



**PLANNING AND ZONING
COMMISSION MEETING
MAY 2, 2023
6:30 P.M.**

1. CALL TO ORDER - PLEDGE OF ALLEGIANCE - ROLL CALL
2. Approval of the Regular Meeting Minutes of April 4, 2023
 - a. Minutes for the P&Z meeting April 4, 2023
3. PUBLIC PARTICIPATION - There is no limit to the number of speakers, although public comments will be held to an overall time limit of 30 minutes. (Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter).
4. PUBLIC HEARING
 - a. Resolution No. 5, Series 2023
Quick N Clean CO-03, LLC, (the "Applicant") is proposing to vacate an existing, undeveloped alley located in Block 2 of the Veach Subdivision and then combine the 28 existing lots into one parcel for development. If approved, the new lot will total 2.185 acres. The property is located 1511 E. Main, Cortez, Colorado (the "Property"). The Property is currently vacant. The Property is zoned commercial highway (C).

Presenter: Nancy Dosdall, Contract City Planner
 - b. Resolution No. 6, Series 2023
Quick N Clean CO-03, LLC, (the "Applicant") is proposing a site plan to construct a new 5,380 sq. ft. express car wash with associated vacuum and pay station canopies to be located on what is currently platted as 28 separate lots separated by a City owned alley. The applicants have applied to vacate the alley and combine all lots into one. If approved, the new lot will total 2.185 acres. The property is located 1511 E. Main (the "Property"). The Property is currently vacant. The Property is zoned commercial highway (C).

Presenter: Nancy Dosdall, Contract City Planner
5. NEW BUSINESS
6. UNFINISHED BUSINESS
7. OTHER ITEMS OF BUSINESS
 - a. OTHER ITEMS OF BUSINESS
Planning and Zoning Commission will review permits issued in April, 2023.

Presenter:

- b. Land Use Code and Housing Needs Check-in.

Presenter: Rachael Marchbanks, Community/Economic Dev. Director

- 8. ADJOURNMENT



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

May 02, 2023

Agenda Item: 2. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Minutes for the P&Z meeting April 4, 2023

Attachments

Minutes for the P&Z meeting April 4, 2023

PLANNING & ZONING COMMISSION

REGULAR MEETING

TUESDAY, APRIL 4, 2023

1. The meeting was called to order in the City Council Chambers at 6:30 p.m., with the Pledge of Allegiance. Roll Call was taken and the following Commissioners were present: Chairperson Robert Rime, Vice-Chairperson Lance McDaniel, Rebecca Levy, Jim Skvorc, and Katrina Weiss.

Staff present included: Contract City Planner Nancy Dosdall, Community and Economic Development Director Rachael Marchbanks, City Attorney Patrick Coleman, City Engineer George Tripp, and Deputy City Clerk Cheryl Lindquist.

There were two people present in the audience.

2. Approval of the Regular Meeting Minutes of March 7, 2023.

Commissioner Skvorc made the motion to approve the minutes and Commissioner Weiss seconded the motion with the vote as follows:

Levy	McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes	Yes

3. PUBLIC PARTICIPATION: Chairperson Rime opened for Public Participation but no one spoke so the public hearing was closed.
4. PUBLIC HEARINGS:

- a. Resolution No. 4, Series 2023. Contract City Planner Nancy Dosdall presented an application for a Site Plan Review for a seasonal Flea Market/Farmers Market to be located on property at 111 W. 1st St., zoned Neighborhood Business (NB) owned by Chris and Kim Lindell. They are proposing to use the existing parking lot they own for a Flea Market/Farmers Market on occasional days in the spring, summer and fall. Farmers Markets are not listed in the Land Use Code and no provision is made for seasonal type uses, therefore the Flea Market application was submitted. Chris Lindell shared that when the property was purchased, he had hopes of having something new and green for the community to enjoy. He hopes it will become a cohesive downtown plaza. The items proposed to be sold include local farm produce, juried/approved artisans, and food trucks. They would also have acoustic background music. It was questioned if code allows for music. Planner Dosdall stated the code does not have anything regarding music for temporary events although one condition (#6) for

approval, is complying with the requirements on noise in the LUC Section 5.07(d) at all times. Commissioners had several other questions for Chris Lindell, which he answered.

Commissioner Skvorc made a motion to recommend that Council approve the site development plan. There was no second, so the motion died.

Commissioner Levy made the motion to recommend that Council approve the site development plan for a new seasonal outdoor flea market on property located at 111 W. 1st St., in the Neighborhood Business zone, as submitted by Chris and Kim Lindell through P&Z Resolution No. 4, Series 2023, with eight conditions, with the addition to Condition No. 4 of “and business license”.

Commissioner Weiss seconded the motion with the vote as follows:

Levy	McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes	No

5. NEW BUSINESS:

- a. County Development – Review of a proposed rezone from AR35 to Heavy Industrial and Subdivision. Planner Dosdall presented a Montezuma County Development for review of a proposed rezone from AR35 to Heavy Industrial and Subdivision that had been presented to P&Z Commission two months earlier, but now with a small change. This parcel is adjacent to City Limits on two sides, eligible for annexation and within the 1-mile area of influence. The applicants, Daniel and Debbie Hoch are proposing to amend the Hoch 2 Lot Minor Subdivision, to create a 4-lot moderate subdivision, adding 2 lots. They are also proposing to rezone the property to Heavy Industrial in order to sell the new lots for a potential shopping center and storage yard. Commissioners stated their concerns and asked Planner Dosdall to forward to the County.
- b. County Development – Review of a proposed 4 lot subdivision for 4 single family homes. Planner Dosdall presented a Montezuma County Development for review of a 4-lot subdivision for 4 single family homes, located at 7231 Rd 25, Cortez. The applicant, Elevated Smoke, LLC., proposes to create a Single Lot Development consisting of a General Planned Unit Development, Special Use Permit and AR35+ Rezoning. Commissioners had no comments.

6. UNFINISHED BUSINESS: none

7. OTHER ITEMS OF BUSINESS: none

8. ADJOURNMENT: Commissioner Levy made the motion to adjourn and Commissioner Skvorc seconded with the vote as follows:

Levy	McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes	Yes

PLANNING & ZONING COMMISSION

Robert Rime, Chairperson

ATTEST:

Cheryl Lindquist, Deputy City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

May 02, 2023

Agenda Item: 4. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Resolution No. 5, Series 2023

BACKGROUND

Public Hearing on an Application for vacation of the 14' Alley located in Block 2 of the Veach Subdivision and consolidation of all existing lots into one 2.185-acre parcel on property located at 1511 E. Main St., zoned Commercial Highway.

RECOMMENDATION

Staff recommends the Commission make a motion to recommend that Council approve the Alley right of way vacation on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC through P&Z Resolutions No. 5, Series 2023, with 3 conditions:

Attachments

ROW vacation staff report
Resolution No. 5, Series 2023



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: May 2, 2023

Project No. PL23-2

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for vacation of the 14' Alley located in Block 2 of the Veach Subdivision and consolidation of all existing lots into one 2.185-acre parcel on property located at 1511 E. Main St., zoned Commercial Highway.

APPLICANT: Michael Scarbrough, Quick N Clean CO-03 LLC

OWNER: Quick N Clean CO-03, LLC

ATTACHMENTS: P&Z Resolution No. 5, Series 2023

Site Plan

Plat

Application

BACKGROUND

Quick N Clean CO-03, LLC, (the "Applicant") is proposing to vacate an existing, undeveloped alley located in Block 2 of the Veach Subdivision and then combine the 28 existing lots into one parcel for development. If approved, the new lot will total 2.185 acres. The property is located 1511 E. Main, Cortez, Colorado (the "Property"). The Property is currently vacant. The Property is zoned commercial highway (C).

The Property is bounded on the west by commercially zoned land that includes Papa Murphy's, on the east and south by vacant parcels, and on the north by East Main St and Safeway. All neighboring properties are zoned commercial highway (C).



CRITERIA FOR REVIEW

The following criteria shall be used in the evaluation of all applications for the vacation of rights-of-way or easements:

1. Must not conflict with adopted policies or plans.
2. Shall not create a landlocked parcel of land.
3. Shall not restrict the access of any parcel so that access is unreasonable or economically prohibitive.
4. Shall not result in adverse impacts on the health, safety, and/or general welfare of the general community, and reduce the quality of public facilities or services provided to any parcel of land, i.e., fire/police protection, accesses, and/or utility services.

ISSUES/DISCUSSION

As seen in the above photo, the alley has never been constructed and it appears that a portion of the alley may have been vacated when the Walgreens building was constructed. The Walgreens building would prevent the alley from accessing Sligo Street to the east and other construction appears to partially block construction of the alley to the west. The unconstructed alley does not appear necessary to provide access to any other parcels of land, and vacating it will not otherwise result in any adverse impacts. It does not appear in any adopted City plans.

While having secondary access to properties is good transportation planning, there is also unconstructed right of way to the south of the Property that could serve as an extension of 1st St and provide access as required for future development.

AGENCY REVIEW (Note – two rounds of comments were collected after a revised submittal and most agencies combined their comments on the site plan and alley vacation plat)

GIS Coordinator (Doug Roth)

No issues with the configuration of this site plan or procedurally vacating the 16' Alley ROW in order to rededicate the same area as a non-exclusive utility easement.

Cortez City Engineer (Kevin Kissler)

There is a sewer line that also runs on the south side of their property within their property boundaries, I'd like to see their site plan include at least a 10' utility easement on the south side of the lot as well as their proposed 40' easement on the west side of the lot. Also, I would like to see their grease trap configuration included in the plans so we can pass that along to the sanitation district for their review. They need to specify the sidewalk width as 5' and being composed of 4500 psi concrete

Cortez Sanitation District (Jim Webb)

After a careful review of the final plat I have noted they have identified all of the Sanitation District's Collection system assets and We have no issues with the proposed plat.

Colorado Department of Transportation (Randee Reider)**Cortez General Services (Rick Smith)****Atmos Energy (Gary Arnett)**

Thank you for the clarification.

The existing width is good but if we ever needed to repair or replace that line it would be nice to have some additional room to the N. of the existing easement +5'. The fiber optic line appears to be close.

ALTERNATIVES

1. The Commission can recommend that the Council approve the right of way vacation on property located at 1511 E. Main, in the C zone, as submitted by Quick N Clean CO-03 LLC;
2. The Commission can recommend denial of the application for the right of way vacation and state its reasons;
3. The Commission can ask for more information and table the application or continue the application to a date certain; or
4. The Commission can recommend that Council approve the right of way vacation, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative "4" above, approval of the right of way vacation through P&Z Resolution No. 5, Series 2023, with conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, a Commission member can make the following motion: **I move that the Commission recommend that Council approve the Alley right of way vacation on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC through P&Z Resolutions No. 5, Series 2023, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
2. The plat shall be recorded at the Montezuma County Clerk and Records Office within six (6) months of Council approval, in accordance with Land Use Code Section 6.05 (d)(2)a.
3. The proposed 14' utility easement shall be increased by 5' to the north to total 19' in width.

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 6, SERIES 2023**

**A Resolution Recommending Approval of a Right of Way Vacation Plat for Vacation of the
14 foot wide alley located on Block 2 of the Veach Subdivision, a portion of the SW ¼ of
Section 25, T36N R16W, NMPM
Located in the Commercial Highway (C) Zoning District**

WHEREAS, the owner/applicant Quick N Clean CO-03 (the “Owner/applicant”) has applied for review of a ROW vacation plat to vacate the 14’ alley located in Block 2 of the Veach Subdivision located in the SW ¼ of Section 25, T36N R16W, N.M.P.M Colorado (the “Property”); and

WHEREAS, the Owner/applicant has applied to the City for review of a vacation plat on the Property; and

WHEREAS, the Owner/applicant presented a plat and other submittal items for review by the City Planning and Zoning Commission at a regular meeting held on May 2, 2023; and

WHEREAS, Land Use Code Section 6.25, Vacation of rights-of-way and easements, indicates that the owner or developer of a property may request a vacation pursuant to all code requirements; and

WHEREAS, the Planning and Zoning Commission reviewed the right-of-way vacation plat for the Property and is recommending approval of the plat, as evidenced by the adoption of P&Z Resolution No. 6, Series 2023; and

WHEREAS, based on the evidence and testimony presented at its May 2, 2023 meeting, the Planning and Zoning Commission recommends certain conditions of approval for the requested right of way vacation; and

WHEREAS, it appears that all requirements of Chapters 4.00 and 6.00 of the City’s Land Use Code for subdivision of this site have been or can be met.

NOW, THERFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 6, Series 2023, establishes the recommended conditions of approval for the plat and the right of way vacation; and

THAT, the plat and full application for the Property are hereby recommended to Council for approval, subject to the following conditions to ensure compliance with the standards in the Land Use Code for a preliminary plat:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents.
2. The plat shall be recorded at the Montezuma County Clerk and Records Office within six (6) months of Council approval, in accordance with Land Use Code Section 6.05 (d)(2)a.
3. The proposed 14' utility easement shall be increased by 5' to the north to total 19' in width

AND THAT, the Owner/applicant shall coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 7th DAY OF MARCH, 2023

CITY OF CORTEZ
PLANNING AND ZONING COMMISSION

Robert Rime, Chairman

ATTEST:

Cheryl Lindquist, Deputy City Clerk



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

May 02, 2023

Agenda Item: 4. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Resolution No. 6, Series 2023

BACKGROUND

Public Hearing on an Application for a site plan for a 5,380 sq. ft. car wash (Quick N Clean) with associated vacuum and pay station canopies to be located on property at 1511 E. Main St., zoned Commercial Highway.

RECOMMENDATION

Staff recommends the Commission make the motion to recommend that Council approve the site development plan for a new car wash on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC through P&Z Resolutions No. 6, Series 2023, with 4 conditions.

Attachments

Site Plan Staff Report
Resolution No. 6, Series 2023
Documentation



*City of Cortez
Community & Economic
Development Dept.
123 Roger Smith Avenue
Cortez, CO 81321*

Meeting Date: May 2, 2023

Project No. PL23-2

MEMO

TO: Members of the Cortez Planning and Zoning Commission

FROM: Nancy Dosdall, Contract City Planner

SUBJECT: Public Hearing on an Application for a site plan for a 5,380 sq. ft. car wash (Quick N Clean) with associated vacuum and pay station canopies to be located on property at 1511 E. Main St., zoned Commercial Highway.

APPLICANT: Michael Scarbrough, Quick N Clean CO-03 LLC

OWNER: Quick N Clean CO-03, LLC

ATTACHMENTS: P&Z Resolution No. 6, Series 2023
Plan Set including: Civil Site Plans
Landscape Plans
Floor Plans
Architectural Elevations

BACKGROUND

Quick N Clean CO-03, LLC, (the “Applicant”) is proposing a site plan to construct a new 5,380 sq. ft. express car wash with associated vacuum and pay station canopies to be located on what is currently platted as 28 separate lots separated by a City owned alley. The applicants have applied to vacate the alley and combine all lots into one. If approved, the new lot will total 2.185 acres. The property is located 1511 E. Main (the “Property”). The Property is currently vacant. The Property is zoned commercial highway (C).

The Property is bounded on the west by commercially zoned land that includes Papa Murphy’s, on the east and south by vacant parcels and on the north by East Main St and Safeway. All neighboring properties are zoned commercial highway (C).

DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	2.185 acres (after consolidation)
Min. front yard (ft.)	10'	100+' approx
Min. side yard (ft)	0'	20'+ approx
Min. rear yard (ft)	7'	23' approx
Max. lot coverage	50%	n/a
Min. floor area	n/a	n/a
Max height (ft)	50'	28' 9"
Parking	18 spaces	45 spaces
Landscaping	10% or 9,518 sq. ft.	40,992 sq. ft. or 43%

ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

DISCUSSION

The project as submitted appears to meet all development standards. Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity and general welfare.

AGENCY REVIEW (Note – two rounds of comments were collected after a revised submittal and most agencies combined their comments on the site plan and alley vacation plat)

GIS Coordinator (Doug Roth)

No issues with the configuration of this site plan or procedurally vacating the 16' Alley ROW in order to rededicate the same area as a non-exclusive utility easement.

Cortez City Engineer (Kevin Kissler)

There is a sewer line that also runs on the south side of their property within their property boundaries, I'd like to see their site plan include at least a 10' utility easement on the south side of the lot as well as their proposed 40' easement on the west side of the lot. Also, I would like to see their grease trap configuration included in the plans so we can pass that along to the sanitation district for their review. They need to specify the sidewalk width as 5' and being composed of 4500 psi concrete

Cortez Sanitation District (Jim Webb)

After a careful review of the final plat I have noted they have identified all of the Sanitation District's Collection system assets and We have no issues with the proposed plat.

Colorado Department of Transportation (Randee Reider)**Cortez General Services (Rick Smith)****Atmos Energy (Gary Arnett)**

Thank you for the clarification.

The existing width is good but if we ever needed to repair or replace that line it would be nice to have some additional room to the N. of the existing easement +5'. The fiber optic line appears to be close.

ALTERNATIVES

1. The Commission can recommend that the Council approve the site development plan for the proposed car wash on property located at 1511 E. Main, in the C zone, as submitted by Quick N Clean CO-03 LLC;
2. The Commission can recommend denial of the application for the site development plan and state its reasons;
3. The Commission can ask for more information and table the application or continue the application to a date certain; or
4. The Commission can recommend that Council approve the site development plan, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

RECOMMENDATION

Staff recommends Alternative “4” above, approval of the site development plan through P&Z Resolution No. 6, Series 2023, with 4 conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, the Commission can **make the motion to recommend that Council approve the site development plan for a new car wash on property located at 1511 E. Main, in the Commercial Highway (C) zone, as submitted by Quick N Clean CO-003, LLC through P&Z Resolutions No. 6, Series 2023, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
4. The ROW vacation and plat amendment shall be approved and recorded prior to issuance of a building permit for the property.

**CITY OF CORTEZ
PLANNING AND ZONING COMMISSION
RESOLUTION NO. 5, SERIES 2023**

**A Resolution Recommending Approval of a Site Development Plan for a Car Wash
Located at 1511 E. Main St. in the Commercial (C) Zoning District**

WHEREAS, owner/applicant Quick N Clean CO-03 LLC (the “Owner/applicant”) has applied for review of a site development plan for establishment of a new car wash to be located on property at 1511 E. Main St., Cortez, Colorado (the “Property”) and more particularly described as:

Lots 1 through 28 inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6

WHEREAS, the Owner/applicant has applied to the City for review of a site development plan for a car wash on the Property; and

WHEREAS, the Owner/applicant presented a site plan and necessary submittal items for review by the City Planning and Zoning Commission at a regular meeting held on May 2, 2023; and

WHEREAS, Land Use Code Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of these site plan requirements for development on property located in the Commercial (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for a car wash for the Property and is recommending approval of the site plan, as evidenced in the adoption of P&Z Resolution No. 5, Series 2023; and

WHEREAS, based on the evidence and testimony presented at its May 2, 2023 meeting, the Planning and Zoning Commission is recommending conditions of approval for the site plan; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of this site have been or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:

THAT, P&Z Resolution No. 5, Series 2023, contains recommended conditions of approval for the site plan on the Property; and

THAT, the site plan and full application for the Property are hereby recommended to Council for approval, subject to the following conditions to ensure compliance with the standards in the land use code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. The landscaping improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
4. The ROW vacation and plat amendment shall be approved and recorded prior to issuance of a building permit for the Property.

AND THAT, the Owner/applicant is to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 2nd DAY OF MAY, 2023

CITY OF CORTEZ
PLANNING AND ZONING COMMISSION

Robert Rime, Chairman

ATTEST:

Cheryl Lindquist, Deputy City Clerk

APPENDIX D - CITY OF CORTEZ APPLICATION FOR ZONING ACTION

This application is for:	
<input type="checkbox"/> Conditional Use Permit <input checked="" type="checkbox"/> Right-of-Way or Easement Vacation <input checked="" type="checkbox"/> Replat or Plat Amendment <input type="checkbox"/> Condominium Subdivision/Conversion	<input type="checkbox"/> Special Exception <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Variance <input type="checkbox"/> Minor Subdivision

1. APPLICANT SHALL COMPLETE:

Quick N Clean CO-03, LLC	7291 E. Adobe Drive Suite 115 Scottsdale, AZ 85255	(480) 444-8060
Property Owner	Mailing Address	Phone/Fax

Richard Karle		
Contact Person	Mailing Address	Phone/Fax

1511 East Main Street Cortez, CO 81321
Subject Property Street Address

Legal Description; or <u>Survey</u> Attached

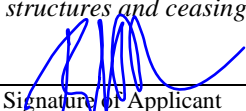
Vacant land
Existing Use(s)

Express car wash	+/-5,380 SF	
Proposed Use(s)	Square Footage	Lot Coverage (%)

+/-91,191 SF		45
Lot Size	Proposed Building Height	Off-Street Parking Spaces

10'	0'	7'
Proposed Setbacks: Front	Side	Rear

Public Works Department Approval	Sanitation District Approval
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OATH OF APPLICANT	
<i>I hereby certify, subject to penalty of perjury, that the above is true and accurate to the best of my knowledge and that I understand all provisions of City and State codes applicable to the proposed development, any and all conditions placed upon the proposed development by the City Council and all information requested by this document. I also understand that if I violate any applicable provisions of City and/or State codes, I may be required to remedy such violation(s) through appropriate legal process imposed by the City, including moving or removing structures and ceasing of construction and/or uses</i>	
 Signature of Applicant	03-21-23 Date

2. APPLICANT SHALL ATTACH 2 COPIES OF A COMPLETE SITE AND ACCESS PLAN OR PLAT SHOWING THE BUILDING OR STRUCTURE IN SUFFICIENT DETAIL TO



City of Cortez

Date Received 11/1/22

APPLICATION FOR SITE PLAN REVIEW

Michael Scarbrough	602-684-5210
Name of Applicant	Phone Number

11811 North Tatum Boulevard Suite 1051 Phoenix, AZ
Applicant's Address

Quick N Clean CO-03, LLC	480-444-8060
Name of Property Owner if different from above	Phone Number
7291 E Adobe Drive, Suite 115, Scottsdale, Az 85255	

Property Owner's Address
1511 E. Main Street Cortez, CO 81321
Address of development <i>(include copy of deed or title insurance policy showing legal description and ownership)</i>

Class of Work:	Zoning District :
<input checked="" type="checkbox"/> New	<input type="checkbox"/> NB – Neighborhood Business
<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> C – Commercial Highway
<input type="checkbox"/> Demolish	<input type="checkbox"/> CBD – Central Business District
<input type="checkbox"/> Move	<input type="checkbox"/> I - Industrial

WHEN RECORDED RETURN TO:

Quick N Clean CO-03, LLC,
a Colorado limited liability company
7291 East Adobe Drive,
Suite 115
Scottsdale, Arizona 85255

SPECIAL WARRANTY DEED

For valuable consideration, the receipt and sufficiency of which are acknowledged, Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust ("**Grantor**"), conveys to Quick N Clean CO-03, LLC, a Colorado limited liability company ("**Grantee**"), the following real property situated in Mesa County, Colorado, together with all appurtenant interests, benefits, rights, and privileges (collectively, the "**Property**");

SEE **Exhibit "A"** ATTACHED HERETO
AND BY THIS REFERENCE MADE A PART HEREOF

This conveyance is made by Grantor and accepted by Grantee subject to the terms, conditions and provisions hereof and further subject to all applicable easements, conditions, restrictions, covenants, minerals or royalty interests, mineral reservations, surface waivers, liens, encumbrances, regulations or orders of municipal and/or other governmental authorities, if any, or other matters of record, to the extent, but only to the extent, they are validly existing and affect the Property as of the date hereof.

To have and hold the Property, together with all rights and appurtenances thereto and in anyway belonging thereto, unto the Grantee, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to warrant and forever defend the Property unto the Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under the Grantor, but not otherwise.

DATED as of July 5, 2022.

"GRANTOR"

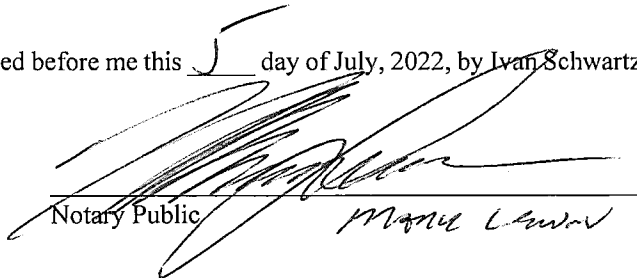
The Gilbert B. Schwartz Trust

By: 

Ivan Schwartz,
Trustee

STATE OF FL)
) ss.
COUNTY OF BREVARD)

The foregoing instrument was acknowledged before me this 5 day of July, 2022, by Ivan Schwartz,
Trustee of the Gilbert B. Schwartz Trust.



Notary Public *Mark Lewin*

My Commission expires:

12-16-25



MARK LEWIN
Commission # HH 200816
Expires December 16, 2025

EXHIBIT "A"
TO
SPECIAL WARRANTY DEED

[Legal Description]

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6, excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

TD-1000
Confidential Document

This form provides essential market information to the county assessor to ensure accurate, fair and uniform assessments for all property. **This document is not recorded, is kept confidential, and is not available for public inspection.**

This declaration must be completed and signed by either the grantor (seller) or grantee (buyer). Questions 1, 2, 3, and 4 may be completed (prefilled) by a third party, such as a title company or closing agent, familiar with details of the transaction. The signatory should confirm accuracy before signing.

This form is required when conveyance documents are presented for recording. If this form is not completed and submitted, the county assessor may send notice. If the completed and signed form is not returned to the assessor within 30 days of notice, the assessor may impose a penalty of \$25.00 or 0.025% (0.00025) of the sale price, whichever is greater.

Additional information as to the purpose, requirements, and level of confidentiality regarding this form are outlined in Colorado Revised Statutes, sections 39-14-102, 39-5-121.5, and 39-13-102.

1. Physical Address and/or legal description of the real property sold: Please do not use P.O. Box numbers.
1511 East Main Street, Cortez, CO 81321

2. Type of property purchased: ☐ Single Family Residential ☐ Townhome ☐ Condominium ☐ Multi-Unit Residential
☐ Commercial ☐ Industrial ☐ Agricultural ☐ Mixed Use ☒ Vacant Land ☐ Other: _____

3. 07/06/2022 09/17/2021
Date of closing: mm/dd/yyyy Date of contract: mm/dd/yyyy

4. \$450,000.00 \$
Total Sale Price: include all real and personal property Contracted price (if different from final sale price)

5. List any personal property included in the transaction that materially impacts the total sale price. Personal property may include, but is not limited to: machinery or equipment, vehicles, exceptional appliances, electronic devices, furniture, or anything that would not typically transfer with the real property (attach additional pages if necessary).

<u>Description</u>	<u>Approximate Value</u>
_____	\$ _____
_____	\$ _____
_____	\$ _____
Personal Property Total:	\$ _____

If no personal property is listed, the entire purchase price will be assumed to be for the real property.

6. Did the total sale price include a trade or exchange of additional real or personal property? ☒ No ☐ Yes
If Yes, approximate value of the goods or services as of the date of closing: \$ _____
If Yes, does this transaction involve a trade under IRS Code Section 1031? ☐ No ☐ Yes

7. Was 100% interest in the real property purchased? ☐ No ☒ Yes
Mark "No" if only a partial interest is being purchased. If No, interest purchased _____%

8. Is this a transaction between related parties or acquaintances? This includes persons connected by blood or marriage, or business affiliates, or those acquainted prior to the transaction. ☒ No ☐ Yes

9. Please mark type of sale: ☐ Builder (new construction) ☒ Public (MLS or Broker Representation)
☐ Private (For Sale By Owner) ☐ Other (describe) _____

10. Mark any of the following that apply to the condition of the improvements at the time of purchase.

☐ New ☐ Excellent ☒ Good ☐ Average ☐ Fair ☐ Poor ☐ Salvage

11. Type of financing: (mark all that apply)

☒ None (all cash or cash equivalent)

☐ New/Mortgage Lender (government-backed or conventional bank loan)

☐ New/Private Third Party (nonconventional lender, e.g. relative, friend, or acquaintance)

☐ Seller (buyer obtained a mortgage directly from the seller)

☐ Assumed (buyer assumed an existing mortgage)

☐ Combination or Other: Please explain: _____

12. Total amount financed: \$ _____

13. Terms:

☐ Variable; Starting interest rate: _____ % ☐ Fixed; Interest rate: _____

Length of time: _____ years

Balloon payment? ☐ No ☐ Yes If yes, amount \$ _____ Due Date: _____

14. Mark any that apply: ☐ Seller assisted down payments ☐ Seller concessions ☐ Special terms or financing

If marked, please specify terms: _____

15. Was an independent appraisal obtained in conjunction with this transaction? ☒ No ☐ Yes

For properties OTHER THAN Residential (Residential is defined as: single family detached, townhomes, apartments and condominiums), please complete questions 16-18, if applicable.

16. Did the purchase price include a franchise or license fee? ☒ No ☐ Yes

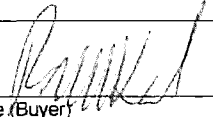
If yes, franchise or license fee value \$ _____

17. Did the purchase price involve an installment land contract? ☒ No ☐ Yes

If yes, date of contract: _____

18. If this is vacant land, was an on-site inspection conducted by the buyer prior to the closing? ☐ No ☒ Yes

Please include any additional information concerning the transaction and price paid that you feel is important:

X  7-5-2022 Quick N Clean CO-03, LLC
Signature of Grantee (Buyer) Date: mm/dd/yyyy Printed name of Grantee
Richard Karle, Manager

Signed in counterpart Ivan Schwartz
Signature of Grantor (Seller) Date: mm/dd/yyyy Printed name of Grantor

9. Please mark type of sale: ☐ Builder (new construction) ☒ Public (MLS or Broker Representation)
☐ Private (For Sale By Owner) ☐ Other (describe) _____

10. Mark any of the following that apply to the condition of the improvements at the time of purchase.

☐ New ☐ Excellent ☒ Good ☐ Average ☐ Fair ☐ Poor ☐ Salvage

11. Type of financing: (mark all that apply)

- ☐ None (all cash or cash equivalent)
☐ New/Mortgage Lender (government-backed or conventional bank loan)
☐ New/Private Third Party (nonconventional lender, e.g. relative, friend, or acquaintance)
☐ Seller (buyer obtained a mortgage directly from the seller)
☐ Assumed (buyer assumed an existing mortgage)
☐ Combination or Other: Please explain: _____

12. Total amount financed: \$ _____

13. Terms:

☐ Variable; Starting interest rate: _____ % ☐ Fixed; Interest rate: _____

Length of time: _____ years

Balloon payment? ☐ No ☐ Yes If yes, amount \$ _____ Due Date: _____

14. Mark any that apply: ☐ Seller assisted down payments ☐ Seller concessions ☐ Special terms or financing

If marked, please specify terms: _____

15. Was an independent appraisal obtained in conjunction with this transaction? ☒ No ☐ Yes

For properties OTHER THAN Residential (Residential is defined as: single family detached, townhomes, apartments and condominiums), please complete questions 16-18, if applicable.

16. Did the purchase price include a franchise or license fee? ☒ No ☐ Yes

If yes, franchise or license fee value \$ _____

17. Did the purchase price involve an installment land contract? ☒ No ☐ Yes

If yes, date of contract: _____

18. If this is vacant land, was an on-site inspection conducted by the buyer prior to the closing? ☐ No ☒ Yes

Please include any additional information concerning the transaction and price paid that you feel is important:

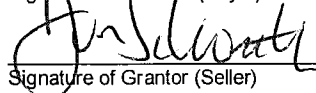
Signed in counterpart

Signature of Grantee (Buyer)

Date: mm/dd/yyyy

Richard Karle

Printed name of Grantee



7/5/22

Ivan Schwartz

Printed name of Grantor

Signature of Grantor (Seller)

Date: mm/dd/yyyy

07/07/2022 10:47:20 AM

Buyer Mailing Address: Future correspondence (tax bills, property valuations, etc.) regarding this property should be mailed to:

7291 East Adobe Drive, Ste 115	Scottsdale	Arizona	85255
Address (mailing)	City	State	Zip Code
(480)444-8060	richard@upperimage.net		
Daytime Phone	Email Address		

Contact information is kept confidential, for County Assessor and Treasurer use only, to contact buyer with questions regarding this form, property valuation, or property tax information.



Region 5 Levels of Traffic Assessments

Section 2.3(5) of The State Highway Access Code (SHAC) specifies the thresholds and general requirements of a traffic impact study (TIS). A TIS is required when the proposed land use will generate a Design Hour Volume (DHV) of 100 vehicles or more, or when considered necessary or desirable by CDOT. However, the SHAC provides little detail about traffic assessment requirements for projects generating less than 100 vehicles per hour. This document describes the three levels of traffic assessments required for access permitting in CDOT Region 5. The permit applicant should contact CDOT R5 access permitting (970-385-3626) to determine the appropriate level of traffic evaluation and the specific requirements for each individual application.

Level One – Trip Generation Assessment

The purpose of a Level One Assessment is to document the project trip generation and to confirm that auxiliary turn lanes are not required at the proposed access point.

A Level One Assessment is required for all projects that generate less than ten trips in the peak hour. A single-family home usually generates one trip in the peak hour so a project with nine or fewer homes would fit in this category. It is unlikely that any commercial or industrial development would fit in this category.

The Level One Assessment shall include the following:

- Description of project size and location
- Trip Generation Calculations per the Institute of Transportation Engineers Trip Generation document (latest version)
- A Professional Engineers seal on the calculation is preferred, but not required.

Level Two Auxiliary Turn Lane Assessment

The purpose of a Level Two Assessment is to document the project trip generation and to determine auxiliary turn lane requirements at the proposed access points. The results of this assessment may reveal that no turn lanes are needed. The assessment may also reveal that a Traffic Impact Study is necessary (see Level Three), as determined by CDOT. It is strongly recommended that all assumptions be confirmed with the CDOT traffic engineer prior to completing the assessment.

A Level Two Assessment shall be required for all projects that generate between 10 and 99 trips in the peak hour. It shall include the following:

- Description of project size and location, include site & location maps
- Trip Generation Calculations per the ITE Trip Generation document (latest version)
- Diagram or table showing existing driveways and side roads within 1000 feet from the access
- A detailed statement of directional distribution assumptions for project traffic, include all correspondence; phone, emails etc., with local authorities concerning directional distribution.
- A detailed statement of the 20-year background traffic growth calculation (source of existing data, growth rate, factors, etc)
- Diagram or table showing am & pm peak-hour traffic volumes for:



Short Term Traffic – existing, site generated, & total

Long Term Traffic (20 Year) – background, site generated, & total

- Recommendations for auxiliary turn lanes per the SHAC
- Entering site distance at proposed access, include relative photos
- A Professional Engineer's seal and signature is required

Level Three Traffic Impact Study

The purpose of a TIS is to understand the full traffic impact of the proposed development, and to identify traffic mitigation measures. A TIS is required when the proposed land use will generate a DHV of 100 vehicles or more, or when considered necessary or desirable by CDOT. Section 2.3(5) of the SHAC specifies the thresholds and general requirements of a TIS. A Professional Engineers seal is required. It is strongly recommended that all assumptions be confirmed with the CDOT traffic engineer prior to completing the study.

Project Narrative
Quick N Clean
1511 Main Street
Cortez, CO

Summary

This project involves the development of an express car wash with associated vacuum and pay station canopies located at 1511 Main Street Cortez, CO. The property is currently zoned C.



Description of Property – Current Conditions

The property is currently vacant with an internal access drive on the eastern edge of the site with an access driveway onto Main Street.

Proposed Improvements

Quick N Clean Car Wash (QNC) proposes to develop the existing, vacant parcel, into an express car wash with associated vacuums and pay station canopies. The tunnel will be fully enclosed with roll up doors being installed on both ends of the tunnel.

In addition, vacuum canopies, security lighting, and landscaping will be installed to City standards. A well-defined entrance to the tunnel will included 3 ATM style payment stations that will help direct customers to the beginning of the tunnel. Once the customer exits the tunnel, they will have the opportunity to vacuum their vehicle or leave the site. The proposed QNC will operate from 7 am –7p.m seven days a week.

Relationship to Surrounding Properties

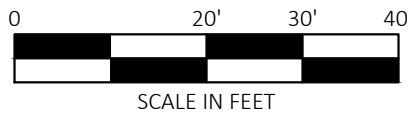
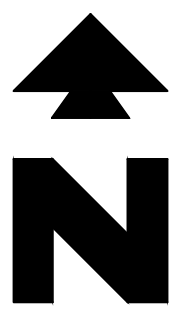
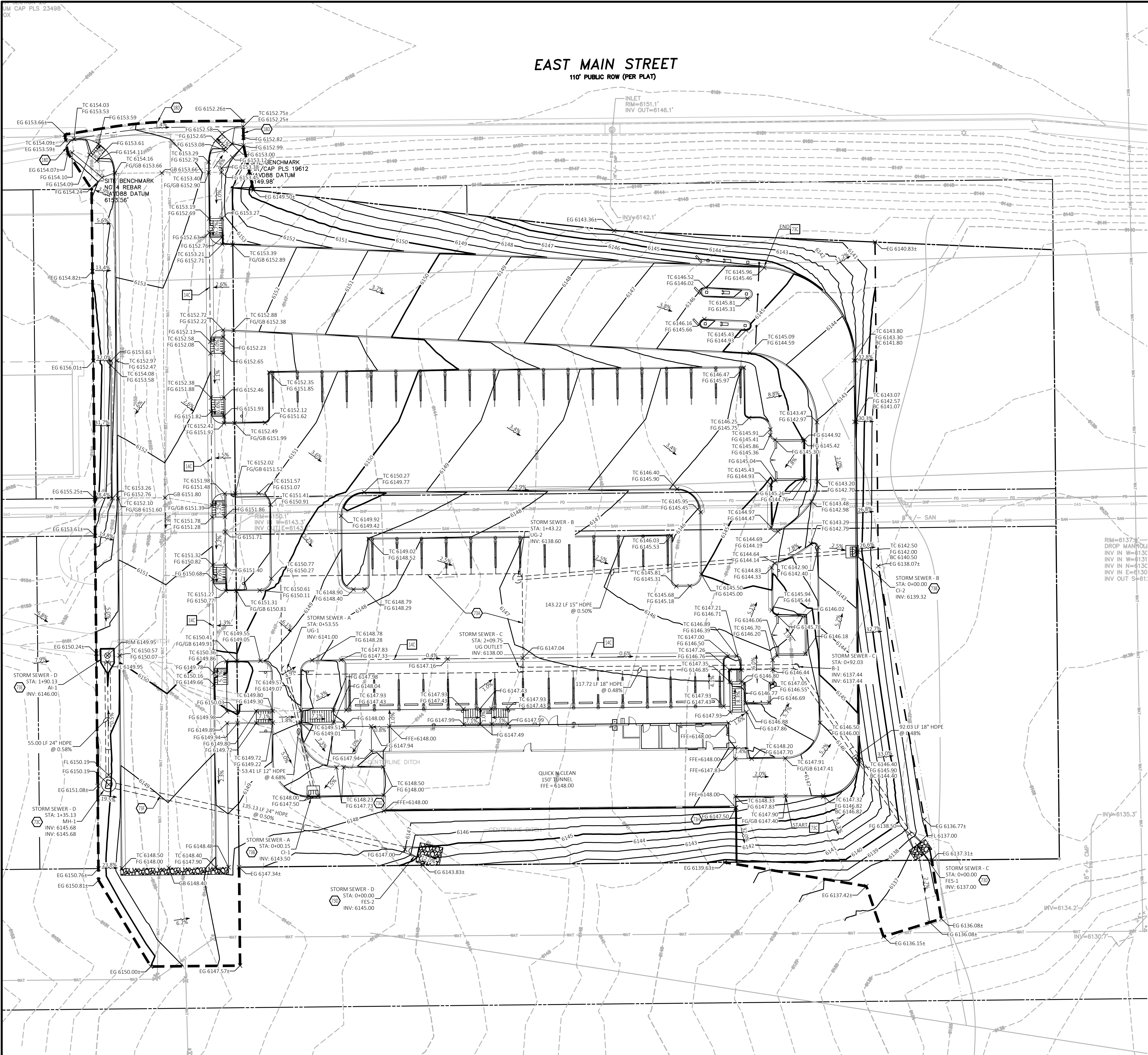
The property to the East and South is currently vacant. The property to west is an existing four tenant strip mall. The property to the North is a State Farm Insurance business as well as Safeway.



Property Contacts

Richard Karle 480-444-8060 Richard@upperimage.net 7291 East Adobe Drive Suite 115 Scottsdale, AZ 85255

Michael Scarbrough 602-684-5210 Mike@3K1.us 11811 North Tatum Boulevard Suite 1051 Phoenix, AZ 85028



Know what's below.
Call before you dig.

EXISTING LEGEND

LEGEND

- LIGHT POLE
- FIRE HYDRANT
- UTILITY POLE
- SANITARY SEWER MAHOLE
- STORM SEWER MANHOLE
- WATER VALVE
- GAS VALVE
- WATER METER
- OVERHEAD UTILITY LINES
- GAS - UNDERGROUND GAS LINES
- SAN - UNDERGROUND SANITARY SEWER LINES
- STW - UNDERGROUND STORM SEWER LINES
- FO - UNDERGROUND FIBER OPTIC LINE
- WAT - UNDERGROUND WATER LINES
- FND PIN/CAP PLS 19612
- FND PIN/CAP PLS ILLEGIBLE
- FND NO 4 REBAR
- SET PIN/CAP PLS 14142

- ZONE AE LIMITS BY ELEVATIONS
- ZONE AE LIMITS BY SCALING GRAPHIC

PROPOSED LEGEND

- XXX - PROPERTY LINE/RIGHT OF WAY LINE
- - CONTOUR ELEVATIONS
- - - - - GRADE BREAK
- - FLOWLINE
- - STORM DRAIN
- - LIMITS OF OFF-SITE GRADING
- - LIMITS OF ON-SITE GRADING
- XX.XX - SPOT ELEVATIONS: BC = BOTTOM OF CURB EG = EXISTING GRADE FG = FINISHED GRADE FL = FLOW LINE GB = GRADE BREAK TC = TOP OF CURB

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE PROJECT CONTRACT REQUIREMENTS FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS OF THE LOCAL AUTHORITIES:
 - ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A (REF. C9.1 - DETAIL SHEET).
 - ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING NOTES

- 18D MATCH EXISTING PAVEMENT ELEVATIONS
- 73A UNDERGROUND DETENTION SYSTEM: ADS SC-310 STORMTECH SYSTEM WITH MIN. INSTALLED VOLUME OF 5000 CF
- 73B 4" COMBINATION INLET
- 73C 4" STORM MANHOLE
- 73D FLARED END SECTION WITH RIP RAP
- 73E AREA INLET
- 73F CONTRACTOR TO VERIFY CROSSING BETWEEN STORM AND WATER MAIN
- 73G 3' CURB CUT FOR LANDSCAPE DRAINAGE RELIEF
- 73H 6" SLAB REVEAL

GRADING DETAILS (REF. DETAIL SHEETS)

- 14C CONCRETE SWALE IN PAVED AREA (REF. SHEET C9 - DETAIL SHEET)
- 73C REINFORCED REVERSED CURB (REF. SHEET C9.1 - DETAIL SHEET)

FLOOD ZONE INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 08083C0802C, DATED 09/26/2008, THIS PROPERTY IS IN FLOOD ZONE AE. THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.

Cut/Fill Summary

Name	Cut	Fill	Station	Volume	Remarks
123123	1.123	1.123	10000.00	1.123	1.123
TOTAL	1.123	1.123	10000.00	1.123	1.123

SITE BENCHMARK

PIN/CAP PLS 19612
NAVD83 DATUM
6306.92



CEI ENGINEERING ASSOCIATES, INC.
710 W Pinedale AVE
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, COLORADO, 81321

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	4/13/2023
REVISION	REV-2

GRADING PLAN

SHEET TITLE
SHEET NUMBER

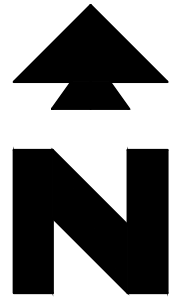
C5

EAST MAIN STREET
110' PUBLIC ROW (PER PLAT)

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

SITE BENCHMARK

PIN/CAP PLS 19612
NAVD88 DATUM
6149.98'



Know what's below.
Call before you dig.

EXISTING LEGEND

- LIGHT POLE
- FIRE HYDRANT
- UTILITY POLE
- SANITARY SEWER MAHOLE
- STORM SEWER MAHOLE
- WATER VALVE
- GAS VALVE
- WATER METER
- OVERHEAD UTILITY LINES
- UNDERGROUND GAS LINES
- UNDERGROUND SANITARY SEWER LINES
- UNDERGROUND STORM SEWER LINES
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND WATER LINES
- FND PIN/CAP PLS 19612
- FND NO 4 REBAR
- FND PIN/CAP PLS 14142

- ZONE AE LIMITS BY ELEVATIONS
- ZONE AE LIMITS BY SCALING GRAPHIC

PROPOSED LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- GAS SERVICE
- UGE
- UGT
- X"SS
- X"W

GENERAL UTILITY NOTES

- ALL WATER LINES 2" AND SMALLER SHALL BE TYPE K-COPPER, ALL WATER LINES 4" AND LARGER SHALL BE PVC, AWWA C900 (DR14, RATED AT 200 PSI) OR APPROVE EQUAL. ALL WATER LINES SHALL HAVE 4'-0" MIN. COVER.
- ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 12" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THROUST BLOCKING PER DETAIL 31C. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

UTILITY NOTES

- POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
- METERED DOMESTIC WATER SERVICE ENTRY (PER ARCH. PLANS, SEE SIZE THIS SHEET).
- POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
- BUILDING SANITARY SEWER SERVICE CLEAN-OUT.
- SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- POINT OF CONNECTION FOR ELECTRICAL SERVICE (CONTRACTOR TO COORDINATE WITH ELECTRIC PROVIDER)
- PROPOSED ELECTRIC TRANSFORMER.
- PROPOSED POINT OF CONNECTION FOR GAS SERVICE (CONTRACTOR TO COORDINATE WITH GAS PROVIDER)
- PROPOSED GAS METER.
- MAINTAIN MIN. 18" VERTICAL SEPARATION
- LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING ASSOCIATES, INC. IF THE DESIGN AS SHOWN IS NOT achievable.
- SAND OIL SEPARATOR (REF. PLUMBING PLANS)
- REF. PLUMBING PLANS FOR CONTINUATION
- SAMPLE PORT (REF. ARCH. PLANS)
- RECLAIMED SYSTEM (REF. PLUMBING PLANS)
- UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH. PLANS) (REF. ELECTRICAL SCHEMATIC PLANS FOR ELECTRIC SERVICE CONSTRUCTION INFORMATION.)
- UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH. PLANS) (REF. TELEPHONE SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION.)
- POINT OF CONNECTION TO BE VERIFIED BETWEEN CIVIL AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF SANITARY SEWER SYSTEM.
- UNDERGROUND GAS SERVICE ENTRY (PER ARCH. PLANS) (REF. SCHEMATIC PLANS FOR GAS SERVICE CONSTRUCTION INFORMATION.)
- CITY OF CORTEZ APPROVED BACKFLOW PREVENTER

UTILITY DETAILS (REF. DETAIL SHEETS)

- 40C SANITARY SEWER CLEAN-OUT (REF. SHEET C9.1, CONSTRUCTION DETAILS).
- 76A WATER METER AND PIT PER MONTEZUMA WATER COMPANY DETAIL (REF. SHEET C9.3, CONSTRUCTION DETAILS)



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REVISION	REV-2

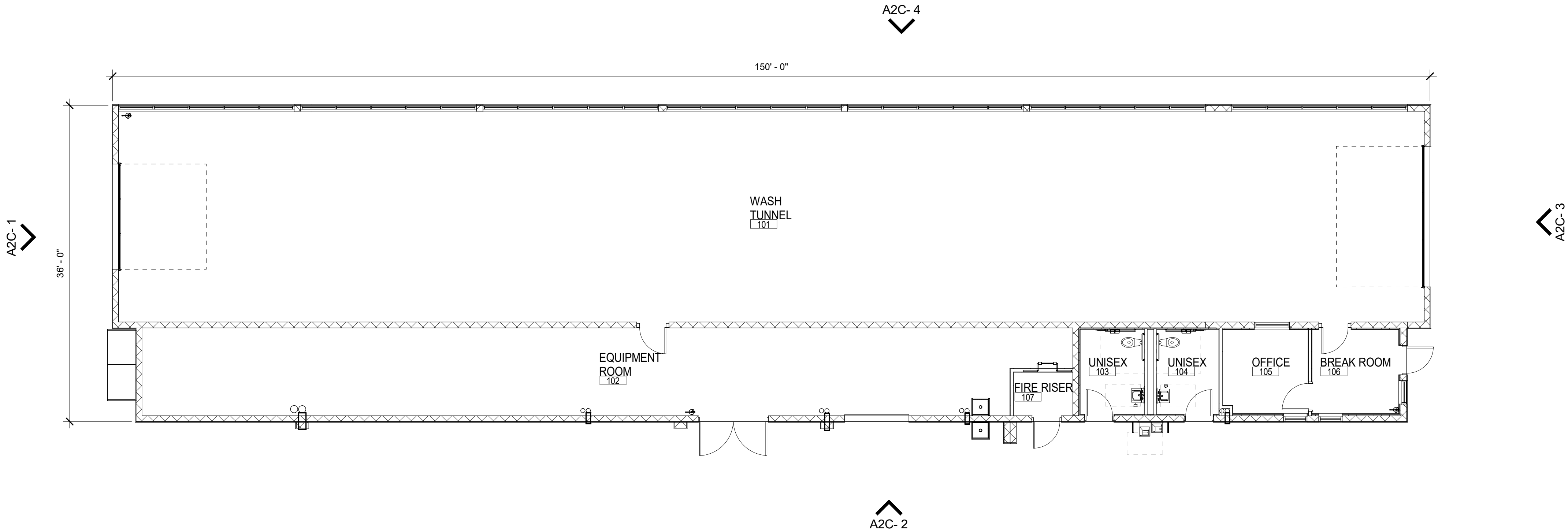
UTILITY PLAN

SHEET TITLE
SHEET NUMBER

C8



1 FLOOR PLAN
1/8" = 1'-0"



QUICK N CLEAN CAR WASH

1511 EAST MAIN STREET

CORTEZ, CO 81321



2696 S COLORADO BLVD, SUITE 525

DENVER, CO 80222

(303) 962-9764

www.cshqa.com

SCHEMATIC
DESIGN

PROJECT 22075.000	DATE 04-29-2022
DRAWN WRS	CHECKED MES

REVISED

SHEET TITLE

FLOOR PLAN

SHEET

A1C

ORIGINAL SHEET SIZE
24" x 36"

JESSE GOLDMAN, ARCHITECT

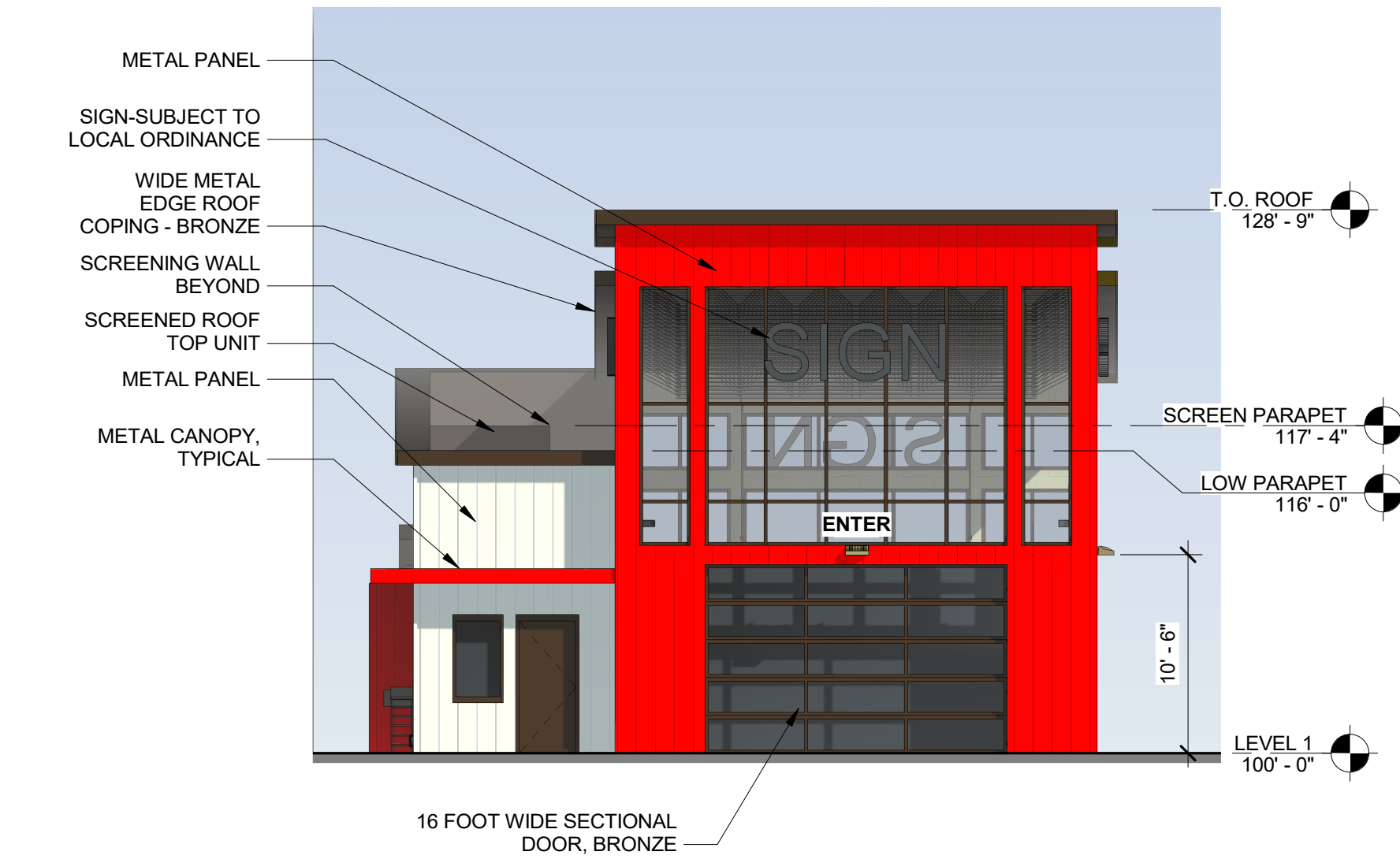
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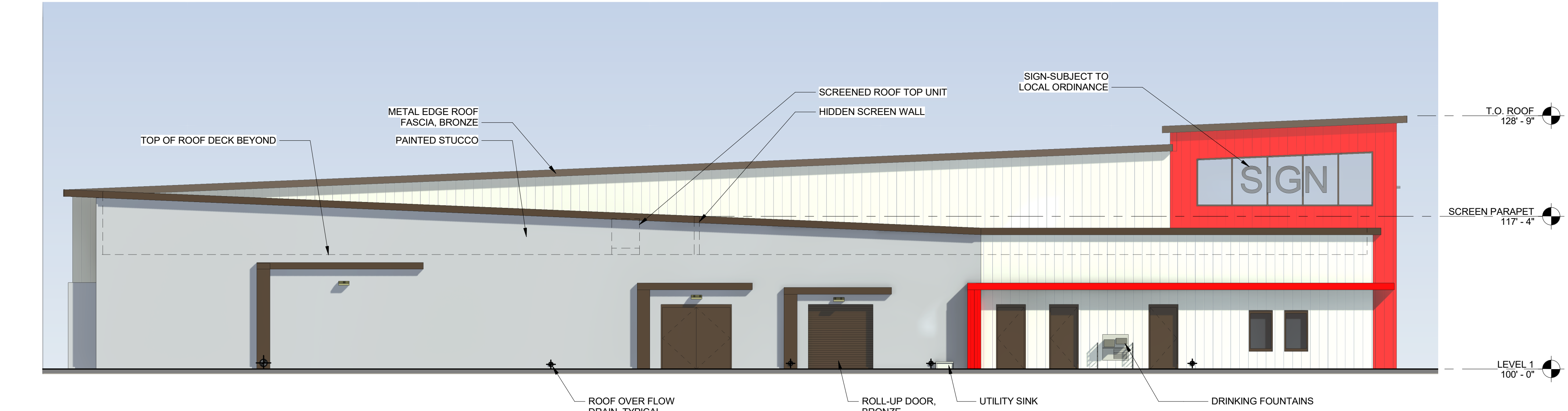
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NOT FOR
CONSTRUCTION



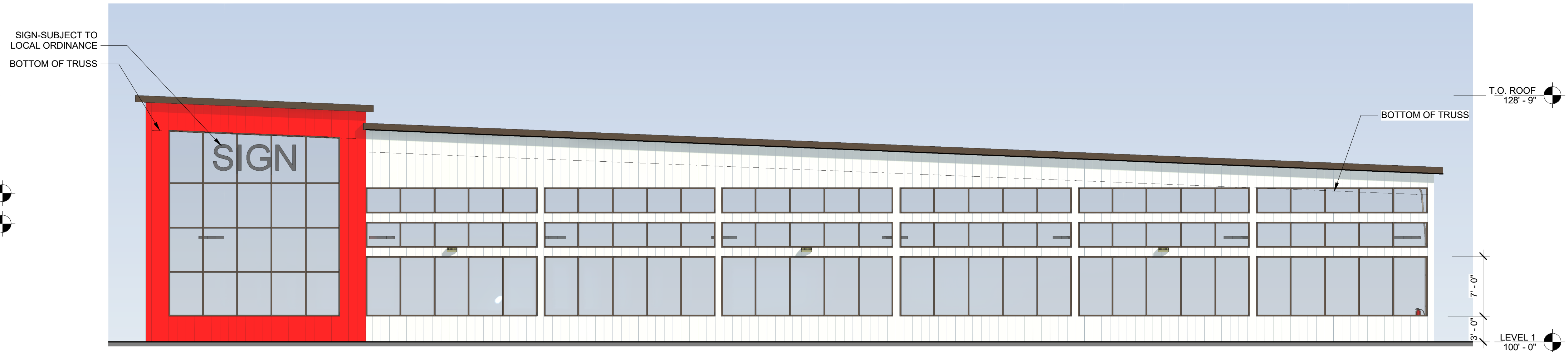
1 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIALS AND FINISHES

	STUCCO FIELD COLOR	BENJAMIN MOORE - SMOKE EMBERS 1466
	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE

PRELIMINARY
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JESSE GOLDMAN, ARCHITECT

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PROJECT 22075.000	DATE 04-29-2022
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REVISED

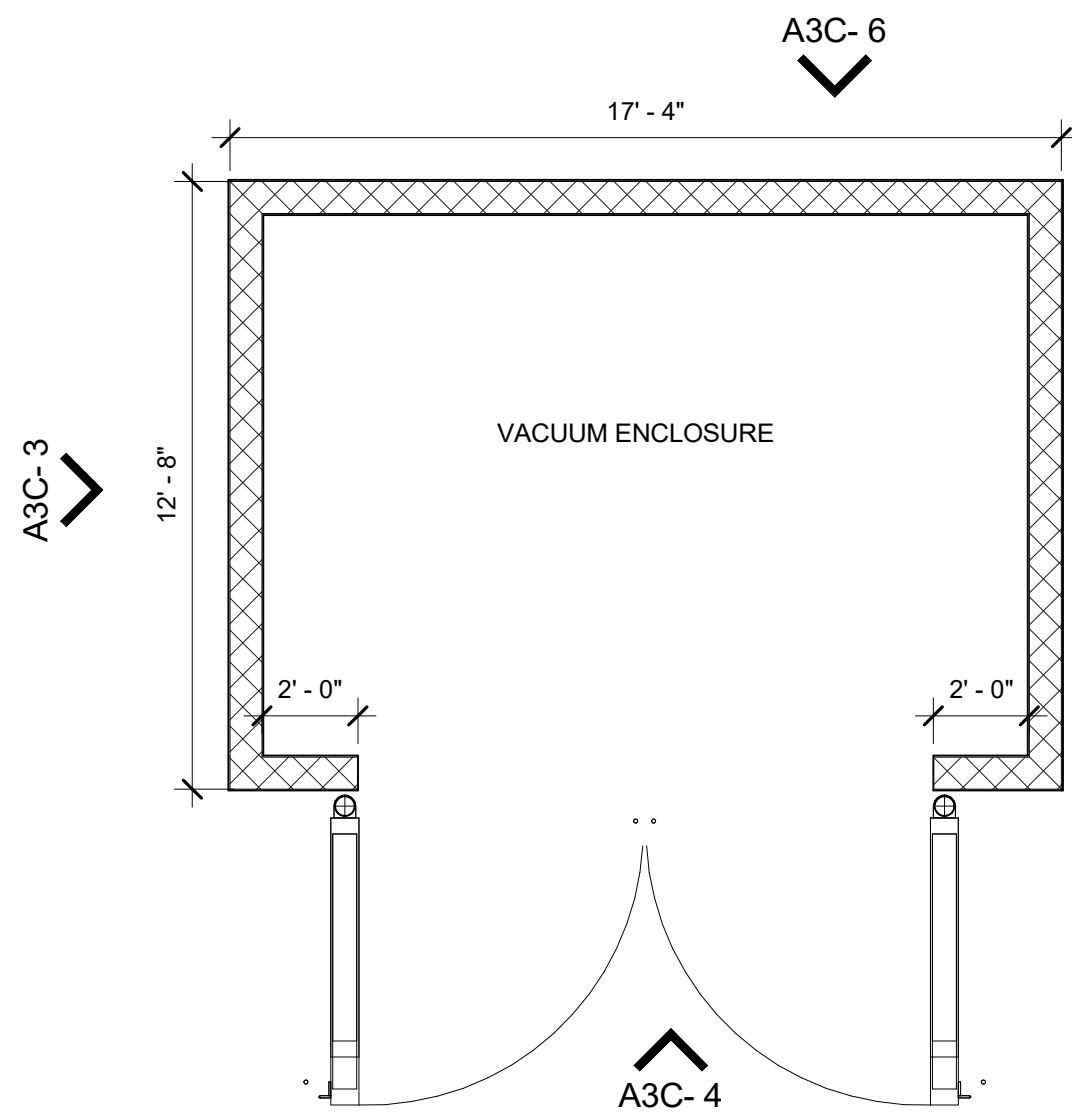
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BUILDING
ELEVATIONS

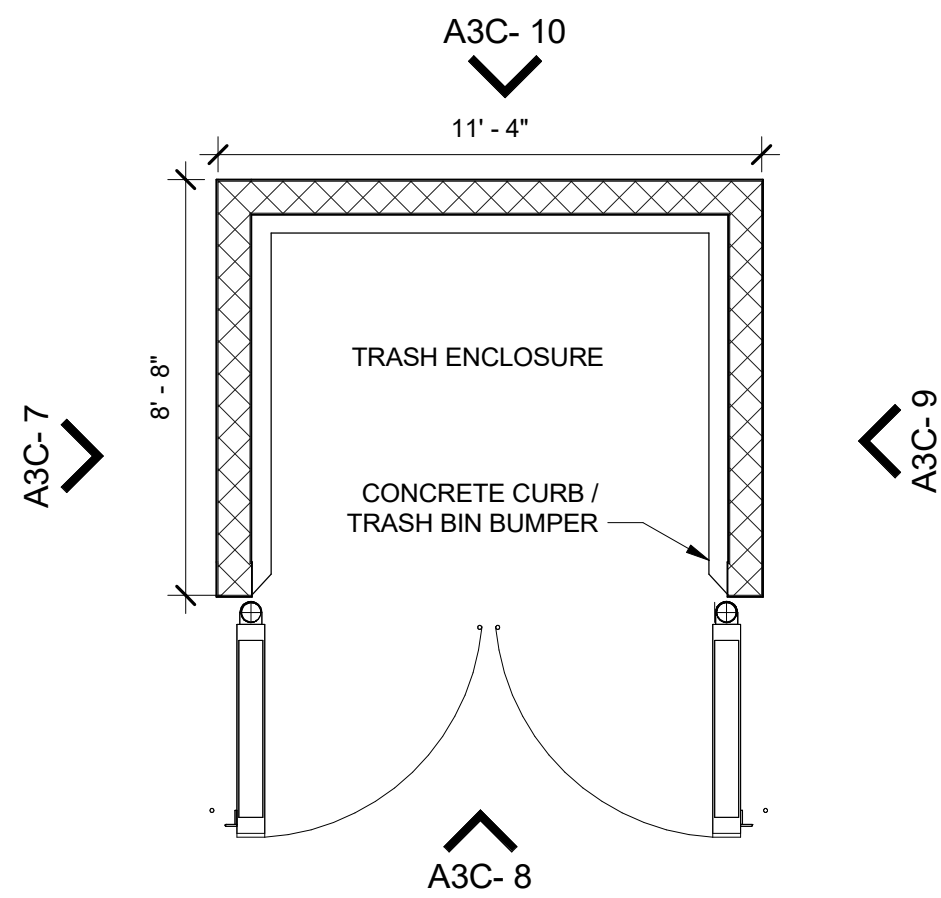
SHEET

A2C

ORIGINAL SHEET SIZE
24" x 36"



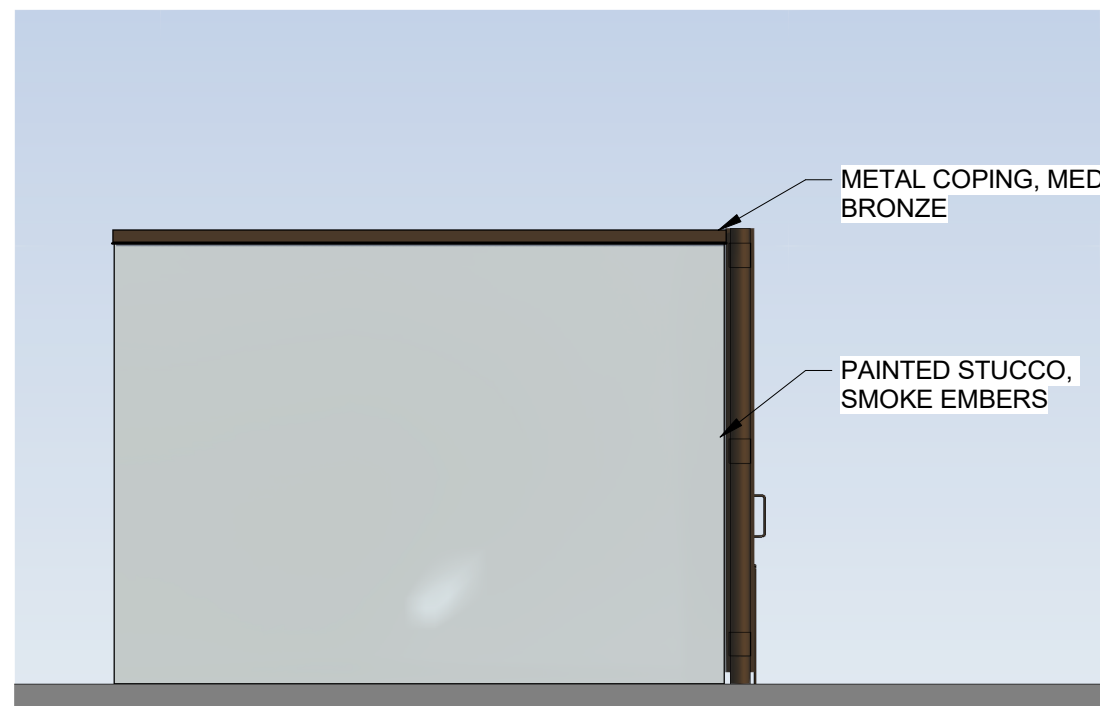
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1/4" = 1'-0"



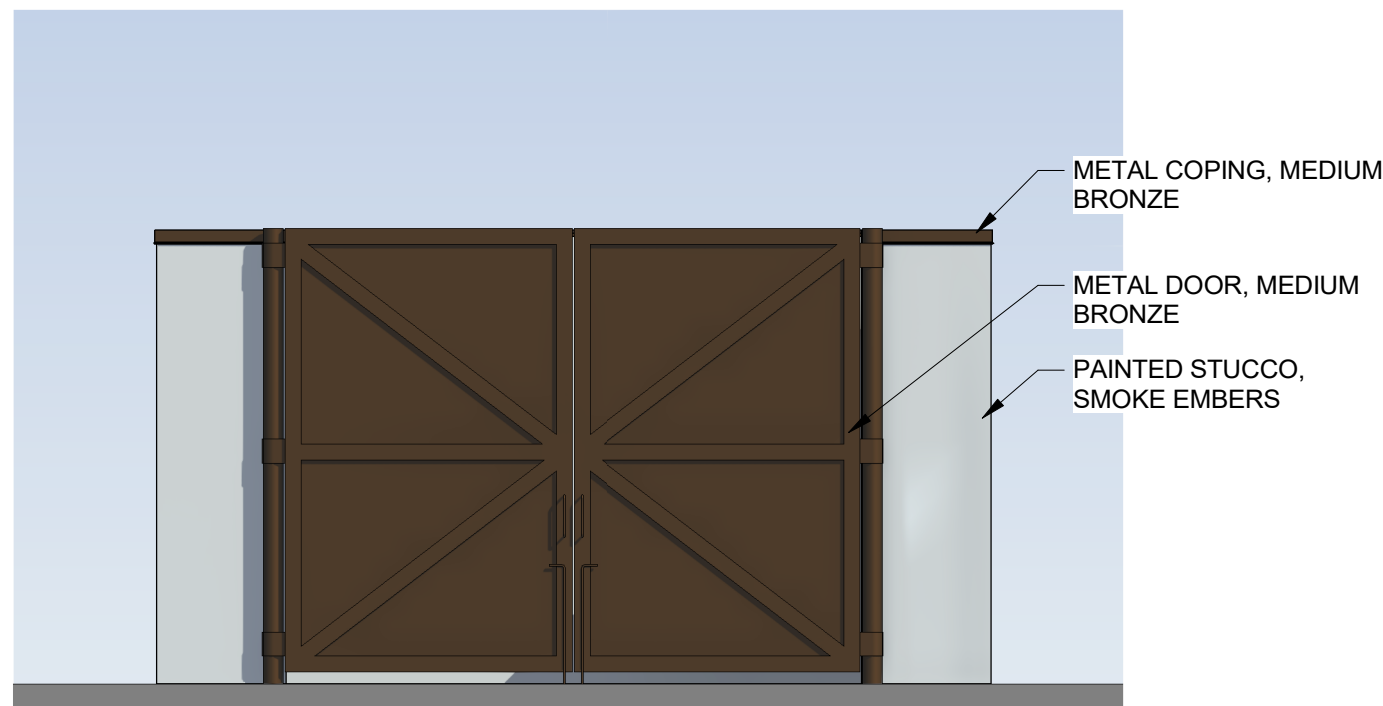
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1/4" = 1'-0"

MATERIALS AND FINISHES

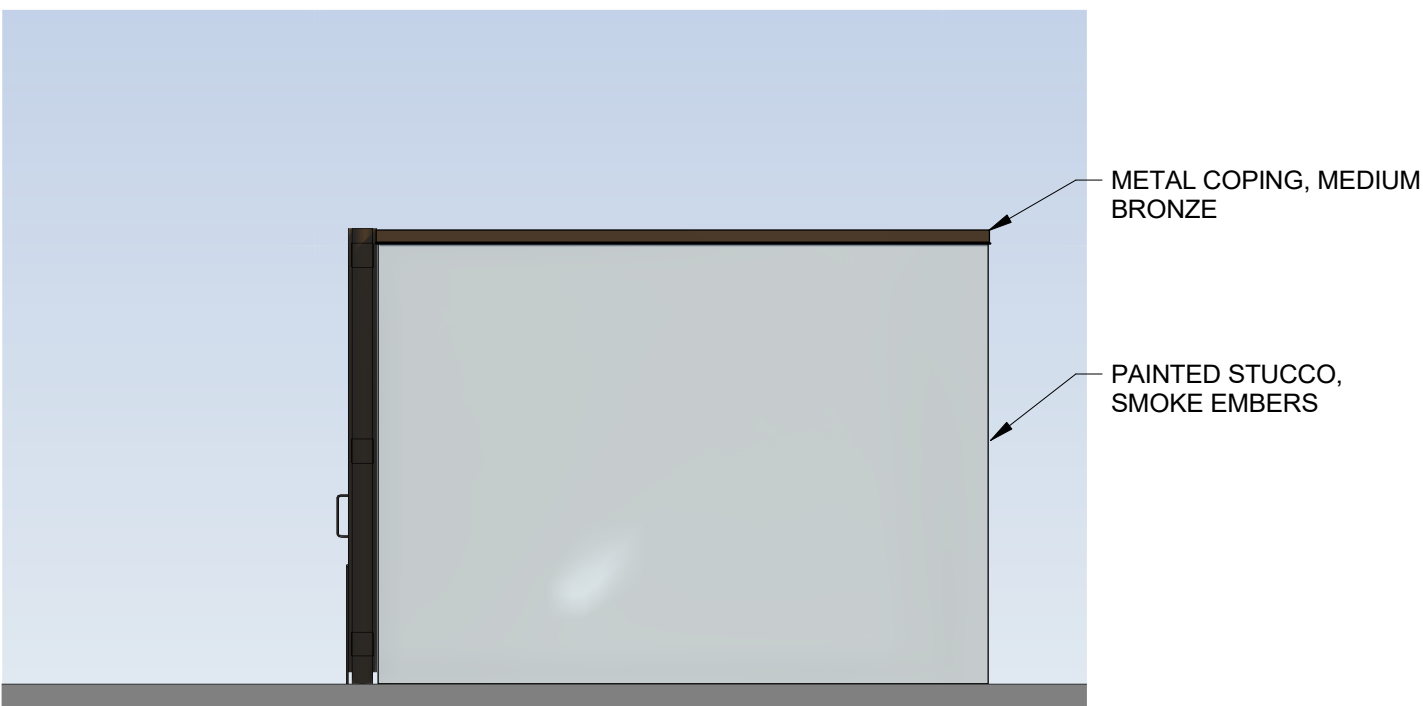
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	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE



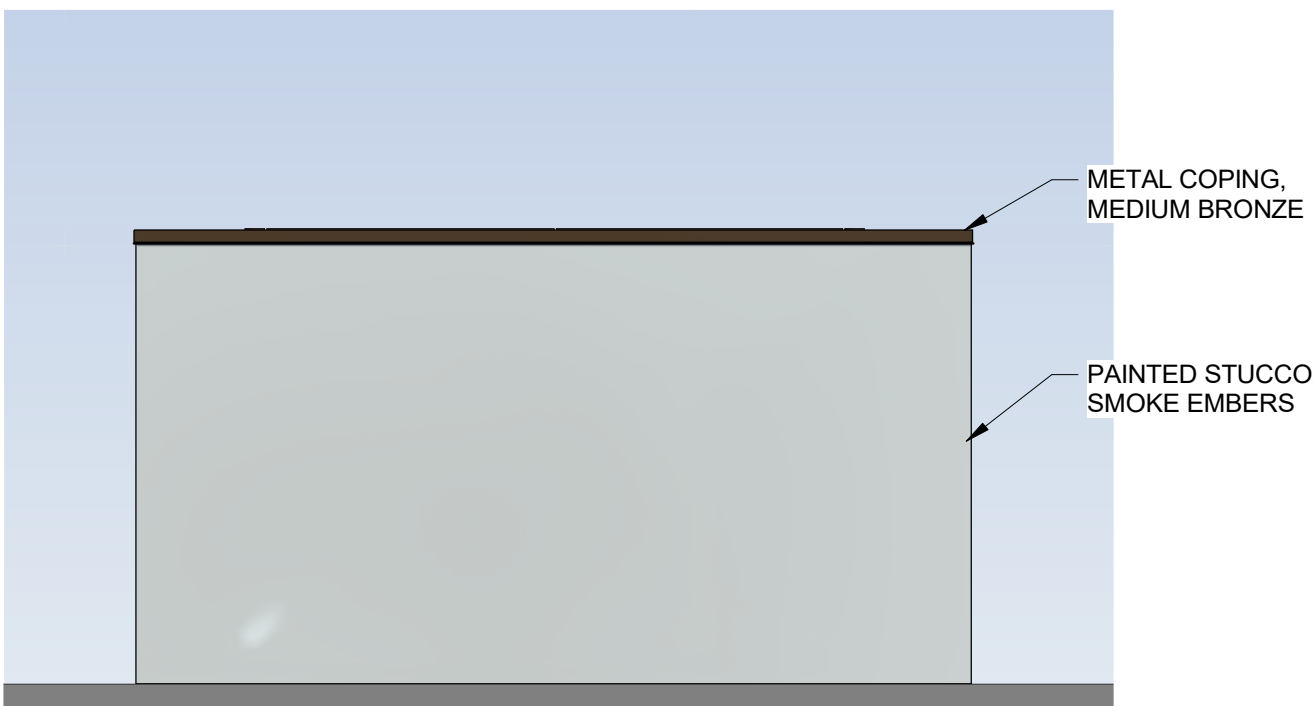
3 VACUUM ENCLOSURE LEFT ELEVATION
1/4" = 1'-0"



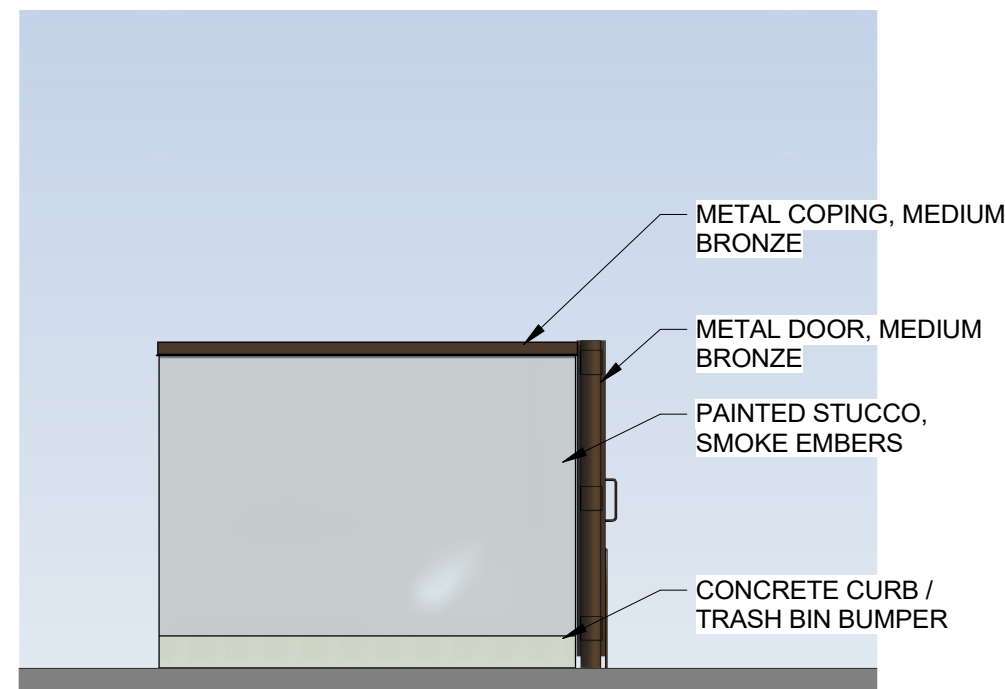
4 VACUUM ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



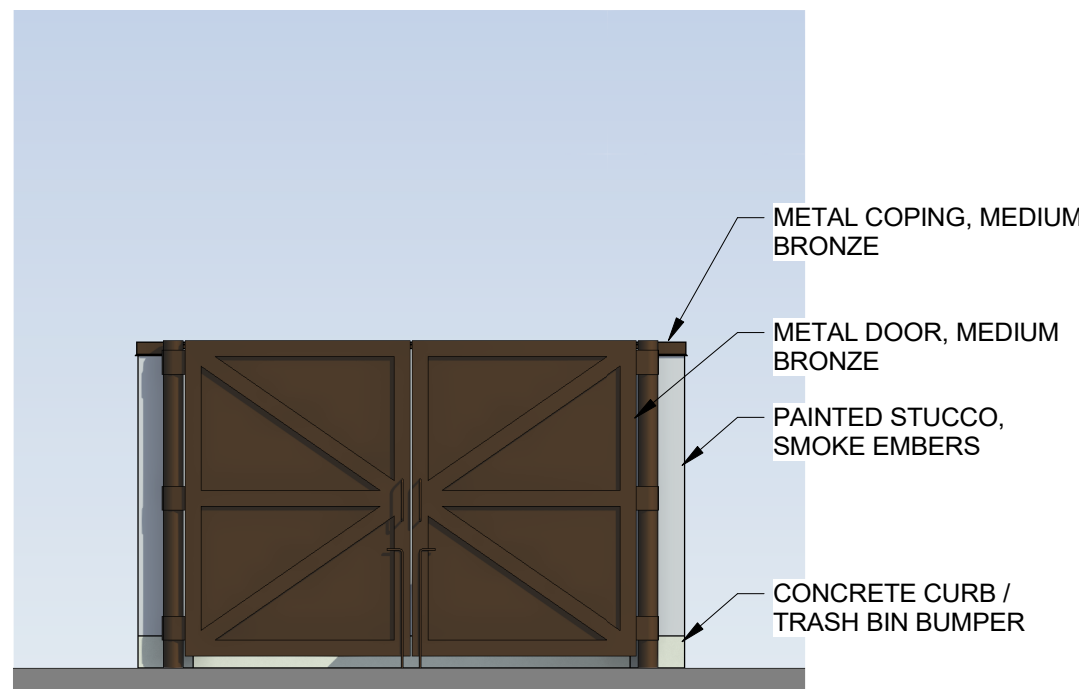
5 VACUUM ENCLOSURE RIGHT ELEVATION
1/4" = 1'-0"



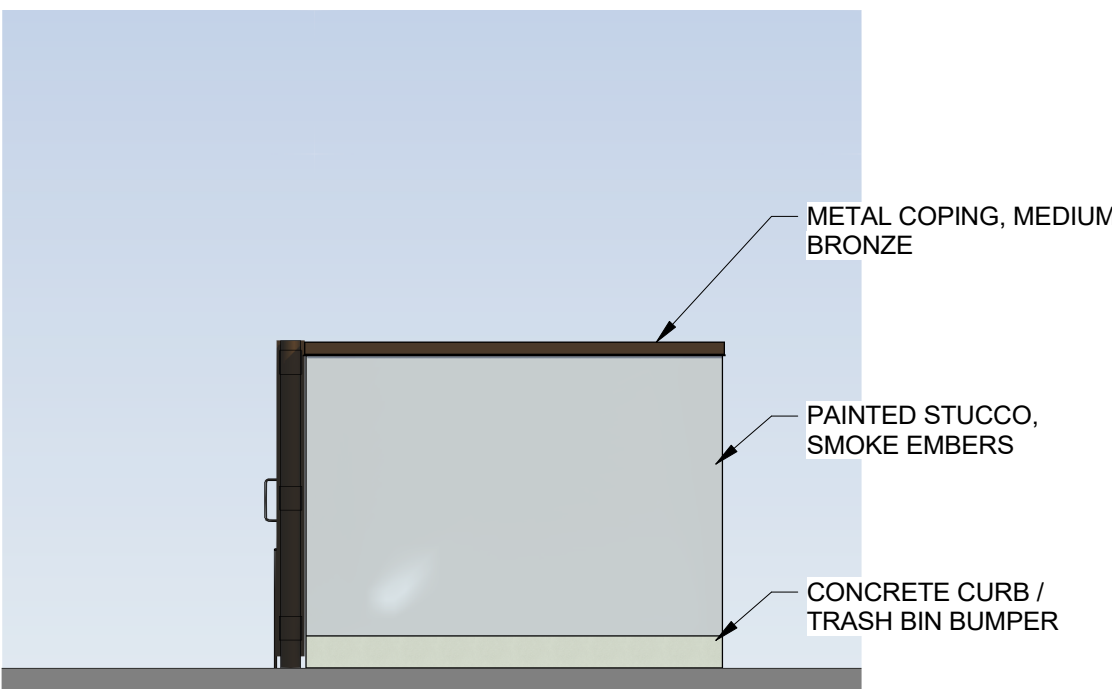
6 VACUUM ENCLOSURE REAR ELEVATION
1/4" = 1'-0"



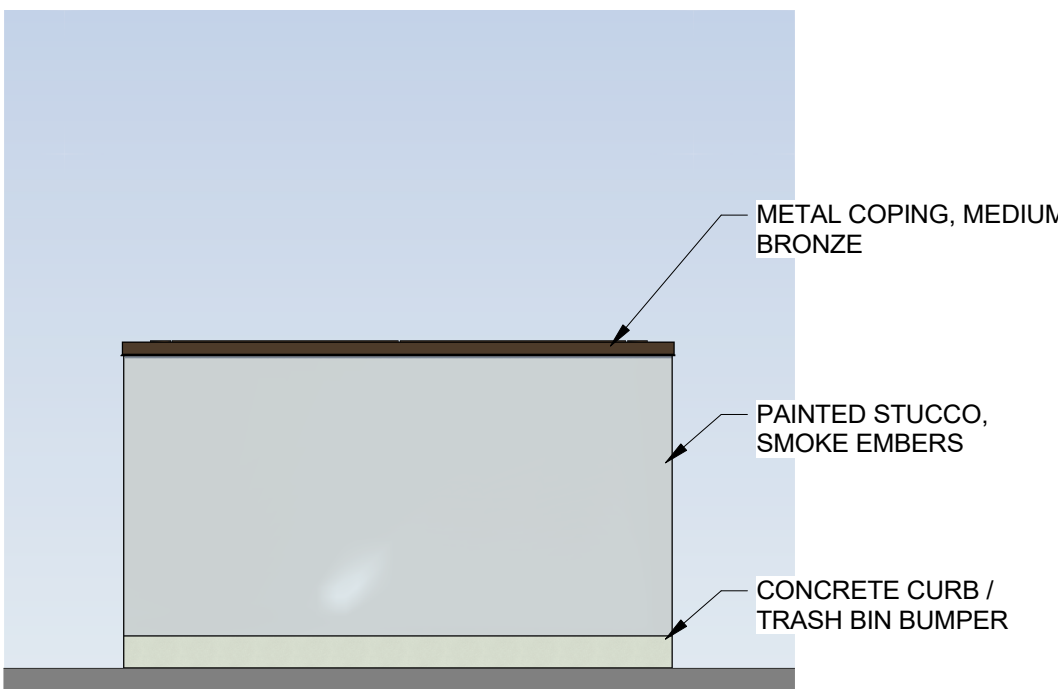
7 TRASH LEFT ELEVATION
1/4" = 1'-0"



8 TRASH FRONT ELEVATION
1/4" = 1'-0"



9 TRASH RIGHT ELEVATION
1/4" = 1'-0"



10 TRASH REAR ELEVATION
1/4" = 1'-0"

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NOT FOR
CONSTRUCTION

JESSE GOLDMAN, ARCHITECT

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(303) 962-9164

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SCHEMATIC
DESIGN

PROJECT 22075.000	DATE 04-29-2022
DRAWN RJ	CHECKED Checker

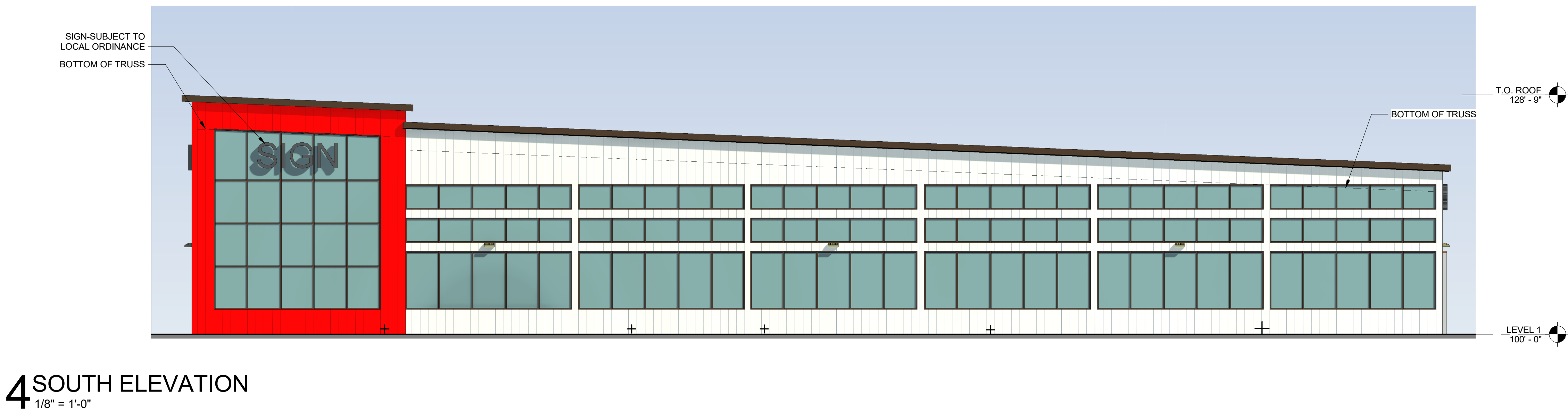
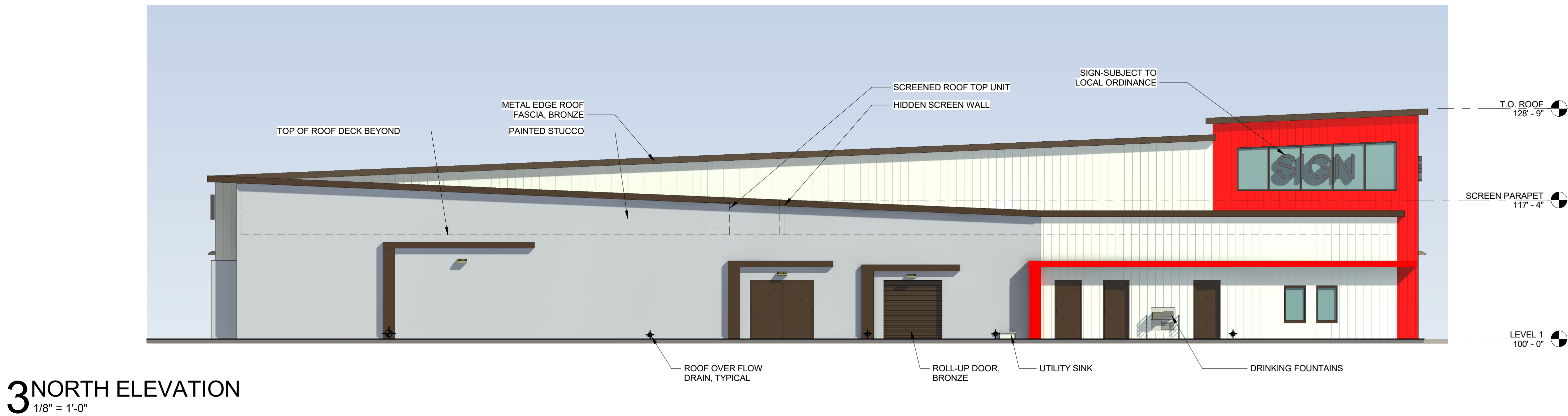
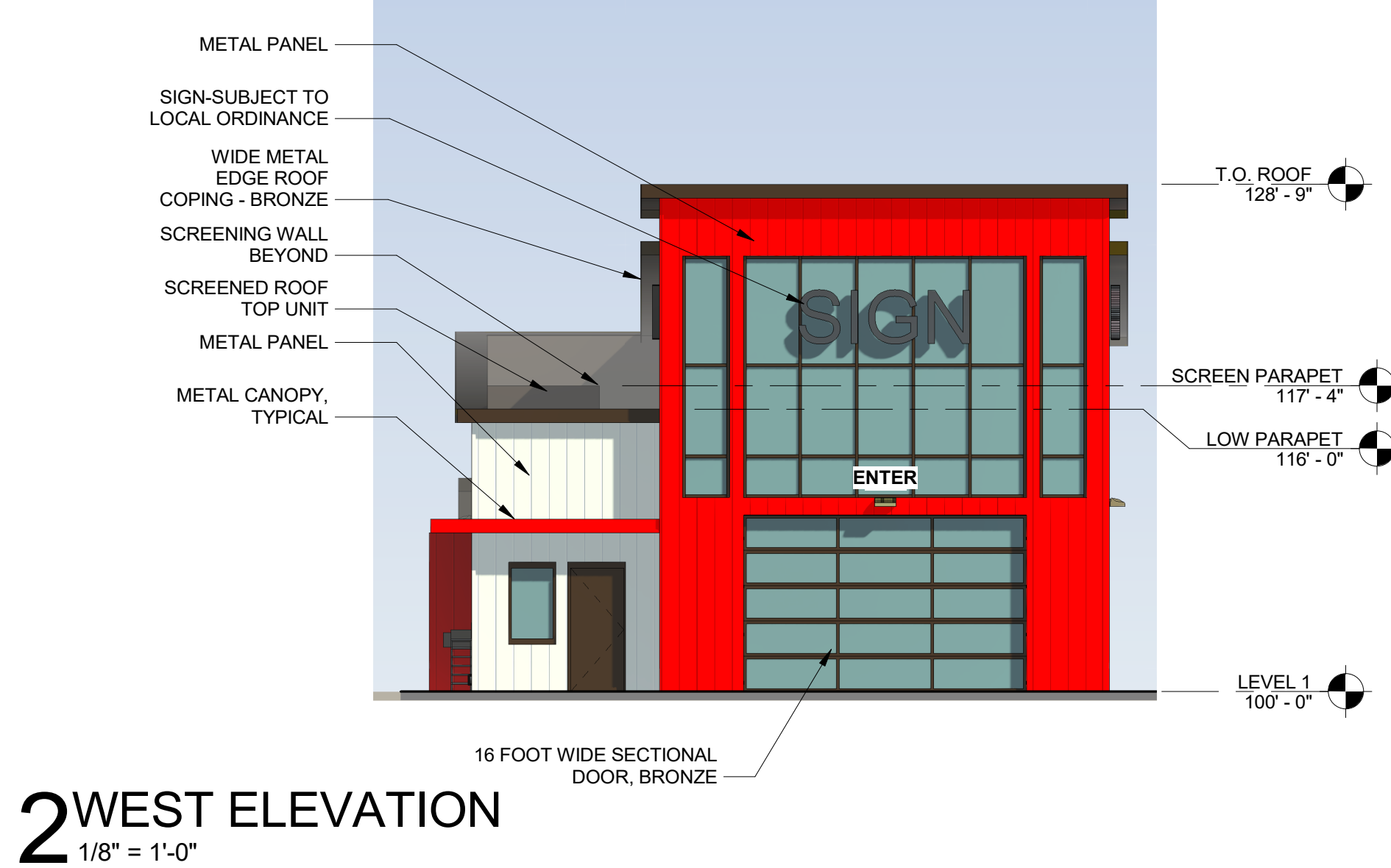
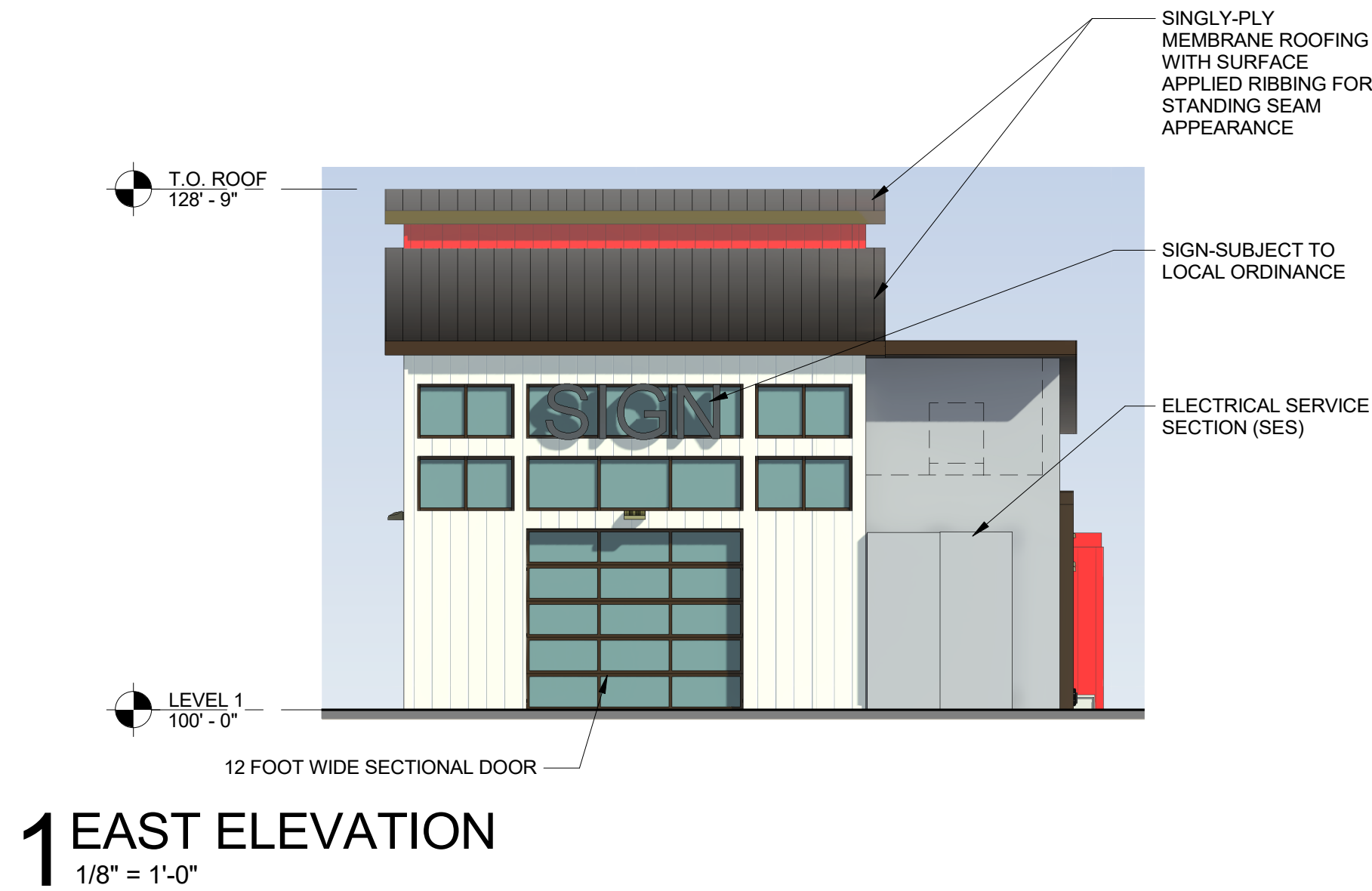
REVISED

SHEET TITLE

ENCLOSURES

SHEET

A3C
ORIGINAL SHEET SIZE
24" x 36"



MATERIALS AND FINISHES

	STUCCO FIELD COLOR	BENJAMIN MOORE - SMOKE EMBERS 1466
	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE

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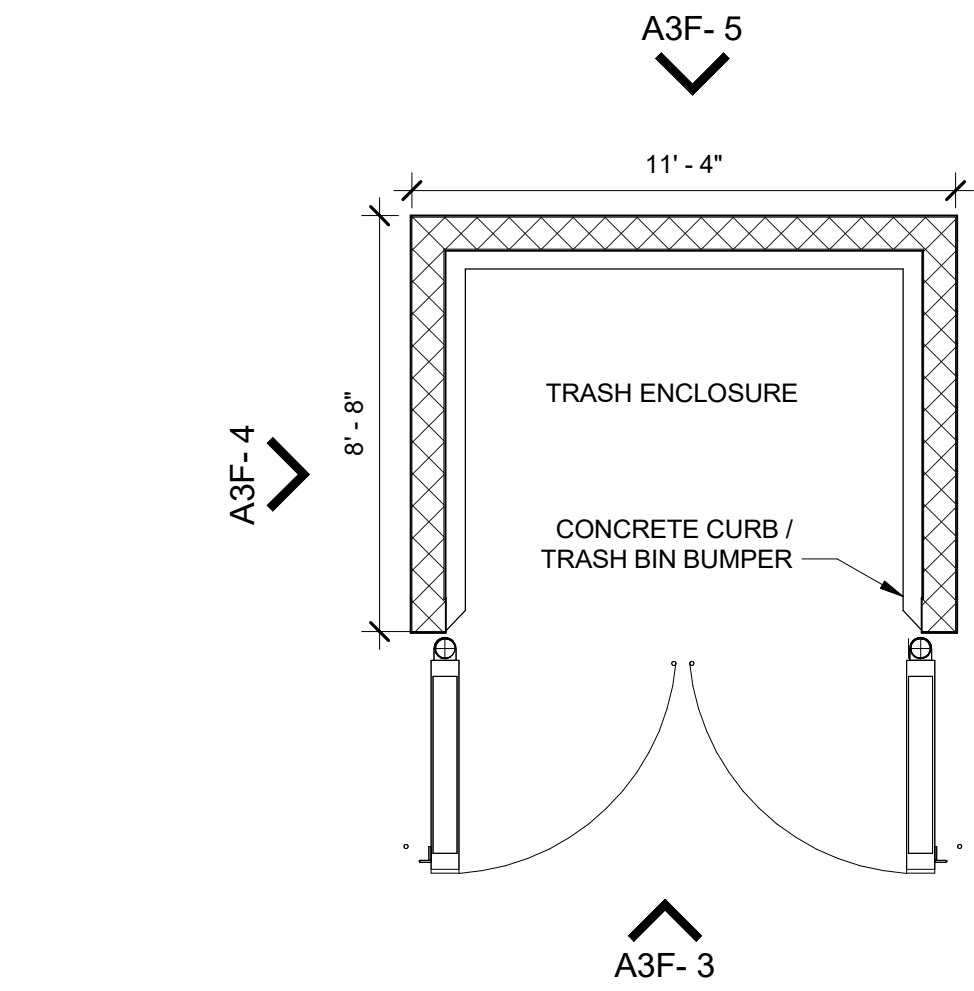
SCHEMATIC
DESIGN

PROJECT 22075.000	DATE 11-02-2022
DRAWN PP	CHECKED WS

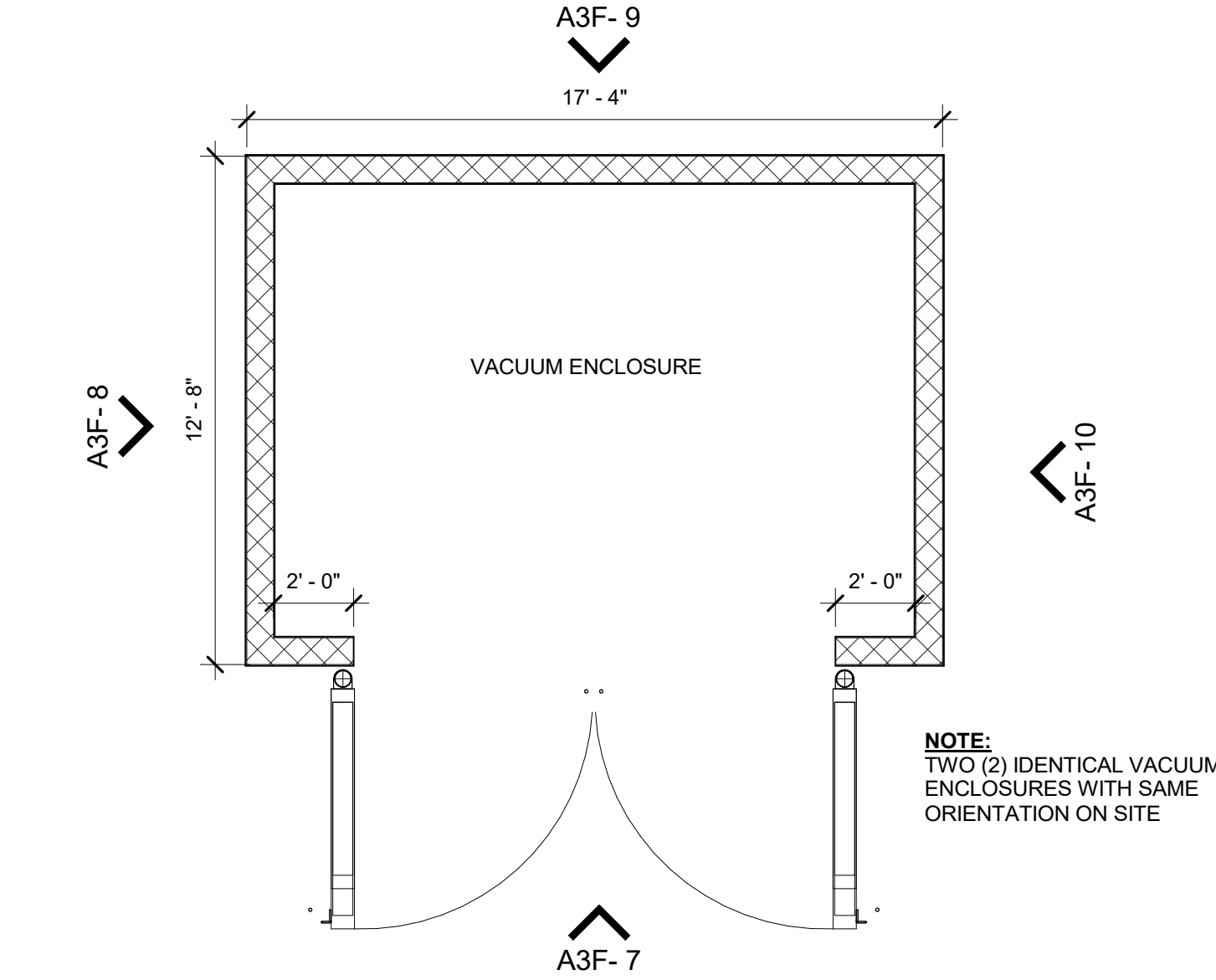
REVISED

SHEET TITLE
**BUILDING
ELEVATIONS**

SHEET
A2F
ORIGINAL SHEET SIZE
24" x 36"



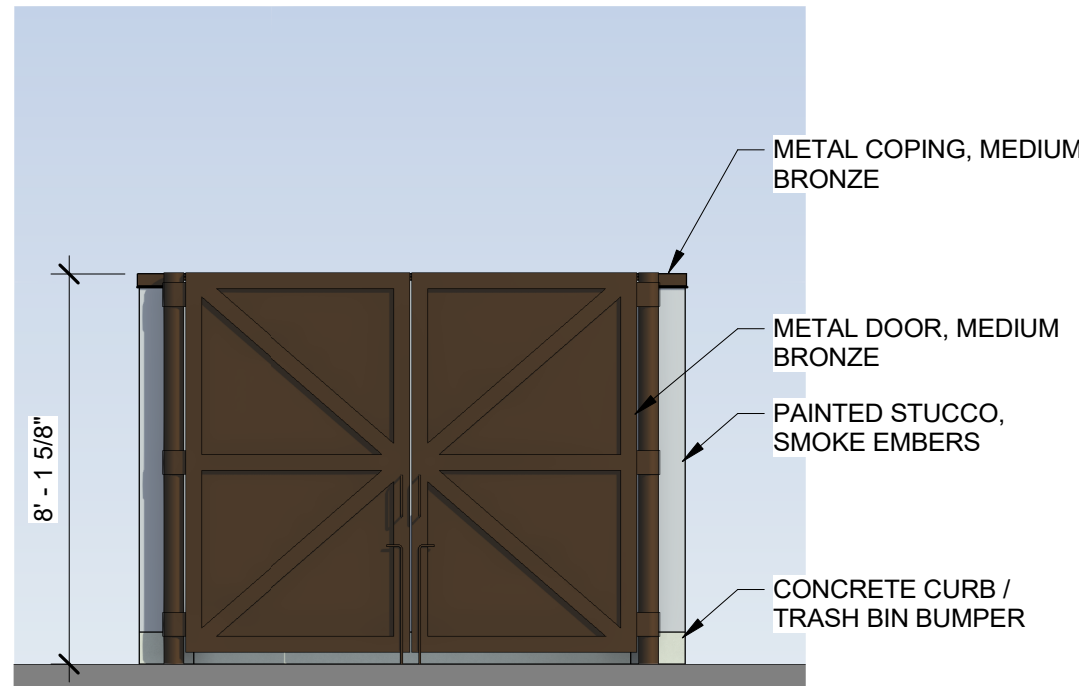
1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



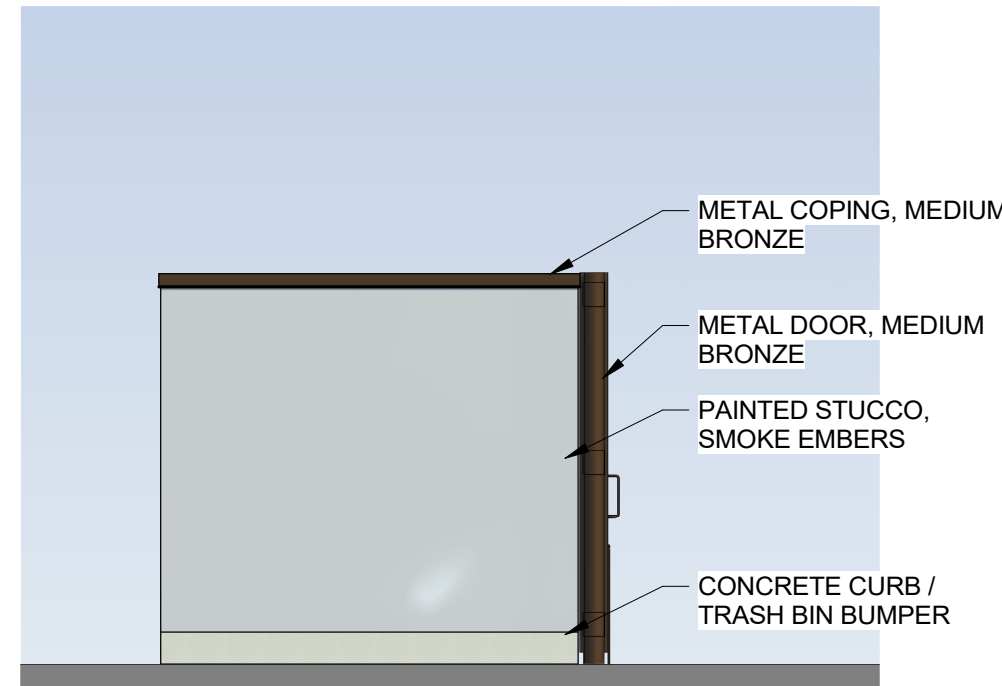
2 VACUUM ENCLOSURE PLAN
1/4" = 1'-0"

MATERIALS AND FINISHES

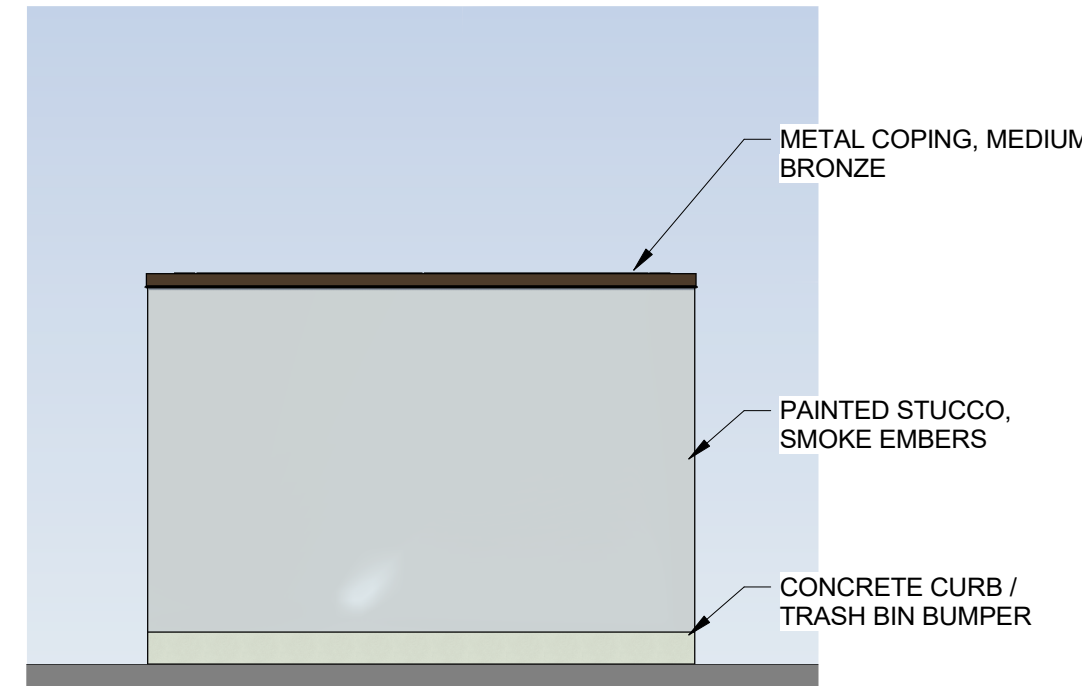
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	EXTERIOR DOORS AND TRIM	MEDIUM BRONZE
	VERTICAL METAL PANEL AND TRIM	BENJAMIN MOORE - RUBY RED 2001-10
	VERTICAL METAL PANEL FIELD COLOR	WHITE



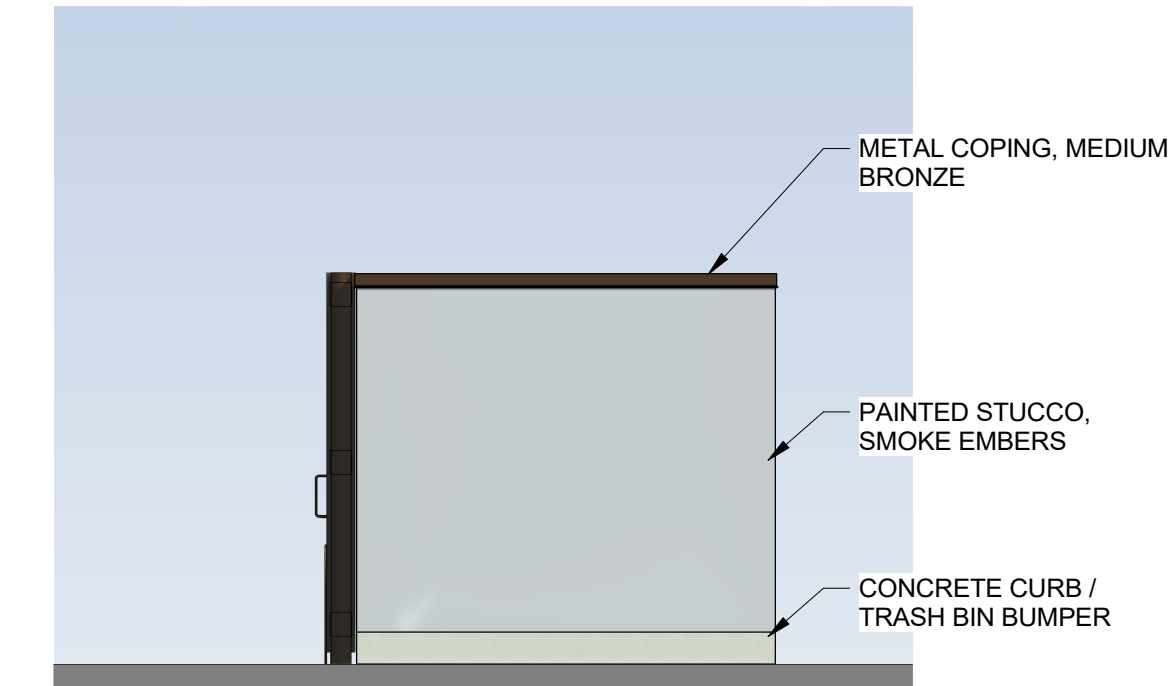
3 TRASH FRONT ELEVATION
1/4" = 1'-0"



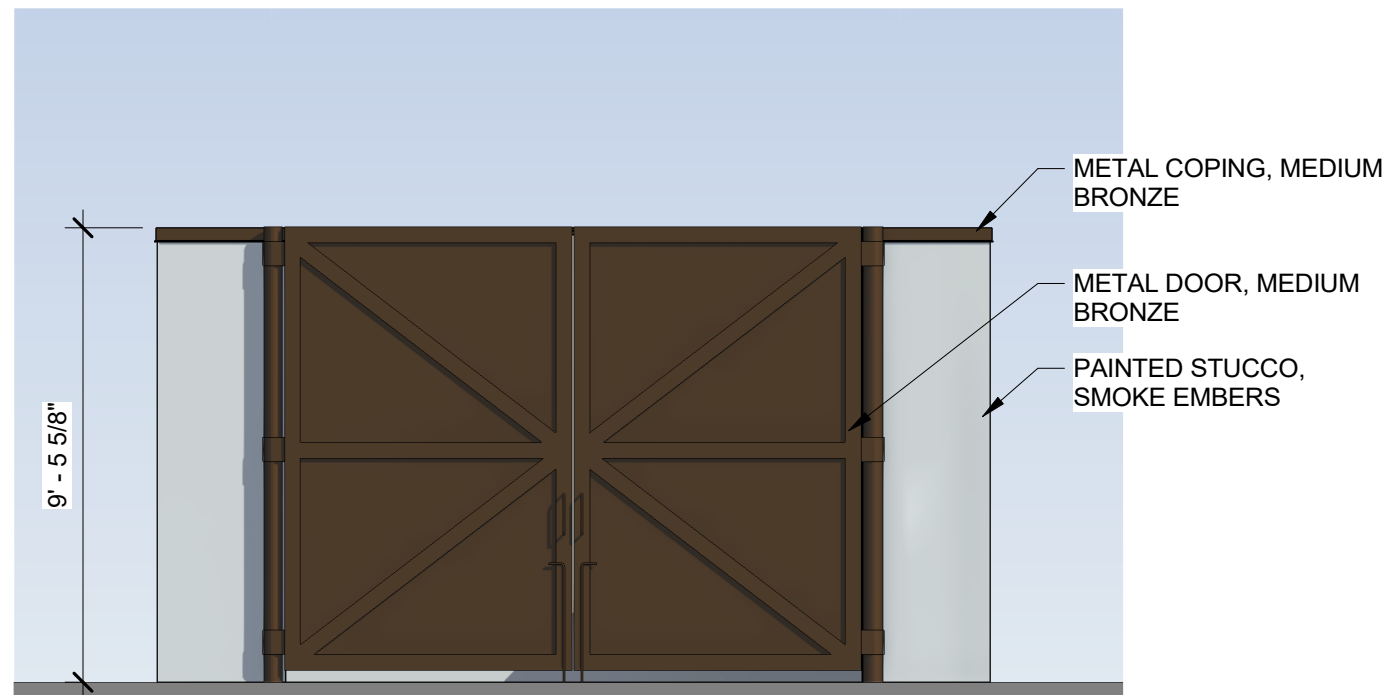
4 TRASH LEFT ELEVATION
1/4" = 1'-0"



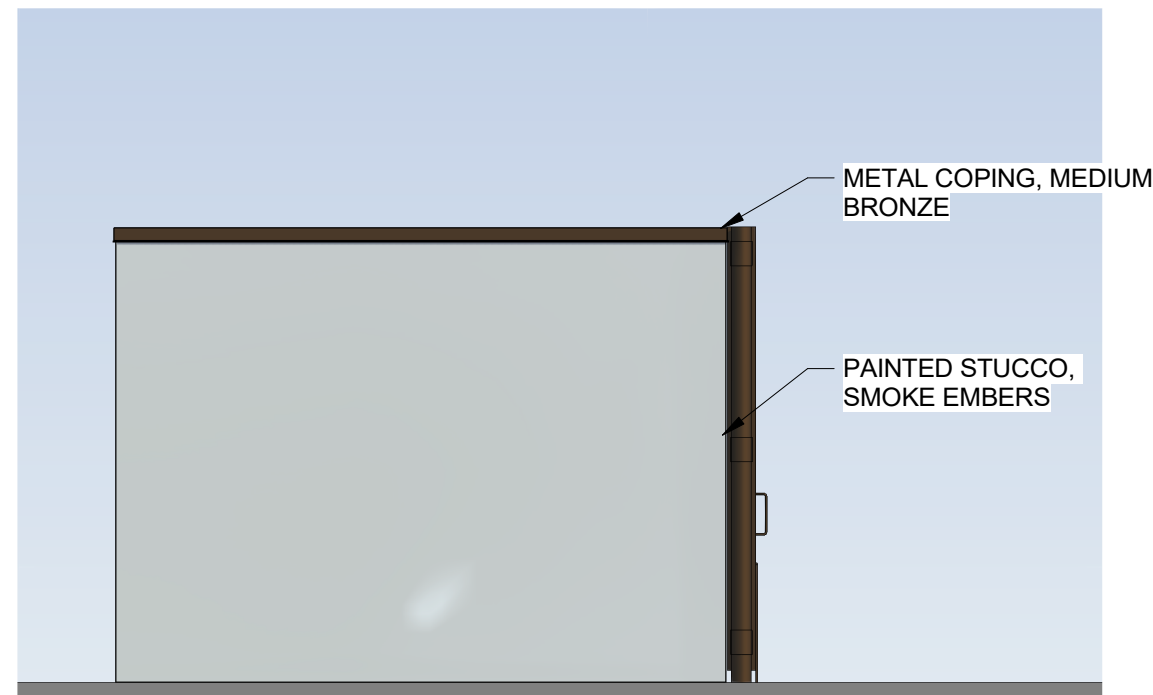
5 TRASH REAR ELEVATION
1/4" = 1'-0"



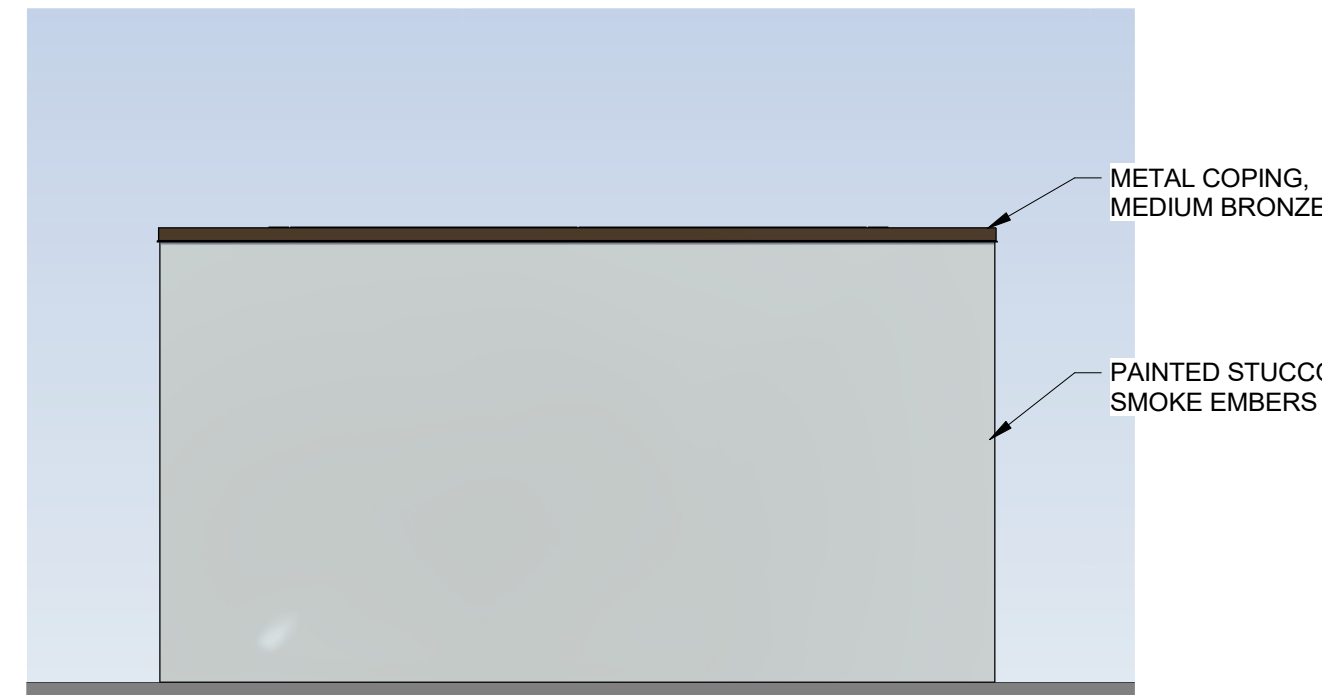
6 TRASH RIGHT ELEVATION
1/4" = 1'-0"



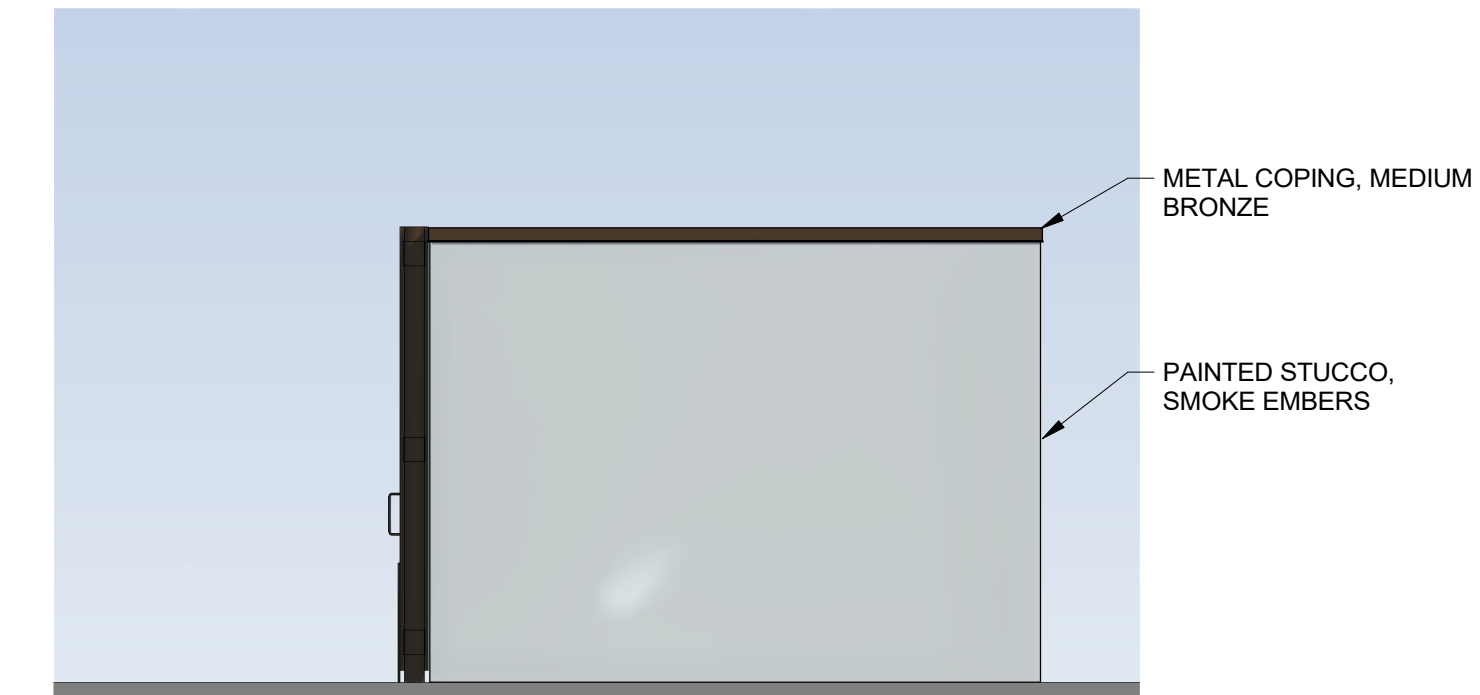
7 VACUUM ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



8 VACUUM ENCLOSURE LEFT ELEVATION
1/4" = 1'-0"



9 VACUUM ENCLOSURE REAR ELEVATION
1/4" = 1'-0"



10 VACUUM ENCLOSURE RIGHT ELEVATION
1/4" = 1'-0"

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QUICK N CLEAN CAR WASH

CSHQA

CORTEZ, CO 81321

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DENVER, CO 80222

(303) 962-9764
www.cshqa.com

SCHEMATIC DESIGN

PROJECT 22075.000	DATE 11-02-2022
DRAWN PP	CHECKED WS

REVISED

SHEET TITLE

ENCLOSURES

SHEET

A3F

ORIGINAL SHEET SIZE
24" x 36"

GENERAL NOTES:

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATE SHOWN HEREON.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY RUBINO SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT OF WAY OR TITLE OF RECORD. RUBINO SURVEYING RELIED UPON FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 5941-F-CO-CP-CR, EFFECTIVE SEPTEMBER 21, 2021. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.
3. THE BEARINGS ARE BASED ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 25 ASSUMED TO BEAR N89°29'08"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.
4. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE THE U.S. SURVEY FOOT.
5. PER FEMA'S FLOOD INSURANCE RATE MAP 08083C0802C DATED SEPTEMBER 26, 2008, A PORTION OF THE EASTERLY SIDE OF THE SUBJECT PROPERTY IS LOCATED IN A FLOOD HAZARD AREA - ZONE AE WITH FLOOD ELEVATIONS ESTABLISHED. THE REMAINDER OF THE SUBJECT PROPERTY IS IN ZONE X (UNSHADED).
6. NGS BENCHMARK DESIGNATION 0 397 / PID HM0425 A STAINLESS STEEL ROD IN A LOGO BOX ON THE NORTH SIDE OF MAIN STREET 141 FEET EAST OF MILDRED ROAD, 2 FEET OF THE EAST EDGE OF THE CONCRETE PAD FOR A BELL. NAVD88 ELEVATION 6179.68.

AMENDED PLAT OF BLOCK 2, VEACH SUBDIVISION
A PORTION OF THE SW 1/4 OF SECTION 25, TOWNSHIP 36 NORTH,
RANGE 16 WEST OF THE N.M. P.M. COUNTY OF
MONTEZUMA, STATE OF COLORADO

SHEET 1 OF 2

LEGEND
(A) FND PIN/CAP PLS 19812
(B) FND PIN/CAP PLS 15816
(C) FND NO 4 REBAR
(D) SET PIN/CAP PLS 14142

PLAT NOTES:

1. ALL INTERNAL LOT LINES OF LOTS 1 THROUGH 28, INCLUSIVE, BLOCK 2, VEACH SUBDIVISION ARE HEREBY VACATED BY THIS PLAT.
2. THE 16' PUBLIC ALLEY IN BLOCK 2, VEACH SUBDIVISION HAS BEEN VACATED BY ORDINANCE NO. _____

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT QUICK N CLEAN CO-03, LLC, BEING THE OWNER OF A PORTION OF PROPERTY IN THE CITY OF CORTEZ, MONTEZUMA COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 1 THROUGH 28, INCLUSIVE, BLOCK 2, VEACH SUBDIVISION, THE PLAT OF WHICH IS RECORDED IN BOOK 8 AT PAGE 6,

EXCEPTING THAT PORTION OF SAID BLOCK 2 TO THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO DESCRIBED IN BOOK 576 AT PAGE 471, COUNTY OF MONTEZUMA, STATE OF COLORADO.

CONTAINING 95,191 SQ. FT./2.185 ACRES MORE OR LESS. SUBJECT TO ALL EASEMENTS OF RECORD, PRESCRIPTIVE OR DEDICATED HEREIN.

HAVE BY THESE PRESENTS LAID OUT, RE-SUBDIVIDED AND PLATTED THE SAME INTO A LOT AND BLOCK AS SHOWN ON THIS PLAT, UNDER THE NAME AND STYLE OF AMENDED PLAT OF BLOCK 2, VEACH SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC UTILITIES THOSE PORTIONS LABELED AS DRAINAGE OR UTILITY EASEMENTS ON THIS PLAT, FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC LINES, TELEPHONE LINES, WATER LINES, SEWER LINES, GAS LINES, COMMUNICATION CABLES, AND DRAINAGE STRUCTURES AND OTHER UTILITIES AS MAY BE NECESSARY. ALSO, A PERPETUAL EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES IS RESERVED AND DEDICATED TO THE PUBLIC UTILITIES OVER AND THROUGH THE PRIVATE ROADS AND STREETS WITHIN THIS SUBDIVISION, AND ACCORDING TO THE EASEMENTS AS SHOWN ON THIS PLAT; THE RIGHT OF INGRESS AND EGRESS FOR THE MAINTENANCE, OPERATION, REPAIR, AND REPLACEMENT OF SUCH UTILITIES, INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. LANDOWNER SHALL MAINTAIN EASEMENT AREA CLEAR OF BUILDINGS AND STRUCTURES. SAID EASEMENTS AND RIGHTS SHALL BE UTILIZED IN A REASONABLE AND PRUDENT MANNER.

IN WITNESS WHEREOF:

THE AFOREMENTIONED QUICK N CLEAN CO-03, LLC, HAS EXECUTED THIS INSTRUMENT THIS _____ DAY OF _____, 20____

BY: _____ NAME: _____

TITLE: _____

ATTEST:

STATE OF _____)
COUNTY OF _____) SS.

THE ABOVE AND AFOREMENTIONED WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____ OF QUICK N CLEAN CO-03, LLC.

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL _____ NOTARY PUBLIC

CITY COUNCIL ACCEPTANCE STATEMENT:

THIS PLAT AND THE STATEMENT HEREON ARE ACCEPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORTEZ THIS _____ DAY OF _____ 20____

MATOR _____

CITY CLERK _____

EASEMENTS ACCEPTED AND APPROVED BY:

CITY OF CORTEZ, PUBLIC WORKS _____ BY: _____

CENTURY LINK COMMISSION _____ BY: _____

EMPIRE ELECTIC ASSOCIATION, INC. _____ BY: _____

CLERK AND RECORDER:

STATE OF COLORADO)
COUNTY OF MONTEZUMA) SS.

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____, AND WAS RECORDED AT RECEPTION NUMBER _____ OF THE RECORDS OF MONTEZUMA COUNTY

MONTEZUMA COUNTY CLERK AND RECORDER _____

prepared by:
RUBINO SURVEYING
3312 AIRPORT ROAD
BOULDER, COLORADO 80301
(303) 464-9515

From: Reider - CDOT, Randee <randee.reider@state.co.us>
Sent: Tuesday, January 31, 2023 8:22 AM
To: Nick Barber <nick@3k1.us>
Cc: Roussin - CDOT, Daniel <daniel.roussin@state.co.us>
Subject: Re: 1511 Main Street - Access Control Permit

Hi Nick,

Please see attached for comments related to the TIS.

Also, as stated in an earlier email, CDOT will also need to know who the owner of the road is, as I assume it is platted to the City of Cortez. If that is the case, the City of Cortez needs to provide documentation to delegate to the land owner to apply for the Access Permit. An email from the City of Cortez will suffice for delegation purposes.

Please let me know if you have any questions.

Thank you,
Randee Reider
Region 5 Permits Program Manager

P 970.385.3626 | F 970.385.8361
3803 N. Main Ave., Suite 100, Durango, CO 81301
randee.reider@state.co.us | codot.gov | cotrip.org

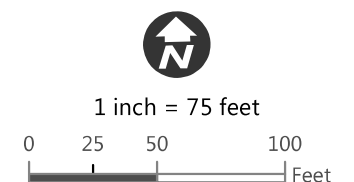
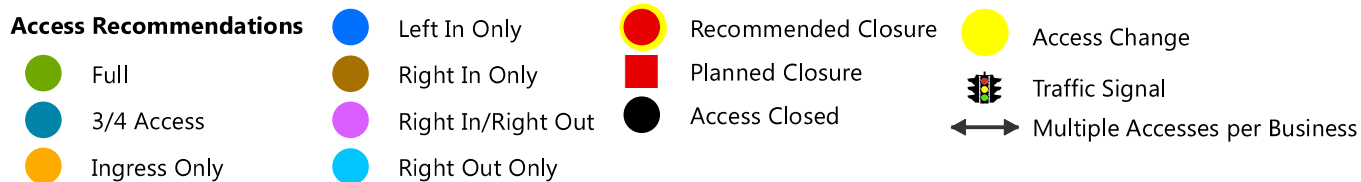
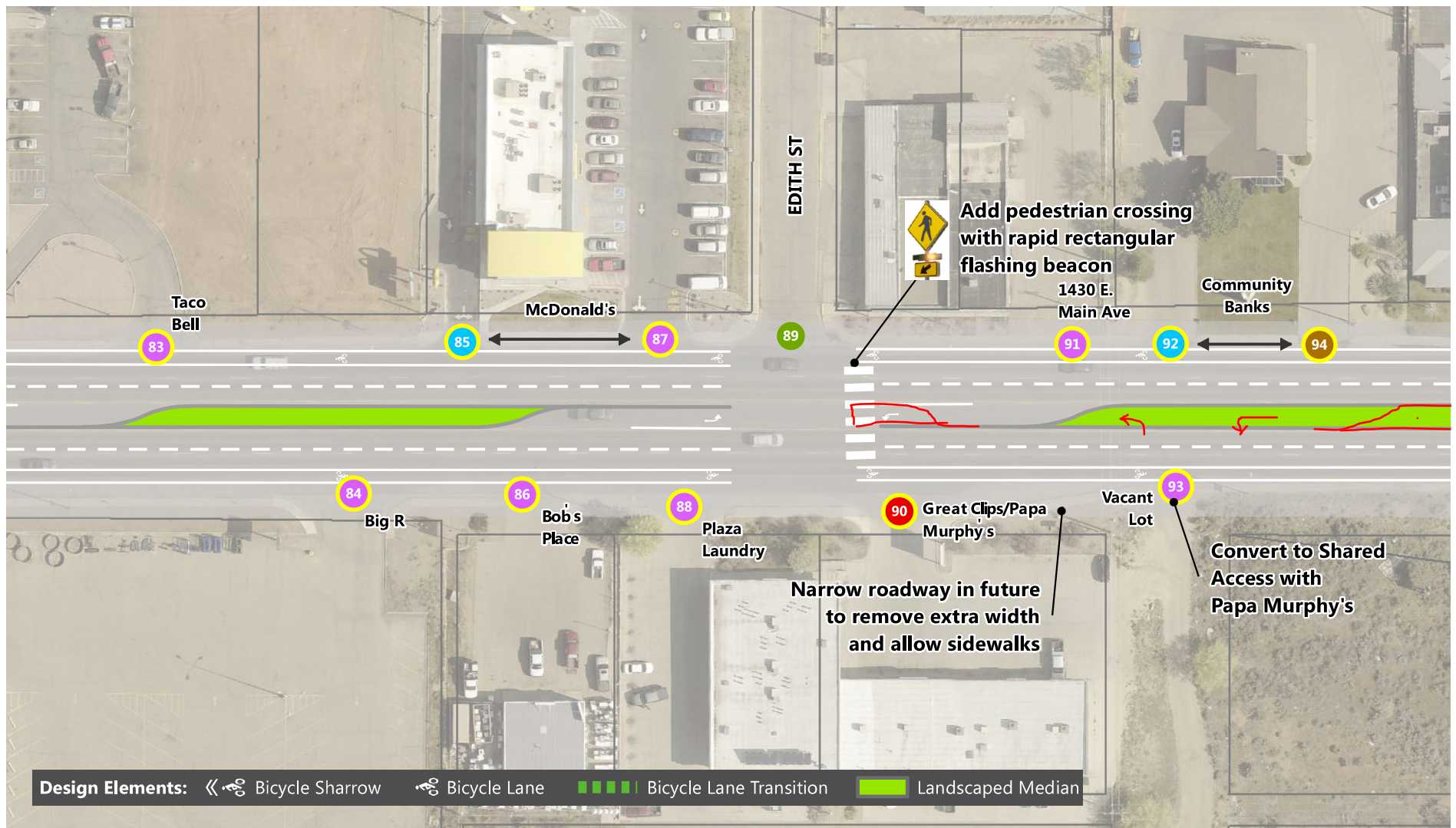


Figure: 9J
US 160 Access Recommendations and Design Concepts

**INTERGOVERNMENTAL AGREEMENT
BETWEEN
THE CITY OF CORTEZ (THE CITY) and
THE STATE OF COLORADO DEPARTMENT OF TRANSPORTATION
(THE DEPARTMENT)
FOR THE CORTEZ ACCESS CONTROL PLAN**

THIS INTERGOVERNMENTAL AGREEMENT is entered into effective as of this 15th day of September 2016, by and between the City and the Department, all of said parties being referred to collectively herein as "Agencies."

RECITALS

- A. The Agencies are authorized by the provisions of Article XIV, Section 18(2)(a), Colorado Constitution, and Sections 29-1-201 et. Seq., C.R.S., to enter into contracts with each other for the performance of functions which they are authorized by law to perform on their own; and
- B. Each Agency is authorized by Section 43-2-147(I)(a) C.R.S. to regulate access to public highways within its respective jurisdiction; And
- C. The coordinated regulation of vehicular access to public highways is necessary to maintain the efficient and smooth flow of traffic, to reduce the potential for traffic accidents, to protect the functional level and optimize the traffic capacity, to provide an efficient spacing of traffic signals and access points; and
- D. The Agencies desire to provide for the coordinated regulation of vehicular, pedestrian, and bicycle access and safety for the US Hwy 160 corridor through Cortez as follows:

Between MP 38.05 and MP 40.51 (hereafter referred to as the "Segments") which is within the jurisdiction of the Agencies; and
- E. The Agencies are authorized pursuant to Section 2.12 of the 1998 State Highway Access Code, 2 C.C.R. 601-1 (the "Access Code") to enter into a written agreement adopting and implementing a comprehensive and mutually acceptable highway access control plan for the Segments for the purposes above recited; and
- F. The Agencies specifically find and determine that this access control plan is a necessary exercise of the Agencies' legislative, governmental, or police powers to promote and protect the public health, safety, and general welfare of the citizens of the City, County, State; and
- G. The development of this Access Control Plan adheres to the requirements of the Access Code, Section 2.12.

NOW THEREFORE, for and in consideration of the mutual promises, agreements, and commitments herein contained, the Agencies agree as follows:

- 1. The Access Control Plan, dated _____, 2016, for the Segments (herein referred to as the "ACP") is attached hereto as Exhibits A, B, and C, and incorporated herein by this reference.

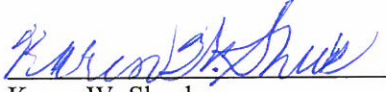
2. The Agencies shall regulate access to the ACP in compliance with the Access Control Plan. Section 42-2-147 C.R.S. (the "Access Law"), and the applicable sections of the Access Code. Vehicular access within the ACP may be permitted only when such access is in compliance with this Agreement, the ACP, Access Control Plan, and Access Law and the applicable sections of the Access Code. Per section 2.12(a) of Access Code, design waivers necessary for access design and construction within State Highway Right-of-Way may be approved by the Regional Transportation Director, or his/her approved designee.
3. Accesses that were in existence in compliance with the Access Law prior to the effective date of this Agreement may continue in existence until such time as a change in the private access is required by the Access Control Plan, the Access Law, in the course of highway reconstruction, or as determined appropriate in the course of development, subdivision actions, or change of use by the City. When closure, modification, or relocation of access is necessary or required, the Agencies having jurisdiction shall utilize the appropriate legal process to effect such action.
4. Actions taken by the Agencies with regard to transportation planning, transportation facilities, and traffic operations within the ACP shall be in conformity with this Agreement. The Agencies agree to develop and adopt the necessary ordinances, official documents, plans and maps to fulfill their respective responsibilities under this Agreement.
5. Parcels of real property created after the effective date of this Agreement which adjoin the Segments shall be provided with access to the Segments as documented in the ACP, as the use, location, and design thereof, conform to the provisions of this Agreement, the City and County Codes, except in unforeseen circumstances, or based upon approved amendments to the ACP.
6. This Agreement is based upon and intended to be consistent with the Access Law and Access Code.
7. This Agreement does not create any current specific financial obligation for any of the Agencies. Any further financial obligation of any Agency shall be subject to the execution of an appropriate encumbrance document, where required. Agencies involved in or affected by any particular or site-specific undertaking provided for herein will cooperate with each other to agree upon a fair and equitable allocation of the costs associated therewith, but, notwithstanding any provision of this Agreement. No Agency shall be required to expend its public funds for such undertaking without the express prior approval of its governing body or director. All financial obligations of the Agencies hereunder shall be approval of its governing body or director. All financial obligations of the Agencies hereunder shall be contingent upon sufficient funds therefore being appropriated, budgeted, and otherwise made available.
8. Should any section(s) or provision(s) of this Agreement be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Agreement, the intention being that the various provisions hereof are severable.
9. This Agreement supersedes and controls all prior written and oral agreements and representations of the Agencies concerning regulating vehicular access to the Segments. No additional or different oral representation, promise, or agreement shall be binding on any Agency.

10. This Agreement may be amended or terminated only in writing executed by the Agencies with express authorization from their respective governing bodies or legally designated officials. To the extent the Access Control Plan is modified by a change, closure, relocation, consolidation, or addition of an access, the Agencies may amend the attached Access Control Plan so long as the amendment is executed in writing and amended in accord with Access Law and the Access Code. The Access Control Plan Amendment Process is attached hereto and is incorporated in Exhibit C.
11. By Signing this Agreement, the Agencies acknowledge and represent to on another that all procedures necessary to validly contract and execute this Agreement have been performed, and that the persons signing for each Agency have been duly authorized to sign.
12. No portion of this Agreement shall be deemed to constitute a waiver of any immunities the parties or their officers or employees may possess, nor shall any portion of this Agreement be deemed to have created a duty of care which did not previously exist with respect to any person not a party to this Agreement.
13. It is expressly understood and agreed that the enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the undersigned parties and nothing in this Agreement shall give or allow any claim or right of action whatsoever by any other person not included in this Agreement. It is an express intention of the undersigned parties that any entity other than the undersigned parties receiving services or benefits under this Agreement shall be incidental beneficiary only.


IN WITNESS THEREOF, the Agencies have executed this Agreement effective as of the day and year written above.

City of Cortez, Colorado

ATTEST:

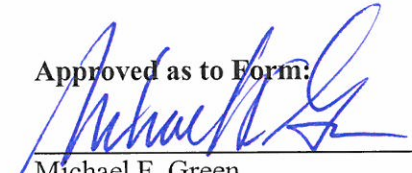

Karen W. Sheek
Mayor, City of Cortez

4/27/16
Date

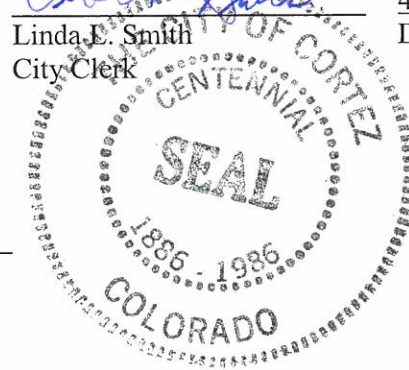

Linda E. Smith
City Clerk

4/27/16
Date

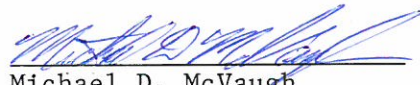
Approved as to Form:


Michael F. Green
City Attorney

3 June 16
Date



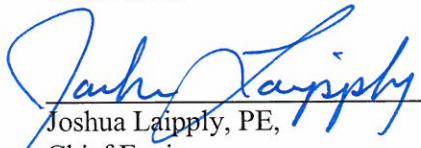
State of Colorado
Department of Transportation


Michael D. McVaugh
Region Transportation Director

9/19/16
Date

CONCUR:

ATTEST:


Joshua Laipply, PE,
Chief Engineer

9/15/2016
Date


Chief Clerk

9-15-2015
Date

Exhibits A & B

ACCESS CONTROL PLAN

United States Highway 160 between MP 38.05 and MP 40.51

City of Cortez and the State of Colorado Department of Transportation

I. Purpose

The purpose of this Access Control Plan (ACP) is to provide the Agencies with a comprehensive roadway access control plan for the pertinent segments of United States highway 160 through Cortez, Colorado.

II. Authority

The development of this Access Control Plan was completed pursuant to the requirements of the Access Code, Section 2.12, and adopted by the attached Agreement.

III. Responsibilities

It is the responsibility of each of the Agencies to this Agreement to ensure that vehicular access to the Segments shall only be in conformance with this Agreement. The cost of access improvements, closures and modifications shall be determined pursuant to section 43-2-147(6)(b) C.R.S., the Agreement, and this Access Control Plan. All access construction shall be consistent with the design criteria and specifications of the Access Code.

IV. Existing and Future Access

- A. The attached table (Exhibit A) provides a listing of each existing and future access point in the Segments. The Attached Map (Exhibit B) shows the access points along the Segments of US 160 through Cortez. For each access point the following information is provided: location, description of the current access status, and the proposed configuration or condition for change (Access Plan). All access points are defined by the approximate Department mile point (in hundredths of a mile) along United States Highway 160. All access points are located at the approximate centerline of the access.
- B. All highway design and construction will be based on the assumption that the Segments have a sufficient cross section to accommodate all travel lanes and sufficient right-of-way to accommodate longitudinal installation of utilities.

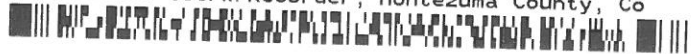


Exhibit C

ACCESS CONTROL PLAN AMENDMENT PROCESS United States Highway 160 between MP 38.05 and MP 40.51

City of Cortez and the State of Colorado Department of Transportation

Any request for amendment must be submitted to the Department's Region 5 Access Manager by a signatory of the Agreement (either of the Agencies). The amendment must be located within the jurisdiction and have the written support of the submitting signatory. Amendments shall be required for any change to the Access Control Plan as shown in the Exhibit A and B, including, but not limited to, any new or changes to the location of:

1. Signalized intersections
2. Full movement intersections/access points
3. $\frac{3}{4}$ intersections/access points
4. Right-in/right-out only intersections/access points

The amendment request shall include the following documents:

1. Descriptions of the proposed access and changes to the Access Control Plan.
2. Justification for the requested amendment.
3. For signalized intersections, a supporting Traffic Impact Study per the State Highway Access Code.
4. A list of any requested design waivers as applicable.
5. A proposed revised plan sheet clearly depicting the access modifications. The revised plan sheet will replace the corresponding sheet in Exhibit B.

Upon Submission of Information:

1. The Department shall review the submittal for completeness and for consistency with the access objectives, principles, and strategies described in the United States Highway 160 - City of Cortez Access Control Plan and the State Highway Access Code ("Access Code"). The Department shall also determine if any applicable design waivers can be granted. Any amendment request that results in a violation of the Access Code or for which a design waiver cannot be granted will not be considered.
2. If the amendment request is found to be complete, it will be forwarded, along with a brief report, to an Access Control Plan Advisory Committee, consisting of representatives from the City and the Department. Each Agency is responsible for appointing one Advisory Committee member. An Alternative Advisory Committee member may be appointed as an alternate.
3. After the forwarding, each Advisory Committee member will be responsible for coordinating their agency review and providing a decision on whether to accept or decline the amendment. The Advisory Committee members will have 30 days to submit their agency's vote to the Department Region 5 Access Manager in writing. A unanimous vote of the Agencies will be necessary to approve the amendment. An agency not responding within the 30-day period will be interpreted as a

“decline” decision. The Department will provide voting results, to include a tally sheet documenting each agency vote, to all Advisory Committee members within 15 days of receiving all votes, or following the 30-day review period.

4. Acceptable votes from the Agencies include: accept without modifications; accept with conditions or modifications; or disapprove.
5. If an agency accepts with conditions or modifications, the agency requesting the condition or the modification must provide supporting justification and any applicable requests for a design waiver. Any vote to accept with conditions or modifications that results in a violation of the Access Code or for which a design waiver cannot be granted will not be considered.
6. If found to be complete, The Department will forward the conditions or modifications to all members of the Access Control Plan Advisory Committee.
7. After the forwarding, each Advisory Committee member will be responsible for coordinating their agency review and providing a decision on whether to accept or decline the conditions and modifications. The Advisory Committee members will have 20 days to submit their agency’s subsequent vote to the Department in writing. A unanimous vote of the Agencies will be necessary to approve the conditions and modifications. An agency not responding within the 20-day period will be interpreted as a “decline” decision. The Department will provide voting results to all Advisory Committee members within 10 days of receiving all votes, or following the 20-day review period.

Exhibit A: Listing of existing and future access points

Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
DOWNTOWN SEGMENT						
1	38.04	Lt		Maple Street	Full movement, public access, signalized intersection	No change
2	38.04	Rt		Maple Street	Full movement, public access, signalized intersection	No change
3	38.08	Rt	561126307001	Nero's Restaurant	Access closed	No change
4	38.09	Rt	561126307001	Sand Canyon Motel	Enter only, commercial access	Restrict to right in only
5	38.2	Lt	561126251004	Conoco station	Full movement, commercial access	Restrict to right in/right out only
6	38.11	Rt	561126307001	Sand Canyon Motel	Exit only, commercial access	Restrict to right/out only
7	38.12	Rt		Linden Street	Full movement, public access	No change
8	38.12	Lt		Linden Street	Full movement, public access	No change
9	38.15	Lt		North Pinon Drive	Enter only, public access	No change
10	38.13	Lt		Elm Street	Full movement, public access	No change
11	38.13	Rt		Elm Street	Full movement, public access	No change
12	38.29	Lt		Chestnut Street	Full movement, public access, signalized intersection	No change
13	38.29	Rt		Chestnut Street	Full movement, public access, signalized intersection	No change
14	38.36	Lt		Market Street	Full movement, public access, signalized intersection	No change
15	38.36	Rt		Market Street	Full movement, public access, signalized intersection	No change
16	38.43	Lt		Beech Street	Full movement, public access	No change
17	38.43	Rt		Beech Street	Enter only, public access	No change
18	38.5	Lt	561126245004	Gravel Parking Lot	Full movement, commercial access	Restrict to right in/right out only
19	38.48	Lt	561126245003	Rent A Wheel	Full movement, commercial access	Restrict to right in/right out only
20	38.46	Lt		Ash Street	Full movement, public access, signalized intersection	No change
21	38.46	Rt		Ash Street	Full movement, public access, signalized intersection	No change
22	38.7	Rt	561126404005	Wendy's	Full movement, commercial access	Restrict to right in/right out only



Access Number	Mile Post	Right/ Left	Parcel	Current Use	Current Access Description	Proposed Access Change
23	38.53	Lt	561126126003	ALON Station	Full movement, commercial access	Restrict to right in/right out only; potentially change to egress only or consolidate upon redevelopment
24	38.54	Lt	561126126003	ALON Station	Full movement, commercial access	Restrict to right in/right out only; potentially change to ingress only or consolidate upon redevelopment
25	38.54	Lt		Washington Street	Full movement, public access	No change
26	38.54	Rt		Washington Street	Full movement, public access	No change
27	38.7	Rt	561126403003	Criston Mall	Full movement, commercial access	Restrict to right in/right out only; reduce access width to 30' upon redevelopment
28	38.57	Lt	561126125005	Ocean Pearl Restaurant	Access closed	No change
29	38.58	Lt	561126125008	La Casita Restaurant	Full movement, commercial access	Restrict to right in/right out only
30	38.69	Rt	561126403001	Community Banks	Enter only, commercial access	Restrict to right in only
31	38.68	Rt	561126403001	Community Banks	Exit only, commercial access	Restrict to right out only
32	38.59	Lt		Madison Street	Full movement, public access	No change
33	38.59	Rt		Madison Street	Full movement, public access	No change
34	38.67	Rt	561126402003	Aqua Carwash	Full movement, commercial access	No change
35	38.61	Lt	561126124007	Burger Boy	Full movement, commercial access	No change
36	38.66	Rt	561126402003	Aqua Carwash	Full movement, commercial access	Recommended closure
37	38.62	Lt	561126124012	Methodist Thrift Store	Full movement, commercial access	Recommended closure; share access with existing Burger Boy access
38	38.65	Rt	561126402002	Jimmer's Restaurant	Full movement, commercial access	No change
39	38.62	Lt	561126124012	Garcia & Company	Full movement, commercial access	No change
40	38.65	Rt	561126402011	Cork & Bottle	Full movement, commercial access	No change
41	38.64	Lt		Harrison Street	Full movement, public access, signalized intersection	No change
42	38.64	Rt		Harrison Street	Full movement, public access, signalized intersection	No change
CITY PARK SEGMENT						
43	39.03	Rt	561126401002	Super 8 Motel	Full movement, commercial access	Restrict to right in/right out only; open emergency access on Harrison Street
44	38.73	Lt	561126123001	City Market	Full movement, commercial access	Restrict to right in/right out only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
45	39.02	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to right in/right out only
46	39	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to 3/4 access
47	38.74	Lt	561126100031	Cortez Dialysis	Full movement, commercial access	Restrict to right in/right out only; close upon redevelopment and share access with Front Row Seat
48	38.93	Rt	561126401004	Best Western Motel	Full movement, commercial access	Restrict to right in/right out only
49	38.92	Rt	561126400008	CO Land & Title	Full movement, commercial access	Restrict to right in/right out only
50	38.75	Lt	561126100031	Front Row Seat	Full movement, commercial access	Restrict to 3/4 access; upon redevelopment share access with Cortez Dialysis and Liquid Assets
51	38.91	Rt	561126400008	Carpenter Plaza	Full movement, commercial access	Restrict to right in/right out only
52	38.77	Lt	561126100024	Liquid Assets	Full movement, commercial access	Restrict to right in/right out only; close upon redevelopment and share access with Front Row Seat
53	38.91	Rt	561126400006	Aneth Lodge	Full movement, commercial access	Restrict to 3/4 access
54	38.79	Lt	561126100025	Dolores State Bank	Full movement, commercial access	Restrict to right in/right out only
55	38.88	Rt	561126400005	Cortez Auto Repair	Full movement, commercial access	Restrict to right in/right out only
56	38.87	Rt	561126400004	Jack's Country Kitchen	Full movement, commercial access	No change
57	38.8	Lt		Park Street	Full movement, public access	No change
58	38.86	Rt	561126400004	Jack's Country Kitchen	Full movement, commercial access	Restrict to 3/4 access; upon redevelopment prevent left turns via pork chop
59	38.84	Rt	561126400003	Sundance RV Park	Full movement, commercial access	Restrict to 3/4 access
60	38.83	Rt	561126447001	Rent All Rentals	Full movement, commercial access	Restrict to right in/right out only
61	38.83	Rt	561126400001	Giant Station	Full movement, commercial access	Restrict to right in/right out only
62	38.81	Lt		Mildred Street	Full movement, public access, signalized intersection	No change
63	38.81	Rt		Mildred Street	Full movement, public access, signalized intersection	No change
64	39.16	Rt	561125308009	One Stop Taqueria	Planned Closure	No change
65	39.07	Lt	561125200010	C&G Health	Full movement, commercial access	Restrict to right in/right out only
66	39.16	Rt	561125308009	One Stop Taqueria	Full movement, commercial access	Restrict to right in/right out only
67	39.09	Lt	561125200008	Long Trailer Court	Full movement, commercial access	Restrict to right in/right out only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
68	39.09	Lt	561125200012	Durango Organics	Full movement, commercial access	Restrict to right in/right out only
69	39.17	Rt	561125308009	Vacant Lot	Full movement, residential access	Restrict to right in/right out only
70	39.17	Rt	561125300007	Holgate's Carwash	Full movement, commercial access	Restrict to right in/right out only
71	39.17	Rt	561125300007	Holgate's Tools	Full movement, commercial access	Restrict to right in/right out only
72	39.1	Lt	561125200013	1118 Main Ave	Full movement, residential access	Restrict to right in/right out only
73	39.11	Lt	561125225001	Travel Lodge	Full movement, commercial access	Restrict to 3/4 access
74	39.19	Rt	561125300006	Dairy Queen/Pizza Hut	Full movement, commercial access	Restrict to 3/4 access
75	39.12	Lt	561125225001	Willis Furniture	Full movement, commercial access	Restrict to right in/right out only
76	39.2	Rt	561125300013	Dairy Queen	Exit only, commercial access	Restrict to right out only
77	39.12	Lt	561125200019	Sunshine Motors	Full movement, commercial access	Restrict to right in/right out only
78	39.21	Rt	561125312004	Cortez Flooring and Others	Full movement, commercial access	Restrict to 3/4 access
79	39.13	Lt	561125200019	Sunshine Motors	Full movement, commercial access	Restrict to right in/right out only
80	39.14	Lt	561125200018	Auto Zone	Full movement, commercial access	Restrict to right in/right out only
81	39.15	Lt		Roger Smith Avenue	Full movement, public access	No change
82	39.24	Rt	561125300004	Big R	Full movement, commercial access	No change
83	39.57	Lt	561125215007	Taco Bell	Full movement, commercial access	Restrict to right in/right out only
84	39.27	Rt	561125300004	Big R	Full movement, commercial access	Restrict to right in/right out only
85	39.55	Lt	561125213004	McDonalds	Exit only, commercial access	Restrict to right out only
86	39.27	Rt	561125304003	Bob's Place	Full movement, commercial access	Restrict to right in/right out only
87	39.55	Lt	561125213004	McDonalds	Full movement, commercial access	Restrict to right in/right out only
88	39.32	Rt	561125313002	Plaza Laundry	Full movement, commercial access	Restrict to right in/right out only
89	39.53	Lt		Edith Street	Full movement, public access	No change
90	39.33	Rt	561125313001	Great Clips/Papa Murphy's	Full movement, commercial access	Recommended closure; share access with access # 93 (vacant lot)
91	39.49	Lt	561125212003	1430 E. Main Ave	Full movement, commercial access	Restrict to right in/right out only
92	39.48	Lt	561125200022	Community Banks	Exit only, commercial access	Restrict to right out only
93	39.33	Rt		Vacant Lot	Full movement, commercial access	Restrict to right in/right out only; convert to shared access with Papa Murphy's
94	39.45	Lt	561125200022	Community Banks	Enter only, commercial access	Restrict to right in only





Access Number	Mile Post	Right/Left	Parcel	Current Use	Current Access Description	Proposed Access Change
95	39.42	Lt	561125218001	1st S.W. Bank	Full movement, commercial access	Restrict to right in/right out only
96	39.39	Lt	561125222001	Safeway	Full movement, commercial access	Restrict to 3/4 access
132	39.39	Rt	561125303001	N/A	N/A	Configure as 3/4 access when development occurs
97	39.37	Lt	561125217015	Net Force PC	Full movement, commercial access	Restrict to right in/right out only
98	39.34	Rt	561125311001	Wal-Greens	Right in/right out, commercial access	No change
99	39.37	Lt	561125217006	Super Splash Carwash	Exit only, commercial access	Restrict to right out only
100	39.36	Lt	561125217006	Super Splash Carwash	Enter only, commercial access	Recommended closure
EASTERN GATEWAY SEGMENT						
101	39.35	Rt		Sligo Street	Full movement, public access, signalized intersection	No change
102	39.57	Rt		Veach Street	Full movement, public access	No change
103	39.62	Rt	561125403002	Cedarwood Animal Clinic	Planned Closure	No change
104	39.62	Lt		Henry Street	Full movement, public access	Restrict to right in/right out only
105	39.6	Rt	561125403002	Cedarwood Animal Clinic	Full movement, commercial access	Restrict to right in/right out only
106	39.63	Lt	561125100019	American Home Patient	Full movement, commercial access	Restrict to right in/right out only
107	39.69	Rt	561125412001	O'Reilly's	Full movement, commercial access	Restrict to right in/right out only
108	39.64	Lt	561125100019	Pro Nails	Full movement, commercial access	Restrict to right in/right out only
109	39.64	Lt		Texas Street	Full movement, public access	Restrict to right in/right out only
110	39.69	Rt	561125402001	Mountain Chiropractic	Full movement, commercial access	Restrict to right in/right out only
111	39.72	Rt		Cactus Street	Full movement, public access	Restrict to 3/4 access
112	39.73	Lt	561125100024	Econo Lodge	Full movement, commercial access	Restrict to right in/right out only; can provide 3/4 access if access is reconfigured to align with Cactus Street
113	39.77	Rt	561125401004	Shell Station	Full movement, commercial access	Restrict to right in/right out only
114	39.76	Lt	561125100024	Econo Lodge	Full movement, commercial access	Restrict to right in/right out only
115	39.8	Lt	561125100024	Econo Lodge	Full movement, commercial access	Left in only
116	39.8	Rt	561125401006	Denny's	Full movement, commercial access	Restrict to right in/right out only; potential for future 3/4 access
117	39.82	Lt	561125100016	Retro Inn	Exit only, commercial access	Restrict to right out only





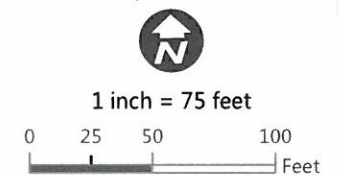
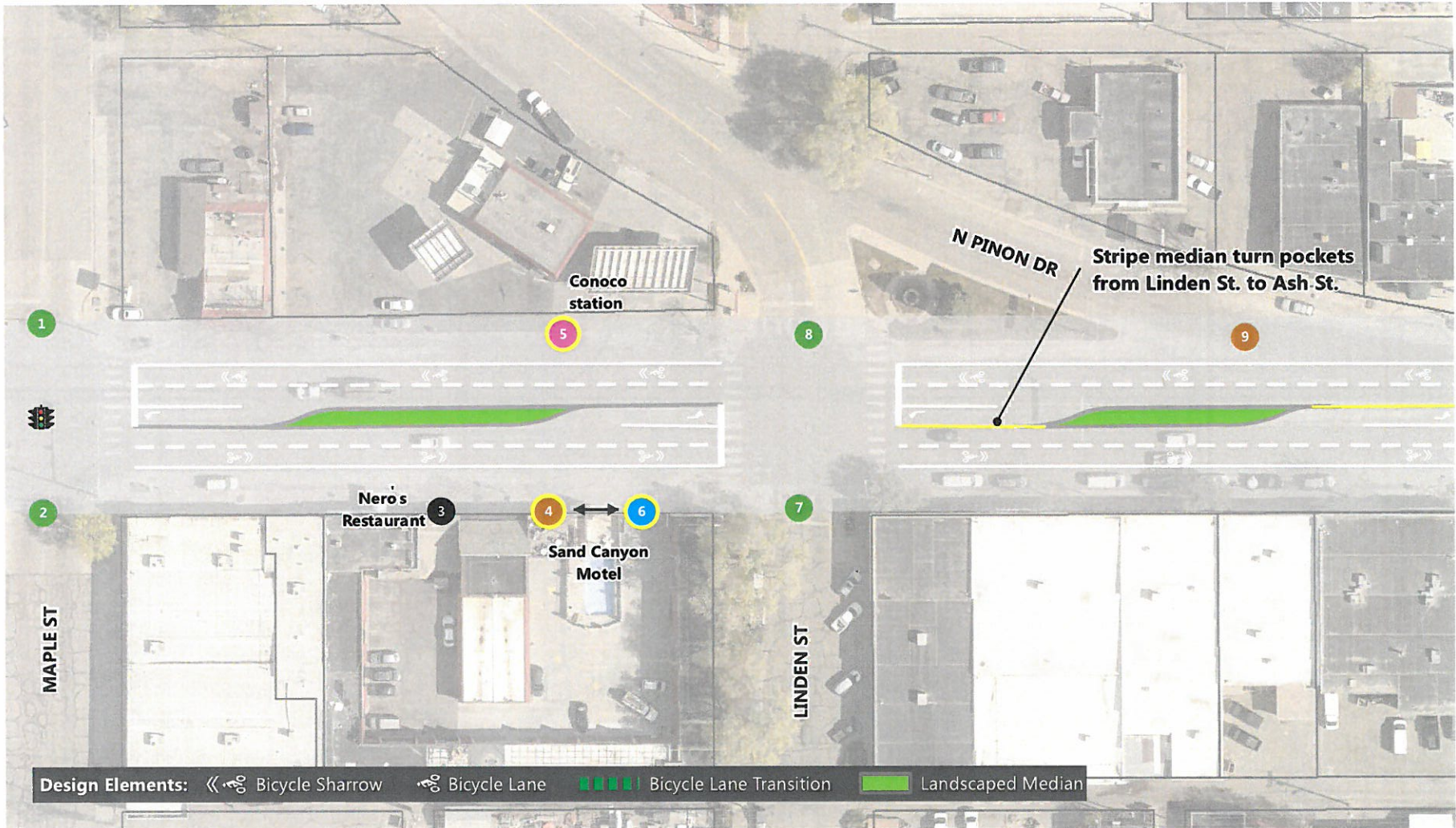
Access Number	Mile Post	Right/ Left	Parcel	Current Use	Current Access Description	Proposed Access Change
118	39.84	Lt	561125100016	Retro Inn	Full movement, commercial access	Restrict to right in/right out only
119	39.85	Rt	561125400004	Holiday Inn	Full movement, commercial access	Restrict to right in/right out only
120	39.89	Lt	561125118104	Cortez Plaza	Full movement, commercial access	No change
121	39.89	Rt		Hawkins Street	Full movement, public access	No change
122	40.1	Lt	561125118100	Cortez Plaza	Full movement, commercial access	No change
123	40.09	Rt		Trinity Avenue	Full movement, public access	No change
124	40.12	Lt	561125100013	Conoco station	Full movement, commercial access	Restrict to right in/right out only
125	40.17	Lt	561125100025	La Mesa RV Park	Full movement, commercial access	Restrict to right in/right out only
126	40.19	Lt		Dolores Street	Right in/right out, public access	No change
127	40.29	Lt		US Highway 145/State Street	Full movement, public access, signalized intersection	No change
128	40.29	Rt		US Highway 145/State Street	Full movement, public access, signalized intersection	No change
129	40.53	Lt	560930200012	Days Inn	Full movement, commercial access	Restrict to right in/right out only
130	40.41	Rt		Lakeside Drive	Full movement, public access	Restrict to 3/4 access
131	40.44	Lt		Patton Street	Full movement, public access	Restrict to right in/right out only

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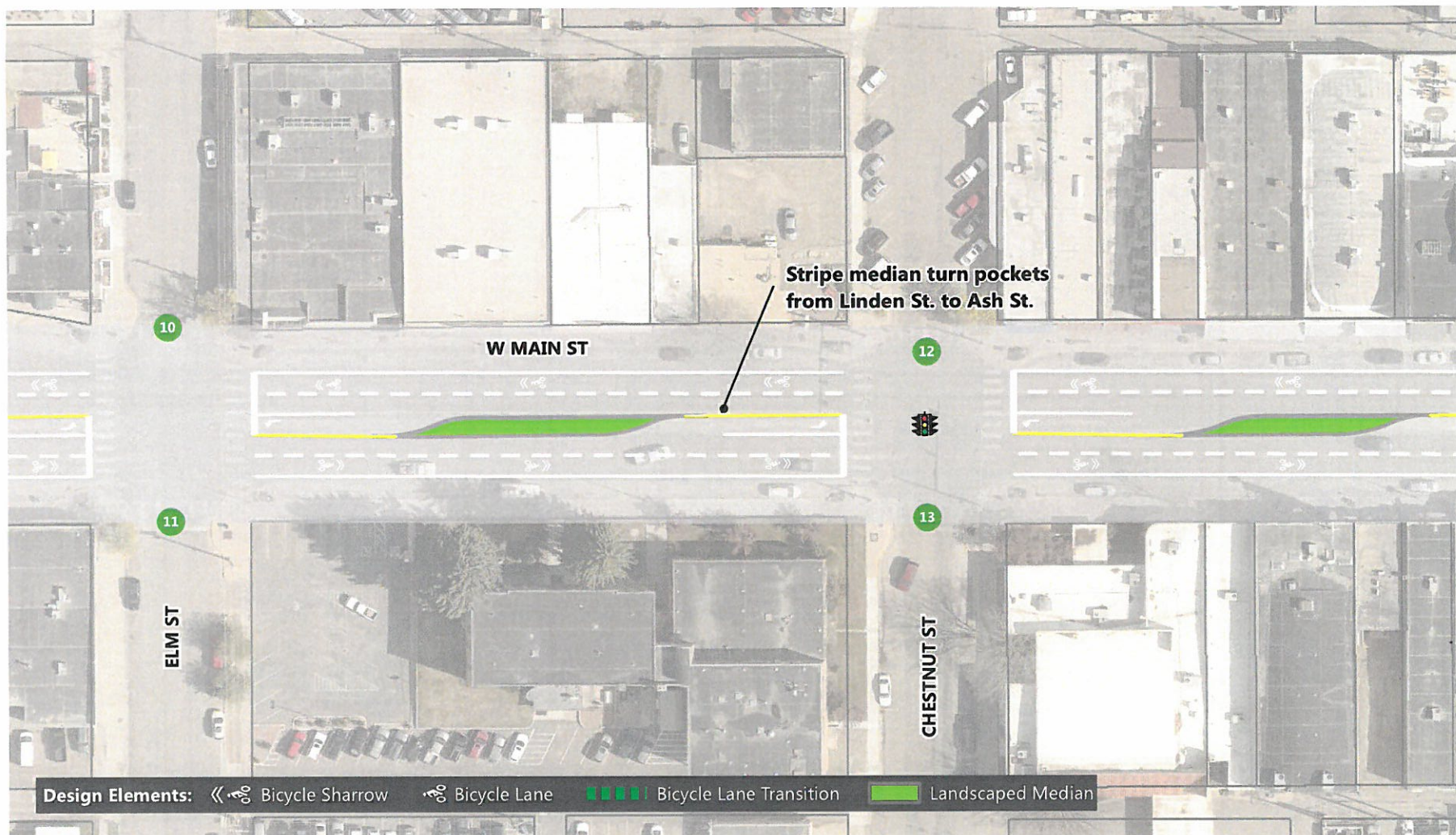


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Department of
Transportation





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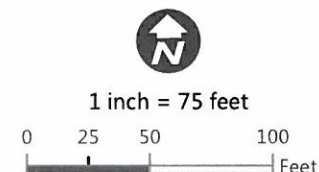
Access Recommendations

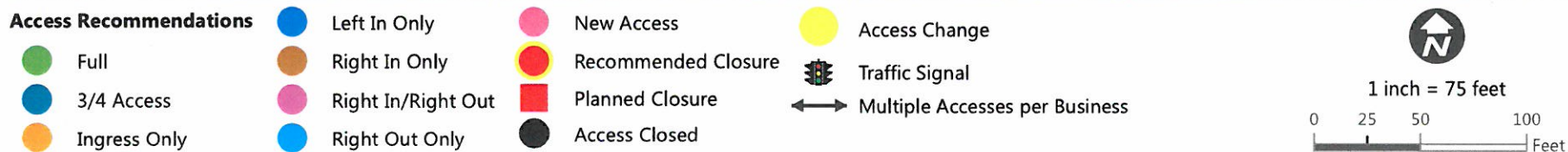
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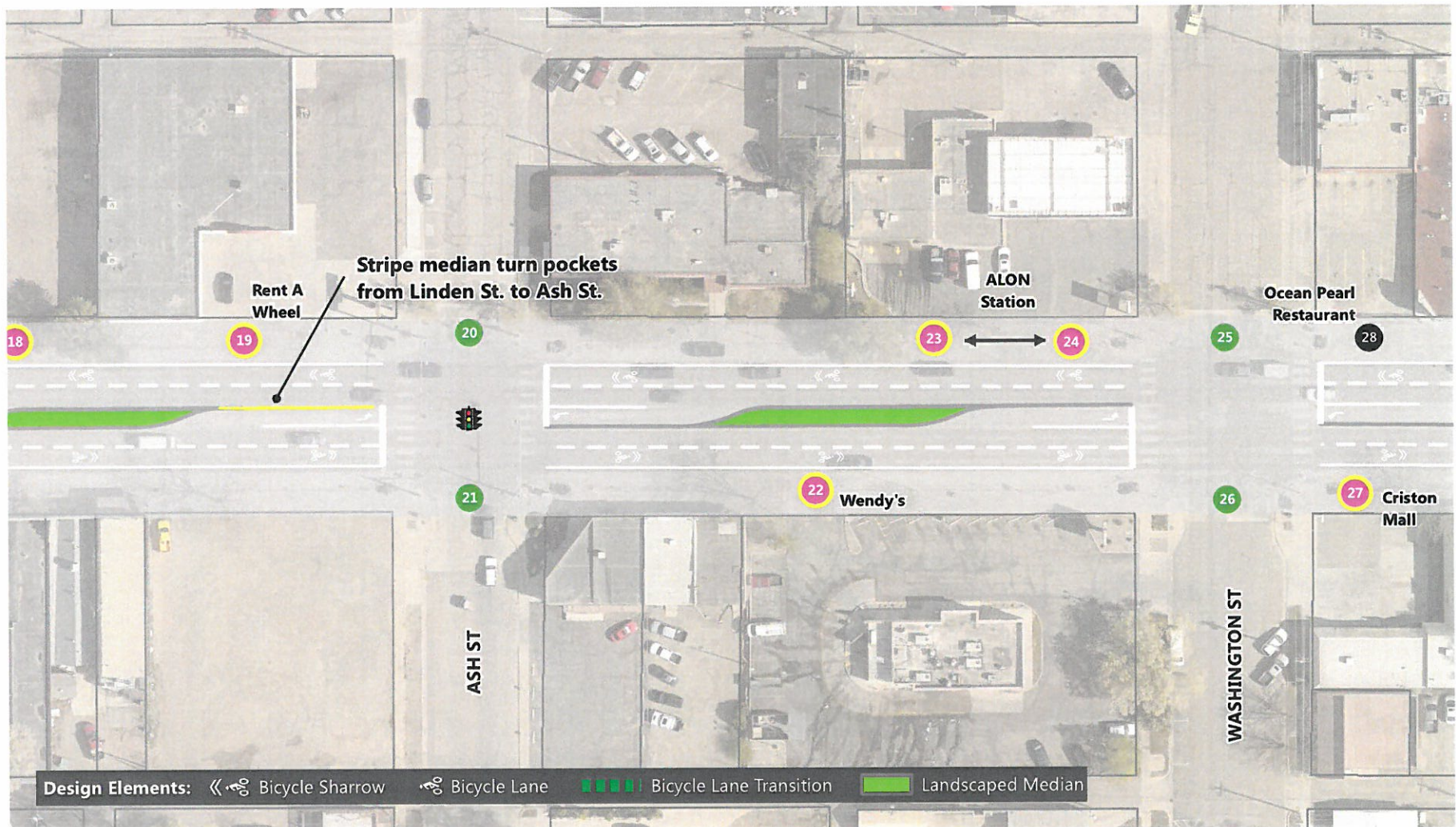
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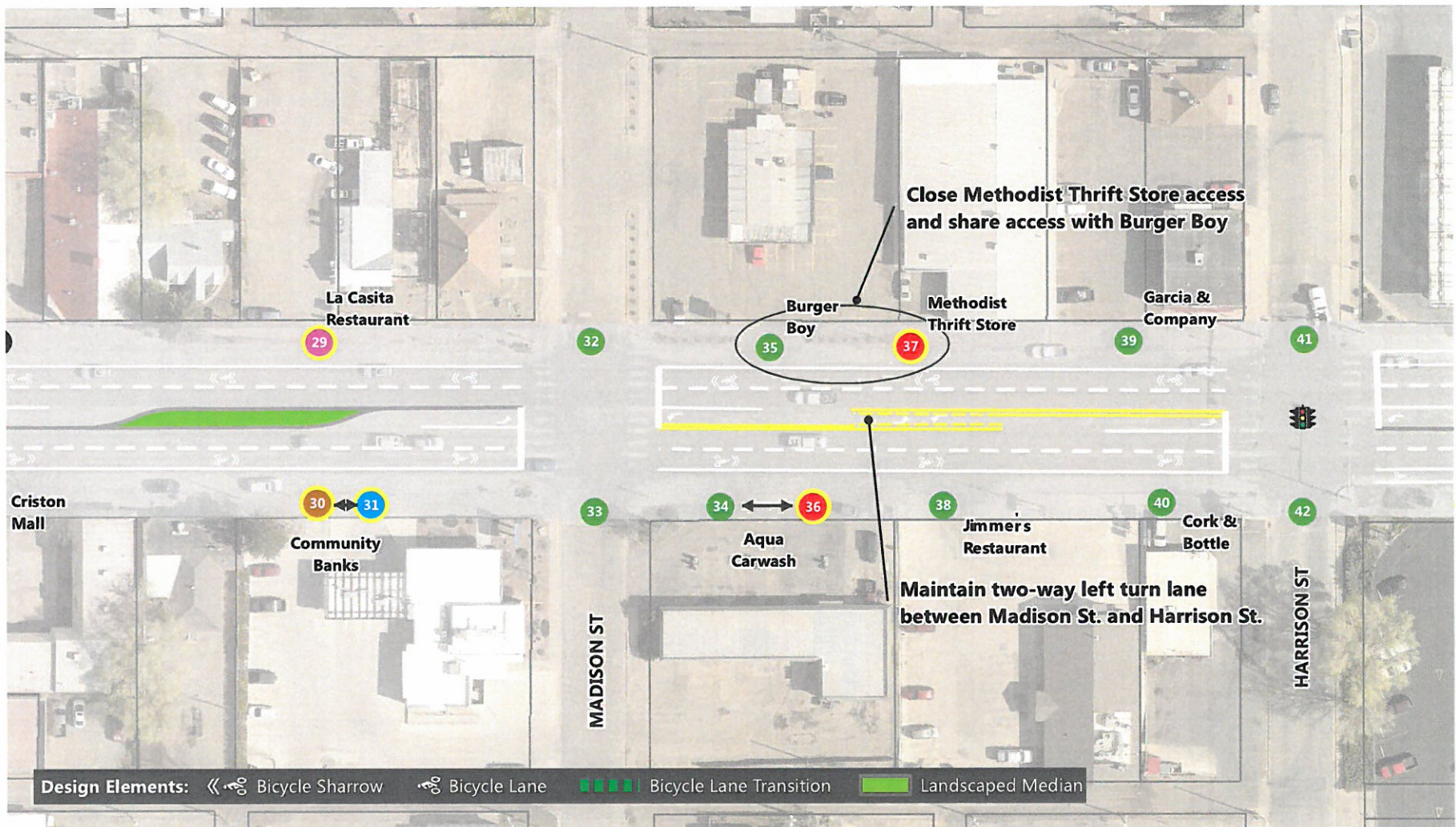
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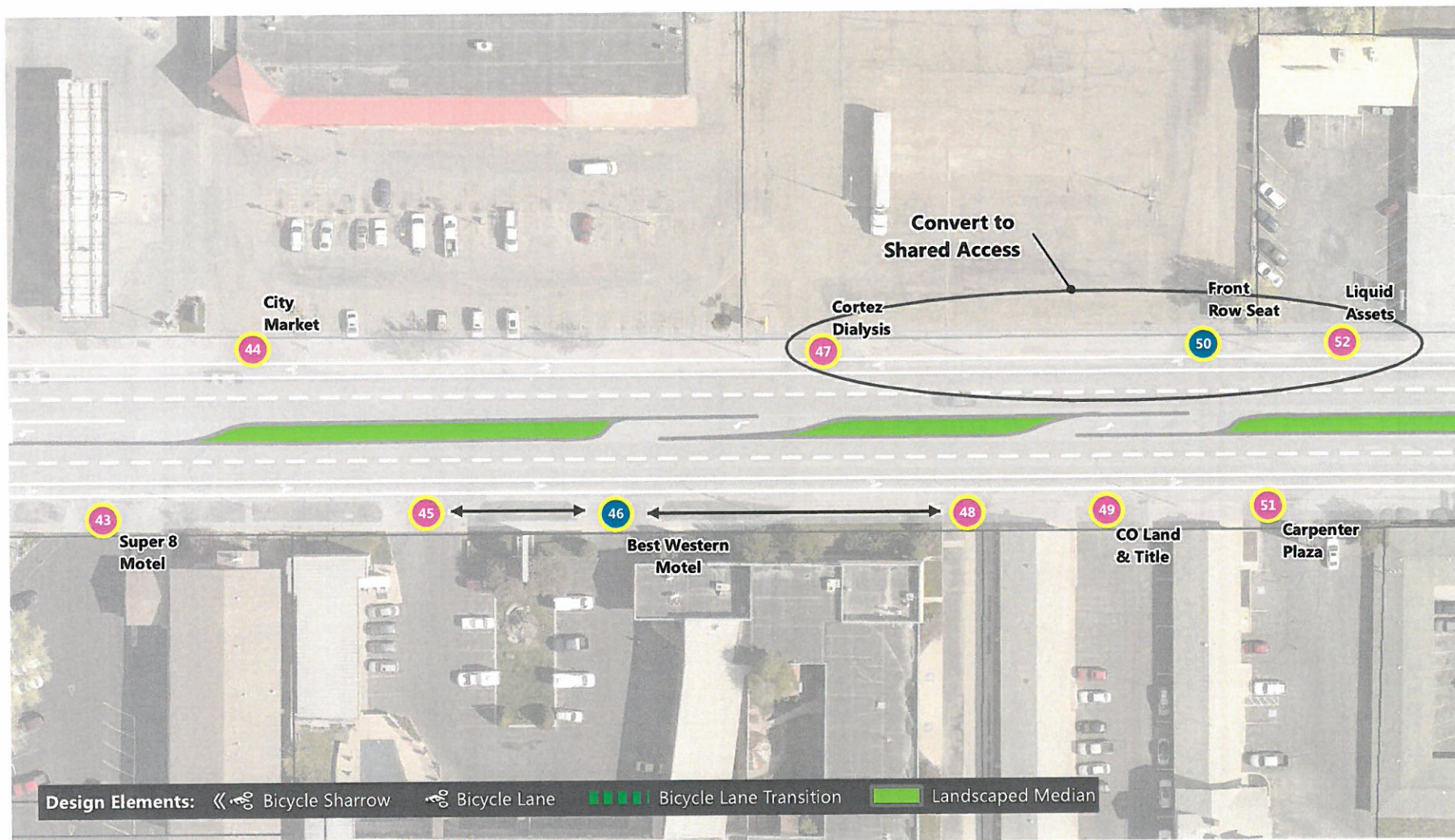
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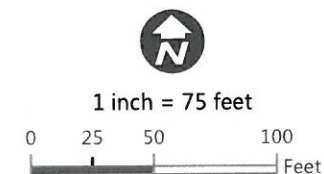
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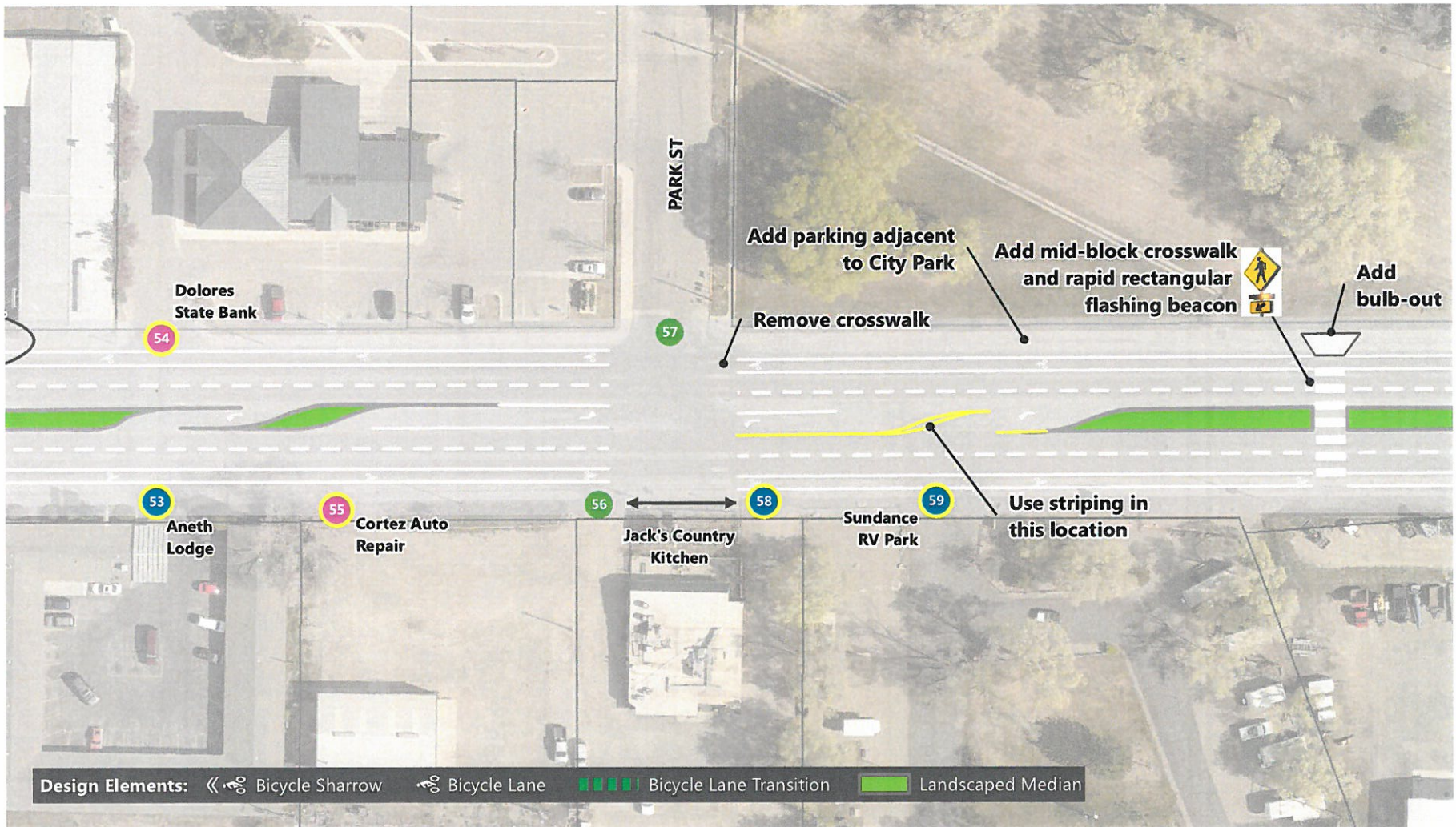
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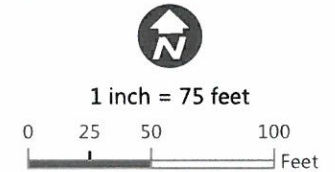
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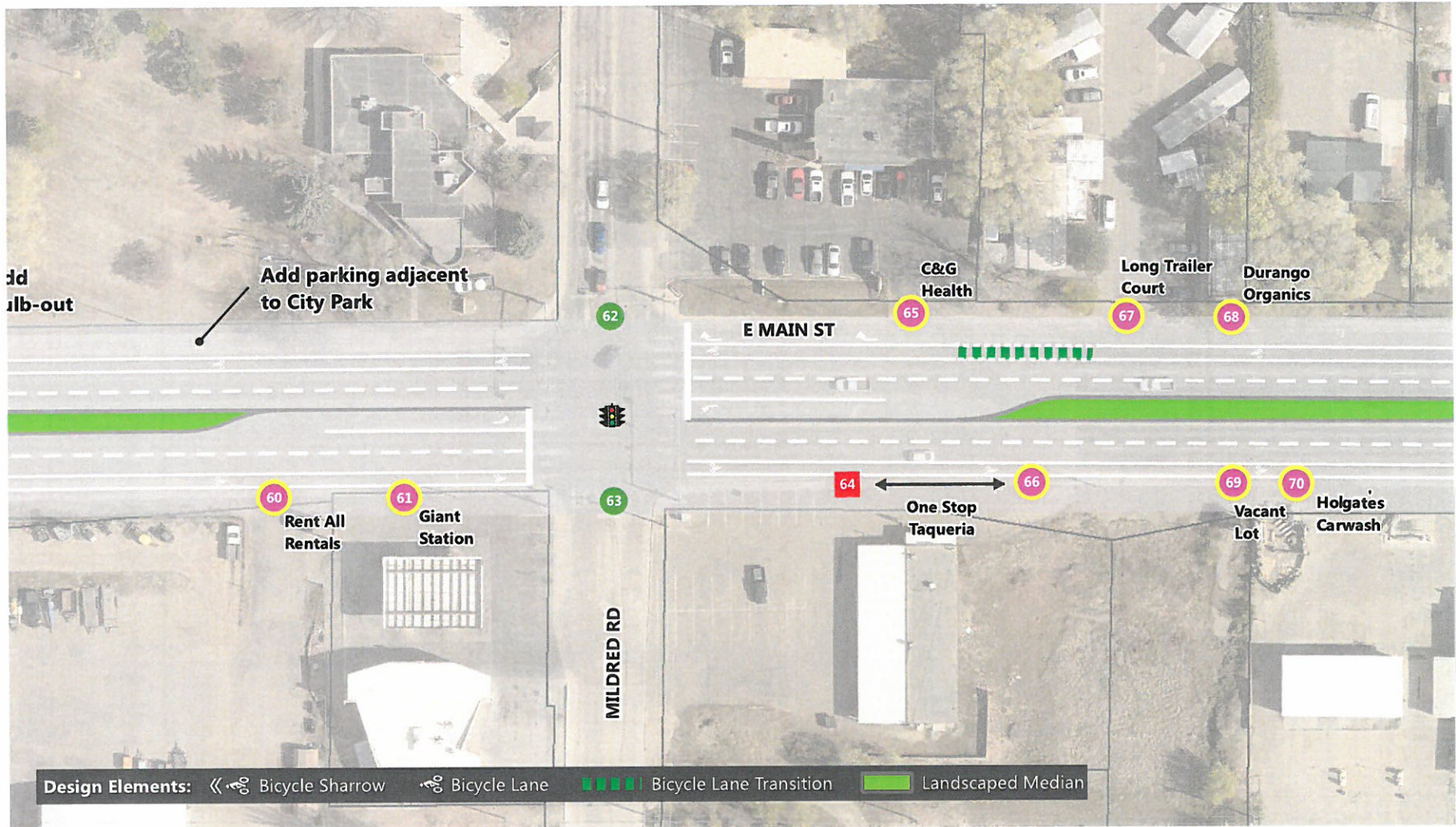


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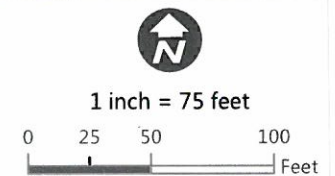
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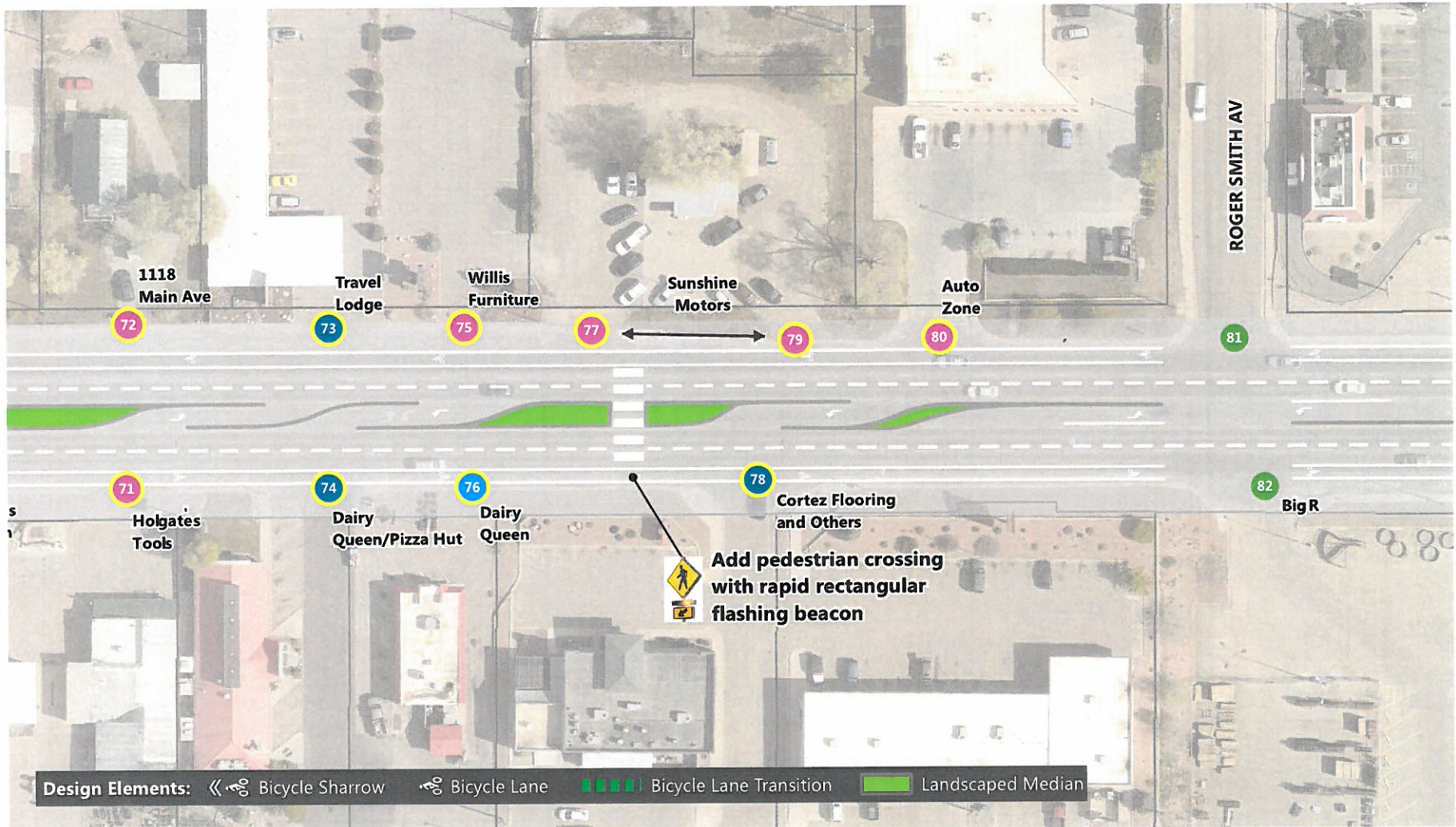




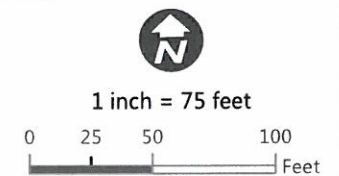
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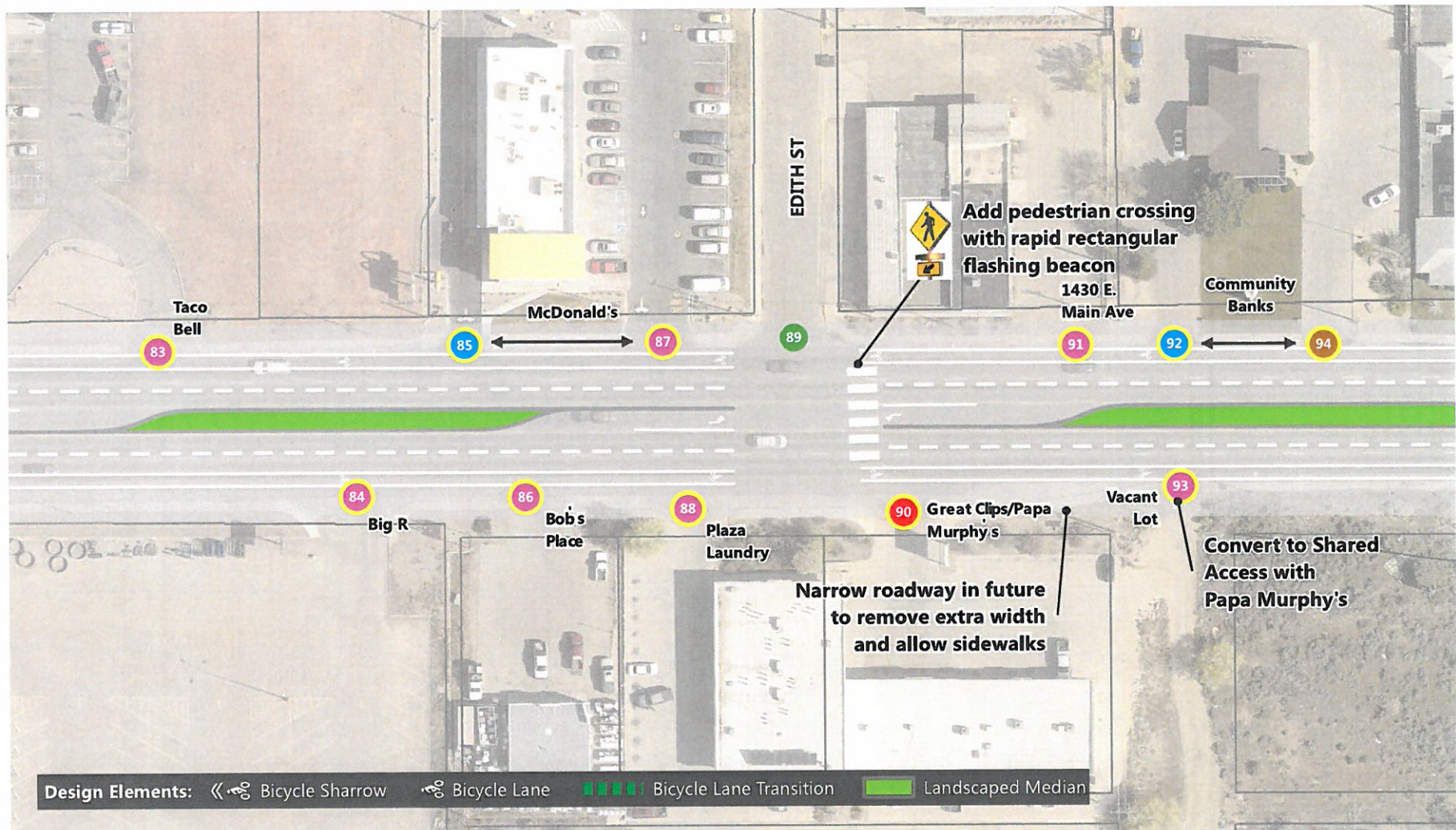
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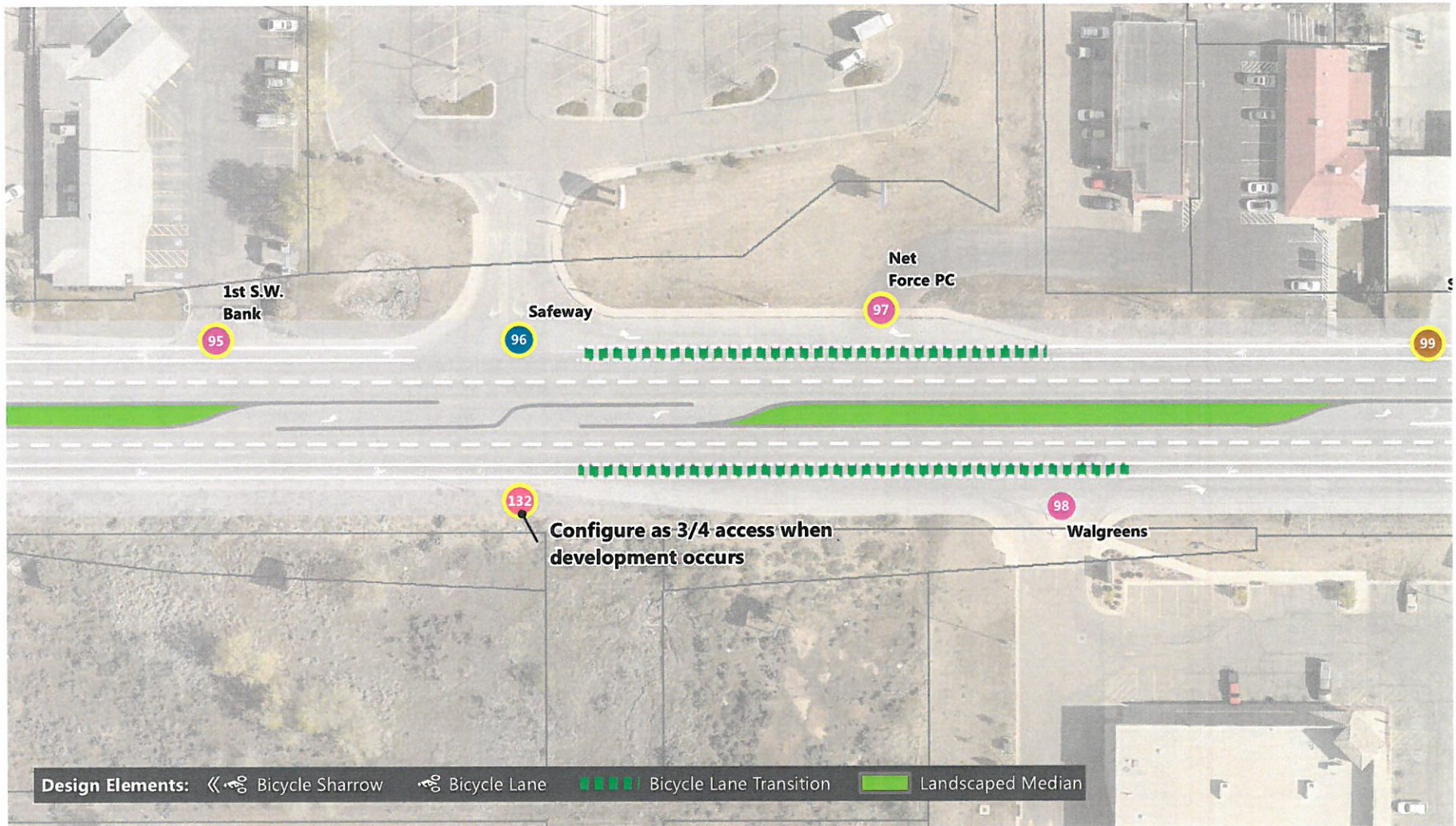




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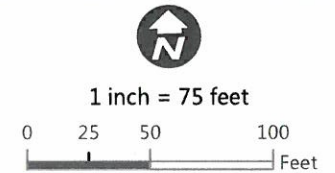


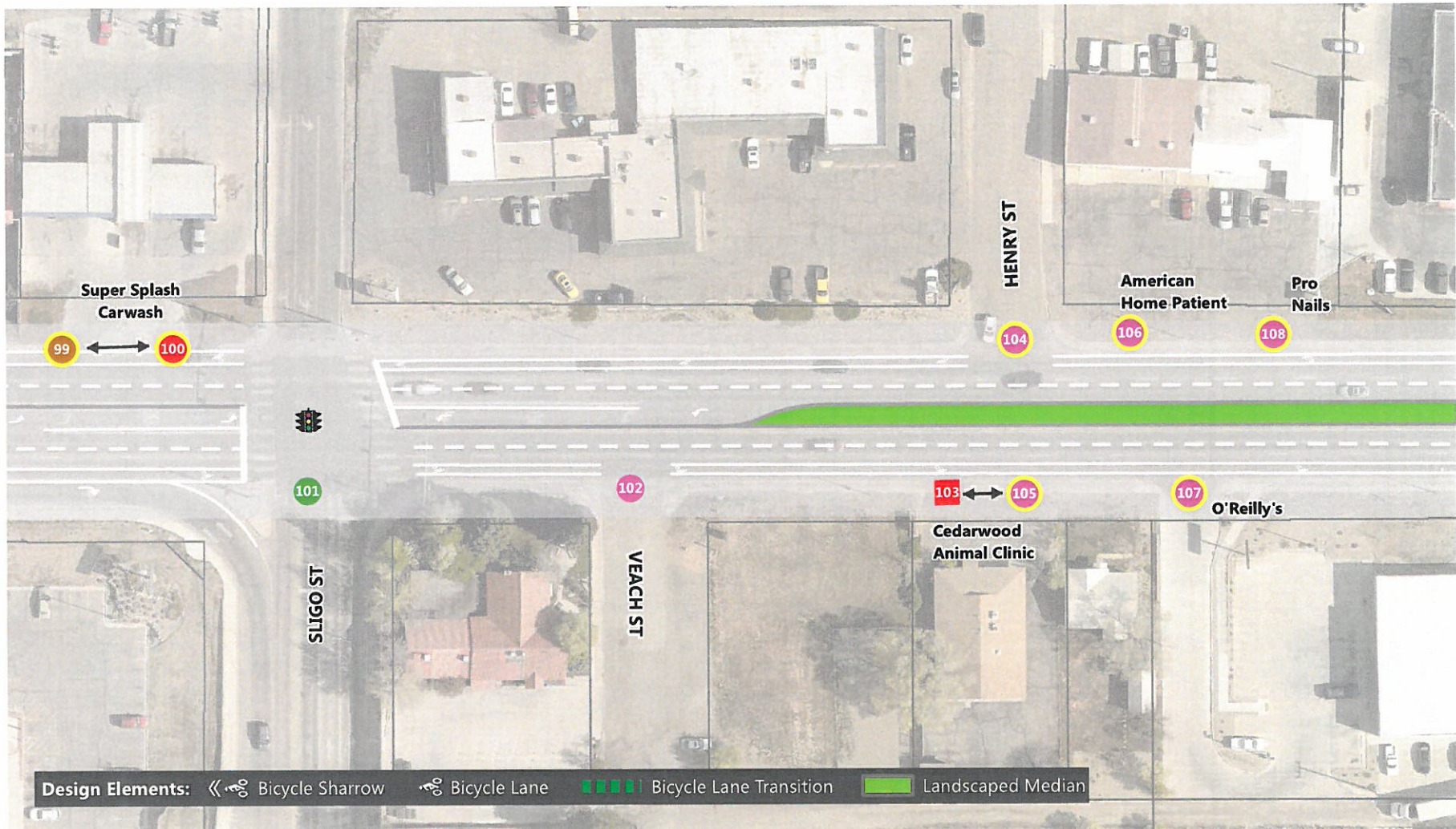




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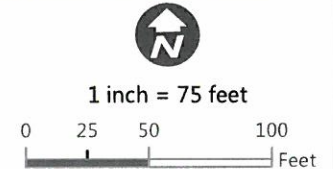
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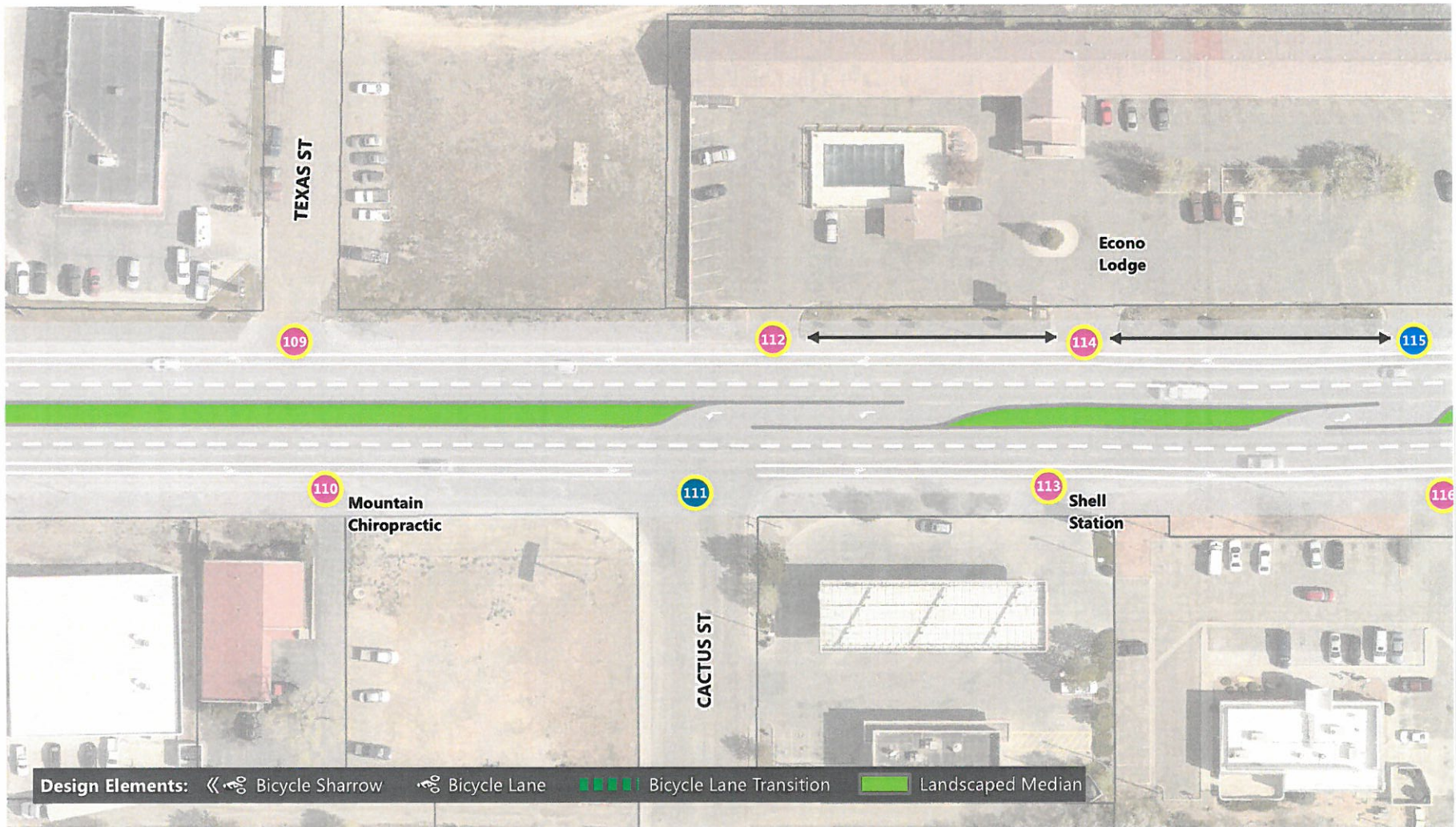




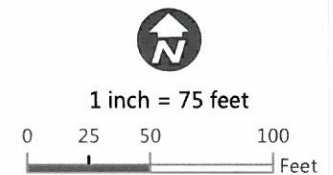
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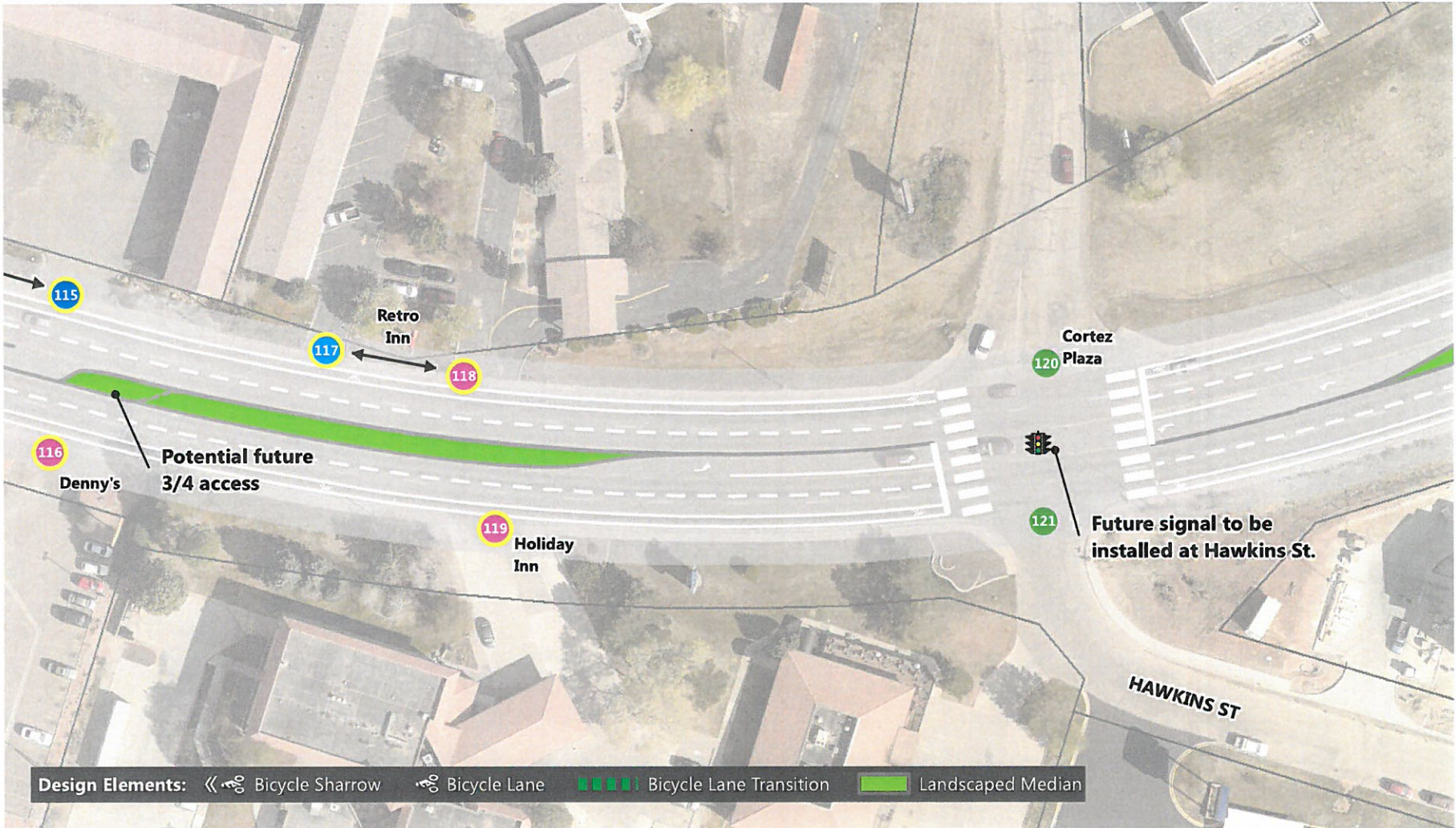
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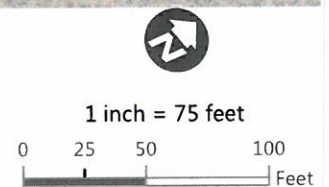
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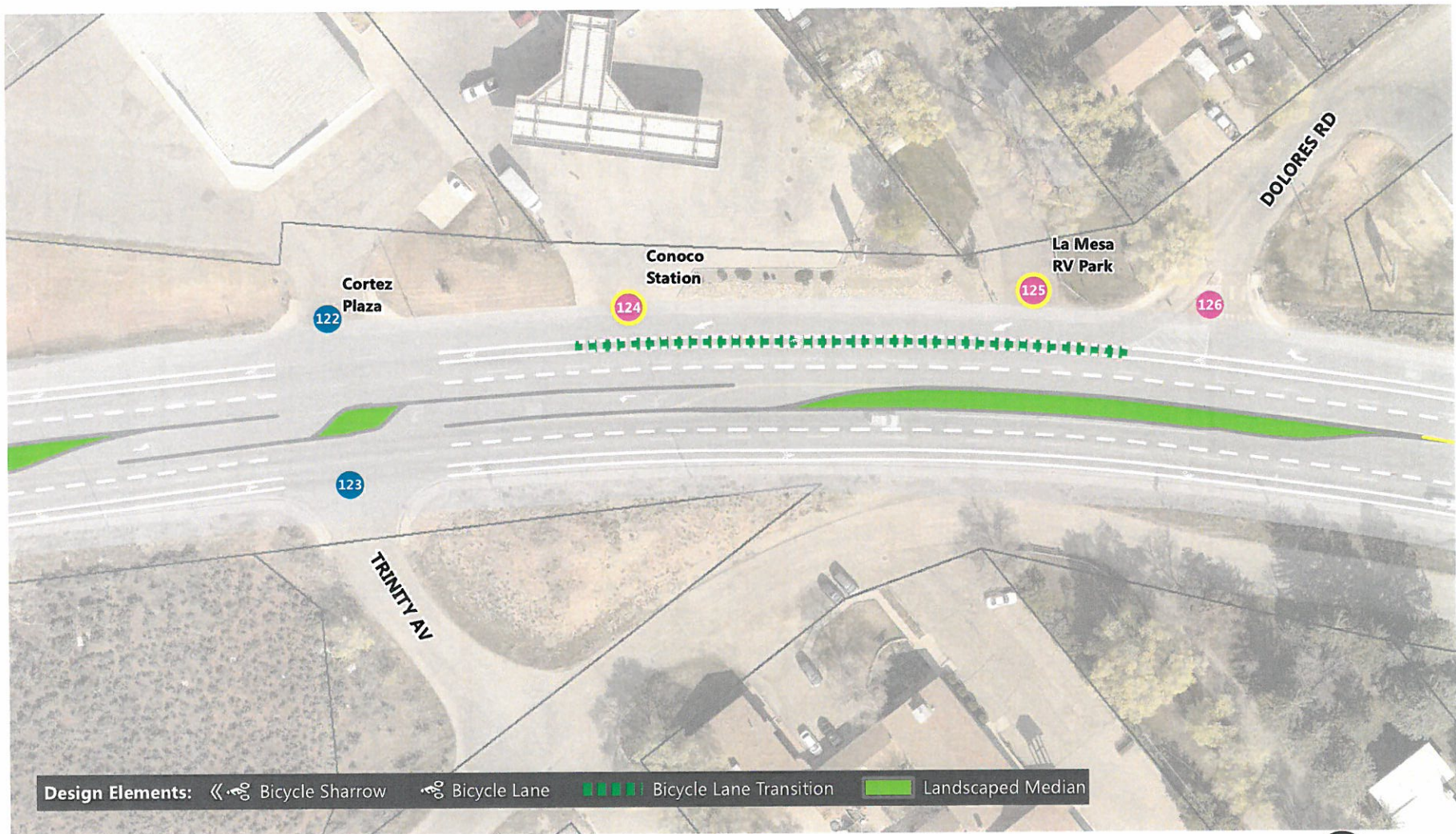
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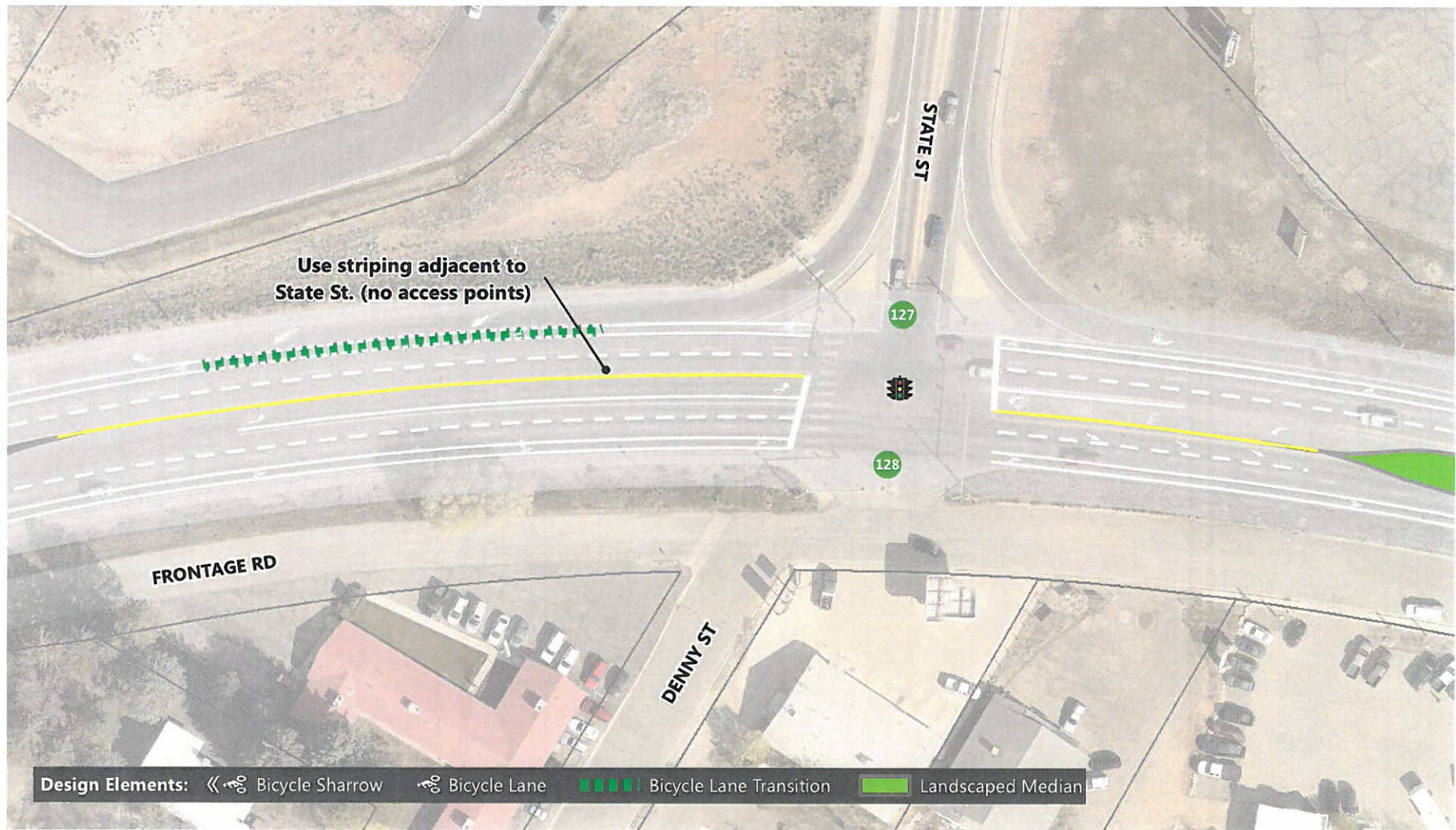
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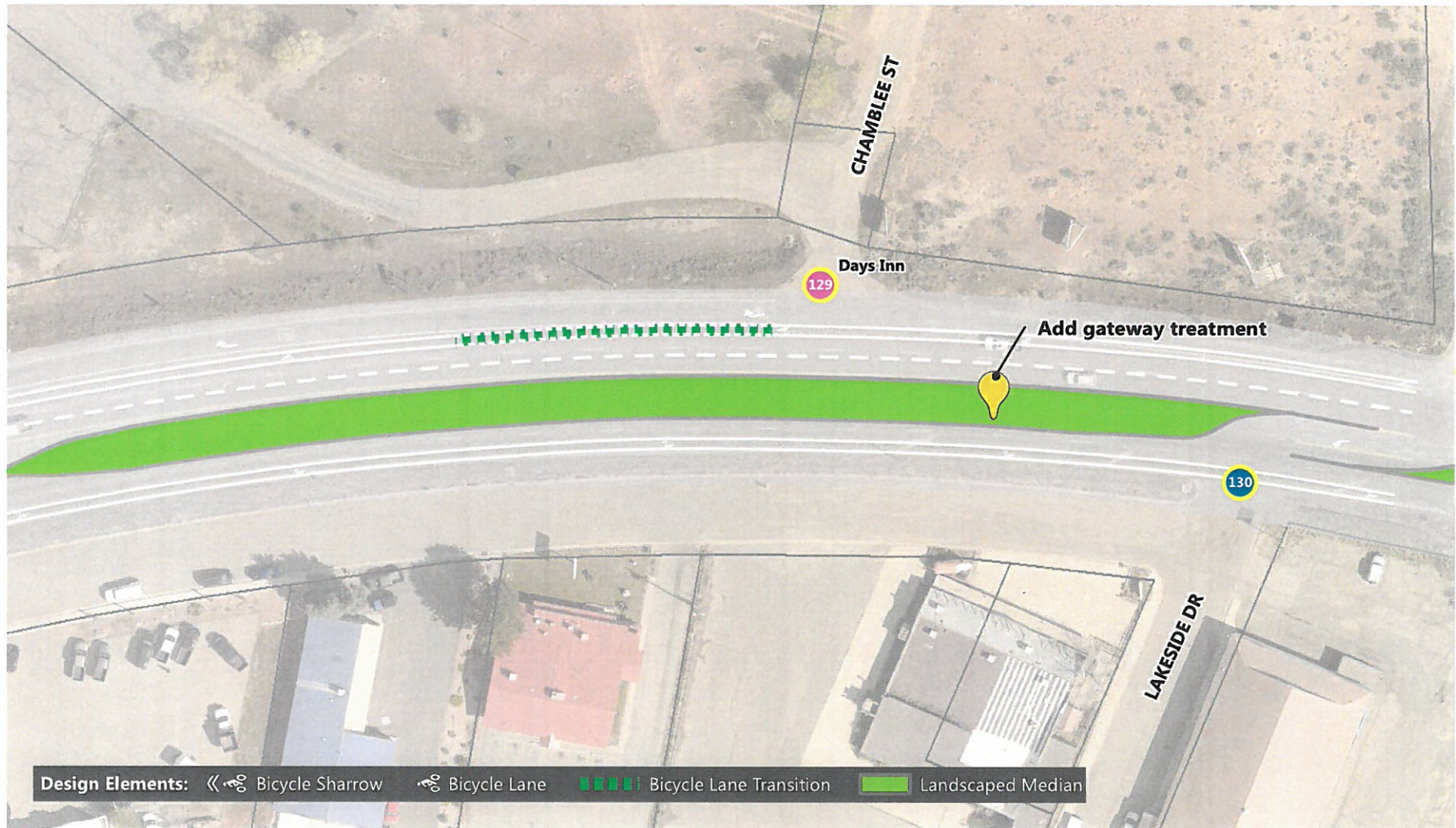
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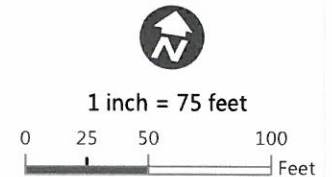


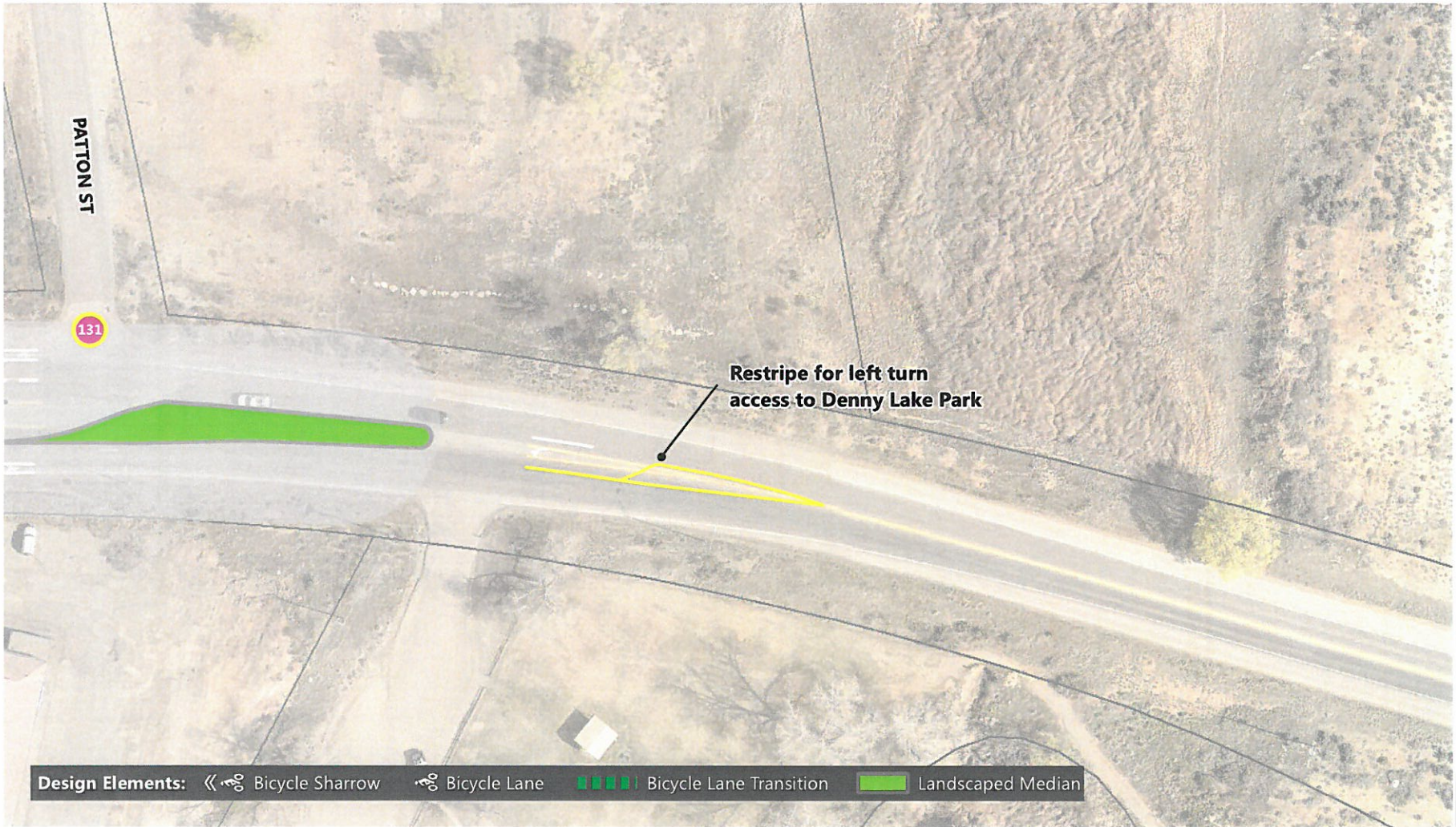




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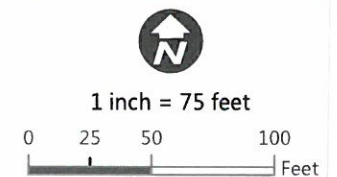
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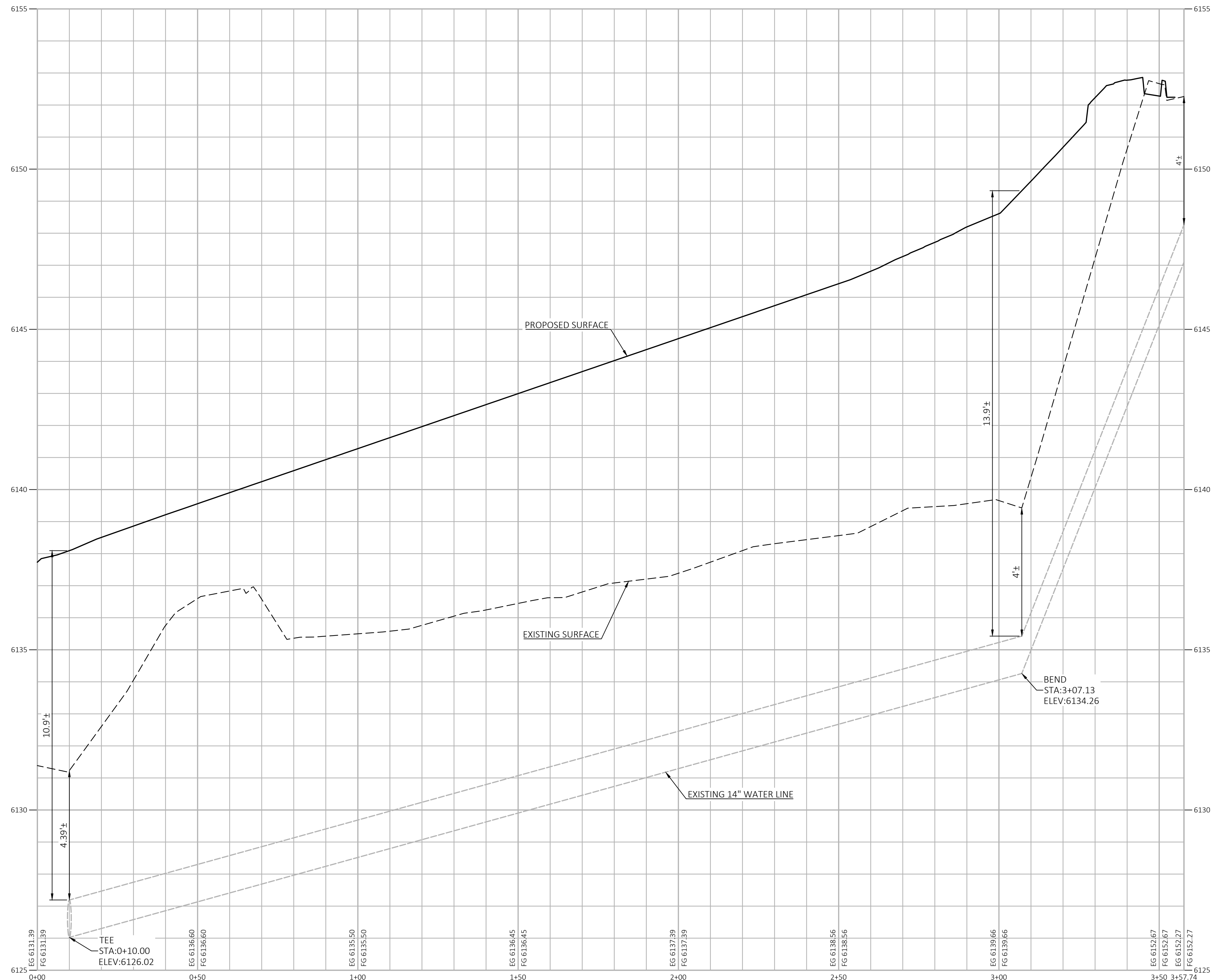
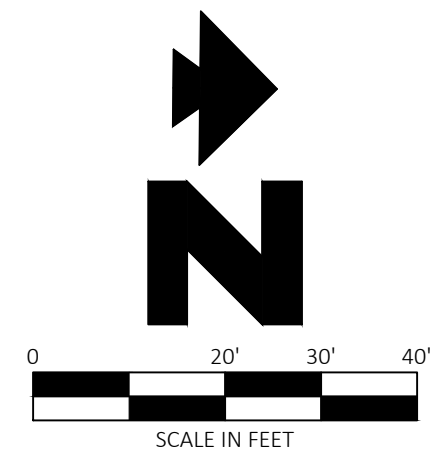
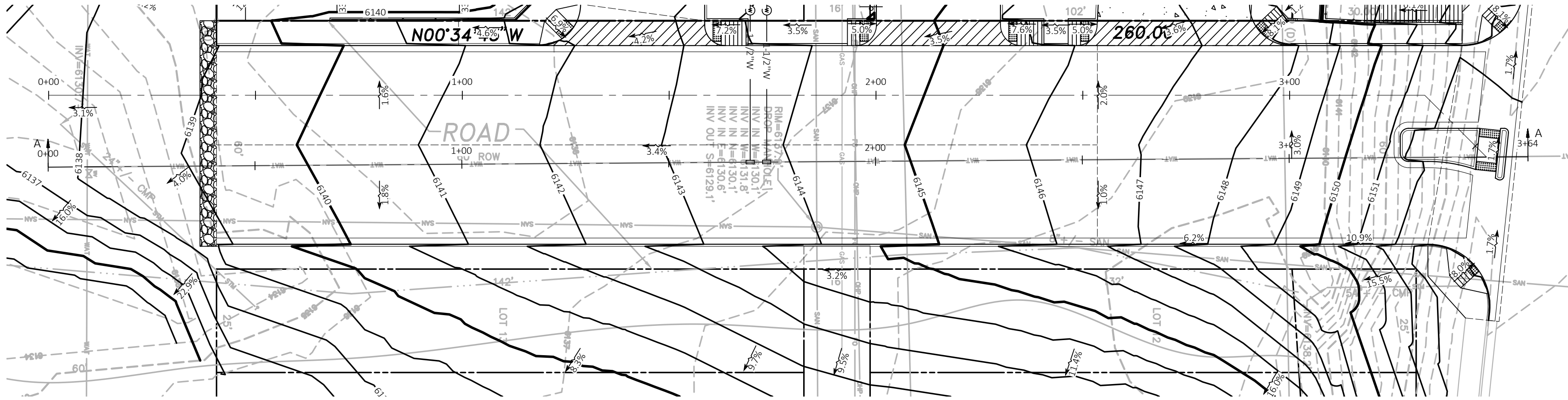
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FRESNO, CA 93711
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CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, CO

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	2/7/2023
REVISION	REV-2

EXISTING WATER LINE
PROFILE

SHEET TITLE
SHEET NUMBER

EX1

GEOTECHNICAL INVESTIGATION REPORT

**Proposed Quick N Clean Carwash
1511 Main Street
Cortez, Colorado**

Yeh Project No.: 222-475

November 10, 2022

Prepared for:

**3K1 Consulting Services, LLC
11811 N. Tatum Boulevard, Suite 1051
Tucson, Arizona 85028**

Attn: Mr. Nick Barber

Prepared by:

**Yeh and Associates, Inc.
570 Turner Dr. Suite D
Durango, CO. 81303
Phone: 970-475-9590**

GEOTECHNICAL INVESTIGATION REPORT

Proposed Quick N Clean Carwash
1511 Main Street
Cortez, Colorado

Yeh Project No.: 222-475

November 10, 2022

Prepared by:



Roger K. Southworth, P.E.
Senior Project Engineer

Reviewed by:

Marty Skyrman, P.E.
Senior Project Engineer

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1.0 PURPOSE AND SCOPE OF STUDY

This report presents the results of our geotechnical investigation for the carwash that will be constructed in Cortez, Colorado. This investigation was performed in general accordance with our Proposal No. 222-475 dated October 13, 2022. Our scope of services included a field exploration, laboratory testing, geotechnical engineering analyses, and preparation of this report.

The purposes of this investigation were to evaluate the subsurface conditions on the site and to develop geotechnical recommendations to guide design and construction of the proposed carwash. Our scope of services included the following:

- Drilling soil borings to evaluate the subsurface conditions in the proposed building and pavement areas.
- Laboratory testing of the soils encountered during the field exploration to evaluate pertinent engineering properties of the soil.
- Foundation design recommendations, including allowable bearing pressure, approximate depth to bearing stratum, and estimated movement.
- Floor slab design considerations and floor slab subgrade preparation recommendations.
- Pavement subgrade preparation and recommended pavement sections.
- Estimated soil percolation rate for detention basin design
- Earthwork, including recommendations for fill placement and compaction, suitability of the site soil for reuse as engineered fill, and subgrade preparation.
- Discussion of geotechnical conditions that could impact construction, such as subgrade stabilization, hard rock excavation, and drainage.

2.0 PROPOSED CONSTRUCTION

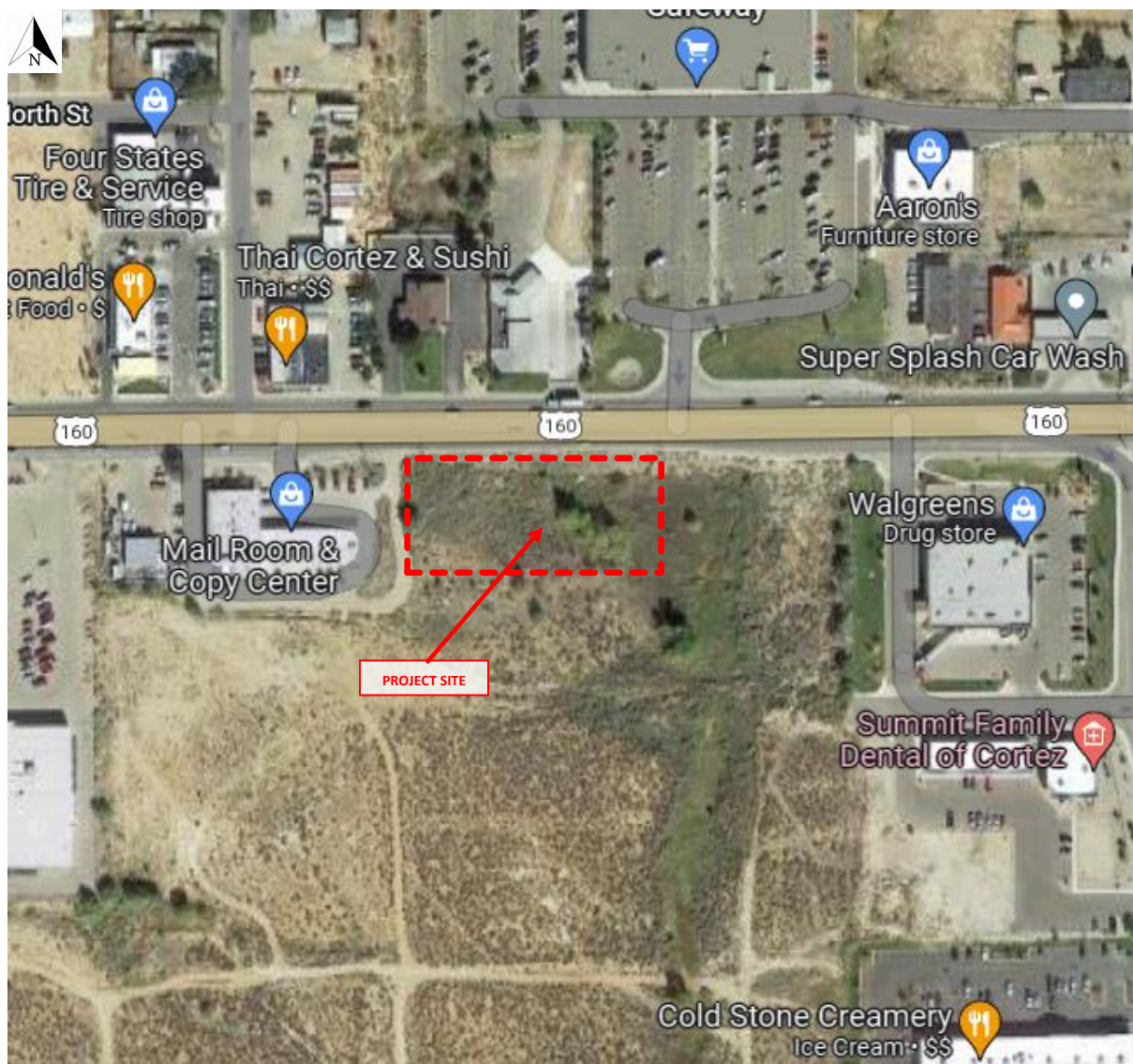
The project will consist of constructing a carwash in Cortez, Colorado. The location of the project site is depicted on the following Figure 1, *Project Location Map*. The facility will include a one-story building with a footprint of approximately 5,380 square feet, a parking lot and drives, a detention pond, and associated infrastructure. It was assumed that the building will have maximum column loads of less than 100 kips and maximum wall loads of less than 3 kips per linear foot.

The *Grading Plan* for the project prepared by CEI Engineering Associates, Inc dated October 4, 2022 indicates that a finish floor elevation of El. 6142.5 feet is planned for the building. The site grades in the proposed building area currently vary from about El. 6138 to 6142 feet. The finish

floor of the building will therefore vary from about ½ foot lower to 4 feet higher than the current site grades.

The project site slopes down from the west towards the east approximately 11 feet, with elevations ranging from about El. 6136 to 6147 feet. The final site grades in the western portion of the site will be within about 1 foot of the current site grades. The final site grades in the eastern portion of the site will be about 3 to 10 feet higher than the current site grades. We should be contacted if this information is incorrect so that we can determine if a revision of the recommendations contained herein is necessary.

Figure 1 – Project Location Map



3.0 SITE CONDITIONS

The project site was vacant and vegetated with native grasses, brush, and small trees at the time of the field investigation. The site slopes down from the west towards the east approximately 11 feet. The site is on the order of 3 to 18 feet lower than East Main Street, which is located immediately north of the site. The site is bounded by vacant land to the south and east of the site, and by a strip shopping center to the west of the site. A site photograph is provided in the following Figure 2.

Figure 2 –Site Photograph



Project site looking north from near the southeast property corner

4.0 SUBSURFACE INVESTIGATION

4.1 Field Exploration

Eight borings were drilled for this project to depths ranging from approximately 5 to 10 feet. Four of the borings were terminated due to auger refusal in sandstone. The other four borings were terminated at a depth of 5 feet, prior to encountering the sandstone. The approximate boring locations are indicated on the *Boring Location Plan* attached in Appendix A.

Samples of the subsurface materials were obtained from the borings at select depths by driving a split-spoon sampler. Bulk samples of the soil were recovered from auger cuttings as the borings were advanced. The samples were transported to our laboratory where they were examined by the project geotechnical engineer and a program of laboratory testing was prepared.

Penetration resistance measurements were made by driving the samplers into the subsurface materials with a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 12 inches, after an initial penetration of 6 inches for the standard sampler, constitutes the N-value as shown on the boring logs. The N-values can be correlated to the relative density of granular soil and the consistency of cohesive soil.

Water levels were recorded in each boring at completion of the drilling operations. The borings were backfilled with the auger spoil after the water level readings were obtained. The water level readings are presented on the boring logs.

The drilling operations were monitored by a Yeh and Associates geotechnical engineer. The engineer prepared field logs documenting the soil conditions encountered, groundwater levels, standard penetration test blow counts (N-values), sampling intervals, and types of samples obtained. The field logs were used by the project geotechnical engineer as an aid in preparing the final boring logs. Copies of the boring logs are presented in Appendix B. Our scope of services did not include survey of the boring locations.

4.2 Laboratory Testing

The recovered soil samples were classified by the project geotechnical engineer in accordance with the Unified Soil Classification System (USCS). Laboratory tests were then performed on select samples to evaluate the pertinent engineering properties of the soil. The laboratory testing was conducted in general accordance with the American Society for Testing and Materials (ASTM) test procedures. The following laboratory tests were performed for this evaluation:

- Water Content
- Dry Unit Weight
- Liquid and Plastic Limits
- Swell/Compression Potential
- Percent Passing No. 200 Sieve

The laboratory test results are presented on the boring logs.

5.0 SUBSURFACE CONDITIONS

Lean clay with variable sand content was encountered in the borings to depths of about 6 to 9½ feet, underlain by sandstone that extended to the boring termination depths. Sandstone was not encountered in Borings B-2 through B-5, which were terminated at a depth of 5 feet, prior to encountering the sandstone. The consistency of the lean clay varied from medium stiff to hard.

Groundwater was not encountered in the borings during drilling. Variations in the groundwater level may occur seasonally. The magnitude of the variation will be largely dependent upon the amount of spring snowmelt, duration and intensity of precipitation, irrigation practices, site grading changes, and the surface and subsurface drainage characteristics of the surrounding area. Perched water tables may be present but were not encountered in the borings.

6.0 RECOMMENDATIONS

6.1 Design Considerations

The borings indicate that the project site is underlain by highly expansive clay, which will experience volume change with variations in its water content. Structures and related improvements situated within the clay will experience large movements if the moisture content of the clay increases. The foundations and floor slabs should therefore be underlain by non-expansive fill and moisture conditioned soil in order to reduce the amount of movement due to clay shrink/swell. Recommendations for treatment of the foundation/floorslab subgrade in order to reduce the potential for excessive movement are presented herein.

6.2 Foundations

The proposed carwash can be supported by spread footings. However, the site soil is expansive and is not recommended for direct foundation support. The footings should be underlain by a layer of engineered fill having a minimum thickness of 24 inches in order to reduce the potential for movement due to soil shrink/swell. Foundation subgrade preparation is discussed in greater detail in the **Earthwork** section of this report.

Foundations bearing on the newly placed engineered fill can be designed for a maximum net allowable bearing pressure of 2,500 pounds per square foot (psf). The allowable bearing pressure applies to dead load plus design live load conditions. The design bearing pressure can be increased by one-third or as allowed by local code, when considering transient loads, such as wind or seismic.

Resistance to lateral loads will be provided by the passive earth pressure acting against the footings and the frictional resistance acting along the base of the footings. An ultimate passive earth pressure resistance of 300 pounds per square foot per foot (psf/ft) is recommended for design. A coefficient of sliding resistance of 0.35 is recommended for design. The lateral load resistance should incorporate a factor of safety of at least 1.5.

The foundations should be founded a minimum of 32 inches below the final site grade for frost considerations. Interior footings in heated areas should have a minimum embedment depth of 12 inches. Strip footings should have a minimum width of 16 inches and isolated column pad foundations should have a minimum dimension of 24 inches.

We estimate that the total post-construction movement of foundations supported as recommended herein will be on the order of 1 inch or less. We estimate that the differential movement between comparably sized and loaded foundations could equal the total foundation movement. Additional foundation movement can occur if water from any source infiltrates the foundation subgrade. Therefore, proper drainage should be provided in the final design and during construction.

Foundation excavations should be observed by the project geotechnical engineer, or a representative of the engineer, to document that the foundation bearing stratum is similar to the conditions encountered in the borings. If the subsurface conditions encountered differ from those presented herein, supplemental recommendations may be required.

6.3 Floor Slab

A slab-on-grade floor can be used for the proposed carwash. However, the site soil is expansive and is not recommended for direct floor slab support. The floor slab should therefore be underlain by a minimum of 18 inches of non-expansive fill to reduce the potential for floor slab movement due to shrink/swell of the expansive clays. The floor slab subgrade should be prepared in accordance with the recommendations presented in the **Earthwork Recommendations** section of this report.

Additional floor slab design and construction recommendations are as follows:

- Positive separations and/or isolation joints should be provided between slabs and all foundations, columns, or utility lines to allow independent movement.
- Control joints should be provided in slabs to control the location and extent of cracking.
- Interior trench backfill placed beneath slabs should be compacted in accordance with recommended specifications outlined herein.
- If moisture-sensitive floor coverings are used on interior slabs, barriers to reduce the potential for vapor rise through the slab are recommended.
- Floor slabs should not be constructed on frozen subgrade.
- Other design and construction considerations, as outlined in Section 302.1 R of the "ACI Design Manual", are recommended.

6.4 Seismic Considerations

The building should be designed to resist lateral forces generated by earthquake shaking in accordance with the current building codes and applicable design practice. The site is classified as Site Class C “Very Dense Soil and Soft Rock” per Table 20.3-1 *Site Classification* in ASCE-7 (ASCE 2016). The site class was based on the conditions encountered in our shallow exploratory soil borings and our knowledge of the soil conditions in the site vicinity. The soil characteristics extending beyond the depth of our borings were assumed for the purposes of providing this site classification. Values for use in seismic design are presented in the following table.

The design parameters were determined using a website application (www.seismicmaps.org) developed by the Structural Engineers Association of California (SEAOC) and California’s Office of Statewide Health Planning and Development (OSHPD). The program uses the United States Geological Survey (USGS) web services to retrieve seismic design data and present it in a report format. A copy of the computer output from this program is attached in Appendix C.

Table 1 – Seismic Design Parameters

Seismic Parameter	Value
Latitude, degrees	37.348462
Longitude, degrees	-108.566535
Site Class	C
S_s , Seismic Factor for Site Class D at 0.2 seconds	0.172
S_1 , Seismic Factor for Site Class D at 1 second	0.055
F_a , Site Amplification Factor at 0.2 seconds	1.3
F_v Site Amplification Factor at 1 second	1.5
S_{MS} , Site Specific Response Parameter at 0.2 seconds	0.223
S_{M1} , Site Specific Response Parameter at 1 second period	0.082
$S_{DS} = 2/3 S_{MS}$, Design Spectral Acceleration Parameter at Short Periods	0.149
$S_{D1} = 2/3 S_{M1}$, Design Spectral Acceleration Parameter at 1 second period	0.055

6.5 Drainage Considerations

Properly functioning foundations and floor slabs require appropriately constructed and maintained site drainage conditions. Therefore, it is extremely important that positive drainage be provided during construction and maintained throughout the life of the structure. It is also important that proper planning and control of landscape and irrigation be performed.

The building should be provided with downspouts extensions to direct water away from the structure. The downspouts should discharge into drainage swales or into the storm sewer system.

Infiltration of water into utility or foundation excavations must be prevented during construction. Backfill against footings, exterior walls, and in utility and sprinkler line trenches should be well compacted and free of all construction debris to reduce the potential for moisture infiltration. If utility line trenches are backfilled with the on-site clay, care should be taken not to overcompact the backfill. However, if the trenches are backfilled with granular soil then a clay plug should be placed in the trench adjacent to the building to reduce the potential for water following the trench back under the structure.

In areas where sidewalks, patios, or driveways do not immediately adjoin the structure, the ground surface adjacent to the structure should slope down at a grade of about five percent for a distance of at least 10 feet from the perimeter walls. Planters or other surface features that could retain water adjacent to the structure should be avoided. If planters and/or landscaping are adjacent to or near the structure, we recommend the following:

- Grades should slope away from the structure.
- Planters should slope away from the structure and should not pond water. Drains should be installed in enclosed planters to facilitate flow out of the planters.
- Watering should be kept to a minimum. Irrigation systems should be situated on the far side of any planting and away from the building to reduce the potential for infiltration beneath the structure from possible leaks.
- A minimum horizontal distance of 36 inches should be maintained between the building foundations and shallow-rooted plants. In a like manner, for deeper-rooted plants a minimum of 72 inches should be maintained between the building foundations and the plants. These deeper-rooted plants should also have a low water requirement.
- Trees should be planted no closer than a distance equal to one-half their mature height or fifteen feet, whichever is greater, from the building.

These recommendations will help reduce the potential for soil movement and the resulting distress but will not eliminate this potential.

6.6 Pavement

The project will include the construction of parking lots and drives. Based upon the conditions encountered in the borings it is anticipated that the pavement subgrade will consist of lean clay. Design traffic volumes were not provided for our analysis. It was assumed that the development would be subject to automobile and light truck traffic, with occasional moderately loaded delivery traffic. A pavement design life of 20 years was assumed for the analysis.

A revision of the recommended pavement sections may be necessary if the design traffic loading conditions are different than assumed. An evaluation of the type and volume of traffic that each portion of the parking lot will experience should be conducted to determine if the pavement sections presented herein are appropriate.

Table 2: Recommended Pavement Sections

Traffic Area	Asphalt Pavement	Aggregate Base Couse
Parking Stalls	3 inches	6 inches
Access Drives	4 inches	8 inches

The "design life" of a pavement is defined as the expected life at the end of which reconstruction of the pavement will need to occur. Normal maintenance, including crack sealing, slurry sealing, and/or chip sealing, should be performed during the life of the pavement.

A rigid pavement section is recommended in loading and unloading areas, at dumpster locations, and access drives due to the high static loads imposed by the vehicles in these areas. A minimum six-inch thick Portland cement concrete pavement bearing on compacted subgrade is recommended. The pavement should be reinforced with No. 4 rebar placed at 24 inches on center in each direction.

Bituminous pavement should be constructed of dense-graded, central plant-mix, asphalt concrete. Base course, Portland cement, and asphalt concrete should conform to the City of Cortez standard specifications. Material and compaction requirements should conform to recommendations presented in the **Earthwork Recommendations** section of this report.

The site soils are expansive and differential heave may occur. The pavement service life may be reduced due to water infiltration into the subgrade soils and heave induced cracks in the pavement. This will result in a softening and loss of strength of the subgrade soils. A regular maintenance program to seal pavement cracks will help prolong the life of the pavement.

Pavement design methods are intended to provide an adequate thickness of structural materials over a particular subgrade such that wheel loads are reduced to a level the subgrade can support. The support characteristics of the subgrade for pavement design do not account for shrink and swell movements of an expansive soil subgrade, such as the soils encountered on this project. Consequently, the pavement may be adequate from a structural standpoint, yet still experience cracking and deformation due to shrink/swell movement of the subgrade. It is therefore important to minimize moisture changes in the subgrade to reduce shrink/swell movements. The pavement surface, subbase surface, and adjacent areas should be well drained. Excessive watering of landscaped areas adjacent to pavements should be avoided. Proper maintenance should be performed on cracks in the pavement surface to prevent water from penetrating into

the base, subbase, or subgrade material. Even with these precautions, some movement and related cracking may still occur, requiring periodic maintenance.

6.6 Detention Basin Design

A detention basin will be constructed in the southeast corner of the site. The basin is planned to have a base elevation of El. 6135 and will extend approximately 1 to 2 feet below the current site grades.

Boring B-7 was drilled in the area of the proposed detention basin. The boring encountered lean clay to a depth of approximately 6 feet underlain by sandstone bedrock. According to information provided in the report entitled *Regulation No. 43 – On-Site Wastewater Treatment System Regulation* by the Colorado Water Quality Control Commission, the lean clay has an estimated percolation rate of 90 minutes per inch.

7.0 EARTHWORK RECOMMENDATIONS

Site preparation and earthwork operations should be performed in accordance with applicable codes, safety regulations, and other local, state, or federal guidelines. Earthwork on the project should be observed and evaluated by Yeh and Associates (Yeh). The evaluation of earthwork should include observation and testing of engineered fills, subgrade preparation, foundation bearing soils, and other geotechnical conditions exposed during the construction of the project.

7.1 Site Grubbing and Stripping

Topsoil, vegetation, tree root balls, and any other deleterious materials should be removed from the proposed building and pavement areas. All exposed surfaces should be free of mounds and depressions, which could prevent uniform compaction.

7.2 Building Pad Subgrade Preparation

Following site clearing operations, the building pad should be cut, as required, to a minimum depth of 18 inches below the proposed bottom of floor slab. The foundation areas should be overexcavated to a minimum depth of 24 inches below the design foundation bearing grade. The foundation overexcavations do not have to extend beyond the outside edges of the foundations unless required for construction purposes.

The base of foundation/floor slab overexcavations should then be scarified to a minimum depth of 8 inches, moisture conditioned to a water content between 0 and 4 percentage points above the optimum water content, and recompacted to between 93 and 97 percent of the standard

Proctor maximum dry density (ASTM D 698). The site can then be raised to the design finish grade with imported non-expansive fill that meets the requirements presented in Section 7.5.

The perimeter foundation excavations on the exterior side of the building should be backfilled with on-site clay to reduce the potential for surface water ponding in the non-expansive fill underlying the foundations. This clay backfill should extend from the base of the foundation to the planned finish grade. The ground surface should be sloped away from the building to promote drainage away from the structure.

7.3 Pavement Subgrade Preparation

Following site clearing operations, pavement areas should be cut, as required, to the design finish grade. The subgrade should then be scarified to a minimum depth of 8 inches, moisture conditioned as required, and recompact in accordance with the recommendations presented in Section 7.6. The site can then be raised to the design finish grade with engineered fill.

The pavement subgrade should be proof rolled under the observation of the project geotechnical engineer, or a representative of the engineer, to verify stability immediately prior to placing the aggregate base course. Proof rolling should be accomplished with a fully loaded water truck or similar heavy rubber-tired equipment weighing a minimum of 10 tons and should include multiple equipment passes in two directions. Any soft, loose, or otherwise unsuitable material detected during proof rolling operations should be removed and replaced with engineered fill or otherwise stabilized.

7.4 Subgrade Preparation Considerations

The lean clay deposits exhibit relatively low strength characteristics and may be unstable, especially during wet weather. In areas where unsuitable material is encountered, placement of a geogrid, coarse aggregate, or other forms of subgrade stabilization could be necessary to develop a suitable subgrade for pavement support. The actual method of subgrade stabilization, if required, should be determined by the project geotechnical engineer at the time of construction.

7.5 Fill Material

The existing site soil can be used as fill in the proposed pavement areas provided any deleterious material is removed prior to reuse. It should be noted that these deposits are moisture sensitive and that it may be necessary to adjust the moisture content of the soil to achieve the required compaction.

The existing site soil is expansive and is not recommended for use as fill in the planned building areas. Imported fill should consist of granular fill with no more than 35 percent passing the No. 200 sieve, maximum liquid limit of 40 and maximum PI of 15. Samples of any imported material proposed for use on the project should be submitted to our office for approval and testing at least three days prior to stockpiling at the site.

7.6 Compaction Recommendations

Fill should be placed in horizontal lift thicknesses that are suitable for the compaction equipment being used but in no case should exceed 8 inches by loose measure. Fill should be moisture conditioned and compacted in accordance with the criteria shown in Table 3.

Table 3 - Compaction Requirements

Fill Location	Material Type	Percent Compaction	Moisture Content
Scarified and Recompacted Building Pad and Pavement Subgrades	On-Site Soils	93 to 97 (ASTM D698)	0 to +4% of optimum
Engineered Fill for Building Pad Areas	Imported Granular Fill	95 minimum (ASTM D698)	± 3 % of optimum
Engineered Fill for Pavement Areas	On-Site Soils or Imported Fill	95 minimum (ASTM D 698)	± 3 % of optimum
Aggregate Base Course (ABC) for Pavement Areas	CDOT Class 6 ABC	95 minimum (ASTM D1557)	± 3 % of optimum

Engineered fill should be placed and compacted in horizontal lifts, using equipment and procedures that will produce a uniform fill with the recommended moisture contents and densities throughout the lift.

Fill should be keyed into any slopes that are steeper than 4 horizontal to 1 vertical (4H:1V). The benches should be well keyed and a minimum of 8 feet wide.

We recommend that a representative of Yeh and Associates monitor construction operations to verify that the soil exposed during construction is consistent with those encountered during our subsurface exploration, and that foundations, floor slabs, and pavement are constructed in accordance with the recommendations presented herein.

8.0 LIMITATIONS

The recommendations in this report are based on our field observations, laboratory testing, and our present understanding of the proposed construction. It is possible that subsurface conditions can vary beyond the limits explored. If the conditions found during construction differ from those described in this report, please notify us immediately so that we can review our report considering those conditions and provide supplemental recommendations as necessary. We should also review this report if the scope of the proposed construction, including the proposed loads or structure locations, changes from that described in this report.

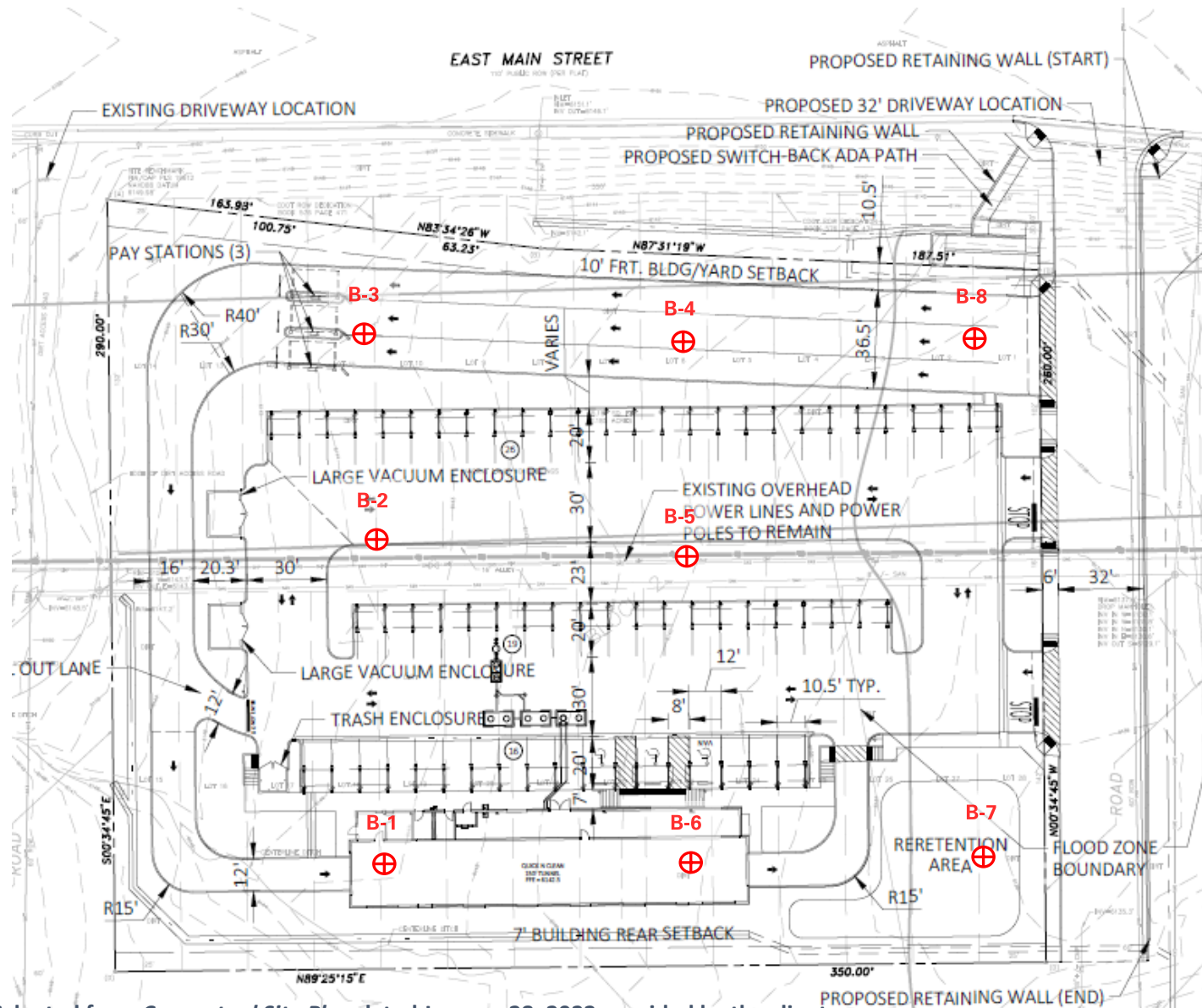
The scope of services for this project did not include, specifically or by implication, any environmental or biological (e.g. mold, fungi, and bacteria) assessment of the site or identification or prevention of pollutants, or conditions or biological conditions. If the owner is concerned about the potential for such contamination, conditions or pollution, other studies should be undertaken and a professional in that field should be consulted.

Yeh and Associates has prepared this report for the exclusive use of 3K1 Consulting Services. This report was prepared in substantial accordance with the generally accepted standards of practice for geotechnical engineering as they exist in the site area at the time of our investigation. No warranty is expressed or implied. The recommendations in this report are based on the assumption that Yeh and Associates will conduct an adequate program of construction testing and observation to evaluate compliance with our recommendations.

APPENDIX A

BORING LOCATION PLAN





Adapted from Conceptual Site Plan dated January 28, 2022 provided by the client

Not to Scale



BORING LOCATION DIAGRAM

PROPOSED QUICK N CLEAN CARWASH

Job No.: 222-475

FIGURE A-1

APPENDIX B

BORING LOGS AND LEGEND





Legend for Symbols Used on Borehole Logs

Sample Types



Bulk Sample of
auger/odex cuttings



Standard
Penetration Test
(ASTM D1586)

Drilling Methods



SOLID-STEM
AUGER

Lithology Symbols (see Boring Logs for complete descriptions)



Lean Clay (CL)



Sandstone

Lab Test Standards

Moisture Content	ASTM D2216
Dry Density	ASTM D7263
Sand/Fines Content	ASTM D421, ASTM C136, ASTM D1140
Atterberg Limits	ASTM D4318
AASHTO Class.	AASHTO M145, ASTM D3282
USCS Class.	ASTM D2487
(Fines = % Passing #200 Sieve Sand = % Passing #4 Sieve, but not passing #200 Sieve)	

Other Lab Test Abbreviations

pH	Soil pH (AASHTO T289-91)
S	Water-Soluble Sulfate Content (AASHTO T290-91, ASTM D4327)
Chl	Water-Soluble Chloride Content (AASHTO T291-91, ASTM D4327)
S/C	Swell/Collapse (ASTM D4546)
UCCS	Unconfined Compressive Strength (Soil - ASTM D2166, Rock - ASTM D7012)
R-Value	Resistance R-Value (ASTM D2844)
DS (C)	Direct Shear cohesion (ASTM D3080)
DS (phi)	Direct Shear friction angle (ASTM D3080)
Re	Electrical Resistivity (AASHTO T288-91)
PtL	Point Load Strength Index (ASTM D5731)

Notes

1. Visual classifications are in general accordance with ASTM D2488, "Standard Practice for Description and Identification of Soils (Visual-Manual Procedures)".
2. "Penetration Resistance" on the Boring Logs refers to the uncorrected N value for SPT samples only, as per ASTM D1586. For samples obtained with a Modified California (MC) sampler, drive depth is 12 inches, and "Penetration Resistance" refers to the sum of all blows. Where blow counts were > 50 for the 3rd increment (SPT) or 2nd increment (MC), "Penetration Resistance" combines the last and 2nd-to-last blows and lengths; for other increments with > 50 blows, the blows for the last increment are reported.
3. The Modified California sampler used to obtain samples is a 2.5-inch OD, 2.0-inch ID (1.95-inch ID with liners), split-barrel sampler with internal liners, as per ASTM D3550. Sampler is driven with a 140-pound hammer, dropped 30 inches per blow.
4. "ER" for the hammer is the Reported Calibrated Energy Transfer Ratio for that specific hammer, as provided by the drilling company.



Boring Began: 10/25/2022

Total Depth: 8.5 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Groundwater Levels:

Symbol	Dry	-	-
Depth	-	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 8.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, very stiff to hard, moist.							
				12-16-11	27			7.0	102.6	72.4	26	14		2.8 ft - 1.9% swell under 200 psf load
	5			11-15-15	30			4.6		52.5				
				13-25-50	75									
							8.0 - 8.5 ft. SANDSTONE; light brown, very hard.							
Bottom of Hole at 8.5 ft.														8.5 ft - Auger refusal at 8.5 feet



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Groundwater Levels:

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	6.9		77.9				

5

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Groundwater Levels:

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.							

5

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Groundwater Levels:

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	9.6		68.4	32	19		

5

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 5.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Groundwater Levels:

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 5.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.							

5

Bottom of Hole at 5.0 ft.



Boring Began: 10/25/2022

Total Depth: 10.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyрман

Groundwater Levels:

Symbol	Dry	-	-
Depth	-	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 9.5 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, stiff, moist.	8.1		75.1				
				8-8-7	15			9.2	112.9	79.1	27	15		2.8 ft - 4.9% swell under 200 psf load
	5						changing to hard.							
				12-17-20	37			15.2	110.6					5.8 ft - 0.8% swell under 500 psf load
							changing to very stiff.							
				7-5-12	17			17.6		83				
	10						9.5 - 10.0 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 10.0 ft.

10.0 ft - Auger refusal at 10 feet



Boring Began: 10/25/2022

Total Depth: 8.5 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Groundwater Levels:

Symbol	Dry	-	-
Depth	-	-	-
Date	-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 6.0 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, medium stiff, moist.	10.4		68.5				
				2-2-2	4			22.2		74				
	5			10-31-50	81			13.1		59.9				
				50	50		6.0 - 8.5 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 8.5 ft.

8.5 ft - Auger
refusal at 8.5 feet



Boring Began: 10/25/2022

Total Depth: 10.0 ft

Weather Notes: 50 degrees,

Boring Completed: 10/25/2022

Ground Elevation:

sunny

Drilling Method(s): Solid-Stem Auger

Coordinates:

Inclination from Horiz.: Vertical

Location: Cortez, Colorado

Night Work: ☐

Driller: Geomat

Drill Rig: CME 55 Truck

Logged By: R. Southworth

Hammer: Automatic (hydraulic), ER: %

Final By: M. Skyman

Groundwater Levels:

Symbol	Depth	Date	Dry	-	-
			-	-	-

Elevation (feet)	Depth (feet)	Sample Type/Depth	Drilling Method	Soil Samples		Lithology	Material Description	Moisture Content (%)	Dry Density (pcf)	Fines Content (%)	Atterberg Limits		AASHTO & USCS Classifi- cations	Field Notes and Other Lab Tests
				Blows per 6 in	Penetration Resistance						Liquid Limit	Plasticity Index		
							0.0 - 9.5 ft. LEAN CLAY with sand to SANDY LEAN CLAY (CL), light brown, medium stiff, moist.							
				2-2-2	4		changing to stiff.	18.9		65.8				
	5			2-4-5	9		changing to very stiff.	15.2		89.1				
				5-10-14	24									
	10						9.5 - 10.0 ft. SANDSTONE; light brown, very hard.							

Bottom of Hole at 10.0 ft.

10.0 ft - Auger
refusal at 10 feet

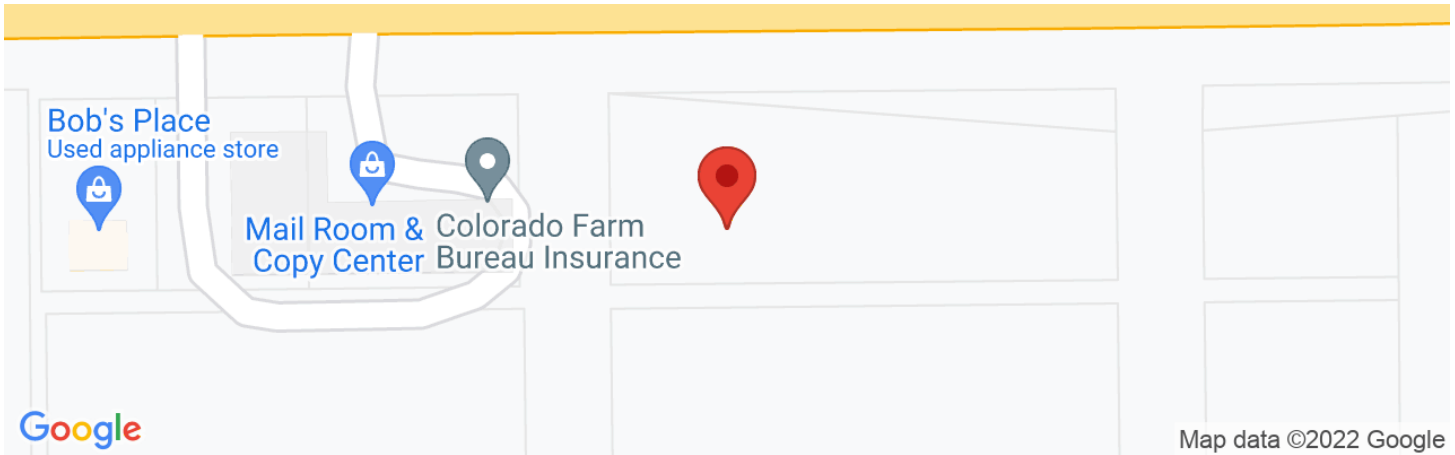
APPENDIX C

SEISMIC DESIGN DATA





Latitude, Longitude: 37.34846245, -108.56653587



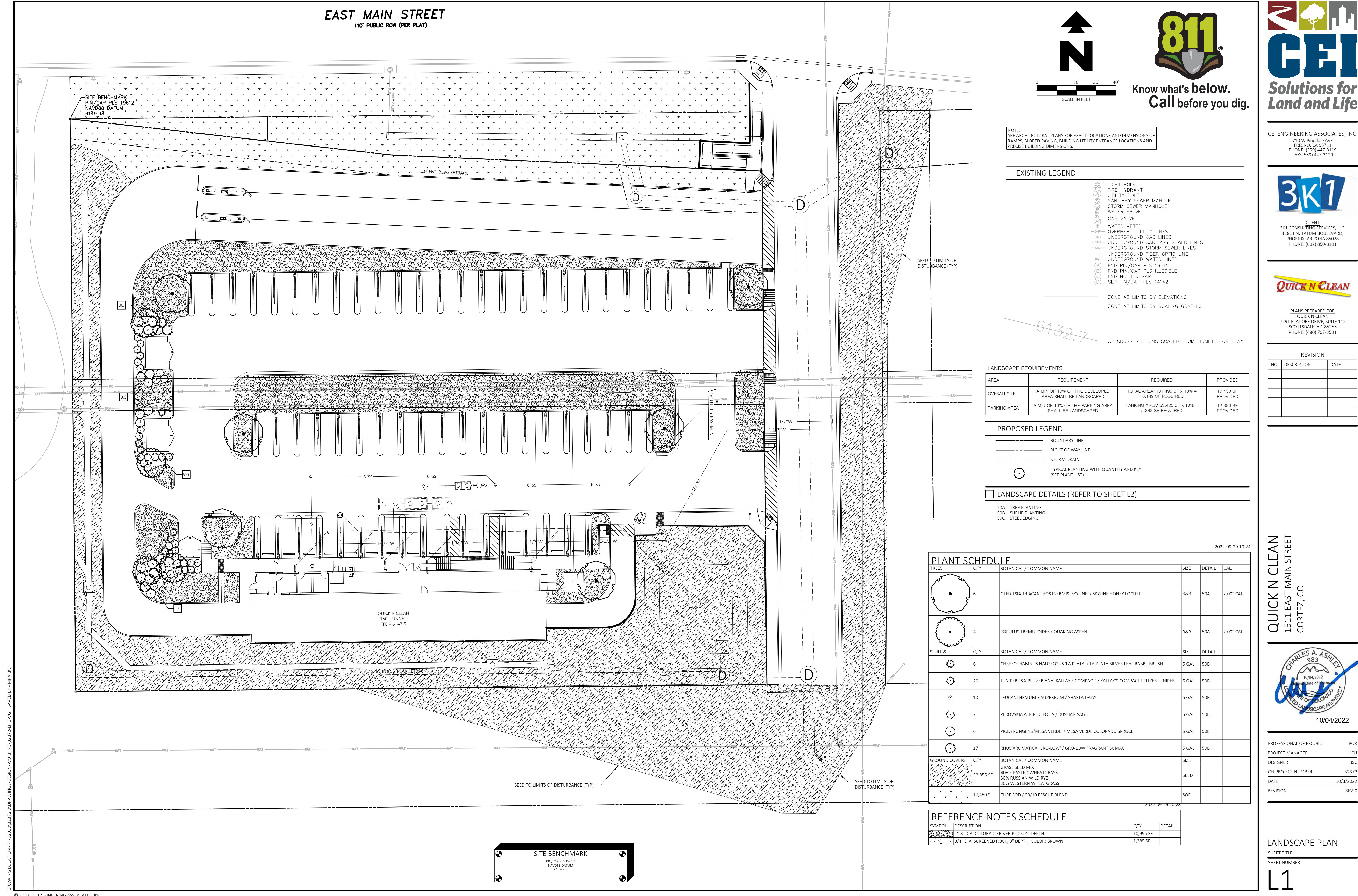
Date	11/9/2022, 3:51:47 PM
Design Code Reference Document	ASCE7-16
Risk Category	II
Site Class	C - Very Dense Soil and Soft Rock

Type	Value	Description
S_S	0.172	MCE_R ground motion. (for 0.2 second period)
S_1	0.055	MCE_R ground motion. (for 1.0s period)
S_{MS}	0.223	Site-modified spectral acceleration value
S_{M1}	0.082	Site-modified spectral acceleration value
S_{DS}	0.149	Numeric seismic design value at 0.2 second SA
S_{D1}	0.055	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	A	Seismic design category
F_a	1.3	Site amplification factor at 0.2 second
F_v	1.5	Site amplification factor at 1.0 second
PGA	0.087	MCE_G peak ground acceleration
F_{PGA}	1.3	Site amplification factor at PGA
PGA_M	0.114	Site modified peak ground acceleration
T_L	4	Long-period transition period in seconds
S_{sRT}	0.172	Probabilistic risk-targeted ground motion. (0.2 second)
S_{sUH}	0.181	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
S_{sD}	1.5	Factored deterministic acceleration value. (0.2 second)
S_{1RT}	0.055	Probabilistic risk-targeted ground motion. (1.0 second)
S_{1UH}	0.059	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S_{1D}	0.6	Factored deterministic acceleration value. (1.0 second)
$PGAd$	0.5	Factored deterministic acceleration value. (Peak Ground Acceleration)
PGA_{UH}	0.087	Uniform-hazard (2% probability of exceedance in 50 years) Peak Ground Acceleration
C_{RS}	0.948	Mapped value of the risk coefficient at short periods
C_{R1}	0.927	Mapped value of the risk coefficient at a period of 1 s
C_V	0.7	Vertical coefficient

DISCLAIMER

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0 20' 30' 40'

SCALE IN FEET

Know what's below.
Call before you dig.

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
RAMPS, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS AND
PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

LIGHT POLE

FIRE HYDRANT

UTILITY POLE

SANITARY SEWER MAHOLE

STORM SEWER MAHOLE

WATER VALVE

GAS VALVE

WATER METER

OVERHEAD UTILITY LINES

UNDERGROUND GAS LINES

UNDERGROUND SANITARY SEWER LINES

UNDERGROUND STORM SEWER LINES

UNDERGROUND FIBER OPTIC LINE

UNDERGROUND WATER LINES

FND PIN/CAP PLS 19612

FND PIN/CAP PLS ILLEGIBLE

FND NO 4 REBAR

SET PIN/CAP PLS 14142

ZONE AE LIMITS BY ELEVATIONS

ZONE AE LIMITS BY SCALING GRAPHIC

SEED TO LIMITS OF DISTURBANCE (TYP)

AE CROSS SECTIONS SCALED FROM FIRMETTE OVERLAY

LANDSCAPE REQUIREMENTS

PROPOSED LEGEND

BOUNDARY LINE

RIGHT OF WAY LINE

STORM DRAIN

TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

LANDSCAPE DETAILS (REFER TO SHEET L2)

SOA TREE PLANTING

SOB SHRUB PLANTING

SQQ STEEL EDGING

PLANT SCHEDULE					
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	CAL.
	6	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / SKYLINE HONEY LOCUST	B&B	SOA	2.00" CAL.
	4	POPULUS TREMULOIDES / QUAKING ASPEN	B&B	SOA	2.00" CAL.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	
	6	CHRYSOHAMNUS NAUSEOSUS 'LA PLATA' / LA PLATA SILVER LEAF RABBITBRUSH	5 GAL	SOB	
	29	JUNIPERUS X PFITZERIANA 'KALLAY'S COMPACT' / KALLAY'S COMPACT PFITZER JUNIPER	5 GAL	SOB	
	10	LEUCANTHEMUM X SUPERBUM / SHASTA DAISY	5 GAL	SOB	
	7	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL	SOB	
	6	PICEA PUNGENS 'MESA VERDE' / MESA VERDE COLORADO SPRUCE	5 GAL	SOB	
	17	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	SOB	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE		
	32,855 SF	GRASS SEED MIX 40% CEASTED WHEATGRASS 30% RUSSIAN WILD RYE 30% WESTERN WHEATGRASS	SEED		
	17,450 SF	TURF SOD / 90/10 FESCUE BLEND	SOD		

REFERENCE NOTES SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	1" - 3" DIA. COLORADO RIVER ROCK, 4" DEPTH	10,995 SF	
	3/4" DIA. SCREENED ROCK, 3" DEPTH, COLOR: BROWN	1,385 SF	

Solutions for
Land and Life

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PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
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REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, CO

10/04/2022

PROFESSIONAL OF RECORD	POR
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	10/3/2022
REVISION	REV-0

LANDSCAPE PLAN
SHEET TITLE
SHEET NUMBER

L1

- GENERAL NOTES
1.

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.

2.

CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.

3.

QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.

4.

IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.

5.

ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.

6.

CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.

7.

ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.

8.

THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.

9.

COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.

10.

IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.

11.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

12.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

13.

WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.

14.

ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.

15.

IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

16.

THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.

17.

ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 40% CRESTED WHEATGRASS, 30% RUSSIAN WILD RYE, 30% WESTERN WHEATGRASS BY WEIGHT @ 5 LBS / 1000 SF.

18.

SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX, IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.

19.

ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

19.

THE LANDSCAPE CONTRACTOR SHALL HAVE A SOILS ANALYSIS TEST CONDUCTED ON THE SITE PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR RESULTS. THIS WILL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENTS/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUBS, SOD, TREES). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT PRIOR TO INSTALLING ANY LANDSCAPING MATERIALS ONSITE.
- SOLID SOD NOTES

1.

ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.

2.

ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.

3.

CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.

4.

IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL; FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BE BLACK TO BROWN IN COLOR.

5.

ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.

6.

ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.

7.

PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.

8.

ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.

9.

FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

10.

WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

11.

IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER. SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING APART. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.

12.

CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.

13.

CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

14.

IF INSTALLATION OCCURS BETWEEN OCTOBER AND MAY ALL SOD AREAS TO BE OVER-SEEDED WITH ANNUAL RYEGRASS.
- PLANTING NOTES

1.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

2.

FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.

3.

LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.

4.

ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.

5.

TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.

6.

ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.

7.

TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)

8.

BACKFILL ALL TREES, SHRUBS, GROUNDCOVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.

9.

THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.

10.

ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.

11.

FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

12.

ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST

13.

ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.

14.

ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.

15.

IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.

16.

PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.

17.

CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.

18.

ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.

19.

ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.

20.

ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.

21.

NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.

22.

MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.

23.

A TOP DRESSING/MULCHING OF SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

24.

THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY OCT-APRIL
DECIDUOUS SHRUBBERY & TREES OCT-APRIL
EVERGREEN TREES OCT-APRIL
- PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

A.

GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

B.

REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

C.

MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.
- HERBICIDES NOTES

1.

APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.

2.

IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE

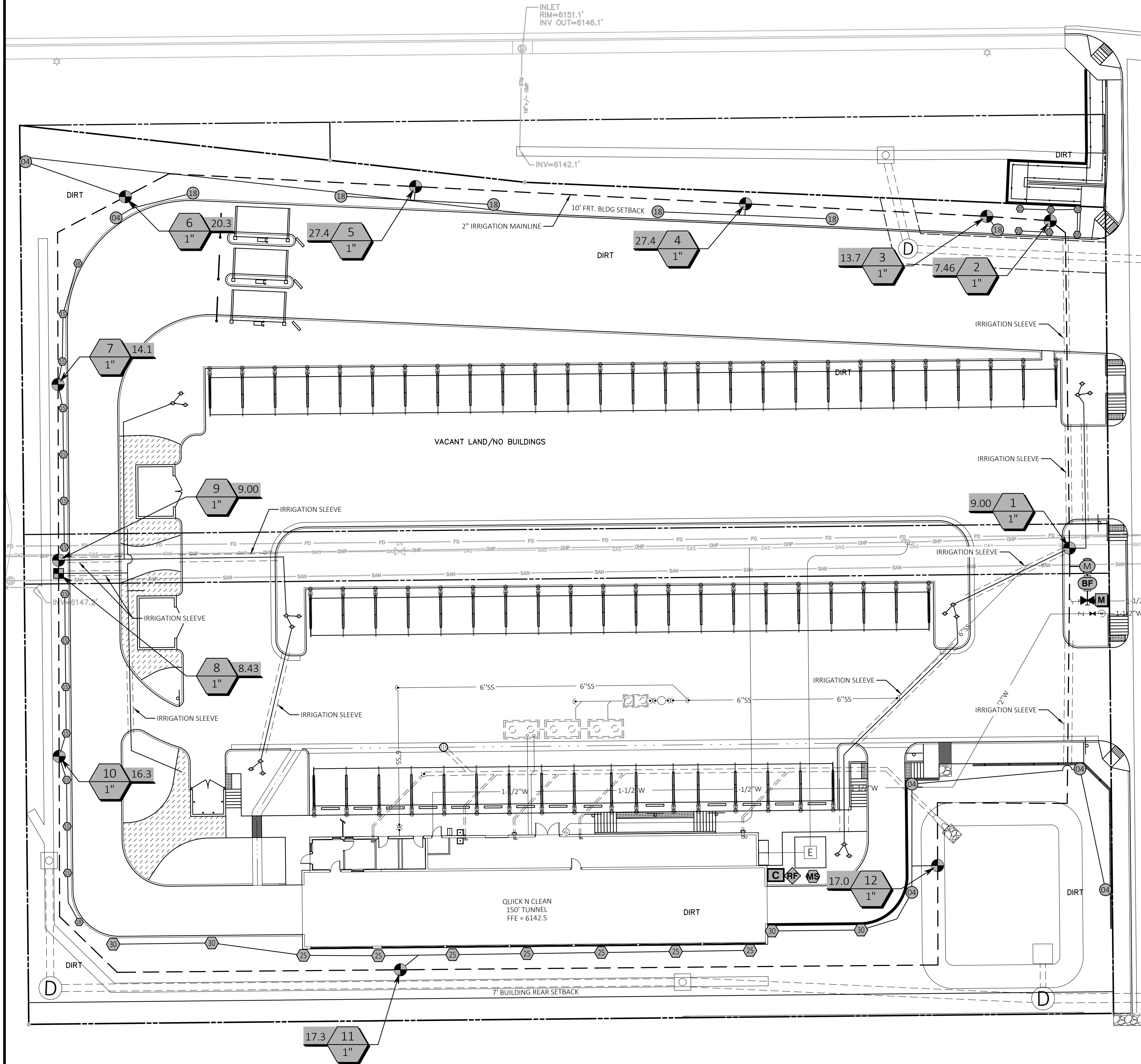
3.

NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.

4.

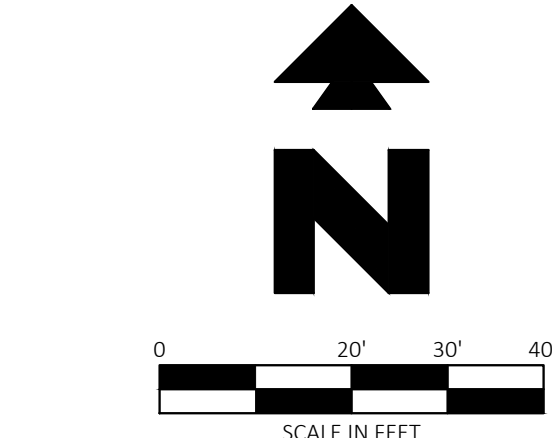
CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.
- Diagram showing tree planting details. It includes a plan view and a cross-section view. The plan view shows a tree with a 12" (MIN.) diameter at the base. The cross-section view shows the tree with a 12" (MIN.) diameter at the base, a 4" diameter root ball, and a 4" diameter root ball. The tree is shown with a 12" (MIN.) diameter at the base. The diagram includes labels for 'FINISHED GRADE PER GRADING PLAN', 'TREE WRAP', 'DUCKBILL UNDERGROUND TREE ANCHOR OR EQUAL, MODEL 40-RBK FOR 2" CALIPER TREES, MODEL 50-RBK FOR 3" CALIPER TREES, INSTALL PER MANUFACTURER'S SPECIFICATIONS', 'BACKFILL MIX PER SPECIFICATIONS', 'PLANTING PIT TO BE 2X THE DIAMETER OF THE ROOT BALL', and 'UNDISTURBED SUBSOIL'. A note indicates that the depiction is for tree planting on a slope and that all other specifications shall be shown below in the tree planting detail.
- TREE PLANTING
N.T.S. 508
- Diagram showing shrub planting details. It includes a plan view and a cross-section view. The plan view shows a shrub with a 12" (MIN.) diameter at the base. The cross-section view shows the shrub with a 12" (MIN.) diameter at the base, a 4" diameter root ball, and a 4" diameter root ball. The diagram includes labels for 'FINISHED GRADE, SEE GRADING PLAN', '4 INCHES MULCH (SEE LANDSCAPE NOTES FOR TYPE OF MULCH) (DO NOT PLACE MULCH UP AROUND TRUNK OR STEM OF PLANT)', 'IF SHRUB IS B&B, THEN REMOVE BURLAP & ROPE FROM TOP 1/2 OF BALL', 'PLANT MIX', 'UNDISTURBED SUBGRADE', '2X ROOT DIAMETER NOT LESS THAN 12" CLEAR ALL SIDES', 'PITCH PLANTING PIT TO DRAIN', 'SCAFFY BOTTOM OF PLANT PIT', and 'WEED MAT (ONLY IF SHRUB IS WITHIN A PLANTING BED)'. A note indicates that the depiction is for shrub planting on a slope and that all other specifications shall be shown below in the planting detail.
- Diagram showing shrub planting details. It includes a plan view and a cross-section view. The plan view shows a shrub with a 12" (MIN.) diameter at the base. The cross-section view shows the shrub with a 12" (MIN.) diameter at the base, a 4" diameter root ball, and a 4" diameter root ball. The diagram includes labels for 'FINISHED GRADE, SEE GRADING PLAN', '4 INCHES MULCH (SEE LANDSCAPE NOTES FOR TYPE OF MULCH) (DO NOT PLACE MULCH UP AROUND TRUNK OR STEM OF PLANT)', 'IF SHRUB IS B&B, THEN REMOVE BURLAP & ROPE FROM TOP 1/2 OF BALL', 'PLANT MIX', 'UNDISTURBED SUBGRADE', '2X ROOT DIAMETER NOT LESS THAN 12" CLEAR ALL SIDES', 'PITCH PLANTING PIT TO DRAIN', 'SCAFFY BOTTOM OF PLANT PIT', and 'WEED MAT (ONLY IF SHRUB IS WITHIN A PLANTING BED)'. A note indicates that the depiction is for shrub planting on a slope and that all other specifications shall be shown below in the planting detail.
- SHRUB PLANTING
N.T.S. 509
- Diagram showing steel edging details. It includes a plan view and a cross-section view. The plan view shows a steel stake driven from the mulch side of edging with the top of the stake below the top of the header. The cross-section view shows the steel stake driven from the mulch side of edging with the top of the stake below the top of the header. The diagram includes labels for 'MULCH TOP DRESSING: SEE LANDSCAPE NOTES FOR MULCH MATERIAL AND REQUIRED DEPTH', 'SODDED AREA', 'FINISH GRADE', 'POLYPROPYLENE MATERIAL WEED BARRIER', 'NATURAL STEEL EDGING: NO PAINTED EDGING SHALL BE USED', 'STEEL STAKE DRIVEN FROM MULCH SIDE OF EDGING WITH TOP OF STAKE BELOW TOP OF HEADER', 'POLYPROPYLENE MATERIAL WEED BARRIER AT FINISH GRADE', 'COMPACTED SAND SUB-BASE', 'POLYPROPYLENE MATERIAL WEED BARRIER AT FINISH GRADE', 'NATURAL STEEL EDGING: NO PAINTED EDGING SHALL BE USED', and 'STEEL STAKE DRIVEN FROM MULCH SIDE OF EDGING WITH TOP OF STAKE BELOW TOP OF HEADER'. A note indicates that the depiction is for sodded area with mulch and that the depiction is for stepping stone area with mulch.
- STEEL EDGING
N.T.S. 509
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- | REVISION | | |
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- QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, CO
-
- 10/04/2022
- | | |
|------------------------|-----------|
| PROFESSIONAL OF RECORD | POR |
| PROJECT MANAGER | JCH |
| DESIGNER | JSC |
| CEI PROJECT NUMBER | 32372 |
| DATE | 10/3/2022 |
| REVISION | REV-0 |
- LANDSCAPE NOTES
SHEET TITLE
SHEET NUMBER
- L2
- © 2022 CEI ENGINEERING ASSOCIATES, INC.

EAST MAIN STREET
110' PUBLIC ROW (PER PLAT)



GENERAL IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE OF 70 PSI.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
- ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS, OR PROVIDE BLOWOUT ASSEMBLY.
- ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.
- IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.
- DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.
- LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL 64A.
- IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3" OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE.
- ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO, OR NETAFIM.
- ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC.) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
- UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
- ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.
- CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
- ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
RAMPS, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS AND
PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

- LIGHT POLE
- FIRE HYDRANT
- UTILITY POLE
- SANITARY SEWER MAHOLE
- STORM SEWER MANHOLE
- WATER VALVE
- GAS VALVE
- WATER METER
- OVERHEAD UTILITY LINES
- GAS- UNDERGROUND GAS LINES
- SAN- UNDERGROUND SANITARY SEWER LINES
- STM- UNDERGROUND STORM SEWER LINES
- FO- UNDERGROUND FIBER OPTIC LINE
- WAT- UNDERGROUND WATER LINES
- (A) FND PIN/CAP PLS 19612
- (B) FND PIN/CAP PLS ILLEGIBLE
- (C) FND NO 4 REBAR
- (D) SET PIN/CAP PLS 14142

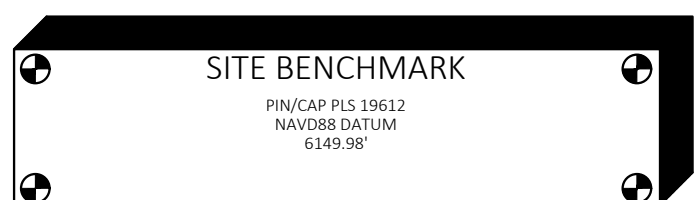
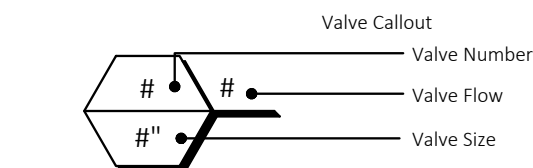
— ZONE AE LIMITS BY ELEVATIONS
— ZONE AE LIMITS BY SCALING GRAPHIC

AE CROSS SECTIONS SCALED FROM FIRMETTE OVERLAY

2022-10-03 09:00

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI		
	RAIN BIRD 1806-SAM-PRS ADJ TURF SPRAY 6" Ø POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	21	30		
	RAIN BIRD RWS-B-C W/ RWS-SOCK 1400 SERIES ROOT WATERING SYSTEM WITH 4" DIAMETER X 36" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE. CHECK VALVE AND SAND SOCK. RAIN BIRD BUBBLER OPTION AS INDICATED: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2 GPM.	18	30		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	RAIN BIRD 5006-PC-MPR TURF ROTOR, 6" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE.	7	35		24'
	RAIN BIRD 5006-PC-MPR TURF ROTOR, 6" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE.	4	35		30'
	RAIN BIRD 6504-PC, FC TURF ROTOR, 4.0" POP-UP, PLASTIC RISER, ADJUSTABLE AND FULL CIRCLE. WITH REMOVABLE SEAL-A-MATIC CHECK VALVE, 1" FEMALE THREADED INLET.	6	40	3.30	41'
	RAIN BIRD 6504-PC, FC TURF ROTOR, 4.0" POP-UP, PLASTIC RISER, ADJUSTABLE AND FULL CIRCLE. WITH REMOVABLE SEAL-A-MATIC CHECK VALVE, 1" FEMALE THREADED INLET.	6	40	13.7	59'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	1			
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-CV-09-18 XFS-CV SUB-SURFACE AND ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 4.3 PSI CHECK VALVE. 0.9 GPM EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY XF INSERT FITTINGS.	841.3 L.F.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
	RAIN BIRD PGA-PRS-D GLOBE 1" 1", 1-1/2", 2" ELECTRIC REMOTE CONTROL VALVE, GLOBE. WITH PRESSURE REGULATOR MODULE.	11			
	SHUT OFF VALVE	1			
	RAIN BIRD 300-BPS-PRS-D GLOBE 3" 3" BRASS MASTER VALVE, WITH GLOBE CONFIGURATION, AND PRESSURE REGULATOR MODULE. WITH A PATENTED NYLON SCRUBBER THAT SCRAPES A STAINLESS STEEL SCREEN TO PREVENT DEBRIS BUILD-UP AND CLOGGING.	1			
	ZURN 950XL 1-1/2" DOUBLE CHECK VALVE ASSEMBLY IN HEATED ENCLOSURE	1			
	RAIN BIRD ESPLXME2P-LXMMSS 12 STATION, TRADITIONALLY WIRED, PRO SMART (MODULE INCLUDED), COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMMSS STAINLESS STEEL, WALL-MOUNTED CABINET.	1			
	RAIN BIRD SMRT-Y SOIL MOISTURE SENSOR KIT. 24VAC @ 50/60 HZ. OPERATING TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.	1			
	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1			
	WATER METER 1"	1			
IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1/2"		864.6 L.F.			
IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 3/4"		368.5 L.F.			
IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"		153.7 L.F.			
IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/4"		8.1 L.F.			
IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"		1,142 L.F.			
PIPE SLEEVE: PVC SCHEDULE 40		354.2 L.F.			



CEI ENGINEERING ASSOCIATES, INC.
710 W Pinedale AVE
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

NO.	REVISION	DESCRIPTION	DATE

QUICK N CLEAN
1511 EAST MAIN STREET
CORTEZ, CO



10/04/2022

PROFESSIONAL OF RECORD	POR
PROJECT MANAGER	JCH
DESIGNER	JSC
CEI PROJECT NUMBER	32372
DATE	10/3/2022
REVISION	REV-0

IRRIGATION PLAN

SHEET TITLE
SHEET NUMBER

L3



*Civil Engineering, Landscape Architecture,
Survey, Planning & Program Management*

710 W. Pinedale Avenue
Fresno, CA 93711
Office: 559.447.3119
Toll-free: 1.800.473.1887
ceieng.com

February 09, 2023

Planning Department - Review Team
City of Cortez
110 W. Progress Circle
Cortez, CO 81321

Re: Initial City Comments for Proposed Quick N Clean Car Wash at 1511 East Main Street

Dear Review Team,

Please find below our responses to the initial comments for this project as presented in the city coordination meeting on Jan 11, 2023. In addition, CEI has prepared some rough updated site and grading plans to assist in further progress with the proposed development. There are additional items which CEI would also like some clarification or further direction on before finalizing revised plan sets.

CEI Responses in blue

- **Alley** - Due to the number of utilities in the alley, access needs to be maintained. Although the city has no existing water line at this location, it may be necessary to install a loop connection in the future. Also, future trash removal access may be needed. Therefore, if this development gets approved, the city will want to have the option of returning this easement back to its original, intended use. The intended level of fill over this location needs to be addressed - utilities cannot be buried deeper than the capability of equipment and personnel access below grade utility depths for repairs/replacement.

CEI Response: Please note that per city meeting on Jan 11, alley access at proposed Quick N Clean Car Wash shall be maintained. CEI has now proposed a larger collector street for the site which will have (2) lanes on each side. A single sidewalk is currently proposed along the western side. A mountable curb has been proposed to aid in existing alley access on the eastern side of the road.

For the fill over existing utilities, current proposed grades currently would result in max fill heights or 14-15' over sanitary and water lines (based on existing water line at minimum cover requirements and survey data for sanitary line). Unfortunately, to be able to develop the city collector street off of CDOT HWY, there will need to be additional fill for the running slope of the street to stay within reasonable levels. CEI is open to reducing the amount of fill, but would greatly appreciate some feedback from the city on what type of max fill heights for additional fill would be deemed acceptable to be able to access with city equipment and what would be the max slopes the city would allow for the collector street to help reduce the fill height? City standards mention a max street slope of 7% where practicable. Current grading has some slopes in excess of 10%. In addition, if the street slopes were to increase, pedestrian sidewalk access would be very difficult due to extreme running slopes.

CEI is also providing a quick profile of the existing water line with existing and proposed grades shown. The water line has not been shown to be brought up as there was some concern as well about raising the water line and adding more vertical bends in certain locations. Does the city have some guidance or direction on this as well?

- **Street** - The existing 60'-0" street ROW is the standard for a collector street. Therefore, it needs to have a minimum pavement width, slope, curvature, etc. associated with that designation. Again, the amount of fill intended for construction of this street would require the existing water line to be raised to an accessible depth. This would require coordination with CDOT, for the section within their ROW, and all modifications are the responsibility of the project owner. Also, this location is in a FEMA designated floodplain, so development here would have to meet FEMA requirements.

CEI Response: The collector street has been added to latest site and grading plans. Please note that only the western side of the street currently shows a pedestrian sidewalk. Would the city like a sidewalk along the eastern side as well? Also a porkchop island has been added at access of CDOT HWY to help accommodate a right in/left in and right out traffic pattern per city and CDOT meeting. Striping of street is not shown yet, but will be added after further coordination. Please note that there would again be challenges with max street slopes and additional fill over existing utilities.

For the water line, it can be raised, but CEI would kindly appreciate some clarification on what direction it should proceed in as far as raising the water line or keeping it as is to avoid additional vertical bends.

For FEMA floodplain, CEI is currently working to obtain FEMA hydraulic models to perform a flood study to meet FEMA requirements.

- **Drainage** - Stormwater diversion would need to follow city standards, and it is not desired for this drainage to be discharged onto the location that is in the existing city street ROW (planned 1st St). Therefore, it should be planned to discharge at a location that is beyond the edge of the existing city street ROW. Due to CDOT and FEMA regulations, there would need to be inquiries about their drainage requirements (their jurisdictions may apply to this element from beginning to end).

CEI Response: Updated plans show stormwater discharge beyond existing city street ROW. CEI will work to complete flood study to help satisfy any FEMA requirements. Who is the current contact for the floodplain administrator for the area? Previous coordination had been with Chad Hill and Eric Krch with SGM regarding the flood study. They mentioned a flood study would be required for the project.

For CDOT drainage requirements, there was mention of concern about proposed sidewalk and drainage development within CDOT ROW dedication area. Current plans still have this proposed development shown, however CEI is looking at options to remove. But there is an 18" CMP pipe from CDOT highway where the drainage needs to be captured appropriately as well as any drainage from the CDOT ROW dedication area and then routed through or around site to final discharge location.

- **Permit requirements** - following city standards, development here would require applications for permits such as ROW, Grading, and Floodplain Development for review and approval by the city engineer.

CEI Response: Understood. To be coordinated by client.

Please let us know your feedback at your earliest convenience and if any additional questions or concerns arise. Thank you!

Regards,



Eric Lawrence, P.E.
Assistant Project Engineer



COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, First American Title Insurance Company, a(n) Nebraska corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within 180 Days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
 - (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
 - (h) "Title": The estate or interest described in Schedule A.
2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - (a) the Notice;
 - (b) the Commitment to Issue Policy;
 - (c) the Commitment Conditions;
 - (d) Schedule A;
 - (e) Schedule B, Part I—Requirements; and
 - (f) Schedule B, Part II—Exceptions; and
 - (g) a counter-signature by the Company or its issuing agent that may be in electronic form].

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I - Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing [and authenticated by a person authorized by the Company].
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

Transaction Identification Data for reference only:

Issuing Agent: Kensington Vanguard National Land Services, LLC
Issuing Office: 39 W 37th Street, 3rd Fl, New York, NY 10018
Issuing Office's ALTA® Registry ID:
Loan ID No.:
Commitment No.: 594124-F-CO-CP-CR

SCHEDULE A

1. Commitment Date: September 21, 2021 at 08:00 AM
2. Policy to be issued:
 - a. ALTA Owners Policy (06/17/06)
Proposed Insured: Upper Image Services, LLC, an Arizona limited liability company
Proposed Policy Amount: \$450,000.00
 - b. ALTA Loan Policy (06/17/06)
Proposed Insured: Lender to be named
Proposed Policy Amount: TBD
3. The estate or interest in the Land described or referred to in this Commitment is Fee Simple.
4. The Title is, at the Commitment Date, vested in:

Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust

Gilbert Schwartz, as Trustee, who acquired title by Warranty Deed made by Harold I. Lovell, Jr., Trustee and Danny W. Case, Trustee, dated June 29, 1983 and recorded July 22, 1983, in [Book 553, Page 528](#), in the Office of the Clerk of Montezuma County.
5. The Land is described as follows:

SEE SCHEDULE C ATTACHED HERETO

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE A

(Continued)

Kensington Vanguard National Land Services,
LLC

By:



Authorized Signatory

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Warranty Deed from Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust to Upper Image Services, LLC, an Arizona limited liability company.

Deed of Trust from Upper Image Services, LLC, an Arizona limited liability company to Trustee(s) for Lender to be named, securing the principal amount of \$0.00.

5. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
6. Pay the agreed amount for the estate or interest to be insured.
7. Pay the premiums, fees, and charges for the Policy to the Company.
8. Payment of all taxes and assessments now due and payable as shown on a certificate of taxes due from the County Treasurer or the County Treasurer's Authorized Agent.
9. Evidence that all assessments for common expenses, if any, have been paid.
10. Final Affidavit and Agreement executed by Owners and/or Purchasers must be provided to the Company.

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SCHEDULE B

(Continued)

11. This Company must be provided with an existing survey less than ten years old and an Affidavit certifying that the survey accurately represents the configuration of the Property and the location of the improvements thereon and uses thereof as of the date of the Survey, and since the date of the Survey there have been no other improvements on the Property or uses thereof given by the Borrower and there have been no encroachments upon Property or uses of the Property taken by other parties to the best of Borrower's knowledge and belief.
12. Provide the Company with a survey prepared by a registered land surveyor to confirm proper legal description prior to closing. The Company reserves the right to make additional requirements and/or exceptions, and to amend the legal description of the land described in Schedule A, upon review of the description furnished by said surveyor.
13. Proof of payment of any and all Homeowners Association liens and/or assessments against the land described in Schedule A (including, but not limited to, any special assessments or payments due to others such as master associations).
14. Receipt by the Company of a certified rent roll, identifying all leases and tenancies on the subject property.

NOTE: This commitment is subject to further requirements and/or exceptions upon review of the rent roll.

15. Receipt by the Company of the following documentation for Upper Image Services, LLC, an Arizona limited liability company, a Arizona limited liability company:

Operating Agreement, and all amendments thereto, if any.

Certificate of Good Standing issued by the Colorado Secretary of State.
16. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Upper Image Services, LLC, an Arizona limited liability company, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
17. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
18. Recordation of an Affidavit(s) for Grantee Acting in a Representative Capacity pursuant to C.R.S. 38-30-108, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust.
19. Updates to the title commitment are required to disclose defects, liens, encumbrances, adverse claims or other matters, if any are created, first appearing in the public records or attaching subsequent to the effective date of the commitment and prior to the effective date of the Policy.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

20. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
21. This Company requires a copy of the Agreement, Indenture, or Declaration of Trust of Gilbert B. Schwartz Trust, together with copies of any amendments, modifications, or revocations. In the event that there have been no amendments, modifications, or revocations, this Company will require satisfactory evidence to that effect. Upon receipt additional exceptions may be raised.
22. Company finds no open mortgages of record in the County Office. Company is to be advised of any unrecorded mortgages or any other liens against the premises under examination.
23. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

NOTE: The following is for informational purposes only and is given without assurance or guarantee: 2020 taxes show Due. The gross amount is \$2,030.73 for Tax Identification No. 561125303001.

24. The Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242, must comply with the following:
 - (a) Include the signature and certification of Robert J. Rubino, PLS No. 14142
 - (b) Confirm whether the instrument referenced in Exception No. 11 in Schedule B, Part II affects the subject property

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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SCHEDULE B

(Continued)

SCHEDULE B, PART II Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easements, not shown by the Public Records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct land survey and inspection of the Land would disclose, and which are not shown by the Public Records.
5. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown in the Public Records.
6. Any and all unpaid taxes, assessments and unredeemed tax sales.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in [Book 8 at Page 6](#), recorded on May 28, 1958 . We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).

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SCHEDULE B

(Continued)

11. Electric Line Right of Way Easement Easement granted to Empire Electric Association, Inc. disclosed by Document No. [597797](#) recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. [609187](#) recorded December 12, 2017.
13. Any existing leases or tenancies.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property
 - (d) Rights, if any, due to centerline ditch

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE C SCHEDULE C

The Land is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in [Book 8 at Page 6](#), excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

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OWNER'S POLICY OF TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE A

Name and Address of Title Insurance Company:
First American Title Insurance Company
1 First American Way, Santa Ana, CA 92707

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

Address Reference: 1511 East Main Street, Cortez, CO 81321

Amount of Insurance: \$450,000.00

Premium: \$0.00

Date of Policy: at

1. Name of Insured:

Upper Image Services, LLC, an Arizona limited liability company

2. The estate or interest in the Land that is insured by this policy is:

Fee Simple

3. Title is vested in:

Upper Image Services, LLC, an Arizona limited liability company

4. The Land referred to in this policy is described as follows:

SEE SCHEDULE C ATTACHED HERETO

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

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SCHEDULE B

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. Intentionally deleted.
2. Intentionally deleted.
3. Intentionally deleted.
4. Intentionally deleted.
5. Intentionally deleted.
6. Intentionally deleted.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in Book 8 at Page 6, recorded on May 28, 1958. We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).
11. Electric Line Right of Way Easement granted to Empire Electric Association, Inc. disclosed by Document No. 597797, recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. 609187, recorded December 12, 2017.
13. Intentionally deleted.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property

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SCHEDULE B

(Continued)

(d) Rights, if any, due to centerline ditch

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SCHEDULE C

File No.: 594124-F-CO-CP-CR

Policy No.: PRO FORMA

The land referred to in this Policy is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in Book 8 at Page 6, excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

PROFORMA

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ENDORSEMENT

Attached to Policy No.: PRO FORMA

Issued By

First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured if, at Date of Policy (i) the Land does not abut and have both actual vehicular and pedestrian access to and from East Main Street (the "Street"), (ii) the Street is not physically open and publicly maintained, or (iii) the Insured has no right to use existing curb cuts or entries along that portion of the Street abutting the Land.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA

Issued By
First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured by reason of the lack of a right of access to the following utilities or services: **[CHECK ALL THAT APPLY]**

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Water service | <input checked="" type="checkbox"/> Natural gas service | <input type="checkbox"/> Telephone service |
| <input checked="" type="checkbox"/> Electrical power service | <input checked="" type="checkbox"/> Sanitary sewer | <input checked="" type="checkbox"/> Storm water drainage |
| <input type="checkbox"/> _____ | | |

either over, under or upon rights-of-way or easements for the benefit of the Land because of:

- (1) a gap or gore between the boundaries of the Land and the rights-of-way or easements;
- (2) a gap between the boundaries of the rights-of-way or easements; or
- (3) a termination by a grantor, or its successor, of the rights-of-way or easements.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By: 

Authorized Signatory

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT

Attached to Policy No.: PRO FORMA

Issued By

First American Title Insurance Company

The Company insures against loss or damage sustained by the Insured by reason of the failure of the Land as described in Schedule A to be the same as that identified on the survey made by Robert J. Rubino, PLS No. 14142 dated November 8, 2021, and designated Job No. 21242.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

PROFORMA

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA

Issued By
First American Title Insurance Company

1. The insurance provided by this endorsement is subject to the exclusion in Section 4 of this endorsement; and the Exclusions from Coverage, the Exceptions from Coverage contained in Schedule B, and the Conditions in the policy.
2. For purposes of this endorsement only, "Improvement" means a building, structure located on the surface of the Land, and any paved road, walkway, parking area, driveway, or curb, affixed to the Land at Date of Policy and that by law constitutes real property, but excluding any crops, landscaping, lawn, shrubbery, or trees.
3. The Company insures against loss or damage sustained by the Insured by reason of the enforced removal or alteration of any Improvement, resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of minerals or any other subsurface substances excepted from the description of the Land or excepted in Schedule B.
4. This endorsement does not insure against loss or damage (and the Company will not pay costs, attorneys' fees, or expenses) resulting from:
 - a. contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence; or
 - b. negligence by a person or an Entity exercising a right to extract or develop minerals or other subsurface substances; or
 - c. the exercise of the rights described in None.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA

Issued By
First American Title Insurance Company

1. The insurance provided by this endorsement is subject to the exclusion in Section 4 of this endorsement; and the Exclusions from Coverage, the Exceptions from Coverage contained in Schedule B, and the Conditions in the policy.
2. For purposes of this endorsement only, "Improvement" means a building, structure located on the surface of the Land, and any paved road, walkway, parking area, driveway, or curb, affixed to the Land at Date of Policy and that by law constitutes real property, but excluding any crops, landscaping, lawn, shrubbery, or trees.
3. The Company insures against loss or damage sustained by the Insured by reason of the enforced removal or alteration of any Improvement, resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of water excepted from the description of the Land or excepted in Schedule B.
4. This endorsement does not insure against loss or damage (and the Company will not pay costs, attorneys' fees, or expenses) resulting from:
 - a. contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence;
 - b. negligence by a person or an Entity exercising a right to extract or develop water; or
 - c. the exercise of the rights described in None.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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Kensington Vanguard National Land Services,
LLC

By:

Mem Sam E

Authorized Signatory

PROFORMA

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT
Attached to Policy No.: PRO FORMA

Issued By
First American Title Insurance Company

Item No. 14 of Conditions is hereby deleted.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

PROFORMA

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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ENDORSEMENT

Attached to Policy No.: PRO FORMA

Issued By

First American Title Insurance Company

The Company hereby insures the Insured against loss which the Insured shall sustain by reason of damage to existing and future improvements, including lawns, shrubbery or trees resulting from the exercise of any right to use the surface of the land for enforcement of any of the reservations contained in the Patent to said land excepted from the description or shown in Exception No. 7 of Schedule B.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Kensington Vanguard National Land Services,
LLC

By:

Authorized Signatory

This is a Pro Forma Endorsement. It does not reflect the present state of the Title and is not a commitment to (i) insure the Title or (ii) issue any of the attached endorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

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COMMITMENT FOR TITLE INSURANCE

Issued By

First American Title Insurance Company

SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

Warranty Deed from Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust to Upper Image Services, LLC, an Arizona limited liability company.

Deed of Trust from Upper Image Services, LLC, an Arizona limited liability company to Trustee(s) for Lender to be named, securing the principal amount of \$0.00.

5. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
6. Pay the agreed amount for the estate or interest to be insured.
7. Pay the premiums, fees, and charges for the Policy to the Company.
8. Payment of all taxes and assessments now due and payable as shown on a certificate of taxes due from the County Treasurer or the County Treasurer's Authorized Agent.
9. Evidence that all assessments for common expenses, if any, have been paid.
10. Final Affidavit and Agreement executed by Owners and/or Purchasers must be provided to the Company.

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SCHEDULE B

(Continued)

11. This Company must be provided with an existing survey less than ten years old and an Affidavit certifying that the survey accurately represents the configuration of the Property and the location of the improvements thereon and uses thereof as of the date of the Survey, and since the date of the Survey there have been no other improvements on the Property or uses thereof given by the Borrower and there have been no encroachments upon Property or uses of the Property taken by other parties to the best of Borrower's knowledge and belief.
12. Provide the Company with a survey prepared by a registered land surveyor to confirm proper legal description prior to closing. The Company reserves the right to make additional requirements and/or exceptions, and to amend the legal description of the land described in Schedule A, upon review of the description furnished by said surveyor.
13. Proof of payment of any and all Homeowners Association liens and/or assessments against the land described in Schedule A (including, but not limited to, any special assessments or payments due to others such as master associations).
14. Receipt by the Company of a certified rent roll, identifying all leases and tenancies on the subject property.

NOTE: This commitment is subject to further requirements and/or exceptions upon review of the rent roll.

15. Receipt by the Company of the following documentation for Upper Image Services, LLC, an Arizona limited liability company, a Arizona limited liability company:

Operating Agreement, and all amendments thereto, if any.

Certificate of Good Standing issued by the Colorado Secretary of State.
16. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Upper Image Services, LLC, an Arizona limited liability company, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
17. Recordation of a Statement of Authority pursuant to C.R.S. 38-30-172, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust, establishing the name of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity.
18. Recordation of an Affidavit(s) for Grantee Acting in a Representative Capacity pursuant to C.R.S. 38-30-108, for Ivan Schwartz, Trustee of the Gilbert B. Schwartz Trust.
19. Updates to the title commitment are required to disclose defects, liens, encumbrances, adverse claims or other matters, if any are created, first appearing in the public records or attaching subsequent to the effective date of the commitment and prior to the effective date of the Policy.

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SCHEDULE B

(Continued)

20. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
21. This Company requires a copy of the Agreement, Indenture, or Declaration of Trust of Gilbert B. Schwartz Trust, together with copies of any amendments, modifications, or revocations. In the event that there have been no amendments, modifications, or revocations, this Company will require satisfactory evidence to that effect. Upon receipt additional exceptions may be raised.
22. Company finds no open mortgages of record in the County Office. Company is to be advised of any unrecorded mortgages or any other liens against the premises under examination.
23. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

NOTE: The following is for informational purposes only and is given without assurance or guarantee: 2020 taxes show Due. The gross amount is \$2,030.73 for Tax Identification No. 561125303001.

24. The Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242, must comply with the following:
 - (a) Include the signature and certification of Robert J. Rubino, PLS No. 14142
 - (b) Confirm whether the instrument referenced in Exception No. 11 in Schedule B, Part II affects the subject property

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SCHEDULE B

(Continued)

SCHEDULE B, PART II Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easements, not shown by the Public Records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct land survey and inspection of the Land would disclose, and which are not shown by the Public Records.
5. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown in the Public Records.
6. Any and all unpaid taxes, assessments and unredeemed tax sales.
7. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
8. Any water rights, claims of title to water, in, on or under the Land.
9. Taxes and assessments for the year 2021 and subsequent years, a lien not yet due or payable.
10. Covenants, Conditions, Restrictions, Easements, Setback Lines and any Amendments thereto as disclosed on the plat of Veach Subdivision in [Book 8 at Page 6](#), recorded on May 28, 1958 . We delete any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restriction violate 42 U.S.C. 3604(c).

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SCHEDULE B

(Continued)

11. Electric Line Right of Way Easement Easement granted to Empire Electric Association, Inc. disclosed by Document No. [597797](#) recorded December 16, 2014.
12. Intergovernmental Agreement Easement granted to City of Cortez and the State of Colorado Department of Transportation disclosed by Document No. [609187](#) recorded December 12, 2017.
13. Any existing leases or tenancies.
14. Matters as shown on Survey prepared by Robert J. Rubino, PLS No. 14142, dated November 8, 2021, last revised on November 17, 2021, designated Job No. 21242:
 - (a) Effects of a portion of the subject property being located in a flood hazard area
 - (b) Underground fiber optic lines being located on the subject property
 - (c) Overhead utility lines being located on the subject property
 - (d) Rights, if any, due to centerline ditch

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COMMITMENT FOR TITLE INSURANCE

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First American Title Insurance Company

SCHEDULE C SCHEDULE C

The Land is described as follows:

The land referred to herein below is situated in the County of Montezuma, State of Colorado, and described as follows:

Lots 1 through 28, inclusive, Block 2, Veach Subdivision, the plat of which is recorded in [Book 8 at Page 6](#), excepting that portion of said Block 2 to the State Department of Highways, Division of Highways, State of Colorado described in Book 576, Page 471, County of Montezuma, State of Colorado.

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CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

May 02, 2023

Agenda Item: 7. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: OTHER ITEMS OF BUSINESS

BACKGROUND

RECOMMENDATION

Attachments

April Permits

Permit Type	Sub Type	Permit#
Building	Accessory Structure	B23-000036
Building	Accessory Structure	B23-000037
Building Total	Accessory Structure Total	
Building	Commercial Remodel	B23-000007
Building Total	Commercial Remodel Total	
Building	Other	B23-000028
Building	Other	B23-000029
Building	Other	B23-000030
Building	Other	B23-000031
Building	Other	B23-000032
Building	Other	B23-000033
Building	Other	B23-000034
Building	Other	B23-000035
Building	Other	B23-000027
Building	Other	B23-000040
Building	Other	B23-000041
Building Total	Other Total	
Building	Residential Addition	B23-000024
Building Total	Residential Addition Total	
Building Total		
Burn Permit	Debris	BRN23-000010
Burn Permit	Debris	BRN23-000005
Burn Permit	Debris	BRN23-000006
Burn Permit	Debris	BRN23-000007
Burn Permit	Debris	BRN23-000008
Burn Permit	Debris	BRN23-000011
Burn Permit Total	Debris Total	
Burn Permit	Recreational Fire	BRN23-000009
Burn Permit Total	Recreational Fire Total	
Burn Permit Total		
Grading	Grading	G23-000001
Grading	Grading	G23-000002
Grading Total	Grading Total	
Grading Total		
Plumbing	Residential	P23-000007
Plumbing	Residential	P23-000008
Plumbing	Residential	P23-000009
Plumbing	Residential	P23-000006
Plumbing	Residential	P23-000010
Plumbing	Residential	P23-000011
Plumbing Total	Residential Total	
Plumbing Total		
Right of Way	Public Right-of-Way	ROW23-000014
Right of Way	Public Right-of-Way	ROW23-000013
Right of Way Total	Public Right-of-Way Total	
Right of Way Total		
Water Tap	3/4 inch	WT23-000015

Water Tap	3/4 inch	WT23-000014
Water Tap	3/4 inch	WT23-000016
Water Tap Total	3/4 inch Total	
Water Tap Total		
All Permits Total		

Address	Issue Date
1301 Melrose Street	04/11/2023
137 ELM	04/14/2023
	2
2220 East Main Street	03/29/2023
	1
921 North Sligo Street	03/29/2023
320/324 East 3rd Street 231/235 S. Madison	03/30/2023
2220 RAMPART Street	03/31/2023
705 SAN JUAN	04/03/2023
625 East 3RD Street	04/03/2023
848 BROOKSIDE Drive	04/05/2023
608 BAKER	04/05/2023
715 North MARKET	04/07/2023
901 ARBOR Street	03/28/2023
524 South CHESTNUT Street	04/24/2023
1512 East CORONADO Avenue	04/25/2023
	11
613 North Beech	04/03/2023
	1
	15
56 CARPENTER	04/14/2023
36 East 3RD Street	04/06/2023
36 East 3RD Street	04/06/2023
36 East 3RD Street	04/06/2023
36 East 3RD Street	04/06/2023
2717 South BROADWAY 2217	04/21/2023
	6
8 10TH	04/10/2023
	1
	7
TBD Lakeside Drive	04/07/2023
560 East EMPIRE Street	04/19/2023
	2
	2
505 3RD	04/13/2023
815 South CHESTNUT Street	04/13/2023
305 South MARKET Street	04/14/2023
335 East EMPIRE	04/10/2023
15 North Broadway	04/19/2023
23 LAKESIDE Drive	04/19/2023
	6
	6
TBD Lakeside Drive	04/07/2023
Various Starting at 107 S. Washington Street	03/29/2023
	2
	2
1880 Industrial Road	04/17/2023

11128 Road 26.8	04/06/2023
11172 Road 26.8	04/21/2023
	3
	3
	35



CITY OF CORTEZ
123 ROGER SMITH AVENUE
CORTEZ, CO 81321

May 02, 2023

Agenda Item: 7. b.

MEMO TO: Planning and Zoning Commission

FROM: RACHAEL MARCHBANKS, DIRECTOR OF COMMUNITY/ECONOMIC DEVELOPMENT

SUBJECT: Land Use Code and Housing Needs Check-in.

BACKGROUND

RECOMMENDATION
