



**PLANNING AND ZONING
COMMISSION MEETING
MARCH 7, 2023
6:30 P.M.**

1. **CALL TO ORDER - PLEDGE OF ALLEGIANCE - ROLL CALL**
2. **Approval of the Planning and Zoning Commission Regular Meeting Minutes of February 7, 2023**
 - a. **Minutes from the February 7, 2023, Planning and Zoning regular meeting.**
3. **Nominate and Vote for Chairperson and Vice-Chairperson for the 2023 term. 6.01(c)**

Planning and Zoning Commission will nominate and vote for new Chairperson and Vice-Chairperson

Presenter: Rachael Marchbanks, Community/Economic Dev. Director
4. **PUBLIC PARTICIPATION:** There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes. (Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter).
5. **PUBLIC HEARINGS**
 - a. **Public Hearing on an Application for a preliminary plat for a 3-lot subdivision with dedication of right-of-way.**

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can make the motion to recommend that Council approve the preliminary plat for the Pinon Project Subdivision on the Re-subdivision of Lot 1 of the Chism Group Minor Subdivision, SW1/4 SE1/4, Section 23, T36N R16W, NMPM, in the Residential Multi-Family (R2) zone, as submitted by ShopWorks Architecture LLC, through P&Z Resolutions No. 2, Series 2023, with the following condition: 1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

Presenter: Nancy Dosdall, Contract City Planner
 - b. **Public Hearing on an Application for a site plan for a 2,365 sq. ft. retail/fast food restaurant with drive through to be located on property at 610 E. Main St., zoned Commercial Highway.**

Planning and Zoning Commission will consider approving the site development plan through P&Z Resolution No. 3, Series 2023.

Presenter: Nancy Dosdall, Contract City Planner
6. **UNFINISHED BUSINESS - none**

7. NEW BUSINESS - none

8. OTHER ITEMS OF BUSINESS

- a. **Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a proposed High Impact/Special Use Permit Application and Commercial Planned Unit Development Amendment & COMZ Rezoning Application, submitted by Daren & Kathy Stone for the existing WestView RV Park, on property located at 12092 Hwy 145, Dolores, CO, consisting of 25.44 acres, more or less, located north of Road M, east of Hwy 145, situated in Section 7, Township 36N, Range 15W, N.M.P.M. Planning and Zoning Commission will hear and comment.**

Presenter: Nancy Dosdall, Contract City Planner

- b. **FEBRUARY 2023 PERMITS ISSUED**

Presenter: Cheryl Lindquist

9. ADJOURNMENT



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 2. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: **Minutes from the February 7, 2023, Planning and Zoning regular meeting.**

Attachments

Minutes from the February 7, 2023, Planning and Zoning regular meeting

PLANNING AND ZONING COMMISSION
REGULAR MEETING
TUESDAY, FEBRUARY 7, 2023

1. The regular meeting was called to order at 6:30 p.m., and was opened with the Pledge of Allegiance. Commission members present were Vice-Chairperson Rebecca Levy, Lance McDaniel, Jim Skvorc, and Katrina Weiss. Chairman Robert Rime was absent. City staff present included Contract City Planner Nancy Dosdall, Director of Community and Economic Development Rachael Marchbanks, City Clerk Linda Smith, and City Attorney Patrick Coleman. There were two people present in the audience.
2. Commissioner Skvorc moved that the minutes of December 6, 2022, be approved. Commissioner Weiss seconded the motion, and the vote was as follows:

Levy	McDaniel	Rime	Skvorc	Weiss
Yes	Yes	absent	Yes	Yes

3. PUBLIC PARTICIPATION – None.
4. PUBLIC HEARING

a. Application from James and Sharon Morgan, 921 North Sligo Street, for a Conditional Use Permit to Allow a Carport to be Built Attached to the Front of their Residence. Vice-Chairperson Levy opened the public hearing. Contract City Planner Dosdall stated that Jim and Sharon Morgan are requesting a Conditional Use Permit to construct a new carport onto their existing home located at 921 North Sligo Street. The property is zoned R-1, Residential Single-Family, and is bounded on all sides with single family homes. Contract City Planner Dosdall reviewed the development standards for an accessory carport noting that a carport structure that is closer than ten (10) feet to the front property line must obtain a Conditional Use Permit as outlined in Land Use Code Section 6.10. The proposed carport will be approximately six (6) feet from the front property line. It was noted that carports are a common use in the neighborhood and with single family homes in general. Contract City Planner Dosdall noted that the project meets the requirements of the Land Use Code with the exception of being four (4) feet closer to the front property line than allowed without a permit. She reviewed the four alternatives for approval/denial of the application and stated that Staff recommends that the Commission approve Planning and Zoning Resolution No. 1, Series 2023, with four conditions:

*All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outline in adopted City Codes and other regulatory documents.

*The appropriate construction drawings must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.

*The carport roof must be constructed in such a manner to appear as part of the original construction of the principal structure.

*The materials used in construction of the accessory use shall be compatible with the materials used in the principal use.

Sharon Morgan stated that she and her husband are getting older and the carport would be constructed for safety so they could get to their vehicle without falling due to their sloping driveway. She stated that the carport would be attached to their home and constructed with the same siding and roof as the home. It was noted that the carport will have three open sides. Mrs. Morgan noted that her next door neighbor also has a carport.

Commissioner Levy moved that Planning and Zoning recommend to City Council the approval of a Conditional Use Permit for a carport to be located at 921 North Sligo Street, in the R-1 (Residential Single-Family) zone, as submitted by Jim and Sharon Morgan, through Planning and Zoning Resolution No. 1, Series 2023, with the four conditions as stated in the resolution. Commissioner Weiss seconded the motion, and the vote was as follows:

Levy	McDaniel	Rime	Skvorc	Weiss
Yes	Yes	absent	Yes	Yes

5. UNFINISHED BUSINESS – None.

6. NEW BUSINESS

a. Montezuma County Development Request for Rezoning from AR 35 to Heavy Industrial for the Hock 2 Lot Minor Subdivision. Contract City Planner Dosedall stated that the Hock 2 Lot Minor Subdivision is located on County Road L which is designated as an arterial street in the City's Master Street Plan. The property is located within the one mile area of influence, adjacent to the City limits on two sides and therefore eligible for annexation to the City. The application is somewhat unclear, but the application includes reference to a shopping center, industrial storage yard, and manufactured home plant be located on the property with a septic system. All uses are adjacent to approved single-family and multi-family residential developments in the City. The Colorado Department of Transportation (CDOT) has expressed concern and requested a traffic study to be completed regarding the impact the development may have on the intersection of Alamosa Street (County Road L) and State Highway 145. Contract City Planner Dosedall noted that it may be appropriate that the required traffic study should also consider the impact on Alamosa Street/County Road L to determine if widening is appropriate. She stated that CDOT also included the comment that the County work with the City to do a "fair share" for the cost if the intersection warrants a traffic signal. She commented that the proposed urban development would be more appropriately developed in the City with City standards and central sewer. If the project proceeds

in the County, consideration should be given to the adjacent residential areas with appropriate buffers, mitigation of noise, visual impacts, and connectivity where appropriate.

Planning and Zoning Commissioners expressed many concerns, especially in regard to the heavy industrial zone which would allow for a variety of uses. Commissioner McDaniel stated that he would not support the property being zoned to heavy industrial as it allows for uses that are not compatible with the surrounding neighborhood (City subdivision). Discussion was held on the sketch which was included in the packet which did not outline where the roads would align and how they would connect with Road L. Vice-Chairperson Levy agreed that the heavy industrial zone does not align with the surrounding neighbors and development of the property will have an impact on the City with 50% of the property contiguous with the City limits. Discussion was held on the property remaining on a septic system. Commissioner Skvorc agreed with the Commissioners that a heavy industrial zone is not appropriate for the property. Several Commissioners commented that the information provided by the applicant for the rezone request is not complete and needs to be better defined. Contract City Planner Dosdall stated that Brandon's Gate is a Planned Unit Development built with townhomes and single-family homes located right next to the Hock 2 Lot Minor Subdivision.

Commissioner McDaniel moved that the City Planning and Zoning Commission send a letter to Montezuma County recommending denial of the Hock 2 Lot Minor Subdivision with the following comments (as defined by Contract City Planner Dosdall from the Commissioner's discussion) :

- The property is located adjacent to City limits on two sides. The City has approved a residential subdivision on the adjacent property, that is currently partially developed with homes. The property is currently eligible for annexation.
- The proposal includes a request for rezoning to Heavy Industrial. Heavy Industrial uses shall mean "uses engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials; or a use engaged in storage of, or manufacturing processes using, flammable or explosive materials; or storage or manufacturing processes that potentially involve hazardous conditions. Heavy Industrial shall also mean those uses engaged in the operation, parking and maintenance of heavy equipment and trucks, cleaning of equipment or work processes involving solvents, solid waste or sanitary waste transfer stations, recycling establishments, and transport terminals (truck terminals, public works yards, container storage), mining and extracting industries, petrochemical industries, rubber refining, and primary metal or related industries." These uses are not appropriate adjacent to City limits and especially adjacent to residential properties at urban densities. City residents should not be subjected to hazardous and loud uses such as those listed above.
- The proposal, with internal access that duplicates adjacent City streets is not in conformance with the City Streets Plan and will result in lots with frontage on both a City subdivision street and the internal proposed access.

- CDOT has indicated that the intersection of Alamosa St. and Hwy 145 may require upgrading to accommodate the development. The City does not currently have plans to participate in improvements at that intersection
- Because the property is adjacent to City limits, it should be developed with City standard infrastructure including roads, pedestrian connections, sewer, water and drainage to prevent impacts and provide for appropriate connectivity.
- The proposal for rezoning and subdivision appears premature with uncertain future uses
- Given its location, eligibility for annexation and all issues described above, the City of Cortez Planning and Zoning Commission believes that any future development on the property should occur in the City with annexation.

Commissioner Skvorc seconded the motion and the vote was as follows:

Levy	McDaniel	Rime	Skvorc	Weiss
Yes	Yes	absent	Yes	Yes

7. OTHER ITEMS OF BUSINESS

- a. Permits issued December 2022 and January 2023.

8. PREVIOUS BUSINESS – None.

Commissioner Skvorc moved that the meeting be adjourned at 7:15 p.m. Commissioner McDaniel seconded the motion, and the vote was as follows:

Levy	McDaniel	Rime	Skvorc	Weiss
Yes	Yes	absent	Yes	Yes

Rebecca Levy, Vice-Chairperson

ATTEST:

Linda L. Smith, City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 3.

MEMO TO: Planning and Zoning Commission

FROM: RACHAEL MARCHBANKS, DIRECTOR OF COMMUNITY/ECONOMIC DEVELOPMENT

SUBJECT: **Nominate and Vote for Chairperson and Vice-Chairperson for the 2023 term. 6.01(c)**

BACKGROUND

RECOMMENDATION

Planning and Zoning Commission will nominate and vote for new Chairperson and Vice-Chairperson for the 2023 term.



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 5. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: **Public Hearing on an Application for a preliminary plat for a 3-lot subdivision with dedication of right-of-way.**

BACKGROUND

Shopworks Architecture LLC (the "Applicant") is proposing a three-lot subdivision to divide a 9.7acre tract into 3 lots located on Lot 1 of the Chism Group Minor Subdivision, SW ¼ SE1/4 Section 23, T36N R16W, N.M.P.M Colorado, which was recently approved for a 42-unit affordable housing development, Puwagaan Kaan apartments. The subdivision will create a separate lot for the residential project, and two additional parcels for future development. The property is zoned Residential multi-family (R-2).

ISSUES

See attached staff report.

RECOMMENDATION

Staff recommends approval of the preliminary plat through P&Z Resolution No. 2, Series 2023, with conditions.

Attachments

P&Z Resolution No. 2, Series 2023
Staff Report
Plat
Title Report

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 2, SERIES 2023**

**A Resolution Recommending Approval of a Preliminary Plat for The Pinon Project
Subdivision, a 3 lot Subdivision located on Lot 1 of the Chism Group Minor Subdivision,
SW ¼ SE1/4 Section 23, T36N R16W, NMPM
Located in the Residential Multi-Family (R-2) Zoning District**

WHEREAS, the owner/applicant, The Pinon Project/ShopWorks Architecture LLC (the “Owner/applicant”), has applied for review of a preliminary plat to divide a 9.7acre tract into 3 lots located on Lot 1 of the Chism Group Minor Subdivision, SW ¼ SE1/4 Section 23, T36N R16W, N.M.P.M Colorado (the “Property”); and

WHEREAS, the Owner/applicant has applied to the City for review of a preliminary plat on the Property; and

WHEREAS, the Owner/applicant presented a preliminary plat and other submittal items for review by the City Planning and Zoning Commission at a regular meeting held on March 7, 2023; and

WHEREAS, Land Use Code Section 6.04, Preliminary Plats, indicates that the owner or developer of a property may request a subdivision pursuant to all code requirements; and

WHEREAS, the Planning and Zoning Commission reviewed the preliminary plat for a 3-lot subdivision for the Property and is recommending approval of the preliminary plat on the Property, as evidenced in the adoption of P&Z Resolution No. 2, Series 2023; and

WHEREAS, the Owner/applicant has held legal ownership of the Property subsequent to the adoption of P&Z Resolution No. 2, Series 2023, and is interested in further development of the Property; and

WHEREAS, based on the evidence and testimony presented at City Planning and Zoning Commission March 7, 2023 meeting, the Planning and Zoning Commission and the Owner/applicant have agreed to certain conditions of approval to be considered by the City Council; and

WHEREAS, it appears that all requirements of Chapters 4.00 and 6.00 of the City’s Land Use Code for subdivision of the Property have been or can be met.

NOW, THERFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 2, Series 2023, contains recommended conditions of approval for the subdivision on the Property; and

THAT, the preliminary plat and full application for the Property are hereby recommended to Council for approval, subject to the following condition to ensure compliance with the standards in the City of Cortez Land Use Code for a preliminary plat:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.

AND THAT, the Owner/applicant is to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 7th DAY OF MARCH, 2023

PLANNING AND ZONING COMMISSION

Robert Rime, Chairman

ATTEST:

Cheryl Lindquist, Deputy City Clerk



*City of Cortez
Community & Economic
Dev. Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: March 7, 2023
Project No. PL23-000001

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a preliminary plat for a 3-lot subdivision with dedication of right-of-way

APPLICANT: ShopWorks Architecture LLC

OWNER:

ATTACHMENTS: P&Z Resolution No. 2, Series 2023
Project Narrative
Plat
Title Report

BACKGROUND

Shopworks Architecture LLC (the “Applicant”) is proposing a three-lot subdivision to divide a 9.7acre tract into 3 lots located on Lot 1 of the Chism Group Minor Subdivision, SW ¼ SE1/4 Section 23, T36N R16W, N.M.P.M Colorado, which was recently approved for a 42-unit affordable housing development, Puwagaan Kaan apartments. The subdivision will create a separate lot for the residential project, and two additional parcels for future development. The property is zoned Residential multi-family (R-2).

The site is bounded on the south by E. Empire St., to the east is Cortez Apartments and the County Courts, west is a single-family home and vacant property, all zoned R-2. South is a mix of vacant, single family and Axis Health.

DEVELOPMENT STANDARDS

Development Standard	R-2 Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	95,336 (lot 1C)
Min. front yard (ft.)	20’	124’
Min. side yard (ft)	7’	75’
Min. rear yard (ft)	7’	58’
Max. lot coverage	50%	<50%
Min. lot area/unit	2,000 (affordable)	3,107/unit (lot 1A)

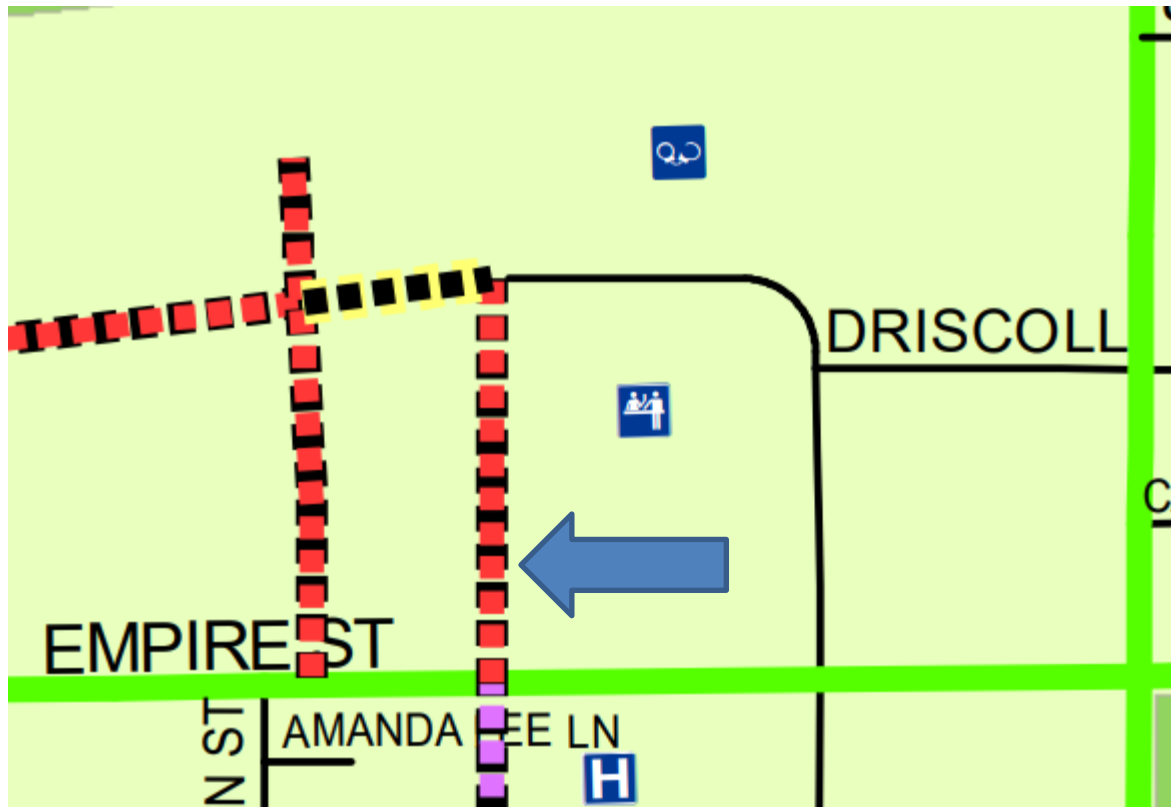


ISSUES

The planning commission shall, in its action on the preliminary plat, consider the physical arrangement of the subdivision, and determine the adequacy and alignment of street rights-of-way, and the compliance with the Cortez thoroughfare plan, the street standards of the city, the existing street pattern in the area and with all applicable provisions of the comprehensive plan. The planning commission shall also ascertain that adequate easements for proposed or future utility service and surface drainage are provided, and that the lot size and area are adequate to comply with the minimum requirements for the underlying zone district and for the type of sanitary sewage disposal proposed.

The Applicant has revised its proposal per City of Cortez staff request to dedicate Right of Way for the future extension of Driscoll St. The dedication of the ROW will result in creation of a separate lot, proposed as Lot 1C.

The major issues with the requested subdivision concern compliance with the Major Street Plan. The Applicant agreed to convert the existing easement for Driscoll St. to a Right of Way, to simplify future extensions and use by adjacent properties. The Major Street Plan also shows a future collector on the east side of the property where there is currently a platted easement, however there are issues with utilities and conflicts with other access points so staff is not recommending dedication of ROW for that easement.



The project as submitted appears to meet all development standards. Conditions below will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity and general welfare.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

Even though the Master Streets Plan does show a future collector on both the east and west sides of Lot 1, it is not logical that the City would need, or even want to, develop both of those as streets. As you point out the eastern ROW easement is both substandard in width and would only provide valuable access on one side since due to build out of the Cortez Apartments and County Courthouse.

I will look up the referenced B616 P823 and B735 P316 tomorrow and provide you a copy. If possible, I would suggest we allow the 45ft ROW easement to be vacated and remove it from the Master streets plan on the condition that we can procure the western 60ft as publicly dedicated ROW.

This would increase the developable land for both lots and benefit the applicant. I would be happy to work with Kevin and the developer to make contact with Mr. Chism to see if we can get a dedicated ROW on the 60'.

Cortez City Engineer (Kevin Kissler)

The existing portion of Driscoll is 80', however since it continues into a residential subdivision I don't see any issue reducing the ROW dedication to 60' through Pinon and Chism.

I agree that we would only want to develop the western access and a 60' ROW dedication would be ideal. We should remove the eastern 45' easement from the master street plan, however if we maintain an access easement we could eventually develop some kind of pathway in that location. We might want to consider that possibility before we vacate that easement.

Empire Electric (Greg South)

If it is not too much trouble, can Empire request that the 20' utility easement go all the way up to the north end of Lot 1C? So, a 20' easement from lot A north to lot C on west side of all three properties. I would rather have more than one way to feed these lots in future if possible. Please feel free to contact me if you have any questions.

I had requested a 20' utility easement on w/side of Lot 1A. It appears they put this on plat. Will this plat get recorded?

I was not aware of the 45' ROW easement on E/side of property. FYI, Empire has an electrical cabinet down in the far S/E corner of lot 1A by Empire St that I believe is within this ROW.

Lots 1B & 1C are for future development, we may come down Driscoll to feed these. I see a 10' utility easement on N & S sides of Driscoll

Empire is already looking into providing underground 3 phase power to this location. Please feel free to contact me if you have any questions.

City of Cortez Public Works

No comment.

Cortez Sanitation District (Jim Webb)

The Sanitation District has no issues with this request.

Cortez General Services (Rick Smith)

I have no comments as it relates to the City Fiber system. At the appropriate time we would like the ability to bring fiber into this development.

ALTERNATIVES

1. The Commission can recommend that the Council approve the Preliminary Plat for a Re-subdivision of Lot 1 of the Chism Group Minor Subdivision, as submitted by ShopWorks Architecture LLC;
2. The Commission can recommend denial of the application for the Preliminary Plat and state its reasons;
3. The Commission can ask for more information and table the application or continue the hearing to a date certain; or
4. The Commission can recommend that Council approve the Preliminary Plat, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative "4" above, approval of the preliminary plat through P&Z Resolution No. 2, Series 2023, with conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that Council approve the preliminary plat for the Pinon Project Subdivision on the Re-subdivision of Lot 1 of the Chism Group Minor Subdivision, SW1/4 SE1/4, Section 23, T36N R16W, NMPM, in the Residential Multi-Family (R-2) zone, as submitted by ShopWorks Architecture LLC, through P&Z Resolutions No. 2, Series 2023, with the following condition:**

- 1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.**

THE PIÑON PROJECT SUBDIVISION
RESUBDIVISION OF LOT 1 OF
THE CHISM GROUP MINOR SUBDIVISION
SW1/4 SE1/4 SECTION 23, T36N R16W, N.M.P.M.
MONTEZUMA COUNTY, COLORADO



Vicinity Map - Scale: 1" = 500'

Land Use Table

Lot	SF
Lot 1	399529
Lot 1A	130529
Lot 1B	150657
Lot 1C	95336
Driscoll Street ROW	23007
TOTAL	399529

CERTIFICATE OF SURVEYOR

I hereby state that this survey and plat was prepared by me or under my direct responsibility, supervision and checking, and that, in my professional opinion, they are true and correct to the best of my knowledge, belief and information based on the applicable standards of practice of Professional Land Surveyors in the State of Colorado. I also state that this survey and plat is not a guaranty or warranty, either expressed or implied.

Joshua J. Casselberry, P.L.S.
Colorado Registration No. 37903

PRELIMINARY

- SURVEY CONTROL NOTE: Location of improvements is based upon found survey monuments as shown hereon.
- TITLE RESEARCH: Title Research - Title, easement and Right-of-Way research was conducted by Fidelity National Title per Order No. 100-NO030108-020-JY, Amendment No. 2, effective date September 8, 2022 and not from research conducted by Moreno Surveying & Geographics, Inc. Any and all parties having interest in subject tracts of land are hereby referred to said title commitments and any title policies issued at a later date.
- According to Colorado law you must commence any legal action based upon any defect in the this survey within three (3) years after you first discovered such defect. In no event may any action based upon any defect in this survey be commenced more than ten (10) years from the date of the certification shown hereon.
- Any encroachment of fences across property may indicate possessory rights are accruing.

THIS PLAT IS HEREBY EXECUTED BY THE FOLLOWING PARTIES:

By _____
_____, Authorized Representative of The Piñon Project

STATE OF COLORADO]
SS]
COUNTY OF MONTEZUMA]

Subscribed and sworn to before me this _____ day of _____, 2023, by _____, Authorized Representative of The Piñon Project.

Witness my hand and seal.

Notary Public My Commission Expires _____

Reviewed and Recommended for approval by the Planning and Zoning Commission, City of Cortez.

By _____
Chairman City Clerk

Reviewed and Accepted by the City of Cortez, Montezuma County, Colorado this _____ day of _____, 2023.

Mayor, City of Cortez City Clerk

STATE OF COLORADO]
SS]
COUNTY OF MONTEZUMA]

Subscribed and sworn to before me this _____ day of _____, 2023, by _____, Mayor, and _____, City Clerk for the City of Cortez, Colorado

Witness my hand and seal.

Notary Public My Commission Expires _____

EASEMENTS ACCEPTED AND APPROVED:

City of Cortez Date Cortez Sanitation District Date
(as to water lines) (as to sewer lines)

Empire Electric Association Date Atmos Energy Corporation Date

Century Link Date

GENERAL DEDICATIONS

- The Variable Width Empire Electric Easement located on Lot 1A, as shown hereon, is hereby dedicated to Empire Electric Association.
- The 20' Utility Easements located on the west portions of Lot 1B and Lot 1C, as shown hereon, are hereby dedicated to the public utilities.
- Driscoll Street, a 60' Right of Way, as shown hereon, is hereby dedicated to the City of Cortez and public utilities.
- Hereby dedicate to the public utilities those portions labeled but not limited to, electric lines, gas lines, telephone lines, sewer lines, water lines and communications cables. Also, a perpetual easement for the installation and maintenance of utilities and drainage facilities is reserved and dedicated to the public utilities over and through the private roads and streets within this subdivision, and according to the easements as shown on this plat; together with the right to trim interfering trees and shrubs; together with perpetual rights of ingress and egress for installation, maintenance, and replacement of such lines. Landowner use of said utility easement areas shall be restricted as to maintaining the easement area clear of all buildings structures or other obstructions. Other easements, if any, are as shown on this plat. Said easements and rights shall be utilized in a reasonable and prudent matter.

This plat was filed for record in the office of the County Clerk and Recorder of Montezuma County Colorado at _____ M. on the _____ day of _____, and duly filed under Reception Number _____, Plat Book _____, Page _____

Montezuma County Clerk and Recorder

THE PIÑON PROJECT
SUBDIVISION
RESUBDIVISION OF LOT 1 OF THE
CHISM GROUP MINOR
SUBDIVISION
SW1/4 SE1/4 SECTION 23,
T36N R16W, N.M.P.M.
MONTEZUMA COUNTY, COLORADO

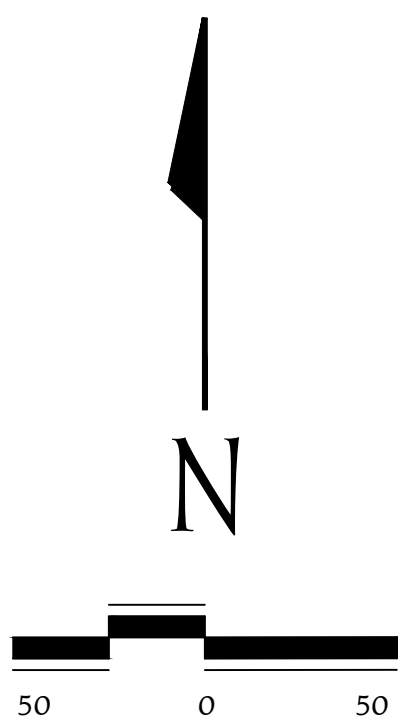


3050 MAIN AVENUE, DURANGO, CO (970) 385-8535

DATE: 2/17/2023 SCALE: 1 INCH = 500 FEET

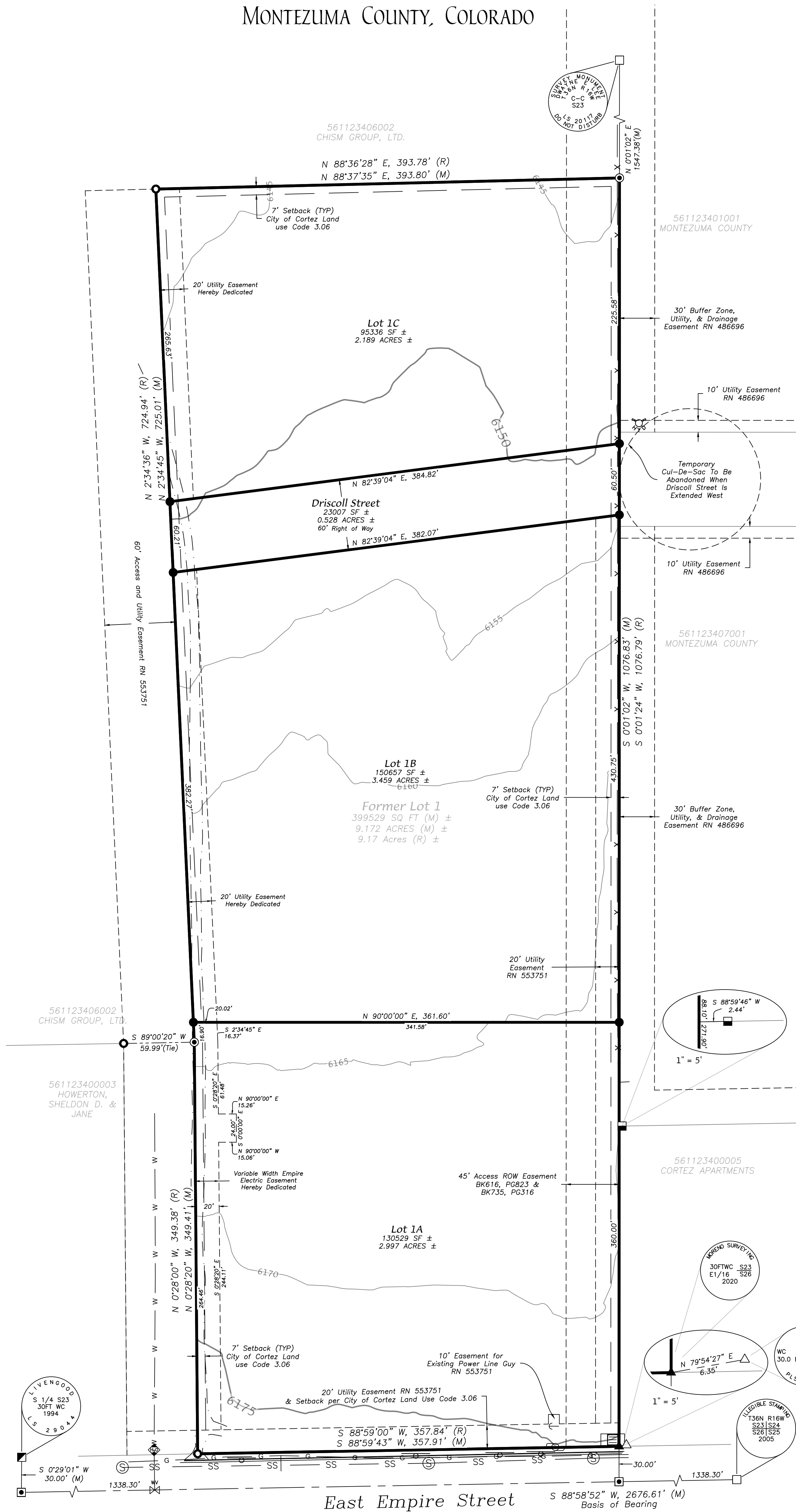
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THE PIÑON PROJECT SUBDIVISION
RESUBDIVISION OF LOT 1 OF
THE CHISM GROUP MINOR SUBDIVISION
SW1/4 SE1/4 SECTION 23, T36N R16W, N.M.P.M.
MONTEZUMA COUNTY, COLORADO



Scale : 1 inch = 50 feet
Lineal Units are U.S. Survey Feet
Contour Interval = 5 Foot
Basis of Bearing: The bearings are based on the assumption that the south line of the SE1/4 SE1/4 of S23, T36N, R16W, N.M.P.M. bears South 88°58'52" West, monumented as shown hereon.

- Legend**
- Found: 3-1/4 inch aluminum cap stamped as shown
 - Found: 2 inch aluminum cap stamped as shown
 - Found: 3-1/4 inch aluminum cap stamped as shown, monument not accepted.
 - Found: 1 inch yellow plastic cap on a #5 rebar illegible stamping
 - Found: 1 inch yellow plastic cap on a #5 rebar stamped "LS 37995"
 - Found: 5/8 inch Rebar
 - Calculated Position
 - Set: 2" aluminum cap on 3/4 by 30 inch rebar, stamped as shown
 - Set: 1-1/2 inch aluminum cap on 5/8 by 24 inch long rebar stamped, "PLS 37903"
 - (M) Measured Dimension
 - (R) Recorded per RN553751 Book 16 Page 191
 - Street Sign
 - Overhead Electric Pole
 - Guy Anchor
 - Electric Transformer
 - Telecommunications Pedestal
 - Sanitary Man Hole
 - Water Carsonite Marker
 - Water Valve
- Property Line
Easement
Fence Line
Dirt Road
UG Sanitary Line
UG Gas Line
UG Water Line



CERTIFICATE OF SURVEYOR

I hereby state that this survey and plat was prepared by me or under my direct responsibility, supervision and checking, and that, in my professional opinion, they are true and correct to the best of my knowledge, belief and information based on the applicable standards of practice of Professional Land Surveyors in the State of Colorado. I also state that this survey and plat is not a guaranty or warranty, either expressed or implied.

Joshua J. Casselberry, P.L.S.
Colorado Registration No. 37903

PRELIMINARY

- SURVEY CONTROL NOTE: Location of improvements is based upon found survey monuments as shown hereon.
- TITLE RESEARCH: Title Research - Title, easement and Right-of-Way research was conducted by Fidelity National Title per Order No. 100-N0030108-020-JY, Amendment No. 2, effective date September 8, 2022 and not from research conducted by Moreno Surveying & Geographics, Inc. Any and all parties having interest in subject tracts of land are hereby referred to said title commitments and any title policies issued at a later date.
- According to Colorado law you must commence any legal action based upon any defect in the this survey within three (3) years after you first discovered such defect. In no event may any action based upon any defect in this survey be commenced more than ten (10) years from the date of the certification shown hereon.
- Any encroachment of fences across property may indicate possessory rights are accruing.

THE PIÑON PROJECT
SUBDIVISION
RESUBDIVISION OF LOT 1 OF THE
CHISM GROUP MINOR
SUBDIVISION
SW1/4 SE1/4 SECTION 23,
T36N R16W, N.M.P.M.
MONTEZUMA COUNTY, COLORADO



3050 MAIN AVENUE, DURANGO, CO (970) 385-8535

DATE: 2/17/2023 SCALE: 1 INCH = 50 FEET

DRAWN BY: IM CHECKED BY: JC JOB NO.: 2020-128

Fidelity National Title



NATIONAL COMMERCIAL SERVICES

8055 E Tufts Ave, Suite 900
Denver, CO 80237
Phone: (303) 291-9977

DATE: **September 12, 2022**
FILE NUMBER: **100-N0030108-020-JY**, Amendment No. 2
PROPERTY ADDRESS: **"Cortez - Empire Street", Cortez, CO**
BUYER/BORROWER: **BlueLine Developments, Inc.**
OWNER(S): **Pinon Associates, Inc.**
YOUR REFERENCE NUMBER:
ASSESSOR PARCEL NUMBER: **5611-234-06-001**

WIRED FUNDS ARE REQUIRED ON ALL CASH PURCHASE TRANSACTIONS. FOR WIRING INSTRUCTIONS, PLEASE CONTACT YOUR ESCROW OFFICE AS NOTED ON THE TRANSMITTAL PAGE OF THIS COMMITMENT.

TO: Escrow Officer	ATTN: Jennifer York PHONE: (303) 692-6788 FAX: (303) 633-7720 E-MAIL: jyork@fnf.com
Escrow Assistant	ATTN: Tiffany Gilbert PHONE: (303) 291-9844 E-MAIL: tiffany.gilbert1@fnf.com
Title Officer	ATTN: Shawn Cardin PHONE: (303) 692-6771 E-MAIL: scardin@fnf.com
Sales Executive	ATTN: Stephen Boyka E-MAIL: sboyka@fnf.com
Sales Executive 2	ATTN: None E-MAIL:
TO: Moreno Surveying	ATTN: Josh Casselberry PHONE: FAX: E-MAIL: josh@morenosurveying.com
TO: BlueLine Development Company 1004 South Avenue West Missoula, MT 59801	ATTN: Oriana Sanchez PHONE: (303) 519-1419 FAX: E-MAIL: oriana@bluelinedevelopment.com
TO: BlueLine Development Company 1004 South Avenue West Missoula, MT 59801	ATTN: Gabby Masycci PHONE: (406) 214-2052 FAX: E-MAIL: gabby@bluelinedevelopment.com
TO: BlueLine Development Company 1004 South Avenue West Missoula, MT 59801	ATTN: Christian Pritchett PHONE: (406) 214-2052 FAX: E-MAIL: christian@bluelinedevelopment.com

TO: National Commercial Services Main
8055 E Tufts Ave
Suite 900
Denver, CO 80237

ATTN: Jennifer York
PHONE: (303) 291-9977
FAX: (303) 633-7720
E-MAIL: jyork@fnf.com

END OF TRANSMITTAL



COMMITMENT FOR TITLE INSURANCE

Issued by

Commonwealth Land Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRA CONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.


THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, **Commonwealth Land Title Insurance Company**, a Florida Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within 6 Months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Countersigned

By: 
John Miller
Authorized Signature

Commonwealth Land Title Insurance Company

By: 
Michael J. Nolan
President

ATTEST: 
Marjorie Nemzura
Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Commonwealth Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I—Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.

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- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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Transaction Identification Data for reference only:

Issuing Agent: Fidelity National Title, National Commercial Services
 Issuing Office: 8055 E Tufts Ave, Suite 900, Denver, CO 80237
 Loan ID Number:
 Issuing Office File Number: 100-N0030108-020-JY, Amendment No. 2
 Property Address: "Cortez - Empire Street", Cortez, CO
 Revision Number: Amendment No. 2, Amendment Date: September 8, 2022

SCHEDULE A

AMERICAN LAND TITLE ASSOCIATION COMMITMENT

1. Commitment Date: **September 8, 2022**
2. Policy to be issued:
 - (a) ALTA Owners Policy 6-17-06
 Proposed Insured: BlueLine Developments, Inc.
 Proposed Policy Amount: \$100,000.00
 - (b) ALTA Loan Policy 6-17-06
 Proposed Insured: Lender with contractual obligations under a Loan Agreement with the vested owner identified at item 4 below.
 Proposed Policy Amount: \$100,000.00
 - (c) None
 Proposed Insured:
 Proposed Policy Amount: \$0.00
3. The estate or interest in the Land described or referred to in this Commitment is:
FEE SIMPLE
4. The Title is, at the Commitment Date, vested in:
The Pinon Project, a Colorado nonprofit corporation
5. The Land is described as follows:
See Exhibit A attached hereto and made a part hereof.

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SCHEDULE A
(Continued)

PREMIUMS:

Title Report	550.00
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EXHIBIT A
LEGAL DESCRIPTION

Lot 1,
Chism Group Minor Subdivision as per the plat thereof filed for record January 9, 2008 in Book 16 at Page 191 in
the office of the Clerk and Recorder,
County of Montezuma,
State of Colorado.

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SCHEDULE B

PART I – REQUIREMENTS

All of the following Requirements must be met:

- a. Pay the agreed amounts for the interest in the land and/or for the mortgage to be insured.
- b. Pay us the premiums, fees and charges for the policy.
- c. Obtain a certificate of taxes due from the county treasurer or the county treasurer's authorized agent.
- d. Deed sufficient to convey the fee simple estate or interest in the Land described or referred to herein, to the Proposed Insured Purchaser.
- e. Furnish to the Company a certified copy of Resolution of governing board of The Pinon Project authorizing the execution of necessary documents and stating who is authorized to sign said documents. Said Resolution must be properly certified by an Officer of the corporation with Corporate Seal affixed.
- f. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to Sharon Milano, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609863 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- g. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to D.K. and J.K Chism Trust dated August 8, 1990, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609864 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- h. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to D.K. and J.K Chism Trust dated August 8, 1990, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609865 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- i. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to D.K. and J.K Chism Trust dated August 8, 1990, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609866 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- j. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to Sharon Milano, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609867 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- k. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to Sharon Milano, in the amount of \$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609868 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- l. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to D.K. and J.K Chism Trust dated August 8, 1990, in the amount of~~

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SCHEDULE B
PART I – Requirements
(Continued)

~~\$10,000.00, dated February 23, 2017 and recorded on February 24, 2017 as Instrument #609869 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~

- m. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to Sharon Milano, in the amount of \$10,000.00, dated February 15, 2018 and recorded on April 4, 2018 as Instrument #616463 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- n. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to Sharon Milano, in the amount of \$10,000.00, dated May 18, 2020 and recorded on May 18, 2020 as Instrument #629384 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- o. ~~A Deed of Trust from The Chism Group LTD Inc., a Corporation to Montezuma County Public, Trustee(s), securing an indebtedness to D.K. and J.K Chism Trust dated August 8, 1990, in the amount of \$10,000.00, dated May 18, 2020 and recorded on May 18, 2020 as Instrument #629385 in the official records of Montezuma County Recording Office to be Partially satisfied and released. Released~~
- p. Furnish for recordation a deed of trust, securing an indebtedness,

Executed by: BlueLine Developments, Inc.

Beneficiary: Lender with contractual obligations under a Loan Agreement with the vested owner identified at item 4 below

Note: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

END OF REQUIREMENTS

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SCHEDULE B

PART II – EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any facts, rights, interests or claims that are not shown by the Public Records but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachments, encumbrances, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by Public Records.
4. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires of record for the value the estate or interest or mortgage thereon covered by this Commitment.

NOTE: The above exception will not appear on policies where closing and settlement has been performed by the Company.

6. Water rights, claims of title to water, whether or not these matters are shown by the Public Records.
7. All taxes and assessments, now or heretofore assessed, due or payable.

NOTE: This tax exception will be amended at policy upon satisfaction and evidence of payment of taxes.

8. Assessments, taxes, fees or charges arising pursuant to the inclusion of the land in one or more special districts or municipalities, including but not limited to order of inclusion into the Cortez Sanitation District recorded in [Book 257 at Page 87](#); Resolution from the Montezuma County Commissioners for inclusion in the Cortez Cemetery District recorded in [Book 197 at Page 198](#), Petition recorded in [Book 197 at Page 394](#) and Order for inclusion into the Mosquito Control District recorded in [Book 385 at Page 153](#); and the terms, conditions, provisions and obligations as contained therein.
9. Montezuma County Regulations for Subdivisions as recorded February 1, 1972 in [Book 426 at page 379](#) including amendments; and the terms, conditions, regulations and restrictions set forth therein.

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SCHEDULE B
PART II – Exceptions
(Continued)

10. Easements, Plat Notes, Notices, Building Setbacks, General Dedications, Rights of Ways, Restrictions and Reservations as shown on the plat of Chism Group Minor Subdivision recorded on January 9, 2008 in [Book 16, Page 191](#) in the official records of Montezuma County Clerk & Recorder.
11. Intentionally deleted.
12. Intentionally deleted.
13. Non Exclusive Revocable Access Agreement from Chism Group, LTD and the Cortez Sanitation District as set forth in document recorded on May 11, 2017 as [Instrument #611149](#) in the official records of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
14. Easement to Empire Electric Association, Inc., recorded on September 25, 1947 as [Instrument #122966](#) in the official records of Montezuma County Clerk & Recorder for an easement to construct, operate and maintain an electric transmission or distribution line or system, and to cut and trim trees and shrubbery to the extent necessary to keep them clear of said electric line or system.
15. Intentionally deleted.
16. Intentionally deleted.
17. Intentionally deleted.
18. Intentionally deleted.
19. Right of Way Road/Street Access North of Empire Street as recorded, on October 28, 1988 in [Book 616, Page 823](#) in the official records of Montezuma County Clerk & Recorder; and the terms, conditions, obligation and restrictions with respect thereto.
20. Right of Way Road/Street Access North of Empire Street as recorded as described in instrument recorded on October 28, 1988 in [Book 616, Page 823](#) in the official records of Montezuma County Clerk & Recorder, Addendum to agreement recorded on October 11, 1996 in [Book 735, Page 316](#) in the official records of Montezuma County Clerk & Recorder; and the terms, conditions, obligations, and reservations as set forth therein.
21. Right of proprietor of a vein or lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises as reserved in the United States Patent recorded on September 20, 1911 in [Book 20, Page 262](#) in the official records of Montezuma County Clerk & Recorder.
22. Title to 1/2 interest in oil, gas and other minerals as reserved by Peggy Bates Husband in Deed to H.C. Mitchell and Elizabeth Mitchell in {what document} recorded on July 11, 1957 in [Book 240, Page 168](#) in the official records of Montezuma County Clerk & Recorder; and all leases, assignments, easements and the terms, conditions, provisions and obligations as contained therein.

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SCHEDULE B
PART II – Exceptions
(Continued)

23. Title to interest in oil, gas and other minerals as reserved by Russell D. Brown, Walter L. Possey and W.B. Maggart in Deed to CHISM Homes, Inc., recorded on March 18, 1983 in [Book 547, Page 724](#) in the official records of Montezuma County Clerk & Recorder; and all leases, assignments, easements and the terms, conditions, provisions and obligations as contained therein.

END OF EXCEPTIONS

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Wire Fraud Alert

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the phone number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL, INC.

PRIVACY NOTICE

Effective April 9, 2020

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;

- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice. We may use comments or feedback that you submit to us in any manner without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 5. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: **Public Hearing on an Application for a site plan for a 2,365 sq. ft. retail/fast food restaurant with drive through to be located on property at 610 E. Main St., zoned Commercial Highway.**

BACKGROUND

LBC Investments, LLC, (the "Applicant") is proposing a site plan to construct a new 2,365 sq. ft. fast food restaurant with drive through to be located on a 1.68 acre parcel at 610 E. Main (the "Property"). The Property is used as parking for the commercial structure at 610 E. Main, which is located on a separate parcel from the Property. The Property is zoned commercial highway (C). A subdivision to create a lot for the new use will be proposed at a later date. Restaurants/retail are considered a permitted use in the C zone.

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city.

RECOMMENDATION

Staff recommends the Planning and Zoning Commission make the motion to recommend that Council approve the site development plan for a new retail/fast food restaurant on property located at 610 E. Main, in the Commercial Highway (C) zone, as submitted by LBC Investments, LLC through P&Z Resolutions No. 3, Series 2023, with the following conditions:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
 2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
 3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
-

Attachments

Resolution No. 3, Series 2023
Staff Report
Compiled Plans

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 3, SERIES 2023**

**A Resolution Recommending Approval of a Site Development Plan for the Construction of
a fast food restaurant with drive through at 610 E. Main St,
Located in the Commercial Highway (C) Zoning District**

WHEREAS, the owner/applicant LBC Investments, LLC, (the “Owner/applicant”) has applied for review of a site development plan for the construction of a 2,365 sq. ft. retail/fast food restaurant with drive through to be located on property at 610 E. Main St., Cortez, Colorado and more particularly described as (the “Property”):

Section: 26 Township: 36 Range: 16 TR IN SE1/4NE1/4, County of Montezuma, State of Colorado.

WHEREAS, the Owner/applicant has applied to the City for review of a site development plan for the construction of a new building and associated development on the Property; and

WHEREAS, the Owner/applicant presented a site plan and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on March 7, 2023; and

WHEREAS, the City of Cortez Land Use Code Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of these site plan requirements for development on property located in the Commercial Business (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for a restaurant with drive-through for the same property and is recommending approval of the development on said property, as evidenced in the adoption of P&Z Resolution No. 3, Series 2023; and

WHEREAS, based on the evidence and testimony presented at the March 7, 2023 City Planning and Zoning Commission meeting, the Planning and Zoning Commission and the Owner/applicant have agreed to certain conditions of approval to be considered by the City Council; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of the Property have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 3, Series 2023, establishes contains recommended conditions of approval for the development on the Property; and

THAT, the site plan and full application for the Property are hereby recommended to Council for approval, subject to the following conditions to ensure compliance with the standards in the City of Cortez Land Use Code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on site.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the applicant desires a Certificate of Occupancy, the Owner/applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.

AND THAT, the Owner/applicant shall coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 7th DAY OF MARCH, 2023

PLANNING AND ZONING COMMISSION

Robert Rime, Chairman

ATTEST:

Cheryl Lindquist, Deputy City Clerk



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: March 7, 2023
Project No. PL22-000005

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a site plan for a 2,365 sq. ft. retail/fast food restaurant with drive through to be located on property at 610 E. Main St., zoned Commercial Highway.

APPLICANT: LBC Investments, LLC

OWNER: Cortez Main, LLC

ATTACHMENTS: P&Z Resolution No. 3, Series 2023
Plan Set including: Civil Site Plans
Landscape Plans
Floor Plans
Architectural Elevations

BACKGROUND

LBC Investments, LLC, (the “Applicant”) is proposing a site plan to construct a new 2,365 sq. ft. fast food restaurant with drive through to be located on a 1.68 acre parcel at 610 E. Main (the “Property”). The Property is used as parking for the commercial structure at 610 E. Main, which is located on a separate parcel from the Property. The Property is zoned commercial highway (C). A subdivision to create a lot for the new use will be proposed at a later date. Restaurants/retail are considered a permitted use in the C zone.

The Property is bounded on the west by commercially zoned land that includes City Market. Developed commercial properties are also located to the south and east. Neighborhood business properties with single family homes are located to the north. The new use will share an access with the existing 610 E. Main commercial structure.

DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	30,066 (after subdivision)
Min. front yard (ft.)	10'	30' approx
Min. side yard (ft)	7'	50' approx
Min. rear yard (ft)	20'	30' approx
Max. lot coverage	50%	8%
Min. floor area	n/a	n/a
Max height (ft)	50'	18'
Parking	24 spaces	26 spaces
Landscaping	10% or 2,954 sq. ft.	6,401 sq. ft. or 21.6%

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

DISCUSSION

The project as submitted appears to meet all development standards. Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity and general welfare.

AGENCY REVIEW

GIS Coordinator (Doug Roth)

No issues. The plat shows existing 10' utility easement the city water main is in, as well as the 30' Access easements on the east and west sides.

NOTE that the address of 610 E Main St is for the existing building to the north, this project will be assigned its own unique address once a site plan is approved.

Cortez Police (Vernon Knuckles)

No opposition.

Cortez City Engineer (Kevin Kissler)

There is a sewer line that also runs on the south side of their property within their property boundaries, I'd like to see their site plan include at least a 10' utility easement on the south side of the lot as well as their proposed 40' easement on the west side of the lot. Also, I would like to see their grease trap configuration included in the plans so we can pass that along to the sanitation district for their review. They need to specify the sidewalk width as 5' and being composed of 4500 psi concrete

Cortez Sanitation District (Jim Webb)

The Sanitation District has no issues with this proposal.

Colorado Department of Transportation (Randee Reider)

Thank you for the opportunity to review this proposal.

There is an Access Control Plan for this portion of U.S. Highway 160 within the City of Cortez. I've attached the Access Control Plan to this email and have included snips below regarding the two access locations on U.S. Highway 160.

This development will require a CDOT Access Permit application and the access locations will need to adhere to the Cortez Access Control Plan.

47	38.74	Lt	561126100031	Cortez Dialysis	Full movement, commercial access	Restrict to right in/right out only; close upon redevelopment and share access with Front Row Seat
50	38.75	Lt	561126100031	Front Row Seat	Full movement, commercial access	Restrict to 3/4 access; upon redevelopment share access with Cortez Dialysis and Liquid Assets

Cortez General Services (Rick Smith)

The CCN Fiber network would like the opportunity to meet with the owners and contractors to install a fiber drop into the property. Our nearest fiber is within 500 ft.

ALTERNATIVES

1. The Commission can recommend that the Council approve the site development plan for the proposed retail structure on property located at 610 E. Main, in the C zone, as submitted by King Capital CRE;
2. The Commission can recommend denial of the application for the site development plan and state its reasons;
3. The Commission can ask for more information and table the application or continue the application to a date certain; or
4. The Commission can recommend that Council approve the site development plan, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative “4” above, approval of the site development plan through P&Z Resolution No. 3, Series 2023, with 3 conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that Council approve the site development plan for a new retail/fast food restaurant on property located at 610 E. Main, in the Commercial Highway (C) zone, as submitted by LBC Investments, LLC through P&Z Resolutions No. 3, Series 2023, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.

ACT	AIR CONDITIONING
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AMP	AMPERE
ARCH	ARCHITECT
BOH	BACK OF HOUSE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CM	STARBUCKS
CTR	CONSTRUCTION MANAGER
CX	CENTER
CXA	COMMISSIONING
	COMMISSIONING AGENT
DEG	DEGREE
DET	DETAIL
DIA	DIAMETER
DM	DIMENSION
DM	STARBUCKS
DM	DESIGN MANAGER
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT
FLR	FLOOR
FOH	FRONT OF HOUSE
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FOI	FURNISHED BY OWNER
FOIT	INSTALLED BY OWNER
FOIT	FOOT/FEET
G	GROUND
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALLBOARD
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LL	LANDLORD
LLWL	LANDLORD WORK LETTER
LV	LOW VOLTAGE
MAX	MAXIMUM
MEP	"MECHANICAL, ELECTRICAL AND PLUMBING"
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
O.D.	OUTSIDE DIAMETER
PIR	PASSIVE INFRARED SENSOR
PLC	PLACE
R	RADIUS
REF	REFERENCE
REQ'D	REQUIRED
REV	REVISION
RND	ROUND
S.A.D.	SEE ARCHITECTURAL DRAWINGS
SB	STARBUCKS
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
TEMP TYP	TEMPORARY TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD

GC GENERAL CONTRACTOR
LL LANDLORD
SB STARBUCKS

						
NORTH ARROW	GRAPHIC SCALE	DATUM POINT	EXTERIOR ELEVATION CALL-OUT	INTERIOR ELEVATION CALL-OUT		
						
SECTION CALL-OUT	DETAIL CALL-OUT	SHEET NOTE CALL-OUT	ABOVE FINISH FLOOR HEIGHT TAG	FINISH FACE TO FINISH FACE DIMENSION	REVISION CLOUD	
						
REVISION TAG	PAINT TAG	DESIGN ID TAG	DOOR TAG	WINDOW TAG	INTERIOR WALL TAG	STOREFRONT TAG

OWNER: CLAYTON KING
KING CAPITAL CRE
4811A HARDWARE DR. - STE #1
ALBUQUERQUE, NM 87109
P: (505) 292-9607
E: clayton@kingcapitalcre.com

ARCHITECT: CLIFTON SORRELL
MBH ARCHITECTS
960 ATLANTIC AVENUE
ALAMEDA, CA 94501
P: (510) 865-8663 EXT. 3450
E: cliftons@mbharch.com

CIVIL ENGINEER: DOUGLAS W. MISE JR, P.E.
SMA - SOUDERMILLER
401 W. BROADWAY
FARMINGTON, NM 87401
P: (505) 325-7535
E: douglas.mizejr@soudermiller.com

LANDSCAPE ARCHITECT: DARC Y R. BRANDON
EVERGREEN DESIGN GROUP
1600 BROADWAY, SUITE #1600
DENVER, CO 80202
P: (800) 680-6630
E: -

THIS SET IS NOT INTENDED FOR CONSTRUCTION. THIS IS A DESIGN GUIDELINES SET. THE SITE IS THEORETICAL AND ASSUMED TO BE FLAT.

GUIDELINE FOR THIS EXAMPLE SCOPE:
NEW CONSTRUCTION GROUND UP SINGLE TENANT BUILDING WITH DRIVE-THRU AND COVERED TRASH ENCLOSURE.

GUIDELINE FOR THIS EXAMPLE SCOPE:
NEW CONSTRUCTION GROUND UP SINGLE TENANT BUILDING WITH DRIVE-THRU AND COVERED TRASH ENCLOSURE.

- THE DRAWINGS AND PROJECT MANUAL TOGETHER CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION. ALL GENERAL REQUIREMENTS ARE TO BE MET AND ALL MATERIALS, FINISHES AND SYSTEMS ARE TO BE INSTALLED AND PERFORM PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL CONSULT WITH LANDLORD/STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO CONSTRUCTION.
4. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
5. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
6. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY LANDLORD/STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
7. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND LOW VOLTAGE SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
9. GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PERMIT PLANS ON-SITE TO DOCUMENT ALL CHANGES MADE DURING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE ISSUED TO THE OWNER AT PROJECT CLOSE-OUT AS DESCRIBED IN THE GENERAL REQUIREMENTS OF THE PROJECT MANUAL.
10. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. SEE THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
11. RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
12. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL," SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED.
13. ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE LANDLORD/STARBUCKS CONSTRUCTION MANAGER.

CODE AUTHORITIES:	
BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE
PLUMBING CODE:	2018 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE:	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRIC CODE
ENERGY CODE:	2018 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE CODE:	2018 INTERNATIONAL FIRE CODE
HEALTH CODE:	2017 FDA FOOD CODE
ACCESSIBILITY CODE:	ICC/ANSI A117.1-2017 ACCESSIBILITY STANDARDS
ZONING:	
PARCEL NUMBER: NO OVERLAY DISTRICTS	123456789
DEFERRED SUBMITTALS:	SIGNAGE

OCCUPANCY TYPE:	A2
BUILDING SF:	2,365 SF
SITE SF:	30,066 SF
PARKING STALLS:	26 STALLS
DRIVE THRU STACK:	11 CARS

CONSTRUCTION TYPE:	V-B
PROPOSED USE:	RETAIL SALES AND SERVICES
FIRE SPRINKLER:	NO

REVISION: _____ R - SHEET ISSUED FOR REFERENCE AND COORDINATION ONLY SEE TITLEBLOCK FOR REVISION ISSUE DATE(S)									
SHEET	SHEET TITLE	LL DRAWING SET	PLANNING SET	BID SET	PERMIT SET	REVISION 1	REVISION 2	REVISION 3	

GENERAL						
G001	GENERAL INFORMATION	o	o			

ARCHITECTURAL						
A001	SITE PLAN	o	o			
A201	EXTERIOR ELEVATIONS	o	o			
A202	EXTERIOR ELEVATIONS	o	o			
A101	FLOOR PLAN					
A103	ROOF PLAN	o	o			
A302	WALL SECTIONS - WOOD/EIFS	o	o			
A601	BUILDING RENDERINGS	o	o			

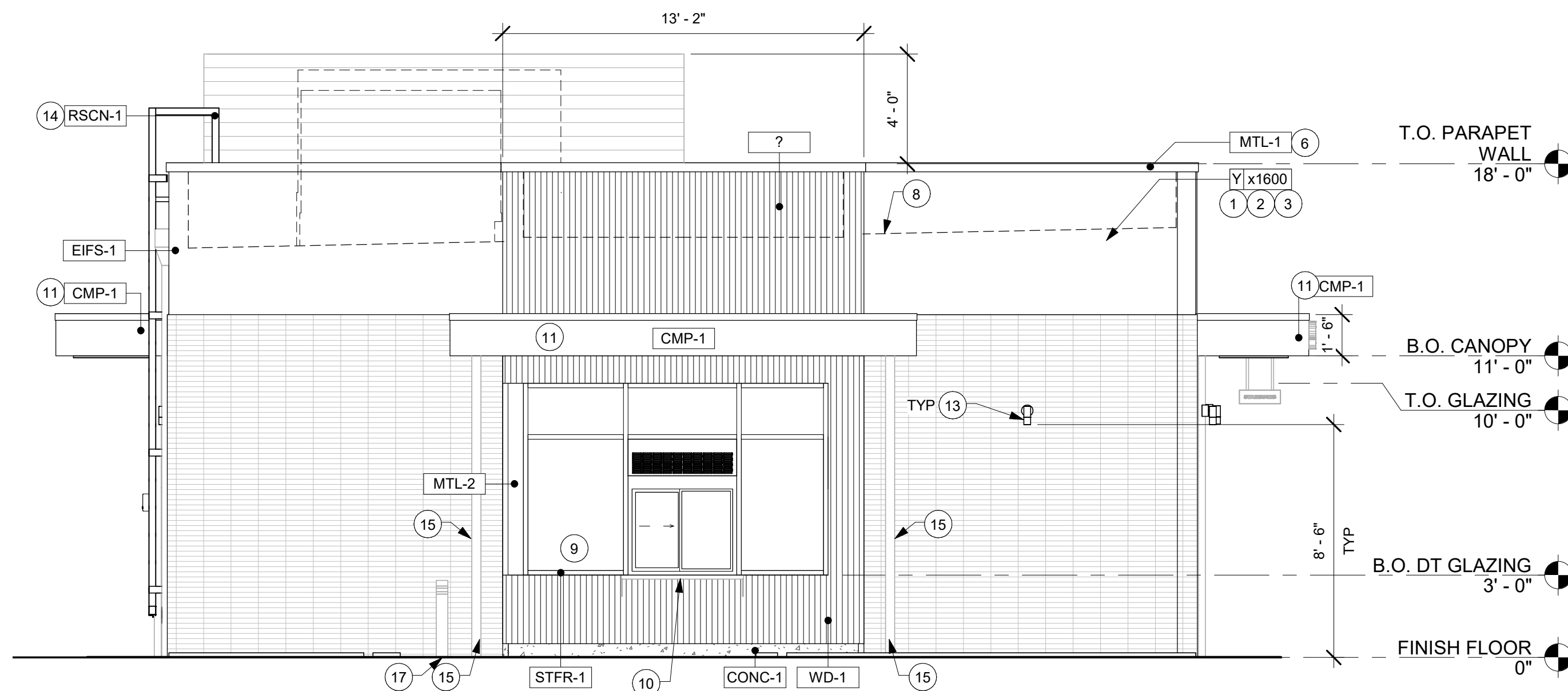
CIVIL					
C100	DEMOLITION PLAN		o		
C101	GRADING AND DRAINAGE PLAN		o		
C102	ADA CURB ACCESS RAMP GRADING				
C103	UTILITY PLAN		o		
C104	HORIZONTAL & VERTICAL CONTROL PLAN				
C106	STRIPING AND SIGNING PLAN		o		
C107	DETAILS		o		
C108	DETAILS		o		
C109	EROSION CONTROL PLAN PHASE 1		o		
C110	EROSION CONTROL PLAN PHASE 2		o		
C111	EROSION CONTROL PLAN PHASE 3		o		
G100	GENERAL NOTES & LEGEND		o		

LANDSCAPE									
LP-1	LANDSCAPE PLANTING PLAN		o						
LP-2	PLANTING DETAILS & SPECIFICATIONS		o						

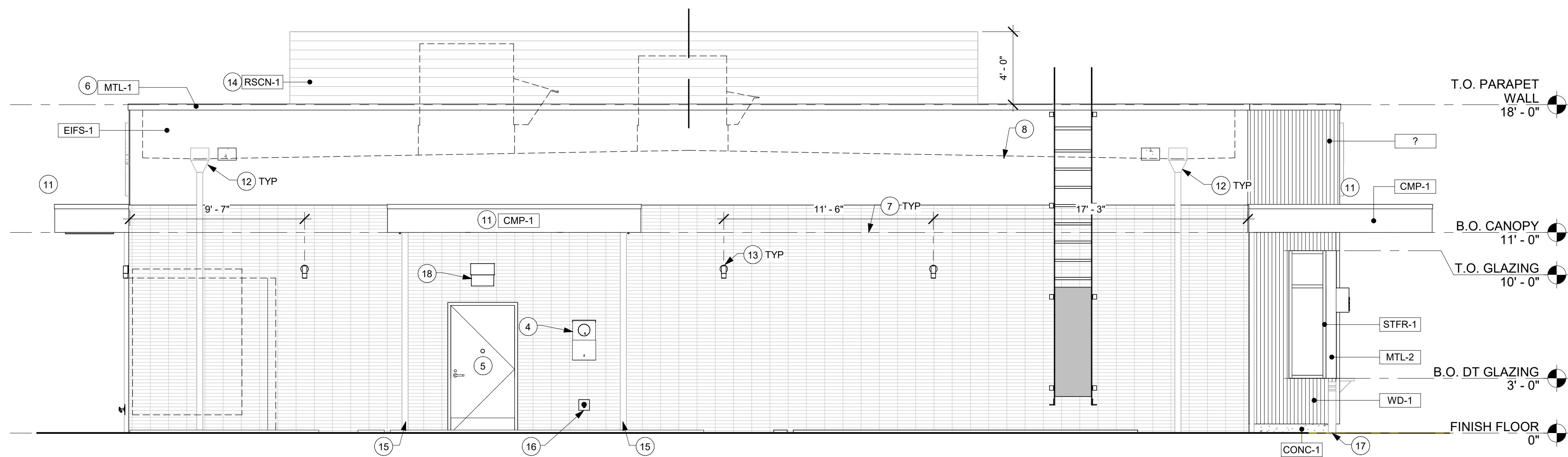
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EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DISK					
13163	2	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48IN 1220MM	SB	SB	**
SIGNAGE - DRIVE THRU					
14106	1	CLEARANCE BAR			
14327	3	SIGN DT - DIRECTIONAL ILLUMINATED			
x1600	2	6" PIN MOUNTED DRIVE-THRU SIGN LETTERS	SB	SB	**
SIGNAGE - OTHER					
21297	2	SIGN - 5 MINUTE PARKING			POST, IF REQUIRED, PROVIDED BY OTHERS
SIGNAGE - PYLON DISK					
14110	1	PYLON SIGN			
SIGNAGE - WORDMARK					
18494	1	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 12IN 305MM	SB	SB	WHITE LETTERS**
22609	1	SIGN - WORDMARK BLADE SUSPENDED - HORIZONTAL - 18X6IN 455X150MM	SB	SB	**

****ELECTRICAL CONDUIT, JBOX AND WALL BLOCKING SHALL BE INSTALLED BY LL. COORDINATE LOCATION OF JBOX WITH STARBUCKS SIGNAGE VENDOR. SIGNAGE SHOWN FOR REFERENCE ONLY. SIGNAGE SHALL BE FURNISHED AND INSTALLED BY STARBUCKS SIGNAGE VENDOR.**



2 DRIVE THRU_WOOD/EIFS
Scale: 1/4" = 1'-0"



1 REAR SERVICE_WOOD/EIFS
Scale: 1/4" = 1'-0"

KEYED NOTES

1. PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
2. PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
3. 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
4. ELECTRICAL METER.
5. SERVICE DOOR.
6. PRE-FINISHED METAL COPING, TYPICAL.
7. EXTERIOR FINISH CONTROL JOINT.
8. OUTLINE OF ROOF BEYOND.
9. DT WINDOW. PROVIDE READY ACCESS DT SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT.
10. DT WINDOW SHELVE. INSTALL SERVICE WINDOW SHELVE AT 36" INSIDE.
11. ENCLOSED METAL CANOPY W/ ROOF MEMBRANE. SEE BUILDING DETAIL SHEETS AND STRUCTURAL DRAWINGS.
12. ROOF SCUPPER AND DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.
13. EXTERIOR SCENCE LIGHTING.
14. ROOF EQUIPMENT SCREEN.
15. CANOPY DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.
16. LOCKABLE HOSE BIBB.
17. STEEL BOLLARD AT DRIVE THRU BUMP OUT.
18. SECURITY LIGHT OVERDOOR.

GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- G. SEE SHEET A602 FOR WINDOW AND DOOR TYPES.

EXTERIOR FINISHES SCHEDULE - WOOD/EIFS		
FINISH CODE	DESCRIPTION	COMMENTS
BR-1	THIN BRICK - 12" X 2.25"	HORIZONTAL STACK
CMP-1	COMPOSITE METAL PANELS	MATCH STOREFRONT
CONC-1	FINISHED CONCRETE	
EIFS-1	STUCCO	
MTL-1	PREFINISHED COPING	
MTL-2	METAL - PREFINISHED BRAKE METAL	MATCH STOREFRONT
RSCN-1	ROOF SCREEN PANEL	HORIZONTAL RIBBED PANEL BY ROOFSCREEN OR EQUAL

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE



960 Atlantic Avenue
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56791



PROJECT NAME: KINGCAPITOL - CORTEZ

PROJECT ADDRESS:
610 E MAIN STREET
CORTEZ, COLORADO, CO 81321

STORE #:
PROJECT #:
ISSUE DATE:
DESIGN MANAGER:
PRODUCTION DESIGNER:
CHECKED BY:

[illegible]

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER: A202



MBH PROJECT: 56791



PROJECT ADDRESS:
610 E MAIN STREET
CORTEZ, COLORADO, CO 81321

STORE #:
PROJECT #:
ISSUE DATE:
DESIGN MANAGER:
PRODUCTION DESIGNER:
CHECKED BY:

[illegible]

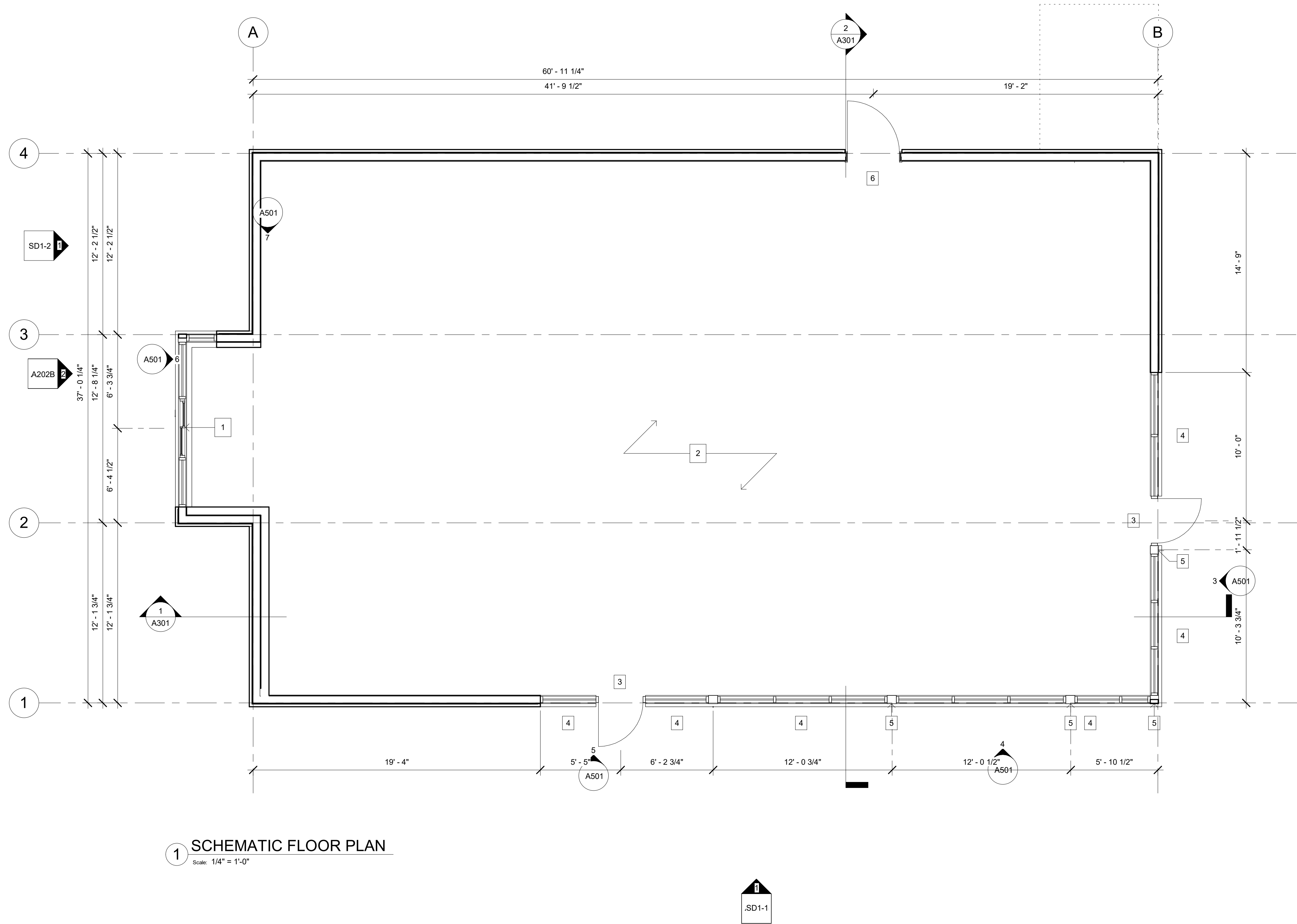
SHEET TITLE:
BUILDING FLOOR PLAN

SCALE: AS SHOWN

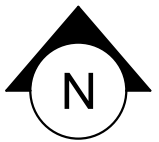
SHEET NUMBER:

A101

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE



1 SCHEMATIC FLOOR PLAN





MBH PROJECT: 56791



PROJECT NAME:
KINGCAPITOL - CORTEZ

PROJECT ADDRESS:
610 E MAIN STREET
CORTEZ, COLORADO, CO 81321

STORE #:
PROJECT #:
ISSUE DATE:
DESIGN MANAGER:
PRODUCTION DESIGNER:
CHECKED BY:

[illegible]

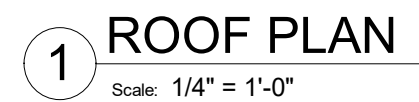
SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A103

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

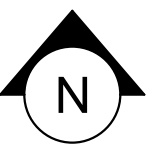


GENERAL NOTES

- A. CONTRACTOR WILL ENSURE POSITIVE DRAINAGE OF THE ROOF TO DRAINS & SCUPPERS WITHOUT PONDING.
- B. REFER TO ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL DRAWINGS AND SPECIFICATION FOR ADDITIONAL INFORMATION.
- C. REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN / LEADER SIZES.
- D. RIDGE AND VALLEY OF ROOF SLOPES OCCUR BY SLOPING ROOF FRAMING & WARPED DECK (TYPICAL), EXCEPT WHERE TAPERED INSULATION IS INDICATED. PROVIDE CRICKETS OF TAPERED INSULATION AT EQUIPMENT CURBS, ROOF DRAINS, SCUPPERS OR ANY OTHER INTERRUPTIONS IN THE SLOPE OF THE ROOF TO MAINTAIN 1/4" SLOPE PER FOOT.

KEYED NOTES

1. JOHNS MANVILLE TPO ROOF SYSTEM, STERM-S/I, 60 MIL MEMBRANE OVER RIGID INSULATION BOARD, MIN R-30 INSULATION VALUE WITH 20 YEAR WARRANTY INSTALLED PER MANUFACTURER'S INSTRUCTIONS, SRI: 95
2. CANOPY/AWNINGS
3. TAPERED INSULATION BOARD, SLOPE 1/4" PER FOOT
4. ROOF SCUPPER AND DOWNSPOUT
5. ROOF ACCESS LADDER.
6. ROOF TOP EQUIPMENT. SEE MECHANICAL.
7. RESTROOM EXHAUST FAN. SEE MECHANICAL.
8. CLEAR AREA FOR ROOF TOP EQUIPMENT





Professional Engineer Seal for Don M. Dacumos, No. C-24274, Exp. Date 3.31.2023. The seal includes the text "LICENSED ARCHITECT" and "DON M. DACUMOS". A signature is written across the seal.

PROJECT ADDRESS:
610 E MAIN STREET
CORTEZ, COLORADO, CO 81321

[illegible]

A302

The image displays four detailed wall section drawings, labeled 1 through 4, each showing a cross-section of a building wall and its foundation. The drawings include various construction materials, dimensions, and annotations.

Section 1: Shows a wall section with a typical EIFS system (typical) and an alternate stucco system. The wall is constructed with a base coat with primer and finishes, over mesh, over insulation (1.5" min. thickness), over adhesive, over weather resistive barrier (WRB), over sheathing per structural, over 2x6 wood studs with R-20 min. batt insulation per structural, and interior gypsum board. The wall is shown with a parapet wall 18'-0" high. The foundation includes a footing per structural, 3/4" rigid insulation (R-4.0) for climate zone 4-7, and a concrete sill per structural. The finish floor is 0".

Section 2: Shows a wall section with a typical EIFS system (typical) and an alternate stucco system. The wall is constructed with a base coat with primer and finishes, over mesh, over insulation (1.5" min. thickness), over adhesive, over weather resistive barrier (WRB), over sheathing per structural, over 2x6 wood studs with R-20 min. batt insulation per structural, and interior gypsum board. The wall is shown with a parapet wall 18'-0" high. The foundation includes a footing per structural, 3/4" rigid insulation (R-4.0) for climate zone 4-7, and a concrete sill per structural. The finish floor is 0".

Section 3: Shows a wall section with a typical EIFS system (typical) and an alternate stucco system. The wall is constructed with a base coat with primer and finishes, over mesh, over insulation (1.5" min. thickness), over adhesive, over weather resistive barrier (WRB), over sheathing per structural, over 2x6 wood studs with R-20 min. batt insulation per structural, and interior gypsum board. The wall is shown with a parapet wall 18'-0" high. The foundation includes a footing per structural, 3/4" rigid insulation (R-4.0) for climate zone 4-7, and a concrete sill per structural. The finish floor is 0".

Section 4: Shows a wall section with a typical EIFS system (typical) and an alternate stucco system. The wall is constructed with a base coat with primer and finishes, over mesh, over insulation (1.5" min. thickness), over adhesive, over weather resistive barrier (WRB), over sheathing per structural, over 2x6 wood studs with R-20 min. batt insulation per structural, and interior gypsum board. The wall is shown with a parapet wall 18'-0" high. The foundation includes a footing per structural, 3/4" rigid insulation (R-4.0) for climate zone 4-7, and a concrete sill per structural. The finish floor is 0".

GENERAL NOTES:

1.

SOUDER, MILLER AND ASSOCIATES (SMA) SHALL HEREINAFTER BE KNOWN AS THE ENGINEER. CONTRACTOR SHALL SUBMIT ALL QUESTIONS REGARDING SITE DRAINAGE, UTILITIES, AND OTHER ASPECTS OF THE CONSTRUCTION PLANS BEARING SMA'S TITLE BLOCK, TO ENGINEER'S REPRESENTATIVE.

2.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS.

3.

CONTRACTOR SHALL CONFINE ALL CONSTRUCTION OPERATIONS TO THE LIMITS OF THE PROJECT EASEMENTS DEFINED IN THESE DRAWINGS, AND IN NO WAY ENCROACH ONTO ADJACENT PROPERTIES, UNLESS LEGAL EASEMENTS ARE PROVIDED. CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AGREEMENTS NEEDED, OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING UTILITIES.

4.

CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS SET FORTH IN THE TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ENGINEER REGARDING ANY QUESTION ARISING FROM ANY ASPECT OF THIS PROJECT NOT SPECIFICALLY COVERED IN THE PLANS AND TECHNICAL SPECIFICATIONS, OR ANY CHANGES OR CORRECTIONS TO THE PLANS AND SPECS.

5.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, (OSHA), STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P - EXCAVATIONS.

6.

THE CONTRACTOR SHALL PROVIDE INGRESS AND EGRESS TO ANY LOCAL BUSINESSES AND RESIDENTS AS REQUIRED FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL ADVISE OF AND SCHEDULE ACCESS CLOSURES AT LEAST 24 HOURS IN ADVANCE WITH PROPERTY OWNERS AND THE ENGINEER.

7.

CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2021, AS WELL AS THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, UNLESS OTHERWISE SPECIFIED HEREIN.

8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED BY THE PLANS WHETHER SPECIFICALLY LISTED OR NOT TO COMPLETE THE PROJECT. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND THE CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR UNLISTED REMOVALS.

9.

OBSTRUCTIONS REMOVED FROM THE WORK AREAS SHALL BE DISPOSED OF BY THE CONTRACTOR. DISPOSAL OF USABLE MATERIALS (E.G., EXCESS DIRT, GRAVEL, ETC.) SHALL BE AT A SITE DESIGNATED BY THE OWNER DURING CONSTRUCTION. ALL OTHER WASTE SHALL BE DISPOSED OF AT AN APPROVED LANDFILL. ALL DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO DISPOSAL OF ANY WASTE.

10.

THE CONTRACTOR SHALL SALVAGE ANY OBSTRUCTIONS NOTED ON THE CONTRACT DRAWINGS AS WELL AS REUSABLE ITEMS FOUND DURING CONSTRUCTION. SUCH ITEMS, IF ANY, SHALL BE DELIVERED TO THE PROPERTY OWNER AS DIRECTED BY THE ENGINEER AND/OR OWNER DURING CONSTRUCTION.

11.

THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AN EQUIPMENT STORAGE YARD. THE LOCATION OF THE YARD MUST BE APPROVED BY THE OWNER. NO DIRECT PAYMENT WILL BE MADE FOR THE YARD. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SITE SECURITY.

12.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF MATERIALS AND EQUIPMENT PRIOR TO AND AFTER THEIR INSTALLATION AS APPLICABLE, UNTIL THE PROJECT'S FINAL ACCEPTANCE BY THE OWNER.

13.

THE CONTRACTOR SHALL PREPARE AND MAINTAIN UP-TO-DATE "AS-BUILT" DRAWINGS AS PER THE CONTRACT DOCUMENTS. UPDATING SUCH DRAWINGS SHALL BE DONE NOT LESS THAN ONCE EVERY WEEK. THE OWNER AND ENGINEER'S PROJECT REPRESENTATIVES SHALL BE ALLOWED TO REVIEW THESE DRAWINGS AT ANY TIME DURING CONSTRUCTION. ALL NEW UTILITIES SHALL BE SURVEYED AS BUILT (GPS'D IN THE TRENCH), PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER COMPLETE AS-BUILT DRAWINGS AS PER CONTRACT DOCUMENTS. TWO SETS OF "AS-BUILT DRAWINGS" WILL BE SUBMITTED, UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS. ANY EXISTING UTILITIES NOT SHOWN IN THESE DRAWINGS SHALL BE LOCATED AND SHOWN IN AS-BUILT DRAWINGS.

14.

CONTRACTOR SHALL SUBMIT ASTM OR AASHTO CERTIFICATES OF MATERIAL'S COMPLIANCE AND SUBMITTALS OF OTHER MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS TO THE OWNER'S PROJECT REPRESENTATIVE, NO LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.

15.

CONTRACTOR SHALL WARRANTEE ALL MATERIALS AND LABOR FOR A PERIOD OF NOT LESS THAN 12 MONTHS FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE OF THE PROJECT.

GRADING AND DRAINAGE GENERAL NOTES:

1.

EARTHWORK ESTIMATES ARE BASED ON COMPACTED AND IN-PLACE MATERIAL. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE REQUIRED MATERIAL AND HAUL ASSETS TO EMLPACE AND REMOVE THE CORRECT VOLUMES USING LOOSE SOIL CORRECTION FACTORS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFORE.

2.

CLEARING AND GRUBBING: CONTRACTOR SHALL CLEAR AND GRUB THE SITE WHERE NECESSARY, REMOVING VEGETATION, CONCRETE, ASPHALT, AND OTHER SURFACE MATERIALS WITHIN THE PROJECT BOUNDARY. ALL AREAS WITHIN THE PROJECT SITE SHALL BE CLEARED OF SURFACE VEGETATION HIGHER THAN 3', AND SMOOTHED WITH DRUM ROLLER WHERE NECESSARY TO CREATE A SAFE WORKING SURFACE. SITE SHALL BE LEFT SMOOTH, SAFE FOR ALL FOOT TRAFFIC, AND SHALL NO CONTAIN ROCKS, MOUNDS, PROTRUSIONS, TRIP HAZARDS, OR HIGHLOW SPOTS. PRESERVE EXISTING TREES IN ACCORDANCE WITH CITY OF CORTEZ LAND USE CODE.

3.

ALL FILL MATERIAL THAT MEETS THE REQUIREMENTS FOR ENGINEERED FILL OR SELECT IMPORTED GRANULAR FILL SHOULD BE MOISTENED TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT FOR GRANULAR SOILS AND BETWEEN OPTIMUM AND 3% ABOVE OPTIMUM FOR CLAY SOILS. PLACED IN THIN, LOOSE LIFTS OF LESS THAN 8 INCHES, AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR ASTM D698, USING APPROPRIATE EQUIPMENT. COMPACTION OF FILL MATERIALS IN AREAS NOT UNDERLAIN BY STRUCTURES OR ROADWAYS, SUCH AS LANDSCAPE AREAS, MAY BE REDUCED TO 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR.

4.

ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.

5.

FLOW ARROWS SHOWN ON THE SITE GRADING DRAWING(S) INDICATE THE GENERAL DIRECTION OF SURFACE RUNOFF. THE CONTRACTOR SHALL NOT CONSTRUCT LOW POINTS IN PAVED SURFACES THAT ALLOW SURFACE RUNOFF TO POND.

6.

STORM WATER SHALL NOT BE ALLOWED TO POND EXCEPT IN DESIGNATED AREAS.

7.

NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE, WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THE PLAN.

8.

ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND/OR GRADING.

9.

DURING ROUGH GRADING OPERATIONS AND PRIOR TO THE CONSTRUCTION OF ANY PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO CONTIGUOUS PROPERTIES.

10.

RIGHT-OF-WAY AND SUB GRADE TO BE ESTABLISHED WITHIN 6 INCHES (BOTH HORIZONTAL AND VERTICAL) OF FINAL LOCATION PRIOR TO INSTALLATION OF ANY UTILITIES. GAS AND WATER UTILITIES TO BE PLACED WITHIN 6 INCHES OF FINAL REQUIRED DEPTH AND LOCATION. THE CONTRACTORS WILL AT HIS EXPENSE RELOCATE OR REPLACE UTILITIES WHICH FAIL TO ADHERE TO THIS SPECIFICATION.

11.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER SOURCE FOR CONSTRUCTION. NO DIRECT PAYMENT WILL BE MADE FOR WATERS, ALL PERMITS, FEES, EQUIPMENT, HAUL, ETC. RELATIVE TO OBTAINING WATER SHALL BE CONSIDERED INCIDENTAL ACTIVITIES.

12.

THE CONTRACTOR SHALL TAKE ANY NECESSARY MEASURES TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS FROM DAMAGE DURING CONSTRUCTION. IF DURING EXECUTION OF THE PROJECT, THE CONTRACTOR'S ACTIVITIES DISTURB OR DESTROY SUCH MONUMENTS, THE CONTRACTOR SHALL RE-ESTABLISH THEM IN ACCORDANCE WITH ESTABLISHED STANDARDS AND PROCEDURES.

13.

ANY EXCEPTIONS TO PLACEMENT OR DEPTH OF MATERIALS AND EQUIPMENT MUST BE AUTHORIZED BY THE ENGINEER.

14.

ALL FINISHED SLOPES (BOTH SIDE-SLOPES AND ALONG THE CENTERLINE) SHALL BE 4:1 OR SHALLOWER, UNLESS OTHERWISE SPECIFIED.

15.

IMPORTED PADDING AND BACK FILL MATERIAL, IF REQUIRED, SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE. SEPARATE PAYMENT WILL NOT BE MADE FOR PADDING AND BACK FILL MATERIAL OR HAUL. ALL PADDING AND BACK FILL MATERIAL OR HAUL SHALL BE CONSIDERED INCIDENTAL TO THE VARIOUS WORK ITEMS. THE CONTRACTOR SHALL SECURE A SUITABLE PADDING AND BACK FILL MATERIAL PIT IF MATERIAL IS REQUIRED TO COMPLETE THE PROJECT.

16.

COMPACTION TESTING FREQUENCY IS EVERY 200 SF FOR EVERY LIFT UNDER SITE FLAT WORK. COMPACTION TESTING FOR TRENCHING IS EVERY 400' ON EVERY LIFT. SEE STRUCTURAL ON FOR FOUNDATION COMPACTION REQUIREMENTS AND TESTING FREQUENCY.

UTILITIES:

1.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE GENERAL LOCATION OF KNOWN EXISTING UTILITIES HAS BEEN SHOWN ON THE CONSTRUCTION DRAWINGS TO INDICATE THAT CAUTION MUST BE EXERCISED WHEN WORKING IN THESE AREAS. IN MANY CASES THE EXACT LOCATION OF THE FACILITIES IS NOT KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE VICINITY OF THE NEW CONSTRUCTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR, WORKING WITH THE RESPECTIVE UTILITY COMPANIES, SHALL ACCURATELY LOCATE AND MARK ALL BURIED FACILITIES, INCLUDING SERVICE LINES. ALL EQUIPMENT LABOR, ETC. NECESSARY TO PROPERLY LOCATE THE EXISTING UTILITIES SHALL BE FURNISHED BY THE CONTRACTOR, THE COST OF WHICH SHALL BE INCLUDED IN THE UNIT PRICES ON VARIOUS BID ITEMS.

2.

CONTRACTOR IS SOLELY RESPONSIBLE FOR UTILITY LOCATION, PROTECTION, AND VERIFICATION. CONTRACTOR MUST NOTIFY COLORADO ONE CALL SYSTEM, INC. AT 811, AND ALL LOCAL UTILITY PROVIDERS THREE (3) DAYS BEFORE STARTING UTILITY CONSTRUCTION.

3.

THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY WORK INCLUDING TRAFFIC CONTROL, PAVEMENT CUTS, EXCAVATION, INSTALLATION AND RESTORATION. THE CONTRACTOR WILL PERFORM ALL THESE TASKS ON THEIR OWN BEHALF UNLESS IT IS SPECIFICALLY STATED ON THE UTILITY PLAN REQUESTING THE CITY UTILITY DEPARTMENT TO DO SO. CHANGES REQUIRE A WRITTEN REQUEST FROM THE ENGINEER OR AN AMENDMENT TO THE UTILITY PLAN.

4.

IN THE EVENT A SERVICE OUTAGE IS REQUIRED, CONTRACTOR WILL NOTIFY ALL AFFECTED PARTIES WHEN AND HOW LONG THEY WILL BE WITHOUT SERVICE.

5.

CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURE OR UTILITY DAMAGED DURING THE EXECUTION OF THE PROJECT, AT NO ADDITIONAL COSTS TO THE OWNER.

6.

TESTING SHALL BE PERFORMED BY THE CONTRACTOR AS PER CONTRACT DOCUMENTS AND AWWA REQUIREMENTS.

7.

OVER-EXCAVATION OF TRENCHES SHALL NOT BE PERFORMED UNLESS IT IS DETERMINED TO THE SATISFACTION OF THE SUBSOIL IS NOT SUITABLE FOR PIPE BEDDING AND MUST BE REPLACED WITH IMPORTED FILL. OVER-EXCAVATION PERFORMED UNNECESSARILY BY THE CONTRACTOR SHALL BE REMEDIED WITH CLASSIFIED FILL AND COMPACTION AS REQUIRED BY THE SPECIFICATIONS. NO ADDITIONAL PAYMENT SHALL BE MADE FOR IMPORTED FILL UNDER ANY CIRCUMSTANCES.

8.

CURB CONTRACTOR TO STAMP FRESH CONCRETE SIDEWALK WITH G. S. AND W. DIRECTLY ABOVE GAS, SEWER, AND WATER STUB OUT LOCATIONS. FAILURE TO APPLY STAMPS SHALL BE CAUSE FOR REJECTION OF THE IMPROVEMENT BY THE CITY.

9.

ANY CHANGES FROM THE PREVIOUSLY APPROVED UTILITY PLAN REQUIRE A WRITTEN REQUEST FROM THE ENGINEER OR AN AMENDMENT TO THE UTILITY PLAN.

EROSION CONTROL NOTES:

1.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL INCIDENTAL TO THE CONSTRUCTION ACTIVITIES.

2.

STORM WATER POLLUTION PREVENTION PLANS AND EROSION CONTROL SHALL BE IMPLEMENTED BY CONTRACTOR TO PROTECT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION ACTIVITIES.

3.

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND SHALL BE KEPT IN PLACE UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT IS REQUIRED ONCE SILT AND SEDIMENT HAS REACHED HALF THE HEIGHT OF THE SILT FENCE.

4.

EROSION CONTROL DEVICES SHALL BE CHECKED AND MAINTAINED PER USEPA REQUIREMENTS AND THE GENERAL CONSTRUCTION PERMIT.

ENVIRONMENTAL NOTES:

1.

CONTRACTOR SHALL COMPLY WITH ALL ENVIRONMENTAL REQUIREMENTS IMPOSED BY THE COLORADO ENVIRONMENTAL DEPARTMENT (CDPHE) AND ANY OTHER AGENCY WITH JURISDICTION OVER THE PROJECT AREA.

2.

ALL WORK IN THE VICINITY OF LIVE STREAMS, WATER IMPOUNDMENTS, WETLANDS OR IRRIGATION SUPPLIES SHALL BE EFFECTED IN SUCH A MANNER AS TO MINIMIZE VEGETATION REMOVAL, SOIL DISTURBANCE AND EROSION. CROSSINGS OF LIVE STREAMS WITH HEAVY EQUIPMENT SHALL BE MINIMIZED, AS DETERMINED BY THE PROJECT MANAGER. EQUIPMENT REFUELING, MAINTENANCE AND CEMENT DUMPING IN THE VICINITY OF WATER COURSES IS STRICTLY PROHIBITED AND SHALL BE PERFORMED IN PROPER CONTAINMENT AREAS.

3.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING AND CLEANUP OF SPILLS ASSOCIATED WITH PROJECT CONSTRUCTION AND SHALL REPORT AND RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OILS, SOLVENTS, CHEMICALS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY BE A THREAT TO PUBLIC HEALTH OR THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING PAST SPILLS ENCOUNTERED DURING CONSTRUCTION AND OF CURRENT SPILLS NOT ASSOCIATED WITH CONSTRUCTION. REPORTS SHALL BE MADE IMMEDIATELY TO THE CO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (303) 692-3023 OR (303) 691-4941 AND TO THE PROJECT ENGINEER. ANY UNREPORTED SPILLS IDENTIFIED AFTER CONSTRUCTION AND THE ASSOCIATED CLEANUP COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4.

IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS ITEMS OF HISTORICAL IMPORTANCE, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND WORK IN THE AREA SHALL IMMEDIATELY CEASE UNTIL THE SITE CAN BE PROPERLY CLEARED.

CONSTRUCTION MANAGEMENT NOTE:

1.

CITY OF CORTEZ PUBLIC WORKS DEPARTMENT (CPW) CONTACT NUMBER (970) 565-7320

2.

TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO CPW 72 HOURS PRIOR TO ANY SCHEDULED ROAD OR LANE CLOSURES. TRAFFIC CONTROL MUST MEET CURRENT EDITION OF MUTCD & CDOT REQUIREMENTS.

3.

CONTRACTOR SHALL CONTACT CPW BEFORE ANY TRAFFIC CONTROL IS IN PLACE OR BEFORE ANY CONSTRUCTION (INCLUDING DEMOLITION) HAS BEGUN.

CONCRETE

1.

ALL CONCRETE SHALL BE PLACED IN A SINGLE CONTINUOUS OPERATION AS TO PRODUCE A MONOLITHIC SLAB/FOUNDATION BETWEEN CONSTRUCTION JOINTS FOR SITE FLAT WORK.

2.

CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED. CEMENT SHALL CONFORM TO ASTM C150, TYPE I, II, OR III. CONCRETE AGGREGATE SHALL CONFORM TO ASTM C33. CONCRETE SHALL BE PROTECTED FROM LOSS OF MOISTURE FOR A MINIMUM OF 7 DAYS.

COMMERCIAL UTILITY NOTES:

1.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR JOB SAFETY OR COMPLIANCE WITH OSHA REGULATIONS.

2.

SHOULD CONFLICTING INFORMATION OR INTERFERENCE PROBLEMS APPEAR IN THE CONSTRUCTION DRAWINGS THE CONTRACTOR SHALL BRING THAT INFORMATION TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO INSTALLATION.

3.

ALL CONSTRUCTION MATERIALS AND WORKMANSHIP DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF CORTEZ UTILITY STANDARDS

4.

ROADWAY, RIGHT-OF-WAY AND SUB GRADE TO BE ESTABLISHED WITHIN 6 INCHES (BOTH HORIZONTAL AND VERTICAL) OF FINAL LOCATION PRIOR TO INSTALLATION OF ANY UTILITIES. GAS AND WATER UTILITIES TO BE PLACED WITHIN 6 INCHES OF FINAL REQUIRED DEPTH AND LOCATION. THE CONTRACTORS WILL AT HIS EXPENSE RELOCATE OR REPLACE UTILITIES, WHICH FAIL TO ADHERE TO THIS SPECIFICATION.

5.

THE INSTALLATION OF MAINS/SERVICE LINES IN CITY OF CORTEZ REQUIRE A PERMIT FROM THAT GOVERNMENT ENTITY AND MUST BE INITIATED BY THE PERSON REQUESTING THE SERVICE. THE OWNER IS RESPONSIBLE FOR ANY FEES RELATED TO THE PERMIT PROCESS.

ENGINEER'S REPRESENTATIVE

DOUGLAS MIZE, JR.

SOUDER MILLER & ASSOCIATES

401 W. BROADWAY

FARMINGTON, NM 87401

(505) 325-7536

EMERGENCY CONTACT NUMBERS

FIRE/POLICE/AMBULANCE

911

LEGEND

PROPOSED IMPROVEMENTS

1" W

PROPOSED 1"Ø WATER LINE (PEX DR9)

2" W

PROPOSED 2"Ø WATER LINE (PEX DR9)

4" SS

PROPOSED 4"Ø SEWER LINE (SDR-35)

⊙

PROPOSED 4"Ø SANITARY MANHOLE

6" SD

PROPOSED 6"Ø STORM DRAIN LINE (PVC)

8" SD

PROPOSED 8"Ø STORM DRAIN LINE (PVC)

G

PROPOSED GAS LINE

UGE

PROPOSED UNDERGROUND ELECTRICAL LINE

OHE

PROPOSED OVERHEAD ELECTRICAL LINE

UE/C

PROPOSED UNDERGROUND ELECTRICAL LINE /W COMMUNICATION LINE

T

PROPOSED ELECTRICAL TRANSFORMER

o

PROPOSED SANITARY SEWER/DRAINAGE CLEANOUTS

GM

PROPOSED GAS METER

WM

PROPOSED WATER METER

⬮

PROPOSED FIRE HYDRANT

⋈

PROPOSED 6"Ø GATE VALVE

5545

PROPOSED MAJOR CONTOURS

5544

PROPOSED MINOR CONTOURS

EXISTING IMPROVEMENTS

W

EXISTING WATER LINE

SS

EXISTING SEWER LINE

G

EXISTING GAS LINE

CHP

EXISTING OVERHEAD PHONE LINE

UGE

EXISTING UNDERGROUND ELECTRICAL LINE

o

EXISTING CHAINLINK FENCE

⊠

EXISTING WATER VALVE

WM

EXISTING WATER METER

⊙

EXISTING SEWER MANHOLE

⊕

EXISTING STORM DRAIN MANHOLE

⋈

EXISTING GAS VALVE

⬮

EXISTING BUILDING

●

CONTROL POINTS

5545

EXISTING CONTOUR MAJOR

5544

EXISTING CONTOUR MINOR

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EROSION CONTROL PLAN PHASE 1

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EROSION CONTROL PLAN PHASE 3

ABBREVIATIONS

A.B.C.

AGGREGATE BASE COURSE

LT

LEFT

ADS

ADVANCE DRAINAGE SYSTEM

MIN

MINIMUM

APPROX

APPROXIMATELY

NTS

NOT TO SCALE

BOP

BOTTOM OF POND

PC

POINT OF CURVATURE

BOS

BOTTOM OF SWALE

PT

POINT OF TANGENT

BOW

BOTTOM OF WALL

PVC

POLYVINYL CHLORIDE PIPE

CONC

CONCRETE

RT

RIGHT

C/L

CENTERLINE

ROW

RIGHT OF WAY

EL

ELEVATION

SD

STORM DRAIN PIPE

EOA

EDGE OF ASPHALT

SDMH

STORM DRAIN MANHOLE

EOC

EDGE OF CONCRETE

SSMH

SANITARY SEWER MANHOLE

EXIST

EXISTING

CMP

CORRUGATED METAL PIPE

ESMT

EASEMENT

SW

SIDEWALK

FFE

FINISH FLOOR ELEVATION

TA

TOP ASPHALT

FL

FLOWLINE

TBC

TOP BACK CURB

FG

FINISHED GRADE

TOC

TOP OF CONCRETE

GB

GRADE BREAK

TOP

TOP OF POND

GV

GATE VALVE

TOS

TOP OF SWALE

HDPE

HIGH DENSITY POLYETHYLENE

TOW

TOP OF WALL

HP

HIGH POINT

TYP

TYPICAL

INV

INVERT

VG

VALLEY GUTTER

LF

LINEAR FEET

RETAIL SPACE

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CORTEZ, COLORADO

RETAIL SPACE

CORTEZ, COLORADO

GENERAL NOTES & LEGEND

COLORADO LICENSED PROFESSIONAL ENGINEER

60550

06/12/2023

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Designed

Drawn

Checked

RWZ

RWZ

DWMJR

Date:

January 2023

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Project No:

9531448

Sheet:

G100

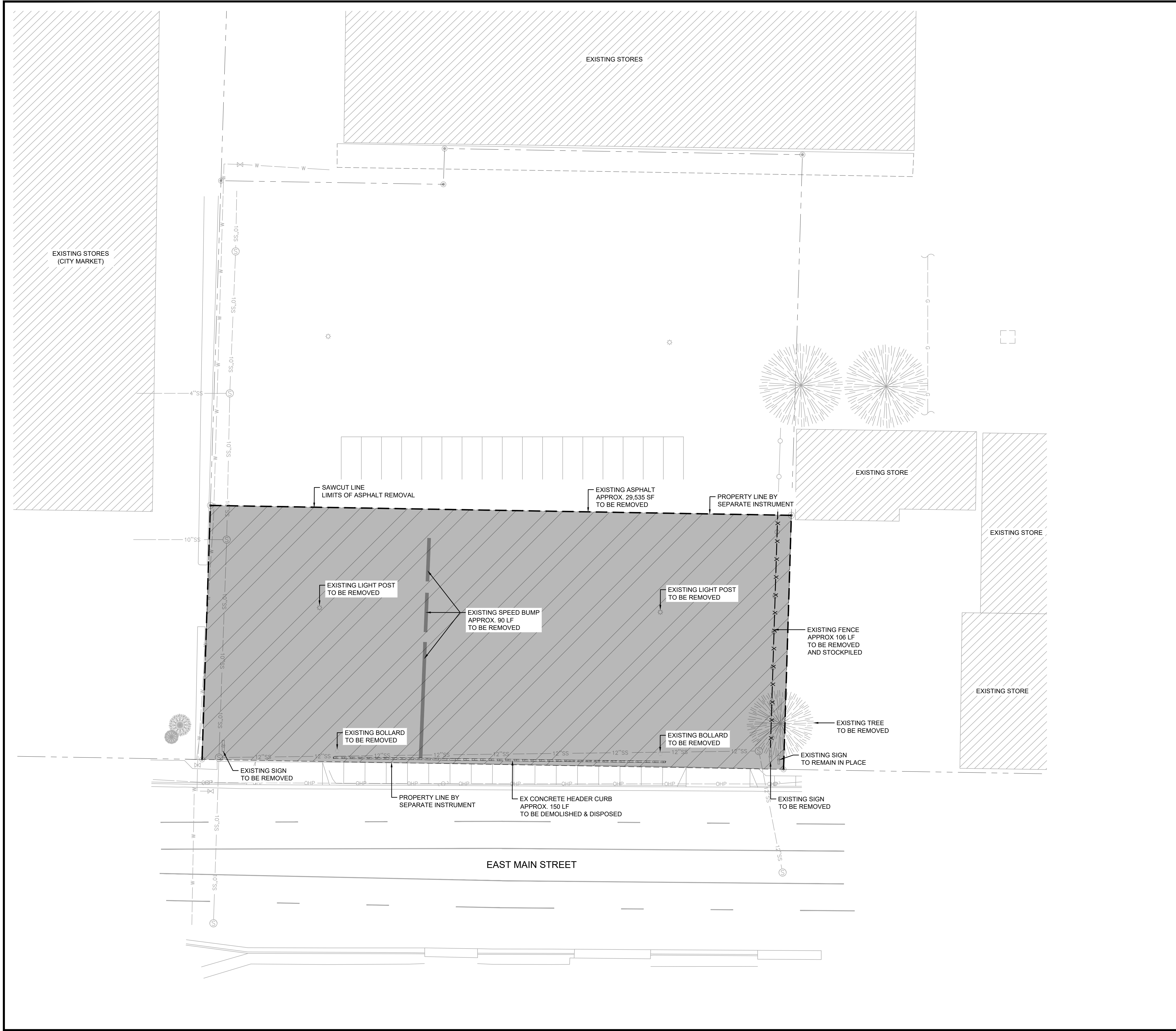
Colorado 811

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

To Request a Line Locate Dial 811

Colorado state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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By: CCRK

Description

Rev # Date

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CORTEZ, COLORADO

RETAIL SPACE

RETAIL SPACE
CORTEZ, COLORADO
DEMOLITION PLAN

COLORADO LICENSED PROFESSIONAL ENGINEER

60550

0.51.2.222

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Designed
RWZ

Drawn
RWZ

Checked
DWMJR

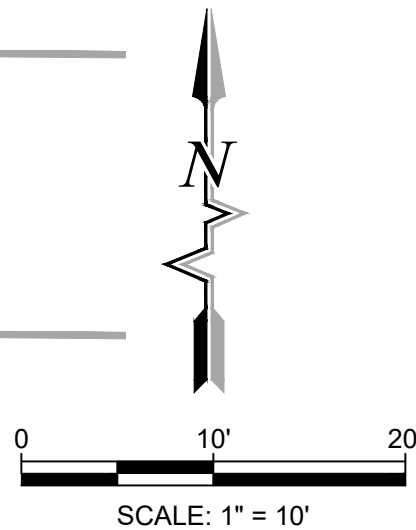
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Project No: 9531448

Sheet: C100

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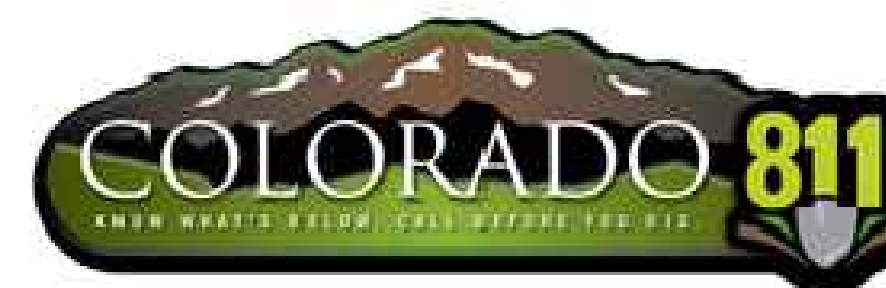
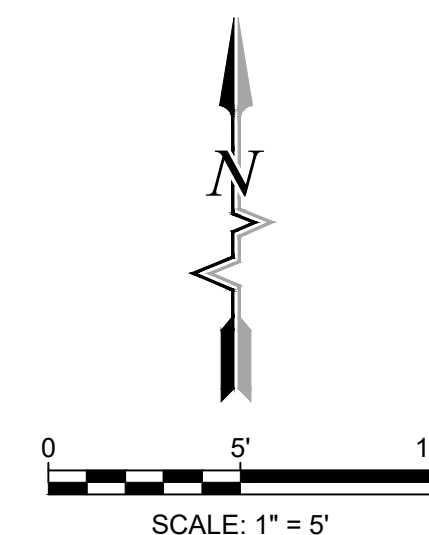


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RETAIL SPACE
CORTEZ, COLORADO
GRADING AND DRAINAGE PLAN

[illegible]



To Request a Line Locate Dial 811

Colorado state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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CORTEZ, COLORADO

RETAIL SPACE
CORTEZ, COLORADO
ADA CURB ACCESS RAMP GRADING



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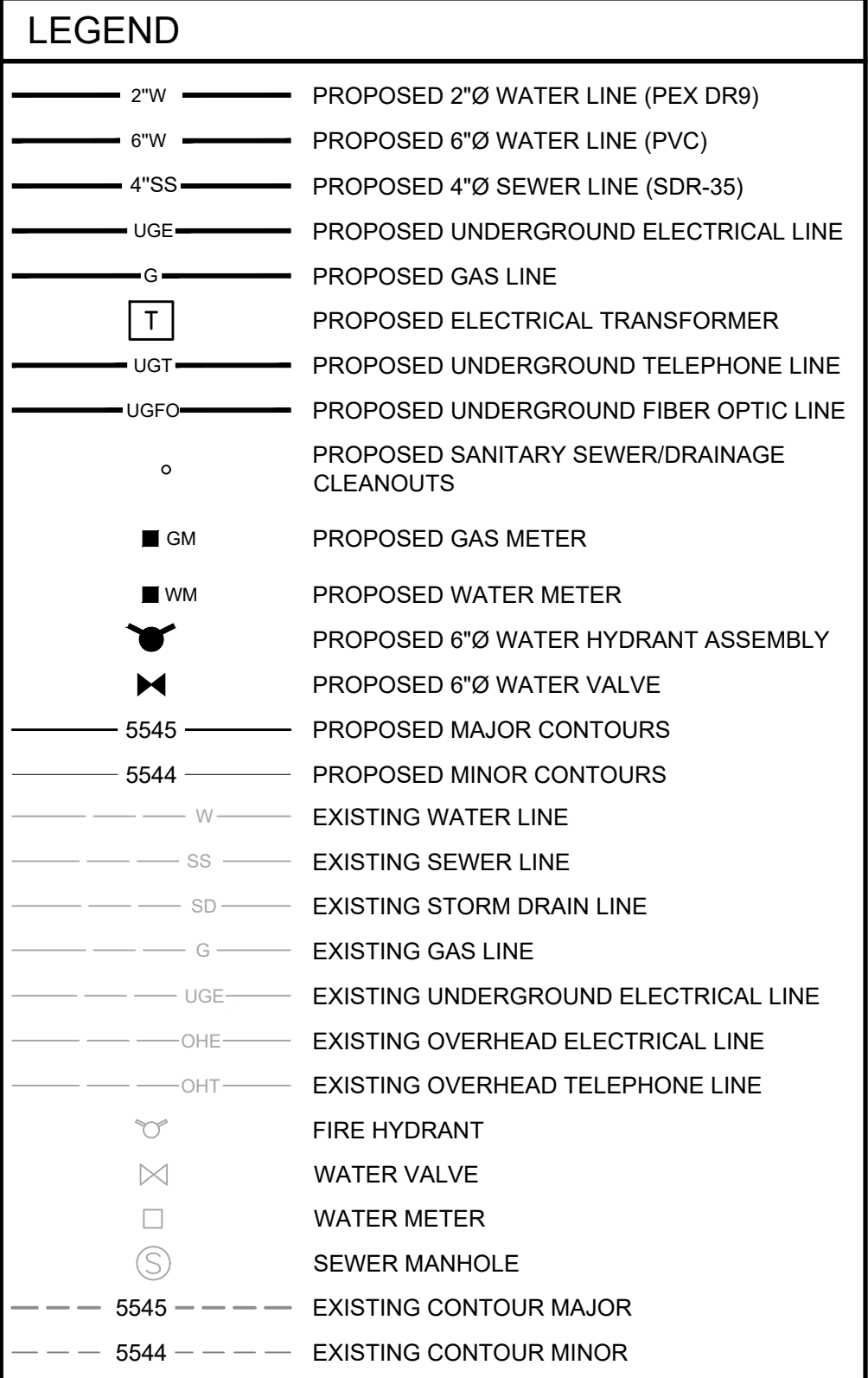
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Date: January 2023

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Project No: 9531448

Sheet: C102



1. CITY OF CORTEZ PUBLIC WORKS DEPARTMENT (CPW)
CONTACT NUMBER: (970) 565-7320.
2. CPW SHALL BE NOTIFIED 72 HOURS PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT OF WAY- ALL INSTALLATIONS, REPAIRS, AND INSPECTIONS AS WELL AS MATERIALS TESTING.
3. TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO CPW 72 HRS. PRIOR TO ANY SCHEDULED ROAD OR LANE CLOSURES. TRAFFIC CONTROL MUST MEET CURRENT EDITION OF MUTCD.
4. CONTRACTOR SHALL CONTACT CPW BEFORE ANY TRAFFIC CONTROL IS IN PLACE OR BEFORE ANY CONSTRUCTION (INCLUDING DEMOLITION) HAS BEGUN.
5. CPW POTHOLING INSPECTOR SHALL BE PRESENT AT THE TIME OF POTHOLING.
6. ROADWAY SECTION SHALL MEET CURRENT CITY STANDARDS FOR ROAD MATCH EXISTING DEPTH, WHICHEVER IS THICKER, AND PAVEMENT OR CONCRETE DETERMINED BY THE CITY. THE CONSTRUCTION/DEVELOPMENT SHALL BE REMOVED AND REPLACED PER CITY STANDARDS.
7. BLUE STATE LOCATES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY POTHOLING AND COORDINATION WITH UTILITY OWNER.
8. RECORD DRAWINGS OR WORK COMPLETED SHALL BE SUBMITTED TO CPW PRIOR TO FINAL ACCEPTANCE OF THE INSTALLATIONS.

SANITARY SEWER = 8 GPM (MINIMUM BURY DEPTH = 3.0')
WATER = 57 GPM @ 53 PSI (MINIMUM BURY DEPTH = 4.0')

ELECTRICAL LINE (MINIMUM BURY DEPTH = 2.0')
EMPIRE ELECTRIC TO DESIGN.
SEE MEP FOR LOADS

GAS LINE (MINIMUM BURY DEPTH = 3.0')
ATMOS ELECTRIC TO DESIGN.
SEE MEP FOR LOADS

FIBER OPTIC
UTILITY TO DESIGN. SEE
MEP FOR REQUIREMENTS

TELEPHONE (MINIMUM BURY DEPTH = 2.0')
UTILITY TO DESIGN. SEE
MEP FOR REQUIREMENTS

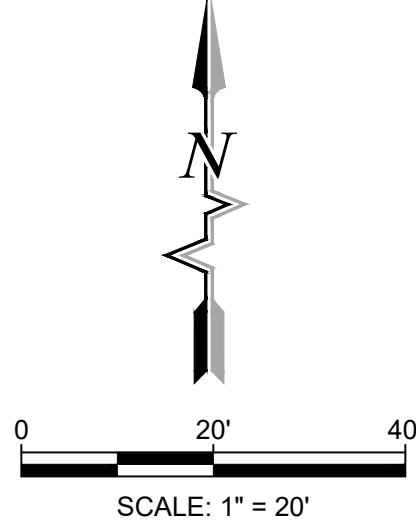
NOTE: DESIGN FLOWS PROVIDED BY OTHERS.

PRIVATE FIRE SERVICE UNDERGROUND MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENTLY ADOPTED INTERNATIONAL FIRE CODE AND CITY OF CORTEZ UTILITY STANDARDS. ANY WORK SHALL REMAIN OPEN AND UNCOVERED UNTIL INSPECTED BY CORTEZ FIRE DEPARTMENT. WHENEVER ANY INSTALLATION SUBJECT TO INSPECTION IS COVERED OR CONCEALED WITHOUT HAVING FIRST BEEN INSPECTED THE FIRE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE THAT SUCH WORK BE FULLY EXPOSED AND EASILY ACCESSIBLE FOR INSPECTION

WATER - CITY OF CORTEZ WATER TREATMENT PLAN (970) 565-9824
WASTEWATER - CORTEZ SANITATION DISTRICT (970) 565-3962
ELECTRIC - EMPIRE ELECTRIC ASSOCIATION, Inc. (970) 565-4444
GAS - ATMOS ENERGY (888) 286-6700

NOTE : CITY OF CORTEZ PUBLIC WORKS SHALL BE NOTIFIED PRIOR TO ANY NEW WATER CONNECTION AND SERVICE INSTALLATION TO THE MAIN LINE OR ANY EXISTING STUBOUT. ANY CONNECTION AFTER THE WATER METER IS THE CONTRACTORS RESPONSIBILITY.

1. THE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING, RESEARCHING AND CALLING FOR DESIGN LOCATES FOR THE LOCATION OF ALL EXISTING UTILITIES, SUB-OUTS AND OTHER FACILITIES AND SHOWING THEM APPROPRIATELY ON THE UTILITY SHEET.
2. THE ENGINEER AND THE OWNER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR COMPLIANCE TO OSHA REGULATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR JOB SAFETY OR COMPLIANCE TO OSHA REGULATIONS.
3. SHOULD CONFLICTING INFORMATION OR INTERFERENCE PROBLEMS ARISE FROM THE CONSTRUCTION DRAWINGS, THE CONTRACTOR SHALL BRING THAT INFORMATION TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO COMMENCING WORK. FAILURE TO DO SO SHALL NOT BE A BASIS OF EXTRA PAYMENT TO THE CONTRACTOR.
4. THE ENGINEER AND THE CONTRACTOR SHALL CALL COLORADO ONE CALL (811) FOR UNDERGROUND FACILITIES TO BE MARKED ON THE SURFACE FOR THE USE FOR DESIGN AND CONSTRUCTION PURPOSES.
5. ALL CONSTRUCTION MATERIALS AND WORKSMANSHIP DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF CORTEZ UTILITY STANDARDS.
6. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITIES ON ALL PROCEDURES, ANY DAMAGE TO EXISTING UTILITIES MUST BE IMMEDIATELY REPORTED TO THE APPROPRIATE UTILITY COMPANY.
7. ROADWAY, RIGHT-OF-WAY AND SUB GRADE TO BE ESTABLISHED WITHIN 6 INCHES (BOTH HORIZONTAL AND VERTICAL) OF FINAL LOCATION PRIOR TO INSTALLATION OF ANY UTILITIES. GAS AND FLOOD CONTROL TO BE LOCATED WITHIN 6 INCHES OF FINAL REQUIRED DEPTH AND LOCATION. THE CONTRACTORS WILL AT HIS EXPENSE RELOCATE OR REPLACE UTILITIES WHICH FAIL TO ADHERE TO THIS SPECIFICATION.
8. CURB CONTRACTOR TO STAMP FRESH CONCRETE SIDEWALK WITH 6" G. AND V. DIRECTLY ABOVE GAS, SEWER, AND WATER STATION LOCATIONS. A UTILITY INSPECTOR SHALL BE PRESENT WHEN MARKING.
9. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT ACCURATE DETAILED AND COMPLETE "AS-BUILT" DRAWINGS OF ALL UTILITY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY AND UTILITY COMPARTMENTS TO THE DEVELOPER PRIOR TO FINAL CONSTRUCTION REVIEW. IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO SUBMIT THE "AS-BUILT" DRAWINGS, AS COMPLETED BY THE CONTRACTOR AND TURNED IN TO THE CITY OF CORTEZ PROJECT MANAGER FOR APPROVAL AND ACCEPTANCE. UPON APPROVAL AND ACCEPTANCE BY THE CITY OF CORTEZ PROJECT MANAGER, THE SUBMITTED "AS-BUILT" BECOME THE PROJECTS "RECORD DRAWINGS".
10. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IMPROVEMENTS TO THE GAS SYSTEM BEFORE THOSE IMPROVEMENTS ARE INSTALLED TO THE SEWER SYSTEM. THE DRAWINGS SHALL BE SUBMITTED TO THE INSPECTOR FOR REVIEW AND COMMENTS 24 HOURS PRIOR TO THE PROPOSED AS-BUILT DRAWING SUBMISSION. THE CITY OF CORTEZ UPON CONSTRUCTION DRAWINGS OR AN ACCURATE SKETCH.
11. THE INSTALLATION OF MAIN/SEWER SERVICE LINES IN CITY OF CORTEZ AND DOT RIGHT-OF-WAY REQUIRE A PERMIT FROM THAT GOVERNMENT ENTITY AND MUST BE INITIATED BY THE PERSON REQUESTING THE SERVICE. THE OWNER IS RESPONSIBLE FOR ANY FEES WITH THE PERMIT PROCESS.
12. TREES SHALL HAVE A 10' MINIMUM CLEARANCE FROM ALL CITY OF CORTEZ UTILITIES SERVICES.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY WORK INCLUDING TRAFFIC CONTROL, PAVEMENT CUTS, EXCAVATION, AND BACKFILL AND RESTORATION. THE CONTRACTOR WILL PERFORM ALL THESE TASKS ON THEIR OWN BEHALF UNLESS IT IS SPECIFICALLY STATED ON THE UTILITY PLAN.
14. CHANGES REQUIRE A WRITTEN REQUEST FROM THE ENGINEER OR AN AMENDMENT TO THE UTILITY PLAN.
15. WHENEVER POSSIBLE THE WATER LINE SHALL BE ABOVE THE SEWER LINE. IF THE MINIMUM 18" CLEARANCE CANNOT BE OBTAINED WITH THE WATER LINE ABOVE THE SEWER, THE WATER LINE MUST BE INSTALLED UNDER THE SEWER LINE.
16. WHEN 18" CLEARANCE IS NOT OBTAINED THE SEWER LINE SHALL SHOWN 12" OR 24" OF COVER. THE COVER SHALL BE 12" OF COVER AND THE PIPE FOR A LENGTH OF 20'. THE SEWER LINE WILL BE CENTERED ON THE CROSSING WITH 10" ON EITHER SIDE OF THE SEWER/WATER CROSSING POINT. NO JOINTS IN SEWER LINE SHALL BE PERMITTED WITHIN THE ENCASMENT. SEE DETAIL "A" OF THIS SHEET.



To Request a Line Locate Dial 811

Colorado state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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CORTEZ, COLORADO

RETAIL SPACE
CORTEZ, COLORADO
UTILITY PLAN

RETAIL SPACE



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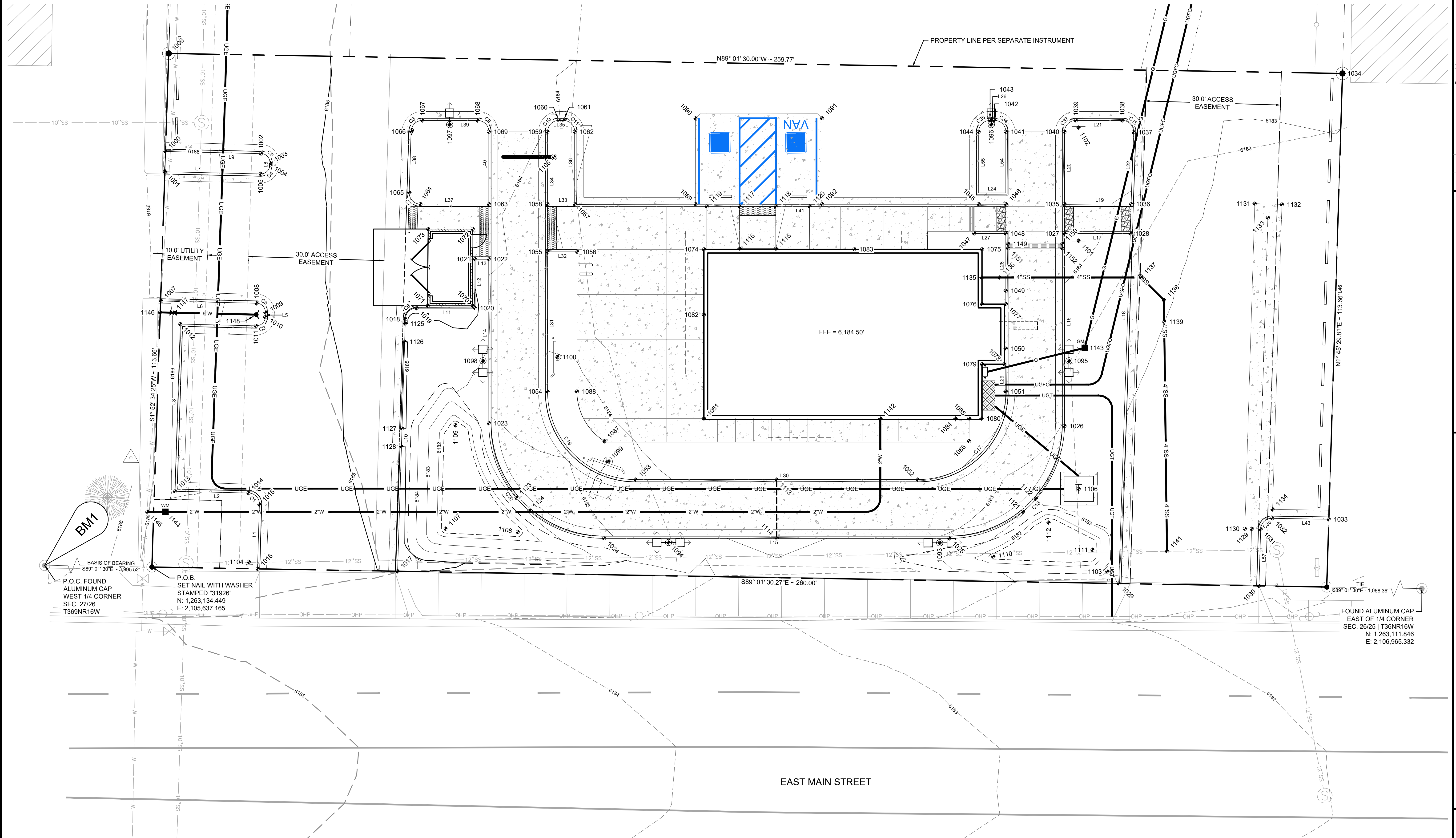
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Date: January 2023

Scale: Horiz: 1" = 20'
Vert: N/A

Project No: 9531448

Sheet: C103



POINT TABLE				
POINT #	ELEVATION	NORTHING	EASTING	DESCRIPTION
1000	6186.23	1263226.38	2105640.18	TBC
1001	6186.24	1263221.88	2105640.03	TBC
1002	6185.82	1263225.90	2105661.31	TBC
1003	6185.78	1263223.85	2105663.27	TBC
1004	6185.79	1263223.35	2105663.26	TBC
1005	6185.83	1263221.40	2105661.21	TBC
1006	6185.71	1263248.05	2105640.89	EDGE OF ASPHALT
1007	6186.28	1263193.28	2105639.22	TBC
1008	6185.86	1263192.80	2105660.32	TBC
1009	6185.78	1263190.74	2105662.27	TBC
1010	6185.78	1263189.74	2105662.24	TBC
1011	6185.86	1263187.80	2105660.20	TBC
1012	6186.15	1263188.18	2105643.45	TBC
1013	6186.06	1263151.20	2105642.25	TBC
1014	6185.89	1263150.83	2105658.52	TBC
1015	6185.83	1263148.25	2105660.96	TBC
1016	6185.90	1263134.06	2105660.54	TBC
1017	6185.44	1263133.52	2105691.53	TBC
1018	6185.15	1263189.30	2105693.25	TBC
1019	6185.18	1263191.73	2105695.74	TBC
1020	6185.24	1263191.73	2105708.67	TBC
1021	6184.64	1263202.56	2105708.67	TBC
1022	6184.62	1263202.56	2105711.69	TBC
1023	6183.46	1263166.29	2105711.72	TBC
1024	6183.46	1263140.79	2105737.22	TBC
1025	6183.46	1263140.79	2105813.62	TBC
1026	6183.49	1263165.64	2105839.11	TBC
1027	6184.18	1263208.23	2105839.12	TBC
1028	6183.85	1263208.23	2105853.65	TBC
1029	6182.66	1263130.82	2105851.11	TBC
1030	6182.71	1263130.28	2105882.13	TBC
1031	6182.75	1263142.81	2105882.51	TBC
1032	6182.78	1263145.23	2105885.06	TBC
1033	6182.84	1263145.02	2105897.59	TBC
1034	6183.18	1263243.63	2105900.61	EDGE OF APHALT
1035	6184.07	1263214.73	2105839.12	TBC
1036	6183.97	1263214.73	2105853.85	TBC
1037	6184.12	1263230.65	2105854.37	TBC
1038	6184.21	1263233.23	2105851.87	TBC
1039	6184.42	1263233.23	2105841.62	TBC
1040	6184.34	1263230.73	2105839.12	TBC
1041	6184.36	1263230.73	2105826.12	TBC
1042	6184.40	1263233.23	2105823.62	TBC
1043	6184.40	1263233.23	2105822.62	TBC
1044	6184.43	1263230.73	2105820.12	TBC
1045	6183.81	1263214.73	2105820.12	TBC
1046	6183.78	1263214.73	2105826.12	TBC
1047	6184.42	1263208.23	2105819.12	TBC
1048	6184.42	1263208.23	2105826.12	TBC
1049	6184.33	1263195.58	2105826.12	TBC
1050	6184.24	1263182.79	2105826.12	TBC
1051	6184.17	1263173.29	2105826.12	TBC
1052	6184.30	1263153.79	2105806.62	TBC
1053	6183.84	1263153.79	2105744.22	TBC
1054	6183.91	1263173.29	2105724.72	TBC
1055	6184.22	1263204.17	2105724.72	TBC
1056	6184.22	1263204.17	2105731.30	TOC
1057	6184.41	1263214.73	2105730.72	TBC
1058	6184.33	1263214.73	2105724.72	TBC
1059	6184.48	1263230.73	2105724.72	TBC
1060	6184.30	1263233.23	2105727.22	TBC
1061	6184.26	1263233.23	2105728.22	TBC
1062	6184.29	1263230.73	2105730.72	TBC
1063	6184.57	1263214.73	2105711.72	TBC
1064	6184.77	1263214.73	2105696.60	TBC
1065	6184.85	1263217.30	2105694.11	TBC
1066	6185.01	1263230.80	2105694.52	TBC
1067	6184.94	1263233.23	2105697.02	TBC
1068	6184.78	1263233.23	2105709.22	TBC
1069	6184.71	1263230.73	2105711.72	TBC

POINT TABLE				
POINT #	ELEVATION	NORTHING	EASTING	DESCRIPTION
1070	6184.75	1263192.23	2105708.17	TRASH ENCLOSURE
1071	6184.70	1263192.23	2105698.21	TRASH ENCLOSURE
1072	6184.17	1263209.23	2105708.17	TRASH ENCLOSURE
1073	6184.46	1263209.23	2105698.28	TRASH ENCLOSURE
1074	6184.50	1263204.73	2105759.31	EDGE OF BUILDING
1075	6184.50	1263204.73	2105820.85	EDGE OF BUILDING
1076	6184.50	1263192.60	2105820.85	EDGE OF BUILDING
1077	6184.50	1263192.60	2105826.12	EDGE OF BUILDING
1078	6184.50	1263179.32	2105825.79	EDGE OF BUILDING
1079	6184.50	1263179.32	2105820.85	EDGE OF BUILDING
1080	6184.50	1263167.29	2105820.75	EDGE OF BUILDING
1081	6184.50	1263167.29	2105759.31	EDGE OF BUILDING
1082	6184.50	1263190.27	2105759.31	BUILDING ENTRANCE
1083	6184.50	1263204.73	2105792.58	BUILDING ENTRANCE
1084	6184.50	1263167.29	2105815.00	BUILDING ENTRANCE
1085	6184.50	1263167.29	2105818.00	TOC
1086	6184.43	1263162.29	2105818.00	TOC
1087	6183.81	1263162.29	2105737.29	TOC
1088	6183.94	1263173.29	2105731.22	TOC
1089	6183.86	1263214.73	2105757.46	TOC
1090	6183.81	1263233.71	2105757.45	TOC
1091	6183.85	1263233.72	2105785.45	TOC
1092	6183.84	1263214.73	2105785.46	TOC
1093	6183.41	1263139.81	2105811.47	LIGHT POST
1094	6183.76	1263139.87	2105751.47	LIGHT POST
1095	6183.71	1263180.06	2105840.08	LIGHT POST
1096	6184.42	1263232.31	2105822.90	LIGHT POST
1097	6184.86	1263232.31	2105703.06	LIGHT POST
1098	6183.98	1263180.06	2105710.41	LIGHT POST
1099	6183.76	1263157.79	2105738.08	MENU BOARD
1100	6183.99	1263180.88	2105726.89	MENU BOARD
1101	6184.09	1263206.62	2105842.22	SIGN
1102	6184.35	1263231.64	2105842.21	SIGN
1103	6183.01	1263133.46	2105848.56	SIGN
1104	6185.58	1263135.59	2105658.62	SIGN
1105	6184.42	1263225.16	2105726.15	CLEARANCE BAR
1106	6183.77	1263151.74	2105842.24	TRANSFORMER PAD
1107	6181.57	1263142.92	2105702.13	BOTTOM OF POND
1108	6181.57	1263142.20	2105718.12	BOTTOM OF POND
1109	6181.57	1263165.84	2105704.33	BOTTOM OF POND
1110	6181.56	1263136.75	2105823.32	BOTTOM OF POND
1111	6181.56	1263138.24	2105845.28	BOTTOM OF POND
1112	6181.56	1263144.28	2105835.58	BOTTOM OF POND
1113	6184.46	1263153.79	2105775.42	TBC
1114	6184.22	1263140.79	2105775.42	TBC
1115	6184.00	1263204.88	2105775.22	ADA RAMP
1116	6184.00	1263204.89	2105767.22	ADA RAMP
1117	6183.86	1263214.23	2105767.22	ADA RAMP
1118	6183.86	1263214.23	2105775.22	ADA RAMP
1119	6184.36	1263214.23	2105759.96	ADA RAMP
1120	6184.36	1263214.23	2105782.72	ADA RAMP
1121	6183.11	1263146.67	2105829.90	ADA RAMP
1122	6183.11	1263149.51	2105832.82	ADA RAMP
1123	6183.11	1263149.76	2105717.81	ADA RAMP
1124	6183.11	1263146.87	2105720.69	ADA RAMP
1125	6184.66	1263188.30	2105693.22	CURB CUT
1126	6184.67	1263184.31	2105693.09	CURB CUT
1127	6184.77	1263165.11	2105692.50	CURB CUT
1128	6184.79	1263161.11	2105692.38	CURB CUT
1129	6182.29	1263142.87	2105880.51	CONC PAN
1130	6182.32	1263142.92	2105879.02	CONC PAN
1131	6182.68	1263214.84	2105881.21	CONC PAN
1132	6182.68	1263214.65	2105887.21	CONC PAN
1133	6182.60	1263211.75	2105884.12	CONC PAN FL
1134	6182.34	1263147.23	2105885.15	CONC PAN
1135	6180.06	1263198.50	2105820.75	SEWER CONNECTION
1136	6184.39	1263198.50	2105824.75	SINGLE CLEANOUT
1137	6183.22	1263198.50	2105856.05	4"Ø 45° BEND
1138	6183.05	1263193.50	2105861.11	4"Ø 45° BEND
1139	6183.01	1263188.70	2105861.16	SINGLE CLEANOUT

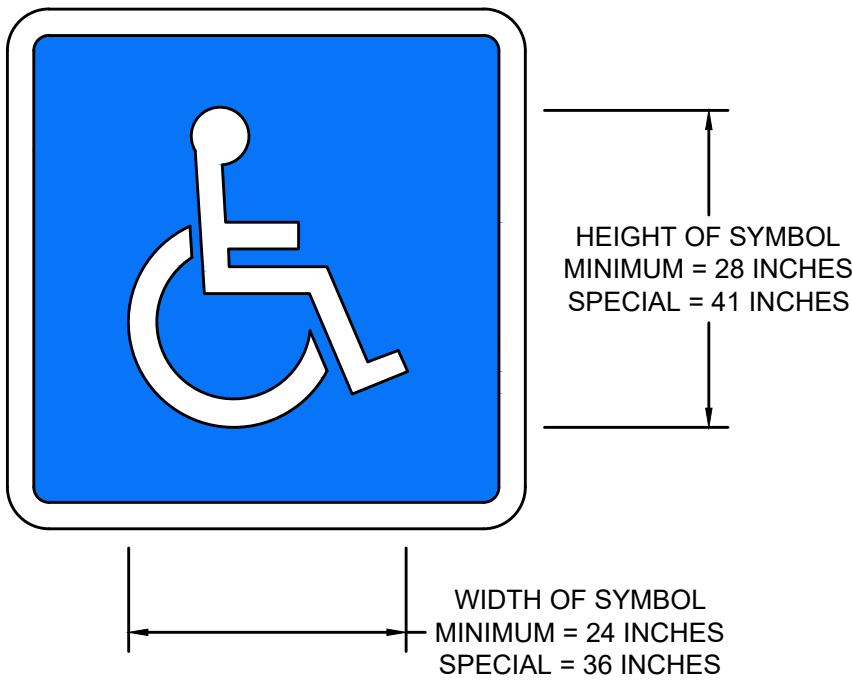
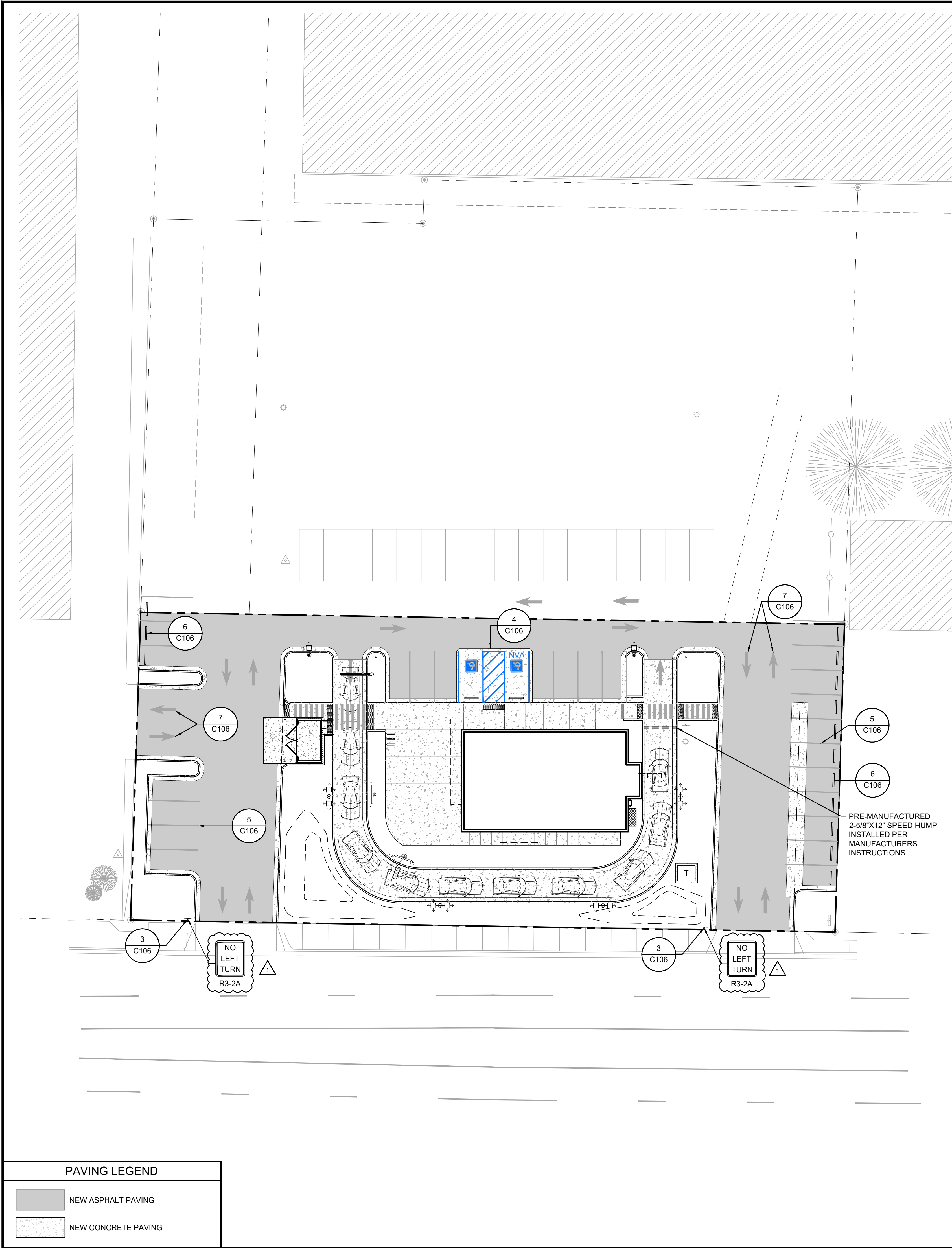


POINT TABLE				
POINT #	ELEVATION	NORTHING	EASTING	DESCRIPTION
1141	6182.56	1263137.93	2105861.78	CONNECT TO EX SS
1142	6180.50'	1263167.29	2105798.35	WATERLINE CONNECTION
1143	6183.72	1263182.92	2105843.58	GAS METER
1144	6185.88	1263146.68	2105640.17	WATER METER
1145	6186.10	1263146.68	2105636.14	CONNECT TO EX WL
1146	6185.77	1263190.77	2105638.96	CONNECT TO EX WL
1147	6186.03	1263190.70	2105641.92	6"Ø WATER VALVE
1148	6185.86	1263190.28	2105660.26	6"Ø FIRE HYDRANT
1149	6183.90	1263205.96	2105826.62	SPEED BUMP
1150	6183.69	1263205.96	2105838.62	SPEED BUMP
1151	6183.86	1263204.96	2105826.62	SPEED BUMP
1152	6183.62	1263204.96	2105838.62	SPEED BUMP

TOP BACK OF CURB LINE TABLE		
LINE NO.	DIRECTION	LENGTH
L1	N1°42'40"E	14.20'
L2	N88°41'31"W	16.27'
L3	N1°51'14"E	37.00'
L4	S88°41'31"E	16.76'
L5	N1°43'02"E	1.00'
L6	N88°41'31"W	21.22'
L7	N88°41'31"W	21.18'
L8	S1°18'29"W	0.50'
L9	S88°41'31"E	21.14'
L10	S1°45'30"W	55.81'
L11	S89°59'48"W	12.93'
L12	S0°00'00"E	10.83'
L13	N90°00'00"W	3.02'
L14	N0°02'28"W	36.27'
L15	N90°00'00"W	76.40'
L16	S0°00'26"W	42.58'
L17	N90°00'00"W	14.54'
L18	N1°53'08"E	77.45'
L19	S89°58'38"W	14.73'
L20	N0°00'26"E	16.00'
L21	N90°00'00"E	10.25'
L22	S1°52'24"W	15.92'
L24	N90°00'00"W	6.00'

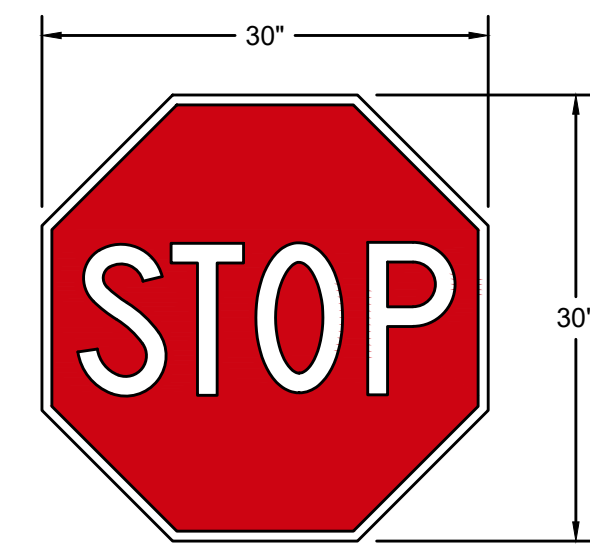
TOP BACK OF CURB LINE TABLE		
LINE NO.	DIRECTION	LENGTH
L26	N90°00'00"E	1.00'
L27	N90°00'00"E	7.00'
L28	S0°00'00"E	15.63'
L29	N0°00'00"E	6.03'
L30	N90°00'00"E	62.40'
L31	S0°00'00"E	30.88'
L32	N90°00'00"W	6.58'
L33	N90°00'00"W	6.00'
L34	N0°00'00"E	16.00'
L35	N90°00'00"E	1.00'
L36	S0°00'00"E	16.00'
L37	N90°00'00"E	15.12'
L38	S1°45'30"W	13.51'
L39	N90°00'00"W	12.20'
L40	N0°00'00"E	16.00'
L41	N90°00'00"W	95.90'
L43	S89°01'30"E	12.53'
L46	N1°45'30"E	99.00'

TOP BACK OF CURB CURVE TABLE					
CURVE NO.	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH
C1	3.95'	2.50'	90°27'00"	N43°28'00"W	3.55'
C2	3.13'	2.00'	89°35'27"	N46°30'46"E	2.82'
C3	3.16'	2.00'	90°24'33"	N43°29'14"W	2.84'
C4	3.14'	2.00'	90°00'00"	S46°18'29"W	2.83'
C5	3.14'	2.00'	90°00'00"	S43°41'31"E	2.83'
C6	3.85'	2.50'	88°14'18"	S45°52'39"W	3.48'
C7	4.00'	2.50'	91°45'30"	S44°07'15"E	3.59'
C8	3.85'	2.50'	88°14'30"	S45°52'45"W	3.48'
C9	3.93'	2.50'	90°00'00"	N45°00'00"W	3.54'
C10	3.93'	2.50'	90°00'00"	N45°00'00"E	3.54'
C11	3.93'	2.50'	90°00'00"	S45°00'00"E	3.54'
C15	4.01'	2.50'	91°52'24"	S44°03'48"E	3.59'
C17	25.05'	19.50'	73°37'02"	N53°1'129"E	23.37'
C18	39.41'	25.50'	88°32'48"	S45°43'36"W	35.60'
C19	30.63'	19.50'	90°00'00"	S45°00'00"E	27.58'
C20	40.06'	25.50'	90°00'00"	N45°00'00"W	36.06'
C37	3.93'	2.50'	90°00'00"	N45°00'00"E	3.54'



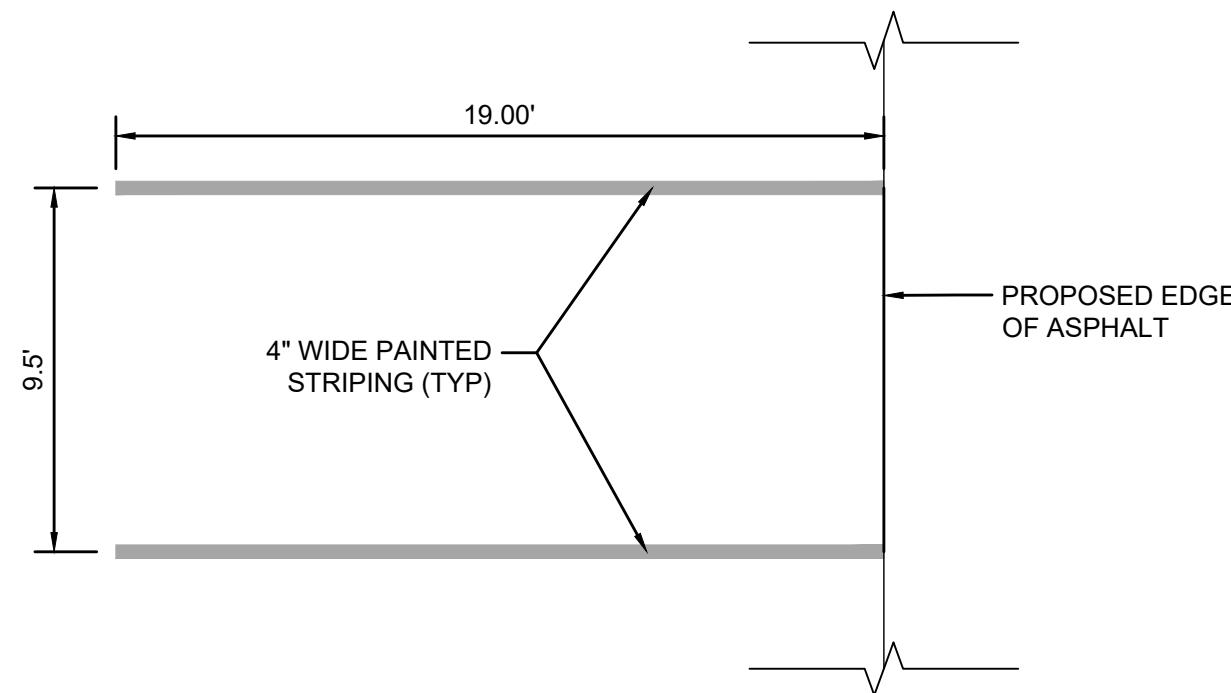
* STROKE WIDTH
MINIMUM = 3 INCHES
SPECIAL = 4 INCHES
NOTE: BLUE BACKGROUND AND
WHITE BORDER ARE OPTIONAL

1 RESERVED PARKING SYMBOL
SCALE: N.T.S.

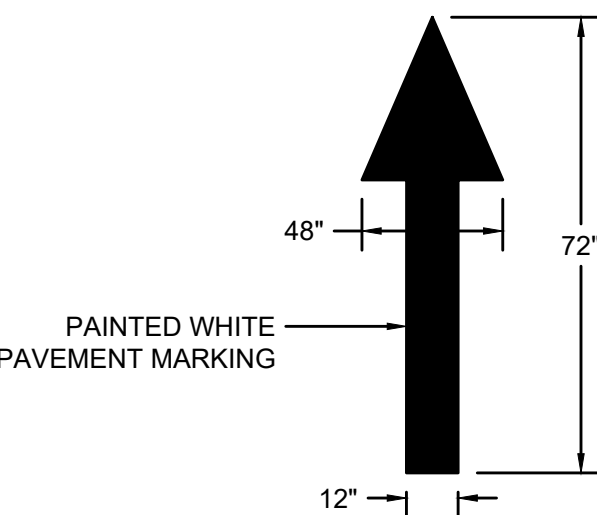


MINIMUM 30" x 30"

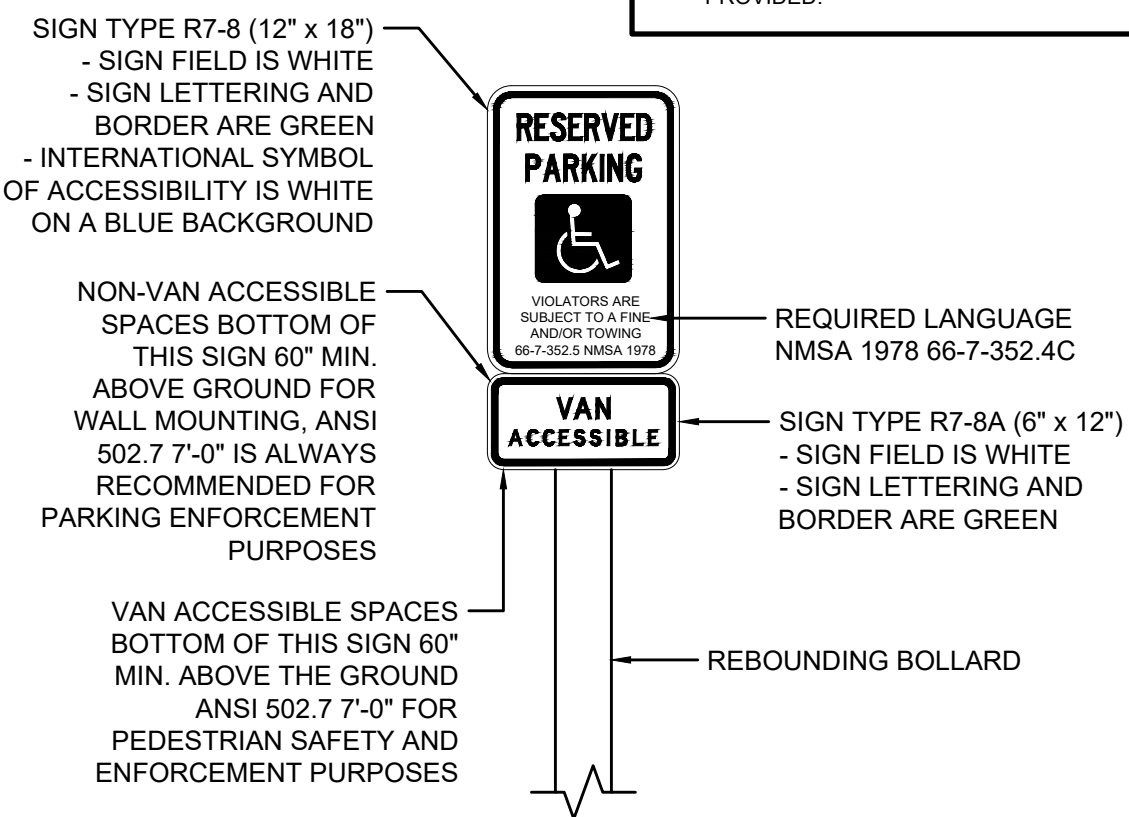
3 STOP SIGN (R1-1)
SCALE: N.T.S.



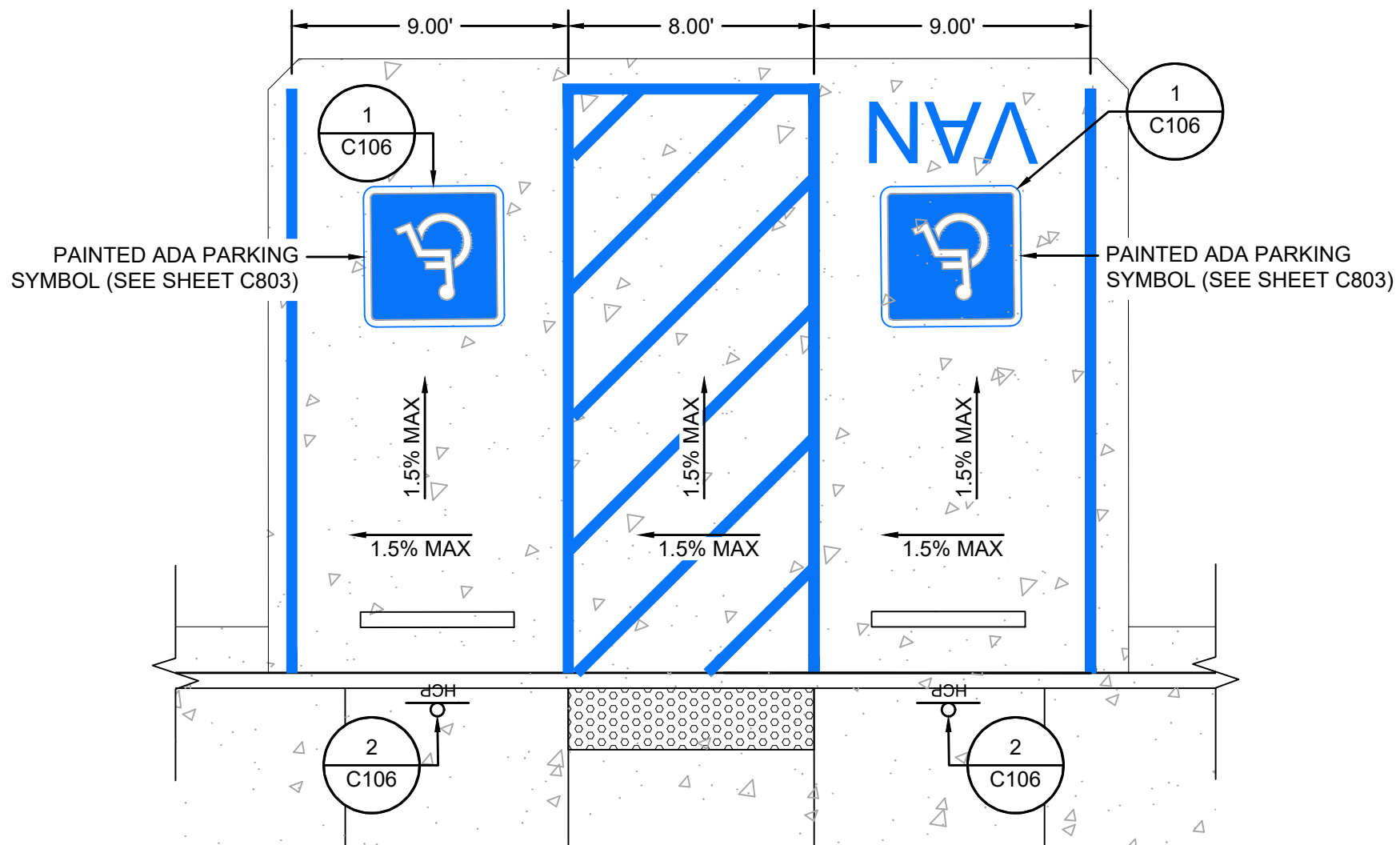
5 TYPICAL PARKING SPACE
SCALE: N.T.S.



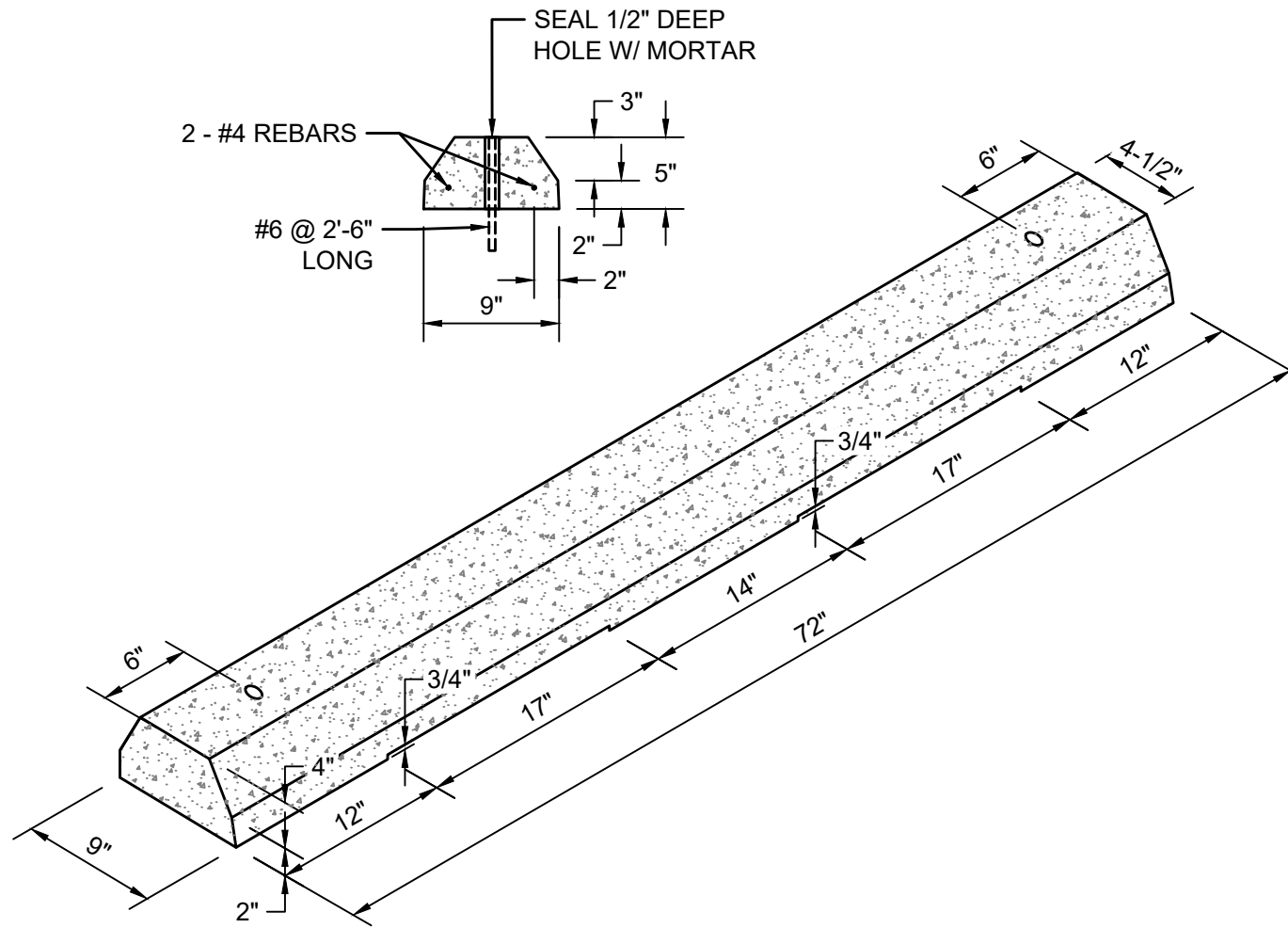
7 PAVEMENT ARROW MARKING
SCALE: N.T.S.



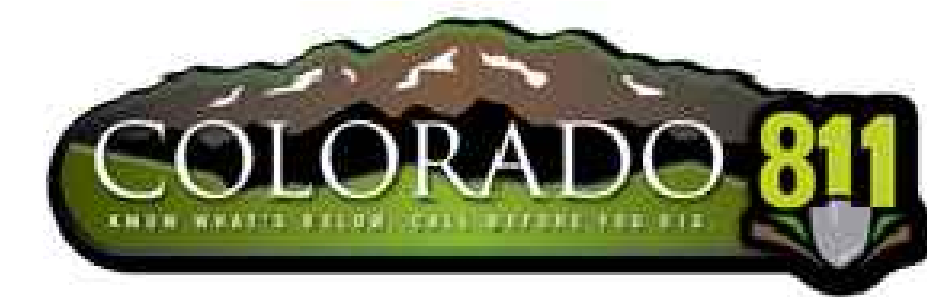
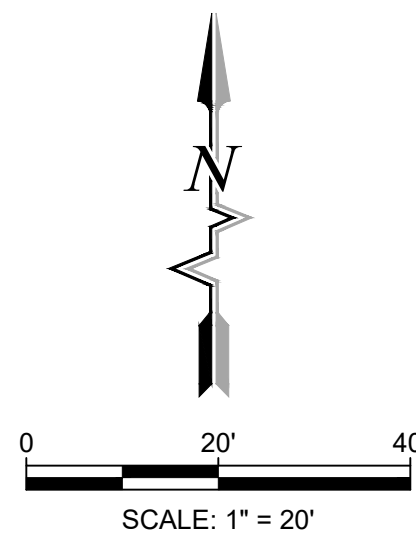
2 ADA PARKING SIGN
SCALE: N.T.S.



4 ADA PARKING STRIPING AND PEDESTRIAN ACCESS
SCALE: N.T.S.



6 PRECAST CONCRETE WHEEL STOP
SCALE: N.T.S.



To Request a Line Locate Dial 811

Colorado state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

PARKING REQUIREMENTS

1. THE PERPENDICULAR PARKING STALLS ARE 9'x19.0'. 25 SPACES ARE PROVIDED.
2. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.

By	CHKD	Rev#	Date	Description
RWZ	DWMJR	1	1/24/23	REVISION TO SEWER INV. EL. AND SIGNAGE.

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CORTEZ, COLORADO	RETAIL SPACE
RETAIL SPACE	
CORTEZ, COLORADO	
STRIPING AND SIGNING PLAN	

COLORADO LICENSED PROFESSIONAL ENGINEER	
60550	
244	

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed	Drawn	Checked
RWZ	RWZ	DWMJR
Date:	January 2023	
Scale:	Horiz:	N/A
	Vert:	N/A
Project No:	9531448	
Sheet:	C106	

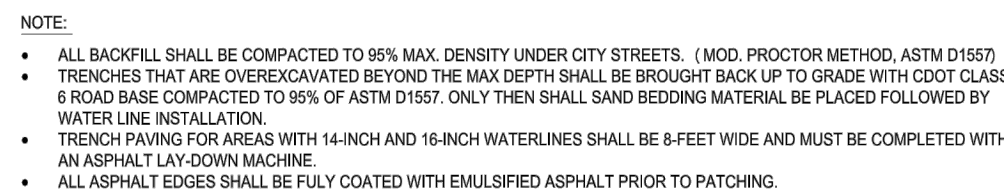
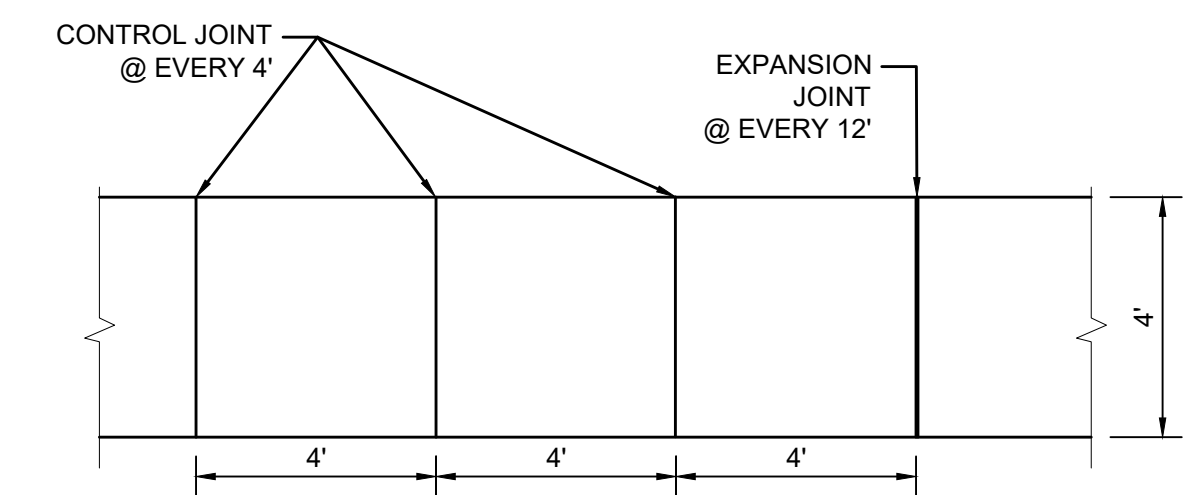
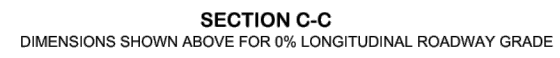
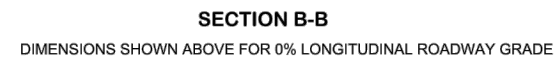


FIGURE 4.4 TRENCH DETAIL

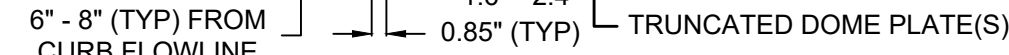
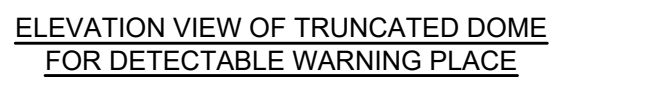
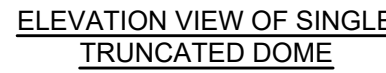


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A circular professional engineer seal for the state of Colorado. The outer ring contains the text "COLORADO LICENSED PROFESSIONAL ENGINEER". The center features the license number "60550" and a signature "D. S. C." dated "01-02-2011".



SCALE: N.T.S



SURFACE PLATE

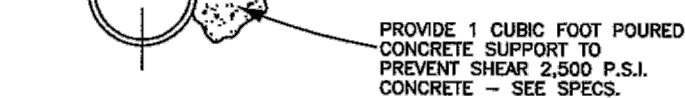


1. ALL SERVICE LINES SHALL CONFORM TO LOCAL PLUMBING CODE.
2. SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.

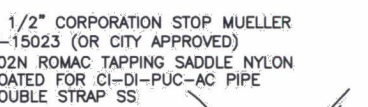
SCALE: N.T.S



3. SEWER SERVICE SHALL BE A COMBO OR 45° WYE WITH 45° ELBOW.



SCALE: N.T.S



- NOTES:**
1. ALL SERVICE LINES TAPPED INTO EXISTING WATER MAINS ARE TO BE INSTALLED BY THE CITY'S O & M CONTRACTOR FOR 1-1/2" AND SMALL METER SERVICES.
 2. FOR COMMERCIAL PROPERTIES WITH ZERO LOT LINE PLACE METER ONE FOOT BEHIND CURB.
 3. WHENEVER POSSIBLE: ALL METERS SHALL BE INSTALLED WITHIN RIGHT-OF-WAY BEHIND SIDEWALK, OUTSIDE OF DRIVEWAY AREA AND CLOSE TO PROPERTY LINE.
 4. TAMPERING AND ACCESS OF THE METER CAN IS PROHIBITED. FOR ACCESS INTO METER CAN, CONTACT CITY'S O & M CONTRACTOR.
 5. SHOULD THE CITY DEEM USE OF PROPERTY AS HIGH HAZARD, THEN AN RP BACKFLOW IN ADDITION TO THE DOUBLE CHECK VALVE WILL BE REQUIRED.
 6. THE PROPERTY OWNER SHOULD INSTALL A SIMILAR SHUT OFF VALVE AS INDICATED AT THE TIME OF METER INSTALLATION AS SHOWN.
 7. IF THE METER CANS PROVIDE NO MORE THAN 4" "DIG TAIL" SERVICE LINE STUB OUT OUTSIDE OF METER CAN (CUSTOMER SIDE), "DIG TAIL" SHALL BE WRAPPED TO PREVENT DAMAGE.

SCALE: N.T.S

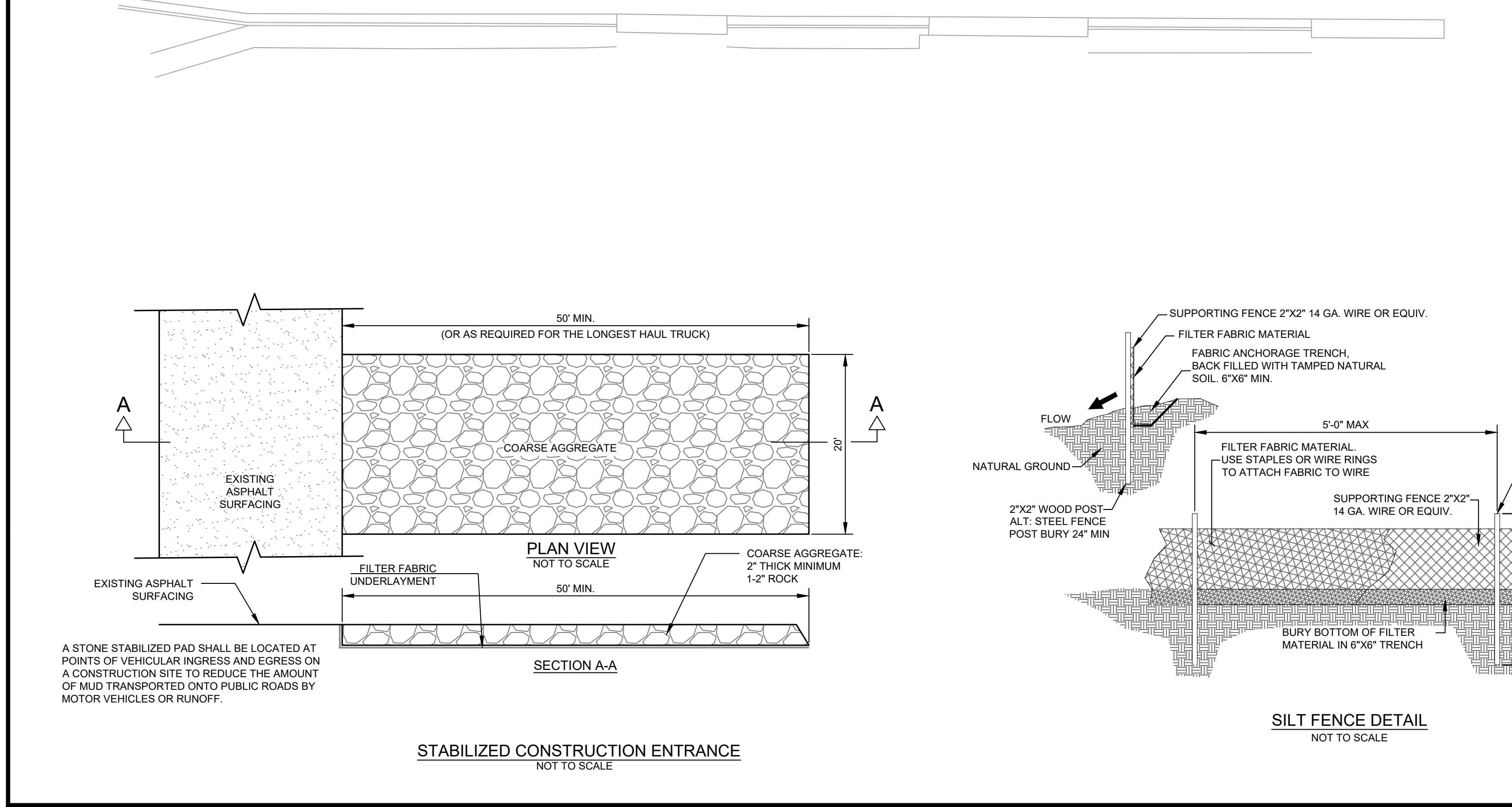
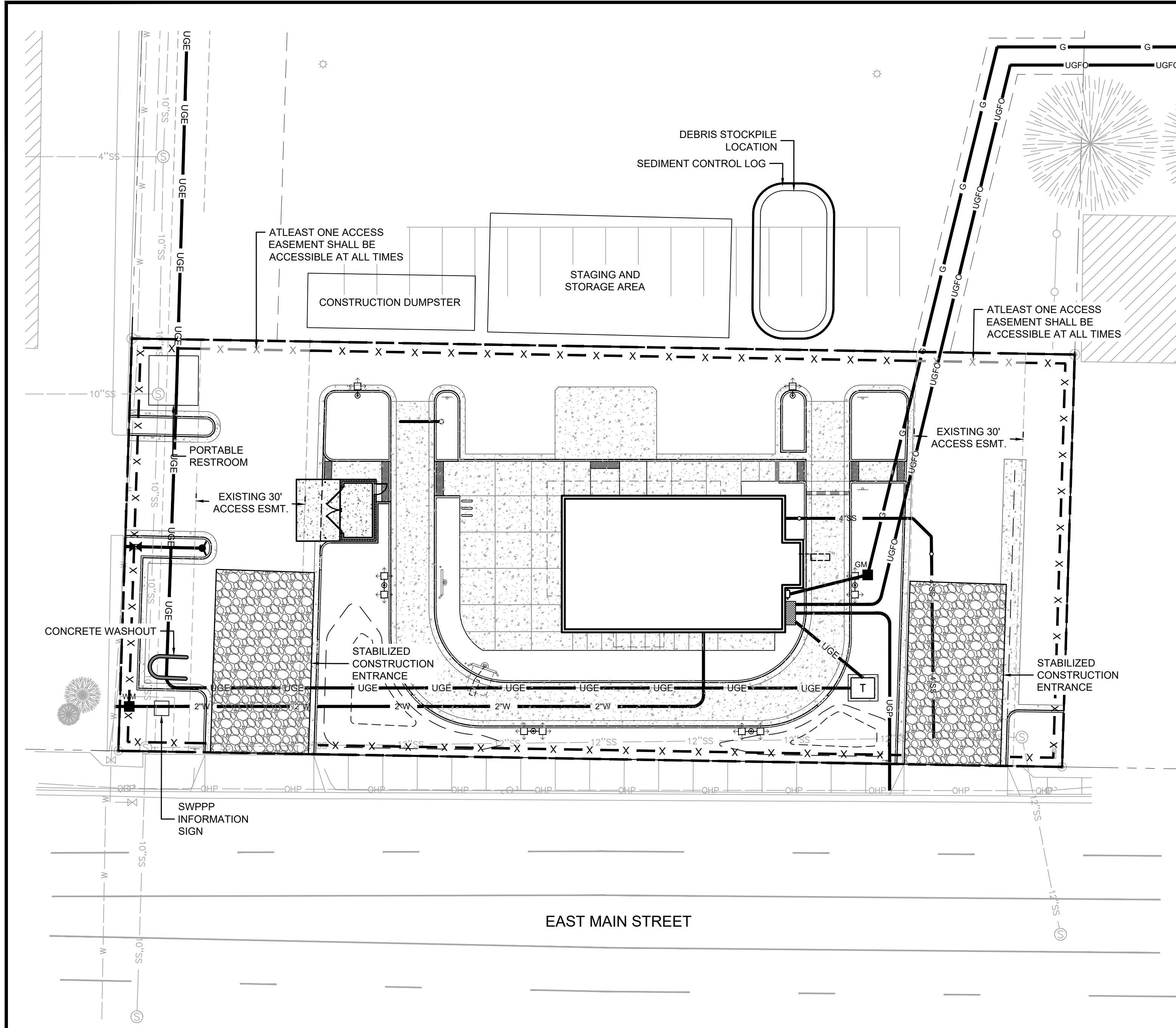
SMA
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Designed RWZ	Drawn RWZ	Checked DWMJR
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Scale: Horiz: N/A
Vert: N/A

Sheet: C108

0100



GENERAL EROSION NOTES:

- 1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 2. GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION.
- 3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE, GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- 5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOOLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.
- 7. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 8. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE.
- 9. ALL STORM WATER POLLUTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.
- 10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRENCE IN THESE AREAS.
- 11. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
- 12. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.
- 13. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE STORM WATER CONTROLS (SEDIMENT CONTROL LOG, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.

GOOD HOUSE KEEPING PRACTICES:

- 1. THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP.
- 2. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.
- 4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS.
- 5. SOLID WASTE MATERIALS SHALL BE STORED AND DISPOSED OF WITHIN DUMPSTER RENTED FROM AND COLLECTED BY A PRIVATE WASTE DISPOSAL CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF OR BURIED ON-SITE.
- 6. THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOILS.
- 7. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE SHELTERED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF PERIMETER AROUND IT. LOCATE CHEMICAL STORAGE AREAS AWAY FROM LOW-LYING AREAS AND DRAINAGE PATHS.
- 8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-424-8802 OR 202-426-2675), THE NEW MEXICO ENVIRONMENT DEPARTMENT (EMERGENCY LINE: 505-827-9329; NON-EMERGENCY LINE: 866-428-6535), AND THE LOCAL FIRE DEPARTMENT (505-599-1430).

MAINTENANCE:

ALL STORM WATER CONTROLS STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE NPDES/EPA PERMIT REQUIREMENTS.

- 1. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDLES WHEN IT REACHES 1/2 THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED, OR REPLACED, IF NECESSARY.
- 2. HARDENED CONCRETE SHALL BE REMOVED FROM CONCRETE WASHOUT AREA ON A REGULAR BASIS.
- 3. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MUST BE WASHED DOWN AND/OR REPLACED.
- 4. CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEEP AS NECESSARY.
- 5. SANITARY WASTES SHALL BE COLLECTED FROM PORTABLE SANITARY FACILITIES NOT LESS THAN ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- 6. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.
- 7. THE STORAGE/STAGING AND MASON'S AREAS SHALL BE CLEARED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

SEQUENCE OF CONSTRUCTION:

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT TO THIS PLAN. ALSO INCLUDED IN THE SEQUENCE ARE STORM WATER CONTROLS INSTALLATION ACTIVITIES THAT MUST TAKE PLACE PRIOR TO CONSTRUCTION ACTIVITIES. NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENTED IN THE SEQUENCE THEY ARE EXPECTED TO BE COMPLETED. CONTRACTOR TO IMMEDIATELY DENOTE ON THIS PLAN ANY CHANGES IN STORM WATER CONTROLS LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

PHASE I

- 1. INSTALL SWPPP INFORMATION SIGN.
- 2. CLEAR AND GRUB THE SITE.
- 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
- 4. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.
- 5. INSTALL SILT FENCE.
- 6. BEGIN GRADING THE SITE.
- 7. TEMPORARY STABILIZE STOCKPILE AREAS.

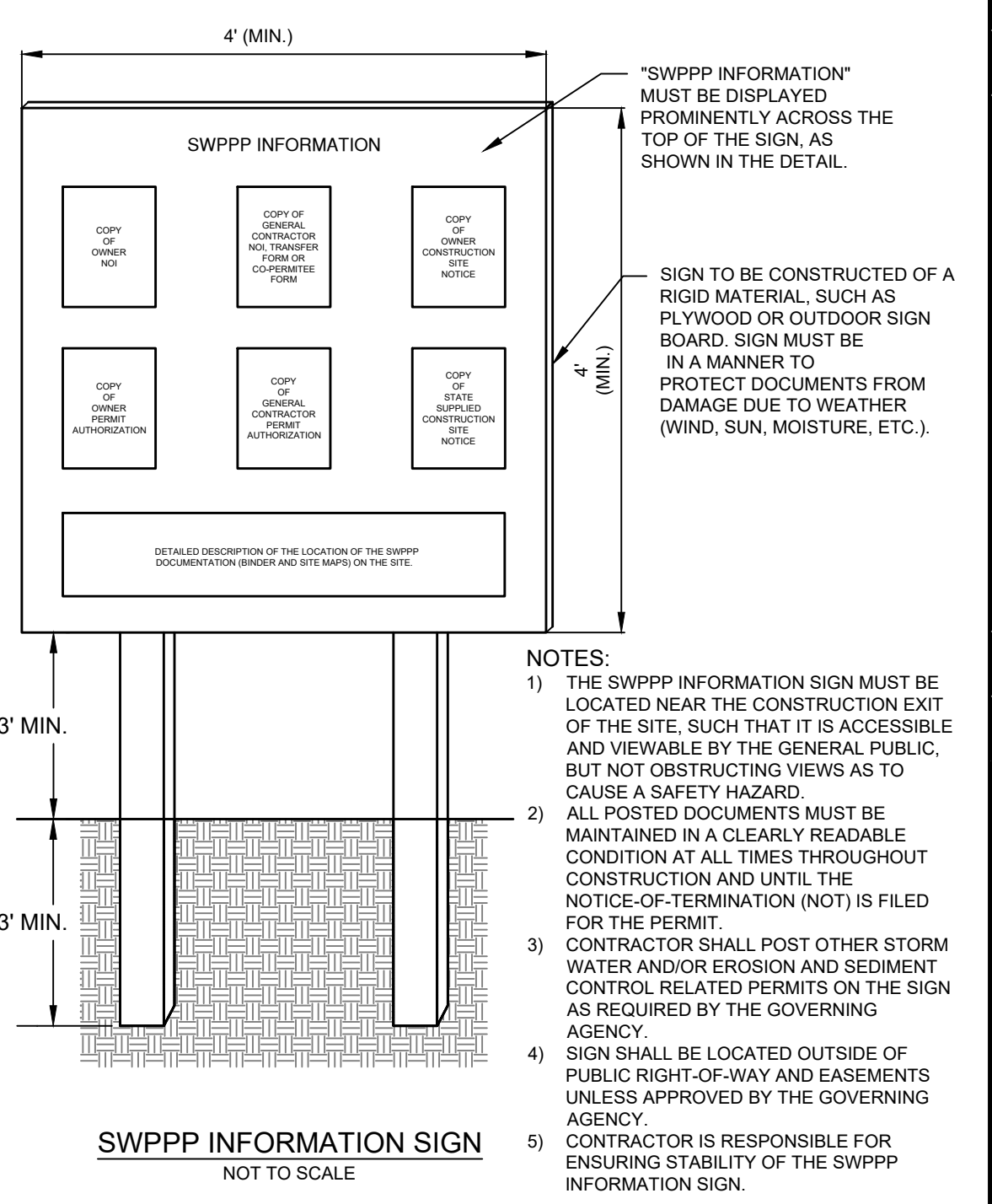
PHASE II

- 1. BUILDING CONSTRUCTION.
- 2. INSTALL DRAINAGE FEATURES.
- 3. INSTALL UTILITIES.
- 4. INSTALL CONCRETE CURB & GUTTERS AND FLATWORK.
- 5. INSTALL LANDSCAPING.

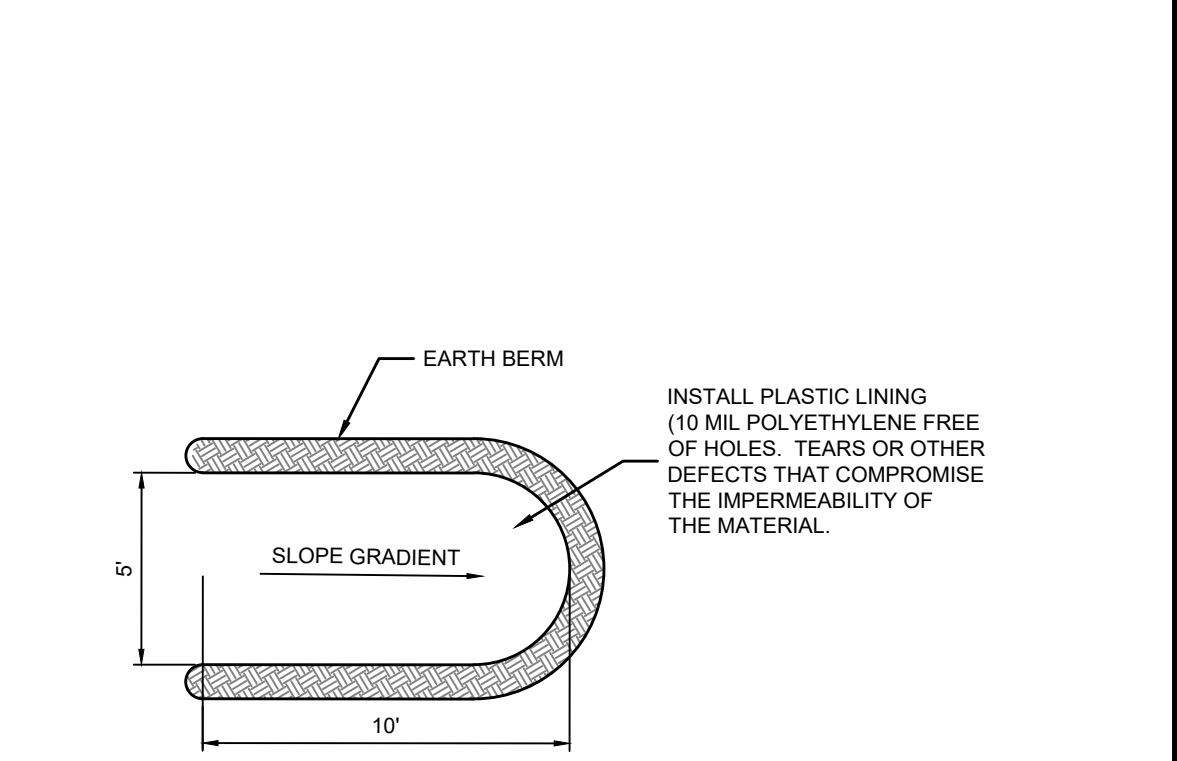
PHASE III

- 1. BEGIN PAVING OPERATIONS.
- 2. INSTALL SIGNING AND STRIPING.
- 3. INSPECT AND CLEAN UP SITE.
- 4. REMOVE TEMPORARY STORMWATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP).
- 5. FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT).

THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.



SWPPP INFORMATION SIGN NOT TO SCALE



CONCRETE WASHOUT NOT TO SCALE

SWPPP INFORMATION SIGN NOT TO SCALE

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CONCRETE WASHOUT NOT TO SCALE

By: CRK

Rev #

Date

Description

RETAIL SPACE

CORTEZ, COLORADO

EROSION CONTROL PLAN PHASE 2

SOUDER, MILLER & ASSOCIATES

Engineering • Environmental • Geomatics

401 West Broadway Avenue

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Colorado Licensed Professional Engineer

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THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed RWZ

Drawn RWZ

Checked DWMJR

Date: January 2023

Scale: Horiz: N/A

Vert: N/A

Project No: 9531448

Sheet: C110

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.

2. THE GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER POLLUTION CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION.

3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONAL PROPERTY AND ADJACENT PROPERTIES.

4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOLLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.

7. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR TUNE UP SUPPRESSION OPERATIONS IS PROHIBITED.

8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE.

9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.

10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE PORTIONS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

11. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT AND REMOVE THE WASH WATER BEFORE IT ENTERS THE ADJACENT PROPERTY.

12. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.

13. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STORM WATER CONTROL (SEDIMENT CONTROL LOG, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.

1. THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP.
2. A STABLED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY MINIMIZING THE POTENTIAL FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.
4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS.
5. SOLID WASTE MATERIALS SHALL BE STORED AND DISPOSED OF WITHIN DUMPSTER RENTED FROM AND COLLECTED BY A LICENSED WASTE CONTRACTOR. NO SOLID WASTE MATERIALS SHALL BE STORED OR DISPOSED ON-SITE.
6. THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOLIDS.
7. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE SHELTERED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF FLOOR AND LOCATE CHEMICAL STORAGE AWAY FROM LOW-LYING AREAS AND DOWNWIND AREAS.
8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-424-8802 OR 202-468-2575), THE NEW MEXICO DEPARTMENT OF ENVIRONMENT (EMERGENCY LINE: 505-827-0329, NON-EMERGENCY LINE: 866-428-6535), AND THE LOCAL FIRE DEPARTMENT (505-599-1430).

ALL STORM WATER CONTROLS STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE NPDES/EPA PERMIT REQUIREMENTS.

1. BUILD UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDLERS WHEN IT REACHES $\frac{3}{4}$ THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED, OR REPLACED, IF NECESSARY.
2. THE CONSTRUCTION WASHOUT AREA SHALL BE REMOVED FROM THE PROJECT SITE WHEN THE CONSTRUCTION IS COMPLETED.
3. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA OF THE ENTRANCE, THE ROAD AGGREGATE MUST BE REPLACED.
4. CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEEP AS NECESSARY.
5. ALL SOLID WASTE SHALL BE COLLECTED AND REMOVED TO AN APPROPRIATE SANITARY FACILITIES NOT LESS THAN 100 FEET BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS.
6. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.
7. THE CURBING, GUTTERS AND MASONRY ARE REQUIRED TO BE MAINTAINED. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT TO THIS PLAN. ALSO INCLUDED IN THE SEQUENCE ARE STORM WATER CONTROLS INSTALLATION ACTIVITIES THAT MUST TAKE PLACE PRIOR TO CONSTRUCTION ACTIVITIES. **NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.** ACTIVITIES ARE PRESENTED IN THE SEQUENCE THEY ARE EXPECTED TO BE COMPLETED. CONTRACTOR TO IMMEDIATELY DENOTE ON THIS PLAN ANY CHANGES IN STORM WATER CONTROLS LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

1. INSTALL SWPPP INFORMATION SIGN.
2. CLEAR AND GRUB THE SITE.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
4. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.
5. INSTALL SILT FENCE.
6. BEGIN GRADING THE SITE.
7. TEMPORARY STABILIZE STOCKPILE AREAS.

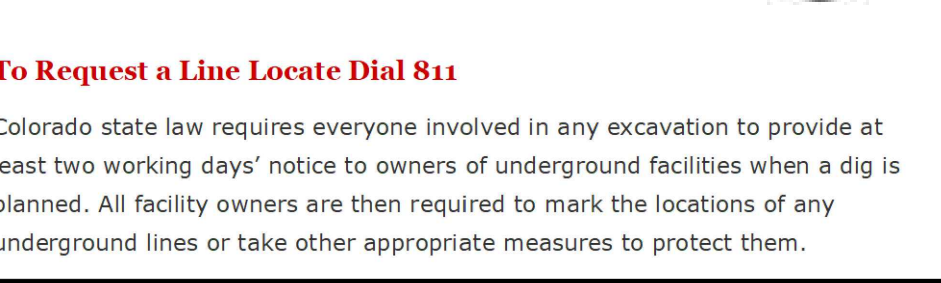
1. BUILDING CONSTRUCTION.
2. INSTALL DRAINAGE FEATURES.
3. INSTALL UTILITIES.
4. INSTALL CONCRETE CURB & GUTTERS AND FLATWORK.
5. INSTALL LANDSCAPING.

1. BEGIN PAVING OPERATIONS.
2. INSTALL SIGNING AND STRIPING.
3. INSPECT AND CLEAN UP SITE.
4. REMOVE TEMPORARY STORMWATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP).
5. FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT).

THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.





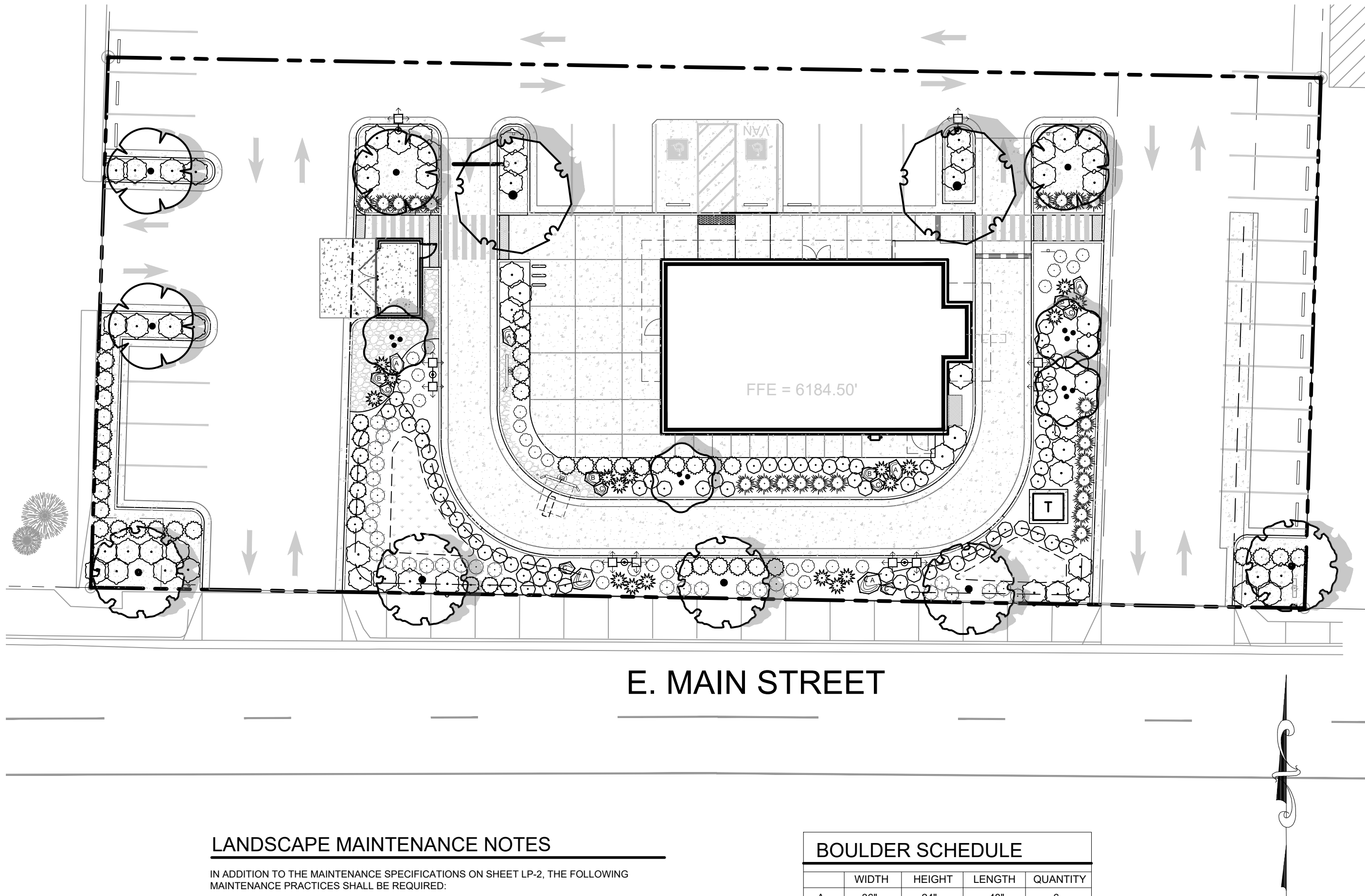
PROJECT AREA:		
TOTAL SITE AREA	= 0.68 AC.	
TOTAL DISTURBED AREA	= 0.68 AC.	



To Request a Line Locate Dial 811

Colorado state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

 <p>SOUDER, MILLER & ASSOCIATES Engineering • Environmental • Geomatics Serving the Southwest & Rocky Mountains 401 West Broadway Avenue Farmington, NM 87401 Phone (505) 325-7535 Toll-Free (800) 519-0098 Fax (505) 326-0045 www.soudermiller.com</p>	<p>RETAIL SPACE</p>		<p>CORTEZ, COLORADO</p>		<p>Rev #</p>	<p>Date</p>	<p>Description</p>	<p>By</p>
<p>RETAIL SPACE</p> <p>CORTEZ, COLORADO</p> <p>EROSION CONTROL PLAN PHASE 3</p>				 <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> <p>Designed: RWZ Drawn: RWZ Checked: DWJMJR</p> <p>Date: January 2023</p> <p>Scale: N/A Vert: N/A</p> <p>Project No: 9531448</p> <p>Sheet: C111</p>				



LANDSCAPE MAINTENANCE NOTES

- IN ADDITION TO THE MAINTENANCE SPECIFICATIONS ON SHEET LP-2, THE FOLLOWING MAINTENANCE PRACTICES SHALL BE REQUIRED:
1. DISEASE CONTROL - UPON THE DISCOVERY OF ANY DESTRUCTIVE OR COMMUNICABLE DISEASE OR OTHER PESTILENCE WHICH ENDANGERS THE GROWTH, HEALTH, LIFE, OR WELL BEING OF TREES OR PLANTS IN THE CITY, OR WHICH IS CAPABLE OF CAUSING AN EPIDEMIC SPREAD OF COMMUNICABLE DISEASE OR INSECT INFESTATION SUCH AS DUTCH ELM DISEASE, THE DIRECTOR OF THE PARKS AND RECREATION DEPARTMENT OR HIS DULY APPOINTED REPRESENTATIVE, SHALL AT ONCE CAUSE WRITTEN NOTICE TO BE SERVED UPON THE OWNER OF THE PROPERTY UPON WHICH SUCH DISEASED TREE IS SITUATED, WHICH NOTICE SHALL REQUIRE SUCH PROPERTY OWNER TO ERADICATE, REMOVE OR OTHERWISE CONTROL SUCH CONDITION WITHIN REASONABLE TIME, WHICH TIME PERIOD SHALL BE NOT MORE THAN 30 DAYS. IF THE OWNER, AGENT, OR OCCUPANT OF THE PROPERTY FAILS TO COMPLY WITHIN THE TIME PERIOD SPECIFIED, THE CITY SHALL CORRECT SUCH CONDITION AND ASSESS THE COST OF SUCH CORRECTION TO THE OWNER AS AGENT, AND SUCH COSTS SHALL CONSTITUTE A LIEN AGAINST THE PROPERTY UNTIL PAID.
 2. TRIMMING - ANY TREE GROWING OVER A PUBLIC ALLEY, STREET, OR HIGHWAY, OR SO LOCATED AS TO EXTEND ITS BRANCHES OVER A PUBLIC ALLEY, STREET, OR HIGHWAY, SHALL BE TRIMMED BY THE OWNER, AGENT, OR OCCUPANT OF THE PROPERTY ON WHICH THE TREE STANDS SO THAT THERE SHALL BE A CLEAR HEIGHT OF FOURTEEN (14) FEET ABOVE THE SURFACE OF THE STREET, ALLEY, OR HIGHWAY, AND EIGHT (8) FEET ABOVE THE SURFACE OF THE SIDEWALKS UNOBTSTRUCTED BY THE BRANCHES. SUCH OWNER OR AGENT OR OCCUPANT SHALL REMOVE ALL DEAD BRANCHES AND STUBS ON SUCH TREE, OR TREES WHICH ARE OR MAY BECOME A MENACE TO TRAVELERS ON PUBLIC HIGHWAYS, STREETS, OR ALLEYS OF THE CITY.
 - (i) OWNER TO MAINTAIN OR CITY TO CORRECT DEFICIENCIES AT OWNER'S EXPENSE.
 - a. ANY OWNER OR OCCUPANT OF ANY REAL PROPERTY SHALL MAINTAIN ALL HEDGES AND SHRUBBERY ADJACENT TO PUBLIC SIDEWALKS SO THAT NO PART OF SUCH HEDGES OR SHRUBBERY SHALL EXTEND OVER ANY PART OF A PUBLIC SIDEWALK OF THE CITY.
 - b. IF A HEDGE, SHRUB, OR ITS PARTS IN ANY WAY CAUSE A HINDRANCE TO THE GENERAL PUBLIC, OR IN ANY WAY ENDANGER THE SECURITY OR USEFULNESS OF ANY PUBLIC STREET, RIGHT-OF-WAY, HIGHWAY, ALLEY, SEWER, OR SIDEWALK AS DETERMINED BY THE DIRECTOR OF PARKS AND RECREATION, IT IS DECLARED TO BE A PUBLIC NUISANCE.
 - c. IF A TREE OR ITS PARTS IN ANY WAY CAUSE A HINDRANCE TO THE GENERAL PUBLIC, OR IN ANY WAY ENDANGER THE SECURITY OR USEFULNESS OF ANY PUBLIC STREET, RIGHT-OF-WAY, HIGHWAY, ALLEY, SEWER, OR SIDEWALK AS DETERMINED BY THE DIRECTOR OF PARKS AND RECREATION, IT IS DECLARED TO BE A PUBLIC NUISANCE.
 - d. IF THE OWNER OF SUCH PROPERTY DOES NOT CORRECT OR REMOVE SUCH NUISANCE WITHIN THIRTY (30) DAYS AFTER WRITTEN NOTIFICATION BY THE DIRECTOR OF PARKS AND RECREATION, THE DIRECTOR OF PARKS AND RECREATION SHALL CAUSE THE NUISANCE TO BE CORRECTED OR REMOVED AND THE COST THEREOF SHALL BE ASSESSED TO THE OWNER OR AGENT OF THE PROPERTY IN QUESTION AND THE COSTS SHALL CONSTITUTE A LIEN ON THE PROPERTY UNTIL PAID.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND ROCK COBBLE AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

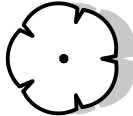


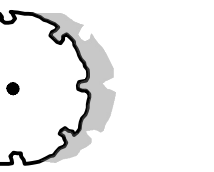








BOULDER SCHEDULE

	WIDTH	HEIGHT	LENGTH	QUANTITY
A	36"	24"	48"	6
B	24"	18"	36"	4
C	18"	12"	24"	6
ALL SIZES ARE APPROXIMATE. ADDITIONAL BOULDERS MAY BE NEEDED.				

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANT SCHEDULE

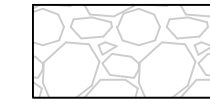
TREES	QTY	BOTANICAL / COMMON NAME	CALIPER	SIZE	WATER ZONE
	4	Acer saccharum grandidentatum Wasatch Maple	1.5" CAL.	10'-12' HT	Moderate
	2	Gymnocladus dioicus 'Espresso' Espresso Kentucky Coffeetree (male)	1.5" CAL	10'-12' HT	Low
	4	Rhus typhina Staghorn Sumac	1.5" CAL	10'-12' HT	Low
	5	Quercus macrocarpa Bur Oak	1.5" CAL.	10'-12' HT	Low/Moderate
SHRUBS	QTY	BOTANICAL / COMMON NAME		SIZE	WATER ZONE
	23	Hesperaloe parviflora Red Yucca		1 GAL	Low
	10	Juniperus chinensis 'Gold Coast' Gold Coast Juniper		5 GAL	Low
	73	Muhlenbergia capillaris 'Regal Mist' Regal Mist Muhly Grass		5 GAL	Low
	25	Perovskia atriplicifolia 'Denim 'n Lace' Denim 'n Lace Russian Sage		5 GAL	Low
	31	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla		5 GAL.	Moderate
	61	Prunus besseyi 'Pawnee Buttes' Sand Cherry		5 GAL	Low
	41	Thuja occidentalis 'Emerald' Emerald Arborvitae		5 GAL.	Moderate
	18	Yucca glauca Soapweed Yucca		5 GAL.	Low

BIO-BASIN

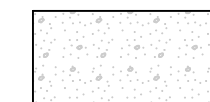


405 SF Eleocharis palustris
Spikerush - Withstands seasonally flooding up to 6" water depth

NON-LIVING GROUND COVERS



ROCK COBBLE, 2"-4" size, locally sourced, 3"-4" deep over pervious weed barrier fabric



WASHED GRANITE GRAVEL, 1" minus, 3" deep over pervious weed barrier fabric.



ORGANIC SHREDDED WOOD MULCH, 3" deep over pervious weed barrier fabric

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

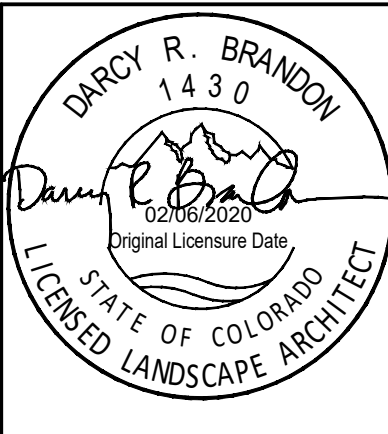
LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	±29,535 SF (0.67 AC)
LANDSCAPE AREA REQUIRED (10%):	±2,954 SF
LANDSCAPE AREA PROVIDED (21.6%):	±6,401 SF

STREET FRONTAGE	
TREES TO BE PLANTED AT 30'-50' O.C.	
ANY STREET:	±260LF
STREET TREES REQUIRED:	5.2 TREES (@ 50' O.C.)
STREET TREES PROVIDED:	5 TREES

PARKING AREA (INC. DRIVE AISLES)	
PARKING AREA:	±14,146 SF
LANDSCAPING REQUIRED (10%):	±1,415 SF
LANDSCAPING PROVIDED (11%):	±1,560 SF

XERISCAPE
All planting is categorized as xeric. There are no high water use plants proposed.



Project Name

RETAIL SPACE

600 E. MAIN ST.
CORTEZ, CO

LANDSCAPE PLANTING PLAN

Date	Comment

Project Number	
Date	09/15/2022
Drawn By	DB
Checked By	DB/RM

LP-1

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 4. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 5. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 6. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY MATURE TURF WITH A THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK). ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - b. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - c. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

C. TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

E. CLEAN UP

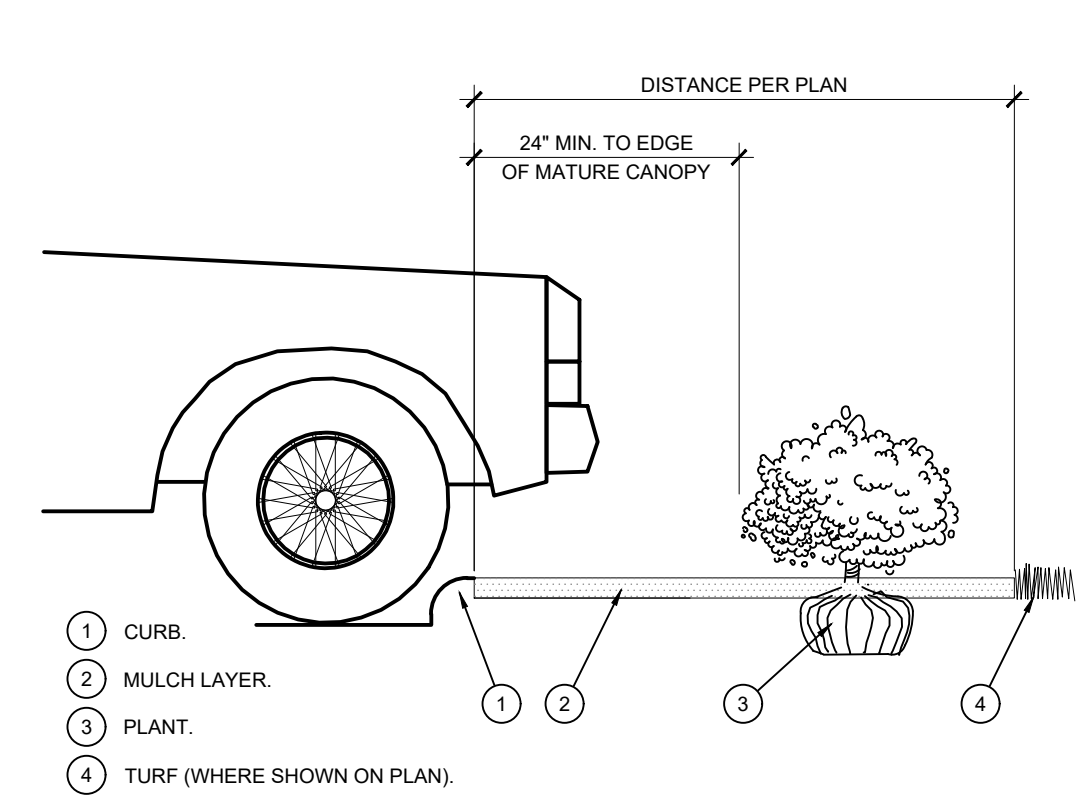
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

F. INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

G. LANDSCAPE MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- H. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- I. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

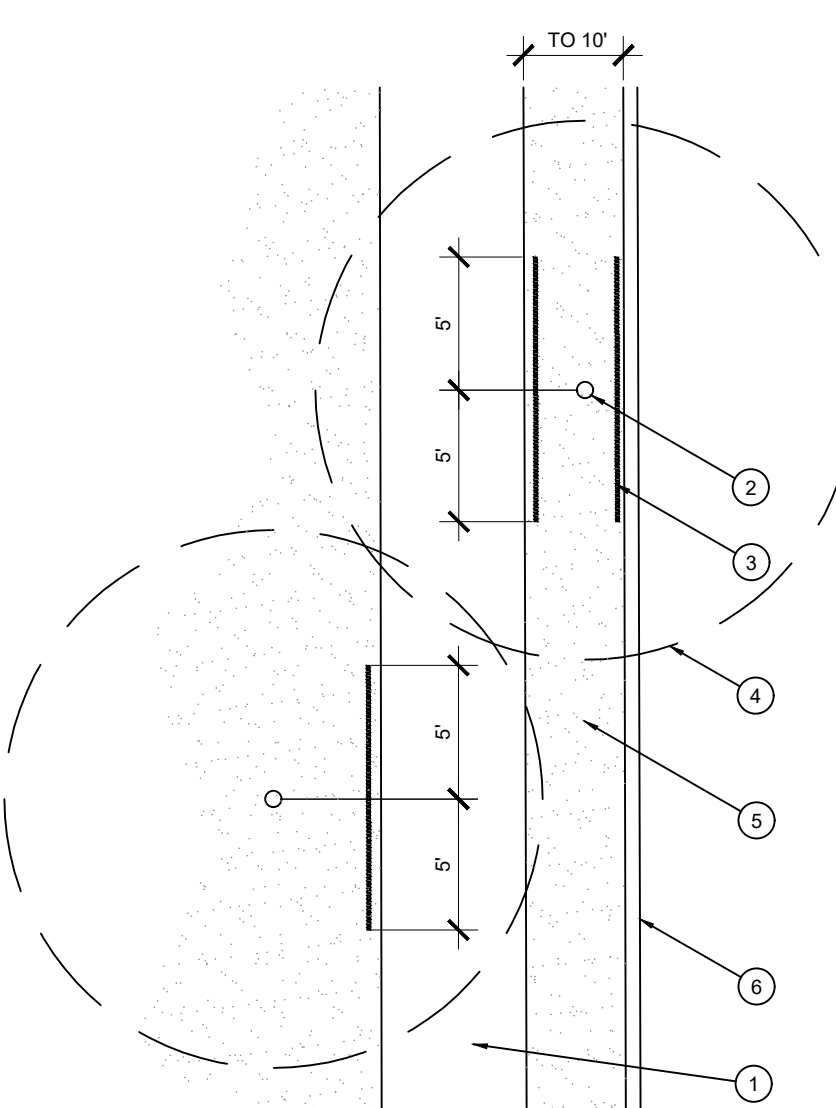


- 1 CURB.
- 2 MULCH LAYER.
- 3 PLANT.
- 4 TURF (WHERE SHOWN ON PLAN).

C PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

OPEN LANDSCAPE PARKWAY OR ISLAND

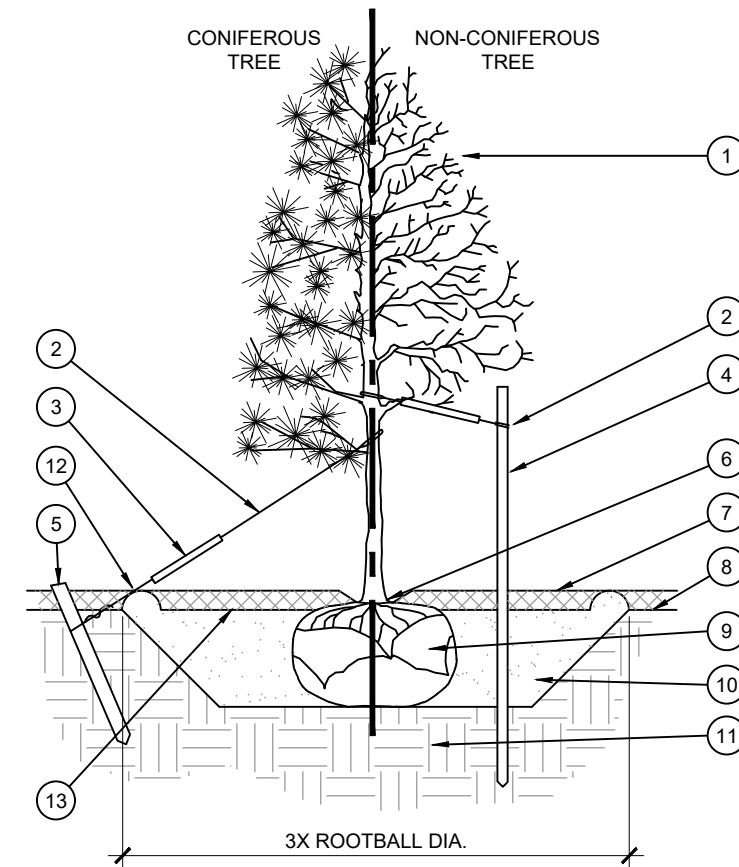


D ROOT BARRIER - PLAN VIEW

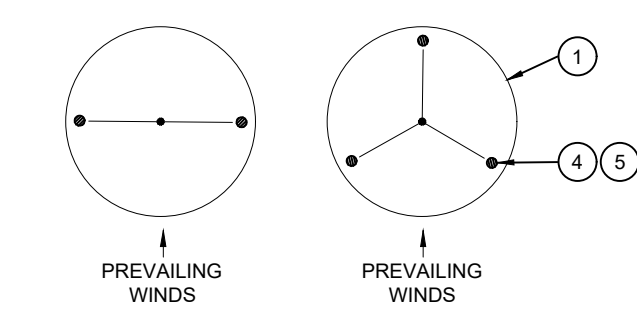
SCALE: NOT TO SCALE

- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURB AND GUTTER

- NOTES:
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

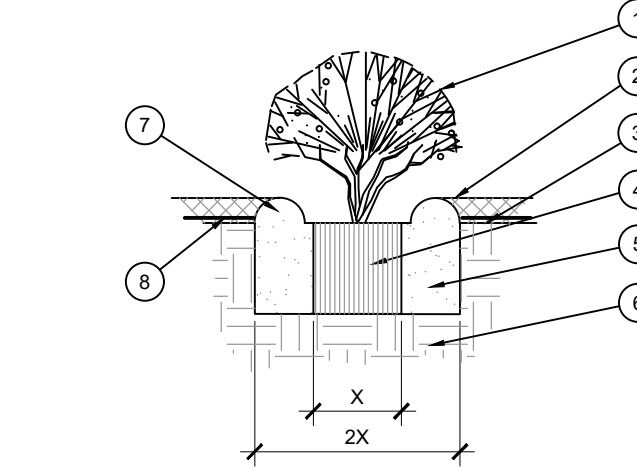


STAKING EXAMPLES (PLAN VIEW)



A TREE PLANTING

SCALE: NOT TO SCALE



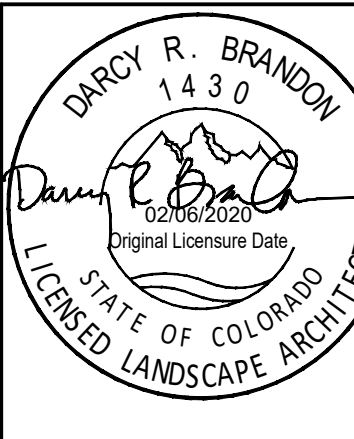
B SHRUB AND PERENNIAL PLANTING

SCALE: NTS

- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOXX2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOXX2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR BAG TREES, CLIP OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOXX2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK MOVEMENT FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 WEED FABRIC UNDER MULCH.



Project Name

RETAIL SPACE

600 E. MAIN ST.
CORTEZ, CO

PLANTING DETAILS & SPECIFICATIONS

Date	Comment

Project Number	
Date	09/15/2022
Drawn By	DB
Checked By	DB/RM

LP-2



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 8. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a proposed High Impact/Special Use Permit Application and Commercial Planned Unit Development Amendment & COMZ Rezoning Application, submitted by Daren & Kathy Stone for the existing WestView RV Park, on property located at 12092 Hwy 145, Dolores, CO, consisting of 25.44 acres, more or less, located north of Road M, east of Hwy 145, situated in Section 7, Township 36N, Range 15W, N.M.P.M.

BACKGROUND

A County High Impact/Special Use Permit has been requested, with the following background. In 2015, the applicants applied for and was approved for an RV Resort located at 12092 Hwy 145. This property lies within the Commercial/Industrial Overlay Zone along State Hwy 145. The applicants had applied for a High Impact Permit at the same time, however, it was neglected to be included in the permitting process. The applicants are requesting to complete the permitting process to add the HIP to the property.

Also, the applicants are proposing the addition of 10 RV spaces & 6 cabins or park models, by proposing to amend the existing PUD.

The property is located within the 1- Mile Area of Influence along State Highway 145 with City limits to the south.

RECOMMENDATION

Staff recommends that the Planning and Zoning Commission state any concerns and request comments be forwarded to the County if so desired.

Attachments

County Project
County packet



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: March 7, 2023

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: County Development- Review of a proposed High Impact/Special Use Permit application and Commercial Planned Unit Development Amendment & COMZ Rezoning Application, submitted by Daren & Kathy Stone for the existing WestView RV Park, on property located at 12092 Hwy 145, Dolores, CO, consisting of 25.44 acres, more or less, located north of Road M, east of Hwy 145, situated in Section 7, Township 36N, Range 15W, N.M.P.M.

ATTACHMENTS: County Application Packet

BACKGROUND

A County High Impact/Special Use Permit has been requested, with the following background. In 2015, the applicants applied for and was approved for an RV Resort located at 12092 Hwy 145. This property lies within the Commercial/Industrial Overlay Zone along State Hwy 145. The applicants had applied for a High Impact Permit at the same time, however, it was neglected to be included in the permitting process. The applicants are requesting to complete the permitting process to add the HIP to the property. Also, the applicants are proposing the addition of 10 RV spaces & 6 cabins or park models, by proposing to amend the existing PUD.

The property is located within the 1- Mile Area of Influence along State Highway 145 with City limits to the south.

The Montezuma County Planning and Zoning Commission will hold a public hearing for this permit on March 9, 2023.

RECOMMENDATION

Staff recommends that the Commission state any concerns and request comments be forwarded to the County if so desired.



Montezuma County Planning & Zoning Commission

109 West Main, Room 270

Cortez, CO 81321

(970) 565-2801

(970) 565-3420 Fax

MONTEZUMA COUNTY PLANNING & ZONING COMMISSION PUBLIC NOTICE

Notice is hereby given that the Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a proposed High Impact/Special Use Permit Application and Commercial Planned Unit Development Amendment & COMZ Rezoning Application, submitted by Daren & Kathy Stone for the existing WestView RV Park, on property located at 12092 Hwy 145, Dolores, CO, consisting of 25.44 acres, more or less, located north of Road M, east of Hwy 145, situated in Section 7, Township 36N, Range 15W, N.M.P.M. The hearing will be held Thursday, March 9, 2023 at 6:00 pm, Commissioner's Hearing Room, 109 W. Main, Cortez, CO. Interested persons may attend and give input. Information may be obtained from the Planning Office on-line service at <https://co-montezuma-co.smartgovcommunity.com/Public/Home>; you may also contact the Planning Dept. at (970) 565-2801 with questions.

Dated this 7th day of February, 2023

/s/ Kim Percell, Clerk,
Board of County Commissioners
Montezuma County, CO

Published in the Journal on Wednesday, February 15, 2023



Date Submitted: 1/19/2023

MONTEZUMA COUNTY HIGH IMPACT/SPECIAL USE PERMIT APPLICATION

Conditions and safeguards may be imposed by the County Commissioners

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of the review process for a proposed zoning request. Nothing in this application is intended to retract any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code, Amended 03/02/2015, Resolution No 21-2020.

Please initial here that you have a current copy of the Montezuma County Land Use Code or can access a copy online at www.montezumacounty.org ; Click on Departments; Planning; and Montezuma Land Use Code _____.

1) Applicant(s) Name: Daren & Kathy Stone
Current Landowner's Name(s)/Owner: Daren & Kathy Stone
Landowner Mailing Address: 24600 Road P, Dolores, CO 81323
Telephone Number (970) 882-3399 Alternate Number: (970) 749-5823
Email dkstone@outlook.com

2) Agent(s): _____ Phone No. () _____
Agent Mailing Address: _____
Email: _____
(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)

3) Existing Zoning: AR ES Requested Zoning: Commercial
Number of Lots: 1 (one) Total Acres: 25.44+/-
A brief description of adjacent land usage: The surrounding properties consist of mixed uses of agricultural, residential, commercial and industrial.

A brief description of the proposed development / use: In 2015, the applicants applied for and was approved for an RV Resort located at 12092 Hwy 145. This property lies within the Commercial/Industrial Overlay Zone along State Hwy 145. The applicants had applied for a High Impact Permit at the same time, however, it was neglected to be included in the permitting process. The applicants are requesting to complete the permitting process to add the HIP to the property

Parcel I.D. Number: 560907301001
Physical Address of Property: 12092 Hwy 145, Cortez, CO 81321
Legal Description of Property: Section 7 Township 36N Range 15W, N.M.P.M.

4) Brief description of the proposed development: _____

- 5) General High Impact Submittal Requirements: The High Impact Permit Application will include, but not be limited to, the following required attachment(s); and will be made apart of the High Impact Permit Application, in the form of a narrative, plan, map, or description per Chapter 2, Section 2, 2201.4 of the Land Use Code:
- ▶ Names, Addresses, and contact information for the owner or representative of the owner
 - ▶ Current and completed High Impact Permit Application, summarizing the level of compliance with each Threshold Standard and any recorded use or planned unit development covenants.
 - ▶ A Site Plan, including a vicinity map, indicating to the extent feasible, compliance with the applicable Threshold Standards. *See pages 2-4 of the Land Use Code.*
 - ▶ Detailed plans and specifications of the change in land use and conceptual or detailed plans for any potential enlargement of the development or land use.
 - ▶ If the permit application concerns an enlargement of an existing use, the past history and expansion of the use.
 - ▶ A list of the status of all other federal, state, and local permits and approvals that will be required for the change in land use, together with any proposal for coordinating these approvals with the County permitting process.

- ▶ A description of the public facilities required by the change in land use and evidence of service or specific proposals for providing facilities not currently available.
- ▶ Descriptions of those adverse impacts resulting from the change in land use which are not mitigated and which are irreversible and irretrievable.

6) A Mitigation Plan is required to address the following:

- ☐ Threshold Standards that will be exceeded during the construction or operation of the High Impact Permit request require Plans for mitigating conditions that exceed said standard(s). Below is an Evaluation for certifying the level of compliance with the Threshold Standards: Please check if your project Meets, Exceeds or if the Standard would be non-applicable.

- 7) Plans for winding down activities and service and facility demands: ☐ Attached ☒ Not Applicable
1. When the construction and/or operation of the project is complete,
 2. In the event that the project is suspended or terminated prior to completion, and
 3. For controlling, restoring, and remediation of any impacts that will continue after the construction and/or operation of the change in land use is complete.
- ☐ Plans for controlling and remediation of hazardous, toxic, and explosive substances that are used, stored, transported, disturbed, or produced in connection with the change in land use.
- ☐ Plans for monitoring the effectiveness of the mitigation measures.
- ☐ A description of how and when the mitigation plan will be implemented and financed.

8) Mitigation Plan: ☐ Attached, herewith and made a part of the application.

9) Additional requirements for projects involving the Potential of Highly Significant Impacts. Additional information may be required in the form of maps, narrative descriptions, photographs, data and studies to determine the nature and extent of potential highly significant impacts as provided for in 2202.6 and 2202.7 of the Land Use Code:

Additional Plan Submitted: ☐ Yes ☐ No ☒ Not Applicable

10) Weed Control Plan: ☐ Attached ☐ In Process:
Prepared by:

N/A

11) Professional Review Fee collected: ☐ Yes ☒ No

12) Municipal Review: ☒ Cortez ☐ Dolores ☐ Mancos ☐ Not Applicable

13) Rural Water: Existing Infrastructure ☒ yes ☐ No

Copy of Existing Tap Certificate: ☐ yes ☒ No ☐ not applicable

Service provided by: Montezuma Water Company

Letter attached: ☐ yes ☒ No ☐ In Process

Service Available for _____ Additional COMZ/INDZ use(s) _____

- 14) Copy of Current Driveway/Access Permit from Montezuma County Road Department ☐ Yes ☒ No
☐ In Process

Access Permit can service up to _____ industrial use. Date on Permit: _____

Interior Road anticipated within development: ☐ Yes ☒ No

Road Cut and (or) Bore Permit required ☐ Yes ☒ No

If so, copy of permit attached ☐ Yes ☒ No

This property does not require an access permit from the County Road Department due to being in CDOT jurisdiction.

- 15) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required ☐ Yes Hwy: 145 No ☐

Approved and striped

- 16) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:

Electric: ☒ Empire Electric ☐ Other: _____

Telephone: ☐ Cell Phone Only ☒ Centurylink ☐ Farmers ☐ Other: _____

Gas Source: ☒ Atmos Energy ☐ Propane ☐ Other: _____

- 17) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:

☐ Yes, requires a Comprehensive Wildfire Mitigation Plan: ☐ Attached ☐ In Process

☐ Attached ☐ In Process ☐ Not Applicable

☒ There is a fire plan in place since 2015. Wildfire Adapted Partnership offers free Wildfire Risk Site Visits, if needed. Contact Samantha Torres at 760-696-1404 or torres@wildfireadapted.org if the property owner would like to schedule a wildfire risk assessment. Samantha is the Montezuma County coordinator and will walk around the property with the owner and discuss what steps can be made to be better prepared for wildfire. The property owner will receive a write up of everything they need to know to take the next steps in your wildfire preparedness journey as well as important materials to help guide them in their efforts. In many cases grant funding is available to help offset the costs of the mitigation projects. These visits generally take 60-90 minutes.

- 18) Weed Control Plan: ☐ Attached ☐ In Process:

☒ County Weed Manager recommends a waiver from a comprehensive plan, however the property owners are still responsible for the noxious weed management.

- 18) **NAMES AND CURRENT ADDRESS OF MINERAL RIGHTS OWNERS:**

☐ Attached ☐ Same as Surface Owner ☒ There are no Mineral Owners for this property

Kenny Stone
Applicant

Date: 1/25/23

James J. Stone
Applicant

Date: 1-29-23

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Planning Director Review: Our Italy Date: 2/7/23

ATTACHMENT TO THE HIGH IMPACT PERMIT APPLICATION THRESHOLD STANDARDS SUMMARY				
NO.	STANDARD	THRESHOLD	APPLICANTS RESPONSE	PLANNING DEPARTMENT NOTES
1	Minimum lot size	<input type="checkbox"/> 3 acres <input type="checkbox"/> 10 acres within the Dolores River Valley	109 spaces, 10 cabin spaces on a 24.44+/-ac tract	Meets per the application and submittal items.
2	Maximum Building Height	<input type="checkbox"/> 35 feet	Meets. No building will exceed 35 feet.	Meets per the application and submittal items. Building construction will not exceed this standard.
3	Maximum Building Footprint	<input type="checkbox"/> Maximum building footprint overall shall not exceed 12% of the lot size. <input type="checkbox"/> Building footprint does not apply to Commercial or Industrial zoned parcels immediately adjacent to a state or federal highway with an approved CDOT access permit and in accordance with 5101.5 of the Montezuma County Land Use Code.	Meets. Does not apply for commercial parcels.	Meets per the application and submittal items. Property is located within the County Commercial/Industrial Overlay Zone where this type of development is encouraged.
4	Building setbacks	<input type="checkbox"/> Primary Residence: See 5101.3 (A) (1-3) of the Montezuma County Land Use Code. 30' from County Road and State Hwy. R.O.W. 30' from lot lines or interior use roads <input type="checkbox"/> Commercial/Industrial use: See 5101.6 (C) 30' from County road and State Hwy. Rightsof-way 50' from residential lot lines and 25' from non-residential lot lines <input type="checkbox"/> Within the Dolores River Valley: All new commercial and residential construction, including I.S.D.S., set back 100' from existing streambank	This standard has been & will continue to be met, with current & new building construction.	Meets per the application and submittal items.
5	New Construction and Remodeling for Commercial, Industrial, Public Buildings	<input type="checkbox"/> All new construction and remodeling of commercial or industrial use buildings and public buildings must be built according to the Uniform Building Code, 1997 Edition.	Meets.	Meets per the application and submittal items.
6	Livestock Fencing	<input type="checkbox"/> Adequate to protect from livestock encroachment. 5101.4	Meets.	Meets. Applicants have installed fencing to protect livestock encroachment.
7	Protection of Normal Agriculture Operations	<input type="checkbox"/> No significant, adverse impacts on normal agricultural operations 5101.4	Meets.	Meets per the application and submittal items.
8	Outdoor Storage and/or Fabrication areas	<input type="checkbox"/> Appropriate screening may be required <input type="checkbox"/> Merchandise displays are exempt	Meets.	Meets per the application and submittal items. All outdoor storage areas are enclosed.

9	Roads	<input type="checkbox"/> All interior roads built to county road standards. 5103.3 & 5305.5	Meets	All interior roads have been built to county standards. The interior roads are all paved.
10	Parking/Access/Loading Areas	<input type="checkbox"/> Adequate for intended use such that traffic flow and circulation are not impeded. 5101.6 <input type="checkbox"/> Approved County or CDOT highway access permit	Roads are 30 feet and chipsealed.	All existing roads and parking spaces on the property are adequate for the intended use.
11	Traffic	<input type="checkbox"/> Less than 15 vehicle round trips per business day	Exceeds.	This standard is exceeded due to the nature of the property and during months of operation.
12	Water	<input type="checkbox"/> Proof of availability and adequate flow. See 5103.3(G) & 5304(D)	Meets. Has service through Montezuma Water Company	Meets per the application and submittal items.
13	Sanitary Sewer Disposal	<input type="checkbox"/> Compliance with 5101.7; 5103.3(F); and 5304(E)	Meets. Have engineered septic systems.	Meets per the application and submittal items.
14	Stormwater Control and Site Drainage	<input type="checkbox"/> No adverse impacts on any county road, state highway or adjacent land use. See 5103.3(H)	Meets. Has an engineered storm water permit.	Meets per the application and submittal items.
15	Solid Waste -garbage, refuse, sludge and other discarded material	<input type="checkbox"/> Proof of disposal service No materials transferred off-site by natural forces No on-site burning except <input type="checkbox"/> for flammable domestic waste or as part of an agricultural operation or weed control program	Meets. Have a commercial trash service	Meets per the application and submittal items.
16	Fire and Wildfire Protection	<input type="checkbox"/> Compliance with 5101.3(G); 5302.3(J); and 5304.3W.	Meets. Has a fire plan.	Meets per the application and submittal items.
17	Law Enforcement and Emergency Service	<input type="checkbox"/> Letter of adequacy from law enforcement and/or emergency service provider may be required	Meets.	Meets per the application and submittal items. This property is within the jurisdiction of Cortez Fire Protection District
18	Floodplain	<input type="checkbox"/> Compliance with the Montezuma County Floodplain Resolution No. 1-91 and completion of a Floodplain Development Plan Permit, where applicable	N/A	This property does not lie within a FEMA floodplain area.
19	Geologic and Natural hazards	<input type="checkbox"/> Identification and avoidance or mitigation of potential hazards. See 5103.2	Meets	The applicants obtained a Geologic Report in 2015 and is on file in the Planning Dept.
20	Public Facilities: Camp, RV Parks, MH parks, etc.	<input type="checkbox"/> Adequate restroom: one men/women set plus one extra sink and toilet per 100 weekly peak season visitors. See 4106.5.A.	Meets. We have three full restrooms & four ½ restrooms.	Meets per the application and submittal items.
21	Operational Electric Disturbances	<input type="checkbox"/> No detrimental effects such as radio and television interference beyond the boundaries of the site.	Has internet services	Meets per the application and submittal items.

22	Fire and Explosive Hazards	<input type="checkbox"/> National Fire Protection Association standards and any other fire code or standard employed by the appropriate fire district apply.	Meets. Has a fire plan.	Meets per the application and submittal items.
23	Glare and Heat	<input type="checkbox"/> Must be contained, enclosed or treated to make glare and heat imperceptible from any point on the boundary line.	Meets	Meets per the application and submittal items. If/when disturbances are reported, the property owner is required to contact the Planning Dept
24	Lighting	<input type="checkbox"/> All direct rays confined to site and adjacent properties protected from glare.	Meets	Meets per the application and submittal items. If/when disturbances are reported, the property owner is required to contact the Planning Dept
25	Noise	<input type="checkbox"/> Volume as established by C.R.S. 25-12-101, et seq. <input type="checkbox"/> Volume as established by COGCC Rule 802 pertaining specifically to oil & gas development. <input type="checkbox"/> Noise from normal agricultural operations is exempt	Meets	Meets per the application and submittal items. If/when disturbances are reported, the property owner is required to contact the Planning Dept
26	Vibration	<input type="checkbox"/> Not perceptible, without instruments, at any point on any boundary line	Meets	Meets per the application and submittal items.
27	Odors	<input type="checkbox"/> No perceptible at property boundaries <input type="checkbox"/> Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used to maintain the lowest possible emission of odors.	Meets	Meets per the application and submittal items. There are no perceptible odors at property boundaries.
28	Dust, Smoke and Particulate	<input type="checkbox"/> Dust and Fumes: None beyond property line (Dust control of County roads at expense of Applicant) <input type="checkbox"/> Particulate matter: Less than 0.2 grain/cf flue gas at 500F stack temperature <input type="checkbox"/> Smoke: USEPA Regulations: Opacity System, Method 9. <input type="checkbox"/> Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used.	Meets	Meets per the application and submittal items. The interiors road are paved/chip sealed.
29	Radioactivity	<input type="checkbox"/> Subject to State and Federal Regulations	N/A	Meets per the application and submittal items.
30	Water Pollution	<input type="checkbox"/> Subject to State and Federal Regulations	Meets	Meets, this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept

31	Noxious Weeds	<input type="checkbox"/> Compliance with State (35-5.5-101 et seq. C.R.S. as amended) and Montezuma County Comprehensive Weed Management Plan Resolution No. 3-2014, as amended.	Meets	County Noxious Weed Manager recommends a waiver from a comprehensive weed plan, however the landowner is still responsible for the management/control of noxious weeds.
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32	Other Significant Adverse Impacts	<input type="checkbox"/> Pertaining to the Health, Safety and welfare of the Citizens of Montezuma County	Meets	there is nothing proposed that will challenge the health, safety, and welfare of Montezuma County citizens
33	Local, State, & Federal Required Permits	<input type="checkbox"/> Per 2202.4(F)	Meets	Meets, this complies with the County Land Use Code



Application Date: 1/19/2023

Date of Zoning/Rezoning Hearing: 3/9/2023

MONTEZUMA COUNTY ZONING APPLICATION

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of determining the review procedure for a proposed zoning request. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code amended on 11/17/2020 Resolution No. 212020

Please initial here that you have a current copy of the Montezuma County Land Use Code _____.

1) Applicant Name(s)/Owner: Daren & Kathy Stone
Address 24600 Road P, Dolores, CO 81323
Telephone Number (970) 882-3399 Alternate Number: (970) 749-5823

2) Agent(s) _____ Phone No. _____

(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)

3) Proposed Development: Current Zoning: AR ES Requested Zoning: COMZ
Number of Lots: 1 (one) Total Acres: 25.44+/-
A brief description of adjacent land usage: The surrounding properties consist of mixed uses of
agricultural, residential, commercial and industrial.

Parcel I.D. Number: 560907301001
Physical Address of Property: 12092 Hwy 145, Dolores, CO 81323 Legal Description of Property:
Section 7 Township 36N Range 15W, N.M.P.M.

Brief description of the proposed development: In 2015, the applicants applied for and was approved for an RV Resort located at 12092 Hwy 145. At that time, the approval was for 120 RV spaces and 6 cabins. Currently, there are 93 RV spaces & 10 cabins. The applicants are proposing the addition of 10 RV spaces & 6 cabins or park models.

Number of Lots: 1 Average Acreage per Lot: _____ Total Acres: 25.44+/-

5) Applicant shall submit sufficient copies of a pre-sketch plan which shows the general location of the development in sufficient detail to evaluate the relationship between the development and the physical features of the land and abutting lands. See Chapter 5: Section 3: 5302.

Presketch Plan Checklist:

- ☐ Location of proposed development areas upon the site
- ☐ Total acreage
- ☐ Abutting land uses, zoning designations, abutting land owners names and addresses
- ☐ Existing roads, streets and highways
- ☐ Major physical features including structures, buildings, boundary fencing irrigation ditches and pipelines, utilities, topography, drainage, wetlands, noxious weed infestations and location of natural hazards.

- 6) Septic: ☐ Existing Infrastructure ☒ Yes ☐ No
Septic Permit Information Attached: ☐ Yes ☐ Permit ☐ Other: _____
☒ No
☐ In Process The property currently has septic permit #'s 5467, 5591, & 5592. Any new septic system will require a design from a licensed engineer and permitted through the County Health Department.
Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.
- 7) Rural Water: ☐ Existing Infrastructure ☒ yes ☐ No
Copy of Existing Tap Certificate: ☐ yes ☒ No ☐ not applicable
Service provided by: Montezuma Water Company
Letter attached: ☐ yes ☒ No Service Available for ____ Additional Residential use

- 8) Copy of Current Driveway/Access Permit from Montezuma County Road Department
☐ Yes ☒ No ☐ In Process
Access Permit can service up to ____ residential uses. Date on Permit: _____

Interior Road anticipated within development: ☐ Yes ☒ No
This property does not require an access permit from the County Road Department due to being in CDOT jurisdiction.
- 9) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required ☐ Yes No ☐ Hwy: 145
This property has a CDOT access permit, under Permit #515036.
- 10) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:
Electric: ☒ Empire Electric ☐ Other: _____
Telephone: ☐ Centrytel ☒ Centurylink ☐ Farmers ☐ Other: _____
Gas Source: ☒ Atmos Energy ☐ Propane ☐ Other: _____

- 11) Geologic Investigation: (moderate & major developments ONLY, if required)
☐ Required ☐ Not Required ☒ Not Applicable
Prepared by: Stoner Engineering & Surveying
Required for all Moderate and Major Developments only.
Geologic Study performed at the inception of the RV Resort in 2015.
- 12) Municipal Review: ☒ Cortez ☐ Dolores ☐ Mancos ☐ Not Applicable

- 14) Other: _____

- 15) Brief description of any planned or future development, including any application(s) being reviewed consecutively with the zoning request.
(Any further development will require the signature of all landowners on the amended plat)
The applicants are proposing the addition of 10 RV spaces & 6 cabins/park models.

PROHIBITION ON LEGAL ADVICE Staff members cannot give legal advice. This prohibition includes assisting or advising with documents to file or record, completing the documents, or assessing the legality or "correctness of a document(s)." If this type of assistance is required, contact your attorney or legal advisor. C.R.S. 12-5-101

The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

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The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

Applicant

Date: 1/26/23

Applicant

Date: 1/26/23

COUNTY USE ONLY

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Name: _____ Title: _____

Planning Director Review: Don Hulse

Date: 2/10/23



Application Date 1/19/2023

Date of Zoning/Rezoning Hearing 3/9/2023

(All dates are subject to proper completion of submittals in preparation for the public hearing process.)

MONTEZUMA COUNTY PLANNED UNIT DEVELOPMENT APPLICATION

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of determining the review procedure for a proposed development. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code amended on 11/17/2020, in Resolution No. 21-2020.

Please initial here that you have a current copy of the Montezuma County Land Use Code _____.

1) Applicant Name(s)/Owner: Daren & Kathy Stone
Address 24600 Road P, Dolores, CO 81323
Telephone Number (970) 882-3399 Alternate Number: (970) 749-5823 _____ Proof of
Ownership: ☐ Certificate ☐ Title Opinion from Attorney ☐ Other: _____

2) Agent(s) _____ Phone No. _____

(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)

Agent Authorization Letter Provided: ☐ Yes ☐ In Process ☐ Other: _____

3) Proposed Development: Current Zoning: AR ES Requested Zoning: COMZ
Parcel I.D. Number: 560907301001
Physical Address of Property: 12092 Hwy 145, Dolores, CO
Legal Description of Property: Section 7 Township 36N Range 15W
A brief description of adjacent land usage: The surrounding properties consist of mixed uses of
agricultural, residential, commercial and industrial.

4) Type of PUD: ☐ Cluster Incentive ☐ General ☒ Commercial ☐ Industrial ☐ Mobile Home Intended
Land Uses: In 2015, the applicants applied for and was approved for an RV Resort located at 12092 Hwy 145. At that time, the approval was for 120 RV spaces and 6 cabins. Currently, there are 93 RV spaces & 10 cabins. The applicants are proposing the addition of 10 RV spaces & 6 cabins or park models.

Minimum Acreage Dedicated to: ☐ Agricultural Land, _____ Acres

☐ Open Space , _____ Acres

☒ Not Applicable

Total Acreage: 25.44+/- Total Preserved Acres: _____ Total Developed Acres: 25.44+/-

Max Number of Dwelling Units: 119

5) Objectives to be achieved by PUD: The applicants are proposing to amend the existing PUD with the addition of 10 RV spaces & 6 cabins or park models.

6) Septic: ☐ Existing Infrastructure ☒ yes ☐ No

Septic Permit Information Attached: ☐ yes ☐ Permit ☐ Other: _____

☒ No

☐ In Process

Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.

7) Rural Water: ☐ Existing Infrastructure ☒ yes ☐ No

Copy of Existing Tap Certificate: ☐ yes ☒ No ☐ Not applicable

Service provided by: Montezuma Water Company

Letter attached: ☐ yes ☒ No Service Available for _____ Additional Residential uses

8) Copy of Current Driveway/Access Permit from Montezuma County Road Department

☐ Yes ☒ No ☐ In Process

Access Permit can service up to _____ residential uses. Date on Permit: _____

Interior Road anticipated within development: ☒ Yes ☐ No

Road Surface width: _____ feet built to Count Road & Bridge Specifications.

9) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required ☐ Yes ☐ No ☐ Hwy: 145

10) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:

Electric: ☒ Empire Electric ☐ Other: _____ Telephone: ☒ Centurytel ☐ Qwest

☐ Farmers ☐ Other: _____ Gas Source: ☒ Atmos Energy ☐ Propane ☐ Other: _____

11) Covenants Attached: ☐ Yes ☒ No

☐ Draft ☐ Final Pages _____

Recording Fee: \$13.00 for the first page and \$5.00 each additional page

12) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:

☐ Yes, requires a Comprehensive Wildfire Mitigation Plan: ☐ Attached ☐ In Process

☒ There is a fire plan in place since 2015. Wildfire Adapted Partnership offers free Wildfire Risk Site Visits, if needed. Contact Samantha Torres at 760-696-1404 or torres@wildfireadapted.org if the property owner would like to schedule a wildfire risk assessment. Samantha is the Montezuma County coordinator and will walk around the property with the owner and discuss what steps can be made to be better prepared for wildfire. The property owner will receive a write up of everything they need to know to take the next steps in your wildfire preparedness journey as well as important materials to help guide them in their efforts. In many cases grant funding is available to help offset the costs of the mitigation projects. These visits generally take 60-90 minutes.

- 13) Weed Control Plan: ☒ County Weed Manager recommends a waiver from a comprehensive plan, however the property owners are still responsible for the noxious weed management.
☐ Attached ☐ In Process: Prepared by: _____

- 14) Geologic Investigation: ☒ Required ☐ Not Required
If required: ☐ Attached ☐ In Process
Prepared by: Stoner Engineering & Surveying
Required for all Moderate and Major Developments only.

- 15) Storm Water Permit Required: ☐ Yes ☐ No ☒ Not Applicable
Required for Developments that disturb at least 1 acre of top soil in the process of developing.

- 16) Irrigation shares on proposed development: ☒ Yes ☐ No
Irrigation Company which serves development: Montezuma Valley Irrigation Company Total Shares: 10

- 17) If the property located in an area Identified in the FEMA Floodplain Map?
☐ Yes ☒ No ☐ Not Applicable

- 18) Municipal Review: ☒ Cortez ☐ Dolores ☐ Mancos ☐ Not Applicable

- 19) Waiver or Modification of certain Threshold Standards or other applicable standards:
☐ Attached ☒ Not Applicable

Standards within Waiver: _____

- 20) In accordance with CRS 31-23-215, all mineral rights owners and lessees of mineral owners should be notified regarding proposed subdivision of property. The following information can be obtained from the Assessor's Office.

NAMES AND CURRENT ADDRESS OF MINERAL RIGHTS OWNERS:

Name THERE ARE NO MINERAL RIGHTS OWNERS FOR THIS PROPERTY

Address _____

21) Other: _____

22) Brief description of any planned or future development, including any application(s) being reviewed consecutively with the zoning request.

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Applicant

Date: 1/26/23

Applicant

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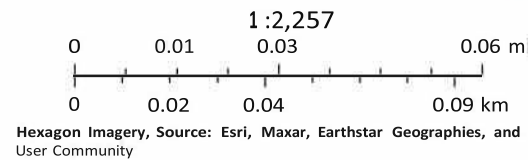
Name: _____ Title: _____

Planning Director Review: Don Hule Date: 2/10/23

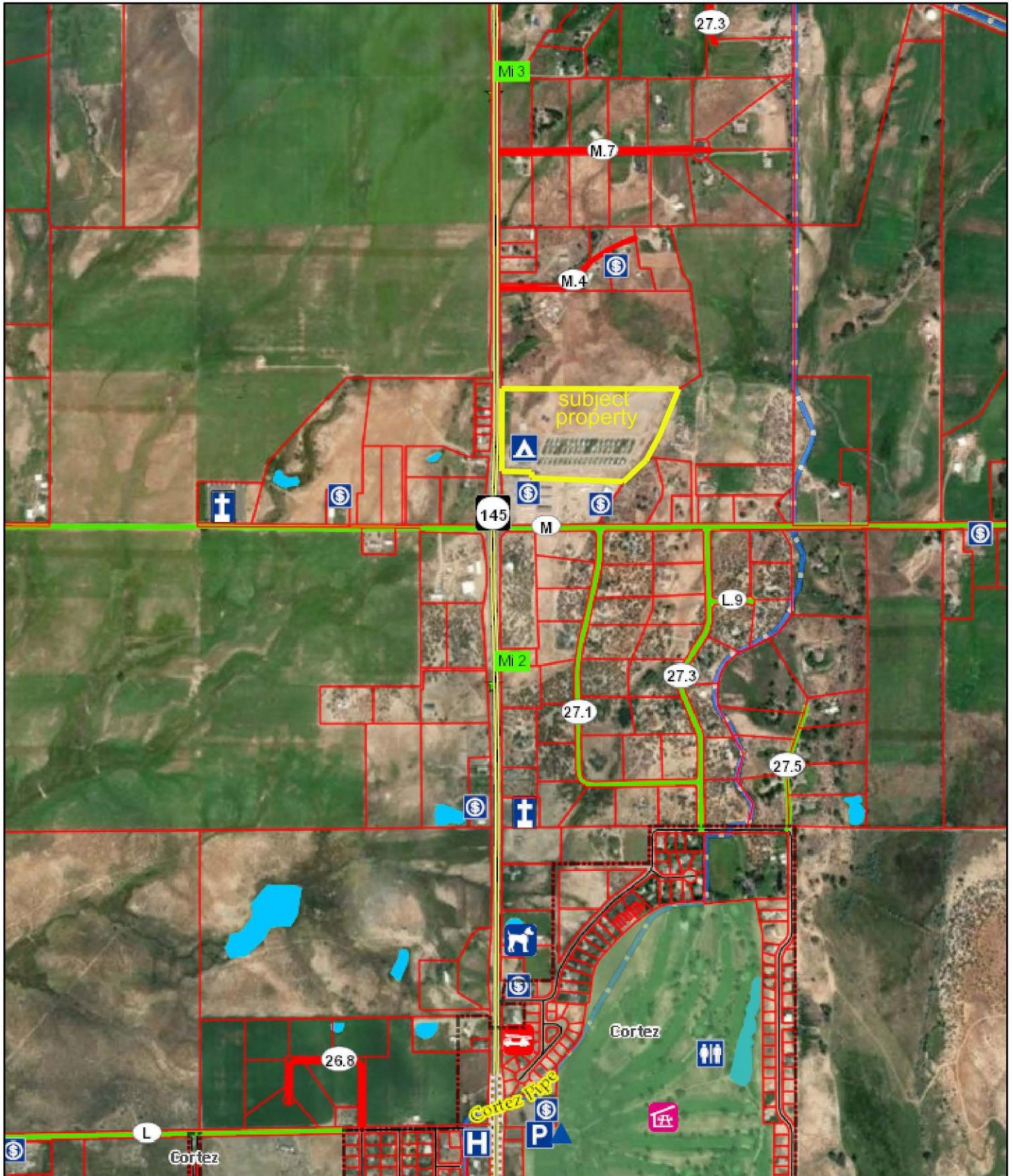
Montezuma County Property Detail Map



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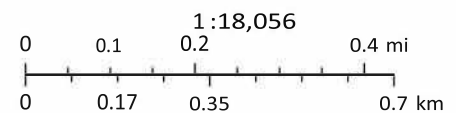


Montezuma County Property Detail Map



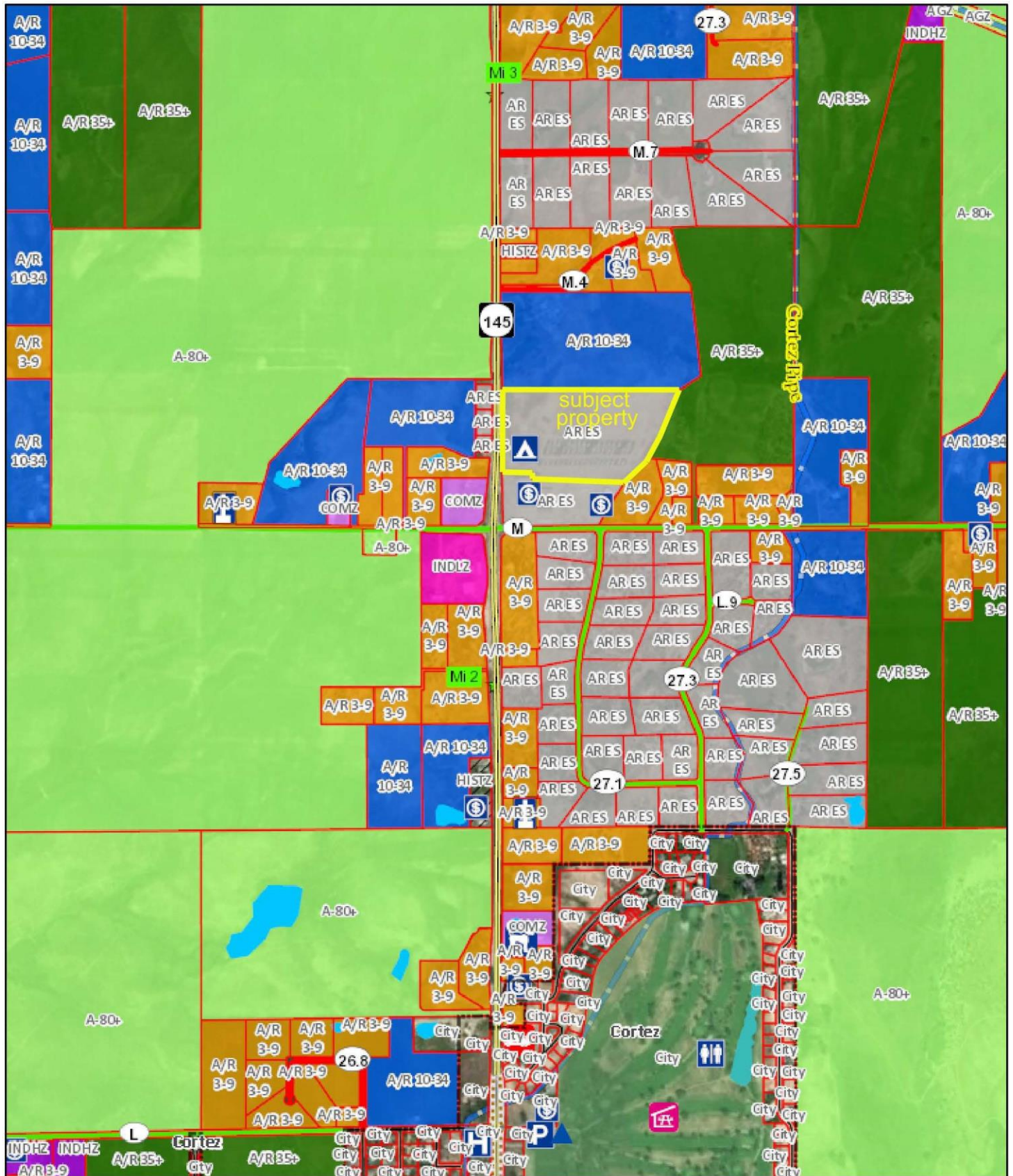
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- | | | |
|--|---|--|
| Override 1 | NPS | Parks |
| Public Lands & BIA Land | USFS | Trails |
| BIA | Irrigation Canals | Hiking /Pedestrian |
| BLM | Rh,rc; | Mountain Bike |

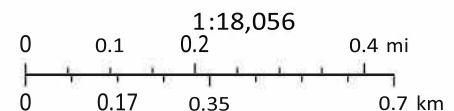


Source: Esri, Maxar, Earthstar Geographies, and the GIS User Community

Montezuma County Property Detail Map



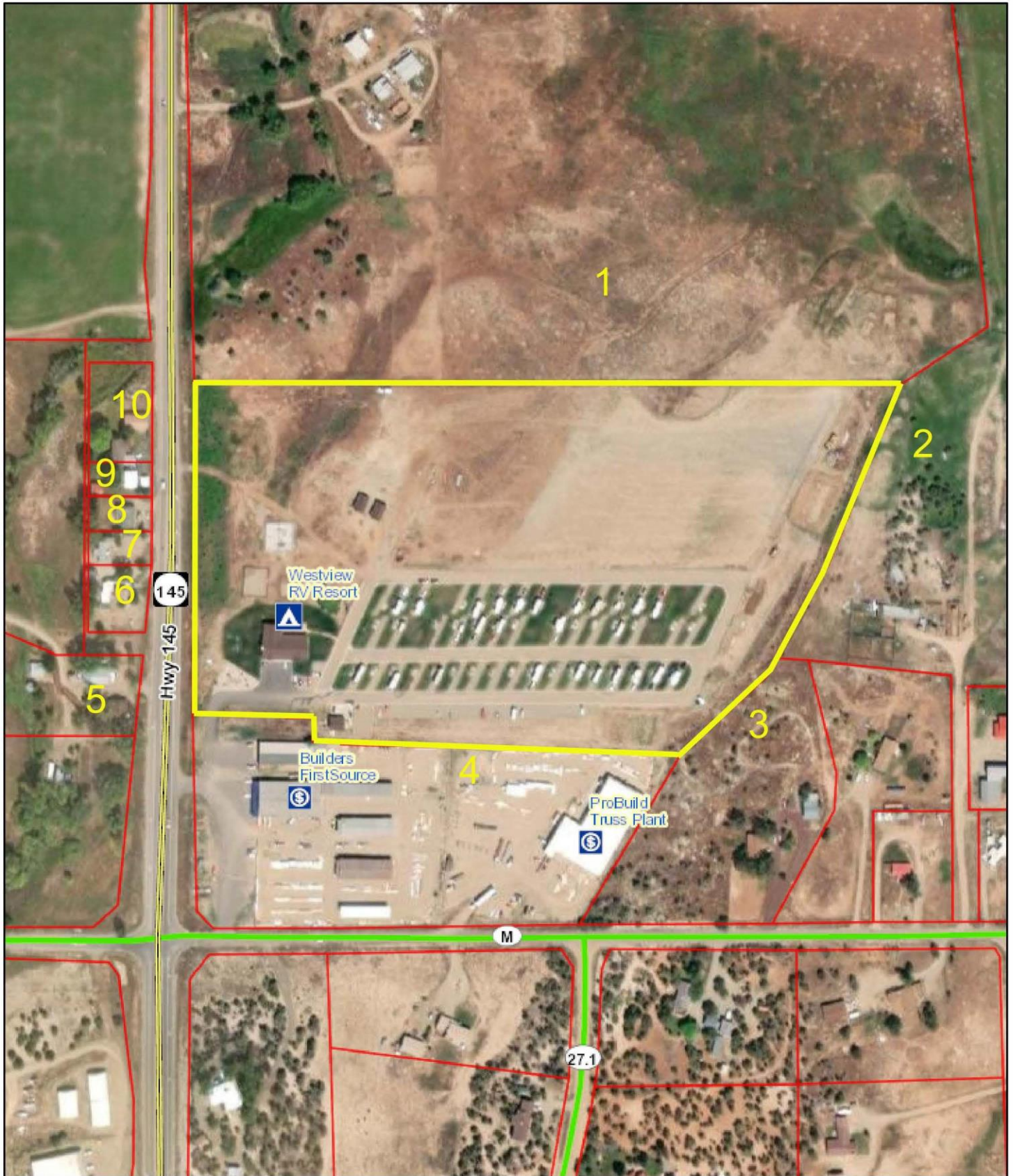
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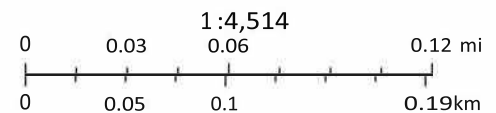
- | | | | |
|--------------------|----------|-------|-------------------------|
| Override 1 | AIR10_34 | INDHZ | Public Lands & BIA Land |
| Zoning Designation | AIR3-9 | INDLZ | BIA |
| A-80+ | R-3 | USZ | BLM |
| AIR35+ | AR ES | IT7 | CO State |

Source: Esri, Maxar, Earthstar Geographies, and the GIS User Community

Montezuma County Property Detail Map



2/7/2023, 2:23:30 PM



Source: Esri, Maxar, Earthstar Geographies, and the GIS User Community

Neighbor List for: Daren & Kathy Stone 12092 Hwy 145, Dolores, CO

	Property Owner	Mailing Address	Physical Address	Zone	Acres
1	Jaime Campuzano	12368 Hwy 145, Dolores, CO 81323	12368 Hwy 145, Dolores, CO 81323	AR10-34	34.85+/-
2	Donna Bowling	28391 Road M, Dolores, CO 81323	27339 Road M, Dolores, CO 81323	AR35+	47.63+/-
3	Matthew & Mindi Clark	27279 Road M, Dolores, CO 81323	27279 Road M, Dolores, CO 81323	AR3-9	4.43+/-
4	Thomson Reuters & Ryan, LLC	5251 DTC Parkway, Ste 1045, Greenwood Village, CO 80111	12028 Hwy 145, Dolores, CO 81323	AR ES	9.29+/-
5	Kristy Castleberry	12107 Hwy 145. Dolores, CO 81323	12107 Hwy 145. Dolores, CO 81323	AR3-9	4+/-
6	Diamond Clu Ranch, LLC	3068 E. Denim Trail, Sun Tan Valley, AZ	12163 Hwy 145, Dolores, CO 81323	AR ES	0.50+/-
7	Shane & Denese Brisbin	P O Box 786, Dolores, CO 81323	12191 Hwy 145, Dolores, CO 81323	AR ES	1+/-
8	Franki Robbins	12179 Hwy 145, Dolores, CO 81323	12179 Hwy 145, Dolores, CO 81323	AR ES	0.34+/-

9	Ralph & Truiva Cavillo	12201 Hwy 145, Dolores, CO 81323	12201 Hwy 145, Dolores, CO 81323	AR ES	1+/-
10	Ralph & Truiva Cavillo	12215 Hwy 145, Dolores, CO 81323	12215 Hwy 145, Dolores, CO 81323	AR ES	1+/-



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

March 7, 2023

Agenda Item: 8. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: **FEBRUARY 2023 PERMITS ISSUED**

BACKGROUND

Planning and Zoning Commission will review

RECOMMENDATION

Planning and Zoning Commission will review

Attachments

February 2023 Permits Issued

FEBRUARY 2023 PERMITS ISSUED

Permit Type	Sub Type	Permit#	Address	Issue Date
Building	Accessory Structure	B23-000005	1506 ALDRIDGE Road	02/06/2023
Building Total	Accessory Structure Total			1
Building	New Residential	B23-000006	507 Juniper Place	02/13/2023
Building	New Residential	B23-000008	435 Juniper Place	02/17/2023
Building	New Residential	B23-000010	423 Juniper Place	02/17/2023
Building Total	New Residential Total			3
Building	Other	B23-000003	946 North Sligo Street	02/02/2023
Building	Other	B23-000004	201 North SLIGO Street	02/06/2023
Building Total	Other Total			2
Building Total				6
Fire Inspection Permit	Fire Inspection Permit	F23-000006	720 South Broadway	02/21/2023
Fire Inspection Permit	Fire Inspection Permit	F23-000007	318 East Main Street	02/21/2023
Fire Inspection Permit	Fire Inspection Permit	F23-000005	303 North BROADWAY Avenue	02/08/2023
Fire Inspection Permit	Fire Inspection Permit	F23-000002	136 West First Street	01/30/2023
Fire Inspection Permit	Fire Inspection Permit	F23-000003	140 West 1st Street	01/30/2023
Fire Inspection Permit	Fire Inspection Permit	F23-000004	23 West Main Street	01/30/2023
Fire Inspection Permit Total	Fire Inspection Permit Total			6
Fire Inspection Permit Total				6
Plumbing	Commercial	P23-000001	22 West North Street	02/16/2023
Plumbing Total	Commercial Total			1
Plumbing	Residential	P23-000002	611 South Market Street	02/21/2023
Plumbing Total	Residential Total			1
Plumbing Total				2
Right of Way	Public Right-of-Way	ROW23-000007	423 Juniper Place	02/17/2023
Right of Way	Public Right-of-Way	ROW23-000004	South Cedar Street	02/01/2023
Right of Way	Public Right-of-Way	ROW23-000006	435 Juniper Place	02/17/2023
Right of Way	Public Right-of-Way	ROW23-000005	507 Juniper Place	02/17/2023
Right of Way Total	Public Right-of-Way Total			4
Right of Way Total				4
Sign	Projecting	S23-000003	106 East 1st Street	02/14/2023
Sign Total	Projecting Total			1
Sign Total				1
Water Tap	3/4 inch	WT23-000005	507 Juniper Place	02/17/2023

Water Tap	3/4 inch	WT23-000006	435 Juniper Place	02/17/2023
Water Tap	3/4 inch	WT23-000007	423 Juniper Place	02/17/2023
Water Tap Total	3/4 inch Total			3
Water Tap Total				3
All Permits Total				22