



**PLANNING AND ZONING  
COMMISSION MEETING  
SEPTEMBER 5, 2023  
6:30 P.M.**

1. CALL TO ORDER - PLEDGE OF ALLEGIANCE - INTRODUCTION AND SWEARING IN OF NEW COMMISSIONER EMILY WALDRON
2. APPROVAL OF THE REGULAR MEETING MINUTES OF JULY 18, 2023
3. PUBLIC PARTICIPATION - There is no limit to the number of speakers and no overall time limit. (Speakers have a time limit of three (3) minutes per person, may only speak once, and may not cede time to another commenter.)
4. PUBLIC HEARINGS
  - a. Resolution No. 15, Series 2023  
2474 Patterson Road LLC has submitted a Site Development Plan for an Office Building, located at TBD N. Sligo Street, Cortez, aka Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10,19-20, BL 5 Amended. Located in the Commercial Zoning District.

**Presenter:** Nancy Dosedall, Contract City Planner

5. UNFINISHED BUSINESS - none
6. NEW BUSINESS - none
7. OTHER ITEMS OF BUSINESS
  - a. Montezuma County Planning & Zoning Commission received a proposed Subdivision Amendment Application for a proposed Commercial Planned Unit Development to Lot #31 of the Blue Door Subdivision submitted by Kenneth Hinton; agent: Richard O'Brien, on property located at 7351 Road 24.3, Cortez, CO, located south of Road G.3, east of Hwy 160-491, situated in Section 3, Township 35N, Range 16W, N.M.P.M.  
Planning & Zoning Commission will hear and comment.

**Presenter:** Nancy Dosedall, Contract City Planner

- b. Montezuma County Planning & Zoning Commission received a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent: Ernie Maness, on property located at 26960 Road N, Cortez, CO, consisting of 13 acres, more or less, located south of Road N, west of Hwy 145, situated in Section 12, T.36N, R.16W, N.M.P.M.  
Planning and Zoning Commission will hear and comment.

**Presenter:** Nancy Dosedall, Contract City Planner

- c. **August 2023 Building Permits**  
Planning and Zoning Commission will review

**Presenter:** Cheryl Lindquist

- 8. **ADJOURNMENT**



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

September 05, 2023

Agenda Item: 2.

MEMO TO: Planning and Zoning Commission

FROM:

SUBJECT: APPROVAL OF THE REGULAR MEETING MINUTES OF JULY 18, 2023

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**Attachments**

Minutes 7/18/2023

PLANNING & ZONING COMMISSION  
REGULAR MEETING  
TUESDAY, JULY 18, 2023

The meeting was called to order in the City of Cortez Council Chambers at 6:30 p.m., and was opened with the Pledge of Allegiance. Commissioners present were Chairman Robert Rime, Vice-Chairman Lance McDaniel, Commissioners Katrina Weiss and Jim Skvorc. Staff present included Contract City Planner Nancy Dosedall, Director of Community and Economic Development Rachael Marchbanks, City Attorney Patrick Coleman, Community and Economic Development Specialist Helen West, Community and Economic Development Assistant Lydia Regalado, Public Works Secretary Karie Bradshaw, IT Support Aaron Holleman, and Deputy City Clerk Cheryl Lindquist.

There were 44 people present in the audience.

1. Approval of the Regular Meeting Minutes of June 6, 2023.

Commissioner McDaniel moved that the minutes be approved. Commissioner Weiss seconded the motion and the vote was as follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Abstain	Yes	Abstain

Commissioners Skvorc and Rime were absent at the June meeting and abstained from the vote on minutes.

Prior to the public hearings, City Attorney Coleman addressed the audience and commissioners explaining that these are “quasi-judicial” hearings and any discussions commissioners may have had with the public regarding the Public Hearing items must be disclosed. Two commissioners disclosed information that was not deemed to sway anyone’s vote.

2. PUBLIC PARTICIPATION: none
3. NEW BUSINESS:

- a. Resolution No. 13, Series 2023.

Sarah McClain with Western Spaces, LLC., presented an update on the draft of the Housing Action Plan. She stated this draft represents months of diligent effort, community engagement, strategic planning, and policy development. It draws heavily from the findings of the recent Housing Needs Assessment. This process involved work sessions, community open houses, a questionnaire and a joint session with City Council and Planning and Zoning Commission. The action plan serves as a roadmap for the City to prioritize and address housing needs, and achieve a balanced housing environment for all

residents. She presented a slide show for everyone and a handout for the commission and staff on the draft Housing Action Plan.

Commissioner McDaniel moved to approve Resolution No. 13, Series 2023, recommending that council approve the Housing Action Plan.

Commissioner Weiss seconded the motion and the vote was as follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes

4. PUBLIC HEARINGS:

a. Resolution No. 12, Series 2023.

Contract City Planner Dosdall presented a request for a Conditional Use Permit from Quick N Clean Car Wash, located at 1511 E. Main Street. They are proposing a new 5,380 sq. ft. express car wash with vacuums and pay station canopies. They have already been approved for an alley vacation, lot consolidation and site plan. There were no questions from the commissioners or the public.

Commissioner McDaniel moved to approve Resolution No. 12, Series 2023, for recommending approval of the Conditional Use Permit to the council.

Commissioner Weiss seconded the motion and the vote was as follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes

b. Resolution No. 7, Series 2023.

Contract City Planner Dosdall explained to the audience that she is a contractor hired by the city to present the facts to the commission so they can make a fair decision. She stated that she expects the audience to behave in a civil manner, no harsh judgement or adverse words toward others. Planner Dosdall stated that a presentation was made at the June 6<sup>th</sup> meeting on the re-zone request from Independent Log, located at 1050 Lebanon Rd., the applicants revised their proposal to better address the neighbor’s concerns by providing better buffering and setback from the Carpenter Reserve and a more detailed site plan. Planner Dosdall detailed the difference between Commercial zoning and Industrial zoning. She reviewed Section 5.07(j) of the LUC, commenting that the uses for the property proposed by the applicants would properly occur in the I, Industrial zone, since open storage is a key component of the operation. Planner Dosdall pointed out that the zoning surrounding this property was a mix of commercial, residential, and open space.

The Public Hearing was opened and many concerned residents spoke against having this business at that location. The Carpenter Natural Area is the biggest concern in opposing the re-zoning as presented from concerned public and neighbors. The public mentioned reasons including: earth moving at the Carpenter Natural Area, destroyed plants and trees,

trash, misplaced wildlife, noise, dust, unsightly land, hazardous materials, and disrupting the wetlands. Planner Dosedall assured the audience there were no hazardous wastes on the property when Code Enforcement and the Fire Department went on calls to the property. The applicant, Anthony Moore, commented that the barrels only hold water for their wildfire mitigation. A few members of the audience sited the industrial use is incompatible with the area and felt this would be spot zoning. It was suggested by one member of the public that the City complete a land swap with the applicants. Public speaking in favor of the re-zone mentioned the business could boost the economy as all that Cortez has is the dwindling oil and gas industry, agriculture, and tourism. It was said that with fire danger at an all-time high, how fortunate we are to have a top wildfire team located here. Business owners from the industrial area north of Carpenter Reserve spoke of how their business' have not disrupted the wildlife or plants and trees of Carpenter Reserve. They spoke of how much clean-up the applicants have had to do on their property and how much the applicants have helped them out in the past. A letter in favor was read by a member of the audience. The Public Hearing was closed and a short break was taken.

The meeting was called back to order.

Commissioner Weiss made a motion for the Planning and Zoning Commission to approve Resolution No. 7, Series 2023, recommending that the City Council approve the requested rezone from Commercial "C" to Industrial "I" for property located at 1050 Lebanon Rd, Cortez, located in Section 23, Township 36, Range 16, tr in W/2 SW/4 SW 1/4, with the following findings:

- a. The property is physically buffered from adjacent residential uses by topography, adjacent to existing Industrial uses. Other impacts can be mitigated with appropriate use conditions.
- b. The community will benefit from use of the property by the additional economic benefits of additional jobs, opportunities and taxes generated and the expansion of a much-needed natural resource use.
- c. Adequate facilities are available to serve development for the type and scope suggested by the proposed zone.
- d. The proposal in conformance with the policies, intents and requirements of the Cortez comprehensive plan.

Chairman Rime seconded the motion with the vote as follows:

McDaniel	Skvorc	Weiss	Rime
No	No	Yes	Yes

Motion failed due to the inability to achieve a majority vote.

Commissioner Skvorc made a motion for the Planning and Zoning Commission to recommend denial of Resolution No. 7, Series 2023, based on the testimony given and the following evidence:

- a. The Property is adjacent to residential and open space uses on two sides.
- b. The proposed uses are not compatible with the adjacent open space and residential

uses and it will be difficult to mitigate adverse impacts.

- c. The existing commercial zoning is appropriate for the property and not adopted in error.
- d. The surrounding area has changed in character recently to open and recreational.
- e. Re-zoning is in violation of the comprehensive plan.

Specifically:

5.1.1 – Utilize appropriate development to protect and enhance the quality of interface areas between residential neighborhoods and business/retail areas.

5.1.2 – Enhance land use compatibility by requiring adequate buffers to separate incompatible uses and developing appropriate design standards to minimize potential impacts.

5.3.1 – Identify critical visual corridors throughout the city and along access routes within the Three Mile Potential Growth Area. Work with developers to ensure the preservation or enhancement of these corridors.

5.3.10 – Examine and develop review criteria to enhance the appearance and safety of the city’s arterial roadways.

5.6.7 – Maintain land use policies so that businesses located adjacent to residential areas are compatible with the neighborhood in which they are located.

Commissioner McDaniel seconded the motion and the vote was as follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Yes	No	No

Motion failed due to inability to achieve a majority vote.

The Planning and Zoning Commission can not make a recommendation to City Council.

b. (2) Resolution No. 10, Series 2023

Contract CityPlanner Dosdall continued the presentation from the June 6<sup>th</sup> meeting on the conditional use permit request from Independent Log, located at 1050 Lebanon Rd. This property is located in a very mixed area that includes industrial and heavy commercial land uses, a City open space/natural area, and single-family homes. Planner Dosdall discussed the criteria for a conditional use permit as: A conditional use is a use that may be permitted subject to conditions imposed upon the approval of the use that are designed to reasonably mitigate any adverse impacts upon surrounding properties. Both the planning commission and the city council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application. The applicant shall adequately demonstrate that the applicable criteria have been met:

- (1) The proposed conditional use is compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas dust, odor, lighting, glare, traffic circulation, parking, or other undesirable or hazardous

conditions.

(2) The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing and site building placement.

(3) All proposed accessory uses must demonstrate that they are necessary and desirable. All proposed accessory uses shall comply with requirements of subsections(f)(1) and (2) of this section. Undesirable impacts created by these uses shall be controlled or eliminated.

(4) Adequate public services (such as: streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police and fire protection) must be available without the reduction of services to other existing uses.

(5) Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.

(6) The proposed conditional use shall conform to adopted plans, hours of operation, polices and requirements for parking and loading, signs, highway access, and all other applicable regulations of this code and other applicable regulations.

Planner Dosedall stated both equipment storage and log home construction appear to be Conditional Uses in the “C” zone. With this use, a conditional use permit can help to make a difficult use for the City compatible with surrounding land uses. The Owners/Applicants’ narrative does a good job of establishing that the proposed uses will not be objectionable due to noise, lighting, smoke, fumes, hours of operation or hazardous materials, as long as all statements in the narrative are adhered to at all times. The applicants, Anthony Moore and Mary Lancaster spoke to moving forward with the property as they can. They have cleaned it up and want to develop it into a good business. Anthony Moore stated how they have looked elsewhere for a property, but nothing was available until Dove Creek. They said they are determined to do what they can as far as having a legitimate business. Planner Dosedall stated that in the Commercial zone a Conditional Use Permit would allow the manufacturing of wood products and contractor storage. She stated that firewood storage does not meet the Commercial zoning, but is allowed in the Industrial zone.

The Public Hearing was opened. Two more members of the public spoke against the use, stating incompatibility. The Public Hearing was closed.

Commissioner Skvorc commented that the Planning and Zoning Commission isn’t the final step, they are a recommending source to the City Council. He also stated he feels the proposal is spot zoning, although he is not against the applicants having a business at that location.

Commissioner Weiss made a motion for the Planning and Zoning Commission to approve Resolution No. 10, Series 2023, a resolution recommending that the City Council approve the requested Conditional Use Permit for property located at 1050 Lebanon Rd, Cortez, located in Section 23, Township 36, Range 16, tr in W/2 SW/4 SW ¼, with the following conditions:

- a. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications and all requirements of CDOT for required highway improvements.
- b. The Owners/Applicants shall meet all requirements of the Cortez Sanitation District regarding protection of the manholes and existing sewer line.
- c. The address shall be clearly marked for emergency response.
- d. The Owners/Applicants shall comply with the submitted project narrative at all times.
- e. The following requirements of the Parks and Recreation Department shall be met:
  - (1) Secure and preserve the water quality of inflow into ponds and streams. Prevent harmful chemicals and toxins from washing into downstream waterways.
  - (2) Restrict access to preserve drives and parking areas from the equipment, supplies, and deliveries to Mr. Moore’s business.
  - (3) Prevent any waste, construction debris, or other by-products from blowing or coming onto the preserve or associated areas.
  - (4) Provide buffer and naturally-oriented visual screening along Mr. Moore’s northern and eastern property boundary. The proposed naturally-oriented visual screen should be large (20’ tall) evergreen trees planted approximately 20’ on-center and staggered. The proposed buffer is 50’.

Chairman Rime seconded the motion with the vote as follows:

McDaniel	Skvorc	Weiss	Rime
No	No	Yes	Yes

Motion failed due to inability to achieve a majority vote.

Commissioner Skvorc made a motion for the Planning and Zoning Commission to recommend approval of Resolution No. 14, Series 2023, recommending denial of Resolution No. 10, Series 2023, based on the testimony given and the following evidence:

- a. The proposed use is not compatible with adjacent existing uses specifically the residential and open space uses.
- b. Proposed design features are not sufficient to protect adjacent areas.
- c. Does not meet the following criteria for the Comprehensive Plan:
  - 5.1.1 – Utilize appropriate development to protect and enhance the quality of interface areas between residential neighborhoods and business/retail areas.
  - 5.1.2 – Enhance land use compatibility by requiring adequate buffers to separate incompatible uses and developing appropriate design standards to minimize potential impacts.
  - 5.3.1 – Identify critical visual corridors throughout the city and along access routes within the Three Mile Potential Growth Area. Work with developers to ensure the preservation or enhancement of these corridors.

5.3.10 – Examine and develop review criteria to enhance the appearance and safety of the city’s arterial roadways.

5.6.7 – Maintain land use policies so that businesses located adjacent to residential areas are compatible with the neighborhood in which they are located.

The motion was seconded by Commissioner McDaniel and the vote follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Yes	No	No

Motion failed due to inability to achieve a majority vote. The Planning and Zoning. The Planning and Zoning Commission can not make a recommendation to City Council.

UNFINISHED BUSINESS: none

5. OTHER ITEMS OF BUSINESS: review of permits issued for July, 2023

6. ADJOURNMENT:

Commissioner McDaniel made the motion to adjourn with Commissioner Weiss seconding and the vote follows:

McDaniel	Skvorc	Weiss	Rime
Yes	Yes	Yes	Yes

PLANNING & ZONING COMMISSION

\_\_\_\_\_  
Robert Rime, Chairperson

ATTEST:

\_\_\_\_\_  
Cheryl Lindquist, Deputy City Clerk



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

September 05, 2023

Agenda Item: 4. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Resolution No. 15, Series 2023

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**BACKGROUND**

2474 Patterson Rd LLC, (the "Applicant"), is proposing a site plan to construct a new 3,456 sq. ft. office building on what is currently platted as 3 separate lots located at TBD N. Sligo St., although the final addresses will not be assigned until a building permit is submitted.

**ISSUES**

See Attached.

**RECOMMENDATION**

Staff recommends approval of the application for the site development plan through P&Z Resolution No. 15, Series 2023, with 5 conditions.

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**Attachments**

Staff Report  
Resolution No. 15, Series 2023  
Documentation



*City of Cortez  
Community & Economic  
Development Dept.  
123 Roger Smith Avenue  
Cortez, CO 81321*

Meeting Date: September 5, 2023  
Project No. LU23-07

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dossdall, Contract City Planner

**SUBJECT:** Public Hearing on an Application for a site plan for a 3,456 sq. ft. office building to be located on property at 72 (Guess) N. Sligo St., Cortez CO (the “Property”), zoned Commercial Highway.

**APPLICANT:** 2474 Patterson Road LLC

**OWNER:** 2474 Patterson Road LLC

**ATTACHMENTS:** P&Z Resolution No. 15, Series 2023  
Plan Set including: Civil Site Plans  
Landscape Plans  
Floor Plans  
Architectural Elevations

## **BACKGROUND**

2474 Patterson Road LLC, (the “Applicant”) is proposing a site plan to construct a new 3,456 sq. ft. office building on what is currently platted as 3 separate lots located at TBD N. Sligo St., aka Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10,19-20, BL 5 Amended, although the final addresses will not be assigned until a building permit is submitted. The Applicant will be required to submit a plat amendment to combine all lots into one. If approved, the new lot will total .53 acres. The Property is currently vacant. The Property is zoned Commercial Highway (C).

The Property is bounded on all sides by commercially zoned properties.

## DEVELOPMENT STANDARDS

Development Standard	C Zone Requirement	Proposed
Min. lot area (sq. ft.)	3,000	26,217 sq. ft. (after consolidation)
Min. front yard (ft.)	10'	40' approx
Min. side yard (ft)	0'	64' approx
Min. rear yard (ft)	7'	16' approx
Max. lot coverage	50%	13%
Min. floor area	n/a	n/a
Max height (ft)	50'	24'8"
Parking	20 spaces	24 spaces
Landscaping	10% or 2,622 sq. ft.	7% or 1,844 sq. ft.

## ISSUES

The purpose of the site plan review is to ensure compliance with all regulations and to protect the public health, safety and welfare, to promote balanced growth, to ensure adequate provision of public services and facilities and to guide the character of the city. Section 6-14.12 (f) of the Land Use Code ("LUC") states:

The Planning Commission in its consideration shall use the standards set forth in Chapter 5 of this code and shall include paving and layout of streets, alleys and sidewalks, means of ingress and egress, provisions for drainage, parking spaces, areas designated for landscaping, and other aspects deemed by the planning commission necessary to consider in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare.

## DISCUSSION

The project as submitted appears to meet all development standards with the following exceptions:

### **Sidewalks (LUC 5.03):**

All new development must construct sidewalks to ensure pedestrian access. The proposed location between residential and commercial areas and near parks and schools makes pedestrian safety a significant concern in this area. A 5-foot sidewalk is required.

### **Drainage:**

See City Engineer comments, the site rises steeply from Sligo and significant paved area is proposed. The applicants will need to address drainage to the satisfaction of the City.

### **Landscaping (LUC 5.05)**

As submitted, the proposed site plan fails to meet the required 10% landscaped area requirements. Although the submitted site plan shows a total of 10.6% landscaped area, this appears to be counting landscaping proposed in the ROW and granite mulch area with weed barrier. Staff calculates that an additional 777 sq. ft. of landscaped area (trees, shrubs and groundcover) is required. The Property appears to have room to add landscaped area either adjacent to the building or in the parking area. 4 excess parking spaces have been proposed which could also be an opportunity to add landscaped area. Additionally, removing pavement and adding landscaping may assist with the drainage concerns as expressed by the City Engineer.

Comments below and suggested conditions will ensure adequate access, drainage, and all other aspects to promote the public health, safety, order, convenience, prosperity, and general welfare.

## **AGENCY REVIEW**

### **GIS Coordinator (Doug Roth)**

- This site plan looks OK however it's approval would need to be contingent upon the consolidation of Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10,19-20, BL 5 Amended
- As indicated on City and County Records 72 N Sligo is a GUESS address on a vacant lot and should not be used in this application. An address will be assigned once a building permit is issued.

### **Cortez City Engineer (Kevin Kissler)**

They will need to submit a drainage plan that meets CDPHE requirements. Their site plan appears only to show how water will be drained off the property through a concrete flume on the NW corner and the entrance drive on the SW corner. They need to show drainage calculations for the 25 year, 24 hour storm intensity and show retention and infiltration of that volume that matches pre-existing undisturbed infiltration rates.

They will need a 5' ADA compliant sidewalk across the west side of their property, this will need ADA compliant curb ramps at their driveway entrance. They will also need to install a minimum 5' wide ADA traversable concrete gutter pan across their driveway to catch the flow they are sending down it. The maximum cross slope of that sidewalk and gutter pan is 2% per new construction ADA requirements.

With that said, I'm concerned about scour in that gutter pan since the driveway is 12%. There are multiple options they could explore, such as a concrete driveway with perpendicular grooves or some other means to slow down that drainage water to 5 fps or less.

### **Cortez Sanitation District (Jim Webb)**

The Sanitation District has no issues with this proposal

### **Cortez Department of Parks and Recreation (Creighton Wright)**

I have no comments.

## **ALTERNATIVES**

1. The Commission can recommend that the Council approve application for the site development plan for the proposed office building on property located at 72 (Guess) N. Sligo St., Cortez, Colorado, in the Commercial (C) zone; or
2. The Commission can recommend denial of the application for the site development plan and state its reasons; or
3. The Commission can ask for more information and table the application, or continue the application to a date certain; or
4. The Commission can recommend that Council approve the application for the site development plan, and state any conditions it feels would be necessary to ensure compliance with the Land Use Code.

## **RECOMMENDATION**

Staff recommends Alternative “4” above, approval of the application for the site development plan through P&Z Resolution No. 15, Series 2023, with 5 conditions.

If the Planning and Zoning Commission so chooses to follow the recommendation of Staff, a possible motion the Commission could make is as follows:

**I make a motion to recommend that the Cortez City Council approve P&Z Resolution No. 15, Series 2023, a resolution approving the site development plan for a new office building on property located at TBD N. Sligo, Cortez, Colorado, aka Lots 17 and 18 of Block 5, Henry Subdivision and Lot 19A of Henry Sub, Lots 9-10,19-20, BL 5 Amended, in the Commercial Highway (C) zone, with the following conditions:**

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the property.
4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the property.

**CITY OF CORTEZ  
PLANNING AND ZONING COMMISSION  
RESOLUTION NO. 15, SERIES 2023**

**A Resolution Recommending Approval of a Site Development Plan for an Office Building,  
submitted by 2474 Patterson Road, LLC. Located at TBD N. Sligo St., Cortez, Colorado, in  
the Commercial (C) Zoning District**

WHEREAS, 2474 Patterson Road., LLC. (the“Owner/applicant”) has applied for review of a site development plan for establishment of a new office building to be located on property at TBD N. Sligo St., Cortez, Colorado (the “Property”) and more particularly described as:

*Lot 17 and Lot 18, Block 5, Henry Subdivision, and Lot 19A of the Henry Subdivision, Lots 9-10, 19-20 Amended.*

WHEREAS, Land Use Code Section 6.14, Site Plans, indicates that the owner or developer of a property may request an application of these site plan requirements for development on property located in the Commercial (C) Zoning District; and

WHEREAS, the Planning and Zoning Commission reviewed the site plan for an office building for the Property and is recommending approval of the site plan, as evidenced in the adoption of P&Z Resolution No. 15, Series 2023; and

WHEREAS, based on the evidence and testimony presented at its September 5, 2023 meeting, the Planning and Zoning Commission is recommending conditions of approval for the site plan; and

WHEREAS, it appears that all requirements of Chapters 5.00 and 6.00 of the City’s Land Use Code for development of the Property have been or can be met.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORTEZ PLANNING AND ZONING COMMISSION:**

THAT, this P&Z Resolution No. 15, Series 2023, contains recommended conditions of approval for the site plan on the Property; and

THAT, the site plan and full application for the Property are hereby recommended to the Cortez City Council for approval, subject to the following conditions to ensure compliance with the standards in the Cortez Land Use Code for a site development plan:

1. All requirements of utility providers, City departments, CDOT and affected districts must be satisfied, as outlined in adopted City Codes and other regulatory documents. Specifically, all public improvements shall comply with the minimum requirements of

- the 2009 City of Cortez Construction Design Standards and Specifications.
2. The appropriate construction drawings and reports for the project, revised as required by the City Engineer shall be signed and stamped by a Colorado licensed architect or engineer, must be approved by the Building Official and City Engineer, and a building permit obtained prior to any construction on the Property.
  3. A drainage report meeting CDPHE requirements shall be submitted and approved by the City Engineer prior to issuance of a building permit for the Property.
  4. The landscaping plan shall be revised to meet minimum code standards. Improvements shall be installed prior to issuances of a Certificate of Occupancy. Irrigation and maintenance must be provided. In the event that construction of the building and all other requirements are met prior to the installation of the landscaping, and the Applicant desires a Certificate of Occupancy, the Applicant may choose to provide a financial surety and obtain a CO in advance of completing the landscaping improvements. In this event, the Applicant shall provide an assurance bond, letter of credit, or other financial security agreed to by both parties, providing a guarantee of installation of the landscaping within a time frame approved by the City of Cortez.
  5. The plat amendment consolidating the lots shall be approved and recorded prior to issuance of a building permit for the Property.

AND THAT, the Owner/applicant is to coordinate with City staff to ensure that these conditions are fully met.

MOVED, SECONDED, AND ADOPTED THIS 5th DAY OF SEPTEMBER, 2023

CORTEZ PLANNING AND ZONING COMMISSION

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Robert Rime, Chairman

ATTEST:

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Cheryl Lindquist, Deputy City Clerk

**Pre-Application Review  
Planning and Zoning Department**

6/16/2023

Date

Please return your completed application form with attachments to Cortez Planning Department, 123 Roger Smith Ave., Cortez, Co. 81321 and email [clindquist@cortezco.gov](mailto:clindquist@cortezco.gov)

APPLICANT: 2474 Patterson Road, LLC

MAILING ADDRESS: 2474 Patterson Road #200, Grand Junction, CO 81505

PHONE/EMAIL: (970)241-1500/ryar@majormtg.com

DESCRIBE YOUR PROJECT: two-story commercial building for a mortgage company. The first floor will be the main customer and employee areas to conduct meetings and day to day tasks. The second floor is one big open area for storage, marketing signage, etc.

SITE ADDRESS: 72 N. Sligo St. Cortez, CO 81321

**PLEASE PROVIDE ONE ELECTRONIC COPY AND ONE PAPER COPY WITH THE FOLLOWING INFORMATION:**

**Application Submittal Requirements:**

- X Letter of petition describing your requested project
- X Title certificate from licensed title company or attorney listing:  
The name of the property owner(s), all liens, all easements and judgments of record affecting the subject property
- X Maps, Site Plan, and any other plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any proposed use and all applicable information for City Staff to understand the proposed project
- X Street address and legal description of the property
- X Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function & characteristics of any proposed use

You will be contacted to set up a time to meet with City Staff to discuss your proposed project.

Please note due to the preliminary nature of information discussed during a pre-application conference, City Staff reserves the right to determine permitting requirements upon receipt of an official development application, information obtained during a pre-application conference is subject to subsequent changes in the Comprehensive Plan, Land Use Code, and/or any other applicable regulations. A pre-application conference does not lock in any fees or development requirements for a project in any way.

Official Use Only: \_\_\_\_\_

**SITE PLANS**  
**(Land Use Code Section 6.14)**

Contractor's Name: TBD

Phone/Fax: TBD

Owner's Name: 2474 PATTERSON ROAD, LLC

Phone/Fax: 970-241-6100

Address: 72 N SLIGO ST, CORTEZ, CO 81321 Zone District: COMMERCIAL  
HIGHWAY

Legal Description (Lot & Block): LOTS 17, 18, 19A BLOCK 5 HENRY SUB

Existing Use: COMMERCIAL HIGHWAY Proposed Use: COMMERCIAL HIGHWAY

Lot Dimensions: 142' x 183.79' Proposed GFA(Gross Floor Area): 5,878 SF

**Application Requirements**

X 3 copies of site plan drawn to scale, titled "Preliminary Site Plan"

X Scale and north point indicated

X Name of street on drawing: N SLIGO ST

\_\_\_\_\_ Fees \_\_\_\_\_

X Site plan shall contain, but not limited to:

- |  |   |
|--|---|
| <ul style="list-style-type: none"><li><input type="checkbox"/> Drives, streets, and rights-of-way</li><li><input type="checkbox"/> Easements</li><li><input type="checkbox"/> Location and dimensions of structures and signs</li><li><input type="checkbox"/> Typical elevations of such buildings</li><li><input type="checkbox"/> Access ways, including points of ingress, egress</li><li><input type="checkbox"/> Parking, loading, and refuse areas</li><li><input type="checkbox"/> Common open space</li><li><input type="checkbox"/> Landscaping and open spaces</li><li><input type="checkbox"/> Topography</li><li><input type="checkbox"/> Specific areas proposed for specific types of land use</li><li><input type="checkbox"/> Lots or plots</li><li><input type="checkbox"/> Area proposed for dedication</li><li><input type="checkbox"/> Parks and parkways</li><li><input type="checkbox"/> School sites</li><li><input type="checkbox"/> Wetlands</li></ul> | <ul style="list-style-type: none"><li><input type="checkbox"/> Narrative describing the proposed development, Lot, Block and subdivision description, and name(s), address and phone number of the property owner(s) must be attached to the plat</li><li><input type="checkbox"/> A copy of the warranty deed and title commitment current within thirty days of submittal.</li><li><input type="checkbox"/> Five copies of the drainage plan.</li><li><input type="checkbox"/> Five copies of the landscape plan.</li><li><input type="checkbox"/> Five copies of building elevations of all sides to include rooftop mechanical structures and showing screening of rooftop mechanical devices.</li><li><input type="checkbox"/> Surface and subsurface soils report.</li><li><input type="checkbox"/> Additional copies may be requested for the referral process</li><li><input type="checkbox"/> Certification of notification of mineral estate owners as described in Section 6.04 (b)(19).</li></ul> |
|--|---|

**Review Procedures/Approval Requirements**

\_\_\_\_\_ Site plan submittal, narrative, fees, and application form

\_\_\_\_\_ PN in paper 15 days prior to **P&Z** meeting on \_\_\_\_\_

Action of **P&Z**: \_\_\_\_\_

\_\_\_\_\_ PN in paper 15 days prior to **Council** meeting on \_\_\_\_\_

Action of **Council**: \_\_\_\_\_

\_\_\_\_\_ Certificate of Occupancy, provided that:

- Landscaping requirements met
- Drainage plan approved by City Engineer
- Parking lot and drainage facilities are in
- Fire flow/prevention approved by Cortez Fire District
- Other requirements are met by agencies and Building Official



KRAAIDESIGN  
ARCHITECTURE

573 W Crete Cir, Suite 201  
Grand Junction, CO 81505

Petition Letter  
Major Mortgage  
3222 F Road, Cortez, CO

June 15, 2023  
City of Cortez Planning

**1. General Explanation**

1.1. Location

1.1.1. This project is located in Lots 17, 18, 19A N Sligo St, Cortez CO 81321

1.1.2. Parcel Number: 5611-251-16-017

Cortez Zoning: C

1.2. Existing buildings

1.2.1. There are no existing buildings on the property.

1.3. Proposed building

1.3.1. All three lots to be combined into one. One new building will be added as part of the construction that will be a 5,878 square foot, 2 story wood framed office building. Normal office hours of 8:00 am -5:00pm. Approximately 4 employees.

1.4. Land use Existing/Proposed

1.4.1. Proposed: Drive through coffee shop.

1.5. Surrounding land usage

1.5.1. Surrounding Properties: all surrounding properties at also commercial use.

1.6. Nonconforming situation

1.6.1. No known nonconforming situations.

**2. Land Use**

2.1. The land will be used to operate a mortgage company.

### **3. Building Sizes**

3.1. Area: 5,878 sq ft

3.2. Height: 26'-0"

### **4. Parking**

4.1. Cars: 26 Parking Spaces (1 Handicap)

### **5. Traffic Circulation**

5.1. Traffic will enter and exit from Sligo St. Circulating counter clockwise through the property.

### **6. Landscaping**

6.1. Landscaping as shown in application with design done by Rob Breeden to meet the code required landscaping.

### **7. Outdoor storage**

7.1. Trash collection: there will be one trash enclosure on site near the parking spots in the north-east corner. The detail has been submitted as part of this application.

### **8. Signs**

8.1. Sign permit will be obtained.



**Colorado Title & Closing Services - Cortez**  
**631 E. Main Street**  
**Cortez, CO 81321**  
**Phone: (970)564-9770**  
**Fax: (970)564-9769**

2474 PATTERSON ROAD, LLC  
2474 PATTERSON ROAD SUITE 200  
GRAND JUNCTION, CO 81505

Re: Order No. MO22200547

Dear Tor or Ryar,

Enclosed please find the Owner's Title Insurance Policy issued in connection with the above captioned order.

In accordance with the Financial Services Modernization Act, also known as the Gramm-Leach-Bliley Act, effective July 1, 2001, it is our policy that we will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

We thank you for this opportunity of serving you. If you should have any questions or require further assistance, please do not hesitate to call on us.

Sincerely,

COLORADO TITLE & CLOSING SERVICES, LLC

A handwritten signature in blue ink that reads "Kathleen E. Padilla".

Policy Department 6/9/22

# **NOTICE CONCERNING FRAUDULENT INSURANCE ACTS**

*(This Notice is Permanently Affixed Hereto)*

It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the department of regulatory agencies.

C. R. S. A. § 10-1-128 (6)(a).

**ALTA OWNER'S POLICY (6-17-06)**

ISSUED BY

**WESTCOR LAND  
TITLE INSURANCE COMPANY**

OWNER'S POLICY OF TITLE INSURANCE

**Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.**

**COVERED RISKS**

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, WESTCOR LAND TITLE INSURANCE COMPANY, a South Carolina corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
  - (a) A defect in the Title caused by
    - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
    - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
    - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
    - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
    - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
    - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
    - (vii) a defective judicial or administrative proceeding.
  - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
  - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.

**COVERED RISKS Continued on next page**

IN WITNESS WHEREOF, **WESTCOR LAND TITLE INSURANCE COMPANY** has caused this policy to be signed and sealed as of the Date of Policy shown in Schedule A,

Issued By: CO1026 \* MO22200547

Colorado Title &amp; Closing Services, LLC

970 Main Avenue  
Durango, CO 81301**WESTCOR LAND TITLE INSURANCE COMPANY**

By:

\_\_\_\_\_  
President

Attest:

\_\_\_\_\_  
Secretary

4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (a) the occupancy, use, or enjoyment of the Land;
  - (b) the character, dimensions, or location of any improvement erected on the Land;
  - (c) the subdivision of land; or
  - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
  - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
  - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
    - (i) to be timely, or
    - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

#### EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions, or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
  - (a) a fraudulent conveyance or fraudulent transfer; or
  - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

## CONDITIONS AND STIPULATIONS

### 1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) “Amount of Insurance”: The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) “Date of Policy”: The date designated as “Date of Policy” in Schedule A.
- (c) “Entity”: A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) “Insured”: The Insured named in Schedule A.
  - (i) The term “Insured” also includes
    - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
    - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
    - (C) successors to an Insured by its conversion to another kind of Entity;
    - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
      - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
      - (2) if the grantee wholly owns the named Insured,
      - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
      - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
  - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) “Insured Claimant”: An Insured claiming loss or damage.
- (f) “Knowledge” or “Known”: Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) “Land”: The land described in Schedule A, and affixed improvements that by law constitute real property. The term “Land” does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) “Mortgage”: Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) “Public Records”: Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), “Public

Records” shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

- (j) “Title”: The estate or interest described in Schedule A.
- (k) “Unmarketable Title”: Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

### 2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

### 3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company’s liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

### 4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

### 5. DEFENSE AND PROSECUTION OF ACTIONS

- (a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or

## CONDITIONS AND STIPULATIONS - CONTINUED

damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

### 6. DUTY OF INSURED CLAIMANT TO COOPERATE

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.
- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

### 7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses in-

curred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

- (i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
- (ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

### 8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

- (a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of
- (i) the Amount of Insurance; or
- (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.
- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,
- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

### 9. LIMITATION OF LIABILITY

- (a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any

method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

#### **10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY**

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

#### **11. LIABILITY NONCUMULATIVE**

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

#### **12. PAYMENT OF LOSS**

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

#### **13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT**

- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

#### **14. ARBITRATION**

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be

no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

#### **15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT**

- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

#### **16. SEVERABILITY**

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

#### **17. CHOICE OF LAW; FORUM**

- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

#### **18. NOTICES, WHERE SENT**

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: Westcor Land Title Insurance Company, Attn.: Claims, 875 Concourse Parkway South, Suite 200, Maitland, FL 32751.

**ALTA OWNER'S POLICY**  
**(6-17-06)**

**WESTCOR**  
**LAND TITLE**  
**INSURANCE COMPANY**

**OWNER'S POLICY**  
**OF**  
**TITLE INSURANCE**

**HOME OFFICE**  
875 Concourse Parkway South, Suite 200  
Maitland, FL 32751  
Telephone: (407) 629-5842

**WESTCOR LAND TITLE INSURANCE COMPANY**

**SCHEDULE A**

Order No.: **MO22200547**  
Policy No.: **OP-6-CO1026-14087587**

Date of Policy: **May 11, 2022 at 2:57PM**  
Amount of Insurance: **\$94,900.00**  
Premium: **\$750.00**

1. Name of Insured:

**2474 PATTERSON ROAD, LLC**

2. The estate or interest in the land described herein and which is covered by this policy is:

**FEE SIMPLE**

3. The estate or interest referred to herein is at Date of Policy vested in:

**2474 PATTERSON ROAD, LLC**

4. The land referred to in this policy located in the State of Colorado, County of **Montezuma** is described as follows:

**TRACT I**

**Lot 19A, THE AMENDED PLAT OF LOTS 9, 10, 19, 20 AND THE FRONTIER PLAZA TRACT, BLOCK 5, HENRY SUBDIVISION TO THE CITY OF CORTEZ, COLORADO, according to the plat thereof filed for record August 29, 1997, in Book 13 at Page 86.**

**TRACT II**

**Lot 17, Block 5, HENRY ADDITION to the City of Cortez, according to the plat thereof filed for record April 29, 1957 in Book 7 at Page 36.**

**TRACT III**

**Lot 18, Block 5, HENRY ADDITION to the City of Cortez, according to the plat thereof filed for record April 29, 1957 in Book 7 at Page 36.**

**SCHEDULE B**

**EXCEPTIONS**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Any facts, rights, interests or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.

**NOTE: Real Estate Taxes for the year 2021 are paid. Real Estate Taxes for the year 2022 are not yet due or payable.**

6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) ditches and ditch rights; water rights, claims or title to water; (d) all interest in oil, gas, coal and other mineral rights severed by predecessors in Title and any and all assignments thereof or interests therein; whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records.
7. Easement as described in instrument from James R. Henry and E.W. Henry to Empire Electric Association, Inc., recorded October 13, 1955 in Book 214 at Page 292.
8. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the plat of Henry Addition filed for record April 29, 1957 in Book 7 at Page 36, and any appurtenances thereto.
9. All easements, plat notes and notices, building setbacks, restrictions and general dedications pertaining to subject property as set forth on the amended plat of Henry Subdivision filed for record August 29, 1997 in Plat Book 13 at Page 86, and any appurtenances thereto.
10. Any, tax, assessment, fees or charges, by reason of the inclusion of the subject property in the local street improvement and Cortez Sanitation Districts and any resolutions, ordinances and/or agreements pertaining thereto.



Colorado Secretary of State  
 Date and Time: 02/06/2007 10:30 AM  
 Id Number: 20071063614  
 Document number: 20071063614

Document processing fee  
 If document is filed on paper \$125.00  
 If document is filed electronically \$ 25.00

Fees & forms/cover sheets  
 are subject to change.

To file electronically, access instructions  
 for this form/cover sheet and other  
 information or print copies of filed  
 documents, visit [www.sos.state.co.us](http://www.sos.state.co.us)  
 and select Business Center.

Paper documents must be typewritten or machine printed.

ABOVE SPACE FOR OFFICE USE ONLY

**Articles of Organization**

filed pursuant to §7-90-301, et seq. and §7-80-204 of the Colorado Revised Statutes (C.R.S)

1. Entity name:

2474 Patterson Road, LLC

*(The name of a limited liability company must contain the term or abbreviation "limited liability company", "Ltd. liability company", "limited liability co.", "Ltd. liability co.", "limited", "llc", "l.l.c.", or "Ltd." §7-90-601, C.R.S.)*

2. Use of Restricted Words *(if any of these terms are contained in an entity name, true name of an entity, trade name or trademark stated in this document, mark the applicable box):*

- "bank" or "trust" or any derivative thereof
- "credit union"       "savings and loan"
- "insurance", "casualty", "mutual", or "surety"

3. Principal office street address:

567 - 20 Road

*(Street name and number)*

Grand Junction

*(City)*

CO 81503

*(State)*

*(Postal/Zip Code)*

United States

*(Country – if not US)*

*(Province – if applicable)*

4. Principal office mailing address  
 (if different from above):

*(Street name and number or Post Office Box information)*

*(City)*

*(State)*

*(Postal/Zip Code)*

*(Province – if applicable)*

*(Country – if not US)*

5. Registered agent name (if an individual):

Hayward

*(Last)*

Tor

*(First)*

*(Middle)*

*(Suffix)*

**OR** (if a business organization):

6. The person identified above as registered agent has consented to being so appointed.

7. Registered agent street address:

567 - 20 Road

*(Street name and number)*

Grand Junction

*(City)*

CO

*(State)*

81503

*(Postal/Zip Code)*

8. Registered agent mailing address  
(if different from above):

\_\_\_\_\_  
*(Street name and number or Post Office Box information)*

---

\_\_\_\_\_  
 \_\_\_\_\_  
*(City) (State) (Postal/Zip Code)*

---

\_\_\_\_\_  
 \_\_\_\_\_  
*(Province – if applicable) (Country – if not US)*

9. Name(s) and mailing address(es)  
of person(s) forming the limited  
liability company:

(if an individual) Howe John T.  
*(Last) (First) (Middle) (Suffix)*

**OR** (if a business organization)

200 Grand Avenue, Suite 400  
*(Street name and number or Post Office Box information)*

---

Post Office Box 40

---

Grand Junction CO 81502  
*(City) (State) (Postal/Zip Code)*

---

United States  
*(Country – if not US)*

(if an individual) \_\_\_\_\_  
*(Last) (First) (Middle) (Suffix)*

**OR** (if a business organization)

\_\_\_\_\_  
*(Street name and number or Post Office Box information)*

---

\_\_\_\_\_  
 \_\_\_\_\_  
*(City) (State) (Postal/Zip Code)*

---

United States  
*(Country – if not US)*

(if an individual) \_\_\_\_\_  
*(Last) (First) (Middle) (Suffix)*

**OR** (if a business organization)

\_\_\_\_\_  
*(Street name and number or Post Office Box information)*

---

\_\_\_\_\_  
 \_\_\_\_\_  
*(City) (State) (Postal/Zip Code)*

---

United States  
*(Country – if not US)*

*(If more than three persons are forming the limited liability company, mark this box  and include an attachment stating the true names and mailing addresses of all additional persons forming the limited liability company)*

10. The management of the limited liability company is vested in managers

**OR** is vested in the members

11. There is at least one member of the limited liability company.

12. (Optional) Delayed effective date: \_\_\_\_\_.  
(mm/dd/yyyy)

13. Additional information may be included pursuant to other organic statutes such as title 12, C.R.S. If applicable, mark this box  and include an attachment stating the additional information.

Notice:

Causing this document to be delivered to the secretary of state for filing shall constitute the affirmation or acknowledgment of each individual causing such delivery, under penalties of perjury, that the document is the individual's act and deed, or that the individual in good faith believes the document is the act and deed of the person on whose behalf the individual is causing the document to be delivered for filing, taken in conformity with the requirements of part 3 of article 90 of title 7, C.R.S., the constituent documents, and the organic statutes, and that the individual in good faith believes the facts stated in the document are true and the document complies with the requirements of that Part, the constituent documents, and the organic statutes.

This perjury notice applies to each individual who causes this document to be delivered to the secretary of state, whether or not such individual is named in the document as one who has caused it to be delivered.

14. Name(s) and address(es) of the individual(s) causing the document to be delivered for filing:

Howe	John	T.	
(Last)	(First)	(Middle)	(Suffix)
200 Grand Avenue, Suite 400			
(Street name and number or Post Office Box information)			
Post Office Box 40			
(Post Office Box information)			
Grand Junction	CO	81502	
(City)	(State)	(Postal/Zip Code)	
United States			
(Province – if applicable)		(Country – if not US)	

(The document need not state the true name and address of more than one individual. However, if you wish to state the name and address of any additional individuals causing the document to be delivered for filing, mark this box  and include an attachment stating the name and address of such individuals.)

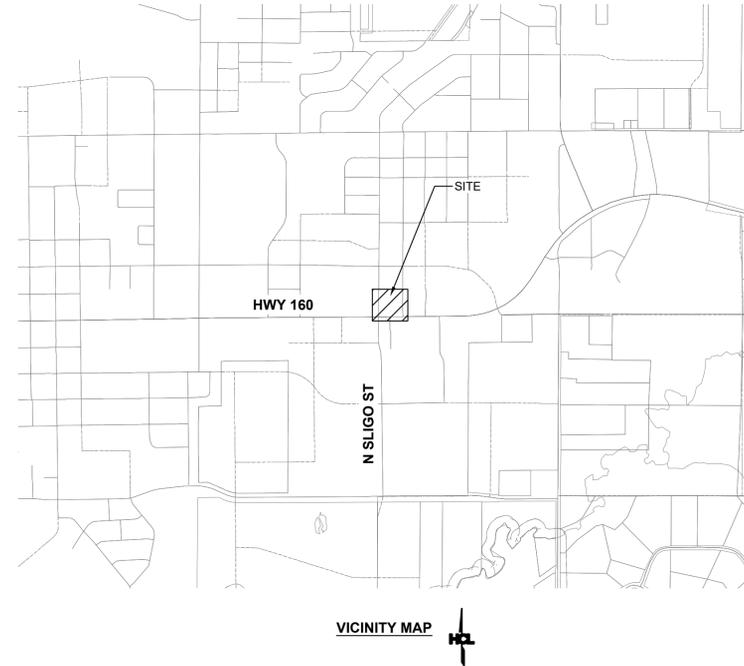
**Disclaimer:**

This form, and any related instructions, are not intended to provide legal, business or tax advice, and are offered as a public service without representation or warranty. While this form is believed to satisfy minimum legal requirements as of its revision date, compliance with applicable law, as the same may be amended from time to time, remains the responsibility of the user of this form. Questions should be addressed to the user's attorney.

# MAJOR MORTGAGE PRELIMINARY SITE PLAN

LOTS 17, 18, 19A N SLIGO ST.  
CORTEZ, CO

ZONING	C - COMMERCIAL HIGHWAY	
USE OF PROPOSED ADDITION	RETAIL USE - OFFICE	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
GROSS ZONE LOT AREA	26,218	0.60
GROSS PROJECT AREA (LIMIT OF WORK PORTION OF GROSS ZONE LOT)	26,218	0.60
AREA TO BE DEEDED FOR ADDITIONAL RIGHT-OF-WAY	N/A	N/A
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT-OF-WAY)	26,218	0.60
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY: N SLIGO ST SIDE: N/A	
GROSS FLOOR AREA FOR EACH USE	BUILDING 1 (MAJOR MORTGAGE) - OFFICE: 3,456 SF	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES (MIN/MAX)	2 STORIES MAX	2 STORIES
BUILDING HEIGHT, FEET (MIN/MAX)	50' MAX	24' - 8"
SETBACKS (PRIMARY STREET, SIDE, REAR)	10' MIN	10' MIN
PARKING	REQUIRED (MIN/MAX)	PROVIDED
STANDARD SPACES	1/300 SF GFA = 20	24
COMPACT SPACES	MAX 10% (29) = 2	0
ACCESSIBLE	1	1
TOTAL PARKING SPACES	21	25
BICYCLE SPACES	0	0
LOADING SPACES	0	0



## PROJECT DESCRIPTION

WORK TO INCLUDE THE DEVELOPMENT OF A 0.60 ACRE SITE WITH A 3,456 SF BUILDING AND CORRESPONDING PARKING AND DRIVEWAY ACCESS. PROPOSED SITE ADDRESS: 72 N SLIGO ST. CORTEZ, CO 81321

## CONTACTS

OWNER:  
MAJOR MORTGAGE  
2474 PATTERSON RD SUITE #200  
GRAND JUNCTION, CO 81505  
PHONE: 970-241-6100

CIVIL ENGINEER:  
HCL ENGINEERING & SURVEYING  
5975 S. QUEBEC ST., SUITE 200  
CENTENNIAL, CO 80111  
PHONE: 303.773.1605  
CONTACT: BYRON GLENN, P.E.

MECHANICAL & PLUMBING ENGINEER:  
BIGHORN CONSULTING ENGINEERS  
386 INDIAN ROAD  
GRAND JUNCTION, CO 81501  
PHONE: 970.241.8709

ARCHITECT:  
KRAAI DESIGN ARCHITECTURE  
417 MONUMENT RD., SUITE 7  
GRAND JUNCTION, CO 81507  
PHONE: 970.712.5045

GOVERNMENT:  
THE CITY OF CORTEZ  
PLANNING AND BUILDING  
123 ROGER SMITH AVE.  
CORTEZ, CO 81321  
PHONE: 970.565.3402

STRUCTURAL ENGINEER:  
LINDAUER DUNN INC.  
802 ROOD AVE  
GRAND JUNCTION, CO  
PHONE: 970.241.0900

SURVEYOR:  
HUDDLESTON LAND SURVEYING  
CORTEZ, CO 81321  
PHONE: 970.565.3330

SHEET  
C0.0  
C1.0  
C2.0  
C3.0  
C4.0  
C5.0  
C6.0

## SHEET LIST TABLE

SHEET TITLE  
COVER SHEET  
EXISTING SITE PLAN  
OVERALL SITE PLAN  
OVERALL GRADING PLAN  
OVERALL UTILITY PLAN  
EROSION CONTROL PLAN  
CROSS SECTIONS

REVISIONS

DATE

#

1

2

3

4

5

PROJECT: MAJOR MORTGAGE

DRAWING: COVER SHEET

CLIENT: MAJOR MORTGAGE

DESIGNED BY: HCL

DRAWN BY: ZEB

CHECKED BY: BUG

DEVELOPED BY:

HCL ENGINEERING & SURVEYING, L.L.C.

5975 S. QUEBEC ST., SUITE 200

CENTENNIAL, CO 80111

PHONE: 303.773.1605

FAX: 303.773.3297

WWW.HCLENGINEERING.COM



SHEET NUMBER

C0.0

PROJECT NO.

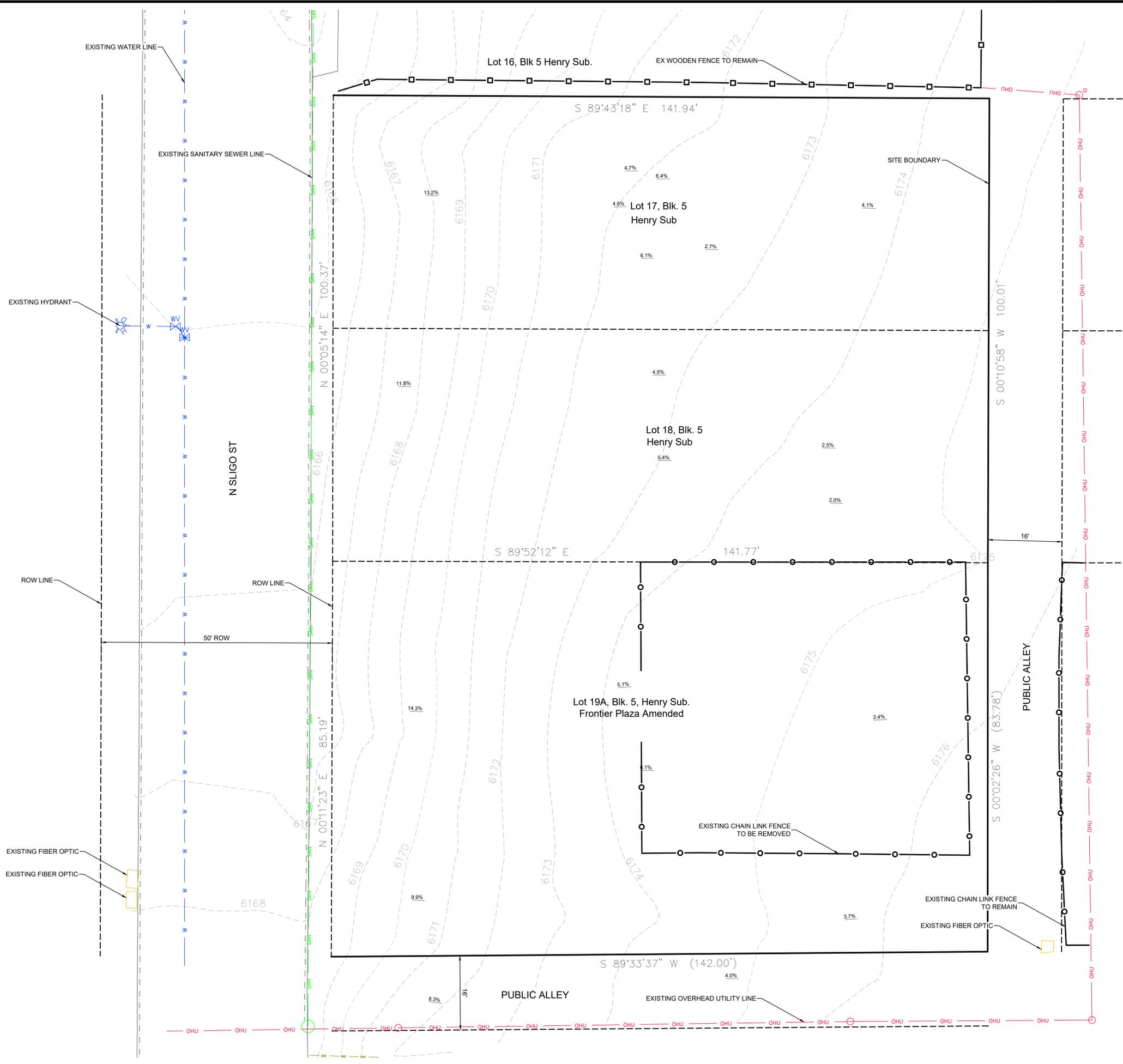
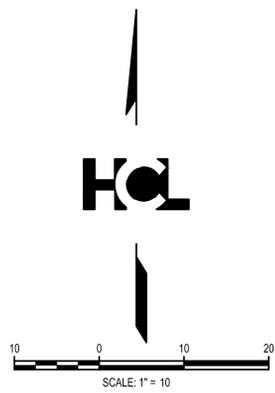
2023-06-16 1:30pm By: zbecor  
 H:\2023\_sheets\230608 - Major Mortgage - Cortez, CO\Civil\Plan Sets\Sheet Sets\230608 - EXISTING SITE PLAN.dwg

**LEGEND**

-  BOUNDARY LINE
-  ZONE LOT LINE
-  EXISTING FLOW LINE

**GENERAL NOTES**

1. EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.



**FOR BURIED UTILITY INFORMATION  
 THREE (3) BUSINESS DAYS  
 BEFORE YOU DIG**  
 CALL 811  
 (or 1-800-922-1987)  
 UTILITY NOTIFICATION  
 CENTER OF COLORADO (UNCC)  
 www.uncc.org



#	DATE	REVISIONS
1		
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PROJECT: MAJOR MORTGAGE
DRAWING: EXISTING SITE PLAN
CLIENT: MAJOR MORTGAGE
DESIGNED BY: ZEB
DRAWN BY: ZEB
CHECKED BY: BUG

DEVELOPED BY:  
 HCL ENGINEERING & SURVEYING, L.L.C.  
 1000 W. BEAR ST, SUITE 200  
 CENTENNIAL, CO 80111  
 PHONE: 303.773.1805  
 FAX: 303.773.3297  
 WWW.HCLENGINEERING.COM



SHEET NUMBER  
**C1.0**  
 PROJECT NO.

**LEGEND**

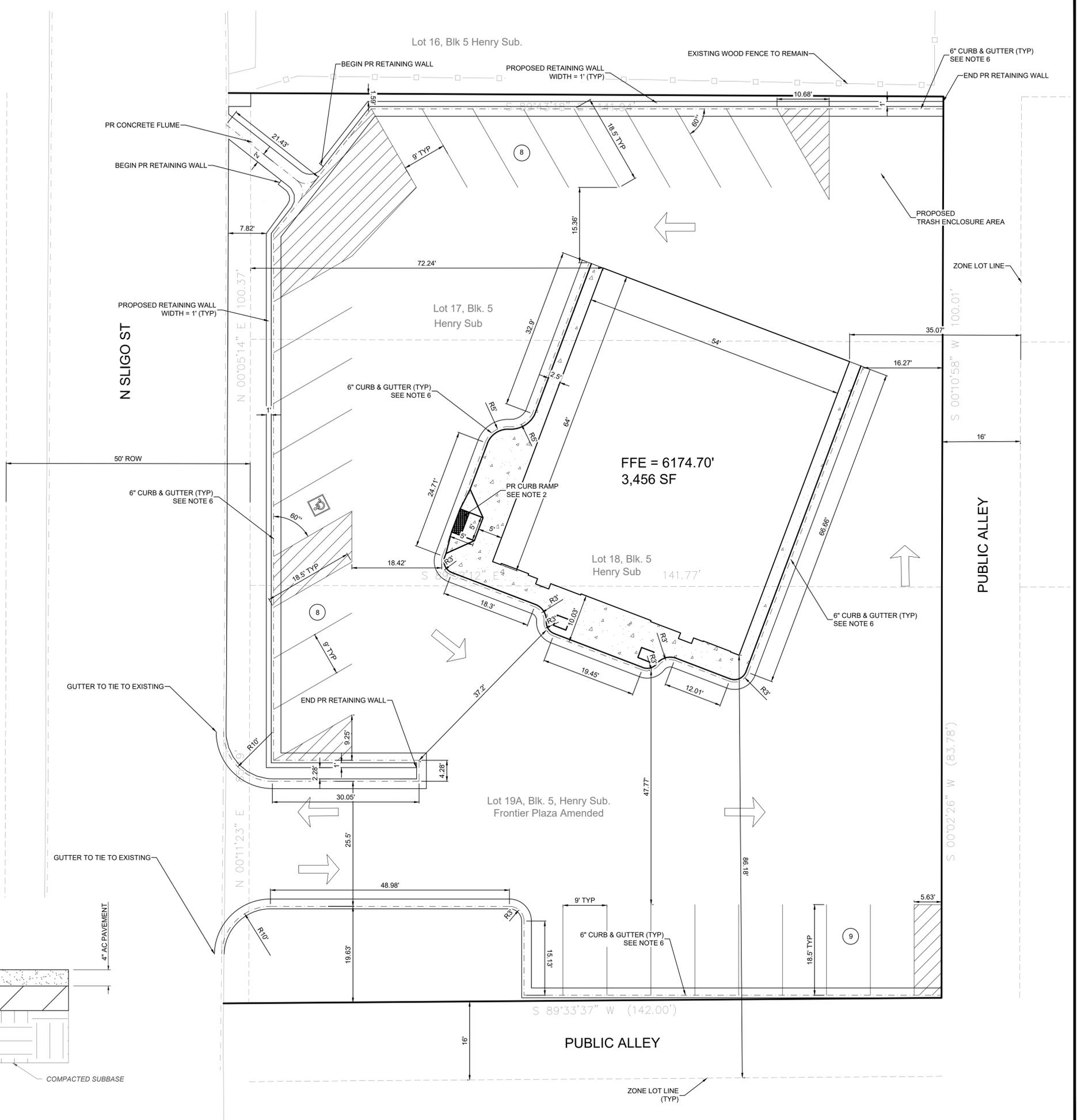
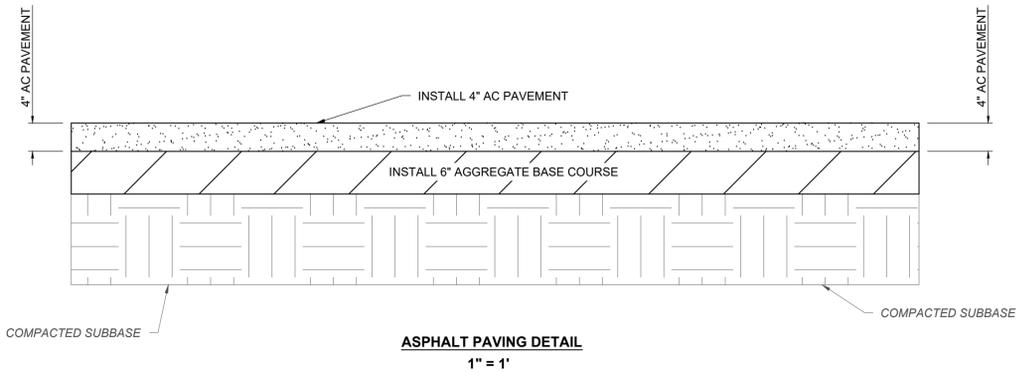
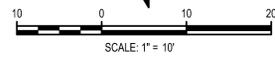
- BOUNDARY LINE
- - - ZONE LOT LINE
- - - PROPOSED FLOW LINE
- - - EXISTING FLOW LINE
- [Pattern] PROPOSED CONCRETE PAVEMENT
- [Pattern] PROPOSED ASPHALT PAVEMENT
- [Pattern] PROPOSED GRAVEL LANDSCAPE
- (X) PARKING STALL COUNT

**NOTES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
3. ADA-COMPLIANT DETECTABLE WARNING IS REQUIRED WHERE ALL SIDEWALKS INTERSECT CURB LINES.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION EROSION AND SEDIMENT CONTROL CONFORMING TO ALL STATE AND LOCAL STANDARDS.
5. ANY AREA OUTSIDE THE LIMIT OF PROPOSED WORK THAT IS DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
6. CURB & GUTTER DETAIL PER CITY OF CORTEZ CONSTRUCTION DESIGN STANDARDS AND SPECIFICATIONS
7. CONTRACTOR TO REFER TO PROJECT GEOTECHNICAL REPORT FOR COMPLETE PAVEMENT DESIGN AND SUBGRADE PREPARATION

**GENERAL NOTE**

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY (MAJOR MORTGAGE TOPO SURVEY) BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



REVISIONS

DATE

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PROJECT: MAJOR MORTGAGE

DRAWING: SITE PLAN

DEVELOPED BY:  
HCL ENGINEERING & SURVEYING, L.L.C.  
1000 W. 1ST, SUITE 200  
CENTRAL, CO 81011  
PHONE: 303.773.1805  
FAX: 303.773.3297  
WWW.HCLENGINEERING.COM



SHEET NUMBER

**C2.0**

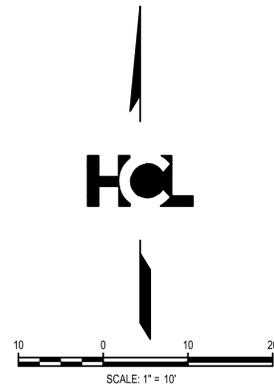
PROJECT NO.

**LEGEND**

- BOUNDARY LINE
- - - ZONE LOT LINE
- - - 4618 EXISTING CONTOUR
- - - 4618 PROPOSED CONTOUR
- - - FLOW LINE
- X.X% SLOPE ARROW

**ABBREVIATIONS**

- HP HIGH POINT
- LP LOW POINT
- FL FLOW LINE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- BOW BOTTOM OF WALL
- TBC TOP BACK OF CURB

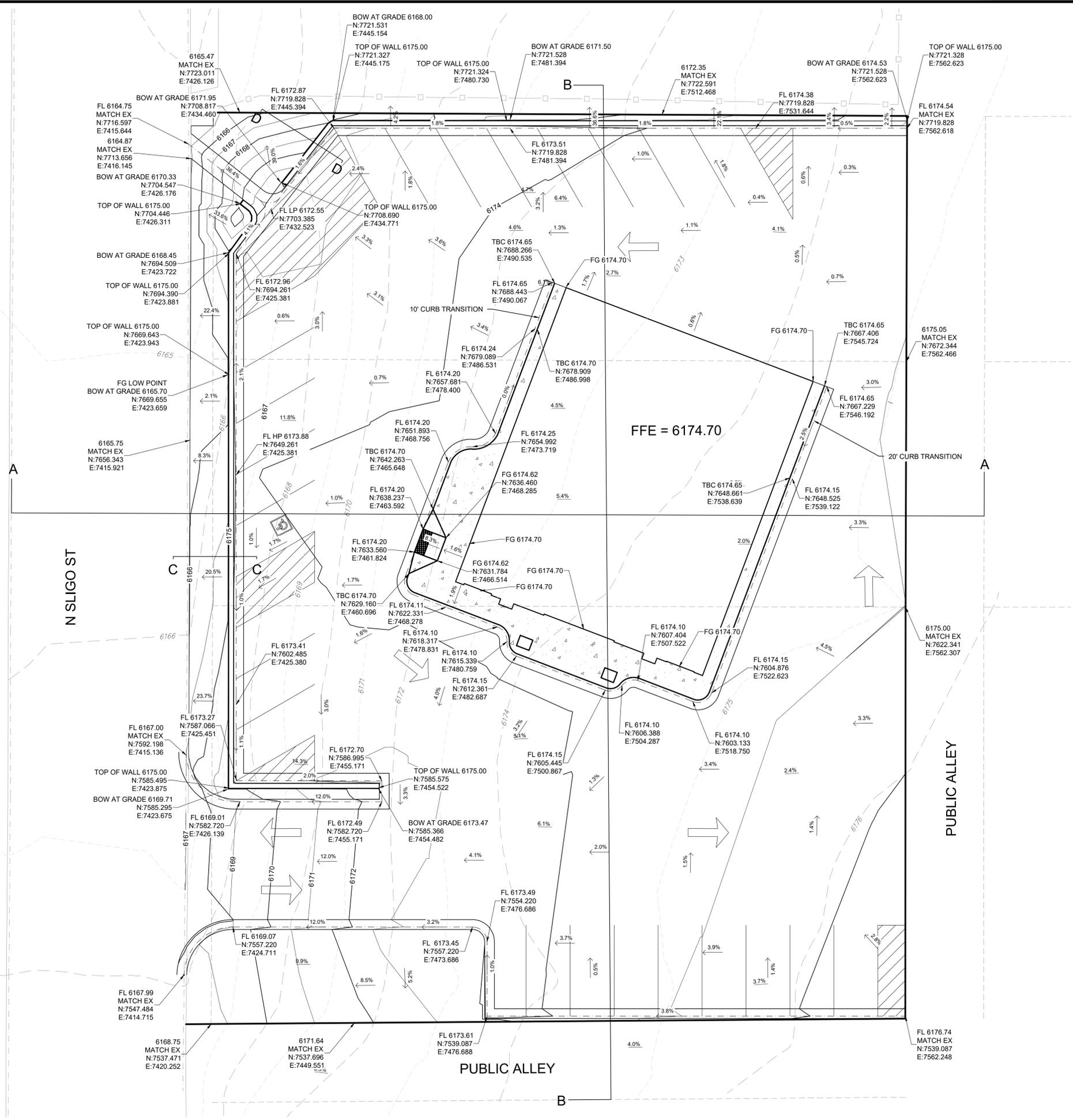


**NOTES:**

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
- ALL SIDEWALKS SHALL HAVE A 1.5% MINIMUM CROSS-SLOPE IN THE DOWN-GRADIENT DIRECTION.
- CROSS SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. LONGITUDINAL SLOPES ALONG RAMPS SHALL NOT EXCEED 12:1. ALL RAMPS SHALL HAVE HANDRAILS ON BOTH SIDES, WITH THE EXCEPTION OF CURB RAMPS.
- WHERE A GUTTER PAN IS LOCATED AT THE BOTTOM OF A CURB RAMP, THE SLOPE OF THE GUTTER PAN SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL, AND 2% CROSS SLOPE.
- UNLESS OTHERWISE NOTED, ALL SPOT ELEVATIONS REPRESENT FINISHED GRADE (NOT INCLUDING ROCK MULCH OR OTHER LANDSCAPE COVER). UNLESS OTHERWISE NOTED, ALL SPOT ELEVATIONS ALONG CURB OR GUTTER PANS REPRESENT FLOWLINE.
- CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS, VALVE BOXES, AND OTHER UTILITY STRUCTURES TO FINAL GRADE.
- CONTRACTOR SHALL PERFORM A FORM CHECK PRIOR TO PLACING EXTERIOR CONCRETE. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY SLOPE OR ELEVATION DISCREPANCIES FROM THESE PLANS.
- DOWNSPOUTS AND RAINWATER LEADERS THAT DISCHARGE TO GRADE SHALL INCLUDE A 5-FOOT EXTENDER OR CONCRETE SPLASH BLOCK EXTENDING 5 FEET FROM THE BUILDING LINE AND SHALL DIRECT FLOW AWAY FROM THE BUILDING.
- CONTRACTOR SHALL FIELD-VERIFY SPOT ELEVATIONS LABELED "MATCH" AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FROM THESE PLANS.
- ALL GRADES ADJACENT TO THE BUILDING IN NON-PAVED AREAS SHALL BE A MINIMUM OF 8 INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
- ALL GRADES ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, AND AT A MINIMUM OF 5% FOR 10 FEET IN NON-PAVED AREAS, AND 1% IN PAVED AREAS.

**GENERAL NOTE**

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



#	DATE	REVISIONS
1		
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PROJECT: MAJOR MORTGAGE	DRAWING: GRADING & DRAINAGE PLAN
CLIENT: MAJOR MORTGAGE CENTRAL CO #011	DESIGNED BY: ZEB
SCALE: HORIZ: 1" = 10'	DRAWN BY: ZEB
VERT: 1" = 10'	CHECKED BY: BUG
DATE:	

DEVELOPED BY:  
 HCL ENGINEERING & SURVEYING, L.L.C.  
 1000 S. BROADWAY, SUITE 200  
 CENTRAL CO #011  
 PHONE: 303.773.1805  
 FAX: 303.773.3297  
 WWW.HCLENGINEERING.COM



SHEET NUMBER  
**C3.0**  
 PROJECT NO.

2023-06-16 1:30pm By: zbecor  
 H:\2023\_sheets\230608 - Major Mortgage - Corbett, CO\Civil\Plan\_Sets\230608 - GRADING PLAN\_Alt\_EXHIBIT.dwg



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 www.uncc.org



**LEGEND**

- PR WATER LINE
- PR SANITARY SEWER LINE
- EX OVERHEAD TELECOMMUNICATION LINE
- EX OVERHEAD ELECTRIC LINE
- EX SANITARY SEWER LINE
- EX GAS LINE
- EX WATER LINE
- EX WATER METER
- EX WATER VALVE
- EX GAS VALVE
- EX GAS METER
- EX ROOF DRAIN
- EX CLEAN OUT
- EX LIGHT POLE
- EX ELECTRICAL UTILITY BOX
- EX ELECTRICAL TRANSFORMER
- EX ELECTRICAL METER

**NOTES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL INSTALL ALL SIDEWALK, HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS IN CONFORMANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARDS, AND ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
3. ADA-COMPLIANT DETECTABLE WARNING IS REQUIRED WHERE ALL SIDEWALKS INTERSECT CURB LINES.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION EROSION AND SEDIMENT CONTROL CONFORMING TO ALL STATE AND LOCAL STANDARDS.
5. ANY AREA OUTSIDE THE LIMIT OF PROPOSED WORK THAT IS DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.

**GENERAL NOTE**

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION

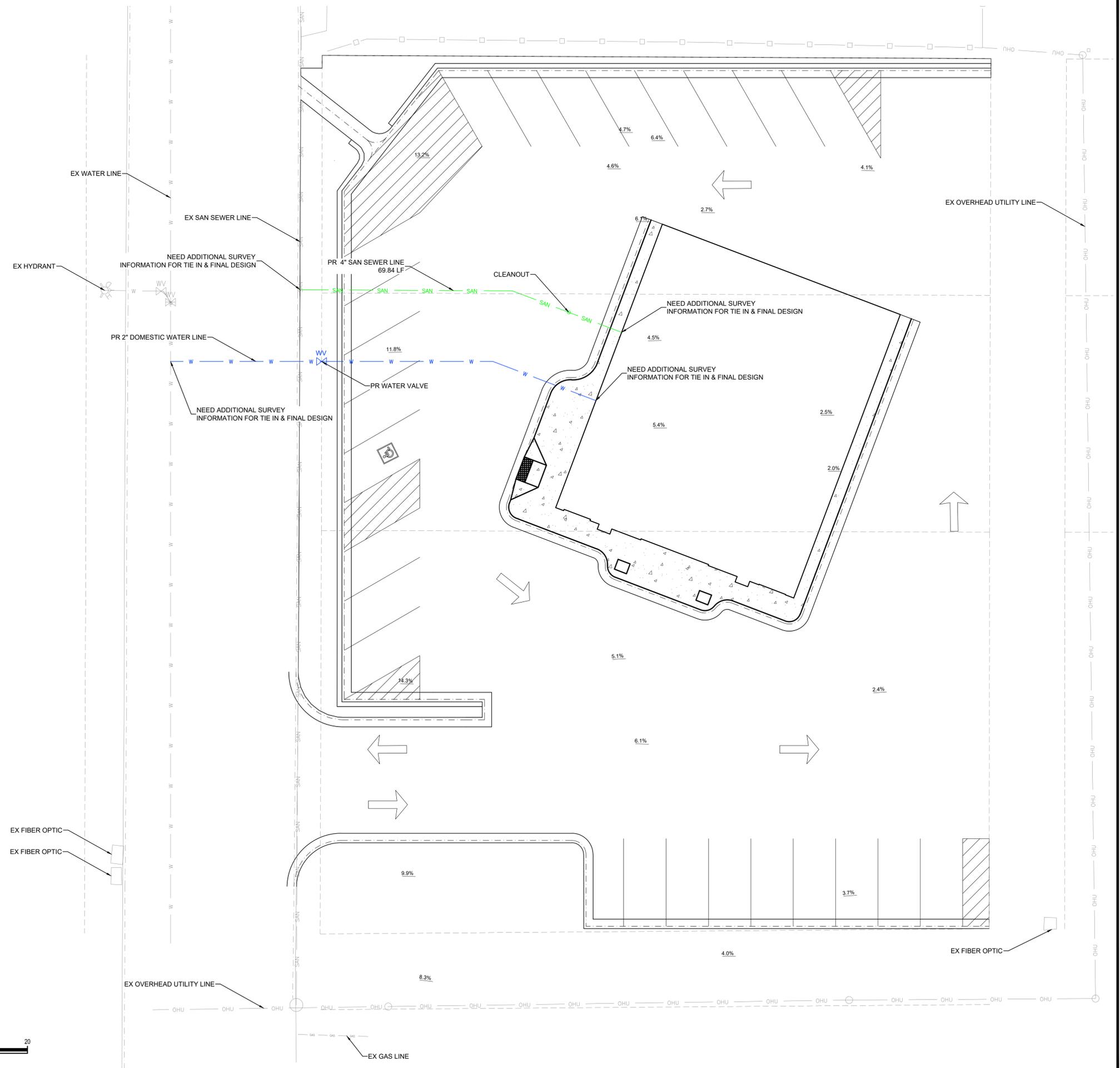
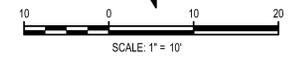
**BUILDING 1**

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1,500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE  
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS INDIVIDUALLY. EACH FIRE HYDRANT MUST SUPPLY 1,500 GPM MINIMUM @20 PSI PRESSURE

CODE USED FOR ANALYSIS: 2018 IFC  
OCCUPANCY TYPE: BUSINESS  
FIRE FLOW CALCULATION AREA: 3,500 SF

THIS BUILDING IS NOT SPRINKLERED

EX FIBER OPTIC  
EX FIBER OPTIC



#	DATE	REVISIONS
1		
2		
3		
4		
5		

PROJECT: MAJOR MORTGAGE
DRAWING: UTILITY PLAN
CLIENT: MAJOR MORTGAGE
DESIGNED BY: ZEB
DRAWN BY: ZEB
CHECKED BY: BUG
SCALE: HORIZ: 1" = 10'
VERT: DATE:

DEVELOPED BY:  
HCL ENGINEERING & SURVEYING, L.L.C.  
1000 W. 10TH ST, SUITE 200  
CENTRAL, CO 80111  
PHONE: 303.773.1805  
FAX: 303.773.3297  
WWW.HCLENGINEERING.COM



SHEET NUMBER  
**C4.0**  
PROJECT NO.

2023-06-16 1:30pm By: zbecor  
M:\2023\1000\1000008 - Major Mortgage - Overhead Utility Plan.dwg

**BMP LEGEND**

	SR	SURFACE ROUGHENING
	ECB	EROSION CONTROL BLANKET
	TSD	TEMPORARY SLOPE DRAIN
	OP	RRB FOR CULVERT PROTECTION
	RCS	ROUGH CUT STREET CONTROL
	ED/DS	EARTH DIKES AND DRAINAGE SWALE
	TER	TERRACING
	CD	CHECK DAM
	CWA	CONCRETE WASHOUT AREA
	SP	STOCKPILE MANAGEMENT
	SF	SILT FENCE
	SCL	SEDIMENT CONTROL LOG
	SBB	STRAW BAIL BARRIER
	RS	ROCK SOCK
	IP	INLET PROTECTION
	SB	SEDIMENT BASIN
	CF	CONSTRUCTION FENCE
	VTC	VEHICLE TRACKING CONTROL
	SSA	STABILIZED STAGING AREA
	TDC	TEMPORARY DIVERSION CHANNEL
	DW	DEWATERING
	TSC	TEMPORARY STREAM CROSSING
	LOC	LIMITS OF CONSTRUCTION
	LOD	LIMIT OF DISTURBANCE

**NOTES:**

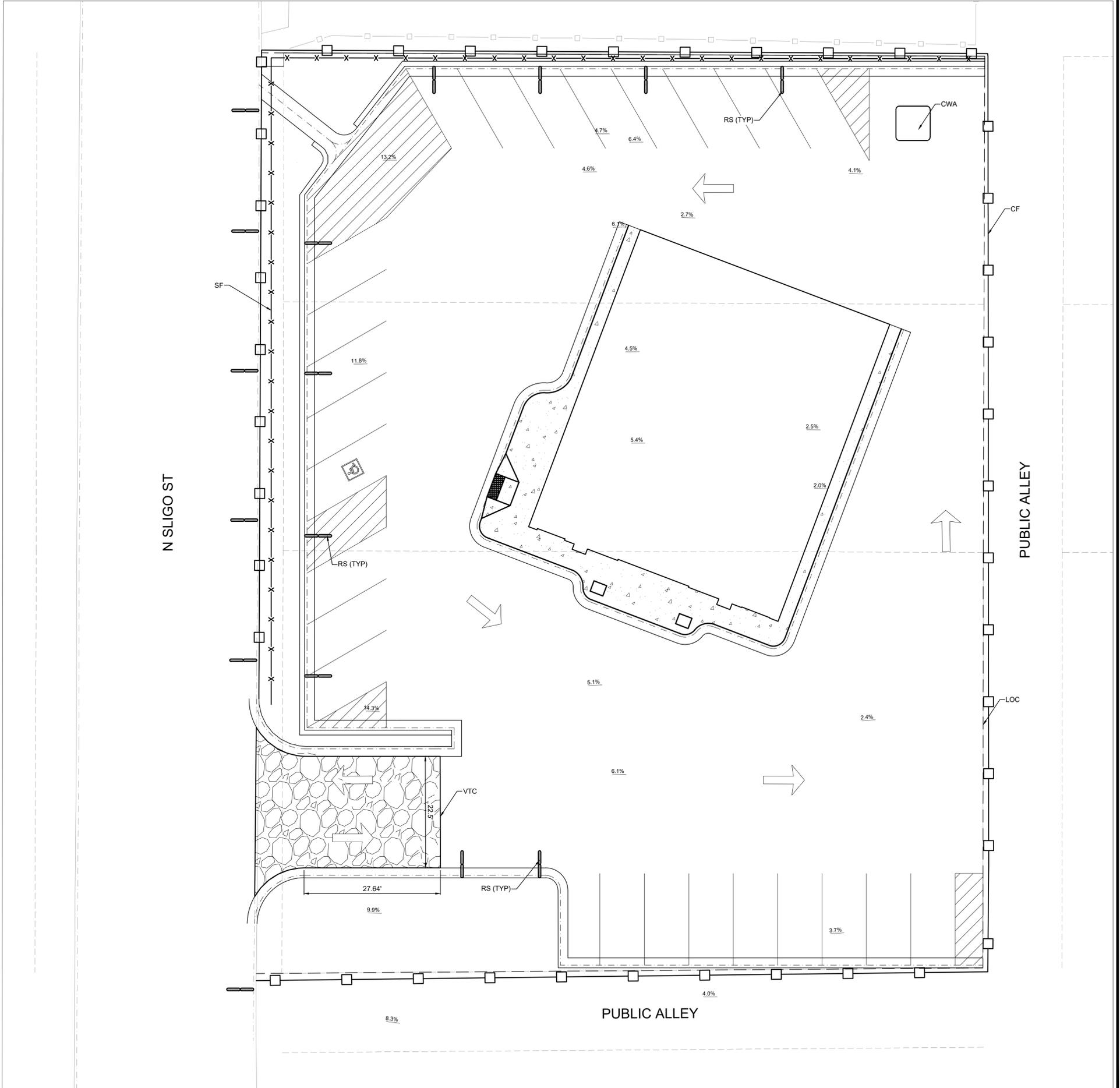
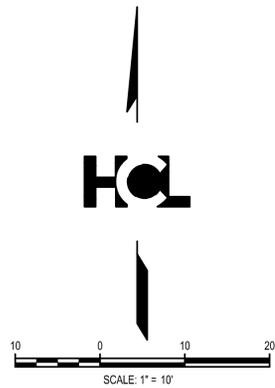
1. ANY BMPs THAT REQUIRE GRADING, E.G. SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH OUT AREAS, ETC., SHALL NOT BE PLACED UNTIL AFTER THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE SEDIMENT BASIN OR OTHER BMP) SHALL NOT BE INSTALLED UNTIL AFTER THE GESC PRE-CONSTRUCTION MEETING AND ISSUANCE OF THE GESC PERMIT BUT MUST BE FULLY FUNCTIONAL PRIOR TO ANY LARGE SCALE GRADING. THE INITIAL PLAN ILLUSTRATES EXISTING CONDITIONS NO PROPOSED INFRASTRUCTURE IS SHOWN.

2. USE COCONUT FIBER FOR EROSION CONTROL BLANKETS AND SEDIMENT CONTROL LOGS.

3. WHEN ROCK SOCKS ARE PLACED IN THE GUTTER ADJACENT TO A CURB, ROCK SOCKS SHOULD PROTRUDE NO MORE THAN TWO FEET FROM THE CURB

**GENERAL NOTE**

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



#	DATE	REVISIONS
1		
2		
3		
4		
5		

PROJECT: MAJOR MORTGAGE
DRAWING: EROSION CONTROL PLAN
CLIENT: MAJOR MORTGAGE
DESIGNED BY: [Name]
DRAWN BY: ZEB
CHECKED BY: BUG
SCALE: 1" = 10'
HORIZ: [ ]
VERT: [ ]
DATE: [ ]

DEVELOPED BY:  
HCL ENGINEERING & SURVEYING, L.L.C.  
1000 W. 10TH ST, SUITE 200  
CENTRAL CO 80111  
PHONE: 303.773.1805  
FAX: 303.773.3297  
WWW.HCLENGINEERING.COM



SHEET NUMBER  
**C5.0**  
PROJECT NO.

2023-06-16 1:30pm By: zbecor  
M:\2023\_sheets\230608 - Major Mortgage - Corbett, CO\Civil\Plan Sets\Sheet Sets\230608 - EROSION CONTROL PLAN.dwg

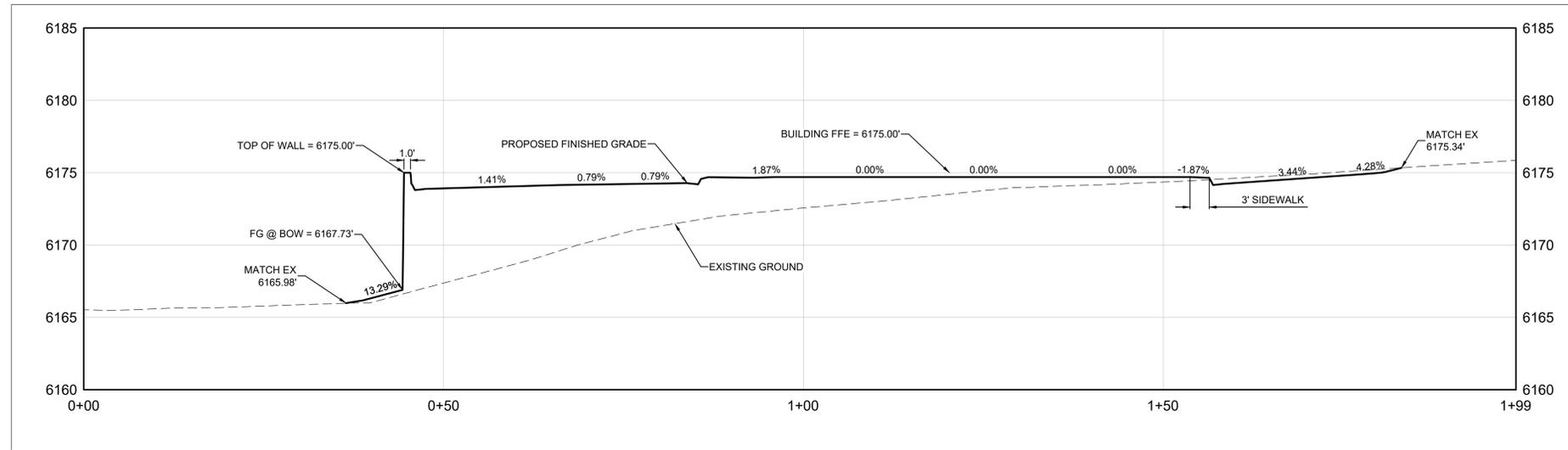
**811**  
FOR BURIED UTILITY INFORMATION  
THREE (3) BUSINESS DAYS  
BEFORE YOU DIG  
CALL 811  
(or 1-800-922-1987)  
UTILITY NOTIFICATION  
CENTER OF COLORADO (UNCC)  
www.uncc.org

**LEGEND**

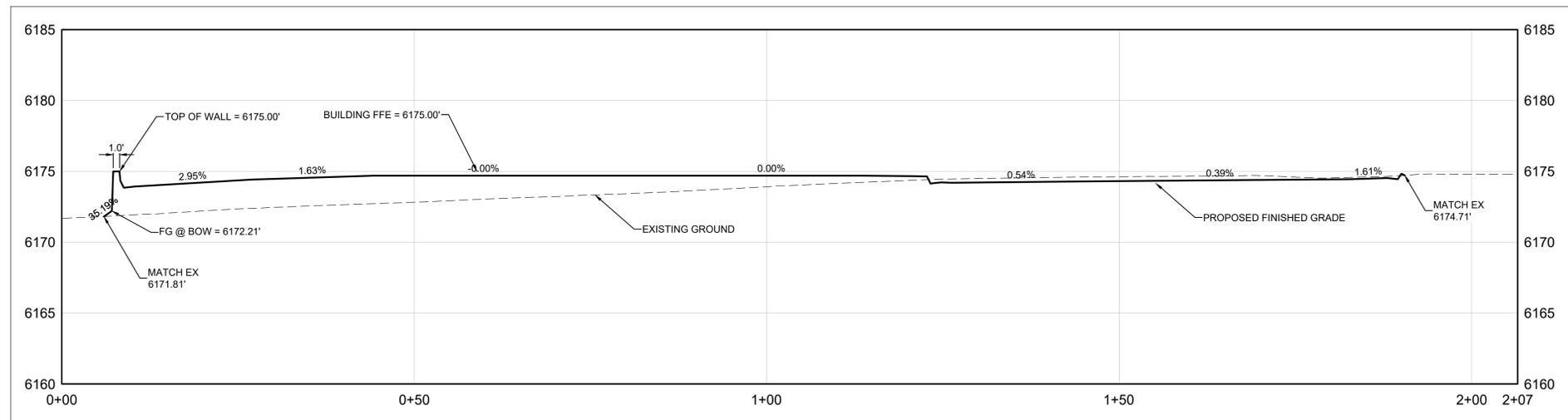
- BOUNDARY LINE
- - - ZONE LOT LINE
- - - 4618 EXISTING CONTOUR
- 4618 PROPOSED CONTOUR
- - - FLOW LINE
- ← X.X% SLOPE ARROW

**ABBREVIATIONS**

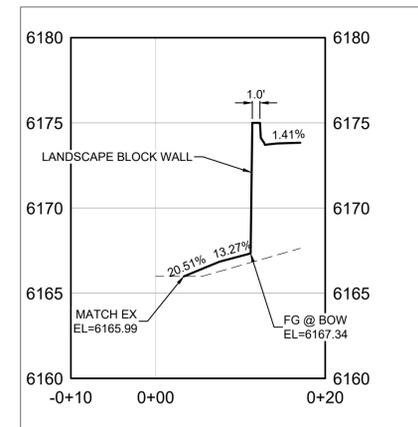
- HP HIGH POINT
- LP LOW POINT
- FL FLOW LINE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- BOW BOTTOM OF WALL
- TBC TOP BACK OF CURB



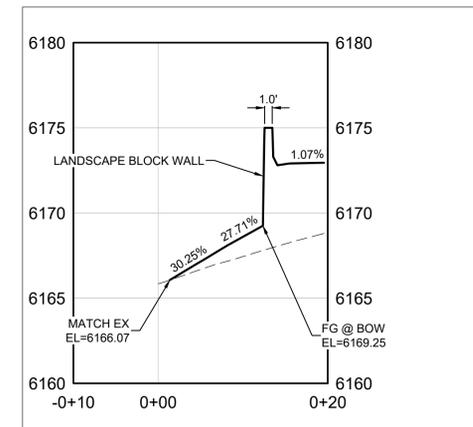
**SECTION A-A**  
VERT SCALE: 1" = 5'  
HORIZ SCALE: 1" = 10'



**SECTION B-B**  
VERT SCALE: 1" = 5'  
HORIZ SCALE: 1" = 10'



**SECTION C-C**  
VERT SCALE: 1" = 5'  
HORIZ SCALE: 1" = 10'



**SECTION D-D**  
VERT SCALE: 1" = 5'  
HORIZ SCALE: 1" = 10'



**GENERAL NOTE**

EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON THE SITE SURVEY "MAJOR MORTGAGE TOPO SURVEY" BY HUDDLESTON LAND SURVEYING. HCL MAKES NO WARRANTY TO THE ACCURACY OF THE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BOUNDARY INFORMATION PRIOR TO CONSTRUCTION



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www.uncc.org



2023-06-16 1:30pm By: zbecor M:\2023\_sheets\230608 - Major Mortgage - Cortez, CO\Civil\Plan\_Sets\Sheet\_Sets\230608 - GRADING PLAN, ALT EXHIBIT.dwg

#	DATE	REVISIONS
1		
2		
3		
4		
5		

PROJECT: MAJOR MORTGAGE
DRAWING: CROSS SECTIONS
CLIENT: MAJOR MORTGAGE
DESIGNED BY: ZEB
DRAWN BY: ZEB
CHECKED BY: BUG
SCALE: HORIZ: 1" = 10'
VERT: 1" = 5'
DATE:

DEVELOPED BY:  
HCL ENGINEERING & SURVEYING, L.L.C.  
1000 S. BROADWAY, SUITE 200  
CENTENNIAL, CO 80111  
PHONE: 303.773.1805  
FAX: 303.773.3297  
WWW.HCLENGINEERING.COM

ENGINEERS + SURVEYORS + ARCHITECTS

SHEET NUMBER  
**C6.0**

PROJECT NO.


**DD**  
**PRELIMINARY**

PROJECT NO:

2228

SHEET NAME:

MAIN LEVEL PLAN

DATE: 09/20/2022

SHEET NO:

**A1.1**

SCALE: As indicated

ROOM FINISH SCHEDULE									
#	NAME	FLOOR FINISH	BASE FINISH	WALL FINISHES				CEILING FINISH	CEILING HEIGHT
				N	S	E	W		
1	ENTRY								
2	OFFICE								
3	OFFICE								
4	OFFICE								
5	OFFICE								
5A	JANITOR								
6	OFFICE								
7A	RECEIVING								
7B	BREAK								
7C	LI.								
8	BATH								
9	BATH								
10	OFFICE								
11	OFFICE								
12	OFFICE								
13	OPEN OFFICE								
29	STORAGE								
30	STORAGE								

FLOOR	BASE	WALLS	CEILING
1. LVT	1. 6" RUBBER	1. GYP.BD.	1. SAG
2. CPT	2. WALL TILE	2. WALL TILE	2. GYP.BD.
3. TILE			

**RESTROOM ACCESSORIES**

PROVIDE INDICATED PRODUCTS BY BRADLEY CORPORATION, BOBRICK, OR APPROVED EQUAL.

NOTE: ACCESSORY ITEMS SHALL BE THE STANDARD PRODUCTS OF "BOBRICK WASHROOM EQUIPMENT COMPANY", "AMERICAN STANDARD" OR APPROVED EQUAL, CATALOGUE NO. AS LISTED. ITEMS ESTABLISH MINIMUM APPEARANCE, FUNCTION AND QUALITY STANDARDS AS ACCEPTABLE.

QTY	ITEM	MFG.	MODEL NUMBER	NOTES
(2)	18" GRAB BAR	BOBRICK OR EQUAL	#B-6206 X 18"	1-1/4" (O.D.) STAINLESS STEEL
(2)	36" GRAB BAR	BOBRICK OR EQUAL	#B-6206 X 36"	1-1/4" (O.D.) STAINLESS STEEL
(2)	42" GRAB BAR	BOBRICK OR EQUAL	#B-6202 X 42"	1-1/4" (O.D.) STAINLESS STEEL
(2)	MIRROR			OFGI
(2)	TOILET PAPER DISPENSER			OFOI
(2)	SOAP DISPENSER			OFOI
(2)	PAPER TOWEL DISPENSER			OFOI

**MATERIALS:**

**STAINLESS STEEL:**

ASTM A666, TYPE 304 WITH SATIN NO. 4 FINISH, 22 GAUGE MINIMUM UNLESS OTHERWISE INDICATED.

**SHEET STEEL:**

COLD-ROLLED, COMMERCIAL QUALITY ASTM A366, 20 GAUGE MINIMUM, UNLESS OTHERWISE INDICATED. SURFACE PREPARATION AND METAL PRETREATMENT AS REQUIRED FOR APPLIED FINISH.

**CHROMIUM PLATING:**

NICKEL AND CHROMIUM ELECTRO-DEPOSITED ON BASE METAL, ASTM B456, TYPE SC 2.

**MIRROR GLASS:**

ASTM C1036, TYPE I, CLASS I, QUALITY Q2, 24"X30", 1/4 INCH THICK, WITH SILVER COATING.  
 COPPER PROTECTIVE COATING AND NON-METALLIC PAINT COATING COMPLYING WITH FS DD-M-411.

**GALVANIZED STEEL MOUNTING DEVICES:**

ASTM A153, HOT-DIP GALVANIZED AFTER FABRICATION.  
**FASTENERS:**

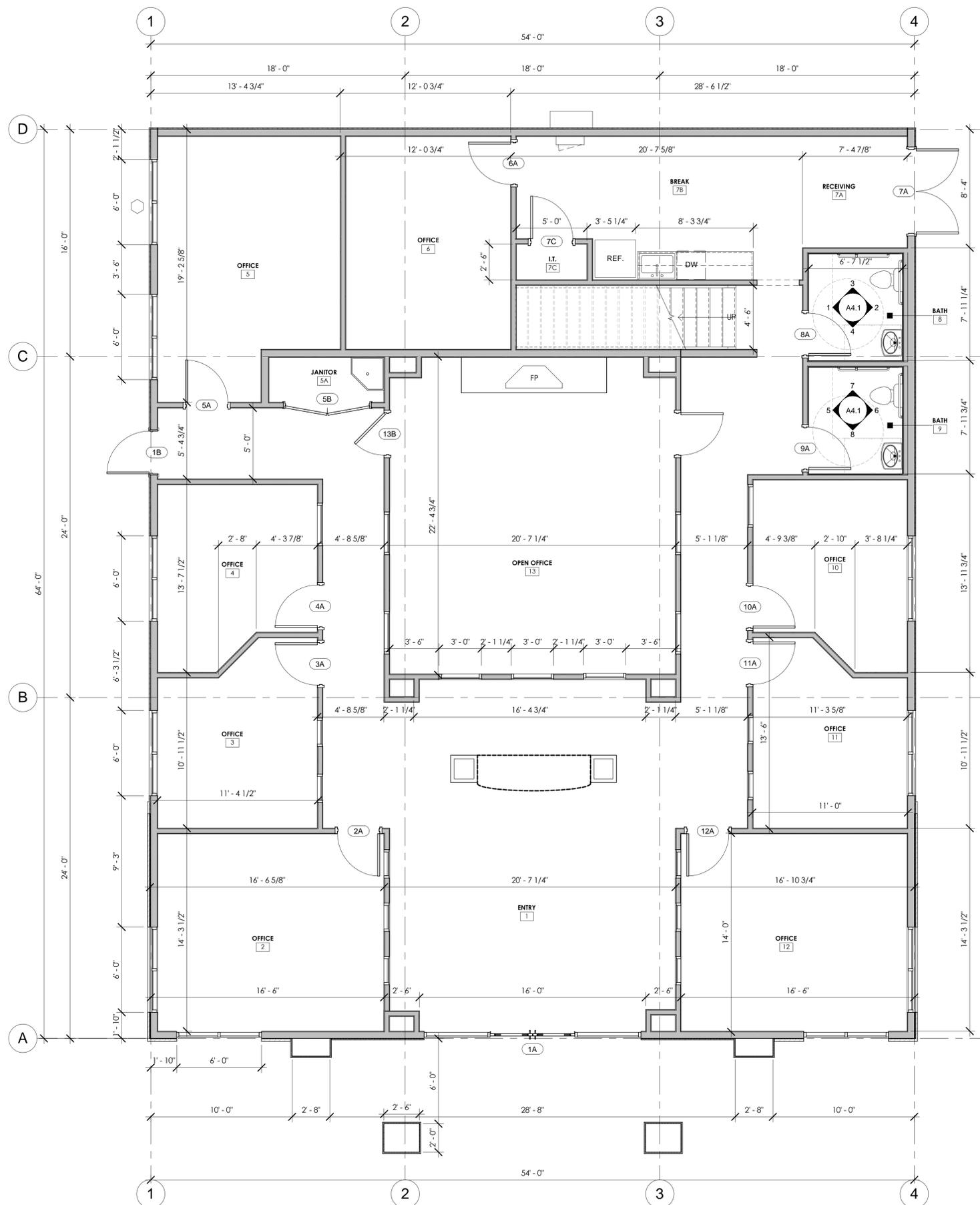
SCREWS, BOLTS AND OTHER DEVICES OF SAME MATERIAL AS ACCESSORY UNIT OR OF GALVANIZED STEEL WHERE CONCEALED.

**ACCESSORIES:**

INCLUDE ANCHORAGE DEVICES, TRIM, ACCESSORIES AS REQUIRED, FOR COMPLETE INSTALLATION.

**PARTITIONS:**

ONE POINT PARTITIONS  
 831-777-2717  
 SOLID PLASTIC  
 STANDARD COLOR



**1** MAIN LEVEL - FLOOR PLAN  
 A1.1 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

REVISION:

#	DATE	COMMENTS

**DD**  
**PRELIMINARY**

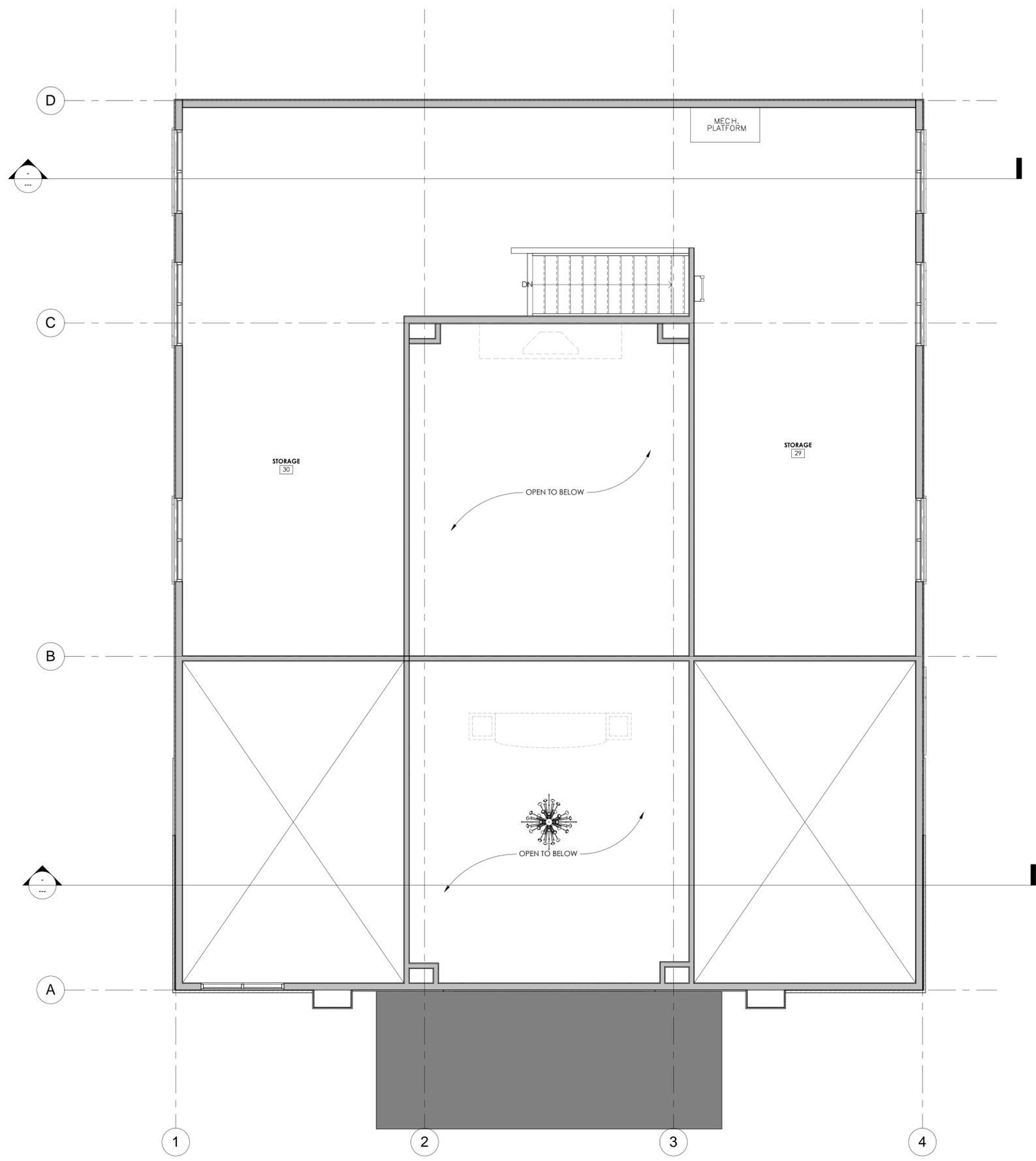
PROJECT NO:  
**2228**

SHEET NAME:  
 UPPER LEVEL PLAN

DATE: **09/20/2022**

SHEET NO:  
**A1.2**

SCALE: 1/4" = 1'-0"

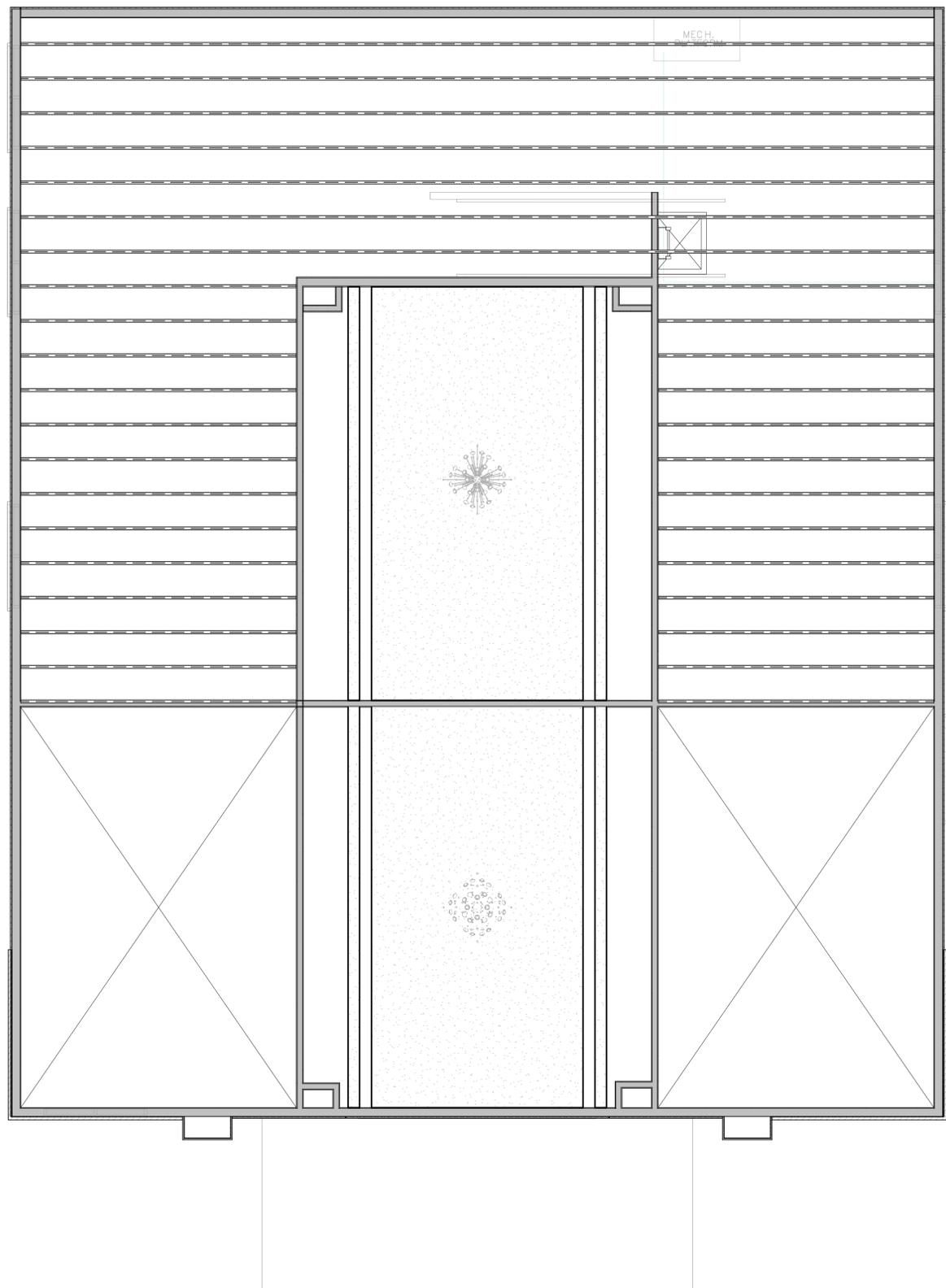
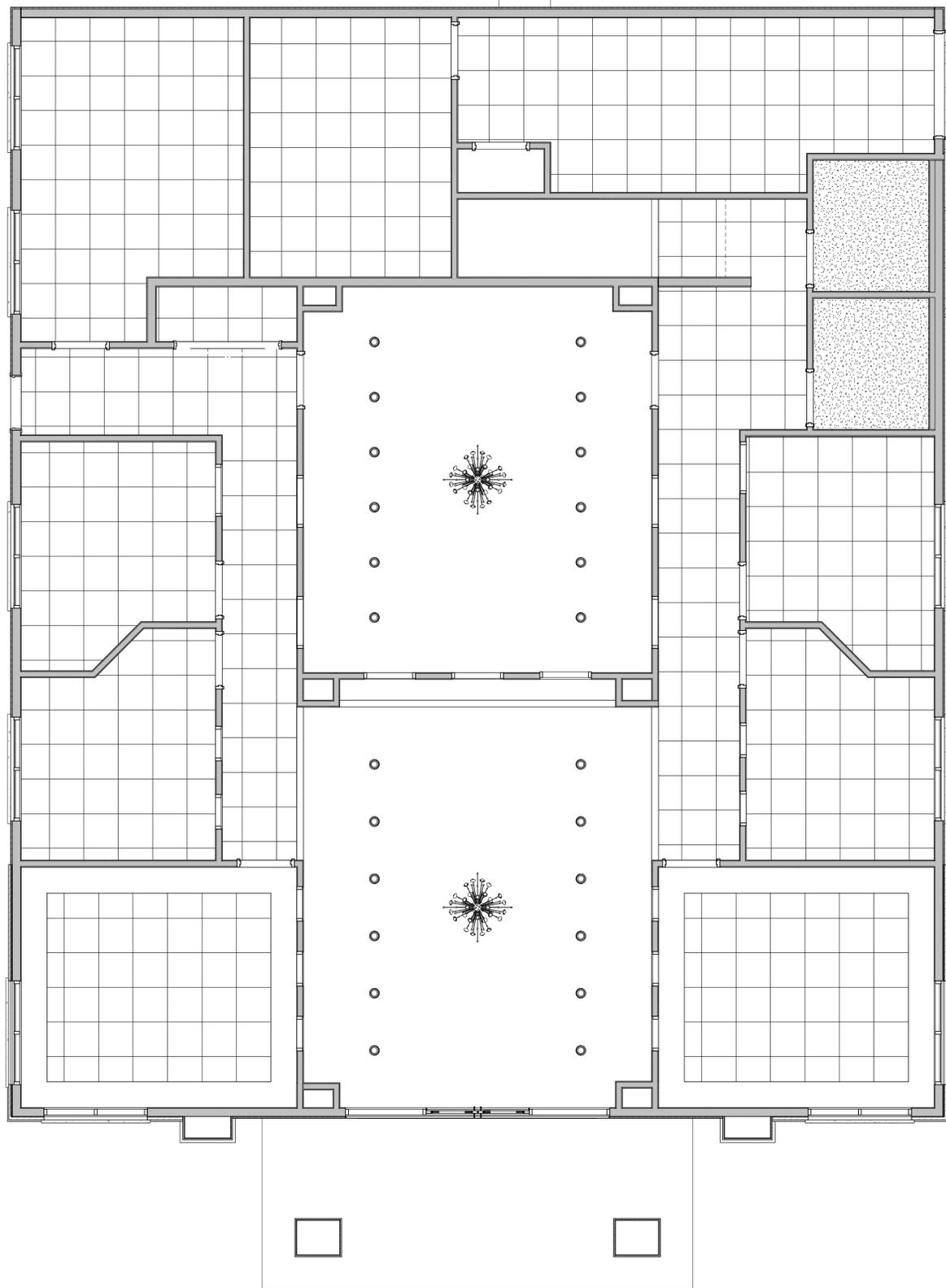


**1** UPPER LEVEL - FLOOR PLAN  
 A1.2 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

**LEGEND**

 1 GYP BD, PAINT	 6" X 4" TO 8" RECESSED LINEAR FLUORESCENT, RE: ELEC	 PENDANT, RE: ELEC	 SUPPLY AIR GRILLE, RE: MECH	<b>NOTE:</b> CENTER LIGHT FIXTURES IN SPACE AS SHOWN ON REFLECTED CEILING PLANS WHEN LIGHT FIXTURES ARE NOT DIMENSIONED, (TYP)
 2 2x2 GRID	 2'x4' RECESSED LIGHT, RE: ELEC	 DOWNLIGHT, RE: ELEC	 EXHAUST FAN, RE: MECH	
 3 EXPOSED TO EXISTING STRUCTURE, PAINT BLACK - BY OWNER	 2'x2' RECESSED LIGHT, RE: ELEC		 RETURN AIR GRILLE, RE: MECH	
			 EXIT SIGN, INDICATING DIRECTIONAL ARROW & SIGN ORIENTATION, RE: ELEC	
				 OCCUPANCY SENSOR, RE: ELEC
				 SMOKE DETECTOR, RE: ELEC



1 MAIN LEVEL REFLECTED CEILING PLAN  
 A1.3 1/4" = 1'-0"

2 UPPER LEVEL REFLECTED CEILING PLAN  
 A1.3 1/4" = 1'-0"

MAJOR MORTGAGE

LOTS 17, 18, 19A N. SLIGO ST.  
 CORTEZ, CO

REVISION:

DD  
 PRELIMINARY

PROJECT NO:  
 2228

SHEET NAME:  
 REFLECTED CEILING PLAN

DATE: 09/20/2022

SHEET NO:

A1.3

SCALE: 1/4" = 1'-0"

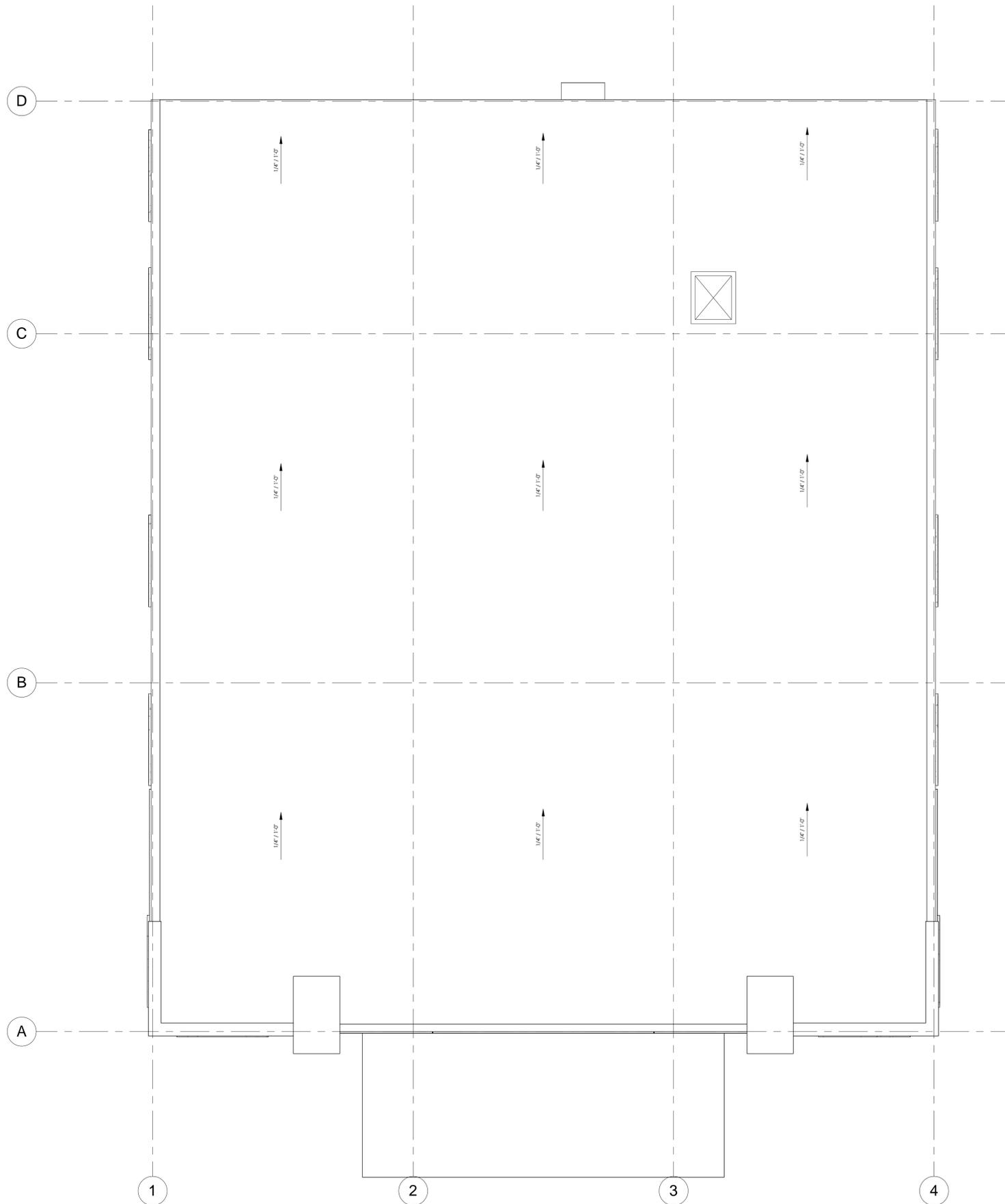
NOT FOR CONSTRUCTION

ROOFING SHALL COMPLY WITH 2018 IBC, CHAPTER 9

ROOFING SHALL BE INSTALLED IN ACCORANCE WITH MFRS. INSTRUCTIONS AND RECOMMENDATIONS

THE CLIMATE ZONE AND ROOF PITCH SHALL BE TAKEN INTO CONSIDERATION WHEN CHOOSING ROOFING MATERIALS AND METHODS

LOW PITCH RATED ASPHALT SHINGLE ROOFING SYSTEM WITH ICE AND WATER SHIELD OR APPROPRIATE UNDERLAYMENT WHERE REQUIRED - RE: MFR'S SPECS. - WALLS TO BE PROTECTED W/ ICE AND WATER SHIELD ALSO



 **1** ROOF  
A1.4 1/4" = 1'-0"

REVISION:

#	DATE	COMMENTS

**DD**  
**PRELIMINARY**

PROJECT NO:  
**2228**

SHEET NAME:  
ROOF PLAN

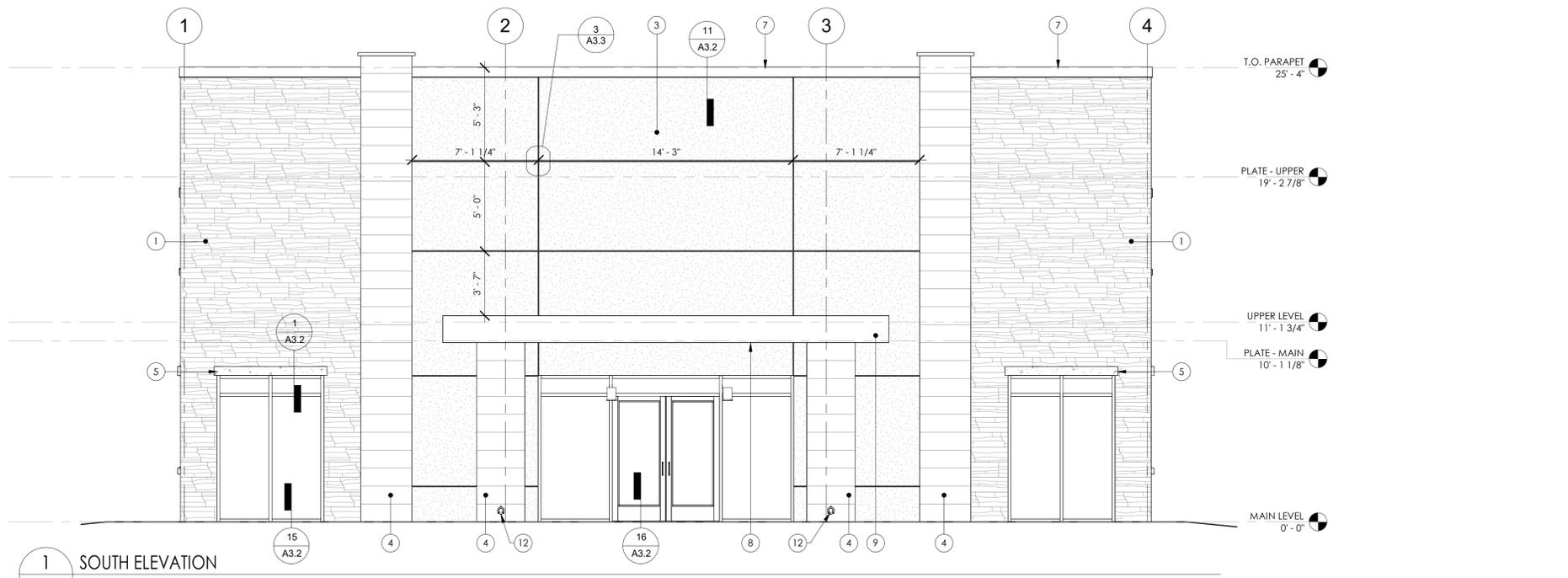
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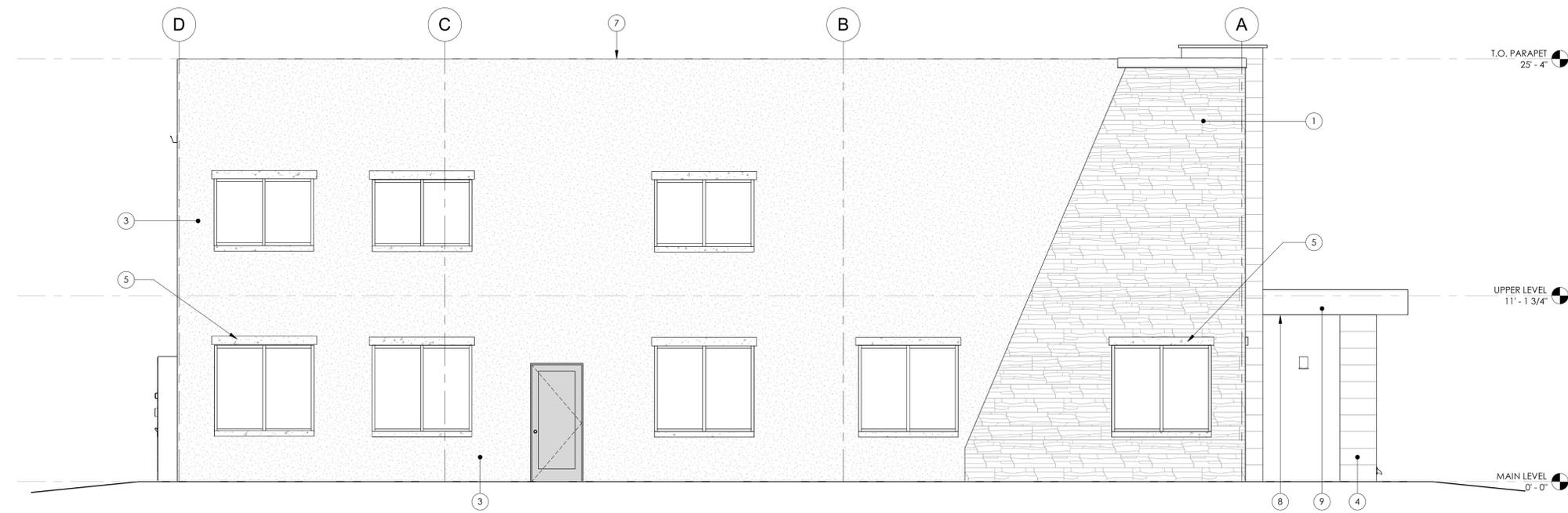
**A1.4**

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



**1 SOUTH ELEVATION**  
 A2.1 1/4" = 1'-0"



**3 WEST ELEVATION**  
 A2.1 1/4" = 1'-0"

**SYMBOL LEGEND - ELEVATION**

(A) ---	- GRID LINE	#	- WALL TYPE
(101A)	- DOOR TAG	1	- ELEVATION SYMBOL
(AL) (HM)	- WINDOW TAG	2	- SECTION SYMBOL
C	- CENTERLINE	3	- CALLOUT SYMBOL
---	- WALL ABOVE OR HIDDEN LINE	(1) TYP	
---	- MATCH LINE	(1) A1.1	
(##)	- KEYNOTE SYMBOL	(1) A1.1	
LVT	- LUXURY VINYL TILE	MSTR	- MASTER
CLG	- CEILING		
WH	- WATER HEATER		
FURN	- FURNACE		
CONC	- CONCRETE		

**GENERAL ELEVATION NOTES**

- A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS
- B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- C. REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
- D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- F. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- H. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- I. NEW HM DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
- K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF FIRING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

**ELEVATION KEYNOTES**

1. STONE VENEER (INSTALL PER MANUF. SPEC.)
2. STONE CAP (INSTALL PER MANUF. SPEC.)
3. STUCCO FINISH (INSTALL PER MANUF. SPEC.)
4. HORIZONTAL METAL SIDING (INSTALL PER MANUF. SPEC.)
5. PRE-CAST CONC LINTEL, RE: STRUCTURAL.
6. PRE-CAST CONC. SILL
7. PRE-FINISHED MTL. PARAPET CAP.
8. PRE-FINISHED METAL SOFFIT
9. PRE-FINISHED METAL FASCIA
10. GUTTER
11. DOWNSPOUT, CONNECT TO SITE DRAINAGE, RE: CIVIL.
12. LAMB TONGUE DRAIN
13. MEMBRANE ROOFING
14. GAS METERS, RE: MEP
15. ELECTRICAL METERS, RE: MEP
16. A/C, RE: MEP

**MAJOR MORTGAGE**  
 LOTS 17, 18, 19A N. SLIGO ST.  
 CORTEZ, CO

REVISION:

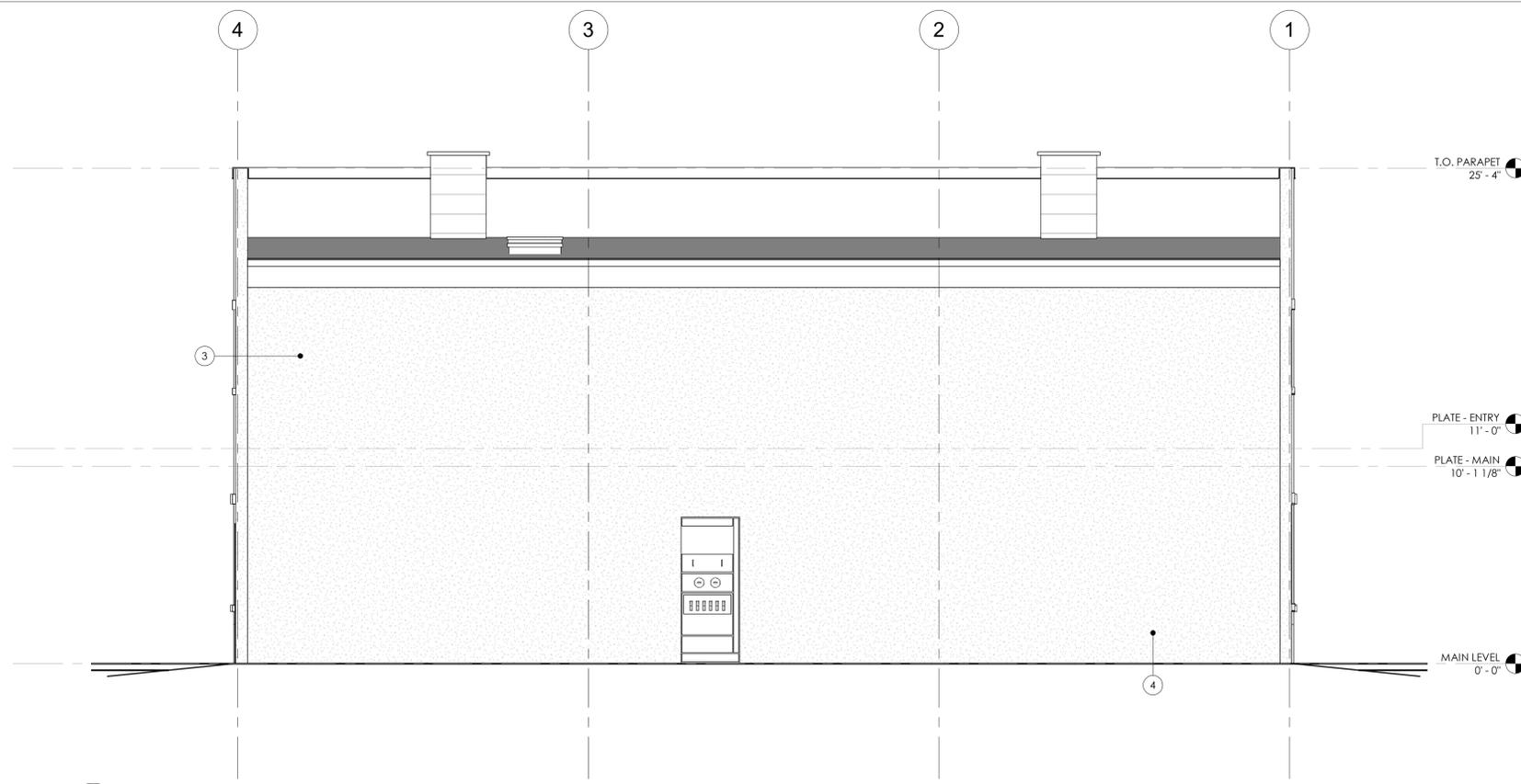
#	DATE	COMMENTS

**COORDINATION SET**

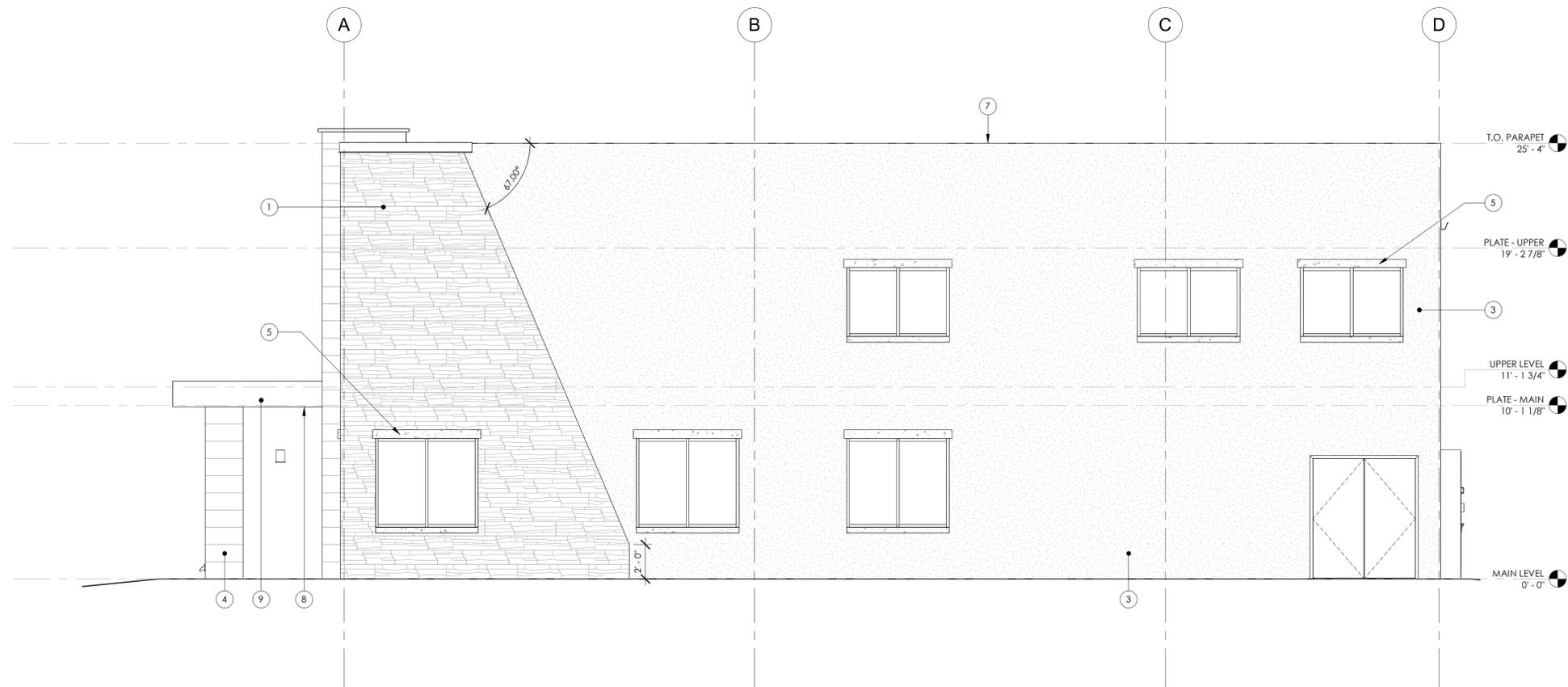
PROJECT NO:	2228
SHEET NAME:	EXTERIOR ELEVATIONS
DATE:	06/12/2023
SHEET NO:	<b>A2.1</b>
SCALE:	As indicated



**NOT FOR CONSTRUCTION**

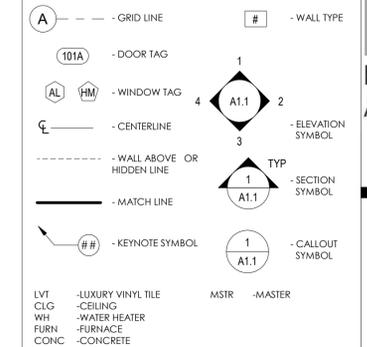


1 NORTH ELEVATION  
A2.2 1/4" = 1'-0"



2 EAST ELEVATION  
A2.2 1/4" = 1'-0"

SYMBOL LEGEND - ELEVATION



GENERAL ELEVATION NOTES

- A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS
- B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- C. REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
- D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- F. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- H. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- I. NEW HM DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
- K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF FIRING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

ELEVATION KEYNOTES

- 1. STONE VENEER (INSTALL PER MANUF. SPEC.)
- 2. STONE CAP (INSTALL PER MANUF. SPEC.)
- 3. STUCCO FINISH (INSTALL PER MANUF. SPEC.)
- 4. HORIZONTAL METAL SIDING (INSTALL PER MANUF. SPEC.)
- 5. PRE-CAST CONC LINTEL, RE: STRUCTURAL.
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MAJOR MORTGAGE  
  
 LOTS 17, 18, 19A N. SLIGO ST.  
 CORTEZ, CO

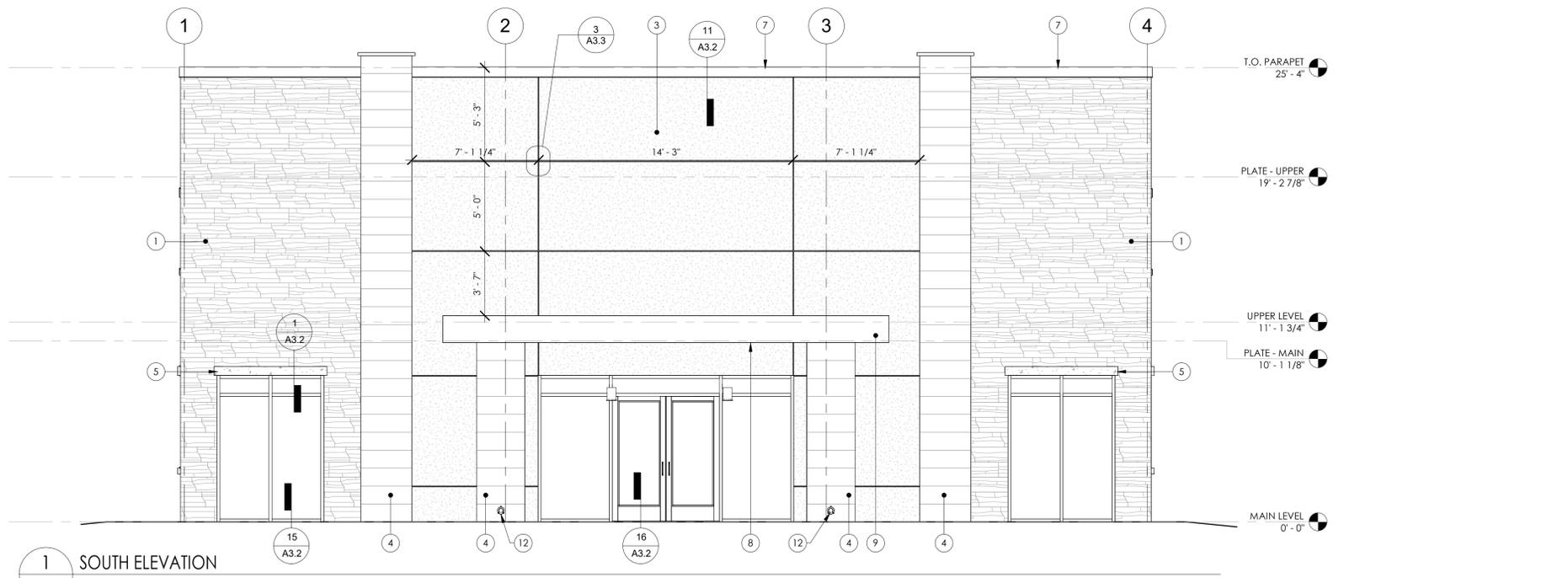
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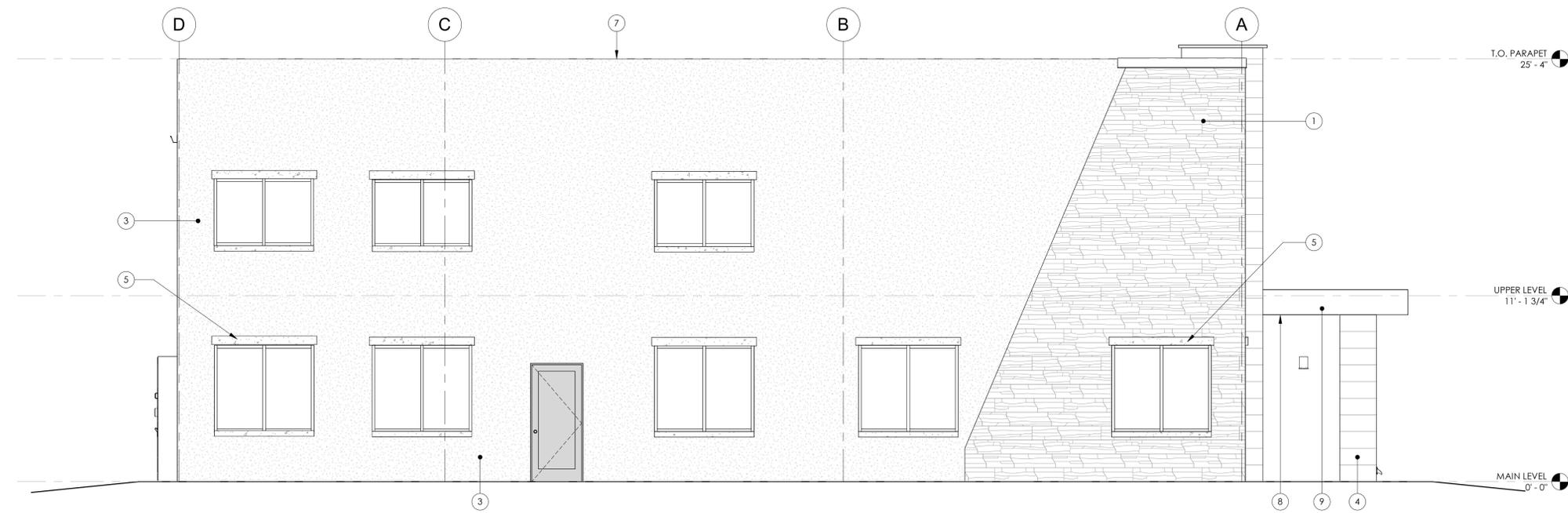
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PROJECT NO:	2228
SHEET NAME:	EXTERIOR ELEVATIONS
DATE:	06/12/2023
SHEET NO:	A2.2
SCALE:	As indicated

NOT FOR CONSTRUCTION



**1 SOUTH ELEVATION**  
 A2.1 1/4" = 1'-0"



**3 WEST ELEVATION**  
 A2.1 1/4" = 1'-0"

**SYMBOL LEGEND - ELEVATION**

(A) --- GRID LINE	# --- WALL TYPE
(101A) --- DOOR TAG	1 2 3 4 --- ELEVATION SYMBOL
(AL) (HM) --- WINDOW TAG	1 --- SECTION SYMBOL
CL --- CENTERLINE	1 --- CALLOUT SYMBOL
--- WALL ABOVE OR HIDDEN LINE	
--- MATCH LINE	
(##) --- KEYNOTE SYMBOL	
LVT --- LUXURY VINYL TILE	MSTR --- MASTER
CLG --- CEILING	
WH --- WATER HEATER	
FURN --- FURNACE	
CONC --- CONCRETE	

**GENERAL ELEVATION NOTES**

- A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS
- B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
- C. REFER TO SHEET A0.0 FOR PUBLIC SPACES ADA STANDARDS FOR ACCESSIBLE DESIGN
- D. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- E. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- F. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- G. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- H. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- I. NEW HM DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- J. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
- K. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF FIRING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

**ELEVATION KEYNOTES**

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2. STONE CAP (INSTALL PER MANUF. SPEC.)
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REVISION:

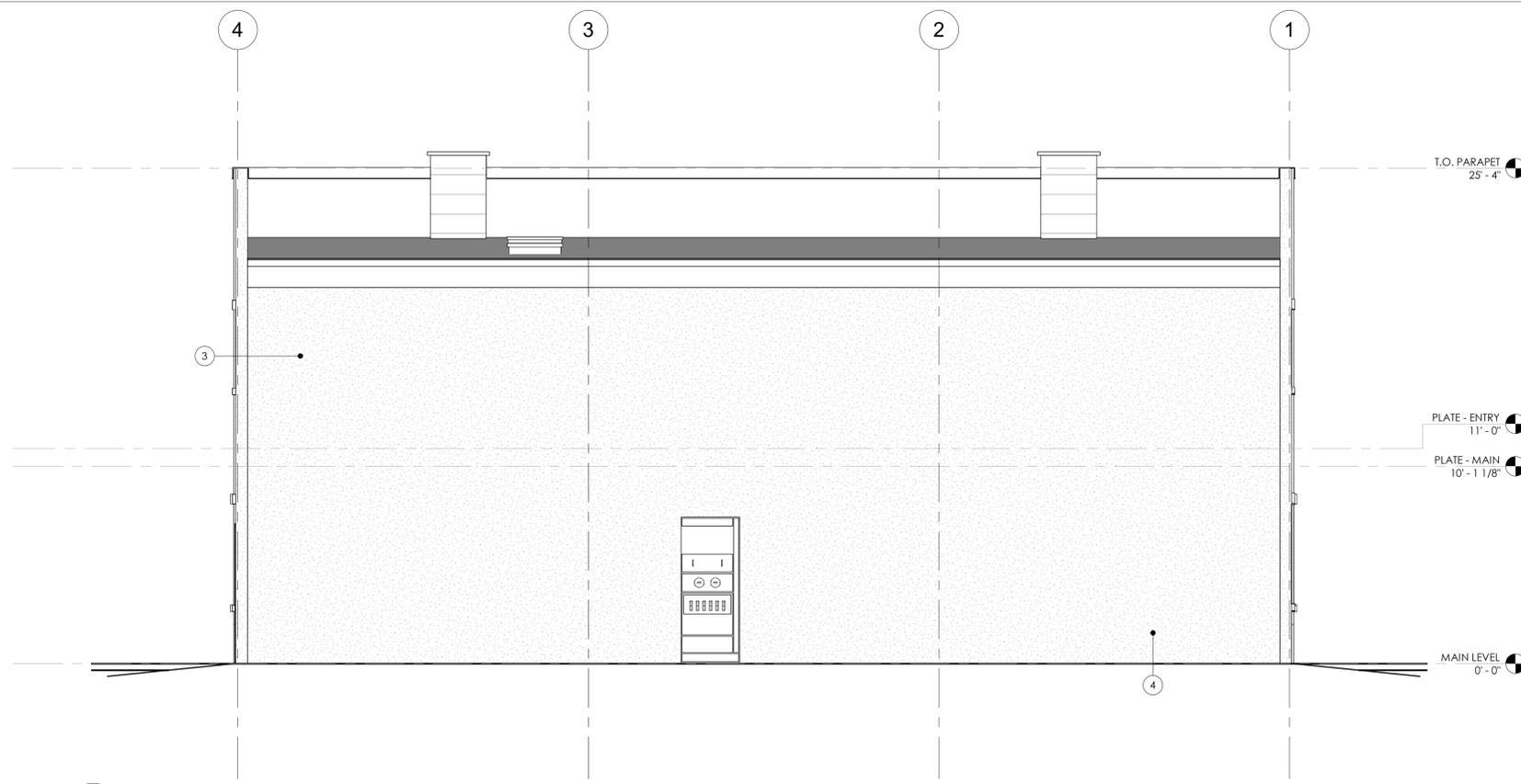
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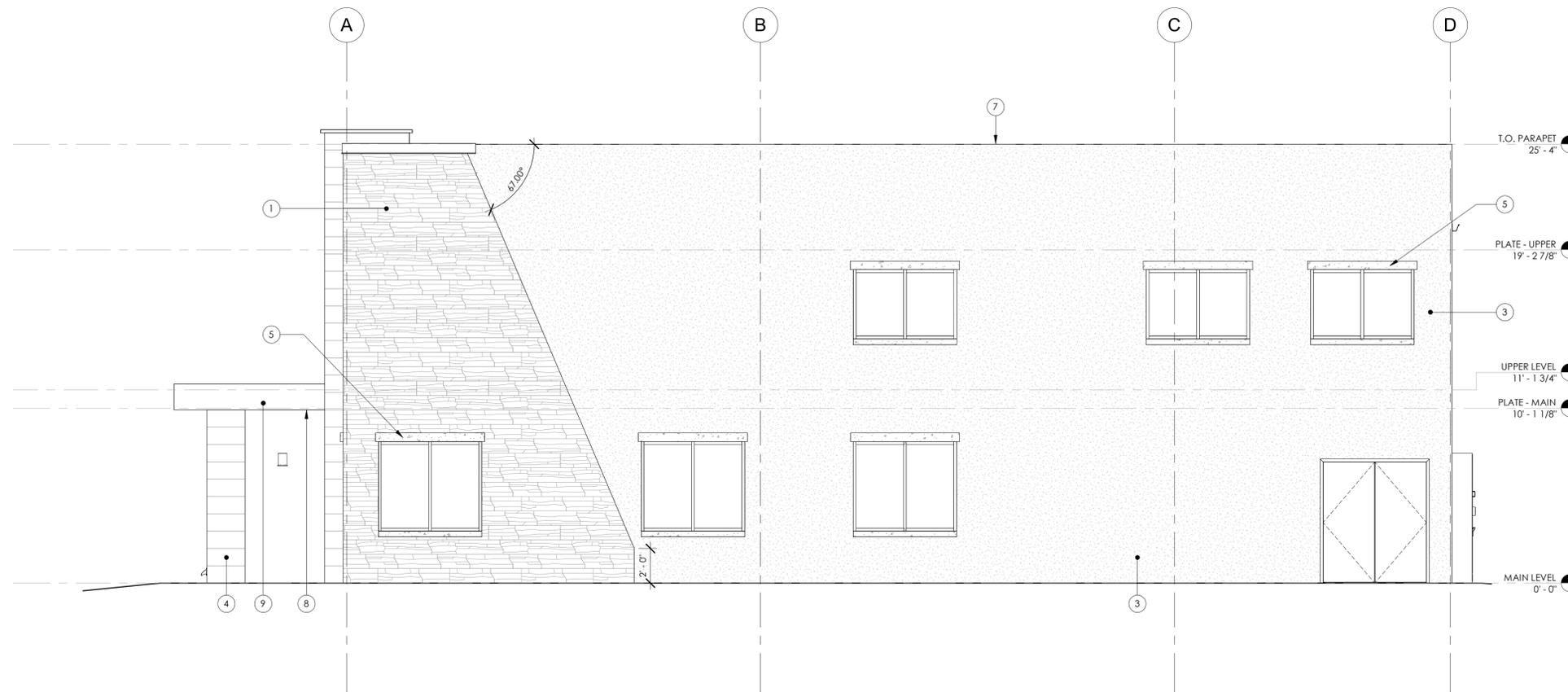
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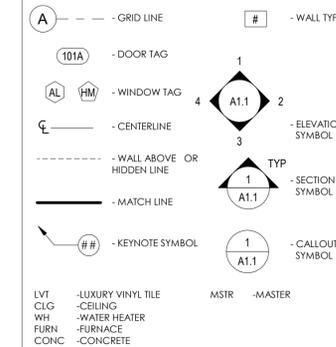


1 NORTH ELEVATION  
A2.2 1/4" = 1'-0"



2 EAST ELEVATION  
A2.2 1/4" = 1'-0"

SYMBOL LEGEND - ELEVATION



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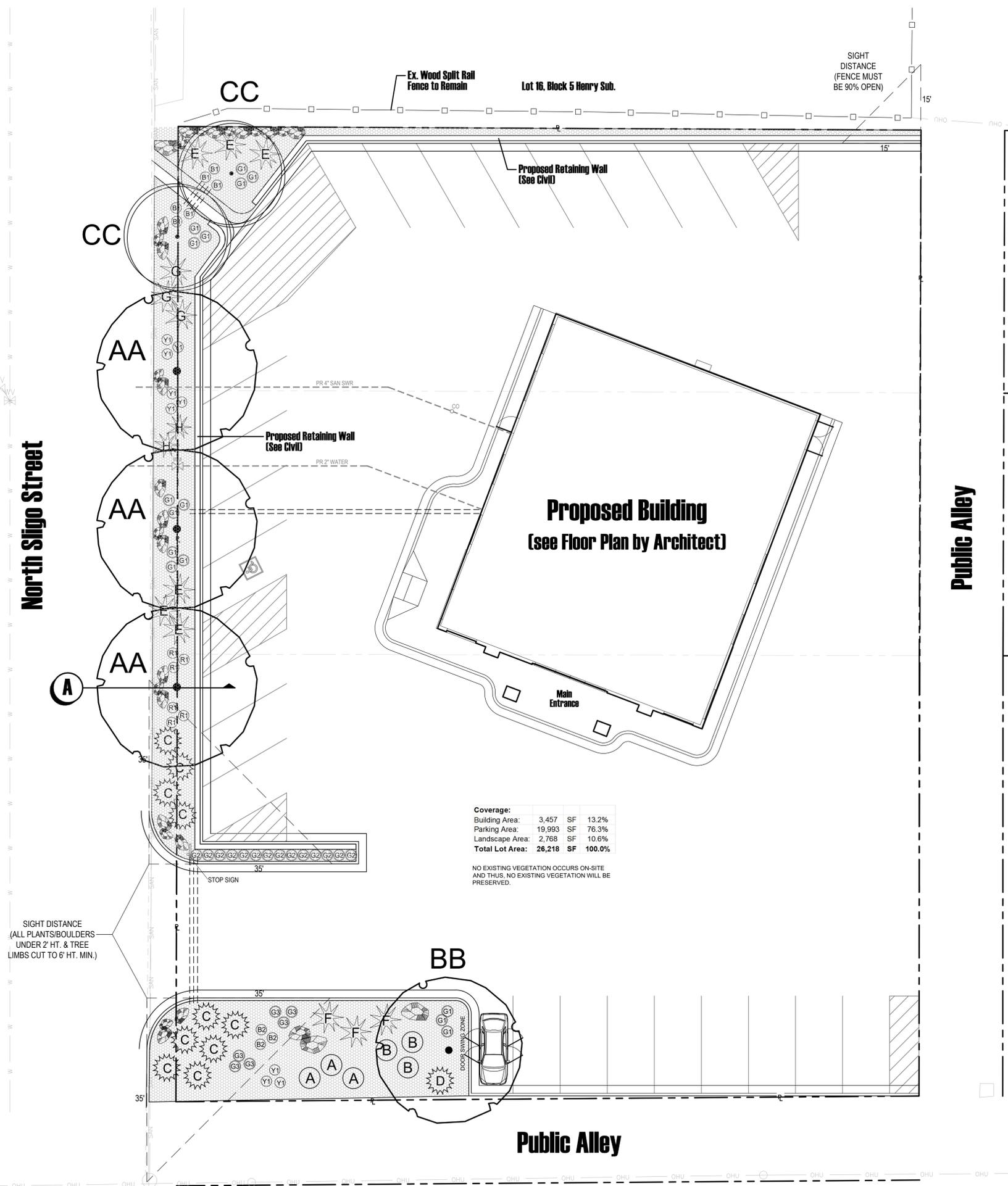
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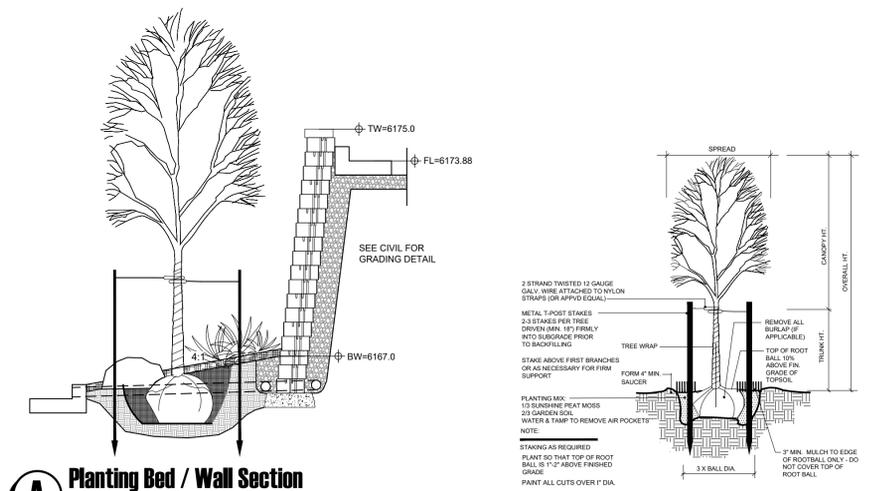
**Landscape Notes**

- NOTE: ALL PLANTS IN SIGHT DISTANCE EASEMENT SHALL REMAIN UNDER 30" IN HEIGHT AT ALL TIMES.
- INSTALL ROCK MULCH IN ALL SHRUB BEDS AS INDICATED ON PLAN. INSTALL WEED BARRIER UNDERLAYMENT MATERIAL AND TOPDRESS WITH MULCH MATERIAL TO MIN. 4 INCH DEPTH.
- ALL LANDSCAPE AREAS SHALL BE EXCAVATED DOWN TO 12" DEPTH AND NATIVE SOIL SHALL BE AMENDED WITH WITH A MIN. 4 CU YDS PER 1,000 SF WITH GOOD QUALITY COMPOSTED ORGANIC MATTER. FIRST, DECOMPACT ALL PLANTING AREA SOILS TO A MIN. DEPTH OF 12 INCHES PRIOR TO TILLING. TILL AND INCORPORATE AMENDMENT TO A MIN. DEPTH OF 12 INCHES.
- TREE PITS SHALL BE EXCAVATED TO A MIN. DEPTH OF 24" AND AMENDED SAME AS ABOVE.
- LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF CONSTRUCTION AND SAFETY PROCEDURES CHOSEN BY ANY CONTRACTOR.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY.
- INSTALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL, OR PAVING.
- FORM 30 INCH WATERING BASIN AROUND ALL TREES. FILL BASIN WITH 1-1/2 INCH LAYER OF WOOD CHIPS.
- PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT SCHEDULE FOR KEY AND CLASSIFICATION.
- ALL PLANT MATERIAL OUTSIDE OF THE LIMIT OF CONSTRUCTION LINE MUST REMAIN UNDISTURBED.
- ALL MATERIALS NOT TO BE REMOVED WILL BE MARKED CLEARLY WITH FLAGGING TAPE, PROTECTIVE FENCING, OR OTHER APPROVED BARRIER PRIOR TO CONSTRUCTION.
- IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES THAT MIGHT BE DISTURBED BY LANDSCAPE ELEMENTS PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIALS SHALL MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004, OR AS IT MAY BE AMENDED.
- THE CONTRACTOR SHALL BE HELD COMPLETELY LIABLE FOR ANY DAMAGES RESULTING IN DEVIATIONS, OMISSIONS, OR AMENDMENTS TO THIS PLAN. ANY CHANGES TO THIS PLAN SHALL BE DONE ONLY BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIELD CHANGES BY THE CONTRACTOR SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BY EITHER RFI OR CHANGE ORDER IN WRITINGS PRIOR TO CONSTRUCTION.
- THE IRRIGATION SYSTEM SHALL CONSIST OF AN UNDERGROUND PRESSURIZED SYSTEM THAT WILL PROVIDE DRIP COMPONENTS TO THE SHRUBS AND TREES AND SPRAY IRRIGATION TO THE GRASS (IF APPLICABLE).
- IRRIGATION CONTROLLER SHALL BE A "WATER SENSE" SMART IRRIGATION CONTROLLER. VERIFY EXISTING CONTROLLER AND REPLACE IF NECESSARY.
- PROVIDE DRIP IRRIGATION TO ALL SHRUBS AND TREES: TREES-9 GPH PER TREE, SHRUBS-2 GPH PER S SHRUB, PERENNIALS-1 GPH PER PLANT.
- THE OWNER, AGENT, OR DEVELOPER OF THE COMMERCIAL PROPERTY SHALL PROVIDE A WRITTEN STATEMENT OF THE PROVISIONS BEING MADE FOR THE MAINTENANCE AND REPLACEMENT OF LANDSCAPING TO INCLUDE MANDATORY REPLACEMENT OF ANY VEGETATION, WHICH DIES WITHIN A ONE-YEAR PERIOD FROM THE TIME OF PLANTING. THE DIRECTOR OF PARKS AND RECREATION SHALL APPROVE THE PLAN.

**Plant Schedule**

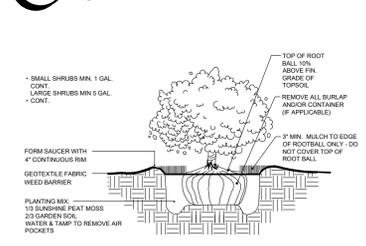
KEY	COMMON NAME	BOTANICAL NAME	H'	W'	SIZE	TYPE	QTY	
<b>Deciduous Trees:</b>								
AA	Shademaster Honeylocust	Gleditsia triacanthos inermis	45	40	1.5' Cal.	B&B	3	
BB	Goldenrain Tree	Koeleruteria paniculata	30	30	1.5' Cal.	B&B	1	
CC	Redspire Callery Pear	Pyrus calleryana 'Redspire'	40	15	1.5' Cal.	B&B	2	
							<b>Total Deciduous Trees:</b>	<b>6</b>
<b>Deciduous Shrubs - Medium (4'-8'):</b>								
A	Dark Knight Blue Mist Spirea	Caryopteris x cland. 'Dark Knight'	4	4	5 gal.	Cont.	3	
B	Apache Plume	Fallugia paradoxa	4	4	5 gal.	Cont.	3	
<b>Evergreen Shrubs - Small (2'):</b>								
C	Wilton Carpet Juniper	Juniperus horizontalis 'Wiltonii'	1	7	5 gal.	Cont.	10	
D	Slowmound Mugo Pine	Pinus mugo 'Slowmound'	3	3	5 gal.	Cont.	1	
<b>Yucca &amp; Agave - Small (2'):</b>								
E	Perry's Agave	Agave parryi	3	3	5 gal.	Cont.	6	
F	Red Yucca	Hesperaloe parviflora	3	3	1 gal.	Cont.	3	
G	Narrow Yucca	Yucca angustissima	3	3	5 gal.	Cont.	3	
H	Banana Yucca	Yucca Baccata	3	3	5 Gal.	Cont.	2	
<b>Ornamental Grasses - Small (2'-3'):</b>								
G1	Blue Grama Grasses	Bouteloua gracilis 'Blonde Ambition'	2	2	5 gal.	Cont.	15	
G2	'Karl Foerster' Feather Reed Grass	Calamagrostis arundinacea	3	4	5 gal.	Cont.	14	
G3	Pennisetum alopecuroides	Dwarf Fountain Grass	2	2	5 gal.	Cont.	6	
<b>Perennials:</b>								
Y1	Yarrow	Achillea filipendulina	3	3	1 Gal.	Cont.	9	
R1	Furmans Red Autumn Salvia	Salvia greggii 'Furmans Red Autumn'	2	2	1 Gal.	Cont.	6	
B1	Catmint	Nepeta racemosa	2	2	1 Gal.	Cont.	6	
B2	Salvia	Salvia spp.	2	2	1 Gal.	Cont.	3	
							<b>Total Proposed Shrubs &amp; Perennials:</b>	<b>90</b>

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES LISTED ABOVE AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR SUBSTITUTIONS.



**A Planting Bed / Wall Section**

**1 Deciduous Tree Planting**



**2 Shrub Planting**

Project Name:

**MAJOR MORTGAGE**

Cortez, Colorado

Architect:

**kda KRAAI DESIGN ARCHITECTURE**

Landscape Architect:

**NVISION DESIGN STUDIO, INC.**  
677 25 Road Grand Junction, CO 81505  
Phone: 970.210.2153 Email: info@nviz.biz  
Landscape Architecture | Visual Simulation | Graphic Design

Registration:

**Robert A. Breeden**  
LA 462  
08/15/2008  
Original License  
LICENSED LANDSCAPE ARCHITECT  
STATE OF COLORADO

**Legend**

PROPOSED SHRUBS/PERENNIALS/ORNAMENTAL GRASSES

PROPOSED DECIDUOUS TREES

PROPOSED EVERGREEN SHRUBS

PROPOSED EVERGREEN TREES

LOCAL BOULDERS 24"-36"

4" PVC OR SDR-35 SLEEVE

1" TAN GRANITE GRANITE MULCH OVER DEWITT PRO 5 WEED BARRIER FABRIC (3" DEPTH MIN.)

Sheet Title:

**Landscape Plan**

Project: Major Mortgage

Date: June 16, 2023

Scale: 1" = 10'

Sheet: North LI



**GEOTECHNICAL ENGINEERING STUDY  
PROPOSED MAJOR MORTGAGE OFFICE STRUCTURE**

Cortez, Colorado

January 12, 2023

PREPARED FOR:

Stephen Candelaria  
Candelaria Construction, Inc.  
Email: [scandelaria@candelariaconstruction.com](mailto:scandelaria@candelariaconstruction.com)  
PROJECT NO. 57726GE

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## 1.0 REPORT INTRODUCTION

This report presents our geotechnical engineering recommendations for the proposed Major Mortgage Office Building. This report was requested by Stephen Candelaria, Candelaria Construction, and was prepared in accordance with our proposal dated December 16, 2022, Proposal No. 22411P.

As outlined within our proposal for services for this project the client is responsible for appropriate distribution of this report to other design professionals and/or governmental agencies unless specific arrangements have been made with us for distribution.

Geotechnical engineering is a discipline which provides insight into natural conditions and site characteristics such as; subsurface soil and water conditions, soil strength, swell (expansion) potential, consolidation (settlement) potential, and often slope stability considerations. The information provided by the geotechnical engineer is utilized by many people including the project owner, architect or designer, structural engineer, civil engineer, the project builder and others. The information is used to help develop a design and subsequently implement construction strategies that are appropriate for the subsurface soil and water conditions, and slope stability considerations. We are available to discuss any aspect of this report with those who are unfamiliar with the recommendations, concepts, and techniques provided below.

This geotechnical engineering report is the beginning of a process involving the geotechnical engineering consultant on any project. It is imperative that the geotechnical engineer be consulted throughout the design and construction process to verify the implementation of the geotechnical engineering recommendations provided in this report. Often the design has not been started or has only been initiated at the time of the preparation of the geotechnical engineering study. Changes in the proposed design must be communicated to the geotechnical engineer so that we have the opportunity to tailor our recommendations as needed based on the proposed site development and structure design.

The following outline provides a synopsis of the various portions of this report;

- ❖ Section 1.0 provides an introduction and an establishment of our scope of service.
- ❖ Sections 2.0 and 3.0 of this report present our geotechnical engineering field and laboratory studies
- ❖ Sections 4.0 through 7.0 presents our geotechnical engineering design parameters and recommendations which are based on our engineering analysis of the data obtained.
- ❖ Section 8.0 provides a brief discussion of construction sequencing and strategies which may influence the geotechnical engineering characteristics of the site. Ancillary information such as some background information regarding soil corrosion and radon considerations is also presented as general reference.
- ❖ Section 9.0 provides our general construction monitoring and testing recommendations.
- ❖ Section 10.0 provides our limitations.

The data used to generate our recommendations are presented throughout this report and in the attached figures.

All recommendations provided within this report must be followed in order to achieve the intended performance of the foundation system and other components that are supported by the site soil.

## 1.1 Proposed Construction

Generally, we understand that the proposed project consists of designing and constructing an approximate 2,600 square foot (plan area) two-story office building that is supported by a steel reinforced concrete foundation system. We understand that the lower-level floor is proposed to be concrete slab-on-grade.

General architectural concept drawings and preliminary foundation drawings were reviewed as part of the preparation of this report. Grading plans were not available at the time of this report, therefore the proposed finished floor elevation and foundation support elevation(s) are not known. We assume the structure finished floor elevation will be located at or within a few feet below the present site grade elevation. Grading for the structure is assumed to be relatively minor with cuts of approximately 3 feet or less. We assume relatively light foundation loadings, typical of the proposed type of construction. When final building location, grading and loading information have been developed, we should be notified to re-evaluate the recommendations presented in this report.

## 2.0 FIELD STUDY

### 2.1 Site Description and Geomorphology

The project site is located adjacent to the east side of North Sligo Street, about 350 feet north of the intersection of North Sligo Street and Highway 160 (East Main Street) in Cortez, Colorado. The general vicinity of the project site is indicated below as Figure 2.1. A more detailed aerial view of the project site is provided as Figure 2.2 in Section 2.2 of this report below. The imagery used for Figures 2.1 and 2.2 were obtained from Google Earth (imagery date: 10/12/2017).

Figure 2.1: General Project Location



The project area currently consists of undeveloped land. The ground surface slopes down to the west (towards North Sligo Street) with a slope inclination ranging from about 10:1; horizontal to vertical) in the eastern to central area of the project site, to about 5:1; h:v in the western project site area.

The geomorphology in the vicinity of the project site consists of relatively shallow sandy clay and silt loess deposits overlying the Dakota Sandstone formation. The formational materials encountered in the vicinity of the project site generally consist of hard to very hard and tan to brown sandstone with interbedded layers of claystone and shale. The actual subsurface conditions encountered at our test boring locations are generally discussed in Section 2.2 below. The logs of the subsurface conditions presented in Appendix A may be referenced for more detailed geotechnical related information.

## 2.2 Subsurface Soil and Water Conditions

We advanced four continuous flight auger test borings in the vicinity of our understanding of the proposed structure location. A schematic showing the approximate boring locations is provided below as Figure 2.2. The logs of the soils encountered in our test borings are presented in Appendix A.

Figure 2.2: Approximate Test Boring Locations



The schematic presented above was prepared using notes and field measurements obtained during our field exploration and is intended to show the approximate test boring locations for reference purposes only.

Generally, we encountered soft to stiff/dense and very moist to moist sand and clay soil from the ground surface to depths ranging from about 2 to 4 feet below the ground surface where we encountered the Dakota Sandstone formation. Scattered gravels were encountered within the sand and clay soils in some of the test borings. The upper approximate 1 to 2 feet of formational

materials was relatively weathered, becoming hard to very hard at depths ranging from about 3 to 4 feet below the ground surface elevation. The test borings were advanced to auger refusal on very hard sandstone at depths ranging from about 6 to 10 feet below the ground surface elevation. The shallow sand and clay soils exhibited a low swell potential and moderate to high consolidation potential.

We did not encounter free subsurface water in our test borings at the time of the advancement of our test borings at the project site, however very moist soil conditions were encountered, likely due to recent rain and snowmelt at the time of our January 4, 2023 field study. We suspect that the subsurface water elevation and soil moisture conditions will be influenced by snow melt and/or precipitation and local irrigation. Due to the relatively shallow and impermeable nature of the formational materials, we anticipate that temporary subsurface water could develop on or near the surface of the formational materials during periods of high precipitation or snowmelt.

The logs of the subsurface soil conditions encountered in our test borings are presented in Appendix A. The logs present our interpretation of the subsurface conditions encountered in the test borings at the time of our field work. Subsurface soil and water conditions are often variable across relatively short distances. It is likely that variable subsurface soil and water conditions will be encountered during construction. Laboratory soil classifications of samples obtained may differ from field classifications.

### 2.3 General Excavation Considerations

As discussed above, the formational sandstone materials became hard to very hard at depths ranging from about 3 to 4 feet below the existing site ground surface elevation. Near auger refusal occurred at depths ranging from about 3½ to 4½ feet in Test Boring TB-2 and at depths ranging from about 4 to 6 feet in Test Boring TB-4 within very hard sandstone layers. The formational materials generally become less competent below this initial very hard layer, however very hard sandstone materials were once again encountered at depths ranging from about 6 to 10 feet below the ground surface where auger refusal occurred.

We anticipate that the formational materials can be excavated with conventional excavation equipment to the anticipated foundation support elevation, however this may require significant effort (including percussive excavation equipment) in some locations. We should be contacted once the foundation support elevation is known to further discuss potential excavation of the site. Blasting must be avoided if possible. We must be contacted if blasting is proposed and/or becomes necessary.

### 2.4 Site Seismic Classification

The seismic site class as defined by ASCE 7, Chapter 20 is based on some average values of select soil characteristics such as shear wave velocity, standard penetration test result values, undrained shear strength, and plasticity index.

Based on our standard penetration field tests and laboratory test results, the subsurface conditions for the project are consistent with the criteria for a Site Class C designation as outlined in ASCE 7, Chapter 20.

### 3.0 LABORATORY STUDY

The laboratory study included tests to estimate the strength, swell and consolidation potential of the soils tested. We performed the following tests on select samples obtained from the test borings. The laboratory test results are provided in Appendix B.

- Moisture Content and Dry Density
- Sieve Analysis (Gradation)
- Atterberg Limits, Liquid Limit, Plastic Limit and Plasticity Index
- Swell Consolidation Tests

A synopsis of some of our laboratory data for some of the samples tested is tabulated below.

Sample Designation	Percent Passing #200 Sieve	Atterberg Limits LL/PI	Moisture Content (percent)	Dry Density (PCF)	Measured Swell Pressure (PSF)	Swell or Consolidation Potential
TB-2 @ 1 foot	-	-	5.5	106.0	<100	0.0 (% under 100 psf load)
TB-2 @ 2 feet	-	-	4.9	122.6	500	0.3 (% under 100 psf load)
TB-3; 0-3.5 feet	45	25/10	-	-	-	-
TB-3 @ 4 feet	-	-	5.7	111.9	<100	0.0 (% under 100 psf load)
TB-4 @ 1 foot	-	-	6.6	115.7	<100	0.0 (% under 100 psf load)

**\*NOTES:**

1. We determine the swell pressure as measured in our laboratory using the constant volume method. The graphically estimated load-back swell pressure may be different from that measured in the laboratory.
2. Negative Swell-Consolidation Potential indicates compression under conditions of loading and wetting.
3. \* = Swell-Consolidation test performed on remolded sample due to rock content. Test results should be considered an estimate only of the swell or consolidation potential at the density and moisture content indicated.

### 4.0 FOUNDATION RECOMMENDATIONS

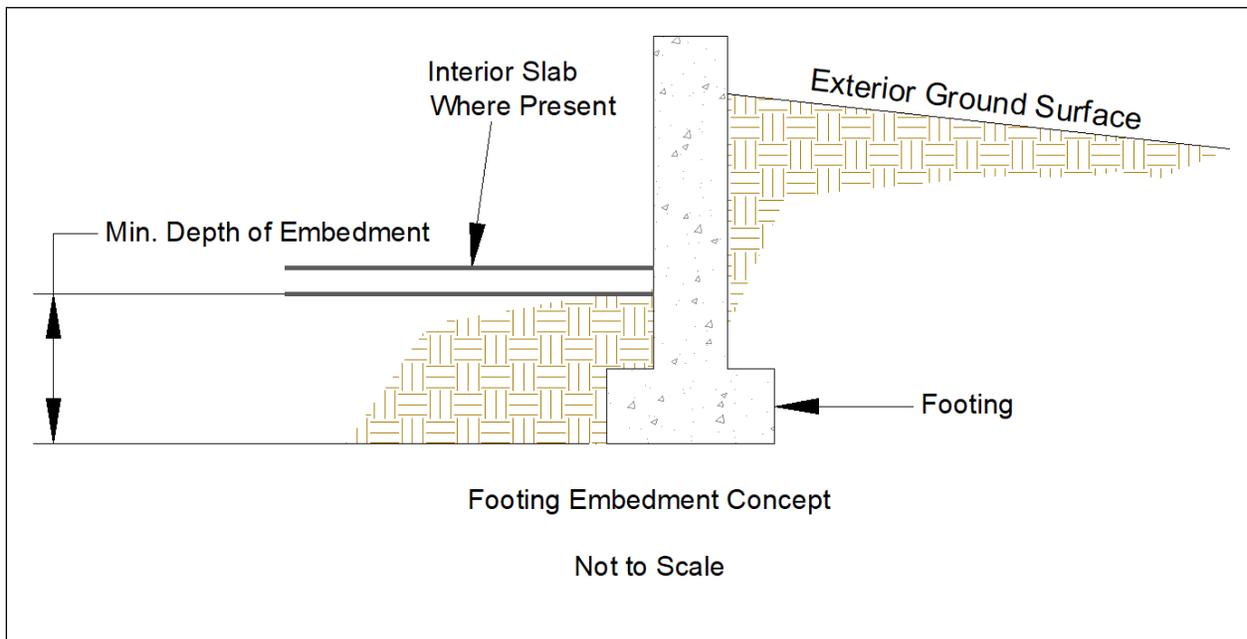
Based on the subsurface conditions encountered during our field study and the laboratory test results, the structure may be supported by a spread footing foundation system that is either supported directly on the competent formational sandstone materials, or is supported on a layer of compacted imported structural fill that extends to the competent formational sandstone materials. Our recommendations for spread footings are presented in Section 4.1 below. We are available to provide recommendations for alternative types of foundation systems at your request.

The integrity and long-term performance of the foundation system is influenced by the quality of workmanship which is implemented during construction. It is imperative that all excavation and fill placement operations be conducted by qualified personnel using appropriate equipment and techniques to provide suitable support conditions for the foundation system.

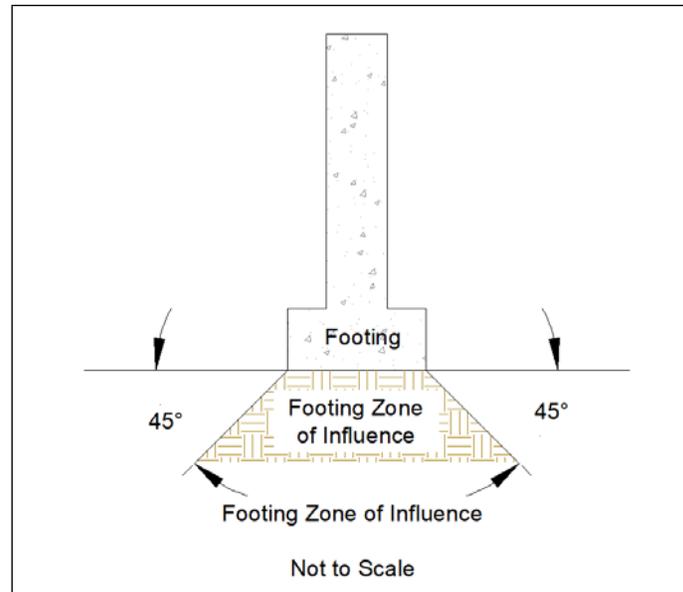
#### 4.1 Spread Footings

Spread footings may be supported directly by the clean, competent formational material or on a blanket of compacted structural fill which extends to the clean and competent formational materials. We encountered the competent formational materials at depths ranging from about 3 to 4 feet below the ground surface at the test boring locations. We anticipate that at least a leveling course of structural fill will be necessary to achieve a uniform bearing elevation in some locations due to the anticipated excavation characteristics of the formational material.

The spread footings may be designed using an allowable gross bearing capacity of 3,500 pounds per square foot. The bearing capacity may be increased by 20 percent due to transient loads. All footings should have a minimum depth of embedment of at least one 1 foot. The embedment concept is shown below.



The compacted structural fill (if used) should be placed and compacted as discussed in the Construction Considerations, “Fill Placement Recommendations” section of this report, below. The zone of influence of the footing (at elevations close to the bottom of the footing) is often approximated as being between two lines subtended at 45 degree angles from each bottom corner of the footing. The compacted structural fill should extend beyond the zone of influence of the footing as shown in the sketch below.



A general and simple rule to apply to the geometry of the compacted structural fill blanket is that it should extend beyond each edge of the footing a distance which is equal to the fill thickness.

We estimate that the footings designed and constructed above will have a total post construction settlement in the range of about ½ inch or less. Differential settlement between footings placed directly on the competent formational sandstone materials versus footings placed on up to 2½ feet of compacted structural fill will be in the range of about ½ inch or less. Under no circumstances should any footing be supported by more than 2½ feet of compacted structural fill material unless we are contacted to review the specific conditions supporting these footing locations.

All footings should be support at an elevation deeper than the maximum depth of frost penetration for the area. This recommendation includes exterior isolated footings and column supports. Please contact the local building department for specific frost depth requirements.

The post construction differential settlement may be reduced by designing footings that will apply relatively uniform loads on the support soils. Concentrated loads should be supported by footings that have been designed to impose similar loads as those imposed by adjacent footings.

The design concepts and parameters presented above are based on the soil conditions encountered in our test borings. We should be contacted during the initial phases of the foundation excavation at the site to assess the soil support conditions and to verify our recommendations.

Some movement and settlement of any shallow foundation system will occur after construction. Movement associated with swelling soils also occurs occasionally. Utility line connections through and foundation or structural component should be appropriately sleeved to reduce the potential for damage to the utility line. Flexible utility line connections will further reduce the potential for damage associated with movement of the structure.

## 5.0 RETAINING STRUCTURES

We anticipate that exterior retaining wall structures may be considered as part of the site development. Lateral loads will be imposed on the retaining structures by the adjacent soils and, in some cases, additional surcharge loads will be imposed on the retained soils from vehicles or adjacent structures. The loads imposed by the soil are commonly referred to as lateral earth pressures. The magnitude of the lateral earth pressure forces is partially dependent on the soil strength characteristics, the geometry of the ground surface adjacent to the retaining structure, the subsurface water conditions and on surcharge loads.

The retaining structures may be designed using the values tabulated below. The values tabulated for the native soil backfill materials are appropriate for the sandy clay soils that overlie the formational sandstone materials. The values tabulated for the imported granular fill are appropriate for materials that meet CDOT Class 6 specifications.

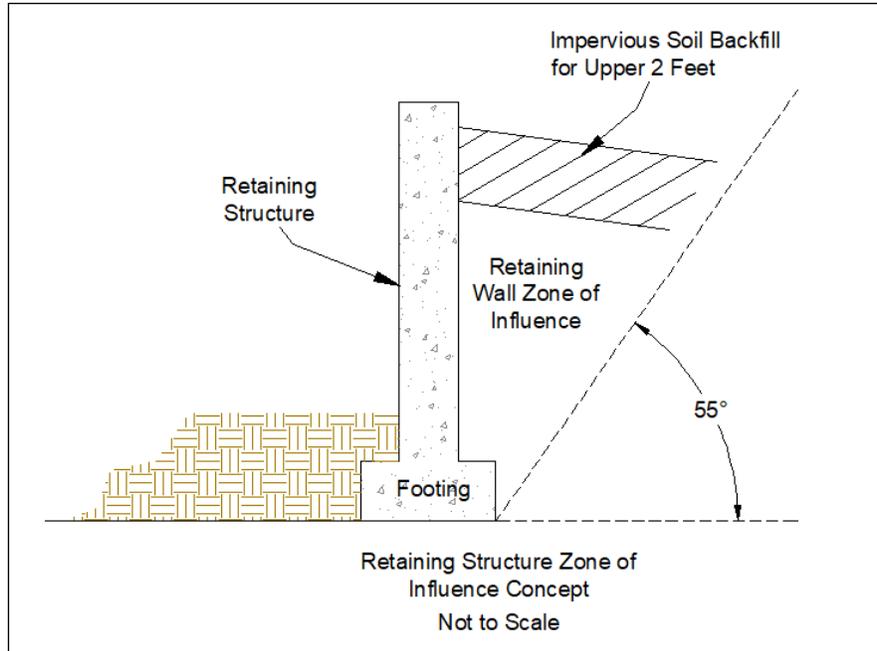
Lateral Earth Pressure Values

Type of Lateral Earth Pressure	Level Native Soil Backfill (pounds per cubic foot)	Level Granular Soil Backfill (pounds per cubic foot)
Active	50	35
At-rest	70	55
Passive	305	460
Allowable Coefficient of Friction	0.30	0.45

Granular soil that is used for the retaining wall backfill may be permeable and may allow water migration to the foundation support soils. There are several options available to help reduce water migration to the foundation soils, two of which are discussed here. An impervious geotextile layer and shallow drain system may be incorporated into the backfill, as discussed in Section 8.5, Landscaping Considerations, below. A second option is to place a geotextile filter material on top of the granular soils and above that place about 1½ to 2 feet of moisture conditioned and compacted site clay soils. It should be noted that if the site clay soils are used volume changes may occur which will influence the performance of overlying concrete flatwork or structural components.

The values tabulated above are for well drained backfill soils. The values provided above do not include any forces due to adjacent surcharge loads or sloped soils. If the backfill soils become saturated the imposed lateral earth pressures will be significantly higher than those tabulated above.

The granular imported soil backfill values tabulated above are appropriate for material with an angle of internal friction of 35 degrees, or greater. The granular backfill must be placed within the retaining structure zone of influence as shown below in order for the lateral earth pressure values tabulated above for the granular material to be appropriate.



Backfill should not be placed and compacted behind the retaining structure unless approved by the project structural engineer. Backfill placed prior to construction of all appropriate structural members such as floors, or prior to appropriate curing of the retaining wall concrete, may result in severe damage and/or failure of the retaining structure.

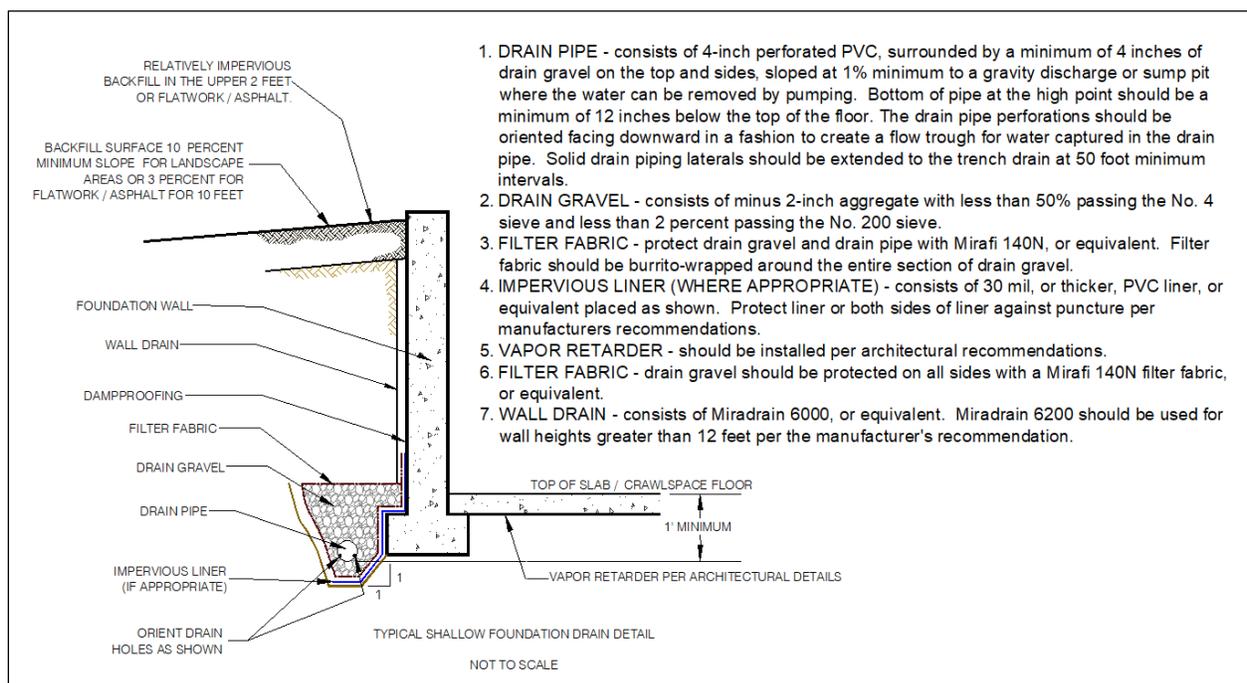
## 6.0 SUBSURFACE DRAIN SYSTEM

Since retaining structures for the building are not proposed, a subsurface drain system is not needed to reduce hydrostatic pressures. If subsurface areas, such as crawl space area are planned the subsurface drain system concept below may be included in the project design to reduce the tendency for water to accumulate in subsurface areas. Exterior retaining structures should incorporate a drain system and/or weep holes through the retaining structures. General recommendations for a subsurface drain system are provided below for reference.

A drain system constructed with a free draining aggregate material and a 4-inch minimum diameter perforated drain pipe should be constructed adjacent to retaining structures and/or adjacent to foundation walls. The drain pipe perforations should be oriented facing downward. The system should be protected from fine soil migration by a fabric-wrapped aggregate which surrounds a rigid perforated pipe. We do not recommend use of flexible corrugated perforated pipe since it is not possible to establish a uniform gradient of the flexible pipe throughout the drain system alignment. Corrugated drain tile is perforated throughout the entire circumference of the pipe and therefore water can escape from the perforations at undesirable locations after being collected. The nature of the perforations of the corrugated material further decreases its effectiveness as a subsurface drain conduit.

The drain should be placed at each level of excavation and at least 12 inches below lowest adjacent finish floor or crawlspace grade. The drain system pipe should be graded to surface

outlets or a sump vault. The drain system should be sloped at a minimum gradient of about 2 percent, but site geometry and topography may influence the actual installed pipe gradient. Water must not be allowed to pool along any portion of the subsurface drain system. An improperly constructed subsurface drain system may promote water infiltration to undesirable locations. The drain system pipe should be surrounded by about 2 to 4 cubic feet per lineal foot of free draining aggregate. If a sump vault and pump are incorporated into the subsurface drain system, care should be taken so that the water pumped from the vault does not recirculate through pervious soils and obtain access to the basement or crawl space areas. An impervious membrane should be included in the drain construction for grade beam and pier systems or other foundation systems such as interrupted footings where a free pathway for water beneath the structure exists. A generalized subsurface drain system concept is shown below.



There are often aspects of each site and structure which require some tailoring of the subsurface drain system to meet the needs of individual projects. Drain systems that are placed adjacent to void forms must include provisions to protect and support the impervious liner adjacent to the void form. We are available to provide consultation for the subsurface drain system for this project, if desired.

Water often will migrate along utility trench excavations. If the utility trench extends from areas above the site, this trench may be a source for subsurface water within the proposed basement or crawl space. We suggest that the utility trench backfill be thoroughly compacted to help reduce the amount of water migration. The subsurface drain system should be designed to collect subsurface water from the utility trench and fractures within the formational materials and direct it to surface discharge points.

## 7.0 CONCRETE FLATWORK

We understand that both interior and exterior concrete flatwork will be considered in the project design. Concrete flatwork is typically lightly loaded and has a limited capability to resist shear forces associated with uplift or consolidation of the support soils, including frost heave. It is prudent for the design and construction of concrete flatwork on this project to be able to accommodate some movement associated with volume changes in the support soils.

### 7.1 Interior Concrete Slab-on-Grade Floors

A primary goal in the design and construction of concrete slab-on-grade floors is to reduce the amount of post construction uplift associated with swelling soils (limited based on the laboratory test data), or downward movement due to consolidation of the soils. A parallel goal is to reduce the potential for damage to the structure associated with any movement of the slab-on-grade which may occur. There are limited options available to help mitigate the influence of volume changes in the support soil for concrete slab-on-grade floors, these include:

- Preconstruction scarification, moisture conditioning and re-compaction of the natural soils in areas proposed for support of concrete flatwork, and/or,
- Placement and compaction of granular compacted structural fill material

Although the soils tested for the project do not exhibit a high swell potential when wetted, performance of the structure may be improved by isolating the floors from the foundation system and interior partition walls.

Interior concrete slab-on-grade floors should be supported by a layer of granular structural fill overlying the processed natural soils. Interior concrete flatwork, or concrete slab-on-grade floors, should be underlain by scarification, moisture conditioning and compaction of 6 inches of the natural soils followed by placement of at least 8 inches of compacted granular structural fill material that is placed and compacted as discussed in the Construction Considerations, “Fill Placement Recommendations” section of this report, below.

- The proposed lower finished floor elevation is not known at this time. If the bottom of the interior concrete flatwork will extend to the formational materials, then scarification and compaction of the formational materials should not be performed.

All plumbing lines should be pressure tested before backfilling to help reduce the potential for wetting. The only means to completely mitigate the influence of volume changes on the performance of interior floors is to structurally support the floors over a void space such as crawl space area. Floors that are suspended by the foundation system will not be influenced by volume changes in the site soils. The suggestions and recommendations presented in this section are intended to help reduce the influence of potential volume changes in the support soils on the performance of the concrete slab-on-grade floors.

### 7.1.1 Capillary and Vapor Moisture Rise

Capillary and vapor moisture rise through the slab support soil may provide a source for moisture in the concrete slab-on-grade floor. This moisture may promote development of mold or mildew in poorly ventilated areas and may influence the performance of floor coverings and mastic placed directly on the floor slabs. The type of floor covering, adhesives used, and other considerations that are not related to the geotechnical engineering practice will influence the design. The architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of protection required for their products.

#### Comments for Reduction of Capillary Rise

One option to reduce the potential for capillary rise through the floor slab is to place a layer of clean aggregate material, such as washed concrete aggregate for the upper 4 to 6 inches of fill material supporting the concrete slabs.

#### Comments for Reduction of Vapor Rise

To reduce vapor rise through the floor slab, a moisture barrier such as a 6 mil (or thicker) plastic, or similar impervious geotextile material is often be placed below the floor slab. The material used should be protected from punctures that will occur during the construction process.

There are proprietary barriers that are puncture resistant that may not need the underlying layer of protective material. Some of these barriers are robust material that may be placed below the compacted structural fill layer. We do not recommend placement of the concrete directly on a moisture barrier unless the concrete contractor has had previous experience with curing of concrete placed in this manner. As mentioned above, the architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of moisture and vapor protection required for their products.

### 7.1.2 Slab Reinforcement Considerations

The project structural engineer should be contacted to provide steel reinforcement design considerations for the proposed floor slabs. Any steel reinforcement placed in the slab should be placed at the appropriate elevations to allow for proper interaction of the reinforcement with tensile stresses in the slab. Reinforcement steel that is allowed to cure at the bottom of the slab will not provide adequate reinforcement.

### 7.2 Exterior Concrete Flatwork Considerations

Exterior concrete flatwork includes concrete driveway slabs, aprons, patios, and walkways. The desired performance of exterior flatwork typically varies depending on the proposed use of the site and each owner's individual expectations. As with interior flatwork, exterior flatwork is particularly prone to movement and potential damage due to movement of the support soils. This movement and associated damage may be reduced by following the recommendations discussed under interior flatwork, above. Unlike interior flatwork, exterior flatwork may be exposed to frost heave, particularly on sites where the bearing soils have a high silt content. It may be prudent to

remove silt soils from exterior flatwork support areas where movement of exterior flatwork will adversely affect the project, such as near the interface between the driveway and the interior garage floor slab. If silt soils are encountered, they should be removed to the maximum depth of frost penetration for the area where movement of exterior flatwork is undesirable.

If some movement of exterior flatwork is acceptable, we suggest that the support areas be prepared by scarification, moisture conditioning and re-compaction of about 6 inches of the natural soils followed by placement of at least 6 inches of compacted granular fill material. The scarified material and granular fill materials should be placed as discussed under the Construction Considerations, "Fill Placement Recommendations" section of this report, below.

It is important that exterior flatwork be separated from exterior column supports, masonry veneer, finishes and siding. No support columns, for the structure or exterior decks, should be placed on exterior concrete unless movement of the columns will not adversely affect the supported structural components. Movement of exterior flatwork may cause damage if it is in contact with portions of the structure exterior.

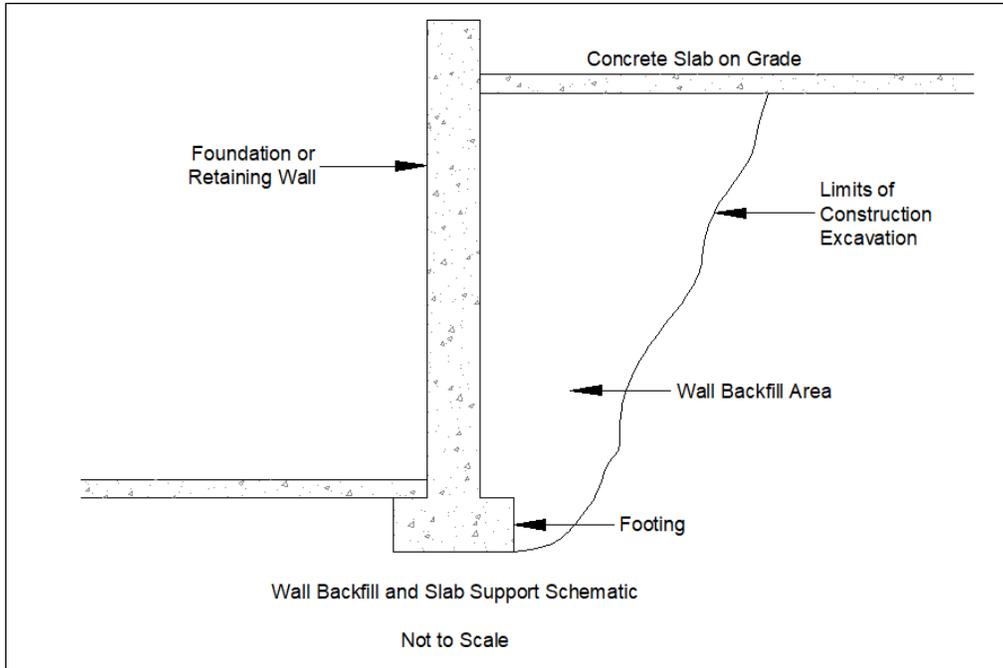
It should be noted that silt and silty sand soils located near the ground surface are particularly prone to frost heave. Soils with high silt content have the ability to retain significant moisture. The ability for the soils to accumulate moisture combined with a relatively shallow source of subsurface water and the fact that the winter temperatures in the area often very cold all contribute to a high potential for frost heave of exterior structural components. We recommend that silty soils be removed from the support areas of exterior components that are sensitive to movement associated with frost heave. These soils should be replaced with a material that is not susceptible to frost heave. Aggregate road base and similar materials retain less water than fine-grained soils and are therefore less prone to frost heave. We are available to discuss this concept with you as the plans progress.

Landscaping and landscaping irrigation often provide additional moisture to the soil supporting exterior flatwork. Excessive moisture will promote heave of the flatwork either due to expansive soil, or due to frost action. If movement of exterior slabs is undesirable, we recommend against placement of landscaping that requires irrigation. The ground surfaces near exterior flatwork must be sloped away from flatwork to reduce surface water migration to the support soil.

Exterior flatwork should not be placed on soils prepared for support of landscaping vegetation. Cultivated soils will not provide suitable support for concrete flatwork.

### 7.3 General Concrete Flatwork Comments

It is relatively common that both interior and exterior concrete flatwork is supported by areas of fill adjacent to either shallow foundation walls or basement retaining walls. A typical sketch of this condition is shown below.



Settlement of the backfill shown above will create a void and lack of soil support for the portions of the slab over the backfill. Settlement of the fill supporting the concrete flatwork is likely to cause damage to the slab-on-grade. Settlement and associated damage to the concrete flatwork may occur when the backfill is relatively deep, even if the backfill is compacted.

If this condition is likely to exist on this site it may be prudent to design the slab to be structurally supported on the retaining or foundation wall and designed to span to areas away from the backfill area as designed by the project structural engineer. We are available to discuss this with you upon request.

## 8.0 CONSTRUCTION CONSIDERATIONS

This section of the report provides comments, considerations and recommendations for aspects of the site construction which may influence, or be influenced by the geotechnical engineering considerations discussed above. The information presented below is not intended to discuss all aspects of the site construction conditions and considerations that may be encountered as the project progresses. If any questions arise as a result of our recommendations presented above, or if unexpected subsurface conditions are encountered during construction we should be contacted immediately.

### 8.1 Fill Placement Recommendations

There are several references throughout this report regarding both natural soil and compacted structural fill recommendations. The recommendations presented below are appropriate for the fill placement considerations discussed throughout the report above.

All areas to receive fill, structural components, or other site improvements should be properly prepared and grubbed at the initiation of the project construction. The grubbing operations should include scarification and removal of organic material and soil. No fill material or concrete should be placed in areas where existing vegetation or fill material exist.

We suspect that man-placed fill and subterranean structures may be encountered as the project construction progresses. All existing fill material should be removed from areas planned for support of structural components. Excavated areas and subterranean voids should be backfilled with properly compacted fill material as discussed below.

### 8.1.1 Natural Soil Fill

Any natural soil used for any fill purpose should be free of all deleterious material, such as organic material and construction debris. Natural soil fill includes excavated and replaced material or in-place scarified material. Our recommendations for placement of natural soil fill are provided below.

- The natural soils should be moisture conditioned, either by addition of water to dry soils, or by processing to allow drying of wet soils. The proposed fill materials should be moisture conditioned to between about optimum and about 2 percent above optimum soil moisture content. This moisture content can be estimated in the field by squeezing a sample of the soil in the palm of the hand. If the material easily makes a cast of soil which remains in-tact, and a minor amount of surface moisture develops on the cast, the material is close to the desired moisture content. Material testing during construction is the best means to assess the soil moisture content.
- Moisture conditioning of clay or silt soils may require many hours of processing. If possible, water should be added and thoroughly mixed into fine grained soil such as clay or silt the day prior to use of the material. This technique will allow for development of a more uniform moisture content and will allow for better compaction of the moisture conditioned materials.
- The moisture conditioned soil should be placed in lifts that do not exceed the capabilities of the compaction equipment used and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.
- We typically recommend a maximum fill lift thickness of 6 inches for hand operated equipment and 8 to 10 inches for larger equipment.
- Care should be exercised in placement of utility trench backfill so that the compaction operations do not damage underlying utilities.
- The maximum recommended lift thickness is about 6 to 8 inches. The maximum recommended rock size for natural soil fill is about 3 inches. This may require on-site screening or crushing if larger rocks are present. We must be contacted if it is desired to utilize rock greater than 3 inches for fill materials.

### 8.1.2 Granular Compacted Structural Fill

Granular compacted structural fill is referenced in numerous locations throughout the text of this report. Granular compacted structural fill should be constructed using an imported commercially produced rock product such as aggregate road base. Many products other than road base, such as

clean aggregate or select crusher fines may be suitable, depending on the intended use. If a specification is needed by the design professional for development of project specifications, a material conforming to the Colorado Department of Transportation (CDOT) “Class 6” aggregate road base material can be specified. This specification can include an option for testing and approval in the event the contractor’s desired material does not conform to the Class 6 aggregate specifications. We have provided the CDOT Specifications for Class 6 material below.

Grading of CDOT Class 6 Aggregate Base-Course Material	
Sieve Size	Percent Passing Each Sieve
1 inch	100
¾ inch	95-100
#4	30-65
#8	25-55
#200	3-12

Liquid Limit less than 30

All compacted structural fill should be moisture conditioned and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test. Areas where the structural fill will support traffic loads under concrete slabs or asphalt concrete should be compacted to at least 95 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.

### 8.1.3 Deep Fill Considerations

Deep fills, in excess of approximately 3 feet, should be avoided where possible. Fill soils will settle over time, even when placed properly per the recommendations contained in this report. Natural soil fill or engineered structural fills placed to our minimum recommended requirements will tend to settle an estimated 1 to 2 percent; therefore, a 3 foot thick fill may settle up to approximately ½ to ¾ inch over time. A 10 foot thick fill may settle up to approximately 2½ inches even when properly placed. Fill settlement will result in distress and damage to the structures they are intended to support. There are methods to reduce the effects of deep fill settlement such as surcharge loading and surveyed monitoring programs; however, there is a significant time period of monitoring required for this to be successful. A more reliable method is to support structural components with deep foundation systems bearing below the fill envelope. We can provide additional guidance regarding deep fills up on request.

### 8.2 Excavation Considerations

Unless a specific classification is performed, the site soils should be considered as an Occupational Safety and Health Administration (OSHA) Type C soil and should be sloped and/or benched according to the current OSHA regulations. Excavations should be sloped and benched to prevent wall collapse. Any soil can release suddenly and cave unexpectedly from excavation walls, particularly if the soils is very moist, or if fractures within the soil are present. Daily observations of the excavations should be conducted by OSHA competent site personnel to assess safety considerations.

We did not encounter free subsurface water in our test borings. If water is encountered during construction, it may be necessary to dewater excavations to provide for suitable working conditions.

We encountered formational material in our test borings. We suspect that it may be difficult to excavate this material using conventional techniques. If blasting is planned it must be conducted strategically to reduce the effect of the blasting on the support characteristics of the site materials and the stability of adjacent slopes. We typically recommend that where possible blasting be avoided, however blasting is often needed to aid in the excavation of the site to develop the desired footing support elevations. It is typical to have about 2 to 3 feet of loose angular clasts of rock, commonly called “shot-rock” below the desired bottom of excavation elevations. This material is not suitable for support of structural components and should be removed and replaced with compacted structural fill in areas proposed for support of structural components.

If possible, excavations should be constructed to allow for water flow from the excavation the event of precipitation during construction. If this is not possible it may be necessary to remove water from snowmelt or precipitation from the foundation excavations to help reduce the influence of this water on the soil support conditions and the site construction characteristics.

### 8.2.1 Excavation Cut Slopes

We anticipate that some permanent excavation cut slopes may be included in the site development. Temporary cut slopes should not exceed 5 feet in height and should not be steeper than about 1:1 (horizontal to vertical) for most soils. Permanent cut slopes greater than 5 feet or steeper than 2½:1 must be analyzed on a site-specific basis.

### 8.3 Utility Considerations

Subsurface utility trenches will be constructed as part of the site development. Utility line backfill often becomes a conduit for post construction water migration. If utility line trenches approach the proposed project site from above, water migrating along the utility line and/or backfill may have direct access to the portions of the proposed structure where the utility line penetrations are made through the foundation system. The foundation soils in the vicinity of the utility line penetration may be influenced by the additional subsurface water. There are a few options to help mitigate water migration along utility line backfill. Backfill bulkheads constructed with high clay content soils and/or placement of subsurface drains to promote utility line water discharge away from the foundation support soil.

Some movement of all structural components is normal and expected. The amount of movement may be greater on sites with problematic soil conditions. Utility line penetrations through any walls or floor slabs should be sleeved so that movement of the walls or slabs does not induce movement or stress in the utility line. Utility connections should be flexible to allow for some movement of the floor slab.

If utility line trenches are excavated using blasting techniques it is relatively common for surface and subsurface water to migrate along the fractures in the rock that may be created by blasting. If this water gains access to a utility line trench that has a gradient down toward the structure the

water may gain access to the foundation support materials and/or subsurface portions of the proposed structure. Provisions should be made in the project construction plans to create an impervious barrier to prevent water from migrating into undesirable locations.

#### 8.4 Exterior Grading and Drainage Comments

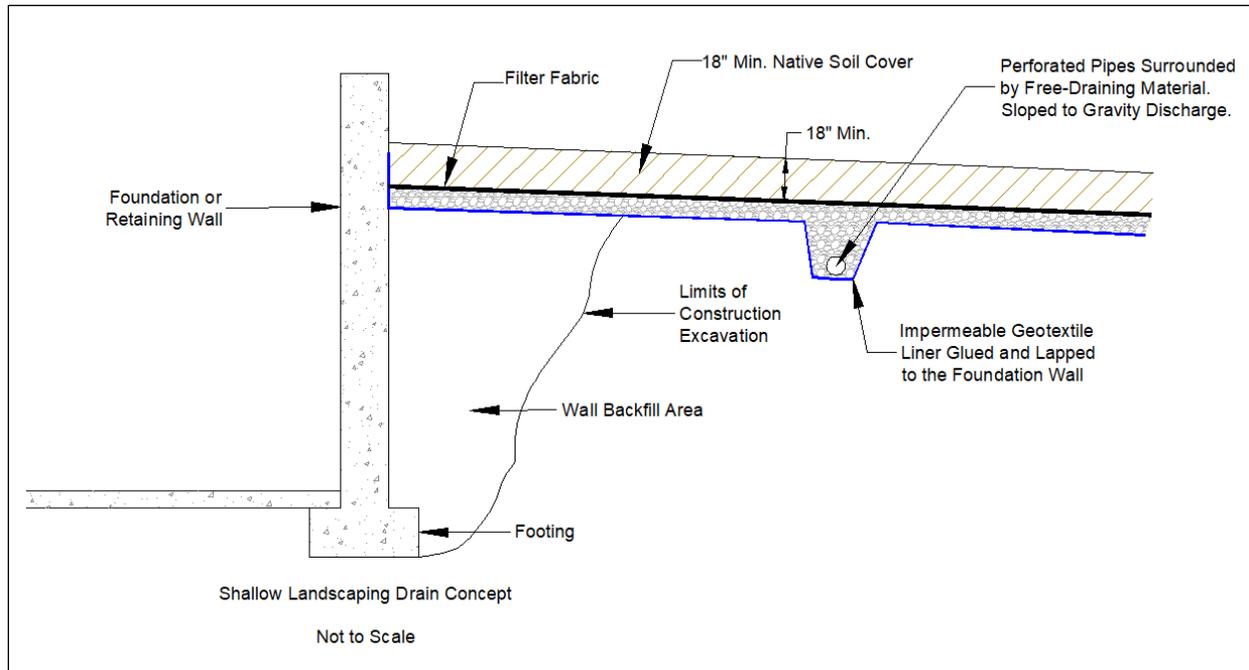
The following recommendations should be following during construction and maintained for the life of the structure with regards to exterior grading and surface drainage.

- The ground surface adjacent to the structure should be sloped to promote water flow away from the foundation system and flatwork.
- Snow storage areas should not be located in areas which will allow for snowmelt water access to support soils for the foundation system or flatwork.
- The project civil engineer, architect or builder should develop a drainage scheme for the site. We typically recommend the ground surface surrounding the exterior of the building be sloped to drain away from the foundation in all directions. We recommend a minimum slope of 12 inches in the first 10 feet in unpaved areas and a minimum slope of 3 inches in the first 10 feet in paved areas.
- Water flow from the roof of the structure should be captured and directed away from the structure. If the roof water is collected in an eave gutter system, or similar, the discharge points of the system must be located away from areas where the water will have access to the foundation backfill or any structure support soils. If downspouts are used, provisions should be made to either collect or direct the water away from the structure.
- Care should be taken to not direct water onto adjacent property or to areas that would negatively influence existing structures or improvements.

#### 8.5 Landscaping Considerations

We recommend against construction of landscaping which requires excessive irrigation. Generally landscaping which uses abundant water requires that the landscaping contractor install topsoil which will retain moisture. The topsoil is often placed in flattened areas near the structure to further trap water and reduce water migration from away from the landscaped areas. Unfortunately, almost all aspects of landscape construction and development of lush vegetation are contrary to the establishment of a relatively dry area adjacent to the foundation walls. Excess water from landscaped areas near the structure can migrate to the foundation system or flatwork support soils, which can result in volume changes in these soils.

A relatively common concept used to collect and subsequently reduce the amount of excess irrigation water is to glue or attach an impermeable geotextile fabric or heavy mill plastic to the foundation wall and extend it below the topsoil which is used to establish the landscape vegetation. A thin layer of sand can be placed on top of the geotextile material to both protect the geotextile from punctures and to serve as a medium to promote water migration to the collection trench and perforated pipe. The landscape architect or contractor should be contacted for additional information regarding specific construction considerations for this concept which is shown in the sketch below.



A free draining aggregate or sand may be placed in the collection trench around the perforated pipe. The perforated pipe should be graded to allow for positive flow of excess irrigation water away from the structure or other area where additional subsurface water is undesired. Preferably the geotextile material should extend at least 10 or more feet from the foundation system.

Care should be taken to not place exterior flatwork such as sidewalks or driveways on soils that have been tilled and prepared for landscaping. Tilled soils will settle which can cause damage to the overlying flatwork. Tilled soils placed on sloped areas often “creep” down-slope. Any structure or structural component placed on this material will move down-slope with the tilled soil and may become damaged.

## 8.6 Soil Sulfate and Corrosion Issues

The requested scope of our services did not include assessment of the chemical constituents of corrosion potential of the site soils. Most soils in southwest Colorado are not typically corrosive to concrete. There has not been a history of damage to concrete due to sulfate corrosion in the area.

We are available to perform soluble sulfate content tests to assess the corrosion potential of the soils on concrete if desired.

## 8.7 Radon Issues

The requested scope of service of this report did not include assessment of the site soils for radon production. Many soils and formational materials in western Colorado produce Radon gas. The structure should be appropriately ventilated to reduce the accumulation of Radon gas in the structure. Several Federal Government agencies including the Environmental Protection Agency

(EPA) have information and guidelines available for Radon considerations and home construction. If a radon survey of the site soils is desired, please contact us.

## 8.8 Mold and Other Biological Contaminants

Our services do not include determining the presence, prevention or possibility of mold or other biological contaminants developing in the future. If the client is concerned about mold or other biological contaminants, a professional in this special field of practice should be consulted.

## 9.0 CONSTRUCTION MONITORING AND TESTING

Engineering observation of subgrade bearing conditions, compaction testing of fill material and testing of foundation concrete are equally important tasks that should be performed by the geotechnical engineering consultant during construction. We should be contacted during the construction phase of the project and/or if any questions or comments arise as a result of the information presented below. It is common for unforeseen, or otherwise variable subsurface soil and water conditions to be encountered during construction. As discussed in our proposal for our services, it is imperative that we be contacted during the foundation excavation stage of the project to verify that the conditions encountered in our field exploration were representative of those encountered during construction. Our general recommendations for construction monitoring and testing are provided below.

- Consultation with design professionals during the design phases: This is important to ensure that the intentions of our recommendations are properly incorporated in the design, and that any changes in the design concept properly consider geotechnical aspects.
- Grading Plan Review: A grading plan was not available for our review at the time of this report. A grading plan with finished floor elevations for the proposed construction should be prepared by a civil engineer licensed in the State of Colorado. Trautner Geotech should be provided with grading plans once they are complete to determine if our recommendations based on the assumed bearing elevations are appropriate.
- Observation and monitoring during construction: A representative of the Geotechnical engineer from our firm should observe the foundation excavation, earthwork, and foundation phases of the work to determine that subsurface conditions are compatible with those used in the analysis and design and our recommendations have been properly implemented. Placement of backfill should be observed and tested to judge whether the proper placement conditions have been achieved. Compaction tests should be performed on each lift of material placed in areas proposed for support of structural components.
- If asphaltic concrete is placed for driveways or aprons near the structure we are available to provide testing of these materials during placement.

## 10.0 LIMITATIONS

This study has been conducted based on the geotechnical engineering standards of care in this area at the time this report was prepared. We make no warranty as to the recommendations contained in this report, either expressed or implied. The information presented in this report is

Project No. 57726GE  
January 12, 2023

based on our understanding of the proposed construction that was provided to us and on the data obtained from our field and laboratory studies. Our recommendations are based on limited field and laboratory sampling and testing. Unexpected subsurface conditions encountered during construction may alter our recommendations. We should be contacted during construction to observe the exposed subsurface soil conditions to provide comments and verification of our recommendations.

The recommendations presented above are intended to be used only for this project site and the proposed construction which was provided to us. The recommendations presented above are not suitable for adjacent project sites, or for proposed construction that is different than that outlined for this study.

This report provides geotechnical engineering design parameters, but does not provide foundation design or design of structure components. The project architect, designer or structural engineer must be contacted to provide a design based on the information presented in this report.

This report does not provide an environmental assessment nor does it provide environmental recommendations such as those relating to Radon or mold considerations. If recommendation relative to these or other environmental topics are needed and environmental specialist should be contacted.

The findings of this report are valid as of the present date. However, changes in the conditions of the property can occur with the passage of time. The changes may be due to natural processes or to the works of man, on the project site or adjacent properties. In addition, changes in applicable or appropriate standards can occur, whether they result from legislation or the broadening of knowledge. Therefore, the recommendations presented in this report should not be relied upon after a period of two years from the issue date without our review.

We are available to review and tailor our recommendations as the project progresses and additional information which may influence our recommendations becomes available.

Please contact us if you have any questions, or if we may be of additional service.

Respectfully,  
TRAUTNER GEOTECH



Jonathan P. Butler, P.E.  
Geotechnical Engineer

# **APPENDIX A**

## Field Study Results





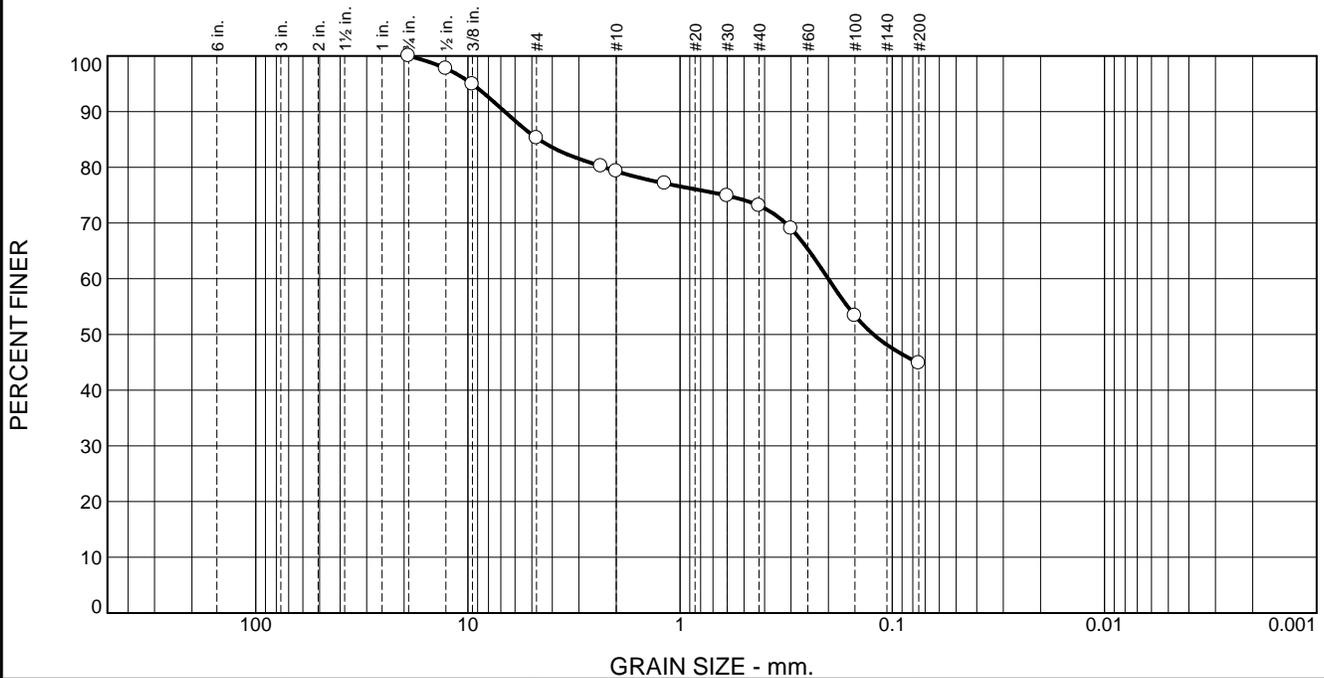




# **APPENDIX B**

Laboratory Test Results

# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0	0	15	6	6	28	45	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
.75	100		
.5	98		
.375	95		
#4	85		
#8	80		
#10	79		
#16	77		
#30	75		
#40	73		
#50	69		
#100	53		
#200	45		

**Material Description**

Clayey sand with gravel

**Atterberg Limits (ASTM D 4318)**

PL= 15      LL= 25      PI= 10

**Classification**

USCS (D 2487)= SC      AASHTO (M 145)= A-4(1)

**Coefficients**

D<sub>90</sub>= 6.7103      D<sub>85</sub>= 4.6335      D<sub>60</sub>= 0.2004  
D<sub>50</sub>= 0.1228      D<sub>30</sub>=      D<sub>15</sub>=  
D<sub>10</sub>=      C<sub>u</sub>=      C<sub>c</sub>=

Remarks

C10501-E

---

Date Received: 1/4/23      Date Tested: 1/6/23

Tested By: R. Barrett

Checked By: J. Butler

Title: P.E.

\* (no specification provided)

Location: TB-3  
Depth: 0-3.5'

Date Sampled: 1/4/23

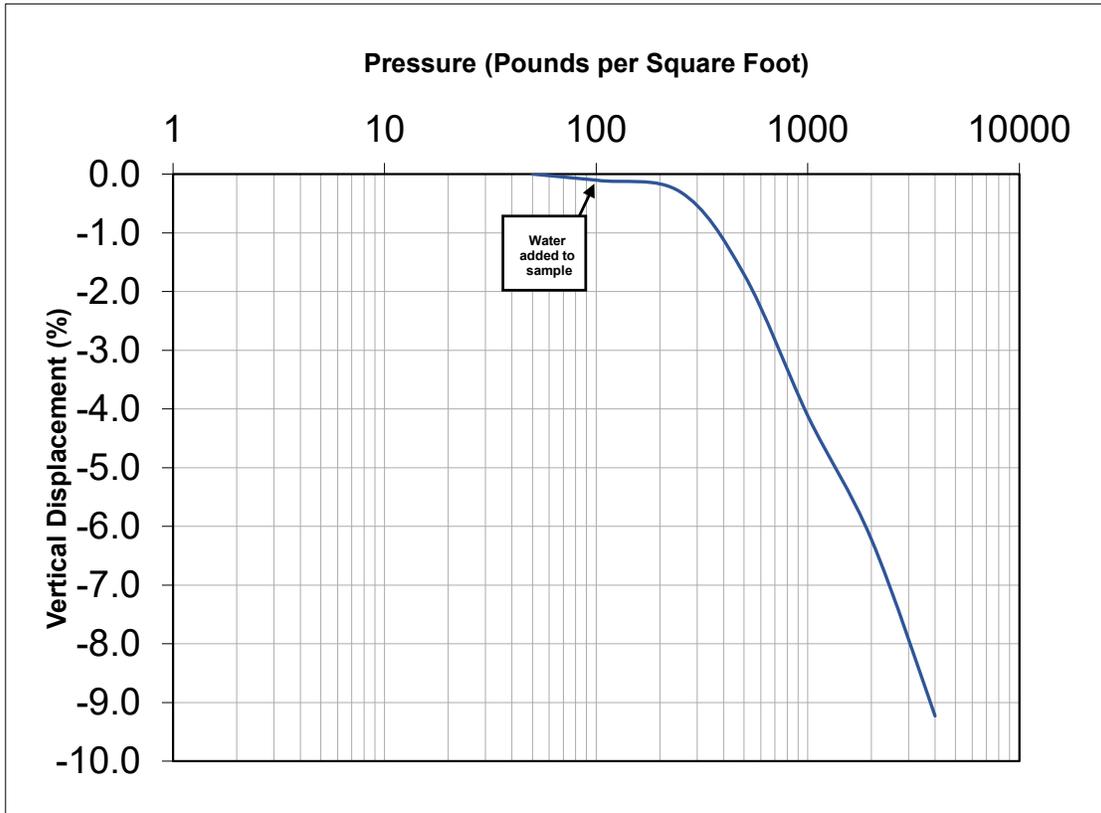


Client: Mr. Stephen Candelaria  
Project: Major Mortgage Office Structure, Cortez, Colorado

Project No: 57726GE

Figure B.1

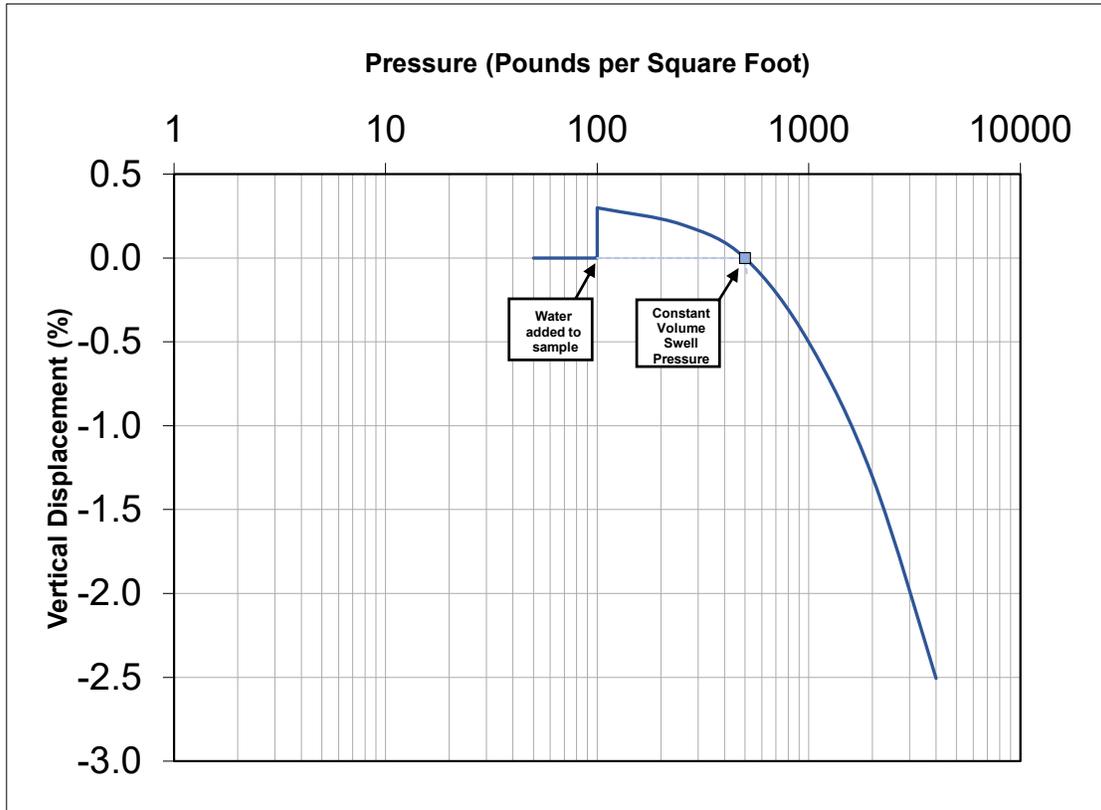
**SWELL - CONSOLIDATION TEST**



SUMMARY OF TEST RESULTS		
Sample Source:	TB-2 @ 1 foot	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft <sup>2</sup> ):	<100	
	Initial	Final
Moisture Content (%):	5.5	16.6
Dry Density (lb/ft <sup>3</sup> ):	106.0	115.7
Height (in.):	0.997	0.905
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501B
Figure:	B.2

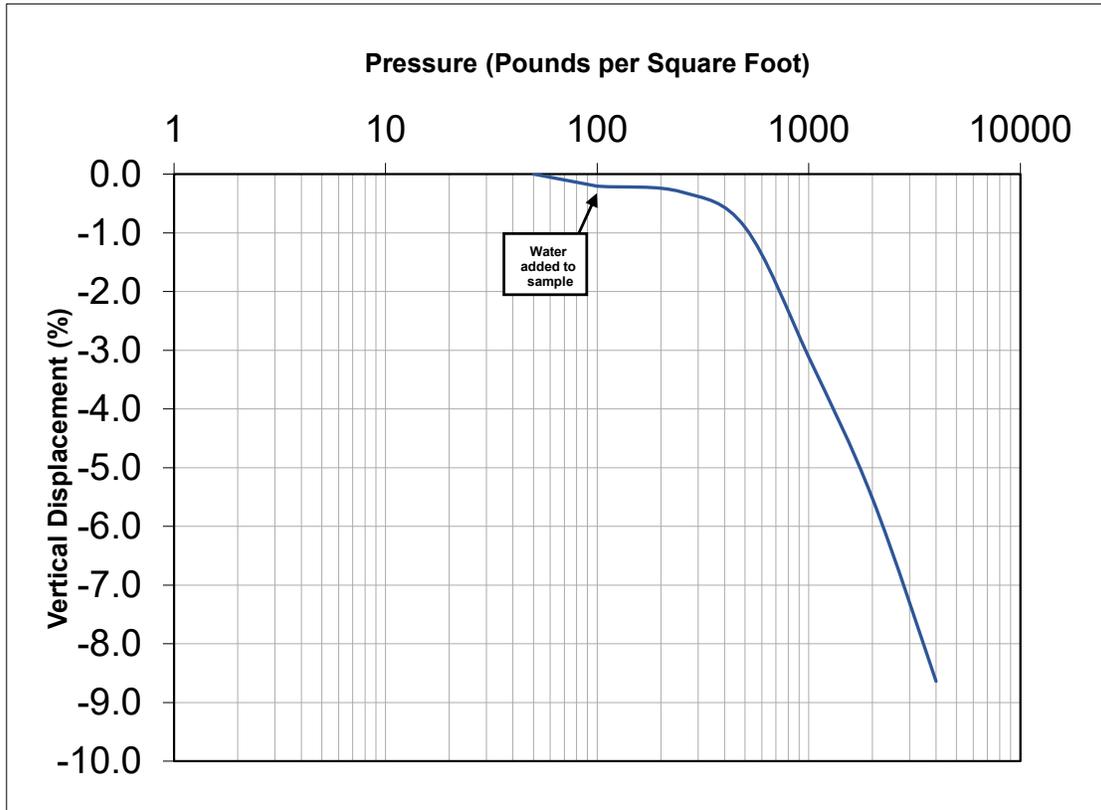
**SWELL - CONSOLIDATION TEST**



SUMMARY OF TEST RESULTS		
Sample Source:	TB-2 @ 2 feet	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.3%	
Constant Volume Swell Pressure (lb/ft <sup>2</sup> ):	500	
	Initial	Final
Moisture Content (%):	4.9	13.5
Dry Density (lb/ft <sup>3</sup> ):	122.6	124.8
Height (in.):	0.998	0.973
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501C
Figure:	B.3

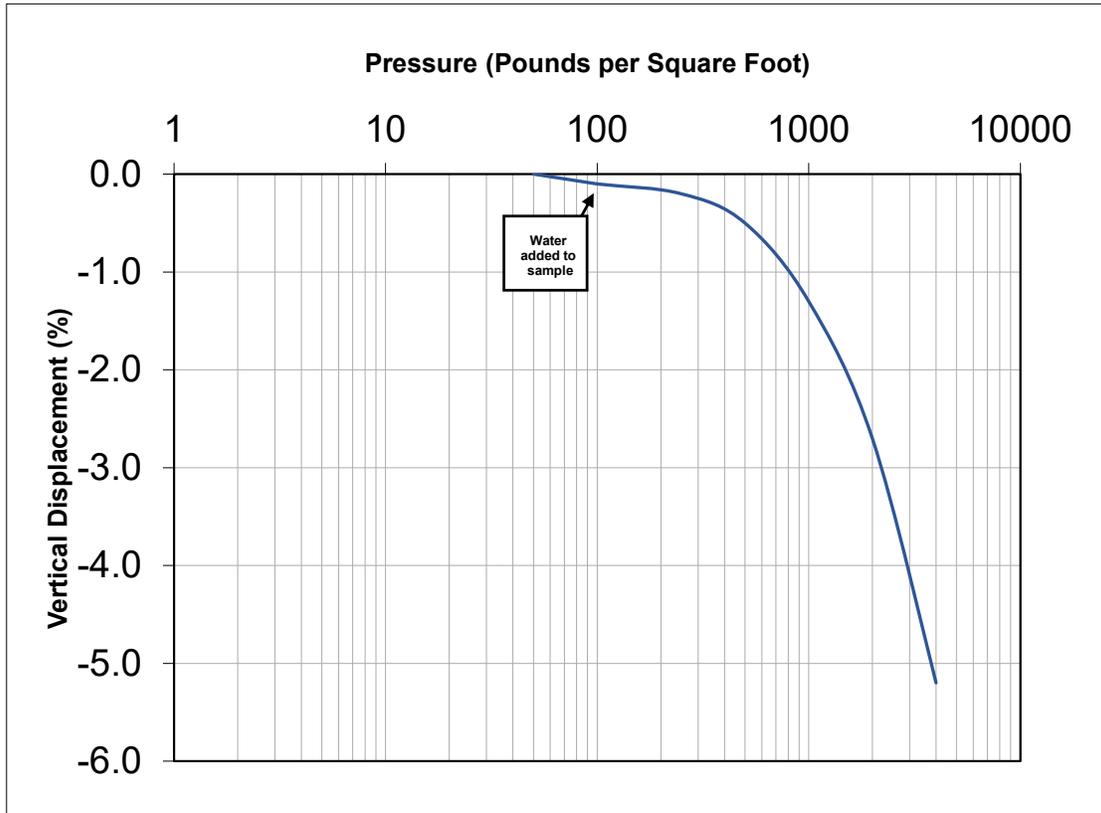
**SWELL - CONSOLIDATION TEST**



SUMMARY OF TEST RESULTS		
Sample Source:	TB-3 @ 4 feet	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft²):	<100	
	<b>Initial</b>	<b>Final</b>
Moisture Content (%):	5.7	15.9
Dry Density (lb/ft³):	111.9	120.6
Height (in.):	0.996	0.910
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501F
Figure:	B.4

**SWELL - CONSOLIDATION TEST**



SUMMARY OF TEST RESULTS		
Sample Source:	TB-4 @ 1 foot	
Visual Soil Description:	Sand, clayey (SC)	
Swell Potential (%)	0.0%	
Constant Volume Swell Pressure (lb/ft <sup>2</sup> ):	<100	
	Initial	Final
Moisture Content (%):	6.6	16.4
Dry Density (lb/ft <sup>3</sup> ):	115.7	117.8
Height (in.):	1.000	0.948
Diameter (in.):	1.94	1.94

Project Number:	57726GE
Sample ID:	C10501G
Figure:	B.5



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

September 05, 2023

Agenda Item: 7. a.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Montezuma County Planning & Zoning Commission received a proposed Subdivision Amendment Application for a proposed Commercial Planned Unit Development to Lot #31 of the Blue Door Subdivision submitted by Kenneth Hinton; agent: Richard O'Brien, on property located at 7351 Road 24.3, Cortez, CO, located south of Road G.3, east of Hwy 160-491, situated in Section 3, Township 35N, Range 16W, N.M.P.M.

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**BACKGROUND**

Montezuma County Planning & Zoning Commission has received notice of a proposed Subdivision Amendment Application for a proposed Commercial Planned Unit Development to Lot #31 of the Blue Door Subdivision submitted by Kenneth Hinton; agent: Richard O'Brien, on property located at 7351 Road 24.3, Cortez, CO, located south of Road G.3, east of Hwy 160-491, situated in Section 3, Township 35N, Range 16W, N.M.P.M.

**ISSUES**

Unknown

**RECOMMENDATION**

Staff recommends that the Planning & Zoning Commission state any concerns and requests comments be forwarded to the County if so desired.

---

**Attachments**

Staff Report  
Documentation



*City of Cortez  
Community & Economic  
Dev.  
123 Roger Smith Avenue  
Cortez, CO 81321*

Meeting Date: September 5, 2023

**MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dossdall, Contract City Planner

**SUBJECT:** County Development- a proposed Subdivision Amendment Application for a proposed Commercial Planned Unit Development to Lot #31 of the Blue Door Subdivision submitted by Kenneth Hinton; agent: Richard O'Brien, on property located at 7351 Road 24.3, Cortez, CO, located south of Road G.3, east of Hwy 160-491, situated in Section 3, Township 35N, Range 16W, N.M.P.M.

**ATTACHMENTS:** County Application Packet

**BACKGROUND**

The applicant proposes to divide Lot #31 of the Blue Door Subdivision into two 1.5-acre parcels in order for the agent, Richard O'Brien to purchase the business that he has worked, for nearly 40 years. Each proposed parcel will continue the current activity.

The property is located within the 1 Mile area of influence but outside of the Master Street Plan.

The Montezuma County Planning and Zoning Commission will hold a public hearing for this permit on September 14, 2023.

**RECOMMENDATION**

Staff recommends that the Commission state any concerns and request comments be forwarded to the County if so desired.



## Montezuma County Planning Department

109 West Main, Room 270

Cortez, CO 81321

(970) 565-2801

(970) 565-3420 Fax

### **PUBLIC NOTICE MONTEZUMA COUNTY PLANNING & ZONING COMMISSION**

Notice is hereby given that the Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a proposed Subdivision Amendment Application for a proposed Commercial Planned Unit Development to Lot #31 of the Blue Door Subdivision submitted by Kenneth Hinton; agent: Richard O'Brien, on property located at 7351 Road 24.3, Cortez, CO, located south of Road G.3, east of Hwy 160-491, situated in Section 3, Township 35N, Range 16W, N.M.P.M. The hearing will be held Thursday, September 14, 2023 at 6:00pm, Commissioner's Hearing Room, Montezuma County Administrative Offices, 109 W. Main, Cortez, CO. Interested persons may attend and give input. Information may be obtained from the Planning Office on-line service at <https://co-montezuma-co.smartgovcommunity.com/Public/Home>; you may also contact the Planning Dept. at (970) 565-2801 with questions.

Dated this 2<sup>nd</sup> day of August, 2023

/s/ Kim Percell, Clerk,  
Board of County Commissioners  
Montezuma County, CO

Published in the Cortez Journal on Wednesday, August 23, 2023



Application Date: 8/1/2023

Date of Zoning/Rezoning Hearing: 9/14/2023

### MONTEZUMA COUNTY ZONING APPLICATION

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of determining the review procedure for a proposed zoning request. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code amended on 11/17/2020 Resolution No. 21-2020

Please initial here that you have a current copy of the Montezuma County Land Use Code RO.

1) Applicant Name(s)/Owner: Kenneth Hinton  
Address 7351 Road 24.3, Cortez, CO 81321  
Telephone Number (970)769-7593 Alternate Number: (970)565-9800

2) Agent(s) Richard O'Brien Phone No. 970-769-7593  
*(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)*

3) Proposed Development: Current Zoning: AR ES Requested Zoning: COMZ  
Number of Lots: 2 Total Acres: 3+/-  
A brief description of adjacent land usage: The Blue Door Subdivision consists of mixed uses which include agricultural, residential, commercial and industrial.

Parcel I.D. Number: 563703302001  
Physical Address of Property: 7351 Road 24.3, Cortez, CO  
Legal Description of Property: Subdivision: BLUE DOOR SUB Lot: 31 3AC B 546 P 570 (M/H-M2119, M/H- JIMENEZ-M2120) Section 3 Township 35N Range 16W , N.M.P.M.

Brief description of the proposed development: The applicant proposes to divide Lot #31 of the Blue Door Subdivision into two 1.5-acre parcels in order for the agent, Richard O'Brien to purchase the business that he has worked, for nearly 40 years. Each proposed parcel will continue the current activity.

Number of Lots: 2 Average Acreage per Lot: 1.5+/- Total Acres: 3+/-

5) Applicant shall submit sufficient copies of a pre-sketch plan which shows the general location of the development in sufficient detail to evaluate the relationship between the development and the physical features of the land and abutting lands. See Chapter 5: Section 3: 5302.

Presketch Plan Checklist:

- Location of proposed development areas upon the site
- Total acreage
- Abutting land uses, zoning designations, abutting land owners names and addresses
- Existing roads, streets and highways
- Major physical features including structures, buildings, boundary fencing irrigation ditches

and pipelines, utilities, topography, drainage, wetlands, noxious weed infestations and location of natural hazards.

- 6) Septic:  Existing Infrastructure  Yes  No  
Septic Permit Information Attached:  Yes  Permit  Other: \_\_\_\_\_  
 No  
 In Process

Property has Septic Permit #843 in existence and is shared with the Repair Shop. Once Mr. O'Brien purchases the property, a new septic system will be installed. The existing tank and leach pond will be on the other property. The buyer knows where the lines run and they are about 2ft deep. They have talked to Darrell Buiffington and said there should be no problem with it and he also talked to the health dept and asked them about it also.

*Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.*

- 7) Rural Water:  Existing Infrastructure  yes  No  
Copy of Existing Tap Certificate:  yes  No  not applicable  
Service provided by: Montezuma Water District #1  
Letter attached:  yes  No Service Available for \_\_\_\_\_ Additional Residential use  
Buyer talked to Montezuma Water District #1 on 7/27/23 and was told that it would be ok to divide it and the buyer would then pay for the water tap and installation.

- 8) Copy of Current Driveway/Access Permit from Montezuma County Road Department  
 Yes  No  In Process  
Access Permit can service up to \_\_\_\_\_ residential uses. Date on Permit: \_\_\_\_\_  
Interior Road anticipated within development:  Yes  No  
Current driveway access has been in existing for nearly 40 years. No new access is being proposed. Any new driveway will be required to obtain a permit through the County Road Department.

- 9) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required  Yes No  Hwy: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 10) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:  
Electric:  Empire Electric  Other: \_\_\_\_\_  
Telephone:  Centrytel  Centurylink  Farmers  Other: \_\_\_\_\_  
Gas Source:  Atmos Energy  Propane  Other: \_\_\_\_\_  
Electrical and natural gas are already paid for by Richard O'Brien at Southwest Repair and Welding. Should be no issue with this transfer.

- 11) Geologic Investigation: (moderate & major developments ONLY, if required)  
 Required  Not Required  
Prepared by: \_\_\_\_\_  
*Required for all Moderate and Major Developments only.*

- 12) Municipal Review:  Cortez    Dolores    Mancos    Not Applicable
- 
- 14) Other: Threshold Standards apply, but may be exceeded based on an approved PUD that mitigates significant adverse impacts. The minimum 30-foot setback from all property lines and 3-acre minimum lot size will be exceeded.
- 
- 15) Brief description of any planned or future development, including any application(s) being reviewed consecutively with the zoning request.  
*(Any further development will require the signature of all landowners on the amended plat)*  
No further development is planned.

**ROHIBITION ON LEGAL ADVICE** Staff members cannot give legal advice. This prohibition includes assisting or advising with documents to file or record, completing the documents, or assessing the legality or "correctness of a document(s)." If this type of assistance is required, contact your attorney or legal advisor. C.R.S. 12-5-101

The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

Kenneth R. Hinton  
 Applicant  
 Date: 8-4-2023

Richard E. Bean  
 Applicant  
 Date: 8-4-2023

COUNTY USE ONLY

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Planning Director Review: On Hold Date: 8/9/23



Application Date: 8/1/2023

Date of Zoning/Rezoning Hearing: 9/14/2023

(All dates are subject to proper completion of submittals in preparation for the public hearing process.)

**MONTEZUMA COUNTY  
PLANNED UNIT DEVELOPMENT APPLICATION**

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of determining the review procedure for a proposed development. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code amended on 11/17/2020, in Resolution No. 21-2020.

Please initial here that you have a current copy of the Montezuma County Land Use Code \_\_\_\_\_.

1) Applicant Name(s)/Owner: Kenneth Hinton  
Address 7351 Road 24.3, Cortez, CO 81321  
Telephone Number (970)769-7593 Alternate Number: (970)565-9800  
Proof of Ownership:  Certificate  Title Opinion from Attorney  Quit Claim Deed

2) Agent(s) Richard O'Brien Phone No. 970-769-7593  
*(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)*  
Agent Authorization Letter Provided:  Yes  In Process  Other: \_\_\_\_\_

3) Proposed Development: Current Zoning: AR ES Requested Zoning: COMZ  
Parcel I.D. Number: 563703302001  
Physical Address of Property: 7351 Road 24.3, Cortez, CO  
Legal Description of Property: Subdivision: BLUE DOOR SUB Lot: 31 3AC B 546 P 570 (M/H- M2119, M/H- JIMENEZ-M2120) Section 3 Township 35N Range 16W , N.M.P.M.

A brief description of adjacent land usage: The Blue Door Subdivision consists of mixed uses which include agricultural, residential, commercial and industrial

4) Type of PUD:  Cluster Incentive  General  Commercial  Industrial  Mobile Home

Intended Land Uses: The applicant proposes to divide Lot #31 of the Blue Door Subdivision into two 1.5-acre parcels in order for the agent, Richard O'Brien to purchase the business that he has worked, for nearly 40 years. Each proposed parcel will continue the current activity.

Minimum Acreage Dedicated to:  Agricultural Land, \_\_\_\_\_ Acres  
 Open Space , \_\_\_\_\_ Acres  
 Not Applicable

Total Acreage: 3+/- Total Preserved Acres: N/A Total Developed Acres: 3+/-  
Max Number of Dwelling Units: \_\_\_\_\_

5) Objectives to be achieved by PUD: The applicant proposes to divide Lot #31 of the Blue Door Subdivision into two 1.5-acre parcels in order for the agent, Richard O'Brian to purchase the business that he has worked, for nearly 40 years. Each proposed parcel will continue the current activity

6) Septic:  Existing Infrastructure  yes  No  
Septic Permit Information Attached:  yes  Permit  Other: \_\_\_\_\_  
 No  
 In Process

*Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.*

7) Rural Water:  Existing Infrastructure  yes  No  
Copy of Existing Tap Certificate:  yes  No  Not applicable  
Service provided by: Montezuma Water District #1  
Letter attached:  yes  No Service Available for \_\_\_\_\_ Additional Residential uses

8) Copy of Current Driveway/Access Permit from Montezuma County Road Department  
 Yes  No  In Process  
Access Permit can service up to \_\_\_\_\_ residential uses. Date on Permit: \_\_\_\_\_  
Interior Road anticipated within development:  Yes  No  
Road Surface width: \_\_\_\_\_ feet built to Count Road & Bridge Specifications.

9) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required  Yes No  Hwy: \_\_\_\_\_

10) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:  
Electric:  Empire Electric  Other: \_\_\_\_\_  
Telephone:  CenturyLink  Qwest  Farmers  Other: \_\_\_\_\_  
Gas Source:  Atmos Energy  Propane  Other: \_\_\_\_\_

11) Covenants Attached:  Yes  No  
 Draft  Final Pages \_\_\_\_\_  
*Recording Fee: \$13.00 for the first page and \$5.00 each additional page*

12) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:  
 Yes, requires a Comprehensive Wildfire Mitigation Plan:  Attached  In Process  
Fire Mitigation Plan Prepared by: \_\_\_\_\_  
 Wildfire Adapted Partnership recommends a waiver from a comprehensive wildfire mitigation plan due to being in low risk area and lack of vegetation. While the property does not need a formal wildfire mitigation plan, it does not mean it is free from fire risk, mitigation efforts are always recommended. Wildfire Adapted Partnership offers free Home Wildfire Risk Site Visits. Contact WAP at 970-385-8909 or info@wildfireadapted.org if the property owner would like to schedule a wildfire risk assessment. Samantha is the Montezuma County coordinator and will walk around the

property with the owner and discuss what steps can make to be better prepared for wildfire. The property owner will receive a write up of everything they need to know to take the next steps in your wildfire preparedness journey as well as important materials to help guide them in their efforts. In many cases grant funding is available to help offset the costs of the mitigation projects. These visits generally take 60-90 minutes

---

Submittal of Affidavit with directional photos  Attached  In Process

13) Weed Control Plan: Attached In Process: Prepared by: \_\_\_\_\_

14) Geologic Investigation: Required Not Required  
If required: Attached In Process  
Prepared by: \_\_\_\_\_

*Required for all Moderate and Major Developments only.*

15) Storm Water Permit Required: Yes No Not Applicable  
*Required for Developments that disturb at least 1 acre of top soil in the process of developing.*

16) Irrigation shares on proposed development: Yes No  
Irrigation Company which serves development: \_\_\_\_\_  
Total Shares: \_\_\_\_\_

17) Is the property located in an area Identified in the FEMA Floodplain Map?  
Yes No Not Applicable

18) Municipal Review: Cortez Dolores Mancos Not Applicable

19) Waiver or Modification of certain Threshold Standards or other applicable standards:  
Attached Not Applicable

Standards within Waiver: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

20) In accordance with CRS 31-23-215, all mineral rights owners and lessees of mineral owners should be notified regarding proposed subdivision of property. The following information can be obtained from the Assessor's Office.

**NAMES AND CURRENT ADDRESS OF MINERAL RIGHTS OWNERS:**

Name \_\_\_\_\_ There are no mineral rights owners for this property \_\_\_\_\_

Address \_\_\_\_\_

21) Other: Threshold Standards apply, but may be exceeded based on an approved PUD that mitigates significant adverse impacts. The minimum 30-foot setback from all property lines and 3-acre minimum lot size will be exceeded.

---

22) Brief description of any planned or future development, including any application(s) being reviewed consecutively with the zoning request.

No further development is planned.

**ROHIBITION ON LEGAL ADVICE** Staff members cannot give legal advice. This prohibition includes assisting or advising with documents to file or record, completing the documents, or assessing the legality or "correctness of a document(s)." If this type of assistance is required, contact your attorney or legal advisor. C.R.S. 12-5-101

The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

Kenneth R. Hinton

Applicant

Date: 8-4-2023

Richard E. Binn

Applicant

Date: 8-4-2023

COUNTY USE ONLY

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Planning Director Review: On Haly Date: 8/9/23



### SPECIAL USE PERMIT APPLICATION

*Conditions and safeguards may be imposed by the County Commissioners*

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of the review process for a proposed zoning request. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code, Amended 11/17/2020, Resolution No.21-2020.

Please initial here that you have a current copy of the Montezuma County Land Use Code or can access a copy online at [www.co.montezuma.co.us](http://www.co.montezuma.co.us); Click on Departments; Click on Planning; and Click on Montezuma Land Use Code RO.

1) Applicant Name(s)/Owner: Kenneth Hinton  
Address 7351 Road 24.3, Cortez, CO 81321  
Telephone Number (970)769-7593 Alternate Number: (970)565-9800  
EMAIL \_\_\_\_\_

2) Agent(s) Richard O'Brien Phone No. 970-769-7593  
EMAIL swrw1@outlook.com  
*(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)*

3) Proposed Development: Current Zoning: AR ES Requested Zoning: COMZ  
Number of Lots: 2 Total Acres: 3+/-

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Parcel I.D. Number: 563703302001

Physical Address of Property: 7351 Road 24.3, Cortez, CO

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4) Brief description of the proposed development: The applicant proposes to divide Lot #31 of the Blue Door Subdivision into two 1.5-acre parcels in order for the agent, Richard O'Brien to purchase the business that he has worked, for nearly 40 years. Each proposed parcel will continue the current activity.

Number of Lots: 2 Total Acres: 3+/-

5) Applicant shall submit sufficient copies of a pre-sketch plan which shows the general location of the development in sufficient detail to evaluate the relationship between the development and the physical features of the land and abutting lands. See Chapter 5: Section 3:5302:

Pre-sketch Plan Checklist:

- Location of proposed development areas upon the site
- Total acreage
- Abutting land uses, zoning designations, abutting land owners names & addresses
- Existing roads, streets and highways
- Major physical features including structures, buildings, boundary fencing irrigation ditches and pipelines, utilities, topography, drainage, wetlands, noxious weed infestations and location of natural hazards.

- 6) Septic:  Existing Infrastructure  Yes  No Permit No. \_\_\_\_\_  
Septic Permit Information Attached:  Yes  Permit  Other: \_\_\_\_\_  
 No  
 In Process

Property has Septic Permit #843 in existence and is shared with the Repair Shop. Once Mr. O'Brien purchases the property, a new septic system will be installed. The existing tank and leach pond will be on the other property. The buyer knows where the lines run and they are about 2ft deep. They have talked to Darrell Buffington and said there should be no problem with it and he also talked to the health department and asked them about it also.

*Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.*

- 7) Rural Water:  Existing Infrastructure  yes  No  
Copy of Existing Tap Certificate:  yes  No  not applicable  
Service provided by: Montezuma Water District #1

Letter attached:  yes  No Service Available for: \_\_\_\_\_

Buyer talked to Montezuma Water District #1 on 7/27/23 and was told that it would be ok to divide it and the buyer would then pay for the water tap and installation.

Montezuma Water District #1 contacted the Planning Department to indicate the Water Board determined that water can be provided.

- 8) Copy of Current Driveway/Access Permit from Montezuma County Road Department  
 Yes  No  In Process

Access Permit can service up to \_\_\_\_\_ residential uses. Date on Permit: \_\_\_\_\_

Interior Road anticipated within development:  Yes  No

Road Cut and (or) Bore Permit required  Yes  No

If so, copy of permit attached  Yes  No

Current driveway access has been in existing for nearly 40 years. No new access is being proposed. Any new driveway will be required to obtain a permit through the County Road Department.

- 9) Traffic Route Plan: N/A

- 10) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required  Yes Hwy: \_\_\_\_\_ No

- 11) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:

Electric:  Empire Electric  Other: \_\_\_\_\_

Telephone:  CentryLink  Qwest  Farmers  Other: \_\_\_\_\_

Gas Source:  Atmos Energy  Propane  Other: \_\_\_\_\_

Electrical and natural gas are already paid for by Richard O'Brien at Southwest Repair and Welding. Should be no issue with this transfer

- 12) Irrigation Water:  Yes  No

- 13) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:
- Yes, requires a Comprehensive Wildfire Mitigation Plan:  Attached  In Process
- Wildfire Adapted Partnership recommends a waiver from a comprehensive wildfire mitigation plan due to being in low risk area and lack of vegetation. While the property does not need a formal wildfire mitigation plan, it does not mean it is free from fire risk, mitigation efforts are always recommended. Wildfire Adapted Partnership offers free Home Wildfire Risk Site Visits. Contact WAP at 970-385-8909 or info@wildfireadapted.org if the property owner would like to schedule a wildfire risk assessment. Samantha is the Montezuma County coordinator and will walk around the property with the owner and discuss what steps can make to be better prepared for wildfire. The property owner will receive a write up of everything they need to know to take the next steps in your wildfire preparedness journey as well as important materials to help guide them in their efforts. In many cases grant funding is available to help offset the costs of the mitigation projects. These visits generally take 60-90 minutes
- Attached  In Process
- 14) Weed Plan:  Attached  In Process;
- County Noxious Weed Manager recommends a waiver to a comprehensive weed plan, however the property owners are still responsible for noxious weed management.
- 15) Professional Review Fee collected:  Yes  No
- 16) A list of all Local, State, and Federal Permits required: \_\_\_\_\_
- N/A
- \_\_\_\_\_
- \_\_\_\_\_
- 17) Municipal Review:  Cortez  Dolores  Mancos  Not Applicable
- \_\_\_\_\_
- \_\_\_\_\_
- 18) Other: Threshold Standards apply, but may be exceeded based on an approved PUD that mitigates significant adverse impacts. The minimum 30-foot setback from all property lines and 3-acre minimum lot size will be exceeded.
- 19) A brief description of any/all planned or future development(s) that require a successive High Impact Approval for the Proposed Development:
- No future development is planned.
- \_\_\_\_\_
- 20) A Special Use Permit is a use that is deemed to need further review and the approval of the County Commissioners. A management plan, that addresses all aspects of the day-to-day operation(s), is required as part of the application.
- (Check Mark Items that are addressed within the Management Plan and made a part of the Application)*
- Conditions and safeguards may be imposed by the County Commissioners to ensure that the use:
- Complies with the requirements of Chapter 2 of the Land Use Code and Hudspeth v. Board of County Commissioners of the County of Routt, 667 P.2d 775 (Colo.App.1983); including the following conditions
  - Such use does not create any danger to safety in surrounding areas
  - Such use does not cause water pollution

- Such use does not create excessive noise, vibration, smoke, dust, odors, heat glare and snow storage problems
- Such use does not aggravate an existing wildfire hazard or create a wildfire hazard to structures on adjacent property
- Such use does not aggravate an existing flood hazard or increase flood hazard to upstream or downstream properties
- Such use does not create or increase geologic hazard or subject adjacent properties to geologic hazard.

21) Proposed project is described as being a special use that includes any or all of the following:

- Temporary or Interim in use
- Created by Nature
- Permitted by Law or Regulation
- Has a potentially greater impact than Uses by Right
- Is of Unusual Circumstances

22) Dates of activities and services for which a temporary or interim project is being proposed:     N/A    

\_\_\_\_\_

\_\_\_\_\_

Note: Upon approval, a Special Use Permit is subject to reviews, as determined by the Board of County Commissioners, to ensure compliance with the criteria stated above and any additional condition(s) of approval. The duration of time permitted for a Special Use Permit may be established by the County Commissioners or until the use is changed or terminated, whichever occurs first.

ROHIBITION ON LEGAL ADVICE Staff members cannot give legal advice. This prohibition includes assisting or advising with documents to file or record, completing the documents, or assessing the legality or "correctness of a document(s)." If this type of assistance is required, contact your attorney or legal advisor. C.R.S. 12-5-101

The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

Kenneth R. Hinton

Applicant

Date: 8-4-2023

Richard E. Binn

Applicant

Date: 8-4-2023

COUNTY USE ONLY

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Planning Director Review: On Haly Date: 8/9/23

ATTACHMENT TO THE HIGH IMPACT PERMIT APPLICATION THRESHOLD STANDARDS SUMMARY				8/10/2023
Hinton-O'Brien PUD				
NO.	STANDARD	THRESHOLD	APPLICANTS RESPONSE	PLANNING DEPARTMENT NOTES
1	Minimum lot size	<ul style="list-style-type: none"> <li>◆ 3 acres</li> <li>◆ 10 acres within the Dolores River Valley</li> </ul>	Split into 2 1.5-acre parcels	The subject property is 3 acres & is Lot #31 of the Blue Door Major Subdivision that consists of mixed uses: A/R, COMZ, INDHZ, INDLZ
2	Maximum Building Height	<ul style="list-style-type: none"> <li>◆ 35 feet</li> </ul>	Existing	The existing buildings are within this threshold standard. No new buildings are proposed.
3	Maximum Building Footprint	<ul style="list-style-type: none"> <li>◆ Maximum building footprint overall shall not exceed 12% of the lot size.</li> <li>◆ Building footprint does not apply to Commercial or Industrial zoned parcels immediately adjacent to a state or federal highway with an approved CDOT access permit and in accordance with <b>5101.5</b> of the Montezuma County Land Use Code.</li> </ul>	Existing	The existing buildings are within this threshold standard. No new buildings are proposed.
4	Building setbacks	<ul style="list-style-type: none"> <li>◆ Primary Residence: See <b>5101.3 (A) (1-3)</b> of the Montezuma County Land Use Code. 30' from County Road and State Hwy. R.O.W. 30' from lot lines or interior use roads</li> <li>◆ Commercial/Industrial use: See <b>5101.6 (C)</b> 30' from County road and State Hwy. Rights-of-way 50' from residential lot lines and 25' from non-residential lot lines</li> <li>• Within the Dolores River Valley: All new commercial and residential construction, including I.S.D.S., set back 100' from existing streambank</li> </ul>	30-foot setback for the lean-to on northwest side of the new property line, existing structure of more than 30 years.	There is the possibility of setbacks exceeding the threshold standards, however the property owner is in the process of removing some structures in order to sell the other half of the property.
5	New Construction and Remodeling for Commercial, Industrial, Public Buildings	<ul style="list-style-type: none"> <li>◆ All new construction and remodeling of commercial or industrial use buildings and public buildings must be built according to the Uniform Building Code, 1997 Edition.</li> </ul>	Existing buildings	No new construction is planned. All buildings have been in existence for decades.
6	Livestock Fencing	<ul style="list-style-type: none"> <li>◆ Adequate to protect from livestock encroachment. <b>5101.4</b></li> </ul>	N/A	Property is within a major subdivision approximately 1000 feet from Cortez City limits. Fencing around the property is existing
7	Protection of Normal Agriculture Operations	<ul style="list-style-type: none"> <li>◆ No significant, adverse impacts on normal agricultural operations <b>5101.4</b></li> </ul>	N/A	Property is within a major subdivision approximately 1000 feet from Cortez City

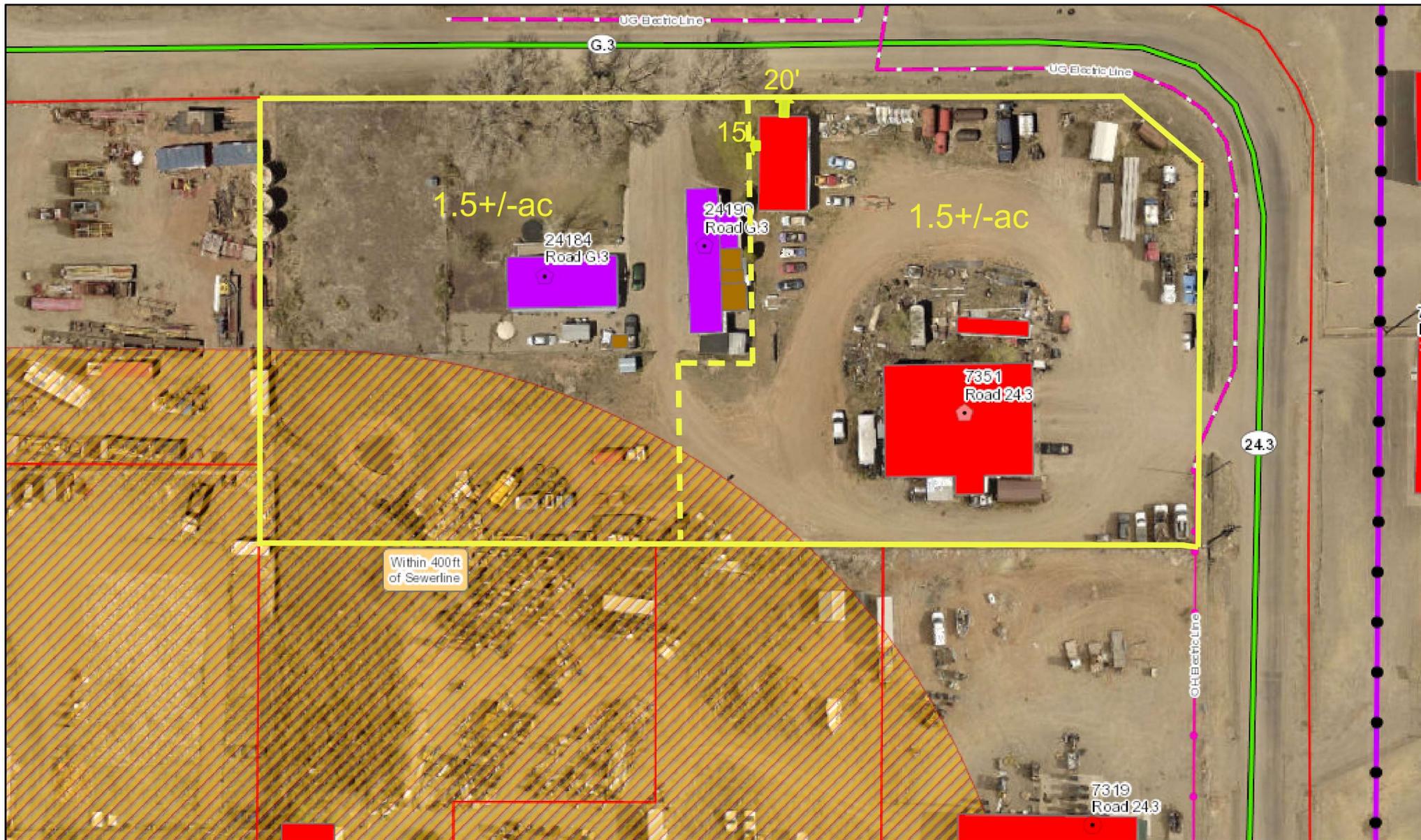
				limits. Fencing around the property is existing
8	Outdoor Storage and/or Fabrication areas	<ul style="list-style-type: none"> <li>◆ Appropriate screening may be required</li> <li>◆ Merchandise displays are exempt</li> </ul>	N/A	This property has a heavy equipment repair shop and two rental homes, one of which is in the process of being removed.
9	Roads	<ul style="list-style-type: none"> <li>◆ All interior roads built to county road standards. <b>5103.3 &amp; 5305.5</b></li> </ul>	Existing	The property has two driveway accesses that have been in existence for decades: one from Road G.3 & one from Road 24.3. No new access is being sought
10	Parking/Access/Loading Areas	<ul style="list-style-type: none"> <li>◆ Adequate for intended use such that traffic flow and circulation are not impeded. <b>5101.6</b></li> <li>◆ Approved County or CDOT highway access permit</li> </ul>	Existing	The heavy equipment repair shop has been in existence for nearly 40 years and the parking areas have not changed.
11	Traffic	<ul style="list-style-type: none"> <li>◆ Less than 15 vehicle round trips per business day</li> </ul>	Does not exceed	The property does not exceed the threshold standard. The estimation for the 2 residences; 2-3 RT/day & the repair shop: 5-8 RT/day.
12	Water	<ul style="list-style-type: none"> <li>◆ Proof of availability and adequate flow. See <b>5103.3(G) &amp; 5304(D)</b></li> </ul>	Existing	This property is serviced by Montezuma Water District #1 and the water Board agreed that water can be provided, if needed
13	Sanitary Sewer Disposal	<ul style="list-style-type: none"> <li>◆ Compliance with <b>5101.7; 5103.3(F); and 5304(E)</b></li> </ul>	Existing	Property has Septic Permit #843 in existence and is shared with the Repair Shop. Once Mr. O'Brien purchases the property, a new septic system will be installed. The existing tank and leach pond will be on the other property. The buyer knows where the lines run and they are about 2ft deep. They have talked to Darrell Buffington and said there should be no problem with it and he also talked to the health dept and asked them about it also.
14	Stormwater Control and Site Drainage	<ul style="list-style-type: none"> <li>◆ No adverse impacts on any county road, state highway or adjacent land use. See <b>5103.3(H)</b></li> </ul>	Existing	This property is not located in an area of stormwater drainage. It appears the applicants have this under control.
15	Solid Waste -garbage, refuse, sludge and other discarded material	<ul style="list-style-type: none"> <li>◆ Proof of disposal service</li> <li>◆ No materials transferred off-site by natural forces</li> <li>◆ No on-site burning <b>except</b> for flammable</li> </ul>	Existing	Property owner(s) have garbage disposal service from a local company.

		domestic waste or as part of an agricultural operation or weed control program		
16	Fire and Wildfire Protection	♦ Compliance with <b>5101.3(G); 5302.3(J); and 5304.3W.</b>	N/A	Wildfire Adapted Partnership recommends a waiver from a comprehensive wildfire mitigation plan due to being in low risk area and lack of vegetation. This property is within the Cortez Fire Protection District's jurisdiction.
17	Law Enforcement and Emergency Service	♦ Letter of adequacy from law enforcement and/or emergency service provider may be required	Existing	This property is within the Cortez Fire Protection District's jurisdiction, along with the Sheriff's Office & SW Memorial Hospital.
18	Floodplain	♦ Compliance with the Montezuma County Floodplain Resolution No. 1-91 and completion of a Floodplain Development Plan Permit, where applicable	N/A	This property is not located in a FEMA floodplain designated area.
19	Geologic and Natural hazards	♦ Identification and avoidance or mitigation of potential hazards. See <b>5103.2</b>	N/A	This property is not located near or within any areas of geological/natural hazards
20	Public Facilities: Camp, RV Parks, MH parks, etc.	♦ Adequate restroom: one men/women set plus one extra sink and toilet per 100 weekly peak season visitors. See <b>4106.5.A.</b>	N/A	N/A
21	Operational Electric Disturbances	♦ No detrimental effects such as radio and television interference beyond the boundaries of the site.	no radio or television interference	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
22	Fire and Explosive Hazards	♦ National Fire Protection Association standards and any other fire code or standard employed by the appropriate fire district apply.	Comply with regulations	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
23	Glare and Heat	♦ Must be contained, enclosed or treated to make glare and heat imperceptible from any point on the boundary line.	no glare or heat sources have been identified to be perceptible from any boundary line	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
24	Lighting	♦ All direct rays confined to site and adjacent properties protected from glare.	no glare has been identified to be perceptible from any boundary line	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
25	Noise	♦ Volume as established by C.R.S. 25-12-101, et seq.	Operational hours are daytime	this complies with the County Land Use Code.

		<ul style="list-style-type: none"> <li>◆ Volume as established by COGCC Rule 802 pertaining specifically to oil &amp; gas development.</li> <li>◆ Noise from normal agricultural operations is exempt</li> </ul>	only.	If/when disturbances are reported, the property owner is required to contact the Planning Dept
26	Vibration	<ul style="list-style-type: none"> <li>◆ Not perceptible, without instruments, at any point on any boundary line</li> </ul>	Daytime hours only	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
27	Odors	<ul style="list-style-type: none"> <li>◆ No perceptible at property boundaries</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used to maintain the lowest possible emission of odors.</li> </ul>	no perceptible odors noted at any boundary line	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
28	Dust, Smoke and Particulate	<ul style="list-style-type: none"> <li>◆ Dust and Fumes: None beyond property line (Dust control of County roads at expense of Applicant)</li> <li>◆ Particulate matter: Less than 0.2 grain/cf flue gas at 500F stack temperature</li> <li>◆ Smoke: USEPA Regulations: Opacity System, Method 9.</li> <li>◆ Agriculture operations: no violation if the best practical treatment, maintenance and control available is being used.</li> </ul>	no dust or smoke noted at any boundary line based on activities	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
29	Radioactivity	<ul style="list-style-type: none"> <li>◆ Subject to State and Federal Regulations</li> </ul>	no radioactivity identified on property.	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
30	Water Pollution	<ul style="list-style-type: none"> <li>◆ Subject to State and Federal Regulations</li> </ul>	no dumping or interference with water sources identified on property	this complies with the County Land Use Code. If/when disturbances are reported, the property owner is required to contact the Planning Dept
31	Noxious Weeds	<ul style="list-style-type: none"> <li>◆ Compliance with State (35-5.5-101 et seq. C.R.S. as amended) and Montezuma County Comprehensive Weed Management Plan Resolution No. 3-2014, as amended.</li> </ul>	No weeds	County Noxious Weed Manager recommends a waiver to a comprehensive weed plan, however the property owners are still responsible for noxious weed management.
32	Other Significant Adverse Impacts	<ul style="list-style-type: none"> <li>◆ Pertaining to the Health, Safety and welfare of the Citizens of Montezuma County</li> </ul>	No impacts	there is nothing proposed that will challenge the health, safety, and welfare of Montezuma County citizens

33	Local, State, & Federal Required Permits	♦ Per <b>2202.4(F)</b>	no additional required permits are anticipated at this time	this complies with the County Land Use Code.
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# Montezuma Planning Map



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Public Lands & BIA Land

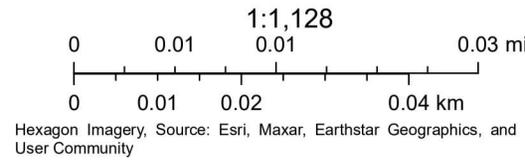
- BIA
- BLM

- CANM
- CO State

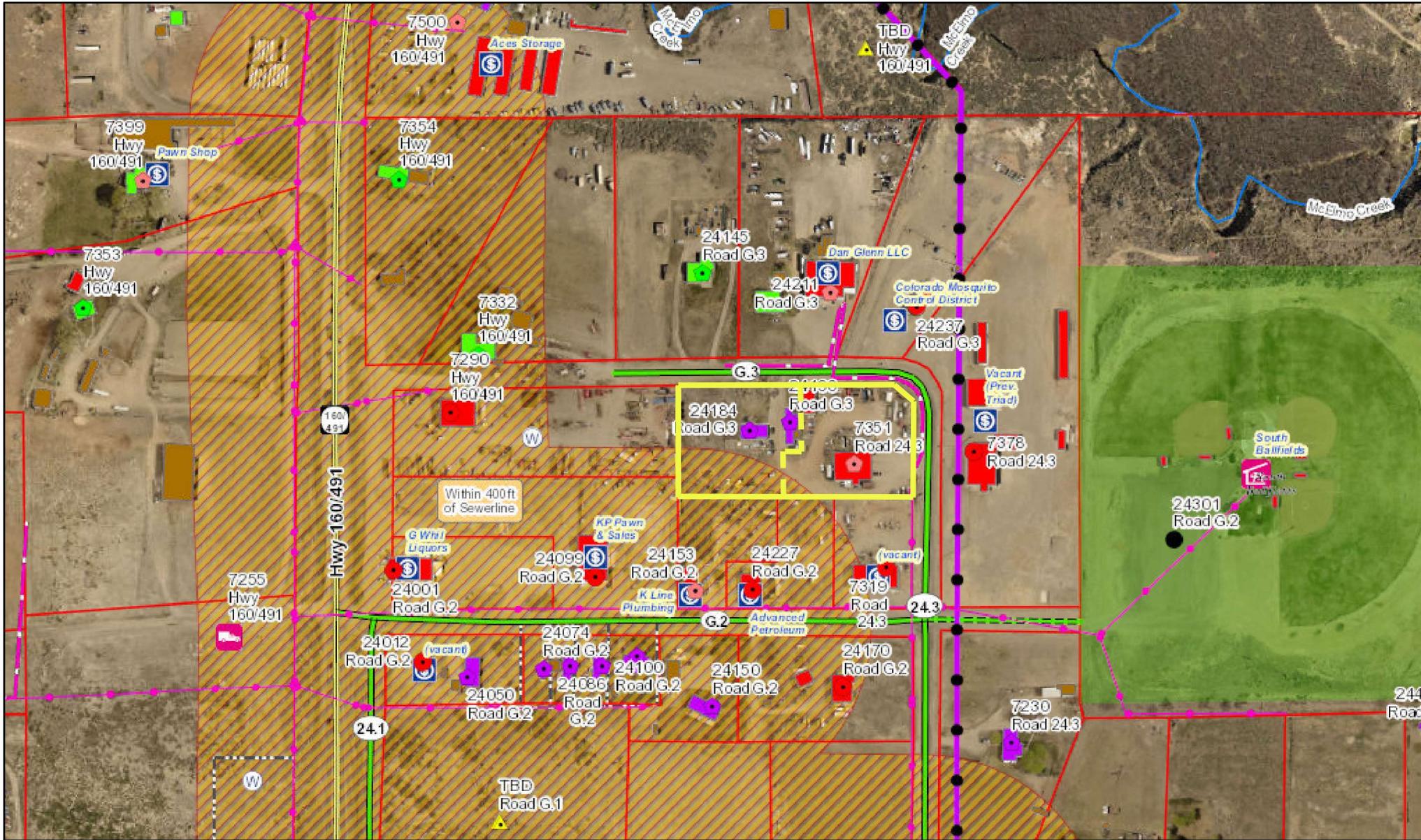
- NPS
- Other (USBR)
- City Limits
- Cortez Sanitation w/i 400ft

- County Boundary

- Non-Active Mines
- Active Permitted Mines

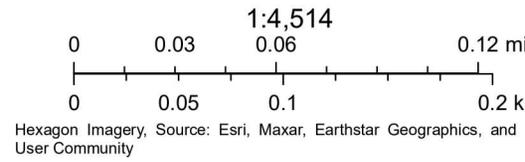


# Montezuma Planning Map

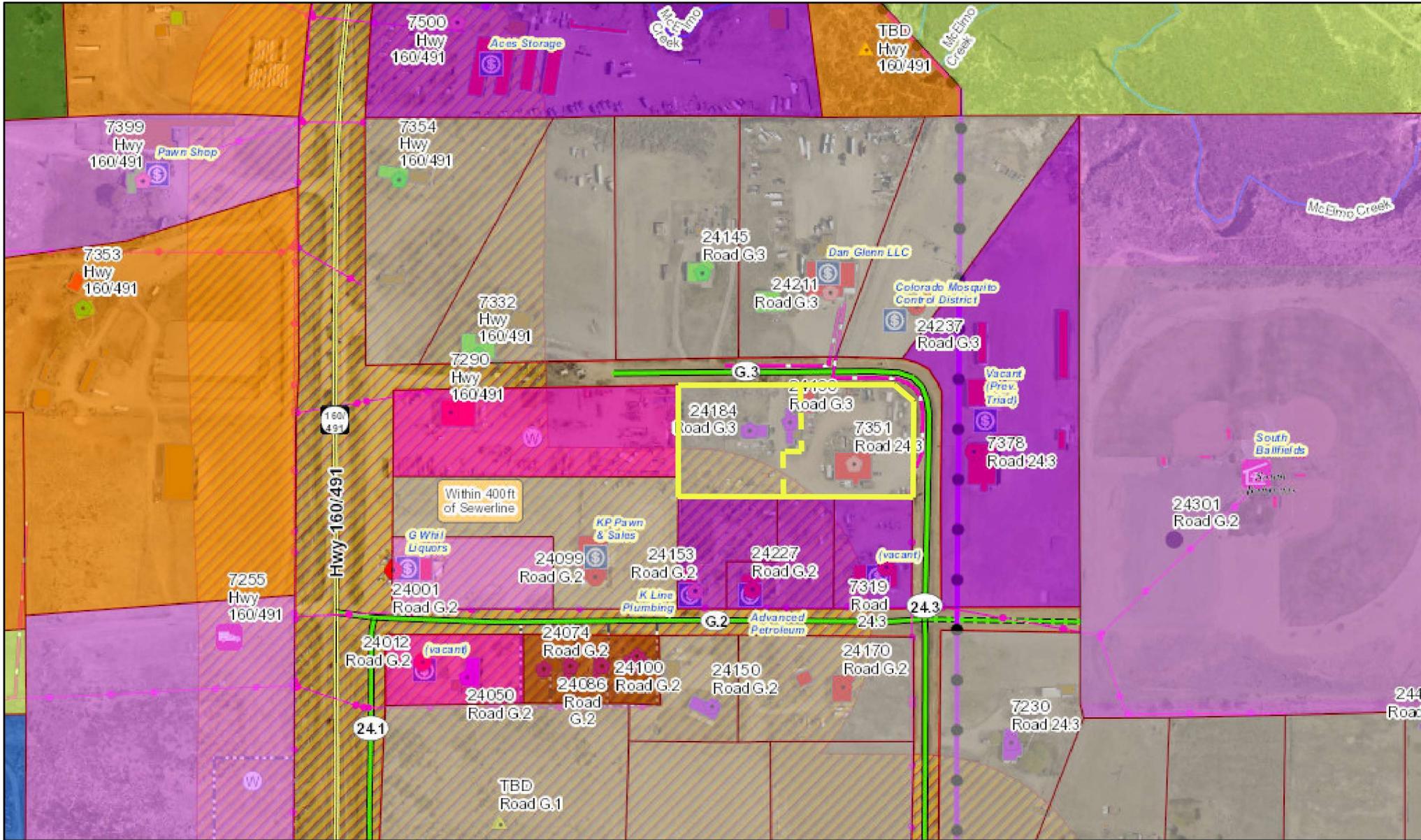


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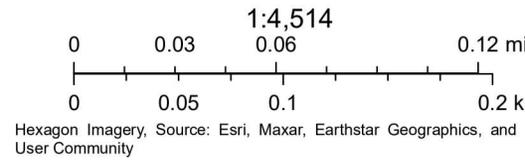
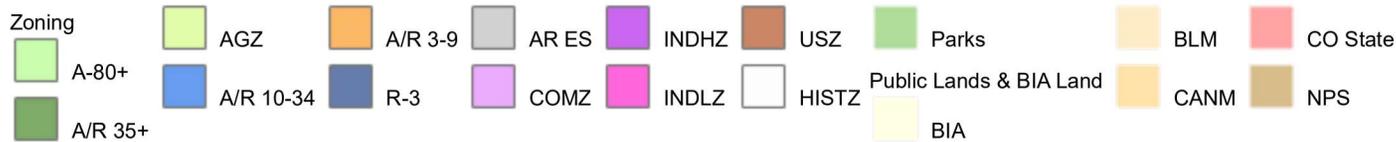
- |                         |      |          |              |                 |                             |
|-------------------------|------|----------|--------------|-----------------|-----------------------------|
| Parks                   | BLM  | CO State | USFS         | City Limits     | Cortez Sanitation w/i 400ft |
| Public Lands & BIA Land | CANM | NPS      | Other (USBR) | County Boundary | Non-Active Mines            |
| BIA                     |      |          |              |                 |                             |

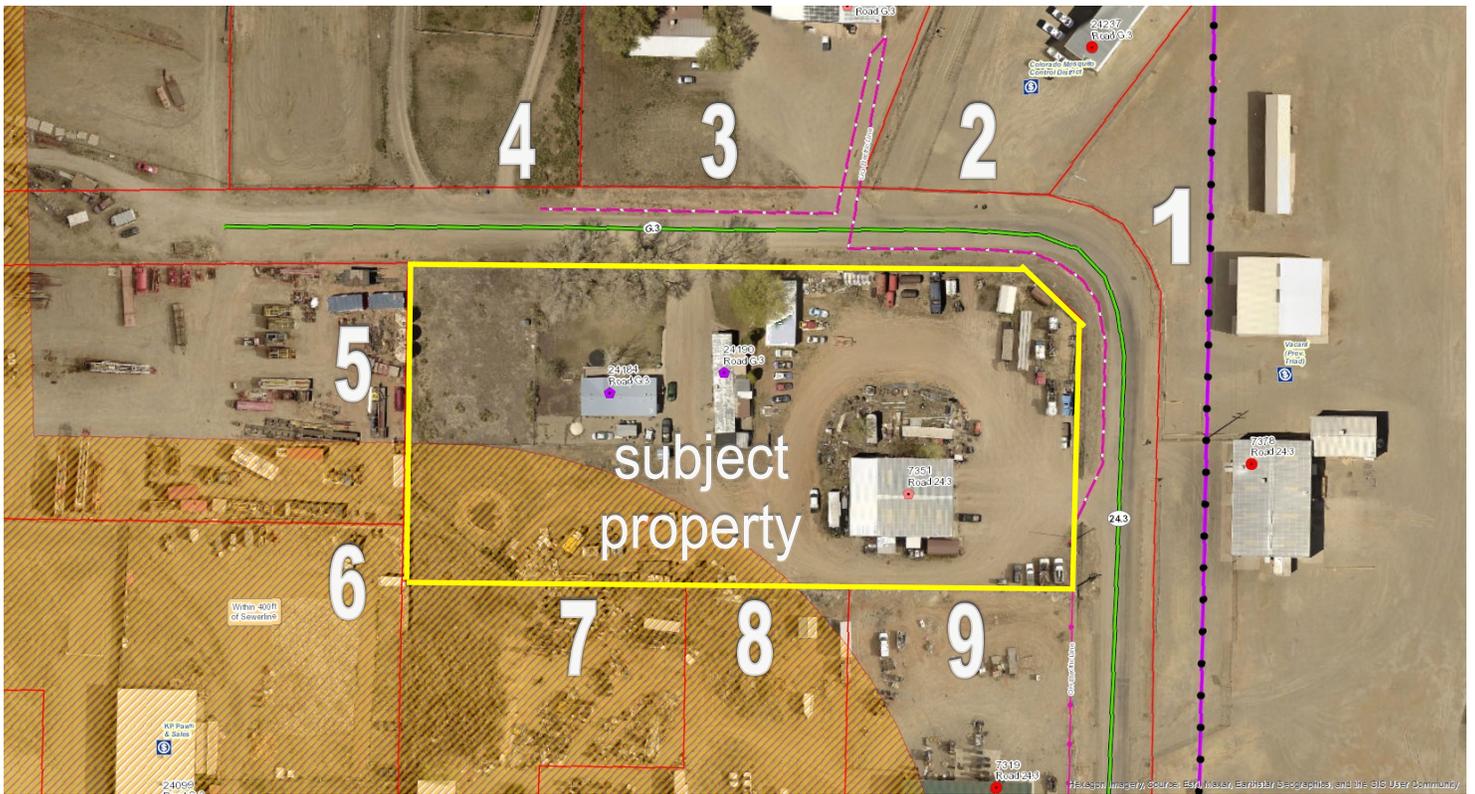


# Montezuma Planning Map



7/27/2023, 4:18:46 PM





	Property Owner	Mailing Address	Physical Address	Zone	Acres
1	ICU Holdings, LLC	13267 Road 22, Cortez, CO 81321	7378 Road 24.3, Cortez, CO 81321	INDHZ	6.56+/-
2	Montezuma County Mosquito Control District	24235 Road G.3, Cortez, CO 81321	24237 Road G.3, Cortez, CO 81321	AR ES	3.68+/-
3	Danny & Janet Glenn	11997 Road 24.4, Cortez, CO 81321	24211 Road G.3, Cortez, CO 81321	AR ES	3.43+/-
4	Sue Miller	24145 Road G.3, Cortez, CO 81321	24145 Road G.3, Cortez, CO 81321	AR ES	3.33+/-
5	4 Corners Well Service, Inc	6107 S. Lakeview St, Littleton, CO 80120	7290 Hwy 160-491, Cortez, CO 81321	INDLZ	3+/-
6	KP Venture Properties, LLC	P O Box 166, Bayfield, CO 81122	24099 Road G.2, Cortez, CO 81321	AR ES	3+/-
7	Brian & Kathy Lyons	26543 Road P, Dolores, CO 81323	24153 Road G.2, Cortez, CO 81321	INDHZ	1+/-
8	Brian & Kathy Lyons	26543 Road P, Dolores, CO 81323	TBD Road G.2, Cortez, CO 81321	INDHZ	1+/-
9	Brian & Kathy Lyons	26543 Road P, Dolores, CO 81323	7319 Road 24.3, Cortez, CO 81321	INDHZ	1+/-



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

September 05, 2023

Agenda Item: 7. b.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: Montezuma County Planning & Zoning Commission received a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent: Ernie Maness, on property located at 26960 Road N, Cortez, CO, consisting of 13 acres, more or less, located south of Road N, west of Hwy 145, situated in Section 12, T.36N, R.16W, N.M.P.M.

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**BACKGROUND**

Montezuma County Planning & Zoning Commission received a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent Ernie Maness for property located at 26960 Road N.

**ISSUES**

Unknown

**RECOMMENDATION**

Staff recommends that the Commission state any concerns and requests comments be forwarded to the County if so desired.

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**Attachments**

Staff Report  
Documentation



*City of Cortez  
Community & Economic  
Dev.  
123 Roger Smith Avenue  
Cortez, CO 81321*

Meeting Date: September 5, 2023

## **MEMO**

**TO:** Members of the Cortez Planning and Zoning Commission

**FROM:** Nancy Dosedall, Contract City Planner

**SUBJECT:** County Development- a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent: Ernie Maness, on property located at 26960 Road N, Cortez, CO, consisting of 13 acres, more or less, located south of Road N, west of Hwy 145, situated in Section 12, T.36N, R.16W, N.M.P.M

**ATTACHMENTS:** County Application Packet Request for a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent: Ernie Maness, on property located at 26960 Road N, Cortez, CO, consisting of 13 acres, more or less, located south of Road N, west of Hwy 145, situated in Section 12, T.36N, R.16W, N.M.P.M

## **BACKGROUND**

The Applicant proposes to create a 4 Lot Moderate Subdivision consisting of 3+ acre parcels

The property is located within the 3-Mile Road Master Plan area along County Road N. County Road N is designated as a Collector.

The Montezuma County Planning and Zoning Commission will hold a public hearing for this permit on April 14, 2022.

## **RECOMMENDATION**

Staff recommends that the Commission state any concerns and request comments be forwarded to the County if so desired.



**Montezuma County Planning & Zoning  
Commission**

109 West Main, Room 270  
Cortez, CO 81321  
(970) 565-2801  
(970) 565-3420 Fax

**MONTEZUMA COUNTY PLANNING & ZONING COMMISSION  
PUBLIC NOTICE**

Notice is hereby given that the Montezuma County Planning & Zoning Commission will hold a Public Hearing for the purpose of reviewing and determining recommendations to be made to the Board of County Commissioners regarding a 4 Lot Moderate Subdivision and Rezoning Application submitted by Triple S Farms, LLC; agent: Ernie Maness, on property located at 26960 Road N, Cortez, CO, consisting of 13 acres, more or less, located south of Road N, west of Hwy 145, situated in Section 12, T.36N, R.16W, N.M.P.M. The hearing will be held Thursday, September 14, 2023 at 6:00 pm, Commissioner's Hearing Room, Montezuma County Administrative Offices, 109 W. Main, Cortez, CO. Interested persons may attend and give input. Information may be obtained from the Planning Office on-line service at <https://co-montezuma-co.smartgovcommunity.com/Public/Home>; you may also contact the Planning Dept. at (970) 565-2801 with questions.

Dated this 14<sup>th</sup> day of August, 2023

/s/ Kim Percell, Clerk,  
Board of County Commissioners  
Montezuma County, CO

Published in the Journal on Wednesday, August 30, 2023



Application Date: 8/8/2023

Date of Planning Commission Meeting: 9/14/2023

(All dates are subject to proper completion of submittals in preparation for the public hearing process.)

**MONTEZUMA COUNTY SUBDIVISION  
AND RE-ZONING APPLICATION**

This application is intended to give pertinent information to the Planning Department of Montezuma County for the purpose of determining the review procedure for a proposed zoning request. Nothing in this application is intended to abrogate any policy, design guideline, or standard as set forth in the Montezuma County Land Use Code, Amended November 17, 2020, Resolution No. 21-2020.

An applicant may pick up a hard copy of the Montezuma County Land Use Code for \$10.00 in office or go online for a free copy. We encourage all applicants to get a copy of the Land Use Code.

- 1) Applicant Name(s): Triple S Farms, LLC  
Mailing Address: 50 Henry St, Cortez, CO 81321  
Telephone Number: 970)565-1919 Alternate Number: 970-560-0475  
Email Address: \_\_\_\_\_
  
- 2) Agent(s): Ernest Maness Phone No: 970-565-8845  
Email ernestmanes@outlook.com  
*(If the applicant is not the owner then evidence that the owner is aware of and consents to the filing of this application must be provided in writing before the application will be accepted.)*
  
- 3) Proposed Development: Current Zoning: A80+ Requested Zoning: AR3-9  
Number of Lots Proposed: 4 Total Acres: 13+/-  
A brief description of proposed land use: The applicant proposes to create a 4 Lot Moderate Subdivision consisting of 3+ acre parcels.  
Parcel I.D. Number: 561112100005  
Physical Address of Property: 26960 Road N, Cortez, CO  
Legal Description of Property: Section 12 Township 36N Range 16W, N.M.P.M.
  
- 4) Brief description of the adjacent land uses: surrounding properties consist of residential and small and large agricultural uses.  
Number of Lots: 4 Average Acreage per Lot: 3.2+/- Total Acres: 13+/-
  
- 5) Applicant shall submit sufficient copies of a pre-sketch plan which shows the general location of the development in sufficient detail to evaluate the relationship between the development and the physical features of the land and abutting lands. See Chapter 5: Section 3: 5302.  
Pre-Sketch Plan Checklist:

- Location of proposed development areas upon the site
- Total acreage
- Abutting land uses, zoning designations, abutting land owners names and addresses
- Existing roads, streets and highways
- Major physical features including structures, buildings, boundary fencing irrigation ditches and pipelines, utilities, topography, drainage, wetlands, noxious weed infestations and location of natural hazards.

- 6) Septic: Existing Infrastructure  yes  No  
 Septic Permit Information Attached:  yes  Permit  
 No  In Process

Other: Any new septic system will be required to be designed by a licensed engineer and permitted through the County Public Health Department.

*Copies of permits for existing systems are required. Installation of new systems will require permitting through the Sanitation Department. An Engineer will determine the type of septic system.*

- 7) Rural Water: Existing Infrastructure  yes  No  
 Copy of Existing Tap Certificate:  yes  No  not applicable

Service provided by: Montezuma Water Company

Letter attached:  yes  No

Service Available for     Additional residential use(s)

Montezuma Water Company has a 2" mainline on the north side of Rd N and a 3" mainline on the east side of Hwy 145 and has water available for 5 additional residential or small commercial service.

- 8) Copy of Current Driveway/Access Permit from Montezuma County Road Department  
 Yes  No  In Process

Access Permit can service up to     residential uses. Date on Permit:    

Interior Road anticipated within development:  Yes  No

A driveway permit for the new parcels will be required to be obtained by the County Road Department, as the parcel will be accessed off of green-signed Road N.

- 9) CDOT Access/Permit: Any development that will require a direct access off any highway shall require permitting through CDOT. Required  Yes Hwy:     No

- 10) Contact utility companies for information regarding any/all easements, contracts or fees for providing service to the development:

Electric:  Empire Electric  Other:    

Telephone:  CenturyTel  CentryLink  Farmers  Other:    

Gas Source:  Atmos Energy  Propane  Other:

11) Irrigation Water:  Yes  No

Provided by : Montezuma Valley Irrigation Company. The shares will be made available for purchase or lease.

12) Covenants Attached:  Yes  No

Draft  Final Pages \_\_\_\_\_

Covenants will be created including an HOA defining maintenance of common easements. The Applicants will be required to construct covenants for this subdivision. Additions to the County Land Use Code minimum covenants may be done by the Applicants, but subtractions cannot be made

*Recording Fee: \$13.00 for the first page and \$5.00 each additional page*

13) Fire Mitigation Plan: Is the property located in an area identified on the A or B Community at Risk Map, or other areas that fall outside of the A or B Zone that have native vegetative cover deemed to be a wildfire risk:

Yes, requires a Comprehensive Wildfire Mitigation Plan:

Attached  In Process

Wildfire Adapted Partnership recommends a waiver due to the cleared agricultural nature of this parcel. Property owner will still be responsible for maintaining defensible spaces. Cortez Fire District requests that access to these lots be all-season, all-weather driveways. Driveways will need to be 16'-0" in width, overhead clearance 13'-6". If a driveway is greater than 150 feet in length an adequate turn around area for fire apparatus must be present. An acceptable turn around for these lots would be a hammerhead turnaround.

Submittal of Affidavit with directional photos  Attached  In Process

14) Weed Plan:  Attached  In Process

County Weed Manager recommends a waiver from a comprehensive weed plan, however the property owner is still responsible for management of noxious weeds.

15) Geologic Investigation:  Required  Not Required

Prepared by: \_\_\_\_\_

Geologic Investigation required for Moderate and Major Development.

16) Storm Water Permit Required:  Yes  No  Not Applicable

*Required for Developments that disturb at least 1 acre of top soil in the process of developing.*

17) Drainage Plan Required:  Yes  No  Not Applicable

Known site characteristics: \_\_\_\_\_

Mitigation Measures to be taken: \_\_\_\_\_

18) Floodplain Development Permit:  Yes  No  Not Applicable

\_\_\_\_\_

19) Municipal Review:  Cortez  Dolores  Mancos  Not Applicable

\_\_\_\_\_

20) In accordance with CRS 31-23-215, all mineral rights owners and lessees of mineral owners should be notified regarding proposed subdivision of property. The following information can be obtained from the Assessor's Office.

**NAMES AND CURRENT ADDRESS OF MINERAL RIGHTS OWNERS:**

Name: Corporation of the Presiding Bishop of the LDS  
Address: 50 E. North Temple, Salt Lake City, UT 84150

Name: Wesley William Dunlap & Carol Lynn Dunlap Claycomb  
Address: 8113 Roma NE, Albuquerque, NM 87108

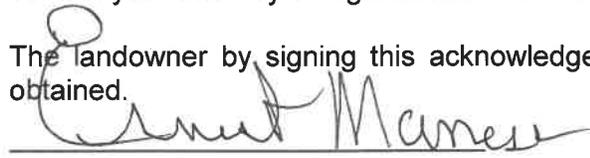
21) Other:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

22) Brief description of any planned or future development:  
Are there any other development applications that effect the proposed development:  
 Yes, see attached  No  
No further development is planned at this time.

PROHIBITION ON LEGAL ADVICE Staff members cannot give legal advice. This prohibition includes assisting or advising with documents to file or record, completing the documents, or assessing the legality or "correctness of a document(s)." If this type of assistance is required, contact your attorney or legal advisor. C.R.S. 12-5-101

The landowner by signing this acknowledges that all federal, state and local permits will be obtained.

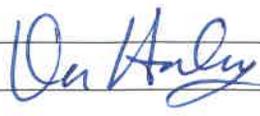


Applicant  
Date: 8-8-2023

Applicant  
Date: \_\_\_\_\_

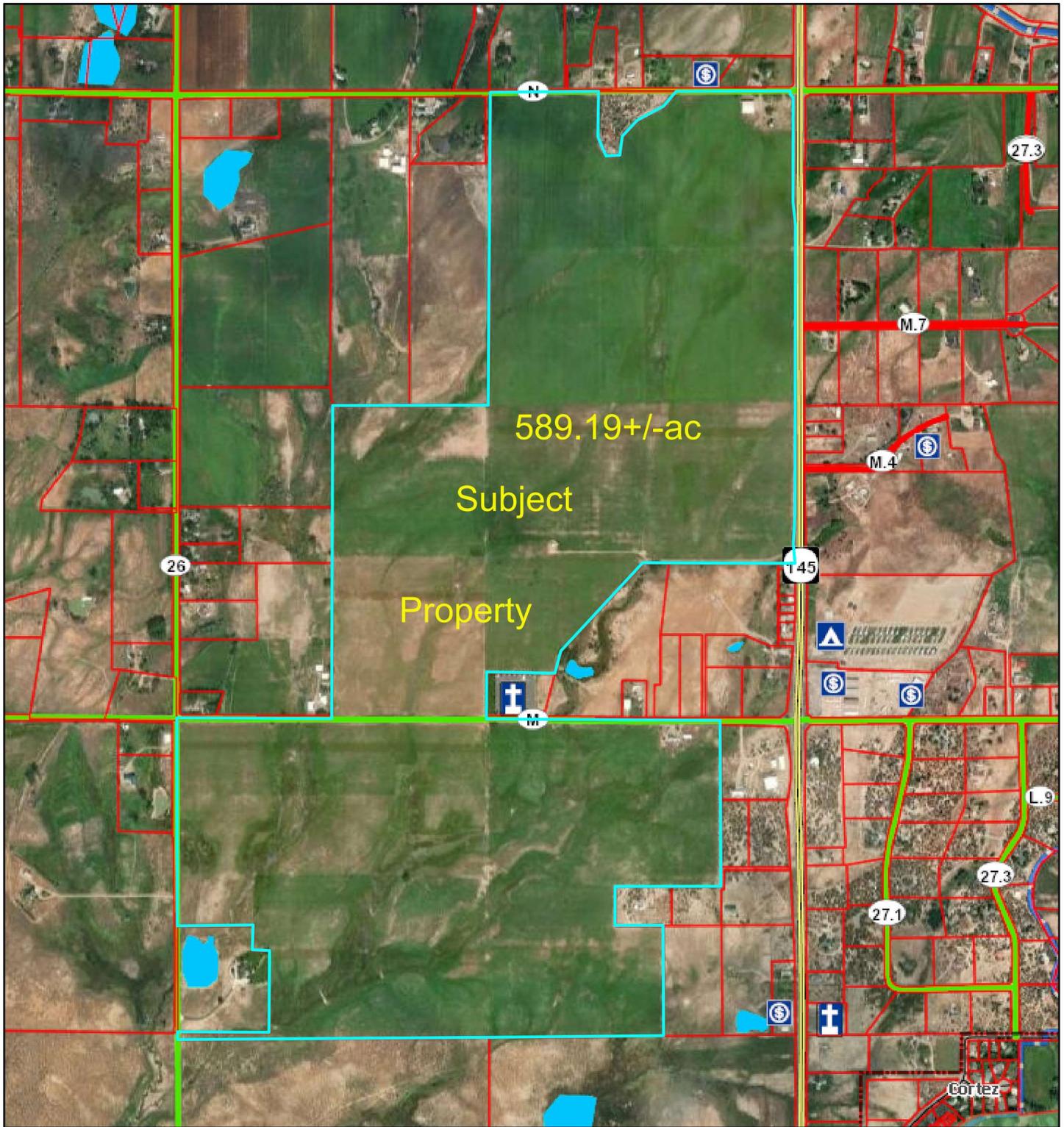
COUNTY USE ONLY

Based on the information provided herein, this Application complies with the application submittal requirements per the Montezuma County Land Use Code.

Name: \_\_\_\_\_ Title: \_\_\_\_\_  
Planning Director Review:  Date: 8/14/23



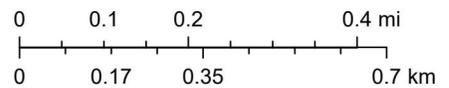
# Montezuma County Property Detail Map



3/21/2022, 1:07:43 PM

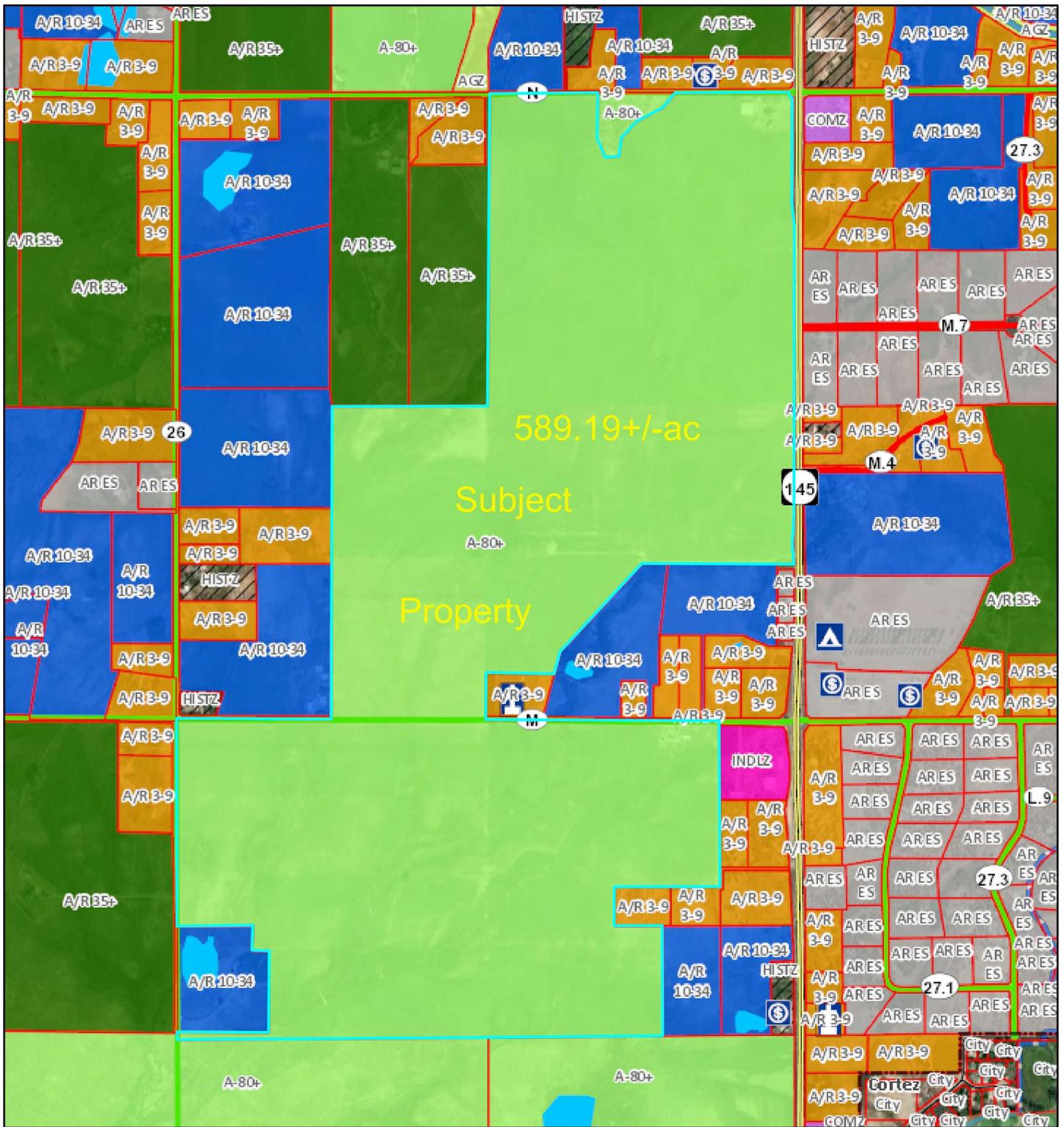
1:18,056

- |                         |                   |                  |
|-------------------------|-------------------|------------------|
| Public Lands & BIA Land | USFS              | Trails           |
| BIA                     | Irrigation Canals | Road Sign        |
| BLM                     | Rivers            | Montezuma County |
| CO State                | Water Bodies      |                  |
| NPS                     | Parks             |                  |



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

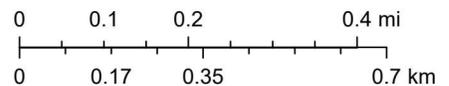
# Montezuma County Property Detail Map



3/21/2022, 1:08:29 PM

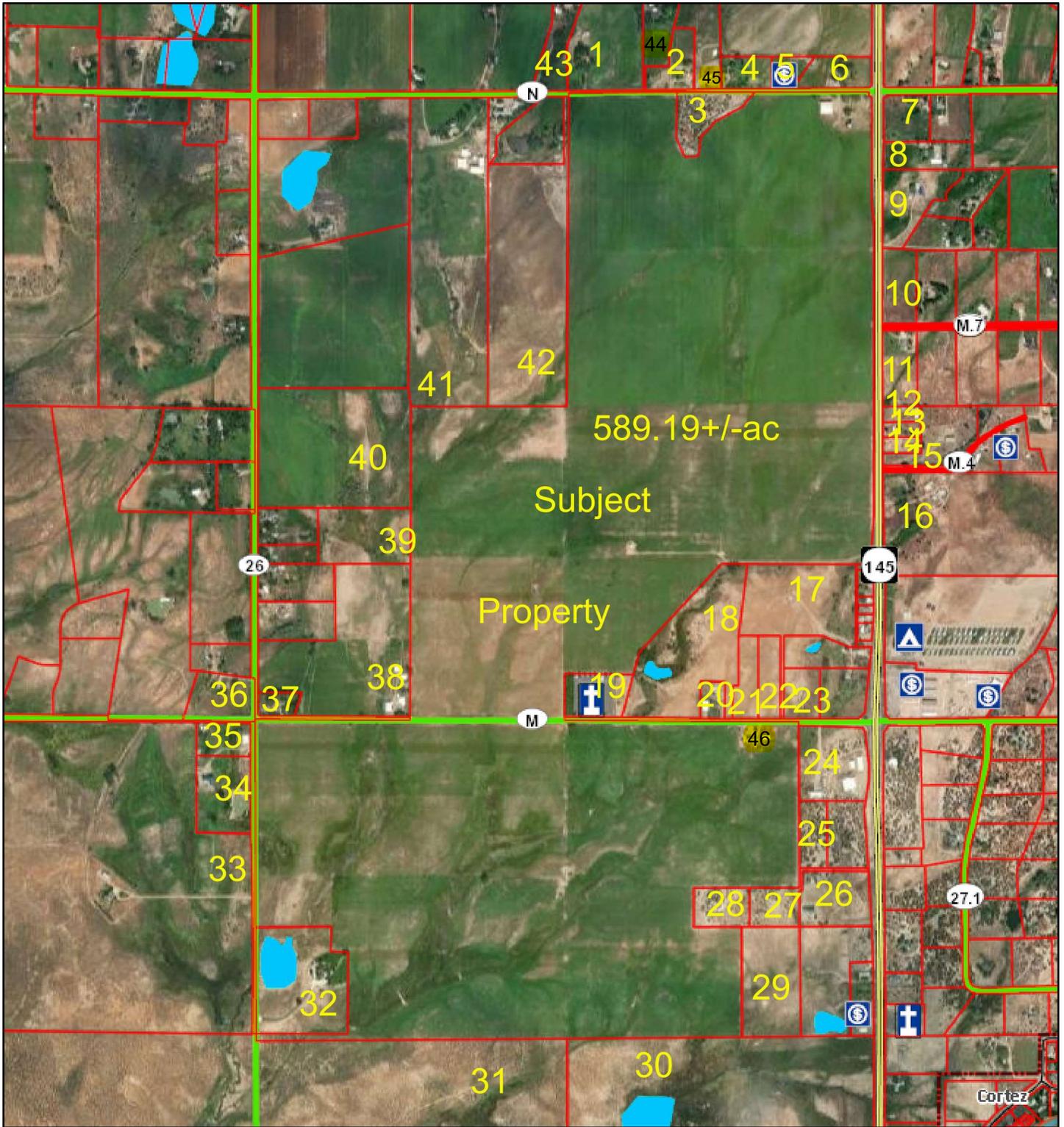
1:18,056

Zoning Designation	
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90;"></span> A-80+	<span style="display:inline-block; width:15px; height:15px; background-color:#FFD700;"></span> A/R 3-9
<span style="display:inline-block; width:15px; height:15px; background-color:#3CB371;"></span> A/R 35+	<span style="display:inline-block; width:15px; height:15px; background-color:#4169E1;"></span> R-3
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90;"></span> AGZ	<span style="display:inline-block; width:15px; height:15px; background-color:#A9A9A9;"></span> AR ES
<span style="display:inline-block; width:15px; height:15px; background-color:#4169E1;"></span> A/R 10-34	<span style="display:inline-block; width:15px; height:15px; background-color:#FF69B4;"></span> COMZ
<span style="display:inline-block; width:15px; height:15px; background-color:#FF69B4;"></span> INDLZ	<span style="display:inline-block; width:15px; height:15px; background-color:#FFD700;"></span> BIA
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<span style="display:inline-block; width:15px; height:15px; background-color:#FFD700;"></span> BLM	<span style="display:inline-block; width:15px; height:15px; background-color: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span> Public Lands & BIA Land
<span style="display:inline-block; width:15px; height:15px; background-color:#FF6347;"></span> CO State	<span style="display:inline-block; width:15px; height:15px; background-color: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span> BIA
<span style="display:inline-block; width:15px; height:15px; background-color:#A0522D;"></span> NPS	<span style="display:inline-block; width:15px; height:15px; background-color: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span> BIA
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90;"></span> USFS	<span style="display:inline-block; width:15px; height:15px; border-bottom: 1px solid blue;"></span> Irrigation Canals



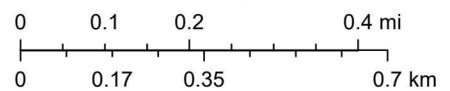
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# Montezuma County Property Detail Map



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Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

	<b>Property Owner</b>	<b>Mailing Address</b>	<b>Physical Address</b>	<b>Zone</b>	<b>Acres</b>
1	John Rutledge	26505 Road N, Cortez, CO 81321	26505 Road N, Cortez, CO 81321	AR10-34	12.65+/-
2	Kris & Debra Rantz	26667 Road N, Cortez, CO 81321	26667 Road N, Cortez, CO 81321	AR3-9	3.4+/-
3	Philip & Erin Schmitt	26812 Road N, Cortez, CO 81321	26812 Road N, Cortez, CO 81321	A80+	4+/-
4	Brenda Siracusan	26771 Road N, Cortez, CO 81321	26771 Road N, Cortez, CO 81321	AR3-9	2.7+/-
5	James Sparks, III	26885 Road N, Cortez, CO 81321	26885 Road N, Cortez, CO 81321	AR3-9	1.71+/-
6	Keith & Janice Moen	P O Box 675, Cortez, CO 81321	26965 Road N, Cortez, CO 81321	AR3-9	3.55+/-
7	Douglas Kinsey	P O Box 1224, Helen, GA 30545	27078 Road N, Dolores, CO 81323	COMZ	3.78+/-
8	Robert Hohbein	12904 Hwy 145, Dolores, CO 81323	12904 Hwy 145, Dolores, CO 81323	AR3-9	4.26+/-
9	Tommy Valdez, Jr	12860 Hwy 145, Dolores, CO 81323	12860 Hwy 145, Dolores, CO 81323	AR3-9	6.39+/-
10	Bagsby Living Trust	1791 Kaleigh Circle, Cortez, CO 81321	TBD Road M.7, Dolores, CO 81323	AR ES	1+/-
11	Adrian Stone	27050 Road M.7, Dolores, CO 81323	27050 Road M.7, Dolores, CO 81323	AR ES	1+/-
12	Dana Dial	2226 E. Empire St, Cortez, CO 81321	12502 Hwy 145, Dolores, CO 81323	AR3-9	1+/-
13	Beth Partner, c/o Kathy O'Brien	278 S. Sandstone St., Gilbert, AZ 85296	12478 Hwy 145, Dolores, CO 81323	HISTZ	1+/-
14	Sherman Kennell	12448 Hwy 145, Dolores, CO 81323	12448 Hwy 145, Dolores, CO 81323	AR3-9	1+/-
15	Jimmie Stephens	P O Box Y, Cortez, CO 81321	27047 Road M.4, Dolores, CO 81323	AR3-9	5.52+/-

	<b>Property Owner</b>	<b>Mailing Address</b>	<b>Physical Address</b>	<b>Zone</b>	<b>Acres</b>
<b>16</b>	Shelley Rullestad	P O Box 336, Cortez, CO 81321	27116 Road M.4, Dolores, CO 81323	AR3-9	4.33+/-
<b>17</b>	Jaime Campuzano	12368 Hwy 145, Dolores, CO 81323	12368 Hwy 145, Dolores, CO 81323	AR10-34	34.85+/-
<b>18</b>	Alysen Tarrant	26849 Road M, Cortez, CO 81321	26849 Road M, Cortez, CO 81321	AR10-34	14.27+/-
<b>19</b>	Richard McDonald	12107 Hwy 145, Dolores, CO 81323	TBD Road M, Cortez, CO 81321	AR10-34	19.01+/-
<b>20</b>	Corporation of the Presiding Bishop of the LDS	50 E. North Temple, Salt Lake City, UT 84150	26525 Road M, Cortez, CO 81321	AR3-9	4.51+/-
<b>21</b>	Cbert Cortez, LLC	50 Henry St, Cortez, CO 81321	26757 Road M, Cortez, CO 81321	AR3-9	1.50+/-
<b>22</b>	Richard McDonald	12107 Hwy 145, Dolores, CO 81323	TBD Road M, Cortez, CO 81321	AR3-9	3.02+/-
<b>23</b>	Alysen Tarrant	26849 Road M, Cortez, CO 81321	TBD Road M, Cortez, CO 81321	AR3-9	3.03+/-
<b>24</b>	Joseph Matthews	13080 Road 27.6 Dolores, CO 81323	TBD Road M, Cortez, CO 81321	AR3-9	3.03+/-
<b>25</b>	Williford Land, LLC	26980 Road M, Cortez, CO 81321	26980 Road M, Cortez, CO 81321	INDLZ	3+/-
<b>26</b>	Shawn Miller	P O Box 1173, Cortez, CO 81321	11765 Hwy 145, Cortez, CO 81321	AR3-9	3.10+/-
<b>27</b>	Veronica Kellams- Oldland	11741 Hwy 145, Cortez, CO 81321	11741 Hwy 145, Cortez, CO 81321	AR3-9	3.64+/-
<b>28</b>	Charles Sirman	11751 Hwy 145, Cortez, CO 81321	11751 Hwy 145, Cortez, CO 81321	AR3-9	3.63+/-
<b>29</b>	Juan Sanchez	P O Box 1077, Cortez, CO 81321	11649 Hwy 145, Cortez, CO 81321	AR10-34	10.67+/-

	<b>Property Owner</b>	<b>Mailing Address</b>	<b>Physical Address</b>	<b>Zone</b>	<b>Acres</b>
<b>30</b>	Paul & Dana Weyand	13742 Road 28, Dolores, CO 81323	TBD Hwy 145, Cortez, CO 81321	A80+	91.76+/-
<b>31</b>	Robert Millard	17090 Road 22, Cortez, CO 81321	26053 Road L, Cortez, CO 81321	A80+	321.38+/-
<b>32</b>	Keenan & Beverlee Ertel	11510 Road 26, Cortez, CO 81321	11510 Road 26, Cortez, CO 81321	AR10-34	15.57+/-
<b>33</b>	Brian & Karla Demby Trust	11799 Road 26, Cortez, CO 81321	11799 Road 26, Cortez, CO 81321	AR35+	154.07+/-
<b>34</b>	Gay & Judy Balfour Trust	11963 Road 26, Cortez, CO 81321	11963 Road 26, Cortez, CO 81321	AR3-9	6.99+/-
<b>35</b>	Gay & Judy Balfour Trust	11963 Road 26, Cortez, CO 81321	25962 Road M, Cortez, CO 81321	AR3-9	3.01+/-
<b>36</b>	Deborah Kennell	12055 Road 26, Cortez, CO 81321	12055 Road 26, Cortez, CO 81321	AR3-9	5.01+/-
<b>37</b>	J W Cline	26007 Road M, Cortez, CO 81321	26007 Road M, Cortez, CO 81321	HISTZ	1.51+/-
<b>38</b>	Ower Joint Rev Living Trust	26223 Road M, Cortez, CO 81321	26223 Road M, Cortez, CO 81321	AR10-34	26+/-
<b>39</b>	Charles Wilson	12320 Road 26, Cortez, CO 81321	TBD Road 26, Cortez, CO 81321	AR3-9	8.70+/-
<b>40</b>	Jerry & Layce Heaton	12768 Road 26, Cortez, CO 81321	TBD Road 26, Cortez, CO 81321	AR10-34	29.88+/-
<b>41</b>	Joe & Twila Moore Liv Trust	P O Box 927, Cortez, CO 81321	26370 Road N, Cortez, CO 81321	AR35+	40+/-
<b>42</b>	Joe & Twila Moore Liv Trust	P O Box 927, Cortez, CO 81321	TBD Road N, Cortez, CO 81321	AR35+	31.44+/-
<b>43</b>	Darrell Buchanan	26455 Road N, Cortez, CO 81321	26455 Road N, Cortez, CO 81321	AGZ	20.98+/-
<b>44</b>	Ron & Christy Tucker	26641 Road N, Cortez, CO 81321	26641 Road N, Cortez, CO 81321	HISTZ	3.57+/-
<b>45</b>	Elbert & Barbara Gustafson	11440 Road 33.25, Mancos, CO 81328	26681 Road N, Cortez, CO 81321	AR10-34	23.03+/-
<b>46</b>	Lucio & Shelley Ruiz	26780 Road M, Cortez, CO 81321	26780 Road M, Cortez, CO 81321	AR3	1.60+/-



CITY OF CORTEZ  
123 ROGER SMITH AVENUE  
CORTEZ, CO 81321

September 05, 2023

Agenda Item: 7. c.

MEMO TO: Planning and Zoning Commission

FROM: Cheryl Lindquist, Permit Technician/Deputy City Clerk

SUBJECT: August 2023 Building Permits

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**BACKGROUND**

August 2023 Building Permits issued

**RECOMMENDATION**

Planning and Zoning Commission will review

---

**Attachments**

Issued permits

Permits Issued July 11 - August 30, 2023

Permit Type	Sub Type	Permit#	Address	Issue Date
Building	Accessory Structure	B23-000095	1710 CENTER Street	07/24/2023
Building	Accessory Structure	B23-000101	714 SAN JUAN Drive	08/02/2023
<b>Building Total</b>	<b>Accessory Structure Total</b>			<b>2</b>
Building	Commercial Addition	B23-000099	208 North DOLORES Road	08/01/2023
<b>Building Total</b>	<b>Commercial Addition Total</b>			<b>1</b>
Building	Commercial Remodel	B23-000115	2208 East MAIN Street	08/24/2023
<b>Building Total</b>	<b>Commercial Remodel Total</b>			<b>1</b>
Building	Manufactured Home	B23-000114	405 West 7th Street	08/17/2023
Building	Manufactured Home	B23-000109	1218, 1222, 1224 ANIMAS Street	08/15/2023
<b>Building Total</b>	<b>Manufactured Home Total</b>			<b>2</b>
Building	New Commercial	B23-000090	1880 INDUSTRIAL Road	07/17/2023
<b>Building Total</b>	<b>New Commercial Total</b>			<b>1</b>
Building	New Residential	B23-000105	510 JENNINGS Drive	08/14/2023
Building	New Residential	B23-000093	2109 Tucker Lane	08/22/2023
Building	New Residential	B23-000097	949 BLUFFS Boulevard	08/04/2023
Building	New Residential	B23-000098	1749 BROOKE Street	08/04/2023
<b>Building Total</b>	<b>New Residential Total</b>			<b>4</b>
Building	Other	B23-000116	321 South BROADWAY Avenue	08/28/2023
Building	Other	B23-000108	602 North CHESTNUT Street	08/15/2023
Building	Other	B23-000112	501 North BROADWAY	08/16/2023
Building	Other	B23-000094	230 South HARRISON Street	07/24/2023
Building	Other	B23-000096	406 North LINDEN Street	07/26/2023
Building	Other	B23-000100	302 South Park Street	08/01/2023
Building	Other	B23-000102	325 North EDITH Street	08/04/2023
Building	Other	B23-000103	641 South Broadway Avenue	08/04/2023
Building	Other	B23-000104	1417 MESA VERDE Street	08/07/2023
Building	Other	B23-000091	612 North BEECH Street	07/18/2023
Building	Other	B23-000092	1819 Aldridge Road	07/19/2023
Building	Other	B23-000088	714 East 4th Street	07/12/2023
Building	Other	B23-000087	215 North LINDEN Street	07/12/2023
<b>Building Total</b>	<b>Other Total</b>			<b>13</b>
Building	Residential Addition	B23-000110	1521 BALSAM	08/21/2023

Building	Residential Addition	B23-000078	327 East 2ND Street	08/17/2023
Building	Residential Addition	B23-000084	406 East NORTH Street	07/24/2023
<b>Building Total</b>	<b>Residential Addition Total</b>			<b>3</b>
<b>Building Total</b>				<b>27</b>
Burn Permit	Debris	BRN23-000022	720 South Chestnut Street	07/14/2023
<b>Burn Permit Total</b>	<b>Debris Total</b>			<b>1</b>
<b>Burn Permit Total</b>				<b>1</b>
Grading	Grading	G23-000006	Jarrett Avenue	08/22/2023
Grading	Grading	G23-000005	1002 South Cedar Street	07/12/2023
<b>Grading Total</b>	<b>Grading Total</b>			<b>2</b>
<b>Grading Total</b>				<b>2</b>
Mechanical	Commercial	M23-000003	1430 East MAIN Street	08/07/2023
<b>Mechanical Total</b>	<b>Commercial Total</b>			<b>1</b>
<b>Mechanical Total</b>				<b>1</b>
Plumbing	Residential	P23-000034	435 Juniper Place	08/22/2023
Plumbing	Residential	P23-000035	2055 Golf Course Lane	08/28/2023
Plumbing	Residential	P23-000033	100 South WASHINGTON	08/17/2023
Plumbing	Residential	P23-000032	1600 Golf Course Lane	08/15/2023
Plumbing	Residential	P23-000031	1002 CEDAR	08/09/2023
Plumbing	Residential	P23-000029	1205 MELROSE	07/14/2023
Plumbing	Residential	P23-000030	204 West Downey Street	07/18/2023
<b>Plumbing Total</b>	<b>Residential Total</b>			<b>7</b>
<b>Plumbing Total</b>				<b>7</b>
Right of Way	Public Right-of-Way	ROW23-000048	510 JENNINGS Drive	08/14/2023
Right of Way	Public Right-of-Way	ROW23-000050	E. Main St. & N. Mildred Rd	08/17/2023
Right of Way	Public Right-of-Way	ROW23-000051	Jarrett Avenue	08/21/2023
Right of Way	Public Right-of-Way	ROW23-000049	E. Empire St. & N. Mildred Rd.	08/17/2023
Right of Way	Public Right-of-Way	ROW23-000039	2109 Tucker Lane	08/22/2023
Right of Way	Public Right-of-Way	ROW23-000041	814 North SLIGO Street	07/25/2023
Right of Way	Public Right-of-Way	ROW23-000042	550 East Montezuma Ave Alley & N. Adams St.	07/25/2023
Right of Way	Public Right-of-Way	ROW23-000037	Alley West of 425 South Chestnut Street	07/12/2023
Right of Way	Public Right-of-Way	ROW23-000044	949 BLUFFS Boulevard	08/04/2023
Right of Way	Public Right-of-Way	ROW23-000047	East Driscoll Street	08/03/2023
Right of Way	Public Right-of-Way	ROW23-000045	1749 BROOKE Street	08/04/2023
Right of Way	Public Right-of-Way	ROW23-000046	West Main St./Hwy 160	07/31/2023

<b>Right of Way Total</b>	<b>Public Right-of-Way Total</b>			<b>12</b>
<b>Right of Way Total</b>				<b>12</b>
Water Tap	3/4 inch	WT23-000023	510 JENNINGS Drive	08/14/2023
Water Tap	3/4 inch	WT23-000022	1749 BROOKE Street	08/04/2023
Water Tap	3/4 inch	WT23-000021	949 BLUFFS Boulevard	08/04/2023
Water Tap	3/4 inch	WT23-000020	2109 Tucker Lane	08/22/2023
<b>Water Tap Total</b>	<b>3/4 inch Total</b>			<b>4</b>
<b>Water Tap Total</b>				<b>4</b>
<b>All Permits Total</b>				<b>54</b>