 231.00
	NCSI	APPLICANT PROFILES	\$ 18.50
	BIG R/JOHN DEERE FINANCIAL	BOOTS	\$ 174.99
	INTERMOUNTAIN FARMERS ASSOC.	GLOVES	\$ 67.98
	INTERMOUNTAIN FARMERS ASSOC.	BOOTS	\$ 118.99
	SUPERIOR AUTO	XBO Corduran7n Seat Cover for Unit 733 - New Un	\$ 309.15
		Total	\$ 920.61
Total			\$ 20,990.33

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Department	Vendor Name	Description	Amount
City Council	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 1,222.77
		Total	\$ 1,222.77
City Attorney	KELLY LAW PARTNERS, LLC	LEGAL SERVICES	\$ 1,890.00
	KELLY LAW PARTNERS, LLC	LEGAL SERVICES	\$ 5,695.00
	LEADERSHIP MONTEZUMA	LEADERSHIP MONTEZUMA - LYDIA REGADALO	\$ 175.00
		Total	\$ 7,760.00
Human Resources	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 149.74
		Total	\$ 149.74
Municipal Court	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 675.13
	CORTEZ COPY & PRINT	FORMS	\$ 975.00
		Total	\$ 1,650.13
City Manager	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 264.18
	DREW SANDERS	MILEAGE - REGION 9, REGIONAL BOARD MTG	\$ 81.09
		Total	\$ 345.27
Finance	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 626.45
		Total	\$ 626.45
City Clerk	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 176.12
	CORTEZ RETAIL ENHANCEMENT ASSN	CORTEZ CASH CARDS	\$ 200.00
		Total	\$ 376.12
Grants	KOKOPELLI BIKE & BOARD	BIKES	\$ 530.00
		Total	\$ 530.00
Events	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 27.26
		Total	\$ 27.26
Library	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 3,969.42
	CITY OF CORTEZ	FIBER	\$ 3,503.40
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 2,168.61
	ATMOS ENERGY	GAS SERVICE	\$ 76.57
	INGRAM LIBRARY SERVICES	BOOKS	\$ 10.86
	INGRAM LIBRARY SERVICES	BOOKS	\$ 10.94
	INGRAM LIBRARY SERVICES	BOOKS	\$ 14.55
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.34
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.57
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.81
	INGRAM LIBRARY SERVICES	BOOKS	\$ 17.92
	INGRAM LIBRARY SERVICES	BOOKS	\$ 19.80
	INGRAM LIBRARY SERVICES	BOOKS	\$ 22.65

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

[illegible]

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Department	Vendor Name	Description	Amount
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 22.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 27.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 27.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 27.50
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 33.00
	CRYSTAL BRITE LAUNDRY	Blanket PO for uniform cleaning services	\$ 33.00
	O-SUN COMPANY	Model #90 B-WB PS	\$ 1,426.20
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 13.99
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 67.37
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 3,442.09
		Total	\$ 17,061.72
Animal Shelter	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 347.20
	FOUR CORNERS M.A.S.H., LLC	CASTRATION	\$ 60.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 39.90
		Total	\$ 492.60
Public Works	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 2,683.40
	LEADERSHIP MONTEZUMA	LEADERSHIP MONTEZUMA - COLBY EARLEY	\$ 350.00
	MONTEZUMA COUNTY LANDFILL	STREET MAINTENANCE	\$ 2,548.00
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 5,580.98
	FRANK'S SUPPLY CO.	MTX60HD Multiquip Mikassa Rammer w/Honda C	\$ 1,447.50
	MONTEZUMA COUNTY LANDFILL	ELECTRONICS	\$ 28.00
	MONTEZUMA COUNTY LANDFILL	MATTRESS	\$ 51.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 10,995.48
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 277.98
		Total	\$ 23,962.34
Parks & Recreation	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 33.62
		Total	\$ 33.62
Outdoor Pool	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 1,313.86
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 45.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 972.35
	ATMOS ENERGY	GAS SERVICE	\$ 244.08
	LINCOLN AQUATICS	UMBRELLAS	\$ 161.73
	NICE ELECTRIC	SPLASH PAD BREAKER TRIPPING	\$ 216.25

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Deparment	Vendor Name	Description	Amount
	THE PLUMBING STORE	BUSHING & ADAPTOR	\$ 34.16
		Total	\$ 3,032.93
Golf Pro	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 514.72
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 35.50
	ALPINE SECURITY & ELECTRONICS	INSTALLATION	\$ 612.60
	ORKIN LLC	Blanket PO - Pest Control Services - Pro Shop	\$ 109.99
		Total	\$ 1,272.81
Golf Course Maint	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 476.08
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 2,061.36
		Total	\$ 2,582.94
Parks	CIRSA	FENCING ADDITIONS	\$ 14.57
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 2,099.95
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 22.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance 3rd/4th St Pocke	\$ 685.00
	SPRINKLER PROS	Blanket PO - Lawn Maintenance Brandon's Gate 8	\$ 900.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 4,129.76
	SLAVENS TRUE VALUE	SYNTHETIC LEATHER PALM	\$ 11.82
	WESTERN PAPER DISTRIBUTORS	BSL-91045 Toilet Tissue - PKS	\$ 393.40
	GLOBAL EQUIPMENT COMPANY, INC.	694854BKKD 6' Outdoor Bench w/Back, Vertical S	\$ 541.65
	RENT ALL RENTALS	BREAKER, ELEC HILTI	\$ 66.00
	PIONEER PRINTING	EDDM MAILINGS	\$ 1,272.40
		Total	\$ 10,136.55
Recreation	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 575.20
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 22.00
	JUSTIN LEWIS	UMPIRE SOFTBALL GAMES - 4	\$ 120.00
	JUSTIN LEWIS	UMPIRE SOFTBALL GAMES - 16	\$ 480.00
		Total	\$ 1,197.20
Planning & Building	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 542.48
	SHORT-ELLIOTT-HENDRICKSON INC	IHOP HOUSING & USE CODE	\$ 630.00
	SHORT-ELLIOTT-HENDRICKSON INC	IHOP HOUSING & USE CODE	\$ 735.00
	SHORT-ELLIOTT-HENDRICKSON INC	IHOP HOUSING & USE CODE	\$ 892.50
	SHORT-ELLIOTT-HENDRICKSON INC	IHOP HOUSING & USE CODE	\$ 997.50
	SHORT-ELLIOTT-HENDRICKSON INC	Blanket PO - On Call Planning Services for 2023	\$ 6,310.00
	SHORT-ELLIOTT-HENDRICKSON INC	Blanket PO - On Call Planning Services for 2023	\$ 8,032.50
	SHORT-ELLIOTT-HENDRICKSON INC	Blanket PO - On Call Planning Services for 2023	\$ 8,462.50
	SHORT-ELLIOTT-HENDRICKSON INC	Blanket PO - On Call Planning Services for 2023	\$ 12,252.50
	LEADERSHIP MONTEZUMA	LEADERSHIP MONTEZUMA - LYDIA REGADALO	\$ 175.00
	LEADERSHIP MONTEZUMA	LEADERSHIP MONTEZUMA - HELEN WEST	\$ 350.00
	AMAZON CAPITAL SERVICES	F Forito Anti-Glare Screen for 23.8 inch monitor, 1	\$ 49.78

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Department	Vendor Name	Description	Amount
	AMAZON CAPITAL SERVICES	F Forito Anti-Glare Screen for 23.8 inch monitor, 2	\$ 49.78
		Total	\$ 39,479.54
Shop	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 1,370.53
	FOUR STATES TIRE CO.	New tires (2) for Unit 9178	\$ 260.52
	CORTEZ COPY & PRINT	VIN DECALS	\$ 13.20
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 1.20
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 5.80
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 6.86
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 8.43
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 8.74
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 15.80
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 23.56
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 27.96
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 41.29
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 47.12
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 61.40
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 63.12
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 160.79
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 169.49
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 226.81
	SUPERIOR AUTO	Blanket PO - Parts/Supplies for Fleet Maintenance	\$ 331.53
	SENERGY PETROLEUM	86E10 Unleaded Gas for Service Center	\$ 5,028.35
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	ORKIN LLC	Blanket PO - Pest Control Services - Service Center	\$ 176.99
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 3,330.68
	ATMOS ENERGY	GAS SERVICE	\$ 38.10
	ATMOS ENERGY	GAS SERVICE	\$ 43.12
	ATMOS ENERGY	GAS SERVICE	\$ 52.62
	XEROX CORPORATION	Blanket PO - B7035 WorkCenter s/n 5DA859596,	\$ 285.98
	XEROX CORPORATION	Blanket PO - C8045 AltaLink Color Copier s/n 8TB	\$ 436.39
		Total	\$ 12,281.88
Technology	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 269.99
		Total	\$ 269.99
Streets	CHAVEZ CONSTRUCTION	2023 Concrete Cost Share - Curb & Gutter	\$ 9,148.15
	TRAUTNER GEOTECH	Blanket PO - Testing Services - Concrete Cost Share	\$ 1,135.25
		Total	\$ 10,283.40
Equipment	KEESEE MOTORS	2021 Ford F150, as is 47,000 miles, - Parks Depart	\$ 43,500.00
		Total	\$ 43,500.00
Airport	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 2,309.71
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 908.45

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Deparment	Vendor Name	Description	Amount
	ATMOS ENERGY	GAS SERVICE	\$ 40.30
		Total	\$ 3,258.46
Rec Center	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 8,588.51
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 30.00
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	DRUG & ALCOHOL TESTING ASSOC	EMPLOYEE DRUG TESTING	\$ 180.00
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 10,543.61
	SYMMETRY ENERGY SOLUTIONS LLC	GAS SERVICE	\$ 4,231.81
	AMBROSIA LLC	MURIATIC ACID	\$ 1,110.00
	FARMINGTON HEATING & METAL CO.	COMPRESSOR REPLACEMENT	\$ 8,369.64
	WESTERN PAPER DISTRIBUTORS	CLEANING SUPPLIES	\$ 259.29
		Total	\$ 33,358.36
Water	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 44.04
	SAN JUAN BASIN HEALTH DEPT.	Blanket PO - Lab Testing for Bac-T's	\$ 350.00
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 13,663.39
	ALPINE SECURITY & ELECTRONICS	ALARM SERVICES	\$ 45.50
	EMPIRE ELECTRIC ASSOCIATION	ELECTRIC SERVICE	\$ 2,467.04
	ATMOS ENERGY	GAS SERVICE	\$ 254.21
	CHEMTRADE CHEMICALS US LLC	Blanket PO - Liquid Alum AL2	\$ 7,673.06
	KUBWATER RESOURCES INC	Blanket PO - T-FLOC Polymer	\$ 2,790.00
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 234.20
	GRAND JUNCTION WINWATER WORK	Kennedy 1'6 hydrant extension kit for K81A - Quo	\$ 1,019.82
	FRANK'S SUPPLY CO.	MTX60HD Multiquip Mikassa Rammer w/Honda C	\$ 1,447.50
	CORE AND MAIN	Neptune ED2B11RWG3SG89 5/8x3/4 R900I Mete	\$ 1,965.96
		Total	\$ 31,954.72
Hydro	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 738.20
		Total	\$ 738.20
CCN Fund	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 17.02
		Total	\$ 17.02
Refuse	MONTEZUMA COUNTY LANDFILL	RECYCLE CREDIT	\$ (659.65)
	MONTEZUMA COUNTY LANDFILL	Blanket PO - Landfill Charges	\$ 34,692.90
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 3,325.73
	CIRSA	CLAIM PC6018026-1 EDDIE VIALPANDO	\$ 227.50
	AMAZON CAPITAL SERVICES	1703349 Black Steel Underbody Truck Box 14x12	\$ 214.58
	AMAZON CAPITAL SERVICES	1702300 Black Steel Underbody Truck Box 18x18	\$ 255.99
	AMAZON CAPITAL SERVICES	Buyers 1703349 Underbody Truck Box for New U	\$ 429.16
	AMAZON CAPITAL SERVICES	Buyers 1702300 Underbody Truck Box for New U	\$ 507.54
	CIRSA	QUARTERLY PROPERTY/CASUALTY COVERAGE	\$ 217.57
	MONTEZUMA COUNTY LANDFILL	RECYCLE CHARGE	\$ 4.00
		Total	\$ 39,215.32

EXPENDITURE LIST FOR WEEK ENDING SEPTEMBER 22, 2023

Deparment	Vendor Name	Description	Amount
Total			\$ 308,540.64



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 09/12/2023

RE: Approval of a Tavern Liquor License Renewal for Purple Sage Rib Company & Saloon, LLC, DBA Purple Sage Rib Company, located at 2591 East Main Street, Cortez.

Attachments

Renewal- Purple Sage



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

9/12/2023

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: RENEWAL APPLICATION FOR A TAVERN LIQUOR LICENSE FROM
PURPLE SAGE RIB CO & SALOON, LLC., DBA PURPLE SAGE RIB CO,
LOCATED AT 2591 EAST MAIN STREET, CORTEZ

BACKGROUND

The renewal application referred to above was filed in the City Clerk's office on September 11, 2023. The application appears to be complete and all fees were paid.

ISSUES

The fire inspection report shows there are no violations of the fire code as the building has been closed for some time.

The police report shows that no violations to the liquor code were found over the past twelve months.

Currently, the Purple Sage Rib Company has a sales tax license but it is not active.

RECOMMENDATION

Staff recommends approval of a Tavern Liquor License for Purple Sage Rib Co & Saloon, LLC., DBA Purple Sage Rib Co, located at 2591 East Main Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 08/28/2023

RE: Approval of a Special Event Permit application for Crow Canyon Archaeological Center to host a special event on Thursday, October 12, 2023, and Friday, October 13, 2023, from 4:00 to 10:00pm, on the premises of Montezuma County Senior Center Annex, located at 107 North Chestnut Street, Cortez.

Attachments

SEP- Crow Canyon



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

8/28/2023

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: APPLICATION FOR A SPECIAL EVENT PERMIT FOR CROW CANYON
ARCHAEOLOGICAL CENTER

BACKGROUND

The application referred to above was filed with the City Clerk's office on July 17, 2023. The application appears to be complete, the fees have been paid, and the public notice sign has been posted on the premises. The Special Event Permit would allow Crow Canyon Archaeological Center to host a special event on Thursday, October 12, 2023 and Friday, October 13, 2023, at the Montezuma County Senior Center Annex, located at 107 North Chestnut Street, Cortez.

ISSUES

Non-profit organizations are allowed fifteen Special Event Permits per year. This application is the first event for 2023.

RECOMMENDATION

Staff recommends approval of a Special Event Permit to Crow Canyon Archaeological Center for a special event on Thursday, October 12, 2023 and Friday, October 13, 2023 from 4:00 p.m. until 10:00 p.m. at the Montezuma County Senior Center Annex, located at 107 North Chestnut Street, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 09/12/2023

RE: **Approval of Three Special Event Permits for The Good Samaritan Center to host fundraiser events on September 27, October 25, and November 29, 2023, at Buffalo Bob's, located at 90 North Mildred Road, Cortez.**

Attachments

SEP- Good Samaritan



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

9/12/2023

MEMO TO: Honorable Mayor and City Council

FROM: Donna Murphy, Deputy City Clerk

SUBJECT: APPLICATION FOR THREE SPECIAL EVENT PERMITS FOR THE GOOD SAMARITAN CENTER

BACKGROUND

The application referred to above was filed with the City Clerk's office on September 6, 2023. The application appears to be complete, the fees have been paid, and the public notice sign has been posted on the premises. The Special Event Permit would allow The Good Samaritan Center to host a special event on September 27, October 25, and November 29, 2023, at Buffalo Bob's located at 90 North Mildred Road, Cortez.

ISSUES

Non-profit organizations are allowed fifteen Special Event Permits per year. This application is for the first through third events for 2023.

RECOMMENDATION

Staff recommends approval of the three Special Event Permits for The Good Samaritan Center to host a fundraiser event on September 27, October 25, and November 29, 2023, at Buffalo Bob's located at 90 North Mildred Road, Cortez.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Drew Sanders
City Manager
123 E Roger Smith Ave,
Cortez, CO. 81321
dsanders@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DREW SANDERS, CITY MANAGER

Date: September 19, 2023

RE: Swearing In - Jeremy Patton as Airport Director

Attachments

Patton Promotion



City of Cortez
123 Roger Smith Ave.
Cortez, Co. 81321

Drew C. Sanders
City Manager
123 Roger Smith Ave
Cortez, CO 81321
970-565-3402
dsanders@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DREW SANDERS, CITY MANAGER

Date: SEPTEMBER 19, 2023

CC:

RE: SWEARING IN – JEREMY PATTON

Mr. Jeremy Patton, the Cortez Airport Manager, is being promoted to Cortez Airport Director. He will be sworn in by the City of Cortez Clerk, Ms. Linda Smith.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Kelly Koskie
Director of Finance
123 Roger Smith Ave
Cortez, CO. 81321
kkoskie@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: KELLY KOSKIE, DIRECTOR OF FINANCE

Date: 9/18/2023

RE: 2023 August Financial Statements

Attachments

2023 August Memo
2023 August Financial Statements



City of Cortez
123 Roger Smith Ave
Cortez, CO 81321

Item No:

Meeting Date: September 26th, 2023

TITLE: Financial Statements

SUBMITTING DEPARTMENT: Finance

ATTACHMENTS: 2023 August Financial Statements

You will find attached the Financial Statements for August 2023. They are broken down by revenue and expense (labeled at the top of each page). They are also broken down by department.

Items to Note:

General Fund

Sales Tax revenue for August is included in this report. While this revenue historically will see increases over the months of August through October it appears that increase will be minimal. With that in mind revenues for the 2024 proposed budget have been projected to be flat.

Golf Course

Net income (income minus expenses) through August was \$106,463. This is a \$10K increase from the entire prior year.

City Clerk

This budget looks like it is unusually under budget. This is because there is money budgeted for election expenses that we have not had to spend so far this year.

As always, I'm available for questions by phone 970-565-3402, in person, or by email at

kkoskie@cortezco.gov

Kelly Koskie

Finance Director, City of Cortez

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>TAXES</u>					
001-0000-311-10-01	PROPERTY TAXES	.00	433,370.77	600,000.00	166,629.23	72.2
001-0000-311-10-03	INTEREST	.00	1,863.10	.00	(1,863.10)	.0
001-0000-311-11-00	S.O. MOTOR VEHICLE	.00	175,214.18	.00	(175,214.18)	.0
001-0000-311-12-01	SALES TAX	930,314.21	6,843,107.35	14,132,895.00	7,289,787.65	48.4
001-0000-311-12-03	BUILDING PERMIT USE TAX	31,899.84	92,180.07	103,648.00	11,467.93	88.9
001-0000-311-13-00	CIGARETTE	1,823.56	12,809.37	21,172.00	8,362.63	60.5
	TOTAL TAXES	964,037.61	7,558,544.84	14,857,715.00	7,299,170.16	50.9
	<u>FRANCHISE TAXES</u>					
001-0000-312-10-00	CABLE TV	.00	11,914.82	26,286.00	14,371.18	45.3
001-0000-312-11-00	EMPIRE ELECTRIC	39,819.94	326,374.18	479,806.00	153,431.82	68.0
001-0000-312-12-00	ATMOS ENERGY	.00	216,316.83	207,760.00	(8,556.83)	104.1
001-0000-312-13-00	QWEST	1,000.00	8,000.00	12,000.00	4,000.00	66.7
	TOTAL FRANCHISE TAXES	40,819.94	562,605.83	725,852.00	163,246.17	77.5
	<u>PERMITS</u>					
001-0000-321-10-00	LIQOUR OCCUPATION	150.00	1,275.00	16,733.00	15,458.00	7.6
001-0000-321-11-00	SALES/LODGERS TAX PERMIT	160.00	1,250.00	2,200.00	950.00	56.8
001-0000-321-12-00	BILLBOARD SIGNS	.00	995.25	1,875.00	879.75	53.1
001-0000-321-13-00	BUILDING	15,149.50	158,557.10	152,712.00	(5,845.10)	103.8
001-0000-321-14-00	MISC PUBLIC WORK PERMITS	70.00	520.00	1,410.00	890.00	36.9
001-0000-321-14-01	MISC BUS, LIC & PERMITS	.00	800.00	1,800.00	1,000.00	44.4
001-0000-321-14-02	P.W. MAPS/PUBLICATIONS	700.00	4,965.00	5,200.00	235.00	95.5
001-0000-321-15-00	RIGHT OF WAY CONSTR	1,032.00	2,330.00	5,926.00	3,596.00	39.3
	TOTAL PERMITS	17,261.50	170,692.35	187,856.00	17,163.65	90.9
	<u>LICENSES</u>					
001-0000-322-10-00	LIQOUR	350.00	44,891.25	97,034.00	52,142.75	46.3
001-0000-322-11-00	GAS/PLUMBER	.00	201.50	300.00	98.50	67.2
001-0000-322-12-00	DOG/CAT LICENSES	270.00	1,585.00	2,890.00	1,305.00	54.8
001-0000-322-13-00	MISC BUSINESS LICENSES	.00	275.00	250.00	(25.00)	110.0
	TOTAL LICENSES	620.00	46,952.75	100,474.00	53,521.25	46.7

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>STATE/COLO</u>					
001-0000-332-10-00	HIGHWAY USER TAX	31,291.01	186,464.97	285,894.00	99,429.03	65.2
001-0000-332-11-00	STATE OF CO SNOW REMOVAL REIMB	.00	.00	3,000.00	3,000.00	.0
001-0000-332-12-00	LOCAL GOVT SEVERANCE TAX	193,377.82	193,377.82	60,000.00	(133,377.82)	322.3
001-0000-332-13-00	MINERAL LEASING TAX	559,603.59	559,603.59	297,574.00	(262,029.59)	188.1
001-0000-332-20-00	STATE MARIJUANA TAX	18,586.10	136,539.20	252,962.00	116,422.80	54.0
	TOTAL STATE/COLO	802,858.52	1,075,985.58	899,430.00	(176,555.58)	119.6
	<u>COUNTY</u>					
001-0000-333-10-00	LIBRARY AID	.00	(12,000.00)	.00	12,000.00	.0
001-0000-333-11-00	ROAD AND BRIDGE	5,316.12	118,298.98	193,096.00	74,797.02	61.3
001-0000-333-23-00	KENNEL SERVICES	.00	27,500.00	.00	(27,500.00)	.0
	TOTAL COUNTY	5,316.12	133,798.98	193,096.00	59,297.02	69.3
	<u>SCHOOL DISTRICT RE-1</u>					
001-0000-334-10-00	SCHOOL RESOURCE OFFICER	.00	.00	23,000.00	23,000.00	.0
	TOTAL SCHOOL DISTRICT RE-1	.00	.00	23,000.00	23,000.00	.0
	<u>SERVICES</u>					
001-0000-341-11-00	OUTDOOR POOL CONCESSIONS	1,697.00	12,288.25	10,010.00	(2,278.25)	122.8
001-0000-341-21-00	RECREATION PROGRAMS	407.00	8,378.00	5,736.00	(2,642.00)	146.1
	TOTAL SERVICES	2,104.00	20,666.25	15,746.00	(4,920.25)	131.3
	<u>FEES</u>					
001-0000-342-02-00	KENNEL ADOPTION FEES	420.00	2,105.00	3,880.00	1,775.00	54.3
001-0000-342-04-00	SPAY/NEUTER PROGRAM	2,991.75	16,368.75	22,642.00	6,273.25	72.3
001-0000-342-06-00	RABIES DEPOSIT	100.00	810.00	750.00	(60.00)	108.0
001-0000-342-10-00	ANNUAL IMPOUND FEES	1,000.00	5,230.00	11,940.00	6,710.00	43.8
	TOTAL FEES	4,511.75	24,513.75	39,212.00	14,698.25	62.5
	<u>FEES</u>					
001-0000-343-10-01	GREEN FEES	61,630.88	169,758.83	173,454.00	3,695.17	97.9
001-0000-343-10-02	PASSES/TICKETS	5,263.31	196,785.54	318,616.00	121,830.46	61.8
001-0000-343-10-08	GOLF CART REVENUE	1,755.00	51,232.50	105,974.00	54,741.50	48.3
	TOTAL FEES	68,649.19	417,776.87	598,044.00	180,267.13	69.9

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>FEES</u>					
001-0000-344-10-00	POOL	5,290.00	61,310.00	56,520.00	(4,790.00)	108.5
001-0000-344-10-01	SWIMMING POOL-MONTEZUMA	(591.00)	(791.00)	.00	791.00	.0
001-0000-344-10-03	PLAYGROUND DAYS	166.00	35,394.00	55,000.00	19,606.00	64.4
001-0000-344-11-00	RECREATION ACTIVITIES	.00	9,557.44	.00	(9,557.44)	.0
001-0000-344-11-02	BASKETBALL	140.00	220.00	2,720.00	2,500.00	8.1
001-0000-344-12-01	SOFTBALL	.00	2,100.00	4,075.00	1,975.00	51.5
001-0000-344-13-01	VOLLEYBALL	525.00	4,113.00	1,745.00	(2,368.00)	235.7
001-0000-344-20-00	VEHICLE INSPECTION FEES	40.00	280.00	760.00	480.00	36.8
	TOTAL FEES	5,570.00	112,183.44	120,820.00	8,636.56	92.9
	<u>CHARGES</u>					
001-0000-347-17-01	PARK RENTAL FEES	630.00	4,050.00	7,320.00	3,270.00	55.3
001-0000-347-18-00	CHIPPER/MULCHER	175.00	739.00	720.00	(19.00)	102.6
	TOTAL CHARGES	805.00	4,789.00	8,040.00	3,251.00	59.6
	<u>FINES</u>					
001-0000-351-10-00	MUNICIPAL COURT FINES	4,966.00	38,268.50	17,290.00	(20,978.50)	221.3
001-0000-351-10-01	DUI/SEAT BELT - COUNTY	983.42	5,079.06	3,314.00	(1,765.06)	153.3
001-0000-351-10-02	OVERTIME PARKING	15.00	455.00	2,214.00	1,759.00	20.6
001-0000-351-10-03	D.A.R.E. FINES	75.00	440.00	.00	(440.00)	.0
	TOTAL FINES	6,039.42	44,242.56	22,818.00	(21,424.56)	193.9
	<u>FINES</u>					
001-0000-352-11-00	LIBRARY	10.97	476.86	.00	(476.86)	.0
	TOTAL FINES	10.97	476.86	.00	(476.86)	.0
	<u>INTEREST</u>					
001-0000-361-10-00	INVESTMENTS	17.29	64,490.72	9,140.00	(55,350.72)	705.6
001-0000-361-10-15	PINON PROJECT - INTEREST REPAY	800.69	6,448.69	8,434.00	1,985.31	76.5
001-0000-361-10-16	PINON PROJECT - PRINCIPAL PAY	415.35	3,279.63	12,000.00	8,720.37	27.3
001-0000-361-20-03	CHANGE IN MARKET VALUE	.00	34,243.68	18,951.00	(15,292.68)	180.7
	TOTAL INTEREST	1,233.33	108,462.72	48,525.00	(59,937.72)	223.5

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>REVENUE</u>					
001-0000-362-14-00	RODEO DRIVE MAINTENANCE	995.99	7,937.31	6,826.00	(1,111.31)	116.3
001-0000-362-17-00	CCN FUND REPAYMENT	.00	.00	62,000.00	62,000.00	.0
001-0000-362-18-00	WATER FUND LOAN REPAY	.00	339,020.62	.00	(339,020.62)	.0
001-0000-362-19-00	HYDRO FUND LOAN REPAY	.00	53,395.85	.00	(53,395.85)	.0
	TOTAL REVENUE	995.99	400,353.78	68,826.00	(331,527.78)	581.7
	<u>GIFTS/DONATIONS</u>					
001-0000-366-14-00	VALE GRANT P.,D. TRAINING	.00	.00	7,200.00	7,200.00	.0
001-0000-366-17-00	TREE DONATIONS	.00	450.00	.00	(450.00)	.0
001-0000-366-19-00	LIBRARY DONATIONS	.00	4,360.00	2,000.00	(2,360.00)	218.0
001-0000-366-20-00	KENNEL DONATIONS	.00	7,500.00	.00	(7,500.00)	.0
001-0000-366-21-00	PARKS & RECREATION DONATIONS	500.00	500.00	.00	(500.00)	.0
001-0000-366-24-00	FRIENDS OF THE LIBRARY	289.50	1,876.00	1,050.00	(826.00)	178.7
	TOTAL GIFTS/DONATIONS	789.50	14,686.00	10,250.00	(4,436.00)	143.3
	<u>REVENUE</u>					
001-0000-367-15-00	EVIDENCE REVENUE	97.23	4,971.23	42,620.00	37,648.77	11.7
001-0000-367-15-01	FRAUD RECOVERY	.00	1.38	.00	(1.38)	.0
001-0000-367-16-00	MISCELLANEOUS SALES & FEE	739.87	7,494.11	3,350.00	(4,144.11)	223.7
001-0000-367-16-03	WELCOME CENTER RENTS	.00	8,793.45	3,456.00	(5,337.45)	254.4
001-0000-367-16-14	INSURANCE CLAIM REIMB	2,011.59	3,043.63	.00	(3,043.63)	.0
001-0000-367-18-01	SURPLUS AUCTION	.00	10,612.74	.00	(10,612.74)	.0
	TOTAL REVENUE	2,848.69	34,916.54	49,426.00	14,509.46	70.6
	<u>GRANTS</u>					
001-0000-368-01-01	AMERICAN RESCUE PLAN	.00	.00	259,450.00	259,450.00	.0
001-0000-368-01-02	COLORADO HISTORICAL SOC	.00	19,470.00	15,440.00	(4,030.00)	126.1
001-0000-368-04-00	POLICE GRANTS	5,838.39	19,362.82	11,500.00	(7,862.82)	168.4
001-0000-368-11-00	VICTIM ASSISTANCE GRANT	.00	16,089.75	62,338.00	46,248.25	25.8
001-0000-368-44-00	GRANTS-LIBRARY	.00	5,500.00	8,500.00	3,000.00	64.7
	TOTAL GRANTS	5,838.39	60,422.57	357,228.00	296,805.43	16.9
	<u>INTERNAL SERVICE CHGS</u>					
001-0000-371-11-00	LODGERS TAX FUND	.00	.00	244,676.00	244,676.00	.0
	TOTAL INTERNAL SERVICE CHGS	.00	.00	244,676.00	244,676.00	.0

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
TOTAL FUND REVENUE	1,930,309.92	10,792,070.67	18,571,034.00	7,778,963.33	58.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL GOVERNMENT</u>					
<u>CITY COUNCIL</u>					
001-4010-400-10-01	REGULAR WAGES	2,975.00	22,875.00	47,250.00	24,375.00 48.4
001-4010-400-10-11	VOLUNTEER INCENTIVE PROGRAM	.00	600.00	.00 (600.00)	.0
001-4010-400-20-01	FICA/MEDICARE	227.59	1,749.96	2,900.00	1,150.04 60.3
001-4010-400-21-06	WORKMENS COMPENSATION	267.87	2,138.30	113.00 (2,025.30)	1892.3
001-4010-400-30-12	MV COUNTRY TOURISM CONTRACT	.00	28,081.00	112,324.00	84,243.00 25.0
001-4010-400-30-13	MUNICIPAL ATTORNEY SERVICES	.00	139.56	.00 (139.56)	.0
001-4010-400-30-19	INSURANCE & BONDS	.00	3,679.42	4,887.00	1,207.58 75.3
001-4010-400-30-20	FIREWORKS INSURANCE	15,000.00	15,000.00	4,250.00 (10,750.00)	352.9
001-4010-400-40-00	TRAVEL & TRAINING	96.00	9,828.26	10,000.00	171.74 98.3
001-4010-400-40-06	YOUTH COMMISSION	.00	.00	1,000.00	1,000.00 .0
001-4010-400-44-00	OFFICE SUPPLIES	.00	.00	500.00	500.00 .0
001-4010-400-50-00	MEMBERSHIP & DUES	.00	14,581.00	14,581.00	.00 100.0
001-4010-400-50-01	CREA VENDOR FEES	18,224.17	128,295.42	156,419.00	28,123.58 82.0
001-4010-400-53-00	CONTRIBUTIONS	.00	29,500.00	32,000.00	2,500.00 92.2
001-4010-400-53-04	HOMELESS SHELTER	.00	12,000.00	12,000.00	.00 100.0
001-4010-400-54-00	CONTINGENCY ACCOUNT	(675.00)	3,811,021.51	3,710,000.00	(101,021.51) 102.7
TOTAL CITY COUNCIL		36,115.63	4,079,489.43	4,108,224.00	28,734.57 99.3
<u>CITY ATTORNEY</u>					
001-4011-401-10-01	REGULAR WAGES	13,067.70	104,035.37	185,000.00	80,964.63 56.2
001-4011-401-10-10	EMPLOYEE INCENTIVES	69.25	69.25	.00 (69.25)	.0
001-4011-401-16-00	CITY RETIREMENT	653.38	5,201.74	9,250.00	4,048.26 56.2
001-4011-401-20-01	FICA/MEDICARE	993.73	7,920.65	14,152.00	6,231.35 56.0
001-4011-401-21-01	HEALTH/LIFE INSURANCE	2,334.00	14,787.50	18,540.00	3,752.50 79.8
001-4011-401-21-05	DENTAL INSURANCE	105.00	700.00	1,680.00	980.00 41.7
001-4011-401-21-07	UNEMPLOYMENT	26.14	208.10	.00 (208.10)	.0
001-4011-401-30-13	PROFESSIONAL SERVICES	12,080.00	22,903.75	9,550.00 (13,353.75)	239.8
001-4011-401-40-00	ATTORNEY TRAVEL	.00	2,449.39	4,000.00	1,550.61 61.2
001-4011-401-41-00	ATTORNEY TRAINING EXP	.00	448.00	1,000.00	552.00 44.8
001-4011-401-42-01	TELEPHONE	85.00	680.00	.00 (680.00)	.0
001-4011-401-42-04	MEETING EXPENSE	.00	.00	300.00	300.00 .0
001-4011-401-44-00	OFFICE SUPPLIES	.00	700.67	4,950.00	4,249.33 14.2
001-4011-401-44-01	OFFICE FURNITURE	.00	37.99	3,000.00	2,962.01 1.3
TOTAL CITY ATTORNEY		29,414.20	160,142.41	251,422.00	91,279.59 63.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>HUMAN RESOURCES</u>					
001-4012-402-10-01	REGULAR WAGES	14,308.81	124,192.83	194,200.00	70,007.17	64.0
001-4012-402-10-10	EMPLOYEE INCENTIVES	.00	69.25	.00 (	69.25)	.0
001-4012-402-16-00	CITY RETIREMENT	715.44	6,209.64	8,221.00	2,011.36	75.5
001-4012-402-20-01	FICA/MEDICARE	1,063.74	9,242.61	11,931.00	2,688.39	77.5
001-4012-402-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	38,415.00	13,519.00	64.8
001-4012-402-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4012-402-21-06	WORKMENS COMPENSATION	255.20	2,037.16	3,000.00	962.84	67.9
001-4012-402-21-07	UNEMPLOYMENT	28.62	248.45	439.00	190.55	56.6
001-4012-402-21-20	FEDERAL EXCISE TAX	.00	820.26	.00 (	820.26)	.0
001-4012-402-30-19	INSURANCE & BONDS	.00	450.58	600.00	149.42	75.1
001-4012-402-30-34	EMPLOYEE LICENSES/TESTING	.00	.00	100.00	100.00	.0
001-4012-402-30-90	CONTRACT SERVICES-OTHER	.00	7,100.00	30,000.00	22,900.00	23.7
001-4012-402-40-00	TRAVEL & TRAINING	.00	258.17	6,000.00	5,741.83	4.3
001-4012-402-40-06	CITY-WIDE TRAINING	.00	1,995.61	11,000.00	9,004.39	18.1
001-4012-402-40-08	EMPLOYEE ORIENTATION	.00	992.31	1,500.00	507.69	66.2
001-4012-402-40-10	EMPLOYEE QUARTERLY AWARDS	.00	2,547.36	7,500.00	4,952.64	34.0
001-4012-402-42-01	TELEPHONE	124.96	1,000.61	1,450.00	449.39	69.0
001-4012-402-44-00	OFFICE SUPPLIES	.00	358.58	1,800.00	1,441.42	19.9
001-4012-402-45-10	OTHER OPERATING SUPPLIES	.00	603.88	1,000.00	396.12	60.4
001-4012-402-46-02	OTHER REPAIR & MAINT	.00	493.37	1,000.00	506.63	49.3
001-4012-402-49-03	ADVERTISING - OTHER	.00	.00	500.00	500.00	.0
001-4012-402-50-00	MEMBERSHIP & DUES	.00	169.00	1,500.00	1,331.00	11.3
001-4012-402-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	1,400.00	1,400.00	.0
	TOTAL HUMAN RESOURCES	19,748.77	184,805.67	323,236.00	138,430.33	57.2
	<u>MUNICIPAL COURT</u>					
001-4013-403-10-01	REGULAR WAGES	7,833.60	69,368.02	117,315.00	47,946.98	59.1
001-4013-403-10-10	EMPLOYEE INCENTIVES	.00	69.25	.00 (	69.25)	.0
001-4013-403-16-00	CITY RETIREMENT	391.68	3,468.40	5,866.00	2,397.60	59.1
001-4013-403-20-01	FICA/MEDICARE	545.00	4,857.21	8,513.00	3,655.79	57.1
001-4013-403-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	37,344.00	12,448.00	66.7
001-4013-403-21-05	DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4013-403-21-06	WORKMENS COMPENSATION	251.13	2,004.67	198.00 (	1,806.67)	1012.5
001-4013-403-21-07	UNEMPLOYMENT	15.66	138.68	319.00	180.32	43.5
001-4013-403-30-04	COMPUTER SERVICES	.00	122.50	.00 (	122.50)	.0
001-4013-403-30-06	MUNICIPAL COURT SERVICES	2,189.58	20,084.64	23,375.00	3,290.36	85.9
001-4013-403-30-19	INSURANCE & BONDS	.00	2,031.52	2,698.00	666.48	75.3
001-4013-403-30-36	PROFESSIONAL SERVICES	.00	405.75	5,000.00	4,594.25	8.1
001-4013-403-40-00	TRAVEL & TRAINING	.00	64.00	2,500.00	2,436.00	2.6
001-4013-403-40-10	CITY ATTORNEY SERVICES	3,094.00	12,876.80	17,200.00	4,323.20	74.9
001-4013-403-42-01	TELEPHONE	85.00	680.00	360.00 (	320.00)	188.9
001-4013-403-42-04	MEETING EXPENSE	.00	500.00	800.00	300.00	62.5
001-4013-403-44-00	OFFICE SUPPLIES	.00	2,065.90	2,500.00	434.10	82.6
001-4013-403-45-11	DATA PROCESSING SUPPLIES	.00	595.50	.00 (	595.50)	.0
001-4013-403-46-02	OTHER REPAIR & MAINT	53.52	53.52	.00 (	53.52)	.0
001-4013-403-50-00	MEMBERSHIP & DUES	.00	60.00	.00 (	60.00)	.0
	TOTAL MUNICIPAL COURT	17,711.17	145,462.36	225,668.00	80,205.64	64.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CITY MANAGER</u>					
001-4014-404-10-01	REGULAR WAGES	15,904.00	135,024.00	216,345.00	81,321.00	62.4
001-4014-404-16-00	CITY RETIREMENT	795.20	6,751.20	6,590.00	(161.20)	102.5
001-4014-404-20-01	FICA/MEDICARE	1,130.34	9,644.76	9,290.00	(354.76)	103.8
001-4014-404-21-01	HEALTH/LIFE INSURANCE	3,112.00	24,896.00	19,207.00	(5,689.00)	129.6
001-4014-404-21-05	DENTAL INSURANCE	140.00	1,120.00	840.00	(280.00)	133.3
001-4014-404-21-06	WORKMENS COMPENSATION	456.75	3,646.04	.00	(3,646.04)	.0
001-4014-404-21-07	UNEMPLOYMENT	31.80	269.98	.00	(269.98)	.0
001-4014-404-30-19	INSURANCE & BONDS	.00	1,631.07	1,056.00	(575.07)	154.5
001-4014-404-40-00	TRAVEL & TRAINING	32.00	3,425.19	7,500.00	4,074.81	45.7
001-4014-404-40-03	CML TRAVEL EXPENSES	.00	2,618.42	3,500.00	881.58	74.8
001-4014-404-42-01	TELEPHONE	115.00	920.00	2,540.00	1,620.00	36.2
001-4014-404-42-02	TELEPHONE - INTERNAL	.00	98.35	.00	(98.35)	.0
001-4014-404-42-04	MEETING EXPENSE	.00	1,070.41	4,000.00	2,929.59	26.8
001-4014-404-44-00	OFFICE SUPPLIES	.00	490.71	2,000.00	1,509.29	24.5
001-4014-404-44-01	OFFICE FURNITURE	.00	159.99	2,000.00	1,840.01	8.0
001-4014-404-46-02	OTHER REPAIR & MAINT	.00	.00	500.00	500.00	.0
001-4014-404-48-90	PRINTING - OTHER	.00	.00	500.00	500.00	.0
001-4014-404-50-00	MEMBERSHIP & DUES	.00	549.00	2,500.00	1,951.00	22.0
001-4014-404-51-00	PUBLICATION/SUBSCRIPTION	.00	32.00	500.00	468.00	6.4
001-4014-404-59-01	PROFESSIONAL & TECHNICAL	.00	.00	4,700.00	4,700.00	.0
001-4014-499-30-90	CONTRACT SERVICES-OTHER	967.50	10,867.50	20,000.00	9,132.50	54.3
001-4014-499-40-06	CITY-WIDE TRAINING	.00	653.49	2,000.00	1,346.51	32.7
001-4014-499-45-10	OPERATING SUPPLIES-OTHER	.00	7.50	2,500.00	2,492.50	.3
	TOTAL CITY MANAGER	22,684.59	203,875.61	308,068.00	104,192.39	66.2
	<u>FINANCE DEPARTMENT</u>					
001-4015-405-10-01	REGULAR WAGES	33,120.00	282,960.04	389,760.00	106,799.96	72.6
001-4015-405-11-01	OVERTIME	.00	226.21	5,000.00	4,773.79	4.5
001-4015-405-16-00	CITY RETIREMENT	1,656.00	14,148.00	13,305.00	(843.00)	106.3
001-4015-405-20-01	FICA/MEDICARE	2,421.76	20,747.28	25,680.00	4,932.72	80.8
001-4015-405-21-01	HEALTH/LIFE INSURANCE	9,336.00	74,688.00	92,703.00	18,015.00	80.6
001-4015-405-21-05	DENTAL INSURANCE	420.00	3,360.00	4,500.00	1,140.00	74.7
001-4015-405-21-06	WORKMENS COMPENSATION	265.89	2,122.49	1,000.00	(1,122.49)	212.3
001-4015-405-21-07	UNEMPLOYMENT	66.22	566.38	900.00	333.62	62.9
001-4015-405-30-04	COMPUTER/SOFTWARE SERVICES	.00	31,106.15	75,000.00	43,893.85	41.5
001-4015-405-30-07	CREDIT CARD CHARGES	1,458.46	10,496.99	9,000.00	(1,496.99)	116.6
001-4015-405-30-19	INSURANCE & BONDS	.00	1,885.04	2,829.00	943.96	66.6
001-4015-405-30-24	RECORDING SERVICES	.00	.00	500.00	500.00	.0
001-4015-405-30-28	PROPERTY TAX COLLECTION	106.32	11,056.83	5,000.00	(6,056.83)	221.1
001-4015-405-30-90	CONTRACT SERVICES-OTHER	.00	27,650.00	88,000.00	60,350.00	31.4
001-4015-405-40-00	TRAVEL & TRAINING	.00	2,309.23	4,500.00	2,190.77	51.3
001-4015-405-42-01	TELEPHONE	265.00	2,120.00	840.00	(1,280.00)	252.4
001-4015-405-42-03	POSTAGE	.00	69.91	2,000.00	1,930.09	3.5
001-4015-405-44-00	OFFICE SUPPLIES	.00	1,014.40	3,500.00	2,485.60	29.0
001-4015-405-44-01	CITY HALL OPERATIONS	.00	1,409.33	.00	(1,409.33)	.0
001-4015-405-48-90	PRINTING	516.62	4,098.71	500.00	(3,598.71)	819.7
001-4015-405-50-00	MEMBERSHIP & DUES	.00	1,239.00	1,250.00	11.00	99.1
001-4015-405-51-00	PUBLICATION/SUBSCRIPTION	.00	354.90	175.00	(179.90)	202.8
001-4015-405-59-00	MISCELLANEOUS	.00	(.01)	.00	.01	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	TOTAL FINANCE DEPARTMENT	49,632.27	493,628.88	725,942.00	232,313.12	68.0
	TOTAL ALL 16	.00	.00	.00	.00	.0
	<u>CITY CLERK</u>					
001-4018-408-10-01	REGULAR WAGES	9,312.01	79,069.43	166,111.00	87,041.57	47.6
001-4018-408-10-10	EMPLOYEE INCENTIVES	91.25	91.25	.00	(91.25)	.0
001-4018-408-16-00	CITY RETIREMENT	362.16	3,078.36	6,932.00	3,853.64	44.4
001-4018-408-20-01	FICA/MEDICARE	709.06	6,022.34	10,564.00	4,541.66	57.0
001-4018-408-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	38,464.00	26,016.00	32.4
001-4018-408-21-05	DENTAL INSURANCE	70.00	560.00	1,680.00	1,120.00	33.3
001-4018-408-21-06	WORKMENS COMPENSATION	249.09	1,988.40	2,000.00	11.60	99.4
001-4018-408-21-07	UNEMPLOYMENT	18.62	158.10	396.00	237.90	39.9
001-4018-408-30-14	ELECTION SERVICES	.00	.00	20,000.00	20,000.00	.0
001-4018-408-30-19	INSURANCE & BONDS	.00	529.96	703.00	173.04	75.4
001-4018-408-30-90	CONTRACT SERVICES-OTHER	.00	1,010.23	6,000.00	4,989.77	16.8
001-4018-408-40-00	TRAVEL & TRAINING	32.00	2,128.08	4,500.00	2,371.92	47.3
001-4018-408-42-01	TELEPHONE	80.00	640.00	.00	(640.00)	.0
001-4018-408-44-00	OFFICE SUPPLIES	.00	778.19	2,500.00	1,721.81	31.1
001-4018-408-45-08	EMPLOYEE BENCHMARKING	.00	.00	5,000.00	5,000.00	.0
001-4018-408-45-09	WELLNESS PROGRAM	300.00	8,088.01	27,500.00	19,411.99	29.4
001-4018-408-45-10	OTHER OPERATING SUPPLIES	72.50	533.23	2,000.00	1,466.77	26.7
001-4018-408-50-00	MEMBERSHIP & DUES	.00	310.00	550.00	240.00	56.4
	TOTAL CITY CLERK	12,852.69	117,433.58	294,900.00	177,466.42	39.8
	<u>GRANTS ADMINISTER</u>					
001-4040-404-30-90	CONTRACT SERVICES	.00	10,487.00	.00	(10,487.00)	.0
	TOTAL GRANTS ADMINISTER	.00	10,487.00	.00	(10,487.00)	.0
	<u>MARKETING</u>					
001-4044-404-10-01	REGULAR WAGES	7,550.41	44,834.49	62,228.00	17,393.51	72.1
001-4044-404-10-10	EMPLOYEE INCENTIVES	.00	69.25	.00	(69.25)	.0
001-4044-404-11-01	OVERTIME	.00	116.51	.00	(116.51)	.0
001-4044-404-16-00	CITY RETIREMENT	377.52	2,241.72	3,200.00	958.28	70.1
001-4044-404-20-01	FICA/MEDICARE	504.89	2,955.17	4,515.00	1,559.83	65.5
001-4044-404-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.00	6,759.00	64.8
001-4044-404-21-05	DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4044-404-21-06	WORKMENS COMPENSATION	247.40	1,974.91	1,000.00	(974.91)	197.5
001-4044-404-21-07	UNEMPLOYMENT	15.10	89.88	169.00	79.12	53.2
001-4044-404-24-00	MARKETING	2,128.93	31,366.45	40,000.00	8,633.55	78.4
001-4044-404-30-19	INSURANCE & BONDS	.00	82.03	115.00	32.97	71.3
001-4044-404-40-00	TRAVEL & TRAINING	.00	128.00	1,000.00	872.00	12.8
001-4044-404-42-01	TELEPHONE	85.00	680.00	1,132.00	452.00	60.1
001-4044-404-44-00	OFFICE SUPPLIES	.00	366.84	555.00	188.16	66.1
001-4044-404-45-15	EMP APPRECTION/PICNIC	1,640.00	8,666.71	20,000.00	11,333.29	43.3
	TOTAL MARKETING	14,175.25	106,579.96	153,961.00	47,381.04	69.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>LIBRARY</u>					
001-4055-407-10-01	REGULAR WAGES	27,849.42	229,478.70	408,700.00	179,221.30	56.2
001-4055-407-10-10	EMPLOYEE INCENTIVES	176.25	406.00	150.00	(256.00)	270.7
001-4055-407-16-00	CITY RETIREMENT	1,027.36	7,654.63	14,130.00	6,475.37	54.2
001-4055-407-20-01	FICA/MEDICARE	2,082.36	17,172.82	25,531.00	8,358.18	67.3
001-4055-407-21-01	HEALTH/LIFE INSURANCE	7,791.00	56,060.00	96,037.00	39,977.00	58.4
001-4055-407-21-05	DENTAL INSURANCE	350.00	2,660.00	4,200.00	1,540.00	63.3
001-4055-407-21-06	WORKMENS COMPENSATION	317.05	2,530.88	1,440.00	(1,090.88)	175.8
001-4055-407-21-07	UNEMPLOYMENT	55.69	458.91	957.00	498.09	48.0
001-4055-407-30-19	INSURANCE & BONDS	.00	11,944.31	15,839.00	3,894.69	75.4
001-4055-407-30-27	BOOK COURIER SERVICE	.00	.00	1,000.00	1,000.00	.0
001-4055-407-30-90	OTHER CONTRACTUAL SERVICES	.00	3,600.00	.00	(3,600.00)	.0
001-4055-407-32-01	JANITORIAL SERVICES	325.16	325.16	2,000.00	1,674.84	16.3
001-4055-407-40-00	TRAVEL & TRAINING	.00	100.00	2,500.00	2,400.00	4.0
001-4055-407-42-01	TELEPHONE	43.69	349.94	576.00	226.06	60.8
001-4055-407-42-03	POSTAGE	.00	162.72	1,050.00	887.28	15.5
001-4055-407-42-10	FIBER CHARGES	3,503.40	28,027.20	.00	(28,027.20)	.0
001-4055-407-43-01	ELECTRIC	2,449.72	9,536.56	17,510.00	7,973.44	54.5
001-4055-407-43-02	SEWER	45.00	313.00	567.00	254.00	55.2
001-4055-407-43-03	GAS	71.21	4,644.93	2,880.00	(1,764.93)	161.3
001-4055-407-43-04	REFUSE	135.60	1,084.80	1,449.00	364.20	74.9
001-4055-407-43-05	WATER	47.80	288.51	720.00	431.49	40.1
001-4055-407-45-10	OTHER OPERATING SUPPLIES	446.69	10,995.37	26,250.00	15,254.63	41.9
001-4055-407-45-19	BOOKS	2,525.76	24,159.30	35,280.00	11,120.70	68.5
001-4055-407-45-20	NON-PRINT MEDIA	177.55	1,463.42	4,520.00	3,056.58	32.4
001-4055-407-45-21	BOOK MAINT & SUPPLIES	212.10	878.31	3,500.00	2,621.69	25.1
001-4055-407-45-22	COPIER EXPENSE	474.87	4,279.83	10,000.00	5,720.17	42.8
001-4055-407-46-02	OTHER REPAIR & MAINT	314.37	1,953.09	8,400.00	6,446.91	23.3
001-4055-407-50-00	MEMBERSHIP & DUES	150.00	(424.01)	1,000.00	1,424.01	(42.4)
001-4055-407-51-00	PUBLICATION/SUBSCRIPTION	.00	1,771.29	10,000.00	8,228.71	17.7
001-4055-407-59-26	EVENTS AND OUTREACH	.00	5,321.11	12,000.00	6,678.89	44.3
001-4055-407-63-10	CAPITAL OUTLAY	96,584.00	279,065.18	200,000.00	(79,065.18)	139.5
001-4055-407-80-27	STATE GRANT-LIBRARY	.00	3,354.43	5,500.00	2,145.57	61.0
001-4055-407-80-30	MINOR LIBRARY GRANTS	.00	.00	2,500.00	2,500.00	.0
	TOTAL LIBRARY	147,156.05	709,616.39	916,186.00	206,569.61	77.5
	TOTAL GENERAL GOVERNMENT	349,490.62	6,211,521.29	7,307,607.00	1,096,085.71	85.0
	<u>GENERAL SERVICES</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GEN SERV - ADMINISTRATION</u>					
001-4116-406-10-01	REGULAR WAGES	8,710.40	74,038.40	104,012.00	29,973.60	71.2
001-4116-406-16-00	CITY RETIREMENT	435.52	3,701.92	4,822.00	1,120.08	76.8
001-4116-406-20-01	FICA/MEDICARE	656.94	5,588.69	7,347.00	1,758.31	76.1
001-4116-406-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.00	6,759.00	64.8
001-4116-406-21-05	DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4116-406-21-06	WORKMENS COMPENSATION	258.63	2,064.54	315.00	(1,749.54)	655.4
001-4116-406-21-07	UNEMPLOYMENT	17.42	148.07	276.00	127.93	53.7
001-4116-406-30-19	INSURANCE & BONDS	.00	3,439.86	4,568.00	1,128.14	75.3
001-4116-406-30-90	OTHER CONTRACTUAL SERVICES	.00	.00	7,000.00	7,000.00	.0
001-4116-406-40-00	TRAVEL & TRAINING	.00	2,848.19	2,500.00	(348.19)	113.9
001-4116-406-42-01	TELEPHONE	70.00	560.00	840.00	280.00	66.7
001-4116-406-44-00	OFFICE SUPPLIES	.00	.00	1,500.00	1,500.00	.0
001-4116-406-50-00	MEMBERSHIP & DUES	.00	575.00	.00	(575.00)	.0
001-4116-406-63-10	CAPITAL OUTLAY	.00	190,929.63	181,250.00	(9,679.63)	105.3
	TOTAL GEN SERV - ADMINISTRATION	11,774.91	296,902.30	334,477.00	37,574.70	88.8
	<u>BUILDING MAINTENANCE</u>					
001-4117-406-10-01	REGULAR WAGES	12,126.41	102,501.35	161,157.00	58,655.65	63.6
001-4117-406-16-00	CITY RETIREMENT	606.32	5,111.28	7,659.00	2,547.72	66.7
001-4117-406-20-01	FICA/MEDICARE	886.66	7,546.43	11,671.00	4,124.57	64.7
001-4117-406-21-01	HEALTH/LIFE INSURANCE	4,668.00	37,344.00	57,622.00	20,278.00	64.8
001-4117-406-21-05	DENTAL INSURANCE	210.00	1,680.00	2,520.00	840.00	66.7
001-4117-406-21-06	WORKMENS COMPENSATION	686.47	5,791.34	5,895.00	103.66	98.2
001-4117-406-21-07	UNEMPLOYMENT	24.24	204.92	437.00	232.08	46.9
001-4117-406-30-19	INSURANCE & BONDS	.00	3,725.03	5,245.00	1,519.97	71.0
001-4117-406-30-90	CONTRACT SERVICES-OTHER	713.27	713.27	2,000.00	1,286.73	35.7
001-4117-406-40-00	TRAVEL & TRAINING	.00	128.00	3,400.00	3,272.00	3.8
001-4117-406-42-01	TELEPHONE	210.00	1,560.00	3,360.00	1,800.00	46.4
001-4117-406-45-07	CLOTHING ALLOWANCE	.00	809.53	800.00	(9.53)	101.2
001-4117-406-45-10	OPERATING SUPPLIES-OTHER	388.05	10,716.29	14,600.00	3,883.71	73.4
001-4117-406-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	66.00	66.00	.0
	TOTAL BUILDING MAINTENANCE	20,519.42	177,831.44	276,432.00	98,600.56	64.3
	TOTAL G.S. CITY HALL OPERATIONS	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	CITY HALL ROGER SMITH AVE					
001-4119-406-30-15	BOILER INSPECTION	.00	.00	400.00	400.00	.0
001-4119-406-30-37	SOLAR LEASE	.00	39,691.00	40,000.00	309.00	99.2
001-4119-406-30-90	OTHER CONTRACTUAL SERVICES	.00	1,412.38	.00 (	1,412.38)	.0
001-4119-406-32-01	JANITORIAL SERVICES	4,600.00	18,400.00	30,800.00	12,400.00	59.7
001-4119-406-32-90	MAINT CONTRACTS-OTHER	228.49	1,788.94	10,000.00	8,211.06	17.9
001-4119-406-42-01	TELEPHONE	101.83	812.18	1,400.00	587.82	58.0
001-4119-406-42-03	POSTAGE	.00	3,397.42	8,000.00	4,602.58	42.5
001-4119-406-42-10	FIBER CHARGES	599.64	4,797.12	7,200.00	2,402.88	66.6
001-4119-406-43-01	ELECTRIC	1,742.14	10,350.80	6,000.00 (	4,350.80)	172.5
001-4119-406-43-02	SEWER	745.00	1,161.00	2,800.00	1,639.00	41.5
001-4119-406-43-03	GAS	467.28	10,493.89	5,830.00 (	4,663.89)	180.0
001-4119-406-43-04	REFUSE	235.40	1,840.75	2,150.00	309.25	85.6
001-4119-406-43-05	WATER	815.77	1,337.57	2,625.00	1,287.43	51.0
001-4119-406-44-00	OFFICE SUPPLIES	.00	310.88	1,300.00	989.12	23.9
001-4119-406-45-10	OPERATING SUPPLIES-OTHER	82.38	3,274.24	5,000.00	1,725.76	65.5
001-4119-406-45-22	COPIER EXPENSE	1,100.29	7,083.48	11,100.00	4,016.52	63.8
001-4119-406-46-02	OTHER REPAIR & MAINT	130.44	7,982.85	10,000.00	2,017.15	79.8
	TOTAL CITY HALL ROGER SMITH AVE	10,848.66	114,134.50	144,605.00	30,470.50	78.9
	WELCOME CENTER (CITY)					
001-4158-511-21-06	WORKMENS COMPENSATION	304.62	2,431.66	.00 (	2,431.66)	.0
001-4158-511-30-90	CONTRACT SERVICES-OTHER	5,333.77	23,707.76	40,372.00	16,664.24	58.7
001-4158-511-32-01	JANITORIAL SERVICES	1,700.00	13,600.00	20,900.00	7,300.00	65.1
001-4158-511-42-01	TELEPHONE	132.87	1,142.48	.00 (	1,142.48)	.0
001-4158-511-42-10	FIBER CHARGES	806.76	6,454.08	9,600.00	3,145.92	67.2
001-4158-511-43-01	ELECTRIC	695.82	4,032.52	5,500.00	1,467.48	73.3
001-4158-511-43-02	SEWER	45.00	313.00	480.00	167.00	65.2
001-4158-511-43-03	GAS	30.13	1,705.51	1,875.00	169.49	91.0
001-4158-511-43-04	REFUSE	94.80	758.40	1,260.00	501.60	60.2
001-4158-511-43-05	WATER	37.15	242.70	380.00	137.30	63.9
001-4158-511-45-10	OPERATING SUPPLIES-OTHER	269.38	862.47	.00 (	862.47)	.0
001-4158-511-45-22	COPIER EXPENSE	129.38	517.52	.00 (	517.52)	.0
001-4158-511-46-07	WELCOME CENTER REPAIRS	.00	97.61	4,500.00	4,402.39	2.2
	TOTAL WELCOME CENTER (CITY)	9,579.68	55,865.71	84,867.00	29,001.29	65.8
	TOTAL ALL 60	.00	.00	.00	.00	.0
	TOTAL GENERAL SERVICES	52,722.67	644,733.95	840,381.00	195,647.05	76.7
	PUBLIC SAFETY					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>POLICE ADMINISTRATION</u>					
001-4220-420-10-01	REGULAR WAGES	24,960.00	203,945.78	385,000.00	181,054.22	53.0
001-4220-420-11-01	OVERTIME	.00	.00	1,600.00	1,600.00	.0
001-4220-420-16-00	CITY RETIREMENT	1,248.00	9,695.07	15,662.00	5,966.93	61.9
001-4220-420-20-01	FICA/MEDICARE	816.19	6,309.97	11,022.00	4,712.03	57.3
001-4220-420-21-01	HEALTH/LIFE INSURANCE	4,679.00	38,911.00	74,688.00	35,777.00	52.1
001-4220-420-21-05	DENTAL INSURANCE	280.00	1,820.00	3,360.00	1,540.00	54.2
001-4220-420-21-06	WORKMENS COMPENSATION	500.68	3,996.72	7,110.00	3,113.28	56.2
001-4220-420-21-07	UNEMPLOYMENT	49.90	407.80	637.00	229.20	64.0
001-4220-420-22-01	ICMA POLICE	1,378.82	11,719.06	16,130.00	4,410.94	72.7
001-4220-420-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	5,000.00	5,000.00	.0
001-4220-420-30-19	INSURANCE & BONDS	.00	8,996.30	11,955.00	2,958.70	75.3
001-4220-420-30-90	CONTRACT SERVICES-OTHER	.00	10,827.73	35,748.00	24,920.27	30.3
001-4220-420-32-90	MAINT CONTRACTS-OTHER	.00	.00	85,000.00	85,000.00	.0
001-4220-420-40-00	TRAVEL/TRAINING	.00	2,826.85	9,500.00	6,673.15	29.8
001-4220-420-42-01	TELEPHONE	3,001.60	23,246.06	20,280.00	(2,966.06)	114.6
001-4220-420-45-07	CLOTHING ALLOWANCE	.00	80.00	2,200.00	2,120.00	3.6
001-4220-420-45-10	OPERATING SUPPLIES-OTHER	.00	1,999.91	4,000.00	2,000.09	50.0
001-4220-420-45-12	EQUITABLE SHARING	.00	10,508.16	42,620.00	32,111.84	24.7
001-4220-420-45-26	ACUTE CARE FACILITY	.00	.00	4,200.00	4,200.00	.0
001-4220-420-48-90	PRINTING-OTHER	.00	.00	200.00	200.00	.0
001-4220-420-49-03	ADVERTISING-OTHER	.00	.00	2,040.00	2,040.00	.0
001-4220-420-50-00	MEMBERSHIP & DUES	.00	1,205.66	2,835.00	1,629.34	42.5
001-4220-420-51-00	PUBLICATION/SUBSCRIPTION	.00	205.00	575.00	370.00	35.7
001-4220-420-63-10	CAPITAL OUTLAY	.00	.00	164,000.00	164,000.00	.0
	TOTAL POLICE ADMINISTRATION	36,914.19	336,701.07	905,362.00	568,660.93	37.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PATROL</u>					
001-4221-421-10-01	REGULAR WAGES	116,893.43	979,824.52	1,479,238.00	499,413.48 66.2
001-4221-421-10-10	EMPLOYEE INCENTIVES	91.25	91.25	.00 (91.25)	.0
001-4221-421-11-01	OVERTIME	2,468.57	23,958.20	68,250.00	44,291.80 35.1
001-4221-421-11-03	GRANT OVERTIME	4,602.87	12,801.72	42,000.00	29,198.28 30.5
001-4221-421-16-00	CITY RETIREMENT	5,840.12	48,015.84	70,440.00	22,424.16 68.2
001-4221-421-20-01	FICA/MEDICARE	2,388.91	19,801.79	21,141.00	1,339.21 93.7
001-4221-421-21-01	HEALTH/LIFE INSURANCE	37,355.00	301,875.00	466,200.00	164,325.00 64.8
001-4221-421-21-05	DENTAL INSURANCE	1,750.00	13,650.00	21,000.00	7,350.00 65.0
001-4221-421-21-06	WORKMENS COMPENSATION	4,411.33	35,775.25	40,500.00	4,724.75 88.3
001-4221-421-21-07	UNEMPLOYMENT	247.90	2,032.73	3,842.00	1,809.27 52.9
001-4221-421-22-01	ICMA POLICE	8,434.43	69,265.21	100,112.00	30,846.79 69.2
001-4221-421-30-19	INSURANCE & BONDS	.00	29,935.34	34,979.00	5,043.66 85.6
001-4221-421-30-34	EMPLOYEE LICENSES/TESTING	.00	190.00	4,000.00	3,810.00 4.8
001-4221-421-30-90	CONTRACT SERVICES	7,433.38	7,433.38	2,050.00 (5,383.38)	362.6
001-4221-421-30-95	ANIMAL IMPOUNDMENT	183.00	1,127.71	2,448.00	1,320.29 46.1
001-4221-421-32-90	MAINT CONTRACTS - OTHER	.00	902.52	2,000.00	1,097.48 45.1
001-4221-421-40-00	TRAVEL & TRAINING	225.00 (4,001.78)	22,440.00	26,441.78 (17.8)	
001-4221-421-45-07	CLOTHING ALLOWANCE	755.44	8,321.89	23,000.00	14,678.11 36.2
001-4221-421-45-10	OPERATING SUPPLIES-OTHER	39.08	3,249.14	14,500.00	11,250.86 22.4
001-4221-421-45-13	DARE TRAINING MATERIALS	.00	.00	3,500.00	3,500.00 .0
001-4221-421-45-15	AMMUNITION	.00	5,618.00	25,000.00	19,382.00 22.5
001-4221-421-46-02	OTHER REPAIR & MAINT	4,442.17	7,879.14	.00 (7,879.14)	.0
001-4221-421-50-00	MEMBERSHIP & DUES	250.00	250.00	125.00 (125.00)	200.0
001-4221-421-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	153.00	153.00 .0
<hr/>					
	TOTAL PATROL	197,811.88	1,567,996.85	2,446,918.00	878,921.15 64.1
<u>POLICE SUPPORT SERVICES</u>					
001-4222-422-10-01	REGULAR WAGES	14,651.21	110,336.01	157,128.00	46,791.99 70.2
001-4222-422-10-10	EMPLOYEE INCENTIVES	.00	91.25	.00 (91.25)	.0
001-4222-422-11-01	OVERTIME	.00	.00	1,575.00	1,575.00 .0
001-4222-422-16-00	CITY RETIREMENT	732.56	5,516.80	7,482.00	1,965.20 73.7
001-4222-422-20-01	FICA/MEDICARE	1,098.20	8,259.72	10,883.00	2,623.28 75.9
001-4222-422-21-01	HEALTH/LIFE INSURANCE	3,123.00	24,984.00	55,944.00	30,960.00 44.7
001-4222-422-21-05	DENTAL INSURANCE	140.00	1,120.00	2,520.00	1,400.00 44.4
001-4222-422-21-06	WORKMENS COMPENSATION	257.53	2,055.76	2,000.00 (55.76)	102.8
001-4222-422-21-07	UNEMPLOYMENT	29.31	220.70	408.00	187.30 54.1
001-4222-422-30-19	INSURANCE & BONDS	.00	42.10	55.00	12.90 76.6
001-4222-422-30-90	CONTRACT SERVICES-OTHER	.00	1,500.00	.00 (1,500.00)	.0
001-4222-422-40-00	TRAVEL/TRAINING	.00	66.06	3,250.00	3,183.94 2.0
001-4222-422-45-07	CLOTHING ALLOWANCE	.00	.00	510.00	510.00 .0
001-4222-422-45-10	OPERATING SUPPLIES-OTHER	.00	43.29	1,100.00	1,056.71 3.9
<hr/>					
	TOTAL POLICE SUPPORT SERVICES	20,031.81	154,235.69	242,855.00	88,619.31 63.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>POLICE INVESTIGATION</u>					
001-4223-423-10-01	REGULAR WAGES	33,374.40	316,262.13	462,434.00	146,171.87	68.4
001-4223-423-10-02	REIMBURSED WAGES	.00	(547.74)	.00	547.74	.0
001-4223-423-10-10	EMPLOYEE INCENTIVES	122.50	252.50	.00	(252.50)	.0
001-4223-423-11-01	OVERTIME	582.83	4,090.27	11,550.00	7,459.73	35.4
001-4223-423-11-03	GRANT OVERTIME	785.52	1,790.12	4,200.00	2,409.88	42.6
001-4223-423-16-00	CITY RETIREMENT	1,668.72	15,505.44	22,021.00	6,515.56	70.4
001-4223-423-20-01	FICA/MEDICARE	484.12	6,389.49	5,805.00	(584.49)	110.1
001-4223-423-21-01	HEALTH/LIFE INSURANCE	9,336.00	85,580.00	130,536.00	44,956.00	65.6
001-4223-423-21-05	DENTAL INSURANCE	420.00	3,850.00	5,880.00	2,030.00	65.5
001-4223-423-21-06	WORKMENS COMPENSATION	1,118.52	8,928.70	4,635.00	(4,293.70)	192.6
001-4223-423-21-07	UNEMPLOYMENT	69.48	644.19	1,201.00	556.81	53.6
001-4223-423-22-01	ICMA POLICE	2,669.96	22,509.43	32,030.00	9,520.57	70.3
001-4223-423-30-19	INSURANCE & BONDS	.00	410.95	270.00	(140.95)	152.2
001-4223-423-30-90	CONTRACT SERVICES-OTHER	75.00	4,394.60	2,125.00	(2,269.60)	206.8
001-4223-423-40-00	TRAVEL & TRAINING	300.00	1,147.08	10,000.00	8,852.92	11.5
001-4223-423-45-07	CLOTHING ALLOWANCE	167.62	1,968.55	3,000.00	1,031.45	65.6
001-4223-423-45-10	OPERATING SUPPLIES	177.66	1,474.62	2,500.00	1,025.38	59.0
001-4223-423-45-11	OPERATING EQUIPMENT	.00	18,962.00	2,500.00	(16,462.00)	758.5
001-4223-423-46-02	OTHER REPAIR & MAINT	.00	1,115.70	.00	(1,115.70)	.0
001-4223-423-49-03	ADVERTISING	.00	.00	250.00	250.00	.0
001-4223-423-50-00	MEMBERSHIP & DUES	.00	200.98	125.00	(75.98)	160.8
001-4223-423-51-00	PUBLICATION/SUBSCRIPTION	.00	792.29	780.00	(12.29)	101.6
001-4223-423-52-00	EQUIPMENT RENTALS	.00	.00	1,000.00	1,000.00	.0
	TOTAL POLICE INVESTIGATION	51,352.33	495,721.30	702,842.00	207,120.70	70.5
	<u>POLICE CORRECTIONS</u>					
001-4224-424-30-16	PRISONER CUSTODY	3,900.00	28,760.00	40,000.00	11,240.00	71.9
001-4224-424-30-90	CONTRACT SERVICES-OTHER	350.00	2,800.00	.00	(2,800.00)	.0
001-4224-424-40-02	PRISONER TRANSPORT	.00	(5,058.15)	400.00	5,458.15	(1264.
	TOTAL POLICE CORRECTIONS	4,250.00	26,501.85	40,400.00	13,898.15	65.6
	<u>BUILDING OPERATIONS</u>					
001-4225-425-32-01	JANITORIAL SERVICES	2,999.16	11,996.64	21,000.00	9,003.36	57.1
001-4225-425-32-02	OFFICE EQUIPMENT	.00	.00	6,000.00	6,000.00	.0
001-4225-425-32-90	MAINT CONTRACTS-OTHER	233.49	4,055.69	9,500.00	5,444.31	42.7
001-4225-425-42-01	TELEPHONE	.00	1,920.26	4,896.00	2,975.74	39.2
001-4225-425-42-03	POSTAGE	257.06	1,476.29	4,192.00	2,715.71	35.2
001-4225-425-42-10	FIBER CHARGES	1,136.52	9,092.16	.00	(9,092.16)	.0
001-4225-425-43-01	ELECTRIC	3,611.77	27,295.65	38,000.00	10,704.35	71.8
001-4225-425-43-02	SEWER	57.00	401.00	918.00	517.00	43.7
001-4225-425-43-03	GAS	76.57	2,854.09	3,100.00	245.91	92.1
001-4225-425-43-04	REFUSE	218.30	1,746.40	2,678.00	931.60	65.2
001-4225-425-43-05	WATER	47.80	408.36	700.00	291.64	58.3
001-4225-425-44-00	OFFICE SUPPLIES	.00	2,571.87	5,610.00	3,038.13	45.8
001-4225-425-45-10	OPERATING SUPPLIES	326.54	2,640.43	7,000.00	4,359.57	37.7
001-4225-425-45-22	COPIER EXPENSE	64.50	2,920.35	7,650.00	4,729.65	38.2
001-4225-425-46-02	OTHER REPAIR & MAINT	1,115.99	3,229.07	16,000.00	12,770.93	20.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL BUILDING OPERATIONS	10,144.70	72,608.26	127,244.00	54,635.74	57.1
<u>KENNEL OPERATIONS</u>					
001-4226-426-10-01 REGULAR WAGES	12,182.61	103,957.35	155,085.00	51,127.65	67.0
001-4226-426-11-01 REGULAR OVERTIME	.00	.00	1,050.00	1,050.00	.0
001-4226-426-16-00 CITY RETIREMENT	323.52	2,843.28	3,779.00	935.72	75.2
001-4226-426-20-01 FICA/MEDICARE	906.39	7,748.13	11,253.00	3,504.87	68.9
001-4226-426-21-01 HEALTH/LIFE INSURANCE	3,112.00	24,896.00	37,296.00	12,400.00	66.8
001-4226-426-21-05 DENTAL INSURANCE	140.00	1,120.00	1,680.00	560.00	66.7
001-4226-426-21-06 WORKMENS COMPENSATION	374.83	2,992.12	3,000.00	7.88	99.7
001-4226-426-21-07 UNEMPLOYMENT	24.36	207.89	422.00	214.11	49.3
001-4226-426-30-19 INSURANCE & BONDS	.00	1,044.75	1,387.00	342.25	75.3
001-4226-426-30-37 SOLAR LEASE	.00	3,579.00	.00	(3,579.00)	.0
001-4226-426-30-39 SPAY/NEUTER PROGRAM	1,200.00	7,762.92	15,000.00	7,237.08	51.8
001-4226-426-30-90 OTHER CONTRACTUAL SERVICES	156.49	1,120.95	2,000.00	879.05	56.1
001-4226-426-40-00 TRAVEL & TRAINING	.00	.00	2,000.00	2,000.00	.0
001-4226-426-42-01 TELEPHONE	.00	.00	490.00	490.00	.0
001-4226-426-42-10 FIBER CHARGES	650.20	5,201.60	.00	(5,201.60)	.0
001-4226-426-43-01 ELECTRIC	39.90	245.87	2,142.00	1,896.13	11.5
001-4226-426-43-02 SEWER	93.00	581.00	796.00	215.00	73.0
001-4226-426-43-03 GAS	.00	1,611.07	1,346.00	(265.07)	119.7
001-4226-426-43-04 REFUSE	54.00	432.00	653.00	221.00	66.2
001-4226-426-43-05 WATER	72.65	592.11	734.00	141.89	80.7
001-4226-426-44-00 OFFICE SUPPLIES	.00	136.74	.00	(136.74)	.0
001-4226-426-45-07 CLOTHING ALLOWANCE	.00	144.49	600.00	455.51	24.1
001-4226-426-45-10 OTHER OPERATING SUPPLIES	391.75	10,896.95	16,000.00	5,103.05	68.1
001-4226-426-46-02 OTHER REPAIR & MAINT	924.50	1,160.65	6,200.00	5,039.35	18.7
TOTAL KENNEL OPERATIONS	20,646.20	178,274.87	262,913.00	84,638.13	67.8
TOTAL PUBLIC SAFETY	341,151.11	2,832,039.89	4,728,534.00	1,896,494.11	59.9
<u>PUBLIC WORKS</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>P.W. ADMINISTRATION</u>					
001-4330-430-10-01	REGULAR WAGES	19,160.61	146,341.83	185,444.00	39,102.17	78.9
001-4330-430-11-01	OVERTIME	167.65	1,088.63	.00 (	1,088.63)	.0
001-4330-430-16-00	CITY RETIREMENT	902.48	6,594.93	8,831.00	2,236.07	74.7
001-4330-430-20-01	FICA/MEDICARE	1,446.48	11,026.09	13,456.00	2,429.91	81.9
001-4330-430-21-01	HEALTH/LIFE INSURANCE	3,895.50	29,619.00	74,592.00	44,973.00	39.7
001-4330-430-21-05	DENTAL INSURANCE	210.00	1,645.00	3,360.00	1,715.00	49.0
001-4330-430-21-06	WORKMENS COMPENSATION	705.41	5,631.01	3,825.00 (	1,806.01)	147.2
001-4330-430-21-07	UNEMPLOYMENT	38.69	294.92	505.00	210.08	58.4
001-4330-430-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	578.00	578.00	.0
001-4330-430-30-19	INSURANCE & BONDS	.00	8,074.57	11,566.00	3,491.43	69.8
001-4330-430-30-24	RECORDING	.00	.00	250.00	250.00	.0
001-4330-430-30-31	G.I.S. MAPPING	.00	4,643.54	6,500.00	1,856.46	71.4
001-4330-430-30-34	EMPLOYEE LICENSES/TESTING	.00	127.00	400.00	273.00	31.8
001-4330-430-30-90	CONTRACT SERVICES-OTHER	4,050.00	16,775.00	26,250.00	9,475.00	63.9
001-4330-430-40-00	TRAVEL & TRAINING	.00	3,400.58	20,000.00	16,599.42	17.0
001-4330-430-42-01	TELEPHONE	139.96	1,085.51	3,150.00	2,064.49	34.5
001-4330-430-44-00	OFFICE SUPPLIES	115.77	1,197.47	2,730.00	1,532.53	43.9
001-4330-430-45-07	CLOTHING ALLOWANCE	.00	1,600.34	1,470.00 (	130.34)	108.9
001-4330-430-45-12	SAFETY PROGRAM	67.92	1,400.90	3,150.00	1,749.10	44.5
001-4330-430-46-02	OTHER REPAIR & MAINT	.00	.00	105.00	105.00	.0
001-4330-430-49-03	ADVERTISING	.00	.00	2,100.00	2,100.00	.0
001-4330-430-50-00	MEMBERSHIP & DUES	.00	462.00	400.00 (	62.00)	115.5
001-4330-430-51-00	PUBLICATION/SUBSCRIPTION	.00	58.72	630.00	571.28	9.3
	 TOTAL P.W. ADMINISTRATION	 30,900.47	 241,067.04	 369,292.00	 128,224.96	 65.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STREETS & UTILITIES</u>					
001-4332-432-10-01	REGULAR WAGES	21,349.38	178,846.49	206,993.00	28,146.51	86.4
001-4332-432-10-10	EMPLOYEE INCENTIVES	289.50	289.50	.00	(289.50)	.0
001-4332-432-11-01	OVERTIME	76.16	6,411.76	.00	(6,411.76)	.0
001-4332-432-16-00	CITY RETIREMENT	1,042.03	8,633.12	10,350.00	1,716.88	83.4
001-4332-432-20-01	FICA/MEDICARE	1,584.13	13,698.28	15,772.00	2,073.72	86.9
001-4332-432-21-01	HEALTH/LIFE INSURANCE	8,558.00	62,138.36	74,592.00	12,453.64	83.3
001-4332-432-21-05	DENTAL INSURANCE	385.00	3,142.92	3,360.00	217.08	93.5
001-4332-432-21-06	WORKMENS COMPENSATION	2,298.97	18,351.76	10,000.00	(8,351.76)	183.5
001-4332-432-21-07	UNEMPLOYMENT	42.86	371.49	591.00	219.51	62.9
001-4332-432-30-11	SOLID WASTE DISPOSAL	1,176.00	3,018.40	10,000.00	6,981.60	30.2
001-4332-432-30-18	WEED CUTTING/SPRAYING	.00	1,403.21	8,200.00	6,796.79	17.1
001-4332-432-30-19	INSURANCE & BONDS	.00	16,793.64	5,437.00	(11,356.64)	308.9
001-4332-432-30-34	EMPLOYEE LICENSES/TESTING	.00	1,174.61	1,100.00	(74.61)	106.8
001-4332-432-30-90	OTHER CONTRACTUAL SERVICES	.00	4,880.00	3,000.00	(1,880.00)	162.7
001-4332-432-40-00	TRAVEL & TRAINING	.00	1,427.75	1,575.00	147.25	90.7
001-4332-432-42-01	TELEPHONE	408.09	2,918.87	4,410.00	1,491.13	66.2
001-4332-432-45-07	CLOTHING ALLOWANCE	.00	2,640.51	6,000.00	3,359.49	44.0
001-4332-432-45-10	OPERATING SUPPLIES	.00	966.47	4,000.00	3,033.53	24.2
001-4332-432-45-18	STREET REPAIR SUPPLIES	3,541.86	13,426.83	25,000.00	11,573.17	53.7
001-4332-432-46-02	OTHER REPAIR & MAINT	30.39	1,285.11	1,000.00	(285.11)	128.5
001-4332-432-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	200.00	200.00	.0
001-4332-432-52-00	EQUIPMENT RENTALS	.00	.00	200.00	200.00	.0
001-4332-432-59-19	CITY-WIDE CLEANUP	498.79	8,070.69	5,000.00	(3,070.69)	161.4
001-4332-432-62-06	CHRISTMAS DECORATIONS	.00	.00	5,000.00	5,000.00	.0
	TOTAL STREETS & UTILITIES	41,281.16	349,889.77	401,780.00	51,890.23	87.1
	<u>TRAFFIC SERVICES</u>					
001-4333-433-30-90	OTHER CONTRACTUAL SERVICES	1,000.00	46,736.97	46,000.00	(736.97)	101.6
001-4333-433-43-01	ELECTRIC	10,612.14	95,818.56	135,000.00	39,181.44	71.0
001-4333-433-45-02	SIGN SUPPLIES	24.98	8,560.78	15,500.00	6,939.22	55.2
001-4333-433-45-03	PAINT SUPPLIES	.00	7,840.87	15,000.00	7,159.13	52.3
001-4333-433-46-02	OTHER REPAIR & MAINT	.00	52.14	4,500.00	4,447.86	1.2
	TOTAL TRAFFIC SERVICES	11,637.12	159,009.32	216,000.00	56,990.68	73.6
	<u>SNOW & ICE REMOVAL</u>					
001-4334-434-11-01	OVERTIME	.00	520.80	.00	(520.80)	.0
001-4334-434-20-01	FICA/MEDICARE	.00	38.31	.00	(38.31)	.0
001-4334-434-21-01	HEALTH/LIFE INSURANCE	.00	156.64	.00	(156.64)	.0
001-4334-434-21-05	DENTAL INSURANCE	.00	7.08	.00	(7.08)	.0
001-4334-434-30-19	INSURANCE & BONDS	.00	.00	27,941.00	27,941.00	.0
001-4334-434-30-34	SNOW REMOVAL	.00	.00	200.00	200.00	.0
001-4334-434-30-90	CONTRACTUAL SERVICES	.00	158.30	10,000.00	9,841.70	1.6
001-4334-434-45-10	OPERATING SUPPLIES	.00	21,329.75	30,000.00	8,670.25	71.1
	TOTAL SNOW & ICE REMOVAL	.00	22,210.88	68,141.00	45,930.12	32.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STREET CLEANING</u>					
001-4335-435-10-01	REGULAR WAGES	7,222.40	56,951.60	109,123.00	52,171.40	52.2
001-4335-435-11-01	OVERTIME	.00	968.63	1,575.00	606.37	61.5
001-4335-435-16-00	CITY RETIREMENT	361.12	2,844.58	5,196.00	2,351.42	54.8
001-4335-435-20-01	FICA/MEDICARE	530.89	4,319.37	7,918.00	3,598.63	54.6
001-4335-435-21-01	HEALTH INSURANCE PREMIUM	3,112.00	20,228.00	37,296.00	17,068.00	54.2
001-4335-435-21-05	DENTAL INSURANCE	140.00	910.00	1,680.00	770.00	54.2
001-4335-435-21-06	WORKMENS COMPENSATION	591.32	4,720.28	5,544.00	823.72	85.1
001-4335-435-21-07	UNEMPLOYMENT	24.16	179.94	297.00	117.06	60.6
001-4335-435-30-19	INSURANCE & BONDS	.00	808.19	2,590.00	1,781.81	31.2
001-4335-435-30-34	EMPLOYEE LICENSES/TESTING	.00	142.86	368.00	225.14	38.8
001-4335-435-45-07	CLOTHING ALLOWANCE	.00	544.94	630.00	85.06	86.5
001-4335-435-45-10	OPERATING SUPPLIES	4,662.00	4,662.00	10,000.00	5,338.00	46.6
	TOTAL STREET CLEANING	16,643.89	97,280.39	182,217.00	84,936.61	53.4
	TOTAL PUBLIC WORKS	100,462.64	869,457.40	1,237,430.00	367,972.60	70.3
	<u>PARKS & RECREATION</u>					
	<u>ADMINISTRATION</u>					
001-4550-459-10-01	REGULAR WAGES	8,710.40	78,241.60	109,187.00	30,945.40	71.7
001-4550-459-16-00	CITY RETIREMENT	435.52	3,912.08	6,000.00	2,087.92	65.2
001-4550-459-20-01	FICA/MEDICARE	648.03	5,838.96	6,117.00	278.04	95.5
001-4550-459-21-01	HEALTH/LIFE INSURANCE	1,556.00	12,448.00	19,207.00	6,759.00	64.8
001-4550-459-21-05	DENTAL INSURANCE	70.00	560.00	840.00	280.00	66.7
001-4550-459-21-06	WORKMENS COMPENSATION	292.38	2,333.95	1,000.00	1,333.95	233.4
001-4550-459-21-07	UNEMPLOYMENT	17.42	156.48	229.00	72.52	68.3
001-4550-459-30-19	INSURANCE & BONDS	.00	101.17	115.00	13.83	88.0
001-4550-459-30-90	CONTRACT SERVICES-OTHER	.00	18.50	105,000.00	104,981.50	.0
001-4550-459-40-00	TRAVEL & TRAINING	.00	128.00	4,500.00	4,372.00	2.8
001-4550-459-42-01	TELEPHONE	.00	.00	840.00	840.00	.0
001-4550-459-44-00	OFFICE SUPPLIES	.00	33.59	250.00	216.41	13.4
001-4550-459-45-07	CLOTHING ALLOWANCE	.00	.00	400.00	400.00	.0
001-4550-459-45-10	OPERATING SUPPLIES-OTHER	.00	.00	500.00	500.00	.0
001-4550-459-48-00	PRINTING	.00	.00	300.00	300.00	.0
001-4550-459-50-00	MEMBERSHIP & DUES	.00	945.00	2,425.00	1,480.00	39.0
001-4550-459-53-00	CONTRIBUTIONS	.00	.00	15,000.00	15,000.00	.0
	TOTAL ADMINISTRATION	11,729.75	104,717.33	271,910.00	167,192.67	38.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>AQUATICS</u>					
001-4551-451-10-01	REGULAR WAGES	23,109.81	106,596.18	173,000.00	66,403.82	61.6
001-4551-451-11-01	OVERTIME	1,982.74	9,384.72	4,000.00	(5,384.72)	234.6
001-4551-451-16-00	CITY RETIREMENT	144.92	1,266.39	1,400.00	133.61	90.5
001-4551-451-20-01	FICA/MEDICARE	1,917.80	8,858.16	9,500.00	641.84	93.2
001-4551-451-21-01	HEALTH/LIFE INSURANCE	626.15	5,012.19	7,683.00	2,670.81	65.2
001-4551-451-21-05	DENTAL INSURANCE	44.62	409.11	450.00	40.89	90.9
001-4551-451-21-06	WORKMENS COMPENSATION	275.88	2,202.24	2,950.00	747.76	74.7
001-4551-451-21-07	UNEMPLOYMENT	50.18	232.00	330.00	98.00	70.3
001-4551-451-30-19	INSURANCE & BONDS	.00	3,953.50	4,929.00	975.50	80.2
001-4551-451-30-90	CONTRACT SERVICES - OTHER	462.29	7,013.13	954.00	(6,059.13)	735.1
001-4551-451-40-00	TRAVEL & TRAINING	192.00	444.00	2,000.00	1,556.00	22.2
001-4551-451-42-01	TELEPHONE	49.34	419.14	600.00	180.86	69.9
001-4551-451-42-10	FIBER CHARGES	323.80	2,590.40	3,000.00	409.60	86.4
001-4551-451-43-01	ELECTRIC	2,266.46	9,608.09	10,000.00	391.91	96.1
001-4551-451-43-02	SEWER	189.00	469.00	1,200.00	731.00	39.1
001-4551-451-43-03	GAS	865.58	4,463.24	6,500.00	2,036.76	68.7
001-4551-451-43-04	REFUSE	161.40	1,262.10	2,000.00	737.90	63.1
001-4551-451-43-05	WATER	86.52	187.46	250.00	62.54	75.0
001-4551-451-44-00	OFFICE SUPPLIES	.00	350.26	1,000.00	649.74	35.0
001-4551-451-45-02	SIGN & PAINT SUPPLIES	.00	1,019.28	1,200.00	180.72	84.9
001-4551-451-45-06	CHEMICALS & LAB	855.46	13,677.15	12,000.00	(1,677.15)	114.0
001-4551-451-45-07	CLOTHING ALLOWANCE	.00	2,360.96	1,500.00	(860.96)	157.4
001-4551-451-45-10	OPERATING SUPPLIES-OTHER	(400.00)	8,194.61	6,200.00	(1,994.61)	132.2
001-4551-451-45-23	CONCESSION	516.57	6,954.79	5,000.00	(1,954.79)	139.1
001-4551-451-46-02	OTHER REPAIR & MAINT	252.66	13,195.12	246,500.00	233,304.88	5.4
001-4551-451-48-90	PRINTING-OTHER	.00	550.00	1,000.00	450.00	55.0
001-4551-451-49-03	ADVERTISING-OTHER	60.78	110.78	500.00	389.22	22.2
	TOTAL AQUATICS	34,033.96	210,784.00	505,646.00	294,862.00	41.7
	<u>GOLF COURSE ADMIN</u>					
001-4552-452-30-05	GOLF PRO SERVICES	.00	18,000.00	41,500.00	23,500.00	43.4
001-4552-452-30-07	CREDIT CARD CHARGES	1,401.73	7,563.95	6,500.00	(1,063.95)	116.4
001-4552-452-30-19	INSURANCE & BONDS	.00	1,548.84	1,904.00	355.16	81.4
001-4552-452-32-90	MAINT CONTRACTS-OTHER	446.52	1,718.74	1,064.00	(654.74)	161.5
001-4552-452-42-01	TELEPHONE	.00	.00	850.00	850.00	.0
001-4552-452-43-01	ELECTRIC	.00	414.28	.00	(414.28)	.0
001-4552-452-43-02	SEWER	141.00	569.00	900.00	331.00	63.2
001-4552-452-43-04	REFUSE	235.40	1,840.75	1,800.00	(40.75)	102.3
001-4552-452-43-05	WATER	136.55	646.04	750.00	103.96	86.1
001-4552-452-45-10	OPERATING SUPPLIES-OTHER	12.00	12.00	1,000.00	988.00	1.2
001-4552-452-46-02	OTHER REPAIR & MAINT	653.75	1,108.43	3,500.00	2,391.57	31.7
001-4552-452-48-90	PRINTING-OTHER	.00	197.00	500.00	303.00	39.4
001-4552-452-49-03	ADVERTISING-OTHER	.00	.00	5,000.00	5,000.00	.0
	TOTAL GOLF COURSE ADMIN	3,026.95	33,619.03	65,268.00	31,648.97	51.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GOLF COURSE MAINTENANCE</u>					
001-4553-453-10-01	REGULAR WAGES	22,013.39	135,388.88	245,000.00	109,611.12 55.3
001-4553-453-10-10	EMPLOYEE INCENTIVES	.00	.00	400.00	400.00 .0
001-4553-453-11-01	OVERTIME	484.84	2,396.26	1,500.00	(896.26) 159.8
001-4553-453-16-00	CITY RETIREMENT	565.68	4,332.28	7,464.00	3,131.72 58.0
001-4553-453-20-01	FICA/MEDICARE	1,682.31	10,269.78	16,402.00	6,132.22 62.6
001-4553-453-21-01	HEALTH/LIFE INSURANCE	4,668.00	29,575.00	57,622.00	28,047.00 51.3
001-4553-453-21-05	DENTAL INSURANCE	210.00	1,400.00	2,520.00	1,120.00 55.6
001-4553-453-21-06	WORKMENS COMPENSATION	472.17	3,769.16	5,850.00	2,080.84 64.4
001-4553-453-21-07	UNEMPLOYMENT	44.98	275.52	615.00	339.48 44.8
001-4553-453-30-19	INSURANCE & BONDS	.00	1,427.72	2,057.00	629.28 69.4
001-4553-453-30-26	MVI IRRIGATION WATER	3,850.00	8,055.36	30,205.00	22,149.64 26.7
001-4553-453-30-34	EMPLOYEE LICENSES/TESTING	.00	1,007.43	1,050.00	42.57 96.0
001-4553-453-30-37	G.C. MAINTENANCE - SOLAR LEASE	.00	3,913.00	3,913.00	.00 100.0
001-4553-453-30-90	CONTRACT SERVICES-OTHER	.00	12,543.77	750.00	(11,793.77) 1672.5
001-4553-453-32-90	MAINT CONTRACTS - OTHER	243.50	2,131.93	9,970.00	7,838.07 21.4
001-4553-453-40-00	TRAVEL & TRAINING	.00	1,979.38	5,500.00	3,520.62 36.0
001-4553-453-42-01	TELEPHONE	158.22	1,265.76	2,825.00	1,559.24 44.8
001-4553-453-42-10	FIBER CHARGES	563.80	4,510.40	6,766.00	2,255.60 66.7
001-4553-453-43-01	ELECTRIC	2,426.41	11,255.85	19,550.00	8,294.15 57.6
001-4553-453-43-02	SEWER	45.00	313.00	444.00	131.00 70.5
001-4553-453-43-03	GAS	34.95	868.09	700.00	(168.09) 124.0
001-4553-453-43-04	REFUSE	235.40	1,840.75	3,000.00	1,159.25 61.4
001-4553-453-43-05	WATER	47.80	256.90	3,500.00	3,243.10 7.3
001-4553-453-45-01	PLANTS & TREES	.00	.00	2,000.00	2,000.00 .0
001-4553-453-45-02	SIGN & PAINT SUPPLIES	.00	.00	500.00	500.00 .0
001-4553-453-45-06	CHEMICALS & LAB	380.00	3,718.00	28,000.00	24,282.00 13.3
001-4553-453-45-07	CLOTHING ALLOWANCE	.00	308.16	2,000.00	1,691.84 15.4
001-4553-453-45-10	OPERATING SUPPLIES-OTHER	1,327.78	11,038.82	30,000.00	18,961.18 36.8
001-4553-453-45-16	VEH REPAIR & MAINTENANCE	1,828.53	8,610.32	13,000.00	4,389.68 66.2
001-4553-453-46-02	OTHER REPAIR & MAINT	.00	2,821.14	35,500.00	32,678.86 8.0
001-4553-453-47-02	FUEL	3,164.82	12,421.62	.00	(12,421.62) .0
001-4553-453-49-03	ADVERTISING-OTHER	.00	.00	250.00	250.00 .0
001-4553-453-50-00	MEMBERSHIP & DUES	.00	.00	1,000.00	1,000.00 .0
TOTAL GOLF COURSE MAINTENANCE		44,447.58	277,694.28	539,853.00	262,158.72 51.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	CITY PARKS					
001-4554-454-10-01	REGULAR WAGES	30,450.75	188,798.58	385,100.00	196,301.42	49.0
001-4554-454-10-10	EMPLOYEE INCENTIVES	198.25	198.25	.00	(198.25)	.0
001-4554-454-11-01	REGULAR OVERTIME	1,840.34	5,754.13	3,500.00	(2,254.13)	164.4
001-4554-454-16-00	CITY RETIREMENT	779.28	5,262.38	8,479.00	3,216.62	62.1
001-4554-454-20-01	FICA/MEDICARE	2,426.25	14,604.36	21,000.00	6,395.64	69.5
001-4554-454-21-01	HEALTH/LIFE INSURANCE	6,224.00	32,698.00	80,000.00	47,302.00	40.9
001-4554-454-21-05	DENTAL INSURANCE	280.00	1,610.00	2,200.00	590.00	73.2
001-4554-454-21-06	WORKMENS COMPENSATION	740.63	5,912.17	7,800.00	1,887.83	75.8
001-4554-454-21-07	UNEMPLOYMENT	54.87	324.92	800.00	475.08	40.6
001-4554-454-30-19	INSURANCE & BONDS	.00	6,339.81	8,500.00	2,160.19	74.6
001-4554-454-30-26	MVI IRRIGATION WATER	.00	3,352.64	30,000.00	26,647.36	11.2
001-4554-454-30-34	EMPLOYEE LICENSES/TESTING	.00	1,129.79	775.00	(354.79)	145.8
001-4554-454-30-90	CONTRACT SERVICES-OTHER	1,972.00	27,763.53	9,000.00	(18,763.53)	308.5
001-4554-454-32-90	MAINT CONTRACTS - OTHER	8,783.70	53,415.57	26,400.00	(27,015.57)	202.3
001-4554-454-40-00	TRAVEL & TRAINING	1,000.00	3,618.22	7,500.00	3,881.78	48.2
001-4554-454-42-01	TELEPHONE	83.22	1,181.39	3,531.00	2,349.61	33.5
001-4554-454-42-10	FIBER CHARGES	386.68	3,093.44	4,640.00	1,546.56	66.7
001-4554-454-43-01	ELECTRIC	4,413.81	20,865.05	35,000.00	14,134.95	59.6
001-4554-454-43-02	SEWER	351.00	2,315.00	4,500.00	2,185.00	51.4
001-4554-454-43-03	GAS	36.21	1,317.85	1,500.00	182.15	87.9
001-4554-454-43-04	REFUSE	1,810.15	11,471.35	14,000.00	2,528.65	81.9
001-4554-454-43-05	WATER	3,824.54	14,222.02	40,000.00	25,777.98	35.6
001-4554-454-45-01	PLANTS & TREES	.00	6,869.08	3,000.00	(3,869.08)	229.0
001-4554-454-45-02	SIGN & PAINT SUPPLIES	.00	1,106.18	5,000.00	3,893.82	22.1
001-4554-454-45-06	CHEMICALS & LAB	.00	695.12	12,000.00	11,304.88	5.8
001-4554-454-45-07	CLOTHING ALLOWANCE	.00	399.33	2,500.00	2,100.67	16.0
001-4554-454-45-10	OPERATING SUPPLIES-OTHER	5,736.25	35,055.60	39,000.00	3,944.40	89.9
001-4554-454-45-16	VEH REPAIR & MAINTENANCE	.00	2,934.97	12,000.00	9,065.03	24.5
001-4554-454-46-02	OTHER REPAIR & MAINT	755.12	29,231.75	47,500.00	18,268.25	61.5
001-4554-454-49-03	ADVERTISING-OTHER	.00	64.62	250.00	185.38	25.9
001-4554-454-50-00	MEMBERSHIP & DUES	.00	.00	300.00	300.00	.0
001-4554-454-52-00	EQUIPMENT RENTALS	.00	.00	1,500.00	1,500.00	.0
001-4554-454-62-07	L.TAX BEAUTIFICATION	1,039.75	5,370.89	36,750.00	31,379.11	14.6
001-4554-454-63-10	CAPITAL OUTLAY	.00	40.86	200,000.00	199,959.14	.0
	TOTAL CITY PARKS	73,186.80	487,016.85	1,054,025.00	567,008.15	46.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>RECREATION</u>					
001-4555-455-10-01	REGULAR WAGES	22,004.50	89,753.47	163,300.00	73,546.53	55.0
001-4555-455-10-10	EMPLOYEE INCENTIVES	53.50	192.00	.00	(192.00)	.0
001-4555-455-11-01	OVERTIME	857.25	1,760.97	1,050.00	(710.97)	167.7
001-4555-455-16-00	CITY RETIREMENT	298.99	977.78	1,987.00	1,009.22	49.2
001-4555-455-20-01	FICA/MEDICARE	1,744.93	6,989.70	8,040.00	1,050.30	86.9
001-4555-455-21-01	HEALTH/LIFE INSURANCE	1,567.00	4,701.00	29,197.00	24,496.00	16.1
001-4555-455-21-05	DENTAL INSURANCE	70.00	280.00	840.00	560.00	33.3
001-4555-455-21-06	WORKMENS COMPENSATION	304.22	2,428.46	2,000.00	(428.46)	121.4
001-4555-455-21-07	UNEMPLOYMENT	45.70	183.03	302.00	118.97	60.6
001-4555-455-30-19	INSURANCE & BONDS	.00	1,730.82	2,401.00	670.18	72.1
001-4555-455-30-55	FACILITY USE	.00	.00	1,000.00	1,000.00	.0
001-4555-455-30-90	CONTRACT SERVICES-OTHER	1,509.85	4,807.20	17,000.00	12,192.80	28.3
001-4555-455-40-00	TRAVEL & TRAINING	.00	1,072.00	4,500.00	3,428.00	23.8
001-4555-455-42-01	TELEPHONE	140.00	350.00	840.00	490.00	41.7
001-4555-455-44-00	OFFICE SUPPLIES	.00	25.98	250.00	224.02	10.4
001-4555-455-45-07	CLOTHING ALLOWANCE	.00	60.00	1,500.00	1,440.00	4.0
001-4555-455-45-10	OPERATING SUPPLIES-OTHER	.00	9,726.20	13,000.00	3,273.80	74.8
001-4555-455-46-02	OTHER REPAIR & MAINT	.00	20.98	800.00	779.02	2.6
001-4555-455-49-03	ADVERTISING-OTHER	.00	.00	1,500.00	1,500.00	.0
001-4555-455-50-00	MEMBERSHIP & DUES	.00	460.89	450.00	(10.89)	102.4
001-4555-455-51-00	PUBLICATION/SUBSCRIPTION	.00	460.00	.00	(460.00)	.0
001-4555-455-55-00	SPECIAL EVENTS	.00	261.00	3,000.00	2,739.00	8.7
	TOTAL RECREATION	28,595.94	126,241.48	252,957.00	126,715.52	49.9
	TOTAL ALL 56	.00	.00	.00	.00	.0
	TOTAL CAPITAL PROJECTS	.00	.00	.00	.00	.0
	TOTAL PARKS & RECREATION	195,020.98	1,240,072.97	2,689,659.00	1,449,586.03	46.1
	<u>PLANNING & ZONING DEPT</u>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>PLANNING & ZONING DEPT</u>					
001-4661-409-10-01	REGULAR WAGES	27,570.71	183,899.39	321,670.00	137,770.61	57.2
001-4661-409-10-10	EMPLOYEE INCENTIVES	.00	53.50	.00	(53.50)	.0
001-4661-409-11-01	OVERTIME	.00	.00	1,050.00	1,050.00	.0
001-4661-409-16-00	CITY RETIREMENT	1,378.54	8,949.42	12,886.00	3,936.58	69.5
001-4661-409-20-01	FICA/MEDICARE	2,050.18	13,688.80	20,511.00	6,822.20	66.7
001-4661-409-21-01	HEALTH/LIFE INSURANCE	7,013.00	41,338.50	93,240.00	51,901.50	44.3
001-4661-409-21-05	DENTAL INSURANCE	315.00	1,960.00	4,200.00	2,240.00	46.7
001-4661-409-21-06	WORKMENS COMPENSATION	553.31	4,416.86	4,725.00	308.14	93.5
001-4661-409-21-07	UNEMPLOYMENT	55.13	367.80	769.00	401.20	47.8
001-4661-409-30-03	ABATEMENT/DANGEROUS BLDGS	.00	.00	5,000.00	5,000.00	.0
001-4661-409-30-04	COMPUTER/SOFTWARE SERVICES	.00	.00	15,200.00	15,200.00	.0
001-4661-409-30-19	INSURANCE & BONDS	.00	1,632.38	2,200.00	567.62	74.2
001-4661-409-30-24	RECORDING	.00	189.16	750.00	560.84	25.2
001-4661-409-30-34	EMPLOYEE LICENSES/TESTING	.00	.00	750.00	750.00	.0
001-4661-409-30-90	CONTRACT SERVICES-OTHER	.00	101,478.76	247,020.00	145,541.24	41.1
001-4661-409-40-00	TRAVEL & TRAINING	32.00	8,525.61	14,350.00	5,824.39	59.4
001-4661-409-42-01	TELEPHONE	186.20	1,696.12	4,000.00	2,303.88	42.4
001-4661-409-44-00	OFFICE SUPPLIES	442.27	533.78	2,500.00	1,966.22	21.4
001-4661-409-45-07	CLOTHING ALLOWANCE	.00	169.45	1,000.00	830.55	17.0
001-4661-409-45-10	OPERATING SUPPLIES	.00	1,015.00	2,000.00	985.00	50.8
001-4661-409-45-33	PUBLIC OUTREACH	258.78	847.75	1,200.00	352.25	70.7
001-4661-409-49-03	ADVERTISING	68.34	2,090.19	3,200.00	1,109.81	65.3
001-4661-409-49-05	LAND USE CODE REVISIONS	.00	.00	5,600.00	5,600.00	.0
001-4661-409-49-06	BUILDING CODE	.00	.00	750.00	750.00	.0
001-4661-409-50-00	MEMBERSHIP & DUES	.00	1,100.00	1,950.00	850.00	56.4
001-4661-409-51-00	PUBLICATION/SUBSCRIPTION	.00	319.78	500.00	180.22	64.0
	TOTAL PLANNING & ZONING DEPT	39,923.46	374,272.25	767,021.00	392,748.75	48.8
	TOTAL PLANNING & ZONING DEPT	39,923.46	374,272.25	767,021.00	392,748.75	48.8
	<u>CITYWIDE OPERATIONS</u>					
	<u>INTERNAL OPERATION EXP</u>					
001-9899-989-46-08	EQUIPMENT REPAIR-INTERNAL	9,926.02	108,491.57	.00	(108,491.57)	.0
001-9899-989-46-09	FLEET FUEL COSTS	20,059.80	120,076.24	.00	(120,076.24)	.0
001-9899-989-90-12	DISPATCH SERVICES	.00	327,214.00	.00	(327,214.00)	.0
	TOTAL INTERNAL OPERATION EXP	29,985.82	555,781.81	.00	(555,781.81)	.0
	TOTAL CITYWIDE OPERATIONS	29,985.82	555,781.81	.00	(555,781.81)	.0
	TOTAL FUND EXPENDITURES	1,108,757.30	12,727,879.56	17,570,632.00	4,842,752.44	72.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
NET REVENUE OVER EXPENDITURES	821,552.62	(1,935,808.89)	1,000,402.00	2,936,210.89	(193.5)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

LODGERS TAX FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
005-0000-311-12-03	LODGERS TAX	30,483.40	158,821.78	245,000.00	86,178.22	64.8
	TOTAL TAXES	30,483.40	158,821.78	245,000.00	86,178.22	64.8
	TOTAL FUND REVENUE	30,483.40	158,821.78	245,000.00	86,178.22	64.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

LODGERS TAX FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>GENERAL GOVERNMENT</u>					
	<u>CITY COUNCIL</u>					
005-4010-400-30-07	CREDIT CARD CHARGES	16.33	82.67	324.00	241.33	25.5
005-4010-400-30-12	MV COUNTRY-TOURISM CONTRACT	53,312.63	185,169.54	195,676.00	10,506.46	94.6
005-4010-400-90-01	GENERAL FUND - BEAUTIFICATION	.00	.00	36,750.00	36,750.00	.0
005-4010-400-90-10	TRANSFER TO GENERAL FUND	.00	.00	12,250.00	12,250.00	.0
	TOTAL CITY COUNCIL	53,328.96	185,252.21	245,000.00	59,747.79	75.6
	TOTAL GENERAL GOVERNMENT	53,328.96	185,252.21	245,000.00	59,747.79	75.6
	TOTAL FUND EXPENDITURES	53,328.96	185,252.21	245,000.00	59,747.79	75.6
	NET REVENUE OVER EXPENDITURES	(22,845.56)	(26,430.43)	.00	26,430.43	.0

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

SHOP FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>REVENUE</u>					
101-0000-367-39-00	SALES TO OTHER FUNDS	28,384.58	196,384.63	218,564.00	22,179.37	89.9
101-0000-367-39-01	SALES TO OTHER FUNDS - REPAIRS	18,099.48	188,850.30	294,631.00	105,780.70	64.1
101-0000-367-40-00	BUILDING OVERHEAD	.00	.00	5,120.00	5,120.00	.0
	TOTAL REVENUE	46,484.06	385,234.93	518,315.00	133,080.07	74.3
	TOTAL FUND REVENUE	46,484.06	385,234.93	518,315.00	133,080.07	74.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

SHOP FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL SERVICES</u>						
<u>SHOP</u>						
101-4110-616-10-01	REGULAR WAGES	22,880.00	197,558.43	272,293.00	74,734.57	72.6
101-4110-616-10-10	EMPLOYEE INCENTIVES	53.50	160.50	.00 (	160.50)	.0
101-4110-616-16-00	CITY RETIREMENT	1,144.00	9,877.92	13,615.00	3,737.08	72.6
101-4110-616-20-01	FICA/MEDICARE	1,681.73	14,555.65	21,074.00	6,518.35	69.1
101-4110-616-21-01	HEALTH/LIFE INSURANCE	7,780.00	62,240.00	92,700.00	30,460.00	67.1
101-4110-616-21-05	DENTAL INSURANCE	350.00	2,800.00	4,200.00	1,400.00	66.7
101-4110-616-21-06	WORKMENS COMPENSATION	945.39	7,546.68	7,080.00 (	466.68)	106.6
101-4110-616-21-07	UNEMPLOYMENT	45.74	395.03	817.00	421.97	48.4
101-4110-616-30-04	COMPUTER/SOFTWARE SERVICES	.00	4,350.00	5,000.00	650.00	87.0
101-4110-616-30-19	INSURANCE & BONDS	.00	4,133.36	775.00 (	3,358.36)	533.3
101-4110-616-30-34	EMPLOYEE LICENSES/TESTING	.00	354.93	500.00	145.07	71.0
101-4110-616-30-90	CONTRACT SERVICES-OTHER	.00	2,652.79	7,500.00	4,847.21	35.4
101-4110-616-32-90	MAINT CONTRACTS-OTHER	.00	3,029.92	9,000.00	5,970.08	33.7
101-4110-616-40-00	TRAVEL & TRAINING	.00	2,128.00	6,000.00	3,872.00	35.5
101-4110-616-42-01	TELEPHONE	30.00	240.00	1,080.00	840.00	22.2
101-4110-616-44-00	OFFICE SUPPLIES	.00	113.31	500.00	386.69	22.7
101-4110-616-45-04	OIL	1,245.20	8,695.73	18,000.00	9,304.27	48.3
101-4110-616-45-05	TIRES	702.27	8,978.13	38,000.00	29,021.87	23.6
101-4110-616-45-07	CLOTHING ALLOWANCE	.00	.00	2,500.00	2,500.00	.0
101-4110-616-45-10	OPERATING SUPPLIES-OTHER	125.93	2,234.18	5,000.00	2,765.82	44.7
101-4110-616-45-16	VEH REPAIR & MAINTENANCE	4,085.58	53,178.81	121,000.00	67,821.19	44.0
101-4110-616-46-02	OTHER REPAIR & MAINT	.00	7,883.32	16,500.00	8,616.68	47.8
101-4110-616-47-02	FUEL & OIL	15,640.33	129,981.97	245,000.00	115,018.03	53.1
101-4110-616-90-01	GENERAL FUND	.00	.00	44,377.00	44,377.00	.0
101-4110-617-32-01	JANITORIAL SERVICES	1,950.00	15,600.00	25,740.00	10,140.00	60.6
101-4110-617-32-90	MAINT CONTRACTS-OTHER	222.49	5,070.00	7,500.00	2,430.00	67.6
101-4110-617-42-01	TELEPHONE	94.56	757.32	1,200.00	442.68	63.1
101-4110-617-42-03	POSTAGE	125.98	1,262.14	3,000.00	1,737.86	42.1
101-4110-617-42-10	FIBER CHARGES	256.00	2,048.00	3,072.00	1,024.00	66.7
101-4110-617-43-01	ELECTRIC	3,469.98	25,470.34	43,000.00	17,529.66	59.2
101-4110-617-43-02	SEWER	122.00	762.00	1,675.00	913.00	45.5
101-4110-617-43-03	GAS	117.85	12,626.86	10,500.00 (	2,126.86)	120.3
101-4110-617-43-04	REFUSE	380.65	2,976.55	4,100.00	1,123.45	72.6
101-4110-617-43-05	WATER	593.61	2,647.88	2,258.00 (	389.88)	117.3
101-4110-617-44-00	OFFICE SUPPLIES	.00	940.99	1,000.00	59.01	94.1
101-4110-617-45-10	OPERATING SUPPLIES	247.01	3,158.35	5,000.00	1,841.65	63.2
101-4110-617-45-22	COPIER EXPENSE	822.26	5,891.01	9,000.00	3,108.99	65.5
101-4110-617-46-02	OTHER REPAIR & MAINT	.00	1,186.83	6,000.00	4,813.17	19.8
101-4110-618-32-90	MAINT CONTRACTS-OTHER	.00	.00	1,000.00	1,000.00	.0
TOTAL SHOP		65,112.06	603,486.93	1,056,556.00	453,069.07	57.1
TOTAL GENERAL SERVICES		65,112.06	603,486.93	1,056,556.00	453,069.07	57.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

SHOP FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL FUND EXPENDITURES	65,112.06	603,486.93	1,056,556.00	453,069.07	57.1
NET REVENUE OVER EXPENDITURES	(18,628.00)	(218,252.00)	(538,241.00)	(319,989.00)	(40.6)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

TECHNOLOGY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
105-0000-333-18-00	CITY-WIDE COMPUTER	.00	.00	12,000.00	12,000.00	.0
	TOTAL SOURCES 333	.00	.00	12,000.00	12,000.00	.0
	<u>COMPUTER SERVICES</u>					
105-0000-336-10-00	CORTEZ FIRE PROTECTION DI	8,250.00	17,250.00	32,000.00	14,750.00	53.9
	TOTAL COMPUTER SERVICES	8,250.00	17,250.00	32,000.00	14,750.00	53.9
	TOTAL FUND REVENUE	8,250.00	17,250.00	44,000.00	26,750.00	39.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

TECHNOLOGY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>						
GENERAL GOVERNMENT						
<hr/>						
IT DEPARTMENT						
<hr/>						
105-4015-615-10-01	REGULAR WAGES	22,027.20	186,360.80	266,323.00	79,962.20	70.0
105-4015-615-10-10	EMPLOYEE INCENTIVES	69.25	69.25	.00	(69.25)	.0
105-4015-615-11-01	REGULAR OVERTIME	1,465.58	4,737.59	2,500.00	(2,237.59)	189.5
105-4015-615-16-00	CITY RETIREMENT	1,101.36	9,318.04	13,369.00	4,050.96	69.7
105-4015-615-20-01	FICA/MEDICARE	1,739.73	14,149.43	13,327.00	(822.43)	106.2
105-4015-615-21-01	HEALTH/LIFE INSURANCE	7,780.00	62,240.00	55,944.00	(6,296.00)	111.3
105-4015-615-21-05	DENTAL INSURANCE	350.00	2,800.00	2,520.00	(280.00)	111.1
105-4015-615-21-06	WORKMENS COMPENSATION	254.32	2,030.13	1,000.00	(1,030.13)	203.0
105-4015-615-21-07	UNEMPLOYMENT	46.98	382.21	500.00	117.79	76.4
105-4015-615-30-04	COMPUTER SERVICES	.00	239.88	.00	(239.88)	.0
105-4015-615-30-19	INSURANCE & BONDS	.00	812.42	882.00	69.58	92.1
105-4015-615-30-34	EMPLOYEE LICENSES/TESTING	.00	.00	200.00	200.00	.0
105-4015-615-30-57	E-WASTE	188.25	1,263.75	1,500.00	236.25	84.3
105-4015-615-30-90	COMPUTER MAINT CONTRACTS	12,737.81	222,879.29	302,343.00	79,463.71	73.7
105-4015-615-30-91	IT EQUIPMENT	37,159.20	37,159.20	.00	(37,159.20)	.0
105-4015-615-40-00	TRAVEL & TRAINING	.00	5,389.00	10,000.00	4,611.00	53.9
105-4015-615-42-01	TELEPHONE	381.66	5,142.84	.00	(5,142.84)	.0
105-4015-615-45-10	OPERATING SUPPLIES	.00	164.67	.00	(164.67)	.0
105-4015-615-51-00	PUBLICATION/SUBSCRIPTION	.00	1,993.20	.00	(1,993.20)	.0
105-4015-615-60-11	CAPITAL PROJECTS	(32,472.82)	.00	55,000.00	55,000.00	.0
105-4015-615-91-00	DEPRECIATION EXPENSE	.00	.00	7,825.00	7,825.00	.0
TOTAL IT DEPARTMENT		52,828.52	557,131.70	733,233.00	176,101.30	76.0
TOTAL FIBER NETWORK		.00	.00	.00	.00	.0
NETWORK SERVICES						
<hr/>						
105-4019-581-32-90	MAINT. CONTRACTS - OTHER	117,669.09	166,327.19	96,000.00	(70,327.19)	173.3
105-4019-581-42-06	CITY-WIDE T-1 LINE	526.56	4,195.22	.00	(4,195.22)	.0
105-4019-581-46-02	OTHER REPAIR & MAINT	187.14	187.14	4,000.00	3,812.86	4.7
105-4019-581-46-03	EQUIPMENT REPLACEMENTS	.00	.00	44,591.00	44,591.00	.0
TOTAL NETWORK SERVICES		118,382.79	170,709.55	144,591.00	(26,118.55)	118.1
TOTAL GENERAL GOVERNMENT		171,211.31	727,841.25	877,824.00	149,982.75	82.9
TOTAL FUND EXPENDITURES		171,211.31	727,841.25	877,824.00	149,982.75	82.9
NET REVENUE OVER EXPENDITURES		(162,961.31)	(710,591.25)	(833,824.00)	(123,232.75)	(85.2)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

STREET IMPROVEMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
301-0000-311-12-01	SALES TAX	161,521.05	1,188,104.24	1,810,000.00	621,895.76	65.6
	TOTAL TAXES	161,521.05	1,188,104.24	1,810,000.00	621,895.76	65.6
	<u>INTEREST</u>					
301-0000-361-20-00	INVESTMENT	.00	40,080.27	802,710.00	762,629.73	5.0
	TOTAL INTEREST	.00	40,080.27	802,710.00	762,629.73	5.0
	<u>REVENUE</u>					
301-0000-367-25-00	SIDEWALK COST SHARE	890.00	2,514.50	20,000.00	17,485.50	12.6
	TOTAL REVENUE	890.00	2,514.50	20,000.00	17,485.50	12.6
	TOTAL FUND REVENUE	162,411.05	1,230,699.01	2,632,710.00	1,402,010.99	46.8

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

STREET IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC WORKS</u>					
<u>CAPITAL PROJECTS</u>					
301-4355-432-10-01 REGULAR WAGES	15,395.80	130,042.80	124,689.00	(5,353.80)	104.3
301-4355-432-11-01 OVERTIME	90.12	1,385.34	1,050.00	(335.34)	131.9
301-4355-432-16-00 CITY RETIREMENT	643.04	5,364.69	6,234.00	869.31	86.1
301-4355-432-20-01 FICA/MEDICARE	1,164.27	9,897.52	9,048.00	(849.52)	109.4
301-4355-432-21-01 HEALTH/LIFE INSURANCE	2,339.50	17,171.01	27,972.00	10,800.99	61.4
301-4355-432-21-05 DENTAL INSURANCE	140.00	1,085.00	1,260.00	175.00	86.1
301-4355-432-21-06 WORKMENS COMPENSATION	242.48	1,935.61	117.00	(1,818.61)	1654.4
301-4355-432-21-07 UNEMPLOYMENT	30.95	262.75	339.00	76.25	77.5
301-4355-432-30-05 CREA VENDOR FEES	3,164.08	22,274.65	30,000.00	7,725.35	74.3
301-4355-432-30-07 CREDIT CARD CHARGES	87.11	645.01	.00	(645.01)	.0
301-4355-432-60-01 STREET IMPROVEMENTS	50,602.73	165,653.77	1,007,000.00	841,346.23	16.5
301-4355-432-60-04 CURB & GUTTER REPLACEMENT	16,307.26	41,216.77	210,000.00	168,783.23	19.6
301-4355-432-60-09 CONCRETE	8,596.74	18,886.05	40,000.00	21,113.95	47.2
301-4355-432-60-10 NEW CONSTRUCTION	30,862.79	209,669.00	1,175,000.00	965,331.00	17.8
301-4355-432-61-03 PROPERTY TAX	.00	185.00	.00	(185.00)	.0
TOTAL CAPITAL PROJECTS	129,666.87	625,674.97	2,632,709.00	2,007,034.03	23.8
TOTAL PUBLIC WORKS	129,666.87	625,674.97	2,632,709.00	2,007,034.03	23.8
TOTAL FUND EXPENDITURES	129,666.87	625,674.97	2,632,709.00	2,007,034.03	23.8
NET REVENUE OVER EXPENDITURES	32,744.18	605,024.04	1.00	(605,023.04)	60502

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

HEALTH INSURANCE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>INTERNAL SERVICE CHGS</u>					
302-0000-371-35-00	HEALTH INSURANCE PREMIUMS	207,113.00	1,585,339.00	2,502,900.00	917,561.00	63.3
302-0000-371-40-00	EMPLOYEE PAYROLL TRANSFER	18,111.36	140,570.04	240,000.00	99,429.96	58.6
302-0000-371-41-00	DELTA DENTAL TRANSFER	9,800.00	75,740.00	113,400.00	37,660.00	66.8
	TOTAL INTERNAL SERVICE CHGS	235,024.36	1,801,649.04	2,856,300.00	1,054,650.96	63.1
	<u>REVENUE</u>					
302-0000-372-18-00	COBRA REVENUE	109.29	450.73	.00	(450.73)	.0
	TOTAL REVENUE	109.29	450.73	.00	(450.73)	.0
	TOTAL FUND REVENUE	235,133.65	1,802,099.77	2,856,300.00	1,054,200.23	63.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

HEALTH INSURANCE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>HEALTH INSURANCE CLAIMS</u>					
	<u>CITY MANAGER</u>					
302-5314-539-21-01	HEALTH/LIFE INSURANCE	55,345.48	415,368.12	549,928.00	134,559.88	75.5
302-5314-539-21-05	DENTAL INSURANCE	8,584.62	63,045.07	102,312.00	39,266.93	61.6
302-5314-539-21-09	COBRA EXPENDITURES	.00	26.01	.00	(26.01)	.0
302-5314-539-21-10	HSA MATCH	1,500.00	12,750.00	45,000.00	32,250.00	28.3
302-5314-539-23-01	CLAIMS EXPENSE	427,401.16	1,292,069.72	1,450,000.00	157,930.28	89.1
	TOTAL CITY MANAGER	492,831.26	1,783,258.92	2,147,240.00	363,981.08	83.1
	TOTAL HEALTH INSURANCE CLAIMS	492,831.26	1,783,258.92	2,147,240.00	363,981.08	83.1
	TOTAL FUND EXPENDITURES	492,831.26	1,783,258.92	2,147,240.00	363,981.08	83.1
	NET REVENUE OVER EXPENDITURES	(257,697.61)	18,840.85	709,060.00	690,219.15	2.7

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

EQUIPMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
304-0000-311-12-01	SALES TAX	40,118.90	295,103.55	440,000.00	144,896.45	67.1
	TOTAL TAXES	40,118.90	295,103.55	440,000.00	144,896.45	67.1
	<u>INTEREST</u>					
304-0000-361-20-00	INVESTMENT	.00	24,979.61	.00	(24,979.61)	.0
	TOTAL INTEREST	.00	24,979.61	.00	(24,979.61)	.0
	<u>REVENUE</u>					
304-0000-367-18-00	SALE OF EQUIPMENT	.00	.00	20,000.00	20,000.00	.0
304-0000-367-18-01	SURPLUS AUCTION	4,200.00	16,262.00	.00	(16,262.00)	.0
	TOTAL REVENUE	4,200.00	16,262.00	20,000.00	3,738.00	81.3
	TOTAL FUND REVENUE	44,318.90	336,345.16	460,000.00	123,654.84	73.1

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

EQUIPMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GENERAL SERVICES</u>					
<u>SHOP</u>					
304-4110-516-30-05 CREA VENDOR FEES	785.90	5,532.61	.00	(5,532.61)	.0
304-4110-516-30-07 CREDIT CARD CHARGES	21.63	160.19	.00	(160.19)	.0
304-4110-516-30-41 P.D. VEHICLE LEASE/PURCH	.00	122,804.01	86,940.00	(35,864.01)	141.3
304-4110-516-30-90 VEHICLES & EQUIPMENT	284,123.61	302,284.61	363,000.00	60,715.39	83.3
304-4110-516-59-00 MISCELLANEOUS	.00	66.81	.00	(66.81)	.0
304-4110-516-90-01 GENERAL FUND	.00	.00	301.00	301.00	.0
304-4110-516-90-02 SHOP FUND	.00	.00	8,367.00	8,367.00	.0
TOTAL SHOP	284,931.14	430,848.23	458,608.00	27,759.77	94.0
TOTAL GENERAL SERVICES	284,931.14	430,848.23	458,608.00	27,759.77	94.0
TOTAL FUND EXPENDITURES	284,931.14	430,848.23	458,608.00	27,759.77	94.0
NET REVENUE OVER EXPENDITURES	(240,612.24)	(94,503.07)	1,392.00	95,895.07	(6789.

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

AIRPORT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>STATE/COLO</u>					
401-0000-332-16-00	FUEL	1,821.79	10,412.64	20,000.00	9,587.36	52.1
	TOTAL STATE/COLO	1,821.79	10,412.64	20,000.00	9,587.36	52.1
	<u>AIRPORT</u>					
401-0000-363-11-00	AIRLINES	7,191.78	26,139.92	50,000.00	23,860.08	52.3
401-0000-363-11-01	LANDING FEES	12,227.60	42,280.85	36,338.00	(5,942.85)	116.4
401-0000-363-11-02	RENT	789.73	6,302.74	9,300.00	2,997.26	67.8
401-0000-363-11-08	PASSENGER FACILITY CHG	.00	.00	27,750.00	27,750.00	.0
401-0000-363-12-02	FUEL TAX	2,398.93	10,742.60	31,000.00	20,257.40	34.7
401-0000-363-13-00	CAR RENTAL	693.92	4,122.16	10,000.00	5,877.84	41.2
401-0000-363-15-00	CORPORATE	1,034.64	52,306.39	74,000.00	21,693.61	70.7
401-0000-363-16-00	CONCESSIONS	28.04	62.73	140.00	77.27	44.8
	TOTAL AIRPORT	24,364.64	141,957.39	238,528.00	96,570.61	59.5
	<u>REVENUE</u>					
401-0000-367-16-00	MISCELLANEOUS SALES & FEE	(466.50)	(311.00)	.00	311.00	.0
401-0000-367-18-01	SURPLUS AUCTION	.00	4,800.00	.00	(4,800.00)	.0
	TOTAL REVENUE	(466.50)	4,489.00	.00	(4,489.00)	.0
	<u>GRANTS</u>					
401-0000-368-20-00	STATE OF COLORADO	.00	38,814.30	.00	(38,814.30)	.0
401-0000-368-21-00	FEDERAL GRANTS	.00	257,410.64	754,681.00	497,270.36	34.1
	TOTAL GRANTS	.00	296,224.94	754,681.00	458,456.06	39.3
	TOTAL FUND REVENUE	25,719.93	453,083.97	1,013,209.00	560,125.03	44.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

AIRPORT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>						
<u>AIRPORT</u>						
401-5819-588-10-01	REGULAR WAGES	9,240.00	95,466.63	154,204.00	58,737.37	61.9
401-5819-588-11-01	OVERTIME	.00	11,636.63	16,897.00	5,260.37	68.9
401-5819-588-16-00	CITY RETIREMENT	462.00	4,324.98	5,749.00	1,424.02	75.2
401-5819-588-20-01	FICA/MEDICARE	656.67	7,757.46	8,112.00	354.54	95.6
401-5819-588-21-01	HEALTH/LIFE INSURANCE	3,112.00	26,485.00	37,296.00	10,811.00	71.0
401-5819-588-21-05	DENTAL INSURANCE	140.00	1,400.00	1,680.00	280.00	83.3
401-5819-588-21-06	WORKMENS COMPENSATION	395.38	3,156.15	1,600.00	(1,556.15)	197.3
401-5819-588-21-07	UNEMPLOYMENT	18.48	214.21	304.00	89.79	70.5
401-5819-588-30-19	INSURANCE & BONDS	.00	9,840.08	11,505.00	1,664.92	85.5
401-5819-588-30-37	SOLAR LEASE	.00	13,418.00	6,800.00	(6,618.00)	197.3
401-5819-588-30-90	CONTRACT SERVICES-OTHER	.00	17,171.21	.00	(17,171.21)	.0
401-5819-588-30-93	EQUIPMENT EXPENSE	.00	43,127.00	45,000.00	1,873.00	95.8
401-5819-588-32-90	MAINT CONTRACTS-OTHER	.00	.00	35,000.00	35,000.00	.0
401-5819-588-40-00	TRAVEL & TRAINING	.00	2,172.03	8,000.00	5,827.97	27.2
401-5819-588-42-01	TELEPHONE	140.00	1,210.00	2,374.00	1,164.00	51.0
401-5819-588-43-01	ELECTRIC	969.79	5,967.70	10,500.00	4,532.30	56.8
401-5819-588-43-03	GAS	65.85	5,296.12	2,500.00	(2,796.12)	211.8
401-5819-588-43-04	REFUSE	45.05	382.28	500.00	117.72	76.5
401-5819-588-43-05	WATER	124.60	902.50	1,500.00	597.50	60.2
401-5819-588-44-00	OFFICE SUPPLIES	.00	40.55	1,000.00	959.45	4.1
401-5819-588-45-07	CLOTHING ALLOWANCE	713.00	713.00	2,000.00	1,287.00	35.7
401-5819-588-45-10	OPERATING SUPPLIES	38.00	1,931.97	10,500.00	8,568.03	18.4
401-5819-588-46-02	OTHER REPAIR & MAINT	.00	1,731.93	.00	(1,731.93)	.0
401-5819-588-46-03	GROUNDS & RUNWAY	298.00	7,947.04	18,000.00	10,052.96	44.2
401-5819-588-46-05	ARPA GRANT CAPITAL PROJECTS	125,000.00	227,487.11	.00	(227,487.11)	.0
401-5819-588-46-08	EQUIPMENT REPAIR-INTERNAL	387.62	7,747.38	10,000.00	2,252.62	77.5
401-5819-588-46-09	FLEET FUEL COSTS	478.34	7,401.28	3,000.00	(4,401.28)	246.7
401-5819-588-49-03	SPECIAL EVENTS & MARKETING	.00	2,280.14	6,000.00	3,719.86	38.0
401-5819-588-50-00	MEMBERSHIP & DUES	.00	353.00	1,200.00	847.00	29.4
401-5819-588-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	950.00	950.00	.0
401-5819-588-60-00	CAPITAL PROJECTS	.00	58,866.39	.00	(58,866.39)	.0
401-5819-588-80-15	AIP-32 T W SHOULDERS PHASE 2	.00	34,538.57	.00	(34,538.57)	.0
401-5819-588-80-16	AIRPORT MASTER PLAN ACT#16	.00	4,139.90	.00	(4,139.90)	.0
401-5819-588-90-03	EQUIPMENT FUND	.00	(184.00)	.00	184.00	.0
401-5819-588-91-00	DEPRECIATION EXPENSE	.00	.00	275,000.00	275,000.00	.0
TOTAL AIRPORT		142,284.78	604,922.24	677,171.00	72,248.76	89.3
TOTAL ENTERPRISE		142,284.78	604,922.24	677,171.00	72,248.76	89.3
TOTAL FUND EXPENDITURES		142,284.78	604,922.24	677,171.00	72,248.76	89.3
NET REVENUE OVER EXPENDITURES		(116,564.85)	(151,838.27)	336,038.00	487,876.27	(45.2)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

DISPATCH FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>						
402-0000-333-21-00	E-911 AUTHORITY	.00	.00	122,206.00	122,206.00	.0
	TOTAL SOURCES 333	.00	.00	122,206.00	122,206.00	.0
<hr/>						
	USER FEES					
402-0000-348-10-01	MONTEZUMA COUNTY SHERIFF	.00	315,085.00	315,085.00	.00	100.0
402-0000-348-10-02	CITY OF CORTEZ	.00	327,214.00	327,214.00	.00	100.0
402-0000-348-10-03	CORTEZ FIRE DEPARTMENT	.00	56,124.00	56,124.00	.00	100.0
402-0000-348-10-04	MANCOS FIRE DEPARTMENT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-05	DOLORES FIRE DEPARTMENT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-06	LEWIS-ARRIOLA FIRE DEPT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-07	PLEASANT VIEW FIRE DEPT	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-11	MANCOS MARSHALL	.00	40,155.00	40,155.00	.00	100.0
402-0000-348-10-12	DOLORES COUNTY	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-10-14	MESA VERDE NATIONAL PARK	.00	8,715.00	8,715.00	.00	100.0
402-0000-348-15-00	SW MEMORIAL HOSPITAL	.00	80,568.00	80,568.00	.00	100.0
	TOTAL USER FEES	.00	871,436.00	871,436.00	.00	100.0
	TOTAL FUND REVENUE	.00	871,436.00	993,642.00	122,206.00	87.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

DISPATCH FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC SAFETY</u>					
<u>POLICE SUPPORT SERVICES</u>					
402-4222-422-10-01 REGULAR WAGES	41,684.40	363,451.38	550,998.00	187,546.62	66.0
402-4222-422-10-10 EMPLOYEE INCENTIVES	107.00	107.00	.00 (	107.00)	.0
402-4222-422-11-01 OVERTIME	1,207.71	22,288.42	46,430.00	24,141.58	48.0
402-4222-422-16-00 CITY RETIREMENT	2,070.72	17,755.58	26,000.00	8,244.42	68.3
402-4222-422-20-01 FICA/MEDICARE	3,060.95	27,713.40	42,000.00	14,286.60	66.0
402-4222-422-21-01 HEALTH/LIFE INSURANCE	15,571.00	124,601.00	195,000.00	70,399.00	63.9
402-4222-422-21-05 DENTAL INSURANCE	700.00	5,810.00	7,200.00	1,390.00	80.7
402-4222-422-21-06 WORKMENS COMPENSATION	295.59	2,359.59	1,000.00 (	1,359.59)	236.0
402-4222-422-21-07 UNEMPLOYMENT	85.78	771.59	1,500.00	728.41	51.4
402-4222-422-30-19 INSURANCE & BONDS	.00	.00	1,664.00	1,664.00	.0
402-4222-422-30-34 EMPLOYEE LICENSES/TESTING	.00	879.50	1,500.00	620.50	58.6
402-4222-422-30-90 CONTRACT SERVICES-OTHER	1,147.88	3,017.45	500.00 (	2,517.45)	603.5
402-4222-422-32-90 MAINT CONTRACTS-OTHER	.00	1,895.00	3,250.00	1,355.00	58.3
402-4222-422-40-00 TRAVEL/TRAINING	150.00	5,503.35	12,000.00	6,496.65	45.9
402-4222-422-42-01 TELEPHONE	181.48	1,452.68	2,000.00	547.32	72.6
402-4222-422-44-00 OFFICE SUPPLIES	.00	783.36	3,250.00	2,466.64	24.1
402-4222-422-45-10 OPERATING SUPPLIES-OTHER	43.97	103.47	5,400.00	5,296.53	1.9
402-4222-422-46-02 OTHER REPAIR & MAINT	.00	908.62	.00 (	908.62)	.0
402-4222-422-46-10 COMPUTER MAINTENANCE	.00	.00	5,000.00	5,000.00	.0
402-4222-422-50-00 MEMBERSHIP & DUES	.00	100.00	550.00	450.00	18.2
TOTAL POLICE SUPPORT SERVICES	66,306.48	579,501.39	905,242.00	325,740.61	64.0
TOTAL PUBLIC SAFETY	66,306.48	579,501.39	905,242.00	325,740.61	64.0
TOTAL FUND EXPENDITURES	66,306.48	579,501.39	905,242.00	325,740.61	64.0
NET REVENUE OVER EXPENDITURES	(66,306.48)	291,934.61	88,400.00	(203,534.61)	330.2

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

RECREATION CENTER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TAXES</u>					
403-0000-311-12-01	SALES TAX	174,850.46	1,286,151.67	1,841,091.00	554,939.33	69.9
	TOTAL TAXES	174,850.46	1,286,151.67	1,841,091.00	554,939.33	69.9
	<u>SERVICES</u>					
403-0000-341-16-00	CONCESSIONS	.00	.00	850.00	850.00	.0
403-0000-341-21-00	RECREATION PROGRAMS	550.00	7,996.00	7,000.00	(996.00)	114.2
	TOTAL SERVICES	550.00	7,996.00	7,850.00	(146.00)	101.9
	<u>FEES</u>					
403-0000-344-11-03	HEALTHWAYS/SILVER SNEAKER	1,693.50	37,684.75	41,267.00	3,582.25	91.3
403-0000-344-15-00	MISC REC ACTIVITIES	.00	.00	3,000.00	3,000.00	.0
	TOTAL FEES	1,693.50	37,684.75	44,267.00	6,582.25	85.1
	<u>FEES</u>					
403-0000-346-20-00	PASSES/ADMISSION	19,401.28	160,351.90	208,400.00	48,048.10	76.9
403-0000-346-20-01	GENERAL ADMISSION	8,444.84	86,448.57	120,776.00	34,327.43	71.6
403-0000-346-20-02	MERCHANDISE	255.01	2,268.71	2,200.00	(68.71)	103.1
	TOTAL FEES	28,101.13	249,069.18	331,376.00	82,306.82	75.2
	<u>CHARGES</u>					
403-0000-347-17-00	FACILITY USE FEE	472.50	10,806.25	5,000.00	(5,806.25)	216.1
	TOTAL CHARGES	472.50	10,806.25	5,000.00	(5,806.25)	216.1
	<u>INTEREST</u>					
403-0000-361-20-00	INVESTMENT	.00	21,719.14	.00	(21,719.14)	.0
403-0000-361-20-03	CHANGE IN MARKET VALUE	.00	22,676.17	.00	(22,676.17)	.0
	TOTAL INTEREST	.00	44,395.31	.00	(44,395.31)	.0
	<u>CASH</u>					
403-0000-365-10-00	OVERAGE/SHORTAGE	66.90	223.90	.00	(223.90)	.0
	TOTAL CASH	66.90	223.90	.00	(223.90)	.0

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

RECREATION CENTER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	REVENUE					
403-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	1,480.18	1,000.00	(480.18)	148.0
	TOTAL REVENUE	.00	1,480.18	1,000.00	(480.18)	148.0
	TOTAL FUND REVENUE	205,734.49	1,637,807.24	2,230,584.00	592,776.76	73.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
PARKS & RECREATION					
<hr/>					
RECREATION CENTER					
<hr/>					
403-4556-456-10-01 REGULAR WAGES	48,703.55	407,232.33	879,200.00	471,967.67	46.3
403-4556-456-10-10 EMPLOYEE INCENTIVES	401.75	738.25	.00 (	738.25)	.0
403-4556-456-11-01 REGULAR OVERTIME	2,653.13	19,181.29	3,959.00 (	15,222.29)	484.5
403-4556-456-16-00 CITY RETIREMENT	1,132.08	8,137.69	14,501.00	6,363.31	56.1
403-4556-456-20-01 FICA/MEDICARE	3,884.46	32,342.11	56,080.00	23,737.89	57.7
403-4556-456-21-01 HEALTH/LIFE INSURANCE	8,742.85	55,880.81	189,750.00	133,869.19	29.5
403-4556-456-21-05 DENTAL INSURANCE	515.38	3,300.89	2.00 (	3,298.89)	16504
403-4556-456-21-06 WORKMENS COMPENSATION	659.28	5,262.78	5,800.00	537.22	90.7
403-4556-456-21-07 UNEMPLOYMENT	102.73	852.79	2,224.00	1,371.21	38.3
403-4556-456-30-04 COMPUTER/SOFWARE SERVICES	.00	9,053.62	.00 (	9,053.62)	.0
403-4556-456-30-07 CREDIT CARD CHARGES	1,066.95	7,613.41	3,000.00 (	4,613.41)	253.8
403-4556-456-30-19 INSURANCE & BONDS	.00	25,843.54	34,322.00	8,478.46	75.3
403-4556-456-30-34 EMPLOYEE LICENSES/TESTING	.00	874.00	500.00 (	374.00)	174.8
403-4556-456-30-90 CONTRACT SERVICES-OTHER	744.75	12,829.91	25,000.00	12,170.09	51.3
403-4556-456-32-90 MAINT CONTRACTS-OTHER	4,250.00	7,775.60	4,400.00 (	3,375.60)	176.7
403-4556-456-40-00 TRAVEL & TRAINING	.00	2,532.66	19,500.00	16,967.34	13.0
403-4556-456-42-01 TELEPHONE	135.74	1,372.34	1,060.00 (	312.34)	129.5
403-4556-456-42-10 FIBER CHARGES	599.64	4,797.12	7,200.00	2,402.88	66.6
403-4556-456-43-01 ELECTRIC	10,088.10	64,071.09	120,000.00	55,928.91	53.4
403-4556-456-43-02 SEWER	573.00	4,069.00	8,400.00	4,331.00	48.4
403-4556-456-43-03 GAS	707.87	66,445.64	44,000.00 (	22,445.64)	151.0
403-4556-456-43-04 REFUSE	235.40	1,840.75	2,600.00	759.25	70.8
403-4556-456-43-05 WATER	259.56	2,264.32	4,000.00	1,735.68	56.6
403-4556-456-44-00 OFFICE SUPPLIES	.00	271.37	500.00	228.63	54.3
403-4556-456-45-06 CHEMICALS & LAB	.00	16,824.79	15,000.00 (	1,824.79)	112.2
403-4556-456-45-07 CLOTHING ALLOWANCE	.00	2,614.07	2,000.00 (	614.07)	130.7
403-4556-456-45-10 OPERATING SUPPLIES-OTHER	3,584.85	29,431.59	45,000.00	15,568.41	65.4
403-4556-456-45-22 COPIER EXPENSE	523.87	3,460.02	5,500.00	2,039.98	62.9
403-4556-456-45-23 CONCESSION	.00	2,572.85	4,000.00	1,427.15	64.3
403-4556-456-45-28 AQUATICS	.00	.00	2,000.00	2,000.00	.0
403-4556-456-45-29 BUILDING	.00	34.95	.00 (	34.95)	.0
403-4556-456-45-30 RECREATION	.00	653.46	25,000.00	24,346.54	2.6
403-4556-456-46-02 OTHER REPAIR & MAINT	.00	27,502.98	87,760.00	60,257.02	31.3
403-4556-456-46-10 COMPUTER MAINTENANCE	.00	.00	1,000.00	1,000.00	.0
403-4556-456-48-90 PRINTING-OTHER	.00	278.00	200.00 (	78.00)	139.0
403-4556-456-49-03 ADVERTISING-OTHER	.00	2,150.92	1,500.00 (	650.92)	143.4
403-4556-456-51-00 PUBLICATION/SUBSCRIPTION	.00	991.82	45.00 (	946.82)	2204.0
403-4556-456-55-00 SPECIAL EVENTS	.00	154.07	26,000.00	25,845.93	.6
403-4556-456-91-00 DEPRECACTION EXPENSE	.00	.00	252,000.00	252,000.00	.0
<hr/>					
TOTAL RECREATION CENTER	89,564.94	831,252.83	1,893,003.00	1,061,750.17	43.9
<hr/>					
TOTAL PARKS & RECREATION	89,564.94	831,252.83	1,893,003.00	1,061,750.17	43.9
<hr/>					

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

RECREATION CENTER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
TOTAL FUND EXPENDITURES	89,564.94	831,252.83	1,893,003.00	1,061,750.17	43.9
NET REVENUE OVER EXPENDITURES	116,169.55	806,554.41	337,581.00	(468,973.41)	238.9

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FEES</u>					
410-0000-346-10-01	SALES METERED WATER	448,593.14	2,161,483.00	3,179,306.55	1,017,823.55	68.0
410-0000-346-10-02	BULK SALES	4,068.50	40,634.50	65,000.00	24,365.50	62.5
410-0000-346-10-03	PENALTY	972.94	6,805.40	15,000.00	8,194.60	45.4
410-0000-346-10-04	CONNECT/DISCONNECT FEES	1,500.00	12,752.50	20,000.00	7,247.50	63.8
410-0000-346-10-05	WATER DEVELOPMENT FEES	25,894.00	124,955.00	35,000.00	(89,955.00)	357.0
	TOTAL FEES	481,028.58	2,346,630.40	3,314,306.55	967,676.15	70.8
	<u>INTEREST</u>					
410-0000-361-20-00	INVESTMENT	.00	12,001.17	1,500.00	(10,501.17)	800.1
	TOTAL INTEREST	.00	12,001.17	1,500.00	(10,501.17)	800.1
	<u>REVENUE</u>					
410-0000-367-11-00	TOWAOC - TREATED WATER	.00	.00	343,495.00	343,495.00	.0
410-0000-367-16-00	MISCELLANEOUS SALES & FEE	.00	.00	331,000.00	331,000.00	.0
410-0000-367-16-01	GENERAL FUND	.00	3,292,652.70	3,700,000.00	407,347.30	89.0
410-0000-367-32-00	CORTEZ SANITATION DIST.	1,100.00	8,800.00	12,000.00	3,200.00	73.3
	TOTAL REVENUE	1,100.00	3,301,452.70	4,386,495.00	1,085,042.30	75.3
	TOTAL FUND REVENUE	482,128.58	5,660,084.27	7,702,301.55	2,042,217.28	73.5

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
ENTERPRISE					
<hr/>					
ADMINISTRATIVE					
<hr/>					
410-5816-589-21-06 WORKMENS COMPENSATION	242.48	1,935.61	.00	(1,935.61)	.0
410-5816-589-30-07 CREDIT CARD CHARGES	3,025.42	20,306.75	41,000.00	20,693.25	49.5
410-5816-589-30-19 INSURANCE & BONDS	.00	132.52	598.54	466.02	22.1
410-5816-589-30-21 MVI - O & M CHARGE	.00	.00	6,500.00	6,500.00	.0
410-5816-589-30-22 O & M DWCD	.00	.00	13,000.00	13,000.00	.0
410-5816-589-30-90 OTHER CONTRACTUAL SERVICES	.00	11,661.27	6,500.00	(5,161.27)	179.4
410-5816-589-40-00 TRAVEL & TRAINING	.00	2,753.24	7,000.00	4,246.76	39.3
410-5816-589-42-01 TELEPHONE	.00	.00	3,500.00	3,500.00	.0
410-5816-589-42-03 POSTAGE	672.99	6,375.30	7,000.00	624.70	91.1
410-5816-589-44-00 OFFICE SUPPLIES	36.58	36.58	.00	(36.58)	.0
410-5816-589-45-10 OPERATING SUPPLIES	.00	131.01	200.00	68.99	65.5
410-5816-589-46-08 EQUIPMENT REPAIR-INTERNAL	1,145.98	9,170.05	.00	(9,170.05)	.0
410-5816-589-46-09 FLEET FUEL COSTS	2,080.25	13,785.68	.00	(13,785.68)	.0
410-5816-589-50-00 MEMBERSHIP & DUES	865.00	1,815.00	1,875.00	60.00	96.8
410-5816-589-51-00 PUBLICATION/SUBSCRIPTION	.00	167.79	300.00	132.21	55.9
410-5816-589-58-00 BAD DEBT EXPENSE	11.40	787.50	.00	(787.50)	.0
410-5816-589-59-00 MISCELLANEOUS	.00	19.33	.00	(19.33)	.0
410-5816-589-91-00 DEPRECIATION EXPENSE	.00	.00	35,000.00	35,000.00	.0
<hr/>					
TOTAL ADMINISTRATIVE	8,080.10	69,077.63	122,473.54	53,395.91	56.4

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FILTRATION & TREATMENT</u>					
410-5817-589-10-01	REGULAR WAGES	21,939.20	176,225.83	310,224.00	133,998.17	56.8
410-5817-589-10-10	EMPLOYEE INCENTIVES	22.50	22.50	.00	(22.50)	.0
410-5817-589-11-01	OVERTIME	313.02	1,923.04	9,345.00	7,421.96	20.6
410-5817-589-16-00	CITY RETIREMENT	912.16	7,928.00	12,051.68	4,123.68	65.8
410-5817-589-20-01	FICA/MEDICARE	1,634.83	13,077.07	18,364.46	5,287.39	71.2
410-5817-589-21-01	HEALTH/LIFE INSURANCE	6,224.00	51,381.00	74,592.00	23,211.00	68.9
410-5817-589-21-05	DENTAL INSURANCE	280.00	2,450.00	3,360.00	910.00	72.9
410-5817-589-21-06	WORKMENS COMPENSATION	902.94	7,207.81	4,500.00	(2,707.81)	160.2
410-5817-589-21-07	UNEMPLOYMENT	44.50	356.26	688.67	332.41	51.7
410-5817-589-30-10	WATER ANALYSIS	1,118.60	6,032.40	13,000.00	6,967.60	46.4
410-5817-589-30-19	INSURANCE & BONDS	.00	41,114.27	55,499.57	14,385.30	74.1
410-5817-589-30-34	EMPLOYEE LICENSES/TESTING	.00	765.22	500.00	(265.22)	153.0
410-5817-589-30-90	OTHER CONTRACTUAL SERVICES	473.32	11,533.28	10,000.00	(1,533.28)	115.3
410-5817-589-40-00	TRAVEL & TRAINING	99.75	586.01	5,000.00	4,413.99	11.7
410-5817-589-42-01	TELEPHONE	245.00	2,604.36	7,520.00	4,915.64	34.6
410-5817-589-42-10	FIBER CHARGES	556.00	4,448.00	.00	(4,448.00)	.0
410-5817-589-43-01	ELECTRIC	2,754.59	21,124.56	32,550.00	11,425.44	64.9
410-5817-589-43-03	GAS	228.12	11,113.18	11,000.00	(113.18)	101.0
410-5817-589-43-04	REFUSE	54.00	432.00	850.00	418.00	50.8
410-5817-589-44-00	OFFICE SUPPLIES	.00	535.63	800.00	264.37	67.0
410-5817-589-45-06	CHEMICALS & LAB	57,514.31	180,821.08	170,000.00	(10,821.08)	106.4
410-5817-589-45-07	CLOTHING ALLOWANCE	.00	1,503.64	1,200.00	(303.64)	125.3
410-5817-589-45-10	OPERATING SUPPLIES	629.34	2,281.87	5,000.00	2,718.13	45.6
410-5817-589-46-02	OTHER REPAIR & MAINT	2,913.93	26,965.91	28,000.00	1,034.09	96.3
410-5817-589-50-00	MEMBERSHIP & DUES	.00	.00	700.00	700.00	.0
410-5817-589-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	400.00	400.00	.0
410-5817-589-61-34	BACKWASH POND	.00	7,431.24	20,000.00	12,568.76	37.2
410-5817-589-91-00	DEPRECIATION EXPENSE	.00	.00	217,195.00	217,195.00	.0
	TOTAL FILTRATION & TREATMENT	98,860.11	579,864.16	1,012,340.38	432,476.22	57.3

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>TRANSMISSION/DISTRIBUTION</u>					
410-5818-589-10-01	REGULAR WAGES	31,375.21	263,309.80	322,039.20	58,729.40	81.8
410-5818-589-10-10	EMPLOYEE INCENTIVES	.00	229.50	300.00	70.50	76.5
410-5818-589-11-01	OVERTIME	1,209.33	15,174.36	11,025.00	(4,149.36)	137.6
410-5818-589-16-00	CITY RETIREMENT	1,458.12	12,069.79	16,101.96	4,032.17	75.0
410-5818-589-20-01	FICA/MEDICARE	2,389.38	20,513.07	23,367.92	2,854.85	87.8
410-5818-589-21-01	HEALTH/LIFE INSURANCE	10,125.00	77,887.99	139,860.00	61,972.01	55.7
410-5818-589-21-05	DENTAL INSURANCE	525.00	4,060.00	6,300.00	2,240.00	64.4
410-5818-589-21-06	WORKMENS COMPENSATION	798.39	6,373.23	29,700.00	23,326.77	21.5
410-5818-589-21-07	UNEMPLOYMENT	65.15	556.79	876.30	319.51	63.5
410-5818-589-30-04	COMPUTER/SOFTWARE SERVICE	258.51	2,192.88	1,500.00	(692.88)	146.2
410-5818-589-30-11	SOLID WASTE DISPOSAL	.00	.00	1,100.00	1,100.00	.0
410-5818-589-30-19	INSURANCE & BONDS	.00	704.73	8,343.73	7,639.00	8.5
410-5818-589-30-34	EMPLOYEE LICENSES/TESTING	.00	303.15	1,100.00	796.85	27.6
410-5818-589-30-90	OTHER CONTRACTUAL SERVICES	159.96	4,656.18	7,000.00	2,343.82	66.5
410-5818-589-40-00	TRAVEL & TRAINING	.00	475.00	3,000.00	2,525.00	15.8
410-5818-589-42-01	TELEPHONE	266.07	2,160.12	3,500.00	1,339.88	61.7
410-5818-589-44-00	OFFICE SUPPLIES	.00	11.95	200.00	188.05	6.0
410-5818-589-45-07	CLOTHING ALLOWANCE	.00	1,874.96	3,500.00	1,625.04	53.6
410-5818-589-45-10	OPERATING SUPPLIES	351.32	3,010.73	2,500.00	(510.73)	120.4
410-5818-589-45-17	LINE REPAIR	240.00	13,768.97	50,000.00	36,231.03	27.5
410-5818-589-46-02	OTHER REPAIR & MAINT	829.76	6,027.52	10,000.00	3,972.48	60.3
410-5818-589-50-00	MEMBERSHIP & DUES	.00	.00	200.00	200.00	.0
410-5818-589-51-00	PUBLICATION/SUBSCRIPTION	.00	.00	300.00	300.00	.0
410-5818-589-52-00	EQUIPMENT RENTALS	.00	.00	350.00	350.00	.0
410-5818-589-91-00	DEPRECIATION EXPENSE	.00	.00	125,000.00	125,000.00	.0
	TOTAL TRANSMISSION/DISTRIBUTION	50,051.20	435,360.72	767,164.11	331,803.39	56.8
	TOTAL AIRPORT	.00	.00	.00	.00	.0
	<u>METER MAINTENANCE</u>					
410-5820-589-30-19	INSURANCE & BONDS	.00	.00	387.36	387.36	.0
410-5820-589-30-34	EMPLOYEE LICENSES/TESTING	.00	.00	200.00	200.00	.0
410-5820-589-32-90	MAINT. CONTRACTS - OTHER	6,720.00	6,720.00	7,150.00	430.00	94.0
410-5820-589-40-00	TRAVEL & TRAINING	.00	.00	500.00	500.00	.0
410-5820-589-45-07	CLOTHING ALLOWANCE	.00	.00	1,000.00	1,000.00	.0
410-5820-589-45-10	OPERATING SUPPLIES	9.65	598.71	3,000.00	2,401.29	20.0
410-5820-589-46-02	OTHER REPAIR & MAINT	.00	11,415.65	12,350.00	934.35	92.4
	TOTAL METER MAINTENANCE	6,729.65	18,734.36	24,587.36	5,853.00	76.2
	TOTAL ALL 21	.00	.00	.00	.00	.0

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

WATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>DEBT RETIREMENT</u>					
410-5822-589-70-01	DOLORES WATER PRINCIPAL	.00	2,642,227.00	77,617.00	(2,564,610.00)	3404.2
410-5822-589-70-02	DOLORES WATER INTEREST	.00	26,254.84	172,464.00	146,209.16	15.2
410-5822-589-70-03	STATE LOAN PRINCIPAL	.00	.00	86,785.00	86,785.00	.0
410-5822-589-70-04	STATE LOAN INTEREST	.00	.00	9,289.00	9,289.00	.0
410-5822-589-70-20	DOLA-ENERGY IMPACT ASST INTERE	.00	1,349.34	4,215.00	2,865.66	32.0
410-5822-589-70-21	DOLA-ENERGY IMPACT ASST PRINCP	.00	64,736.94	19,557.00	(45,179.94)	331.0
410-5822-589-70-22	W&P AUTHORITY INTEREST	.00	802.03	5,128.00	4,325.97	15.6
410-5822-589-70-23	W&P AUTHORITY PRINCIPAL	.00	200,507.35	26,962.00	(173,545.35)	743.7
410-5822-589-70-26	CWCB (CT-2015-152) INTEREST	.00	1,223.69	.00	(1,223.69)	.0
410-5822-589-70-27	CWCB (CT-2015-152) PRINCIPAL	.00	355,551.51	3,700,000.00	3,344,448.49	9.6
410-5822-589-70-28	GEN FUND INTEREST	.00	197,559.16	.00	(197,559.16)	.0
410-5822-589-70-29	GEN FUND PRINCIPAL	.00	141,461.46	.00	(141,461.46)	.0
	TOTAL DEBT RETIREMENT	.00	3,631,673.32	4,102,017.00	470,343.68	88.5
	<u>CAPITAL PROJECTS</u>					
410-5855-589-60-06	WATER DISTRIBUTION IMP	10,079.00	136,109.58	270,000.00	133,890.42	50.4
410-5855-589-60-07	TREATMENT PLANT	.00	12,125.99	310,000.00	297,874.01	3.9
410-5855-589-60-10	CAPITAL PROJECTS	2,502.75	566,998.61	754,000.00	187,001.39	75.2
410-5855-589-61-47	CONSERVATION PROJECT	.00	5,704.29	50,000.00	44,295.71	11.4
410-5855-589-61-48	RATE STUDY	.00	37,153.90	.00	(37,153.90)	.0
410-5855-589-61-50	HYDRO INSPECTION/VALVE WORK	.00	.00	30,000.00	30,000.00	.0
410-5855-589-62-05	CAPITAL - TRUCKS	.00	.00	50,000.00	50,000.00	.0
	TOTAL CAPITAL PROJECTS	12,581.75	758,092.37	1,464,000.00	705,907.63	51.8
	TOTAL ALL 60	.00	.00	.00	.00	.0
	TOTAL ENTERPRISE	176,302.81	5,492,802.56	7,492,582.39	1,999,779.83	73.3
	TOTAL FUND EXPENDITURES	176,302.81	5,492,802.56	7,492,582.39	1,999,779.83	73.3
	NET REVENUE OVER EXPENDITURES	305,825.77	167,281.71	209,719.16	42,437.45	79.8

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

HYDRO PLANT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>						
415-0000-349-10-02	RPS CREDIT	.00	.00	12,300.00	12,300.00	.0
	TOTAL SOURCES 349	.00	.00	12,300.00	12,300.00	.0
<hr/>						
	<u>REVENUE</u>					
415-0000-367-16-18	HYDRO-PRODUCTION CREDITS	.00	.00	4,813.00	4,813.00	.0
415-0000-367-16-19	ENERGY CREDITS	.00	.00	3,061.00	3,061.00	.0
	TOTAL REVENUE	.00	.00	7,874.00	7,874.00	.0
<hr/>						
	<u>SOURCES 371</u>					
415-0000-371-13-00	GENERAL FUND	.00	518,593.81	.00	(518,593.81)	.0
	TOTAL SOURCES 371	.00	518,593.81	.00	(518,593.81)	.0
<hr/>						
	TOTAL FUND REVENUE	.00	518,593.81	20,174.00	(498,419.81)	2570.6

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

HYDRO PLANT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ENTERPRISE</u>						
<u>ADMINISTRATIVE</u>						
415-5816-589-30-19	INSURANCE & BONDS	.00	2,221.32	4,317.00	2,095.68	51.5
415-5816-589-46-02	OTHER REPAIR & MAINT	.00	.00	1,000.00	1,000.00	.0
415-5816-589-70-22	W&P AUTHORITY INTEREST	.00	10,168.51	10,169.00	.49	100.0
415-5816-589-70-23	W&P AUTHORITY PRINCIPAL	.00	508,425.30	59,237.00	(449,188.30)	858.3
415-5816-589-70-24	GEN FUND INTEREST	.00	31,115.63	.00	(31,115.63)	.0
415-5816-589-70-25	GEN FUND PRINCIPAL	.00	22,280.22	.00	(22,280.22)	.0
TOTAL ADMINISTRATIVE		.00	574,210.98	74,723.00	(499,487.98)	768.5
TOTAL ENTERPRISE		.00	574,210.98	74,723.00	(499,487.98)	768.5
TOTAL FUND EXPENDITURES		.00	574,210.98	74,723.00	(499,487.98)	768.5
NET REVENUE OVER EXPENDITURES		.00	(55,617.17)	(54,549.00)	1,068.17	(102.0)

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

CCN FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
416-0000-340-10-01	FIBER TO THE BUSINESS	.00	15,035.00	185,004.00	169,969.00	8.1
416-0000-340-10-02	CONNECTION DROPS	.00	210.00	.00	(210.00)	.0
416-0000-340-10-03	DARK FIBER	16,421.88	69,688.60	12,962.00	(56,726.60)	537.6
416-0000-340-10-04	EQUIPMENT RENTAL FEES	.00	1,295.00	.00	(1,295.00)	.0
416-0000-340-10-05	FIBER SERVICE	.00	9,540.00	.00	(9,540.00)	.0
416-0000-340-10-06	VERO LEASE PAYMENT	.00	1,800,000.00	.00	(1,800,000.00)	.0
	TOTAL SOURCES 340	16,421.88	1,895,768.60	197,966.00	(1,697,802.60)	957.6
	FEES					
416-0000-342-05-00	E-RATE REVENUE	10,200.00	66,190.72	109,006.00	42,815.28	60.7
416-0000-342-12-00	GOVNET	23,079.33	85,532.25	155,028.00	69,495.75	55.2
	TOTAL FEES	33,279.33	151,722.97	264,034.00	112,311.03	57.5
	TOTAL FUND REVENUE	49,701.21	2,047,491.57	462,000.00	(1,585,491.57)	443.2

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

CCN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
ENTERPRISE					
<hr/>					
CITY COMMUNITY NETWORK					
<hr/>					
416-5830-582-10-01 REGULAR WAGES	.00	44,663.13	66,140.00	21,476.87	67.5
416-5830-582-16-00 CITY RETIREMENT	.00	1,739.92	3,165.00	1,425.08	55.0
416-5830-582-20-01 FICA/MEDICARE	.00	3,393.51	4,593.00	1,199.49	73.9
416-5830-582-21-01 HEALTH/LIFE INSURANCE	.00	10,892.00	18,648.00	7,756.00	58.4
416-5830-582-21-05 DENTAL INSURANCE	.00	490.00	840.00	350.00	58.3
416-5830-582-21-06 WORKMENS COMPENSATION	398.56	3,181.55	2,250.00	(931.55)	141.4
416-5830-582-21-07 UNEMPLOYMENT	.00	89.31	172.00	82.69	51.9
416-5830-582-30-19 INSURANCE & BONDS	.00	51.21	65.00	13.79	78.8
416-5830-582-30-23 EQUIPMENT RENTALS	.00	.00	500.00	500.00	.0
416-5830-582-30-90 OTHER CONTRACTUAL SERVICES	.00	30.00	3,620.00	3,590.00	.8
416-5830-582-40-00 TRAVEL & TRAINING	.00	.00	500.00	500.00	.0
416-5830-582-42-01 TELEPHONE	.00	450.00	900.00	450.00	50.0
416-5830-582-44-00 OFFICE SUPPLIES	.00	.00	200.00	200.00	.0
416-5830-582-45-07 CLOTHING ALLOWANCE	.00	.00	200.00	200.00	.0
416-5830-582-46-02 OTHER REPAIR & MAINT	.00	186.36	15,000.00	14,813.64	1.2
416-5830-582-46-09 FLEET FUEL COSTS	.00	914.87	1,000.00	85.13	91.5
416-5830-582-58-00 BAD DEBT EXPENSE	420.00	2,575.20	.00	(2,575.20)	.0
416-5830-582-60-41 OTHER IMPROVEMENTS	.00	.00	5,000.00	5,000.00	.0
416-5830-582-90-02 SHOP FUND	.00	5,585.17	.00	(5,585.17)	.0
416-5830-583-30-33 PROFESSIONAL SERVICES	.00	.00	16,000.00	16,000.00	.0
416-5830-583-30-90 OTHER CONTRACTUAL SERVICES	157.38	5,945.88	4,200.00	(1,745.88)	141.6
416-5830-583-32-90 MAINT. CONTRACTS - OTHER	.00	6,295.00	48,000.00	41,705.00	13.1
416-5830-583-45-10 OPERATING SUPPLIES	.00	419.21	5,000.00	4,580.79	8.4
416-5830-583-46-02 REPAIR & MAINTENANCE	.00	1,040.00	8,500.00	7,460.00	12.2
416-5830-583-50-00 MEMBERSHIP & DUES	.00	.00	1,165.00	1,165.00	.0
416-5830-583-60-00 CAPITAL PROJECTS	.00	.00	25,000.00	25,000.00	.0
416-5830-583-90-01 GENERAL FUND	.00	.00	11,486.00	11,486.00	.0
416-5830-583-90-02 SHOP FUND	.00	.00	5,300.00	5,300.00	.0
416-5830-583-91-00 DEPRECIATION EXPENSE	.00	.00	90,000.00	90,000.00	.0
416-5830-586-30-56 UPSTREAM CONNECTIVITY	4,982.00	39,856.00	60,000.00	20,144.00	66.4
416-5830-586-44-00 OFFICE SUPPLIES	.00	.00	200.00	200.00	.0
416-5830-586-45-10 OPERATING SUPPLIES	.00	.00	2,500.00	2,500.00	.0
416-5830-586-46-02 OTHER REPAIR & MAINT	.00	.00	10,000.00	10,000.00	.0
<hr/>					
TOTAL CITY COMMUNITY NETWORK	5,957.94	127,798.32	410,144.00	282,345.68	31.2
<hr/>					
TOTAL ENTERPRISE	5,957.94	127,798.32	410,144.00	282,345.68	31.2
<hr/>					
TOTAL FUND EXPENDITURES	5,957.94	127,798.32	410,144.00	282,345.68	31.2
<hr/>					
NET REVENUE OVER EXPENDITURES	43,743.27	1,919,693.25	51,856.00	(1,867,837.25)	3702.0
<hr/>					

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

REFUSE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>CHARGES</u>					
421-0000-347-10-01	SALES REFUSE PICKUP	158,686.38	1,256,188.87	1,599,953.00	343,764.13	78.5
421-0000-347-10-02	PENALTY	(183.30)	1,689.36	1,000.00	(689.36)	168.9
421-0000-347-10-05	CONTAINER LOCKS	.00	.00	80.00	80.00	.0
421-0000-347-18-00	CHIPPER/MULCHER	.00	.00	450.00	450.00	.0
	TOTAL CHARGES	158,503.08	1,257,878.23	1,601,483.00	343,604.77	78.5
	<u>INTEREST</u>					
421-0000-361-20-00	INVESTMENT	.00	2,429.40	1,800.00	(629.40)	135.0
	TOTAL INTEREST	.00	2,429.40	1,800.00	(629.40)	135.0
	<u>REVENUE</u>					
421-0000-367-12-00	DUMP-TRUCK/LANDFILL FEES	180.00	1,368.00	1,900.00	532.00	72.0
421-0000-367-13-00	RECYCLED REFUSE	582.92	8,822.33	30,000.00	21,177.67	29.4
	TOTAL REVENUE	762.92	10,190.33	31,900.00	21,709.67	31.9
	TOTAL FUND REVENUE	159,266.00	1,270,497.96	1,635,183.00	364,685.04	77.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

REFUSE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<hr/>					
ENTERPRISE					
<hr/>					
ADMINISTRATIVE					
<hr/>					
421-5816-587-42-01 TELEPHONE	.00	.00	1,100.00	1,100.00	.0
421-5816-587-42-03 POSTAGE	672.99	5,351.29	7,500.00	2,148.71	71.4
421-5816-587-46-08 EQUIPMENT REPAIR-INTERNAL	6,639.86	64,994.96	.00	(64,994.96)	.0
421-5816-587-46-09 FLEET FUEL COSTS	5,766.19	54,206.56	.00	(54,206.56)	.0
421-5816-589-58-00 BAD DEBT EXPENSE	10.79	612.23	.00	(612.23)	.0
<hr/>					
TOTAL ADMINISTRATIVE	13,089.83	125,165.04	8,600.00	(116,565.04)	1455.4
<hr/>					
TOTAL INTERFUND SERVICES	.00	.00	.00	.00	.0
<hr/>					
COLLECTION					
<hr/>					
421-5823-587-10-01 REGULAR WAGES	26,955.20	239,012.34	461,016.00	222,003.66	51.8
421-5823-587-10-02 REIMBURSED WAGES	.00	(668.57)	.00	668.57	.0
421-5823-587-10-10 EMPLOYEE INCENTIVES	.00	290.00	175.00	(115.00)	165.7
421-5823-587-11-01 OVERTIME	712.94	11,054.26	10,000.00	(1,054.26)	110.5
421-5823-587-16-00 CITY RETIREMENT	1,347.76	11,387.54	17,068.00	5,680.46	66.7
421-5823-587-20-01 FICA/MEDICARE	2,029.49	18,506.89	26,009.00	7,502.11	71.2
421-5823-587-21-01 HEALTH/LIFE INSURANCE	10,136.00	68,728.02	149,184.00	80,455.98	46.1
421-5823-587-21-05 DENTAL INSURANCE	525.00	3,780.00	6,720.00	2,940.00	56.3
421-5823-587-21-06 WORKMENS COMPENSATION	4,378.90	39,500.62	37,250.00	(2,250.62)	106.0
421-5823-587-21-07 UNEMPLOYMENT	55.32	500.06	975.00	474.94	51.3
421-5823-587-30-11 SOLID WASTE DISPOSAL	31,900.90	248,992.79	460,000.00	211,007.21	54.1
421-5823-587-30-19 INSURANCE & BONDS	691.46	11,430.61	2,570.00	(8,860.61)	444.8
421-5823-587-30-34 EMPLOYEE LICENSES/TESTING	1,095.00	2,392.15	3,600.00	1,207.85	66.5
421-5823-587-30-90 OTHER/CONTRACTUAL SERVICES	1,000.00	3,880.00	4,000.00	120.00	97.0
421-5823-587-40-00 TRAVEL & TRAINING	.00	1,029.01	2,000.00	970.99	51.5
421-5823-587-42-01 TELEPHONE	245.00	1,900.00	2,800.00	900.00	67.9
421-5823-587-44-00 OFFICE SUPPLIES	.00	31.28	300.00	268.72	10.4
421-5823-587-45-06 CHEMICALS & LAB	.00	.00	500.00	500.00	.0
421-5823-587-45-07 CLOTHING ALLOWANCE	.00	2,242.48	5,200.00	2,957.52	43.1
421-5823-587-45-10 OPERATING SUPPLIES	9,094.43	41,415.29	45,600.00	4,184.71	90.8
421-5823-587-46-02 OTHER REPAIR & MAINT	.00	5,635.74	6,000.00	364.26	93.9
421-5823-587-63-10 CAPITAL OUTLAY	1,164.82	120,368.60	250,000.00	129,631.40	48.2
421-5823-587-91-00 DEPRECIATION EXPENSE	.00	.00	150,000.00	150,000.00	.0
<hr/>					
TOTAL COLLECTION	91,332.22	831,409.11	1,640,967.00	809,557.89	50.7

CITY OF CORTEZ
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

REFUSE FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>RECYCLING</u>					
421-5824-587-10-01	REGULAR WAGES	8,865.60	81,084.10	129,320.00	48,235.90	62.7
421-5824-587-10-10	EMPLOYEE INCENTIVES	122.50	122.50	379.00	256.50	32.3
421-5824-587-11-01	OVERTIME	202.49	3,212.79	15,656.00	12,443.21	20.5
421-5824-587-16-00	CITY RETIREMENT	443.28	3,746.81	6,511.00	2,764.19	57.6
421-5824-587-20-01	FICA/MEDICARE	668.36	6,242.05	9,187.00	2,944.95	67.9
421-5824-587-21-01	HEALTH/LIFE INSURANCE	2,345.00	18,759.98	55,944.00	37,184.02	33.5
421-5824-587-21-05	DENTAL INSURANCE	105.00	840.00	2,520.00	1,680.00	33.3
421-5824-587-21-06	WORKMENS COMPENSATION	816.01	7,057.89	6,112.00	(945.89)	115.5
421-5824-587-21-07	UNEMPLOYMENT	18.13	168.48	345.00	176.52	48.8
421-5824-587-30-19	INSURANCE & BONDS	.00	654.69	481.00	(173.69)	136.1
421-5824-587-30-34	EMPLOYEE LICENSES/TESTING	.00	177.86	800.00	622.14	22.2
421-5824-587-30-90	CONTRACTUAL SERVICES	950.40	6,534.60	1,500.00	(5,034.60)	435.6
421-5824-587-40-00	TRAVEL & TRAINING	.00	.00	1,000.00	1,000.00	.0
421-5824-587-42-01	TELEPHONE	95.00	760.00	750.00	(10.00)	101.3
421-5824-587-42-03	POSTAGE	.00	.00	600.00	600.00	.0
421-5824-587-45-07	CLOTHING ALLOWANCE	.00	918.87	2,000.00	1,081.13	45.9
421-5824-587-45-10	OPERATING SUPPLIES	.00	2,619.71	4,000.00	1,380.29	65.5
421-5824-587-46-02	OTHER REPAIR & MAINT	.00	888.92	800.00	(88.92)	111.1
421-5824-587-50-00	MEMBERSHIP & DUES	2,000.00	3,824.66	5,400.00	1,575.34	70.8
421-5824-587-91-10	DEPRECIATION EXPENSE	.00	.00	20,000.00	20,000.00	.0
	TOTAL RECYCLING	16,631.77	137,613.91	263,305.00	125,691.09	52.3
	TOTAL ENTERPRISE	121,053.82	1,094,188.06	1,912,872.00	818,683.94	57.2
	TOTAL FUND EXPENDITURES	121,053.82	1,094,188.06	1,912,872.00	818,683.94	57.2
	NET REVENUE OVER EXPENDITURES	38,212.18	176,309.90	(277,689.00)	(453,998.90)	63.5

CITY OF CORTEZ
REVENUES WITH COMPARISON TO BUDGET
FOR THE 8 MONTHS ENDING AUGUST 31, 2023

CONSERVATION TRUST FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STATE/COLO</u>						
603-0000-332-17-00	LOTTERY	.00	.00	336,521.00	336,521.00	.0
	TOTAL STATE/COLO	.00	.00	336,521.00	336,521.00	.0
	TOTAL FUND REVENUE	.00	.00	336,521.00	336,521.00	.0
	NET REVENUE OVER EXPENDITURES	.00	.00	336,521.00	336,521.00	.0



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Linda Smith
City Clerk
123 Roger Smith Avenue
Cortez, CO. 81321
lsmith@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DONNA MURPHY, DEPUTY CITY CLERK

Date: 09/19/2023

RE: New Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant, LLC.

DISCUSSION

In considering an application for a new liquor license, Council is directed by State Statutes to determine the needs of the neighborhood, the desires of the residents of the neighborhood, and to verify that the applicant is of good moral character. Fingerprints for Alejandro Ceballos were sent to CBI and individual history records have been completed.

Chief of Police Vern Knuckles will be present at the meeting to give the report from the Police Department. A copy has been attached for your review. A sign was posted on the premises and a public hearing notice was published according to regulations. Copies of the petitions circulated by the Police Department have also been included in the packet.

BACKGROUND

The application referred to above was filed in the office of the City Clerk on August 8, 2023. The application appears to be complete. El Campestre Mexican Restaurant LLC., owner Alejandro Ceballos, is located at 1430 East Main Street, Suite 6, Cortez.

RECOMMENDATION

Staff recommends that after considering the reasonable requirements of the neighborhood, the desires of the adult inhabitants, the necessity of any restrictions on the license, the good moral character of the applicant, and compliance with all the provisions of Colorado Revised Statutes Section 44-3-312, that City Council approve a new Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant LLC, located at 1430 East Main Street, Suite 6, Cortez.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that after considering the reasonable requirements of the neighborhood, the desires of the adult inhabitants, the necessity of any restrictions on the license, the good moral character of the applicants, and compliance with all the provisions of Colorado Revised Statutes Section 44-3-301, City Council approve a new Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant LLC, located at 1430 East Main Street, Cortez.

Attachments

Application/ Applicant Petitions
Police Report and Petitions
Public Notice

Page 1 of 6

Name	Type of License	Account Number
------	-----------------	----------------

7. Is the applicant (including any of the partners if a partnership; members or managers if a limited liability company; or officers, stockholders or directors if a corporation) or managers under the age of twenty-one years? Yes ☐ No ☒
8. Has the applicant (including any of the partners if a partnership; members or managers if a limited liability company; or officers, stockholders or directors if a corporation) or managers ever (in Colorado or any other state):
 - a. Been denied an alcohol beverage license? ☐ ☒
 - b. Had an alcohol beverage license suspended or revoked? ☐ ☒
 - c. Had interest in another entity that had an alcohol beverage license suspended or revoked? ☐ ☒
 If you answered yes to 8a, b or c, explain in detail on a separate sheet.
9. Has a liquor license application (same license class), that was located within 500 feet of the proposed premises, been denied within the preceding two years? If "yes", explain in detail. ☐ ☒
10. Are the premises to be licensed within 500 feet, of any public or private school that meets compulsory education requirements of Colorado law, or the principal campus of any college, university or seminary? ☐ ☒

or
 Waiver by local ordinance? ☐ ☐
 Other: _____
11. Is your Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 1500 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of greater than (>) 10,000? **NOTE:** The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS. ☐ ☐
12. Is your Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 3000 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of less than (<) 10,000? **NOTE:** The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS. ☐ ☐
13. a. For additional Retail Liquor Store only. Was your Retail Liquor Store License issued on or before January 1, 2016? ☐ ☐
 b. Are you a Colorado resident? ☐ ☐
14. Has a liquor or beer license ever been issued to the applicant (including any of the partners, if a partnership; members or manager if a Limited Liability Company; or officers, stockholders or directors if a corporation)? If yes, identify the name of the business and list any current financial interest in said business including any loans to or from a licensee. ☐ ☐
15. Does the applicant, as listed on line 2 of this application, **have legal possession of the premises by ownership, lease or other arrangement?** ☒ ☐
☐ Ownership ☒ Lease ☐ Other (Explain in Detail) _____
 a. If leased, list name of landlord and tenant, and date of expiration, **exactly** as they appear on the lease:

Landlord B. Rojas	Tenant El Campestre Mexican Restaurant	Expires 4/30/2020
--------------------------	---	--------------------------
- b. Is a percentage of alcohol sales included as compensation to the landlord? If yes, complete question 16. ☐ ☒
- c. Attach a diagram that designates the area to be licensed in black bold outline (including dimensions) which shows the bars, brewery, walls, partitions, entrances, exits and what each room shall be utilized for in this business. This diagram should be no larger than 8½" X 11".
16. Who, besides the owners listed in this application (including persons, firms, partnerships, corporations, limited liability companies) will loan or give money, inventory, furniture or equipment to or for use in this business; or who will receive money from this business? Attach a separate sheet if necessary.

Last Name Rodriguez	First Name Carlos	Date of Birth [REDACTED] FEIN or SSN [REDACTED] Interest/Percentage [REDACTED]
Last Name Navarro	First Name Jonathan	Date of Birth [REDACTED] FEIN or SSN [REDACTED] Interest/Percentage [REDACTED]

Attach copies of all notes and security instruments and any written agreement or details of any oral agreement, by which any person (including partnerships, corporations, limited liability companies, etc.) will share in the profit or gross proceeds of this establishment, and any agreement relating to the business which is contingent or conditional in any way by volume, profit, sales, giving of advice or consultation.

17. Optional Premises or Hotel and Restaurant Licenses with Optional Premises:
 Has a local ordinance or resolution authorizing optional premises been adopted? ☐ ☐
 Number of additional Optional Premise areas requested. (See license fee chart)
18. For the addition of a Sidewalk Service Area per Regulation 47-302(A)(4), include a diagram of the service area and documentation received from the local governing body authorizing use of the sidewalk. Documentation may include but is not limited to a statement of use, permit, easement, or other legal permissions.

Name	Type of License	Account Number		
19. Liquor Licensed Drugstore (LLDS) applicants, answer the following: a. Is there a pharmacy, licensed by the Colorado Board of Pharmacy, located within the applicant's LLDS premise? <input type="checkbox"/> <input type="checkbox"/> If "yes" a copy of license must be attached.				
20. Club Liquor License applicants answer the following: Attach a copy of applicable documentation Yes No a. Is the applicant organization operated solely for a national, social, fraternal, patriotic, political or athletic purpose and not for pecuniary gain? <input type="checkbox"/> <input type="checkbox"/> b. Is the applicant organization a regularly chartered branch, lodge or chapter of a national organization which is operated solely for the object of a patriotic or fraternal organization or society, but not for pecuniary gain? <input type="checkbox"/> <input type="checkbox"/> c. How long has the club been incorporated? d. Has applicant occupied an establishment for three years (three years required) that was operated solely for the reasons stated above? <input type="checkbox"/> <input type="checkbox"/>				
21. Brew-Pub, Distillery Pub or Vintner's Restaurant applicants answer the following: a. Has the applicant received or applied for a Federal Permit? (Copy of permit or application must be attached) <input type="checkbox"/> <input type="checkbox"/>				
22. Campus Liquor Complex applicants answer the following: a. Is the applicant an institution of higher education? <input type="checkbox"/> <input type="checkbox"/> b. Is the applicant a person who contracts with the institution of higher education to provide food services? <input type="checkbox"/> <input type="checkbox"/> If "yes" please provide a copy of the contract with the institution of higher education to provide food services.				
23. For all on-premises applicants. a. For all Liquor Licensed Drugstores (LLDS) the Permitted Manager must also submit an Manager Permit Application - DR 8000 and fingerprints.				
Last Name of Manager		First Name of Manager		
24. Does this manager act as the manager of, or have a financial interest in, any other liquor licensed establishment in the State of Colorado? If yes, provide name, type of license and account number.		Yes No <input checked="" type="checkbox"/> <input type="checkbox"/>		
25. Related Facility - Campus Liquor Complex applicants answer the following: a. Is the related facility located within the boundaries of the Campus Liquor Complex? If yes, please provide a map of the geographical location within the Campus Liquor Complex. If no, this license type is not available for issues outside the geographical location of the Campus Liquor Complex. b. Designated Manager for Related Facility- Campus Liquor Complex		<input type="checkbox"/> <input type="checkbox"/>		
Last Name of Manager		First Name of Manager		
26. Tax Information. a. Has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant, been found in final order of a tax agency to be delinquent in the payment of any state or local taxes, penalties, or interest related to a business? <input type="checkbox"/> <input checked="" type="checkbox"/> b. Has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant failed to pay any fees or surcharges imposed pursuant to section 44-3-503, C.R.S.? <input type="checkbox"/> <input checked="" type="checkbox"/>		Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>		
27. If applicant is a corporation, partnership, association or limited liability company, applicant must list all Officers, Directors, General Partners, and Managing Members. In addition, applicant must list any stockholders, partners, or members with ownership of 10% or more in the applicant. All persons listed below must also attach form DR 8404-I (Individual History Record), and make an appointment with an approved State Vendor through their website. See application checklist, Section IV, for details.				
Name	Home Address, City & State	DOB	Position	%Owned
Alejandro Geballos	[REDACTED]	[REDACTED]	Owner	100
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned

Name	Type of License	Account Number
<p>** If applicant is owned 100% by a parent company, please list the designated principal officer on above.</p> <p>** Corporations - the President, Vice-President, Secretary and Treasurer must be accounted for above (Include ownership percentage if applicable)</p> <p>** If total ownership percentage disclosed here does not total 100%, applicant must check this box:</p> <p><input type="checkbox"/> Applicant affirms that no individual other than these disclosed herein owns 10% or more of the applicant and does not have financial interest in a prohibited liquor license pursuant to Article 3 or 5, C.R.S.</p>		
<p>Oath Of Applicant</p> <p>I declare under penalty of perjury in the second degree that this application and all attachments are true, correct, and complete to the best of my knowledge. I also acknowledge that it is my responsibility and the responsibility of my agents and employees to comply with the provisions of the Colorado Liquor or Beer Code which affect my license.</p>		
Authorized Signature <i>Alejandro Cubillas</i>	Printed Name and Title <i>Alejandro Cubillas Gomez</i>	Date <i>08/30/2023</i>
<p>Report and Approval of Local Licensing Authority (City/County)</p>		
Date application filed with local authority <i>8/7/2023</i>	Date of local authority hearing (for new license applicants; cannot be less than 30 days from date of application) <i>9/26/2023</i>	
<p>For Transfer Applications Only - Is the license being transferred valid?</p> <p style="text-align: right;">Yes <input type="checkbox"/> No <input type="checkbox"/></p>		
<p>The Local Licensing Authority Hereby Affirms that each person required to file DR 8404-I (Individual History Record) or a DR 8000 (Manager Permit) has been:</p> <p><input checked="" type="checkbox"/> Fingerprinted</p> <p><input checked="" type="checkbox"/> Subject to background investigation, including NCIC/CCIC check for outstanding warrants</p> <p>That the local authority has conducted, or intends to conduct, an inspection of the proposed premises to ensure that the applicant is in compliance with and aware of, liquor code provisions affecting their class of license</p> <p>(Check One)</p> <p><input type="checkbox"/> Date of inspection or anticipated date _____</p> <p><input checked="" type="checkbox"/> Will conduct inspection upon approval of state licensing authority</p>		
<p><input type="checkbox"/> Is the Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 1,500 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of > 10,000?</p> <p style="text-align: right;">Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p><input type="checkbox"/> Is the Liquor Licensed Drugstore(LLDS) or Retail Liquor Store (RLS) within 3,000 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of < 10,000?</p> <p style="text-align: right;">Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>NOTE: The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS.</p> <p><input type="checkbox"/> Does the Liquor-Licensed Drugstore (LLDS) have at least twenty percent (20%) of the applicant's gross annual income derived from the sale of food, during the prior twelve (12) month period?</p> <p style="text-align: right;">Yes <input type="checkbox"/> No <input type="checkbox"/></p>		
<p>The foregoing application has been examined; and the premises, business to be conducted, and character of the applicant are satisfactory. We do report that such license, if granted, will meet the reasonable requirements of the neighborhood and the desires of the adult inhabitants, and will comply with the provisions of Title 44, Article 4 or 3, C.R.S., and Liquor Rules. Therefore, this application is approved.</p>		
Local Licensing Authority for <i>City of Cortez</i>		Telephone Number <i>970 564 4035</i>
Signature		<input checked="" type="checkbox"/> Town, City <input type="checkbox"/> County
Signature	Print	Title
Signature	Print	Title
		Date


Tax Check Authorization, Waiver, and Request to Release Information

I, Alejandro Ceballos am signing this Tax Check Authorization, Waiver and Request to Release Information (hereinafter "Waiver") on behalf of El Campestre Mexican Restaurant the "Applicant/Licensee") to permit the Colorado Department of Revenue and any other state or local taxing authority to release information and documentation that may otherwise be confidential, as provided below. If I am signing this Waiver for someone other than myself, including on behalf of a business entity, I certify that I have the authority to execute this Waiver on behalf of the Applicant/Licensee.

The Executive Director of the Colorado Department of Revenue is the State Licensing Authority, and oversees the Colorado Liquor Enforcement Division as his or her agents, clerks, and employees. The information and documentation obtained pursuant to this Waiver may be used in connection with the Applicant/Licensee's liquor license application and ongoing licensure by the state and local licensing authorities. The Colorado Liquor Code, section 44-3-101, et seq. ("Liquor Code"), and the Colorado Liquor Rules, 1 CCR 203-2 ("Liquor Rules"), require compliance with certain tax obligations, and set forth the investigative, disciplinary and licensure actions the state and local licensing authorities may take for violations of the Liquor Code and Liquor Rules, including failure to meet tax reporting and payment obligations.

The Waiver is made pursuant to section 39-21-113(4), C.R.S., and any other law, regulation, resolution or ordinance concerning the confidentiality of tax information, or any document, report or return filed in connection with state or local taxes. This Waiver shall be valid until the expiration or revocation of a license, or until both the state and local licensing authorities take final action to approve or deny any application(s) for the renewal of the license, whichever is later. Applicant/Licensee agrees to execute a new waiver for each subsequent licensing period in connection with the renewal of any license, if requested.

By signing below, Applicant/Licensee requests that the Colorado Department of Revenue and any other state or local taxing authority or agency in the possession of tax documents or information, release information and documentation to the Colorado Liquor Enforcement Division, and is duly authorized employees, to act as the Applicant's/Licensee's duly authorized representative under section 39-21-113(4), C.R.S., solely to allow the state and local licensing authorities, and their duly authorized employees, to investigate compliance with the Liquor Code and Liquor Rules. Applicant/Licensee authorizes the state and local licensing authorities, their duly authorized employees, and their legal representatives, to use the information and documentation obtained using this Waiver in any administrative or judicial action regarding the application or license.

Name (Individual/Business) <u>El Campestre Mexican Restaurant</u>		Social Security Number/Tax Identification Number 	
Address <u>1430 E. Main St., Ste #6</u>			
City <u>Cortez</u>		State <u>CO</u>	Zip <u>81321</u>
Home Phone Number		Business/Work Phone Number <u>702-863-9196</u>	
Printed name of person signing on behalf of the Applicant/Licensee <u>Alejandro Ceballos</u>			
Applicant/Licensee's Signature. Signature authorizing the disclosure of confidential tax information) <u>Alejandro Ceballos</u>			Date signed <u>08/07/23</u>

Privacy Act Statement

Providing your Social Security Number is voluntary and no right, benefit or privilege provided by law will be denied as a result of refusal to disclose it. § 7 of Privacy Act, 5 USCS § 552a (note).

WARNING: It is against the law for anyone to sign any petition with any name other than his or her own or to knowingly sign his or her name more than once for the same issue.

PETITION IN FAVOR OF

granting a

NEW

HOTEL AND RESTAURANT LIQUOR LICENSE

TO El Campestre Mexican Restaurant, LLC

ADDRESS 1430 East Main Street, Cortez, Colorado

NEIGHBORHOOD SET BY COUNCIL CITY LIMITS, CITY OF CORTEZ

PUBLIC HEARING ON THIS APPLICATION WILL BE HELD ON Tuesday, September, 2023

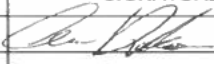







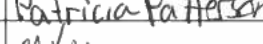

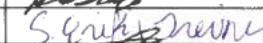


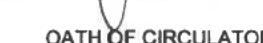
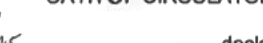
AT 7:30 P. M. IN CITY COUNCIL CHAMBERS, 123 ROGER SMITH AVE., CORTEZ, COLORADO.

PLEASE READ THE FOLLOWING INSTRUCTIONS BEFORE SIGNING THIS PETITION.

1. You must be at least 21 years old.
2. You must be a resident of the neighborhood, or an owner or manager of a business within the neighborhood.

READ CAREFULLY:

I, the undersigned, declare, under penalty of perjury, that I am at least 21 years of age; that I am a resident of the neighborhood, or an owner or manager of a business in the neighborhood, as set by Council; and that I am in favor of granting a change in location for a Hotel and Restaurant Liquor License to the above named applicant at the address stated.

PRINTED NAME	SIGNATURE	STREET ADDRESS ONLY
1. Ana Rosales		516 S. Madison Str 804
2. Daniel Begay		516 S. Madison St Apt 804
3. Erika Campazano		221 E Main st Cortez CO 813
4. Ivette Jimenez		220 S Madison Cortez
5. Lisa Sparks		512 E 3rd St Cortez
6. Teresa Lopez		950 Livesay Dr Cortez, 81321
7. Andrea Macbroad		620 W. 7th St, Apt A
8. Misty M. Valdez		8 W 10th St, Cortez, CO 81321
9. Heather Barnett		2232 E. Main Cortez CO 81321
10. Patricia Patterson		1505 Rolling Rd
11. Benjamin Valdez		8 W 10th St, Cortez, CO 81321
12. Mari Blanks		641 S Broadway Cortez CO 81321
13. Erika Trevino		1050 E 2nd St Cortez
14. Luis Miguel O.		1016 E MAIN STR. 81321
15. CHRISTIAN LORENA		706 Memorial Dr.

OATH OF CIRCULATOR

I, Alejandro Ceballos declare under penalty of perjury that I was the circulator of the foregoing petition; that I am at least 21 years of age; that I reside at 714 Wedgewood St Cortez CO; and that I witnessed each signature written above. Alejandro Ceballos 81321.

SIGNATURE

DATE

08/10/2023

NOTE: All petitions must be represented at the public hearing by the circulator of the petition.

WARNING: It is against the law for anyone to sign any petition with any name other than his or her own or to knowingly sign his or her name more than once for the same issue.

PETITION IN FAVOR OF

granting a

NEW

HOTEL AND RESTAURANT LIQUOR LICENSE

TO El Campestre Mexican Restaurant, LLC

ADDRESS 1430 East Main Street, Cortez, Colorado

NEIGHBORHOOD SET BY COUNCIL CITY LIMITS, CITY OF CORTEZ

PUBLIC HEARING ON THIS APPLICATION WILL BE HELD ON Tuesday, September, 2023

AT 7:30 P. M. IN CITY COUNCIL CHAMBERS, 123 ROGER SMITH AVE., CORTEZ, COLORADO.

PLEASE READ THE FOLLOWING INSTRUCTIONS BEFORE SIGNING THIS PETITION.

1. You must be at least 21 years old.
2. You must be a resident of the neighborhood, or an owner or manager of a business within the neighborhood.

READ CAREFULLY:

I, the undersigned, declare, under penalty of perjury, that I am at least 21 years of age, that I am a resident of the neighborhood, or an owner or manager of a business in the neighborhood, as set by Council; and that I am in favor of granting a change in location for a Hotel and Restaurant Liquor License to the above named applicant at the address stated.

PRINTED NAME	SIGNATURE	STREET ADDRESS ONLY
1. Ella Clark	Ella Clark	23 East 12th Street
2. Jessica M. Phelan	Jessica M. Phelan	SW Andrew Corbett
3. Jeremy Vanden	Jeremy Vanden	110 E Main, Cortez
4. Vasei Uptain	Vasei Uptain	Velma St - Cortez
5. BRANDON RANCE	Brandon Rance	VELMA ST - CORTEZ
6. Ana Jimenez	Ana Jimenez	706 Memorial Dr - Cortez
7. Tiffanie Vialpardo	Tiffanie Vialpardo	Taco Canyon Dr Cortez
8. Inabell Rodriguez	Inabell Rodriguez	714 Wedgewood St
9. Elizabeth Beck	Elizabeth Beck	713 Wedgewood St, Cortez
10. Scott Olive	Scott Olive	1521 Cochita DR Cortez
11. Brannan Henderson	Brannan Henderson	16467 RD 24
12. Rudy V. de la Cruz	Rudy V. de la Cruz	706 Canyon Dr. Cortez
13. Catherine Hutter	Catherine Hutter	714 Wedgewood St
14. Joray Gonzalez	Joray Gonzalez	1302 S. Chestnut corc.
15. H. McCubbin	H. McCubbin	203 E 7th St

OATH OF CIRCULATOR

I, Alexandro Ceballos declare under penalty of perjury that I was the circulator of the foregoing petition; that I am at least 21 years of age; that I reside at 714 Wedgewood St Cortez CO.; and that I witnessed each signature written above. 01321

SIGNATURE

DATE

08/09/2023

NOTE: All petitions must be represented at the public hearing by the circulator of the petition.



POLICE DEPARTMENT

CITY OF CORTEZ
608 N. PARK STREET
CORTEZ, CO 81321

September 14, 2023

TO: Cortez City Council

SUBJECT: Report concerning an investigation for a Hotel & Restaurant Liquor License to be granted to El Campestre Mexican Restaurant, LLC. The address is 1430 East Main Street, Suite 6, Cortez, Colorado 81321.

I, Vernon Knuckles, has been duly appointed and directed by the Cortez City Council, Montezuma County and the State of Colorado, to investigate the above applicant and to state the official position of the Cortez Police Department, do report the following:

1. Contacted the City of Cortez Planning and Zoning Office and spoke to Rachel Marchbanks. Rachel indicated that the zoning regulations do allow a Hotel & Restaurant Liquor License as a permitted use, according to the Schedule of Land Use Code (Sec. 3.05) (a).
2. Public Notice was given by the posting of a proper sign on August 8, 2023 on the property described in the application. A photo of the Public Notice is attached to this report. Required notices were published in the Journal on September 13, 2023.
3. There is a business that has the same type of liquor license in the immediate area.
4. A poll of the surrounding neighborhoods and business within the neighborhood was taken to obtain an opinion on granting this liquor license as applied for by the applicant. All persons contacted were advised of the time and place of the public hearing and were asked, "Do you have an opinion on this liquor license being granted?"

The following are the results of the poll:

- A. 30 in favor of
 - B. 6 against
 - C. 7 no opinion
5. The location complies with Colorado Liquor Code Rules and Regulations. The location does not create any known public safety issues or endanger public health.
 6. A copy of the report was delivered to the applicant on September 14, 2023.

Vernon Knuckles
Chief of Police
Cortez Police Department

WARNING: It is against the law for anyone to sign any petition with any name other than his or her own or to knowingly sign his or her name more than once for the same issue.

PETITION IN FAVOR OF
granting a

NEW

HOTEL AND RESTAURANT LIQUOR LICENSE

TO El Campestre Mexican Restaurant, LLC

ADDRESS 1430 East Main Street, Cortez, Colorado

NEIGHBORHOOD SET BY COUNCIL CITY LIMITS, CITY OF CORTEZ

PUBLIC HEARING ON THIS APPLICATION WILL BE HELD ON Tuesday, September, 2023

AT 7:30 P. M. IN CITY COUNCIL CHAMBERS, 123 ROGER SMITH AVE., CORTEZ, COLORADO.

PLEASE READ THE FOLLOWING INSTRUCTIONS BEFORE SIGNING THIS PETITION.

1. You must be at least 21 years old.
2. You must be a resident of the neighborhood, or an owner or manager of a business within the neighborhood.

READ CAREFULLY:

I, the undersigned, declare, under penalty of perjury, that I am at least 21 years of age; that I am a resident of the neighborhood, or an owner or manager of a business in the neighborhood, as set by Council; and that I am in favor of granting a change in location for a Hotel and Restaurant Liquor License to the above named applicant at the address stated.

PRINTED NAME	SIGNATURE	STREET ADDRESS ONLY
1. Kelly Cochran	[Signature]	511 E. 2nd St. Ct E
2. Taylor Marshall	[Signature]	18 E 13th St
3. Lori Johnson	[Signature]	806 Edith St.
4. Valerie Kondo	[Signature]	508 S. Ash St
5. Jim WARD	[Signature]	1609 TUCKER ST
6. Mark Dudge	[Signature]	2210 Tucker Ln
7. Grace Costello	[Signature]	1561 Palam St.
8. Molly Hangrow	[Signature]	2152 La Plata Place
9. Rachene Farbrang	[Signature]	2151 La Plata Pl.
10. West Allen	[Signature]	207 Denny St Cortez, Co
11. Lunnice Allen	[Signature]	207 Denny St Cortez Co
12. Perry Jones	[Signature]	607 Kansas St Cortez Co
13. Jody Halsey	[Signature]	601 Kansas St Cortez Co
14. Crystal Gerard	[Signature]	1205 MacArthur Court
15. Dawn Lewis	[Signature]	430 Colorado St

OATH OF CIRCULATOR

I, Ryan Liska declare under penalty of perjury that I was the circulator of the foregoing petition; that I am at least 21 years of age; that I reside at 608 N. PARK ST.; and that I witnessed each signature written above.

[Signature]
SIGNATURE

09/30/23

DATE

NOTE: All petitions must be represented at the public hearing by the circulator of the petition.

WARNING: It is against the law for anyone to sign any petition with any name other than his or her own or to knowingly sign his or her name more than once for the same issue.

PETITION IN FAVOR OF

granting a

NEW

HOTEL AND RESTAURANT LIQUOR LICENSE

TO El Campestre Mexican Restaurant, LLC

ADDRESS 1430 East Main Street, Cortez, Colorado

NEIGHBORHOOD SET BY COUNCIL CITY LIMITS, CITY OF CORTEZ

PUBLIC HEARING ON THIS APPLICATION WILL BE HELD ON Tuesday, September, 2023

AT 7:30 P. M. IN CITY COUNCIL CHAMBERS, 123 ROGER SMITH AVE., CORTEZ, COLORADO.

PLEASE READ THE FOLLOWING INSTRUCTIONS BEFORE SIGNING THIS PETITION.

1. You must be at least 21 years old.
2. You must be a resident of the neighborhood, or an owner or manager of a business within the neighborhood.

READ CAREFULLY:

I, the undersigned, declare, under penalty of perjury, that I am at least 21 years of age; that I am a resident of the neighborhood, or an owner or manager of a business in the neighborhood, as set by Council; and that I am in favor of granting a change in location for a Hotel and Restaurant Liquor License to the above named applicant at the address stated.

PRINTED NAME	SIGNATURE	STREET ADDRESS ONLY
1. <u>Ethyn McCotter</u>	<u>Ethyn McCotter</u>	
2. <u>K.M. Baker</u>	<u>K.M. Baker</u>	
3. <u>BRAD REED</u>	<u>Brad Reed</u>	
4. <u>Susan Reed</u>	<u>Susan Reed</u>	
5. <u>Troy Goodenough</u>	<u>Troy Goodenough</u>	<u>1511 Colorado Ave.</u>
6. <u>Nina Thau</u>	<u>Nina Thau</u>	<u>1556 E. Mac Arthur Ave.</u>
7. <u>P. Thayer</u>	<u>P. Thayer</u>	<u>433 Erin St Cortez Co. 81321</u>
8. <u>Ann York</u>	<u>Ann York</u>	<u>ERIN ST CORTEZ CO 81321</u>
9. <u>S. Goodall</u>	<u>S. Goodall</u>	<u>423 S. Park Dr Cortez 81321</u>
10. <u>Shelly Robinson</u>	<u>Shelly Robinson</u>	<u>5116 E Montezuma Ave</u>
11. <u>R Taylor Marston</u>	<u>R Taylor Marston</u>	<u>604 N Ash</u>
12. <u>Georgena Pennick</u>	<u>Georgena Pennick</u>	<u>2002 Center St</u>
13. <u>Macy Cehn</u>	<u>Macy Cehn</u>	<u>2011 Center St</u>
14. <u>Tara Terwilliger</u>	<u>Tara Terwilliger</u>	<u>2011 Center St</u>
15. <u>Jon Nieberg</u>	<u>Jon Nieberg</u>	<u>2019 Center St.</u>

OATH OF CIRCULATOR

I, RYAN LISKA declare under penalty of perjury that I was the circulator of the foregoing petition; that I am at least 21 years of age; that I reside at 608 N. PARK ST; and that I witnessed each signature written above.

[Signature]
SIGNATURE

09/30/23

DATE

NOTE: All petitions must be represented at the public hearing by the circulator of the petition.

WARNING: It is against the law for anyone to sign any petition with any name other than his or her own or to knowingly sign his or her name more than once for the same issue.

PETITION AGAINST
granting a
NEW
HOTEL AND RESTAURANT LIQUOR LICENSE

TO El Campestre Mexican Restaurant LLC.

ADDRESS

20 East Main Street, Suite 6, Cortez, Colorado

NEIGHBORHOOD SET BY COUNCIL CITY LIMITS, CITY OF CORTEZ

PUBLIC HEARING ON THIS APPLICATION WILL BE HELD ON Tuesday, September 12, 2023

AT 7:30 P. M. IN CITY COUNCIL CHAMBERS, 123 ROGER SMITH AVE., CORTEZ, COLORADO.

PLEASE READ THE FOLLOWING INSTRUCTIONS BEFORE SIGNING THIS PETITION.

1. You must be at least 21 years old.
2. You must be a resident of the neighborhood, or an owner or manager of a business within the neighborhood.

READ CAREFULLY: I, the undersigned, declare, under penalty of perjury, that I am at least 21 years of age; that I am a resident of the neighborhood, or an owner or manager of a business in the neighborhood, as set by Council; and that I am against granting a change in location for a Hotel and Restaurant Liquor License to the above named applicant at the address stated.

PRINTED NAME	SIGNATURE	STREET ADDRESS ONLY
1. Kendrick Louise	Kendrick Louise	426 Colorado
2. KAREN WELCH	Karen Welch	1612 Rivera St.
3. Chrissy Malzahn	Chrissy Malzahn	3400 W. 1st Street
4. Steven Coy	Steven Coy	703 Hartman Rd.
5. Tedekiah Coy	Tedekiah Coy	703 Hartman Rd.
6. Richard Frallegos	D. Gulex	617 Apple Dr.
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

OATH OF CIRCULATOR

I, RYAN LISKA declare under penalty of perjury that I was the circulator of the foregoing petition; that I am at least 21 years of age; that I reside at 608 N. PARK ST; and that I witnessed each signature written above.

SIGNATURE

DATE

NOTE: All petitions must be represented at the public hearing by the circulator of the petition.

SUITE 6

NOTICE

**PURSUANT TO THE LIQUOR LAWS
OF COLORADO**

El Campestre Mexican Restaurant

1430 East Main Street, Suite #6

Cortez, CO 81321

**HAS REQUESTED THE LICENSING
OFFICIALS OF the City of Cortez
TO issue a NEW Hotel & Restaurant Liquor License
LICENSE AT: 1430 East Main St., Ste #6**

Cortez, CO 81321

HEARING ON APPLICATION TO BE HELD AT:

Cortez City Hall Council Chambers

123 Roger Smith Ave. Cortez, CO 81321

TIME AND DATE: 7:30pm Tuesday September 26, 2023

DATE OF APPLICATION: August 7, 2023

BY ORDER OF: Cortez City Council

OFFICERS: Alejandra Caballero

BALLANTINE COMMUNICATIONS

Campaign No.	16848
Today's Date	5 Sep 2023
P.O. Number	
Sales Rep	Tamara Desrosiers

This is a quote for approval, not an invoice. Advanced payments may be accepted.

bill-to

City Of Cortez
123 Roger Smith Ave
Cortez, CO 81321
Tel: 970 565-3402
Account No: 100398

advertiser

City Of Cortez
123 Roger Smith Ave
Cortez, CO 81321
Tel: 970 565-3402
Account No: 100398

campaign summary

Description	Public Hearing El Campestre Liq Lic
Start Date	9/13/2023
End Date	9/19/2023
Currency	

cost summary

Base Amount	\$47.25
Adjustments	\$0.00
Gross Amount	\$47.25
Agency Commission	\$0.00
Net Amount	\$47.25
Estimated Tax	\$0.00
Total	\$47.25

Pre-Payment Details

Pre-Payment Amount	Pre-Payment Date	Pre-Payment Card No.
--------------------	------------------	----------------------

No Pre-Payments on this order

print lines

Line No.	Product	Description	Issue / Run Date	Quantity	Rate	Adjusted Rate	Amount
34916	The Journal	TJ Private Legal	9/13/2023	1	47.25	47.25	47.25

16848

PUBLIC NOTICE

PUBLIC NOTICE IS HEREBY GIVEN that a public hearing will be held for the consideration of a Hotel and Restaurant Liquor License for El Campestre Mexican Restaurant LLC, located at 1430 East Main Street, Suite 6, Cortez, Colorado.

Line No.	Product	Description	Issue / Run Date	Quantity	Rate	Adjusted Rate	Amount
		<p>The public hearing will be held at 7:30 p.m., on Tuesday, September 26, 2023, in City Council Chambers at the Cortez City Municipal Building, 123 Roger Smith Avenue, Cortez, Colorado.</p> <p>Further information concerning this matter may be obtained by contacting the City Clerk at the address above or calling 564-4008.</p> <p>Published in The Journal September 13, 2023</p>					

digital lines							
Line No.	Product	Description	Start	End	Quantity	Rate	Amount
-- No Line Items --							

other lines							
Line No.	Product	Description	Start	End	Quantity	Rate	Amount
34917	TJ Adpay/4C Marketplace Online	Class Liner Non-Recruitment	9/13/2023	9/19/2023	7	0.00	0.00



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 09/26/2023

RE: Resolution No. 24, Series 2023

DISCUSSION

2474 Patterson Road LLC, (the "Applicant") is proposing a Site Plan to construct a new 3,456 sq. ft. office building on what is currently platted as 3 separate lots located at TBD N. Sligo St., aka Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10,19-20, BL 5 Amended. The final address will not be assigned until a plat amendment is approved and a building permit is submitted. The Applicant will be required to submit a plat amendment to combine all lots into one. If approved, the new lot will total .53 acres. The Property is currently vacant. The Property is zoned Commercial Highway (C).

BACKGROUND

See Attached.

FISCAL IMPACT

Not studied

RECOMMENDATION

Staff and the Planning and Zoning Commission recommend that Cortez City Council approve Resolution No. 24, Series 2023, a resolution approving the site development plan for a new office building on property located at (60 and 72 guess) TBD N. Sligo St, Cortez, Co., in the Commercial Highway (C) zone, with the 5 conditions.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that the Cortez City Council approve Resolution No. 24, Series 2023, a resolution approving the site development plan for a new office building on property located at an address to be determined at approximately 60 and 72 N. Sligo St., Cortez CO in the Commercial Highway (C) zone, with the conditions as stated in the Resolution.

Attachments

Resolution No. 24, Series 2023
Staff Report
PC Resolution No. 15, Series 2023
Documentation

**CITY OF CORTEZ
RESOLUTION NO. 24, SERIES 2023**

**A RESOLUTION APPROVING A SITE DEVELOPMENT PLAN FOR
CONSTRUCTION OF AN OFFICE BUILDING
LOCATED AT TBD N. SLIGO ST., CORTEZ, COLORADO, IN THE COMMERCIAL
HIGHWAY (C) ZONING DISTRICT**

WHEREAS, the owner/applicant 2474 Patterson Road, LLC (the “Owner/applicant”) has applied for review of a site development plan for establishment of a new office building to be located on property at TBD N. Sligo St., Cortez, Colorado (the “Property”) and more particularly described as:

Lot 17 and Lot 18, Block 5, Henry Subdivision, and Lot 19A of the Henry Subdivision, Lots 9-10, 19-10 Amended.

WHEREAS, Land Use Code Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of these site plan requirements for development on property located in the Commercial Highway (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for an office building for the Property and is recommending approval of the site plan, as evidenced in the adoption of P&Z Resolution No. 15, Series 2023; and

WHEREAS, based on the evidence and testimony presented at its September 5, 2023 meeting, the Planning and Zoning Commission is recommending conditions of approval for the site plan; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of the Property have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL:

THAT, this Resolution No. 24, Series 2023, establishes conditions of approval for the site plan on the Property; and

THAT, the site plan and full application for the Property are hereby approved, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of

- the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
 3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the Property.
 4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
 5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the Property.

AND THAT, the Owner/applicant is to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 26th DAY OF SEPTEMBER, 2023

Rachael B Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: September 26, 2023
Project No. LU23-07

MEMO

TO: Members of the Cortez City Council

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a site plan for a 3,456 sq. ft. office building (Major Mortgage) to be located on property at (60 and 72 guess) TBD N. Sligo St., Cortez CO (the “Property”), zoned Commercial Highway.

APPLICANT: 2474 Patterson Road, LLC

OWNER: 2474 Patterson Road, LLC

ATTACHMENTS: City Council Resolution No. 24, Series 2023
P&Z Resolution No. 15, Series 2023
Plan Set including: Civil Site Plans
Landscape Plans
Floor Plans
Architectural Elevations

BACKGROUND

2474 Patterson Road, LLC, (the “Applicant”) is proposing a site plan to construct a new 3,456 sq. ft. office building on what is currently platted as 3 separate lots located at (60 and 72 guess) TBD N. Sligo St., although the final addresses will not be assigned until a building permit is submitted. The Applicant will be required to submit a plat amendment to combine all lots into one. If approved, the new lot will total .53 acres. The Property is currently vacant. The Property is zoned Commercial Highway (C).

The Property is bounded on all sides by commercially zoned properties.

DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	26,217 sq. ft. (after consolidation)
Min. front yard (ft.)	10'	40' approx
Min. side yard (ft)	0'	64' approx
Min. rear yard (ft)	7'	16' approx
Max. lot coverage	50%	13%
Min. floor area	n/a	n/a
Max height (ft)	50'	24'8"
Parking	20 spaces	24 spaces
Landscaping	10% or 2,622 sq. ft.	7% or 1,844 sq. ft.

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) of the Land Use Code ("LUC") states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

DISCUSSION

The project as submitted appears to meet all development standards with the following exceptions:

Sidewalks (LUC 5.03):

All new development must construct sidewalks to ensure pedestrian access. The proposed location between residential and commercial areas and near parks and schools makes pedestrian safety a significant concern in this area. A 5-foot sidewalk is required.

Drainage:

See City Engineer comments, the site rises steeply from Sligo and significant paved area is proposed. The applicants will need to address drainage to the satisfaction of the City.

Landscaping (LUC 5.05)

As submitted, the proposed site plan fails to meet the required 10% landscaped area requirements. Although the submitted site plan shows a total of 10.6% landscaped area, this appears to be counting landscaping proposed in the ROW and granite mulch area with weed barrier. Staff calculates that an additional 777 sq. ft. of landscaped area (trees, shrubs and groundcover) is required. The Property

appears to have room to add landscaped area either adjacent to the building or in the parking area. 4 excess parking spaces have been proposed which could also be an opportunity to add landscaped area. Additionally, removing pavement and adding landscaping may assist with the drainage concerns as expressed by the City Engineer.

Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity, and general welfare.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

- This site plan looks OK however it's approval would need to be contingent upon the consolidation of Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10, 19-20, BL 5 Amended
- As indicated on City and County Records 60 and 72 N Sligo St. is a GUESS address on a vacant lot and should not be used in this application. An address will be assigned once a building permit is issued.

Cortez City Engineer (Kevin Kissler)

They will need to submit a drainage plan that meets CDPHE requirements. Their site plan appears only to show how water will be drained off the property through a concrete flume on the NW corner and the entrance drive on the SW corner. They need to show drainage calculations for the 25 year, 24 hour storm intensity and show retention and infiltration of that volume that matches pre-existing undisturbed infiltration rates.

They will need a 5' ADA compliant sidewalk across the west side of their property, this will need ADA compliant curb ramps at their driveway entrance. They will also need to install a minimum 5' wide ADA traversable concrete gutter pan across their driveway to catch the flow they are sending down it. The maximum cross slope of that sidewalk and gutter pan is 2% per new construction ADA requirements.

With that said, I'm concerned about scour in that gutter pan since the driveway is 12%. There are multiple options they could explore, such as a concrete driveway with perpendicular grooves or some other means to slow down that drainage water to 5 fps or less.

Cortez Sanitation District (Jim Webb)

The Sanitation District has no issues with this proposal

Cortez Department of Parks and Recreation (Creighton Wright)

I have no comments.

ALTERNATIVES

1. The Commission can recommend that the Council approve application for the site development plan for the proposed office building on property located at (60 and 72 guess) TBD N. Sligo St., Cortez, Colorado, in the Commercial (C) zone; or
2. The Commission can recommend denial of the application for the site development plan and state its reasons; or
3. The Commission can ask for more information and table the application, or continue the application to a date certain; or
4. The Commission can recommend that Council approve the application for the site development plan, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

PLANNING COMMISSION RECOMMENDATION

The Planning and Zoning Commission recommends that the Cortez City Council approve Resolution No. 24, Series 2023, a resolution approving the site development plan for a new office building on property located at (60 and 72 guess) TBD N. Sligo, Cortez, Colorado, in the Commercial Highway (C) zone, with the following conditions:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the property.
4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the property.

STAFF RECOMMENDATION

If the City Council choose to follow the recommendation of the staff and Planning and Zoning Commission, a possible motion would be: **I move that the Cortez City Council approve Resolution No. 24, Series 2023, a resolution approving the site development plan for a new office building on property located at (60 and 72 guess) TBD N. Sligo, Cortez, Colorado, in the Commercial Highway (C) zone, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the property.
4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the property.

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 15, SERIES 2023**

**A Resolution Recommending Approval of a Site Development Plan for an Office Building,
submitted by 2474 Patterson Road, LLC. Located at TBD N. Sligo St., Cortez, Colorado, in
the Commercial (C) Zoning District**

WHEREAS, 2474 Patterson Road., LLC. (the“Owner/applicant”) has applied for review of a site development plan for establishment of a new office building to be located on property at TBD N. Sligo St., Cortez, Colorado (the “Property”) and more particularly described as:

Lot 17 and Lot 18, Block 5, Henry Subdivision, and Lot 19A of the Henry Subdivision, Lots 9-10, 19-20 Amended.

WHEREAS, Land Use Code Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of these site plan requirements for development on property located in the Commercial (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for an office building for the Property and is recommending approval of the site plan, as evidenced in the adoption of P&Z Resolution No. 15, Series 2023; and

WHEREAS, based on the evidence and testimony presented at its September 5, 2023 meeting, the Planning and Zoning Commission is recommending conditions of approval for the site plan; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of the Property have been or can be met.

NOW, THERFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, this P&Z Resolution No. 15, Series 2023, contains recommended conditions of approval for the site plan on the Property; and

THAT, the site plan and full application for the Property are hereby recommended to the Cortez City Council for approval, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of

the 2009 City of Cortez Construction Design Standards and Specifications.

2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the Property.
4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the Property.

AND THAT, the Owner/applicant is to coordinate with City staff to ensure that these conditions are fully met.


MOVED, SECONDED, AND ADOPTED THIS 5th DAY OF SEPTEMBER, 2023

CORTEZ PLANNING AND ZONING COMMISSION



Robert Rime, Chairman

ATTEST:


Cheryl Lindquist, Deputy City Clerk

Pre-Application Review
Planning and Zoning Department

6/16/2023

Date

Please return your completed application form with attachments to Cortez Planning Department, 123 Roger Smith Ave., Cortez, Co. 81321 and email clindquist@cortezco.gov

APPLICANT: 2474 Patterson Road, LLC

MAILING ADDRESS: 2474 Patterson Road #200, Grand Junction, CO 81505

PHONE/EMAIL: (970)241-1500/ryar@majormtg.com

DESCRIBE YOUR PROJECT: two-story commercial building for a mortgage company. The first floor will be the main customer and employee areas to conduct meetings and day to day tasks. The second floor is one big open area for storage, marketing signage, etc.

SITE ADDRESS: 72 N. Sligo St. Cortez, CO 81321

PLEASE PROVIDE ONE ELECTRONIC COPY AND ONE PAPER COPY WITH THE FOLLOWING INFORMATION:

Application Submittal Requirements:

- | | |
|----------|--|
| <u>X</u> | Letter of petition describing your requested project |
| <u>X</u> | Title certificate from licensed title company or attorney listing:
The name of the property owner(s), all liens, all easements and judgments of record affecting the subject property |
| <u>X</u> | Maps, Site Plan, and any other plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any proposed use and all applicable information for City Staff to understand the proposed project |
| <u>X</u> | Street address and legal description of the property |
| <u>X</u> | Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any proposed use |

You will be contacted to set up a time to meet with City Staff to discuss your proposed project.

Please note due to the preliminary nature of information discussed during a pre-application conference, City Staff reserves the right to determine permitting requirements upon receipt of an official development application, information obtained during a pre-application conference is subject to subsequent changes in the Comprehensive Plan, Land Use Code, and/or any other applicable regulations. A pre-application conference does not lock in any fees or development requirements for a project in any way.

Official Use Only: _____

SITE PLANS
(Land Use Code Section 6.14)

Contractor's Name: TBD

Phone/Fax: TBD

Owner's Name: 2474 PATTERSON ROAD, LLC

Phone/Fax: 970-241-6100

Address: 72 N SLIGO ST, CORTEZ, CO 81321 Zone District: COMMERCIAL
HIGHWAY

Legal Description (Lot & Block): LOTS 17, 18, 19A BLOCK 5 HENRY SUB

Existing Use: COMMERCIAL HIGHWAY Proposed Use: COMMERCIAL HIGHWAY

Lot Dimensions: 142' x 183.79' Proposed GFA(Gross Floor Area): 5,878 SF

Application Requirements

X 3 copies of site plan drawn to scale, titled "Preliminary Site Plan"

X Scale and north point indicated

X Name of street on drawing: N SLIGO ST

_____ Fees _____

X Site plan shall contain, but not limited to:

- ☐ Drives, streets, and rights-of-way
- ☐ Easements
- ☐ Location and dimensions of structures and signs
- ☐ Typical elevations of such buildings
- ☐ Access ways, including points of ingress, egress
- ☐ Parking, loading, and refuse areas
- ☐ Common open space
- ☐ Landscaping and open spaces
- ☐ Topography
- ☐ Specific areas proposed for specific types of land use
- ☐ Lots or plots
- ☐ Area proposed for dedication
- ☐ Parks and parkways
- ☐ School sites
- ☐ Wetlands

☐ Narrative describing the proposed development, Lot, Block and subdivision description, and name(s), address and phone number of the property owner(s) must be attached to the plat

☐ A copy of the warranty deed and title commitment current within thirty days of submittal.

☐ Five copies of the drainage plan.

☐ Five copies of the landscape plan.

☐ Five copies of building elevations of all sides to include rooftop mechanical structures and showing screening of rooftop mechanical devices.

☐ Surface and subsurface soils report.

☐ Additional copies may be requested for the referral process

☐ Certification of notification of mineral estate owners as described in Section 6.04 (b)(19).

Review Procedures/Approval Requirements

_____ Site plan submittal, narrative, fees, and application form

_____ PN in paper 15 days prior to **P&Z** meeting on _____

Action of **P&Z**: _____

_____ PN in paper 15 days prior to **Council** meeting on _____

Action of **Council**: _____

_____ Certificate of Occupancy, provided that:

- ☐ Landscaping requirements met
- ☐ Drainage plan approved by City Engineer
- ☐ Parking lot and drainage facilities are in
- ☐ Fire flow/prevention approved by Cortez Fire District
- ☐ Other requirements are met by agencies and Building Official



KRAAIDESIGN
ARCHITECTURE

573 W Crete Cir, Suite 201
Grand Junction, CO 81505

Petition Letter
Major Mortgage
3222 F Road, Cortez, CO

June 15, 2023
City of Cortez Planning

1. General Explanation

1.1. Location

1.1.1. This project is located in Lots 17, 18, 19A N Sligo St, Cortez CO 81321

1.1.2. Parcel Number: 5611-251-16-017

Cortez Zoning: C

1.2. Existing buildings

1.2.1. There are no existing buildings on the property.

1.3. Proposed building

1.3.1. All three lots to be combined into one. One new building will be added as part of the construction that will be a 5,878 square foot, 2 story wood framed office building. Normal office hours of 8:00 am -5:00pm. Approximately 4 employees.

1.4. Land use Existing/Proposed

1.4.1. Proposed: Drive through coffee shop.

1.5. Surrounding land usage

1.5.1. Surrounding Properties: all surrounding properties at also commercial use.

1.6. Nonconforming situation

1.6.1. No known nonconforming situations.

2. Land Use

2.1. The land will be used to operate a mortgage company.

3. Building Sizes

3.1. Area: 5,878 sq ft

3.2. Height: 26'-0"

4. Parking

4.1. Cars: 26 Parking Spaces (1 Handicap)

5. Traffic Circulation

5.1. Traffic will enter and exit from Sligo St. Circulating counter clockwise through the property.

6. Landscaping

6.1. Landscaping as shown in application with design done by Rob Breeden to meet the code required landscaping.

7. Outdoor storage

7.1. Trash collection: there will be one trash enclosure on site near the parking spots in the north-east corner. The detail has been submitted as part of this application.

8. Signs

8.1. Sign permit will be obtained.



Colorado Title & Closing Services - Cortez
631 E. Main Street
Cortez, CO 81321
Phone: (970)564-9770
Fax: (970)564-9769

2474 PATTERSON ROAD, LLC
2474 PATTERSON ROAD SUITE 200
GRAND JUNCTION, CO 81505

Re: Order No. MO22200547

Dear Tor or Ryar,

Enclosed please find the Owner's Title Insurance Policy issued in connection with the above captioned order.

In accordance with the Financial Services Modernization Act, also known as the Gramm-Leach-Bliley Act, effective July 1, 2001, it is our policy that we will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

We thank you for this opportunity of serving you. If you should have any questions or require further assistance, please do not hesitate to call on us.

Sincerely,

COLORADO TITLE & CLOSING SERVICES, LLC

A handwritten signature in purple ink that reads "Kathleen E. Padilla".

Policy Department 6/9/22

NOTICE CONCERNING FRAUDULENT INSURANCE ACTS

(This Notice is Permanently Affixed Hereto)

It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the department of regulatory agencies.

C. R. S. A. § 10-1-128 (6)(a).

ALTA OWNER'S POLICY (6-17-06)

ISSUED BY

**WESTCOR LAND
TITLE INSURANCE COMPANY****OWNER'S POLICY OF TITLE INSURANCE**

Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, WESTCOR LAND TITLE INSURANCE COMPANY, a South Carolina corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.

COVERED RISKS Continued on next page

IN WITNESS WHEREOF, **WESTCOR LAND TITLE INSURANCE COMPANY** has caused this policy to be signed and sealed as of the Date of Policy shown in Schedule A,

Issued By: CO1026 * MO22200547

WESTCOR LAND TITLE INSURANCE COMPANY**Colorado Title & Closing Services, LLC****970 Main Avenue
Durango, CO 81301**

By:

President

Attest:

Secretary

4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS AND STIPULATIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) “Amount of Insurance”: The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) “Date of Policy”: The date designated as “Date of Policy” in Schedule A.
- (c) “Entity”: A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) “Insured”: The Insured named in Schedule A.
 - (i) The term “Insured” also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
 - (2) if the grantee wholly owns the named Insured,
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) “Insured Claimant”: An Insured claiming loss or damage.
- (f) “Knowledge” or “Known”: Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) “Land”: The land described in Schedule A, and affixed improvements that by law constitute real property. The term “Land” does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) “Mortgage”: Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) “Public Records”: Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), “Public

Records” shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

- (j) “Title”: The estate or interest described in Schedule A.
- (k) “Unmarketable Title”: Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company’s liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

- (a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or

CONDITIONS AND STIPULATIONS - CONTINUED

damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.
- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses in-

curred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

- (i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
- (ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

- (a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of
 - (i) the Amount of Insurance; or
 - (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.
- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,
 - (i) the Amount of Insurance shall be increased by 10%, and
 - (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

- (a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any

method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be

no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: Westcor Land Title Insurance Company, Attn.: Claims, 875 Concourse Parkway South, Suite 200, Maitland, FL 32751.

**ALTA OWNER'S POLICY
(6-17-06)**

**WESTCOR
LAND TITLE
INSURANCE COMPANY**

**OWNER'S POLICY
OF
TITLE INSURANCE**

HOME OFFICE
875 Concourse Parkway South, Suite 200
Maitland, FL 32751
Telephone: (407) 629-5842

WESTCOR LAND TITLE INSURANCE COMPANY

SCHEDULE A

Order No.: **MO22200547**
Policy No.: **OP-6-CO1026-14087587**

Date of Policy: **May 11, 2022 at 2:57PM**
Amount of Insurance: **\$94,900.00**
Premium: **\$750.00**

1. Name of Insured:

2474 PATTERSON ROAD, LLC

2. The estate or interest in the land described herein and which is covered by this policy is:

FEE SIMPLE

3. The estate or interest referred to herein is at Date of Policy vested in:

2474 PATTERSON ROAD, LLC

4. The land referred to in this policy located in the State of Colorado, County of **Montezuma** is described as follows:

TRACT I

Lot 19A, THE AMENDED PLAT OF LOTS 9, 10, 19, 20 AND THE FRONTIER PLAZA TRACT, BLOCK 5, HENRY SUBDIVISION TO THE CITY OF CORTEZ, COLORADO, according to the plat thereof filed for record August 29, 1997, in Book 13 at Page 86.

TRACT II

Lot 17, Block 5, HENRY ADDITION to the City of Cortez, according to the plat thereof filed for record April 29, 1957 in Book 7 at Page 36.

TRACT III

Lot 18, Block 5, HENRY ADDITION to the City of Cortez, according to the plat thereof filed for record April 29, 1957 in Book 7 at Page 36.

SCHEDULE B

EXCEPTIONS

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.

NOTE: Real Estate Taxes for the year 2021 are paid. Real Estate Taxes for the year 2022 are not yet due or payable.

6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in Title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records.
7. Easement as described in instrument from James R. Henry and E.W. Henry to Empire Electric Association, Inc., recorded October 13, 1955 in Book 214 at Page 292.
8. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the plat of Henry Addition filed for record April 29, 1957 in Book 7 at Page 36, and any appurtenances thereto.
9. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the amended plat of Henry Subdivision filed for record August 29, 1997 in Plat Book 13 at Page 86, and any appurtenances thereto.
10. Any, tax, assessment, fees or charges, by reason of the inclusion of the subject property in the local street improvement and Cortez Sanitation Districts and any resolutions, ordinances and/or agreements pertaining thereto.



Colorado Secretary of State
Date and Time: 02/06/2007 10:30 AM
Id Number: 20071063614
Document number: 20071063614

Document processing fee
If document is filed on paper \$125.00
If document is filed electronically \$ 25.00
Fees & forms/cover sheets
are subject to change.

To file electronically, access instructions
for this form/cover sheet and other
information or print copies of filed
documents, visit www.sos.state.co.us
and select Business Center.

Paper documents must be typewritten or machine printed.

ABOVE SPACE FOR OFFICE USE ONLY

Articles of Organization

filed pursuant to [§7-90-301](#), et seq. and [§7-80-204](#) of the Colorado Revised Statutes (C.R.S.)

1. Entity name:

2474 Patterson Road, LLC

(The name of a limited liability company must contain the term or abbreviation "limited liability company", "ltd. liability company", "limited liability co.", "ltd. liability co.", "limited", "llc", "l.l.c.", or "ltd." §7-90-601, C.R.S.)

2. Use of Restricted Words *(if any of these
terms are contained in an entity name, true
name of an entity, trade name or trademark
stated in this document, mark the applicable
box):*

- ☐ "bank" or "trust" or any derivative thereof
☐ "credit union" ☐ "savings and loan"
☐ "insurance", "casualty", "mutual", or "surety"

3. Principal office street address:

567 - 20 Road

(Street name and number)

Grand Junction

(City)

CO 81503

(State)

(Postal/Zip Code)

United States

(Province – if applicable)

(Country – if not US)

4. Principal office mailing address
(if different from above):

(Street name and number or Post Office Box information)

(City)

(State)

(Postal/Zip Code)

(Province – if applicable)

(Country – if not US)

5. Registered agent name *(if an individual):*

Hayward

(Last)

Tor

(First)

(Middle)

(Suffix)

OR *(if a business organization):*

6. The person identified above as registered agent has consented to being so appointed.

7. Registered agent street address:

567 - 20 Road

(Street name and number)

Grand Junction

(City)

CO

(State)

81503

(Postal/Zip Code)

8. Registered agent mailing address
(if different from above):

(Street name and number or Post Office Box information)

(City) (State) (Postal/Zip Code)

(Province – if applicable) (Country – if not US)

9. Name(s) and mailing address(es)
of person(s) forming the limited
liability company:

(if an individual) Howe John T.
(Last) (First) (Middle) (Suffix)

OR (if a business organization)

200 Grand Avenue, Suite 400
(Street name and number or Post Office Box information)
Post Office Box 40
Grand Junction CO 81502
(City) (State) (Postal/Zip Code)
United States
(Province – if applicable) (Country – if not US)

(if an individual) _____
(Last) (First) (Middle) (Suffix)

OR (if a business organization)

(Street name and number or Post Office Box information)

(City) (State) (Postal/Zip Code)
United States
(Province – if applicable) (Country – if not US)

(if an individual) _____
(Last) (First) (Middle) (Suffix)

OR (if a business organization)

(Street name and number or Post Office Box information)

(City) (State) (Postal/Zip Code)
United States
(Province – if applicable) (Country – if not US)

(If more than three persons are forming the limited liability company, mark this box ☐ and include an attachment stating the true names and mailing addresses of all additional persons forming the limited liability company)

10. The management of the limited liability company is vested in managers ☐

OR is vested in the members ☒

11. There is at least one member of the limited liability company.

12. (Optional) Delayed effective date: _____.
(mm/dd/yyyy)

13. Additional information may be included pursuant to other organic statutes such as title 12, C.R.S. If applicable, mark this box ☐ and include an attachment stating the additional information.

Notice:

Causing this document to be delivered to the secretary of state for filing shall constitute the affirmation or acknowledgment of each individual causing such delivery, under penalties of perjury, that the document is the individual's act and deed, or that the individual in good faith believes the document is the act and deed of the person on whose behalf the individual is causing the document to be delivered for filing, taken in conformity with the requirements of part 3 of article 90 of title 7, C.R.S., the constituent documents, and the organic statutes, and that the individual in good faith believes the facts stated in the document are true and the document complies with the requirements of that Part, the constituent documents, and the organic statutes.

This perjury notice applies to each individual who causes this document to be delivered to the secretary of state, whether or not such individual is named in the document as one who has caused it to be delivered.

14. Name(s) and address(es) of the individual(s) causing the document to be delivered for filing:

Howe	John	T.	
(Last)	(First)	(Middle)	(Suffix)
200 Grand Avenue, Suite 400			
(Street name and number or Post Office Box information)			
Post Office Box 40			
(Post Office Box information)			
Grand Junction	CO	81502	
(City)	(State)	(Postal/Zip Code)	
United States			
(Province – if applicable)		(Country – if not US)	

(The document need not state the true name and address of more than one individual. However, if you wish to state the name and address of any additional individuals causing the document to be delivered for filing, mark this box ☐ and include an attachment stating the name and address of such individuals.)

Disclaimer:

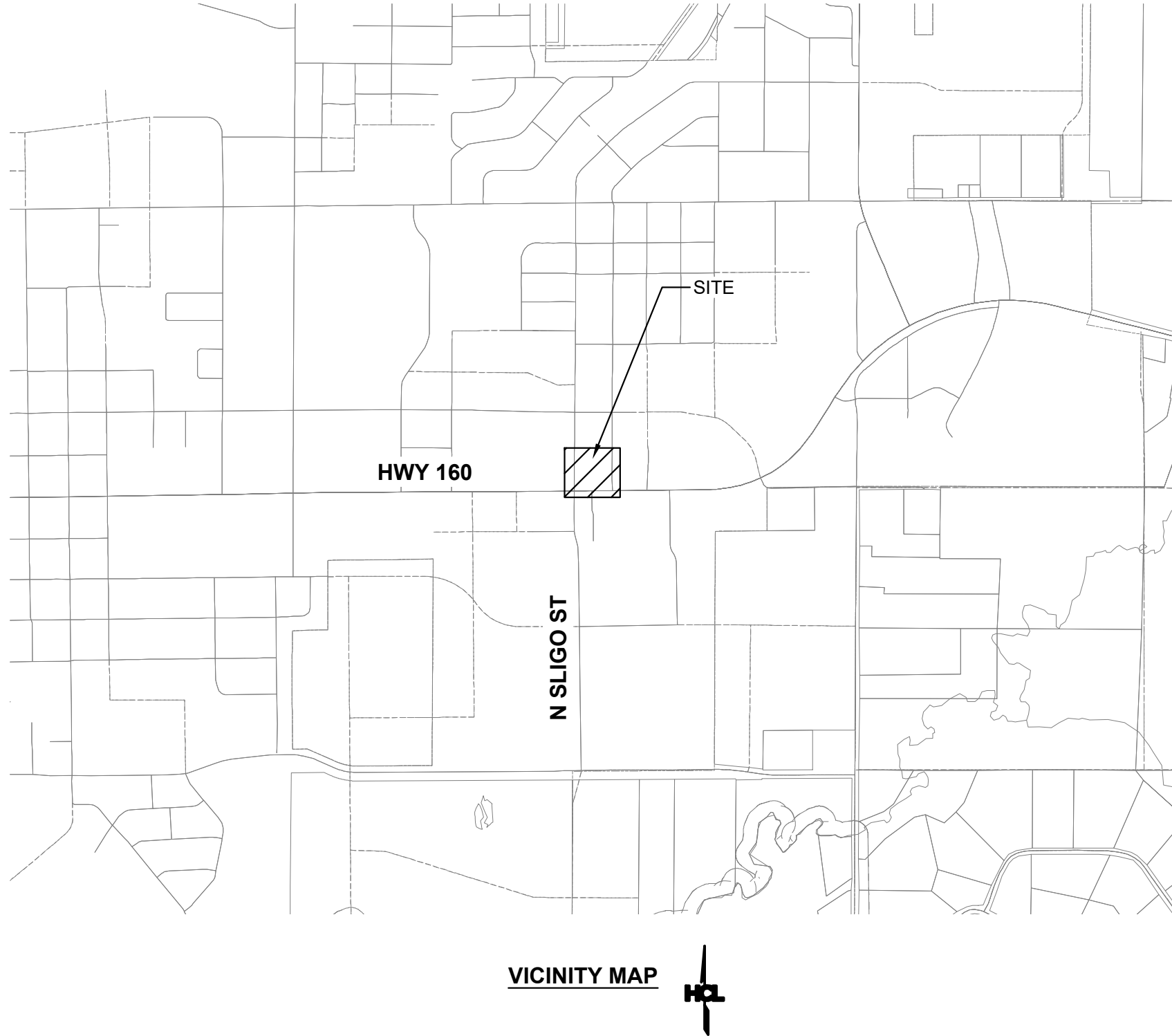
This form, and any related instructions, are not intended to provide legal, business or tax advice, and are offered as a public service without representation or warranty. While this form is believed to satisfy minimum legal requirements as of its revision date, compliance with applicable law, as the same may be amended from time to time, remains the responsibility of the user of this form. Questions should be addressed to the user's attorney.

2023-06-16 1:31pm By: zbear
H:\2023 Jobs\230008 - Major Mortgage - Cortez, CO\Civil\Plan Sets\Sheet Sets\230008 - COVER SHEET PRELIMINARY SITE PLAN.dwg

MAJOR MORTGAGE PRELIMINARY SITE PLAN

LOTS 17, 18, 19A N SLIGO ST.
CORTEZ, CO

ZONING	C - COMMERCIAL HIGHWAY	
USE OF PROPOSED ADDITION	RETAIL USE - OFFICE	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
GROSS ZONE LOT AREA	26,218	0.60
GROSS PROJECT AREA (LIMIT OF WORK PORTION OF GROSS ZONE LOT)	26,218	0.60
AREA TO BE DEEDED FOR ADDITIONAL RIGHT-OF-WAY	N/A	N/A
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT-OF-WAY)	26,218	0.60
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY: N SLIGO ST SIDE: N/A	
GROSS FLOOR AREA FOR EACH USE	BUILDING 1 (MAJOR MORTGAGE) - OFFICE: 3,456 SF	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES (MIN/MAX)	2 STORIES MAX	2 STORIES
BUILDING HEIGHT, FEET (MIN/MAX)	50' MAX	24' - 8"
SETBACKS (PRIMARY STREET, SIDE, REAR)	10' MIN	10' MIN
PARKING	REQUIRED (MIN/MAX)	PROVIDED
STANDARD SPACES	1/300 SF GFA = 20	24
COMPACT SPACES	MAX 10% (29) = 2	0
ACCESSIBLE	1	1
TOTAL PARKING SPACES	21	25
BICYCLE SPACES	0	0
LOADING SPACES	0	0



PROJECT DESCRIPTION

WORK TO INCLUDE THE DEVELOPMENT OF A 0.60 ACRE SITE WITH A 3,456 SF BUILDING AND CORRESPONDING PARKING AND DRIVEWAY ACCESS. PROPOSED SITE ADDRESS: 72 N SLIGO ST. CORTEZ, CO 81321

CONTACTS

OWNER:
MAJOR MORTGAGE
2474 PATTERSON RD SUITE #200
GRAND JUNCTION, CO 81505
PHONE: 970-241-6100

CIVIL ENGINEER:
HCL ENGINEERING & SURVEYING
5975 S. QUEBEC ST., SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1605
CONTACT: BYRON GLENN, P.E.

MECHANICAL & PLUMBING ENGINEER:
BIGHORN CONSULTING ENGINEERS
386 INDIAN ROAD
GRAND JUNCTION, CO 81501
PHONE: 970.241.8709

ARCHITECT:
KRAAI DESIGN ARCHITECTURE
417 MONUMENT RD., SUITE 7
GRAND JUNCTION, CO 81507
PHONE: 970.712.5045

GOVERNMENT:
THE CITY OF CORTEZ
PLANNING AND BUILDING
123 ROGER SMITH AVE.
CORTEZ, CO 81321
PHONE: 970.565.3402

STRUCTURAL ENGINEER:
LINDAUER DUNN INC.
802 ROOD AVE
GRAND JUNCTION, CO
PHONE: 970.241.0900

SURVEYOR:
HUDDLESTON LAND SURVEYING
CORTEZ, CO 81321
PHONE: 970.565.3330

SHEET

C0.0

C1.0

C2.0

C3.0

C4.0

C5.0

C6.0

SHEET LIST TABLE

SHEET TITLE

COVER SHEET

EXISTING SITE PLAN

OVERALL SITE PLAN

OVERALL GRADING PLAN

OVERALL UTILITY PLAN

EROSION CONTROL PLAN

CROSS SECTIONS

REVISIONS

DATE

#

1

2

3

4

5

PROJECT: MAJOR MORTGAGE

DRAWING: COVER SHEET

CLIENT: MAJOR MORTGAGE

DESIGNED BY:

HORIZ:

SCALE: VERT:

DATE:

CHECKED BY: BUG

DEVELOPED BY:

HCL ENGINEERING & SURVEYING, L.L.C.

5975 S. QUEBEC ST., SUITE 200

CENTENNIAL, CO 80111

PHONE: 303.773.1605

FAX: 303.773.3297

WWW.HCLENGINEERING.COM



SHEET NUMBER

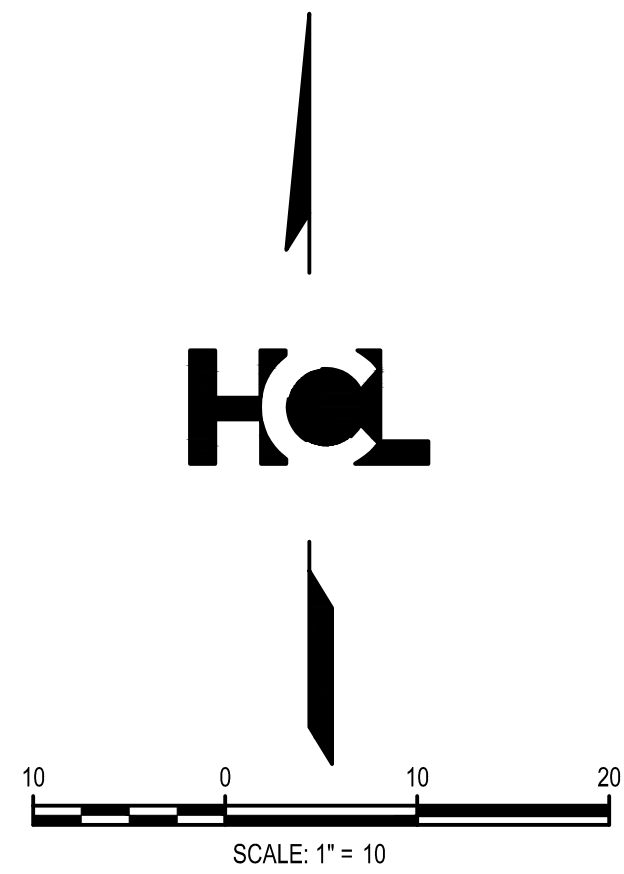
C0.0

PROJECT NO.

2023-06-16 1:30pm By: zbear
H:\2023 Jobs\230008 - Major Mortgage - Cortez, CO\Civil\Plan Sets\Sheet Sets\230008 - EXISTING SITE PLAN.dwg



FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(or 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
www.uncc.org

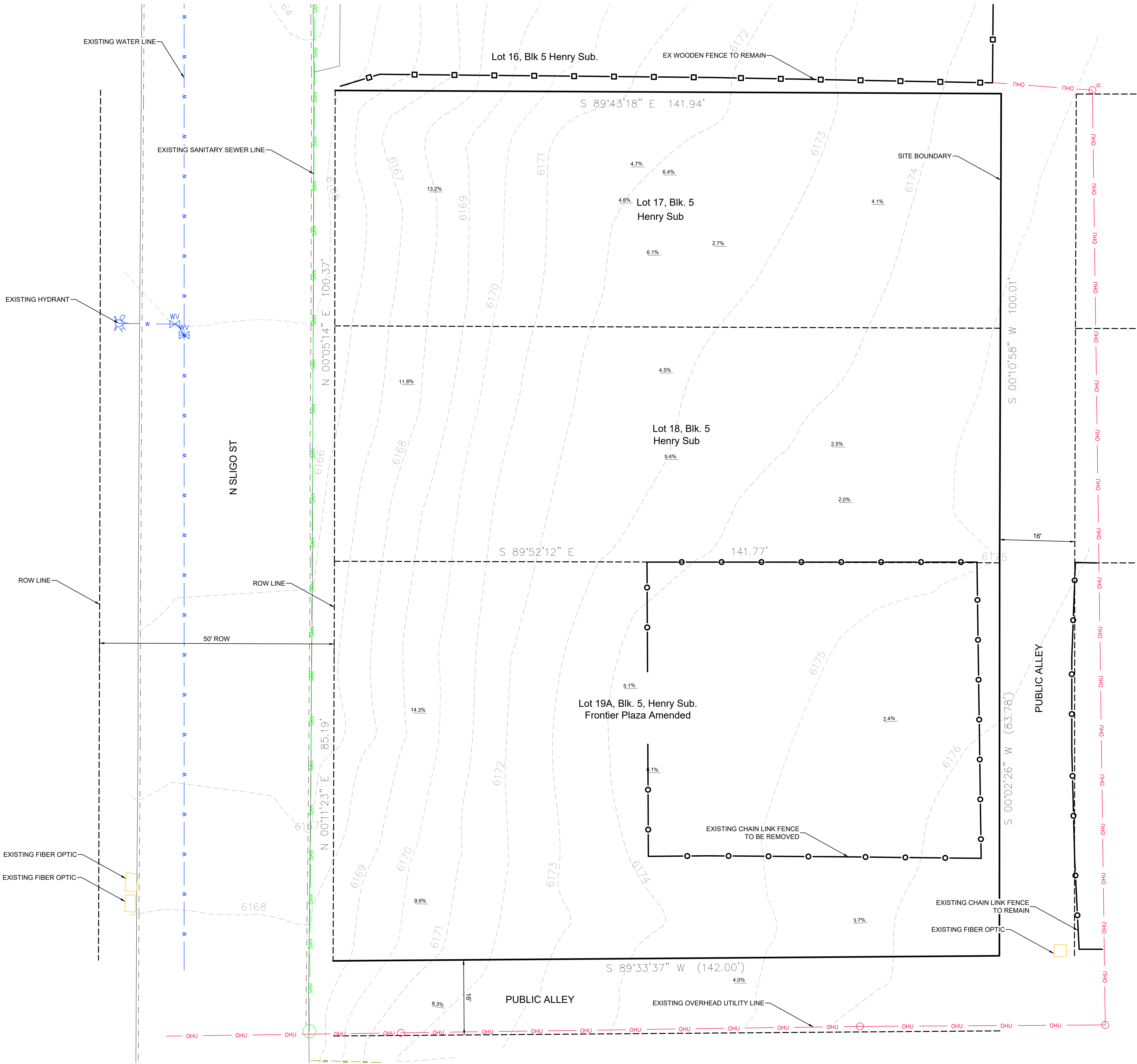


LEGEND

- BOUNDARY LINE
- ZONE LOT LINE
- EXISTING FLOW LINE

GENERAL NOTES

- EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.



REVISIONS	
#	DATE
1	
2	
3	
4	
5	

PROJECT: MAJOR MORTGAGE	
DRAWING: EXISTING SITE PLAN	
CLIENT: MAJOR MORTGAGE	
DESIGNED BY: ZEB	
DRAWN BY: ZEB	
CHECKED BY: BUG	
SCALE: 1" = 10'	
DATE:	

DEVELOPED BY:
HCL ENGINEERING & SURVEYING, L.L.C.
1000 SOUTH BROAD ST, SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1805
FAX: 303.773.3297
WWW.HCLENGINEERING.COM







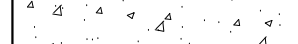



SHEET NUMBER

C1.0

PROJECT NO.

LEGEND

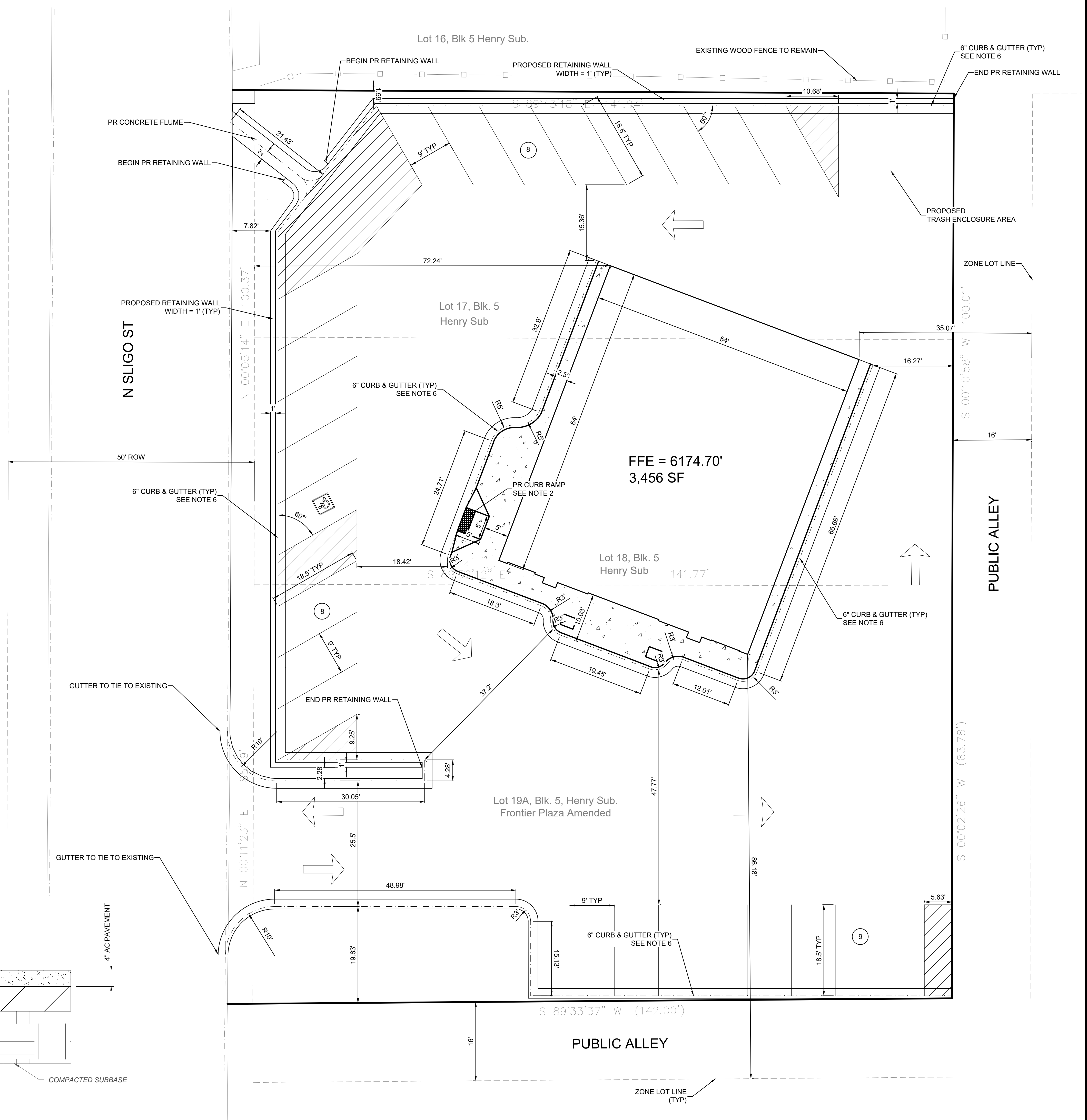
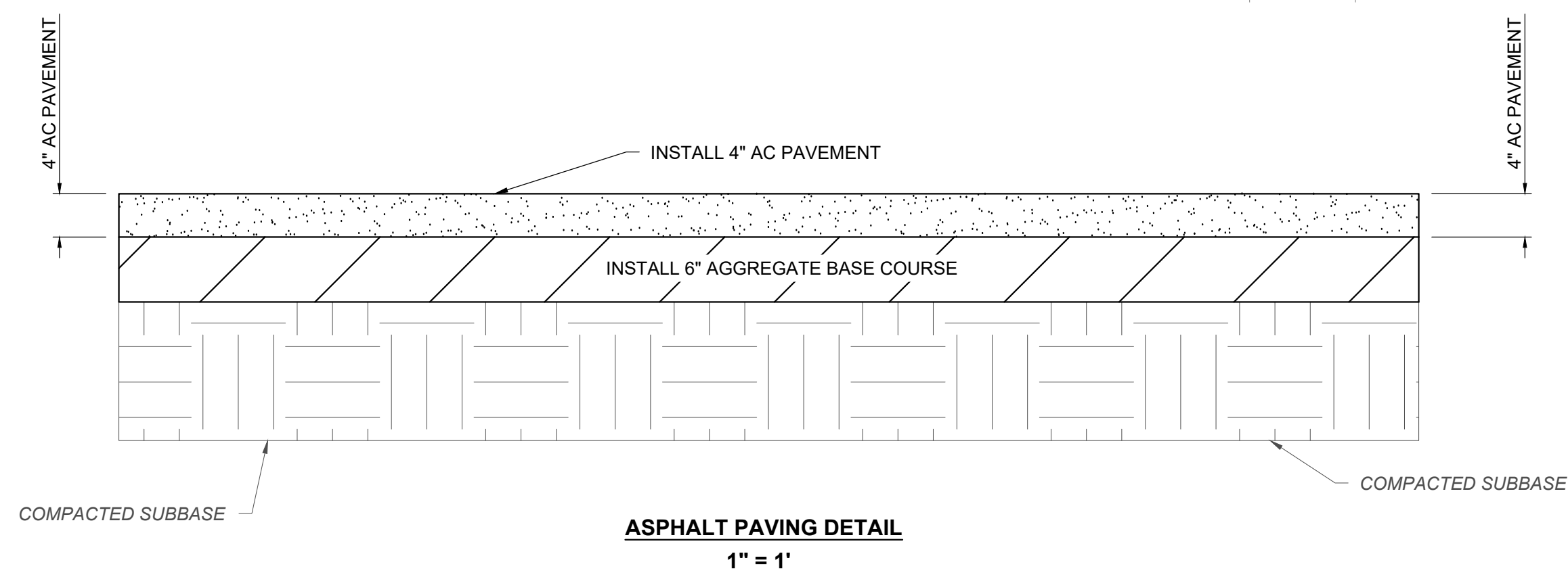
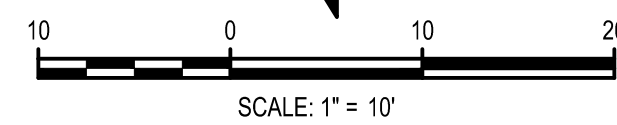
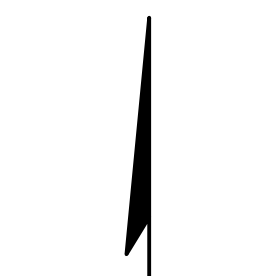
- | | |
|---|----------------------------|
|  | BOUNDARY LINE |
|  | ZONE LOT LINE |
|  | PROPOSED FLOW LINE |
|  | EXISTING FLOW LINE |
|  | PROPOSED CONCRETE PAVEMENT |
|  | PROPOSED ASPHALT PAVEMENT |
|  | PROPOSED GRAVEL LANDSCAPE |
|  | PARKING STALL COUNT |

NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
3. ADA-COMPLIANT DETECTABLE WARNING IS REQUIRED WHERE ALL SIDEWALKS INTERSECT CURB LINES.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION EROSION AND SEDIMENT CONTROL CONFORMING TO ALL STATE AND LOCAL STANDARDS.
5. ANY AREA OUTSIDE THE LIMIT OF PROPOSED WORK THAT IS DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
6. CURB & GUTTER DETAIL PER CITY OF CORTEZ CONSTRUCTION DESIGN STANDARDS AND SPECIFICATIONS
7. CONTRACTOR TO REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE PAVEMENT DESIGN AND SUBGRADE PREPARATION

GENERAL NOTE

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



1	
2	
3	
4	
5	

DRAWING: SITE PLAN	
CLIENT: MAJOR MORTGAGE	
DESIGNED BY:	
DRAWN BY: ZEB	
CHECKED BY: JIG	
DATE:	
HORIZ. SCALE: 1" = 10'	
VERT. SCALE:	

HCL ENGINEERING & SURVEYING, L.L.C.
5975 SOUTH QUEBEC ST. SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1605
FAX: 303.773.3297
WWW.HCLENGINEERING.COM



SHEET NUMBER

C2.0

PROJECT NO.

2023-06-16 1:30pm By: zbecor
H:\2023_data\230608 - Major Mortgage - Cortez, CO\Civil\Plan Sets\230608 - GRADING PLAN ALT EXHIBIT.dwg

LEGEND

- BOUNDARY LINE
- ZONE LOT LINE
- 4618 --- EXISTING CONTOUR
- 4618 — PROPOSED CONTOUR
- FLOW LINE
- ← X.X% SLOPE ARROW

ABBREVIATIONS

- HP HIGH POINT
- LP LOW POINT
- FL FLOW LINE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- BOW BOTTOM OF WALL
- TBC TOP BACK OF CURB

NOTES:

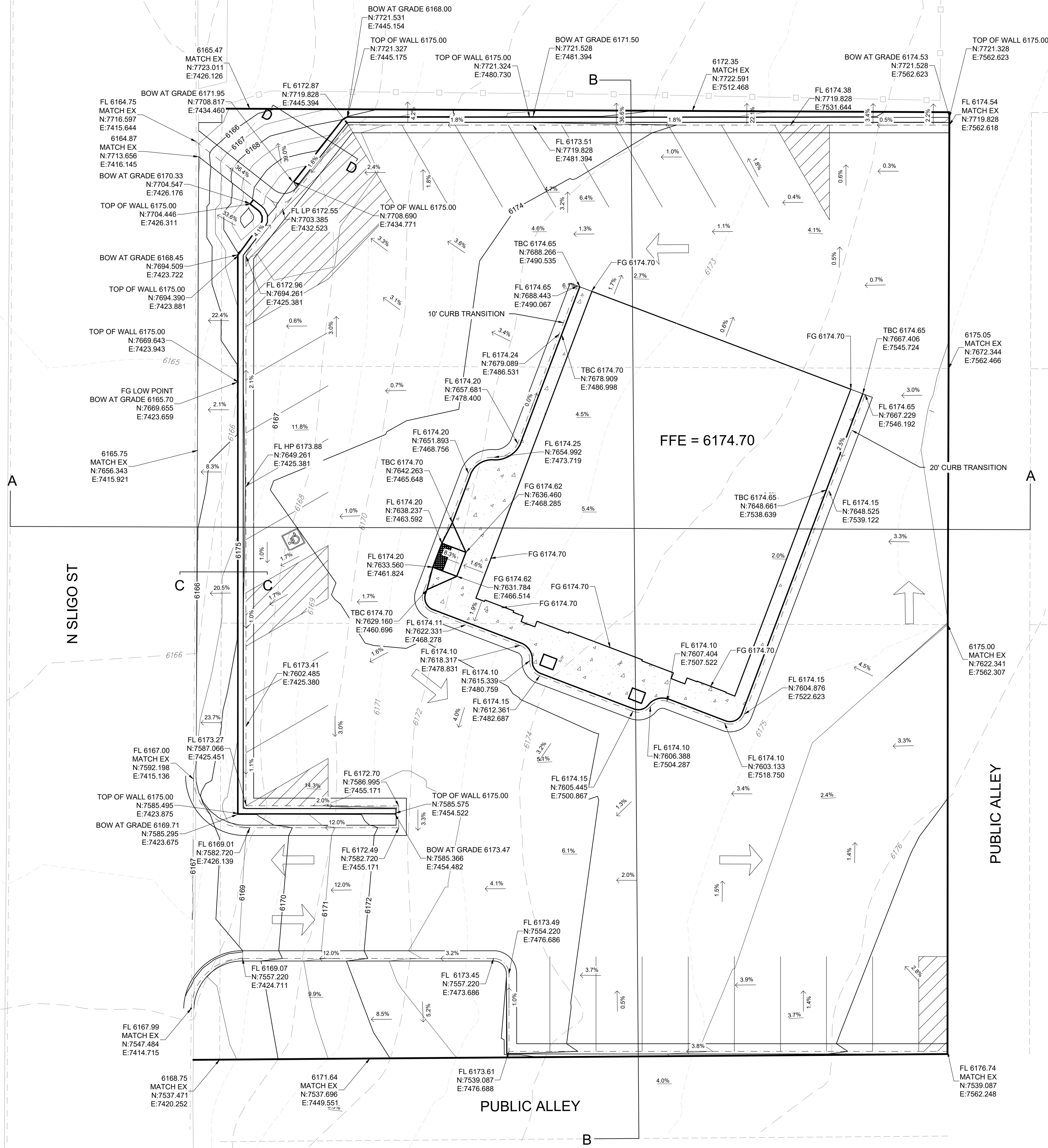
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
3. ALL SIDEWALKS SHALL HAVE A 1.5% MINIMUM CROSS-SLOPE IN THE DOWN-GRADIENT DIRECTION.
4. CROSS SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. LONGITUDINAL SLOPES ALONG RAMPS SHALL NOT EXCEED 12:1. ALL RAMPS SHALL HAVE HANDRAILS ON BOTH SIDES, WITH THE EXCEPTION OF CURB RAMPS.
5. WHERE A GUTTER PAN IS LOCATED AT THE BOTTOM OF A CURB RAMP, THE SLOPE OF THE GUTTER PAN SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL, AND 2% CROSS SLOPE.
6. UNLESS OTHERWISE NOTED, ALL SPOT ELEVATIONS REPRESENT FINISHED GRADE (NOT INCLUDING ROCK MULCH OR OTHER LANDSCAPE COVER). UNLESS OTHERWISE NOTED, ALL SPOT ELEVATIONS ALONG CURB OR GUTTER PANS REPRESENT FLOWLINE.
7. CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS, VALVE BOXES, AND OTHER UTILITY STRUCTURES TO FINAL GRADE.
8. CONTRACTOR SHALL PERFORM A FORM CHECK PRIOR TO PLACING EXTERIOR CONCRETE. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY SLOPE OR ELEVATION DISCREPANCIES FROM THESE PLANS.
9. DOWNSPOUTS AND RAINWATER LEADERS THAT DISCHARGE TO GRADE SHALL INCLUDE A 5-FOOT EXTENDER OR CONCRETE SPLASH BLOCK EXTENDING 5 FEET FROM THE BUILDING LINE AND SHALL DIRECT FLOW AWAY FROM THE BUILDING.
10. CONTRACTOR SHALL FIELD-VERIFY SPOT ELEVATIONS LABELED "MATCH" AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FROM THESE PLANS.
11. ALL GRADES ADJACENT TO THE BUILDING IN NON-PAVED AREAS SHALL BE A MINIMUM OF 8 INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
12. ALL GRADES ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, AND AT A MINIMUM OF 5% FOR 10 FEET IN NON-PAVED AREAS, AND 1% IN PAVED AREAS.

GENERAL NOTE

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(or 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
www.uncc.org



REVISIONS

#	DATE
1	
2	
3	
4	
5	

PROJECT: MAJOR MORTGAGE

DRAWING: GRADING & DRAINAGE PLAN

CLIENT: MAJOR MORTGAGE

DESIGNED BY:

DRAWN BY: ZEB

CHECKED BY: BUG

DEVELOPED BY:

HCL ENGINEERING & SURVEYING, L.L.C.

1000 S. CENTRAL ST., SUITE 200
CENTRAL, CO 80111

PHONE: 303.773.1805
FAX: 303.773.3297

WWW.HCLENGINEERING.COM



SHEET NUMBER

C3.0

PROJECT NO.

2023-06-16 1:30pm By: zbear
H:\2023 Jobs\230008 - Major Mortgage - Cortez, CO\Civil\Plan Sets\Sheet Sets\230008 - OVERALL UTILITY PLAN.dwg

LEGEND

	PR WATER LINE
	PR SANITARY SEWER LINE
	EX OVERHEAD TELECOMMUNICATION LINE
	EX OVERHEAD ELECTRIC LINE
	EX SANITARY SEWER LINE
	EX GAS LINE
	EX WATER LINE
	EX WATER METER
	EX WATER VALVE
	EX GAS VALVE
	EX GAS METER
	EX ROOF DRAIN
	EX CLEAN OUT
	EX LIGHT POLE
	EX ELECTRICAL UTILITY BOX
	EX ELECTRICAL TRANSFORMER
	EX ELECTRICAL METER

NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
3. ADA-COMPLIANT DETECTABLE WARNING IS REQUIRED WHERE ALL SIDEWALKS INTERSECT CURB LINES.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION EROSION AND SEDIMENT CONTROL CONFORMING TO ALL STATE AND LOCAL STANDARDS.
5. ANY AREA OUTSIDE THE LIMIT OF PROPOSED WORK THAT IS DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.

GENERAL NOTE

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HOL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION

BUILDING 1

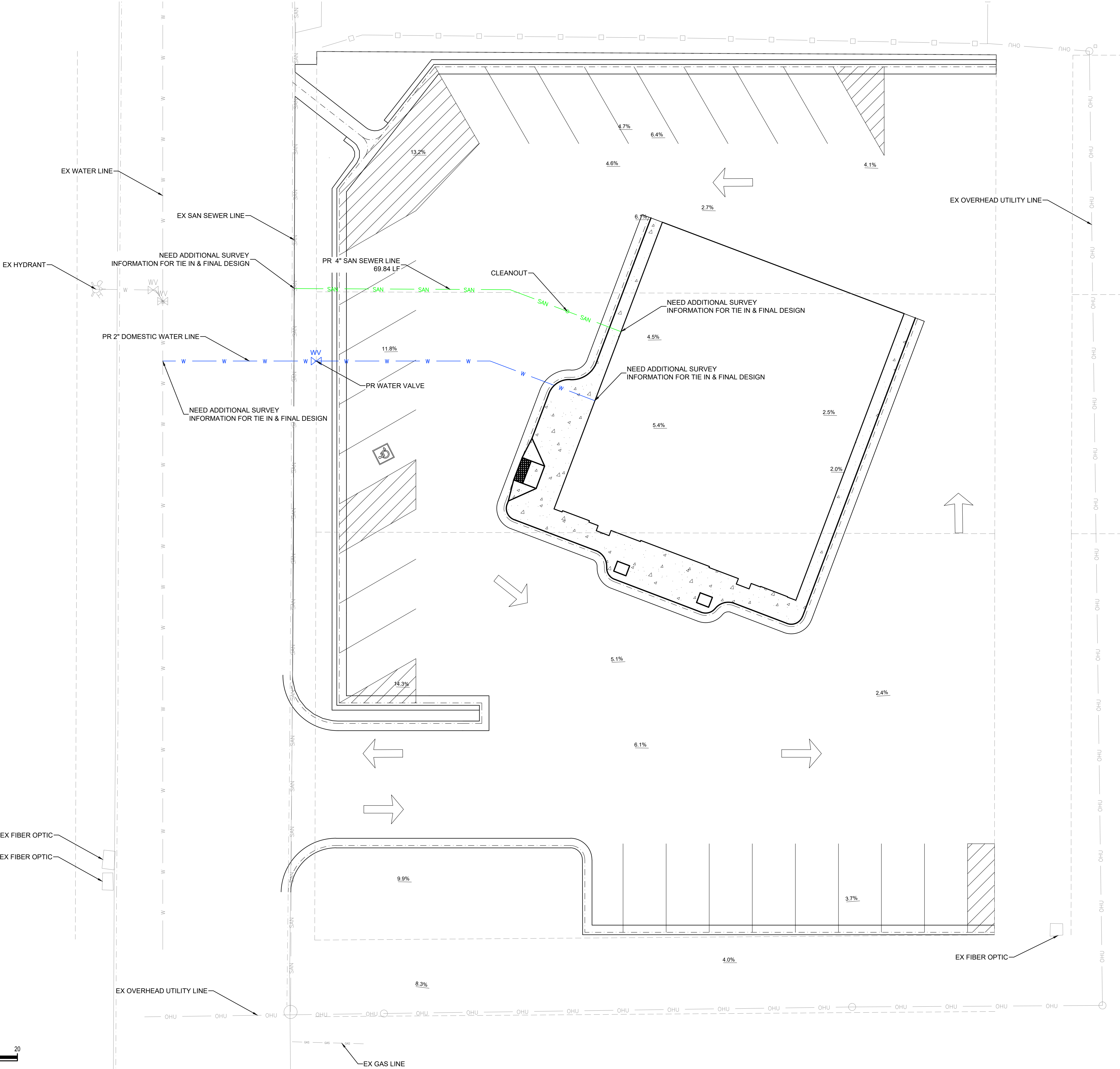
TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1,500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS INDIVIDUALLY. EACH FIRE HYDRANT MUST SUPPLY 1,500 GPM MINIMUM @20 PSI PRESSURE

CODE USED FOR ANALYSIS: 2018 IFC
OCCUPANCY TYPE: BUSINESS
FIRE FLOW CALCULATION AREA: 3,500 SF

THIS BUILDING IS NOT SPRINKLERED

HOL

SCALE: 1" = 10'



REVISIONS

#	DATE
1	
2	
3	
4	
5	

PROJECT: MAJOR MORTGAGE

DRAWING: UTILITY PLAN

CLIENT: MAJOR MORTGAGE

DESIGNED BY: ZEB
DRAWN BY: ZEB
CHECKED BY: BUG
SCALE: 1" = 10'
DATE:

DEVELOPED BY:
HOL ENGINEERING & SURVEYING, L.L.C.
1000 S. 1000 E. ST. SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1805
FAX: 303.773.3297
WWW.HOLENGINEERING.COM



SHEET NUMBER

C4.0

PROJECT NO.

2023-06-16 1:30pm By: zbear
H:\2023_data\230608 - Major Mortgage - Cortez, CO\Civil\Plan Sets\Sheet Sets\230608 - EROSION CONTROL PLAN.dwg



FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(or 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
www.uncc.org



BMP LEGEND

	SR	SURFACE ROUGHENING
	ECB	EROSION CONTROL BLANKET
	TSD	TEMPORARY SLOPE DRAIN
	OP	RRB FOR CULVERT PROTECTION
	RCS	ROUGH CUT STREET CONTROL
	ED/DS	EARTH DIKES AND DRAINAGE SWALE
	TER	TERRACING
	CD	CHECK DAM
	CWA	CONCRETE WASHOUT AREA
	SP	STOCKPILE MANAGEMENT
	SF	SILT FENCE
	SCL	SEDIMENT CONTROL LOG
	SBB	STRAW BAIL BARRIER
	RS	ROCK SOCK
	IP	INLET PROTECTION
	SB	SEDIMENT BASIN
	CF	CONSTRUCTION FENCE
	VTC	VEHICLE TRACKING CONTROL
	SSA	STABILIZED STAGING AREA
	TDC	TEMPORARY DIVERSION CHANNEL
	DW	DEWATERING
	TSC	TEMPORARY STREAM CROSSING
	LOC	LIMITS OF CONSTRUCTION
	LOD	LIMIT OF DISTURBANCE

NOTES:

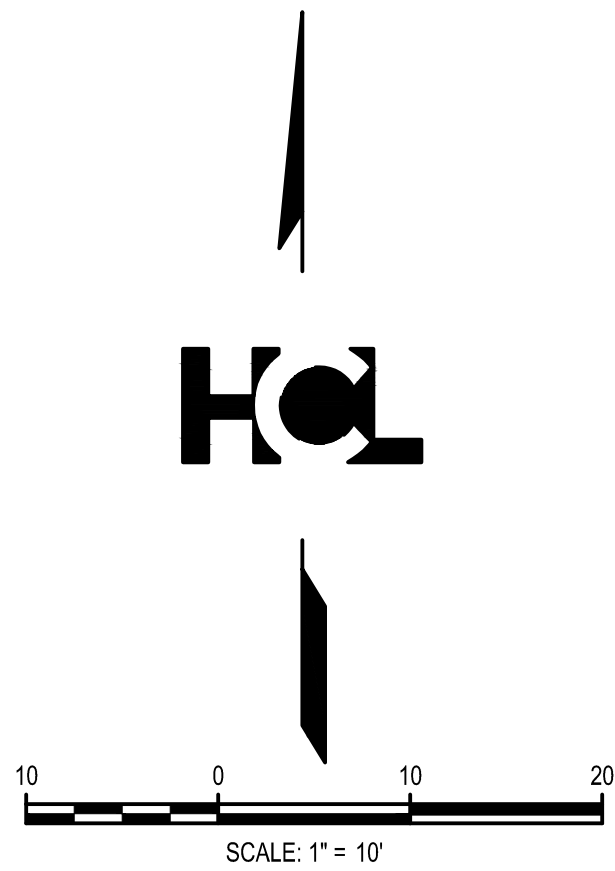
1. ANY BMPs THAT REQUIRE GRADING, E.G. SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH OUT AREAS, ETC., SHALL NOT BE PLACED UNTIL AFTER THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE SEDIMENT BASIN (OR OTHER BMP) SHALL NOT BE INSTALLED UNTIL AFTER THE GESC PRE-CONSTRUCTION MEETING AND ISSUANCE OF THE GESC PERMIT BUT MUST BE FULLY FUNCTIONAL PRIOR TO ANY LARGE SCALE GRADING. THE INITIAL PLAN ILLUSTRATES EXISTING CONDITIONS NO PROPOSED INFRASTRUCTURE IS SHOWN.

2. USE COCONUT FIBER FOR EROSION CONTROL BLANKETS AND SEDIMENT CONTROL LOGS.

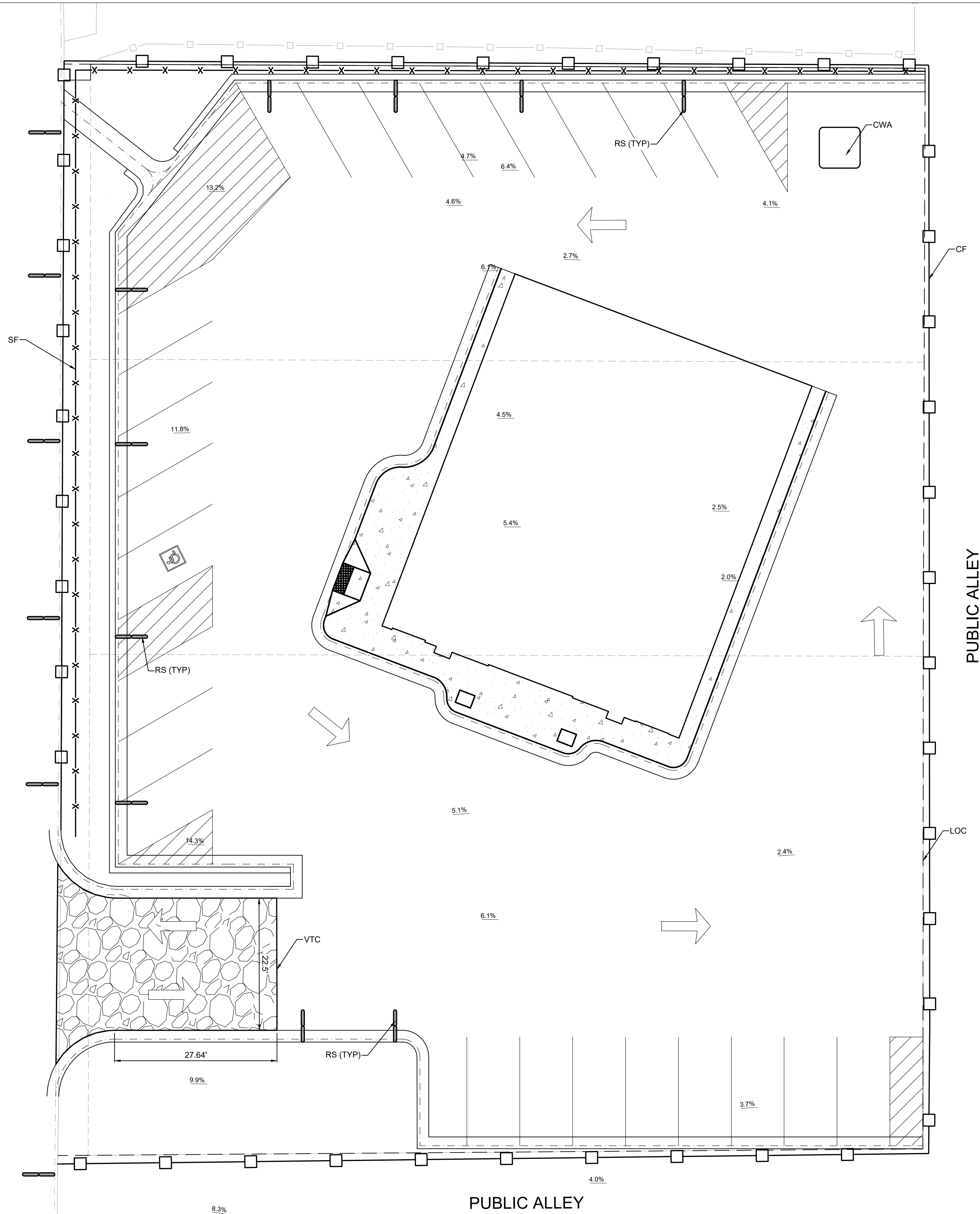
3. WHEN ROCK SOCKS ARE PLACED IN THE GUTTER ADJACENT TO A CURB, ROCK SOCKS SHOULD PROTRUDE NO MORE THAN TWO FEET FROM THE CURB

GENERAL NOTE

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



N SLIGO ST



REVISIONS

#	DATE	
1		
2		
3		
4		
5		

PROJECT: MAJOR MORTGAGE

DRAWING: EROSION CONTROL PLAN

CLIENT: MAJOR MORTGAGE

DESIGNED BY:

DRAWN BY: ZEB

CHECKED BY: BUG

DEVELOPED BY:

HCL ENGINEERING & SURVEYING, L.L.C.

1000 WEST 10TH ST, SUITE 200

CENTENNIAL, CO 80111

PHONE: 303.773.1805

FAX: 303.773.3297

WWW.HCLENGINEERING.COM



SHEET NUMBER

C5.0

PROJECT NO.

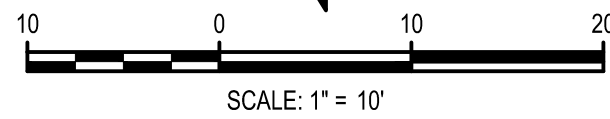
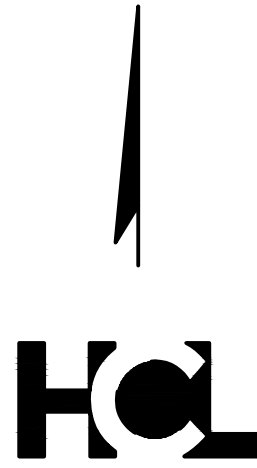
2023-06-16 1:30pm By: zbecar
H:\2023 Jobs\230008 - Major Mortgage - Cortez, CO\Civil\Plan Sets\230008 - GRADING PLAN ALT EXHIBIT.dwg

LEGEND

- BOUNDARY LINE
- ZONE LOT LINE
- 4618 ----- EXISTING CONTOUR
- 4618 ——— PROPOSED CONTOUR
- FLOW LINE
- ← X.X% SLOPE ARROW

ABBREVIATIONS

- HP HIGH POINT
- LP LOW POINT
- FL FLOW LINE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- BOW BOTTOM OF WALL
- TBC TOP BACK OF CURB

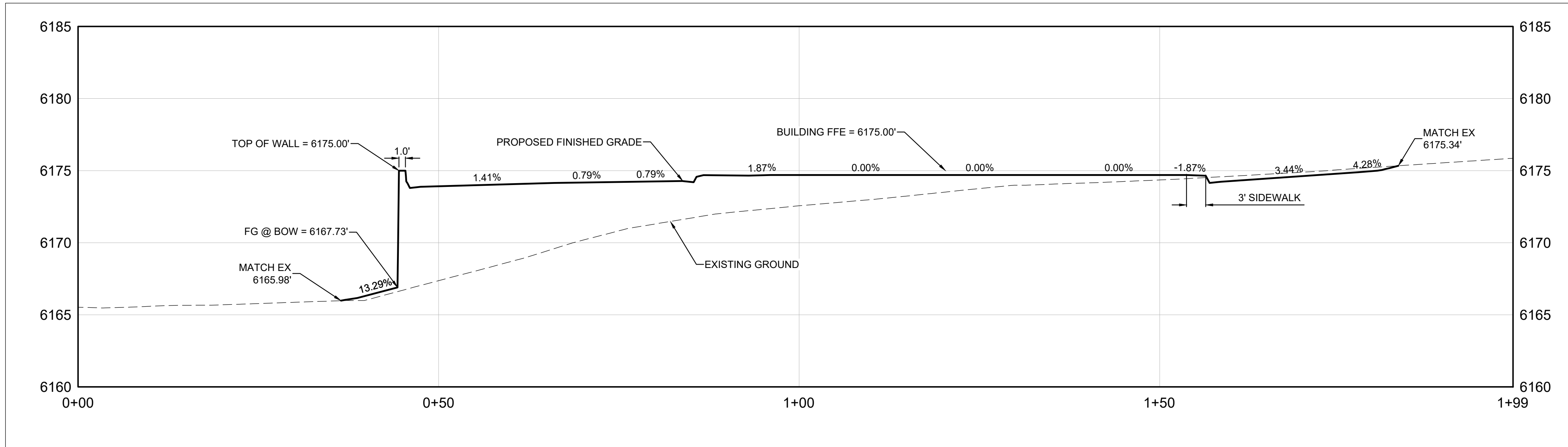


GENERAL NOTE

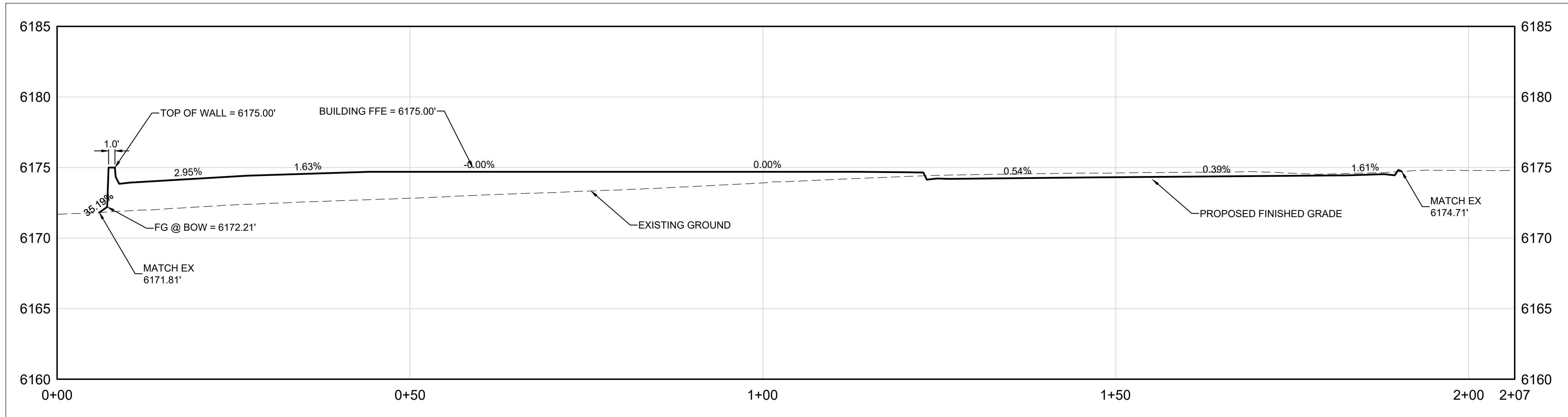
EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



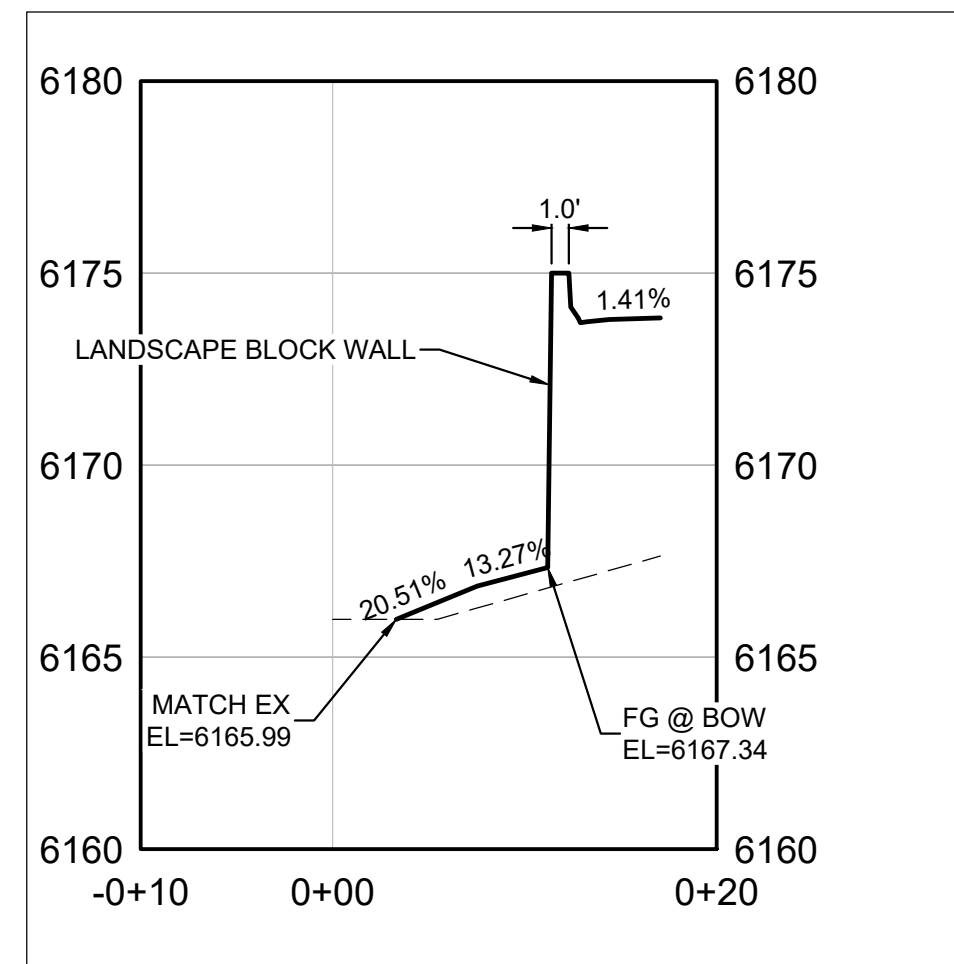
FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(or 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
www.uncc.org



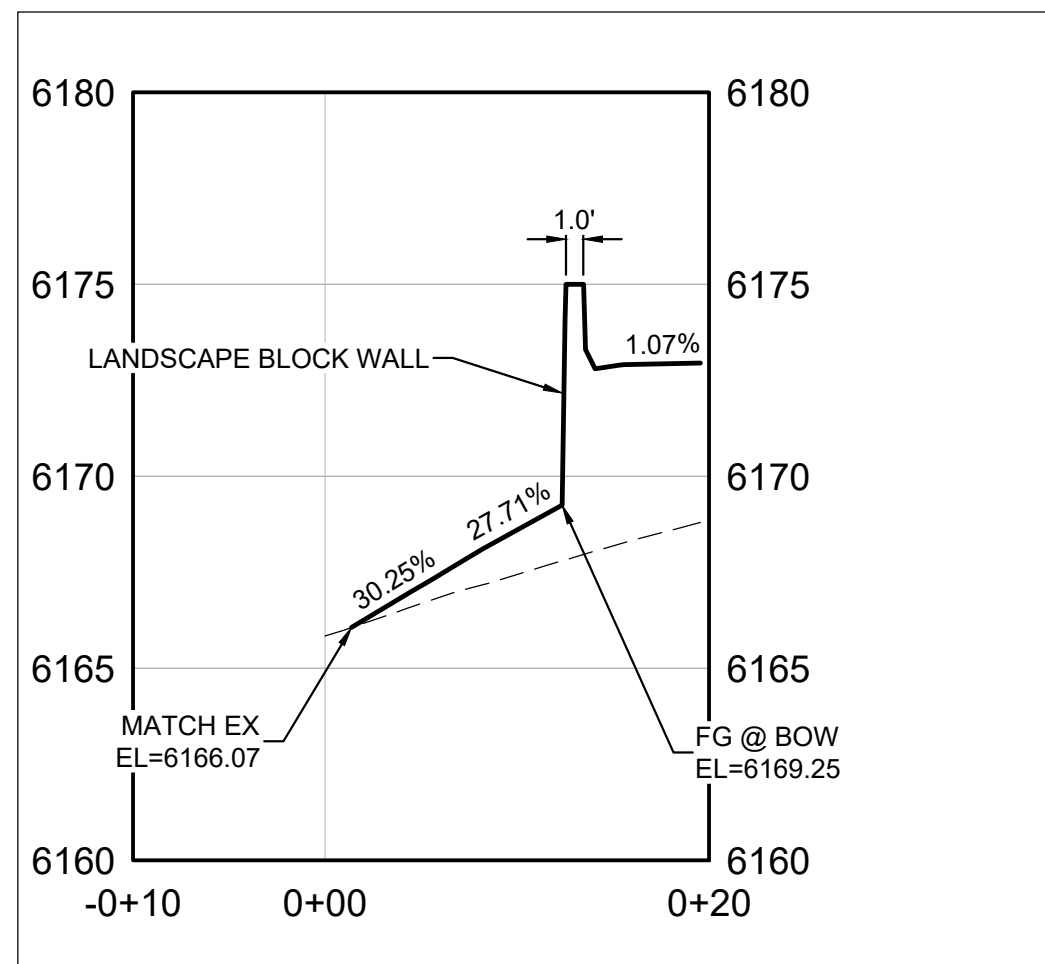
SECTION A-A
VERT SCALE: 1" = 5'
HORIZ SCALE: 1" = 10'



SECTION B-B
VERT SCALE: 1" = 5'
HORIZ SCALE: 1" = 10'



SECTION C-C
VERT SCALE: 1" = 5'
HORIZ SCALE: 1" = 10'



SECTION D-D
VERT SCALE: 1" = 5'
HORIZ SCALE: 1" = 10'

REVISIONS

DATE

#

1

2

3

4

5

PROJECT: MAJOR MORTGAGE

DRAWING: CROSS SECTIONS

CLIENT: MAJOR MORTGAGE

DESIGNED BY:

DRAWN BY: ZEB

CHECKED BY: BUG

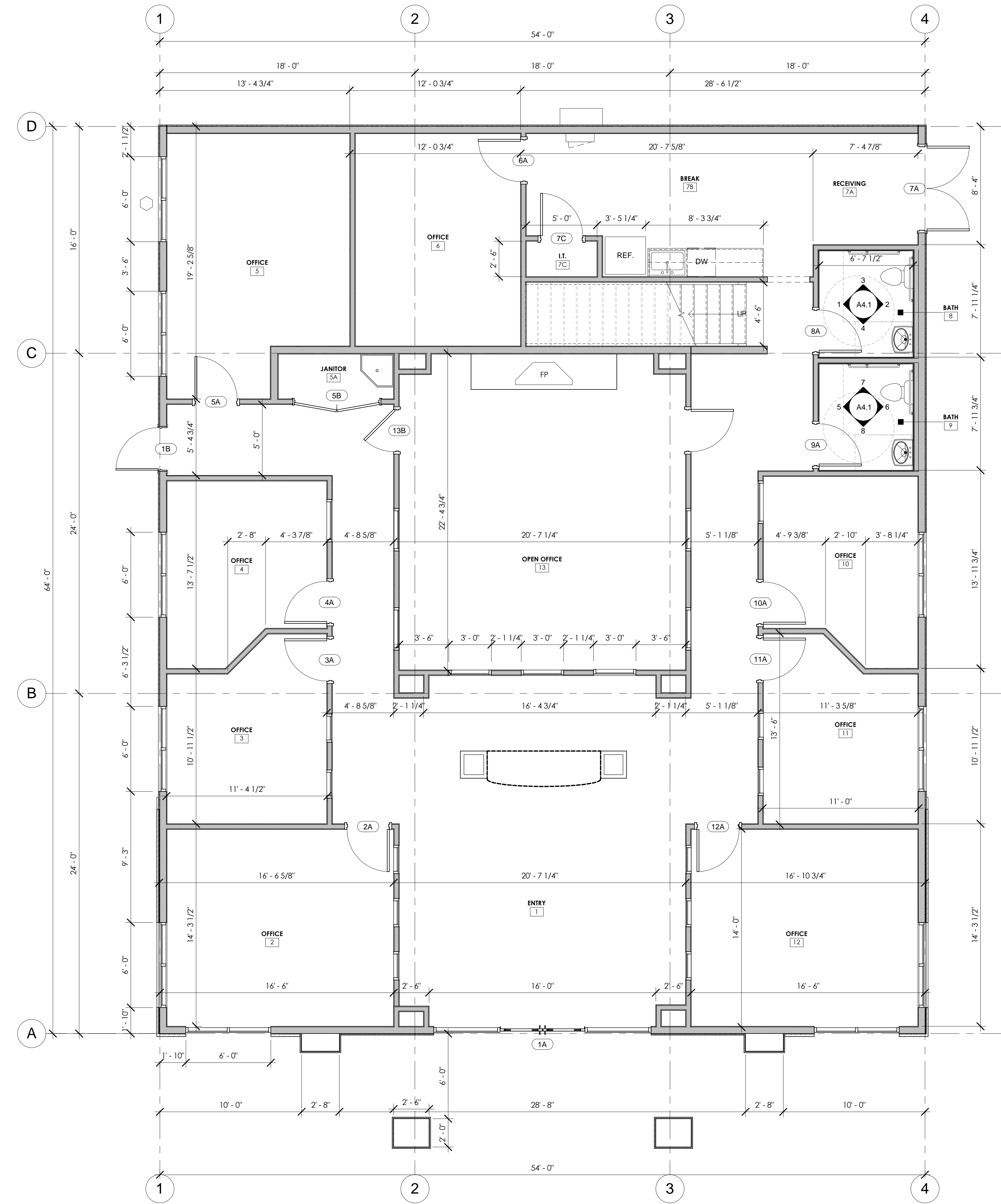
DEVELOPED BY:
HCL ENGINEERING & SURVEYING, L.L.C.
1000 WEST 10TH AVENUE, SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1805
FAX: 303.773.3297
WWW.HCLENGINEERING.COM



SHEET NUMBER

C6.0

PROJECT NO.



1 MAIN LEVEL - FLOOR PLAN
A1.1 1/4" = 1'-0"

ROOM FINISH SCHEDULE								
#	NAME	FLOOR FINISH	BASE FINISH	WALL FINISHES				CEILING FINISH
				N	S	E	W	CEILING HEIGHT
1	ENTRY							
2	OFFICE							
3	OFFICE							
4	OFFICE							
5	OFFICE							
5A	JANITOR							
6	OFFICE							
7A	RECEIVING							
7B	BREAK							
7C	I.T.							
8	BATH							
9	BATH							
10	OFFICE							
11	OFFICE							
12	OFFICE							
13	OPEN OFFICE							
29	STORAGE							
30	STORAGE							

FLOOR	BASE	WALLS	CEILING
1. LVT	1. 6" RUBBER	1. GYP.BD.	1. SAG
2. CPT	2. WALL TILE	2. WALL TILE	2. GYP.BD.
3. TILE			

RESTROOM ACCESSORIES

PROVIDE INDICATED PRODUCTS BY BRADLEY CORPORATION, BOBRICK, OR APPROVED EQUAL.

NOTE: ACCESSORY ITEMS SHALL BE THE STANDARD PRODUCTS OF "BOBRICK WASHROOM EQUIPMENT COMPANY", "AMERICAN STANDARD" OR APPROVED EQUAL, CATALOGUE NO. AS LISTED. ITEMS ESTABLISH MINIMUM APPEARANCE, FUNCTION AND QUALITY STANDARDS AS ACCEPTABLE.

QTY	ITEM	MFG.	MODEL NUMBER	NOTES
(2)	18" GRAB BAR	BOBRICK OR EQUAL	#B-6206 X 18"	1-1/4" (O.D.) STAINLESS STEEL
(2)	36" GRAB BAR	BOBRICK OR EQUAL	#B-6206 X 36"	1-1/4" (O.D.) STAINLESS STEEL
(2)	42" GRAB BAR	BOBRICK OR EQUAL	#B-6202 X 42"	1-1/4" (O.D.) STAINLESS STEEL
(2)	MIRROR			OFGI
(2)	TOILET PAPER DISPENSER			OFOI
(2)	SOAP DISPENSER			OFOI
(2)	PAPER TOWEL DISPENSER			OFOI

MATERIALS:

STAINLESS STEEL:

ASTM A666, TYPE 304 WITH SATIN NO. 4 FINISH, 22 GAUGE MINIMUM UNLESS OTHERWISE INDICATED.

SHEET STEEL:

COLD-ROLLED, COMMERCIAL QUALITY ASTM A366, 20 GAUGE MINIMUM, UNLESS OTHERWISE INDICATED. SURFACE PREPARATION AND METAL PRETREATMENT AS REQUIRED FOR APPLIED FINISH.

CHROMIUM PLATING:

NICKEL AND CHROMIUM ELECTRO-DEPOSITED ON BASE METAL, ASTM B456, TYPE SC 2.

MIRROR GLASS:

ASTM C1036, TYPE I, CLASS I, QUALITY Q2, 24"X30", 1/4 INCH THICK, WITH SILVER COATING. COPPER PROTECTIVE COATING AND NON-METALLIC PAINT COATING COMPLYING WITH FS DD-M-411.

GALVANIZED STEEL MOUNTING DEVICES:

ASTM A153, HOT-DIP GALVANIZED AFTER FABRICATION. FASTENERS:

SCREWS, BOLTS AND OTHER DEVICES OF SAME MATERIAL AS ACCESSORY UNIT OR OF GALVANIZED STEEL WHERE CONCEALED.

ACCESSORIES:

INCLUDE ANCHORAGE DEVICES, TRIM, ACCESSORIES AS REQUIRED, FOR COMPLETE INSTALLATION.

PARTITIONS:

ONE POINT PARTITIONS
831-777-2717
SOLID PLASTIC
STANDARD COLOR

REVISION:

#	DATE	COMMENTS
---	------	----------

DD
PRELIMINARY

PROJECT NO:

2228

SHEET NAME:

MAIN LEVEL PLAN

DATE:

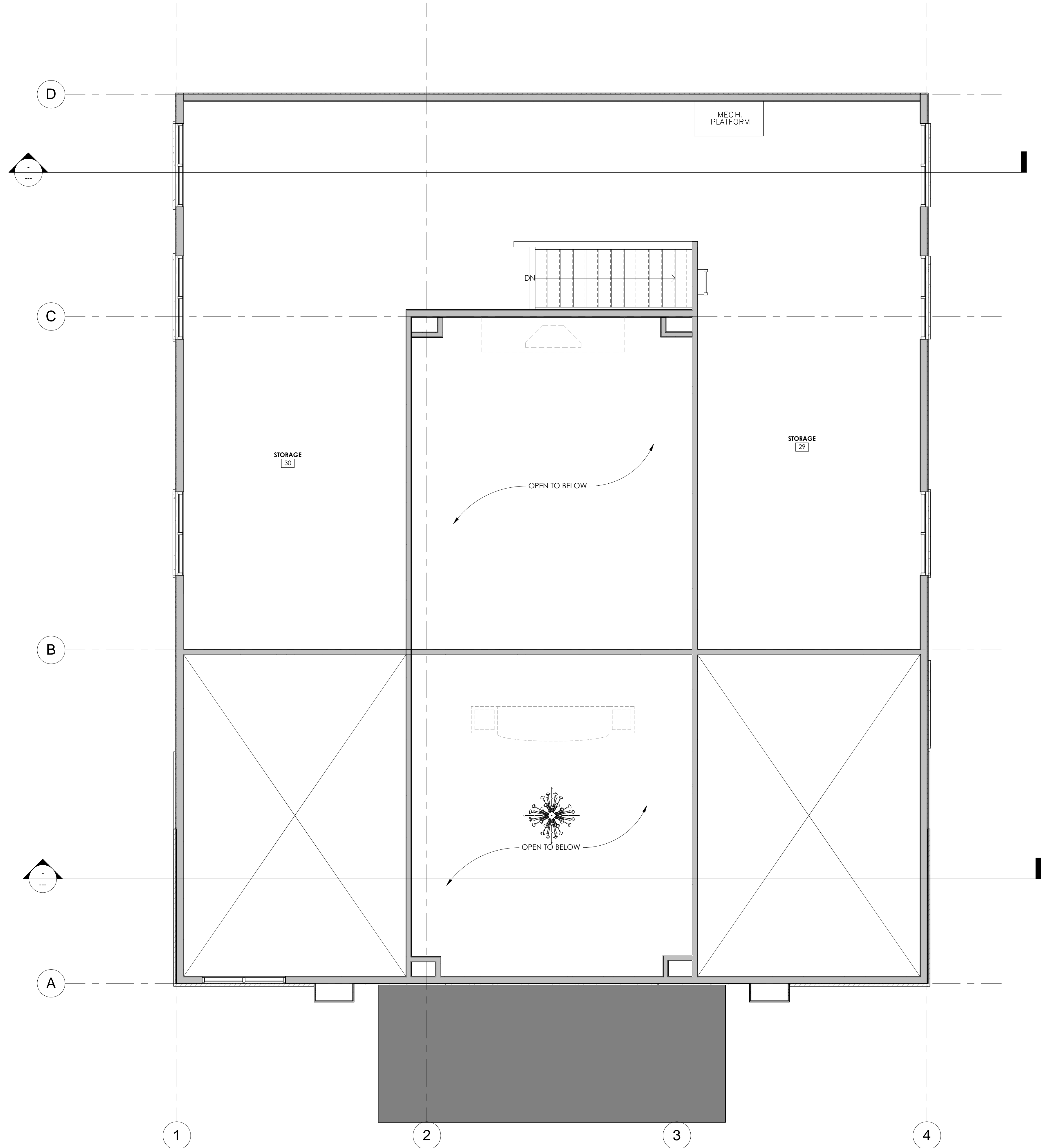
09/20/2022

SHEET NO:

A1.1

SCALE:

As indicated



MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:		
#	DATE	COMMENTS

DD
PRELIMINARY

PROJECT NO:
2228

SHEET NAME:
UPPER LEVEL PLAN

DATE: 09/20/2022

SHEET NO:

A1.2

SCALE: 1/4" = 1'-0"

1 UPPER LEVEL - FLOOR PLAN
A1.2 1/4" = 1'-0"

NOT FOR CONSTRUCTION

LEGEND

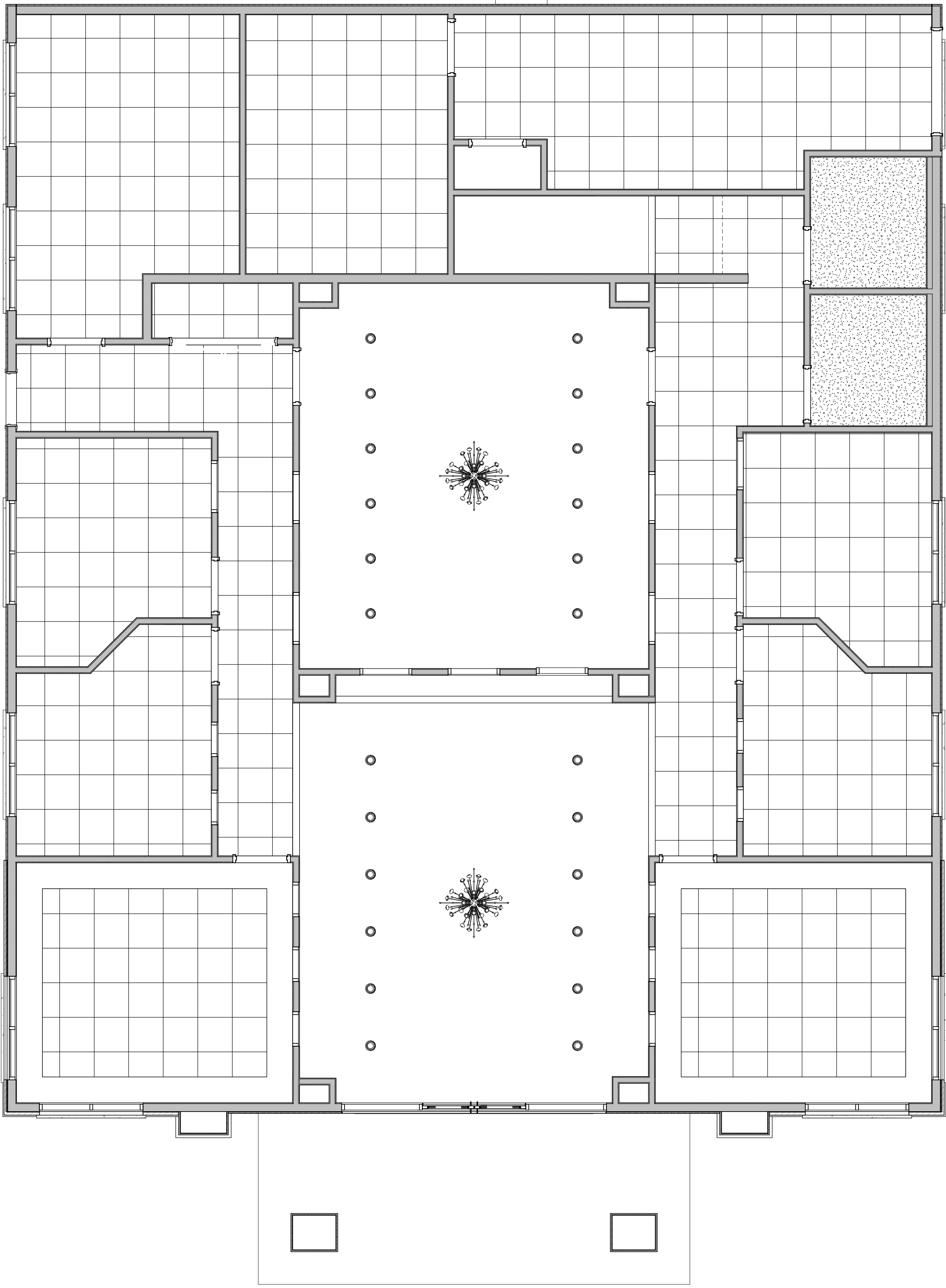
- 1 GYP BD, PAINT
- 2 2x2 GRID
- 3 EXPOSED TO EXISTING STRUCTURE, PAINT BLACK - BY OWNER

- 6" X 4" TO 8" RECESSED LINEAR FLUORESCENT, RE: ELEC
- 2'X4' RECESSED LIGHT, RE: ELEC
- 2'X2' RECESSED LIGHT, RE: ELEC

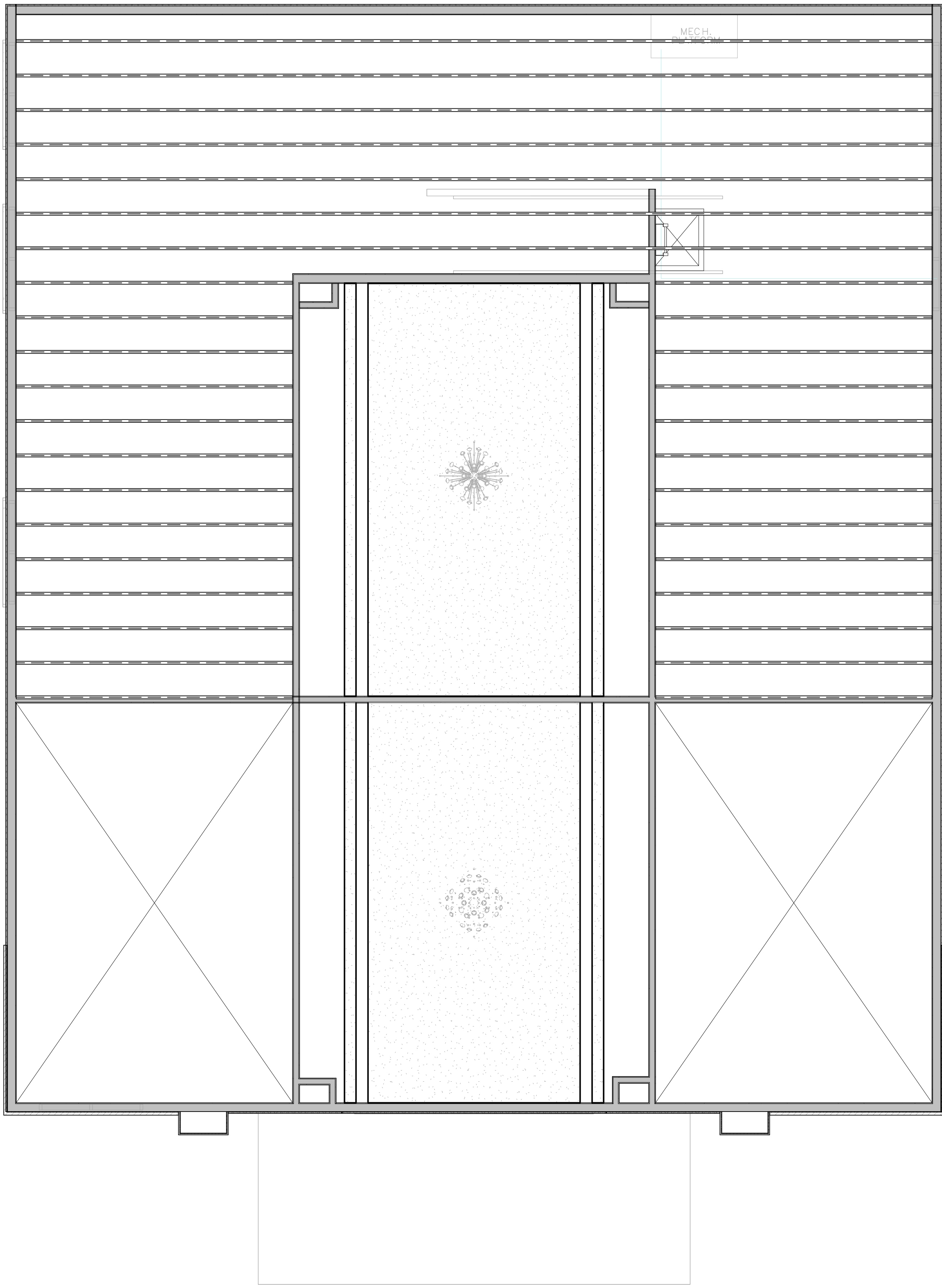
- PENDANT, RE: ELEC
- DOWNLIGHT, RE: ELEC

- SUPPLY AIR GRILLE, RE: MECH
- EXHAUST FAN, RE: MECH
- RETURN AIR GRILLE, RE: MECH
- EXIT SIGN, INDICATING DIRECTIONAL ARROW & SIGN ORIENTATION, RE: ELEC

- NOTE: CENTER LIGHT FIXTURES IN SPACE AS SHOWN ON REFLECTED CEILING PLANS WHEN LIGHT FIXTURES ARE NOT DIMENSIONED, (TYP)
- OCCUPANCY SENSOR, RE: ELEC
- SMOKE DETECTOR, RE: ELEC



1 MAIN LEVEL REFLECTED CEILING PLAN
A1.3 1/4" = 1'-0"



2 UPPER LEVEL REFLECTED CEILING PLAN
A1.3 1/4" = 1'-0"

NOT FOR CONSTRUCTION

MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:

DD
PRELIMINARY

PROJECT NO:
2228

SHEET NAME:
REFLECTED CEILING PLAN

DATE: 09/20/2022

SHEET NO:

A1.3

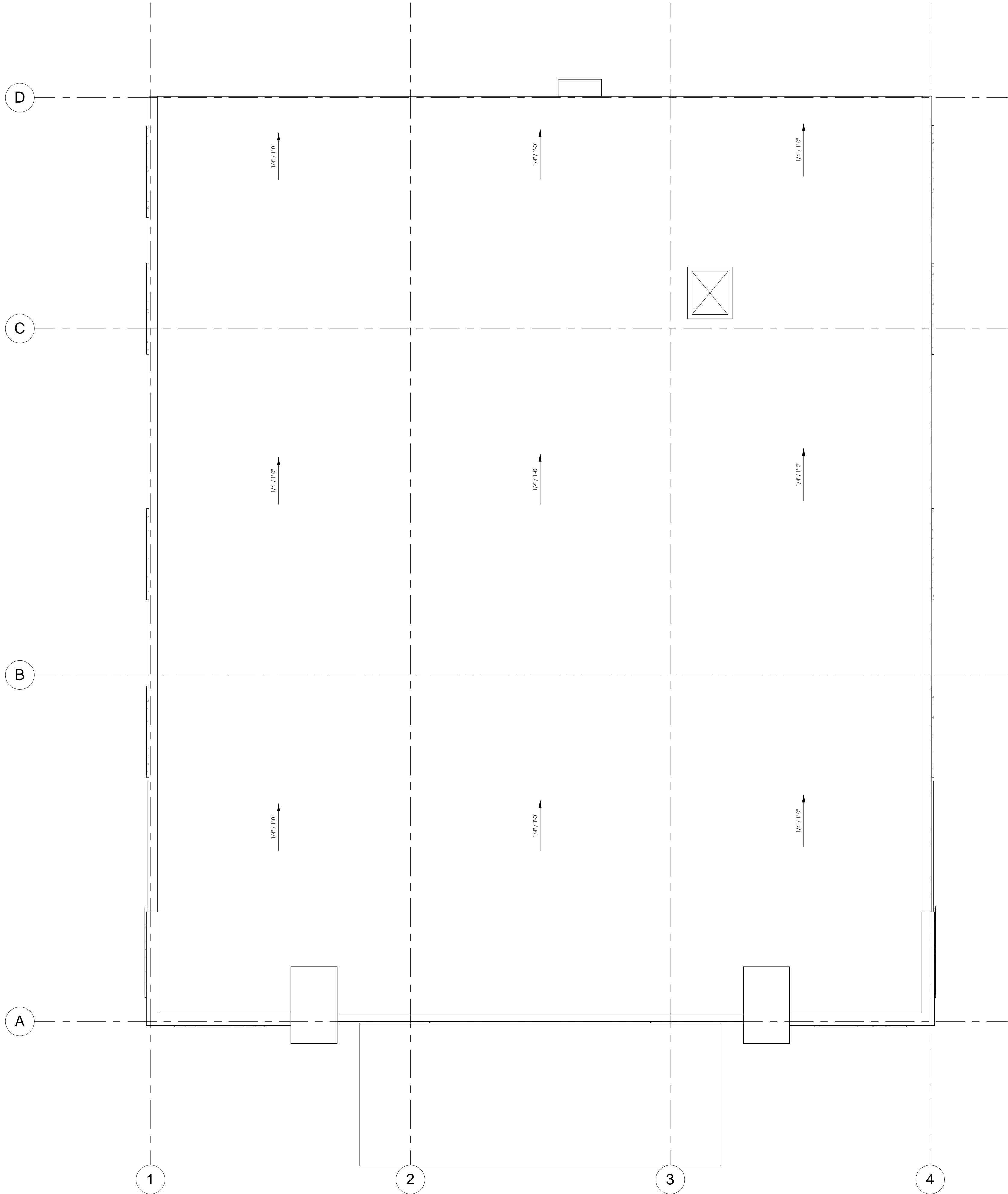
SCALE: 1/4" = 1'-0"

ROOFING SHALL COMPLY
WITH 2018 IBC, CHAPTER 9

ROOFING SHALL BE INSTALLED
IN ACCORANCE WITH MFRS.
INSTRUCTIONS AND
RECOMMENDATIONS

THE CLIMATE ZONE AND ROOF
PITCH SHALL BE TAKEN INTO
CONSIDERATION WHEN
CHOOSING ROOFING
MATERIALS AND METHODS

LOW PITCH RATED ASPHALT
SHINGLE ROOFING SYSTEM WITH
ICE AND WATER SHIELD OR
APPROPRIATE UNDERLAYMENT
WHERE REQUIRED - RE: MFR'S
SPECS. - WALLS TO BE PROTECTED
W/ ICE AND WATER SHIELD ALSO



1
A1.4

ROOF
1/4" = 1'-0"

MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:		
#	DATE	COMMENTS

DD
PRELIMINARY

PROJECT NO:
2228

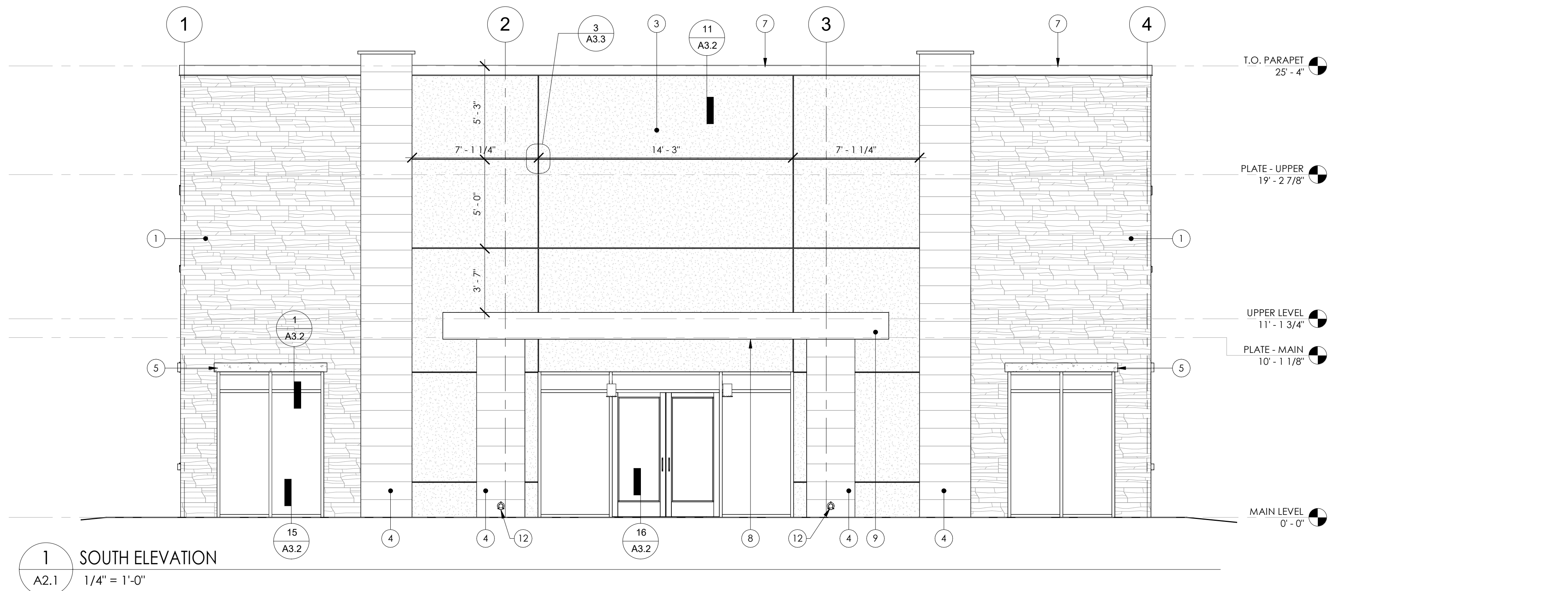
SHEET NAME:
ROOF PLAN

DATE: 09/20/2022

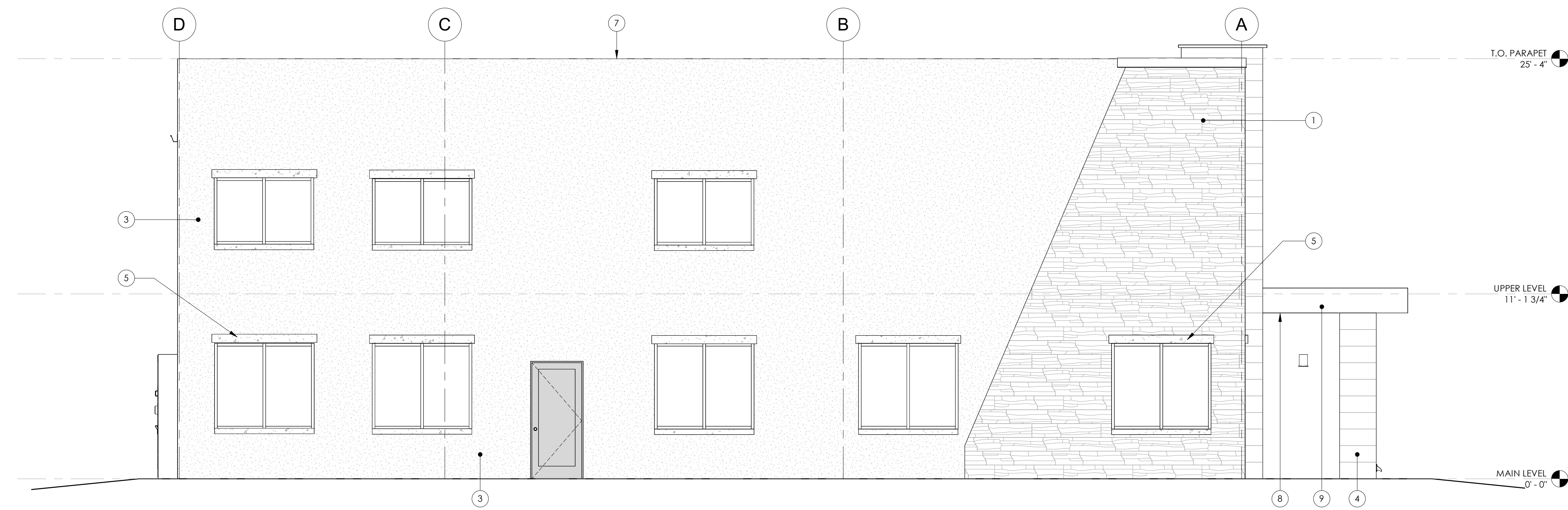
SHEET NO:
A1.4

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



1 SOUTH ELEVATION
A2.1 1/4" = 1'-0"



3 WEST ELEVATION
A2.1 1/4" = 1'-0"



SYMBOL LEGEND - ELEVATION

(A) ---	- GRID LINE	(#)	- WALL TYPE
(101A)	- DOOR TAG	(1 A1.1)	- ELEVATION SYMBOL
(AL) (HM)	- WINDOW TAG	(1 A1.1)	- SECTION SYMBOL
(CL)	- CENTERLINE	(1 A1.1)	- CALLOUT SYMBOL
(---)	- WALL ABOVE OR HIDDEN LINE		
(---)	- MATCH LINE		
(##)	- KEYNOTE SYMBOL		

LVT - LUXURY VINYL TILE
CLG - CEILING
WH - WATER HEATER
FURN - FURNACE
CONC - CONCRETE

MSTR - MASTER

GENERAL ELEVATION NOTES

- REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE SIZE AND LOCATIONS
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- NEW HMA DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
- REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

ELEVATION KEYNOTES

#	DATE	COMMENTS

- STONE VENEER (INSTALL PER MANUF. SPEC.)
- STONE CAP (INSTALL PER MANUF. SPEC.)
- STUCCO FINISH (INSTALL PER MANUF. SPEC.)
- HORIZONTAL METAL SIDING (INSTALL PER MANUF. SPEC.)
- PRE-CAST CONC UNTEL RE: STRUCTURAL.
- PRE-CAST CONC SILL
- PRE-FINISHED MTL PARAPET CAP.
- PRE-FINISHED METAL SOFFIT
- PRE-FINISHED METAL FASCIA
- GUTTER
- DOWNSPOUT, CONNECT TO SITE DRAINAGE, RE: CIVIL.
- LAMB TONGUE DRAIN
- MEMBRANE ROOFING
- GAS METERS, RE: MEP
- ELECTRICAL METERS, RE: MEP
- A/C, RE: MEP

kda
KRAAIDEISIGN
ARCHITECTURE
573 W. CRETE CIR. BLDG 201
GRAND JUNCTION, CO 81505
T: 970.712.5045

MAJOR MORTGAGE
LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:

#	DATE	COMMENTS

COORDINATION SET

PROJECT NO: 2228

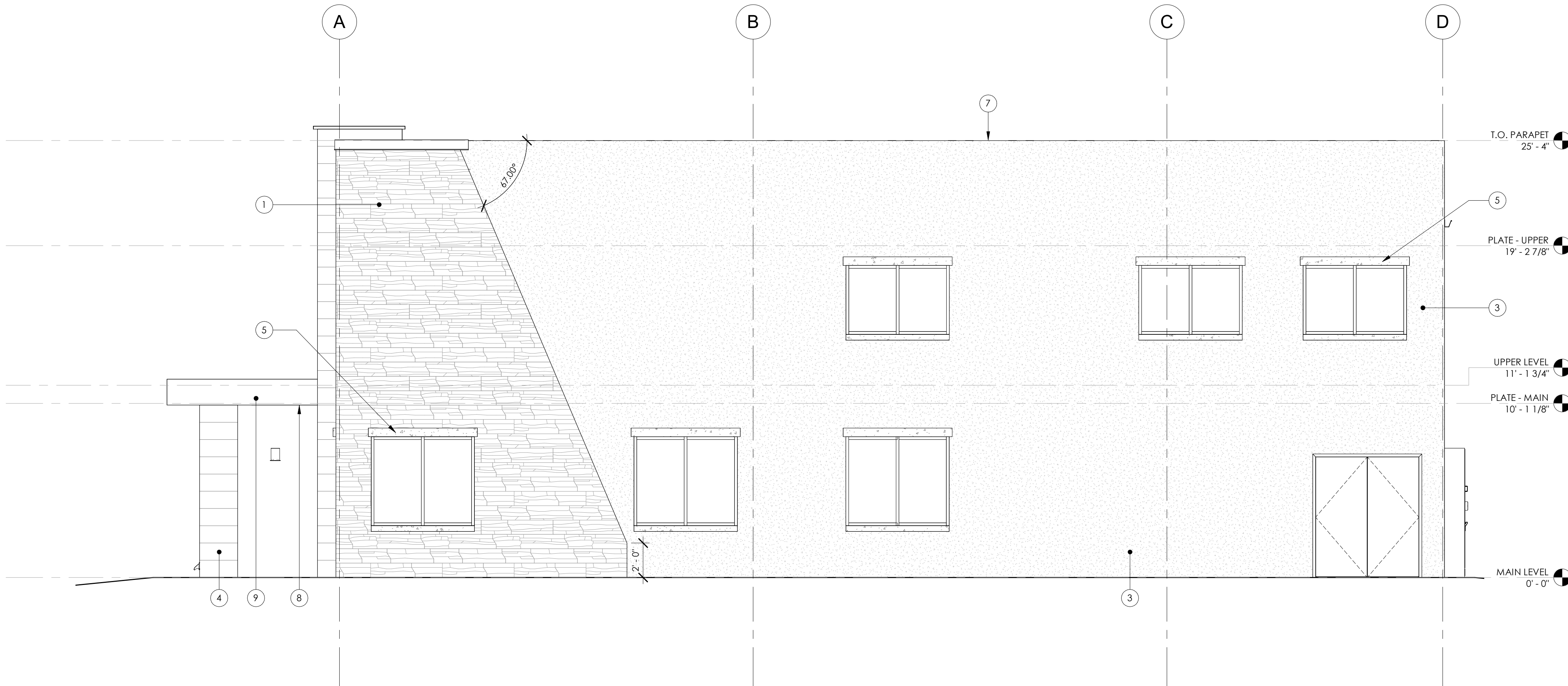
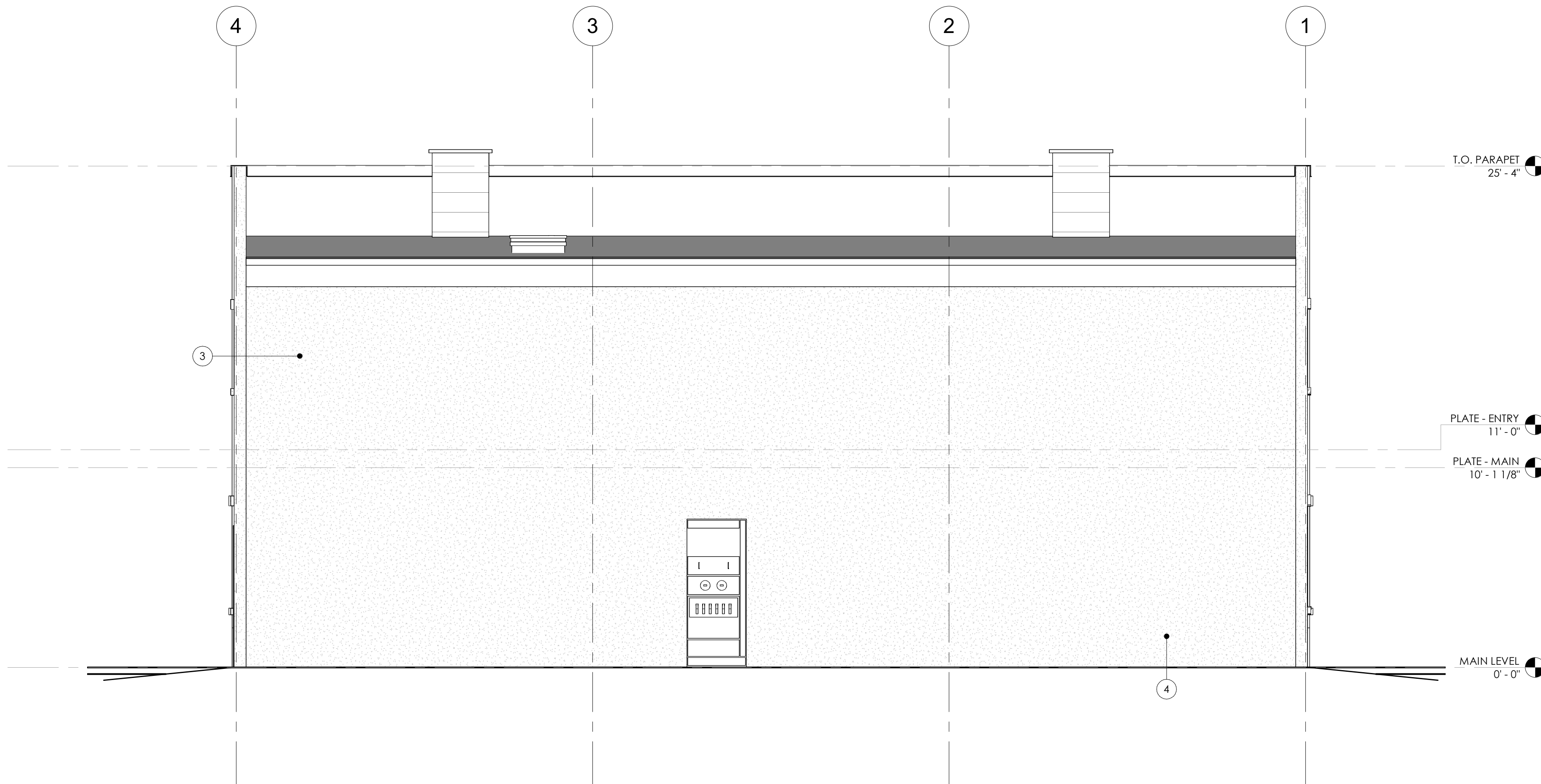
SHEET NAME: EXTERIOR ELEVATIONS

DATE: 06/12/2023

SHEET NO: A2.1

SCALE: As indicated

NOT FOR CONSTRUCTION



SYMBOL LEGEND - ELEVATION

- GRID LINE	- WALL TYPE
- DOOR TAG	- ELEVATION SYMBOL
- WINDOW TAG	- SECTION SYMBOL
- CENTERLINE	- CALLOUT SYMBOL
- WALL ABOVE OR HIDDEN LINE	
- MATCH LINE	
- KEYNOTE SYMBOL	
LVT - LUXURY VINYL TILE	MSTR - MASTER
CLG - CEILING	
WH - WATER HEATER	
FURN - FURNACE	
CONC - CONCRETE	

- GENERAL ELEVATION NOTES**
- A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE SIZE AND LOCATIONS
 - B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
 - C. REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
 - D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
 - E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
 - F. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
 - H. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
 - I. NEW IMA DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
 - J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
 - K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

ELEVATION KEYNOTES		
1.	STONE VENEER (INSTALL PER MANUF. SPEC.)	
2.	STONE CAP (INSTALL PER MANUF. SPEC.)	
3.	STUCCO FINISH (INSTALL PER MANUF. SPEC.)	
4.	HORIZONTAL METAL SIDING (INSTALL PER MANUF. SPEC.)	
5.	PRE-CAST CONC UNTEL RE: STRUCTURAL.	
6.	PRE-CAST CONC. SILL.	
7.	PRE-FINISHED MTL PARAPET CAP.	
8.	PRE-FINISHED METAL SOFFIT	
9.	PRE-FINISHED METAL FASCIA	
10.	GUTTER	
11.	DOWNSPOUT, CONNECT TO SITE DRAINAGE, RE: CIVIL.	
12.	LAMB TONGUE DRAIN	
13.	MEMBRANE ROOFING	
14.	GAS METERS, RE: MEP	
15.	ELECTRICAL METERS, RE: MEP	
16.	A/C, RE: MEP	

KRAAIDESIGN ARCHITECTURE
573 W. CRETE CIR. BLDG 201
GRAND JUNCTION, CO 81505
T: 970.712.5045

MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:		
#	DATE	COMMENTS

COORDINATION SET

PROJECT NO: 2228

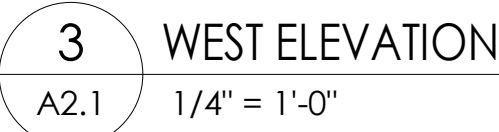
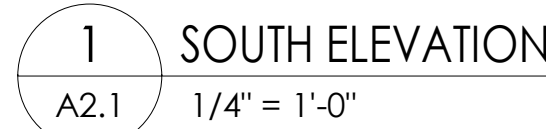
SHEET NAME: EXTERIOR ELEVATIONS

DATE: 06/12/2023

SHEET NO: A2.2

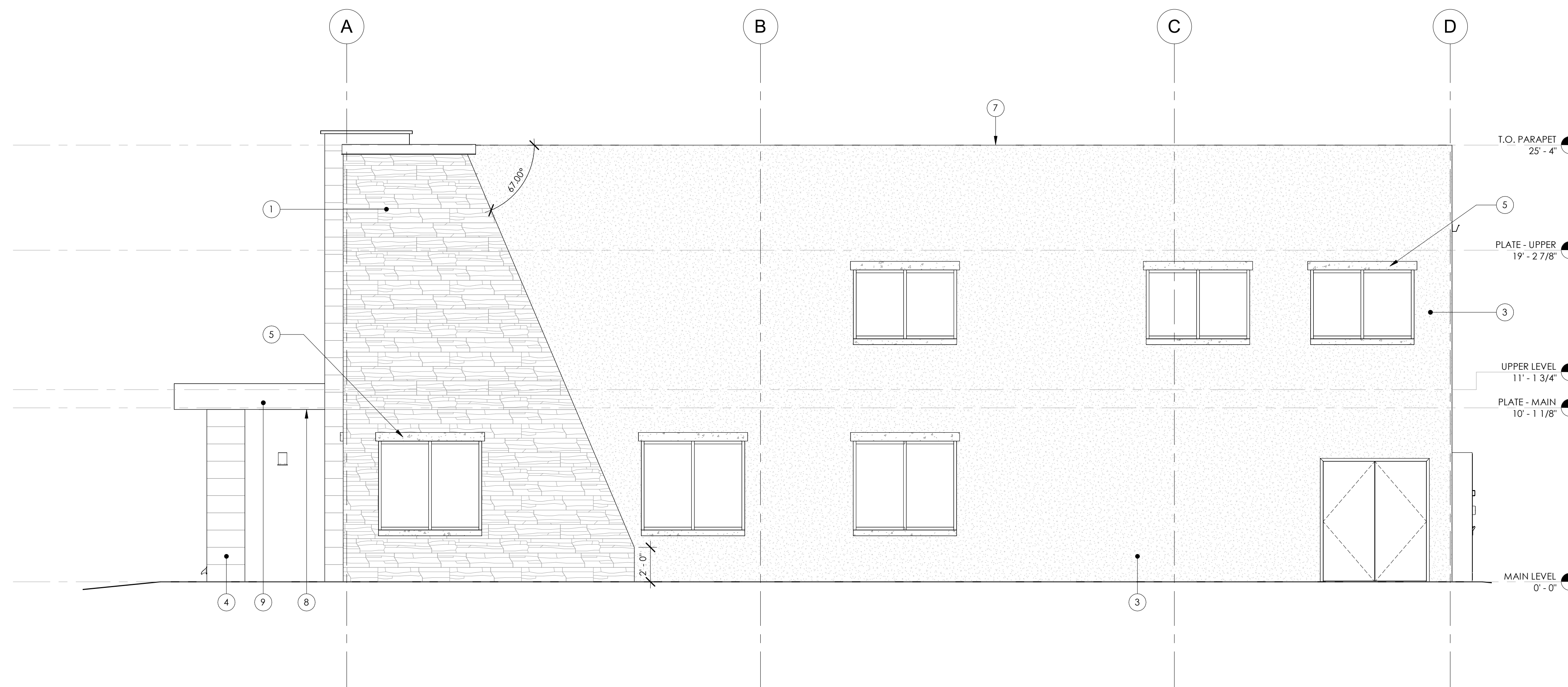
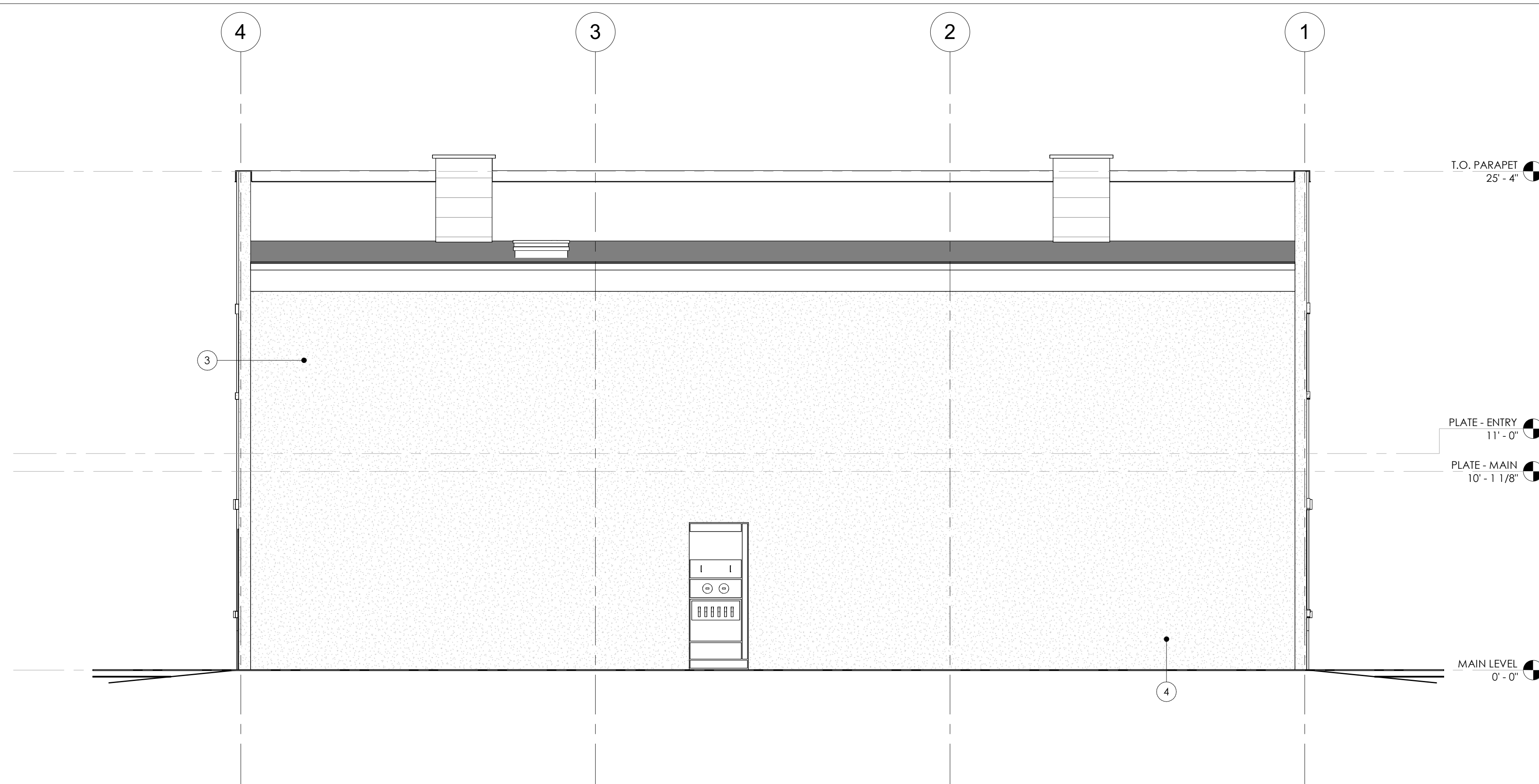
SCALE: As indicated

NOT FOR CONSTRUCTION














- A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS
- B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- C. REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
- D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERING THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- F. PROVIDE TREATED SLOD WOOD JAIL COMBUSTIBLE MATERIALS TO BE USED FOR ALL NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL, VENTILATION, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR MATERIAL INFORMATION.
- G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH Joints MAY NOT BE VISIBLE.
- H. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS, CROWN TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- I. NEW FLOOR FRAME SHALL MATCH EXISTING FOR PROFILE AND FINISH AND CONSTRUCTION.
- J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT FLOOR DRAIN TO FLOOR DRAIN TO DEPRESS UNTO THE AREA IMMEDIATELY AROUND THE DRAIN.
- K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, CONDENSATES AND OTHER ITEMS WHICH PENETRATE THE FLOOR PLANE.

— — — — —



SYMBOL LEGEND - ELEVATION

	- GRID LINE		- WALL TYPE
	- DOOR TAG		- ELEVATION SYMBOL
	- WINDOW TAG		- SECTION SYMBOL
	- CENTERLINE		- CALLOUT SYMBOL
	- WALL ABOVE OR HIDDEN LINE		
	- MATCH LINE		
	- KEYNOTE SYMBOL		
LVT CLG WH FURN CONC	-LUXURY VINYL TILE -CEILING -WATER HEATER -FURNACE -CONCRETE	MSTR	-MASTER

GENERAL ELEVATION NOTES

- A. REFER TO MEP FOR HVAC, LIGHTING, POWER, SIZE AND LOCATIONS
- B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- C. REFER TO SUEIT ADO FOR PUBLIC-SPACE ADA STANDARDS FOR ACCESSIBLE DESIGN
- D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION REFER TO SUEIT ARCHITECT FOR PUBLIC-SPACE SAMPLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- F. PROVIDE TREATED SLOD WOOD JOIST (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCK PARTITIONING BETWEEN FLOOR, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- H. PROVIDE TRANSITION BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS, CROWN TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- I. NEW HM DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND FINISH.
- J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT FLOOR DRAIN TO DRAIN. DO NOT DEPRESS ONLY TO THE DRAIN IMMEDIATELY AROUND THE DRAIN.
- K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CHIMNEYS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

ELEVATION KEYNOTES

1. STONE VENEER (INSTALL PER MANUF. SPEC.)
2. STONE CAP (INSTALL PER MANUF. SPEC.)
3. STUCCO FINISH (INSTALL PER MANUF. SPEC.)
4. HORIZONTAL METAL SIDING (INSTALL PER MANUF. SPEC.)
5. PRE-CAST CONC UNTEL. RE: STRUCTURAL.
6. PRE-CAST CONC. SILL.
7. PRE-FINISHED MTL. PARAPET CAP.
8. PRE-FINISHED METAL SOFFIT
9. PRE-FINISHED METAL FASCIA
10. DOWNSPOUT, CONNECT TO
11. SITE DRAINAGE, RE: CIVIL.
12. LAMB TONGUE DRAIN
13. MEMBRANE ROOFING
14. GAS METERS, RE: MEP
15. ELECTRICAL METERS, RE: MEP
16. A/C, RE: MEP

k d a
**KRAAIDESIGN
ARCHITECTURE**
573 W. CRETE CIR. BLDG 201
GRAND JUNCTION, CO 81505
T: 970.712.5045

MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.
CORTEZ, CO

REVISION:[illegible]

COORDINATION SET

PROJECT NO:
2228

SHEET NAME:
EXTERIOR ELEVATIONS

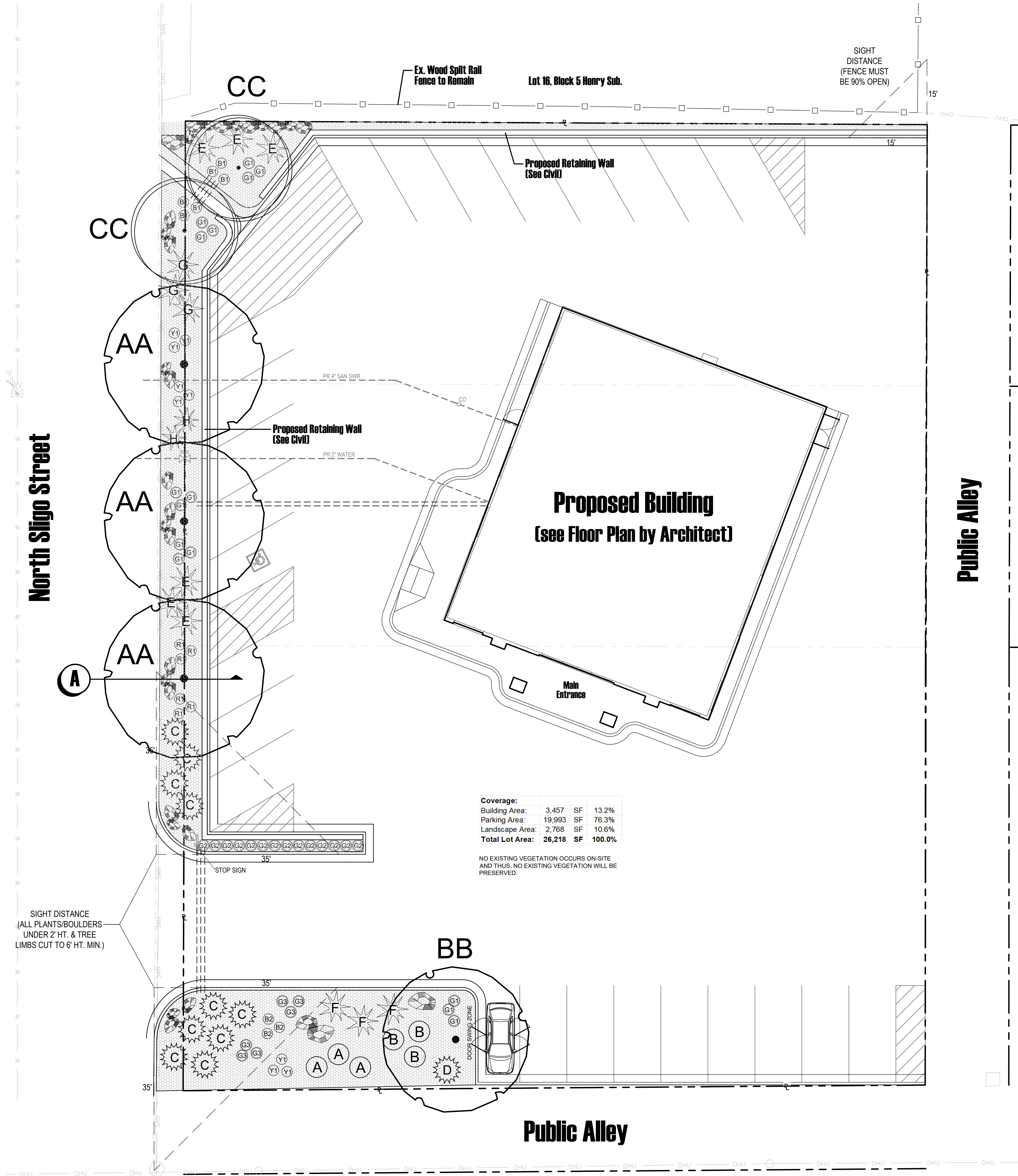
DATE: 06/12/2023

SHEET NO:

A2.2

SCALE: As indicated

NOT FOR CONSTRUCTION



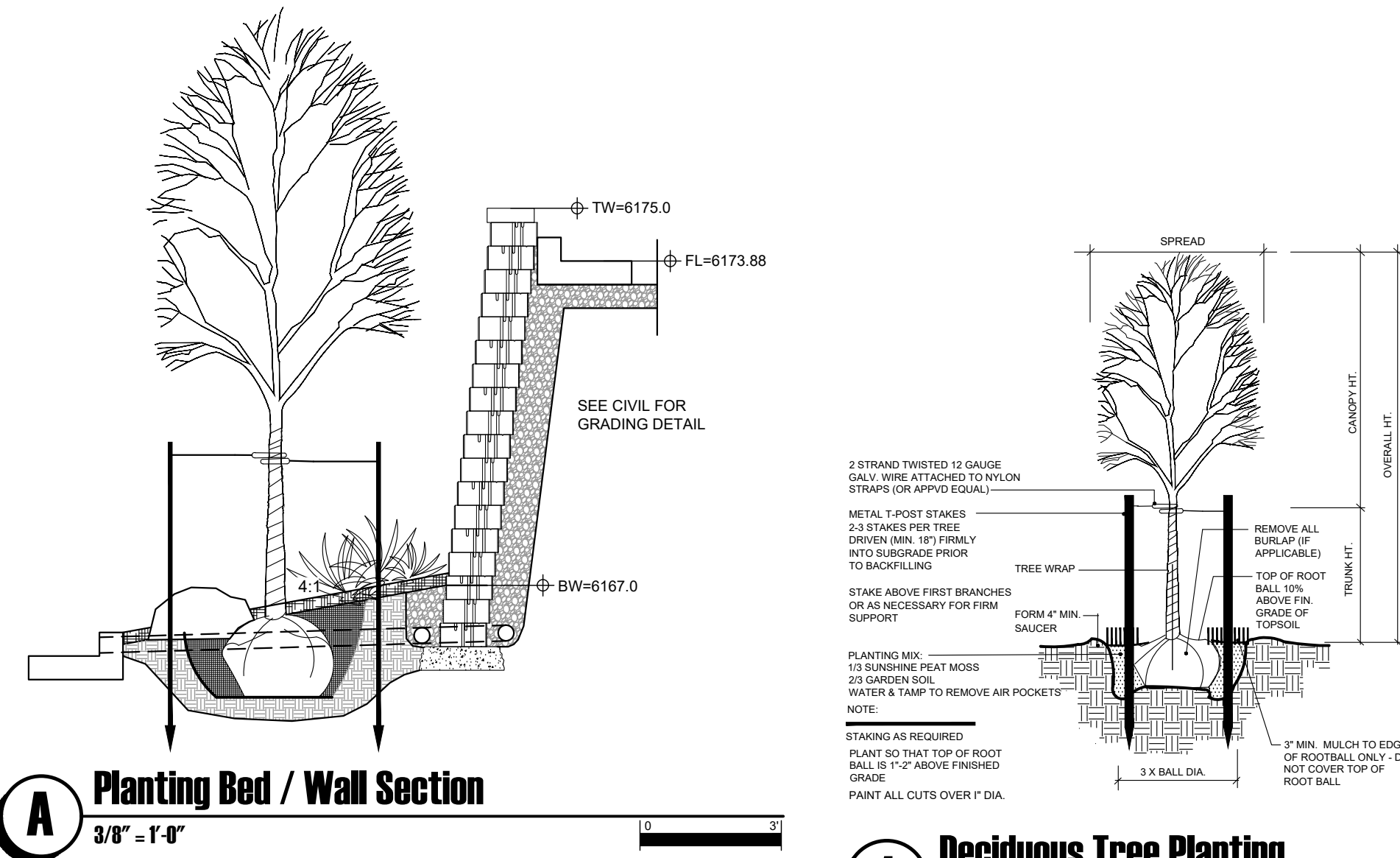
Landscape Notes

- NOTE: ALL PLANTS IN SIGHT DISTANCE EASEMENT SHALL REMAIN UNDER 30" IN HEIGHT AT ALL TIMES.
- INSTALL ROCK MULCH IN ALL SHRUB BEDS AS INDICATED ON PLAN. INSTALL WEED BARRIER UNDERLAYMENT MATERIAL AND TOPDRESS WITH MULCH MATERIAL TO MIN. 4 INCH DEPTH.
- ALL LANDSCAPE AREAS SHALL BE EXCAVATED DOWN TO 12" DEPTH AND NATIVE SOIL SHALL BE AMENDED WITH WITH A MIN. 4 CU YDS PER 1,000 SF WITH GOOD QUALITY COMPOSTED ORGANIC MATTER. FIRST, DECOMPACT ALL PLANTING AREA SOILS TO A MIN. DEPTH OF 12 INCHES PRIOR TO TILLING. TILL AND INCORPORATE AMENDMENT TO A MIN. DEPTH OF 12 INCHES.
- TREE PITS SHALL BE EXCAVATED TO A MIN. DEPTH OF 24" AND AMENDED SAME AS ABOVE.
- LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF CONSTRUCTION AND SAFETY PROCEDURES CHOSEN BY ANY CONTRACTOR.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY.
- INSTALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL, OR PAVING.
- FORM 30 INCH WATERING BASIN AROUND ALL TREES. FILL BASIN WITH 1-1/2 INCH LAYER OF WOOD CHIPS.
- PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT SCHEDULE FOR KEY AND CLASSIFICATION.
- ALL PLANT MATERIAL OUTSIDE OF THE LIMIT OF CONSTRUCTION LINE MUST REMAIN UNDISTURBED.
- ALL MATERIALS NOT TO BE REMOVED WILL BE MARKED CLEARLY WITH FLAGGING TAPE, PROTECTIVE FENCING, OR OTHER APPROVED BARRIER PRIOR TO CONSTRUCTION.
- IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES THAT MIGHT BE DISTURBED BY LANDSCAPE ELEMENTS PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIALS SHALL MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004, OR AS IT MAY BE AMENDED.
- THE CONTRACTOR SHALL BE HELD COMPLETELY LIABLE FOR ANY DAMAGES RESULTING IN DEVIATIONS OMISSIONS, OR AMENDMENTS TO THIS PLAN. ANY CHANGES TO THIS PLAN SHALL BE DONE ONLY BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIELD CHANGES BY THE CONTRACTOR SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BY EITHER RFI OR CHANGE ORDER IN WRITING PRIOR TO CONSTRUCTION.
- THE IRRIGATION SYSTEM SHALL CONSIST OF AN UNDERGROUND PRESSURIZED SYSTEM THAT WILL PROVIDE DRIP COMPONENTS TO THE SHRUBS AND TREES AND SPRAY IRRIGATION TO THE GRASS (IF APPLICABLE).
- IRRIGATION CONTROLLER SHALL BE A "WATER SENSE" SMART IRRIGATION CONTROLLER. VERIFY EXISTING CONTROLLER AND REPLACE IF NECESSARY.
- PROVIDE DRIP IRRIGATION TO ALL SHRUBS AND TREES (TREES-8 GPH PER TREE, SHRUBS-2 GPH PER 5 SHRUB, PERENNIALS-1 GPH PER PLANT).
- THE OWNER, AGENT, OR DEVELOPER OF THE COMMERCIAL PROPERTY SHALL PROVIDE A WRITTEN STATEMENT OF THE PROVISIONS BEING MADE FOR THE MAINTENANCE AND REPLACEMENT OF LANDSCAPING TO INCLUDE MANDATORY REPLACEMENT OF ANY VEGETATION, WHICH DIES WITHIN A ONE-YEAR PERIOD FROM THE TIME OF PLANTING. THE DIRECTOR OF PARKS AND RECREATION SHALL APPROVE THE PLAN.

Plant Schedule

KEY	COMMON NAME	BOTANICAL NAME	H'	W'	SIZE	TYPE	QTY
Deciduous Trees:							
AA	Shademaster Honeylocust	Gleditsia triacanthos inermis	45	40	1.5' Cal.	B&B	3
BB	Goldenrain Tree	Koeleruteria paniculata	30	30	1.5' Cal.	B&B	1
CC	Redspire Caleryana Pear	Pyrus caleryana 'Redspire'	40	15	1.5' Cal.	B&B	2
Total Deciduous Trees:							6
Deciduous Shrubs - Medium (4'-8'):							
A	Dark Knight Blue Mist Spirea	Caryopteris x cland. 'Dark Knight'	4	4	5 gal.	Cont.	3
B	Apache Plume	Fallugia paradoxa	4	4	5 gal.	Cont.	3
Evergreen Shrubs - Small (2'):							
C	Wilton Carpet Juniper	Juniperus horizontalis 'Wiltonii'	1	7	5 gal.	Cont.	10
D	Slowmound Mugo Pine	Pinus mugo 'Slowmound'	3	3	5 gal.	Cont.	1
Yucca & Agave - Small (2'):							
E	Perry's Agave	Agave parryi	3	3	5 gal.	Cont.	6
F	Red Yucca	Hesperaloe parviflora	3	3	1 Gal.	Cont.	3
G	Narrow Yucca	Yucca angustissima	3	3	5 Gal.	Cont.	3
H	Banana Yucca	Yucca Baccata	3	3	5 Gal.	Cont.	2
Ornamental Grasses - Small (2'-3'):							
G1	Blue Grama Grass	Bouteloua gracilis 'Blonde Ambition'	2	2	5 Gal.	Cont.	15
G2	'Karl Foerster' Feather Reed Grass	Calamagrostis arundinacea	3	4	5 Gal.	Cont.	14
G3	Pennisetum alopecuroides	Dwarf Fountain Grass	2	2	5 gal.	Cont.	6
Perennials:							
Y1	Yarrow	Achillea filpendulina	3	3	1 Gal.	Cont.	9
R1	Fumans Red Autumn Salvia	Salvia greggii 'Fumans Red Autumn'	2	2	1 Gal.	Cont.	6
B1	Catmint	Nepeta racemosa	2	2	1 Gal.	Cont.	6
B2	Salvia	Salvia spp.	2	2	1 Gal.	Cont.	3
Total Proposed Shrubs & Perennials:							90

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES LISTED ABOVE AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR SUBSTITUTIONS.



Project Name:

MAJOR MORTGAGE

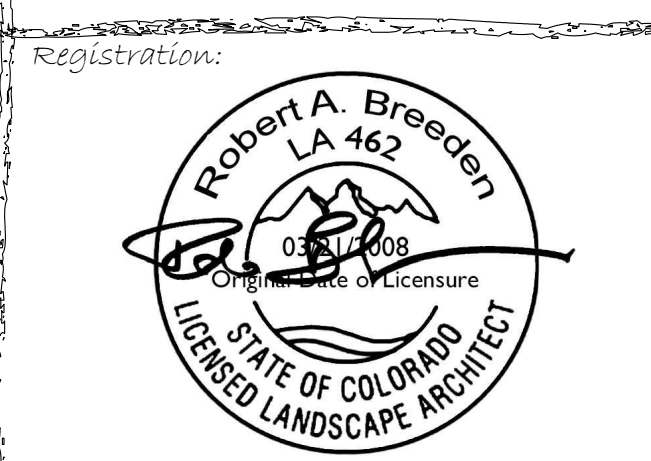
Cortez, Colorado

Architect:

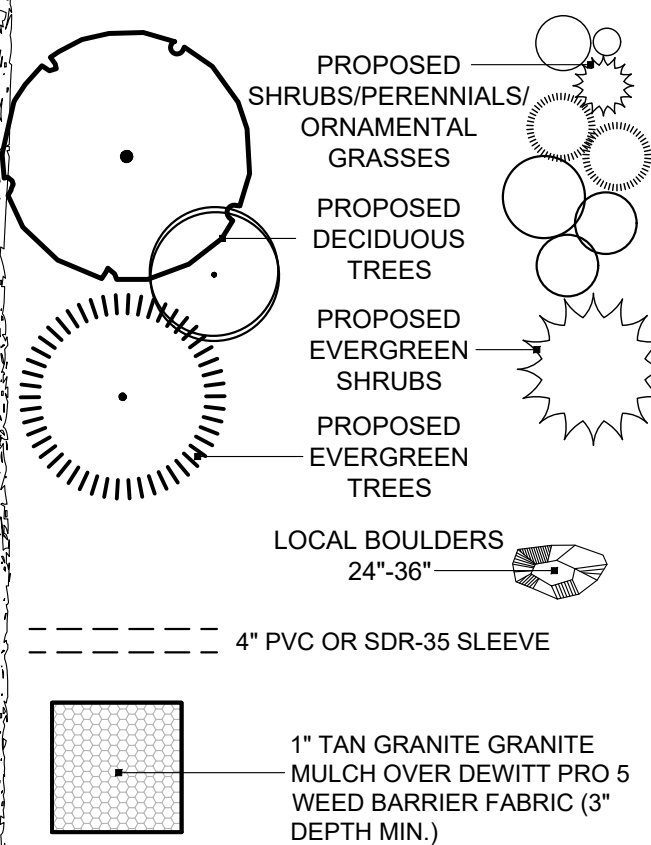
kda KRAAI DESIGN ARCHITECTURE

Landscape Architect:

NVISION DESIGN STUDIO, INC.
677 25 Road Grand Junction, CO 81503
Phone: 970.210.2153 Email: info@nviz.biz
Web: www.nviz.biz
Landscape Architecture | Visual Simulation | Graphic Design



Legend



Sheet Title:

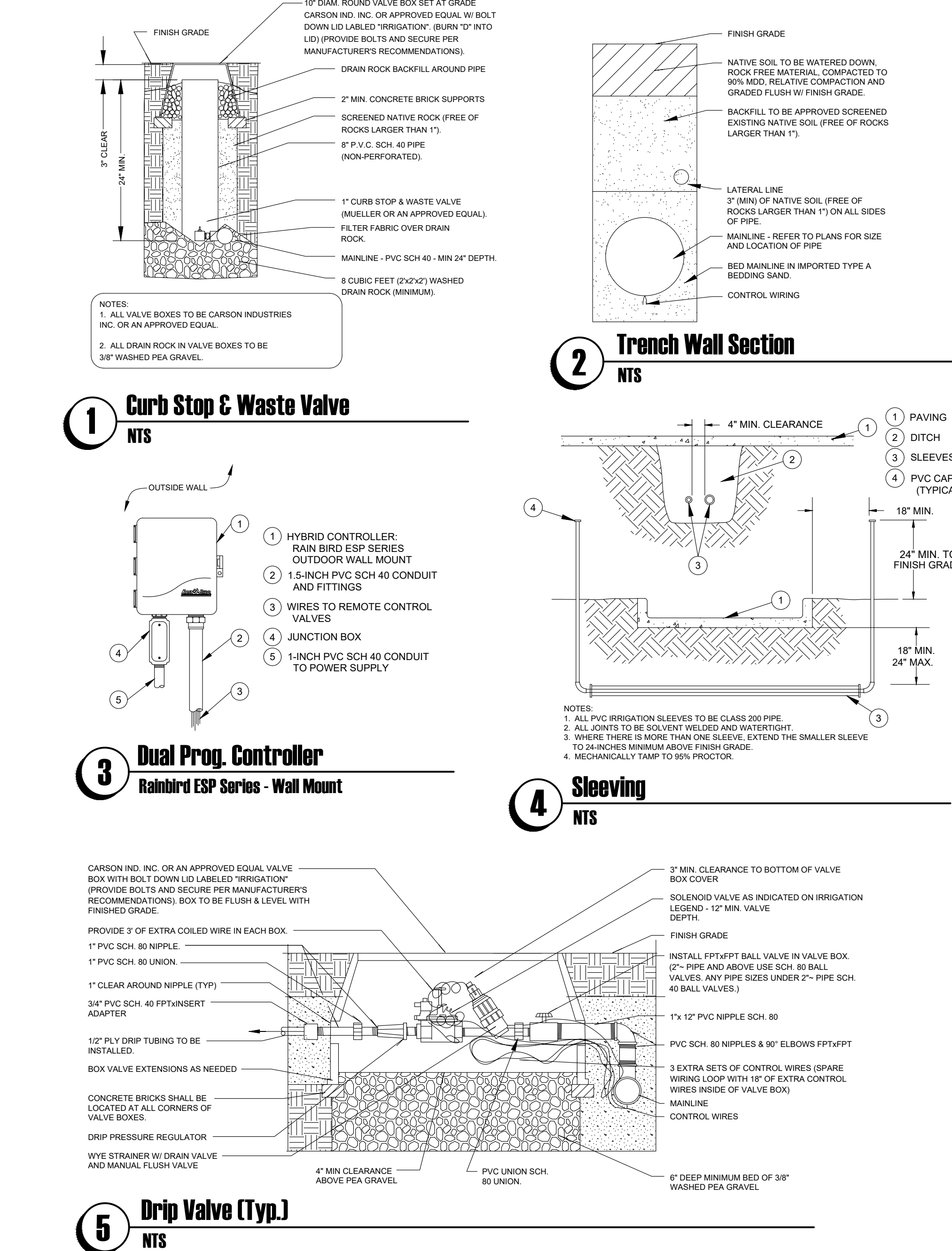
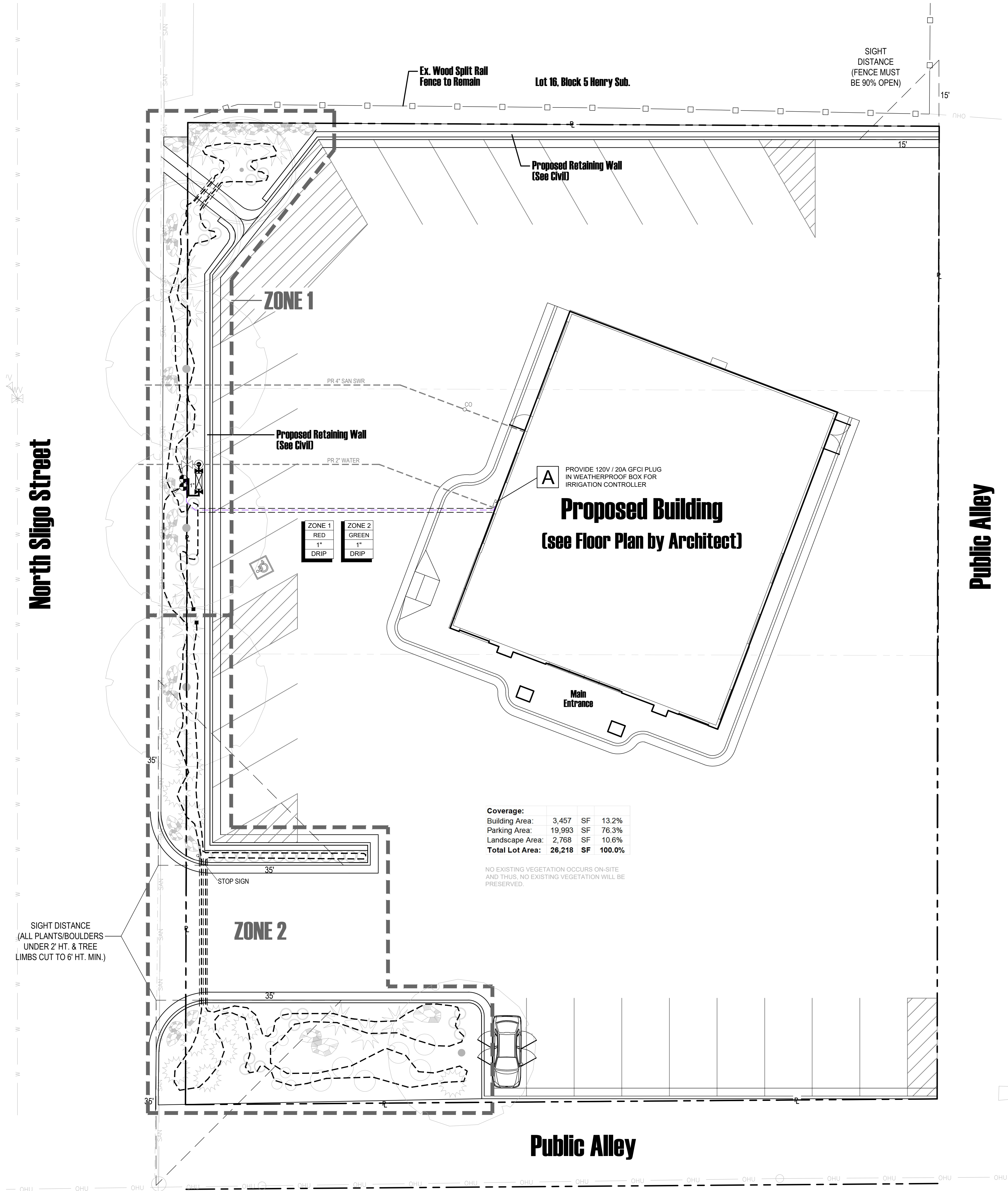
Landscape Plan

Project: Major Mortgage

Date: June 16, 2023

Scale: 1" = 10'

Sheet: North L1



Irrigation Notes

1. VERIFY OPERATING PRESSURE AT POINT OF CONNECTION PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM. NOTIFY PLAN PREPARER IF MEASURED PRESSURE IS MORE THAN 95 P.S.I. OR LESS THAN 60 P.S.I. THE SYSTEM IS DESIGNED FOR AN OPERATING PRESSURE OF 60 P.S.I. AND A FLOW RATE AT INLET PIPE OF 12 GPM. VERIFY ALL FLOW RATES ON-SITE PRIOR TO INSTALLATION.
2. NOTIFY LANDSCAPE ARCHITECT SIX (6) DAYS PRIOR TO INSTALLATION FOR A PRE-INSTALLATION CONFERENCE AND FIELD REVIEW COORDINATION FOR TRENCH DEPTHS, ASSEMBLY REVIEW, PRESSURE TESTS, COVERAGE TESTS, PRE-MAINTENANCE AND FINAL REVIEWS.
3. A CONTINUITY TEST WILL BE REQUIRED FOR CONTROL WIRE STUBOUTS. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE PLAN PREPARER.
4. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH LOCAL CODES, MANUFACTURERS AND INSTRUCTIONS. AVOID ANY CONFLICTS BETWEEN SPRINKLER SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. NOTIFY PLAN PREPARER, PRIOR TO INSTALLATION, OF ANY AREA OF GRADE DIFFERENCES OR OBSTRUCTIONS NOT INDICATED ON THE PLANS.
5. PRIOR TO CUTTING INTO SOIL, LOCATE ALL CABLES, CONDUITS, SEWERS, AND OTHER UTILITIES OR ARCHITECTURAL FEATURES THAT ARE COMMONLY ENCOUNTERED UNDERGROUND AND TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. ANY DAMAGE MADE DURING THE INSTALLATION OF THE IRRIGATION SYSTEM OF THE AFOREMENTIONED ITEMS SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. LOCATION OF CONTROLLER TO BE DETERMINED AT JOBSITE BY OWNER AND CONTRACTOR (IF APPLICABLE). CONNECT TO EXISTING 120 VOLT ELECTRICAL SUPPLIES. USE THIN WALL METAL CONDUIT ABOVE GRADE. INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE AND INSTALL RECHARGEABLE BATTERY BACK-UP FOR CONTROLLERS. CONTROLLERS SHALL BE PROPERLY GROUNDED PER ARTICLE 250 OF THE NATIONAL ELECTRIC CODE AND CONFORM TO LOCAL REGULATIONS. INSTALL AS DETAILED. SEAL ALL CONDUIT HOLES WITH SILICONE OR EQUAL. PROGRAM CONTROLLERS TO IRRIGATE SLOPES USING MULTIPLE REPEAT CYCLES OF SHORT DURATIONS. CARE SHALL BE TAKEN TO PREVENT RUNOFF OF WATER AND SOIL EROSION DUE TO PROLONGED APPLICATIONS OF WATER.
7. USE APPROPRIATE SOLVENT AND APPLICATOR, AND PRIMER IF REQUIRED, FOR PIPE SIZE AND TYPE APPLICATIONS. APPLY PER MANUFACTURER'S RECOMMENDATIONS.
8. INSTALL ALL ELECTRIC VALVES, PRESSURE REGULATORS, BALL OR GATE VALVES, PIPING, BACKFLOW PREVENTION DEVICES (IF APPLICABLE), CONTROLLERS PER MANUFACTURERS SPECIFICATIONS.
9. INSTALL FLOOD BUBBLERS ON UP HILL SIDE OF PLANT AND/OR WITHIN PLANT WELL.
10. POLYETHYLENE PIPE (IF APPLICABLE) INSTALLED SHALL BE PRODUCED FROM ALL VIRGIN UNION CARBIDE RESIN.
11. MAINTENANCE CONSIDERATIONS:
 - A. FILTER CLEANING AND FLUSHING SHOULD START OUT AS A MONTHLY PROCEDURE AND CONTINUE AS NEEDED AFTER SIX (6) MONTHS.
 - B. VISUALLY CHECK FOR INDICATIONS OF PIPE BREAKS OR CLOGGED EMITTERS OR OUTLETS.
 - C. WATER QUALITY SHOULD BE MEASURED ON A QUARTERLY BASIS AND AMENDMENTS ADDED AS NECESSARY TO ENSURE THE SURVIVAL RATE OF THE PLANT MATERIAL.
12. ALL WIRING UNDER PAVEMENT SHALL BE INSTALLED IN PVC SCHEDULE 40 ELECTRICAL CONDUIT. ELECTRICAL CONDUIT SHALL EXTEND TWELVE INCHES (12") BEYOND EDGE OF PAVEMENT OR CURB. CONTRACTOR HAS THE OPTION TO INSTALL PVC SCHEDULE 40 SLEEVING FOR ALL PIPING UNDER ASPHALT AND CONCRETE PAVEMENTS AT HIS OWN EXPENSE. INSTALL SAND FOR BACKFILL IN ASPHALT PAVEMENT AREAS TO 8" COVER ABOVE PIPE. SURROUND PIPE WITH SAND IN AREAS WHERE ROCKY TERRAIN IS ENCOUNTERED.
13. ALL VALVE CONTROL WIRE SHALL BE MINIMUM NO. 14 AWG COPPER UL APPROVED FOR DIRECT BURIAL IN GROUND. CONNECT WIRES AS DETAILED PER MANUFACTURERS SPECIFICATIONS. RUN ONE (1) EXTRA CONTROL WIRE OF DIFFERENT COLOR THROUGH ALL VALVE LOCATIONS FROM EACH CONTROLLER. EACH WIRE AT VALVES SHALL HAVE 24" EXCESS COILED LOOP. TAPE WIRES IN BUNDLES EVERY TEN FEET (10').
14. ALL PIPES SHALL BE TESTED AT 125% OF DESIGN PRESSURE FOR 1 HOUR. ADD WATER SLOWLY TO PIPES TO AVOID WATER HAMMER DAMAGE, BLEED SYSTEM TO INSURE ALL AIR IS OUT OF PIPES AND PRESSURIZE SYSTEM TO LEVELS STATED ABOVE. VISUALLY INSPECT FOR LEAKS WHILE SYSTEM IS HOLDING PRESSURE CONSTANT.
15. ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLOUDS, AND OTHER EXTRANEANEOUS MATERIALS. COMPACT BACKFILL TO ORIGINAL DENSITY OF SOIL.
16. AT JOB COMPLETION, SUPPLY OWNER WITH TWO (2) KEYS FOR EACH CONTROLLER.
17. GUARANTEE THE IRRIGATION SYSTEM AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE.
18. INSTALL PUMP, CONTROLLER, AND RELAY SWITCH PER MFR. INSTRUCTIONS (IF APPLICABLE).

Reduced Pressure Backflow Assembly (RPBA)

ONLY ONE RPBA IS REQUIRED TO SERVE THE WHOLE SYSTEM; CONTROL VALVES CAN BE LOCATED DOWNSTREAM OF (AFTER) THE RPBA.

- RPBAS MUST BE INSTALLED A MINIMUM OF 12" ABOVE GROUND LEVEL.
- RPBAS MUST BE TESTED BY A STATE CERTIFIED BACKFLOW PREVENTER TESTER AT THE TIME OF INSTALLATION, ANNUALLY, AND WHEN MOVED OR REPAIRED.
- IN AN RPBA-EQUIPPED SYSTEM, FERTILIZER AND OTHER AGRICULTURAL CHEMICALS MAY BE INTRODUCED DOWNSTREAM OF (AFTER) THE RPBA (FOR IRRIGATION SYSTEMS ONLY).

RPBA MAXIMUM DESIGN FLOW FOR RESIDENTIAL SYSTEMS ON A 1/2 INCH SERVICE AND METER SHOULD NOT EXCEED 15 GALLONS PER MINUTE (GPM). HIGHER FLOWS CAN DAMAGE THE METER. ALL DEVICES SHOULD BE INSTALLED IN A MANNER THAT ALLOWS ADEQUATE CLEARANCE FOR TESTING AND REPAIRS. BEFORE INSTALLING A NEW SPRINKLER SYSTEM THAT WILL USE DOMESTIC WATER, THE OWNER OR OWNER'S REPRESENTATIVE IS REQUIRED TO GET A BUILDING PERMIT FROM THE LOCAL BUILDING DEPARTMENT.

COPYRIGHT NOTICE: This drawing is an instrument of service and is the property of Nvision Design Studio, Inc. No reproduction of this sheet in whole or part, for this or any other project, shall be done without authorization from Nvision Design Studio, Inc.

Project Name:

MAJOR MORTGAGE

Cortez, Colorado

Architect:

kda KRAAI DESIGN ARCHITECTURE

Landscape Architect:

NVISION DESIGN STUDIO, INC.
677 25 Road Grand Junction, CO 81505
Phone: 970.210.2153 Email: n@nviz.biz
Web: www.nviz.biz
Landscape Architecture | Visual Scenarios | Graphic Design

Registration:

Robert A. Breeden
LA 462
00000000
Original State of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

Legend

A RAINBIRD ESP-ME ENHANCED MODULAR CONTROLLER MOUNTED ON EXT. WALL IN WATER PROOF CABINET

ZONE 1 DK GRN 1" SPRAY VALVE STATION NUMBER
WIRE COLOR
VALVE SIZE
TYPE OF IRRIGATION

POINT OF CONNECTION

REDUCED PRESSURE BACKFLOW ASSEMBLY
FEBCO 860 RPZ BACKFLOW PREVENTER
1" FPT | FEB860-100
ELECTRIC REMOTE CONTROL VALVE

WYE STRAINER FOR DRIP ZONES

PVC BALL VALVE

PRESSURIZED MAINLINE PIPE & SIZE
(PVC SCHEDULE 40 PIPE OR PE)

4" PVC OR SDR-35 SLEEVE

1/2" DRIP LINE AND EMITTERS
(PE PIPE AND MICROLINE WITH PRESSURE COMPENSATING MODULES OR APPVD. EQUAL- END-CAPS AS NECESSARY)

NOTE: MAXIMUM WIRE SIZE PER CONNECTOR ARE 3 - #14'S OR 2 - #12'S

STEP 1: STRIP WIRES 1/2" FROM ENDS

STEP 2: APPLY SCOTCHLOK Y SPRING CONNECTOR IN A CLOCKWISE DIRECTION

STEP 3: INSERT SPRUCE TO BOTTOM TO SEAL FLUSH TO TOP. COVER HAS BEEN PUSHED PAST LOCKING FINGERS AND IS LOCATED AT BOTTOM OF TUBE

STEP 4: POSITION WIRES IN WIRE CHANNELS AND CLOSE REGULATOR TUBE COVER

6 Wire Connection NTS

IN PROGRESS
FOR INTERNAL USE ONLY

Sheet Title:

Irrigation Plan

Project: Major Mortgage

Date: June 16, 2023

Scale: 1" = 10'

Sheet: North IR1

**GEOTECHNICAL ENGINEERING STUDY
PROPOSED MAJOR MORTGAGE OFFICE STRUCTURE**

Cortez, Colorado

January 12, 2023

PREPARED FOR:

**Stephen Candelaria
Candelaria Construction, Inc.
Email: scandelaria@candelariaconstruction.com
PROJECT NO. 57726GE**

Table of Contents

1.0 REPORT INTRODUCTION	1
1.1 Proposed Construction	2
2.0 FIELD STUDY	2
2.1 Site Description and Geomorphology	2
2.2 Subsurface Soil and Water Conditions	3
2.3 General Excavation Considerations	5
2.4 Site Seismic Classification	5
3.0 LABORATORY STUDY	6
4.0 FOUNDATION RECOMMENDATIONS	6
4.1 Spread Footings	7
5.0 RETAINING STRUCTURES	9
6.0 SUBSURFACE DRAIN SYSTEM	10
7.0 CONCRETE FLATWORK	12
7.1 Interior Concrete Slab-on-Grade Floors	12
7.1.1 Capillary and Vapor Moisture Rise	13
7.1.2 Slab Reinforcement Considerations	13
7.2 Exterior Concrete Flatwork Considerations	13
7.3 General Concrete Flatwork Comments	14
8.0 CONSTRUCTION CONSIDERATIONS	15
8.1 Fill Placement Recommendations	15
8.1.1 Natural Soil Fill	16
8.1.2 Granular Compacted Structural Fill	16
8.1.3 Deep Fill Considerations	17
8.2 Excavation Considerations	17
8.2.1 Excavation Cut Slopes	18
8.3 Utility Considerations	18
8.4 Exterior Grading and Drainage Comments	19
8.5 Landscaping Considerations	19
8.6 Soil Sulfate and Corrosion Issues	20
8.7 Radon Issues	20
8.8 Mold and Other Biological Contaminants	21
9.0 CONSTRUCTION MONITORING AND TESTING	21
10.0 LIMITATIONS	21
FIELD STUDY RESULTS	Appendix A
Log of Test Borings	
LABORATORY TEST RESULTS	Appendix B
Sieve and Atterberg Limit Test Results	
Swell-Consolidation Test Results	

1.0 REPORT INTRODUCTION

This report presents our geotechnical engineering recommendations for the proposed Major Mortgage Office Building. This report was requested by Stephen Candelaria, Candelaria Construction, and was prepared in accordance with our proposal dated December 16, 2022, Proposal No. 22411P.

As outlined within our proposal for services for this project the client is responsible for appropriate distribution of this report to other design professionals and/or governmental agencies unless specific arrangements have been made with us for distribution.

Geotechnical engineering is a discipline which provides insight into natural conditions and site characteristics such as; subsurface soil and water conditions, soil strength, swell (expansion) potential, consolidation (settlement) potential, and often slope stability considerations. The information provided by the geotechnical engineer is utilized by many people including the project owner, architect or designer, structural engineer, civil engineer, the project builder and others. The information is used to help develop a design and subsequently implement construction strategies that are appropriate for the subsurface soil and water conditions, and slope stability considerations. We are available to discuss any aspect of this report with those who are unfamiliar with the recommendations, concepts, and techniques provided below.

This geotechnical engineering report is the beginning of a process involving the geotechnical engineering consultant on any project. It is imperative that the geotechnical engineer be consulted throughout the design and construction process to verify the implementation of the geotechnical engineering recommendations provided in this report. Often the design has not been started or has only been initiated at the time of the preparation of the geotechnical engineering study. Changes in the proposed design must be communicated to the geotechnical engineer so that we have the opportunity to tailor our recommendations as needed based on the proposed site development and structure design.

The following outline provides a synopsis of the various portions of this report;

- ❖ Section 1.0 provides an introduction and an establishment of our scope of service.
- ❖ Sections 2.0 and 3.0 of this report present our geotechnical engineering field and laboratory studies
- ❖ Sections 4.0 through 7.0 presents our geotechnical engineering design parameters and recommendations which are based on our engineering analysis of the data obtained.
- ❖ Section 8.0 provides a brief discussion of construction sequencing and strategies which may influence the geotechnical engineering characteristics of the site. Ancillary information such as some background information regarding soil corrosion and radon considerations is also presented as general reference.
- ❖ Section 9.0 provides our general construction monitoring and testing recommendations.
- ❖ Section 10.0 provides our limitations.

The data used to generate our recommendations are presented throughout this report and in the attached figures.

All recommendations provided within this report must be followed in order to achieve the intended performance of the foundation system and other components that are supported by the site soil.

1.1 Proposed Construction

Generally, we understand that the proposed project consists of designing and constructing an approximate 2,600 square foot (plan area) two-story office building that is supported by a steel reinforced concrete foundation system. We understand that the lower-level floor is proposed to be concrete slab-on-grade.

General architectural concept drawings and preliminary foundation drawings were reviewed as part of the preparation of this report. Grading plans were not available at the time of this report, therefore the proposed finished floor elevation and foundation support elevation(s) are not known. We assume the structure finished floor elevation will be located at or within a few feet below the present site grade elevation. Grading for the structure is assumed to be relatively minor with cuts of approximately 3 feet or less. We assume relatively light foundation loadings, typical of the proposed type of construction. When final building location, grading and loading information have been developed, we should be notified to re-evaluate the recommendations presented in this report.

2.0 FIELD STUDY

2.1 Site Description and Geomorphology

The project site is located adjacent to the east side of North Sligo Street, about 350 feet north of the intersection of North Sligo Street and Highway 160 (East Main Street) in Cortez, Colorado. The general vicinity of the project site is indicated below as Figure 2.1. A more detailed aerial view of the project site is provided as Figure 2.2 in Section 2.2 of this report below. The imagery used for Figures 2.1 and 2.2 were obtained from Google Earth (imagery date: 10/12/2017).

Figure 2.1: General Project Location



The project area currently consists of undeveloped land. The ground surface slopes down to the west (towards North Sligo Street) with a slope inclination ranging from about 10:1; horizontal to vertical) in the eastern to central area of the project site, to about 5:1; h:v in the western project site area.

The geomorphology in the vicinity of the project site consists of relatively shallow sandy clay and silt loess deposits overlying the Dakota Sandstone formation. The formational materials encountered in the vicinity of the project site generally consist of hard to very hard and tan to brown sandstone with interbedded layers of claystone and shale. The actual subsurface conditions encountered at our test boring locations are generally discussed in Section 2.2 below. The logs of the subsurface conditions presented in Appendix A may be referenced for more detailed geotechnical related information.

2.2 Subsurface Soil and Water Conditions

We advanced four continuous flight auger test borings in the vicinity of our understanding of the proposed structure location. A schematic showing the approximate boring locations is provided below as Figure 2.2. The logs of the soils encountered in our test borings are presented in Appendix A.

Figure 2.2: Approximate Test Boring Locations



The schematic presented above was prepared using notes and field measurements obtained during our field exploration and is intended to show the approximate test boring locations for reference purposes only.

Generally, we encountered soft to stiff/dense and very moist to moist sand and clay soil from the ground surface to depths ranging from about 2 to 4 feet below the ground surface where we encountered the Dakota Sandstone formation. Scattered gravels were encountered within the sand and clay soils in some of the test borings. The upper approximate 1 to 2 feet of formational

materials was relatively weathered, becoming hard to very hard at depths ranging from about 3 to 4 feet below the ground surface elevation. The test borings were advanced to auger refusal on very hard sandstone at depths ranging from about 6 to 10 feet below the ground surface elevation. The shallow sand and clay soils exhibited a low swell potential and moderate to high consolidation potential.

We did not encounter free subsurface water in our test borings at the time of the advancement of our test borings at the project site, however very moist soil conditions were encountered, likely due to recent rain and snowmelt at the time of our January 4, 2023 field study. We suspect that the subsurface water elevation and soil moisture conditions will be influenced by snow melt and/or precipitation and local irrigation. Due to the relatively shallow and impermeable nature of the formational materials, we anticipate that temporary subsurface water could develop on or near the surface of the formational materials during periods of high precipitation or snowmelt.

The logs of the subsurface soil conditions encountered in our test borings are presented in Appendix A. The logs present our interpretation of the subsurface conditions encountered in the test borings at the time of our field work. Subsurface soil and water conditions are often variable across relatively short distances. It is likely that variable subsurface soil and water conditions will be encountered during construction. Laboratory soil classifications of samples obtained may differ from field classifications.

2.3 General Excavation Considerations

As discussed above, the formational sandstone materials became hard to very hard at depths ranging from about 3 to 4 feet below the existing site ground surface elevation. Near auger refusal occurred at depths ranging from about 3½ to 4½ feet in Test Boring TB-2 and at depths ranging from about 4 to 6 feet in Test Boring TB-4 within very hard sandstone layers. The formational materials generally become less competent below this initial very hard layer, however very hard sandstone materials were once again encountered at depths ranging from about 6 to 10 feet below the ground surface where auger refusal occurred.

We anticipate that the formational materials can be excavated with conventional excavation equipment to the anticipated foundation support elevation, however this may require significant effort (including percussive excavation equipment) in some locations. We should be contacted once the foundation support elevation is known to further discuss potential excavation of the site. Blasting must be avoided if possible. We must be contacted if blasting is proposed and/or becomes necessary.

2.4 Site Seismic Classification

The seismic site class as defined by ASCE 7, Chapter 20 is based on some average values of select soil characteristics such as shear wave velocity, standard penetration test result values, undrained shear strength, and plasticity index.

Based on our standard penetration field tests and laboratory test results, the subsurface conditions for the project are consistent with the criteria for a Site Class C designation as outlined in ASCE 7, Chapter 20.

3.0 LABORATORY STUDY

The laboratory study included tests to estimate the strength, swell and consolidation potential of the soils tested. We performed the following tests on select samples obtained from the test borings. The laboratory test results are provided in Appendix B.

- Moisture Content and Dry Density
- Sieve Analysis (Gradation)
- Atterberg Limits, Liquid Limit, Plastic Limit and Plasticity Index
- Swell Consolidation Tests

A synopsis of some of our laboratory data for some of the samples tested is tabulated below.

Sample Designation	Percent Passing #200 Sieve	Atterberg Limits LL/PI	Moisture Content (percent)	Dry Density (PCF)	Measured Swell Pressure (PSF)	Swell or Consolidation Potential
TB-2 @ 1 foot	-	-	5.5	106.0	<100	0.0 (% under 100 psf load)
TB-2 @ 2 feet	-	-	4.9	122.6	500	0.3 (% under 100 psf load)
TB-3; 0-3.5 feet	45	25/10	-	-	-	-
TB-3 @ 4 feet	-	-	5.7	111.9	<100	0.0 (% under 100 psf load)
TB-4 @ 1 foot	-	-	6.6	115.7	<100	0.0 (% under 100 psf load)

*NOTES:

1. We determine the swell pressure as measured in our laboratory using the constant volume method. The graphically estimated load-back swell pressure may be different from that measured in the laboratory.
2. Negative Swell-Consolidation Potential indicates compression under conditions of loading and wetting.
3. * = Swell-Consolidation test performed on remolded sample due to rock content. Test results should be considered an estimate only of the swell or consolidation potential at the density and moisture content indicated.

4.0 FOUNDATION RECOMMENDATIONS

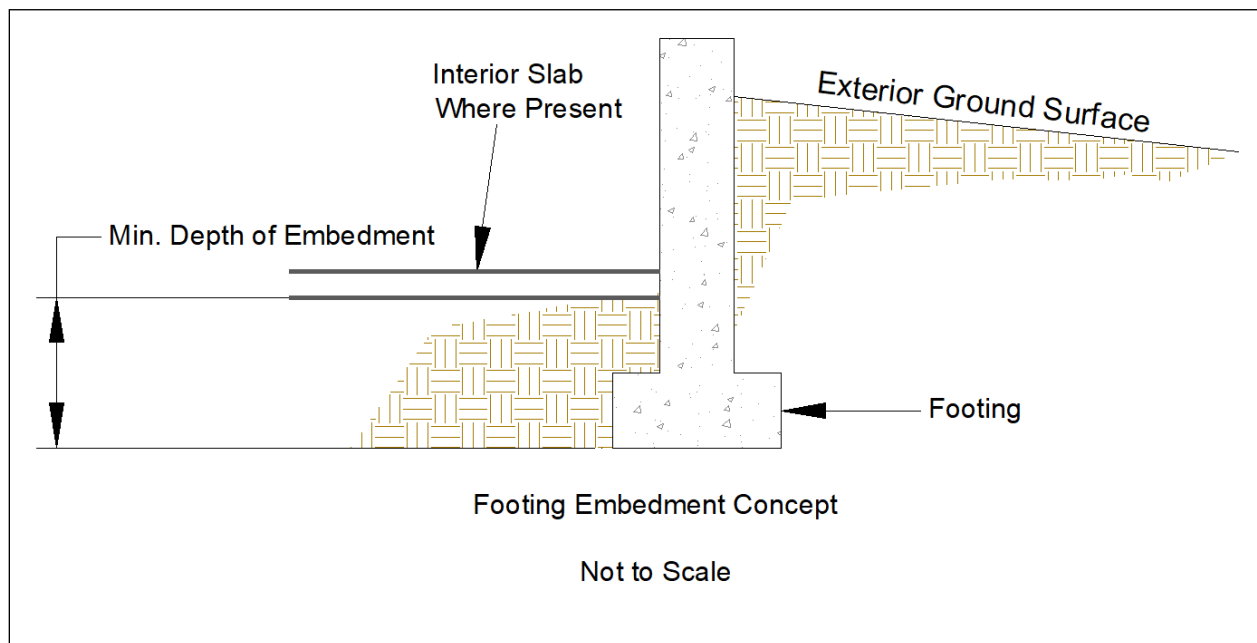
Based on the subsurface conditions encountered during our field study and the laboratory test results, the structure may be supported by a spread footing foundation system that is either supported directly on the competent formational sandstone materials, or is supported on a layer of compacted imported structural fill that extends to the competent formational sandstone materials. Our recommendations for spread footings are presented in Section 4.1 below. We are available to provide recommendations for alternative types of foundation systems at your request.

The integrity and long-term performance of the foundation system is influenced by the quality of workmanship which is implemented during construction. It is imperative that all excavation and fill placement operations be conducted by qualified personnel using appropriate equipment and techniques to provide suitable support conditions for the foundation system.

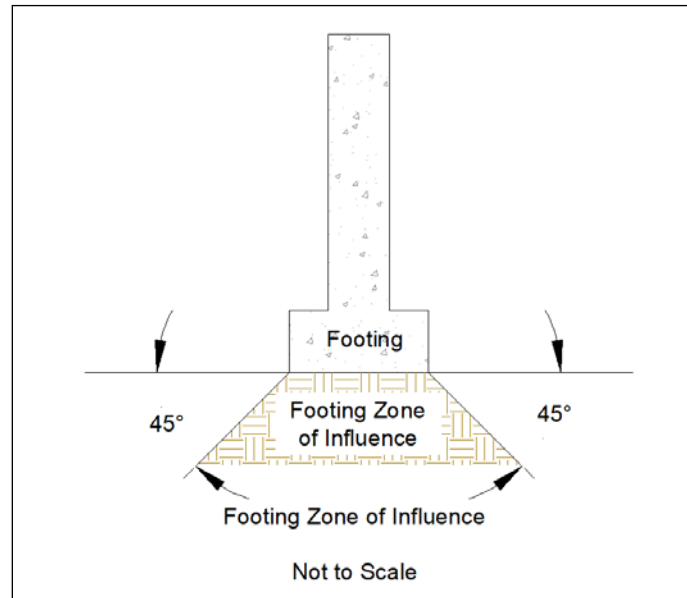
4.1 Spread Footings

Spread footings may be supported directly by the clean, competent formational material or on a blanket of compacted structural fill which extends to the clean and competent formational materials. We encountered the competent formational materials at depths ranging from about 3 to 4 feet below the ground surface at the test boring locations. We anticipate that at least a leveling course of structural fill will be necessary to achieve a uniform bearing elevation in some locations due to the anticipated excavation characteristics of the formational material.

The spread footings may be designed using an allowable gross bearing capacity of 3,500 pounds per square foot. The bearing capacity may be increased by 20 percent due to transient loads. All footings should have a minimum depth of embedment of at least one 1 foot. The embedment concept is shown below.



The compacted structural fill (if used) should be placed and compacted as discussed in the Construction Considerations, "Fill Placement Recommendations" section of this report, below. The zone of influence of the footing (at elevations close to the bottom of the footing) is often approximated as being between two lines subtended at 45 degree angles from each bottom corner of the footing. The compacted structural fill should extend beyond the zone of influence of the footing as shown in the sketch below.



A general and simple rule to apply to the geometry of the compacted structural fill blanket is that it should extend beyond each edge of the footing a distance which is equal to the fill thickness.

We estimate that the footings designed and constructed above will have a total post construction settlement in the range of about ½ inch or less. Differential settlement between footings placed directly on the competent formational sandstone materials versus footings placed on up to 2½ feet of compacted structural fill will be in the range of about ½ inch or less. Under no circumstances should any footing be supported by more than 2½ feet of compacted structural fill material unless we are contacted to review the specific conditions supporting these footing locations.

All footings should be support at an elevation deeper than the maximum depth of frost penetration for the area. This recommendation includes exterior isolated footings and column supports. Please contact the local building department for specific frost depth requirements.

The post construction differential settlement may be reduced by designing footings that will apply relatively uniform loads on the support soils. Concentrated loads should be supported by footings that have been designed to impose similar loads as those imposed by adjacent footings.

The design concepts and parameters presented above are based on the soil conditions encountered in our test borings. We should be contacted during the initial phases of the foundation excavation at the site to assess the soil support conditions and to verify our recommendations.

Some movement and settlement of any shallow foundation system will occur after construction. Movement associated with swelling soils also occurs occasionally. Utility line connections through and foundation or structural component should be appropriately sleeved to reduce the potential for damage to the utility line. Flexible utility line connections will further reduce the potential for damage associated with movement of the structure.

5.0 RETAINING STRUCTURES

We anticipate that exterior retaining wall structures may be considered as part of the site development. Lateral loads will be imposed on the retaining structures by the adjacent soils and, in some cases, additional surcharge loads will be imposed on the retained soils from vehicles or adjacent structures. The loads imposed by the soil are commonly referred to as lateral earth pressures. The magnitude of the lateral earth pressure forces is partially dependent on the soil strength characteristics, the geometry of the ground surface adjacent to the retaining structure, the subsurface water conditions and on surcharge loads.

The retaining structures may be designed using the values tabulated below. The values tabulated for the native soil backfill materials are appropriate for the sandy clay soils that overlie the formational sandstone materials. The values tabulated for the imported granular fill are appropriate for materials that meet CDOT Class 6 specifications.

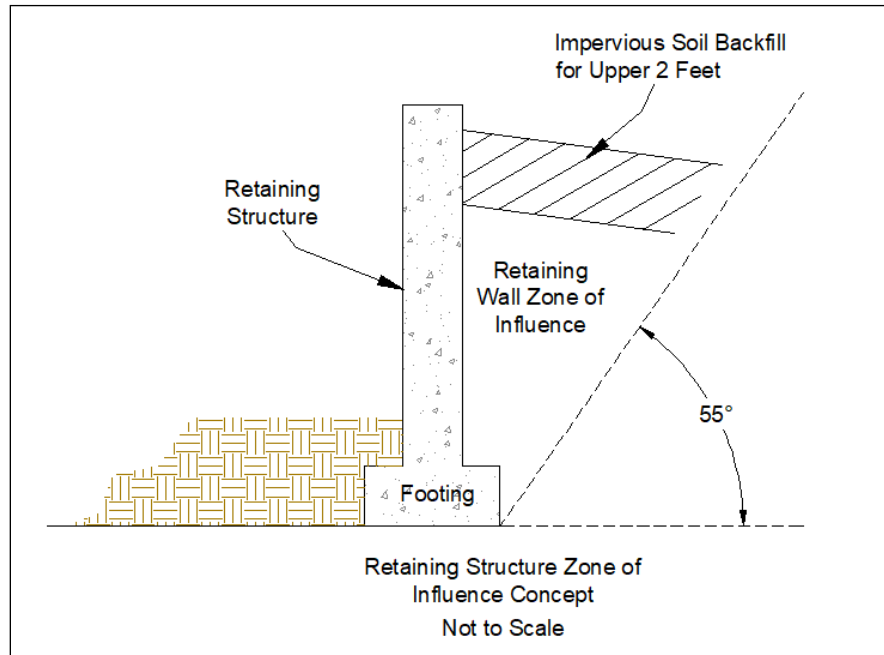
Lateral Earth Pressure Values

Type of Lateral Earth Pressure	Level Native Soil Backfill (pounds per cubic foot)	Level Granular Soil Backfill (pounds per cubic foot)
Active	50	35
At-rest	70	55
Passive	305	460
Allowable Coefficient of Friction	0.30	0.45

Granular soil that is used for the retaining wall backfill may be permeable and may allow water migration to the foundation support soils. There are several options available to help reduce water migration to the foundation soils, two of which are discussed here. An impervious geotextile layer and shallow drain system may be incorporated into the backfill, as discussed in Section 8.5, Landscaping Considerations, below. A second option is to place a geotextile filter material on top of the granular soils and above that place about 1½ to 2 feet of moisture conditioned and compacted site clay soils. It should be noted that if the site clay soils are used volume changes may occur which will influence the performance of overlying concrete flatwork or structural components.

The values tabulated above are for well drained backfill soils. The values provided above do not include any forces due to adjacent surcharge loads or sloped soils. If the backfill soils become saturated the imposed lateral earth pressures will be significantly higher than those tabulated above.

The granular imported soil backfill values tabulated above are appropriate for material with an angle of internal friction of 35 degrees, or greater. The granular backfill must be placed within the retaining structure zone of influence as shown below in order for the lateral earth pressure values tabulated above for the granular material to be appropriate.



Backfill should not be placed and compacted behind the retaining structure unless approved by the project structural engineer. Backfill placed prior to construction of all appropriate structural members such as floors, or prior to appropriate curing of the retaining wall concrete, may result in severe damage and/or failure of the retaining structure.

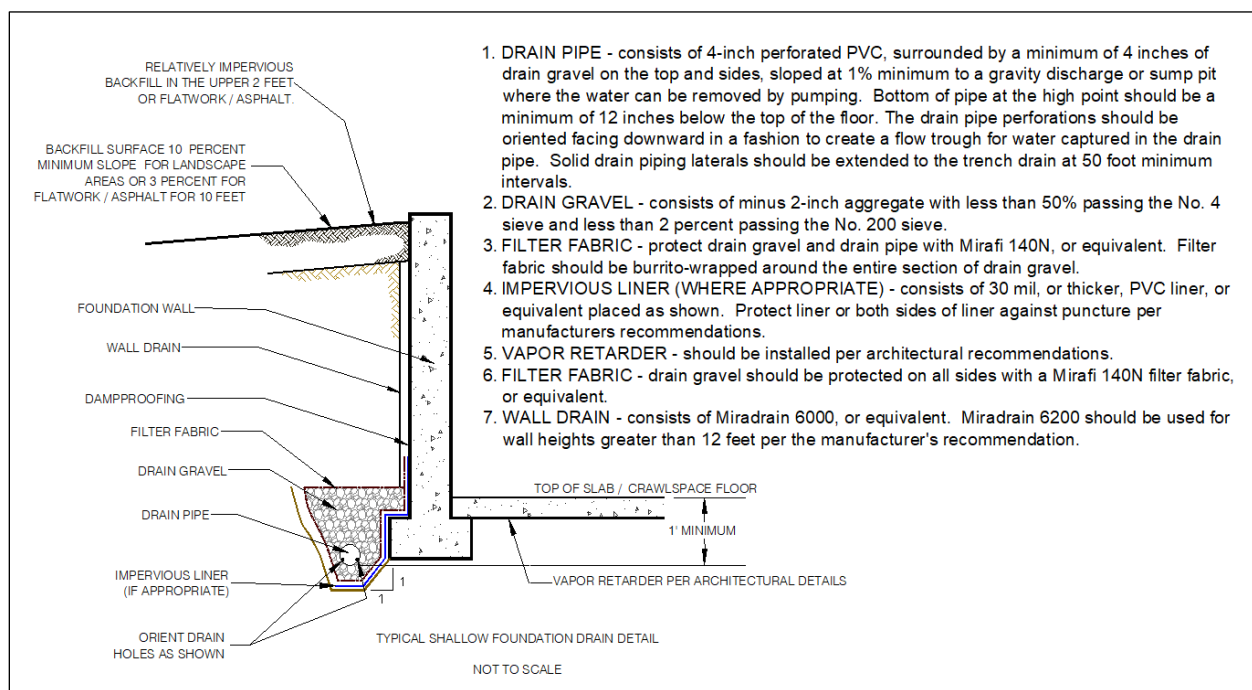
6.0 SUBSURFACE DRAIN SYSTEM

Since retaining structures for the building are not proposed, a subsurface drain system is not needed to reduce hydrostatic pressures. If subsurface areas, such as crawl space area are planned the subsurface drain system concept below may be included in the project design to reduce the tendency for water to accumulate in subsurface areas. Exterior retaining structures should incorporate a drain system and/or weep holes through the retaining structures. General recommendations for a subsurface drain system are provided below for reference.

A drain system constructed with a free draining aggregate material and a 4-inch minimum diameter perforated drain pipe should be constructed adjacent to retaining structures and/or adjacent to foundation walls. The drain pipe perforations should be oriented facing downward. The system should be protected from fine soil migration by a fabric-wrapped aggregate which surrounds a rigid perforated pipe. We do not recommend use of flexible corrugated perforated pipe since it is not possible to establish a uniform gradient of the flexible pipe throughout the drain system alignment. Corrugated drain tile is perforated throughout the entire circumference of the pipe and therefore water can escape from the perforations at undesirable locations after being collected. The nature of the perforations of the corrugated material further decreases its effectiveness as a subsurface drain conduit.

The drain should be placed at each level of excavation and at least 12 inches below lowest adjacent finish floor or crawlspace grade. The drain system pipe should be graded to surface

outlets or a sump vault. The drain system should be sloped at a minimum gradient of about 2 percent, but site geometry and topography may influence the actual installed pipe gradient. Water must not be allowed to pool along any portion of the subsurface drain system. An improperly constructed subsurface drain system may promote water infiltration to undesirable locations. The drain system pipe should be surrounded by about 2 to 4 cubic feet per lineal foot of free draining aggregate. If a sump vault and pump are incorporated into the subsurface drain system, care should be taken so that the water pumped from the vault does not recirculate through pervious soils and obtain access to the basement or crawl space areas. An impervious membrane should be included in the drain construction for grade beam and pier systems or other foundation systems such as interrupted footings where a free pathway for water beneath the structure exists. A generalized subsurface drain system concept is shown below.



There are often aspects of each site and structure which require some tailoring of the subsurface drain system to meet the needs of individual projects. Drain systems that are placed adjacent to void forms must include provisions to protect and support the impervious liner adjacent to the void form. We are available to provide consultation for the subsurface drain system for this project, if desired.

Water often will migrate along utility trench excavations. If the utility trench extends from areas above the site, this trench may be a source for subsurface water within the proposed basement or crawl space. We suggest that the utility trench backfill be thoroughly compacted to help reduce the amount of water migration. The subsurface drain system should be designed to collect subsurface water from the utility trench and fractures within the formational materials and direct it to surface discharge points.

7.0 CONCRETE FLATWORK

We understand that both interior and exterior concrete flatwork will be considered in the project design. Concrete flatwork is typically lightly loaded and has a limited capability to resist shear forces associated with uplift or consolidation of the support soils, including frost heave. It is prudent for the design and construction of concrete flatwork on this project to be able to accommodate some movement associated with volume changes in the support soils.

7.1 Interior Concrete Slab-on-Grade Floors

A primary goal in the design and construction of concrete slab-on-grade floors is to reduce the amount of post construction uplift associated with swelling soils (limited based on the laboratory test data), or downward movement due to consolidation of the soils. A parallel goal is to reduce the potential for damage to the structure associated with any movement of the slab-on-grade which may occur. There are limited options available to help mitigate the influence of volume changes in the support soil for concrete slab-on-grade floors, these include:

- Preconstruction scarification, moisture conditioning and re-compaction of the natural soils in areas proposed for support of concrete flatwork, and/or,
- Placement and compaction of granular compacted structural fill material

Although the soils tested for the project do not exhibit a high swell potential when wetted, performance of the structure may be improved by isolating the floors from the foundation system and interior partition walls.

Interior concrete slab-on-grade floors should be supported by a layer of granular structural fill overlying the processed natural soils. Interior concrete flatwork, or concrete slab-on-grade floors, should be underlain by scarification, moisture conditioning and compaction of 6 inches of the natural soils followed by placement of at least 8 inches of compacted granular structural fill material that is placed and compacted as discussed in the Construction Considerations, “Fill Placement Recommendations” section of this report, below.

- The proposed lower finished floor elevation is not known at this time. If the bottom of the interior concrete flatwork will extend to the formational materials, then scarification and compaction of the formational materials should not be performed.

All plumbing lines should be pressure tested before backfilling to help reduce the potential for wetting. The only means to completely mitigate the influence of volume changes on the performance of interior floors is to structurally support the floors over a void space such as crawl space area. Floors that are suspended by the foundation system will not be influenced by volume changes in the site soils. The suggestions and recommendations presented in this section are intended to help reduce the influence of potential volume changes in the support soils on the performance of the concrete slab-on-grade floors.

7.1.1 Capillary and Vapor Moisture Rise

Capillary and vapor moisture rise through the slab support soil may provide a source for moisture in the concrete slab-on-grade floor. This moisture may promote development of mold or mildew in poorly ventilated areas and may influence the performance of floor coverings and mastic placed directly on the floor slabs. The type of floor covering, adhesives used, and other considerations that are not related to the geotechnical engineering practice will influence the design. The architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of protection required for their products.

Comments for Reduction of Capillary Rise

One option to reduce the potential for capillary rise through the floor slab is to place a layer of clean aggregate material, such as washed concrete aggregate for the upper 4 to 6 inches of fill material supporting the concrete slabs.

Comments for Reduction of Vapor Rise

To reduce vapor rise through the floor slab, a moisture barrier such as a 6 mil (or thicker) plastic, or similar impervious geotextile material is often placed below the floor slab. The material used should be protected from punctures that will occur during the construction process.

There are proprietary barriers that are puncture resistant that may not need the underlying layer of protective material. Some of these barriers are robust material that may be placed below the compacted structural fill layer. We do not recommend placement of the concrete directly on a moisture barrier unless the concrete contractor has had previous experience with curing of concrete placed in this manner. As mentioned above, the architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of moisture and vapor protection required for their products.

7.1.2 Slab Reinforcement Considerations

The project structural engineer should be contacted to provide steel reinforcement design considerations for the proposed floor slabs. Any steel reinforcement placed in the slab should be placed at the appropriate elevations to allow for proper interaction of the reinforcement with tensile stresses in the slab. Reinforcement steel that is allowed to cure at the bottom of the slab will not provide adequate reinforcement.

7.2 Exterior Concrete Flatwork Considerations

Exterior concrete flatwork includes concrete driveway slabs, aprons, patios, and walkways. The desired performance of exterior flatwork typically varies depending on the proposed use of the site and each owner's individual expectations. As with interior flatwork, exterior flatwork is particularly prone to movement and potential damage due to movement of the support soils. This movement and associated damage may be reduced by following the recommendations discussed under interior flatwork, above. Unlike interior flatwork, exterior flatwork may be exposed to frost heave, particularly on sites where the bearing soils have a high silt content. It may be prudent to

remove silt soils from exterior flatwork support areas where movement of exterior flatwork will adversely affect the project, such as near the interface between the driveway and the interior garage floor slab. If silt soils are encountered, they should be removed to the maximum depth of frost penetration for the area where movement of exterior flatwork is undesirable.

If some movement of exterior flatwork is acceptable, we suggest that the support areas be prepared by scarification, moisture conditioning and re-compaction of about 6 inches of the natural soils followed by placement of at least 6 inches of compacted granular fill material. The scarified material and granular fill materials should be placed as discussed under the Construction Considerations, "Fill Placement Recommendations" section of this report, below.

It is important that exterior flatwork be separated from exterior column supports, masonry veneer, finishes and siding. No support columns, for the structure or exterior decks, should be placed on exterior concrete unless movement of the columns will not adversely affect the supported structural components. Movement of exterior flatwork may cause damage if it is in contact with portions of the structure exterior.

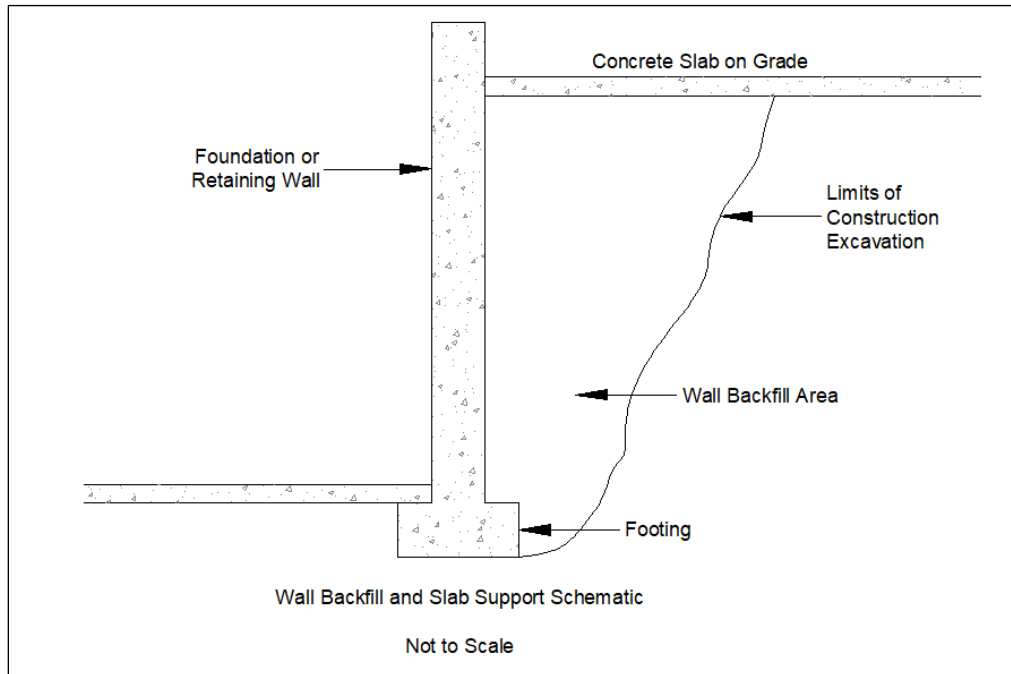
It should be noted that silt and silty sand soils located near the ground surface are particularly prone to frost heave. Soils with high silt content have the ability to retain significant moisture. The ability for the soils to accumulate moisture combined with a relatively shallow source of subsurface water and the fact that the winter temperatures in the area often very cold all contribute to a high potential for frost heave of exterior structural components. We recommend that silty soils be removed from the support areas of exterior components that are sensitive to movement associated with frost heave. These soils should be replaced with a material that is not susceptible to frost heave. Aggregate road base and similar materials retain less water than fine-grained soils and are therefore less prone to frost heave. We are available to discuss this concept with you as the plans progress.

Landscaping and landscaping irrigation often provide additional moisture to the soil supporting exterior flatwork. Excessive moisture will promote heave of the flatwork either due to expansive soil, or due to frost action. If movement of exterior slabs is undesirable, we recommend against placement of landscaping that requires irrigation. The ground surfaces near exterior flatwork must be sloped away from flatwork to reduce surface water migration to the support soil.

Exterior flatwork should not be placed on soils prepared for support of landscaping vegetation. Cultivated soils will not provide suitable support for concrete flatwork.

7.3 General Concrete Flatwork Comments

It is relatively common that both interior and exterior concrete flatwork is supported by areas of fill adjacent to either shallow foundation walls or basement retaining walls. A typical sketch of this condition is shown below.



Settlement of the backfill shown above will create a void and lack of soil support for the portions of the slab over the backfill. Settlement of the fill supporting the concrete flatwork is likely to cause damage to the slab-on-grade. Settlement and associated damage to the concrete flatwork may occur when the backfill is relatively deep, even if the backfill is compacted.

If this condition is likely to exist on this site it may be prudent to design the slab to be structurally supported on the retaining or foundation wall and designed to span to areas away from the backfill area as designed by the project structural engineer. We are available to discuss this with you upon request.

8.0 CONSTRUCTION CONSIDERATIONS

This section of the report provides comments, considerations and recommendations for aspects of the site construction which may influence, or be influenced by the geotechnical engineering considerations discussed above. The information presented below is not intended to discuss all aspects of the site construction conditions and considerations that may be encountered as the project progresses. If any questions arise as a result of our recommendations presented above, or if unexpected subsurface conditions are encountered during construction we should be contacted immediately.

8.1 Fill Placement Recommendations

There are several references throughout this report regarding both natural soil and compacted structural fill recommendations. The recommendations presented below are appropriate for the fill placement considerations discussed throughout the report above.

All areas to receive fill, structural components, or other site improvements should be properly prepared and grubbed at the initiation of the project construction. The grubbing operations should include scarification and removal of organic material and soil. No fill material or concrete should be placed in areas where existing vegetation or fill material exist.

We suspect that man-placed fill and subterranean structures may be encountered as the project construction progresses. All existing fill material should be removed from areas planned for support of structural components. Excavated areas and subterranean voids should be backfilled with properly compacted fill material as discussed below.

8.1.1 Natural Soil Fill

Any natural soil used for any fill purpose should be free of all deleterious material, such as organic material and construction debris. Natural soil fill includes excavated and replaced material or in-place scarified material. Our recommendations for placement of natural soil fill are provided below.

- The natural soils should be moisture conditioned, either by addition of water to dry soils, or by processing to allow drying of wet soils. The proposed fill materials should be moisture conditioned to between about optimum and about 2 percent above optimum soil moisture content. This moisture content can be estimated in the field by squeezing a sample of the soil in the palm of the hand. If the material easily makes a cast of soil which remains in-tact, and a minor amount of surface moisture develops on the cast, the material is close to the desired moisture content. Material testing during construction is the best means to assess the soil moisture content.
- Moisture conditioning of clay or silt soils may require many hours of processing. If possible, water should be added and thoroughly mixed into fine grained soil such as clay or silt the day prior to use of the material. This technique will allow for development of a more uniform moisture content and will allow for better compaction of the moisture conditioned materials.
- The moisture conditioned soil should be placed in lifts that do not exceed the capabilities of the compaction equipment used and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.
- We typically recommend a maximum fill lift thickness of 6 inches for hand operated equipment and 8 to 10 inches for larger equipment.
- Care should be exercised in placement of utility trench backfill so that the compaction operations do not damage underlying utilities.
- The maximum recommended lift thickness is about 6 to 8 inches. The maximum recommended rock size for natural soil fill is about 3 inches. This may require on-site screening or crushing if larger rocks are present. We must be contacted if it is desired to utilize rock greater than 3 inches for fill materials.

8.1.2 Granular Compacted Structural Fill

Granular compacted structural fill is referenced in numerous locations throughout the text of this report. Granular compacted structural fill should be constructed using an imported commercially produced rock product such as aggregate road base. Many products other than road base, such as

clean aggregate or select crusher fines may be suitable, depending on the intended use. If a specification is needed by the design professional for development of project specifications, a material conforming to the Colorado Department of Transportation (CDOT) “Class 6” aggregate road base material can be specified. This specification can include an option for testing and approval in the event the contractor’s desired material does not conform to the Class 6 aggregate specifications. We have provided the CDOT Specifications for Class 6 material below.

Grading of CDOT Class 6 Aggregate Base-Course Material	
Sieve Size	Percent Passing Each Sieve
1 inch	100
¾ inch	95-100
#4	30-65
#8	25-55
#200	3-12

Liquid Limit less than 30

All compacted structural fill should be moisture conditioned and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test. Areas where the structural fill will support traffic loads under concrete slabs or asphalt concrete should be compacted to at least 95 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.

8.1.3 Deep Fill Considerations

Deep fills, in excess of approximately 3 feet, should be avoided where possible. Fill soils will settle over time, even when placed properly per the recommendations contained in this report. Natural soil fill or engineered structural fills placed to our minimum recommended requirements will tend to settle an estimated 1 to 2 percent; therefore, a 3 foot thick fill may settle up to approximately ½ to ¾ inch over time. A 10 foot thick fill may settle up to approximately 2½ inches even when properly placed. Fill settlement will result in distress and damage to the structures they are intended to support. There are methods to reduce the effects of deep fill settlement such as surcharge loading and surveyed monitoring programs; however, there is a significant time period of monitoring required for this to be successful. A more reliable method is to support structural components with deep foundation systems bearing below the fill envelope. We can provide additional guidance regarding deep fills up on request.

8.2 Excavation Considerations

Unless a specific classification is performed, the site soils should be considered as an Occupational Safety and Health Administration (OSHA) Type C soil and should be sloped and/or benched according to the current OSHA regulations. Excavations should be sloped and benched to prevent wall collapse. Any soil can release suddenly and cave unexpectedly from excavation walls, particularly if the soils is very moist, or if fractures within the soil are present. Daily observations of the excavations should be conducted by OSHA competent site personnel to assess safety considerations.

We did not encounter free subsurface water in our test borings. If water is encountered during construction, it may be necessary to dewater excavations to provide for suitable working conditions.

We encountered formational material in our test borings. We suspect that it may be difficult to excavate this material using conventional techniques. If blasting is planned it must be conducted strategically to reduce the effect of the blasting on the support characteristics of the site materials and the stability of adjacent slopes. We typically recommend that where possible blasting be avoided, however blasting is often needed to aid in the excavation of the site to develop the desired footing support elevations. It is typical to have about 2 to 3 feet of loose angular clasts of rock, commonly called “shot-rock” below the desired bottom of excavation elevations. This material is not suitable for support of structural components and should be removed and replaced with compacted structural fill in areas proposed for support of structural components.

If possible, excavations should be constructed to allow for water flow from the excavation the event of precipitation during construction. If this is not possible it may be necessary to remove water from snowmelt or precipitation from the foundation excavations to help reduce the influence of this water on the soil support conditions and the site construction characteristics.

8.2.1 Excavation Cut Slopes

We anticipate that some permanent excavation cut slopes may be included in the site development. Temporary cut slopes should not exceed 5 feet in height and should not be steeper than about 1:1 (horizontal to vertical) for most soils. Permanent cut slopes greater than 5 feet or steeper than 2½:1 must be analyzed on a site-specific basis.

8.3 Utility Considerations

Subsurface utility trenches will be constructed as part of the site development. Utility line backfill often becomes a conduit for post construction water migration. If utility line trenches approach the proposed project site from above, water migrating along the utility line and/or backfill may have direct access to the portions of the proposed structure where the utility line penetrations are made through the foundation system. The foundation soils in the vicinity of the utility line penetration may be influenced by the additional subsurface water. There are a few options to help mitigate water migration along utility line backfill. Backfill bulkheads constructed with high clay content soils and/or placement of subsurface drains to promote utility line water discharge away from the foundation support soil.

Some movement of all structural components is normal and expected. The amount of movement may be greater on sites with problematic soil conditions. Utility line penetrations through any walls or floor slabs should be sleeved so that movement of the walls or slabs does not induce movement or stress in the utility line. Utility connections should be flexible to allow for some movement of the floor slab.

If utility line trenches are excavated using blasting techniques it is relatively common for surface and subsurface water to migrate along the fractures in the rock that may be created by blasting. If this water gains access to a utility line trench that has a gradient down toward the structure the

water may gain access to the foundation support materials and/or subsurface portions of the proposed structure. Provisions should be made in the project construction plans to create an impervious barrier to prevent water from migrating into undesirable locations.

8.4 Exterior Grading and Drainage Comments

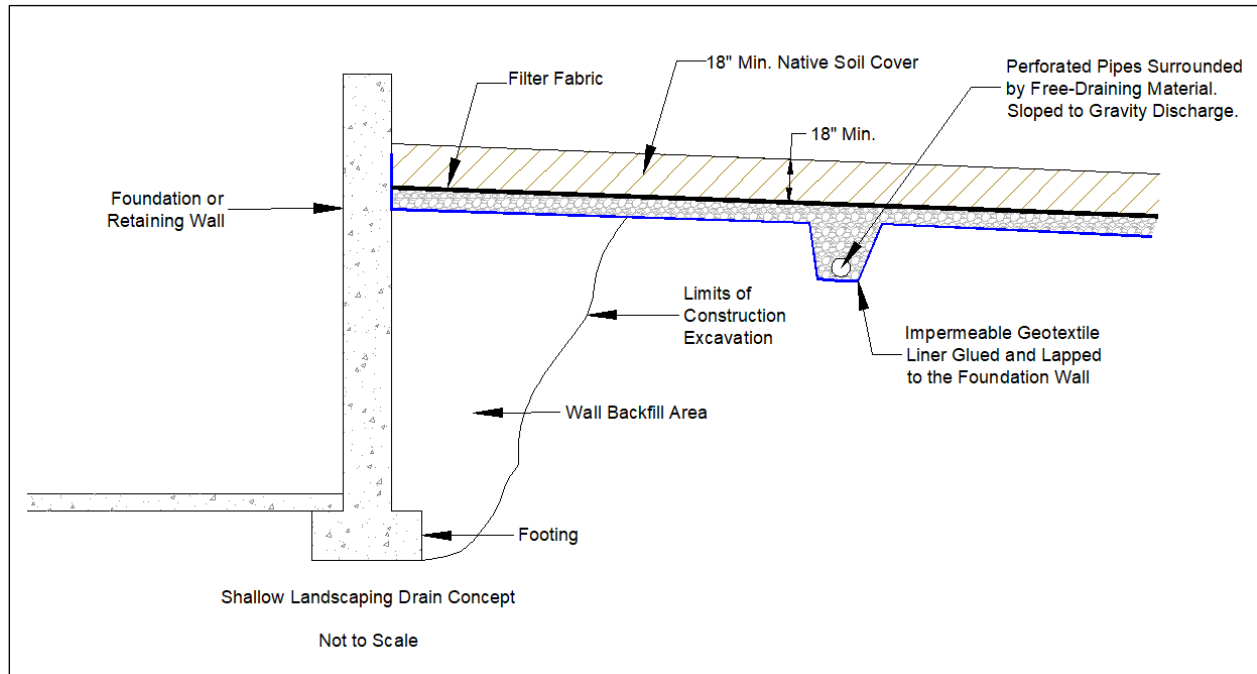
The following recommendations should be following during construction and maintained for the life of the structure with regards to exterior grading and surface drainage.

- The ground surface adjacent to the structure should be sloped to promote water flow away from the foundation system and flatwork.
- Snow storage areas should not be located in areas which will allow for snowmelt water access to support soils for the foundation system or flatwork.
- The project civil engineer, architect or builder should develop a drainage scheme for the site. We typically recommend the ground surface surrounding the exterior of the building be sloped to drain away from the foundation in all directions. We recommend a minimum slope of 12 inches in the first 10 feet in unpaved areas and a minimum slope of 3 inches in the first 10 feet in paved areas.
- Water flow from the roof of the structure should be captured and directed away from the structure. If the roof water is collected in an eave gutter system, or similar, the discharge points of the system must be located away from areas where the water will have access to the foundation backfill or any structure support soils. If downspouts are used, provisions should be made to either collect or direct the water away from the structure.
- Care should be taken to not direct water onto adjacent property or to areas that would negatively influence existing structures or improvements.

8.5 Landscaping Considerations

We recommend against construction of landscaping which requires excessive irrigation. Generally landscaping which uses abundant water requires that the landscaping contractor install topsoil which will retain moisture. The topsoil is often placed in flattened areas near the structure to further trap water and reduce water migration from away from the landscaped areas. Unfortunately, almost all aspects of landscape construction and development of lush vegetation are contrary to the establishment of a relatively dry area adjacent to the foundation walls. Excess water from landscaped areas near the structure can migrate to the foundation system or flatwork support soils, which can result in volume changes in these soils.

A relatively common concept used to collect and subsequently reduce the amount of excess irrigation water is to glue or attach an impermeable geotextile fabric or heavy mill plastic to the foundation wall and extend it below the topsoil which is used to establish the landscape vegetation. A thin layer of sand can be placed on top of the geotextile material to both protect the geotextile from punctures and to serve as a medium to promote water migration to the collection trench and perforated pipe. The landscape architect or contractor should be contacted for additional information regarding specific construction considerations for this concept which is shown in the sketch below.



A free draining aggregate or sand may be placed in the collection trench around the perforated pipe. The perforated pipe should be graded to allow for positive flow of excess irrigation water away from the structure or other area where additional subsurface water is undesired. Preferably the geotextile material should extend at least 10 or more feet from the foundation system.

Care should be taken to not place exterior flatwork such as sidewalks or driveways on soils that have been tilled and prepared for landscaping. Tilled soils will settle which can cause damage to the overlying flatwork. Tilled soils placed on sloped areas often “creep” down-slope. Any structure or structural component placed on this material will move down-slope with the tilled soil and may become damaged.

8.6 Soil Sulfate and Corrosion Issues

The requested scope of our services did not include assessment of the chemical constituents of corrosion potential of the site soils. Most soils in southwest Colorado are not typically corrosive to concrete. There has not been a history of damage to concrete due to sulfate corrosion in the area.

We are available to perform soluble sulfate content tests to assess the corrosion potential of the soils on concrete if desired.

8.7 Radon Issues

The requested scope of service of this report did not include assessment of the site soils for radon production. Many soils and formational materials in western Colorado produce Radon gas. The structure should be appropriately ventilated to reduce the accumulation of Radon gas in the structure. Several Federal Government agencies including the Environmental Protection Agency

(EPA) have information and guidelines available for Radon considerations and home construction. If a radon survey of the site soils is desired, please contact us.

8.8 Mold and Other Biological Contaminants

Our services do not include determining the presence, prevention or possibility of mold or other biological contaminants developing in the future. If the client is concerned about mold or other biological contaminants, a professional in this special field of practice should be consulted.

9.0 CONSTRUCTION MONITORING AND TESTING

Engineering observation of subgrade bearing conditions, compaction testing of fill material and testing of foundation concrete are equally important tasks that should be performed by the geotechnical engineering consultant during construction. We should be contacted during the construction phase of the project and/or if any questions or comments arise as a result of the information presented below. It is common for unforeseen, or otherwise variable subsurface soil and water conditions to be encountered during construction. As discussed in our proposal for our services, it is imperative that we be contacted during the foundation excavation stage of the project to verify that the conditions encountered in our field exploration were representative of those encountered during construction. Our general recommendations for construction monitoring and testing are provided below.

- Consultation with design professionals during the design phases: This is important to ensure that the intentions of our recommendations are properly incorporated in the design, and that any changes in the design concept properly consider geotechnical aspects.
- Grading Plan Review: A grading plan was not available for our review at the time of this report. A grading plan with finished floor elevations for the proposed construction should be prepared by a civil engineer licensed in the State of Colorado. Trautner Geotech should be provided with grading plans once they are complete to determine if our recommendations based on the assumed bearing elevations are appropriate.
- Observation and monitoring during construction: A representative of the Geotechnical engineer from our firm should observe the foundation excavation, earthwork, and foundation phases of the work to determine that subsurface conditions are compatible with those used in the analysis and design and our recommendations have been properly implemented. Placement of backfill should be observed and tested to judge whether the proper placement conditions have been achieved. Compaction tests should be performed on each lift of material placed in areas proposed for support of structural components.
- If asphaltic concrete is placed for driveways or aprons near the structure we are available to provide testing of these materials during placement.

10.0 LIMITATIONS

This study has been conducted based on the geotechnical engineering standards of care in this area at the time this report was prepared. We make no warranty as to the recommendations contained in this report, either expressed or implied. The information presented in this report is

based on our understanding of the proposed construction that was provided to us and on the data obtained from our field and laboratory studies. Our recommendations are based on limited field and laboratory sampling and testing. Unexpected subsurface conditions encountered during construction may alter our recommendations. We should be contacted during construction to observe the exposed subsurface soil conditions to provide comments and verification of our recommendations.

The recommendations presented above are intended to be used only for this project site and the proposed construction which was provided to us. The recommendations presented above are not suitable for adjacent project sites, or for proposed construction that is different than that outlined for this study.

This report provides geotechnical engineering design parameters, but does not provide foundation design or design of structure components. The project architect, designer or structural engineer must be contacted to provide a design based on the information presented in this report.

This report does not provide an environmental assessment nor does it provide environmental recommendations such as those relating to Radon or mold considerations. If recommendation relative to these or other environmental topics are needed and environmental specialist should be contacted.

The findings of this report are valid as of the present date. However, changes in the conditions of the property can occur with the passage of time. The changes may be due to natural processes or to the works of man, on the project site or adjacent properties. In addition, changes in applicable or appropriate standards can occur, whether they result from legislation or the broadening of knowledge. Therefore, the recommendations presented in this report should not be relied upon after a period of two years from the issue date without our review.

We are available to review and tailor our recommendations as the project progresses and additional information which may influence our recommendations becomes available.

Please contact us if you have any questions, or if we may be of additional service.

Respectfully,
TRAUTNER GEOTECH



Jonathan P. Butler, P.E.
Geotechnical Engineer

APPENDIX A

Field Study Results

Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	<div>Mod. California Sampler</div> <div>Standard Split Spoon</div> <div>Bag Sample</div>	<div>Water Level During Drilling</div> <div>Water Level After Drilling</div>							DESCRIPTION
0	CLAY, sandy, few gravels, medium stiff to stiff, moist, brown			CL	<div></div>			
1								
2								
3								
4	DAKOTA SANDSTONE FORMATION at 4 feet, Sandstone, hard to very hard, moist, tan/brown			<div></div>	<div></div>	50/6		
5								
6								
7	Auger refusal at 7 feet on very hard sandstone							
8								

Field Engineer : Jonathan Butler
 Hole Diameter : 4 Inches
 Drilling Method : Continuous Flight
 : Hollow Auger
 Sampling Method : Mod. California Sampler,
 : Standard Split Spoon
 Date Drilled : January 4, 2023
 Total Depth (approx.) : 9.5 feet
 Location : See Figure 2.2

LOG OF TEST BORING TB-4

Major Mortgage Office Structure
 Cortez, Colorado
 Mr. Stephen Candelaria
 Candelaria Construction

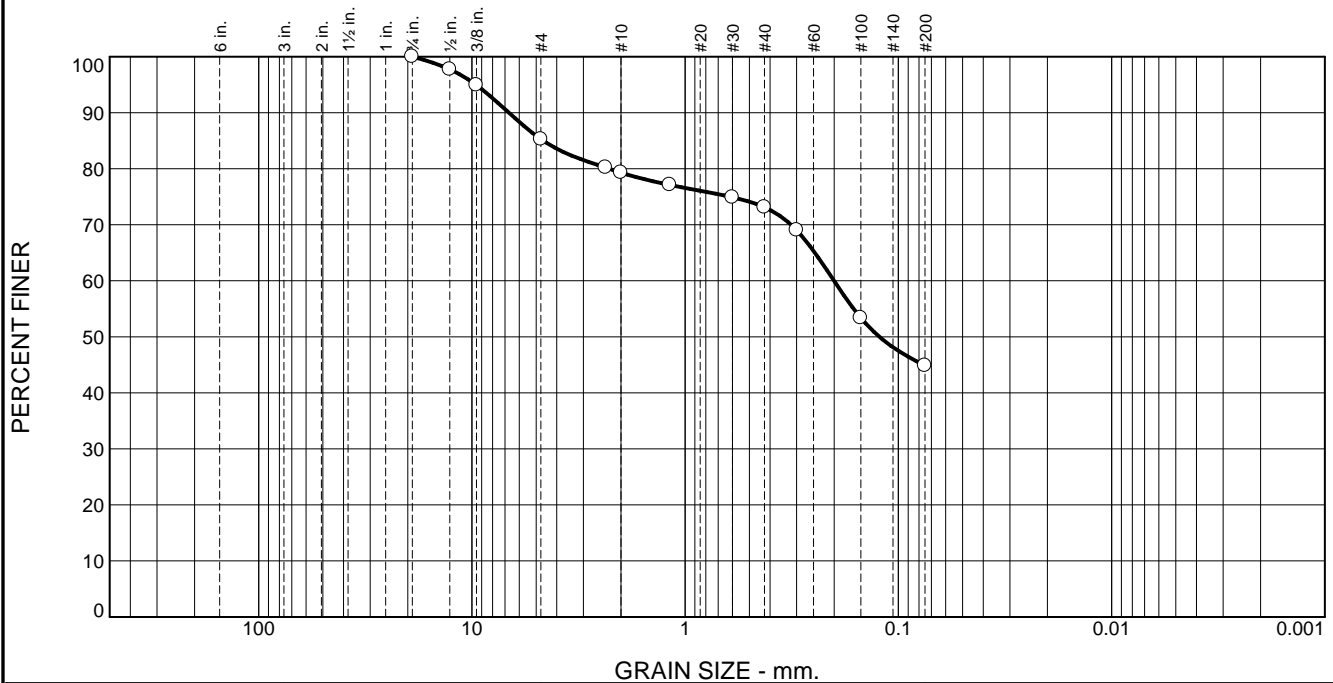
Project Number: 57726GE

Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	<div><div></div> Mod. California Sampler</div> <div><div></div> Standard Split Spoon</div> <div><div></div> Bag Sample</div>	<div><div>▼</div> Water Level During Drilling</div> <div><div>▽</div> Water Level After Drilling</div>						
DESCRIPTION								
0	CLAY, sandy, soft to stiff, very moist to moist, brown			CL	<div></div>			Near Auger Refusal from 4 feet to 6 feet
1						3/9		
2	WEATHERED DAKOTA SANDSTONE FORMATION at 2 feet, Sandstone, dense, very moist, tan				15/6			
3								
4	DAKOTA SANDSTONE FORMATION at 4 feet, Sandstone, very hard, moist, tan				50/2			
5								
6	SANDSTONE, hard, moist, tan/brown							
7								
8								
9								
10	Auger refusal at 9.5 feet on very hard sandstone							
11								

APPENDIX B

Laboratory Test Results

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0	0	15	6	6	28	45	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
.75	100		
.5	98		
.375	95		
#4	85		
#8	80		
#10	79		
#16	77		
#30	75		
#40	73		
#50	69		
#100	53		
#200	45		

* (no specification provided)

Material Description

Clayey sand with gravel

Atterberg Limits (ASTM D 4318)

PL= 15 LL= 25 PI= 10

Classification

USCS (D 2487)= SC AASHTO (M 145)= A-4(1)

Coefficients

D₉₀= 6.7103 D₈₅= 4.6335 D₆₀= 0.2004
D₅₀= 0.1228 D₃₀= C_u= D₁₅= C_c=

Remarks

C10501-E

Date Received: 1/4/23 Date Tested: 1/6/23

Tested By: R. Barrett

Checked By: J. Butler

Title: P.E.

Location: TB-3
Depth: 0-3.5'

Date Sampled: 1/4/23

TRAUTNER GEOTECH LLC

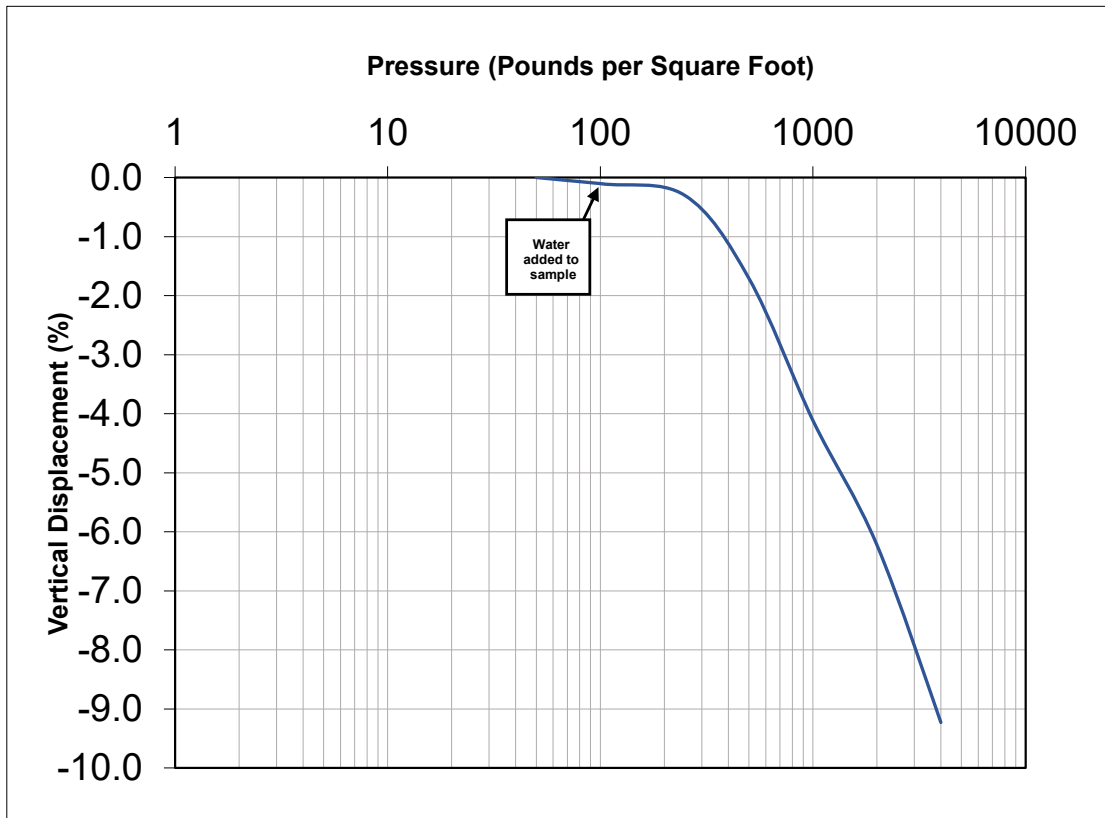
Client: Mr. Stephen Candelaria

Project: Major Mortgage Office Structure, Cortez, Colorado

Project No: 57726GE

Figure B.1

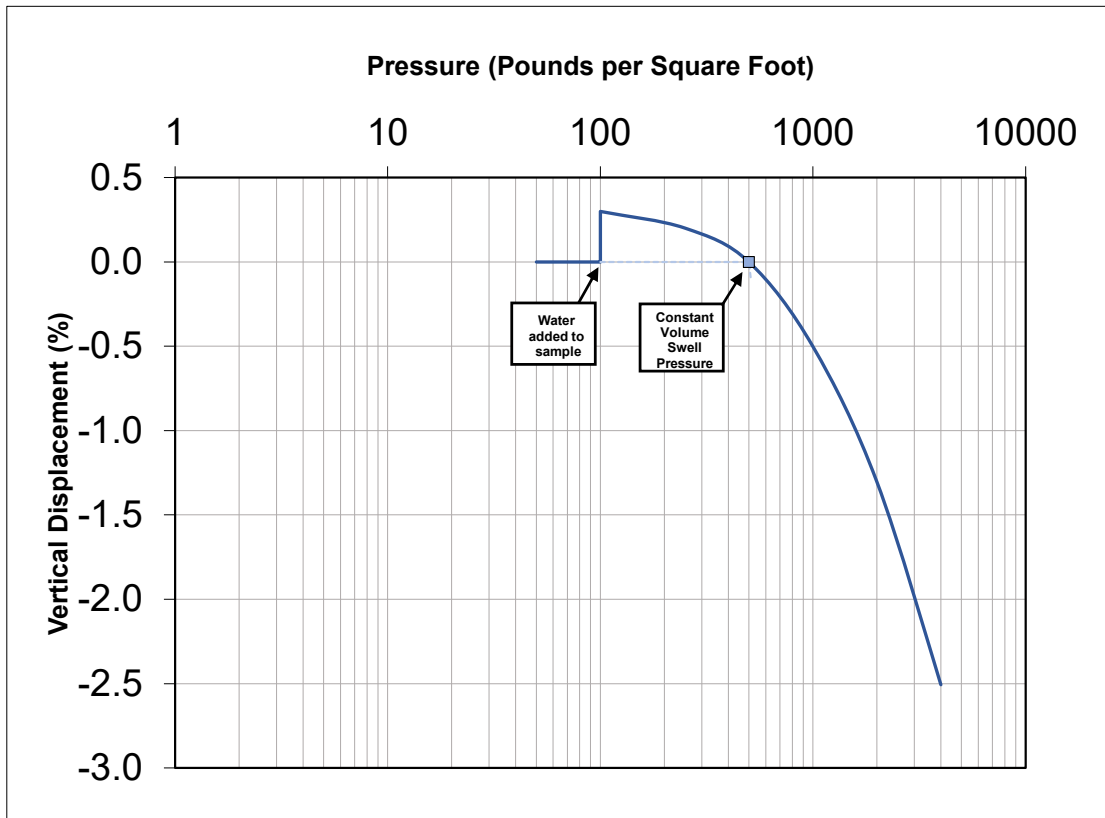
SWELL - CONSOLIDATION TEST



SUMMARY OF TEST RESULTS		
Sample Source:	TB-2 @ 1 foot	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft²):	<100	
	Initial	Final
Moisture Content (%):	5.5	16.6
Dry Density (lb/ft³):	106.0	115.7
Height (in.):	0.997	0.905
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501B
Figure:	B.2

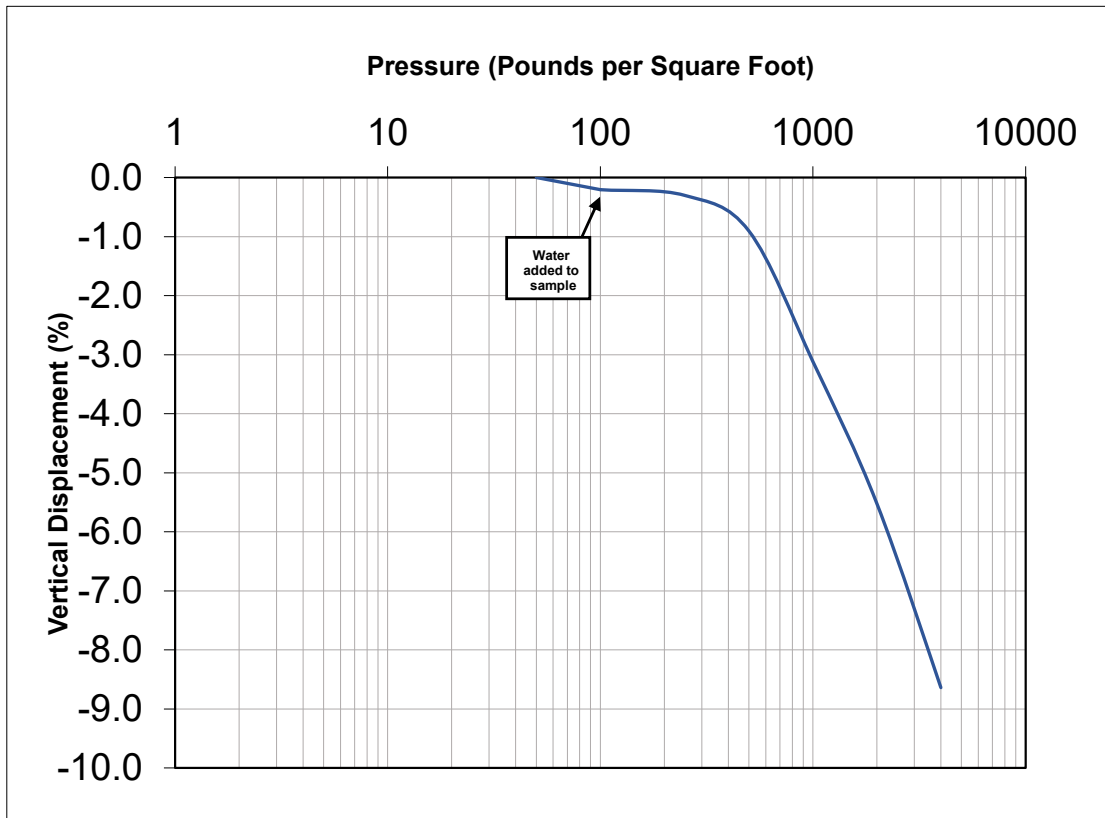
SWELL - CONSOLIDATION TEST



SUMMARY OF TEST RESULTS		
Sample Source:	TB-2 @ 2 feet	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.3%	
Constant Volume Swell Pressure (lb/ft²):	500	
	Initial	Final
Moisture Content (%):	4.9	13.5
Dry Density (lb/ft³):	122.6	124.8
Height (in.):	0.998	0.973
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501C
Figure:	B.3

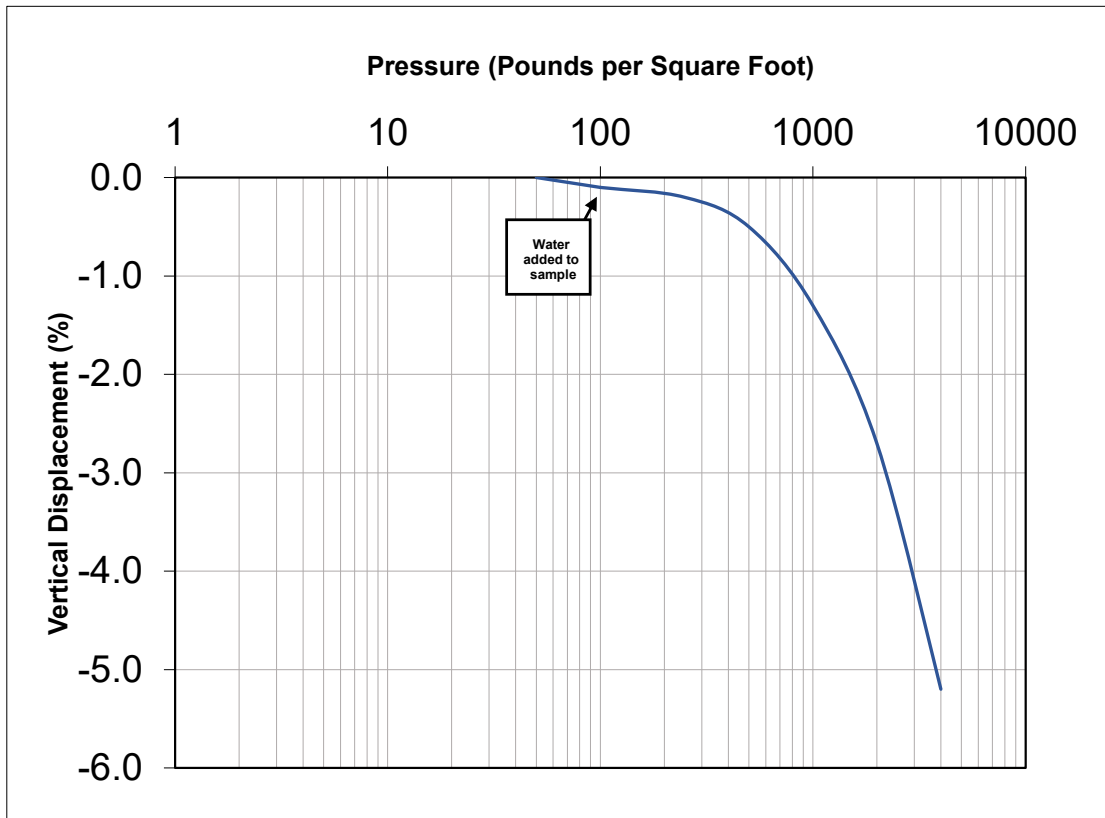
SWELL - CONSOLIDATION TEST



SUMMARY OF TEST RESULTS		
Sample Source:	TB-3 @ 4 feet	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft²):	<100	
	Initial	Final
Moisture Content (%):	5.7	15.9
Dry Density (lb/ft³):	111.9	120.6
Height (in.):	0.996	0.910
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501F
Figure:	B.4

SWELL - CONSOLIDATION TEST



SUMMARY OF TEST RESULTS		
Sample Source:	TB-4 @ 1 foot	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft²):	<100	
	Initial	Final
Moisture Content (%):	6.6	16.4
Dry Density (lb/ft³):	115.7	117.8
Height (in.):	1.000	0.948
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501G
Figure:	B.5



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 09/26/2023

RE: Ordinance No. 1322, Series 2023

DISCUSSION

The approximately 10-acre parcel located at 1050 Lebanon Rd. is currently zoned C, Commercial Highway. The property was previously the site of a drive-in theater and has been vacant for a number of years. The Owners/applicants, who are doing business as Independent Log Company, also own the parcel located at 1107 Lebanon directly west of the subject property, and are already using the property for equipment and material storage for the business. This request, if approved, would partially bring the property into conformance with the LUC.

BACKGROUND

See Attached.

FISCAL IMPACT

Not studied

RECOMMENDATION

Staff recommends that Council approve the Ordinance on second reading.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that City Council approve on second reading, Ordinance No. 1322, Series 2023, approving an application for a rezoning of a parcel of land located at 1050 Lebanon Road, Cortez, Colorado.

Attachments

Ordinance No. 1322, Series 2023
Staff Report
Documentation #1
Documentation #2

**CITY OF CORTEZ
ORDINANCE NO. 1322, SERIES 2023**

**AN ORDINANCE AMENDING THE CITY OF CORTEZ ZONING MAP FOR A 9.64
ACRE PARCEL LOCATED AT 1050 LEBANON ROAD, CORTEZ COLORADO,
TO CHANGE THE ZONING ON THE PARCEL FROM C, COMMERCIAL
HIGHWAY TO I, INDUSTRIAL DISTRICT**

WHEREAS, the owners and applicants, Anthony Moore and Mary Lancaster (the “Owners/applicants”), have applied for review of a rezoning from C, Commercial Highway to I, Industrial of a parcel of land located at 1050 Lebanon Road, Cortez, Colorado, and more particularly described as (the “Property”):

TR IN W/2SW/4SW1/4 OF Section 23, Township 36N, Range 16W, N.M.P.M., County of
Montezuma, State of Colorado

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review of a rezoning of the Property by the City Planning and Zoning Commission at its meetings held on June 6, 2023 and July 18, 2023; and

WHEREAS, Land Use Code Section 6.02, Zoning Map and Land Use Code Amendments, indicates that the owner or developer of a property may request an amendment to the zoning classification of property; and

WHEREAS, at the July 18, 2023 P&Z Meeting, the four members of the Planning and Zoning Commission that attended the Meeting reviewed the request for an amendment to the zoning classification of the Property from C, Commercial Highway to I, Industrial, and a motion that the Planning and Zoning Commission recommend that City Council approve the request received two votes in favor and two votes against, and a motion that the Planning and Zoning Commission recommend that City Council deny the request received two votes in favor and two votes against. Neither motions received a majority vote in favor, both motions failed, and there is no recommendation from the Planning and Zoning Commission to the City Council on this rezoning request; and

WHEREAS, it appears that all requirements of Chapter 6.00 of the City’s Land Use Code for a zoning classification amendment have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL THAT THE CITY OF CORTEZ ZONING MAP IS AMENDED TO RECLASSIFY THE DESCRIBED PROPERTY FROM C, COMMERCIAL HIGHWAY TO I, INDUSTRIAL, SUBJECT TO THE FOLLOWING FINDINGS:

1. The Property is physically buffered from adjacent residential uses by topography, is adjacent to or in the same vicinity of existing Industrial uses, and other impacts can be mitigated with appropriate use conditions.
2. The community will benefit from use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much-needed natural resource use.
3. Adequate facilities are available to serve development for the type and scope suggested by the proposed zoning.
4. The proposal is in conformance with the policies, intents and requirements of the Cortez comprehensive plan.
5. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of any building permits on the Property.

PASSED AND INTRODUCED ON FIRST READING THIS 8th DAY OF AUGUST, 2023.

ATTEST:

CITY OF CORTEZ



RACHEL B MEDINA, MAYOR



DONNA MURPHY, DEPUTY CITY CLERK

PASSED, ADOPTED AND APPROVED ON SECOND AND FINAL READING THIS 26th DAY OF SEPTEMBER, 2023.

CITY OF CORTEZ

ATTEST:



RACHEL B MEDINA, MAYOR



LINDA L. SMITH, CITY CLERK

APPROVED AS TO FORM:



J. PATRICK COLEMAN, CITY ATTORNEY



*City of Cortez
Community &
Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: September 26, 2023 (Public Hearing)
Project No. ZA23-0001

MEMO

TO: Members of the Cortez City Council

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a rezoning of an approximately 10-acre parcel located at 1050 Lebanon Rd, from C, Commercial Highway to I, Industrial.

OWNER: Anthony Moore & Mary Lancaster, dba Independent Log Company

ATTACHMENTS: Ordinance No. 1322, Series 2023
Staff Report
Application Packet
Associated Maps
Staff Independent Log photos
Resident Letters and photos



Vicinity Map

BACKGROUND/CODE DISCUSSION

The approximately 10-acre parcel located at 1050 Lebanon Rd. is currently zoned C, Commercial Highway. The property was previously the site of a drive-in theater and has been vacant for a number of years. The Owners/applicants (the "Owners"), who are doing business as Independent Log Company, also own the parcel located at 1107 Lebanon directly west of the subject property, and are already using the property for equipment and material storage for the business. They have been informed that the current use of the property is a code violation. This request, if approved, would partially bring the property into conformance with the LUC.

Independent Log Company operates as a Fire Mitigation and Response Company with several components (see letter from the Owners submitted with the application). They operate and maintain equipment which is used for wildfire response including trucks, trailers, water trucks, earth moving equipment, and chain saws. For the most part, this equipment is off-site at wildfire events during the wildfire season and returns for storage during the winter months. The season and amount of events can vary widely, but in recent years the fire season has been longer and fires are more frequent. In addition to wildfire response, the company conducts wildfire mitigation services which primarily include tree cutting and thinning services. The cut trees are then brought to their properties, prepared and used in several ways, depending on the quality and size of the product, including log home construction, wood furniture construction, fence materials and firewood. These uses would most likely be considered "manufacturing" in that the proposed application does not anticipate retail sales of products from the site.

Contractor storage or equipment yards and Manufacturing, wood products are similar uses that are listed as Conditional Uses in the "C" zone and permitted uses in the "I" zone, indicating that rezoning is not required, and a Conditional Use Permit would be the only approval required for those proposed uses. Applicable definitions from the LUC are below. The proposed uses related to wood products do appear to fit in the definition of "manufacturing, wood products" and manufacturing, heavy, which the code lists as a Conditional use in the Commercial Highway zone and a permitted use in the Industrial zone. However, Section 5.07(j) of the LUC states that "No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No open storage operation shall be located in front of a main building." Staff determined that Section 5.07(j) of the LUC requires a rezoning of the property to the I, Industrial zone, since open storage of commodities is a component of the operation.

Relevant Cortez Land Use Code Definitions:

Manufacturing, General. "General manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials, excluding uses classified as "manufacturing, hazardous or objectionable."

Manufacturing, Hazardous or Objectionable. "Hazardous or objectionable manufacturing" means a use engaged in storage of, or manufacturing processes utilizing, flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions. Typical uses include chemical manufacturing and warehousing, dry ice manufacturing, fat rendering plants, fertilizer manufacturing, fireworks and explosives manufacturing and warehousing, petroleum refineries, pulp processing and paper products

manufacturing, radioactive materials manufacture or use, steel works, slaughterhouses and tanneries.

Manufacturing, Light. "Light manufacturing" means an establishment or use engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment and packaging of such products, and incidental storage, sales and distribution of such products, but excluding activities classified in another land use category. Typical uses include apparel and garment factories, appliance and computer products assembly, bakeries engaged in large-scale production and wholesale distribution, boat building and repair, electrical and electronic equipment, furniture and fixtures, jewelry manufacturing, leather products, meat cutting and wholesale storage, monument and grave marker manufacturing, motion picture production lots, musical instrument manufacturing, pharmaceutical and toiletries manufacturing, printing and publishing, rubber and plastics products, sports equipment manufacturing, and toy manufacturing.

Manufacturing, Wood Products. "Wood products manufacturing" means an establishment engaged in the basic processing and manufacturing of materials or products predominately from raw wood materials. These uses may be further subdivided into "light manufacturing" which includes small-scale production of cabinets, lath, grade stakes, furniture, wood art, moulding; and "heavy manufacturing" which includes such uses as prefabricated wall components, lumber mills, and log home manufacturing.

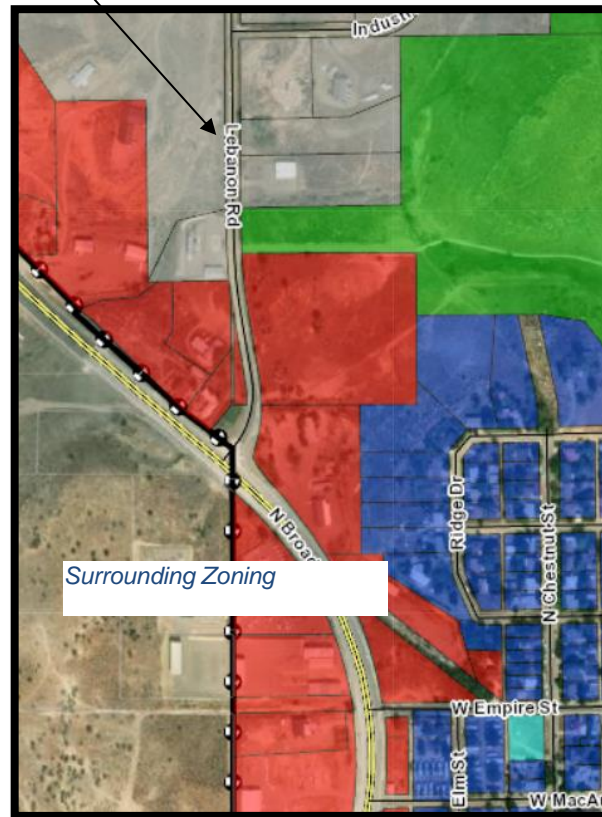
Use Type	RE	R-1	R-2	MH	O	CBD	C	NB	I
Manufacturing, general									P
Manufacturing, hazardous/objectional									C
Manufacturing, light						C	C		P
Manufacturing, wood products							C		P

5.07 (j) Open Storage. No open storage of materials or commodities shall be permitted in any district except as an accessory use to a main use located in a building in an I or PUD industrial district. No open storage operation shall be located in front of a main building. No wrecking, junk, or salvage yard shall be permitted as a storage use in any district.

The current request is to rezone the property from Commercial "C" to Industrial "I", which is the most permissive zone in regards to outdoor storage and uses in general and then grant a Conditional Use Permit to allow the proposed outdoor storage use. No buildings are proposed on the site at this time. This is the cleanest approach to conform the multiple uses that the Owners are proposing with the various Code provisions. There are two other options to approach this use; 1) Keep the existing zoning in place, grant or deny a Conditional Use Permit for the use with the exception of storage of commodities or 2) Rezone to Industrial and review the use as a Site Plan only, since Manufacturing, wood products would be considered a Permitted Use. The application of 5.07(j) could produce different results and requires some subjective interpretation of the Code.

Location/Surrounding Land Uses

The site is bounded on the north by City owned open space, on the west by both Industrial and Commercial zoned land, south is both Commercial and R-1, Residential, east is both R-1 Residential and City open space. Access to the property is directly off Lebanon Rd. The adjacent residential properties are somewhat naturally buffered from direct impacts of the use by topography. The adjacent commercial uses are either vacant, or owned and operated by the Owners.



ISSUES

Sec. 6.02 of the Land Use Code establishes the following criteria for a zoning amendment:

1. Items for Consideration in Zoning Amendments. The planning commission shall in its action on the rezoning request, consider the following:
 - a. Was the existing zone for the property adopted in error?
 - b. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?
 - c. Is there a need for the proposed rezoning within the area or community?
 - d. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?
 - e. Will there be benefits derived by the community or area by granting the proposed rezoning?
 - f. Are adequate facilities available to serve development for the type and scope suggested by the proposed zone? If utilities are not available, could they be reasonably extended?
 - g. Is the proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan?
 - h. Does the proposed change constitute "spot zoning?"

DISCUSSION

This property is located in a very mixed area that includes industrial and heavy commercial land uses in close proximity to this property, and also includes City open space/natural area and single-family homes. Staff determined that both equipment storage and log home construction appear to be Conditional Uses in the “C” zone, however, when Section 5.07(j) of the LUC is applied, the uses should be located in an Industrial zone.

The request is to rezone the property from C, Commercial Highway to I, Industrial, which is the most permissive zone in regards to outdoor storage and specific uses that the Owners are proposing for the property. A Conditional Use Permit has also been requested, which may or may not be required depending on whether or not the rezone is granted and how Section 5.07(j) is applied.

Criteria Discussion:

Rezone:

- a. It does not appear that this property was zoned in error, the area is a mix of commercial, industrial and heavy commercial uses. The property was zoned commercial prior to the establishment and zoning of the Carpenter Open Space. Commercial zoning is applied in the City to most parcels adjacent to Highway 491 and the property is directly adjacent to Industrial, Commercial, Open Space and Residential zones.
- b. The most recent new uses in the area are the Herbal Alternative, a marijuana dispensary and grow operation and Target Rental. The Herbal Alternative is located on C, Commercial zoned property while Target Rental is located on I, Industrial zoned property. The Carpenter Natural Area is a relatively new use/designation in the area, being established after most of the commercial, residential and industrial uses in the area. Many of the uses in the area incorporate outdoor storage of a variety of materials and equipment.
- c. The rezoning is being requested to allow for a heavy manufacturing use in an area of the City where these types of uses are somewhat common. There are many vacant C, Commercial zoned properties in the City, while only a few vacant I, Industrial zoned properties exist. This lack of zoned and available land for Industrial type uses could be considered a need for the rezoning.
- d. The area is a mix of land uses, including single family homes and City owned/operated open space on the northern and eastern boundaries. Further north, west and south are heavy commercial uses, most of which include an outdoor storage component. It does not appear that any of the nearby uses comply with Section 5.07(j) of the LUC, although some may be pre-existing non-conforming uses. The City Parks and Recreation Department, several users of the Carpenter Natural Area, and some nearby residents have expressed concern with the use, several written letters of opposition have been received as well as letters of support.
- e. The use may be considered a necessary use in this area where wildfire is a constant and concerning threat. The business provides both firefighting and fire mitigation services, and also makes use of all of the byproducts, adding value to what can be a difficult waste product to dispose of.
- f. Adequate facilities for the business are available, including water, sewer, access and all other utilities, although at this phase, no services are necessary for the use.
- g. The Cortez Comprehensive plan includes numerous goals that support the requested rezone. Goals and policies include the following:
 - a. Sustain a well-balanced and diverse local economy (Goal 11.1)
 - b. Encourage industries that employ City residents for the reclamation of resource extraction. (Policy 11.1.47)

- c. Encourage manufacturing businesses and other skilled labor businesses to enhance employment opportunities at “living wage” income levels. (Policy 11.3.8)
- h. The property is adjacent to other industrial zoned property and uses. If the City Council determines that the request is consistent with the Comprehensive Plan it should not be considered “spot zoning.”

AGENCY REVIEW – Note- Agencies reviewed two zoning requests and two conditional use permit requests together.

GIS Coordinator (Doug Roth)

- The application packet does not specify what zoning is being requested so I can't comment on that.
- All situs addresses for both properties are good. Due to hazardous nature of the operation make sure addresses are clearly marked for emergency response.
- A new (additional) address will be assigned to the proposed manufacturing building on PID 561122400044 once a building permit is pulled
- No other concerns

Cortez Sanitation District (Jim Webb)

The Sanitation District has some concerns about a couple of exposed manhole covers in this property. Could you please let the owners know that we have a 20' prescribed easement across this property 10" Each side of the pipe. We have to have access to these manholes and pipeline for normal maintenance. The covers being exposed like they are, cannot withstand big equipment hitting them and the buried manholes would not be able to handle a whole lot of abuse either. We would prefer that the easement stay clear of any permanent structures and any stored logs giving us access to the exposed manholes Any time of the day or night. This Sewer main is a major Trunk line for the entire North side of town.



Cortez City Engineer (Kevin Kissler)

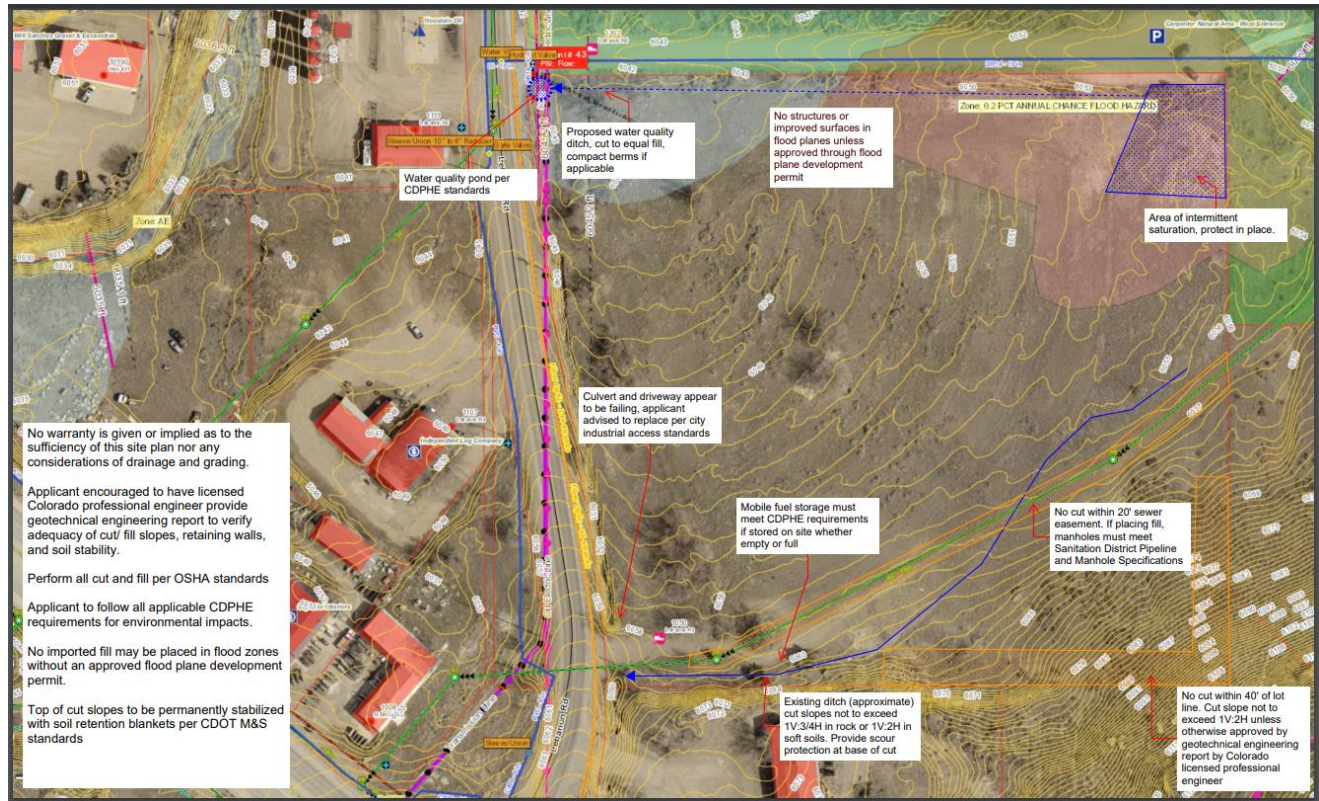
Public works staff performed a site visit on 5/19 and a follow up visit on 5/23 of the properties in question. Attached are updated site plans showing field observations and comments for 1050 Lebanon

and 10206 Highway 491, within are specific engineering concerns and suggestions. The applicant is encouraged to have a Colorado licensed professional engineer certify the adequacy of their installations and earthwork, the attached site plans are not providing or implying warranty or adequacy as to the performance of the installations and earthwork and only reflect a mutual understanding of the work the applicant intends to perform during grading operations.

With that said, it appears that the applicant has removed roughly 40,000 cubic yards of material from the hill on their property at 10206 Highway 491 and has used that material to create a filled pad. While in my opinion this is beyond the scope of a typical grading permit, I am not seeing much support from within the land use code or construction design standards to differentiate this project from a grading permit, nor to my knowledge was this scope of work outlined in their original grading permit from last year. It appears a legal basis to keep their operations suspended is not clearly defined, therefore we will allow work to continue and monitor operations on the site.

I have not heard from CDOT, however the applicant intends to add a second access on their property. They assured me that they have already had communications with CDOT, the access is shown on their plat, and that access from highway 491 at that location is already approved within CDOT's access control plan for highway 491. I had concerns regarding sight distance for oncoming traffic if using that access, however it was noted that roll back curb had already been installed by CDOT at that location.

If they are to eventually propose a structure on any of the filled areas, the city would want to require a soils analysis for any permanent foundations as the placed fill may or may not be unstable. A formal soils and/ or engineering analysis may be a prudent demand the city could make as a condition of re-zoning if supported and permissible by the land use code. It is my recommendation that the city update as soon as possible the LUC and/ or CDS such that any placed fill greater than 4' in depth should require a geotechnical engineering analysis and design certified by a Colorado licensed professional engineer. This update should also include verbiage that outlines a stop work procedure for clearly defined violations and a formal review and/ or remediation process to bring the work back into compliance.



Cortez Parks and Recreation (Creighton Wright)

As City's primary representative for parks, open space, forestry, and recreation, I desire to be a good neighbor and respectfully ask that Mr. Moore's business ventures don't negatively impact the recreation pursuits of Cortez residents and visitors. While I support the business development opportunities, especially the very cool log homes that Mr. Moore proposes to build, I respectfully request mitigation to support the serene Carpenter Natural Area directly adjacent to the property. The preserve's primary parking lot is directly adjacent to the north of the proposed equipment storage area.

The Carpenter Natural Area is a unique ecological and geologic gem within the City that allows residents and visitors to enjoy the natural scenery and outstanding views without leaving the City. Residents and visitors routinely (some daily) use the space for trail walking, birding, light hiking, mountain biking, and generally, the opportunity to get outside and enjoy nature literally out their back doors. I request mitigation by the adjacent property owner to screen, protect and preserve the natural aesthetic value and uniquely serene environment found at the Carpenter Open Space Preserve.

Requested mitigation:

1. Secure and preserve the water quality of inflow into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
2. Restrict access to preserve drives and parking areas from the equipment, supplies, and deliveries to Mr. Moore's business.
3. Prevent any waste, construction debris, or other by-products from blowing or coming onto the preserve or associated areas.
4. Provide buffer and naturally-oriented visual screening along Mr. Moore's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

ALTERNATIVES

1. The Council can hold a public hearing to consider the rezone request from Commercial “C” to Industrial, “I” for the approximately 10-acre parcel located at 1050 Lebanon Rd, and approve the Ordinance on second reading.
2. The Council can hold a public hearing to consider the rezone request from Commercial “C” to Industrial, “I” for the approximately 10-acre parcel located at 1050 Lebanon Rd, and deny the Ordinance on second reading, and state its reasons;
3. The Council can ask for more information and continue the application to a date certain.

PLANNING COMMISSION RECOMMENDATION

At its meeting of July 18, 2023, the Planning Commission considered the request and failed to pass a motion due to the lack of a majority vote in favor of either motion. Four members were present and motions for both approval and denial of the request failed, 2 – 2.

STAFF RECOMMENDATION

Staff recommends Alternative “1” above. If the City Council agrees with the recommendation of City Staff, a possible motion would be: I move that Council approve on second reading Ordinance No. 1322, Series 2023, approving an application for a rezoning of a parcel of land located at 1050 Lebanon Road, Cortez, Colorado.

Should the Council determine that Ordinance No. 1322, Series 2023 should be denied, staff recommends that the Council’s vote for denial include findings, and suggests that the following findings potentially might support a vote for denial:

1. The existing zoning is consistent with the general area and not adopted in error.
2. The proposed industrial uses are not compatible with the open space and residential uses in the area and may not be able to be adequately mitigated.

APPLICATION PACKET

APPLICATION FOR ZONING AMENDMENT
(Land Use Code Section 6.02)

Name: Anthony Moore Mary Lancaster Phone: 719-588-3450
Address: 1050 Lebanon Road COCKE COLORADO 81321

- ☒ Statement of requested change and legal description of property
☒ Title certificate with list of owners and all liens, easements, etc. on property
☒ Statement from Treasurer showing status of current taxes due on property
☒ Survey of property which shows existing zoning, existing uses, and zoning within 300' of land to be rezoned
____ List of surrounding property owners (and addresses) within 300' Cheryl
____ Statement showing effect that new zoning would have on adjacent uses - ?
☒ Explanation for rezoning request
☒ Filing fee \$ 500

RECORD OF PROCEDURES

Review by Department Heads:	Date	Initials
Police Department	_____	_____
Public Works/Planning Department	_____	_____
Parks & Recreation Department	_____	_____
Fire Department	_____	_____

P&Z Public Hearing: _____ Advertised in Paper: _____

Action taken by P&Z: _____

Council Public Hearing: _____ Advertised in Paper: _____

Action taken by Council: _____

4/14/2023

Dear To Whom It May Concern:

City of Cortez: Planning and Zoning

Nancy,

Here is my official request to Rezone 1050 Lebanon Road Cortez Colorado 81321.

Parcel Number : 561123300003

Legal: Section: 23 Township: 36 Range: 16 TR IN W/2SW/4SW1/4

Acreage: 9.64

Currently zoned Commercial "C"

Requesting to Rezone Industrial "I"

Any question or concern please contact at 1-719-588-3450 or by email to justmemory7@yahoo.com

Thank you


Anthony Moore


Mary Lancaster

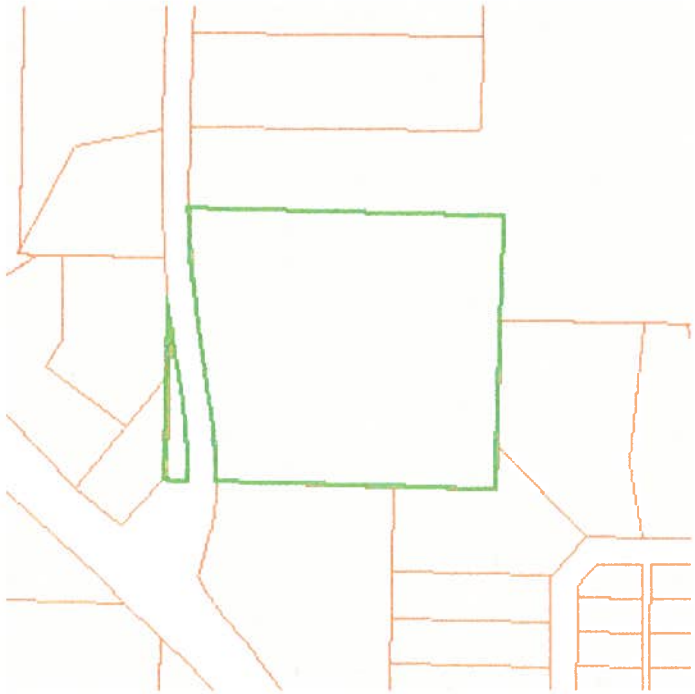
Account: R007650

1 of 2 Results [Next->](#)

Location	Owner Information	Assessment History
Situs Address 1050 LEBANON RD	Owner Name MOORE, ANTHONY &	Actual (2023) \$202,440
Tax Area 11001 - DISTRICT 11001	Owner Address PO BOX 1034	Assessed \$58,710
Parcel Number 5611-233-00-003	ALAMOSA, CO 81101	Tax Area: 11001 Mill Levy: 55.380980
Legal Summary Section: 23 Township: 36		Type Actual Assessed Acres SQFT Units
Range: 16 TR IN W/2SW/4SW1/4; 9.64AC		Land \$202,440 \$58,710 9.640 435600.000 1.000
B226 P164 B406 P35		
Account Number R007650		
Account Type VACANT LAND		
Doc Description		

Transfers		
Sale Date	Sale Price	Doc Description
11/25/1996		Quitclaim Deed NoSale
03/25/2010	\$0	Land Survey Deposit Map
01/25/2016	\$3,105	Warranty Deed
04/20/2017		Survey
10/28/2021		SOA
10/28/2021	\$190,000	Special Warranty Deed JT

Tax History	Images
Tax Year Taxes	• GIS
*2023 \$3,251.40	
2022 \$3,251.72	
* Estimated	




Tax Account

Summary

Account Id R007650
Parcel Number 561123300003
Owners MOORE, ANTHONY &
 LANCASTER, MARY
Address PO BOX 1034
 ALAMOSA, CO 81101
Situs Address 1050 LEBANON RD CORTEZ
Legal Section: 23 Township: 36 Range: 16 TR IN W/2SW/4SW1/4; 9.64AC B226 P164 B406 P35

Inquiry

As Of 04/14/2023 

Payment Type ☐ First
 ☒ Full

Taxes Due \$3,251.72
Total Due \$3,251.72

Value

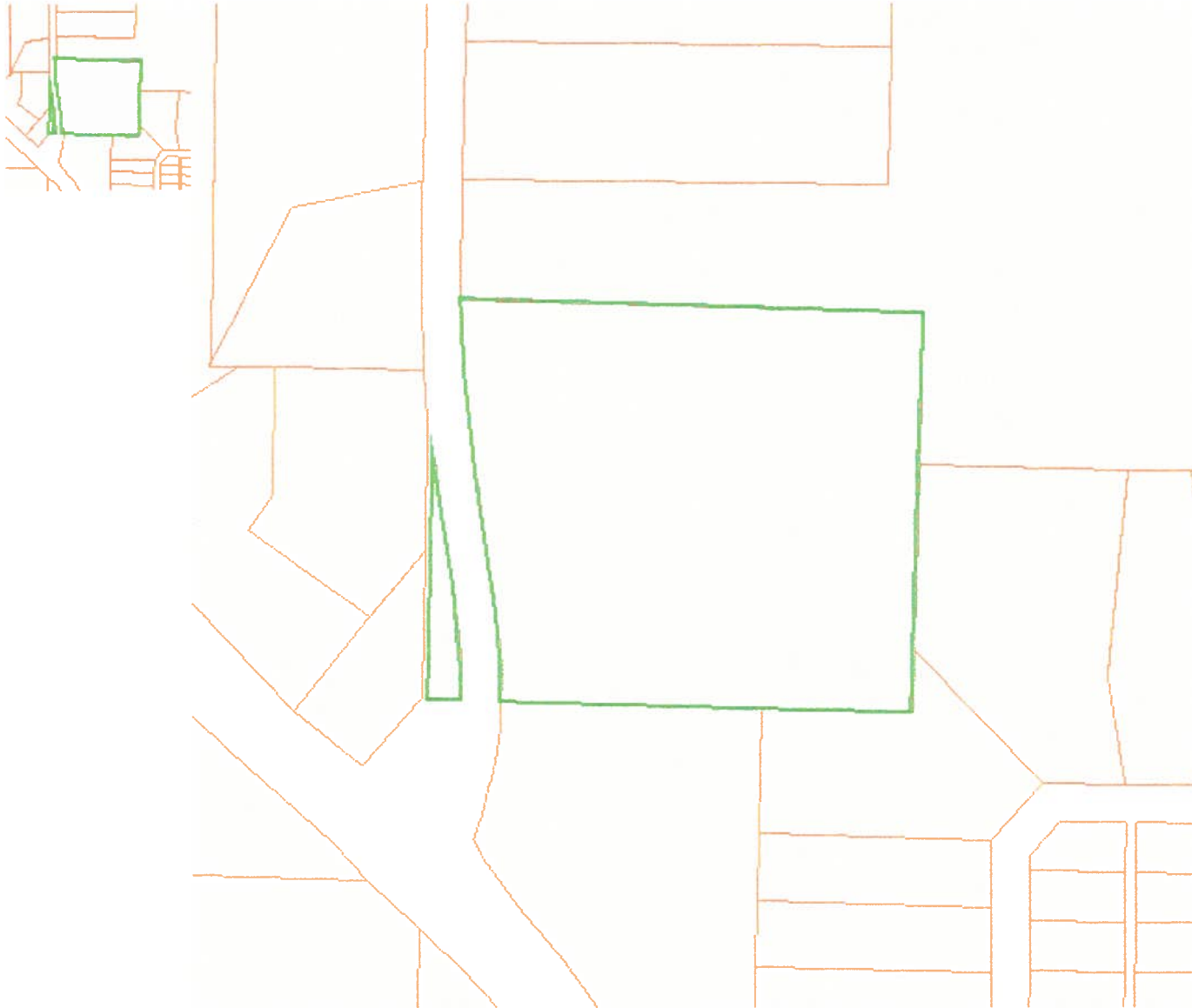
Area Id	Mill Levy	
11001 - DISTRICT 11001	55.3859800	
	Actual	Assessed
VACANT COM LOTS - 0200	202,440	58,710
Taxes		\$3,251.72

The amounts of taxes due on this page are based on **last year's** property value assesments.
For current year values visit the [Montezuma County Assessor's site.](#)

due 5-1-2023

Account: R007650

1 of 2 Results [Next->](#)



NARRATIVE



**Log Home Manufacturing yards
1050 Lebanon Road and 10206 Highway 491 Cortez
Colorado 81321**

We are a family owned and operated business, natives to Cortez Colorado.

We have been generation loggers for over 50 years.

Anthony Moore is a Master Log Crafter, professional logger and Wildland Firefighter.

We will be using this land to store are Wildland firefighting equipment that we use to assist the USDA forest service with our 54 contracts.

We are hopeful for a proposed Wildland Firefighting training facility to help qualify individuals wishing to pursue Wildland Firefighting careers. Anthony Moore is a Task Force Leader and has put out numerous fires in our State and has been awarded medals on the Pine Gulch fire Grand

Junction Colorado 2020 and East Troublesome Fire Granby Colorado 2020, both devastating Colorado fires.

Independent Log Company will be building Swedish Style Cope Log Homes and Timber Frame log homes, at this location. (See Photo 1 and Photo 2)

Photo 1 Swedish Cope Log Home by Independent Log Company



Photo 2 Timber framed home by Independent Log Company

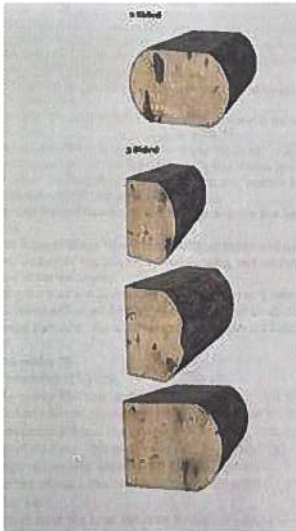
We use top quality logs and most of the work will be done in the yard and then taken down and put on properties.

Swedish Cope Style Log Homes (Think "Lincoln logs")



ILC will be storing logs at this location and a Wood Mizer Mill that will assist in making the 2 sided and 3 sided logs and rough-cut lumber used for our Timber Frame homes. (See Table 1)

Table 1 - 2 sided and 3 sided logs



ILC will also have a Cord King firewood processor at this location for processing the byproduct wood into firewood and this will be available locally.

Cord King Firewood Processor-

Wood Mizer LT40



ILC will take the slab wood that comes off the logs and put that into slab bundles that will be available locally.

Bundles of slab wood



All our sawdust from milling is blown in an enclosed trailer and when this is full, we have numerous individuals that we deliver this too for animal bedding, and landscape projects. No sawdust will be accumulated at our locations.

The amount of noise that will be created for this operation is very minimal mostly due to, this is a wide-open area and sound will go off into many directions and be absorbed into ground you therefore you only end up hearing a small part of it.

Item	Decibels
whisper	15
Lawnmower	75
Car Horn	110
Wood Mizer Mill * on site	75
Cord King Processor *on site	90

We are a family-owned business, and this is our lively hood due to seasons sometimes we work longer hours and sometimes regular hours. You may see us leaving early in the mornings to

beat the thaw and mud and you may see us working late to accommodate break downs or getting dispatched for fires. This area is ideal for this type of operation as Maverick is open 24 hours for fueling and supplies, Meadow gold trucks run at 3:00 in the morning and late at night. We own most of the surrounding land near us and what we do not own business owner's hours are very typical of ours.

ILC will be adding pole barn type lean-to for the wood Mizer and processor to help even more with any noise and for shelter from the elements.



All our wood comes from the local San Juan forests USDA timber sales, and we are a huge part in the removal of this dead and dying wood and keeping the forest healthy.

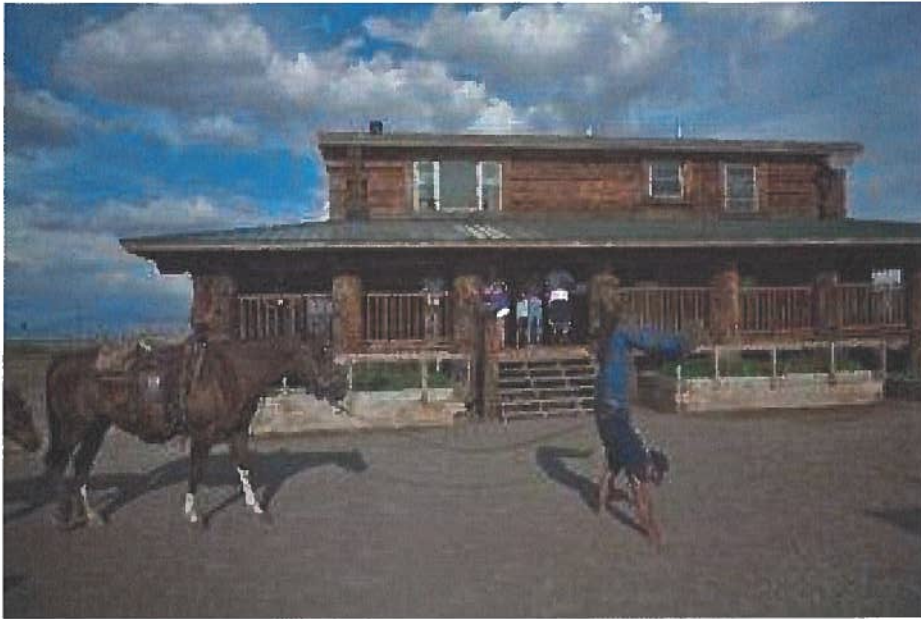
ILC has temporarily and seasonal job opportunities and future full-time positions are expected.

ILC takes pride in keeping things organized and will adhere to any local land use codes and regulations. We keep all our equipment clean and in tip top shape, as it makes our living.

ILC will have limited volumes of boards available and will offer specialty milling such as oversized timber and beams you can't typically get at your local hardware. ILC will also have railings and log home furniture.

Both properties will be used for equipment storage for example water trucks, logging trailers, enclosed trailers, and other equipment we use for firefighting, logging, and log home manufacturing. During the fire season if dispatched or while logging most of this equipment will be gone. Firewood, slabs and rough-cut lumber will be processed and sold locally onsite and delivered. Log home furniture and railing will also be on both locations.

We are looking forward to being a huge asset to Cortez Colorado for future home development and being in your backdoor for Wildland Firefighting.

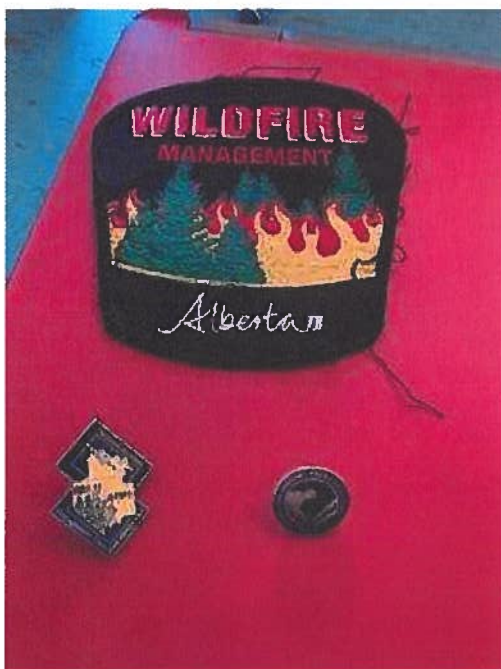
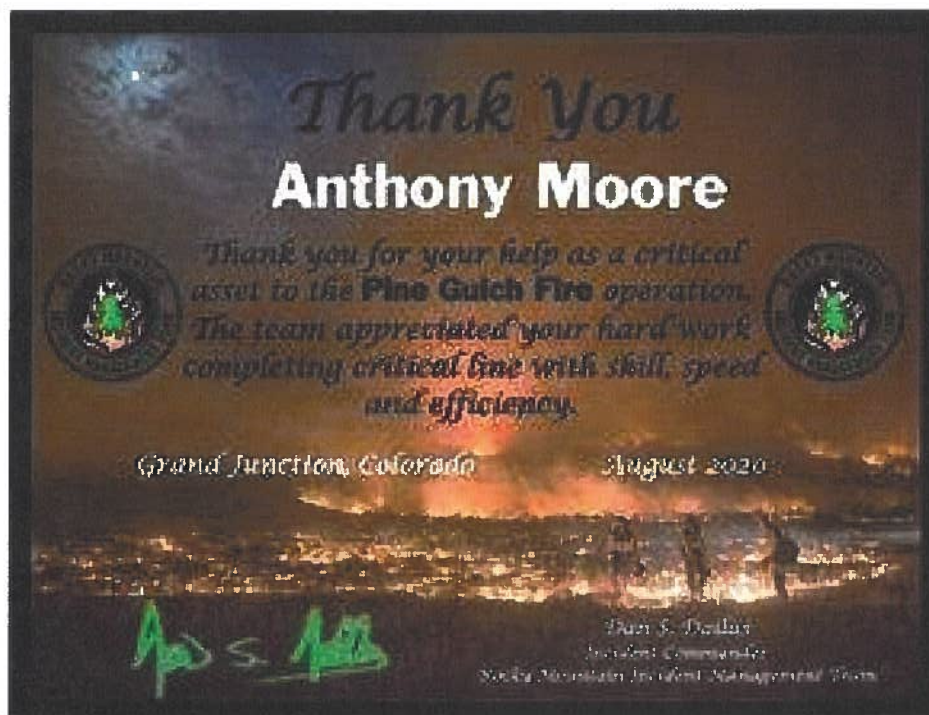


5000 Square foot house by Independent Log Company



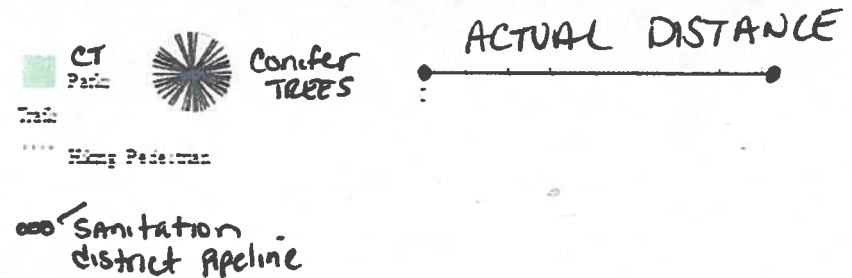
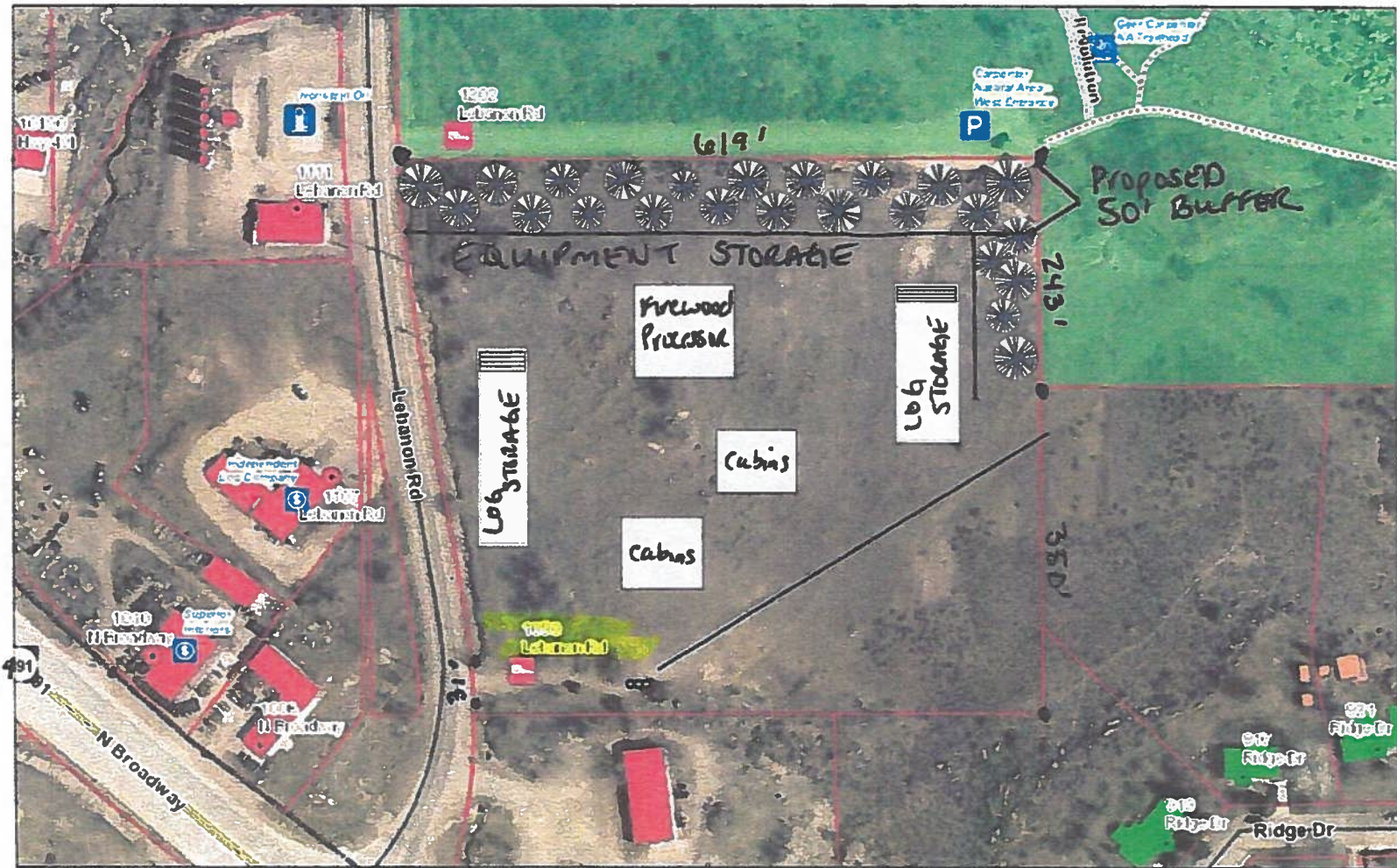
Timber frame package

Awards Given for building Fire line with Dozer that stopped Pine Gulch Fire 2020.



Site Plan

Montezuma County Property 1050 LEBANON ROAD



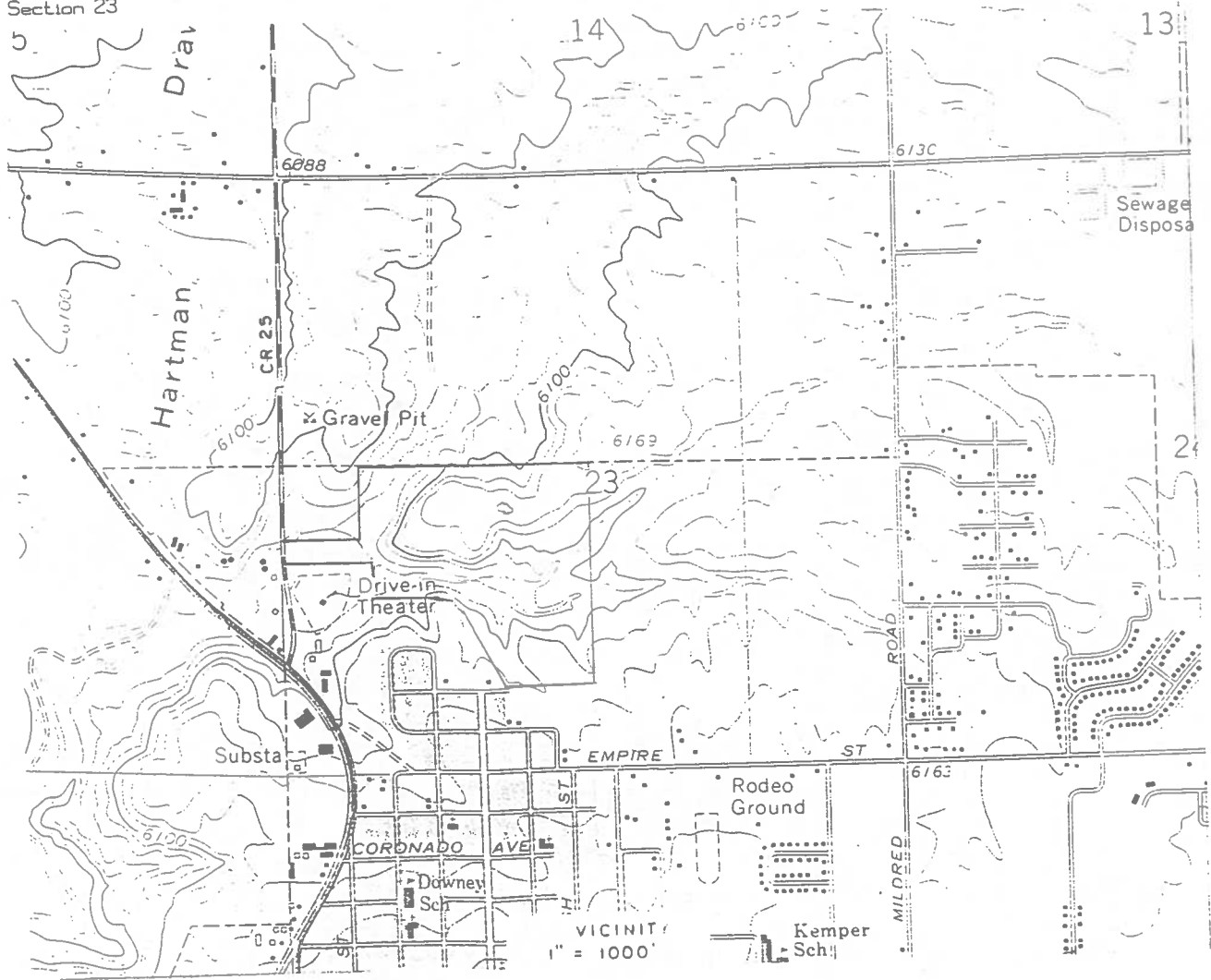
1829.61'

SW corner Section 23

10' N 0' 12'

499.70
N 89°52'59" W

81.74
Ches



SW⁴

CATHARINE N. CARPENTER AND 1st NATIONAL BANK OF DENVER
B. 478, P. 535

MONTVIEW ADDITION

VICTOR HODGES AND
RICHARD TIBBITS
B. 480, P. 492
NW⁴ NW⁴ SW⁴

ALLEN THEATRES, INC.
B. 371, P. 371

NORTHCOTT, INC.
B. 185, P. 154
B. 422, P. 17

W 500' OF S. 537' OF
NW⁴ SW⁴ SW⁴

EMPIRE STREET EASEMENT

NORTH BROADWAY

U.S. 866

SECTION 23

SECTION 22

T36N, R16W, NMPM, MONTEZUMA COUNTY, COLORADO



SCALE 1" = 100'
0 50 100 200

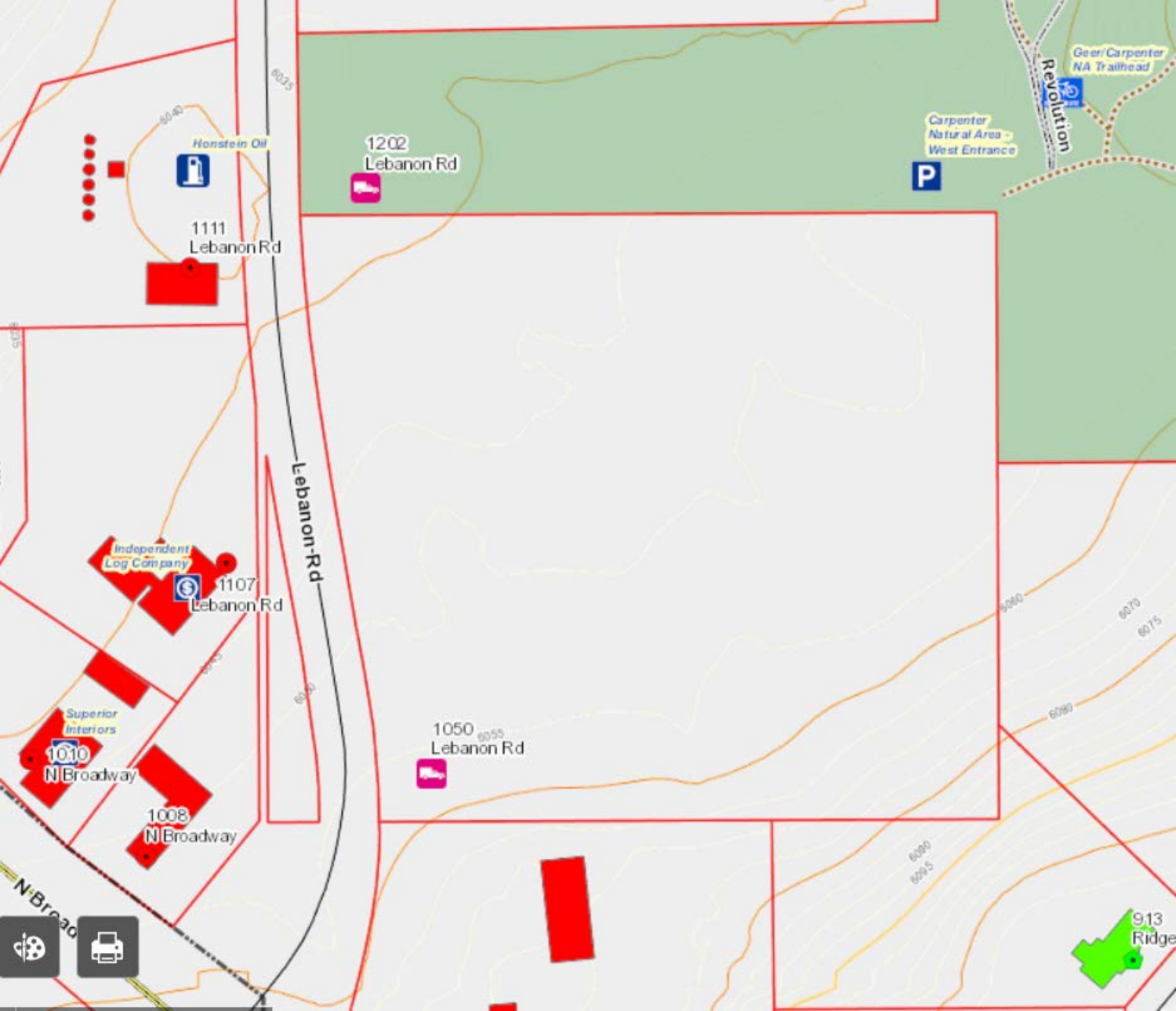
BASE OF BEARING IS BEARINGS OF RECORD

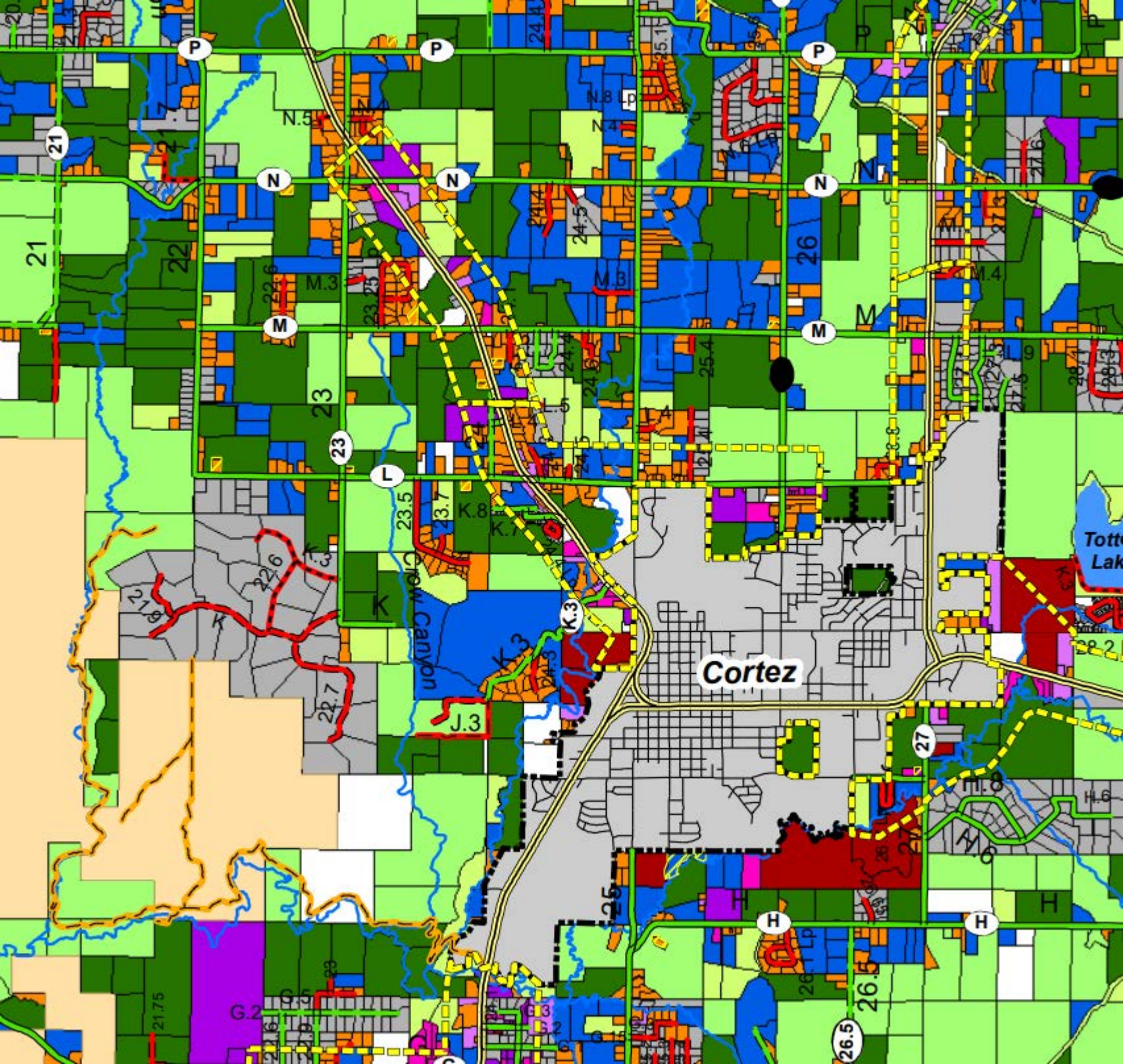
ALL RIGHTS RESERVED BY THE ENGINEER
This is to certify that the above is a true and correct copy of the original as filed in the office of the County Clerk of Montezuma County, Colorado, on the 13th day of June, 1936.
J. L. Williams
County Clerk
Montezuma, Colorado



J. L. Williams Engineering Inc. CORTEZ, COLORADO	
BETTY WILLIAMS	
23-36-16 OLD DRIVE IN	
Date 8-20-77 Revised	Drawn By File No.

ASSOCIATED MAPS

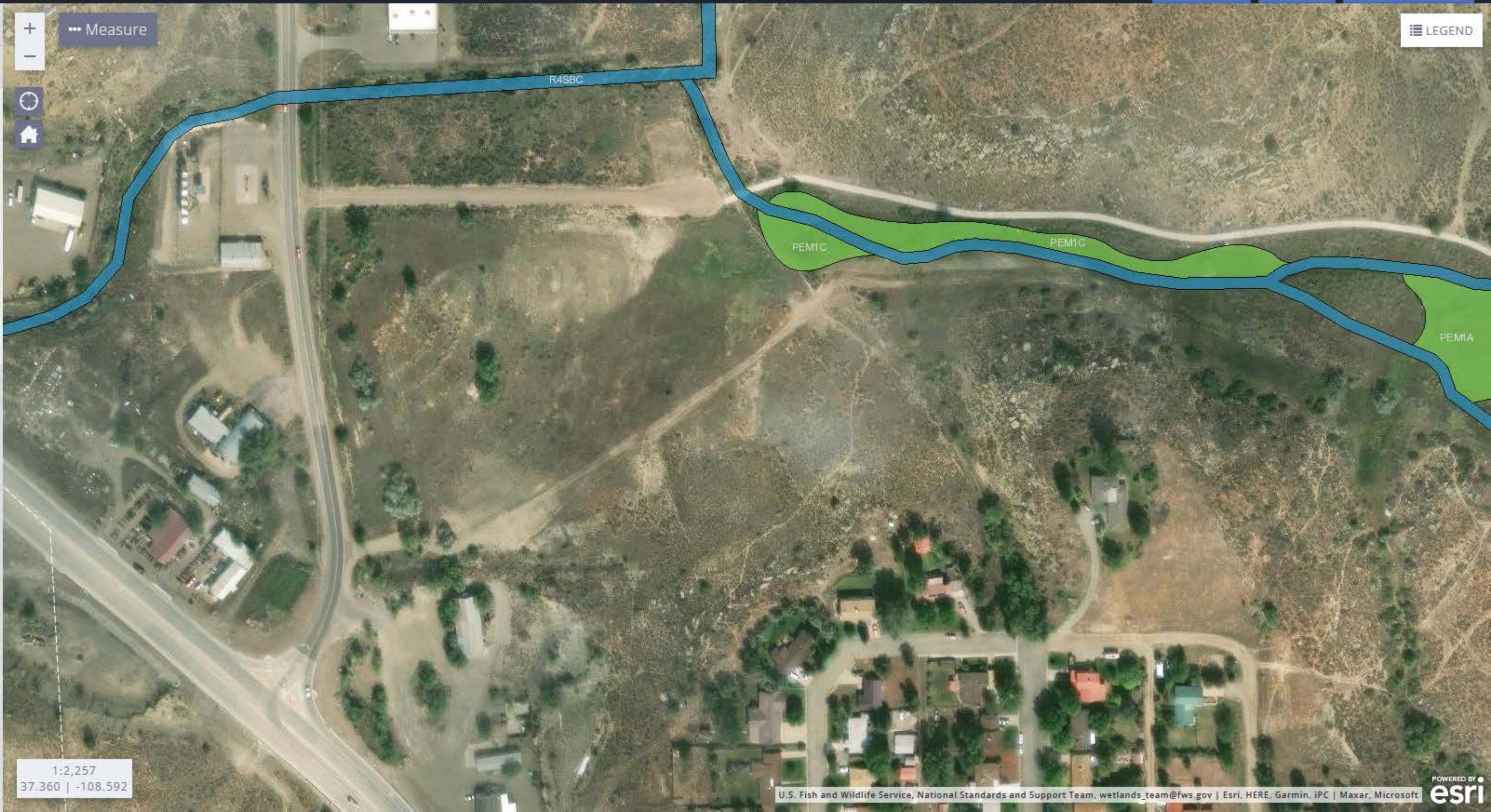




BASEMAPS >

MAP LAYERS >

- ☒ Wetlands 1 2
- ☒ Riparian 1 2
- ☐ Riparian Mapping Areas 1 2
- ☒ Data Source 1 2
 - ☐ Source Type
 - ☐ Image Scale
 - ☐ Image Year
- ☐ Areas of Interest 2
- ☐ FWS Managed Lands 1 2
- ☐ Historic Wetland Data 1 2

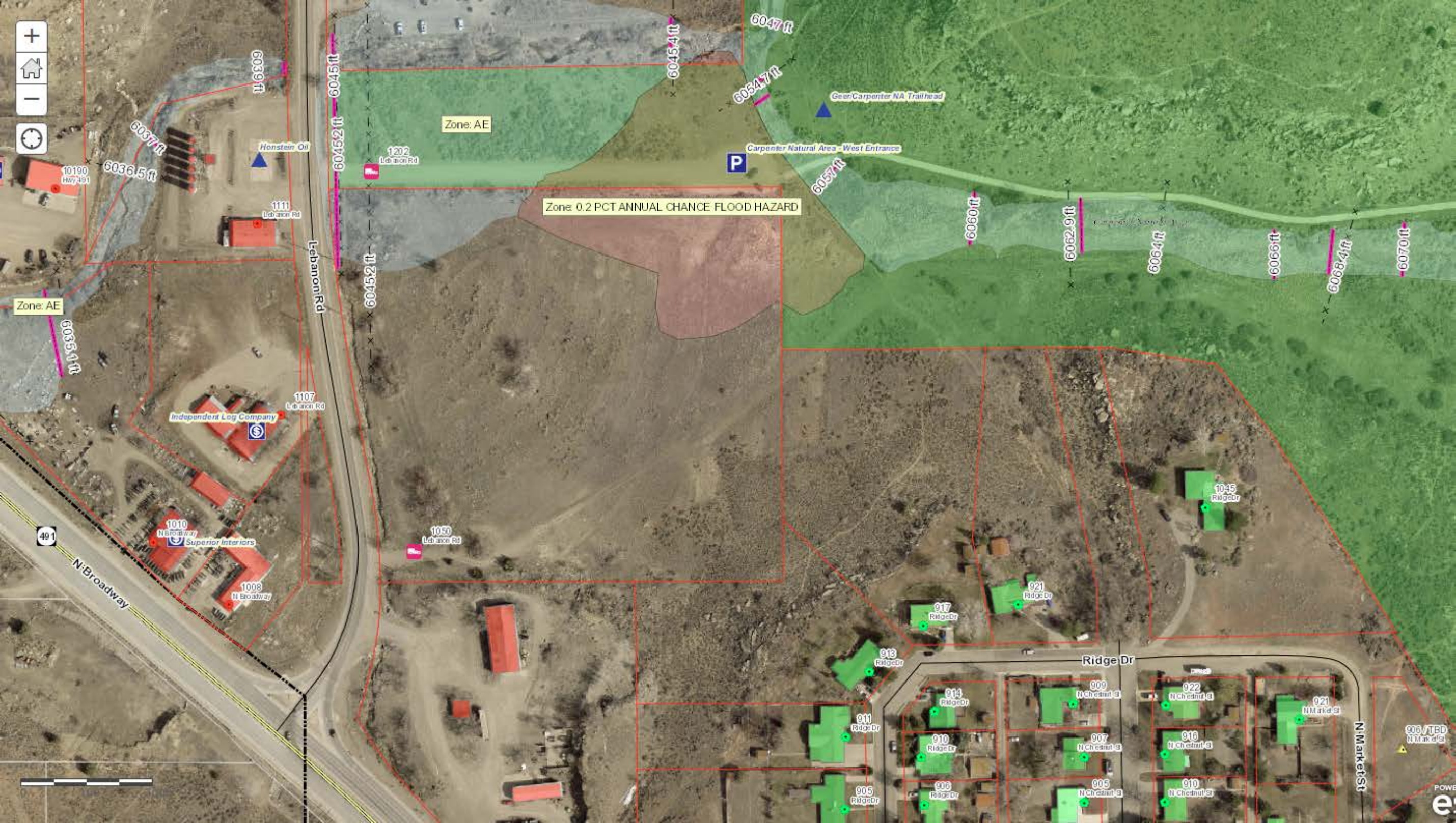


+ Measure

-



LEGEND





City of Cortez Address Change:
MOORE, ANTHONY and LANCASTER, MARY
1107 and 1050 Lebanon Rd, Cortez, CO 81321
PID 561122400034 and 561123300003



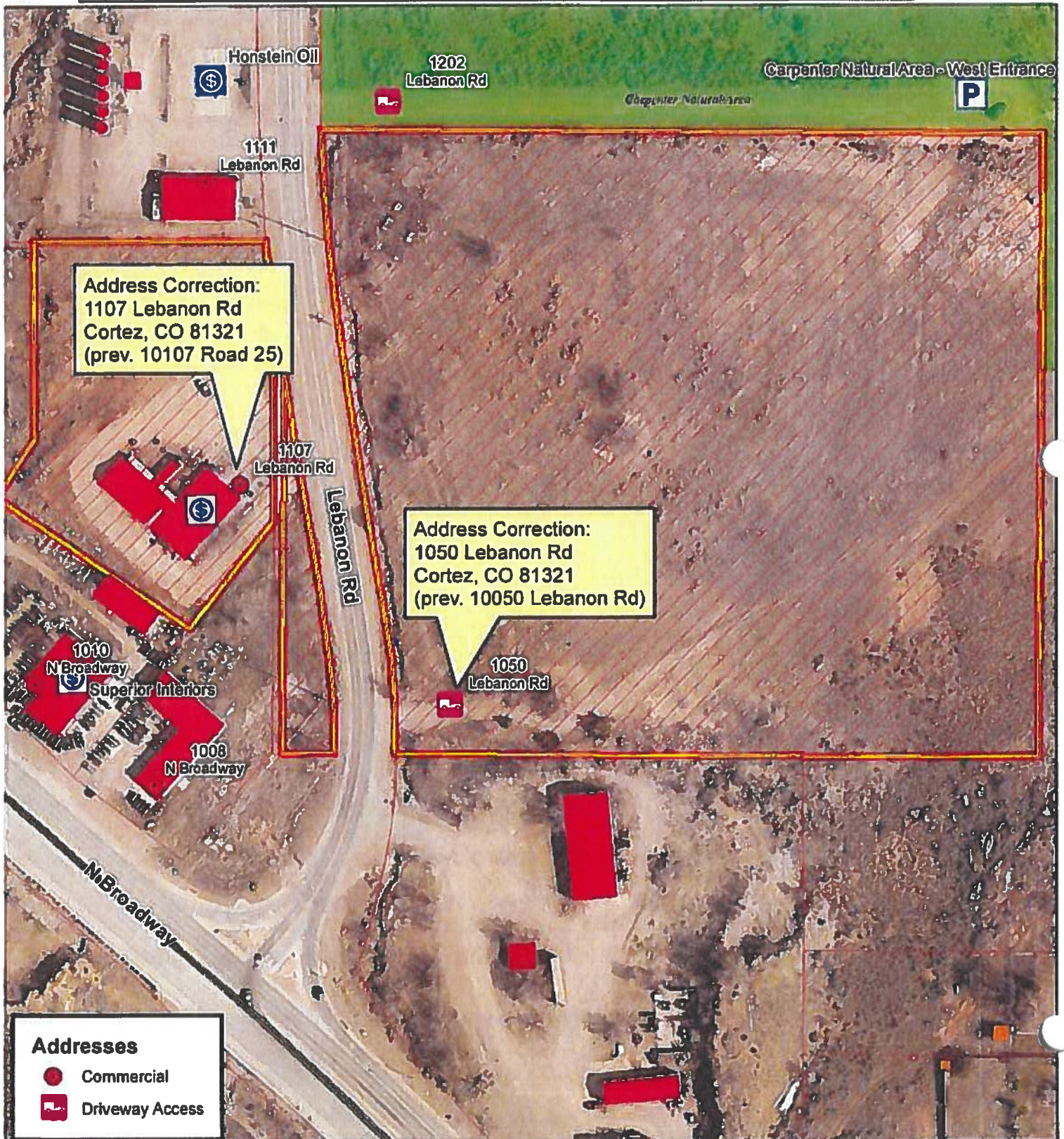
3/31/2027

Subdivision: Tracts in Section: 22 and 23 Township: 36 Range: 16

(Previous address on record were:
10107 Road 25, 10107 Lebanon Rd and 10050 Lebanon Rd)

1 inch = 125 feet

0 25 50 75 100 200 300 400 500 600 700 800 Feet





Honsten Oil



1111
Lebanon Rd

1202
Lebanon Rd



Carpenter
Natural Area
West Entrance

Gear Carpenter
NA Trailhead

Revolution

Lebanon Rd

Independent
Log Company

1107
Lebanon Rd

Superior
Interiors

1010
N Broadway

1008
N Broadway

1050
Lebanon Rd



0 100 200ft

37.36024 -108.59107 Degrees

STAFF PHOTOS

Staff Photo
from
Carpenter
Driveway.
7-28-23



Staff photo
from
Carpenter
Driveway.
7-28-23



Staff photo
from Herbal
Alternatives
Hill
7-28-23



Staff photo
from SE
residential
area.
7-28-23



Staff photo
from
residential
SE area,
7-28-23



Staff Photo
from SE
Residential
Area.
7-28-23



Staff photo
from Target
Rental.
7-28-23



Staff photo
from Target
Rental
7-28-23



Staff
photos
from Target
Rental
7-28-23



LETTERS AND
PHOTOS
FROM
NEIGHBORING
RESIDENTS

Planning and Zoning Commission,

We are unable to attend tonight's Planning and Zoning meeting but wanted to express our support over the zoning change and conditional use permit for the property 1050 Lebanon Road owned and operated by Independent Log Company. The proposed use for the property meets the conditions that are set forth in the land use code for industrial zoning. The property is a compatible use with all the existing zoning of privately owned property surrounding it, including the Industrial Park that is located less than half a mile away from the property. This area of the city was set aside for industrial uses and is a necessary piece to helping our local economy grow and create jobs that are much needed, there is no other part of the city where this property would fit in better.

While we recognize that this property has an adjoining border to the Carpenter/Geer Natural area, so do all of the other industrial zoned properties in the Industrial Park, including properties owned by the City of Cortez which are used as a construction yard and the public works yard. The industrial zoning of this area was set apart before the designation of the adjacent property for being open space and the two areas have coexisted quite well with no adverse effects on either. We also own bordering property to the Carpenter/Geer Natural Area and enjoy observing all of the wildlife in the area and birds that flock to the pond every day and there has been no change to the wildlife patterns since Independent Log Company has purchased their property.

Regarding the comments of noise coming from this property we have not heard of any noise that is excessive or that can be attributed to this property and we are located less than a mile away.

Asking Independent Log Company to bear the burden of buffering from the natural area is not only unjust but also unnecessary. There are no other adjoining properties that have this buffering, including the City of Cortez properties, and there is no place in the land use code that stipulates there must be buffering of the property.

As you make your decision tonight, we remind you that your job as planning and zoning commissioners is to make a decision based off of the facts and if the applicant meets all of the standards that are set forth by the land use code. This decision should not be based off conjecture, emotion or an opinion of the business or business activities but rather the fair and equitable standards that the land use code provides.

We ask that you recommend approval of the change of zoning and conditional use permit to City Council for the property located at 1050 Lebanon Road owned by Independent Log Company as it fits all of the criteria for these uses and is compatible with the surrounding area and would be an asset to our community.

Thank you,

Sheldon and Tiffani Randall

Business and property owners in the City of Cortez



Forest
Service

Region 2
Rio Grande NF

Supervisors Office
1055 9th Street
Del Norte, CO 81132

File Code: 2300

Date: 6/05/2023

Route To: 5100

Subject: Letter of Recommendation, Independent Log Company, Anthony Moore

To: *City of Cortez Council Members*

My name is Charles Michael Simmons but most know me as Skip. I have been employed by the U.S. Forest service for 22 years as a Wildland Firefighter, Hotshot Crew Captain, Engine Captain, Helicopter Manager, Fire Operations Specialist, Division Supervisor, Incident Commander. I have been stationed in Northern California, Southern Oregon, Northern Oregon and Colorado while responding to fires in every western state and most of the rest of the nation as well. I met Anthony Moore, "Tony" on the Pine Gulch fire near Grand Junction, CO in August of 2020. I was the Heavy Equipment Boss and Division Supervisor for Tony and his piece of equipment. I immediately was made aware of the level of expertise and professionalism I was working with by the Colorado Type II Incident Management Team that was currently in charge of the fire. For the next 21 days Tony and myself put dozer line in at night with Hotshot crews and a plethora of other equipment and resources only fulling reenforcing what I had already been told. Tony had his sons with him in his Mechanic support truck that services the Dozer and they also helped anyone else that needed mechanic work on the fire line. A BLM engine was put out of commission due to a faulty water pump head and Tonys sons, with the mechanic truck got it swapped out so we were able to continue suppressing the fire. They did not have to do that nor did they get extra pay for it, they did it because it needed to be done and they had they equipment readily available to help. They were soon put on contract with the fire. Tony was also able to get his "Big Red Water tender" on the fire when we needed it due to its close proximity to the fire. This was invaluable due to the long distance to water sources for the engine. During the 21 days of night shift we successfully protected 100s of homes thanks to the ability to bring water with us as we moved across the landscape burning out around homes at night while having ample water. Tony was recognized by the Type I Incident Commander with a plaque for his excellence and commitment to service during the Pine Gulch Fire.

Tony and his company have every piece of equipment needed to suppress the most intense wildfires. Tony has more experience with fire AND Logging than most companies I have worked with throughout the nation. Usually Logging companies stick to the logging as much as possible as it is more profitable and easier on the equipment. Tony has made a name for himself everywhere I go in Colorado as a firefighter and a logger not just a logger that helps on fires. The ability to have the resources Tony can bring to the fire as close as possible is a very fortunate situation to be in for any community. Tony's equipment is in excellent working condition and because of the support vehicles and people he employees, the equipment is always ready to provide a much-needed public service when called to a fire. I am always hopeful Tony or any of his equipment is on the fires I end up on because I know I will be getting the best available equipment and operators with a high level of expertise to not only suppress the fire but do it safely and efficiently.



CHARLES Digitally signed
SIMMONS by CHARLES
S SIMMONS
Date: 2023.06.05
11:01:41 -06'00'

/s/

Charles "Skip" Simmons
Forest Fire Operations Risk Management Specialist
Rio Grande NF, Del Norte, CO
Division Supervisor, Rocky Mountain Type I
Complex Incident Management Team

Independent Log rezoning issue

Teri Paul <portcullis828@gmail.com>

Mon 7/31/2023 11:08 AM

Dear Cortez Council Members,

My husband and I are against rezoning the Independent Log Company property from commercial to industrial. Our home is adjacent to ILC's 10 acres. Cortez's regulations define the reasons for establishing zones. **Residential Districts** are created: In order to secure for the persons who, reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from **incompatible and disruptive activities** ...

Further, the code describes the purpose for establishing **Industrial Districts**: In order to encourage a diverse employment base, provide for the production of goods and services and **minimize conflict with other land uses** ...

The City Code Rezoning Policy states: **For the purpose of establishing and maintaining sound, stable, and desirable development within the city, the rezoning of land is to be discouraged.**

We have witnessed ILC filling wetlands, burning slash, and bulldozing into the embankment up to our north fence line.

There is already noise from traffic on Lebanon Road and the highway, increased heavy equipment traffic and the manufacturing they plan to do will add to that noise. We need to consider the following:

1. Rezoning from commercial to industrial must be considered permanent, allowing any and all use permitted in an industrial zone, now and in the future.
2. If a change in zoning is permitted there is no point in having a zoning code at all.

Thank you, Carol Taylor Cortez

Cortez City Council,

This letter is in regard to the re-zoning of the property located at 1050 Lebanon Rd., Cortez CO. As residents of Cortez and a family who has enjoyed the peace, tranquility and natural habitat of the Carpenter Natural Reserve, and homeowners of a property that borders both the Natural Reserve and the property in question we urge the City to say "NO!" to the re-zoning.

The City Code *Re-zoning Policy Declaration* states: For the purpose of establishing and maintaining sound, stable, and *desirable* development within the city, the re-zoning of land is to be discouraged.

We purchased our home on Ridge Drive, 16 years ago. The idea of owning a home that had the conveniences of town but the space and feel of the country was a dream come true for our growing family. Properties like this are few and hard to come by. We never expected we would have to worry about an industrial corporation moving in and taking away what draws so many people to the Carpenter. Over the past 16 years we have enjoyed the open views and wandering wildlife. Sadly, however, some of that has disappeared. What use to be an open property and the home of a fox family is now plowed over and covered with the unsightly storage of industrial trucks and equipment. As we look out over our hillside, we are saddened by what has already been taken and has disappeared.

In the past year or two we have taken on the project of a remodel in hopes of updating our home and increasing its value. We were told, however, due to the unsightly views below, it is more likely the value would decrease even with a full remodel. As you can imagine, this was very discouraging to hear. A home is an investment and we thought we were making a great investment 16 years ago when we bought what we thought was a diamond in the rough. (A place with great potential that simply needed to be refined.)

Even though the property has not been re-zoned, the company has acted and continues to act as though the vote has already gone through. The owners have violated City code by acting without permits. Why do we have laws if not to uphold them?

How has or will this negatively affect the homes along the rim?

- * "Incompatible & disruptive activities" (City Zoning Regulations #1)
- * A Decrease in property value.
- * An Increase in dust and noise – we have already experienced both!
- *

How has or will this negatively affect the Carpenter Reserve? ...

- * The Destruction of natural habitats (The Open Districts are established to preserve open space areas...)
- * The Decrease in safety and family friendly environment (The Open Districts are established to preserve spaces with recreational uses)
- *

We have noticed the effort Cortez has made, over the past few years, to improve its appeal. Shouldn't protecting the Carpenter Reserve be a big part of that?

The City Code Zoning District Regulations, Chapter 3, 3.02 states that "Residential Districts are created: In order to secure for the persons who, reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities..."

Our neighborhood has been a model of these regulations for years. – comfortable, healthy, safe and a pleasant environment; sheltered from incompatible and disruptive activities. *Until Now!*

When it's time to vote and you are weighing your "yah's" or "nah's", please remember the voice of the people of Cortez whom you represent.

The code also states the need to "...minimize conflict with other land uses..."

It is obvious to many of us who live here, and hopefully to those of you who will be voting, that this re-zoning and the possible industrial use of this particular property creates a HUGE level of conflict for many reasons.

AGAIN: We strongly urge the City Council to say, "NO", to the re-zoning of the property and, "NO", to the Conditional use permit. Choose instead to protect and preserve!

We should NOT be changing the zoning to benefit one business, when it doesn't benefit the nearby residential area or the Natural Reserve.

Sincerely,

Residents of 917 Ridge Drive Cortez, CO.

Hello to all of you in Cortez government:

Issuing an industrial permit for the logging operation at the west entrance to Carpenter goes against everything the City has previously done for its park system and citizens. I strongly oppose issuing an industrial permit to the logging operation at the west entrance of Carpenter.

I am the volunteer coordinator for the Carpenter Natural Area. I have spent hundreds of hours developing a brochure about all the plants at Carpenter; I have erected nearly 100 signs telling people about the plants; I have rebuilt Carpenter trails; I have led summer young people working at Carpenter; and I have talked with scores of people along the Carpenter paths. The Carpenter Natural Area is used by school classed, older couples, runners, birders, strollers, visitors, hospital employees, etc., etc. It is an amazing part of the Cortez park system, speaks very highly for the City of Cortez, and it should be fostered and protected.

Please continue to advance the beauty of our area and vote against changing the zoning to industrial. Actually the company deserves a significant fine and perhaps to be found guilty of violating a court order to stop working on the area. I do not know for sure the details of any city or court orders but I do know the company graded an area, filled it with boulders and dirt, and brought in a large number of trucks and logs as if they had the permit to do so. Any comments from the company that they did not know about the permits or just happened to forget about the permits are pure fabrication. Everyone knows about the need for permits.

The operation significantly deteriorates the views from and quiet of Carpenter. Exhaust from the diesel trucks will blow over the Carpenter area and it and the noise will also bother the neighbors above the logging operation.

Traffic on the approach to the western side of Carpenter will be increased and that traffic will be heavy machinery making the roads more dangerous.

The logging operation will significantly reduce the property value of the homes above the logging area. The owners bought those homes knowing about the commercial classification of the area. If the city allows that classification to change to industrial, that will indicate that no one should believe the city classifications.

The wetlands that run through Carpenter have been halted at the boundary of the logging property so I cannot walk the property to see for sure, but I think you need to see whether they have impacted the wetlands.

Wildlife abounds in the Carpenter area and I have seen fox, raccoons, deer, many birds, etc. on the logging area that is now devastated flattened bare ground not visited by any wildlife.

The argument that turning down the industrial permit request tells businesses they are not welcome in Cortez is specious. There are plenty of

places for the logging company to proceed with its operation without impacting a natural area and homes.

Cortez exists for its citizens and you should be doing everything you can to make Cortez a wonderful place to live. You have an amazing park system, a great recreation center, a new high school, etc. Don't send the message that Cortez will allow heavy industrial development right next to its parks and homes.

Al Schneider

Volunteer at Carpenter Natural Area

Comments to P and Z and City Council regarding the proposed rezoning of 1050 Lebanon Road.

Teri Paul <portcullis828@gmail.com>

Tue 7/18/2023 2:33 PM

Comments to P and Z and City Council regarding the proposed rezoning of 1050 Lebanon Road.

July 18, 2023

I am a resident of the neighborhood above the property at 1050 Lebanon Road. I represent the Neighbors and Friends of Carpenter. Since the NFC was formed specifically around this issue in early June more people have learned about this proposed zoning change and the outcry has been great and constant. Letters have been sent to city officials and letters and articles have appeared in local newspapers and the issue has been discussed on the radio.

The City's Rezoning Policy Declaration states that rezoning of land is to be discouraged and can only be considered if one or more standards outlined in City Code 6.02 are held to apply to the request.

In the Staff Memo from Planner Nancy Dosdall to the P and Z Commission June 6, 2023* she addressed each of the standards - or justifications - for rezoning. However, NFC disagrees with her reasons.

Criteria A. Was the existing zone for the property adopted in error?

Planning has stated: It does not appear that this property was zoned in error, the area is a mix of industrial and heavy commercial uses. The property is directly adjacent to Industrial, Commercial, Open, and Residential zones.

We agree that the property was not zoned in error and should remain Commercial. Although many would like to see it rezoned to OPEN SPACE and added to the Carpenter Natural Area, thus creating a true buffer for the single-family residential neighborhood and protecting Carpenter from the industrial clutter that is now seen at the main entrance for the Natural Area.

Criteria B. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?

Planning stated: The most recent new uses in the area are Herbal Alternative and Target Rental. The Herbal Alternative is located on C-zoned property while Target Rental is located on I-zoned property.

We believe that the area *has* changed. It has become *more* important to the city and the neighborhood as a well-used and valued part of the city parks system with a unique natural area that includes rare and endangered plants. It also includes one of the more established residential areas of Cortez that has enjoyed the buffer to the industrial park that this property has provided for more than 28 years. We suggest that the change in character is one which is better served in keeping the zoning at commercial, but an even better solution and one that is desirable to the community would be rezoning it to O(Open space) and adding it to the Carpenter. We encourage the city to explore the idea of a land swap, locating ILC in a location that is more compatible with its surroundings. Further, Planning neglected to add that another commercial business operates directly across the creek to the north of the entrance to Carpenter, the Body by Design Gym.

Criteria C. Is there a need for the proposed rezoning within the area or community?

Planning: The rezoning is being requested to allow for heavy manufacturing use in an area of the city where these types of uses are somewhat common. There are many vacant C-zoned properties in the City, while only a few vacant I-zoned properties exist.

We suggest that the city look into these few vacant I-Zone properties and assist with a land swap.

Criteria D. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?

Planning: The area is a mix of land uses, including single-family homes and City-owned/operated open space on the northern and eastern boundaries. Further north, west, and south are heavy commercial uses, most of which include an outdoor storage component. The City Parks and Recreation Department, several users of the open space/trailhead, and nearby residents have expressed concern with the use, although no written letters of opposition were received at the time of preparation of this report (This was as of June 6).

Neighbors and Friends of Carpenter (NFC) believe that the proposed uses are incompatible with the surrounding area and indeed some activities have already caused – in violation without the benefit of permits – the infill and destruction of the wetland which did *not* use to stop at the fence line with the Carpenter Natural Area. Planning has not adequately addressed the problems of noise, lights, time of operation, accumulation of sawdust piles, smoke, exhaust,

- dust, fire, accumulation of debris and discarded equipment, increased traffic of heavy equipment, impact on wildlife, sustainability, and serenity of the natural area, etc.

We believe the proposed uses are incompatible with our homes, and the proposed uses are incompatible with maintaining the sustainability, serenity, character, beauty, and safety of wildlife, of the Carpenter Natural Area.

Criteria E. Will there be benefits derived by the community or area by granting the proposed rezoning?

Planning argued in the memo of June 6 that the use is necessary in this area where wildfire is a constant and concerning threat. The business provides both firefighting and fire mitigation services, and also makes use of all of the by-products, adding value to what can be a difficult waste product to dispose of.

We do not disagree that this business does important and valuable work in firefighting and that they have the right to scavenge waste products removed after a fire to manufacture the products they have described. We DO argue that this is NOT THE PLACE for that business. In terms of jobs provided, a recent meeting with one of the owners informed us that this business is a family business that primarily employs family members. We do not know how many additional non-family member jobs this business plans as a result of rezoning this property.

Rezoning is for the benefit of one company whose operational needs are better set in a location where they do not impact the community. The argument for jobs is just as valid 5-10 miles out of town as it is in the city limits.

The primary benefit is to the landowners who have an interest in having all of their operations in close proximity.

The next pertinent criterion is H.

Criteria H. Does the proposed change constitute "spot zoning?"

- *Planning stated that the property is adjacent to other industrial zoned property so it should not be considered "spot zoning."*

This is not strictly the case. When you look at the city zoning map you will see that Commercial Highway is shown in red on either side of Lebanon Road. Though the city has allowed light to heavy industrial activities on some of this property, Ms Dosdall informed us that these activities were grandfathered in before the zoning and permitting rules changed. Indeed Ms. Dosdall explained at a meeting on July 12 that she made her determination about rezoning by looking at the properties as she drove by, presumably rather than by consideration of the actual zoning that exists. Further, consideration of the neighborhood above was dismissed as being geographically separated by virtue of being on a hill above the log operation property. Noise travels up and out, and smoke and dust travel as the wind blows it.

As such, the property is actually surrounded by Commercial Highway zoned property on the south and west, by Open Space on the north and east, and by R-1 residential on the south and east. The industrial park is to the north and on Blueberry Hill, but it is not adjacent directly to this property.

We believe rezoning from Commercial to Industrial DOES constitute SPOT ZONING and question why there is a push to rezone for this one business. In looking at the city zoning map there are other highway commercial zones in the vicinity, including Body by Design Gym that was inexplicably left out of the Planner's description. We do not see the industrial use on commercial-zoned property on the west side of Lebanon Road as a valid justification for placing an industrial zone next to a residential area and a natural area. Lebanon Road makes a logical boundary.

In conclusion, we have no quarrel with the type of business that ILC wishes to do. We do not believe it is compatible or desirable next to homes or natural areas. Additionally, we are concerned about commercial zoning that, with a conditional use permit, can do nearly the same activities as are allowed on an industrial-zoned property.

The owners purchased this land knowing it was commercial. They should use it as commercial property only.

Thank you,

Teri Paul, Cortez

From: Teri Paul <sundog2014@yahoo.com>

Sent: Friday, July 14, 2023 2:26 PM

Subject: 1050 Lebanon zoning issue and photos.

7/14/2023

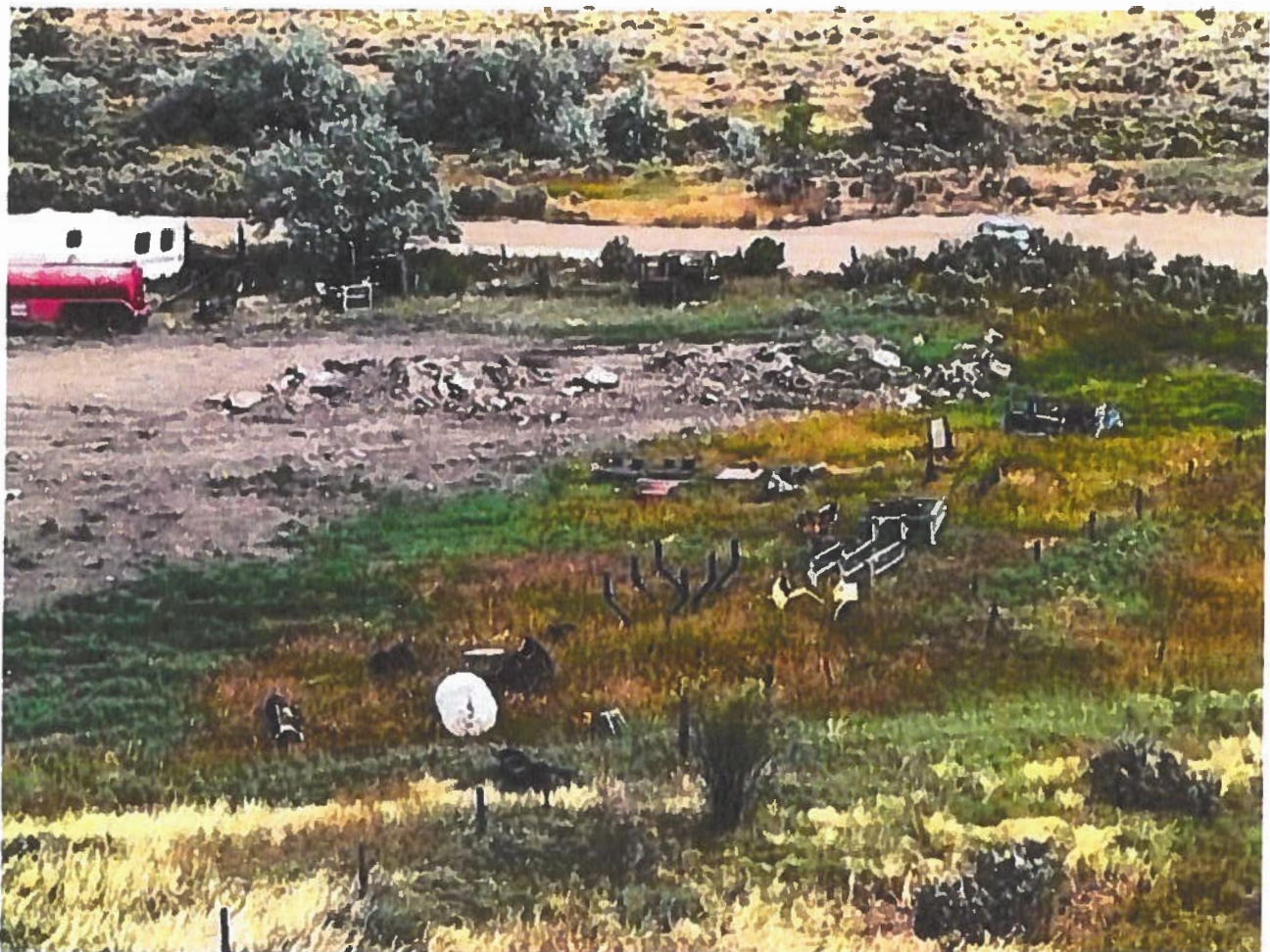
Dear Nancy, Rachel, and Kevin,

Thank you for inviting us to meet with you on the 12th. I believe that we all left with a deeper understanding of the issue and each other's concerns. You asked that I send photos from the residences toward the ILC site, and I have gathered photos taken by several neighbors who are first-line affected by rezoning and industrial use. Additionally, I mentioned that one of the neighbors had taken photos that showed a growing collection of salvage and broken-down equipment and she declared "It is starting to look like a salvage yard down there." Again, thank you for taking the time to hear our point of view.

Regards, Teri Paul
Neighbors and Friends of Carpenter



Looking west and downslope from 1045 Ridge Dr.



View along the east ILC property fence line. Note the rusted tank and various other seemingly abandoned objects. Not also the obvious continuation of the wetland past the fence line and it's abrupt stop at the fill.



Push pile of dirt cut out from the hill on the SE corner. Note the green stake and manhole cover at the edge of this pile. It appears this dirt is right on top of the sewer line that cuts across this corner. No engineering and geological study was done on the impact of grading into this steep hillside. Looking down slope from 913 Ridge Dr.



Old trailer in "salvage yard" right next to property boundary fence along Carpenter entrance lane.



View looking east from Lebanon Rd.



Another view land looking NE from 1045 Ridge Drive.

More photos to come.

Thx Teri.

Sent from my iPhone



More stuff in the weeds next to Carpenter access.



View looking NW from backyard of 913 Ridge.



Notice how green in is on both sides of the East boundary fence as the wetland does continue up to where it disappears under the fill.



Dirt from the excavation of the hill on SE corner up to boundary fence of 913 Ridge. A clear view of site from the backyards.



View looking north from backyard of 905 Ridge.

Sent from my iPhone











Sent from my iPhone

From: Teri Paul <sundog2014@yahoo.com>

Sent: Friday, July 14, 2023 5:14 PM

Subject: Re: Drums photos

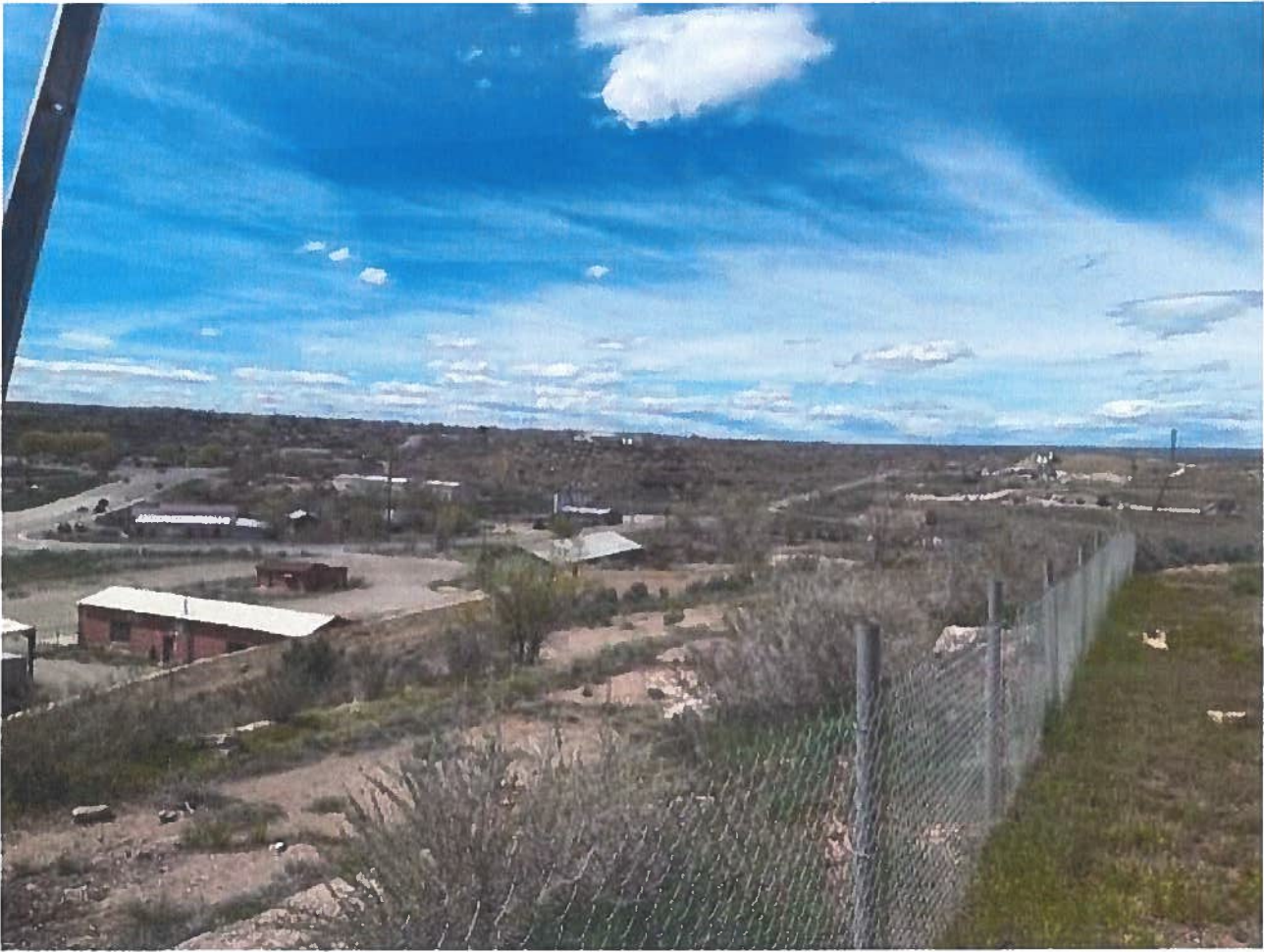
Nancy et al,

It appears the narrative for the drum photos did not go through on the last email.

These are photos of the metal 55-gal drums that DID exist on the property on April 12-14 when 3 volunteers saw them and took these photos. Nancy, you said there were no drums that the city found. I suppose that means these were removed before the fire department came. Were they replaced with water drums elsewhere on the property to suggest the observations were mistaken? You cannot run heavy equipment like that without hydraulic oil (as indicated on the label on the drum in the photo) and other petroleum products. Whether the owners consider these toxic is another question.

Teri

On Friday, July 14, 2023 at 03:07:05 PM MDT, Teri Paul <sundog2014@yahoo.com> wrote:



View from Ridge Dr. address

Zoning change to property adjacent to Carpenter Trail - please vote against industrial use

Laura DeWitt <lcvanderwaag@gmail.com>

Tue 7/18/2023 11:25 AM

Dear Zoning Board and City Council Members,

I live close to the property in question, and my family and I are frequent runners and hikers on the Carpenter Trail.

I know that you have received many correspondence regarding this matter, pointing out the value of open spaces, diverse wildlife and protection of wetlands. Many others have also pointed out that industrial use would change the ambiance of the Carpenter Trail area with heavy truck traffic, noise pollution, and unsightly machinery. I agree, it seems to me that zoning regulations are put in place precisely to avoid this juxtaposition.

Industrial use is not consistent with residential zoning. Changing zoning on the property in question for the convenience of one business would seem to me to be the definition of spot zoning, and would benefit one entity at the expense of the neighbors and all those who frequent the Carpenter Trail. I urge you to vote against rezoning this property Industrial.

Thank you for your diligence and patience in listening to all viewpoints.

Respectfully,

Laura DeWitt

235 N. Chestnut St.
Unit 1
Cortez, CO 81321

Cortez Planning and Zoning Commission
Cortez City Hall
123 Roger Smith Ave.
Cortez, CO 81321

RE: Zoning at 10206 Hwy 491 Cortez
Objection to rezoning to Industrial

Dear Commission Members,

I oppose the rezoning of this
property from Commercial to Industrial.

My main concern is the valuation
of the single-family homes
adjacent to the property.

Thank you for the opportunity
to comment.

Patricia R Lacey
Patricia R. Lacey

July 14, 2023

To: City of Cortez Planning and Zoning Commission, Rachel Marchbanks and Nancy Dosdall
I respectfully request that Ms. Marchbanks or Dosdall please provide this communication to the Committee Members. I am submitting this via e-mail, as well as print copies to the City Hall Desk.

From: Christine Hill, 922 North Chestnut, Cortez, CO, chrishill1018@gmail.com, 970-529-0309

RE: Application for rezoning of a 10-acre parcel located at 1050 Lebanon Road, bordering residential homes and neighborhood as well as Carpenter Natural Area

I am concerned about the neighboring private property, which has recently been used for storage of heavy equipment related to logging. This spring the Carpenter Area drainages were brimming over, and the logging company's property became very muddy. Presumably, in order to create higher ground, the property owner used heavy equipment to excavate a large section of hillside (on their property) and proceeded to dump and spread the dirt and rock along the eastern border of their property and Carpenter Area. My understanding is that this action was inappropriate for a property currently zoned commercial. I believe that the owners have received a temporary permit for industrial use.

I have previous business experience managing private property which bordered public land. I was held to a high standard by public governing agencies. For example, when filling areas bordering public land, I was required to submit a plan, utilize a certain type of soil and rock, AND grade the area for appropriate drainage re-direction. Did this happen? And, if not, has there been any action by the city requiring mitigation? What will happen in future years when we have heavy winter run-off or heavy summer rains? Will the trail area access flood, or perhaps the parking area? If mitigation is not required now, then will the burden of cost fall to the city if drainage issues result on city land due to the property owner's actions?

My husband and I chose to relocate to Cortez 10 years ago, primarily because of the beautiful city parks. We live at the end of North Chestnut and chose this home because the view plain is the spectacular Carpenter Natural Area. I walk this area daily, meeting up with friends who drive to the ONLY ENTRY with designated parking and a restroom.

I hope that the Commission and the City of Cortez will consider this with a long and broad view. Since the property borders a highly prized recreation and natural area, I believe the decision favors commercial zoning and NOT industrial. I do thank you very much for hearing my concerns.

Dear Planning and Zoning Commission Member,

As a resident of Montezuma County I have been walking in Carpenter Natural Area since 2009. It has been my go-to place to get quick exercise and a mental reprieve from the demands of everyday life. In addition, I have greeted and visited with so many other community members doing the same thing. Finally, I have greatly enjoyed the natural elements of this place: the sight and sound of running water, the great diversity of native wildflowers, the dragonflies, birds, snakes, and other wildlife. Not to mention the color green.

When I heard that the area adjacent to Carpenter on the west side was being considered for rezoning, from commercial to industrial, I was quite concerned.

Carpenter Natural Area is a unique resource in the Four Corners Region. To my knowledge it is the only area of its size with such a tremendous variety of life in close proximity to a town. Durango, Monticello, Shiprock, Farmington, to name a few, do not have comparable places. Over 170 species of plants and multiple species of wildlife grace Carpenter's slopes, mesa top, pond and wetlands. That's a lot!

Wetlands are some of the most ecologically sensitive environments. For example, amphibians, such as the frogs whose songs delight many that visit Carpenter, have very permeable skins and absorb toxins from the environment easily. Frog numbers have drastically declined worldwide, in many places due to increasing human-caused environmental toxins.

Furthermore, wetlands buffer communities from floods (but don't necessarily eliminate danger).

Finally, the color green has been shown to lower heart rate in people. It indicates water, possible food and shelter, and presumably therefore makes us feel more at ease--it is part of an equation of good mental and physical health.

Any potential impact--noise, exhaust fumes, smoke from wildland firefighting practice fire control sessions, chemical/fuel spills with fumes-- near the boundaries of this special place--ought to be seriously considered. Unlike liquids, noise and airborne contaminants can travel uphill which is the direction from the parcel to Carpenter. Other existing industrial sites are a bit further away, and are less likely to have an impact on the Carpenter ecosystem, along with the people who use it.

As a community that values its places to recreate and refresh, as enshrined in the city code and statements from officials, as well as places to support ecological health and diversity (that supports us in other ways, with clean watersheds, clean air, etc), we should be vigilant about attempts to diminish our opportunities for these needs as well as the integrity of our natural areas.

I oppose the rezoning of the parcel at 1050 Lebanon Road to industrial.

Thank you,

April Baisan

We are strongly against the proposed rezoning of the 10-acre parcel from Commercial to Industrial use by the Independent Log Company (ILC) on the property at 1050 Lebanon Road in Cortez. While we recognize the need for local business development, this is absolutely the wrong site for a lumber mill. The proposed mill is incompatible with the current use of the area for many reasons. A primary concern is the lack of a buffer between the Carpenter Area and the proposed industrial site. A sensitive floodplain environment extends from the adjacent Carpenter Nature Area through the ILC property. ILC's earth-moving activities and heavy equipment storage have already altered/impeded the flow of the watercourse, potentially leaked toxins into the groundwater, disturbed wildlife, and degraded the experience of people utilizing the nature area.

In addition, the ongoing and proposed construction activities adversely affect residents who live directly southeast of the ILC property. Impacts include grading the canyon hillside and excessive noise from mechanical activities that are already of an "industrial" nature. The proposed mill would only increase these negative impacts, particularly noise and pollution levels. At the June 6th Planning and Zoning meeting it appeared that the Planning Department was already on board with ILC's proposal despite a history of non-compliance at the site (no consultation with the Army Corps of Engineers concerning the wetlands, no City-issued construction permits, no engineering survey, and an inadequate site map) and vocal community opposition. One citizen noted that while photographs of the property relative to the surrounding land were provided by the Planning Department, none depicted the view of the construction site from the residential properties that abut the parcel.

Also, traffic congestion and hazards along Lebanon Road and the intersection with Highway 491, a dangerous intersection and the

location of two traffic fatalities within the last year, will only increase over time.

ILC proceeded without construction permits, operated with impunity, and has been a bad neighbor who does not follow the rules. If this property is rezoned to Industrial use, it sets a troubling precedent for additional rezoning along the residential interface of our community. What is the purpose of planning codes if a non-compliant entity can break the rules and then change them to benefit that landowner at the expense of the public good? Therefore, to maintain the public trust in established zoning protocols, we urge the Cortez Planning and Zoning commission and City Council to vote against the proposed rezoning.

Sincerely,

Paul Stirniman and Deb Silverman
Cortez

Rezoning by Carpenter Natural Area

Carpenter81321 <Carpenter81321@protonmail.com>

Wed 7/5/2023 5:20 PM

July 5, 2023

To the Editor:

We bought our Ridge Drive home 28 years ago. We never expected to have to deal with the possibility that we would share a fence line with an industrial operation, that of Independent Log Company. The 10-acre parcel was once the location of the old drive-in theater.

We have enjoyed living next to the Carpenter Natural Area which also borders residential property. Years ago, after the Natural Area was established, I approached the manager of the Cortez Parks and Recreation Department and suggested that the city should buy the property in order to expand the Carpenter open space and add a picnic area for the west end entrance near the trails. I know that parcel well because I can see it from my kitchen window and back yard. It would have been a wonderful addition to the natural area. At that time, I was informed that there was no money for the city to purchase the land.

Now there are other issues of direct concern to our home and neighborhood. The possible rezoning from commercial to industrial is the major issue. But, even without this rezoning, Independent Log has acted as if it is already zoned industrial and has imposed upon the neighborhood a lot of noise from heavy equipment, several days of smoke from burning a huge slash pile of brush and trees bulldozed from the 10-acre property and digging into the hillside up to our north boundary fence line. It is my understanding that all of this was done without a permit.

The City Code Zoning District Regulations, Chapter 3, 3.02 states that Residential Districts are created: In order to secure for the persons who, reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from **incompatible and disruptive activities ...**

Further, the code describes the purpose for establishing Industrial Districts: In order to encourage a diverse employment base, provide for the production of goods and services and **minimize conflict with other land uses ...**

The City Code Rezoning Policy Declaration states: **For the purpose of establishing and maintaining sound, stable, and desirable development within the city, the rezoning of land is to be discouraged.**

I do not believe that the application to rezone the property at 1050 Lebanon Road meets these tests, nor should special permits be granted to do industrial business in a commercial zone. I urge the City Council to reject the application to rezone the property to industrial and reject the Planning and Zoning approval of a Special Use Permit for industrial activities in a commercial zone. The owner of the property knew that the land was zoned commercial when he bought it. Now he wants the city to change the zoning to suit one business. I am also concerned that the Planning and Zoning Commission has approved, for the City Council's consideration, a permit for someone after they have violated city code.

Carol Taylor

To the Editor,

The poor track record of Independent Log Company to comply with any permitting or in its workings with the city or the community or the environment, makes me wonder why the planning commission believes their business practices will improve by granting the rezoning from commercial to industrial!

It appears that the interest of the Planning and Zoning Commission and particularly of the planning staff may be based on the financial bottom line of increased revenues to the city.

As a former councilman once stated, "How many times do you want to dress up your pig?"

There is a great deal of waste near the old M&M truck stop. Perhaps that is a better fit than next to people's homes and a natural area. A natural area, by the way, that many of us fought for and would like to see enhanced rather than degraded by a heavy industrial zone at the entrance. Why is the location so attractive to them??

Fred Blackburn
Cortez

cc: Cortez City Council, Planning and Zoning Commission

From: Roxanne Rogers

Date: August 7, 2023 at 15:29:58 MDT

To: Rachel Medina

We're writing about the zoning issue by Carpenter Natural Area.

Basically, we're opposed to rezoning that area and/or allowing an exception. Cortez has beautiful park areas, Carpenter is a gem. Having a logging, fire training center or other industrial use immediately adjacent to Carpenter spoils the pristine area.

I hope you will deny the permit and rezoning so that the area can continue to be a peaceful refuge.

Sincerely,

Roxanne & Jim Rogers

525 N Harrison St

Cortez CO

From: Fred Blackburn
Sent: Thursday, August 3, 2023 5:22 PM
To: Rachel Medina
Subject: Logging Camp

Rather than sending a note to each of the Council Members I will not be able to address the council in person on August 8, 2023.

I wish to state my families history with Carpenter Natural Area and Explain why this is a bad decision on the part of the council.

BACKGROUND

The idea was formulated by our older daughter while in high school. Later the idea grew where my wife Victoria and I worked hard with Katherine Carpenter and the City to ensure that the Park was placed in perpetuity as a natural area. At that time we also approached the Fiesta Theatre owners as

a possibility of including the property now in question. Their response was that they were thinking of building another theatre, either drive in or permanent at that location and were not interested. This type of development I believe is commercial.

I would like to share with you and the council some of the trials, as a family, we went through while attempting to complete the parks arrival into the Cortez community. At the time we were attempting to implement the transaction between Carpenter Park with the city we fought the following resistance. The ground in Carpenter Park was being used as a dumping ground. I had a neighbor, even after it became a park who continued to plow out the Water Bars I made to contain erosion at the northern end of Wedgewood.

Parties of youth were held nearly every weekend on the hill across the valley and to the North top hill side. After the Park was implemented these individuals continued to cut the fence and return to the party spot for beer and burning tires. This continued until one night when they shot out the insulators to the power line and shut down the electrical needs of Southwest Memorial Hospital. A substantial reward was offered, no one was ever caught, but the community becoming alarmed and pissed off was enough to halt the parties and the gun fire.

Katherine Carpenter toured the property with us after we contacted her about the possibility of making the canyon a permanent natural area for the city. We worked hard, nearly losing it because of a lax city response, but thanks to Chris Burkett it was resurrected and successfully transferred. This transaction caused Katherine to lose financial gain, in fact she paid money to make it happen over several offers she was currently evaluating for potential sale and development. Katherines family originally donated the land in the center of Cortez's Park System. They helped build the places of respite, athletics within the center of our towns infrastructure. Katherine continued that noble tradition by implementing Carpenter Natural Area.

The key to this becoming a Natural Area was born from a family of Lazuli Buntings, a rare and beautiful bird for this area who nested in the Canyon Bottom. Children new this area as Beauty Valley and is a pleasant memory for numerous and future children of the Cortez Community. Katherines father was a birder and had a special place in his heart for Beauty Valley. Just prior to her arrival and tour of the proposed property the birds were killed by bb guns. This sealed the deal for a need of more protection.

The agreement was signed, the deal was done, the parties ended and the fence around the property remained intact. However it did not end the battle. We experienced the wrath of those folks whom we essentially removed from Carpenter Park from their habituated abuses. We experienced shot up and dead rabbits, foxes and other annihilated mammal species thrown into our yard for over a year before that finally halted. Local policeman ticketed our cars regularly for minor parking infractions on our property. This was not the entire police department only an individual who lived nearby and disagreed with our concept of Carpenter Natural Area. One has to wonder now if this had not been in place where would the community have had a mental escape during the Covid Epidemic.

RATIONALE

A Community created and continue to sustain Carpenter Natural Area as well as the other 600 plus acres of parks in Cortez. What a unique open space situation for the future growth of Cortez and Montezuma County as a respite from the craziness surrounding us, as well as the many visitors, neighbors and friends we have encountered on our walks through the park. A shared calm and interests.

I would state that I am certainly not against free enterprise or the ability of a person to make a living. In this case, where a company attempts to bully their way through the planning commission and now the council in a rezoning effort that is both detrimental and destructive to Open Space,

Water and Noise pollution is absolutely unacceptable in a community that is surrounded by abandoned and decrepit buildings on all entry points to this community. These are recognized, identified and regulated by industrial zoning. Why was this particular area chosen?

This entire scenario is a function of where we are training our nation that Freedom is Being Able to do What you Want. Without consideration for the common good and economics of a community is sad. Where are the Katherine Carpenters, most likely turning over in their grave. A dilemma, probably a first, for a young council. Younger people, just like those concerned with preserving the ideal of Carpenter Natural Area making the decisions for the welfare of a community. New minds experiencing, perhaps for the first time, a conflict that will either cause a decision to cave in to pressure, or rethink their role within their community beyond bias and towards vision of what can be.

I support the desire of these individuals to complete their vision for business. I do not support how they chose to implement their business through avoidance of the governance at hand in prior written municipal procedure. I do not support a planning and zoning commission who subsidizes the business by their decisions to capitulate.

I believe it is time for planning and zoning and the council to put on their big boy and girl panties and honor the citizens of Cortez, and the regulations that define sensible growth. We do not need to begin a route that dresses up and places lipstick on this pig.

Help the lumber company find a new location. Help them hopefully prosper and add to the economics of the city and county but DO NOT LET THEM RUN ROUGHSHOD not run rough shod over well thought out planning and zoning.

Thank you for listening.

FW:

I learned about Independent Log Company activity from neighbors who were concerned

about what they were witnessing from their property. I drove to the site and discovered the hill immediately below my property had been excavated.

I attended the Planning and Zoning Commission meeting June 6 and voiced my concern about the industry

and what impact it would have on my property value and asked if an engineered survey was done.

I'm assuming one was done. After learning more about what the business entails I am even more

concerned. If the zoning is changed or amended in any way it would be very detrimental for the

residents on Ridge Drive and Carpenter Natural Area. It would never be the same.

I'm asking the Cortez City Council to not allow this industry to proceed and to protect the whole area.

I'm not against ILC. I just don't believe we should have a logging industry in our back yards.

Maidee Leonard

Ridge Drive Resident

August 15, 2023

Rachel Medina

CORTEZ CITY MAYOR

I am writing to convey my concerns about the proposal by Independent Logging Company (ILC) to rezone the property located at 1050 Lebanon Road from commercial to industrial. The Cortez Planning and Zoning Committee reviewed the proposal on July 18, 2023 and came to an impasse in the review. It is scheduled for a city council meeting on August 22, 2023.

The guiding resolution, #7 Series 2023 created by the Planning & Zoning Committee listed the result of a review of the proposal, however, it was incomplete as it did not consider any impacts to the adjacent Carpenter Natural Area or the wetlands which abut the east side of the property. Also, the resolution did not adequately assess the impacts to the adjacent residential properties other than mentioning that they are “buffered by topography,” which is not entirely true. The applicants are rapidly destroying any topographical buffering by aggressive hillside excavation between neighboring property owners, decreasing their property values. Additionally, in the recent past, a sizable and expensive wetland restoration project occurred east of the property, within Carpenter Natural Area, enhancing the nature habitat immensely. However, no assessment of the impacts the proposed industries may have on these wetlands were made either. ILC has no qualms about storing uncontained 55-gallon barrels nearby. With the amount of equipment starting to accumulate, spillage of oils onto the ground may cause contamination to these wetlands.

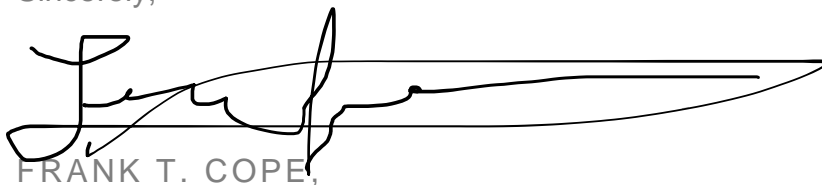
The applicants purchased this property knowing that it was zoned commercial. They proceeded with illegal industrial activities assuming the city would bend to their will. The applicants are storing junk vehicles and inoperable equipment 20 feet away from the Carpenter Natural Area entrance and are rapidly expanding their logging and trucking operation. They have broken the law and now are seeking forgiveness in this rezoning proposal. If anything, the city should be enforcing the zoning laws and issue citations and seeking any damages due, if any. If the

owners have industrial business intentions, it's not the fault of the city or its residents or the city park users. It would be a dangerous precedent to for the city to approve the proposal and reward law breaking behavior. It would open doors for anyone to start parking junk vehicles 15 feet away from the flagpole at the Geer Natural Area or on the Cortez Recreation Center grounds or Montezuma Avenue, then ask forgiveness when fellow citizens resist.

Resolution # 7, series 2023 also states that "the community will benefit from the use of the Property by the additional economic benefits of additional jobs, opportunities and taxes generated..." The Cortez city parks and attractive residential areas also appeal to new tax paying citizens as much as any logging operation. The city should not destroy the quality of their parks by approving such actions, and should honor the preceding actions of well-meaning city mangers.

It is hard to trust any establishment who is asking affirmation for breaking the law by making "hard to keep" promises to tax payers. I ask for your careful review and denial of this proposal, and if any business is carried out with this company in the future, it is done in legally reviewed contracts written in clear and concise language. Also, assure any mitigation expenses or actions they propose will not be passed on to the city tax payers in the future.

Sincerely,

A handwritten signature in black ink, appearing to read 'Frank T. Cope', with a long horizontal flourish extending to the right.

FRANK T. COPE,
CONCERNED CITY PARK USER,
RETIRED NATIONAL PARK FACILITY MANAGER

Dear City Council Members

My wife Carol Taylor and I own and live in the residence located at 913 Ridge Drive. Our lot borders the subject property. I have reviewed the subject memo, specifically the map shown in the section titled

Cortez City Engineer (Kevin Kissler) at the top of page 9. Was this map submitted by the applicant as part of the application package; or was this map prepared by the City of Cortez as potential conditions of an operating permit. In either case, one of the map items states; "No cut within 40' of lot line. Cut slope not to exceed 1 V:2H unless otherwise approved by geotechnical engineering report by Colorado licensed professional engineer". This statement pertains to an area of the property along the south and east property lines including that bordering our property.

I also reviewed this property using Google Earth Pro aerial photography and satellite imagery with the parcel lines available from the Montezuma County GIS download page. The most recent imagery available is dated May 23, 2023. This imagery clearly shows the earth work that has taken place on the subject property. While I realize that this data, aerial photography and satellite imagery cannot be used as legal boundary location, it appears that the earth work performed on this property is certainly within 40' of the lot line and may have actually crossed the line onto our property. Without the property corners and lines located and marked on the ground, no one, including the applicant, can be certain of their location. I would expect that someone who was conducting this kind of earth work in close proximity to the property line would know precisely where the line is. In this case I do not believe the owner had this knowledge.

Therefore; I would request that the City of Cortez require, as part of the application for rezoning process, the applicant obtain the services of a professional land surveyor to locate and mark the subject property corners and lines. I also request that this survey be conducted prior to any other work being performed within 40' of our property line.

Incidentally, a review of the property located at 10206 Highway 491 shows the road construction dirt work may have encroached onto City of Cortez property.

Clifford Giffen

913 Ridge Drive

Cortez, CO 81321

970-560-6548

cliffordgiffen@gmail.com

Dear Linda,

Please include the following letter in the packets for city council members for the August 22 meeting.

Thanks,

Patricia Faulkner

The story is told of a hiker who was hiking on a mountain where it was very cold. He looked down and saw a snake which was unable to move because of the cold. The snake asked the hiker to take him down the mountain where it would be warmer. The hiker told him, "No. You are a rattlesnake and you would bite me." The snake promised he would never do that because, after all, the hiker would have saved the snake's life. After a lengthy discussion the hiker was finally convinced that he could trust the snake. So the two of them trooped down the mountain. When the snake finally got warm, he bit the hiker. In total shock the hiker asked how the snake could do such a thing. The snake responded, "You knew what I was when you picked me up."

Changing the zoning next to Carpenter from commercial to industrial is much like carrying the snake down the mountain: there will be little control over what happens with that land now or in the future.

It also makes no sense to issue a LUP which would allow all the objectionable uses except for storing firewood. Our plea to the city council is "Please don't pick up the snake."

Hopefully the city council will abide by the city's own land use code. Surely ILC can find a more appropriate piece of land to provide a very needed service.

David and Patricia Faulkner

48 West Montezuma Avenue Cortez

970-570-9680

Fw: Letter to Council Members regarding citations on Independent Log Company

From: Teri Paul <portcullis828@gmail.com>

Sent: Wednesday, August 16, 2023 10:17 PM

Subject: Letter to Council Members regarding citations on Independent Log Company

8/16/23

Dear Cortez City Council Members,

I am concerned about the issuing of citations for violations of the city code by the applicant, Independent Log Company. It seems there are inconsistencies, and I point them out to you here with specific references. Please look into this.

1. On June 6 at the P and Z meeting, part-time contract City Planner Nancy Dosdall said that they (ILC), "have been issued violation letters (plural) for establishing use without permits" (YouTube video of the meeting at time 37:56:00.)
2. On June 12 at a meeting called by the Economic Development Director, Rachel Marchbanks, with the city planner, City Engineer Kevin Kissler, and several of the concerned neighbors, the city planner again confirmed that ILC had been cited. We asked specifically what a citation means, were they fined or what? There was no clear answer.
3. At the P and Z meeting on July 18, the city planner stated "They (ILC) clearly established some uses on this property without going through the correct process. So already they are storing some equipment on the property. Our charge (the P and Z commission) however is to review this in a manner without consideration of the facts that they have done this without permission." This alludes to violation(s) of the code, but no specific mention is made of citing them here. (1:35:20 on the YouTube video)

At the same meeting, one commissioner asked, "What exactly was the applicant cited for violating in the commercial highway zone, and what was the timeline for that?" the city planner replied, "I wasn't exactly part of that, Rachel have you figured that out yet?" Ms. Marchbanks replied, "Sorry I don't have that timeline in front of me, but we became aware of some grading happening in the 491 property and the Lebanon Road property and we asked public works to go and inspect it which they did. We were going to issue cease and desist orders but with some discussion with the property owners and public works they went in and applied for a grading permit and then also they came to us and applied for rezoning." Commissioner, "What was the time frame for that?" RM, "I can't tell you that from the top of my head." No one got back to answering the commissioner's question about citations. (1:43:25 on the YouTube video)

4. On July 20 volunteer Pam Telleen followed up with the Code Enforcement Officer for the City of Cortez, Thomas Anderson, to get clarification on the citations that had been mentioned. She copied me in an email (below) about this conversation on the phone, Ms. Telleen also informed me that she sent an email to the council and copied it to Ms. Marchbanks.

From: **Pamela T** <xopand3d@gmail.com>
Date: Thu, Jul 20, 2023 at 2:46 PM
To: Teri Paul <portcullis828@gmail.com>
Subject: No citations.

I called the Code Enforcement Officer for the City of Cortez, Thomas Anderson. He looked through his records and found no citations for any actions or reasons levied against the ILC/Lancaster/Moore property at 1050 Lebanon Road.

He did find a Conditional Use Permit for 1050 Lebanon Road that was withdrawn on May 2, 2023, because it was "under review by the Planning & Zoning Department."

Thank you.

Pamela Telleen

(Reprinted with permission)

Ms. Telleen sent the above email to Ms. Marchbanks for clarification but there was no reply. Additionally, Pam left a message for Thomas Anderson to confirm some other details, but he did not return her call.

5. The city planner's *Staff Report* presented at the June 6 P and Z meeting stated in paragraph 1 of the BACKGROUND/CODE DISCUSSION: "The 10-acre parcel located at 1050 Lebanon Road is currently zoned C, Commercial Highway. The property was previously the site of a drive-in theatre and has been vacant for a number of years. The Owners also own the parcel located at 1107 Lebanon directly west of the subject property and are already using the property for equipment and material storage for their business, Independent Log Company. They have been cited for code violations for operating without permits. This request, if approved, would bring the property into conformance with the City of Cortez Land Use Code ("LUC")."

She clearly states that citations for code violations were issued. To approve rezoning or issue a conditional use permit to the applicant seems to me the same as acknowledging someone has broken the law, so let's change the law so they are no longer out of compliance with the law.

6. It was reported in the August 2023 Vol 20, No. 10 issue of the *Four Corners Free Press*, Article, "A Rezoning Proposal Still Divides the Community" bottom of page 5, Economic Development Director, Rachael Marchbanks, explained in an email to the *Four Corners Free Press* saying, "The staff report probably *could have been more artfully worded* with respect to the City's enforcement efforts relating to Anthony Moore and Mary Lancaster," Marchbanks wrote. "The City's enforcement efforts consisted of verbal warnings . . . that the owners/applicants ongoing grading activities required a grading permit, and that the various log operations are not allowed in the current zone district without additional City permits or a change in zoning."

So, really, what is it? Were they sent official or unofficial violation letters and are they available for the City Council to review? Or actual citations that never made it to the files of the Cortez Code Enforcement Officer? Or were these verbal warnings for violations of the code? Or none of the above?

It is clear that the planning department staff led the P and Z commissioners and the public to believe that the applicants were formally cited when they were not. Possibly they did this to mollify public concerns, making people think that the applicant's actions brought appropriate consequences. The public deserves an explanation of what constitutes a citation, a letter of violation, and a verbal warning.

Something is amiss. This leaves an appearance that the planning department is making special accommodations for the applicant and is trying to make the code fit the applicant's needs. It also indicates a lack of transparency and consistency in regard to citations. Who is overseeing the operations of the P and Z staff?

Do we have a city code that is enforced for everyone or do we not? I would appreciate a response.

Teri Paul, Cortez

Fw: Ordinance No. 1322, Series 2023: 1050 Lebanon Road Rezoning Request

Subject: Ordinance No. 1322, Series 2023: 1050 Lebanon Road Rezoning Request

To All Concerned:

My name is Paul DeWitt. I am a resident of the neighborhood bordering the property located at 1050 Lebanon Road. I am opposed to approving the rezoning request by the property owners for the following reasons.

85dB is generally considered by regulatory and independent organizations, including the American Academy of Audiology, as the sound threshold where extended exposure may lead to permanent hearing loss. For comparison sake, vehicle traffic is approximately 70dB. The dB scale is a logarithmic scale, meaning an increase in 10dB = 10x increase in volume; 20dB = 100x; 30dB = 1000x; etc.

The Wood Mizer Mill is rated at 89dB per the manufacturer. This is 80x louder than traffic and over 3x louder than the accepted threshold. The Cord King Processor is rated at 90dB per the applicant. This is 100x louder than traffic and almost 4x louder than the accepted threshold.

The applicant's equipment operating at 3-4x louder than accepted safe levels and 80-100x louder than US-491 highway traffic (which is easily heard from inside our house) would violate the Land Use Code.

The Land Use Code (LUC) is "intended to implement and be consistent with the city's official comprehensive plan." [LUC - 1.05] And, "in order to implement the comprehensive plan ... the city, is divided into ... zoning districts." [LUC - 3.02] The purpose for Residential Districts is "to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, sheltered from incompatible and disruptive activities ..." [LUC - 3.02(a)(1)] The purpose for Industrial Districts is "to encourage a diverse employment base, provide for the production of goods and services and minimize conflict with other land uses." [LUC - 3.02(a)(4)]

Point # 1: Industrial zoning is incompatible with residential zoning as it is a threat to a comfortable, healthy, safe, and pleasant living environment.

Point #2: Industrial districts are purposefully created minimize conflict with other land uses. According to the current Cortez zoning map, there is no other location permitting industrial zoning next to residential

"For the purpose of establishing and maintaining sound, stable and desirable development within the city, the rezoning of land is to be discouraged. Rezoning shall only be considered if one or more of the following standards are held to apply to the request." [LUC - 6.02(c)]

1. "The land... was zoned in error." [LUC - 6.02(c)(1)]
2. "The area for which rezoning is requested has changed..." [LUC - 6.02(c)(2)]
3. "The proposed rezoning is necessary in order to provide land for a use which was not anticipated at the time of the adoption of the city's comprehensive plan and that such rezoning will be consistent with the policies and goals of the plan." [LUC - 6.02(c)(3)]

Point #3: None of these three conditions are met. Specifically relating to number three, the Cortez Comprehensive Plan says:

- "Maximize economic opportunities within Cortez without sacrificing quality of life." [Goal 5.6]
- "Require ample buffer areas between industrial areas and non-industrial land uses." [Policy 5.6.5]
- "Develop and maintain safe, desirable, and quality housing for all current and future residents..." [Goal 6.1]
- "Continually improve the quality of existing houses and neighborhoods." [Goal 6.2]
- "Protect residential neighborhoods from incompatible land uses..." [Policy 6.3.7]
- "Protect and acquire amenities such as Carpenter Natural Area... for the enjoyment of all residents..." [Policy 10.2.8]

Furthermore, there are multiple errors, omissions and/or fallacies within the Staff Report Criteria Discussion.

1. Criteria Discussion (a): "The property is directly adjacent to Industrial...zones." Incorrect: The property is not adjacent to an industrial zone. The nearest industrial zone is separated from this property by a road.
2. Criteria Discussion (c): "This lack of zones and available land for Industrial type uses could be considered a need for the rezoning." Arguable: It could also be considered that the zoning needs and balance established by the Comprehensive Plan have been met.
3. Criteria Discussion (d): "It does not appear that any of the nearby uses comply with Section 5.07(j) of the LUC." Bandwagon fallacy: Because others are doing it doesn't make it right.
4. Criteria Discussion (g): Three goals and policies of the Comprehensive Plan were referenced in support of the rezoning. Omission: No fewer than six goals and policies of the Comprehensive Plan exist (referenced above).
5. Criteria Discussion (h): "The property is adjacent to other industrial zoned property and uses. ...It should not be considered 'spot zoning.'" Error: The property is not adjacent to other industrial zoned properties. If approved, would be the sole Industrial zoned property surrounded by approximately 60% Residential and Open zone property. The remaining 40% being Commercial zone and road.

With all due respect, I request that the City Council deny the rezoning request at 1050 Lebanon Road. And in doing so, honor the purpose, intent and goals of the Comprehensive Plan and Land Use Code; maintain comfortable, safe, pleasant and desirable residential districts; protect residential districts from incompatible land uses; and protect natural amenities for the enjoyment of all.

Thank you for your time and consideration.

Respectfully,
Paul R. DeWitt

letter of concern regarding Independent Log Company's request for conditional use permit & zoning change

Victoria Atkins <victoria_atkins@hotmail.com>

Fri 8/18/2023 2:32 PM

To: Rachel Medina <rmedina@cortezco.gov>; Arlina Yazzie <ayazzie@cortezco.gov>; Lydia DeHaven <ldehaven@cortezco.gov>; David Rainey <drainey@cortezco.gov>; Robert Dobry <rdobry@cortezco.gov>; Mathew Keefauver <mkeefauver@cortezco.gov>; Dennis Spruell <dspruell@cortezco.gov>; Drew Sanders <dsanders@cortezco.gov>; Cheryl Lindquist <clindquist@cortezco.gov>
Cc: aswan@durangoherald.com <aswan@durangoherald.com>; freepress@fone.net <freepress@fone.net>; Teri Paul <portcullis828@gmail.com>; Fred Blackburn <blackburn104@msn.com>

To: The City of Cortez Council, City Manager & Staff, Planning and Zoning Committee and Parks and Recreation Advisory Committee

From: Victoria Atkins, 104 East Carpenter, Cortez, Colorado.

Thirty-one years ago, my family and I were honored to lead the initiative that resulted in Catharine Carpenter donating 80 acres to the City of Cortez for a natural area. Living on the south edge of the property in the late 1980s and early 1990s we regularly witnessed nighttime parties, vehicles driving up and down the hillsides and riparian areas, loud yelling in the middle of the night, and regular dumping of large appliances, dead animals and garbage. We knew when we bought our home that the area was private property with an industrial area nearby and that anything could happen. I still recall, however, the real estate agent, eager to make a sale, suggesting that maybe it was a city park.

After several years of watching and hearing the trespassing activities and calling the police at times, at the suggestion of my husband, our eldest daughter submitted an Arbor Day contest application to turn the area into a park. Imagine the days of no Parque de Vida — it too was private property and just an open field. Centennial Park had few trees and only several were large or shady. There were no fun welcoming playground areas and no Hawkins Preserve or walking trails anywhere in the city. Guess what? Our daughter won the contest and a \$50 savings bond.

With encouragement from the young City Parks and Recreation Director, Chris Burkett, I began researching land ownership with the paper-based Master Title plats at the County. Then I wrote a snail mail letter to the land owner in Arizona about park possibilities. Catharine Carpenter responded promptly and was amenable to the idea of a full donation. My family and I then hosted the City Council and City Manager in our home for a Sunday afternoon tour of the property and a discussion of options. The only council hesitation I recall was one concern about the cost of trying to turn it into a traditional park with green lawns.

An 80-something lady then living in Sun City, AZ, Ms. Carpenter made the effort to visit several times. She shared stories of her father Nathaniel who she recalled wanting to protect the land for birds. From the beginning, our goals were to encourage respectful public use and wise habitat management, to clean up trash after years of dumping and late-night car parties, and ultimately to offer the broader community healthy options that outdoor space can offer both for physical and mental health.

Today Ms. Carpenter would be proud to see all that has happened over three decades of ownership and management by the City of Cortez. Starting with an Eagle Scout project by Chris Reidinger in 1993 to haul off the dead appliances and build water bars, City staff, and local citizens have invested years of work to seek and manage grants, gain rights of ways, build sidewalks, develop biking trails, identify and interpret plant communities, acquire the Chism property along the riparian

corridor and public access to both Lebanon and Mildred roads, establish the adjacent SPC George Raymond Geer Natural Area and partner on recreation access into the conservation easement of the Evans property.

Every year we see praiseworthy improvements including trail maintenance and water bar repairs, sidewalk replacement, fencing repair, and long-term habitat restoration as well as regular garbage removal at both ends of the concrete trail. The City of Cortez staff and volunteers are to be commended for these projects.

Ms. Carpenter would also be pleased to see the hundreds of individuals, groups of friends, and families who actively use Carpenter Natural Area on a weekly basis. I regularly see multiple cars parked at the west access parking lot off Lebanon Road and witness 50 or more persons daily accessing on foot through my neighborhood on the south boundary. While walking the trails myself I have met wildlife photographers, County Commissioners, persons recovering from surgery, hospital staff, families with children and baby strollers, soup kitchen volunteers and doctors all reflecting the broad spectrum of our community. I also know of persons who don't live in Cortez who intentionally come to Carpenter Natural Area for recreation, then decide to shop downtown and stay for dinner. And some of those individuals have chosen to move to Cortez because of the quality of life. Our City of Cortez website promotes our parks making the promise that: "Cortez residents and visitors enjoy robust parks and open space system with many opportunities to enjoy the outdoors. Cortez boasts more than 130 acres of beautiful parks and open space." Not only does Carpenter Natural Area support healthy individuals and families, it grows our trust in each other and our community, and welcomes broader sources of income from outside the area.

This decades-long commitment by the City and its citizens, along with the formation of the Friends of Carpenter clearly solidifies and demonstrates that the Carpenter Natural Area is a cherished landscape.

With this positive history of success, why should the City Council vote to jeopardize this investment and compromise the quality of experiences by changing the existing zone from commercial to industrial? Can any property owner who knowingly buys in one zone, acts without a permit, pressure the council and the community to change the big picture for their personal convenience?

What about the long-term, secondary, and cumulative impacts to the community? Imagine the property is rezoned to industrial in 2023 and the owner then conveniently changes their mind on the business model? Or perhaps, they sell out to a more impactful large industrial business? Then what? How welcoming is that to the visitor in Carpenter's one parking area? Once the damage is done, there is rarely an opportunity to reverse it and who pays that cost? And imagine the precedent applied to another property — let's picture the corner of Mildred and Empire across the street from Parque de Vida and Centennial Park. What is to stop that from being rezoned to industrial?

I respect that the Cortez Industrial Park is an important part of the community and was established to offer businesses a space to operate. I also respect commercial areas and residential neighborhoods. It is not the City Council's responsibility to fix a mistaken purchase and ill-fitting business location. I ask you to please VOTE NO to approve the after-the-fact conditional use permit and VOTE NO to amend the City of Cortez Zoning Map for the 9.64-acre parcel located at 1050 Lebanon Road, Cortez, Colorado, to change the zoning on the parcel from C, Commercial Highway to I, Industrial District.

Thank you for your time and consideration.

 1 attachments (1 MB)

Summary Judgment.pdf;

Rachel Medina, Mayor

Cortez City Council, 2020-2024

123 Roger Smith Ave, Cortez CO 81321

****Council Meetings every 2nd & 4th Tuesdays at 7:30pm****

[Cortez Website](#) | [Agenda Center](#)

Under the Colorado Open Records Act (CORA), all messages sent by or to me on this city-owned e-mail account may be subject to public disclosure.

From: Teri Paul <portcullis828@gmail.com>

Sent: Friday, August 18, 2023 12:30 PM

Subject: Legal precedent 1984 lawsuit re industrial activity on Lebanon Rd.

Dear City Council,

In April 2023 my neighborhood became painfully aware of the Independent Log Company's activities at 1050 Lebanon Road.

Long time resident and neighbor, Tom Ervin, paid me a visit. He told me that in the early 80s, there was a lawsuit about the very same issue, industrial activities too close to the neighborhood, and that they won the lawsuit. He didn't remember the details and it has taken several months to find the legal case and consider its relevance to the present rezoning and special use issues. Finally, the Colorado State Division of Archives and Public Records in Denver located the legal case. #84CV30 (Summary judgment attached.)

Here are the facts of the case.

The plaintiff was Mountain Gravel and Construction Company
The defendant was the City of Cortez.

Mountain Gravel applied to the Cortez Planning Department for a building permit to build a concrete hot batch plant on the property where the Body by Design Gym is now located. This is

directly north and across the main entrance to Carpenter Natural Area from the ILC property. In 1984 the City Planning Department granted this building permit and construction began.

The neighbors, Tom Ervin, Dave Herrick, William Mollenkopf, and others (personal communication Tom Ervin and children of Dave Herrick) became alarmed to have industrial activity so close to the residential area. The same residential area we are now defending. Please note that this was 10 years before Carpenter Natural Area existed, so they fought this just on the proximity to residential property. They went before the Cortez City Board of Adjustments and in appeal proceedings laid out why this zoning and activity was not appropriate next to a residential area. (See item 15 on page 4 of Summary Judgment.)

The Board of Adjustments agreed and directed the city to revoke the building permit. The building ceased on the property.

Mountain Gravel then sued the City claiming their constitutional right to do what they want on their property had been violated and they called for a review of the actions of the Board of Adjustment. Mountain Gravel also asked for the issuance of an injunction restraining the City from violating their right to a building permit. They further required the City to be made to purchase the property or to condemn the property and provide money for damages.

Judge Al Haas affirmed the decision to revoke the building permit and granted the judgment for the defendants and against the plaintiff, dismissing the remaining claims and awarding court costs to the defendants.

This legal case provides a clear precedent for the present situation.

1. The neighbors spoke up against inappropriate zoning and industrial activities allowed by the P and Z planning staff.
2. The City Board of Adjustments and the Court found that revoking the building permit was appropriate and allowed it. This said they agreed that this activity was too close to a residential area.
3. The ILC location in question today is even closer to residential properties than the one in the 1984 lawsuit.
4. In 1984, they didn't have to consider the presence of the Carpenter Natural Area.
5. If the 1984 case upheld that industrial activity has no place close to a residential area, how much stronger then is the case to be made now, where the proposed industrial activity is ADJACENT to residential and ADJACENT to Carpenter Natural Area?
6. Based on this precedent, this present matter should be dropped and **never** revisited.
7. The applicant may use the property as allowed in a Commercial Zone with no conditional or special use permits that allow industrial or industrial-lite activities, and with no potential for applying for more rezoning or additional permits in the future.
8. The Planning Department should be cautioned to be "less artful" in tweaking the rules to fit the applicant in the future.

Thank you.

Teri Paul
Cortez

From: Terri Helm <bobnter491@gmail.com>

Date: August 21, 2023 at 08:26:53 MDT

Subject: Zoning issue near Carpenter Park

Dear Mayor Medina and members of the Council,

I am writing to encourage you to vote against rezoning the area near Carpenter Park as industrial.

I have walked every trail at Carpenter Park for over 20 years and have treasured it as a slice of natural beauty in the midst of encroaching neighborhood development.

Seeing the sprawl and mess that have been created on the corner of Lebanon Road & Highway 491 by a company that claims to be doing something good for our community is truly a conundrum.

Please vote to restore what was once a lovely piece of property near a natural area that has been a haven for both wildlife and people.

Sincerely,
Terri Helm
22755 Rd. N
Cortez, CO 81321

Fw: ILC Rezoning Consider the Cortez Comprehensive Plan

****Council Meetings every 2nd & 4th Tuesdays at 7:30pm****

[Cortez Website](#) / [Agenda Center](#)

Under the Colorado Open Records Act (CORA), all messages sent by or to me on this city-owned e-mail account may be subject to public disclosure.

From: Teri Paul <portcullis828@gmail.com>

Sent: Friday, August 18, 2023 6:58 PM

Subject: ILC Rezoning Consider the Cortez Comprehensive Plan

8/18/2023

Dear City Council Members,

The City's Comprehensive Plan outlines directives for every government official to follow, clearly stating that all city government officials are to "be proactive in the prevention of problems" and "promote health and safety."

Core Values are right up front in the Plan.

The first one, Accountability, says it all. The second, Innovation, says how.

Accountability – We (the City) are responsible for the health and safety of employees and community members. We do our best to prevent problems. We are also responsible for our actions and their consequences ... "

Innovation – We encourage creative solutions to complex problems and to the proactive prevention of impending problems ... "

ILC has already created a huge number of problems. There will be more problems down the road including degradation of wildlife and air quality, property value loss, noise, traffic, and a negative effect on Carpenter Natural Area and on the quality of life. There is no mitigation plan offered and none can exist for all of the problems that have already occurred and all that will occur in the

future, compounding on what has already happened. The City is supposed to be proactive in avoiding exactly this type of situation. Something has gone terribly wrong.

The benefits of allowing ILC to expand its operations from across the street are few, primarily it benefits one business. The benefits do not outweigh the problems. If the city still thinks there are benefits to be had here, they can help the company find a different place that makes sense. That would be a Win-Win.

If the City Council votes for rezoning and conditional use, they are going completely against their own core values. We will see more problems down the road, problems that may not be easily managed.

Teri Paul
Cortez

[Comprehensive Plan | Cortez, CO - Official Website \(cortezco.gov\)](https://cortezco.gov)

Fw: City Council Meeting Possible Postponement RE: Rezone 8/22/23

Subject: FW: City Council Meeting Possible Postponement RE: Rezone 8/22/23

From: Al Schneider <coloradowildflowers@yahoo.com>

Sent: Tuesday, August 22, 2023 3:43 PM

Subject: Re: City Council Meeting Possible Postponement RE: Rezone 8/22/23

To All Cortez Council Members:

It is outrageous that representatives of the logging company have requested a postponement. That request should be denied. What could possibly keep all the many representatives of that company from attending?

This is just another of their delaying tactics and disregard for following accepted procedures.

Carry on without them and deny them the industrial permit they have asked for.

Al Schneider

Sent: Tuesday, August 22, 2023 12:40 PM

To: Gail and David <gailanddavid@g.com>; saywhat@swcotv.org; Kelly Turner (radiokellyt@gmail.com) <radiokellyt@gmail.com>; JedekiahCoy@gmail.com; news@ksjd.org; news@ksjd.org; chuck@mcafeefarm.biz; cmeagher@durangoherald.com; Freepress@fone.net; Colette Czarnecki <cczarnecki@the-journal.com>; deborah@thelocalnews.us; Chamber of Commerce (info@cortezchamber.com) <info@cortezchamber.com>; Bobby Brewer <Robert@ksjd.org>

Subject: City Council Meeting Possible Postponement RE: Rezone 8/22/23

FOR IMMEDIATE RELEASE -

Regarding the City Council Meeting Tonight 8/22/2023

POSSIBLE POSTPONEMENT OF A CITY COUNCIL ACTION REGARDING THE APPLICATION TO REZONE AND C.U.P. FOR THE PROPERTY LOCATED AT 1050 LEBANON RD, CORTEZ, CO

This is a courtesy notice to residents and interested parties regarding the application to rezone and obtain a condition use permit for the property located at 1050 Lebanon Rd in Cortez. The

The Cortez City Council has received a request from the applicants to postpone and continue the public hearing for these agenda items to September 26, 2023, at 7:30pm in the City Council Chambers.

Although actual postponement must still be granted by the Council via a formal vote, the applicants will not be in attendance and there is a real possibility that a public hearing will not occur this evening.

V/r,

Kelly Codner

Public Information Officer

City of Cortez

608 N. Park Street

Cortez, CO 81321

970-565-8441

www.CortezCo.Gov

APPLICATION TO REZONE THE LAND AT 1050 LEBANON
ROAD FROM COMMERCIAL TO INDUSTRIAL; INDEPENDENT
LOG, TONY MOORE AND LINDA LANCASTER

There is a very strong precedence for denying the
zone change on property at 1050 Lebanon Rd.

In 1983, Mountain Gravel secured a building permit
and started building a concrete hot batch plant on property
just north of 1050 Lebanon Road. The neighbors to the
south appealed to the Cortez City Board of Adjustments to
revoke the building permit. It was revoked and construction
stopped.

Mountain Gravel sued the city -- 84CV30. The judge
affirmed the decision to revoke the building permit and
granted the judgement to the defendant (the city).

This legal case provides a clear precedence for the
current situation:

1. The neighbors spoke up against inappropriate
industrial activity... and
2. The City Board of Adjustments and the court found
that this activity was too close to a residential area.
3. The Independent Log location in question is even
closer to the same residential property than the one in
the 1984 case.
4. In 1984, they did not have to consider the Carpenter
Natural Area.
5. If the 1984 case upheld that industrial activity
has no place close to residential areas, how much stronger
is the case to be made now, where the proposed industrial
activity is adjacent to residential property and adjacent
to the Carpenter Natural Area.
6. We agree that the applicant may use the property as
allowed in a Commercial Zone as long as there are no
conditional or special use permits that allow industrial
activity, with no potential for applying for more rezoning
or additional permits in the future.

Respectfully submitted:
Gala Pock

Fw: Rezoning issue

From: CinRon Fadell <cinron2@outlook.com>

Sent: Thursday, August 31, 2023 9:46 AM

Subject: Rezoning issue

Dear Cortez Commissioners and planners,

I am joining my voice with the many, many others who are asking you to protect Carpenter natural area and the quality of life for the adjoining neighborhoods. Carpenter area is precious open space and the community and people you serve are clearly saying rule in favor of their quality of life. Profit for a few should not be placed over the good of nature and people's quality of life. Thank you for sincerely thinking about this decision and for adhering to your own city and county standards as to quality of life. You can help restore hope and a belief in a honest, fair and balanced city government through your vote not to rezone.

Thank you, Cindy Brush

Sent from Mail for Windows

Carpenter Natural Area

Miriam Dunbar <jumpmelody@yahoo.com>

Sat 9/2/2023 5:14 PM

Dear Cortez City Council,

The Carpenter Natural Area is enjoyed by county residents, visitors, hospital personnel, tourists, and our furry and feathered friends. I support the Cortez City Codes, which prevent spot zoning and prevent incompatible uses from infringing on residential areas and parks. I oppose rezoning and special use permits that dilute the original intention of a zoning designation. I value the quality of life in Cortez neighborhoods and the serenity and natural beauty of our parks. Please deny Independent Log Company's application to change the zoning from Commercial to Industrial on property that is adjacent to Carpenter Natural Area and adjacent to an established residential neighborhood. Thank you for your time.

Sincerely,
Miriam Dunbar

Please Vote to Preserve Carpenter Natural Area

Patty Coen <pattycoen@msn.com>

Mon 9/4/2023 2:25 PM

I am writing as a concerned citizen regarding the future of the Carpenter Natural Area. I have used that area more many a walk and many a mountain bike ride & enjoy it immensely. Just this last summer, my husband took a walk while I was in a PT session at SWMH. He heard & observed: the Cedar Waxwing, Yellow Breasted Chat, Northern Mockingbird, Bullocks Oriole, & Western Kingbird, just to name a few birds. This area is a treasure. I noticed much more noise from heavy equipment when I last visited there & was very disappointed.

I am writing to urge the Cortez City Council to please vote "NO" on the Independent Log Company's application to change the zoning from Commercial to Industrial on property that is adjacent to Carpenter Natural Area and adjacent to an established residential neighborhood.

If this rezoning is allowed to go forward, it will mean that in the future any industrial activity will be allowed. Is it really prudent for the city to change existing zoning and bend the interpretation of the City Code for the benefit of one business? If this happens in the Montview neighborhood it can happen anywhere in town. It will set a precedent.

I support the City Codes, which prevent spot zoning and prevent incompatible uses from infringing on residential areas and parks. I strongly oppose rezoning and special use permits that dilute the original intention of a zoning designation. I value the quality of life in our neighborhoods and the serenity and natural beauty of our parks.

Thank you,
Patty Coen
Mancos, CO

Rezoning

JULIA TUCSON <juliatucson@msn.com>

Sun 9/3/2023 3:02 PM

To the Cortez City Council:

I am strongly opposed to the rezoning in the Carpenter Natural Area. As lovely towns like Cortez experience inevitable growth now and in the years to come, it is imperative that residents have confidence in the city government to protect their residential property values. No one wants to invest in a property when there are no assurances that at any time their property could be surrounded by air, noise, water, and soil pollution, based on the whims of whoever is on the city council at the time. This re-zoning to could set a terrible precedent and worry all future investment in the city. Additionally, the Carpenter area is a fabulous asset to the town and the county. It would be a huge loss to destroy the values associated with this nature refuge. It's a treasure that we as a community need to protect and enjoy and be proud of. It's a major plus for us all - ascetically, as well as economically!

Sincerely,
Julia Anderson
Montezuma County resident

Independent Log Company Application adjacent to Carpenter Natural Area

Linda Rose <wanderingroses.rose@gmail.com>

Sun 9/3/2023 1:56 PM

To whom it concerns:

I am writing about the request to change the zoning from Commercial to Industrial on property that is adjacent to Carpenter Natural Area and adjacent to an established residential neighborhood.

I support City Codes which prevent spot zoning and prevent incompatible uses from infringing on residential areas and parks. **I oppose rezoning and special use permits that dilute the original intention of a zoning designation.**

I visit Carpenter to hike on a regular basis. It is in this natural area of quiet and solitude that I re energize. It is important to protect areas like this that are in close proximity to the town so that residents can have easy/quick access.

I am sure that I am not alone in expressing concern and appreciate you looking at all aspects of the request and the ramifications of the decisions that you make.

Sincerely,
Linda Rose

Carpenter issue

Larry Berger <boatinglarry45@gmail.com>

Sun 9/3/2023 6:35 AM

PLEASE vote against changing the zoning for the Carpenter area!!! There are so many "cons" against changing the zoning and so many "pros" to keeping it the way it is. You would open the door to a disaster for Cortez if you changed the zoning. There are many places where an industrial business would work well and from what I understand this company has other land that would work for this kind of business. So many of us in Montezuma County use and enjoy Carpenter for hiking, bird watching, walking our dogs, and just enjoying a good walk. It is extremely selfish for those who own this business to want to ruin it for so many of us.

They can operate their business on some other property that is more suitable, employ the same amount of people, and pay the same amount of taxes.

PLEASE do not destroy what we have and want to have for future generations! Do not open the door for others to do the same what this business wants to do. We LOVE Cortez and Montezuma, do not vote to destroy what we love!

Thank you,

Larry Berger

11333 CR 22

Cortez, Co. 81321

boatinglarry45@gmail.com

970-565-3853

Carpenter Natural Area

Susan Dobkins <dobkinssusan@gmail.com>

Tue 9/12/2023 7:55 AM

I support the City Codes, which prevent spot zoning and prevent incompatible uses from infringing on residential areas and parks. I oppose rezoning and special use permits that dilute the original intention of a zoning designation. I value the quality of life in our neighborhoods and the serenity and natural beauty of our parks.

Should the city change existing zoning and bend the interpretation of the City Code for the benefit of one business? Definitely NOT!

Thank you for listening and thank you for your service on the council.

August 8, 2023

Regarding 6.14 - Site plan request by Independent Log Company to change zoning to industrial.

Dear Mayor & Council,

Please deny the spot zoning request that will forever change this property from commercial to industrial.

Original zoning recognized that industrial use would not make a "good neighbor" to adjacent residents. Today industrial use will make an even worse neighbor to long established residents and to Carpenter Natural Area, which with each passing year is gaining popularity for its many benefits to the community.

Sincerely,

A handwritten signature in blue ink that reads "Leslie Cox". The signature is written in a cursive, flowing style.

Leslie Cox
13050 Road 31
Mancos, CO. 81328

To: Cortez City Council

Re: Proposed Rezoning of Land at 1050 Lebanon Rd.:
Independent Log, Sept. 26, 2023

I have concerns about the rezoning to Industrial for the land at 1050 Lebanon Road, Cortez. The proposed use of this land is to include a sawmill.

The noise from a sawmill would subject the neighborhood adjacent and uphill from this property to an inordinate amount of noise (sound travels up. That is why amphitheaters are bowl shaped.) But more important, the sawdust generated by a sawmill would create an unacceptable fire hazard (and fire runs uphill, too.) And sawdust is difficult and expensive to dispose of.

In May of this year, the Ironwood Mill in Dolores was shut down because of the amount of sawdust stored on site, and the fire hazard it created (Cortez Journal, June 14, 2023). Ironwood was attempting to dispose of the sawdust but there was just more than they could deal with. Even though the mill has shut down, the fire risk remains. In the recent past, there has been at least one sawdust pile fire in the County.

It is simply not acceptable to expose the neighborhood just to the south and uphill to this risk... a risk that could remain long after Independent Log ceases sawmill operations.

Thank you for your considerations.

Submitted by Gala Pock

Attn: City Clerk: Please distribute to Cortez City Council Members

Teri Paul <portcullis828@gmail.com>

Mon 9/11/2023 2:30 PM

 2 attachments (3 MB)

Summary Judgment.pdf; Summary Judgement exhibit c (1) City appeals board.pdf;

Dear Cortez City Council Members,

Today I would like to draw your attention to the excellent article by Gail Binkly in the August 2023 Free Press, "Debate Rages Over Zoning Proposal." ([Debate rages over zoning proposal: A 1984 court decision nixed an industrial use in the same area | Four Corners Free Press](#)). The details of a 1984 lawsuit to stop industrial activities next to the Montview Neighborhood are clearly outlined. The significance of this 1984 court case on our current issue, that of rezoning the Independent Log Company (ILC) property at 1050 Lebanon Road, from Commercial to Industrial, is profound. This case provides a strong precedent in favor of keeping industrial activities well away from people's homes. In this case, the court upheld the City of Cortez's decision to revoke the building permit for a concrete hot-mix plant on a property that lies less than 100 yards north of the controversial ILC property today. The court agreed with the City of Cortez that this industrial activity was too close to a residential area.

We believe this 40-year-old lawsuit provides the city with the legal standing to deny the application for rezoning AND to deny the application for a conditional use permit (CUP). Our current situation is even more compelling than that of the 1984 lawsuit because ILC shares - is adjacent to - approximately 550 feet of fence line with residential properties and 1,100 feet of fence line with the Carpenter Natural Area.

It is possible that some on the Council might consider a compromise, that is, deny rezoning to Industrial but compromise by granting a conditional use permit. This is not acceptable. It is important to realize that denying rezoning from Commercial to Industrial while approving a CUP on Commercially zoned land, essentially turns that Commercial property into Industrial by default. The city planning department has stated that if the property stays Commercial, but a CUP is issued, the only thing that ILC would not be allowed to do on the property is to store firewood, any other manufacturing they have asked to do would be allowed. We are opposed to granting the rezoning and the CUP.

Neighbors and Friends of Carpenter are pleased to have been able to provide the city with this due diligence in locating the 1984 case. Further, we have located a key supporting document, a record

of the 1983 Cortez City Board of Adjustments Appeals Proceedings (BOAA). This document is attached. It shows the BOAA recommended that the city revoke the building permit, for the concrete hot-mix plant, for the same reasons we oppose the rezoning and CUP today, namely noise, odor, vibrations, dust, potential hazards, and adverse visual impact to residents. To this list, we add the unsightliness of the operation to neighbors and Carpenter Natural Area users, and the opening up of the property to even more inappropriate industrial activities in the future.

The 1984 Lawsuit provides a precedent for the current issue and gives the city the legal standing to vote NO on rezoning and vote NO on the CUP. We hope that the council will take this precedent seriously and use it to end this question once and for all. No industrial activities should be allowed adjacent to a park/natural area or a residential area now or in the future. Let's not ask residents to fight this battle again in another 40 years.

Thank you,

Neighbors and Friends of Carpenter

Teri Paul

Cortez

Attachments:

Exhibits C and D to 1984 Lawsuit.

1983 City of Cortez Board of Adjustments Appeals Proceedings.

Case 84CV30. 1984 Lawsuit summary

bcc: to Neighbors and Friends of Carpenter list

RECEIVED JUN 28 1984

DISTRICT COURT, MONTEZUMA COUNTY, COLORADO

Case No. 84CV30

FINDINGS OF FACT, CONCLUSIONS OF LAW AND FINAL ORDER

MOUNTAIN GRAVEL AND CONSTRUCTION COMPANY, a Colorado corporation,
Plaintiff,

v.

CITY OF CORTEZ, a Colorado Municipal Corporation, WILLIAM MOLLENKOPF,
Mayor, MICHAEL RUST, HELEN McCLELLAN, BRUCE CLARK, BILLY SMART,
JERRY BRUCK and JERRY WILTGEN,

Defendants.

THIS MATTER coming on to be heard on the pleadings, the
motion for summary judgment and the stipulated facts submitted by
the parties;

NOW THEREFORE the Court enters the following findings of
fact, conclusions of law and final order:

1. On November 29, 1982, Mountain Gravel and Construction
Company applied for and was granted a building permit in the City
of Cortez, Colorado.

2. Pursuant to the building permit, Mountain Gravel
began construction on the property.

3. On January 29, 1983, the City notified Mountain Gravel
that work should be suspended.

4. On February 24, 1983, an administrative hearing was conducted, and on March 4, 1983, the Board of Adjustment directed the City to revoke the building permit.

5. On March 31, 1983, Mountain Gravel sued the City of Cortez, District Court for Montezuma County Case No. 83CV53. The Complaint was in the nature of a Rule 106(a)(4) review of the actions of the Board of Adjustment and Appeals for the City of Cortez.

6. On September 22, 1983, in 83CV53, Judge Al Haas issued his order affirming the decision of the board of adjustment.

7. In this proceeding Mountain Gravel sues the City of Cortez seeking the following remedies:

a. a declaration that Mountain Gravel has certain vested constitutional rights, the unlawful taking of which are in violation of the United States and Colorado Constitutions;

b. the issuance of an injunction restraining the City from violating rights under the building permit;

c. the issuance of an order commanding the City to purchase the property or ordering the City to condemn the property;

d. money damages.

8. The Court has previously granted the City a partial summary judgment on the damages' claim because Mountain Gravel failed to give the City the required 180-day statutory notice prior to filing a damage claim.

9. The City also asserts that the other claims are barred by the doctrine of res judicata.

CONSTITUTIONAL CLAIMS

10. A party may assert a constitutional challenge to a municipal ordinance "as applied" to the party and/or may challenge the facial constitutionality of the legislative acts of the municipality, Tri-State Generation Company, et al. v. City of Thornton, 647 P.2d 670 (1982).

11. Legislative enactments are presumed valid. The Court finds that Mountain Gravel has not proved beyond a reasonable doubt the invalidity of the ordinance, Tri-State Generation Company v. City of Thornton, supra at page 677.

In fact, the Court does not even find the text of the ordinance in either the file of this case nor the file of 83CV53.

12. The constitutional claim that the plaintiff was denied due process as the ordinance "was applied" must, however, be litigated in the Rule 106(a)(4) proceeding, Tri-State Generation Company v. City of Thornton, supra, at page 676, footnote 7. The Court then must consider whether this and other claims are barred by the doctrine of res judicata.

RES JUDICATA

13. "Res judicata is applicable only when there exists identity of subject matter, cause of action, parties to the action and capacity in the persons for which or against whom the claim is made... 'The best and most accurate test as to whether a former judgment is a bar in subsequent proceedings between the same

parties, according to the authorities, is whether the same evidence would sustain both, and if it would, the two actions are the same, and this is true although the two actions are different in form," Weibert v. Rothe Brothers, 200 Colo. 310, 618 P.2d 1367 (1980).

14. In this action:

a. the subject matter is the same: the issuance of a building permit, the commencement of construction and the retraction of the permit;

b. the cause of action is the same: Mountain Gravel requests a Court order against the City to allow Mountain Gravel to proceed on its property to construct improvements after revocation of a building permit by the board of adjustment;

c. the parties are the same: Mountain Gravel suing the City of Cortez;

d. the capacity of the parties is the same.

15. Mountain Gravel argues that in the appeal proceedings before the board of adjustment, the neighbors, Dr. David Herrick and Thomas D. Ervin, were the complainants against the staff personnel of the City of Cortez who had issued the building permit.

16. The prior judgment in the district court in 83CV53, however, did involve the same plaintiff, Mountain Gravel, and the same defendant, and it is that judgment of the Court which bars further proceedings. Furthermore, the transcript of proceedings before the Board of Adjustment indicates that Mountain Gravel also did participate in the proceedings before the board of adjustment.

17. This action is different in form from the Rule 106(a) (4) proceedings in 83CV53 because plaintiff here requests an injunction

a ruling that the ordinance is unconstitutional as applied, and a declaration that the illegal zoning is an inverse condemnation, but all of these claims were or should have been litigated only in the Rule 106(a)(4) proceeding in 83CV53; Snyder v. Lakewood, 154 Colo. 421, 542 P.2d 371 (1975); Tri-State Generation v. City of Thornton, supra, at page 676, footnote 7.

18. For these reasons, the Court grants this judgment for the defendants and against the plaintiff, dismissing the remaining claims of the Complaint and awarding court costs to the defendants.

DATED this 27th day of June, 1984.

BY THE COURT:


JUDGE

xc: C. Thomas Kier - mailed ✓
Clifford C. Fossum - mailed
Michael E. McLachlan - notified

EXHIBIT "C"
BOARD OF ADJUSTMENT AND APPEALS

APPELLANTS: Dr. David Herrick and Thomas D. Ervin

RE: Appeal to the Board to revoke the building permit issued to Mountain Gravel and Construction Company, Inc. for the construction and operation of an asphalt hot-mix plant on their property in the northerly portion of Cortez, east of Broadway.

FINDING OF FACT:

The Board of Adjustment and Appeals finds the following to be facts in this case:

- the Charter grants authority to the City Manager to administer the Zoning Ordinance.
- the City review of the application for building permit in question (to Mountain Gravel & Construction):
 - . "team" approach involving the City Manager, Public Works Director, Assistant Director of Public Works, and Building Inspector utilized.
 - . this infers complexity of questions raised by the permit application.
- IM Zone designation identified properly.
- permitted uses provisions of Zoning Ordinance considered.
- mechanical aspects of proposed construction considered.
- use of property as a contractor's yard deemed acceptable by "team".
 - . called out specifically in Sec. 202.9.3.6. in City Zoning Ordinance.
- following consideration of several limiting qualifiers listed in Sec. 202.9.3.i. "team" acknowledges that these are "difficult to interpret" and decides to approve permit application. Rationale used:
 - . sound: subjective judgement of Public Works Director based upon on-site observation of plant in question.
 - . vibration: subjective judgement of Public Works Director based upon on-site observation of plant in question.
 - . fumes: subjective judgement of Public Works Director based upon on-site observation of plant in question.
 - . gases & noxious odor: subjective judgement of Public Works Director based upon on-site observation of plant in question.
 - . smoke: emission permit issued to Mountain Gravel & Construction Company, Inc. by the Colorado Department of Health, Air Pollution Control Division.
 - . light: no apparent consideration.
 - . heat: no apparent consideration.
 - . glare: no apparent consideration.
 - . radio interference: no apparent consideration.
- distance of proposed hot-mix plant to IM Zone boundary = 750'
- distance of proposed hot-mix plant to nearest dwelling = 1,000'

BOARD OF ADJUSTMENT AND APPEALS
(Mountain Gravel Hot-Mix Plant)

- City established IM Zoning designation of property in question following proper hearings and procedures.
 - . no apparent opposition to IM Zoning voiced at hearings/proceedings, leading to final Zoning Ordinance adoption.
- no City ordinances exist in Cortez in relation to control of limiting qualifiers listed in Sec. 202.9.3.1.
- hot mix plants of today are regulated by the Clean Air Act and are, as a result, operated more cleanly than in previous years.
- Assistant Director of Public Works, who also functions as City's designated Zoning Administrator, stated that the City of Cortez has inadequate expertise to administer Sec. 202.9.3.1. specifically, to judgements relating to those limiting qualifiers listed.
- Public Works Director, upon whose judgement and opinion certain decisions were made as to limiting qualifiers in Sec. 202.9.3.1. admits he did not observe start-up procedures or daily cleaning procedures at the hot-mix plant in question.
 - . same official also admits he is not certain as to what exactly emits from the hot-mix plant in question.
 - . same official does state that some volumes of dust, noise, and odor do emit from the hot-mix plant in question.
- Cortez Zoning Ordinance does require administrative interpretation in some areas.
- intent of the IM provisions of the Cortez Zoning Ordinance is to encourage the development of low intensity, or "light" industrial uses as demonstrated by listing specifically within this section of the ordinance only light industrial uses as permitted uses.
 - . reference in Sec. 202.9.3.1. to "any other similar and compatible use" is to uses enumerated within ordinance.
- hot-mix plant is considered a high intensity use of industrial land.
- intent also in Cortez Zoning Ordinance provisions is to make it incumbent upon applicants for building permits and potential land users to prove that the reasonable interests of existing and surrounding land users will not be jeopardized.
- due to unusual topography in this specific case does cause an adverse visual impact upon surrounding land users.

DECISION:

Based upon the findings of fact as listed above, it is the unanimous decision of this Board that:

1. The staff of the City of Cortez properly followed the review procedure when looking at the application for building permit submitted by Mountain Gravel and Construction Company, Inc.
2. The City staff was not in error in approving the permit as it applies to the construction and operation of a contractor's yard. This use is clearly identified as a permitted use in Sec. 202.9.3.b.

-3-

BOARD OF ADJUSTMENT AND APPEALS
(Mountain Gravel Hot-Mix Plant)

3. The City staff was indeed in error in approving the building permit as it applies to the construction and operation of a hot-mix plant in the IM Zone of the City of Cortez.
- A. This conclusion is based upon the fact that a hot-mix plant is a high intensity use and, in turn, not compatible with the intent of zoning in the IM Zone in Cortez, which is to promote low intensive uses as evidenced by the list of permitted uses in Sec. 202.9.3.1.
- B. Further, that while no City ordinances exist for control of limiting qualifiers, the City cannot abdicate its responsibility to surrounding users to protect and preserve their rights/welfare. The subjective judgement of a City staff official lacking in specific expertise, as it relates in this case to the effects of a hot-mix plant, to administer the limiting qualifiers listed in Sec. 202.9.3.1. of the Zoning Ordinance for the City of Cortez is insufficient to guarantee that this responsibility is being met.

DISCUSSION:

The Board of Adjustment and Appeals directs those appropriate officials of the City of Cortez to immediately revoke that building permit issued to Mountain Gravel and Construction for the construction and operation of a hot-mix plant; that the City of Cortez shall grant a permit to construct and operate a contractor's yard to Mountain Gravel and Construction on the property in question.

BOARD MEMBERS


Bill Mollenkopf, Chairman


Bruce Clark


Ed Bonds


Wayne Rust

Original to: Kelly McCabe, Certified #P243331628

Copies to:

E. M. Davis, Certified #P243331629
Cliff Fossom, Certified #P243331627
David Herrick
Thomas Ervin
Mountain Gravel
Al Rhoades, Building Inspector
Jay Baksa, City Manager
Board Members

BOARD OF ADJUSTMENT AND APPEALS

APPELLANTS: Dr. David Herrick and Thomas D. Ervin

RE: Appeal to the Board to revoke the building permit issued to Mountain Gravel and Construction Company, Inc. for the construction and operation of an asphalt hot-mix plant on their property in the northerly portion of Cortez, east of Broadway.

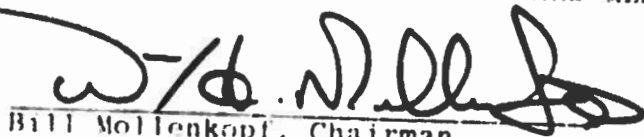
ADDENDUM TO DECISION

With additional review and contemplation of the facts presented in this case, we, the Board, feel that the following should be added to our decision:

"C. In this case there exists an unusual topographic condition which serves to accentuate the effects produced by a hot-mix plant (e.g. the effects of any noise, dust, odor, vibrations produced by said plant) would be enhanced as a result of the unusual lay of the land in this area. In addition, the topography in this case presents an adverse visual impact upon surrounding residents which cannot be eliminated by any reasonable means such as: fencing, screening, or tree-lines. While not called out specifically, we feel this condition bears consideration in order to protect the public's welfare as called out in Sec. 101.3. of the Zoning Ordinance for the City of Cortez.

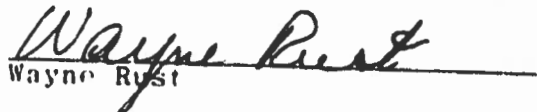
We would also like to correct the wording in our last "finding of fact", which should read: "due to the unusual topography in this specific case, an adverse visual impact does occur, affecting some surrounding land users."

BOARD MEMBERS


Bill Mollenkopf, Chairman


Bruce Clark


Ed Bonds


Wayne Rust

Original to: Kelly McCabe
Copies to:

E. M. Davis
Cliff Fossum
David Herrick
Thomas Ervin
Mountain Gravel
Al Rhoades, Building Inspector
Jay Baksa, City Manager
Board Members



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 09/26/2023

RE: Resolution No. 21, Series 2023

DISCUSSION

The approximately 10-acre parcel located at 1050 Lebanon Road was previously the site of a drive-in theater and has been vacant for a number of years. The Owners/applicants (the "Owners"), who also own the parcel located at 1107 Lebanon Road directly west of this subject property, are already using the property for equipment and material storage for the business. If their rezone request is approved, this application may proceed for consideration. If the application for rezoning is denied, there are portions of this Conditional Use Permit application that staff has determined are not compatible with the existing Commercial "C" zoning. Accordingly, staff cannot recommend that Council approve this CUP application if the property remains in the Commercial "C" zone district.

BACKGROUND

See Attached.

FISCAL IMPACT

Not studied.

RECOMMENDATION

Staff recommends approval of Resolution No.21, Series 2023.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that City Council approve Resolution No. 21, Series 2023, a resolution approving the requested Conditional Use Permit for property located at 1050 Lebanon Road, Cortez, Colorado, with the following conditions:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
- b. Specifically, without limitation, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- c. The Owners shall meet all requirements of the Cortez Sanitation District regarding protection of the manholes and existing sewer line.
- d. The address shall be clearly marked for emergency response.
- e. The Owners shall comply with the submitted project narrative at all times.
- f. Prior to approval of a final site plan for the development, the Owners shall submit a revised plan that complies

with all landscape requirements for the Land Use Code.

g. Prior to approval of a final site plan for the development, the Owners shall propose a fencing plan that adequately screens the outdoor storage uses.

h. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.

i. The following requirements of the Parks and Recreation Department shall be met:

(1) Secure and preserve the water quality of inflow from the Property into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.

(2) Restrict access to the Carpenter Natural Area access drives and parking areas from the equipment, supplies, and deliveries to the Owners' business.

(3) Prevent any waste, construction debris, or other by-products from blowing or coming onto the Carpenter Natural Area or associated areas.

(4) Provide buffer and naturally-oriented visual screening along the Property's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

j. Hours of Operation for noise producing activities such as woodcutting shall be limited to 8:00am to 6:00pm Monday through Friday. Exceptions are allowed for staging of vehicles and equipment during wildfire events.

Attachments

Resolution No. 21, Series 2023

Staff Report

Documentation

**CORTEZ
CITY COUNCIL
RESOLUTION NO. 21, SERIES 2023**

**A Resolution Approving a Conditional Use Permit for an approximately ten-acre parcel
located at 1050 Lebanon Road, Cortez, Colorado**

WHEREAS, the owners/applicants Anthony Moore and Mary Lancaster (the “Owners/applicants”) have applied for a Conditional Use Permit for an equipment storage yard and wood products manufacturing on an approximately ten-acre parcel located at 1050 Lebanon Road, Cortez, Colorado and more particularly described as (the “Property”):

A tract of land in the SW¼ of Section 23, Township 36 North, Range 16 West, N.M.P.M., County of Montezuma, State of Colorado

WHEREAS, the Owners/applicants presented a request and necessary submittal items for review of the Conditional Use Permit application by the City Planning and Zoning Commission at its regular meeting held on June 6, 2023; and

WHEREAS, Land Use Code Section 6.10, Conditional Use Permits, indicates that the owner or developer of a property may request a conditional use permit for development of said property; and

WHEREAS, the Planning and Zoning Commission reviewed the request for a Conditional Use Permit and was unable to achieve a majority vote for a recommendation of approval or denial of the request for a Conditional Use Permit on the Property.

NOW, THEREFORE, BE IT RESOLVED BY THE CORTEZ CITY COUNCIL,

THAT, this Resolution No. 21, Series 2023, establishes the conditions of approval for the issuance of the Conditional Use Permit on the Property; and

THAT, the Conditional Use Permit for the Property is hereby approved by the Cortez City Council, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a conditional use permit:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
- b. Specifically, without limitation, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- c. The Owners/applicants shall meet all requirements of the Cortez Sanitation District regarding protection of the manholes and existing sewer line.

- d. The address shall be clearly marked for emergency response.
- e. The Owners/applicants shall comply with the submitted project narrative at all times.
- f. Prior to approval of a final site plan for the development, the Owners/applicants shall submit a revised plan that complies with all landscape requirements for the LUC.
- g. Prior to approval of a final site plan for the development, the Owners/applicants shall propose a fencing plan that adequately screens the outdoor storage uses.
- h. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.
- i. The following requirements of the Parks and Recreation Department shall be met:
 - (1) Secure and preserve the water quality of inflow from the Property into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
 - (2) Restrict access to the Carpenter Natural Area access drives and parking areas from the equipment, supplies, and deliveries to the Owners/applicants' business.
 - (3) Prevent any waste, construction debris, or other by-products from blowing or coming onto the Carpenter Natural Area or associated areas.
 - (4) Provide buffer and naturally-oriented visual screening along the Property's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.
- j. Hours of Operation for noise producing activities such as woodcutting shall be limited to 8:00am to 6:00pm Monday through Friday. Exceptions are allowed for staging of vehicles and equipment during wildfire events.

MOVED, SECONDED, AND ADOPTED THIS 26th DAY OF SEPTEMBER, 2023

CORTEZ CITY COUNCIL

Rachel B. Medina, Mayor

ATTEST:

Linda L. Smith, City Clerk



*City of Cortez
Community &
Economic
Development Dept.
123 Roger Smith Avenue.
Cortez, CO 81321*

Meeting Date: September 26, 2023
Project No. ZA23-0001

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosedall, Contract City Planner

SUBJECT: Public Hearing on an Application for a Conditional Use Permit for an approximately 10-acre parcel located at 1050 Lebanon Rd., Cortez.

OWNERS/APPLICANTS: Anthony Moore & Mary Lancaster, dba Independent Log Company

ATTACHMENTS: Resolution No. 21, Series 2023
Application Packet



Vicinity Map

BACKGROUND/CODE DISCUSSION

The approximately 10-acre parcel located at 1050 Lebanon Road was previously the site of a drive-in theatre and has been vacant for a number of years. The Owners/applicants (the “Owners”), who also own the parcel located at 1107 Lebanon Road directly west of this subject property, are already using the property for equipment and material storage for the business. They have been cited for code violations for operating without permits. If their rezone request is approved, this application may

proceed for consideration. If the application for rezoning is denied, there are portions of this Conditional Use Permit application that staff has determined are not compatible with the existing Commercial “C” zoning. Accordingly, staff cannot recommend that Council approve this CUP application if the property remains in the Commercial “C” zone district.

Independent Log Company operates as a Fire Mitigation and Response Company with several components (see narrative). They operate and maintain equipment which is used for wildfire response including trucks, trailers, water trucks, earth moving equipment, and chain saws. For the most part, this equipment is off site at wildfire events during the wildfire season and returns for storage during the winter months. The season and amount of events can vary wildly, but has recently been longer and fires are more frequent than in past years. In addition to wildfire response, the company conducts wildfire mitigation services which primarily include tree cutting and thinning services. The cut trees are then brought to their properties, prepared and used in several ways, depending on the quality and size of the product, including log home construction, wood furniture construction, fence materials and firewood. These uses would most likely be considered “manufacturing” in that there are no retail sales of products from the site.

Location/Surrounding Land Uses

The site is bounded on the north by City owned open space, on the west by both Industrial and Commercial zoned land, on the south is both Commercial and R-1, Residential, and on the east is both R-1 Residential and City open space. Access to the property is directly off Lebanon Rd. The adjacent residential properties are somewhat naturally buffered from direct impacts of the use by topography. The adjacent commercial uses are either vacant, or owned and operated by the Owners.

Here is the criteria from the LUC that the Council should consider in reviewing a Conditional Use Permit:

(f) Conditions of Approval. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

- (1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous conditions.
- (2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.
- (3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with the requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.
- (4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.
- (5) Provisions for proper maintenance of the building, parking and loading areas, drives,

lighting, signs, landscaping, etc. shall be provided.

(6) The proposed conditional use shall conform to adopted plans, hours of operation, policies and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

DISCUSSION

Conditional Use Permit:

The Owners' narrative discusses the issues of noise, lighting, smoke, fumes, hours of operation or hazardous materials, stating that the concerns will not be problematic to nearby neighbors. The site plan proposes to add buffering in the form of a significant setback and vegetation adjacent to the open space uses. The adjacent residential properties are proposed to be buffered by significant setbacks. The property would benefit by the addition of fencing, to visually screen outdoor uses from the open space. The significant height distance between the proposed use and the residential properties will make visual screening difficult, if not impossible. The Parks and Recreation Department has requested buffering for adjacent property and natural features, which the Owners have agreed to with based upon the proposed site plan.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

- All situs addresses for both properties are good. Due to hazardous nature of the operation make sure addresses are clearly marked for emergency response.
- A new (additional) address will be assigned to the proposed manufacturing building on PID 561122400044 once a building permit is pulled
- No other concerns

Cortez Sanitation District (Jim Webb)

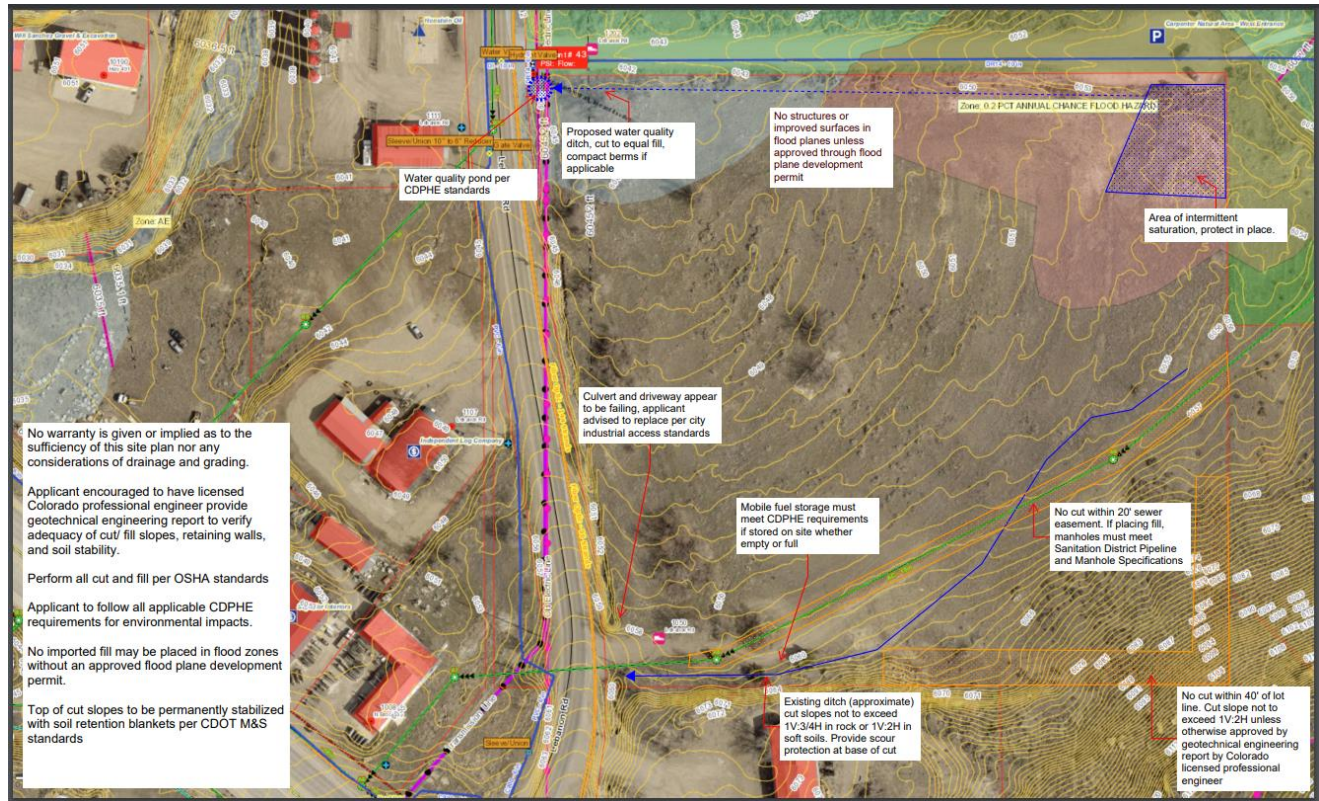
The Sanitation District has some concerns about a couple of exposed manhole covers in this property. Could you please let the owners know that we have a 20' prescriptive easement across this property 10" Each side of the pipe. We have to have access to these manholes and pipeline for normal maintenance. The covers being exposed like they are, can not withstand big equipment hitting them and the buried manholes would not be able to handle a whole lot of abuse either. We would prefer that the easement stay clear of any permanent structures and any stored logs giving us access to the exposed manholes Any time of the day or night. This Sewer main is a major Trunk line for the entire North side of town.



Cortez City Engineer (Kevin Kissler)

Public works staff performed a site visit on 5/19 and a follow up visit on 5/23 of the properties in question. Attached are updated site plans showing field observations and comments for 1050 Lebanon, within are specific engineering concerns and suggestions. The applicant is encouraged to have a Colorado licensed professional engineer certify the adequacy of their installations and earthwork, the attached site plans are not providing or implying warranty or adequacy as to the performance of the installations and earthwork and only reflect a mutual understanding of the work the applicant intends to perform during grading operations.

If they are to eventually propose a structure on any of the filled areas, the city would want to require a soils analysis for any permanent foundations as the placed fill may or may not be unstable. It is my recommendation that the city update as soon as possible the LUC and/ or CDS such that any placed fill greater than 4' in depth should require a geotechnical engineering analysis and design certified by a Colorado licensed professional engineer. This update should also include verbiage that outlines a stop work procedure for clearly defined violations and a formal review and/ or remediation process to bring the work back into compliance.



Cortez Parks and Recreation (Creighton Wright)

As City's primary representative for parks, open space, forestry, and recreation, I desire to be a good neighbor and respectfully ask that Mr. Moore's business ventures don't negatively impact the recreation pursuits of Cortez residents and visitors. While I wholly support the business development opportunities, especially the very cool log homes that Mr. Moore proposes to build, I respectfully request mitigation to support the serene Carpenter Natural Area directly adjacent to the property. The preserve's primary parking lot is directly adjacent to the north of the proposed equipment storage area.

The Carpenter Natural Area is a unique ecological and geologic gem within the City that allows residents and visitors to enjoy the natural scenery and outstanding views without leaving the City. Residents and visitors routinely (some daily) use the space for trail walking, birding, light hiking, mountain biking, and generally, the opportunity to get outside and enjoy nature literally out their back doors. I request mitigation by the adjacent property owner to screen, protect and preserve the natural aesthetic value and uniquely serene environment found at the Carpenter Open Space Preserve.

Requested mitigation:

1. Secure and preserve the water quality of inflow into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
2. Restrict access to preserve drives and parking areas from the equipment, supplies, and deliveries to Mr. Moore's business.
3. Prevent any waste, construction debris, or other by-products from blowing or coming onto the preserve or associated areas.
4. Provide buffer and naturally-oriented visual screening along Mr. Moore's northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

RECOMMENDATION – Conditional Use

Planning and Zoning Commission was unable to make a recommendation due to the inability to achieve a majority vote for either an approval or a denial. Contingent upon a prior approval by City Council of a rezoning of the property from Commercial “C” to Industrial “I,” Staff recommends approval of Resolution No.21, Series 2023. If the City Council concurs with the Staff recommendation, a possible motion for City Council to approve is as follows:

Suggested Motion for Approval:

I move that City Council approve Resolution No. 21, Series 2023, a resolution approving the requested Conditional Use Permit for property located at 1050 Lebanon Rd, Cortez, Colorado, with the following conditions:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
- b. Specifically, without limitation, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- c. The Owners shall meet all requirements of the Cortez Sanitation District regarding protection of the manholes and existing sewer line.
- d. The address shall be clearly marked for emergency response.
- e. The Owners shall comply with the submitted project narrative at all times.
- f. Prior to approval of a final site plan for the development, the Owners shall submit a revised plan that complies with all landscape requirements for the Land Use Code.
- g. Prior to approval of a final site plan for the development, the Owners shall propose a fencing plan that adequately screens the outdoor storage uses.
- h. Pursuant to Section 4.01 of the Cortez Land Use Code, a subdivision plat approved by the City Council shall be required prior to the issuance of a building permit on the Property.
- i. The following requirements of the Parks and Recreation Department shall be met:
 - (1) Secure and preserve the water quality of inflow from the Property into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
 - (2) Restrict access to the Carpenter Natural Area access drives and parking areas from the equipment, supplies, and deliveries to the Owners’ business.
 - (3) Prevent any waste, construction debris, or other by-products from blowing or coming onto the Carpenter Natural Area or associated areas.
 - (4) Provide buffer and naturally-oriented visual screening along the Property’s northern

and eastern property boundary. The proposed naturally-oriented visual screen should be large (20' tall) evergreen trees planted approximately 20' on-center and staggered. The proposed buffer is 50'.

- j. Hours of Operation for noise producing activities such as woodcutting shall be limited to 8:00am to 6:00pm Monday through Friday. Exceptions are allowed for staging of vehicles and equipment during wildfire events.

If the City Council determines that the Resolution should be denied, a possible Motion for Denial is as follows:

I move that City Council deny Resolution No. 21, Series 2023, and deny the requested Conditional Use Permit for property located at 1050 Lebanon Rd, Cortez, Colorado, with the following findings:

- (1) The proposed conditional use has not incorporated design features sufficient to protect adjacent open space and residential uses from the increased visual impact, additional traffic, noise and dust to be generated by the proposed conditional use.
- (2) Adequate provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, and landscaping, have not been provided.
- (3) The proposed open storage of commodities in the Commercial Highway Zone District is in conflict with the Land Use Code Section 5.07(j).

APPLICATION PACKET

Conditional Use Permit Application Checklist

4-23-23

Date

APPLICANT: Anthony Moore
ADDRESS: 1050 Lebanon Road Cortez Colorado 81321
PHONE/FAX: 719-588-3450
FOR: Log Home manufacturing

Submittal Requirements:

X Letter of petition requesting conditional use permit
X Title certificate from licensed title company or attorney listing:
The name of the property owner(s)
All liens
All easements and judgments of record affecting the subject property

The Petition Shall Show or be Accompanied By:

X Street address and legal description of the property
X Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any building or proposed use. Such as floor plans, site plan, or operating information. Provide a detailed narrative addressing the applicable criteria for a CUP, LUC section 6.10(f).
X Filing fee (\$300) to cover the costs of review in accordance with the current adopted fee schedule ✓ #2627

Notification Requirements

Public hearing notice to paper 15 days prior to **P&Z** Meeting (20 days for paper to print on the 15 day schedule)
Notice to landowners 15 days prior to P&Z meeting
Public Hearing notice to paper 15 days prior to **Council** Meeting (20 days for paper to print on the 15 day schedule)

21 March 2023

To Whom It May Concern:

City of Cortez,

This is my request to have a conditional use on

Street Address: 1050 Lebanon Road Cortez Colorado 81321

Legal Description: Section:23 Township :36 Range: 16 TR IN W/2SW/4SW1/4; 9.64 ACRES

Parcel Number: 5611-233-00-003

This property is compatible with adjacent uses and other allowed uses in the zoning district. Coming from highway 491, entering road 25 Lebanon road and entering property first driveway to east. Both roads are main ingress and egress for businesses and residential people coming back and forth to Cortez. The area is very open and visibility is optimal. It backs up against a hill on two sides and the Carpenter beginning trail head is to the North the only access to this property will be from Road 25 at the existing inlet. This property is adjacent to the old Nice Electric property to the South, and West across the street for the old Four Corners Auto electric (owned by Anthony Moore and Mary Lancaster also), and catty corner to Holstein Oil. Further North up the road at the first intersection turning left is Cortez City Industrial Park this area is all Industrial properties with similar uses.

The appearance of this property will not change much as we will be just grading and leveling off the existing uneven dirt from the former Drive-in property and hauling in gravel, the ingress and egress will be the same and will not be impacted. Wildland Firefighting equipment will be stored at this location alongside the North back existing fence and property line. This is a large 10-acre parcel and noise, odors, traffic circulation and parking will be minimal. We are a family owned and operated business.

This property will be used to store logs for Log Home Manufacturing, milling and firewood.

This property is fully fenced all around.

At this time no water and sewer will be needed at this property. We have 54 Wildland firefighting Contracts with the USDA forest service and have ample equipment for fire protection.

This property before we purchased had not been active for 20 years and the homeless were starting to make shelter there.

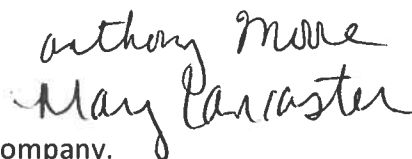
We will comply with all policies and requirement needed for this conditional use.

Sincerely,

Anthony Moore

Mary Lancaster

Independent Log Company.

Handwritten signatures of Anthony Moore and Mary Lancaster in black ink. The signature of Anthony Moore is written above the signature of Mary Lancaster.

Account: R007650

1 of 2 Results [Next->](#)

Location	Owner Information	Assessment History
Situs Address 1050 LEBANON RD	Owner Name MOORE, ANTHONY &	Actual (2023) \$202,440
Tax Area 11001 - DISTRICT 11001	Owner Address PO BOX 1034	Assessed \$58,710
Parcel Number 5611-233-00-003	ALAMOSA, CO 81101	Tax Area: 11001 Mill Levy: 55.380980
Legal Summary Section: 23 Township: 36		Type Actual Assessed Acres SQFT Units
Range: 16 TR IN W/2SW/4SW1/4; 9.64AC		Land \$202,440 \$58,710 9.640 435600.000 1.000
B226 P164 B406 P35		
Account Number R007650		
Account Type VACANT LAND		
Doc Description		

Transfers		
Sale Date	Sale Price	Doc Description
11/25/1996		Quitclaim Deed NoSale
03/25/2010	\$0	Land Survey Deposit Map
01/25/2016	\$3,105	Warranty Deed
04/20/2017		Survey
10/28/2021		SOA
10/28/2021	\$190,000	Special Warranty Deed JT

Tax History		Images
Tax Year	Taxes	
*2023	\$3,251.40	• GIS
2022	\$3,251.72	
* Estimated		



Tax Account

Summary

Account Id R007650
Parcel Number 561123300003
Owners MOORE, ANTHONY &
LANCASTER, MARY
Address PO BOX 1034
ALAMOSA, CO 81101
Situs Address 1050 LEBANON RD CORTEZ
Legal Section: 23 Township: 36 Range: 16 TR IN W/2SW/4SW1/4; 9.64AC B226 P164 B406 P35

Inquiry

As Of 04/14/2023

Payment Type ☐ First
☒ Full

Taxes Due \$3,251.72
Total Due \$3,251.72

Value

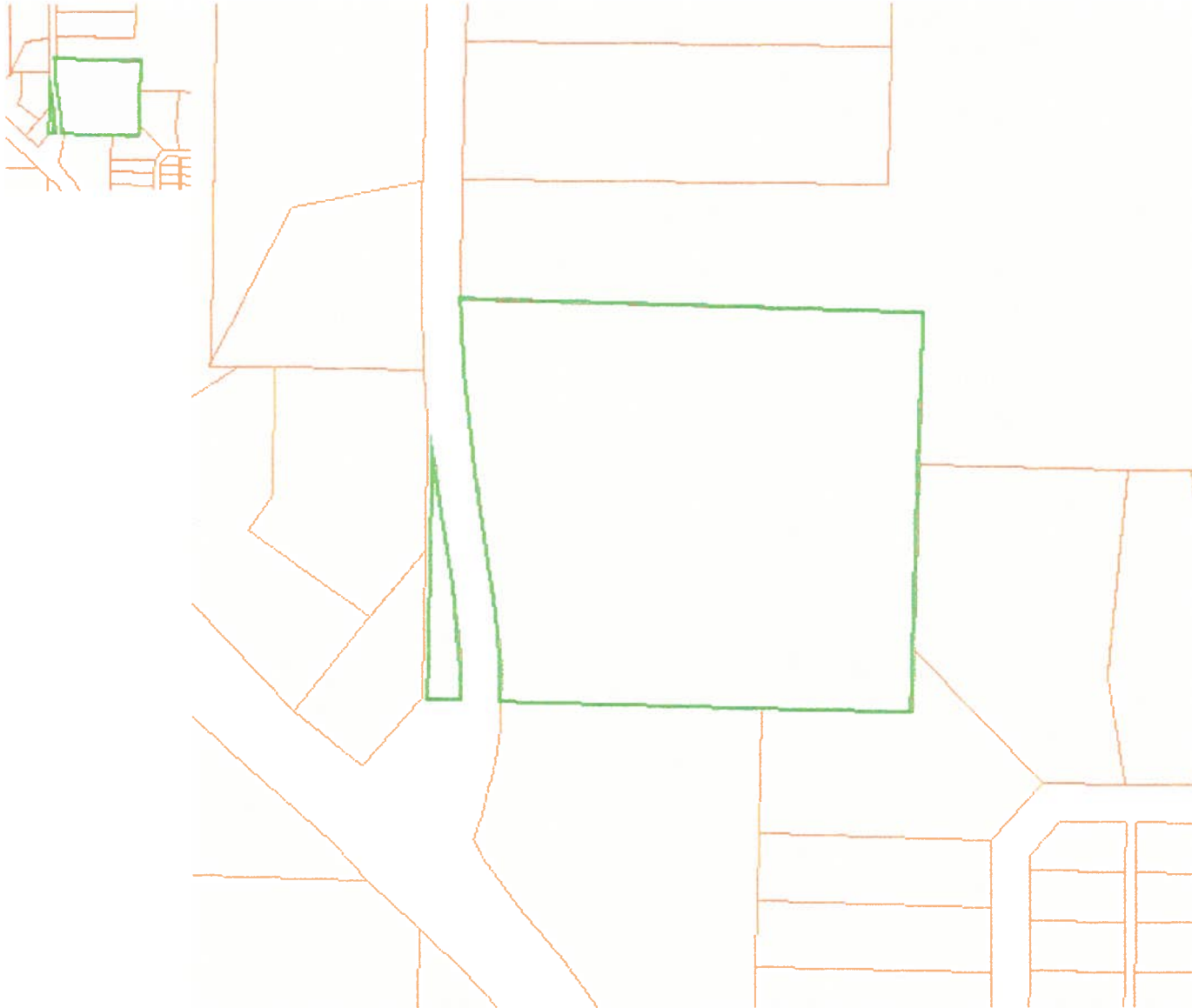
Area Id	Mill Levy	
11001 - DISTRICT 11001	55.3859800	
	Actual	Assessed
VACANT COM LOTS - 0200	202,440	58,710
Taxes		\$3,251.72

The amounts of taxes due on this page are based on **last year's** property value assessments.
For current year values visit the [Montezuma County Assessor's site.](#)

due 5-1-2023

Account: R007650

1 of 2 Results [Next->](#)



NARRATIVE



**Log Home Manufacturing yards
1050 Lebanon Road and 10206 Highway 491 Cortez
Colorado 81321**

We are a family owned and operated business, natives to Cortez Colorado.

We have been generation loggers for over 50 years.

Anthony Moore is a Master Log Crafter, professional logger and Wildland Firefighter.

We will be using this land to store are Wildland firefighting equipment that we use to assist the USDA forest service with our 54 contracts.

We are hopeful for a proposed Wildland Firefighting training facility to help qualify individuals wishing to pursue Wildland Firefighting careers. Anthony Moore is a Task Force Leader and has put out numerous fires in our State and has been awarded medals on the Pine Gulch fire Grand

Junction Colorado 2020 and East Troublesome Fire Granby Colorado 2020, both devastating Colorado fires.

Independent Log Company will be building Swedish Style Cope Log Homes and Timber Frame log homes, at this location. (See Photo 1 and Photo 2)

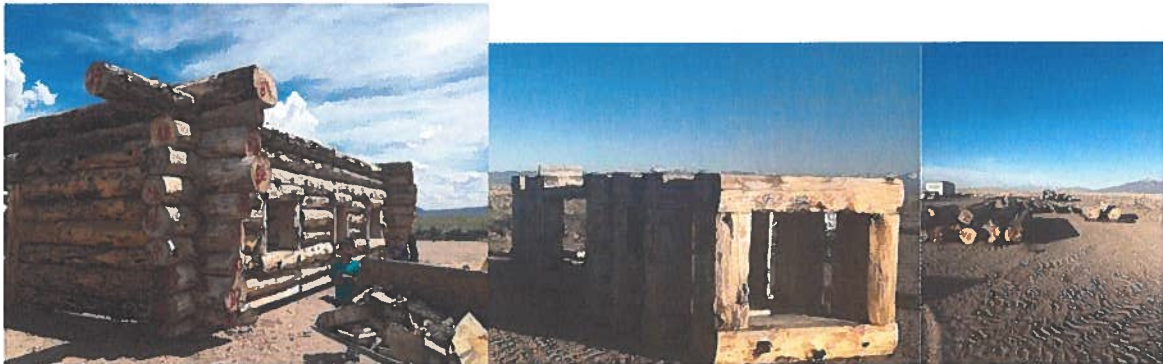
Photo 1 Swedish Cope Log Home by Independent Log Company



Photo 2 Timber framed home by Independent Log Company

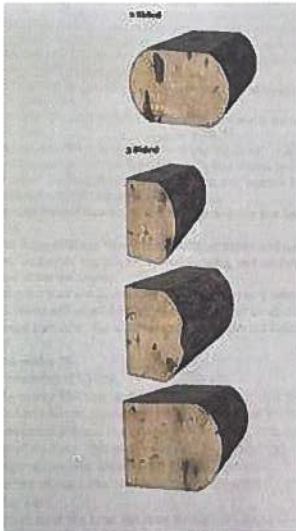
We use top quality logs and most of the work will be done in the yard and then taken down and put on properties.

Swedish Cope Style Log Homes (Think "Lincoln logs")



ILC will be storing logs at this location and a Wood Mizer Mill that will assist in making the 2 sided and 3 sided logs and rough-cut lumber used for our Timber Frame homes. (See Table 1)

Table 1 - 2 sided and 3 sided logs



ILC will also have a Cord King firewood processor at this location for processing the byproduct wood into firewood and this will be available locally.

Cord King Firewood Processor-

Wood Mizer LT40



ILC will take the slab wood that comes off the logs and put that into slab bundles that will be available locally.

Bundles of slab wood



All our sawdust from milling is blown in an enclosed trailer and when this is full, we have numerous individuals that we deliver this too for animal bedding, and landscape projects. No sawdust will be accumulated at our locations.

The amount of noise that will be created for this operation is very minimal mostly due to, this is a wide-open area and sound will go off into many directions and be absorbed into ground you therefore you only end up hearing a small part of it.

Item	Decibels
whisper	15
Lawnmower	75
Car Horn	110
Wood Mizer Mill * on site	75
Cord King Processor *on site	90

We are a family-owned business, and this is our lively hood due to seasons sometimes we work longer hours and sometimes regular hours. You may see us leaving early in the mornings to

beat the thaw and mud and you may see us working late to accommodate break downs or getting dispatched for fires. This area is ideal for this type of operation as Maverick is open 24 hours for fueling and supplies, Meadow gold trucks run at 3:00 in the morning and late at night. We own most of the surrounding land near us and what we do not own business owner's hours are very typical of ours.

ILC will be adding pole barn type lean-to for the wood Mizer and processor to help even more with any noise and for shelter from the elements.



All our wood comes from the local San Juan forests USDA timber sales, and we are a huge part in the removal of this dead and dying wood and keeping the forest healthy.

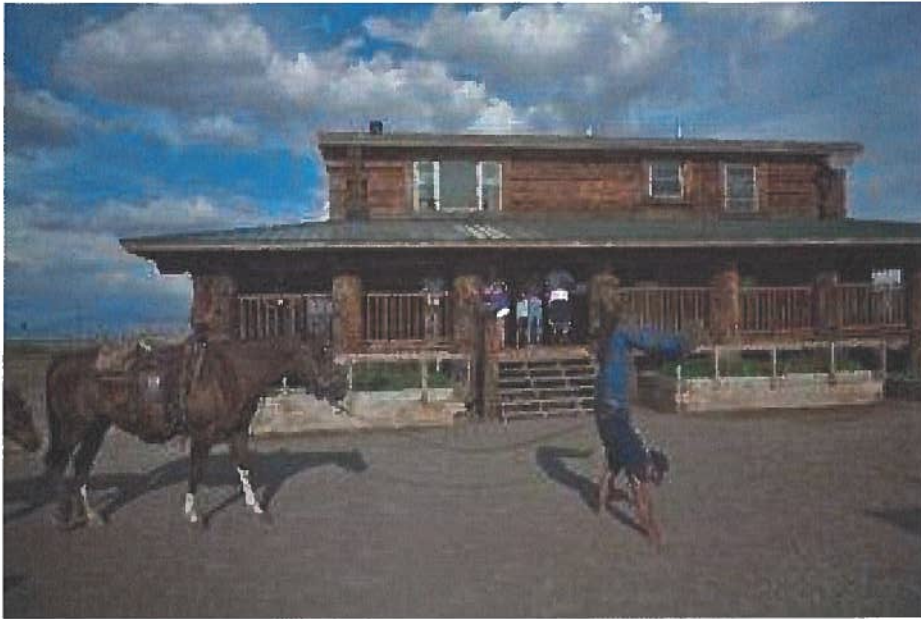
ILC has temporarily and seasonal job opportunities and future full-time positions are expected.

ILC takes pride in keeping things organized and will adhere to any local land use codes and regulations. We keep all our equipment clean and in tip top shape, as it makes our living.

ILC will have limited volumes of boards available and will offer specialty milling such as oversized timber and beams you can't typically get at your local hardware. ILC will also have railings and log home furniture.

Both properties will be used for equipment storage for example water trucks, logging trailers, enclosed trailers, and other equipment we use for firefighting, logging, and log home manufacturing. During the fire season if dispatched or while logging most of this equipment will be gone. Firewood, slabs and rough-cut lumber will be processed and sold locally onsite and delivered. Log home furniture and railing will also be on both locations.

We are looking forward to being a huge asset to Cortez Colorado for future home development and being in your backdoor for Wildland Firefighting.

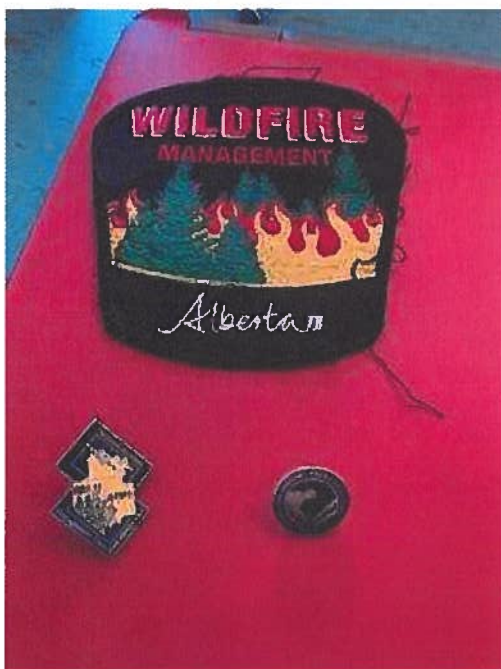
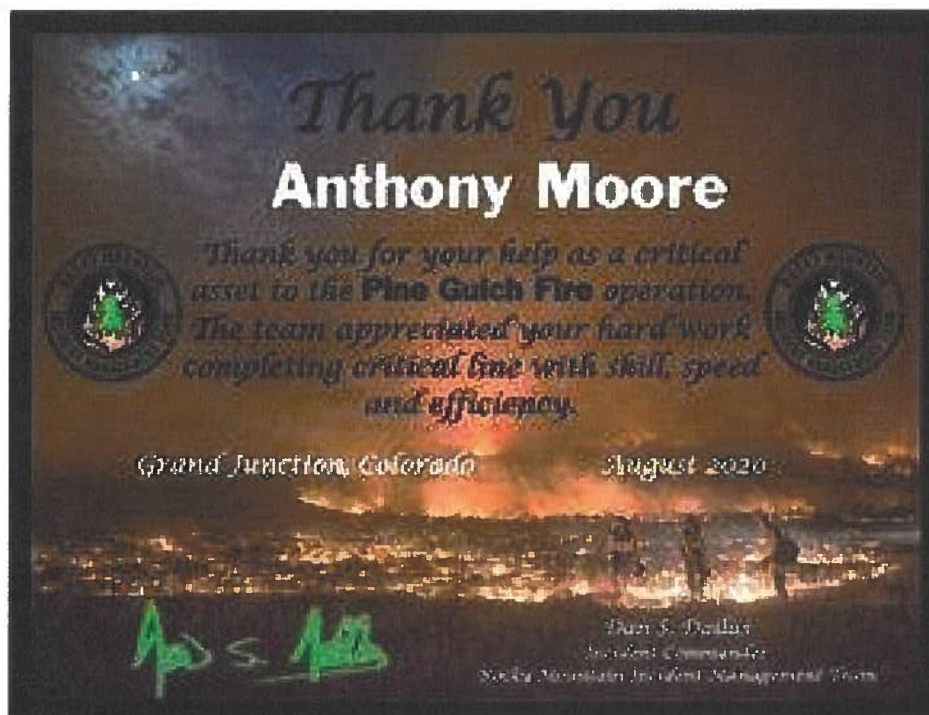


5000 Square foot house by Independent Log Company



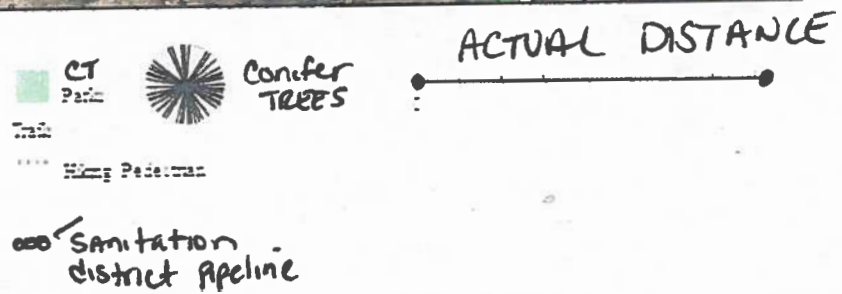
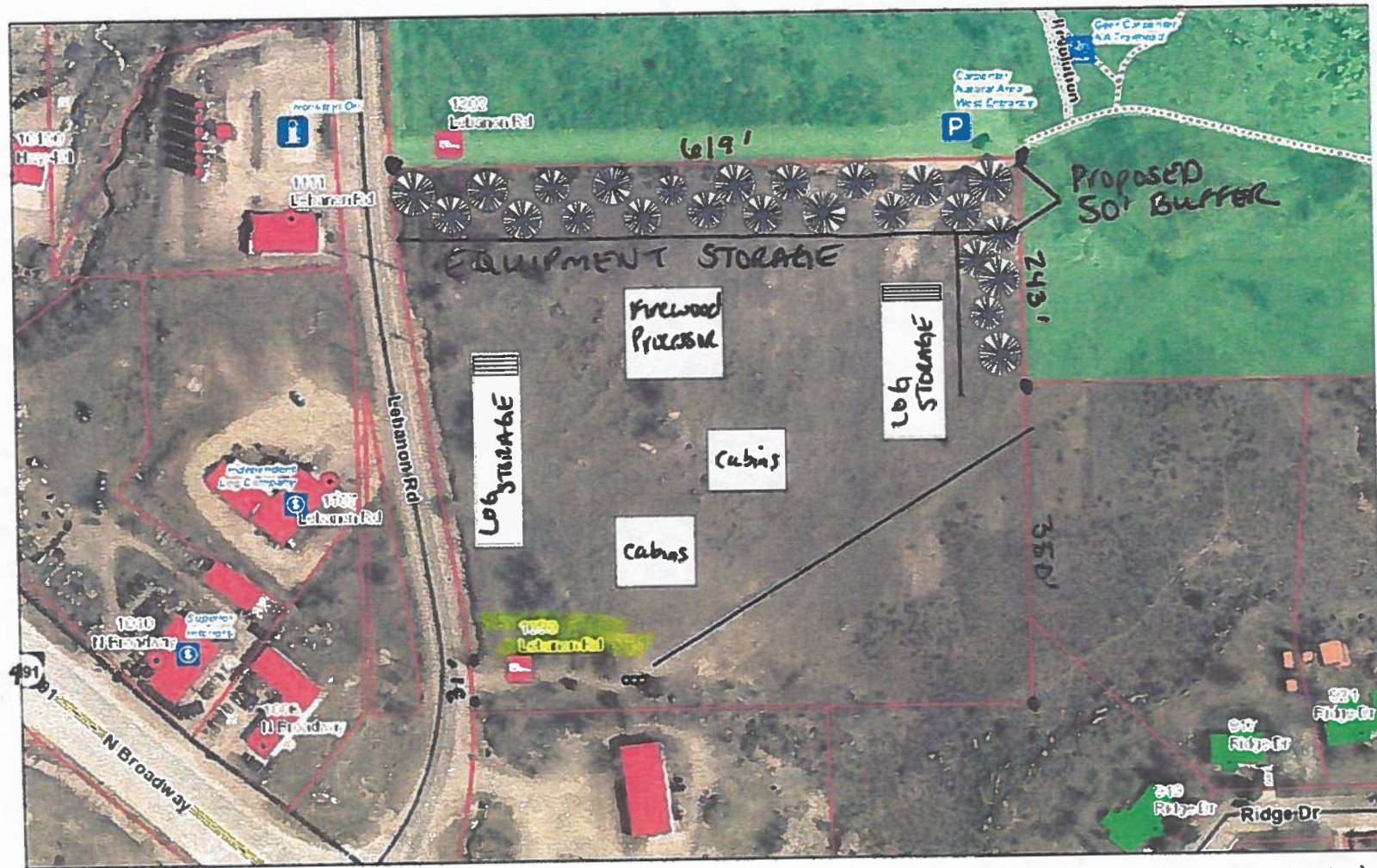
Timber frame package

Awards Given for building Fire line with Dozer that stopped Pine Gulch Fire 2020.



Site Plan

Montezuma County Property 1050 LEBANON ROAD



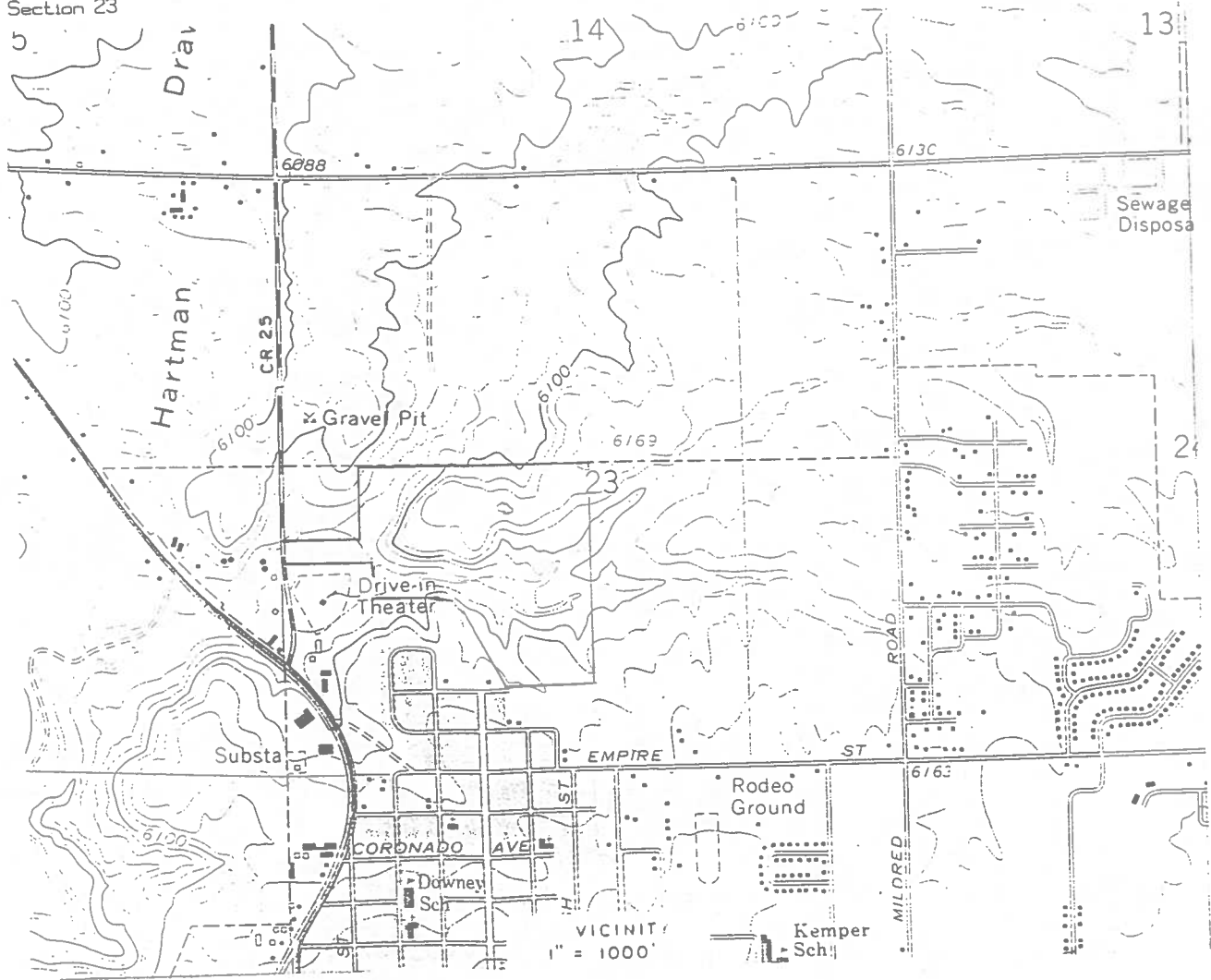
1829.61'

SW corner Section 23

10' N 01' 2

499.70
N 89°52'59" W

81.74
Ches



CATHARINE N. CARPENTER AND 1st NATIONAL BANK OF DENVER
B. 470, P. 535

Te. K.

ALLEN THEATRES, INC.
B. 371 , P 371

NORTHCOTT, INC.
B. 185, P. 154
B. 422, P. 17

W. 500' OF S. 557' OF
NW⁴ SW⁴ SW⁴

NORTHCOTT
TIE TO SW COR SEC. 23-
90°13'08"W - 1224.91'

ALLEN THEATRES
TIE TO SW COR. SEC. 23
80°13'08"W - 1217.00'

SECTION 23

SECTION 22

T36N, R16W, NMPM, MONTEZUMA COUNTY, COLORADO



BASIS OF HEARING IS HEARINGS OF RECORD.

[illegible]

BRITISH Engineering Inc.
CONIFL, COLORADO

BETTY WILLIAMS

23-34-16
OLD DRIVE IN

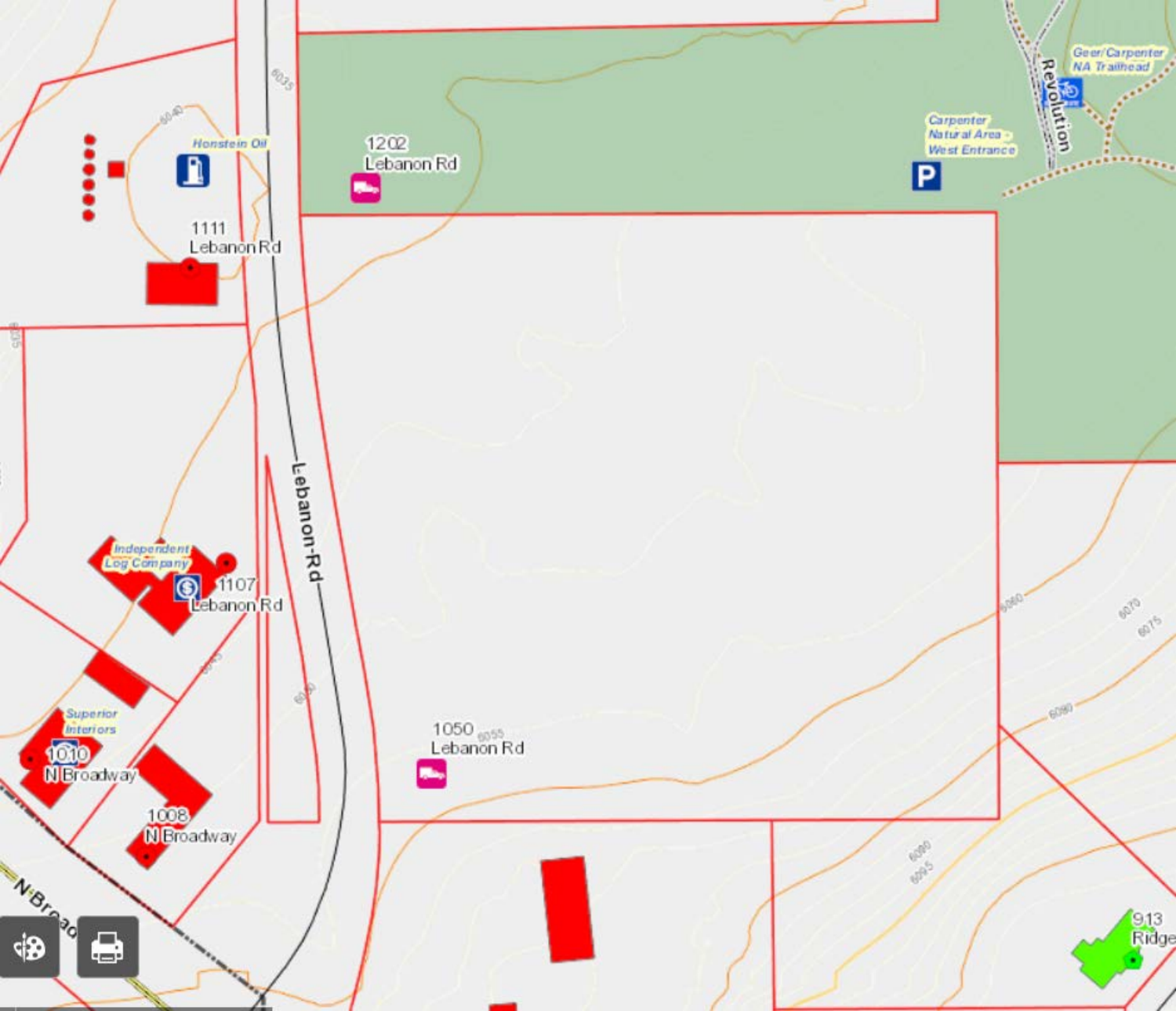
Date 9-20-77

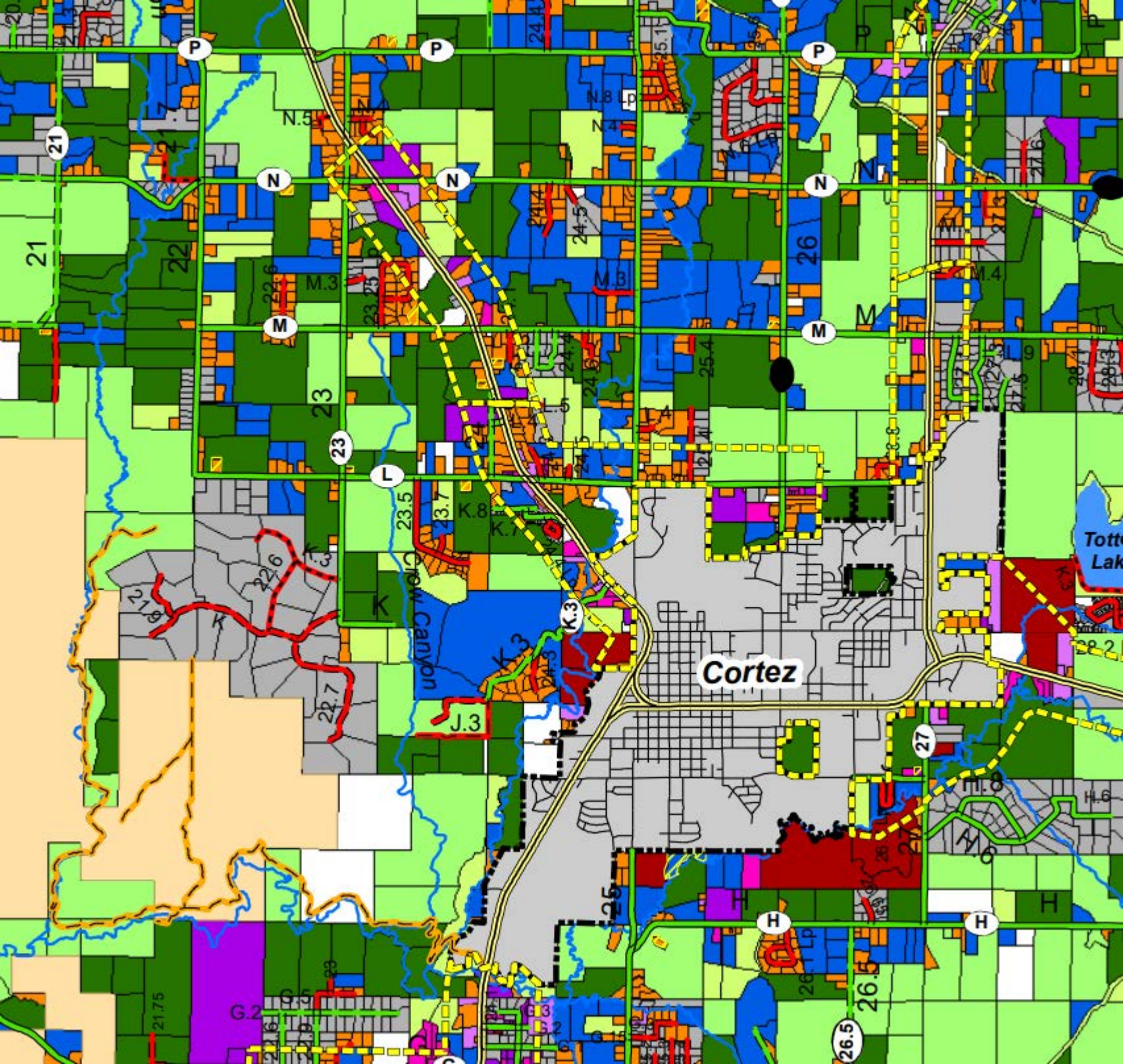
Revised _____

Figure 1

Drawn by _____
File No. _____

ASSOCIATED MAPS

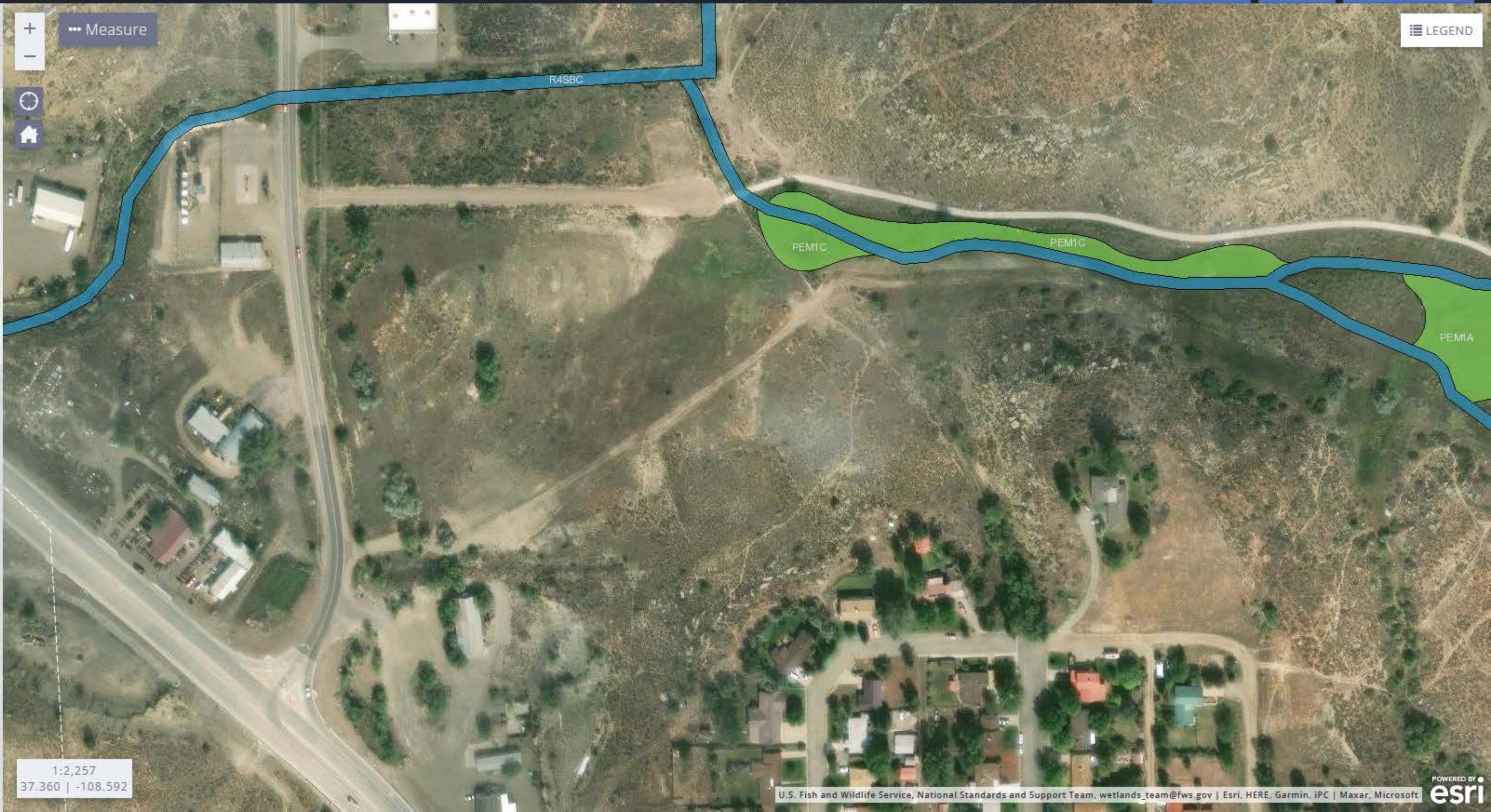




BASEMAPS >

MAP LAYERS >

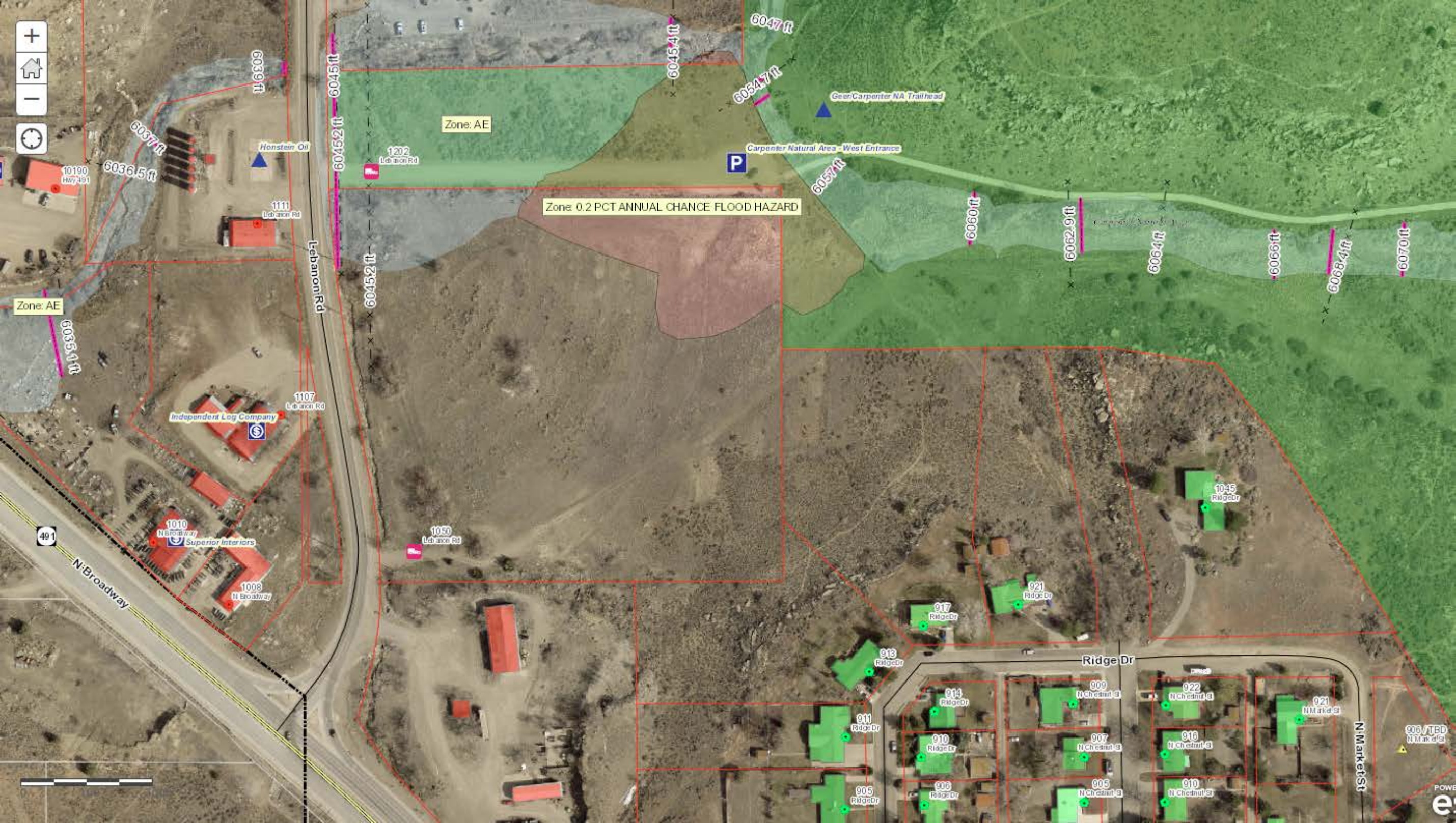
- ☒ Wetlands 1 2
- ☒ Riparian 1 2
- ☐ Riparian Mapping Areas 1 2
- ☒ Data Source 1 2
 - ☐ Source Type
 - ☐ Image Scale
 - ☐ Image Year
- ☐ Areas of Interest 2
- ☐ FWS Managed Lands 1 2
- ☐ Historic Wetland Data 1 2



+ Measure



LEGEND





City of Cortez Address Change:
MOORE, ANTHONY and LANCASTER, MARY
1107 and 1050 Lebanon Rd, Cortez, CO 81321
PID 561122400034 and 561123300003



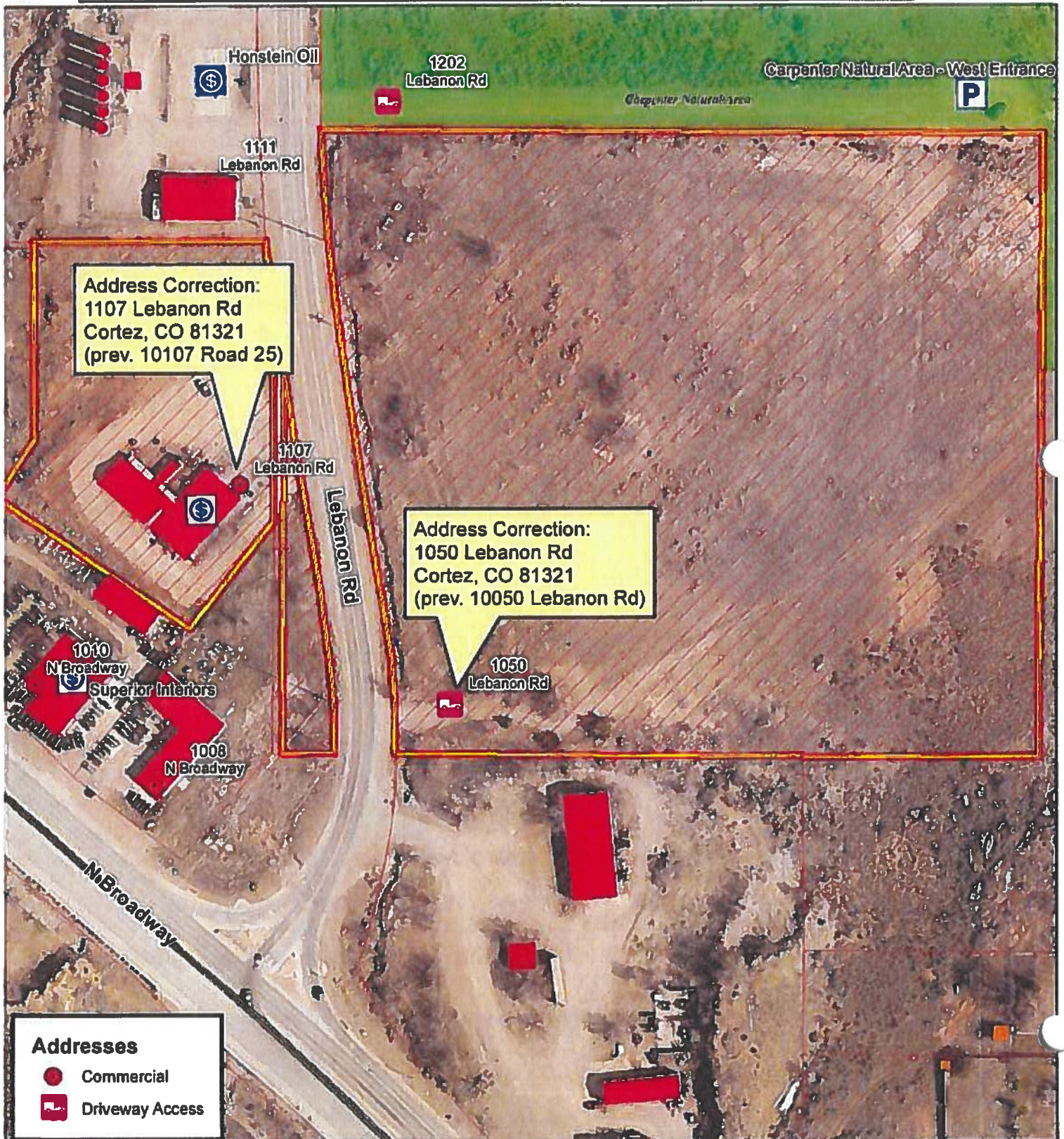
3/31/2027

Subdivision: Tracts in Section: 22 and 23 Township: 36 Range: 16

(Previous address on record were:
10107 Road 25, 10107 Lebanon Rd and 10050 Lebanon Rd)

1 inch = 125 feet

0 25 50 75 100 200 300 400 500 600 700 800 Feet





Honsten Oil



1111
Lebanon Rd

1202
Lebanon Rd



Carpenter
Natural Area
West Entrance

Gear Carpenter
NA Trailhead

Revolution

Lebanon Rd

Independent
Log Company

1107
Lebanon Rd

Superior
Interiors

1010
N Broadway

1008
N Broadway

1050
Lebanon Rd



0 100 200ft

37.36024 -108.59107 Degrees

STAFF PHOTOS

Staff Photo
from
Carpenter
Driveway.
7-28-23



Staff photo
from
Carpenter
Driveway.
7-28-23



Staff photo
from Herbal
Alternatives
Hill
7-28-23



Staff photo
from SE
residential
area.
7-28-23



Staff photo
from
residential
SE area,
7-28-23



Staff Photo
from SE
Residential
Area.
7-28-23



Staff photo
from Target
Rental.
7-28-23



Staff photo
from Target
Rental
7-28-23



Staff
photos
from Target
Rental
7-28-23



LETTERS

FROM

NEIGHBORING

RESIDENTS

Planning and Zoning Commission,

We are unable to attend tonight's Planning and Zoning meeting but wanted to express our support over the zoning change and conditional use permit for the property 1050 Lebanon Road owned and operated by Independent Log Company. The proposed use for the property meets the conditions that are set forth in the land use code for industrial zoning. The property is a compatible use with all the existing zoning of privately owned property surrounding it, including the Industrial Park that is located less than half a mile away from the property. This area of the city was set aside for industrial uses and is a necessary piece to helping our local economy grow and create jobs that are much needed, there is no other part of the city where this property would fit in better.

While we recognize that this property has an adjoining border to the Carpenter/Geer Natural area, so do all of the other industrial zoned properties in the Industrial Park, including properties owned by the City of Cortez which are used as a construction yard and the public works yard. The industrial zoning of this area was set apart before the designation of the adjacent property for being open space and the two areas have coexisted quite well with no adverse effects on either. We also own bordering property to the Carpenter/Geer Natural Area and enjoy observing all of the wildlife in the area and birds that flock to the pond every day and there has been no change to the wildlife patterns since Independent Log Company has purchased their property.

Regarding the comments of noise coming from this property we have not heard of any noise that is excessive or that can be attributed to this property and we are located less than a mile away.

Asking Independent Log Company to bear the burden of buffering from the natural area is not only unjust but also unnecessary. There are no other adjoining properties that have this buffering, including the City of Cortez properties, and there is no place in the land use code that stipulates there must be buffering of the property.

As you make your decision tonight, we remind you that your job as planning and zoning commissioners is to make a decision based off of the facts and if the applicant meets all of the standards that are set forth by the land use code. This decision should not be based off conjecture, emotion or an opinion of the business or business activities but rather the fair and equitable standards that the land use code provides.

We ask that you recommend approval of the change of zoning and conditional use permit to City Council for the property located at 1050 Lebanon Road owned by Independent Log Company as it fits all of the criteria for these uses and is compatible with the surrounding area and would be an asset to our community.

Thank you,

Sheldon and Tiffani Randall

Business and property owners in the City of Cortez



Forest
Service

Region 2
Rio Grande NF

Supervisors Office
1055 9th Street
Del Norte, CO 81132

File Code: 2300

Date: 6/05/2023

Route To: 5100

Subject: Letter of Recommendation, Independent Log Company, Anthony Moore

To: *City of Cortez Council Members*

My name is Charles Michael Simmons but most know me as Skip. I have been employed by the U.S. Forest service for 22 years as a Wildland Firefighter, Hotshot Crew Captain, Engine Captain, Helicopter Manager, Fire Operations Specialist, Division Supervisor, Incident Commander. I have been stationed in Northern California, Southern Oregon, Northern Oregon and Colorado while responding to fires in every western state and most of the rest of the nation as well. I met Anthony Moore, "Tony" on the Pine Gulch fire near Grand Junction, CO in August of 2020. I was the Heavy Equipment Boss and Division Supervisor for Tony and his piece of equipment. I immediately was made aware of the level of expertise and professionalism I was working with by the Colorado Type II Incident Management Team that was currently in charge of the fire. For the next 21 days Tony and myself put dozer line in at night with Hotshot crews and a plethora of other equipment and resources only fulling reenforcing what I had already been told. Tony had his sons with him in his Mechanic support truck that services the Dozer and they also helped anyone else that needed mechanic work on the fire line. A BLM engine was put out of commission due to a faulty water pump head and Tonys sons, with the mechanic truck got it swapped out so we were able to continue suppressing the fire. They did not have to do that nor did they get extra pay for it, they did it because it needed to be done and they had they equipment readily available to help. They were soon put on contract with the fire. Tony was also able to get his "Big Red Water tender" on the fire when we needed it due to its close proximity to the fire. This was invaluable due to the long distance to water sources for the engine. During the 21 days of night shift we successfully protected 100s of homes thanks to the ability to bring water with us as we moved across the landscape burning out around homes at night while having ample water. Tony was recognized by the Type I Incident Commander with a plaque for his excellence and commitment to service during the Pine Gulch Fire.

Tony and his company have every piece of equipment needed to suppress the most intense wildfires. Tony has more experience with fire AND Logging than most companies I have worked with throughout the nation. Usually Logging companies stick to the logging as much as possible as it is more profitable and easier on the equipment. Tony has made a name for himself everywhere I go in Colorado as a firefighter and a logger not just a logger that helps on fires. The ability to have the resources Tony can bring to the fire as close as possible is a very fortunate situation to be in for any community. Tony's equipment is in excellent working condition and because of the support vehicles and people he employees, the equipment is always ready to provide a much-needed public service when called to a fire. I am always hopeful Tony or any of his equipment is on the fires I end up on because I know I will be getting the best available equipment and operators with a high level of expertise to not only suppress the fire but do it safely and efficiently.



Our neighborhood has been a model of these regulations for years. – comfortable, healthy, safe and a pleasant environment; sheltered from incompatible and disruptive activities. *Until Now!*

When it's time to vote and you are weighing your "yah's" or "nah's", please remember the voice of the people of Cortez whom you represent.

The code also states the need to "...minimize conflict with other land uses..."

It is obvious to many of us who live here, and hopefully to those of you who will be voting, that this re-zoning and the possible industrial use of this particular property creates a HUGE level of conflict for many reasons.

AGAIN: We strongly urge the City Council to say, "NO", to the re-zoning of the property and, "NO", to the Conditional use permit. Choose instead to protect and preserve!

We should NOT be changing the zoning to benefit one business, when it doesn't benefit the nearby residential area or the Natural Reserve.

Sincerely,

Residents of 917 Ridge Drive Cortez, CO.

Comments to P and Z and City Council regarding the proposed rezoning of 1050 Lebanon Road.

Teri Paul <portcullis828@gmail.com>

Tue 7/18/2023 2:33 PM

Comments to P and Z and City Council regarding the proposed rezoning of 1050 Lebanon Road.

July 18, 2023

I am a resident of the neighborhood above the property at 1050 Lebanon Road. I represent the Neighbors and Friends of Carpenter. Since the NFC was formed specifically around this issue in early June more people have learned about this proposed zoning change and the outcry has been great and constant. Letters have been sent to city officials and letters and articles have appeared in local newspapers and the issue has been discussed on the radio.

The City's Rezoning Policy Declaration states that rezoning of land is to be discouraged and can only be considered if one or more standards outlined in City Code 6.02 are held to apply to the request.

In the Staff Memo from Planner Nancy Dosdall to the P and Z Commission June 6, 2023* she addressed each of the standards - or justifications - for rezoning. However, NFC disagrees with her reasons.

Criteria A. Was the existing zone for the property adopted in error?

Planning has stated: It does not appear that this property was zoned in error, the area is a mix of industrial and heavy commercial uses. The property is directly adjacent to Industrial, Commercial, Open, and Residential zones.

We agree that the property was not zoned in error and should remain Commercial. Although many would like to see it rezoned to OPEN SPACE and added to the Carpenter Natural Area, thus creating a true buffer for the single-family residential neighborhood and protecting Carpenter from the industrial clutter that is now seen at the main entrance for the Natural Area.

Criteria B. Has there been a change of character in the area (e.g. installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.)?

Planning stated: The most recent new uses in the area are Herbal Alternative and Target Rental. The Herbal Alternative is located on C-zoned property while Target Rental is located on I-zoned property.

We believe that the area *has* changed. It has become *more* important to the city and the neighborhood as a well-used and valued part of the city parks system with a unique natural area that includes rare and endangered plants. It also includes one of the more established residential areas of Cortez that has enjoyed the buffer to the industrial park that this property has provided for more than 28 years. We suggest that the change in character is one which is better served in keeping the zoning at commercial, but an even better solution and one that is desirable to the community would be rezoning it to O(Open space) and adding it to the Carpenter. We encourage the city to explore the idea of a land swap, locating ILC in a location that is more compatible with its surroundings. Further, Planning neglected to add that another commercial business operates directly across the creek to the north of the entrance to Carpenter, the Body by Design Gym.

Criteria C. Is there a need for the proposed rezoning within the area or community?

Planning: The rezoning is being requested to allow for heavy manufacturing use in an area of the city where these types of uses are somewhat common. There are many vacant C-zoned properties in the City, while only a few vacant I-zoned properties exist.

We suggest that the city look into these few vacant I-Zone properties and assist with a land swap.

Criteria D. Are the proposed uses compatible with the surrounding area or uses; will there be adverse impacts; and/or can any adverse impacts be mitigated?

Planning: The area is a mix of land uses, including single-family homes and City-owned/operated open space on the northern and eastern boundaries. Further north, west, and south are heavy commercial uses, most of which include an outdoor storage component. The City Parks and Recreation Department, several users of the open space/trailhead, and nearby residents have expressed concern with the use, although no written letters of opposition were received at the time of preparation of this report (This was as of June 6).

Neighbors and Friends of Carpenter (NFC) believe that the proposed uses are incompatible with the surrounding area and indeed some activities have already caused – in violation without the benefit of permits – the infill and destruction of the wetland which did *not* use to stop at the fence line with the Carpenter Natural Area. Planning has not adequately addressed the problems of noise, lights, time of operation, accumulation of sawdust piles, smoke, exhaust,

- dust, fire, accumulation of debris and discarded equipment, increased traffic of heavy equipment, impact on wildlife, sustainability, and serenity of the natural area, etc.

We believe the proposed uses are incompatible with our homes, and the proposed uses are incompatible with maintaining the sustainability, serenity, character, beauty, and safety of wildlife, of the Carpenter Natural Area.

Criteria E. Will there be benefits derived by the community or area by granting the proposed rezoning?

Planning argued in the memo of June 6 that the use is necessary in this area where wildfire is a constant and concerning threat. The business provides both firefighting and fire mitigation services, and also makes use of all of the by-products, adding value to what can be a difficult waste product to dispose of.

We do not disagree that this business does important and valuable work in firefighting and that they have the right to scavenge waste products removed after a fire to manufacture the products they have described. We DO argue that this is NOT THE PLACE for that business. In terms of jobs provided, a recent meeting with one of the owners informed us that this business is a family business that primarily employs family members. We do not know how many additional non-family member jobs this business plans as a result of rezoning this property.

Rezoning is for the benefit of one company whose operational needs are better set in a location where they do not impact the community. The argument for jobs is just as valid 5-10 miles out of town as it is in the city limits.

The primary benefit is to the landowners who have an interest in having all of their operations in close proximity.

The next pertinent criterion is H.

Criteria H. Does the proposed change constitute "spot zoning?"

- *Planning stated that the property is adjacent to other industrial zoned property so it should not be considered "spot zoning."*

This is not strictly the case. When you look at the city zoning map you will see that Commercial Highway is shown in red on either side of Lebanon Road. Though the city has allowed light to heavy industrial activities on some of this property, Ms Dosdall informed us that these activities were grandfathered in before the zoning and permitting rules changed. Indeed Ms. Dosdall explained at a meeting on July 12 that she made her determination about rezoning by looking at the properties as she drove by, presumably rather than by consideration of the actual zoning that exists. Further, consideration of the neighborhood above was dismissed as being geographically separated by virtue of being on a hill above the log operation property. Noise travels up and out, and smoke and dust travel as the wind blows it.

As such, the property is actually surrounded by Commercial Highway zoned property on the south and west, by Open Space on the north and east, and by R-1 residential on the south and east. The industrial park is to the north and on Blueberry Hill, but it is not adjacent directly to this property.

We believe rezoning from Commercial to Industrial DOES constitute SPOT ZONING and question why there is a push to rezone for this one business. In looking at the city zoning map there are other highway commercial zones in the vicinity, including Body by Design Gym that was inexplicably left out of the Planner's description. We do not see the industrial use on commercial-zoned property on the west side of Lebanon Road as a valid justification for placing an industrial zone next to a residential area and a natural area. Lebanon Road makes a logical boundary.

In conclusion, we have no quarrel with the type of business that ILC wishes to do. We do not believe it is compatible or desirable next to homes or natural areas. Additionally, we are concerned about commercial zoning that, with a conditional use permit, can do nearly the same activities as are allowed on an industrial-zoned property.

The owners purchased this land knowing it was commercial. They should use it as commercial property only.

Thank you,

Teri Paul, Cortez

Dear Linda,

Please include the following letter in the packets for city council members for the August 22 meeting.

Thanks,

Patricia Faulkner

The story is told of a hiker who was hiking on a mountain where it was very cold. He looked down and saw a snake which was unable to move because of the cold. The snake asked the hiker to take him down the mountain where it would be warmer. The hiker told him, "No. You are a rattlesnake and you would bite me." The snake promised he would never do that because, after all, the hiker would have saved the snake's life. After a lengthy discussion the hiker was finally convinced that he could trust the snake. So the two of them trooped down the mountain. When the snake finally got warm, he bit the hiker. In total shock the hiker asked how the snake could do such a thing. The snake responded, "You knew what I was when you picked me up."

Changing the zoning next to Carpenter from commercial to industrial is much like carrying the snake down the mountain: there will be little control over what happens with that land now or in the future.

It also makes no sense to issue a LUP which would allow all the objectionable uses except for storing firewood. Our plea to the city council is "Please don't pick up the snake."

Hopefully the city council will abide by the city's own land use code. Surely ILC can find a more appropriate piece of land to provide a very needed service.

David and Patricia Faulkner



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Rachael Marchbanks
Community/Economic Development Director
123 Roger Smith Ave
Cortez, CO. 81321
rmarchbanks@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Cheryl Lindquist, Permit Technician/Deputy City Clerk

Date: 09/26/2023

RE: Resolution No. 23, Series 2023

DISCUSSION

The applicants/owners, Robert and Lavona Hansen, are proposing to consolidate three existing lots located at 817 N. Sligo (the "Parcels") into one lot. The Parcels are identified as Lots 3, 4 and the West ½ of Lot 5, Block 2, in the Morningside Addition to the Town of Cortez. Lot 3 is currently developed with a single-family dwelling, while the other two Parcels are currently vacant. The Parcels are zoned R-1, Residential Single Family. The resultant lot will total 30,274 sq. ft.

BACKGROUND

See Attached.

FISCAL IMPACT

Not studied

RECOMMENDATION

Staff recommends that City Council approve the Amended Plat for Lots 3, 4, and the West ½ of 5, Morningside Addition to the Town of Cortez, creating Lot 4A, and state any conditions it determines would be necessary to ensure compliance with the Land Use Code.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that City Council approve Resolution No. 23, Series 2023, a resolution approving the Amended Plat for Lots 3,4, and the West 1/2 of 5, Morningside Addition to the Town of Cortez, Colorado, creating Lot 4A, with the following condition:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

Attachments

Resolution No. 23, Series 2023
Staff Report
Documentation

**CORTEZ
CITY COUNCIL
RESOLUTION NO. 23, SERIES 2023**

**A RESOLUTION APPROVING AN AMENDED PLAT, IN THE RESIDENTIAL
SINGLE FAMILY (R-1) ZONING DISTRICT IN CORTEZ, COLORADO**

WHEREAS, Robert and Lavona Hansen, as the owners on record (the “Owners”), have applied for an amended plat of Lots 3, 4, and the West ½ of Lot 5, Block 2, Morningside Addition to the Town of Cortez, according to the plat thereof file for record February 1, 1960 in Book 8 at Page 51 (the “Property”), in the Residential Single Family (R-1) zone district in Cortez, Colorado (the “Property”); and

WHEREAS, Land Use Code Section 6.09, Replats and plat amendments, indicates that the owner or developer of a property may request a plat amendment pursuant to all code requirements; and

WHEREAS, the City Council reviewed the application and proposed plat for a plat amendment for the Property; and

WHEREAS, based on the evidence and testimony presented at the City Council’s September 26, 2023 meeting, Staff recommended certain conditions of approval to be considered by the City Council; and

WHEREAS, it appears that all applicable requirements of the City of Cortez Land Use Code for a plat amendment of the Property have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ CITY COUNCIL:

THAT, this Resolution No. 23, Series 2023, contains the conditions of approval for the plat amendment of the Property; and

THAT, the plat and full application for the Property, and this Resolution, are hereby approved, subject to the following condition to ensure compliance with the standards in the City of Cortez Land Use Code for a preliminary plat:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

AND THAT, the Owners shall coordinate with City Staff to ensure that the conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 26th DAY OF SEPTEMBER 2023.

CORTEZ CITY COUNCIL

Rachael B. Medina, Mayor

ATTEST:

Linda Smith, City Clerk



0006City of Cortez
Community & Economic
Dev. Dept.
123 Roger Smith Avenue
Cortez, CO 81321

Meeting Date: September 26, 2023
Project No. PL23-0006

MEMO

TO: Members of the Cortez City Council

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Application for an amended plat

APPLICANTS/OWNERS: Robert and Lavona Hansen

ATTACHMENTS: Plat, application package

BACKGROUND

The Applicants/owners, Robert and Lavona Hansen, are proposing to consolidate three existing lots located at 817 N. Sligo (the “Parcels”) into one lot. The Parcels are identified as Lots 3, 4 and the West ½ of Lot 5, Block 2, in the Morningside Addition to the Town of Cortez. Lot 3 is currently developed with a single-family dwelling, while the other two Parcels are currently vacant. The Parcels are zoned R-1, Residential Single Family. The resultant lot will total 30,274 sq. ft.

ISSUES

Section 6.09 of the Cortez Land Use Code (“LUC”) states as follows:

(a) Replats and plat amendments shall be subject to all of the requirements of the code regarding preliminary plats and final plats, provided, however, that the city council shall be authorized to approve a replat or plat amendment without notice or hearing where the replat or plat amendment is solely for one or more of the following purposes and does not remove any covenants or restrictions or increase the number of lots. Such approval and issuance shall not require notice, hearing, or approval of other lot owners. Allowable purposes for a replat or plat amendment include to:

- (1) Correct an error in any course or distance shown on the prior plat.
- (2) Add any course or distance that was omitted on the prior plat.
- (3) Correct an error in the description of the real property shown on the prior plat.
- (4) Indicate monuments set after death, disability, or retirement from practice of the engineer responsible for setting the monuments.
- (5) Show the proper location or character of any monument that has been changed in location or character or that originally was shown at the wrong location or incorrectly as to its character on the prior plat.
- (6) Correct any other type of clerical error or omission in the previously approved plat.
- (7) Correct an error in courses and distances of lot lines between two (2) adjacent lots where both lot owners join in the application for plat amendment and neither lot is abolished, provided that such amendment does not have a material adverse effect on the property rights of the owners in the plat.

(8) Relocate a lot line in order to cure an inadvertent encroachment of a building or improvement on a lot line or on an easement.

(9) Relocate or vacate one (1) or more lot lines between one (1) or more adjacent lots and /or parcels or tracts where the owner or owners of all such property join in the application for the plat amendment.

(b) Limitation. In no case shall a plat amendment result in the creation of a lot with less than the minimum lot area required in underlying zone district (see [Section 3.06](#) of this code).

The sole purpose of this Application is to vacate the two existing lot lines and create a new Lot 4A. The resultant Lot 4A will exceed minimum lot area requirements for the R-1 District.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

All ROW dedications and utility easements are carried over from the original Morningside Subdivision plat. No concerns with this lot consolidation. 817 N Sligo Street address in use will carry over to the new lot.

ALTERNATIVES

1. The Council can approve the Amended Plat for Lots 3, 4, and the West ½ of 5, Morningside Addition to the Town of Cortez; or
2. The Council can deny the application for the Amended Plat and state its reasons; or
3. The Council can ask for more information and continue the application to a date certain or table the application; or
4. The Council can approve the Amended Plat for Lots 3, 4, and the West ½ of 5, Morningside Addition to the Town of Cortez, creating Lot 4A, and state any conditions it determines would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative “4” above, approve Resolution No. 23, Series 2023, a resolution approving the Amended Plat for Lots 3, 4, and the West ½ of 5, Morningside Addition to the Town of Cortez, creating Lot 4A, with the condition stated in the Resolution.

If the Council so chooses to follow the recommendation of Staff, a possible motion could be the following:

I move that Council approve Resolution No. 23, Series 2023, a resolution approving the Amended Plat for Lots 3, 4, and the West ½ of 5, Morningside Addition to the Town of Cortez, Colorado, creating Lot 4A, with the following condition:

1. **All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.**

Amended Plat

APPLICANT: Robert M Hansen and Lavona Hansen Living Trust, dated December 15, 2022
APPLICANT EMAIL: _____
MAILING ADDRESS: POB 833
PHONE: 970-394-4084 and 970-394-4085 FAX: _____
PROPERTY ADDRESS: 817 and 823 N. Sligo St Cortez, CO
PROPERTY FOR: creating ONE lot from 817 + 823

Submittal Requirements

- ☒ Letter of petition (Narrative)
☒ Title certificate from a licensed title company or attorney listing:
 - The name of the property owner(s)
 - All liens
 - All easements and judgments of record affecting the subject property
____ Agent Authorization Letter if Applicable
____ Plat
- Boundary lines, bearings and distances
____ Adjacent subdivisions and property owners indicating existing streets, alleys, and other features
____ Intersecting streets
N/A Proposed streets, alleys, and easements
N/A Proposed blocks, lots and parks – with dimensions
N/A 5' intervals of topographic contours
N/A All easements or ROW's necessary for drainage
____ Subdivision title MOANING-SIDE Addition (Existing)
- N/A Land planner or engineer _____ Phone #: _____
- ____ Name and addresses of the owner(s) 817 N. SLIGO ST.
N/A Dedicated parks, playgrounds and other public uses
N/A Scale, north point, date, and other pertinent data
____ Property owner's name, address, and telephone number
N/A A proposed preliminary layout of sanitary sewer and water lines
N/A Drainage report/statement
N/A Wetlands identification
N/A Protective covenants
N/A Proposed land uses EXISTING Residential lots
____ Vicinity map
☒ Application fee \$ 200.00

Owners:
Robert M Hansen 970-394-4084
Lavona Hansen 970-394-4085
817 N Sligo St Cortez


August 25, 2023

RE: Letter of Petition,

To the City of Cortez Council Members:

We, Robert M. Hansen and Lavona Hansen, ask the Cortez City Council to approve combining Lots 3, 4, and the West 1/2 of Lot 5, Block 2, in the Morningside Addition to the Town of Cortez, Creating Lot 4A, Block 2, Section 24, T. 36 N., R. 16 W., NMPM, Montezuma County Colorado for the combined total of 30,274 sq. ft./0.70 acres under the same address: 817 N. Sligo St. as illustrated on the attached 'preliminary' drawing for Reception #649970 and Reception # 649629. Property taxes have already been combined.

Respectfully,

A handwritten signature in blue ink that reads "Robert M. Hansen". The signature is fluid and cursive, with the first name being the most prominent.

8-25-23

Robert M. Hansen, 970-394-4084, P.O. Box 833, 817 N. Sligo St., Cortez 81321

A handwritten signature in blue ink that reads "Lavona Hansen". The signature is cursive and elegant, with the first name being the most prominent. To the right of the signature is the date "8-25-23".

8-25-23

Lavona Hansen, 970-394-4085, P.O. Box 833, 817 N. Sligo St., Cortez, CO, 81321

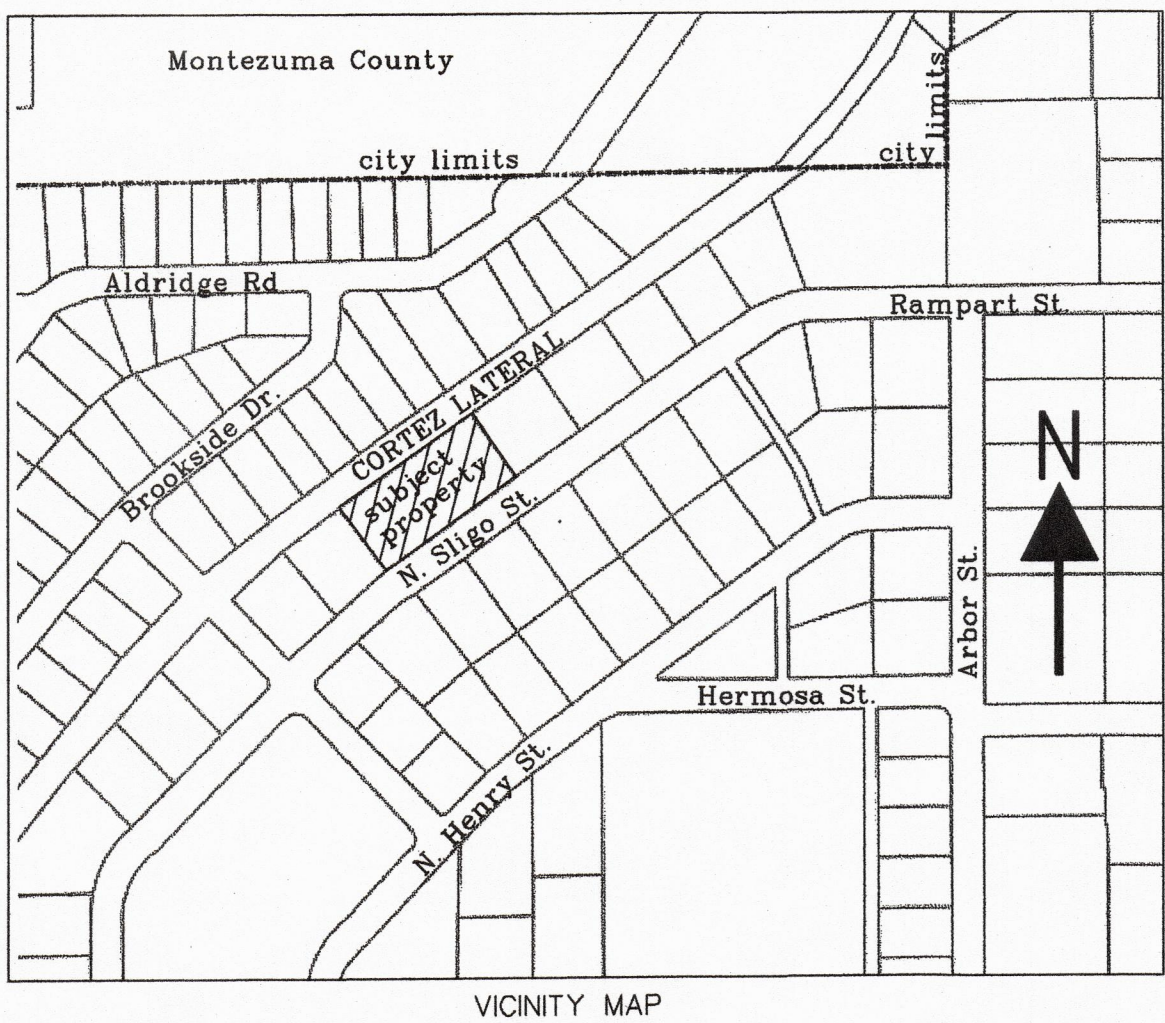
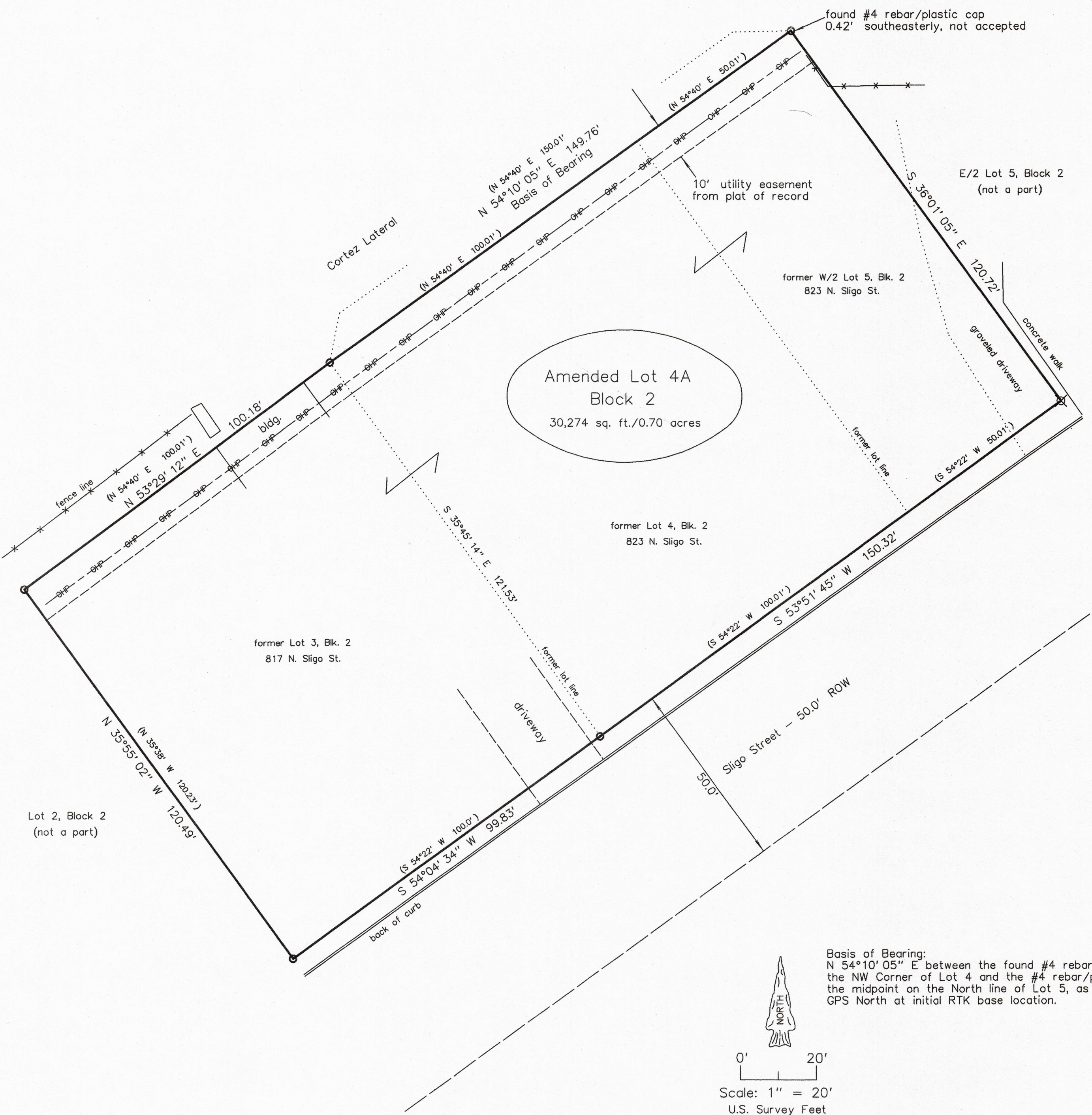


Source: Esri, Maxar, Earthstar, Geographics, and the GIS User Community

AMENDED PLAT OF LOTS 3, 4, and the WEST 1/2 of LOT 5, BLOCK 2
MORNINGSIDE ADDITION to the Town of Cortez, CREATING LOT 4A

Reception #648870 and Reception #649629

SECTION 24, T.36 N., R.16 W., NMPM, MONTEZUMA COUNTY, COLORADO



CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS that the Robert M. Hansen and Lavona Hansen Living Trust, dated December 15, 2022 is the owner of a portion of property in the City of Cortez, Montezuma County, Colorado, being more particularly described as follows:

Lots 3, 4 and W/2 of Lot 5, Block 2, Morningside Addition to the Town of Cortez according to the plat recorded Plat Book 8 Page 51, contained in Section 24, T.36 N., R.16 W., NMPM, Montezuma County, Colorado, Containing 30,274 sq. ft./0.70 acres more or less. SUBJECT TO all easements of record, prescriptive or dedicated herein.

have by these presents laid out, re-subdivided and platted the same into a lot as shown on this plat, under the name and style of AMENDED PLAT OF LOTS 3, 4 and W/2 LOT 5, BLOCK 2, MORNINGSIDE ADDITION, CREATING LOT 4A, and do hereby dedicate to the public utilities those portions labeled as drainage or utility easements on this plat, for the purpose of installation and maintenance of utilities and drainage facilities, including but not limited to electric lines, telephone lines, water lines, sewer lines, gas lines, communication cables, and drainage structures and other utilities as may be necessary, and the right of ingress and egress for the maintenance, operation, repair, and replacement of such utilities, including the right to trim interfering trees and shrubs. Landowner shall maintain easement area clear of buildings and structures. Said easements and rights shall be utilized in a reasonable and prudent manner.

Executed by owner: Robert M. Hansen and Lavona Hansen Living Trust, dated December 15, 2022, by Robert M. Hansen and Lavona Hansen, trustees

Robert M. Hansen, Trustee Lavona Hansen, Trustee

The foregoing dedication was acknowledged before me this day of By Robert M. Hansen and Lavona Hansen as trustees for the Robert M. Hansen and Lavona Hansen Living Trust, dated December 15, 2022.

My commission expires Notary Public

CITY COUNCIL ACCEPTANCE STATEMENT

This plat and the statement hereon are accepted and approved by the City Council of the City of Cortez this day of

Mayor

City Clerk

EASEMENTS ACCEPTED AND APPROVED BY:

City of Cortez, Public Works Atmos Energy
CenturyLink Communications Cortez Sanitation District
Empire Electric Association, Inc.

SURVEYOR'S CERTIFICATE

I do hereby certify to the above signed owner, the Robert M. Hansen and Lavona Hansen Living Trust, dated December 15, 2022, that this plat was prepared from data collected by a survey performed by me, or under my direct supervision, and is correct to the best of my knowledge and belief.

Gerald G. Huddleston - LS 17490 date

ATTEST:
This plat was filed for record in the office of the County Clerk and Recorder of Montezuma County, Colorado, at (a.m., p.m.) on the day of, and duly filed in Plat Book at Page under Reception Number



NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

Robert M. Hansen and Lavonna Hansen Living Trust, dated December 15, 2022

Amended plat of Lots 3, 4 and W1/2 of Lot 5, Block 2, Morningside Addition to the Town of Cortez, Creating Lot 4A Section 24, T.36 N., R.16 W., NMPM, Montezuma County, Colorado

10 July 2023

HUDDLESTON LAND SURVEYING
P.O. Box KK - Cortez, CO 81321 - (970) 565-3330

PRELIMINARY

KNOW ALL MEN BY THESE PRESENTS, that I, GERALD G. HUDDLESTON, Colorado LS 17490, do hereby certify that this plat was prepared from field notes of an actual survey made by me or under my supervision and that the same is true and accurate to the best of my knowledge and belief. This plat is in accordance with applicable standards of practice. This statement is not a guaranty or warranty, either expressed or implied.



Colorado Title & Closing Services - Cortez
631 E. Main Street
Cortez, CO 81321
Phone: (970)564-9770
Fax: (970)564-9769

LAVONA HANSEN
ROBERT M. HANSEN
P.O. BOX 833
CORTEZ, CO 81321

Re: Order No. MO22103688

Dear Lavona and Robert,

Enclosed please find the Owner's Title Insurance Policy issued in connection with the above captioned order.

In accordance with the Financial Services Modernization Act, also known as the Gramm-Leach-Bliley Act, effective July 1, 2001, it is our policy that we will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

We thank you for this opportunity of serving you. If you should have any questions or require further assistance, please do not hesitate to call on us.

Sincerely,

COLORADO TITLE & CLOSING SERVICES, LLC

Policy Department 12/21/21



WESTCOR
LAND TITLE INSURANCE COMPANY

POLICY NO.
OP-6-CO1026-12706059

ALTA OWNER'S POLICY (6-17-06)

ISSUED BY

**WESTCOR LAND
TITLE INSURANCE COMPANY**

OWNER'S POLICY OF TITLE INSURANCE

Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, WESTCOR LAND TITLE INSURANCE COMPANY, a South Carolina corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.

COVERED RISKS Continued on next page

IN WITNESS WHEREOF, WESTCOR LAND TITLE INSURANCE COMPANY has caused this policy to be signed and sealed as of the Date of Policy shown in Schedule A,

Issued By: CO1026 * MO22103688

Colorado Title & Closing Services, LLC

970 Main Avenue
Durango, CO 81301

WESTCOR LAND TITLE INSURANCE COMPANY



By:

Mary O'Donnell

President

Attest:

[Signature]
Secretary

4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

NOTICE CONCERNING FRAUDULENT INSURANCE ACTS

(This Notice is Permanently Affixed Hereto)

It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the department of regulatory agencies.

C. R. S. A. § 10-1-128 (6)(a).

WESTCOR LAND TITLE INSURANCE COMPANY

SCHEDULE A

Order No.: **MO22103688**
Policy No.: **OP-6-CO1026-12706059**

Date of Policy: **August 5, 2021 at 11:53AM**
Amount of Insurance: **\$365,000.00**
Premium: **\$1,328.00**

1. Name of Insured:
LAVONA HANSEN and ROBERT M. HANSEN
2. The estate or interest in the land described herein and which is covered by this policy is:
FEE SIMPLE
3. The estate or interest referred to herein is at Date of Policy vested in:
LAVONA HANSEN and ROBERT M. HANSEN
4. The land referred to in this policy located in the State of Colorado, County of **Montezuma** is described as follows:
Lot 3, Block 2, MORNINGSIDE ADDITION to the Town of Cortez, according to the plat thereof filed for record February 1, 1960 in Book 8 at Page 51.

SCHEDULE B

EXCEPTIONS

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.

NOTE: Real Estate Taxes for the year 2020 are paid. Real Estate Taxes for the year 2021 are not yet due or payable.

6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in Title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records.
7. Easement as described in instrument from John C. Wolf to J. B. Grant Trustee, recorded February 26, 1903 in Book 31 at Page 28.
8. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the plat of Morningside Addition filed for record February 1, 1960 in Book 8 at Page 51, and any appurtenances thereto.
9. Any, tax, assessment, fees or charges, by reason of the inclusion of the subject property in the local street improvement and Cortez Sanitation Districts and any resolutions, ordinances and/or agreements pertaining thereto.

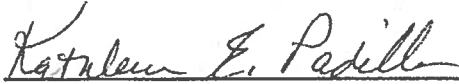
**ENDORSEMENT
Issued by**

WESTCOR LAND TITLE INSURANCE COMPANY

The Policy is hereby amended by deleting paragraph(s) 4 of Schedule B.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

WESTCOR LAND TITLE INSURANCE COMPANY



Authorized Signatory

CLTA Form 110.1
Deletion of Item from Policy (06/03/05)
ALTA or CLTA – Owner or Lender
EN-210 (9/12/07)

Order Number: **MO22103688**
Policy Number: **OP-6-CO1026-12706059**
Insured: **LAVONA HANSEN and ROBERT M. HANSEN**

CONDITIONS AND STIPULATIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
 - (2) if the grantee wholly owns the named Insured,
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public

Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

- (j) "Title": The estate or interest described in Schedule A.
- (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

- (a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or

CONDITIONS AND STIPULATIONS - CONTINUED

damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.
- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

- (i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
- (ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

- (a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of
 - (i) the Amount of Insurance; or
 - (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.
- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,
 - (i) the Amount of Insurance shall be increased by 10%, and
 - (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

- (a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any

method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be

no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: Westcor Land Title Insurance Company, Attn.: Claims, 875 Concourse Parkway South, Suite 200, Maitland, FL 32751.

**ALTA OWNER'S POLICY
(6-17-06)**

**WESTCOR
LAND TITLE
INSURANCE COMPANY**

**OWNER'S POLICY
OF
TITLE INSURANCE**

HOME OFFICE
875 Concourse Parkway South, Suite 200
Maitland, FL 32751
Telephone: (407) 629-5842



Colorado Title & Closing Services - Cortez
631 E. Main Street
Cortez, CO 81321
Phone: (970)564-9770
Fax: (970)564-9769

ROBERT M. HANSEN
LAVONA HANSEN
PO BOX 833
CORTEZ, CO 81321

Re: Order No. MO22203940

Dear Robert and Lavona,

Enclosed please find the Owner's Title Insurance Policy issued in connection with the above captioned order.

In accordance with the Financial Services Modernization Act, also known as the Gramm-Leach-Bliley Act, effective July 1, 2001, it is our policy that we will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

We thank you for this opportunity of serving you. If you should have any questions or require further assistance, please do not hesitate to call on us.

Sincerely,

COLORADO TITLE & CLOSING SERVICES, LLC

A handwritten signature in cursive script, reading "Kathleen E. Padilla".

Policy Department 12/1/22

NOTICE CONCERNING FRAUDULENT INSURANCE ACTS

(This Notice is Permanently Affixed Hereto)

It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the department of regulatory agencies.

C. R. S. A. § 10-1-128 (6)(a).



WESTCOR
LAND TITLE INSURANCE COMPANY

POLICY NO.
OP-3-CO1026-14629305

ALTA - RESIDENTIAL TITLE INSURANCE POLICY
ONE-TO-FOUR FAMILY RESIDENCES (6-1-87)

ISSUED BY
WESTCOR LAND TITLE INSURANCE COMPANY

OWNER'S INFORMATION SHEET

Your Title Insurance Policy is a legal contract between you and Westcor Land Title Insurance Company.

It applies only to a one-to-four family residential lot or condominium unit. If your land is not either of these, contact us immediately.

The Policy insures you against certain risks to your land title. These risks are listed on page one of the Policy. The Policy is limited by:

- Exclusions on page 2
- Exceptions on Schedule B
- Conditions on page 3

You should keep the Policy even if you transfer the title to your land.

If you want to make a claim, see Item 3 under Conditions on page 3

You do not owe any more premiums for the Policy.

This sheet is not your insurance Policy. It is only a brief outline of some of the important Policy features. The Policy explains in detail your rights and obligations and our rights and obligations. Since the Policy—and not this sheet—is the legal document, **YOU SHOULD READ THE POLICY VERY CAREFULLY.**

If you have any questions about your Policy, contact:

Westcor Land Title Insurance Company

875 Concourse Parkway South, Suite 200, Maitland, FL 32751

IN WITNESS WHEREOF, WESTCOR LAND TITLE INSURANCE COMPANY has caused this policy to be signed and sealed as of Date of Policy shown in Schedule A.

Issued By: CO1026 * MO22203940

Colorado Title & Closing Services, LLC

970 Main Avenue
Durango, CO 81301

WESTCOR LAND TITLE INSURANCE COMPANY



By:

Mary O'Donnell

President

Attest:

[Signature]

Secretary

TABLE OF CONTENTS

OWNER'S INFORMATION SHEET	1
COVERED TITLE RISKS	2
COMPANY'S DUTY TO DEFEND AGAINST COURT CASES	2
SCHEDULE A	insert
Policy Number, Date and Amount	
1. Name of Insured	
2. Interest in Land Covered	
3. Description of the Land	
SCHEDULE B-EXCEPTIONS	insert
EXCLUSIONS	2
CONDITIONS	3
1. Definitions	3
2. Continuation of Coverage	3
3. How to Make a Claim	3
4. Our Choices When You Notify Us of a Claim	3
5. Handling a Claim or Court Case	3
6. Limitation of the Company's Liability	3
7. Transfer of Your Rights	3
8. Arbitration	4
9. Our Liability is Limited to This Policy	4

OWNER'S COVERAGE STATEMENT

This policy insures your title to the land described in Schedule A--if that land is a one-to-four family residential lot or condominium unit.

Your insurance, as described in this Coverage Statement, is effective on the Policy Date shown in Schedule A.

Your insurance is limited by the following:

- Exclusions on page 2
- Exceptions in Schedule B
- Conditions on page 3

We insure you against actual loss resulting from:

- any title risks covered by this Policy--up to the Policy Amount and
- any costs, attorneys' fees and expenses we have to pay under this Policy

COVERED TITLE RISKS

This Policy covers the following title risks, if they affect your title on the Policy Date.

1. Someone else owns an interest in your title.
2. A document is not properly signed, sealed, acknowledged, or delivered.
3. Forgery, fraud, duress, incompetency, incapacity or impersonation
4. Defective recording of any document.
5. You do not have any legal right of access to and from the land.
6. There are restrictive covenants limiting your use of the land.
7. There is a lien on your title because of:
 - a mortgage or deed of trust

- a judgment, tax, or special assessment
 - a charge by a homeowner's or condominium association
8. There are liens on your title, arising now or later, for labor and material furnished before the Policy Date--unless you agreed to pay for the labor and material.
 9. Others have rights arising out of leases, contracts or options.
 10. Someone else has an easement on your land.
 11. Your title is unmarketable, which allows another person to refuse to perform a contract to purchase, to lease or to make a mortgage loan.
 12. You are forced to remove your existing structure--other than a boundary wall or fence--because:
 - it extends on to adjoining land or on to any easement
 - it violates a restriction shown in Schedule B
 - it violates an existing zoning law
 13. You cannot use the land because use as a single-family residence violates a restriction shown in Schedule B or an existing zoning law.
 14. Other defects, liens, or encumbrances

EXCLUSIONS

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
 - land use
 - improvements on the land
 - land division
 - environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.

This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

2. The right to take the land by condemning it unless:
 - a notice of exercising the right appears in the public records on the Policy Date
 - the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
3. Title Risks:
 - that are created, allowed, or agreed to by you
 - that are known to you, but not to us, on the Policy Date--unless they appeared in the public records
 - that result in no loss to you
 - that first affect your title after the Policy Date--this

does not limit the labor and material lien coverage in Item 8 of Covered Title Risks

4. Failure to pay value for your title.
5. Lack of a right:
 - to any land outside the area specifically described and referred to in Item 3 of Schedule A; or
 - in streets, alleys, or waterways that touch your land

This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

COMPANY'S DUTY TO DEFEND AGAINST COURT CASES

We will defend your title in any court case as to that part of the case that is based on a Covered Title Risk insured against by this Policy. We will pay the costs, attorneys' fees, and expenses we incur in that defense.

We can end this duty to defend your title by exercising any of our options listed in Item 4 of the Conditions.

This policy is not complete without Schedules A and B.

CONDITIONS

1. DEFINITIONS

- a. Easement – the right of someone else to use your land for a special purpose.
- b. Land – the land or condominium unit described in Schedule A and any improvements on the land which are real property.
- c. Mortgage – a mortgage, deed of trust, trust deed or other security instrument.
- d. Public Records – title records that give constructive notice of matters affecting your title – according to the state statutes where your land is located.
- e. Title – the ownership of your interest in the land, as shown in Schedule A.

2. CONTINUATION OF COVERAGE

This Policy protects you as long as you:

- own your title; or
- own a mortgage from anyone who buys your land; or are liable for any title warranties you make

This Policy protects anyone who receives your title because of your death.

3. HOW TO MAKE A CLAIM

a. You Must Give The Company Notice Of Your Claim

If anyone claims a right against your insured title, you must notify us promptly in writing. Send the notice to: Westcor Land Title Insurance Company, Attn: Claims Department, 875 Concourse Parkway South, Suite 200, Maitland, FL 32751. Please include the Policy number shown in Schedule A and the county and state where the land is located.

Our obligation to you could be reduced if:

- you fail to give prompt notice; and
- your failure affects our ability to dispose of or to defend you against the claim.

b. Proof Of Your Loss Must Be Given To The Company

You must give us a written statement to prove your claim of loss. This statement must be given to us not later than 90 days after you know the facts which will let you establish the amount of your loss.

The statement must have the following facts:

- the Covered Title Risks which resulted in your loss

- the dollar amount of your loss
- the method you used to compute the amount of your loss

You may want to provide us with an appraisal of your loss by a professional appraiser as a part of your statement of loss.

We may require you to show us your records, checks, letters, contracts, and other papers which relate to your claim of loss. We may make copies of these papers.

We may require you to answer questions under oath.

Our obligation to you could be reduced if you fail or refuse to:

- provide a statement of loss; or
- answer our questions under oath; or
- show us the papers we request, and
- your failure or refusal affects our ability to dispose of or to defend you against the claim.

4. OUR CHOICES WHEN YOU NOTIFY US OF A CLAIM

After we receive your claim notice or in any other way learn of a matter for which we are liable, we can do one or more of the following:

- a. Pay the claim against your title.
- b. Negotiate a settlement.
- c. Prosecute or defend a court case related to the claim.
- d. Pay you the amount required by this Policy.
- e. Take other action which will protect you.
- f. Cancel this policy by paying the Policy Amount, then in force, and only those costs, attorneys' fees and expenses incurred up to that time which we are obligated to pay.

5. HANDLING A CLAIM OR COURT CASE

You must cooperate with us in handling any claim or court case and give us all relevant information.

We are required to repay you only for those settlement costs attorneys' fees and expenses that we approve in advance.

When we defend your title, we have a right to choose the attorney.

We can appeal any decision to the highest court. We do not have to pay your claim until your case is finally decided.

6. LIMITATION OF THE COMPANY'S LIABILITY

- a. We will pay up to your actual loss or the Policy Amount in force when the claim is made—whichever is less.
- b. If we remove the claim against your title within a reasonable time after receiving notice of it, we will have no further liability for it. If you cannot use any of your land because of a claim against your title, and you rent reasonable substitute land or facilities, we will repay you for your actual rent until:
 - the cause of the claim is removed; or
 - we settle your claim
- c. The Policy Amount will be reduced by all payments made under this policy—except for costs, attorneys' fees and expenses.
- d. The Policy Amount will be reduced by any amount we pay to our insured holder of any mortgage shown in this Policy or a later mortgage given by you.
- e. If you do anything to affect any right of recovery you may have, we can subtract from our liability the amount by which you reduced the value of that right.

7. TRANSFER OF YOUR RIGHTS

When we settle a claim, we have all the rights you had against any person or property related to the claim. You must transfer these rights to us when we ask, and you must not do anything to affect these rights. You must let us use your name in enforcing these rights.

We will not be liable to you if we do not pursue these rights or if we do not recover any amount that might be recoverable.

With the money we recover from enforcing these rights, we will pay whatever part of your loss we have not paid. We have a right to keep what is left.

8. ARBITRATION

If it is permitted in your state, you or the Company may demand arbitration.

The arbitration shall be binding on both you and the Company. The arbitration shall decide any matter in dispute between you and the Company.

The arbitration award may:

- include attorneys' fees if allowed by state law
- be entered as a judgment in the proper court.

The arbitration shall be under the Title Insurance Arbitration Rules of the American Arbitration Association. You may choose current Rules or Rules in existence on Policy Date.

The law used in the arbitration is the law of the place where the property is located.

You can get a copy of the Rules from the Company.

9. OUR LIABILITY IS LIMITED TO THIS POLICY

This Policy, plus any endorsements, is the entire contract between you and the Company. Any claim you make against us must be made under this Policy and is subject to its terms.

ALTA - RESIDENTIAL
TITLE INSURANCE POLICY
ONE-TO-FOUR FAMILY RESIDENCES
(6-1-87)

WESTCOR
LAND TITLE
INSURANCE COMPANY

POLICY
OF
TITLE INSURANCE

HOME OFFICE
875 Concourse Parkway South, Suite 200
Maitland, FL 32751
Telephone: (407) 629-5842

BJO

WESTCOR LAND TITLE INSURANCE COMPANY

SCHEDULE A

Order No.: **MO22203940**
Policy No.: **OP-3-CO1026-14629305**

Date of Policy: **November 14, 2022 at 2:12PM**
Amount of Insurance: **\$65,000.00**
Premium: **\$775.00**

1. Name of Insured:

ROBERT M. HANSEN and LAVONA HANSEN

2. Your interest in the land covered by this policy is: **FEE SIMPLE**

3. The land referred to in this policy located in the State of Colorado, County of **Montezuma** is described as follows:

Lot 4 and the W1/2 of Lot 5, Block 2, MORNINGSIDE ADDITION to the Town of Cortez, according to the plat thereof filed for record February 1, 1960 in Book 8 at Page 51.

SCHEDULE B

EXCEPTIONS

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.

NOTE: Real Estate Taxes for the year 2021 are paid. Real Estate Taxes for the year 2022 are not yet due or payable.

2. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the public records.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easement as described in instrument from John C. Wolf to J. B. Grant Trustee, recorded February 26, 1903 in Book 31 at Page 28.
5. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the plat of Morningside Addition filed for record February 1, 1960 in Book 8 at Page 51, and any appurtenances thereto.
6. Any, tax, assessment, fees, or charges, by reason of the inclusion of the subject property in the local street improvement and Cortez Sanitation Districts and any resolutions, ordinances, and/or agreements pertaining thereto.

ENDORSEMENT

Issued by

WESTCOR LAND TITLE INSURANCE COMPANY

The Policy is hereby amended by deleting paragraph(s) 3 of Schedule B.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

WESTCOR LAND TITLE INSURANCE COMPANY

Authorized Signatory

CLTA Form 110.1
Deletion of Item from Policy (06/03/05)
ALTA or CLTA – Owner or Lender
EN-210 (9/12/07)

Order Number: **MO22203940**

Policy Number: **OP-3-C-01026-14629305**



DEPARTMENT OF PLANNING & BUILDING
123 ROGER SMITH AVE, CORTEZ, CO 81321
PH. 970-565-3402 FAX 970-565-8172
24 HR. INSPECTION LINE: 970-564-4071

City of Cortez
Amended Plats and/or RePlats Plumbing Permit
22-000375

File Number:

Permit Number:
PL23-000006

Project Address: 817 Sligo Street

Legal Description: Subdivision: MORNINGSIDE Lot: 3 Block: 2 B 503 P 533 B 567 P 674

Owner:

Name: HANSEN, LAVONA & ROBERT M.
Address: 817 SLIGO STREET
CORTEZ, CO 81321

Phone:

Contractor:

Name: [Ppermit::3796::16441::\BUSINESS_NAME\]]

Phone:

[Ppermit::3796::16441::\WORK_PHONE\]]

Project Description: join 817 & 823 N Sligo into one lot

Other Permit #'s:

Fees:

Description

**Total Date
Cost**

Type

Reference Receipt ReceivedFrom Amount

Amended Plats
and / or Replats

200.00

08/25/2023 Check 4180

215

HANSEN,
LAVONA &
ROBERT M.

200.00

Permit Total: 200.00

Total Paid: 200.00

Balance Due: 0.00

Payments:

Per CRS 12-58-113, only licensed plumbers may perform plumbing work if the property or residence is intended for resale, rental, or is a commercial structure. All demolition/waste materials are required to be disposed of in accordance with State Regulations. For more information, please contact the Colorado Department of Public Health and Environment at 303-692-2000. Electrical work must be permitted through the State of Colorado by contacting DORA at 970-259-6179.

The issuance of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the building code or of any other ordinance of this jurisdiction. The issuance of a permit shall not prevent the City of Cortez from requiring the correction of errors in the construction documents or at the jobsite in order to achieve code compliance.

Authorized Agent

Cheryl Lindquist

Date

8/25/23

Issued By

Date

Receipt No: 30.002583

Aug 25, 2023

Robert Hansen

Building Permits - Plans & Maps PL23-6	200.00
--	--------

Total:	200.00
--------	--------

Check	Check No: 4180	200.00
-------	----------------	--------

Payor: Robert Hansen

Total Applied:	200.00
----------------	--------

Change Tendered:	.00
------------------	-----

08/25/2023 9:42 AM



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Brian Peckins
Director of Public Works
110 West Progress Circle
Cortez, CO. 81321
bpeckins@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: Dona Thompson, Administrative Assistant/Public Works

Date: September 15, 2023

RE: Resource Central Quote for Turf Replacement Program Services

DISCUSSION

Public Works searched for Turf Replacement Program (TRP) development service providers in the local area as well as elsewhere in Colorado. The Colorado Water Conservation Board (CWCB) references Resource Central as an approved partner and resource for TRP services. For TRP services comparison, Public Works contacted Resource Central, Montrose County, Plant Select, CSU Extension, EPA WaterSense, and reviewed information for the Town of Erie and the City of Lafayette. The investigation by Public Works determined that all sources provided resource information and cost comparison, but Resource Central was the only one that provided program development and administrative services.

Resource Central's proposal consisted of a one-time \$10,000 development fee and a \$3,000 participant fee for an estimated 30 applicants; their work scope is attached. After initial development, Resource Central's annual cost will be around \$10,000 or less. Grant funding will cover \$5,000 and the City of Cortez will provide \$5,000 of budget or in-kind funding. Resource Central's proposed cost of \$10,000 was the same cost Montrose County budgeted for in-house program administration. Per Resolution No. 34, Series 2001, this contract amount is below the approval level for formal bid requirements.

BACKGROUND

Following citizen requests and the intent of the Water Conservation Plan, Public Works is planning to develop and implement a Turf Replacement Program (TRP). Public Works applied for and received a \$40,000 TRP grant from the Colorado Water Conservation Board (CWCB) for development and implementation. Since the Public Works Department has staffing limitations, Public Works conducted a TRP service provider search and chose Resource Central as the best option for that task.

FISCAL IMPACT

The TRP grant requires a dollar-for-dollar match. As part of Public Works' TRP grant planning process, the Water Department set aside \$40,000 in 2023 budgeted funds for the grant match. The grant also allows services in kind as a match. Public Works plans on providing inspection services, and Parks and Recreation plans on providing landscaping and irrigation improvement services. With \$40,000 set aside of 2023 budgeted funds and \$40,000 grant from CWCB totaling \$80,000, Public Works feels this is adequate to fulfill the proposed TRP scope of work by the grant funding distribution deadline date of June 30, 2025, without requiring additional City funding.

RECOMMENDATION

Public Works Staff recommends contracting with Resource Central to provide turf replacement program

development and administrative services for a period not to exceed June 30, 2025

MOTION

If agreed upon by the City Council, a possible motion would be: I make a motion that City Council authorize the City Manager to enter into a contract with Resource Central to provide turf replacement program development and administrative services for a period not to exceed June 30, 2025 (TRP grant fund distribution deadline).

Attachments

Resource Central - Pilot Program for Lawn Replacement

Res. #34, Series 2001 - Spending Authority Limits



6400 Arapahoe Road
Boulder, CO 80303
(303) 999-3820
ResourceCentral.org

Pilot Program for Lawn Replacement Offering in the City of Cortez

Over the last two decades, Resource Central has worked with 47 water utilities and municipalities, earning the trust of thousands of residents each year to save water and convert their lawns into low-water oases through waterwise DIY Garden In A Box kits, Slow the Flow Sprinkler Evaluations, and the Lawn Replacement Program. Our goal is to make waterwise yards the new norm in Colorado. Our programs are steeped in sustainable conservation and innovative collaboration—almost all of our programs, including Lawn Replacement, were developed in collaboration with our partners to meet the needs of community members and water conservation goals. We worked closely with the Colorado Water Conservation Board in the early stages of developing what became HB-1151 and its associated funding. In 2024, we are offering Lawn Replacement programs to the communities of 16 water utilities and municipalities.

To that end, Resource Central proposes a rebate or “cash for grass” program for the City of Cortez and its residents. We would leverage our existing expertise, resources, and online infrastructure to enable residents to receive reimbursement for their landscape transformation projects. In addition, we would create and deliver educational resources to assist participants with their projects, including a 1-800 number for answering questions, enhanced online resources, and remote verification of completed projects. To promote the program in Cortez, we would supply a comprehensive, tailor marketing toolkit, including infographics, images, social media posts, marketing calendar, etc. This turnkey program would not only assist the City of Cortez meet its water conservation goals, but it would ensure a beautiful and resilient community for its current and future residents.

Rebate Incentive-Based Lawn Replacement Pilot Program

Item Description	Quantity	Price
One-Time Program Fee to Enable the Program (2024 only) <ul style="list-style-type: none"> Marketing toolkit for City of Cortez 800 number with customer service support for residents Creation of landing page on Resource Central website specific to Cortez program and participants Detailed process outline for all participants Cortez-specific application adapted from existing application Lists of appropriate/approved plants and materials Lists of local landscapers and nurseries Landscaping plan examples Specific landing page for resources Online application with ability to store and share post-project information with the City of Cortez Required submittal of <i>before</i> and <i>after</i> photos, and post-project consultations to verify project Regular updates from Resource Central on demand and progress of program 	1	\$10,000.00
Per Participant Fee of \$100 <ul style="list-style-type: none"> Customer service throughout application process Consultations and webinars on related topics, such as turf removal options, irrigation, plant selection, etc. Managing individual applications and ensuring all steps are easily followed and questions answered Ability to determine rebate incentives via online calculator Sign to place on front yard as part of proof of completion 	30	\$3,000.00
CONTRACT MAXIMUM		\$13,000.00

RESOLUTION NO. 34
SERIES 2001

A RESOLUTION ESTABLISHING SPENDING AUTHORITY LIMITS

WHEREAS, as a part of the budget process, the Cortez City Council reviews and approves the expenditure of funds for various and sundry purposes and projects over the next fiscal year; and,

WHEREAS, the staff is charged with the responsibility of implementing the programs, duties and policy objectives established by Council; and,

WHEREAS, it is both necessary and desirable that authorized expenditures are carried out in an efficient and equitable manner; and,

WHEREAS, in November, 1993, the voters approved a charter amendment authorizing Council to establish by resolution the expenditure limits required for City Council approval; and

WHEREAS, the City Council hereby finds, determines, and declares that it is in the City's best interest to establish spending authority levels for various staff members.

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF CORTEZ, COLORADO:

THAT formal bids are required for the purchase of all supplies, material and equipment estimated to be in excess of Ten Thousand (\$10,000) Dollars; and,

THAT following the review and evaluation of bids, department heads are hereby authorized to award bid amounts of less than Five Hundred (\$500.00) Dollars to the lowest responsive and responsible bidder; and,

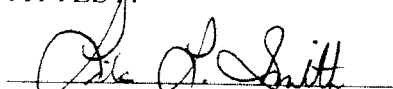
THAT following the review and evaluation of bids, the City Manager is hereby authorized to award bid amounts of less than Twenty Five Thousand (\$25,000) Dollars to the lowest responsive and responsible bidder; and,

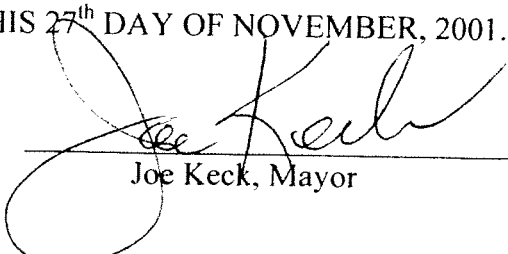
THAT any bid in excess of Twenty Five Thousand (\$25,000) Dollars shall be approved only by City Council; and,

THAT, notwithstanding any of the above, any sole source bid, or any formal bid in excess of the budgeted amount shall require the approval of City Council.

MOVED, SECONDED AND ADOPTED THIS 27th DAY OF NOVEMBER, 2001.

ATTEST:


Linda L. Smith, City Clerk


Joe Keck, Mayor



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

Drew Sanders
City Manager
123 E Roger Smith Ave,
Cortez, CO. 81321
dsanders@cortezco.gov

Memorandum

To: CORTEZ CITY COUNCIL

From: DREW SANDERS, CITY MANAGER

Date: September 18, 2023

RE: City Council Representative for Mesa Verde Country

DISCUSSION

Request to change the City Council representative to the Mesa Verde Country board from Mayor Rachel Medina to Councilmember Robert Dobry.

BACKGROUND

Mesa Verde Country receives 80% of the collected City lodgers tax for promotion of tourism for the area. A member of the Cortez City Council and a City employee are designated to represent the City on the Mesa Verde Country board.

RECOMMENDATION

Staff recommends that Council approve the change in representation for the Mesa Verde Country board.

MOTION

If agreed upon by the City Council, a possible motion would be:

I move that Council appoint Councilmember Robert Dobry to serve on the board of Mesa Verde Country as the sole representative of the City Council.
