



## DeSoto City Council Meeting Agenda

City Council Chambers  
Jim Baugh Government Center  
DeSoto City Hall  
211 E. Pleasant Run Road  
DeSoto, TX 75115  
(972) 230-9646

**Mayor Rachel L. Proctor**  
**Mayor Pro Tem Crystal Chism**  
**Councilmember Pierette Parker**  
**Councilmember Ken Waters**  
**Councilmember Andre Byrd, Sr.**  
**Councilmember Debrah North**  
**Councilmember Letitia Hughes**

DATE: Tuesday, May 5, 2026

EXECUTIVE SESSION: 4:00 p.m. Council Chambers  
REGULAR SESSION: 6:00 p.m. Council Chambers  
*(or immediately following executive session)*

*As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein. Pursuant to Texas Government Code 551.127, one or more members of the governing body may appear via video-conference call. The presiding officer and a quorum of the City Council will be physically present at this meeting.*

DeSoto City Council Meetings are open to the public and will be live-streamed on DeSoto's website at [www.desototexas.gov](http://www.desototexas.gov) for those wanting to view the meeting online.

**Attendees may speak on any item listed on the agenda during that portion of the agenda; however, for topics not scheduled, attendees will speak during Citizen Appearances. The standard time limit is 3 minutes per speaker and may be modified at the Mayor's discretion to maintain an efficient flow of the meeting. Comment cards related to specific agenda items are due prior to the introduction of an agenda item; however, comment cards related to the citizen appearances portion of the agenda must be submitted to the ambassador's table prior to the start of the meeting.**

### A. CALL TO ORDER AND CONVENE INTO EXECUTIVE SESSION

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. The City Council shall convene into Executive Session pursuant to Texas Government Code, Section §551.074, Personnel Matters: Regarding the appointment, employment, and evaluation of the Judge and City Attorney

3. The City Council will convene into Executive Session pursuant to Texas Government Code Section, §551.072, Deliberations about Real Property regarding the purchase, exchange, or lease, of real property as it relates to the NW Corner and SW Corner of Hampton Road and RFQ-2026-002 Hampton Road Corridor Redevelopment Initiative
4. The City Council will convene into Executive Session pursuant to Texas Government Code Section §551.072 Real Estate: Deliberation regarding real property—to deliberate the purchase, exchange, lease or value of real property located within the city limits of DeSoto, Texas
5. Take any necessary action as a result of the Executive Session
6. Reconvene into Regular Session

**B. REGULAR SESSION AGENDA - CALL TO ORDER**

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. Invocation by: Reverend Ocie Hogan, UMC Church of the Disciple
3. Pledge of Allegiance led by Student Ambassador: Louis Brown, Katherine Johnson Technology Magnet Academy

**C. PRESENTATIONS**

1. Recognition of Top 20 DeSoto ISD Graduates
2. Presentation on the Accomplishments of DeSoto ISD Student Groups and Programs
3. Introduction of DeSoto ISD Interim Superintendent
4. Presentation to DeSoto ISD Teachers of the Year by Atmos Energy and Found a Way
5. Presentation of a proclamation honoring Professional Municipal Clerks Week
6. Presentation of a proclamation honoring Teachers Appreciation Week
7. Presentation on the new City of DeSoto website

**D. ITEMS OF COMMUNITY INTEREST**

1. Pursuant to Texas Government Code Section 551.0415 the City Council may report on the following items: (1) expression of thanks, congratulations or condolences; (2) information about holiday schedules; (3) recognition of individuals; (4) reminders about upcoming City Council events; (5) information about community events; and (6) announcements involving imminent threat to public health and safety.

2. Liaison Updates

E. **CONSENT AGENDA**

Items are listed on the Consent Agenda by the City Manager and are recommended to the City Council for single vote approval. An item( s) may be removed from the Consent Agenda for separate vote at the request of a Councilmember, the Mayor, or the City Manager.

1. **Approval of City Council Minutes**

- a. Special City Council Meeting  
March 30, 2026
- b. Regular City Council Meeting  
April 7, 2026
- c. Special City Council Meeting  
April 20, 2026
- d. Regular City Council Meeting Minutes  
April 21, 2026

F. **Consent - Other Items**

- 1. Recognition of a proclamation honoring Economic Development Week
- 2. Recognition of a proclamation honoring National Nurses Week
- 3. Recognition of a proclamation honoring National Small Business Week
- 4. Recognition of a proclamation honoring Older Americans Month
- 5. Recognition of a proclamation honoring Peace Officers Memorial Day/Police Week

6. Consider authorizing the City Manager to accept the completion of construction works for the Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project
7. Consider authorizing the City Manager to negotiate and execute a purchase contract with Sam Pack's Five Star Ford for the acquisition of one 2025 Ford Police Interceptor vehicle for the Police Department, in the amount of \$65,762.60
8. Consider adopting an Ordinance amending the City of Desoto Code of Ordinances by amending Chapter 13 "Utilities" by amending Article 13.800 "Garbage, Trash and Refuse" by amending Section 13.801 "Definitions" by amending "Residential Collection"; by amending and renaming Section 13.809 to "Placing of Brush and Bulky Waste" to provide specific times for placement of brush and bulky waste by the curb; by adding a new Section 13.818 titled "Penalty and Administrative Fee"

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 13 "UTILITIES" BY AMENDING ARTICLE 13.800 "GARBAGE, TRASH AND REFUSE" BY AMENDING SECTION 13.801 "DEFINITIONS" BY AMENDING "RESIDENTIAL COLLECTION"; BY AMENDING AND RENAMING SECTION 13.809 TO "PLACING OF BRUSH AND BULKY WASTE" TO PROVIDE SPECIFIC TIMES FOR PLACEMENT OF BRUSH AND BULKY WASTE BY THE CURB; BY ADDING A NEW SECTION 13.818 TITLED "PENALTY AND ADMINISTRATIVE FEE" TO PROVIDE PENALTIES FOR VIOLATION OF ARTICLE 13.800; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY CLAUSE OF FINE NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS (\$500.00); AND PROVIDING FOR AN EFFECTIVE DATE**

**G. PUBLIC HEARINGS**

1. Case No. Z-1548-26 - Conduct a public hearing and consider adopting an Ordinance establishing new Planned Development 202 (PD-202), which proposes a base zoning district of Multiple Family (MF) with deviations to allow for the construction of a new subdivision on property located at 214, 220, and 300 N. Westmoreland Rd., DeSoto, Texas. The site is legally described as ZEBEDEE HEATH ABST 562 PG 666 TR 27 (8.427 acres), TR 9 (11.3791 acres), TR 7, and TR 4, and consists of approximately 24.274 acres. The property is located north of W. Belt Line Road, along the east side of N. Westmoreland Road, west of S. Nursery Road, and adjacent to the existing residential subdivision along Olympia Street, Glacier Street, and Shasta Drive. The applicant is Josh Eadie and the property owner is Equity Trust Company

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF DESOTO, TEXAS, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE USE AND DEVELOPMENT OF 19.880± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY**

**ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15) AND 4.393± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15), BY CHANGING THE CURRENT ZONING TO PLANNED DEVELOPMENT NO. 202 (PD-202) WITH A BASE ZONING OF MULTIPLE-FAMILY DISTRICT (MF) WITH DEVIATIONS TO ALLOW FOR A VARIETY OF DWELLINGS CONSISTING OF TWO-FAMILY DWELLING (DUPLEX) AND SINGLEFAMILY DWELLING VARIATIONS WITHIN A SINGLE MULTIFAMILY RESIDENTIAL COMPLEX; ADOPTING DEVELOPMENT REGULATIONS INCLUDING A SITE CONCEPT PLAN; PROVIDING FOR A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)**

H. **REGULAR AGENDA - New Business**

1. Consider approving a resolution authorizing the submission of a grant application on behalf of the DeSoto Police Department to the Motor Vehicle Crime Prevention Authority Task Force grant to secure funding for various initiatives designed to prevent and reduce catalytic converter theft and other motor vehicle-related crimes in the amount of \$327,054

I. **CITIZEN APPEARANCES**

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "Citizen Comment Card" and present it to the City Secretary or return to the Ambassador's table prior to the start of the meeting. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns may be addressed by City Staff, placed on a future agenda, or responded to by some other course.

**For attendees wanting to speak on any item listed on the agenda, the comment cards related to the specific agenda items are to be presented to the City Secretary prior to the introduction of that agenda item. The standard time limit is 3 minutes per speaker and may be modified at the Mayor's discretion to maintain an efficient flow of the meeting.**

**Please Note:** Comments are to be addressed to the entire council and not to individual city council members or staff. Citizens shall refrain from making personal, impertinent, profane, or slanderous remarks or becoming boisterous while addressing the City Council. If such conduct occurs and is not corrected immediately, the Citizen may be removed from the room for the remaining session of the meeting and the Citizen shall be barred from appearing before the City Council for that session. Citizens shall observe the same rules of propriety, decorum, and good conduct applicable to the City Council.

J. ADJOURNMENT OF REGULAR SESSION

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

The building in which the above meeting will be conducted is wheelchair accessible. Person with disabilities who plan to attend this meeting and may require auxiliary aid or services such as readers or large print, or interpreters for persons who are deaf or hearing impaired, are requested to contact the Office of City Secretary at 972-230-9646 or by E-mail at [saubrey@desototexas.gov](mailto:saubrey@desototexas.gov) or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas 800-732-2989.

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of DeSoto's Jim Baugh Government Center, a place convenient and readily accessible to the general public as well as to the City's website [www.desototexas.gov](http://www.desototexas.gov) and said Notice was posted on the following date and time: **Wednesday, April 29, 2026 by 7:00 P.M.** and remained so posted at least two (2) hours after said meeting was convened.



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Sofine Lewis-Aubrey, City Secretary



DeSoto City Council Meetings are broadcast live in their entirety on DeSoto's City Website [www.desototexas.gov](http://www.desototexas.gov) on the first and third Tuesday of each month at 6:00 p.m. Questions regarding the broadcast schedules or internet viewing should be directed to the City of DeSoto at 972-230-9600. These taped broadcasts are also available to view on the City's website ([www.desototexas.gov](http://www.desototexas.gov)) at your convenience.

**City Council Meeting**

**C. 1.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Recognition of Top 20 DeSoto ISD Graduates

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**City Council Meeting**

**C. 2.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Presentation on the Accomplishments of DeSoto ISD Student Groups and Programs

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**City Council Meeting**

**C. 3.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Introduction of DeSoto ISD Interim Superintendent

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**City Council Meeting**

**C. 4.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Presentation to DeSoto ISD Teachers of the Year by Atmos Energy and Found a Way

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**City Council Meeting**

**C. 5.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Presentation of a proclamation honoring Professional Municipal Clerks Week

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**City Council Meeting**

**C. 6.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Presentation of a proclamation honoring Teachers Appreciation Week

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**City Council Meeting**

**C. 7.**

**Meeting Date:** 05/05/2026

**Submitted For:** Karen Kirby, IT Director  
Phone: 972-230-9696

**Contact:** Karen Kirby, IT Director  
Phone: 972-230-9696

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**AGENDA ITEM:**

Presentation on the new City of DeSoto website

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**Attachments**

Presentation

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— T E X A S —

## **CivicPlus website**

Karen Kirby | Information Technology

# Features

- AI ChatBot (multi-lingual)
- Emergency Alerts
- Calendar
- Forms
- News & Events
- Quick Opinion Poll
- Notifications – Emails and Text
- Photo Gallery
- Document Center
- Archive Center
- FAQs
- Graphic Links
- Quick Links
- Info Advanced
- Resource Directory
- Staff Directory
- Agenda Center
- Pop up notification on specific pages

# Widgets

Widgets can easily be added to any page with drag and drop functionality, adding flexibility to design and the way information is presented on any individual page.

- Editor Widget
- Form Center Widget
- Image Widget
- Slideshow Widget
- Related Documents Widget
- Tabbed Widget
- Custom HTML Widget

# Administrative Features

- Approval Workflow
- Dashboard, including pending approvals and expiring items
- Content Scheduling: auto-publish and auto-expire
- Versioning / Drafts
- Dynamic page components
- History Log
- Intranet
- Website Statistics
- Preset Styling Standards
- Redirects (Short links)
- Permission levels
- Pending approvals

# User Friendly

- Live Edit
- Embed Maps (Google, ESRI)
- Site Search log
- Responsive Design
- Improved ADA Compliance (required by Federal law by April 26, 2027)
- Third Party Integrations (iFrame, embed, APIs)
- Translation (over 100 languages)
- RSS Feeds
- Predictive Site Search
- Mega Menu

**City Council Meeting**

**E. 1. a.**

**Meeting Date:** 05/05/2026

**Contact:** LaGerisyn Runnels, Assistant City Secretary  
Phone: 972.230.9646

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**AGENDA ITEM:**

Special City Council Meeting  
March 30, 2026

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**Attachments**

Draft Minutes for March 30, 2026 Special City Council Meeting

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# DRAFT



DeSoto Special City Council Meeting  
Monday, March 30, 2026

The City Council of the City of DeSoto held a Special City Council Meeting Monday, March 30, 2026, in the Jim Baugh Government Center (City Hall), 211 E. Pleasant Run Road, DeSoto, Texas.

## 1. CALL TO ORDER AND CONVENE INTO EXECUTIVE SESSION

- a. Safety Protocol Statement by: Fire Chief Bryan Southard
- b. The City Council will convene into Executive Session pursuant to Section 551.071(1) of the Texas Government Code to discuss the following:
  - Consultation with City Attorney regarding short-term rentals and rental registration
- c. Take any necessary action as a result of the Executive Session

Mayor Rachel L. Proctor called the meeting to order at 5:01 p.m. All Councilmembers were present with the exception of Councilmember Pierette Parker, Councilmember Debrah North, and Councilmember Letitia Hughes. *Councilmembers Parker, North, and Hughes arrived later during the executive session.*

Fire Chief Bryan Southard provided a brief safety protocol.

The City Council convened into Executive Session at 5:03 pm and reconvened into Regular Session at 6:07 pm.

No action was taken as a result of the Executive Session.

- d. Reconvene into Regular Session

Mayor Rachel L. Proctor called the meeting to order at 6:08 p.m. All Councilmembers were present at roll call.

Present: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.

Councilmember Debrah North  
Councilmember Letitia Hughes

2. **SAFETY PROTOCOL STATEMENT BY: FIRE CHIEF BRYAN SOUTHARD**

3. **PRESENTATIONS AND RECOGNITIONS**

- a. Presentation of the Fiscal Year 2025 Annual Comprehensive Financial Report & Single Audit Report

Director of Forvis Mazars Josh Findlay presented the Fiscal Year 2025 Annual Comprehensive Financial Report & Single Audit Report.

- b. Update on the Helping Hands of DeSoto Program Amending Eligibility Requirements

Director of Community Services and External Affairs Dr. Esther Williams gave an update on the Helping Hands of DeSoto Program amending eligibility requirements.

- c. Presentation on the following City Financial Work Session:

1. Property Tax Considerations

- Homestead, Senior, Veterans, Disabled

2. Public Safety Districts:

- Crime Control and Prevention District (CCPD)
- Fire Control, Prevention, and EMS District (FCPEMSD)

3. Hotel Occupancy Taxes (HOT) Overview

4. Texas Property Tax Reform and Transparency Act of 2019 (SB2)

5. Brimer Bill

6. Potential Bond Program FY2027

City Manager Majed Al-Ghafry introduced Finance Director Lakeita Sutton, Police Chief Joseph Costa, Fire Chief Bryan Southard, and Deputy City Manager Isom Cameron, who provided a presentation on property tax considerations, public safety districts, hotel occupancy taxes, the Texas Property Tax Reform and Transparency Act of 2019, the Brimer Bill, and the proposed Bond Program 2027.

4. **CONSENT AGENDA**

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Ken Waters to approve as presented. Motion passes 7-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North

Councilmember Letitia Hughes

- a. Consider accepting the Fiscal Year 2025 Annual Comprehensive Financial Report & Single Audit Report
- b. Consider an Ordinance amending the Fiscal Year 2025-2026 Adopted Budget in the General Fund (Fund 101) by \$171,365 for Additional Personnel Needed for Daily Operations of the ARC/Town Center and Programming Assigned to the ARC

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AUTHORIZING CERTAIN BUDGET AMENDMENTS PERTAINING TO THE FISCAL YEAR 2025-2026 ADOPTED BUDGET; AND PROVIDING FOR AN EFFECTIVE DATE.**

- c. Consider an Ordinance amending the Fiscal Year 2025-2026 Adopted Budget in the General Fund (Fund 101) in the amount of \$44,000 to fund internet connectivity services at the Aquatics and Recreation Center (ARC) for an eight-month period

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AUTHORIZING CERTAIN BUDGET AMENDMENTS PERTAINING TO THE FISCAL YEAR 2025-2026 ADOPTED BUDGET; AND PROVIDING FOR AN EFFECTIVE DATE.**

5. **ADJOURNMENT**

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Debrah North to adjourn the meeting at 8:17 pm. The motion passes with a vote of 7-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes

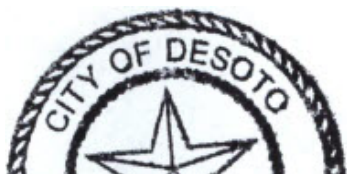
Respectfully submitted,

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Sofine Lewis-Aubrey, City Secretary

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Rachel L. Proctor, Mayor





**City Council Meeting**

**E. 1. b.**

**Meeting Date:** 05/05/2026

**Contact:** LaGerisyn Runnels, Assistant City Secretary  
Phone: 972.230.9646

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**AGENDA ITEM:**

Regular City Council Meeting  
April 7, 2026

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**Attachments**

Draft Minutes for April 7, 2026 Regular City Council Meeting

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# DRAFT



DeSoto City Council Meeting  
Tuesday, April 7, 2026

The City Council of the City of DeSoto held a City Council Meeting Tuesday, April 7, 2026, in the Jim Baugh Government Center (City Hall), 211 E. Pleasant Run Road, DeSoto, Texas.

## A. CALL TO ORDER AND CONVENE INTO EXECUTIVE SESSION

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. The City Council shall convene into Executive Session pursuant to Texas Government Code, Section §551.074, Personnel Matters: Regarding the employment and duties of the City Manager
3. The City Council will convene into Executive Session pursuant to Texas Government Code Section 551.072 to deliberate the purchase, exchange, lease, of real property as it relates to 825 W. Wintergreen Road, Thorntree Golf Club and RFP 2025-027
4. Take any necessary action as a result of the Executive Session
5. Reconvene into Regular Session

Mayor Rachel L. Proctor called the meeting to order at 4:00 p.m. All Councilmembers were present with the exception of Councilmember Debrah North.  
(Councilmember Debrah North attended the executive session virtually.)

Fire Chief Bryan Southard gave a Safety Protocol Statement.

The City Council convened into Executive Session at 4:01 pm.

The City Council reconvened into Regular Session at 6:01 pm.

No action was taken as a result of the Executive Session.

## B. REGULAR SESSION AGENDA - CALL TO ORDER

Present: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism

Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes

Absent: Councilmember Debrah North

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. Invocation by: Rodney Gadsden, CrossRoads Covenant Church
3. Pledge of Allegiance led by Student Ambassador: Mackenzie A. Chambers, Curtistene S. McCowan Middle School & Fine Arts Academy

C. **PRESENTATIONS AND RECOGNITIONS**

1. Recognition to the City of Desoto for receiving the Bell Seal Designation

Mayor Rachel L. Proctor recognized the City of DeSoto for receiving the Bell Seal Designation.

D. **ITEMS OF COMMUNITY INTEREST**

1. Pursuant to Texas Government Code Section 551. 0415 the City Council may report on the following items: ( 1) expression of thanks, congratulations or condolences; ( 2) information about holiday schedules; 3) recognition of individuals; ( 4) reminders about upcoming City Council events; ( 5) information about community events; and ( 6) announcements involving imminent threat to public health and safety.

2. Liaison Updates

Council provided updates on community events.

E. **CONSENT AGENDA**

Items are listed on the Consent Agenda by the City Manager and are recommended to the City Council for single vote approval. An item( s) may be removed from the Consent Agenda for separate vote at the request of a Councilmember, the Mayor, or the City Manager.

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes, to approve as presented, pulling item F7, F8, F9, F10, F11, and F14 for separate vote. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes

Other: Councilmember Debrah North (ABSENT)

1. **Approval of City Council Minutes**

- a. Regular City Council Meeting  
March 3, 2026

F. **Consent - Other Items**

1. Recognition of a proclamation honoring National Autism Awareness Month
2. Recognition of a proclamation honoring National Child Abuse Prevention Month
3. Recognition of a proclamation honoring National Public Safety Telecommunicators Week
4. Recognition of a proclamation honoring Sexual Assault Awareness Month
5. Consider approving the Public Art Policy (D-6-010)
6. Consider authorizing the City Manager to negotiate and execute a construction contract with McMahon Contracting, LP, in the amount of \$20,535,039.98 for the Westmoreland Road Improvements Project (from Belt Line Road to Parkerville Road) and approve a total project budget of \$22,900,463.29 for construction, contingency, material testing services, and construction-phase professional services
7. Consider authorizing the City Manager to negotiate and execute a Professional Services Agreement with Raba Kistner Consultants, Inc., in the amount of \$134,729.31 for construction materials testing services for the Westmoreland Road Improvements Project

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes, to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

8. Consider authorizing the City Manager to negotiate and execute a Professional Services Agreement with Mas-Tek Engineering & Associates, Inc. in the amount of \$117,190.00 for construction materials testing services for the Westmoreland Road Improvements Project

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Andre' Byrd, Sr., to approve as presented. Motion passes 5-1.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
NAY: Councilmember Pierette Parker  
Other: Councilmember Debrah North (ABSENT)

9. Consider authorizing the City Manager to negotiate and execute a contract in the amount of \$73,935.00 with Castro Roofing for the full replacement of the Senior Center Facility roof, utilizing TIPS Contract No. 25010402

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes, to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

10. Consider authorizing the City Manager to negotiate and execute a contract to purchase one (1) new CASE TV370B Skid Steer to replace a 2009 CASE 445 Skid Steer for the Streets Division. The new skid steer will be purchased from Associated Supply Company, Inc. (ASCO) through the BuyBoard National Purchasing Cooperative Contract No. 788-25, in compliance with competitive procurement requirements

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes, to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

11. Consider authorizing City Council authorize the City Manager to negotiate and execute a Custodial Services Agreement with Unica Enterprises, in an annual amount not to exceed \$509,316.00, for janitorial services at the Aquatic and Recreation Center from May 1, 2026 through September 30, 2026, with two optional one-year renewals.

Motion by Councilmember Pierette Parker

second by Councilmember Letitia Hughes, to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

12. Consider authorizing the City Manager to negotiate and execute the annual renewal of the contract with Granicus, LLC for meeting streaming and captioning services in the amount of \$51,112.37, utilizing TIPS Contract No. 220105
13. Consider authorizing the City Manager to purchase equipment and installation services from Metro Fire in the amount of \$61,620.00 to upfit the Fire Department's Battalion Chief Command Truck (2024 F-250 crew cab truck), as identified in the FY2024 Vehicle replacement program, utilizing Buy Board contract # 698-23
14. Consider authorizing the City Manager to negotiate and execute a lease agreement between the DeSoto Area Chamber and the City of DeSoto for property owned at 108 Lyndalyn Drive, DeSoto, TX 75115

Motion by Mayor Pro Tem Andre' Byrd, Sr.  
second by Councilmember Letitia Hughes, to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

G. **PUBLIC HEARINGS**

1. Case No. Z-1546-26 - Request to discuss and consider an Ordinance amending and restating Planned Development 129 (PD-129), relating to the development and use of 62.0± acres of land located west of Interstate 35E and south of Pleasant Run. The subject property is located south of the intersection of East Pleasant Run Road and South Interstate 35E and is legally described as F.M. Mabra's/Fairbanks, Block A, Lot 1A, containing approximately 2.143 acres, and addressed as 633 N. I-35E, DeSoto, Texas. The applicant and property owner is Rick Steele of DeSoto HFT Development LLC.

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF DESOTO, TEXAS, AS PREVIOUSLY AMENDED, BY AMENDING AND RESTATING THE DEVELOPMENT REGULATIONS OF PLANNED DEVELOPMENT NO. 193 ("PD-129"), AS PREVIOUSLY**

**ADOPTED BY ORDINANCE NO. 1974-13, ), RELATING TO THE DEVELOPMENT AND USE OF 62.0± ACRES OF LAND LOCATED WEST OF INTERSTATE 34 EAST AND SOUTH OF PLEASANT RUN, BY AMENDING THE DEVELOPMENT AND USE REGULATIONS RELATED TO LOT 1A, BLOCK 1A, F.M. MABRA'S/FAIRBANKS ADDITION; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Letitia Hughes to open the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

There were no comment cards submitted for this agenda item.

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Letitia Hughes to close the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Letitia Hughes to approve as presented. Motion passes 5-1.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

H. **REGULAR AGENDA - New Business**

1. Case No. SP-696-25 - Request to discuss and consider approving the Site Plan and the Elevation Plan as required by the development and use regulations for Planned Development No. 20 relating to the development and use of Lot 2B1A1, Block A, Crossroads Trade Center Addition, containing approximately 1.859 acres. The property is located north of the intersection of Centre Park Boulevard E. and I-35E S. and is addressed as 1921 N. I-35E., DeSoto, Texas

Motion by Councilmember Letitia Hughes  
second by Mayor Pro Tem Crystal Chism to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

2. Consider authorizing the City Manager to negotiate and execute a contract to purchase a 2026 Dodge Durango Pursuit Vehicle for the Police Department from Dodge City utilizing BuyBoard Contract 724-23 in the amount of \$71,989.00

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Andre' Byrd, Sr. to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

3. Consider authorizing the City Manager to negotiate and execute an Amendment to the Professional Services Agreement with Integrated Project Solutions for an amount not to exceed \$51,384.62 for additional project management services associated with the Aquatics and Recreation Center (ARC) at McCowan Park

Motion by Councilmember Pierette Parker  
second by Councilmember Andre' Byrd, Sr. to approve as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters

Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

I. **CITIZEN APPEARANCES**

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "Citizen Comment Card" and present it to the City Secretary or return to the Ambassador's table prior to the start of the meeting. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns may be addressed by City Staff, placed on a future agenda, or responded to by some other course.

**For attendees wanting to speak on any item listed on the agenda, the comment cards related to the specific agenda items are to be presented to the City Secretary prior to the introduction of that agenda item. The standard time limit is 3 minutes per speaker and may be modified at the Mayor's discretion to maintain an efficient flow of the meeting.**

**Please Note:** Comments are to be addressed to the entire council and not to individual city council members or staff. Citizens shall refrain from making personal, impertinent, profane, or slanderous remarks or becoming boisterous while addressing the City Council. If such conduct occurs and is not corrected immediately, the Citizen may be removed from the room for the remaining session of the meeting and the Citizen shall be barred from appearing before the City Council for that session. Citizens shall observe the same rules of propriety, decorum, and good conduct applicable to the City Council.

The following addressed the City Council:

Tricities NAACP  
City of DeSoto

Aaron Brown  
City of DeSoto

Shiela Adams  
City of DeSoto

Cheryl Deloney  
City of DeSoto

Donna Fortner  
City of DeSoto

Kay Brown Patrick  
City of DeSoto

Mayor Rachel L. Proctor called a brief recess at 7:49 pm.

The meeting reconvened at 7:55 pm.

The following also addressed the City Council:

Gerry Ravnell  
City of DeSoto

Alice Jordan  
City of DeSoto

Jurse Gonzalez  
City of DeSoto

J. **ADJOURNMENT OF REGULAR SESSION**

Motion by Councilmember Letitia Hughes  
second by Mayor Pro Tem Crystal Chism to adjourn the meeting at 8:02 pm. Motion passes  
6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes  
Other: Councilmember Debrah North (ABSENT)

Respectfully submitted,

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Sofine Lewis-Aubrey, City Secretary

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Rachel L. Proctor, Mayor



**City Council Meeting**

**E. 1. c.**

**Meeting Date:** 05/05/2026

**Contact:** LaGerisyn Runnels, Assistant City Secretary  
Phone: 972.230.9646

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**AGENDA ITEM:**

Special City Council Meeting  
April 20, 2026

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**Attachments**

Draft Minutes for the April 20, 2026 Special City Council Meeting

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# DRAFT



DeSoto Special City Council Meeting  
Monday, April 20, 2026

The City Council of the City of DeSoto held a Special City Council Meeting Monday, April 20, 2026, in the Jim Baugh Government Center (City Hall), 211 E. Pleasant Run Road, DeSoto, Texas.

## 1. CALL TO ORDER AND CONVENE INTO EXECUTIVE SESSION

- a. Safety Protocol Statement by: Fire Chief Bryan Southard
- b. The City Council shall convene into Executive Session pursuant to Texas Government Code, Section §551.074, Personnel Matters: Regarding the appointment, employment, and evaluation of the City Secretary
- c. Take any necessary action as a result of the Executive Session
- d. Reconvene into Regular Session

Mayor Rachel L. Proctor called the meeting to order at 5:00 pm. All councilmembers were present.

Fire Chief Bryan Southard gave a Safety Protocol Statement.

The City Council convened into Executive Session at 5:01 pm.

The City Council reconvened into Regular Session at 6:00 pm.

No action was taken as a result of the Executive Session.

## 2. SPECIAL SESSION AGENDA - CALL TO ORDER

Mayor Rachel L. Proctor called the Special Session to order at 6:00 pm. All councilmembers were present.

Present: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters

Councilmember Debrah North  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes

3. **SAFETY PROTOCOL STATEMENT BY: FIRE CHIEF BRYAN SOUTHARD**

4. **PRESENTATIONS AND RECOGNITIONS**

- a. Presentation of a proclamation honoring Administrative Professionals Day

Councilmember Andre' Byrd, Sr. presented a proclamation honoring Administrative Professionals Day to Tachia Williams, Elsa Sieg, Twana Burrow, LaVorris Trimble, Anasa Davis-Ross, and Becky Lewis.

- b. Presentation of a proclamation honoring National Assistant Principals Week

Councilmember Letitia Hughes presented a proclamation honoring National Assistant Principals Week to Ms. Washington, Ms. Holland, Dr. Garner, Ms. Ajuobi, Ms. Peterson-Smith, Ms. Jones, Ms. Jackson, Mr. Thomas, Ms. Smith, Ms. West, And Mr. Mitchell.

- c. Presentation of the DeSoto Community Champions Award to Paula Glenn, Chuck Burch, and Rosa Hernandez

Mayor Rachel L. Proctor presented the DeSoto Community Champions Award to Paula Glenn, Chuck Burch, and Rosa Hernandez.

- d. Presentation of Financial Report February 2026

Finance Director Lakeita Sutton presented the Financial Report February 2026.

- e. Presentation of Financial Report March 2026

Finance Director Lakeita Sutton presented the Financial Report March 2026.

- f. Presentation on the City's application to the Texas Commission on the Arts Cultural Districts Program

Director of Community Services and External Affairs Dr. Esther Williams presented on the City's application to the Texas Commission on the Arts Cultural Districts Program.

- g. Update on the Community Development Block Grant (CDBG) program activities for FY2025-2026

Director of Community Services and External Affairs Dr. Esther Williams gave an update on the Community Development Block Grant (CDBG) program activities for FY2025-2026.

- h. Update on the Brush and Bulk Program

Deputy City Manager Isom Cameron gave an update on the City's brush and bulk program.

i. C.A.R.E. Team Update

Interim C.A.R.E. Team Manager Kimberly Bonner gave an update on the department.

5. **DISCUSSION TOPICS**

*There are no items for this meeting.*

6. **ADJOURNMENT**

Motion by Councilmember Pierette Parker  
second by Councilmember Andre' Byrd, Sr. to adjourn the meeting at 8:32 pm. Motion passes  
7-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Ken Waters  
Councilmember Debrah North  
Councilmember Andre' Byrd, Sr.  
Councilmember Letitia Hughes

Respectfully submitted,

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Sofine Lewis-Aubrey, City Secretary

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Rachel L. Proctor, Mayor



**City Council Meeting**

**E. 1. d.**

**Meeting Date:** 05/05/2026

**Contact:** LaGerisyn Runnels, Assistant City Secretary  
Phone: 972.230.9646

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**AGENDA ITEM:**

Regular City Council Meeting Minutes  
April 21, 2026

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**Attachments**

Draft Minutes April 21, 2026 Regular City Council Meeting

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# DRAFT



DeSoto City Council Meeting  
Tuesday, April 21, 2026

The City Council of the City of DeSoto held a City Council Meeting Tuesday, April 21, 2026, in the Jim Baugh Government Center (City Hall), 211 E. Pleasant Run Road, DeSoto, Texas.

## A. CALL TO ORDER AND CONVENE INTO EXECUTIVE SESSION

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. The City Council shall convene into Executive Session pursuant to Texas Government Code, Section §551.074, Personnel Matters: Regarding the appointment, employment, and evaluation of the City Manager
3. Take any necessary action as a result of the Executive Session
4. Reconvene into Regular Session

Mayor Rachel L. Proctor called the meeting to order at 4:30 pm. All councilmembers were present except for Councilmember Ken Waters.

Fire Chief Bryan Southard gave a Safety Protocol Statement.

The following addressed the City Council regarding the Executive Session:

Dinah Marks  
City of DeSoto

The City Council convened into Executive Session at 4:35 pm.

The City Council reconvened into Regular Session at 6:20 pm.

No action was taken as a result of the Executive Session.

## B. REGULAR SESSION AGENDA - CALL TO ORDER

Mayor Rachel L. Proctor called the Regular Session to order at 6:20 pm. Councilmember Ken Waters was absent.

Present: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes

Absent: Councilmember Ken Waters

1. Safety Protocol Statement by: Fire Chief Bryan Southard
2. Invocation by: Genette Wheeler, Community Chaplain
3. Pledge of Allegiance led by Student Ambassador: Olivia Perez, DeSoto West Middle School

C. **PRESENTATIONS**

1. Discussion on the duties, responsibilities, and expectations of the Citizens Police Advisory Committee (CPAC)

Police Chief Joe Costa discussed the duties, responsibilities, and expectations of the Citizens Police Advisory Committee (CPAC).

D. **ITEMS OF COMMUNITY INTEREST**

1. Pursuant to Texas Government Code Section 551. 0415 the City Council may report on the following items: ( 1) expression of thanks, congratulations or condolences; ( 2) information about holiday schedules; 3) recognition of individuals; ( 4) reminders about upcoming City Council events; ( 5) information about community events; and ( 6) announcements involving imminent threat to public health and safety.

2. Liaison Updates

Council provided updates on community events.

E. **CONSENT AGENDA**

Items are listed on the Consent Agenda by the City Manager and are recommended to the City Council for single vote approval. An item( s) may be removed from the Consent Agenda for separate vote at the request of a Councilmember, the Mayor, or the City Manager.

Motion by Councilmember Pierette Parker  
second by Councilmember Letitia Hughes, to approve as presented. Motion passes 7-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes

Other: Councilmember Ken Waters (ABSENT)

1. **Approval of City Council Minutes**  
*There were no items for this agenda.*

F. **Consent - Other Items**

1. Consider authorizing the City Manager to negotiate and execute a Professional Services Agreement with Raba Kistner Consultants, Inc., in the amount of \$134,729.31 for construction materials testing services for the Westmoreland Road Improvements Project
2. Consider authorizing the City Manager to negotiate and execute a contract in the amount of \$73,935.00 with Castro Roofing for the full replacement of the Senior Center Facility roof, utilizing TIPS Contract No. 25010402
3. Consider authorizing the City Manager to negotiate and execute a contract to purchase one (1) new CASE TV370B Skid Steer to replace a 2009 CASE 445 Skid Steer assigned to the Streets Division. The equipment will be purchased from Associated Supply Company, Inc. (ASCO) through BuyBoard National Purchasing Cooperative Contract No. 788-25, in compliance with competitive procurement requirements
4. Consider authorizing the City Manager to negotiate and execute a contract with Rush Truck Center, Dallas, for the purchase of two (2) new Ford F-150 trucks in the total amount of \$93,457.96, in accordance with a competitive bid process for vehicles approved in the FY 2026 Budget

*Note: One citizen comment card was received for this item from the following individual:*

Anna Williams  
City of DeSoto

5. Consider authorizing the City Manager to negotiate and execute an agreement with Paradigm Traffic Systems in the amount of \$72,080.00 for the procurement and installation of traffic signal equipment. This includes fifteen (15) Econolite Cobalt Traffic Controllers, eleven (11) MMU2 (Malfunction Management Units), twenty (20) EDI BIU-700 (Bus Interface Units), and ten (10) Load Switches. The purchase will be made through BuyBoard Contract #695-23
6. Consider authorizing the City Manager to purchase ADA accessible tools for the new CivicPlus website for a prorated amount of \$12,745.33, plus hosting and maintenance support, resulting in a total Year One implementation price of \$62,622.98, through TIPS Contract No. 220105. Year Two ongoing hosting, support, and maintenance costs are estimated at \$34,991.24

G. **PUBLIC HEARINGS**

1. Case No. SP-699-26 - Conduct a public hearing and consider a request to approve a site plan for PD Development No. 58 relating to the development and use of Lot 1, Block A, South Meadows Office Park No. 3 Addition, containing approximately 0.8609 acres. The property is located at the East intersection of E. Pleasant Run Road and N. Chattey Road and addressed as 400 E. Pleasant Run Rd., DeSoto, Texas. The applicant is Ike Nwosu and the owner is Zika Enterprises, LLC

Motion by Councilmember Pierette Parker  
second by Councilmember Letitia Hughes to open the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

No comment cards were received for this agenda item.

Motion by Councilmember Pierette Parker  
second by Councilmember Letitia Hughes to close the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes to approve the item as presented. Motion passes  
6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

2. Case No. Z-1542-25 - Conduct a public hearing and consider making a recommendation to the DeSoto City Council regarding an ordinance amending and restating Planned Development 20 (PD-20), relating to the development and use of 4.153± acres of land located on the west side of the North Interstate 35 East frontage road, approximately 535 feet north of Meadows Parkway. The subject property is legally described as HOLIDAY INN I35 BLK A LT 1 ACS 4.153, containing approximately 4.153 acres, and is addressed as 1307 N. I-35E, DeSoto, Texas. The applicant is Andrew Yeoh of Triangle Engineering LLC and the owner is Mid-Continent Hospitality

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Pierette Parker to open the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

The following spoke in opposition of the agenda item:

Leo Carter  
City of DeSoto

Maddie Carter  
City of DeSoto

Motion by Councilmember Andre' Byrd, Sr.  
second by Mayor Pro Tem Crystal Chism to close the public hearing. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

Motion by Councilmember Andre' Byrd, Sr.  
second by Mayor Pro Tem Crystal Chism to deny the agenda item. Motion passes 5-1.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
NAY: Councilmember Pierette Parker  
Other: Councilmember Ken Waters (ABSENT)

H. **REGULAR AGENDA - New Business**

1. Consider approval of the City of DeSoto 10-Year Strategic Plan - "Mapping DeSoto's Future 2035"

Motion by Councilmember Letitia Hughes  
second by Councilmember Pierette Parker to approve the item as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

2. Consider authorizing the City Manager to negotiate and execute an amendment to the Agreement with Paladin Drones, Inc. to extend the term for the subscription of a Drone and Add-on docking station with 1-year contract renewal terms for up to 3 years, in the amount not to exceed \$84,000

Motion by Councilmember Debrah North  
second by Councilmember Letitia Hughes to approve the item as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

3. Consider the approval of an Ordinance amending Article 8.300 of the City of DeSoto Code of Ordinances regulating amusement redemption machines (commonly known as "8-liners") in establishments within the City of DeSoto to ensure compliance with state law and protect public welfare

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING CHAPTER 8 TITLED "OFFENSES AND NUISANCES" BY AMENDING ARTICLE 8.100 TITLED "MISCELLANEOUS NUISANCES" BY ADDING A NEW SECTION 8.1200 TITLED "CERTAIN AMUSEMENT REDEMPTION MACHINES PROHIBITED"; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CAUSE; PROVIDING A PENALTY CLAUSE OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING FOR AN EFFECTIVE DATE.**

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes to approve the item as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor

Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

4. Consider authorizing the City Manager to negotiate and execute an amendment to the Agreement with SoundThinking, Inc. (ShotSpotter) to extend the term of the agreement for subscription services to a prorated term from April 20, 2026 through September 30, 2026, in the amount of \$44,482

Motion by Councilmember Andre' Byrd, Sr.  
second by Councilmember Letitia Hughes to approve the item as presented. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

## I. CITIZEN APPEARANCES

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "Citizen Comment Card" and present it to the City Secretary or return to the Ambassador's table prior to the start of the meeting. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns may be addressed by City Staff, placed on a future agenda, or responded to by some other course.

**For attendees wanting to speak on any item listed on the agenda, the comment cards related to the specific agenda items are to be presented to the City Secretary prior to the introduction of that agenda item. The standard time limit is 3 minutes per speaker and may be modified at the Mayor's discretion to maintain an efficient flow of the meeting.**

**Please Note:** Comments are to be addressed to the entire council and not to individual city council members or staff. Citizens shall refrain from making personal, impertinent, profane, or slanderous remarks or becoming boisterous while addressing the City Council. If such conduct occurs and is not corrected immediately, the Citizen may be removed from the room for the remaining session of the meeting and the Citizen shall be barred from appearing before the City Council for that session. Citizens shall observe the same rules of propriety, decorum, and good conduct applicable to the City Council.

The following addressed the City Council:

Jeffrey T. Miller

City of DeSoto

Zoderick Green  
City of DeSoto

Dr. Jacqueline Boney Taylor  
City of DeSoto

Lanora "Nori" Wyatt  
City of DeSoto

Albreesha "Breezy" Culberson  
City of DeSoto

Anna Williams  
City of DeSoto

Hope Stevens  
City of DeSoto

Mary Boneparte  
City of DeSoto

J. **ADJOURNMENT OF REGULAR SESSION**

Motion by Mayor Pro Tem Crystal Chism  
second by Councilmember Letitia Hughes to adjourn the meeting at 9:06 pm. Motion passes 6-0.

AYE: Mayor Rachel L. Proctor  
Mayor Pro Tem Crystal Chism  
Councilmember Pierette Parker  
Councilmember Andre' Byrd, Sr.  
Councilmember Debrah North  
Councilmember Letitia Hughes  
Other: Councilmember Ken Waters (ABSENT)

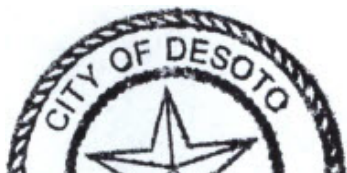
Respectfully submitted,

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Sofine Lewis-Aubrey, City Secretary

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Rachel L. Proctor, Mayor





**City Council Meeting**

**F. 1.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Recognition of a proclamation honoring Economic Development Week

---

**City Council Meeting**

**F. 2.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

---

**AGENDA ITEM:**

Recognition of a proclamation honoring National Nurses Week

---

**City Council Meeting**

**F. 3.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

---

**AGENDA ITEM:**

Recognition of a proclamation honoring National Small Business Week

---

**City Council Meeting**

**F. 4.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Recognition of a proclamation honoring Older Americans Month

---

**City Council Meeting**

**F. 5.**

**Meeting Date:** 05/05/2026

**Submitted For:** Geraldine Sarmiento, Liaison to the Mayor and Council

**Contact:** Geraldine Sarmiento, Liaison to the Mayor and Council

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**AGENDA ITEM:**

Recognition of a proclamation honoring Peace Officers Memorial Day/Police Week

---

## **City Council Meeting**

**F. 6.**

**Meeting Date:** 05/05/2026

**Submitted For:** Moazzem Hossain, City Engineer

**Also Contact:** Ahmed Alqaisi

**Phone:** (972) 230 – 7325

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### **COUNCIL ACTION**

#### **AGENDA ITEM:**

Consider authorizing the City Manager to accept the completion of construction works for the Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project

#### **BACKGROUND:**

This sanitary sewer improvement project included three different segments. The first segment is located within the property of the Riverbend Apartments (located south of E. Wintergreen Road near Gilbert Avenue). There is an existing sanitary sewer main that runs from the north to the south along the creek bank that runs through this property. Due to creek bank erosion, the existing sewer main was exposed and created a potential risk to system integrity and public health and therefore needed to be relocated to avoid further issues. The other two segments of this project are located along Reedsport Place and Stinnett Place. These two segments had been previously identified by the City's engineering consultant (Grantham & Associates) as needing to be replaced.

The scope of this project included:

1. The installation of approximately 285 linear feet of 12-inch sanitary sewer pipe along the creek bank within the Riverbend Apartments near Gilbert Avenue;
2. The removal and installation of approximately 1,095 linear feet of 6-inch sanitary sewer line along Stinnett Place; and
3. The removal and installation of approximately 912 linear feet of 6-inch sanitary sewer line along Reedsport Place.

A map showing the location of these 3 sanitary sewer segments has been attached for reference. The project also included miscellaneous work associated with the sanitary sewer improvements, including the removal and replacement of concrete sidewalks, concrete driveway pavement, concrete flumes, mailboxes, and related appurtenances.

The project was competitively bid in accordance with applicable Texas procurement laws and City purchasing policies. The received bids were publicly opened and read aloud on December 18, 2024. Staff recommended the construction contract be awarded to Excel 4 Construction, LLC, which submitted the lowest bid in the amount of \$637,830.60. The City Council approved the agenda item for awarding the construction contract on January 21, 2025. The staff report for the construction contract agenda item for the January 21, 2025, is attached for reference.

#### **FINDINGS:**

Construction activities for the project commenced in the first week of July 2025. Work progressed in accordance with the approved construction schedule and contract requirements. Construction was substantially completed by February 2026. A final walkthrough inspection was conducted accordingly by City staff. During the walkthrough, the completed work was reviewed for compliance with the approved plans, specifications, and City standards. All punch list items identified during the inspection were subsequently addressed by the contractor. All payments except the 5% retainage amount have been made as of March 2026.

Overall, the project was completed successfully with no major issues or significant deviations from the approved plans. During construction, unforeseen conditions required additional work, including the removal and replacement of deteriorated driveways, additional installation of the sanitary sewer service lines, removal and replacement of an existing brick manhole with a concrete manhole, installation of a riser, installation of an additional manhole, and sewer service drop connections. These items were addressed through four (4) administratively approved field modifications and were incorporated into the contract as field changes. The modifications did not impact the project budget but required 20 more administratively approved additional Calendar days to the contract to complete the project.

**FINANCIAL IMPACT:**

Final accounting for the project indicates a total construction cost of \$673,837.50. This amount is within the City Council-approved project budget and reflects payments for the final quantities of work completed and approved field modifications.

**Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Improvements Project — Construction Cost Breakdown**

Item Description	Amount
Original construction amount	\$637,830.60
Maximum contingency amount (10%)	\$63,738.06
Total budget allocated for construction	\$701,613.66
Approved total expense for four field modifications	\$44,198.90
Updated construction costs	\$682,029.50
Total / Final amount paid (/to be paid) to the contractor	\$673,837.50
Total unspent amount from the allocated funding	\$27,776.16

The total payment amount to the contractor is less than the total allocated budget by \$27,776.16. This saved amount will be returned to the parent account (Public Utility Account # 508) for sanitary sewer projects and can be utilized for future Sanitary Sewer improvement projects.

All required close-out documentation has been received, reviewed, and accepted by the City staff. These documents include, but are not limited to, as-built drawings, warranty and maintenance bond documents, construction testing reports, contractor affidavits, consent of surety to final payment, and final invoicing.

**RECOMMENDATION:**

Staff recommends that the City Council authorize the City Manager to accept the completion of construction works for the Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements project.

## **MANAGEMENT REVIEW**

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### **Attachments**

Project location map

January 21, 2025, City Council agenda staff report for construction contract

Presentation file for the public meeting for construction

Photographs documenting the construction project

Record Drawing Plan set

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**Location Map:**  
**Gilbert Ave, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements**





**Location Map:**  
Gilbert Ave, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements



## City Council Meeting

H.3.

Meeting Date: 01/21/2025

Submitted For: Moazzem Hossain, City Engineer

Also Contact: Charles Brewer, Director of Development Services

Phone: 972-230-7325

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COUNCIL ACTION

Motion by Councilmember Chism, with a second by Councilmember Parker to approve as presented. Motion passes 6-1.

## AGENDA ITEM:

Consider authorizing the City Manager to negotiate and execute a construction contract with Excel 4 Construction, LLC in the amount of \$637,830.60 and approving a total project budget of \$746,195.66 to include construction, contingency, and testing for the City's Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project

## BACKGROUND:

This sanitary sewer improvement project includes three different segments. The first segment is located within the property of the Riverbend Apartments (located south of E. Wintergreen Road near Gilbert Avenue). Within this property, there is an existing sanitary sewer main that runs from the north to the south along the creek bank that runs through this property. Due to creek bank erosion, the existing sewer main is exposed and needs to be relocated to avoid further issues. The other two segments of this project are located along Reedsport Place and Stinnett Place. These two segments have been identified by the City's engineering consultant (Grantham & Associates) as needing to be replaced.

The scope of this project includes: 1) the installation of approximately 285 linear feet of 12-inch sanitary sewer pipe along the creek bank within the Riverbend Apartments near Gilbert Avenue; 2) the removal and installation of approximately 1,095 linear feet of 6-inch sanitary sewer line along Stinnett Place; and 3) the removal and installation of approximately 912 linear feet of 6-inch sanitary sewer line along Reedsport Place. A map showing the location of these 3 sanitary sewer segments has been attached for reference.

The scope of this project also includes other miscellaneous-related work items (i.e. removing and replacing concrete sidewalks, removing and replacing concrete driveway pavement, removing and replacing concrete flumes, removing and replacing mailboxes, etc.) The published bid also identified two items as bid-alternate items or additional items.

## FINDINGS:

Five (5) sealed bids were received for this project. The received bids were publicly opened and read aloud on December 18, 2024. The received bids ranged from a low of \$582,238 to a high of \$949,811.59.

The Texas Local Government Code Section 252.043 (d) requires the City to award public works construction projects to the lowest responsible bidder. In determining the lowest responsible bidder, staff takes into consideration whether the bidder has met the requirements of the bid specifications. Staff also reviews the submitted information including the cost or unit price of any construction-related item to confirm the accuracy of the calculations for each construction item and the total costs.

*During the review of the received bids, the City's consultant found a major difference in the unit price submitted by low bidder Palmer Hall Construction for bid item #11 (furnish & install 12-inch SDR 35 PVC sanitary sewer w/20-inch steel casing by bore). Palmer Hall Construction's unit bid for bid item #11 did not*

*reflect the typical industry cost for this particular type of work. Consequently, the City's consultant contacted Palmer Hill Construction's representative who confirmed that an error was made with their submitted bid item #11. Because of this error, Palmer Hill Construction requested that the City accept their request to withdraw their submitted bid from this bid solicitation. Palmer Hill Construction subsequently submitted a follow-up letter to the City officially withdrawing their submitted bid for this bid solicitation.*

According to the published Request for Bids, the City of DeSoto reserves the right to purchase services from the next lowest bidder should the primary vendor (lowest bidder) be unable to meet the requirements of the City.

The next lowest bidder (with a submitted total bid of \$637,830.60) is Excel 4 Construction LLC. Excel 4 Construction LLC submitted all required documents in association with this bid solicitation and also met the reference verification requirement for this project.

The City's consultant (Grantham & Associates) reviewed all the received bids. The City's consultant also contacted Excel 4 Construction LLC's list of references to verify this bidder's experience and past work history. After checking the lowest bidder's references, Grantham & Associates recommends that the City award this capital improvement project to Excel 4 Construction LLC at their submitted bid price of \$637,830.60. (Note: This bid amount includes both the base bid of \$608,601.60 and the two alternate bid items that total \$29,229.00.)

The time frame to complete this capital improvement project is 120 calendar days.

Additionally, Excel 4 Construction LLC has informed the City that their company will be utilizing a DBE/HUB-certified contractor for all boring work associated with this project. The boring work associated with this capital improvement project will account for approximately 14% of the total construction cost.

**FINANCIAL IMPACT:**

The total recommended construction budget for the project is itemized below:

**Gilbert Ave, Reedsport Place and Stinnett Place Sanitary Sewer Improvements Project:**

Bid Amount	\$637,830.60
Contingency (10%)	\$63,783.06
Construction Materials Testing	\$44,582.00
<b>Total Project Budget</b>	<b>\$746,195.66</b>

This expenditure is budgeted and will be funded from the FY 2024-2025 Budget/Public Utility Fund 508.

**RECOMMENDATION:**

Staff recommends that the City Council authorize the City Manager to negotiate and execute a construction contract with Excel 4 Construction, LLC. in the amount of \$637,830.60 and approve a total project budget of \$746,195.66 to include construction, contingency, and testing for the City's Gilbert Ave, Reedsport Place and Stinnett Place Sanitary Sewer Improvements Project.

**MANAGEMENT REVIEW**



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Attachments

Bid Tabulation Sheet / Report

Engineer's Recommendation Letter and Bid withdrawal request letter

Project Location Map / Project Limit

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**Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project**  
**Construction Related Information**

**April 30, 2025**

***MD Hossain, City Engineer***

**Engineering Department, City of DeSoto**

# Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project

**Location and Scope:** This sanitary sewer improvement project includes three different segments -

- Within the property of the Riverbend Apartments (located south of E Wintergreen Road near Gilbert Avenue) : Existing sanitary sewer main runs from the north to the south along the creek bank. Due to creek bank erosion, the existing sewer main is exposed and needs to be relocated to avoid further issues.
- Reedsport Place – Within the pavement surface / ROW area
- Stinnett Place – Within the pavement surface / ROW area

# Sanitary Sewer Improvements Project

## ❖ Stinnett Place

- ❑ **Work:** Removal and installation of approximately 1,095 linear feet of 6-inch sanitary sewer line along Stinnett Place
- ❑ **Duration:** May 19 – June 6

## ❖ Reedsport Place

- ❑ **Work:** Removal and installation of approximately 912 linear feet of 6-inch sanitary sewer line along Reedsport Place
- ❑ **Duration:** June 9 – July 11



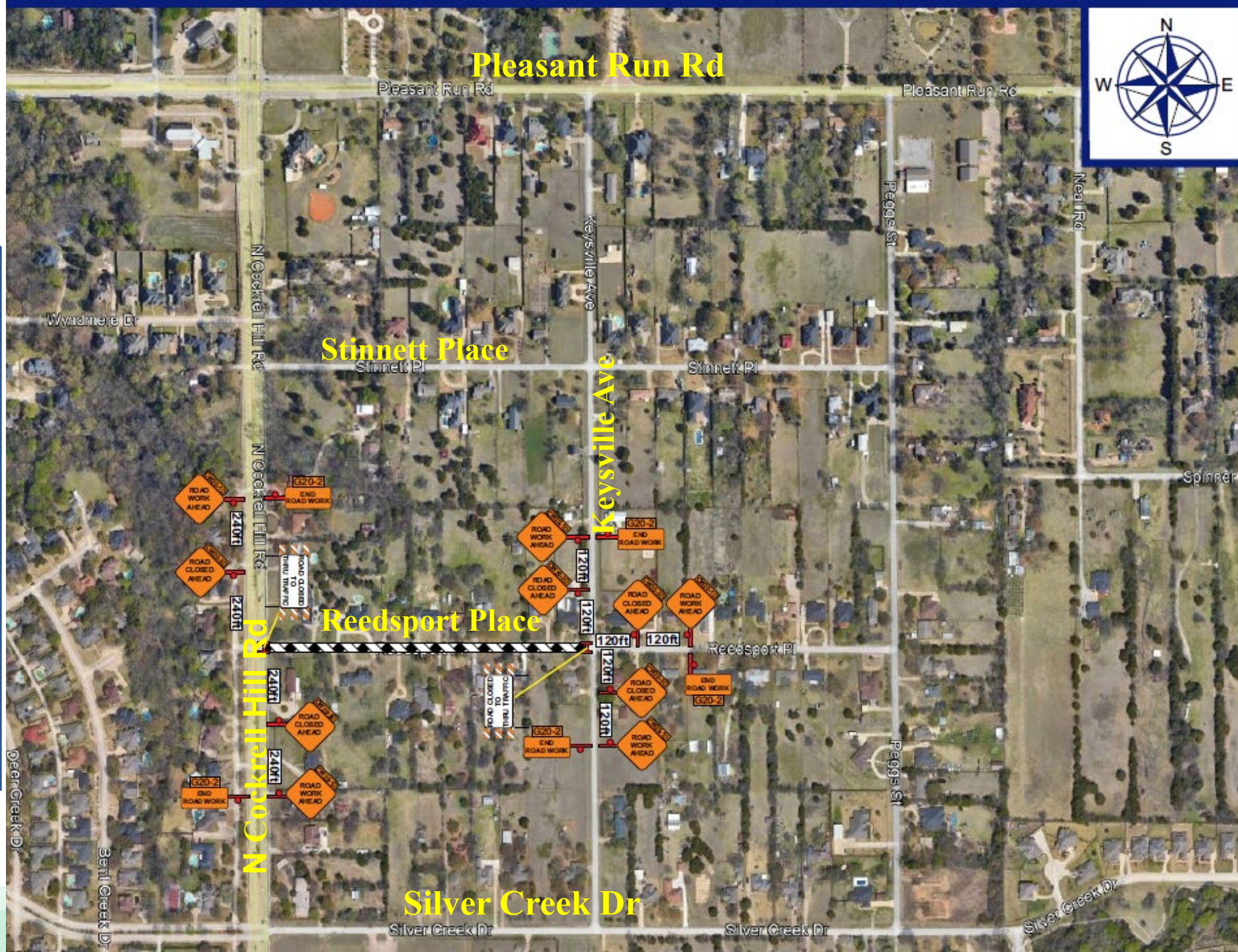
**Works within  
Stinnett Place  
Three Weeks  
May 19 – June 6**

*Road closure  
Barrier will be  
placed but access  
will always be  
provided to residents  
and service vehicles*



**Works within  
Reedsport Place  
Five Weeks  
June 9 – July 11**

*Road closure  
Barrier will be  
placed but access  
will always be  
provided to  
residents and  
service vehicles*



# Sanitary Sewer Improvements Project

- ❑ **Work:** Installation of approximately 285 linear feet of 12-inch sanitary sewer pipe along the creek bank
- ❑ **Duration:** July 14 – July 25



# **Gilbert Avenue, Reedsport Place, and Stinnett Place Sanitary Sewer Improvements Project**

- Start: 05/19/2025 (Weather Permitting)
- End: 07/25/2025 (Weather Permitting)
- Work Days and Hours: Monday – Friday ; 7 AM - 6 PM
- Necessary signage, Board, Flaggers at appropriate locations
- Road closure barricade will be placed but access will be provided to residents and other vehicles
- Steel plate cover will be provided over any excavated area
- No change to the Trash collection
- No change to the Mail delivery system

# Contact Information

## Contractor: Excel 4 Construction, LLC

**Project Manager : Luis Conchas**

Office: (817) 457 - 3399

Cell: (682) 554 - 4740

Email: [luis.conchas\\_xl4@yahoo.com](mailto:luis.conchas_xl4@yahoo.com)

**Site Superintendent: Javier Vásquez**

Cell: (817) 401- 1433

## City of DeSoto

Construction Manager: Anthony Puentes

Cell: (682) 261- 5034

Email: [APuentes@desototexas.gov](mailto:APuentes@desototexas.gov)

**Thank You**

# QUESTIONS



Gilbert Avenue, Reedsport Place and Stinnett Place Sanitary Sewer  
Improvements

Construction Photo Documentation

City of DeSoto – Capital Improvement Program (CIP)

Before Construction Photos  
Pre-Construction Site Conditions



Fig. B2. Before construction photo



Fig. B1. Before construction photo

**During Construction Photos**  
**Construction Progress and Field Activities**



Fig. D1. Sanitary Sewer Manhole Installation Within Riverbend Apartments in progress



Fig. D2. Sanitary Sewer Manhole Installed Within Riverbend Apartments in progress



Fig. D3. 8 - inch sewer line installation along Reedsport Place in progress



Fig. D4. 8 – inch sewer line installation along Reedsport Place in progress



Fig. D5. Sidewalk Improvements Within Riverbend Apartments

After Construction Photos  
Post-Construction Completed Improvements



Fig. A1. The Asphalt Driveway restored after sewer line installation



Fig. A2. The Asphalt Driveway restored after sewer line installation



Fig. A3. The concrete Driveway restored after sewer line installation



Fig. A4. Standard 5-foot Manhole installed.



Fig. A5. The Standard 5-foot Manhole installed and the flume restored



Fig. A6. Sidewalk and Sodding installed



Fig. A7. Sidewalk and Sodding installed

**RECORD DRAWING**  
BASED ON CONTRACTOR MARKUPS  
NOT FIELD SURVEY

# CITY OF DESOTO

## CONSTRUCTION PLANS FOR GILBERT AVENUE, REEDSPORT PLACE, & STINNETT PLACE SANITARY SEWER IMPROVEMENTS



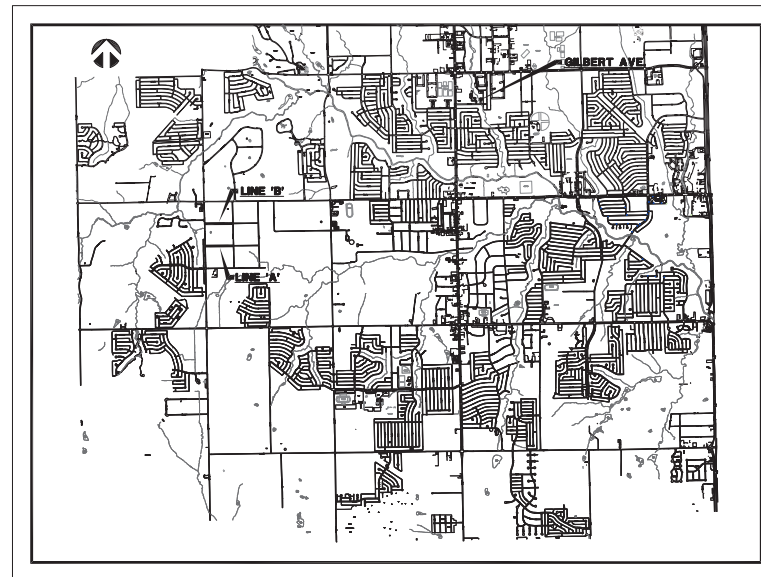
MAYOR  
RACHEL L. PROCTOR

CITY COUNCIL

PIERETTE PARKER	NICOLE RAPHIEL
ANDRE' BYRD	DINAH MARKS
CRYSTAL CHISM	MAYOR PRO TEM LETITIA HUGHES

CITY MANAGER  
MAJED AI-GHAFRY

UTILITY DIRECTOR  
BRANDON LACY



SHEET INDEX

1	GENERAL NOTES
1A	QUANTITIES
2	HORIZONTAL CONTROL
3	EROSION CONTROL
4	PROP. 12" SAN. SEW. PLAN & PROFILE
5	REEDSPORT PLACE & STINNETT PLACE - HORIZONTAL CONTROL PLAN
6-7	LINE 'A' - REEDSPORT PLACE
8-10	LINE 'B' - STINNETT PLACE
11	REEDSPORT PLACE - EROSION CONTROL PLAN
12	STINNETT PLACE - EROSION CONTROL PLAN
	CITY STANDARD DETAILS

OWNER:

CITY OF DESOTO  
211 E. PLEASANT RUN ROAD  
DESOTO, TX 75115

ENGINEER:

GRANTHAM & ASSOCIATES  
F-005438



THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY:  
MOLLY PIERSON  
ON 11/11/2024.  
ALTERATION OF A SEALED  
DOCUMENT WITHOUT PROPER  
NOTIFICATION TO THE RESPONSIBLE  
ENGINEER IS AN OFFENSE  
UNDER THE TEXAS ENGINEERING  
PRACTICE ACT.

G&A JOB NO. 1493-23  
NOVEMBER 2024

 **Grantham & Associates**  
An LJB Engineering Company   
6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2  
GARLAND, TEXAS 75044  
TBPELS ENGR. F-5438; SURV. F-10127900 (972) 864-2333 (TEL)  
(972) 864-2334 (FAX)

GENERAL NOTES

- 1. All materials and workmanship shall conform to the City of DeSoto, Standards and Specifications and the North Central Texas Council of Government (NCTCOG) Standards and Specifications, except as noted. In the event of a conflict, the City of DeSoto Standards and Specifications shall govern.
2. All locations of underground utility lines are approximate. CONTRACTOR shall notify all applicable utility companies 48 hours prior to construction so that underground lines can be marked.
3. The CONTRACTOR shall be responsible for public safety during construction and will provide the necessary traffic barricades and warning signage to protect the construction site. Construction barricades shall be in conformance with the Texas Manual on Uniform Traffic Control Devices. In areas where long term nighttime barricades are used, barricades should include high intensity reflective sheeting. The Contractor shall notify local fire/police in advance of any lane closures or detours.
4. All concrete shall have a minimum compressive strength of 4000 psi at 28 days (minimum 6 sacks of cement per cubic yard) unless otherwise noted. All reinforcing steel and dowel bars in pavement shall be supported and maintained at the correct clearances by the use of bar chairs or other approved support.
5. The CONTRACTOR is responsible for keeping streets, parking areas, sidewalks, etc., adjacent to the project free of mud and debris from construction.
6. The CONTRACTOR shall assume responsibility for protection of public utilities in the construction of this project. All manholes, valve boxes, fire hydrants, etc., must be adjusted to proper line and grade by the CONTRACTOR prior to and/or after placing of permanent paving. The CONTRACTOR shall also be responsible for support of existing utility poles, street signs, etc., when excavating in the vicinity of such poles.
7. The City of DeSoto Public Works Department is to be notified 48 hours (2 working days) prior to any construction of paving and utilities in rights-of-way, easements and alleys.
8. All disturbed earth areas are to be finish graded to original or proposed contours, fertilized and sodded according to NCTCOG specifications immediately after construction. Backfill behind new curb is to be select material free of rock and other debris. CONTRACTOR shall thoroughly water the sod immediately after placement. The CONTRACTOR shall also be responsible for continued maintenance and watering of the newly sodded areas until the entire project is completed and accepted by the City of DeSoto. Watering of the sod shall be done in a manner and quantity as directed by City of DeSoto Inspection Personnel.
9. Arrangements for construction water shall be made through the City of DeSoto.
10. CONTRACTOR shall maintain adequate sanitary facilities for use by workers throughout construction.
11. No existing trees shall be removed without approval of the City of DeSoto
12. Any temporary asphalt to be placed to facilitate traffic movements during construction shall not be paid for separately but shall be included in other items of work.
13. Bid items provided are intended to be all-inclusive of the work required on this project. Work required by the plans or specifications but not provided with a specific pay item shall be considered incidental to other items of work.
14. Contractor shall video tape construction work zone and adjacent properties prior to construction.
15. The CONTRACTOR is responsible for maintaining adequate site drainage throughout the duration of this project.
16. The CONTRACTOR shall replace all fences damaged during construction in as good or better condition than before. (NO SEPARATE PAY)
17. The CONTRACTOR shall take all necessary precautions to ensure that electric power and telephone poles are not disturbed during construction. All costs incurred for shoring electric power and telephone poles shall be included in the price bid for the construction of the project. (No separate pay item)
18. The CONTRACTOR shall restore all property including driveways, public streets and sidewalks removed or damaged during construction to as good or better condition than before. Restoration shall be made immediately after the property no longer interferes with construction.
19. The CONTRACTOR shall not place fill or waste material on any private property without prior written permission from the property owner and the OWNER. No excess excavated material shall be deposited in low areas or along natural drainage ways that will restrict the natural flow of water. If the CONTRACTOR places excavated material in low areas that will cause flood damage, he will be responsible for all damage resulting from such fill, and he shall remove the fill at his expense.
20. All streets within the scope of the Contract shall be kept accessible to fire trucks, ambulances and other emergency vehicles.
21. The CONTRACTOR shall keep excavated trenches free of groundwater during construction. If necessary, the CONTRACTOR shall utilize dewatering procedures in order to control groundwater during construction such that it does not affect his construction work. (No separate pay item)
22. No existing private sprinkler systems have been shown on the plans, however, some sprinkler systems may exist. The CONTRACTOR shall coordinate with the property owners to determine the existence and extent of any existing sprinkler systems. If the CONTRACTOR encounters any sprinkler systems during construction that require modification or are damaged by construction, he shall repair and/or replace in as good or better condition than before. (No separate pay item).
23. The CONTRACTOR shall use the construction easement, public right-of-ways, and existing utility easements for access to the job site. The CONTRACTOR may use the construction easement of an adjacent property when approved by the OWNER and ENGINEER.
24. PVC pipe shall be manufactured from a low filler PVC component capable of meeting the highest performance standards of the ASTM specifications.
25. All PVC pipe installed shall be tested for deflection. The deflections test shall be used to determine adequacy of pipe, bedding, backfill, and installation. The test shall consist of hand pulling a mandrel sized at 95% of the inside diameter of the pipe from manhole to manhole at least 30 days after backfilling.
26. The CONTRACTOR shall place concrete encasement in such a manner that all pipe installations meet the specification deflection requirements.

GENERAL NOTES CONT'D

- 27. The CONTRACTOR shall not trim or remove any shrubs or trees without the approval of the City of DeSoto. Any trimming or removal required shall be considered subsidiary to the clearing and grubbing pay item.
28. The City of DeSoto may request the installation of temporary 4-foot high temporary construction fencing to protect adjacent properties and trees during construction.
29. CONTRACTOR shall distribute letters to all property owners prior to beginning work on each property. The letter shall include name and phone numbers of CONTRACTOR contacts. A description of the work to be done and time frame for doing the work. CONTRACTOR should notify residents 48 hrs. in advance of performing any work on private property.
30. CONTRACTOR is responsible for maintaining water and sewer connections to homes in working order at all times. In no case shall services be allowed to remain out of service.
31. All local residents who will be denied access to their driveways shall be notified by CONTRACTOR two working days prior to closure of their access. Notice shall include specific information regarding construction operations and length of time required before access will be restored.
32. CONTRACTOR shall submit written request to the City for approval of all areas to be used for staging, mobilization, equipment, material storage and general project construction management. Request shall be submitted to city within five days of notice to proceed.
33. CONTRACTOR responsible for maintaining mail service to homes at all times.

GENERAL TRAFFIC CONTROL NOTES

- 1. All temporary signs, markings, cones, channelizing devices, warning lights and barricades shall be in accordance with the current State of Texas Manual on Uniform Traffic Control Devices (MUTCD).
2. Type "A" warning lights shall be placed on all advance warning signs. In addition, flags shall be placed on all advance warning signs that detour traffic.
3. Any existing conflicting markings shall be removed prior to shifting traffic.
4. All temporary pavement markings required during construction shall be of the removable type. All pavement markings and striping shall be reflective. (No separate pay)
5. The spacing of signs and channelization devices may be adjusted to fit the geometric conditions encountered, such as driveways, intersecting roadways, vertical and horizontal alignment, etc., as approved by the City of DeSoto.
6. Advance warning signs shall not be displayed more than forty-eight (48) hours before physical construction begins. Signs may be erected up to one week before needed, if the sign face is fully covered.
7. Use of barricades, portable barrier rails, vertical panels, and drums shall be limited to the immediate areas of construction where a hazard is present. These devices shall not be stored along the roadway within thirty (30) feet of the edge of the traveled way before or after use unless protected by guardrail, bridge rail, and/or barriers installed for other purposes. These devices shall be removed from the construction work zone when the City of DeSoto determines they are no longer needed. Where there is insufficient right-of-way to provide for this thirty (30) foot setback, the City of DeSoto shall approve alternate locations.
8. The posted speed for warning signage is to be determined at the site by the City of DeSoto.
9. Reduced speed warning signage should be placed prior to and at regular intervals within the construction zone.
10. The CONTRACTOR is required to submit a traffic control plan for each phase of construction a minimum of 3 days prior to changes in traffic handling or movement. These plans are to be reviewed and approved by the City of DeSoto prior to construction of that phase.
11. There will be no separate pay item for traffic control. All traffic control measures shall be considered subsidiary to other bid items.

GENERAL EARTHWORK NOTES

- 1. After completion of the necessary stripping, clearing and excavating, and prior to placing any required fill, the exposed subgrade shall be carefully inspected by probing and testing. Any undesirable material (organic material, wet, soft, or loose soil) still in place shall be removed.
2. The exposed subgrade shall be further inspected by proof-rolling with a heavy pneumatic tired roller, loaded dump truck, or similar equipment weighing approximately 10 tons to check for pockets of soft or loose material hidden beneath a thin crust of possibly better soil.
3. Any unsuitable materials exposed should be removed and replaced with well-compacted material.
4. Sandy materials with a plasticity index below 25 shall be compacted to a dry density of at least 95 percent standard Proctor maximum dry density (ASTM D-698) and within 1 percentage point below to 3 percentage points above the material's optimum moisture content.
5. Clay soils with a plasticity index equal to or greater than 25 shall be compacted to a dry density between 95 and 100 percent of standard Proctor maximum dry density (ASTM D-698). The compacted moisture content of the clays during placement shall be within the range of 0 to 4 percentage points above optimum. Clay fill shall be processed and the largest particle or clod shall be less than 6 inches prior to compaction.
6. Limestone or other rock-like materials used as random fill shall be compacted to at least 95 percent of standard Proctor dry density. If the material's moisture content during placement is within 3 percentage points of optimum, the compactive effort required to achieve the minimum compaction criteria may be minimized. Individual rock pieces larger than 6 inches in dimension shall not be used as fill. However, if rock fill is utilized within 1-foot below the bottom of pavement, the maximum allowable size of individual rock pieces shall be reduced to 3 inches.
7. In cases where utility line fill is more than 10 feet deep, the fill/backfill below 10 feet shall be compacted to at least 100 percent of standard Proctor maximum dry density (ASTM D-698) and within 2 percentage points of the material's optimum moisture content. The portion of the fill/backfill shallower than 10 feet shall be compacted as outlined above.
8. Compaction shall be accomplished by placing fill in loose lifts no thicker than 8 inches. Each lift shall be compacted to at least the specified minimum dry density. Field density and moisture content tests shall be performed on each lift as necessary to assure adequate compaction is achieved. Utility trench backfill shall be tested at a rate of one test per lift per each 300 lineal feet of trench.

UTILITY NOTES:

- 1. Contractor shall exhibit caution in the vicinity of all existing underground utilities.
2. Contact Dig-Tess for all franchise utility locations and coordinate directly with each utility company for line depths prior to excavation. In the event of a potential conflict, request utility representative instructions regarding excavation procedure.
3. Contact City inspector to confirm existing water and sanitary sewer main line and service locations and depths prior to excavation. Coordinate with City inspector for excavation procedure at all potential conflict locations.

BYPASS PUMPING NOTES:

- 1. BYPASS ALIGNMENT IS SUGGESTED ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF BYPASS PUMPING.
2. CONTRACTOR TO SUBMIT DETAILED BYPASS PLAN FOR ENGINEERS APPROVAL BEFORE INSTALLING BYPASS PUMPS AND PIPING.
3. CONTRACTOR SHALL PROVIDE ACOUSTIC SOUND PROTECTION TO MANAGE NOISE LEVELS AT NO POINT AT THE BOUNDING PROPERTY LINE OF ANY RESIDENTIAL PROPERTY SHALL THE SOUND PRESSURE LEVEL OF ANY OPERATION OR ACTIVITY EXCEED 65dB(A) FOR DAYTIME (BETWEEN 7:00 AM AND 8:00 PM) AND 58dB AT NIGHTTIME.
4. NO USE OR OPERATION SHALL CREATE A NUISANCE BY GENERATING ODDORS FOUND TO BE OFFENSIVE TO THE PUBLIC AS ESTABLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
5. CONTRACTOR SHALL OPERATE BYPASS PUMP AT ALL TIMES. THE CITY OF DESOTO STAFF WILL NOT OPERATE BYPASS PUMPING.
6. BYPASS PUMP SHALL HAVE THE CAPACITY TO PUMP 845 GPM PEAK WET WEATHER FLOW.

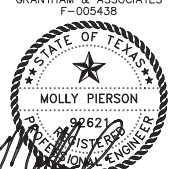
GILBERT CONSTRUCTION SEQUENCING NOTES:

- 1. CONSTRUCT DOWNSTREAM MANHOLE AT 1+00
2. EXCAVATE AND MODIFY EXISTING MANHOLE AT STA. 3+92
3. INSTALL BYPASS PUMPING BETWEEN STA. 1+00 AND STA. 3+92
4. TV LINE BETWEEN STA. 1+00 AND STA. 3+92 AND IDENTIFY SERVICE CONNECTION LOCATIONS.
5. CONSTRUCT NEW LINE.
6. RECONNECT SERVICES.
7. SITE RESTORATION.

TEPELS ENGR. F-5438; SURV. F-10127900
Grantham & Associates
An LJB Engineering Company
(972) 844-2333 (TEL)
(972) 844-2334 (FAX)
6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2
GARLAND, TEXAS 75044

Table with columns for REVISION, DATE, and NO. (1-6)

GRANTHAM & ASSOCIATES
F-005438



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY: MOLLY PIERSON ON 11/11/2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

GILBERT AVENUE
SANITARY SEWER IMPROVEMENTS
GENERAL NOTES
CITY OF DESOTO

DATE: SEPTEMBER 2024
SCALE:
DRAWN BY: G&A
DESIGN: G&A
REVIEWED: MP
JOB NO: 1493-24
DWG:
1 SHEET OF 12

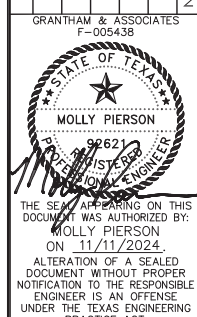
RECORD DRAWING
BASED ON CONTRACTOR MARKUPS
NOT FIELD SURVEY

J:\1493Drawings\1493GEN-NOTES.dwg, 4/8/2026 3:22:53 PM

QUANTITIES

ITEM NO.	DESCRIPTION	UNITS	SHEET 4	SHEET 6	SHEET 7	SHEET 8	SHEET 9	SHEET 10	TOTAL
<b>BASE BID</b>									
1	MOBILIZATION	LS							1
2	EROSION CONTROL	LS							1
3	TRAFFIC CONTROL	LS							1
4	REMOVE & DISPOSE MANHOLE	EA		1	1		1	1	4
5	ABANDON EXISTING 10" SANITARY SEWER WITH FLOWABLE FILL	LF	243						243
6	REMOVE & DISPOSE EXISTING 10" SANITARY SEWER	LF	36						36
7	FURNISH & INSTALL 10" PLUG	EA	6						6
8	FURNISH & INSTALL BYPASS PUMPING	LS	1						1
9	FURNISH & INSTALL 6" SDR 26 PVC SANITARY SEWER	LF		331	414	450	450	195	1,840
10	FURNISH & INSTALL 12" SDR 35 PVC SANITARY SEWER	LF	165						165
11	FURNISH & INSTALL 12" SDR 35 PVC SANITARY SEWER W/ 20" STEEL CASING BY BORE	LF	127						127
12	4" SEWER SERVICE BY OPEN CUT	EA	1	2	5	1	5	2	16
13	4" SEWER SERVICE BY BORE	EA		2	5	1	5	2	15
14	EXCAVATE EXISTING MAHOLE AND INSTALL GRADE RINGS, RIM AND COVER	EA	1						1
15	CONSTRUCT STANDARD 5' DIAMETER MANHOLE W/ SS INFLOW INSERT	EA	3	1	1	1	1	1	8
16	CONSTRUCT STANDARD 5' DIAMETER MANHOLE OVER EXISTING SANITARY SEWER W/ SS INFLOW INSERT	EA	1	1					2
17	CONNECT TO EXISTING MANHOLE	EA	1			1			2
18	COAT MANHOLE WITH EXPOXY COATING	VF				19.7			19.7
19	REMOVE & REPLACE CONCRETE SIDEWALK	SY	63						63
20	REMOVE & REPLACE CONCRETE DRIVEWAY PAVEMENT	SY		39	16		18		73
21	REMOVE & REPLACE ASPHALT DRIVEWAY PAVEMENT	SY	68		25	16		17	126
22	REMOVE & REPLACE GRAVEL DRIVEWAY PAVEMENT	SY					29		29
23	REMOVE & REPLACE CONCRETE FLUME	LF	10						10
24	REMOVE & REPLACE MAILBOX	EA					5	3	8
25	REMOVE & REINSTALL SIGN	EA			1				1
26	RESTORE PAVEMENT MARKINGS	LS	1						1
27	TEMPORARY MAILBOXES	EA				1	7	3	11
28	SOD	SY	208	391	409	471	422	202	2,103
29	VIDEO TAPE PROJECT	LS							1
30	TEMPORARY CONSTRUCTION FENCE	LF							200
31	TRENCH SAFETY	LF	165	331	414	450	450	195	2,005
32	PROJECT SIGN	EA							6
<b>BID ALTERNATE</b>									
33	INSTALL 6" CIPP	LF		169					169
34	INTERNAL LATERAL RECONNECTION ON CIPP	EA		1					1

NO.	1	2	3	4	5	6	DATE	REVISION	APPROV.

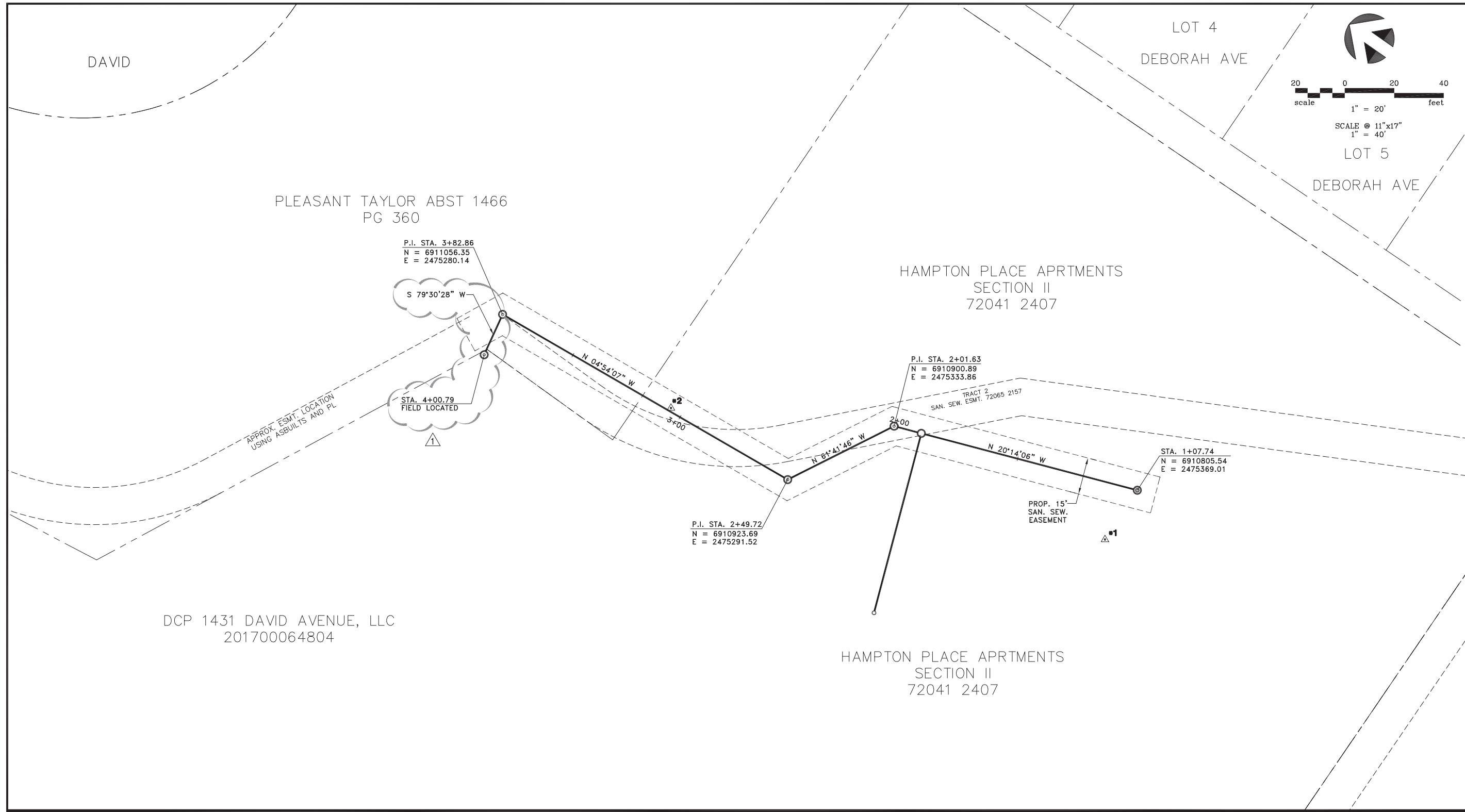


GILBERT AVENUE  
 SANITARY SEWER IMPROVEMENTS  
 QUANTITIES  
 CITY OF DESOTO

DATE:	SEPTEMBER 2024
SCALE:	
DRAWN BY:	G&A
DESIGN:	G&A
REVIEWED:	MP
JOB NO:	1493-24
DWG:	
	SHEET OF
1A	12

**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

J:\1493\Drawings\1493CONTROL-01.dwg, 4/9/2026 1:30:18 PM



CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6910804.82	2475345.20	584.03	'X' SET
2	6910978.92	2475288.16	586.25	'X' SET

170  
**Grantham & Associates**  
 An LJB Engineering Company  
 6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
 GARLAND, TEXAS 75044  
 (972) 864-2333 (TEL)  
 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1	4/8/26		
2			
3			
4			
5			
6			

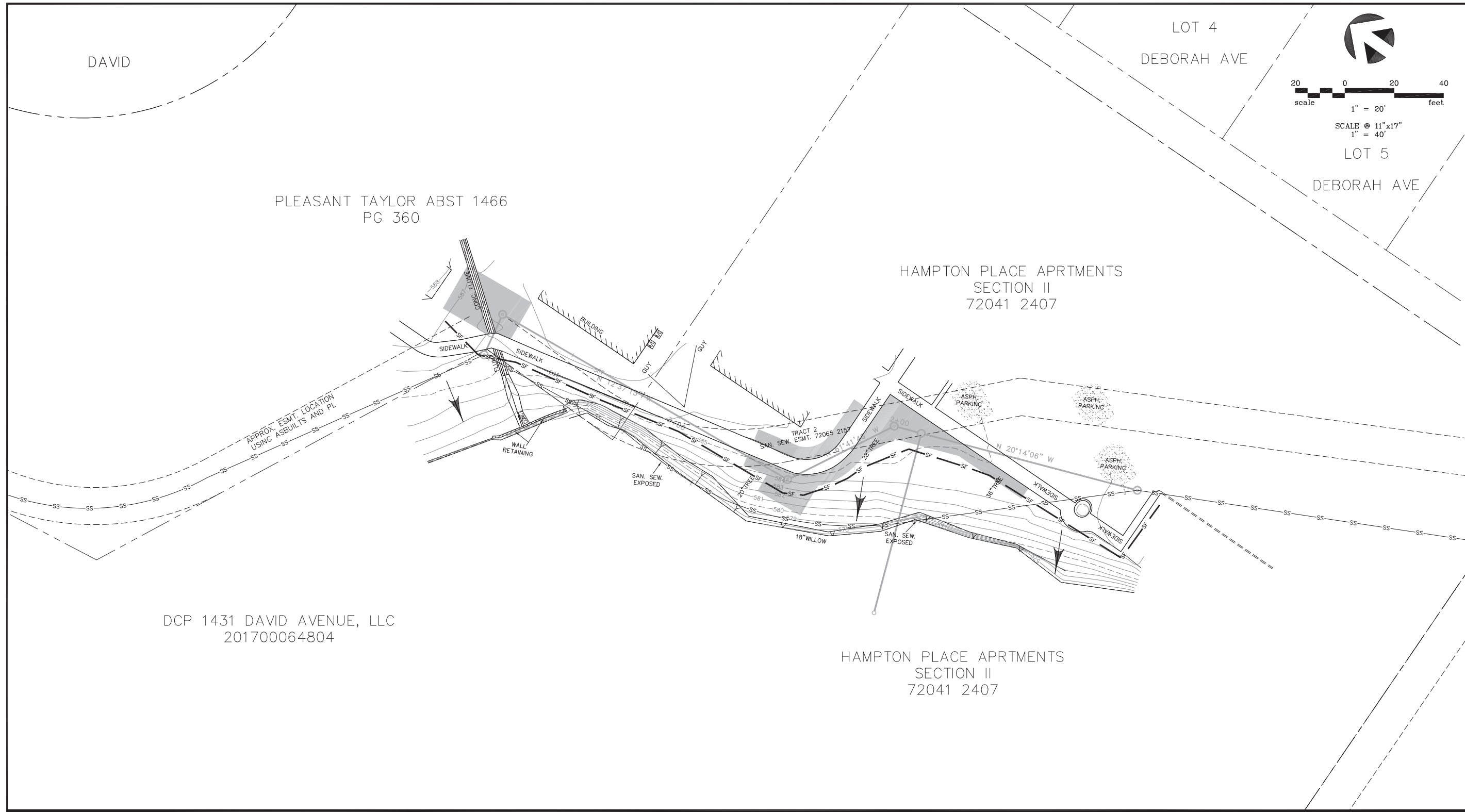
GRANTHAM & ASSOCIATES  
 F-005438  
  
 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:  
 MOLLY PIERSON  
 ON 11/11/2024.  
 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

GILBERT AVENUE  
 SANITARY SEWER IMPROVEMENTS  
 HORIZONTAL CONTROL  
**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE:  
 DRAWN BY: G&A  
 DESIGN: G&A  
 REVIEWED: MP  
 JOB NO: 1493-24  
 DWG:  
 SHEET OF 12

**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

J:\1493\Drawings\1493EROSION01.dwg, 4/9/2026 9:53:34 AM



**LEGEND:**

- SF SILT FENCE
- SODDING
- FLOW ARROW

- NOTES:**
1. THE CONTRACTOR SHALL MODIFY THE GENERAL EROSION CONTROL MEASURES SHOWN ON THESE PLANS TO REFLECT ACTUAL MEASURES REQUIRED WITHIN THE WORK ZONE DURING ALL PHASES OF CONSTRUCTION.
  2. STABILIZED CONSTRUCTION ENTRANCE LOCATIONS TO BE DETERMINED BY CONTRACTOR.
  3. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SODDED.

**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

TPELS ENGR. F-5438; SURV. F-10127900  
**Grantham & Associates**  
 An LJB Engineering Company  
 6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
 GARLAND, TEXAS 75044  
 (972) 864-2333 (TEL)  
 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
5			
6			

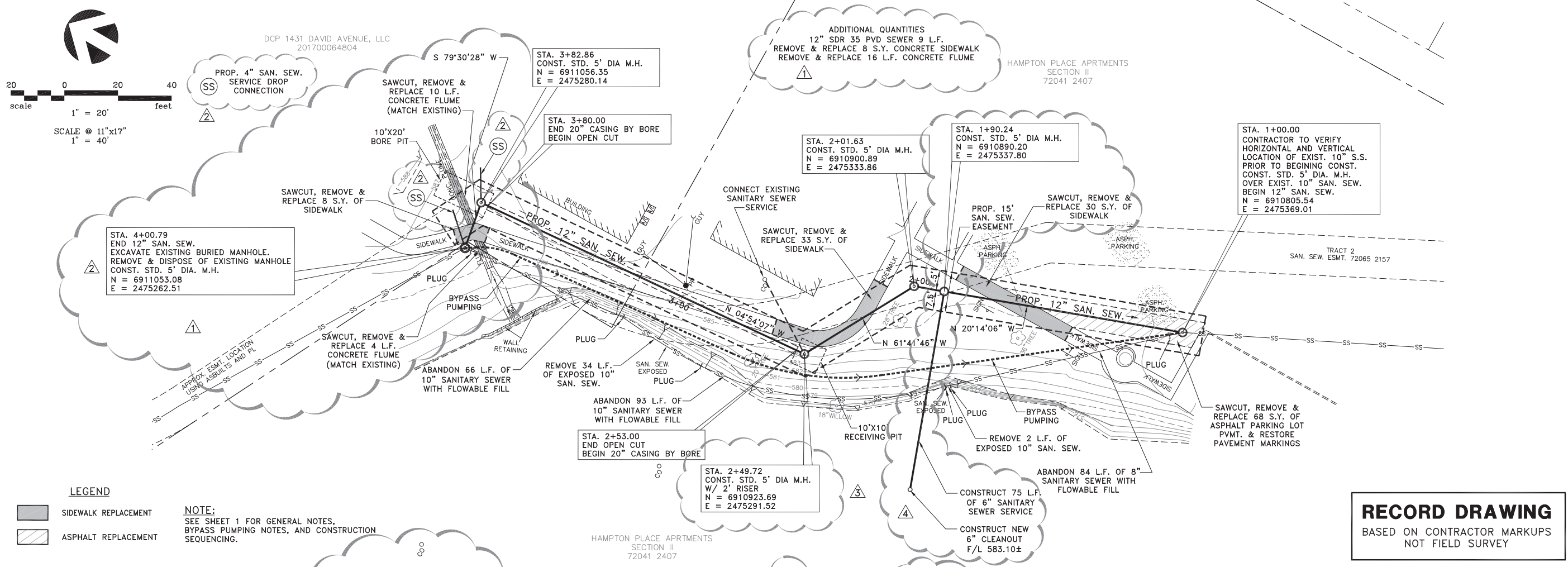
GRANTHAM & ASSOCIATES  
 F-005438  
  
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**GILBERT AVENUE**  
**SANITARY SEWER IMPROVEMENTS**  
**EROSION CONTROL**  
**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE:  
 DRAWN BY: G&A  
 DESIGN: G&A  
 REVIEWED: MP  
 JOB NO: 1493-24  
 DWG:

3 SHEET OF 12

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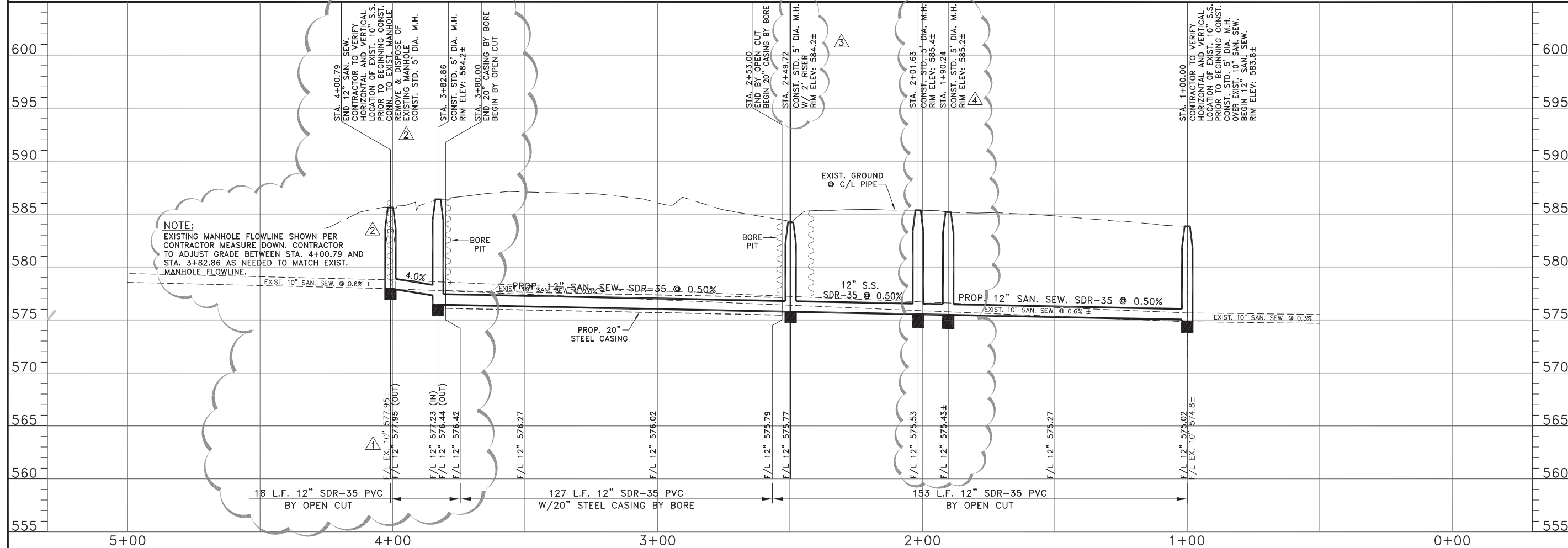


**LEGEND**

SIDEWALK REPLACEMENT  
 ASPHALT REPLACEMENT

**NOTE:**  
SEE SHEET 1 FOR GENERAL NOTES,  
BYPASS PUMPING NOTES, AND CONSTRUCTION  
SEQUENCING.

**RECORD DRAWING**  
BASED ON CONTRACTOR MARKUPS  
NOT FIELD SURVEY



**NOTE:**  
EXISTING MANHOLE FLOWLINE SHOWN PER  
CONTRACTOR MEASURE DOWN. CONTRACTOR  
TO ADJUST GRADE BETWEEN STA. 4+00.79 AND  
STA. 3+82.86 AS NEEDED TO MATCH EXIST.  
MANHOLE FLOWLINE.

TEPELS ENGR. F-5438; SURV. F-10127900

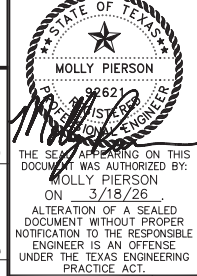
**Grantham & Associates**  
An LJB Engineering Company

6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
GARLAND, TEXAS 75044

(972) 864-2333 (TEL)  
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1	11/13/25	REVISED SEWER ALIGNMENT & PROFILE	MP
2	12/17/25	ADDED MANHOLE & TWO SERVICE CONNS.	MP
3	1/8/26	ADDED RISER TO MANHOLE AT STA. 2+49	MP
4	3/18/26	ADDED MH & SANITARY SEWER SERVICE	MP
5			
6			

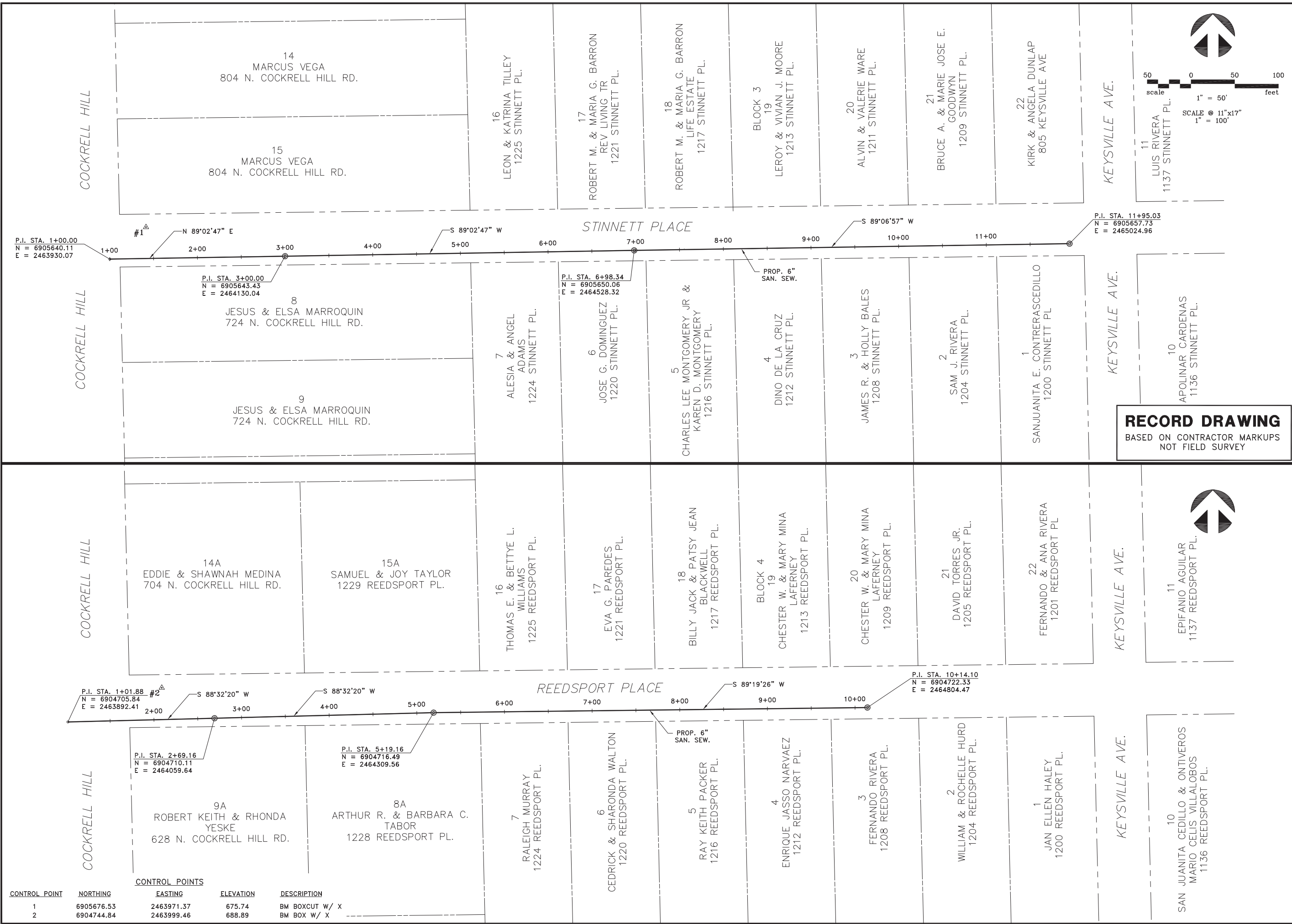
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F-005438



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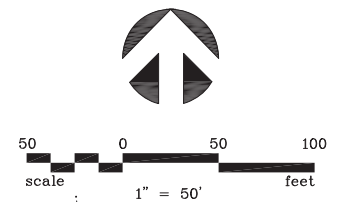
GILBERT AVENUE  
SANITARY SEWER IMPROVEMENTS  
PROP. 12" SAN. SEW. - PLAN & PROFILE  
STA. 1+00 TO 3+92  
**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
SCALE:  
DRAWN BY: G&A  
DESIGN: G&A  
REVIEWED: MP  
JOB NO: 1493-24  
DWG:  
SHEET OF 12  
4 OF 12



CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6905676.53	2463971.37	675.74	BM BOXCUT W/ X
2	6904744.84	2463999.46	688.89	BM BOX W/ X

**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY



TPELS ENGR. F-5438; SURV. F-10127900
Grantham & Associates  
An LJB Engineering Company

6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
GARLAND, TEXAS 75044
(972) 864-2333 (TEL)  
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
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6			

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HEATH CREEK BASIN  
SANITARY SEWER REPLACEMENT

HORIZONTAL CONTROL

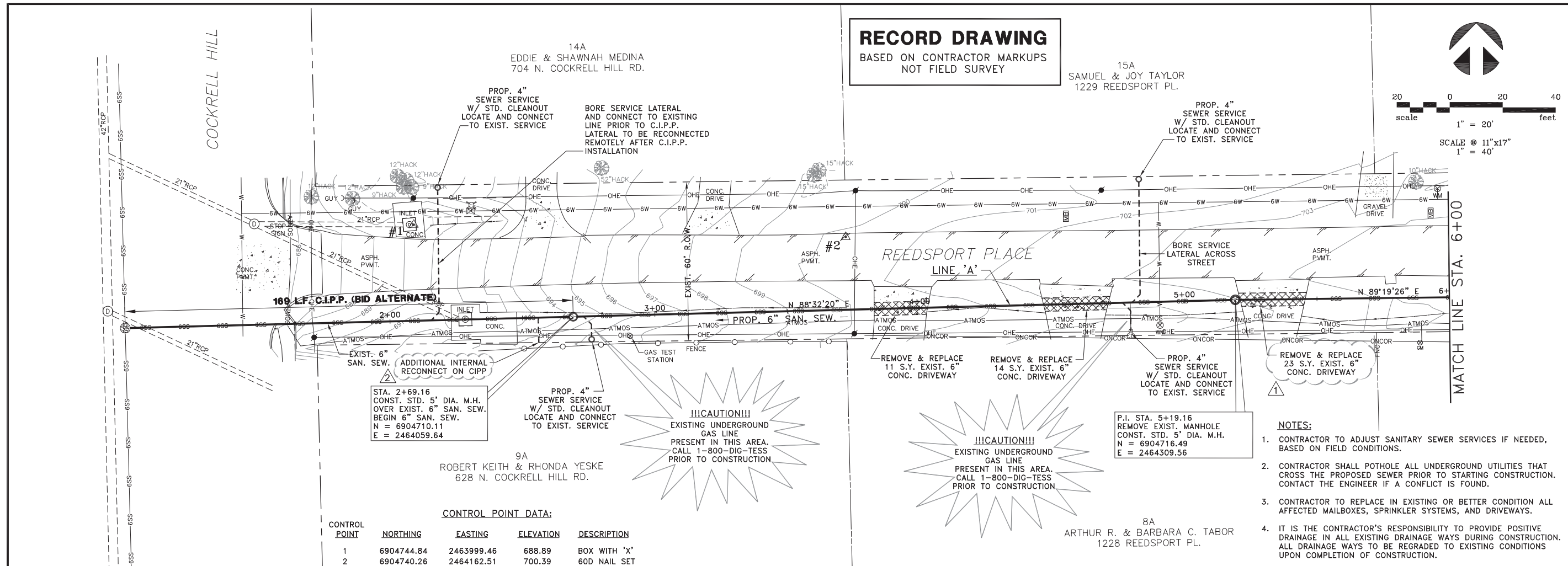
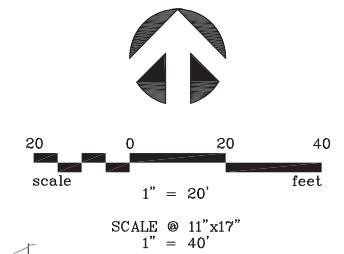
CITY OF DESOTO

DATE:	SEPTEMBER 2024
SCALE:	
DRAWN BY:	G&A
DESIGN:	BRG
REVIEWED:	BRG
JOB NO.:	1165-12
DWG.:	

5
SHEET OF 12

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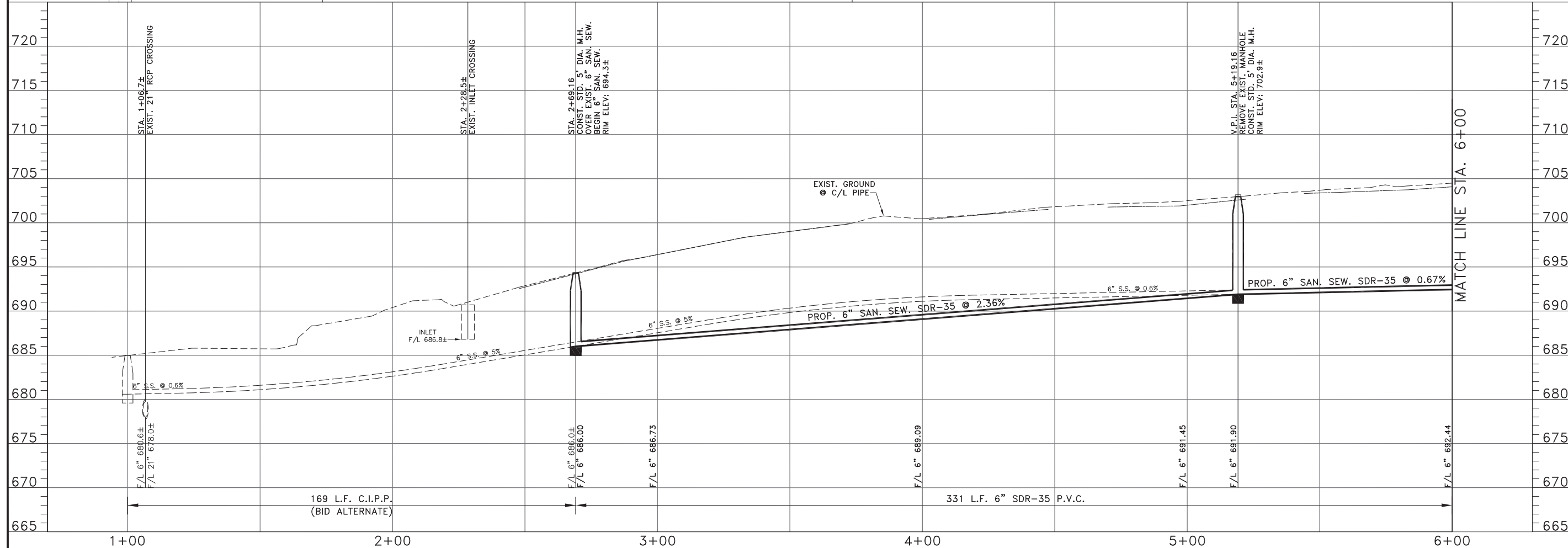
**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY



**CONTROL POINT DATA:**

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6904744.84	2463999.46	688.89	BOX WITH 'X'
2	6904740.26	2464162.51	700.39	60D NAIL SET

- NOTES:**
- CONTRACTOR TO ADJUST SANITARY SEWER SERVICES IF NEEDED, BASED ON FIELD CONDITIONS.
  - CONTRACTOR SHALL POTHOLE ALL UNDERGROUND UTILITIES THAT CROSS THE PROPOSED SEWER PRIOR TO STARTING CONSTRUCTION. CONTACT THE ENGINEER IF A CONFLICT IS FOUND.
  - CONTRACTOR TO REPLACE IN EXISTING OR BETTER CONDITION ALL AFFECTED MAILBOXES, SPRINKLER SYSTEMS, AND DRIVEWAYS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE POSITIVE DRAINAGE IN ALL EXISTING DRAINAGE WAYS DURING CONSTRUCTION. ALL DRAINAGE WAYS TO BE REGRADED TO EXISTING CONDITIONS UPON COMPLETION OF CONSTRUCTION.



14A  
EDDIE & SHAWNAH MEDINA  
704 N. COCKRELL HILL RD.

15A  
SAMUEL & JOY TAYLOR  
1229 REEDSPORT PL.

8A  
ARTHUR R. & BARBARA C. TABOR  
1228 REEDSPORT PL.

9A  
ROBERT KEITH & RHONDA YESKE  
628 N. COCKRELL HILL RD.

169 L.F. C.I.P.P. (BID ALTERNATE)

331 L.F. 6" SDR-35 P.V.C.

MATCH LINE STA. 6+00

CONTRACTOR MARK-UPS

CONTRACTOR MARK-UPS

NO.	DATE	REVISION	APPROV.
3	12/3/25		
4	4/8/26		
5			
6			

GRANTHAM & ASSOCIATES  
F-005438

STATE OF TEXAS  
MOLLY PIERSON  
REGISTERED PROFESSIONAL ENGINEER  
NO. 98621

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HEATH CREEK BASIN  
SANITARY SEWER REPLACEMENT  
LINE 'A' - REEDSPORT PLACE  
PLAN & PROFILE - STA. 0+00 STA. TO 6+00

**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE: 1"=20'(H) 1"=6'(V)  
 DRAWN BY: G&A  
 DESIGN: BRG  
 REVIEWED: BRG  
 JOB NO: 1165-12  
 DWG: 1165SSPP01

SHEET OF 12

Grantham & Associates  
An LJB Engineering Company

570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
GARLAND, TEXAS 75044

TEPELS ENGR. F-5438; SURV. F-10127900

(972) 864-2333 (TEL)  
(972) 864-2334 (FAX)



16  
THOMAS E. & BETTYE L. WILLIAMS  
1225 REEDSPORT PL.

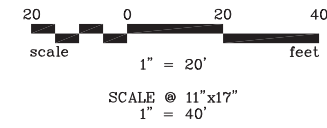
17  
EVA G. PAREDES  
1221 REEDSPORT PL.

18  
BILLY JACK & PATSY JEAN BLACKWELL  
1217 REEDSPORT PL.

19  
CHESTER W. & MARY MINA LAFERNEY  
1213 REEDSPORT PL.

20  
CHESTER W. & MARY MINA LAFERNEY  
1209 REEDSPORT PL.

21  
DAVID TORRES JR.  
1205 REEDSPORT PL.



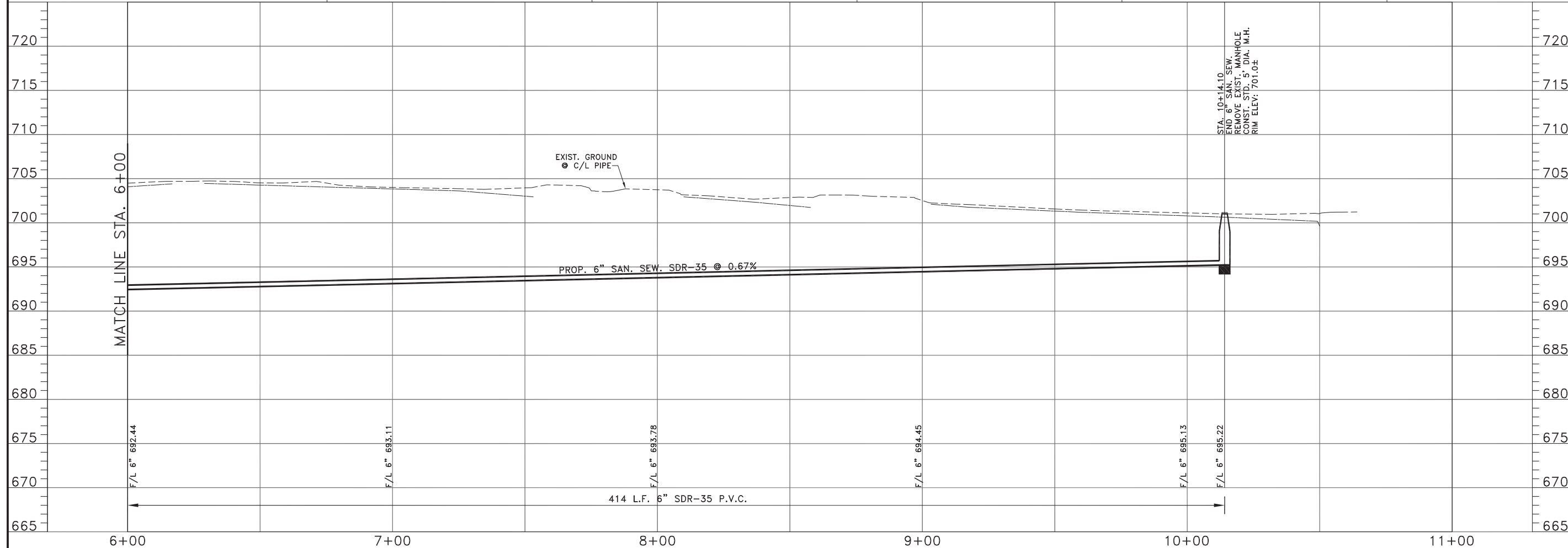
MATCH LINE STA. 6+00

CONTROL POINT DATA:

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6904748.01	2464807.36	701.17	60D NAIL SET

**!!!CAUTION!!!**  
EXISTING UNDERGROUND  
GAS LINE  
PRESENT IN THIS AREA.  
CALL 1-800-DIG-TESS  
PRIOR TO CONSTRUCTION

**RECORD DRAWING**  
BASED ON CONTRACTOR MARKUPS  
NOT FIELD SURVEY



TEPELS ENGR. F-5438; SURV. F-10127900

**Grantham & Associates**  
An LJB Engineering Company

6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
GARLAND, TEXAS 75044

(972) 864-2333 (TEL)  
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
5			
6			

MP	RECORD DRAWING	CONTRACTOR MARK-UPS
12/3/25		
4/8/26		

GRANTHAM & ASSOCIATES  
F-005438

**MOLLY PIERSON**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 98621

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MOLLY PIERSON  
ON 12/3/2025.

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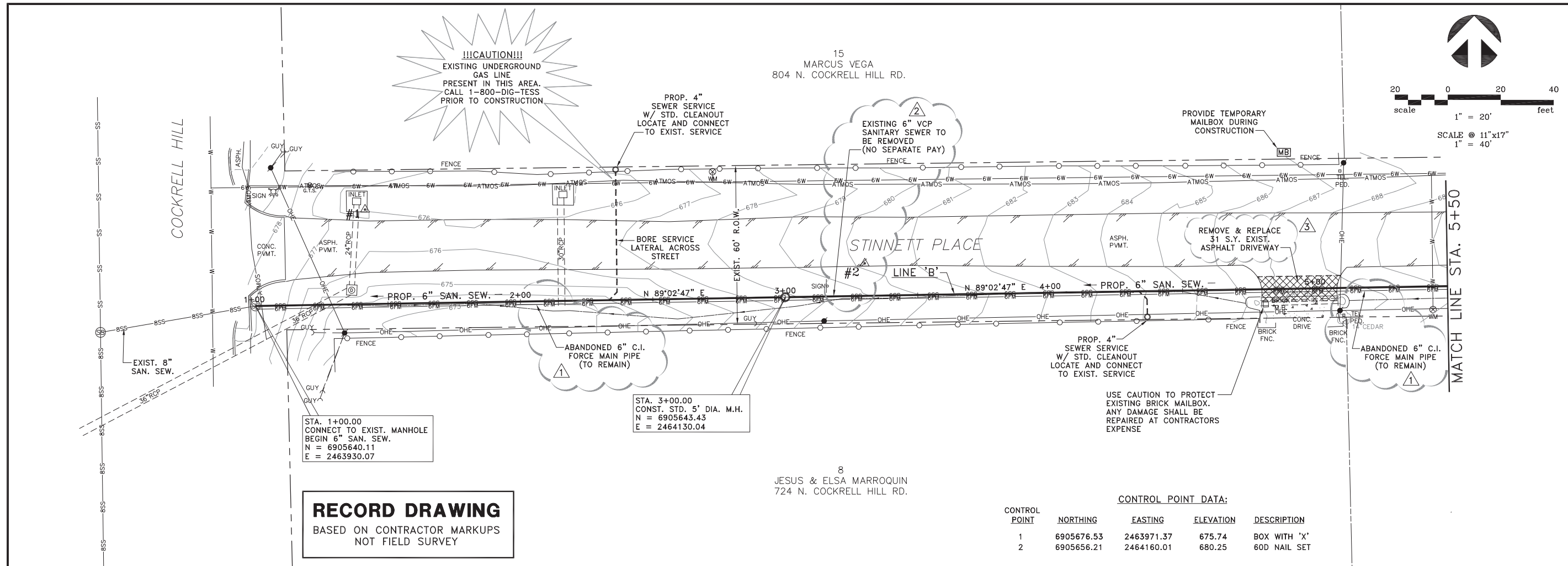
HEATH CREEK BASIN  
SANITARY SEWER REPLACEMENT  
LINE 'A' - REEDSPORT PLACE  
PLAN & PROFILE - STA. 6+00 TO END

**CITY OF DESOTO**

DATE:	SEPTEMBER 2024
SCALE:	1"=20'(H) 1"=6'(V)
DRAWN BY:	G&A
DESIGN:	BRG
REVIEWED:	BRG
JOB NO:	1165-12
DWG:	1165SSPP02

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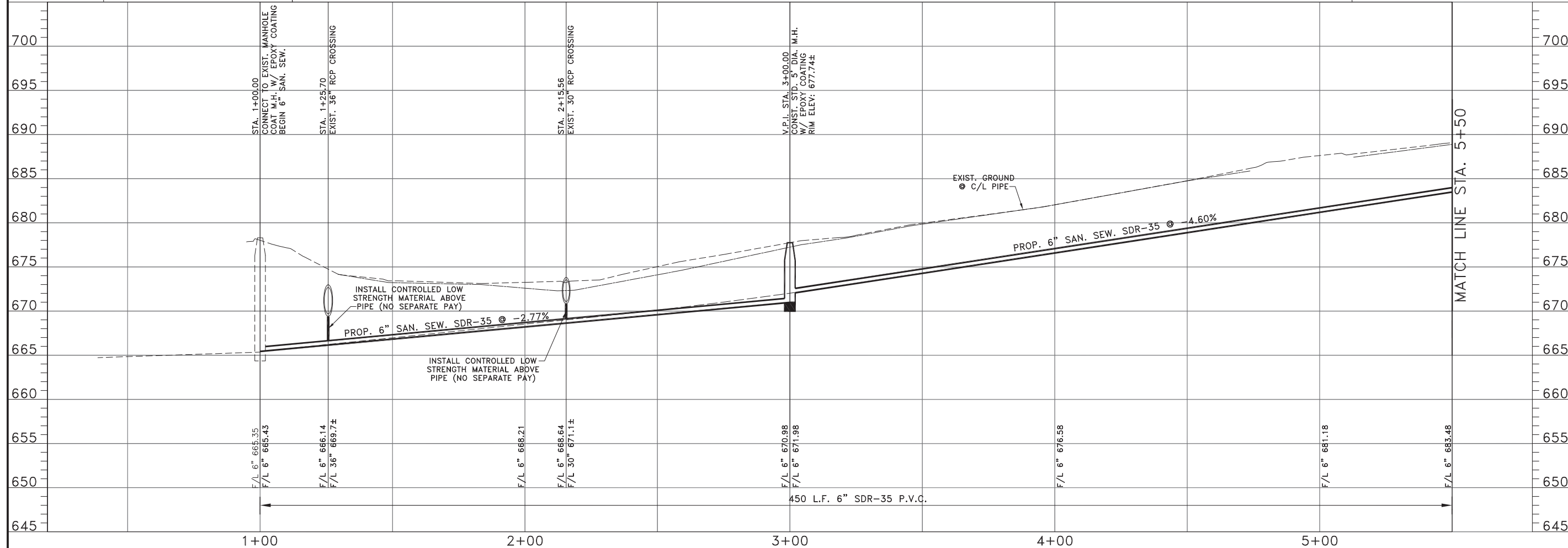
**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

STA. 3+00.00  
 CONST. STD. 5" DIA. M.H.  
 N = 6905643.43  
 E = 2464130.04

STA. 1+00.00  
 CONNECT TO EXIST. MANHOLE  
 BEGIN 6" SAN. SEW.  
 N = 6905640.11  
 E = 2463930.07

**CONTROL POINT DATA:**

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6905676.53	2463971.37	675.74	BOX WITH 'X'
2	6905656.21	2464160.01	680.25	60D NAIL SET



15  
 MARCUS VEGA  
 804 N. COCKRELL HILL RD.

8  
 JESUS & ELSA MARROQUIN  
 724 N. COCKRELL HILL RD.

SCALE: 1" = 20'  
 1" = 40'

SCALE: 1" = 20'  
 1" = 40'

MP  
 7/24/25  
 7/30/25  
 12/3/25

MP  
 ADDED ABANDONED FORCE MAIN  
 REMOVED CALLOUT

MP  
 CONTRACTOR MARK-UPS

NO.  
 4  
 5  
 6

DATE

REVISION

APPROV.

GRANTHAM & ASSOCIATES  
 F-005438

STATE OF TEXAS  
 HOLLY PIERSON  
 98621  
 12/3/2025

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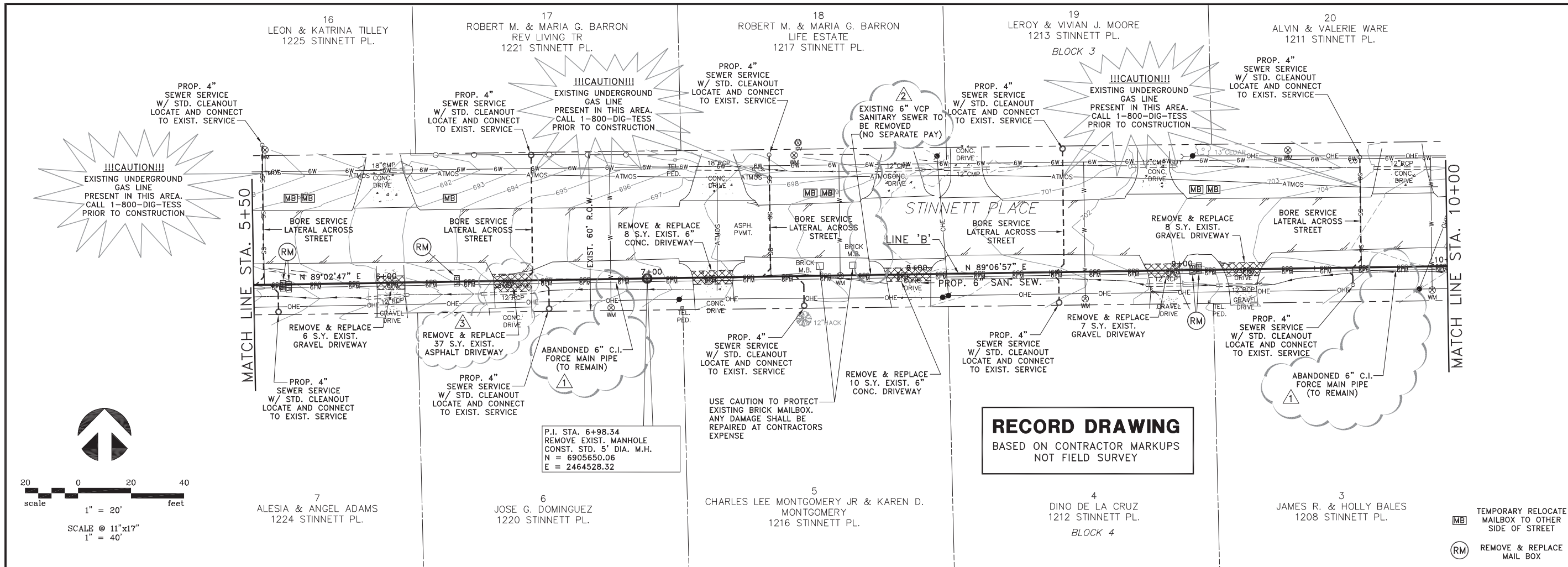
HEATH CREEK BASIN  
 SANITARY SEWER REPLACEMENT  
 LINE 'B' - STINNETT PLACE  
 PLAN & PROFILE - STA. 0+00 STA. TO 5+50

**CITY OF DESOTO**

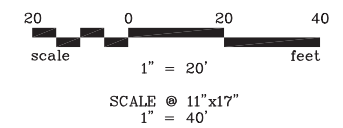
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 DRAWN BY: G&A  
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 REVIEWED: BRG  
 JOB NO: 1165-12  
 DWG: 1165SSPP03

SHEET  
 OF  
 8  
 12

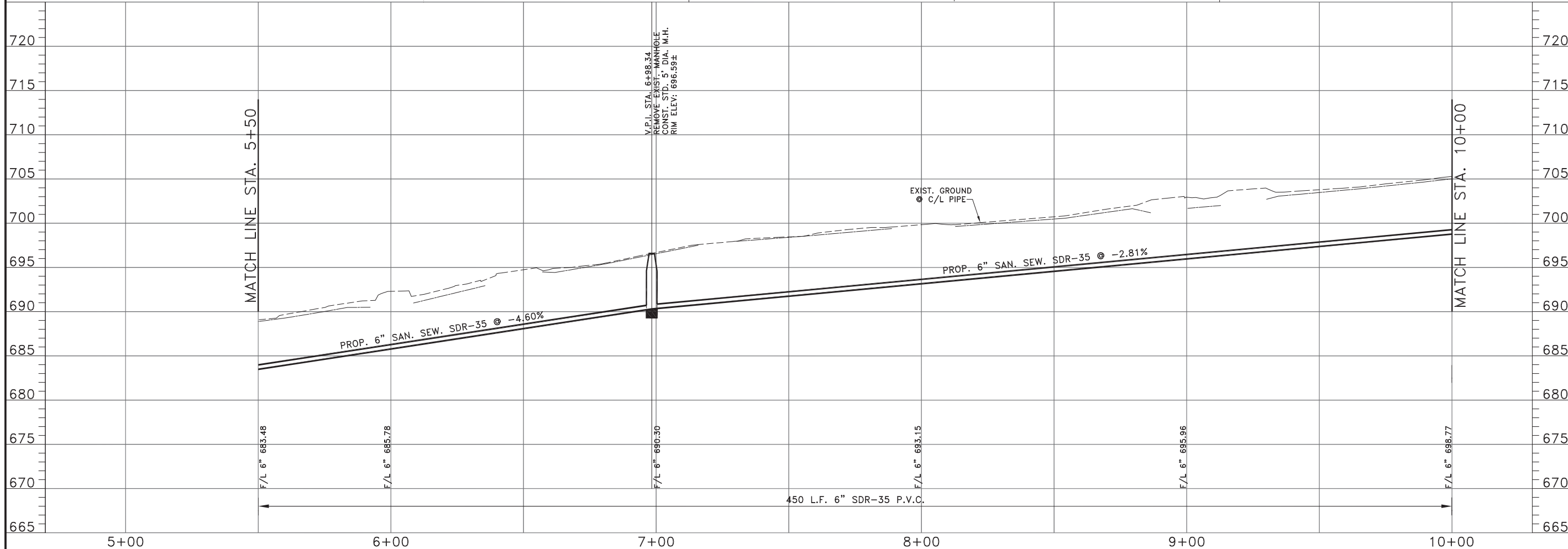
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**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY



P.I. STA. 6+98.34  
 REMOVE EXIST. MANHOLE  
 CONST. STD. 5' DIA. M.H.  
 N = 6905650.06  
 E = 2464528.32



TEPELS ENGR. F-5438; SURV. F-10127900

**Grantham & Associates**  
 An LJB Engineering Company

6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2  
 GARLAND, TEXAS 75044

(972) 864-2333 (TEL)  
 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1	7/24/25	ADDED ABANDONED FORCE MAIN	
2	7/30/25	ADDED EXIST. 6" SAN. SEW. REMOVAL CALLOUT	
3	12/3/25	CONTRACTOR MARK-UPS	
4			
5			
6			

GRANTHAM & ASSOCIATES  
 F-005438

MOLLY PIERSON  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 98621

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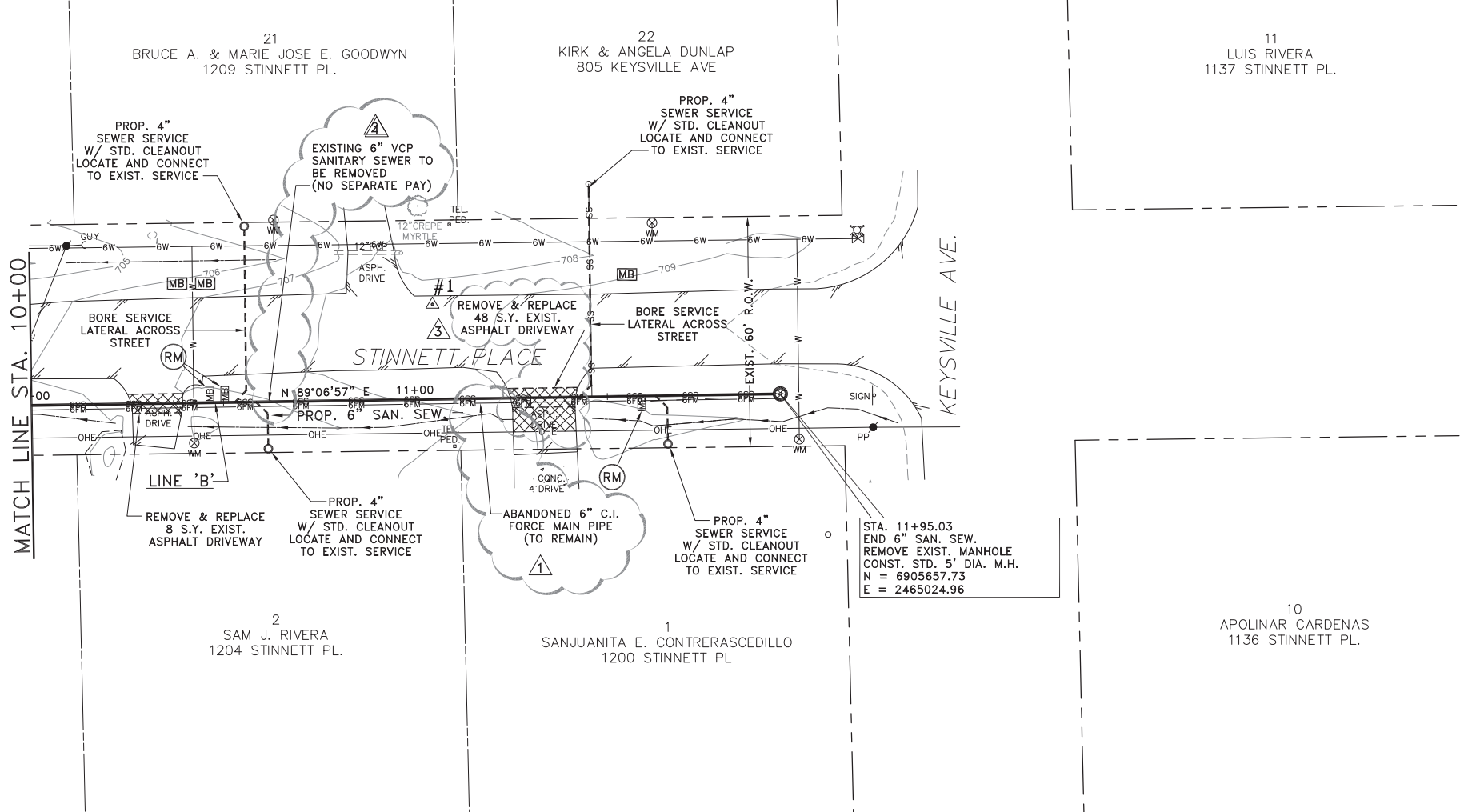
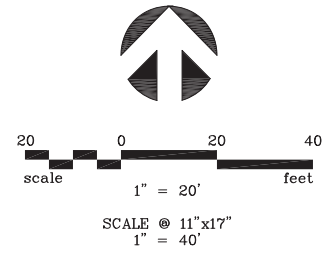
HEATH CREEK BASIN  
 SANITARY SEWER REPLACEMENT  
 LINE 'B' - STINNETT PLACE  
 PLAN & PROFILE - STA. 5+50 STA. TO 10+00

**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE: 1"=20'(H) 1"=6'(V)  
 DRAWN BY: G&A  
 DESIGN: BRG  
 REVIEWED: BRG  
 JOB NO: 1165-12  
 DWG: 1165SSPP04

SHEET  
 OF  
 9  
 12

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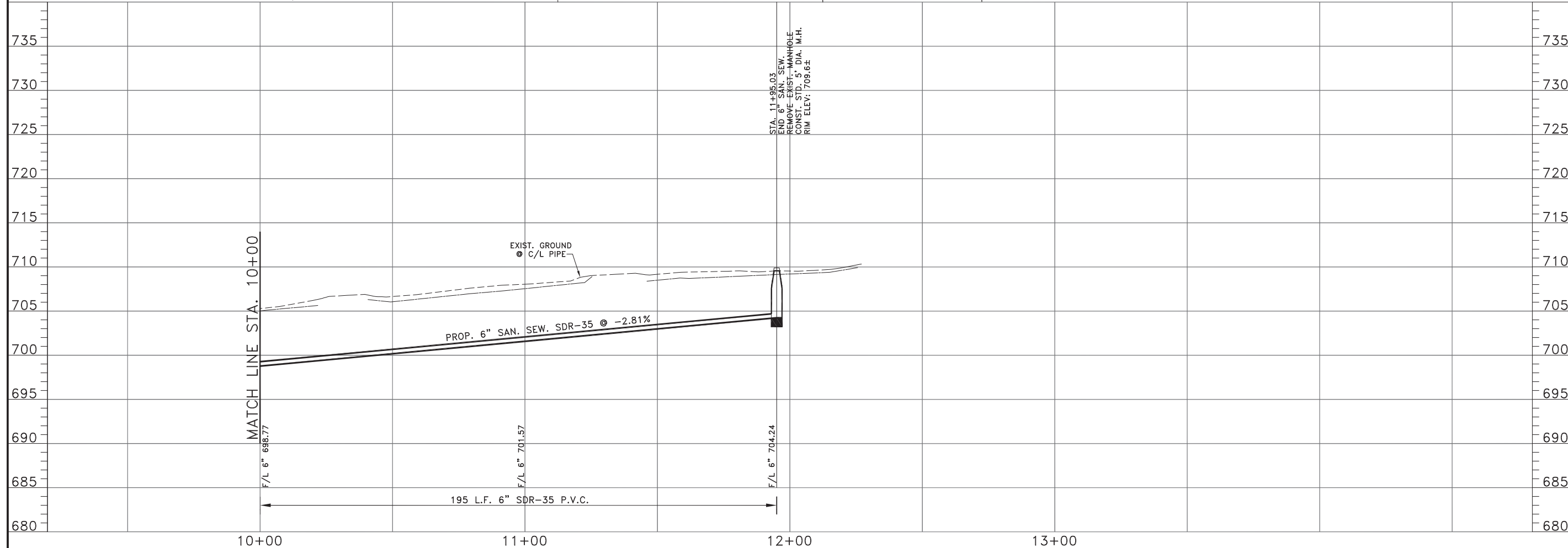


**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

**MB** TEMPORARY RELOCATE MAILBOX TO OTHER SIDE OF STREET  
**RM** REMOVE & REPLACE MAIL BOX

CONTROL POINT DATA:

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6905681.03	2464934.37	708.70	60D NAIL SET



TEPELS ENGR. F-5438; SURV. F-10127900

**Grantham & Associates**  
 An LJB Engineering Company

6570 NAAAMAN FOREST BLVD., SUITE 200, LB. 2  
 GARLAND, TEXAS 75044

(972) 864-2333 (TEL)  
 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1	7/24/25	ADDED ABANDONED FORCE MAIN	MP
2	7/30/25	ADDED EXIST. 6" SAN. SEW. REMOVAL CALLOUT	MP
3	12/3/25	CONTRACTOR MARK-UPS	MP
4			
5			
6			

GRANTHAM & ASSOCIATES  
 F-005438

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:  
 MOLLY PIERSON  
 ON 12/3/2025.  
 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

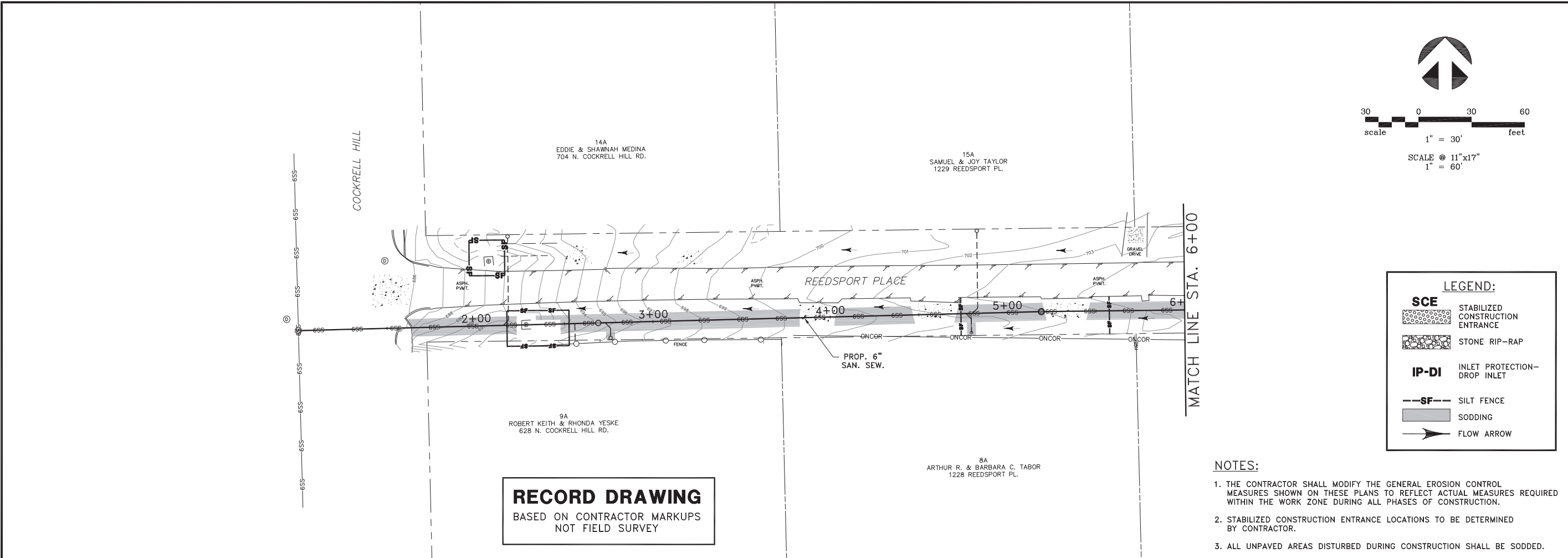
HEATH CREEK BASIN  
 SANITARY SEWER REPLACEMENT  
 LINE 'B' - STINNETT PLACE  
 PLAN & PROFILE - STA. 10+00 STA. TO END

**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE: 1"=20'(H) 1"=6'(V)  
 DRAWN BY: G&A  
 DESIGN: BRG  
 REVIEWED: BRG  
 JOB NO: 1165-12  
 DWG: 1165SSPP05

SHEET  
 OF  
 10  
 12

J:\1165-12\Drawings\1165HEATHCREEK-EROSION02-RECORD.dwg, 4/9/2026 10:04:43 AM

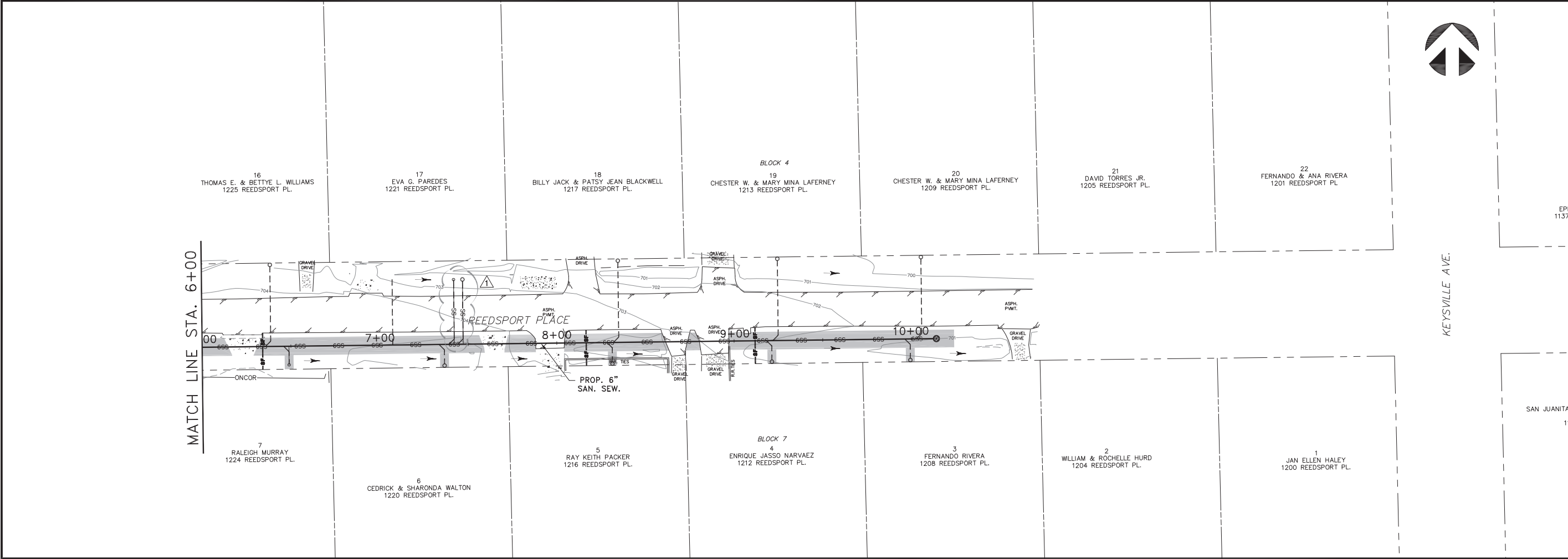


**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY

**LEGEND:**

	<b>SCE</b>	STABILIZED CONSTRUCTION ENTRANCE
		STONE RIP-RAP
	<b>IP-DI</b>	INLET PROTECTION-DROP INLET
	<b>SF</b>	SILT FENCE
		SODDING
		FLOW ARROW

- NOTES:**
1. THE CONTRACTOR SHALL MODIFY THE GENERAL EROSION CONTROL MEASURES SHOWN ON THESE PLANS TO REFLECT ACTUAL MEASURES REQUIRED WITHIN THE WORK ZONE DURING ALL PHASES OF CONSTRUCTION.
  2. STABILIZED CONSTRUCTION ENTRANCE LOCATIONS TO BE DETERMINED BY CONTRACTOR.
  3. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SODDED.



TEPELS ENGR. F-5438; SURV. F-10127900

**Grantham & Associates**  
 An LJB Engineering Company

6570 NAAAMAN FOREST BLVD., SUITE 200, LB. 2  
 GARLAND, TEXAS 75044

(972) 864-2333 (TEL)  
 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1	12/3/25		
2			
3			
4			
5			
6			

GRANTHAM & ASSOCIATES  
 F-005438

STATE OF TEXAS  
 MOLLY PIERSON  
 98621  
 REGISTERED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:  
 MOLLY PIERSON  
 ON 12/3/2025.  
 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**HEATH CREEK BASIN**  
**SANITARY SEWER REPLACEMENT**  
**REEDSPORT PLACE**  
**EROSION CONTROL**

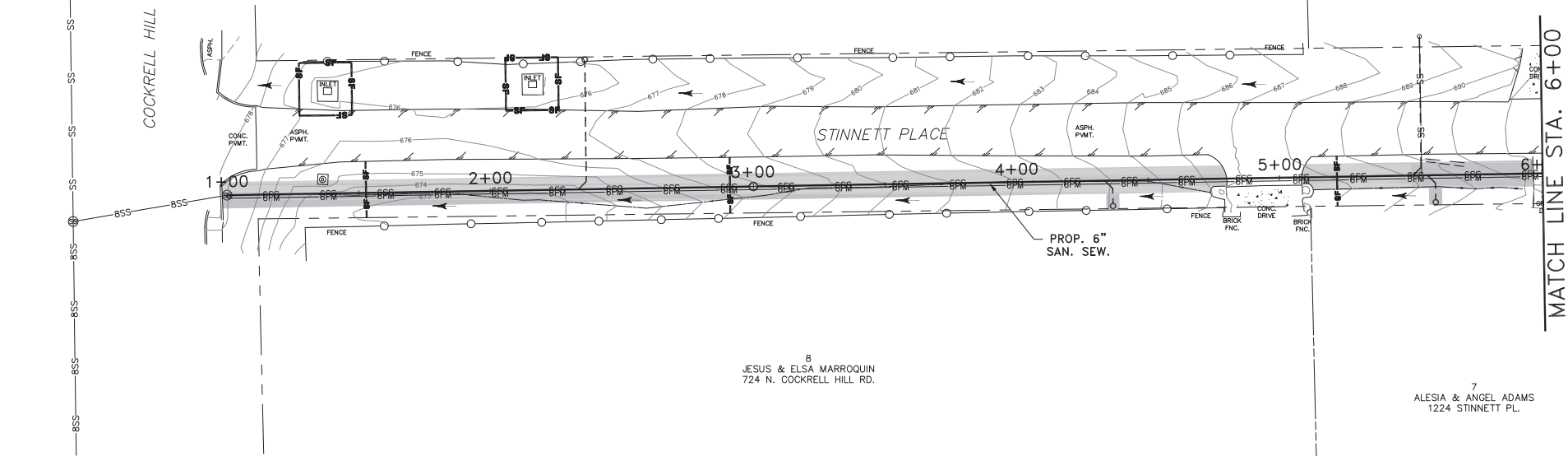
**CITY OF DESOTO**

DATE: SEPTEMBER 2024  
 SCALE:  
 DRAWN BY: G&A  
 DESIGN: BRG  
 REVIEWED: BRG  
 JOB NO: 1165-12  
 DWG:

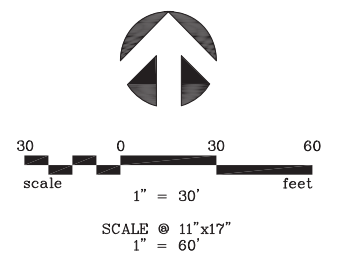
11 SHEET OF 12

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**RECORD DRAWING**  
 BASED ON CONTRACTOR MARKUPS  
 NOT FIELD SURVEY



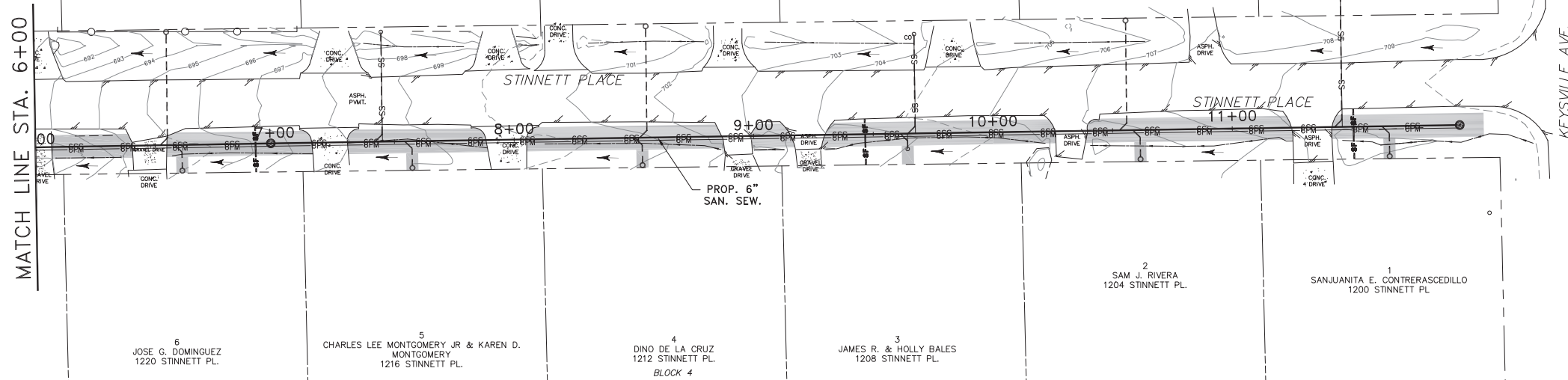
MATCH LINE STA. 6+00



**LEGEND:**

	<b>SCE</b>	STABILIZED CONSTRUCTION ENTRANCE
		STONE RIP-RAP
	<b>IP-DI</b>	INLET PROTECTION-DROP INLET
	<b>SF</b>	SILT FENCE
		SODDING
		FLOW ARROW

- NOTES:**
1. THE CONTRACTOR SHALL MODIFY THE GENERAL EROSION CONTROL MEASURES SHOWN ON THESE PLANS TO REFLECT ACTUAL MEASURES REQUIRED WITHIN THE WORK ZONE DURING ALL PHASES OF CONSTRUCTION.
  2. STABILIZED CONSTRUCTION ENTRANCE LOCATIONS TO BE DETERMINED BY CONTRACTOR.
  3. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SODDED.



MATCH LINE STA. 6+00



TEPELS ENGR. F-5438; SURV. F-10127900

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 GARLAND, TEXAS 75044

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 (972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
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GRANTHAM & ASSOCIATES  
 F-005438

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**HEATH CREEK BASIN  
 SANITARY SEWER REPLACEMENT  
 STINNETT PLACE  
 EROSION CONTROL**

**CITY OF DESOTO**

DATE:	SEPTEMBER 2024
SCALE:	
DRAWN BY:	G&A
DESIGN:	BRG
REVIEWED:	BRG
JOB NO:	1165-12
DWG:	

SHEET OF 12

**City Council Meeting**

**F. 7.**

**Meeting Date:** 05/05/2026

**Submitted For:** Wade Williams, Street Supervisor

**Also Contact:** Lisa Mendoza

**Phone:** (972) 230-7319

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**COUNCIL ACTION**

**AGENDA ITEM:**

Consider authorizing the City Manager to negotiate and execute a purchase contract with Sam Pack's Five Star Ford for the acquisition of one 2025 Ford Police Interceptor vehicle for the Police Department, in the amount of \$65,762.60

**BACKGROUND:**

The new vehicle will replace a unit that was involved in a collision and subsequently declared a total loss. The vehicle is damaged beyond repair and has been deemed totaled by the City's insurance carrier. Funding for this replacement will be provided through the City's Claim Settlement Fund, which is maintained by the Risk Manager and consists of insurance reimbursement proceeds designated for the replacement of City vehicles to help ensure vehicles are replaced when necessary.

**FINDINGS:**

The replacement vehicle will be a new 2025 Ford Police Interceptor for the Police Department, in the amount of \$65,762.60, to be purchased from Sam Pack's Five Star Ford through the Houston-Galveston Area Council cooperative purchasing contract (H-GAC VE05-24). The vehicle will be assigned to the Police Department.

**FINANCIAL IMPACT:**

The purchase of this new/replacement vehicle will be charged to the FY 2026 Budget/Liability Insurance Fund 107/Account #107-10-99-910-55555-0000-0000. The total cost is \$65,762.60. The funding source is the Claim Settlement Fund (Fund 107). Funding is budgeted and available for this expenditure in the FY 2026 budget.

The cost includes the purchase of the new vehicle, removal of reusable police equipment from the totaled vehicle, reinstallation of that equipment into the new vehicle, attaching graphics to the new vehicle, and replacement of any damaged police equipment.

**RECOMMENDATION:**

Staff recommends the City Council authorize the City Manager to negotiate and execute a purchase contract with Sam Pack's Five Star Ford for the acquisition of a 2025 Ford Police Interceptor vehicle for the Police Department, in the amount of \$65,762.60

**MANAGEMENT REVIEW**

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**Attachments**

Desoto Wreck Swap







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**COUNCIL ACTION**

**AGENDA ITEM:**

Consider adopting an Ordinance amending the City of Desoto Code of Ordinances by amending Chapter 13 “Utilities” by amending Article 13.800 “Garbage, Trash and Refuse” by amending Section 13.801 “Definitions” by amending “Residential Collection”; by amending and renaming Section 13.809 to “Placing of Brush and Bulky Waste” to provide specific times for placement of brush and bulky waste by the curb; by adding a new Section 13.818 titled “Penalty and Administrative Fee”

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 13 “UTILITIES” BY AMENDING ARTICLE 13.800 “GARBAGE, TRASH AND REFUSE” BY AMENDING SECTION 13.801 “DEFINITIONS” BY AMENDING “RESIDENTIAL COLLECTION”; BY AMENDING AND RENAMING SECTION 13.809 TO “PLACING OF BRUSH AND BULKY WASTE” TO PROVIDE SPECIFIC TIMES FOR PLACEMENT OF BRUSH AND BULKY WASTE BY THE CURB; BY ADDING A NEW SECTION 13.818 TITLED “PENALTY AND ADMINISTRATIVE FEE” TO PROVIDE PENALTIES FOR VIOLATION OF ARTICLE 13.800; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY CLAUSE OF FINE NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS (\$500.00); AND PROVIDING FOR AN EFFECTIVE DATE**

**BACKGROUND:**

The City undertook a comprehensive restructuring of the City of DeSoto's Brush and Bulk Collection Program beginning in mid FY 2025. The objective of the restructuring effort was to establish a predictable, equitable, and enforceable collection process that improves service delivery for all residential customers while reducing operational inefficiencies for both the City and its contracted waste hauler. A pilot program was conducted from September 1 through December 31, 2025, using a quadrant-based collection model. The Week 2 quadrant was selected for the pilot, which was designed to test operational logistics communication effectiveness, and resident understanding of the new collection model before broader implementation.

The full quadrant-based Brush and Bulk Collection Program was launched citywide on January 1, 2026, with the following parameters:

- Each residential property is assigned a designated collection week per month based on its geographic quadrant (Week 1, Week 2, Week 3, or Week 4).
- Residents may set out up to 10 cubic yards of brush or bulky material during their assigned week.
- The set-out window opens at 6:00 p.m. on the Friday before the designated collection week and

closes at 7:00 a.m. on the Monday of the designated week.

A four-month grace period was allowed from January through April 2026. During this period, no enforcement actions were taken against noncompliant set-outs. Instead, focus was placed on resident education, corrective guidance, and reinforcement of set-out rules.

**FINDINGS:**

In order to ensure compliance with the rules of the new Brush and Bulk Collection Program, the proposed ordinance makes the following revisions to Article 13.800:

- Renames Section 13.809 to “Placing of Brush and Bulky Waste.
- Establishes specific time windows for curb placement of brush and bulky items:
  - Not before 6:00 p.m. on the Friday prior to a resident’s designated collection week.
  - No later than 7:00 a.m. on the Monday of the designated collection week.
- Requires all materials to be placed between the curblines and sidewalk and away from power lines.

The ordinance also creates a new Section 13.818 “Removal Fee,” which authorizes the City to assess a \$35.00 per cubic yard fee for the removal of brush or bulky items by the City of DeSoto:

- For piles that are placed out before the designated time or
- When brush or bulk piles exceed the monthly 10 cubic yard limit.

The ordinance also authorizes the removal fee to be added to the customer's water bill.

**FINANCIAL IMPACT:**

Residents will be charged a \$35 per cubic yard fee for the removal of brush or bulky items that are not in compliance with the ordinance.

**RECOMMENDATION:**

Staff recommends the City Council approve an ordinance amending the City of Desoto Code of Ordinances by amending Chapter 13 “Utilities” by amending Article 13.800 “Garbage, Trash and Refuse” by amending Section 13.801 “Definitions” by amending “Residential Collection”; by amending and renaming Section 13.809 to “Placing of Brush and Bulky Waste” to provide specific times for placement of brush and bulky waste by the curb; by adding a new Section 13.818 titled “Penalty and Administrative fee.

**MANAGEMENT REVIEW**

---

**Attachments**

Ordinance

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**ORDINANCE**

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 13 "UTILITIES" BY AMENDING ARTICLE 13.800 "GARBAGE, TRASH AND REFUSE" BY AMENDING SECTION 13.801 "DEFINITIONS" BY AMENDING "RESIDENTIAL COLLECTION"; BY AMENDING AND RENAMING SECTION 13.809 TO "PLACING OF BRUSH AND BULKY WASTE" TO PROVIDE SPECIFIC TIMES FOR PLACEMENT OF BRUSH AND BULKY WASTE BY THE CURB; BY ADDING A NEW SECTION 13.818 TITLED "PENALTY AND ADMINISTRATIVE FEE" TO PROVIDE PENALTIES FOR VIOLATION OF ARTICLE 13.800; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY CLAUSE OF FINE NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS (\$500.00); AND PROVIDING FOR AN EFFECTIVE DATE.**

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS:**

**SECTION 1.** That the Code of Ordinances of the City of DeSoto, Texas is hereby amended by amending Chapter 13 "Utilities" by amending Article 13.800 "Garage, Trash and Refuse" by amending Section 13.801 "Definitions" by amending "Residential Collection"; by amending and renaming Section 13.809 to "Placing of Brush and Bulky Waste" and by adding a new Section 13.808 titled "Penalty," to read as follows:

**"CHAPTER 13**

...

**ARTICLE 13.800 GARBAGE, TRASH AND REFUSE**

**§13.801 Definitions.**

...

**Residential Collection.**

...

**AMEND (3):**

**(3)** Residents will be allowed to dispose of up to ten (10) cubic yards of brush and/or bulky waste combined one time per month.

...

**AMEND**

**§13.809 Placing of Brush and Bulky Waste.**

Brush and/or bulky waste shall not be placed at the curb before 6:00 p.m. on the Friday prior to their designated residential collection week and no later than 7:00 a.m. on the Monday of their designated residential collection week. Up to 10 cubic yards of brush and/or bulky waste to be collected shall be placed between the curblines and the sidewalk and away from power lines.

...

**ADD**

**§13.818 Penalty and Administrative Fee.**

(a) Any person found to be in violation of any provision of this article shall be punished in accordance with the general penalty provisions found in Section 1.06 of this code.

(b) If brush and/or bulky waste items are placed out before the designated time set forth in this article, or brush and/or bulky waste items exceed 10 cubic yards, the city shall assess a removal administrative fee of \$35.00 per cubic yard. The administrative fee shall be added to the customer's water bill."

**SECTION 2.** That all provisions of the Ordinances of the City of DeSoto in conflict with the provisions of this Ordinance be and the same are hereby repealed, and all other provisions of the Ordinances of the City of DeSoto not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**SECTION 3.** That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional.

**SECTION 4.** An offense committed before the effective date of this ordinance is governed by prior law and the provisions of the Ordinances of the City of DeSoto, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 5.** That any person, firm, or corporation violating any provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the City of DeSoto, as heretofore amended and upon conviction shall be punished by a fine not exceeding Five Hundred Dollars (\$500.00) for each offense.

**SECTION 6.** This Ordinance shall take effect from and after its passage as the

law and charter in such cases provides.

**IT IS ACCORDINGLY SO ORDAINED.**

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
DESOTO, TEXAS ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.**

**APPROVED:**

\_\_\_\_\_  
Rachel L. Proctor, Mayor

**ATTEST:**

\_\_\_\_\_  
Sofine Lewis-Aubrey, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Joseph J. Gorfida, Jr., City Attorney  
(04-28-2026: FINAL 4916-0551-3636, v. 1)

## City Council Meeting

G. 1.

**Meeting Date:** 05/05/2026

**Submitted For:** Cambria Jordan, Planning and Zoning Manager

**Also Contact:** Ahmed Alqaisi

**Phone:** 972-230-9672

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## COUNCIL ACTION

### AGENDA ITEM:

Case No. Z-1548-26 - Conduct a public hearing and consider adopting an Ordinance establishing new Planned Development 202 (PD-202), which proposes a base zoning district of Multiple Family (MF) with deviations to allow for the construction of a new subdivision on property located at 214, 220, and 300 N. Westmoreland Rd., DeSoto, Texas. The site is legally described as ZEBEDEE HEATH ABST 562 PG 666 TR 27 (8.427 acres), TR 9 (11.3791 acres), TR 7, and TR 4, and consists of approximately 24.274 acres. The property is located north of W. Belt Line Road, along the east side of N. Westmoreland Road, west of S. Nursery Road, and adjacent to the existing residential subdivision along Olympia Street, Glacier Street, and Shasta Drive. The applicant is Josh Eadie and the property owner is Equity Trust Company

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF DESOTO, TEXAS, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE USE AND DEVELOPMENT OF 19.880± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15) AND 4.393± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15), BY CHANGING THE CURRENT ZONING TO PLANNED DEVELOPMENT NO. 202 (PD-202) WITH A BASE ZONING OF MULTIPLE-FAMILY DISTRICT (MF) WITH DEVIATIONS TO ALLOW FOR A VARIETY OF DWELLINGS CONSISTING OF TWO-FAMILY DWELLING (DUPLEX) AND SINGLEFAMILY DWELLING VARIATIONS WITHIN A SINGLE MULTIFAMILY RESIDENTIAL COMPLEX; ADOPTING DEVELOPMENT REGULATIONS INCLUDING A SITE CONCEPT PLAN; PROVIDING FOR A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)**

### BACKGROUND:

#### SUMMARY:

##### 1. Location and Size

The property is located north of W. Belt Line Road, along the east side of N. Westmoreland Road, west of S. Nursery Road, and is addressed as 214, 220, and 300 N. Westmoreland Rd., and consists of approximately 24.274 acres.

##### 2. Current Zoning

The subject site is currently zoned Single-Family Residential - 15,000 (SF-15).

<b>Direction</b>	<b>Zoning</b>	<b>Existing use</b>
North	Single-Family Residential 9,000 (SF-9)	Single-Family Residential
South	Single-Family Residential 15,000 (SF-15)	Single-Family Residential
East	Planned Development (PD-109) (SF-8, SF-10, SF-12, NS & SFA Base Zoning)	Single-Family Residential
West	Planned Development (PD-97) & Single-Family Residential 20,000 (SF-20)	Single-Family Residential

**3. Adjacent Zoning and Land Uses**

This 24.274 acre tract of land is currently undeveloped. The existing zoning for the surrounding properties is shown above.

**4. Comprehensive Plan Compatibility**

The 2024 Comprehensive Plan’s Future Land Use Plan designates this area as Medium Density Residential. Medium Density Residential areas are primarily made up of single-family attached homes, including townhomes, duplexes, triplexes, and fourplexes, with an intended density of five to eight dwelling units per acre. Detached homes are also permitted within this designation. The proposed Planned Development 202 (PD-202) with a Multiple Family (MF) base zoning district is consistent with this designation, as it allows duplexes and detached homes, with all units intended for rent or lease.

**5. Thoroughfare Plan Conformance**

The subject property is accessible from N. Westmoreland Road, a two-lane arterial roadway identified in the 2024 Master Thoroughfare Plan, ensuring adequate access and circulation to support the proposed development.

**6. Zoning Request Analysis**

The applicant requests a Planned Development (PD) with a base zoning district of Multiple Family (MF) and associated deviations to allow for the construction of a subdivision. The 2024 Comprehensive Plan’s Future Land Use Plan designates this area as Medium Density Residential. This designation supports a range of housing types, including duplexes, triplexes, fourplexes, townhomes, and other attached or small-scale multifamily products, with an intended density of five to eight dwelling units per acre.

The proposed Planned Development (PD-202) with a Multiple Family (MF) base zoning district is generally consistent with this designation. The development anticipates approximately 200 dwelling units on a 24.274-acre site, resulting in a density of approximately 8.2 dwelling units per acre, which is in line with the upper end of the Medium Density Residential range.

Under the Multiple Family (MF) zoning district, development standards allow for a mix of housing types; however, there is a specific requirement that single-family or duplex units constructed within the district must conform to SF-10 and 2F District standards, respectively. The applicant proposes to meet the intent of these standards while requesting limited deviations to accommodate the overall PD layout and design.

Furthermore, the Comprehensive Plan emphasizes the importance of promoting high-quality residential development that expands housing options and meets evolving community needs. The proposed PD

supports these objectives by introducing a mix of duplex and detached rental housing, contributing to a more diverse and attainable housing stock. The development is designed to be compatible with surrounding uses while maintaining appropriate density and site design. Overall, the request remains consistent with the Comprehensive Plan's goals for housing variety, density, and neighborhood integration.

**PUBLICATION REQUIREMENTS:**

Notices were mailed to all property owners within 200 feet and 201–400 feet of the property proposed for rezoning in accordance with applicable requirements. A "Notice of Public Hearing" was also published in the local *Daily Commercial Record*, the City's official newspaper of general circulation, as required by both the Texas Local Government Code and the City of DeSoto Zoning Ordinance.

The public hearing notice for the April 28, 2026, Planning and Zoning Commission meeting and the May 5, 2026, City Council meeting was published on Friday, April 10, 2026.

To date, zero (0) replies were received in favor of the request and zero (0) replies were received in opposition.

**FINDINGS:**

N/A

**FINANCIAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends that the DeSoto City Council adopt an ordinance establishing Planned Development 202 (PD-202), with a base zoning district of Multiple Family (MF), with deviations to allow the development and construction of a residential subdivision on property addressed as 214, 220, and 300 N. Westmoreland Road, DeSoto, Texas, currently zoned Single-Family Residential – 15,000 (SF-15), as presented. The Planning and Zoning Commission considered this request at their April 28, 2026 meeting. (Zoning Case No.: Z-1548-26)

**MANAGEMENT REVIEW**

---

**Attachments**

MASTER THOROUGHFARE PLAN

Future Land Use Map

Zoning Map

Aerial Map

Vicinity Map

2F (Duplex) Zoning Regulations

Single Family Residential District - 10,000 Regulations

Multiple Family (MF) Zoning Regulations

Conceptual Site Plan

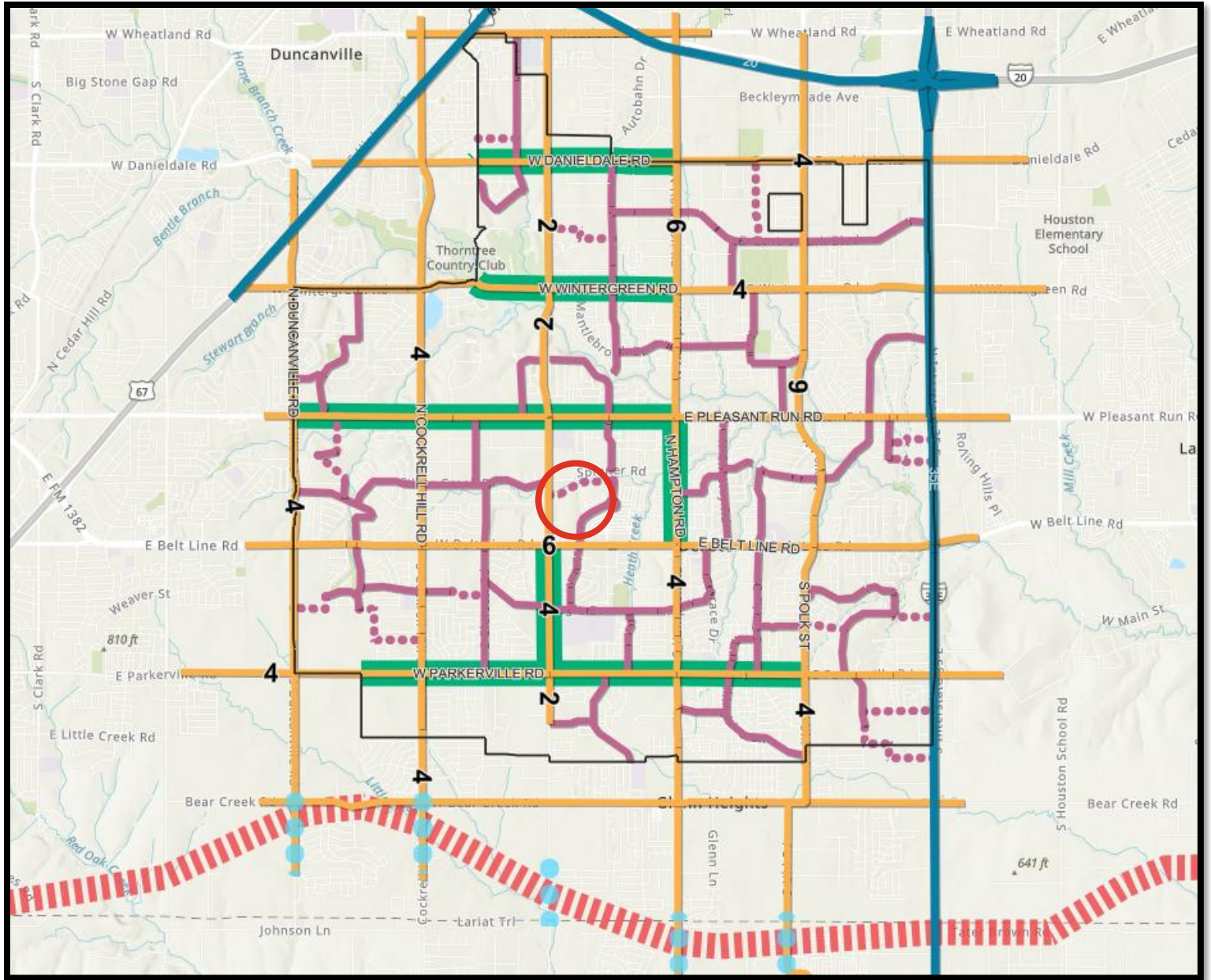
Conceptual Landscape Plan

Conceptual Elevation Plans

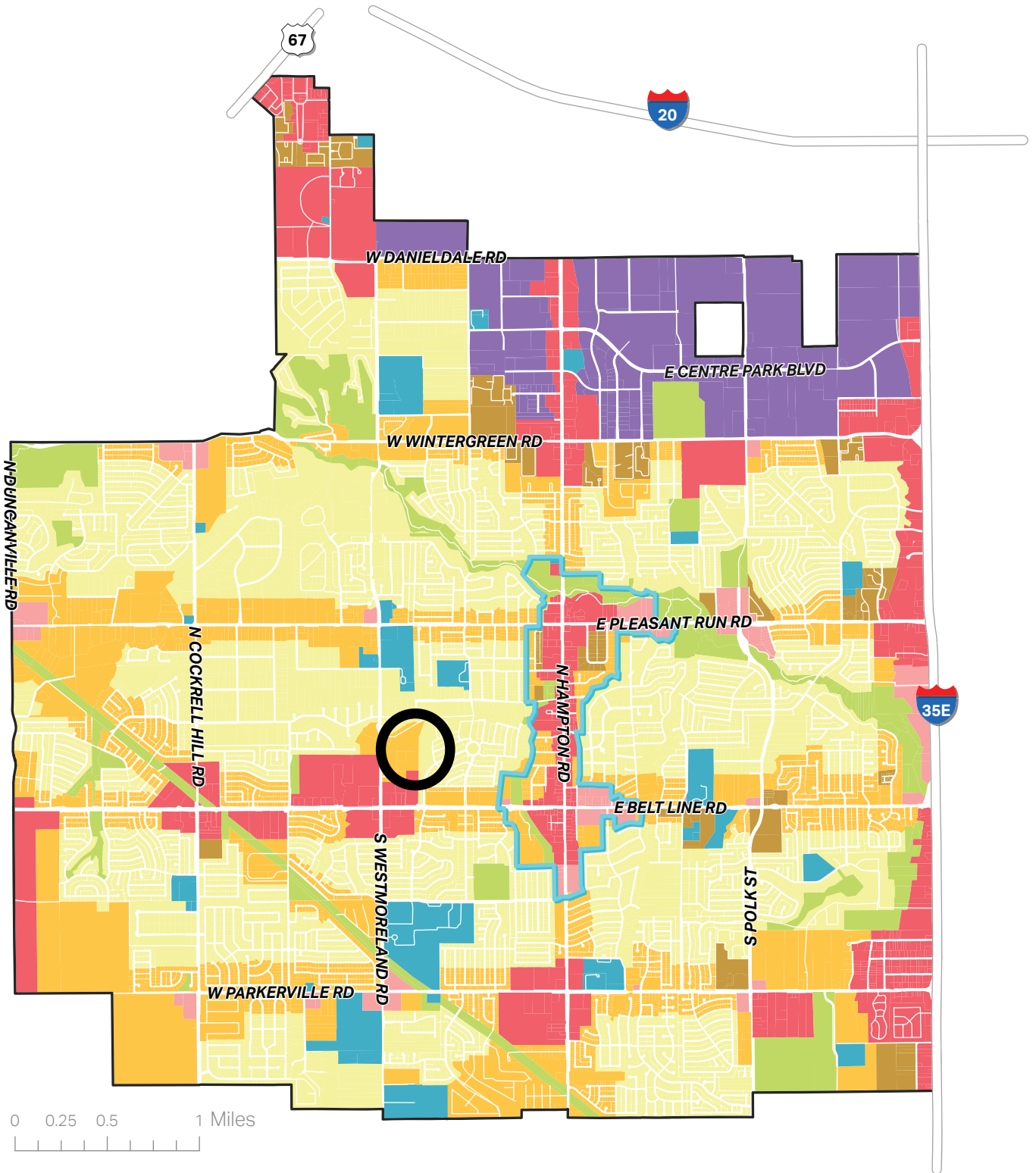
Presentation - Avilla Dogwood

Ordinance

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- Planned Roadway Projects
- ## Number of Ultimate Lanes
- Highway
- Arterial Road
- Collector Road
- Proposed Collector
- Proposed Loop 9
- Loop 9 Access Point



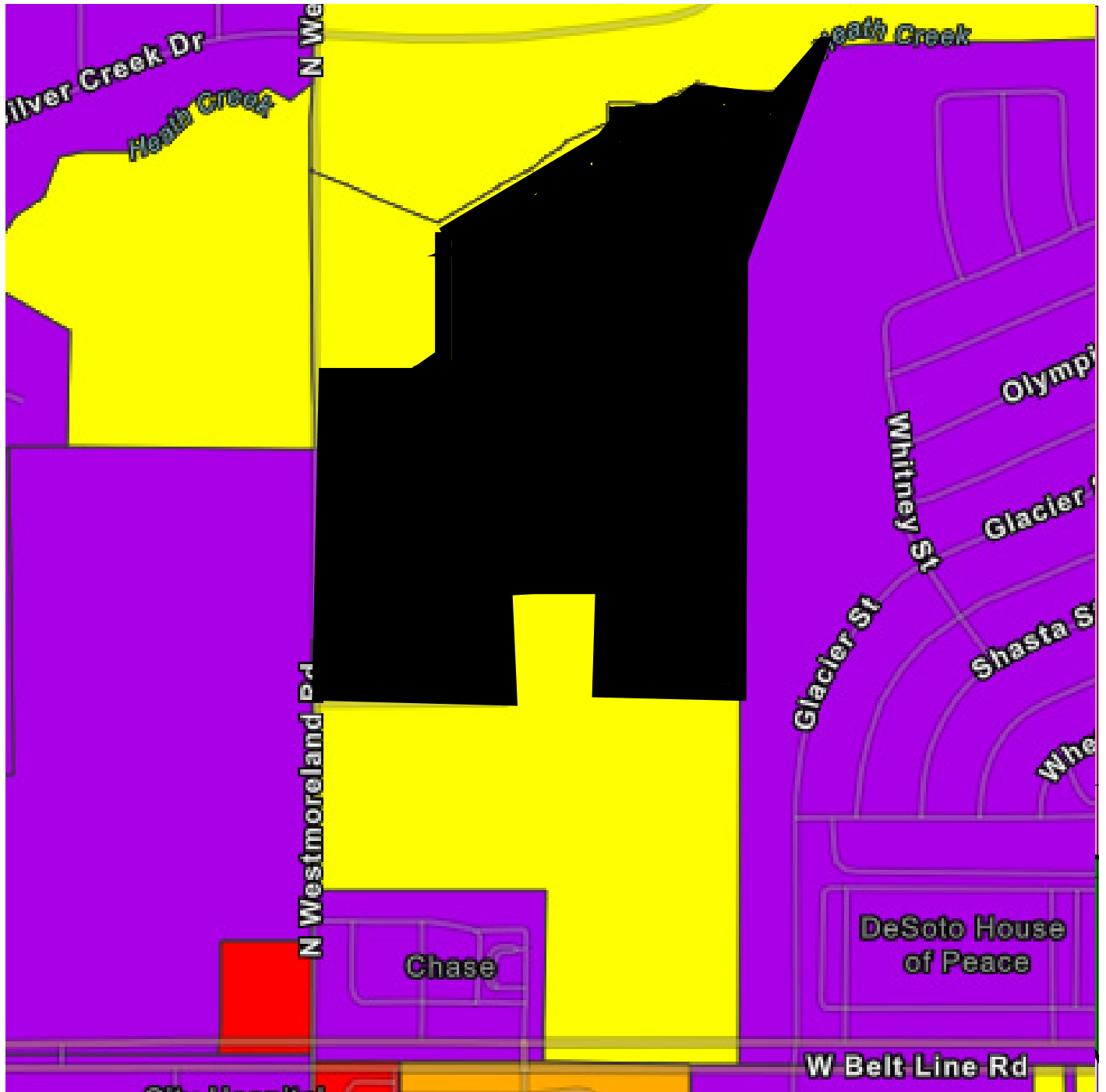
MAP 4.1

## FUTURE LAND USE FRAMEWORK PLAN

- |                            |                       |
|----------------------------|-----------------------|
| DeSoto Municipal Boundary  | Destination Mixed Use |
| Hampton Road Study Area    | Industrial            |
| Low Density Residential    | Public/Semi-Public    |
| Medium Density Residential | Parks & Open Spaces   |
| High Density Residential   |                       |
| Neighborhood Mixed Use     |                       |

*Note: The Future Land Use Map shall not constitute zoning regulations or establish zoning district boundaries.*

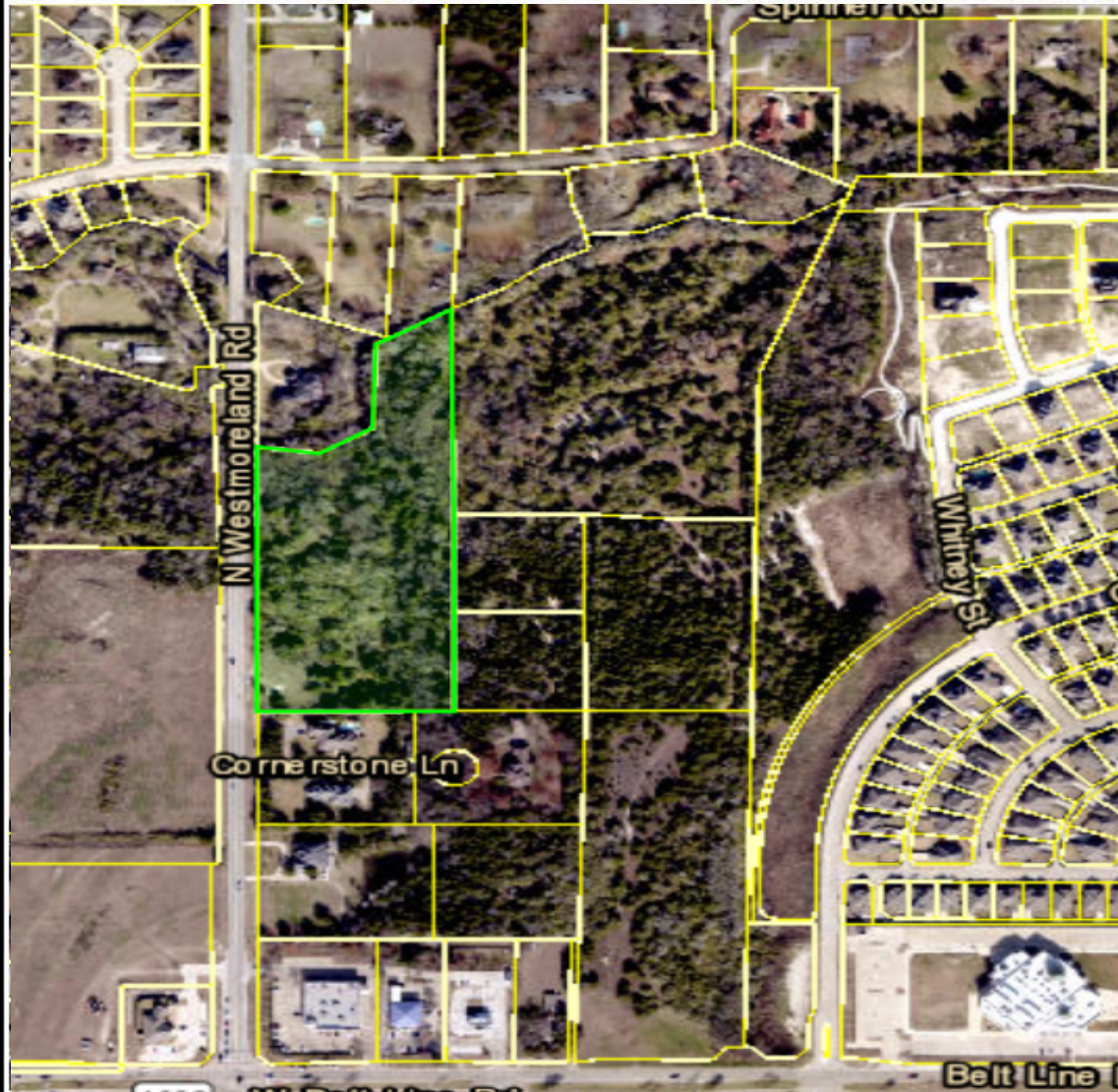
# City of DeSoto Zoning Case Z-1548-26



## Zoning Map

- Planned Development
- Single-Family
- General Retail
- Zone Applicant
- City Limits

# City of DeSoto ZONING CASE: Z-1548-26



## Aerial Map

-  Zone Applicant
-  City Limits



## SECTION 22      2F - TWO FAMILY RESIDENTIAL DISTRICT (DUPLEX)

### 22.1    GENERAL PURPOSE AND DESCRIPTION:

The 2F, Two Family Residential is intended to promote stable, quality multiple-occupancy residential development at slightly increased densities. Individual ownership of the two family or duplex units is encouraged. This District may be included within single family neighborhoods, or, when in accordance with the intent of the Comprehensive Plan, may provide a "buffer" or transition district between lower density residential areas and higher density or non-residential areas, or major thoroughfares.

### 22.2    PERMITTED USES:

1.      Those uses specified in Section 36 (Use Charts)
2.      Two-Family residence (duplex)
3.      All uses allowed in the SF-10 Zoning District
4.      Such uses as may be permitted under the provisions of Specific Use Permits, Section 35

### 22.3    HEIGHT REGULATIONS:

#### A.      **Maximum Height**

1.      Two and one-half (2½) stories for the main building. One story for accessory buildings without garages.
2.      Other (Section 43)

### 22.4    AREA REGULATIONS:

#### A.      **Size of Lots:**

1.      **Minimum Lot Area** - Ten thousand (10,000) square feet for each pair of dwelling units or five thousand (5,000) square feet per unit
2.      **Minimum Lot Width** - Eighty feet (80'); forty feet (40') for each dwelling unit
3.      **Minimum Lot Depth** - One hundred twenty feet (120')

#### B.      **Size of Yards:**

1.      **Minimum Front Yard** - Twenty-five feet (25')
2.      **Minimum Side Yard** - Ten feet (10') required; fifteen feet (15') on corner lot adjacent to street
3.      **Minimum Rear Yard** - Twenty feet (20') from a garage or carport to an alley; ten feet (10') to a main building

#### C.      **Maximum Lot Coverage:** Fifty percent (50%) by main buildings

#### D.      **Parking Regulations:**

1.      **Residential Structures** - A minimum of two (2) enclosed spaces for each unit behind the front building line on the same lot as each dwelling unit
2.      **Other** - (See Section 38, Off Street Parking and Loading Requirements)

#### E.      **Minimum Dwelling Area Size** - One thousand two hundred fifty (1,250) square feet for each unit

### 22.5    SPECIAL REQUIREMENTS

- A.      Lots in the 2-F District shall be platted in pairs such that a duplex may be placed on each pair of lots for the purpose of encouraging individual ownership of each side or unit. The subdivision plat shall designate the pairs of lots and which lot lines are to be outside lot lines of each pair. There shall be only one dwelling unit per lot, and no dwelling unit shall cross a designated outside lot line. No single-family detached dwelling may be constructed on one of the designated pair of lots.
- B.      All utilities shall be provided separately to each duplex in a 2-F District such that each unit is individually metered.

- C. Single family dwellings constructed in this District shall conform to the standards as set forth in the SF-10 District.
- D. A preliminary plat is required to be submitted at the time of zoning approval for duplex subdivisions for purposes of evaluating the merits of the requested zoning.
- E. Recreational vehicles, travel trailers, or motor homes, may not be used for on-site dwelling purposes.
- F. Electrical fencing and barbed wire is prohibited as perimeter fencing except for containment of farm animals on three or more acres.
- G. Open storage is prohibited (except for materials for the resident's personal use or consumption, i.e. firewood, gardening materials, etc.).
- H. Single-family and two-family homes with side entry garages where lot frontage is only to one street (not a corner lot) shall have a minimum of twenty five feet (25') from the exterior face of the garage or carport to the side property line for maneuvering.
- I. **Other Regulations** - As established in the Development Standards, Sections 37 through 45.

## SECTION 19 SF-10 - SINGLE FAMILY RESIDENTIAL DISTRICT - 10,000

### 19.1 GENERAL PURPOSE AND DESCRIPTION:

The SF-10 Single Family Residential District - 10,000 is intended to provide for development of primarily detached, single family residences on lots of not less than ten thousand (10,000) square feet.

### 19.2 PERMITTED USES:

1. Those uses specified in Section 36 (Use Charts)
2. Single-family detached dwellings
3. Such uses as may be permitted under the provisions of Specific Use Permits, Section 35

### 19.3 HEIGHT REGULATIONS:

#### A. Maximum Height:

1. Two and one-half (2½) stories for the main building.
2. One (1) story for accessory buildings without garages.
3. Other (see Section 43)

### 19.4 AREA REGULATIONS:

#### A. Size of Lots:

1. **Minimum Lot Area** - Ten thousand (10,000) square feet
2. **Minimum Lot Width** - Eighty feet (80')
3. **Minimum Lot Depth** - One hundred twenty feet (120')

#### B. Size of Yards:

1. **Minimum Front Yard** - Twenty-five feet (25')
2. **Minimum Side Yard** - Seven feet (7'); fifteen feet (15') on corner lot adjacent to a street
3. **Minimum Rear Yard** - Twenty feet (20') from a garage or carport to an alley; ten feet (10') to a main building

#### C. Maximum Lot Coverage: Fifty percent (50%) by main building and accessory structures

#### D. Parking Regulations:

1. **Single Family Dwelling Unit** - A minimum of two (2) enclosed spaces behind the front building line on the same lot as the main structure
2. **Other** - (See Section 38, Off-Street Parking and Loading Requirements)

#### E. Minimum Dwelling Unit Area - Two thousand (2,000) square feet

### 19.5 SPECIAL REQUIREMENTS:

- A. Recreational vehicles, travel trailers or motor homes, may not be used for on-site dwelling purposes.
- B. Electrical fencing and barbed wire is prohibited as perimeter fencing except for containment of farm animals on three or more acres.
- C. Open storage is prohibited (except for materials for the resident's personal use or consumption, i.e. firewood, gardening materials, etc.).
- D. Single-family homes with side entry garages where lot frontage is only to one street (not a corner lot) shall have a minimum of twenty five feet (25') from the exterior face of the garage or carport to the side property line for maneuvering.
- E. **Other Regulations** - As established in the Development Standards, Sections 37 through 45.

## **SECTION 24 MF - MULTIPLE FAMILY DISTRICT - 18**

### **24.1 GENERAL PURPOSE AND DESCRIPTION:**

The MF, Multiple Family Residential District is an attached residential district intended to provide the highest residential density of eighteen (18) dwelling units per acre. The principal permitted land uses will include low-rise multiple family dwellings, and garden apartments. Recreational, religious, health and educational uses normally located to service residential areas are also permitted in this District. This District should be located adjacent to a major thoroughfare and serve as a buffer between retail/commercial development or heavy automobile traffic, and medium or low density residential development.

### **24.2 PERMITTED USES:**

1. Those uses specified in Section 36 (Use Charts)
2. Multiple-Family Dwelling greater than two (2) units per building
3. Municipally-owned facilities and uses
4. Leasing offices for the apartment complex
5. Temporary field or construction office for uses incidental to construction work on the premises, which said buildings shall be removed upon the completion or abandonment of construction work, by order of the building official. Specific time allowed and location shall be specified by the Building Official.
6. Accessory buildings and uses, customarily incidental to the above uses and located on the same lot therewith, but not involving the conduct of a retail business except as provided herein:
  - a. The term accessory use shall include customary home occupations as herein defined.
  - b. Accessory buildings greater than two hundred forty (240) square feet require a specific use permit. (See Section 40 for additional accessory building regulations.)
  - c. Covered parking areas
  - d. One antenna (amateur or CB radio) and one microwave reflector (satellite dish) antenna per complex.
7. Swimming Pool (private)
8. Common open space, community center, recreational building, and other facilities or amenities, provided they are for use by the residents and guests of the multi-family complex.
9. Such uses as may be permitted under the provisions of Specific Use Permits, Section 35

### **24.3 HEIGHT REGULATIONS:**

- A. **Maximum Height** - Three (3) stories for the main building including recreational buildings (Ord#2122-18).
- B. All accessory buildings shall be limited to one (1) story in height.

### **24.4 AREA REGULATIONS:**

- A. **Size of Lots:**
  1. **Minimum Lot Area** - Two thousand, four hundred twenty (2,420) square feet per dwelling unit, not to exceed eighteen (18) dwelling units per acre (calculated on gross acreage). The minimum lot size shall be twenty thousand (20,000) square feet.
  2. **Minimum Lot Width** - One hundred feet (100')

3. **Minimum Lot Depth** - One hundred twenty feet (120')
- B. **Size of Yards:**
  1. **Minimum Front Yard** - Forty feet (40'). All areas adjacent to a street shall be deemed front yards.
  2. **Minimum Side Yard** - Fifteen feet (15'); sixty feet (60') when building is in excess of one story in height and adjacent to a Single-Family Zoning District.
  3. **Minimum Rear Yard** - Twenty feet (20'); eighty feet (80') when the building is in excess of one story and adjacent to a Single Family Zoning District.
  4. **Building Separation**
    - a. Walls without openings - one story, fifteen feet (15'), two stories, twenty feet (20') between walls without openings (windows or doors);
    - b. Walls with openings - one story, twenty-five feet (25'), two stories, thirty-five (35') between walls with openings.
- C. **Minimum Area per Dwelling Unit** - Eight hundred (800) square feet per unit plus one hundred fifty (150) square feet for each additional bedroom over one.
- D. **Maximum Lot Coverage:** Fifty percent (50%) total, including main and accessory buildings.
- E. **Parking Regulations:**
  1. 1.75 per each efficiency or 1 bedroom unit
  2. 2 per each 2 bedroom unit
  3. 2.5 per each 3 bedroom unit
  4. 3 per each 4 or more bedroom unit
  5. Fifty percent (50%) of the required parking spaces shall be enclosed with the remainder fifty percent (50%) to be covered.
  6. All parking areas shall be screened from view adjacent to public streets. Screening may be in the form of live plant materials, berms, or brick masonry walls.
  7. See Section 38, (Off Street Parking and loading Requirements) for additional requirements.

#### 24.5 REFUSE FACILITIES:

- A. Every multi-family dwelling unit shall be located within two hundred fifty feet (250') of a refuse facility, measured along the designated pedestrian and vehicular travel way. A refuse facility shall be a dumpster or other similar receptacle designed for receiving garbage in bulk for more than one dwelling. Refuse dumpsters shall be no closer than thirty feet (30') to any adjacent single-family property.
- B. Each refuse facility shall be screened from view on three (3) sides from persons standing at ground level on the site or immediately adjoining property, by solid screening wall of brick or stone masonry not less than six (6) feet, nor more than eight (8) feet in height or by an enclosure within a building. Refuse containers shall be provided and maintained in a manner to satisfy local public health and sanitary regulations. Each refuse facility shall have a gate and be located so as to provide safe and convenient pickup by refuse collection agencies. (See Illustration 11 for gate design).

#### 24.6 SPECIAL REQUIREMENTS:

- A. Single family or duplex units constructed in this District shall conform to SF-10 and 2F District standards respectively.
- B. Recreational vehicles, travel trailers or motor homes, may not be used for on-site dwelling purposes.
- C. Open storage is prohibited.
- D. A site plan with facade elevations is required for all multi-family developments in this district. If the site plan and facade elevations are not approved at the time of zoning approval, a public hearing is required at the time of site plan approval as prescribed in Section 42.

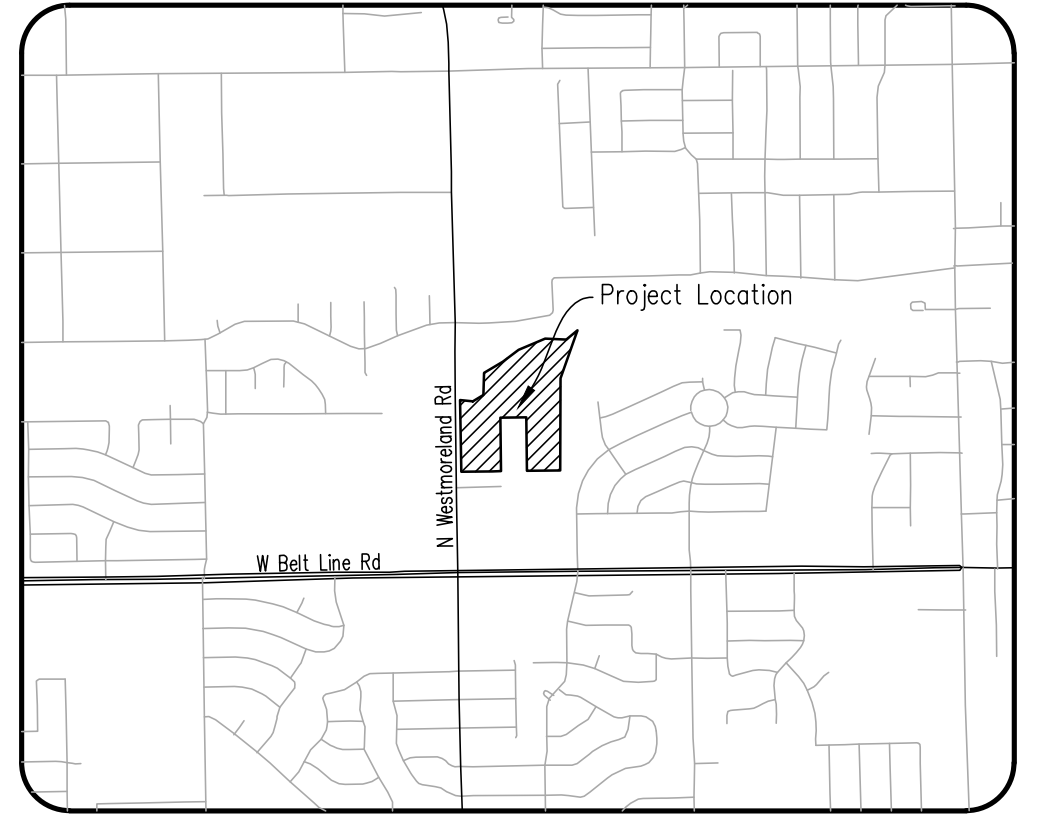
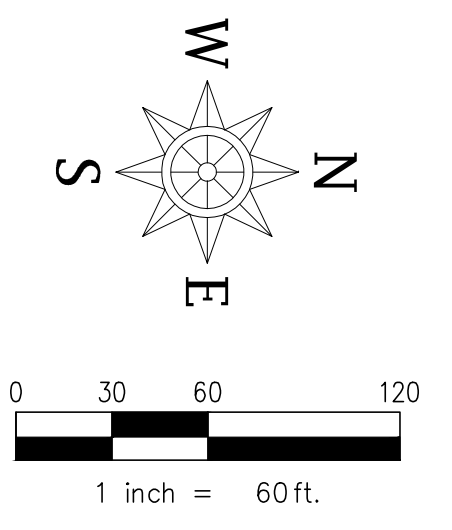
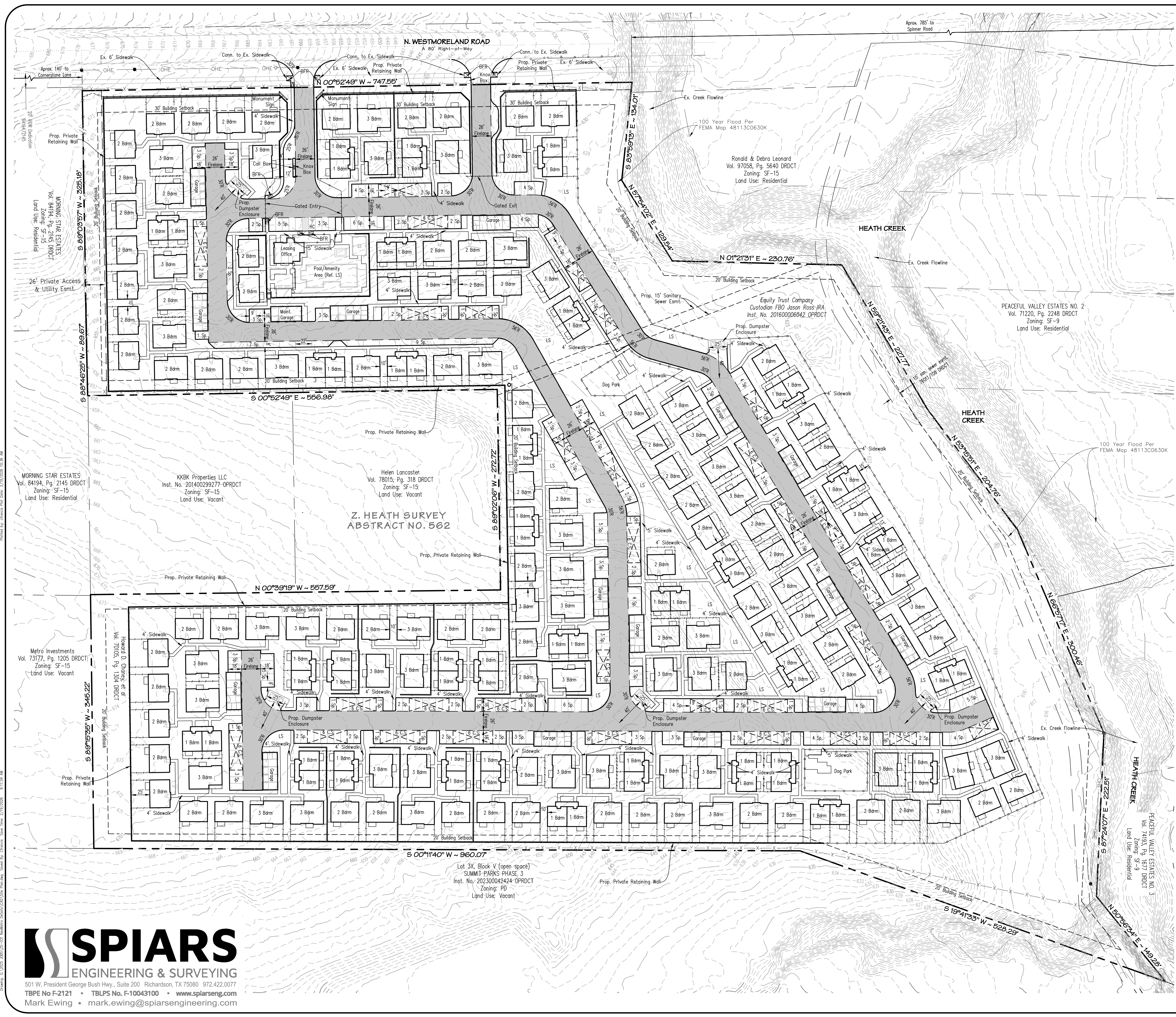
- E. The front door of each apartment unit shall be no more than one hundred fifty feet (150') from a fire lane (measured by an unobstructed straight line).
- F. A paved walkway shall connect the front door of each ground floor unit to a parking area.
- G. Each multi-family complex shall provide recreational facilities designed for use by the tenants of the complex.
- H. Buildings shall not exceed two hundred feet (200') in length.
- I. All multi-family dwelling units shall have roof slopes with a minimum of 4:12 pitch.
- J. Buildings with facades that are longer than fifty feet (50') shall have their facades broken up into smaller areas through the use of varying facade setbacks, arcades, architectural features such as recessed vestibules, columns, canopies, or other acceptable means.
- K. Boats, campers, trailers and other recreational vehicles shall be prohibited unless oversize parking areas are provided as part of the approved site plan. This parking area shall not be used to meet the minimum parking requirements and shall not be in view from a public street.
- L. All buildings containing residential units shall provide a sign, visible from the entrances, identifying the unit numbers within the building.
- M. All mechanical, heating and air conditioning units shall be screened or hidden from view.
- N. Multi-family complexes shall be fully fenced and gated.
- O. (reserved for future use)
- P. Each complex shall have a community building.
- Q. Each complex shall have a swimming pool.
- R. Usable Open Space - Each lot or parcel of land, which is used for multiple-family residences, shall provide on the same lot or parcel of land, usable open space (as defined below) in accordance with the following requirements:

<u>Number of Bedrooms or Sleeping Rooms</u>	<u>Amount of Open Space for Each Sleeping Room</u>
1 or Less	600 Sq. Ft.
Each Additional Bedroom over 1	300 Sq. Ft.

An area of common usable open space shall have a slope not exceeding ten percent (10%), shall have no dimension of less than ten (10) feet, and may include landscaping, walks, recreational facilities, water features and decorative objects such as art work or fountains. Usable open space shall not include: rooftops; accessory buildings; parking areas; driveways; turnaround areas; or the right-of-way or easement for streets or alleys.

- S. At the time of site plan approval, the Planning and Zoning Commission may recommend and the City Council may approve credit for usable open use requirements under the following conditions:
  - 1. Up to three (3) square feet for each one (1) square foot of area provided for the following recreational facilities:

- 
- a. Swimming pools, tennis courts, racquetball courts, or similar facilities.
  - b. Decks, patios or lounge areas adjacent to or within ten (10) feet of swimming pools.
  - c. Children's play areas developed with play equipment.
  - d. Usable portions of recreational buildings.
2. Partial or full credit may be given for on-site open space that exceeds the minimum slope (as defined in "R" above), if it is determined that such areas are environmentally or aesthetically significant and their preservation would enhance the development and community. In determining environmental and aesthetic significance, the Planning and Zoning Commission and City Council will consider:
    - a. Preservation of significant trees or other natural vegetation.
    - b. Contribution to on-site retention of storm water or natural control of drainage.
    - c. Preservation of vistas and other qualities.
    - d. Buffer or transition between the multi-family use and other uses.
  3. Available off-site open space may be credited for up to one third (1/3) of the usable open space requirement if:
    - a. Fifteen percent (15%) or more of the site's boundary is adjacent to park land.
    - b. There are defined pedestrian connections between the multi-family development and park land.
    - c. Permanent usable open space is within one hundred feet (100') of the development that is available for use by the general public.
    - d. The design of the development provides a significant visual and pedestrian connection to public park land.
  4. The combined credit for areas calculated at a three-to-one basis and off-site parks or usable open space shall not exceed fifty percent (50%) of the total usable open space requirement for each multi-family development.
- T. **Other Regulations:** As established in the Development Standards, Sections 37 through 45.



Vicinity Map  
1"=2000'

LEGEND

- Firelane w/ Striping
- Masonry Screening Wall (Ref. LS)
- Metal Pool Fence (Ref. LS)
- Hard Wood Fence (Ref. LS)
- Covered Parking Structure
- Garage Structure w/ Attach Storage Bays

SITE DATA		PROP. LOT 1, BLOCK A	
Existing Zoning	SF-15		
Proposed Zoning	MF		
Proposed Use	Attached & Detached Single-Family		
Lot Area	24,274 Ac.	1,057,361 Sq. Ft.	
<b>Buildings:</b>	<b>No.</b>	<b>Bldg.</b>	<b>Area</b>
Type	Units:		
Leasing Office	-	1,115 Sq. Ft.	
1 Bedroom	66	690 Sq. Ft.	
2 Bedroom	77	985 Sq. Ft.	
3 Bedroom Units	57	1,265 Sq. Ft.	
Carport	-	25,920 Sq. Ft.	
Garage	-	10,200 Sq. Ft.	
<b>Total:</b>	<b>200</b>	<b>230,725 Sq. Ft.</b>	
Maximum Height (Stories)	1		
Lot Building Coverage	21.8%		
Density	8.24 Units/Acre		
<b>Parking Required:</b>	<b>Sp./Unit</b>	<b>Spaces</b>	
1-Bedroom Units	1.75	115.5	
2-Bedroom Units	2	154	
3-Bedroom Units	2.5	143	
Handicap Parking (Leasing Center)	-	1	
<b>Total:</b>		<b>412</b>	
Garage	15%	62	
Carport	35%	144	
<b>Parking Provided:</b>	<b>Spaces</b>		
Standard Spaces	210		
Detached Covered Spaces	170		
Detached Garage Spaces	62		
Parallel Spaces	19		
Leasing Office	8		
Handicap Parking (Leasing Center)	1		
<b>Total:</b>	<b>470</b>		
<b>Open Space:</b>	<b>356,496 Sq. Ft.</b>	<b>33.7%</b>	

PD SITE PLAN

**AVILLA DOGWOOD CANYON**  
Z. HEATH SURVEY, ABSTRACT NO. 562  
CITY OF DESOTO, DALLAS COUNTY, TEXAS

**ENGINEER / SURVEYOR**  
Spiars Engineering, Inc.  
501 W. President George Bush Hwy, Suite 200 Richardson, TX 75080  
Telephone: (972) 422-0077  
Contact: Mark Ewing

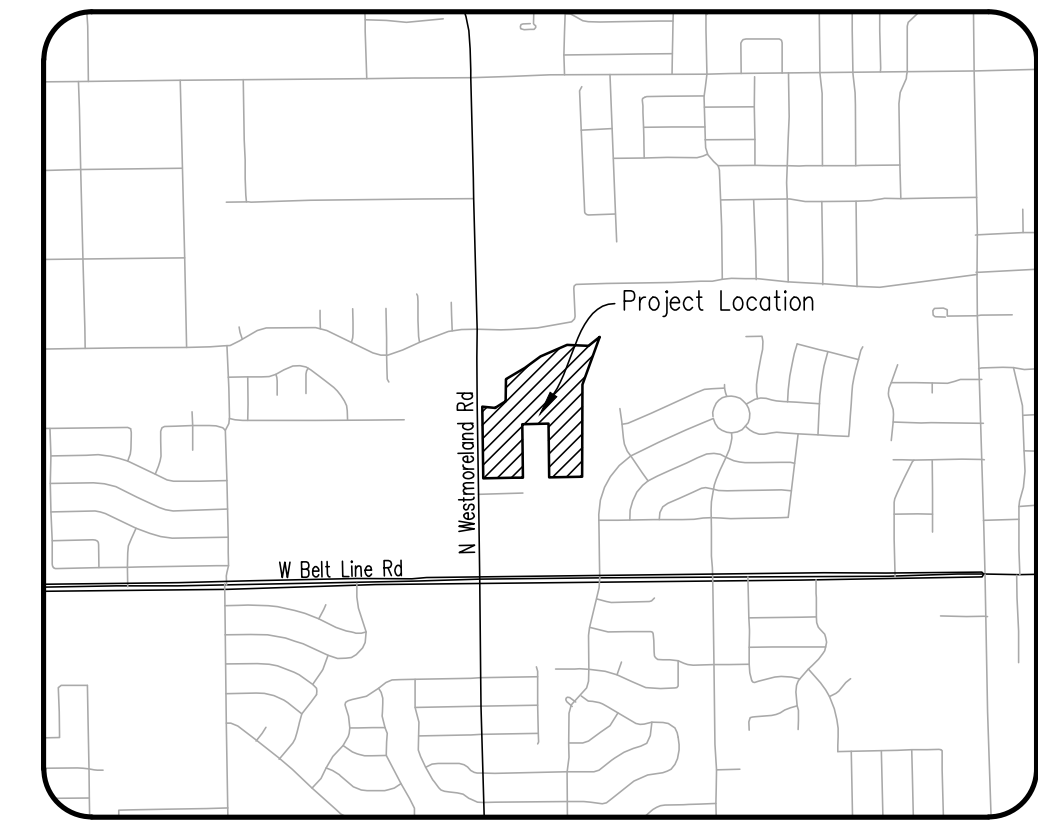
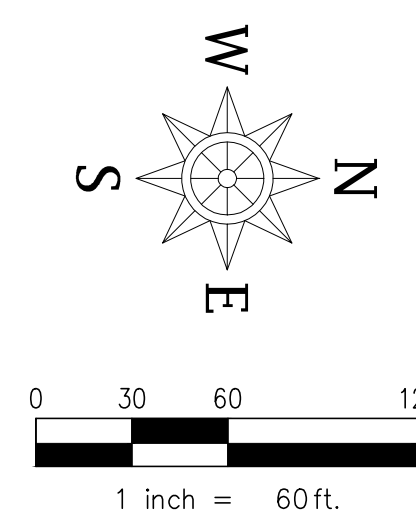
**APPLICANT**  
NexMetro Communities  
14951 N Dallas Pkwy, Suite 410 Dallas, TX 75254  
Telephone: (434) 851-7374  
Contact: Josh Eadie

**OWNER**  
EQUITY TRUST CO CUSTODIAN  
FBO JASON ROSS IRA  
3766 Summit CT Frisco, TX 75034

**SPIARS**  
ENGINEERING & SURVEYING  
501 W. President George Bush Hwy., Suite 200 Richardson, TX 75080 972.422.0077  
TBPE No F-2121 • TBLPS No. F-10043100 • www.spiarseng.com  
Mark Ewing • mark.ewing@spiarsengineering.com

**Landscape Requirements**

	Required	Provided
<b>Street Buffer</b>		
20% of street buffer to be permanent landscape		
748' x 10' = 7,480 s.f. x 20%	1,496 s.f.	5,797 s.f.
10' buffer adjacent to R.O.W.	10' buffer	10' buffer
<b>Street Trees</b>		
1 large tree / 40 l.f. of frontage- 694 l.f. / 40	18 large trees	18 large trees
<b>Parking Lot Landscape</b>		
16 s.f. of landscape area per parking space		
470 parking spaces x 16 s.f.	7,520 s.f.	11,200 s.f.
1 tree / 10 parking spaces 483 parking space / 10	47 trees	75 trees
1 tree within 60' of each space	Required	Provided
Every terminus island must contain a tree	Required	Provided
50% of required trees must be large trees		
47 trees x 50%	33 large trees	36 large trees
<b>Fencing , Walls, and Screening</b>		
Frontage- 6' ht. Screening wall	6' ht. masonry	6' ht. masonry
Residential adjacency- 6' ht. masonry screening wall (excluding flood plane adjacency)	6' ht. masonry	6' ht. wood fence
Flood Plane- 6' ht. metal fence	fencing	6' ht. metal
Entire property to be fully fenced and gated	fence or wall	fence or wall
<b>Site Area</b>		
Max. 50% lot coverage	528,710 s.f.	493,791 s.f.
Open Space- 600 s.f. per unit + additional 300 s.f. per additional bed.	192,900 s.f.	356,496 s.f.



**Vicinity Map**  
1"=2000'

**Planting Key**

- Large Trees (83)
  - Live Oak
  - Texas Red Oak
  - Chinese Pistachio
  - Lace Bark Elm
  - Bald Cypress
  - Cedar Elm
- Small Trees (141)
  - Crape Myrtle
  - Desert Willow
  - Redbud
  - Yaupon Holly
  - Mountain Laurel
  - Vitex

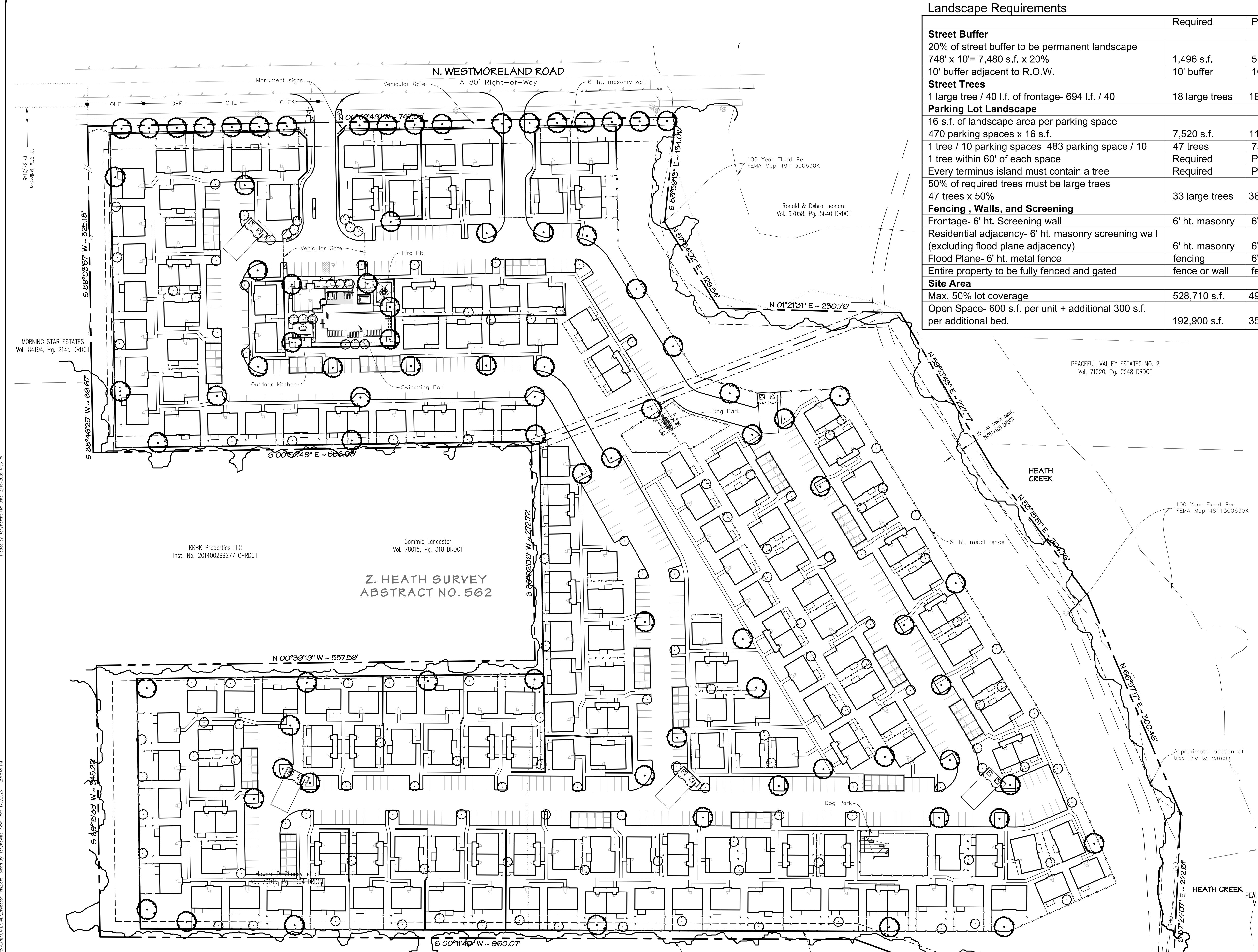
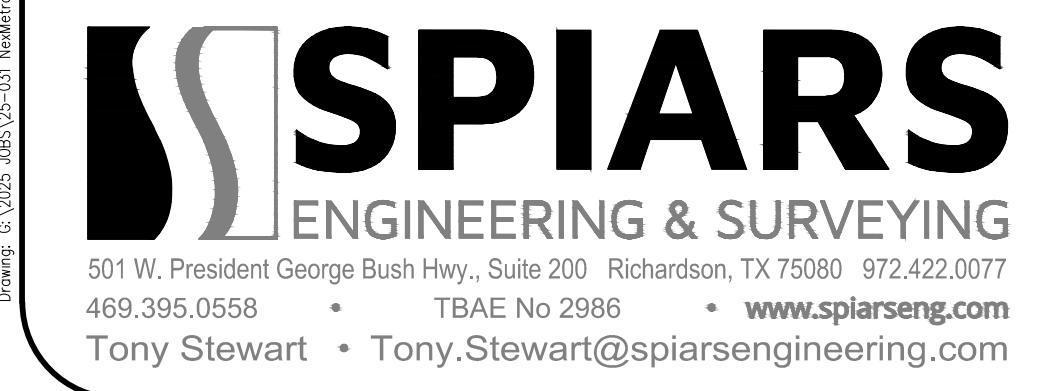
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Type	Units:	Area	
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1 Bedroom	66	690 Sq. Ft.	
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3 Bedroom Units	57	1,265 Sq. Ft.	
Carport	-	25,920 Sq. Ft.	
Garage	-	10,200 Sq. Ft.	
Total:	200	230,725 Sq. Ft.	
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Lot Building Coverage	21.8%		
Density	8.24 Units/Acre		
Parking Required:	Sp./Unit	Spaces	
1-Bedroom Units	1.75	115.5	
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Total:		412	
Garage	15%	62	
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Parking Provided:	Spaces		
Standard Spaces	210		
Detached Covered Spaces	170		
Detached Garage Spaces	62		
Parallel Spaces	19		
Leasing Office	9		
Total:	470		
Open Space:	356,496 Sq. Ft.	33.7%	

**CONCEPT LANDSCAPE PLAN**  
**NEXMETRO DESOTO**  
Z. HEATH SURVEY, ABSTRACT NO. 562  
CITY OF DESOTO, DALLAS COUNTY, TEXAS

**LANDSCAPE ARCHITECT**  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBAE No. 2986  
Contact: Anthony Stewart, RLA

**ENGINEER / SURVEYOR**  
Spiars Engineering, Inc.  
501 W. President George Bush Hwy, Suite 200  
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TBPELS No. F-2121 And No. F-10043100  
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**OWNER / APPLICANT**  
NexMetro Communities  
14951 N Dallas Pkwy, Suite 410  
Dallas, TX 75254  
Telephone: (434) 851-7374  
Contact: Josh Eadie



Plotted by: topograph Plot Date: 2/16/2026 4:03 PM

Drawing: C:\2026\_0803\26-031\_Nexmetro\_Desoto\_Landscape\_Plan.dwg - Sheet 04 - Topograph: Sun Time: 10/7/2026 2:13:45 PM

Lot 3X, Block V (open space)  
SUMMIT PARKS PHASE 3  
Inst. No. 202300042424 OPRDCT







### SYMBOL LEGEND - ELEVATIONS

DOOR TAG SYMBOL	12.00'00"	TOP OF CORING
WINDOW TAG SYMBOL	12.00'00"	TOP OF RAFT
STOREFRONT TAG SYMBOL	12.00'00"	TOP OF DECK
WALL SECTION TAG	12.00'00"	TOP OF HELL
DETAIL SECTION TAG	12.00'00"	TOP OF SLAB
ROOF FINISH TAGS	12.00'00"	FINISH FLOOR
3'-0" DOWN SLOPE		

### ELEVATION - NOTES

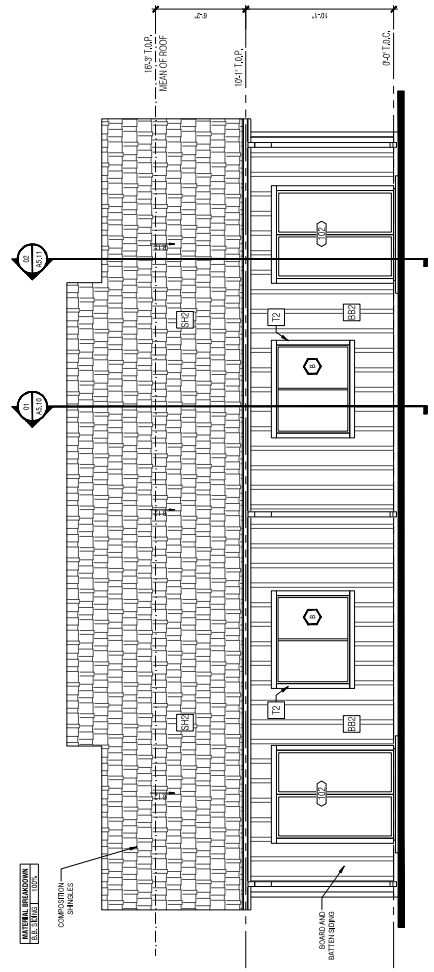
1. VERIFY ALL EXTERIOR WALL FINISHES WERE BOTTOM UP LEFT TO RIGHT BY F.P. #1,2,3, WHERE THE PROJECT MORE THAN 4'.
2. REFER TO DRAIN AND STRUCTURAL DRAWINGS FOR EAVE AND GUTTER BRACKETS, OVERHANGS, BRACKETS, SLOPES, SIZES, AS SHOWN. SHALL BE INSTALLED ACCORDING TO ALL MANUFACTURER'S, ROOFING, WINDOW, DOOR, AND FINISHING, INDIVIDUAL AND VERTICAL, OFFICE OF PEAKWAY MATERIALS.
3. MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE INSTALLED ACCORDING TO ALL MANUFACTURER'S AND INSTALLATION INSTRUCTIONS.
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5. VERIFY TO ENSURE COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND WARRANTY REQUIREMENTS.
6. VERIFY TO ENSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, CODES, AND ORDINANCES.
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16. VERIFY TO ENSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, CODES, AND ORDINANCES.

### EXTERIOR MATERIAL - LEGEND

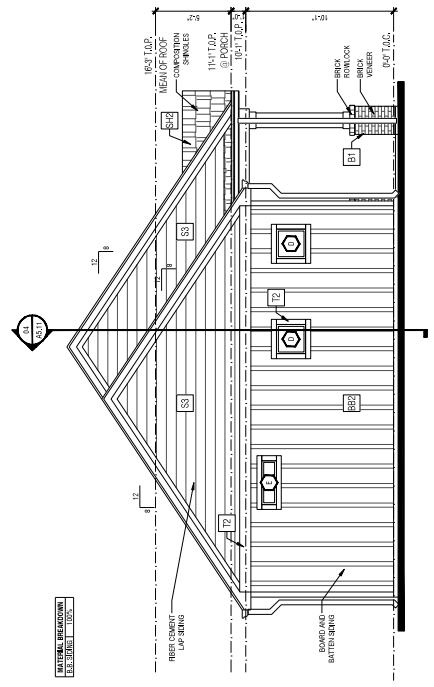
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ROOFS	
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[Pattern]	OTHER

### COLOR - LEGEND

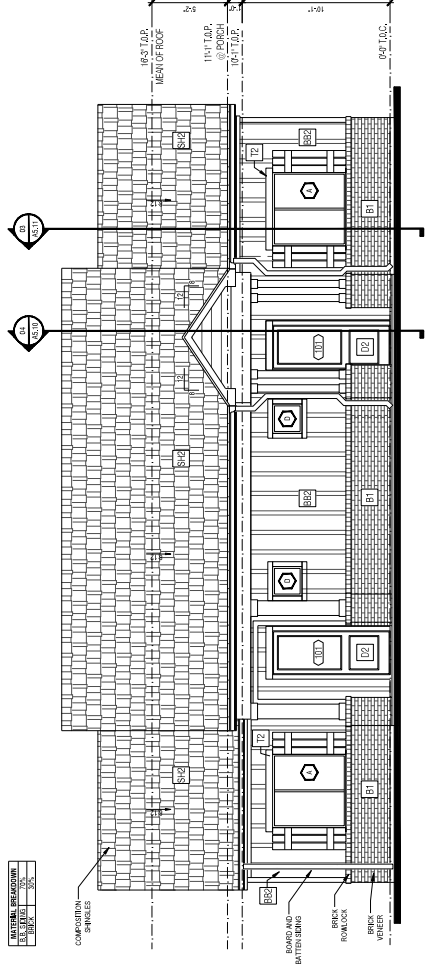
1. WALL FINISHES TO BE WHITE UNLESS OTHERWISE NOTED.
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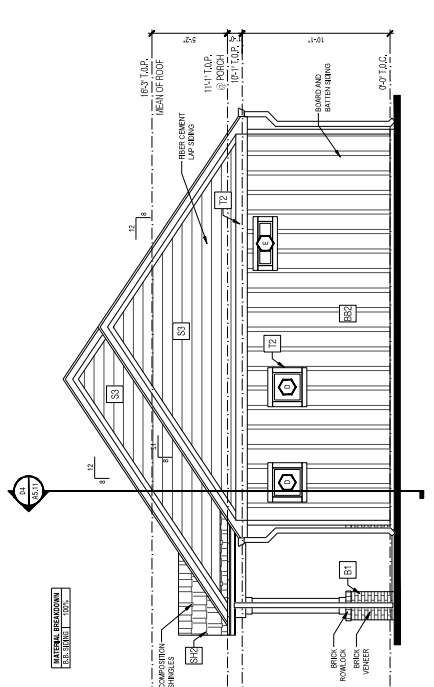
3 BLDG. TYPE I-C - REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



4 BLDG. TYPE I-C - LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"



1 BLDG. TYPE I-C - FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



2 BLDG. TYPE I-C - RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"















### COLOR - LEGEND

1. W/ WINDOW FRAMES TO BE WHITE COLOR, BROWN AND B/T. FINES.
2. FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.
3. FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.
4. FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.
5. FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.

SCHEME - GARAGE	W/ WINDOW FRAMES TO BE WHITE COLOR, BROWN AND B/T. FINES.	FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.	FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.	FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.	FINES TO BE WHITE COLOR, BROWN AND B/T. FINES.
1	2	3	4	5	6

### EXTERIOR MATERIAL - LEGEND

EXTERIOR WALL		ROOFS	
1	2	3	4
5	6	7	8

### ELEVATION - NOTES

1. MAINT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT 4'-0" ABOVE FINISHED FLOOR.
2. REFER TO COIL AND STRUCTURAL DRAWINGS FOR F.L.E. AND SLAB BEAMS.
3. FINISHES, WINDOW MEMBERS, FRAMES, GLAZING AND SHADERS (WHERE REQUIRED) SHALL BE AS SHOWN IN THE COIL AND STRUCTURAL DRAWINGS.
4. ALL EXTERIOR WALLS SHALL BE FINISHED WITH MANUFACTURED MATERIALS IN ACCORDANCE WITH THE COIL AND STRUCTURAL DRAWINGS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT THRESH WATER PROOFLY, SEAL ALL PENETRATIONS IN ACCORDANCE WITH THE COIL AND STRUCTURAL DRAWINGS.
6. ALL FINISHES, FINISHES, FINISHES, AND FINISHES TO BE FINISHED WITH MANUFACTURED MATERIALS IN ACCORDANCE WITH THE COIL AND STRUCTURAL DRAWINGS.
7. FINISHES TO BE FINISHED WITH MANUFACTURED MATERIALS IN ACCORDANCE WITH THE COIL AND STRUCTURAL DRAWINGS.
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16. FINISHES TO BE FINISHED WITH MANUFACTURED MATERIALS IN ACCORDANCE WITH THE COIL AND STRUCTURAL DRAWINGS.

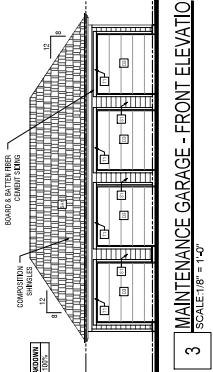
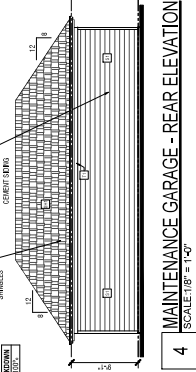
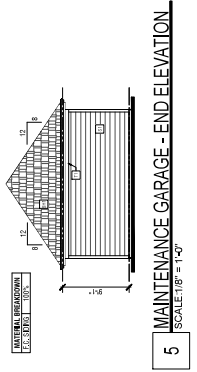
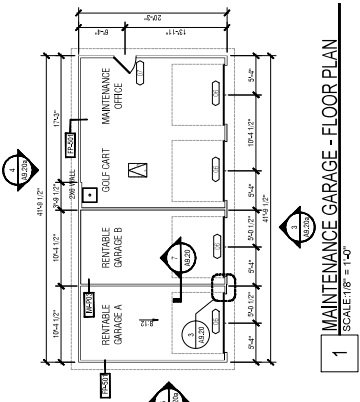
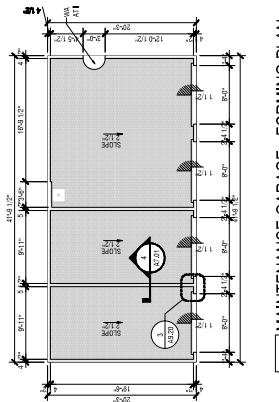
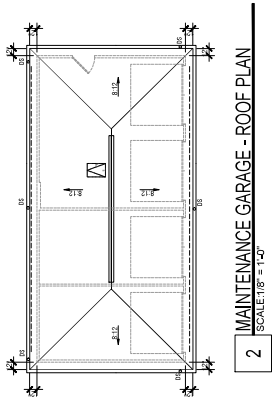
### SYMBOL LEGEND - ELEVATIONS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**VISION+ ARCHITECTURE**  
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 DALLAS, TEXAS 75231  
 469.677.0079  
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# AVILLA DOGWOD CANYON DESOTO, TX

**NEXmetro**  
 Department of Public Works  
 Permit #:  
 Reviewer:  
 # DATE COMMENTS  
 SHEET NUMBER:  
**12 of 12**  
 SHEET TITLE:  
 01/01/2020 12:00:00 PM







— T E X A S —

**Discuss and consider approving an ordinance establishing Planned Development 202 (PD-202), relating to the development and use of 24.274 ± acres of land located north of W. Belt Line Road, along the east side of N. Westmoreland Road, west of S. Nursery Road**

*May 5, 2026*

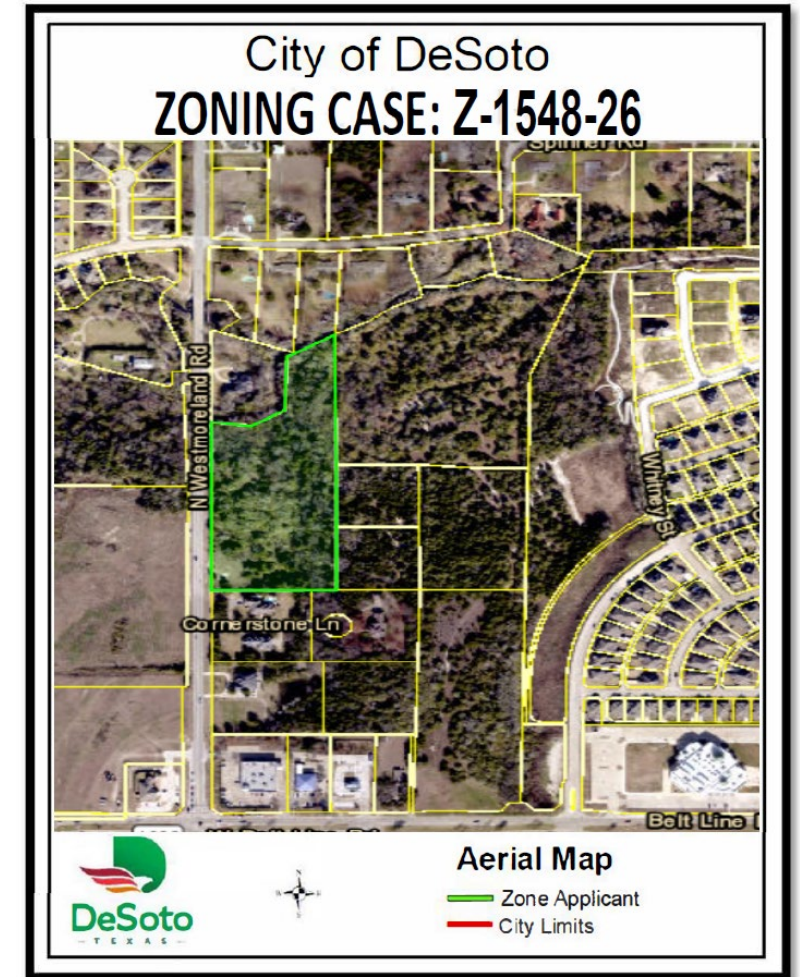
**Cambria Jordan**

**Planning & Zoning Manager**

Z-1548-26: Avilla Dogwood at 214, 220 & 300 N. Westmoreland Rd.

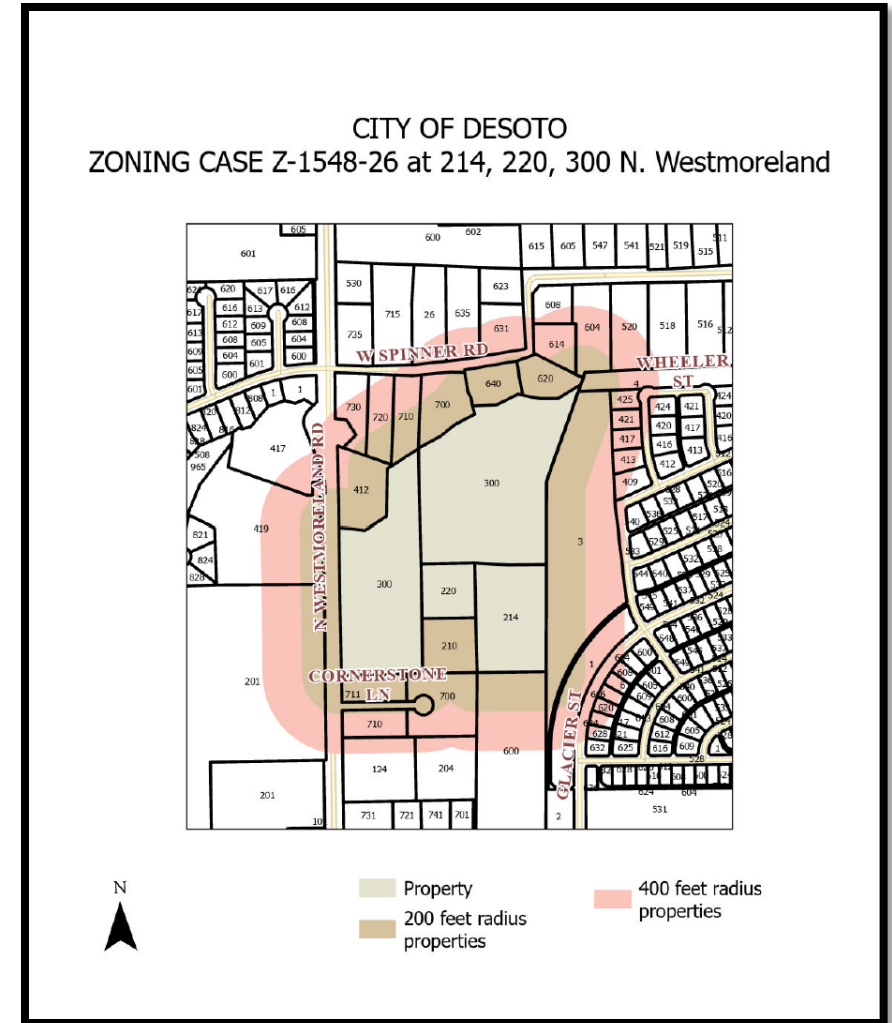
# Zoning Change Request

- **Request:** To make a recommendation approving an ordinance establishing Planned Development 202 (PD-202), with a base zoning district of Multiple Family (MF), which proposes a site, landscape, and elevation plan with certain deviations to develop and construct a subdivision consisting of duplexes and detached homes for rent.
- **Location:** The 24.274-acre site is addressed as 214, 220 & 300 N. Westmoreland Rd. (Site is located north of W. Belt Line Road, along the east side of N. Westmoreland Road, west of S. Nursery Road)
- **Applicant:** Josh Eadie
- **Property Owner:** Equity Trust Company



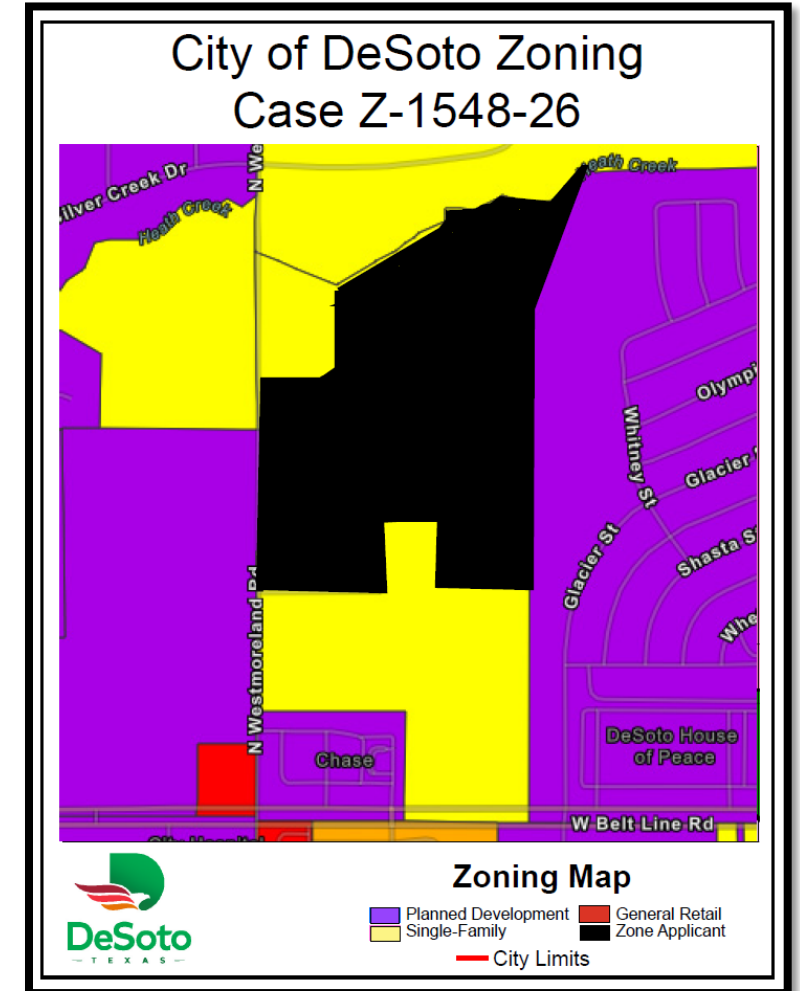
# Public Notification

- **Public Notice Publication:** April 10, 2026, in the Daily Commercial Record.
- **Mailed Notices:** Staff mailed **73** letters to property owners within 200/400 feet of the subject site.
- **Response to notification letters for the April 28, 2026, PNZ and May 5, 2026, City Council public hearing:**
  - **Zero** letters received in favor of request within the 200' radius. **Zero** letters were received in opposition within the 200' radius.
  - **Zero** letters received in favor of request within the 400' radius. **Zero** letters were received in opposition within the 400' radius.



# Adjacent Zoning and Existing Use

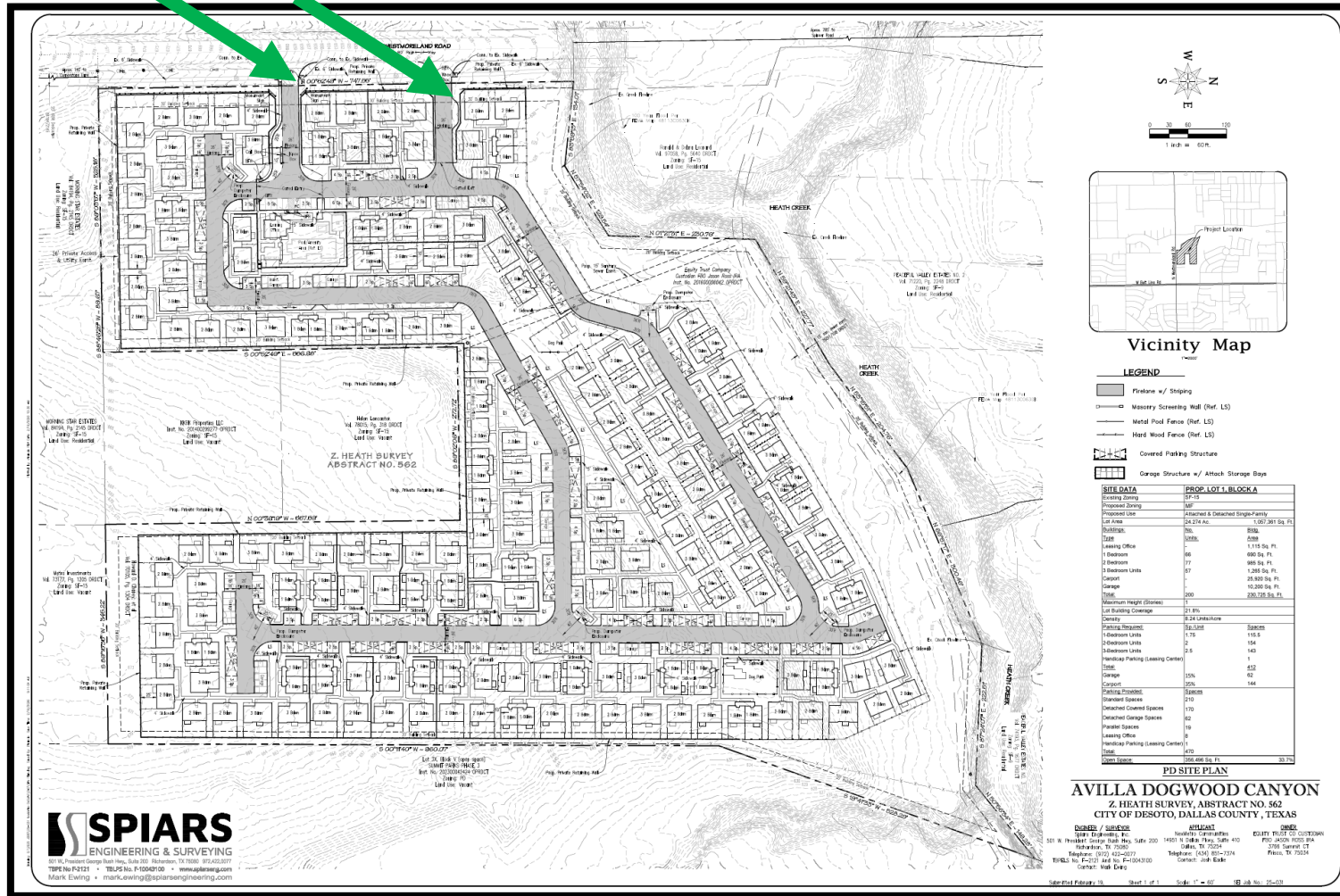
- ↑ **North:** Single-Family Residential 9,000 (SF-9);  
Developed
- **East:** Planned Development (PD-109) (SF-8, SF-10, SF-12, NS & SFA Base Zoning); Developed
- ↓ **South:** Single-Family Residential 15,000 (SF-15);  
Developed
- ← **West:** Planned Development (PD - 97) & Single-Family Residential 20,000 (SF-20)



# Proposed Site Plan

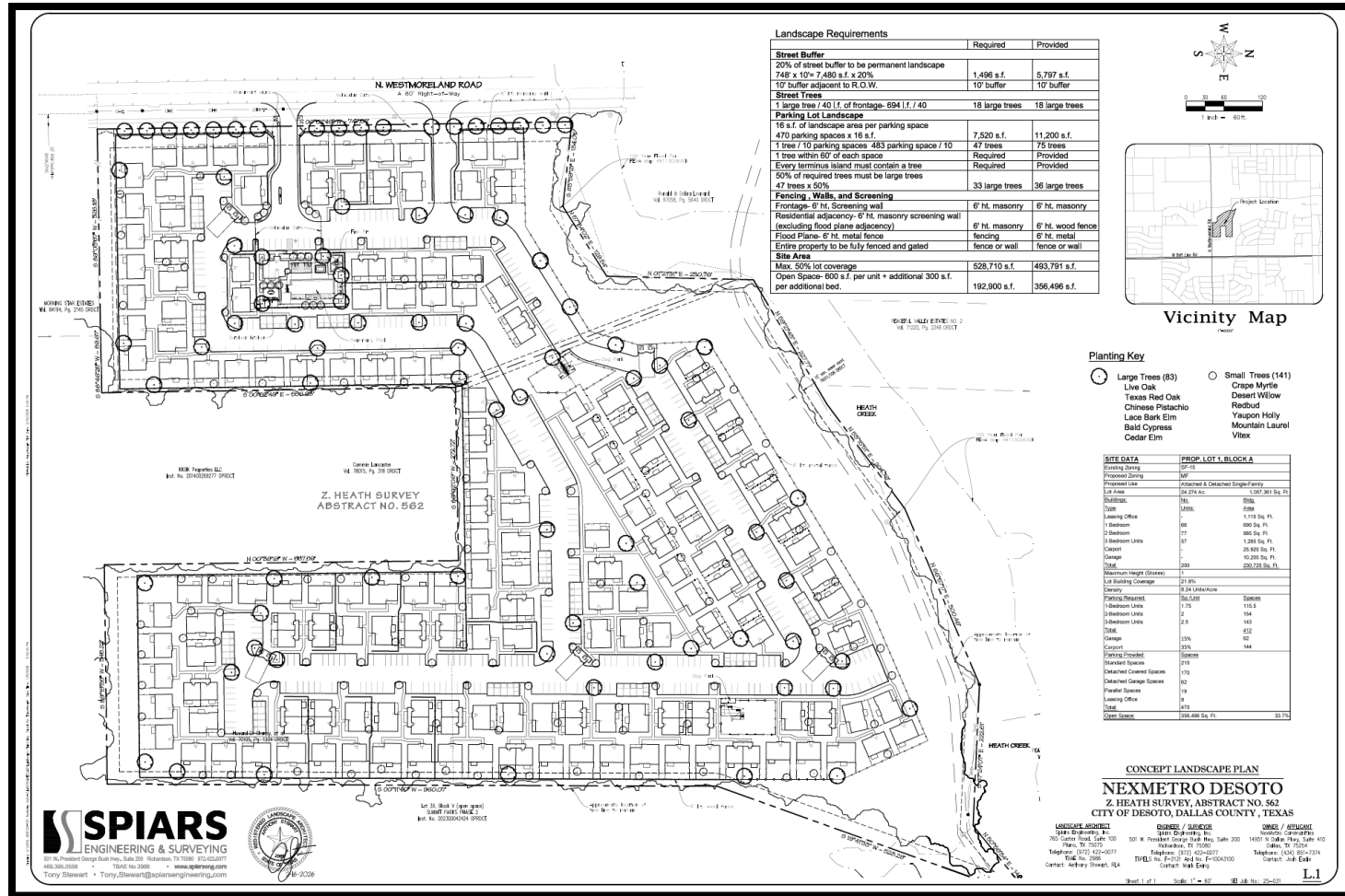
Development will be accessed from N. Westmoreland Road.

- 2-Lane Arterial Road





# Proposed Landscape Plan



# Summary of Proposed Deviations within PD-202

## Multiple Family (MF)

#	Attribute/Code	Requirement (MF)	Proposed (PD)
1	Front Yard Setback (Sec. 24.4.B.1)	40 feet	30 feet
2	Building Separation (Sec. 24.4.B.4)	Walls w/out openings (1-story)- 15 feet Walls w/ openings (1-story)- 25 feet	10 feet
3	Covered/Enclosed Parking Requirement (Sec. 24.4.E.5)	50% enclosed spaces with the remainder 50% of spaces covered	1 covered space per unit, comprised of detached garages and carports
4	Refuse Locations (Sec. 24.5.A)	Every multifamily dwelling unit shall be located within 250 feet of a refuse facility, measured along the designated pedestrian and vehicular travel way.	Refuse facilities shall be spaced throughout site to adequately serve the development, valet trash services are provided to all residents.

5	Usable Open Space (Sec. 24.5.A)	An area of common usable open space shall have a slope not exceeding ten percent (10%), shall have no dimension of less than ten (10) feet, and may include landscaping, walks, recreational facilities, water features and decorative objects such as art work or fountains. Usable open space shall not include: rooftops; accessory buildings; parking areas; driveways; turnaround areas; or the right-of-way or easement for streets or alleys.	An area of common usable open space shall have no dimension of less than ten (10) feet, and may include landscaping, walks, recreational facilities, water features and decorative objects such as art work or fountains. Usable open space shall not include: rooftops; accessory buildings; parking areas; driveways; turnaround areas; or the right-of-way or easement for streets or alleys.
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6	41.2.A Screening Requirements (Sec. 41.2.A)	Solid brick or masonry screening wall of not less than 6 feet nor more than 8 feet in height on the property line.	Proposed fencing to surround developed area, not required to be located on the property line due to limiting conditions (existing grade, floodplain, proposed easements, etc). Materials specified as follows: <i>Westmoreland Rd (West):</i> Masonry (meets min.) <i>Creek Border (North):</i> Wrought Iron <i>All Other Adjacencies:</i> Board-on-Board
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# Summary of Proposed Deviations within PD-202

## Two-Family Residential (2F)

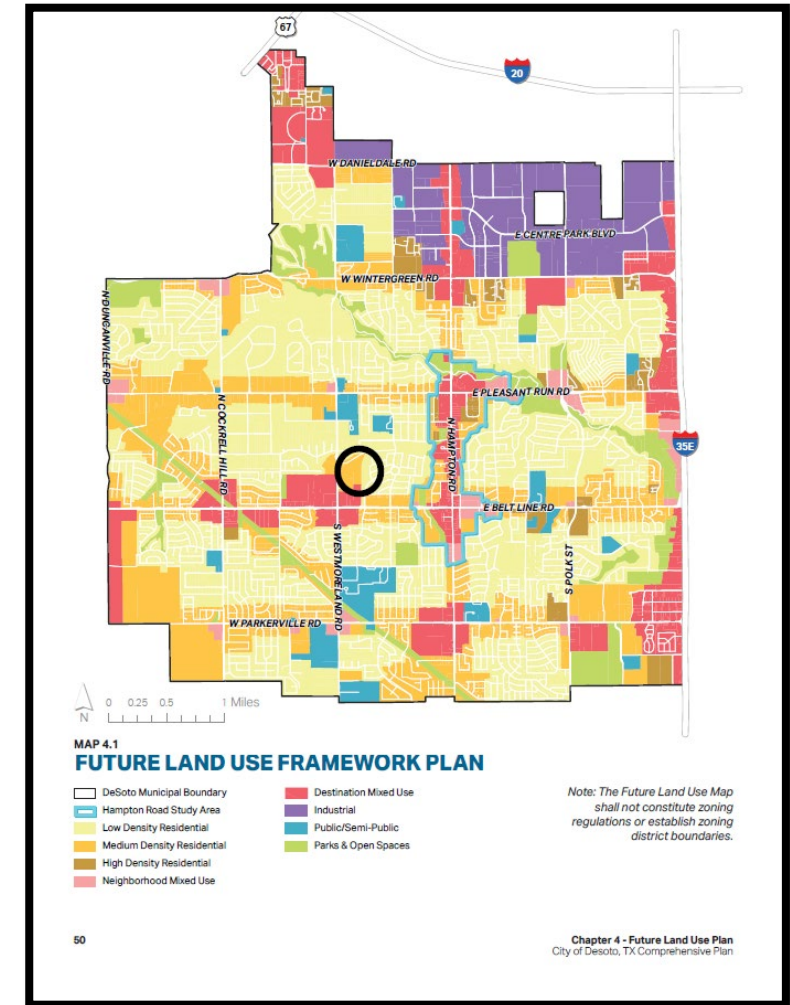
#	Attribute/Code	Requirement (2F)	Proposed (PD)
1	Parking Regulations for Residential Structures (Sec. 22.4.D.1, Sec. 19.4.D*)	Min. of two enclosed spaces for each unit behind the front building line on the same lot as each dwelling unit/main structure.	One covered space (comprised of detached garages and carports) provided per dwelling unit (duplex and detached) throughout site. Two spaces per unit will be provided throughout site.
2	Minimum Dwelling Area Size (Sec. 22.4.E, Sec. 19.4.E*)	Attached: 1,250 sq. ft. Detached: 2,000 sq. ft.	1-bed (attached): 690 sq. ft. 2-bed (detached): 985 sq. ft. 3-bed (detached): 1265 sq. ft.
3	Lot Platting (Sec. 22.5.A)	Only one dwelling unit per lot and no single-family detached dwelling may be constructed on one of the designated pair of lots.	Duplex and detached dwelling units to all be located on one lot.
4	Utility Metering (Sec. 22.5.B)	Each unit shall be individually metered.	Two master-meters will be used to create a loop that will serve all units on site.
5	Preliminary Plat Requirement (Sec. 22.5.D)	Preliminary plat required to be submitted at the time of zoning approval.	Platting to be done after zoning approval and prior to any permit issuance.
6	Masonry Construction (Sec. 37.1.A)	Masonry construction shall include all construction of stone material	Elevations shall be comprised of brick, stone, and Hardie cement board. See provided elevations.

7	Trees Required (Sec. 39.6.A)	Single-family and duplex dwellings must have two large trees in the front yard and one in the rear yard of each lot.	Trees will be provided per approved landscape plan.
8	Maximum Size of Carports (Sec. 40.5.A.4)	Carports shall be designed to shelter not more than three vehicles and not to exceed 24 feet in its longest dimension.	Carports may be designed to park up to 6 vehicles, not to exceed 60 feet in its longest dimension.
9	Detached Garage Size (Sec. 40.5.A.6.a)	Enclosed detached garages shall not exceed 480 sq. ft.	Enclosed detached garages may be up to 1,100 sq. ft.
10	Fencing Requirements (Sec. 41.3.B)	No fence in front yard adjacent to a public street. No fence closer than 20' to a public street.	Fence permitted in the front yard bordering the public street and may be allowed along the property line.
11	Gates for Vehicular Access (Sec. 41.3.G)	Gates designed for vehicular access shall be set back from the property line a minimum of 20 feet.	Gates designed for vehicular access may be permitted as shown on PD Site Plan.

\*Deviation specific to detached dwelling units. Per Section 22.5.C of the Zoning Ordinance, all detached dwelling units within 2F base zoning shall comply with SF-10 requirements.

# Comprehensive Plan Compatibility

- The 2024 Comprehensive Plan's Future Land Use Plan designates this area as Medium Density Residential. Medium Density Residential areas primarily consist of single-family attached homes, including duplexes, triplexes, and fourplexes, and may include detached homes where permitted. These areas are intended to provide housing at densities of five to eight dwelling units per acre, supporting a mix of attainable and diverse residential options. This request is compatible with the Comprehensive Plan, as the proposed Planned Development 202 (PD-202) allows duplexes and detached homes for rent while maintaining a density consistent with the Medium Density Residential designation.
- **Medium Density Residential Use**
  - Primarily residential with attached and detached homes
  - Intended density of five to eight dwelling units per acre
  - Encourages a mix of attainable and diverse housing options compatible with surrounding neighborhoods



# Staff Recommendation

Staff recommends that the DeSoto City Council approve an ordinance establishing Planned Development 202 (PD-202), which proposes a base zoning district of Multiple Family (MF) residential with deviations to allow the construction of a subdivision on property addressed as 214, 220, and 300 N. Westmoreland Road, DeSoto, Texas, currently zoned Single-Family Residential – 15,000 (SF-15), as presented. (**Zoning Case No.: Z-1548-26**)

**THANK YOU**

## ORDINANCE

**AN ORDINANCE OF THE CITY OF DESOTO, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF DESOTO, TEXAS, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE USE AND DEVELOPMENT OF 19.880± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15) AND 4.393± ACRES OUT OF THE Z. HEATH SURVEY, ABSTRACT NO. 562, PRESENTLY ZONED SINGLE-FAMILY RESIDENTIAL DISTRICT – 15,000 (SF-15), BY CHANGING THE CURRENT ZONING TO PLANNED DEVELOPMENT NO. 202 (PD-202) WITH A BASE ZONING OF MULTIPLE-FAMILY DISTRICT (MF) WITH DEVIATIONS TO ALLOW FOR A VARIETY OF DWELLINGS CONSISTING OF TWO-FAMILY DWELLING (DUPLEX) AND SINGLE-FAMILY DWELLING VARIATIONS WITHIN A SINGLE MULTIFAMILY RESIDENTIAL COMPLEX; ADOPTING DEVELOPMENT REGULATIONS INCLUDING A SITE CONCEPT PLAN; PROVIDING FOR A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City Planning and Zoning Commission of the City of DeSoto, Texas, and the governing body of the City of DeSoto, in compliance with the laws of the State of Texas, and the Ordinances of the City of DeSoto, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance and Map should be amended;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS:**

**SECTION 1.** That the Comprehensive Zoning Ordinance and Map of the City of DeSoto, Texas, duly passed by the governing body of the City of DeSoto, Texas, on the 19<sup>th</sup> day of August, 1997, as heretofore amended (collectively, the “Zoning Ordinance”), be, and the same are hereby further amended by amending the regulations relating to the use and development of 19.880± acres out of the Z. Heath Survey, Abstract No. 562, presently zoned Single-Family Residential District – 15,000 (SF-15) and 4.393± acres out of the Z. Heath Survey, Abstract No. 562, presently zoned Single-Family Residential District – 15,000 (SF-15), both in the City of DeSoto, Dallas County, Texas, said tracts being more particularly described in Exhibit “A” attached hereto and incorporated herein by reference (collectively, the “Property”), by changing the current zoning of the Property to Planned Development No. 202 (PD-202) with a base zoning of Multiple-Family District (MF), subject to the use and development regulation set forth in Section 2 of this Ordinance .

**SECTION 2.** That the Property shall be developed and used only in accordance with the applicable provisions of the Zoning Ordinance, subject to the following development conditions:

- A. **Purpose.** The purpose of this planned development district is to allow for the development and use of a multi-family residential complex with deviations to allow for a variety of dwellings consisting of two-family dwelling (duplex) and single-family dwelling variations within a single multifamily residential complex lot.
- B. **Base Zoning.** The Property shall be used and developed in accordance with the development standards of Multiple Family District (MF), except as otherwise provided herein.
- C. **Concept Plan.** The Property shall be developed in general conformance with the site plan attached hereto as Exhibit “A” and incorporated herein by reference (the “Site Plan”). Minor modifications that do not alter the general alignment shown on the Concept Plan may be made.
- D. **Landscape Plan.** The Property shall be developed in general conformance with the Landscape Plan attached hereto as Exhibit “C” herein by reference (the “Landscape Plan”).
- E. **Elevations Plan.** The Property shall be developed in general conformance with the Elevations Plan attached hereto as Exhibit “D” and incorporated herein by reference (the “Elevations Plan”).
- F. **Development Standards.** The design criteria for the Property shall comply with the special requirements of the Multiple Family District (MF), except as provided below:
  - 1. **Density.** The maximum number of dwelling units shall not exceed 200.
    - i. **Two-Family Dwellings.** 66 dwelling units shall be constructed as two-family dwellings (duplex) . Such dwellings shall be constructed in accordance with Two-Family Residential District (Duplex) building standards and regulations, except as otherwise provided herein.
    - ii. **Single-Family Dwellings.** 134 dwelling units shall be constructed as single-family dwellings (detached). Such dwellings shall be constructed in accordance with Single-Family Residential District – 10,000 building standards and regulations, except as otherwise provided herein.
  - 2. **Height Regulations.** All buildings shall be limited to one (1) story in height.

3. Size of Yards (Setback) of Property.

- i. Front Yard. The minimum front yard shall be thirty feet (30'). The portion of the Property adjacent to N. Westmoreland Road shall be deemed the front yard.
- ii. Side Yard. The minimum side yard (setback) shall be twenty feet (20').
- iii. Back Yard. The minimum back yard (setback) shall be twenty feet (20').

4. Size of Yards per Dwelling Unit.

- i. Front Yard. The minimum front yard shall be ten feet (5'). All areas adjacent to a street or shared sidewalk/path shall be deemed front yards.
- ii. Back Yard. Each dwelling unit shall have an enclosed back yard with a depth of no less than ten feet (10').
- iii. Building Separation. The minimum building separation between all building on the Property shall be ten feet (10').

5. Minimum Area per Dwelling Unit.

- i. One Bedroom (attached). Six Hundred Ninety (690) square feet.
- ii. Two Bedroom (detached). Nine Hundred Eighty-Five (985) square feet.
- iii. Three Bedroom (detached). One Thousand Two Hundred Sixty-Five (1,265) square feet.

G. **Parking Regulations.** All parking spaces shall comply with the location, and dimensions as shown on the Site Plan and Sections 38.3 through 38.5 and 38.7 through 38.10 of the Zoning Ordinance, subject to the following:

- 1. The required number of parking spaces on the property shall be 470.
  - i. Garges. 170 spaces shall be enclosed (garage). Garages shall not exceed one thousand and one square feet (1,100 sq. ft.).
  - ii. Carports. 62 spaces shall be covered (carport). Carports shall be designed or used to shelter not more than six (6) vehicles and not to exceed sixty feet (60') on its longest dimension.

H. **Refuse Facilities.** The Property shall be served by a minimum of five (5) dumpsters, located on the Property as shown on the Site Plan, and

concierge trash pick-up shall be provided for every resident by the owner of the Property. Refuse facilities shall be screened from public view in accordance with applicable provisions of the Zoning Ordinance.

- I. **Usable Open Space.** An area of common usable open space shall have a slope not exceeding ten percent (10%), shall have no dimension of less than ten feet (10), and may include landscaping, walks, recreational facilities, water features and decorative objects such as artwork or fountains. Usable open space shall not include: rooftops; accessory buildings; parking areas; driveways; turnaround areas; or the right-of-way or easement for streets or alleys.
  
- J. **Screening Walls and Fencing.**
  - 1. The multi-family complex on the Property shall be enclosed by a perimeter fence. Said perimeter fence may include access control features at the entrances to the development.
  - 2. A masonry screening wall of not less than six feet (6') in height shall be constructed on the western edge of the Property adjacent to N. Westmoreland Road as shown on the Site Plan and Landscape Plan.
  - 3. A wrought iron, decorative fence of not less than six feet (6') in height shall be constructed on the northern edge of the Property adjacent Heath Creek as shown on the Site Plan and Landscape Plan.
  - 4. A wooden fence of not less than six feet (6') in height shall be constructed along the remaining edges of the Property as shown on the Site Plan and Landscape Plan.

**SECTION 3.** That the above property shall be used only in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of DeSoto, as heretofore amended, and as amended herein.

**SECTION 4.** That, to the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of DeSoto governing the use and development of the Property and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

**SECTION 5.** That all provisions of the Ordinances of the City of DeSoto in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the Ordinances of the City of DeSoto not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**SECTION 6.** That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same not affect the validity of this Ordinance as a whole, or any part or provision thereof

other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

**SECTION 7.** An offense committed before the effective date of this Ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 8.** That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of DeSoto, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 9.** This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provides.

**IT IS ACCORDINGLY SO ORDAINED.**

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS, THE 5<sup>TH</sup> DAY OF MAY, 2026.**

**APPROVED:**

\_\_\_\_\_  
Rachel L. Proctor, Mayor

**ATTEST:**

\_\_\_\_\_  
Sofine Lewis-Aubrey, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Joseph J. Gorfida, Jr., City Attorney

**EXHIBIT "A"**  
**PROPERTY DESCRIPTION**

**Tract 1 – 19.880± Acres**

BEING a tract of land situated in the Z. Heath Survey, Abstract No. 562, City of DeSoto, Dallas County, Texas, being all of a tract conveyed to Equity Trust Company Custodian FBO Jason Ross IRA, by deed recorded in Instrument No. 201600006042 of the Official Public Records, Dallas County, Texas (OPRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "SPIARSENG" set on the east line of North Westmoreland Road, a public road, and on the north line of Morning Star Estates, an addition recorded in Volume 84194, Page 2145, Deed Records, Dallas County, Texas (DRDCT);

THENCE N 00°52'49" W, 747.55 feet along the east line of Westmoreland Road to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set on the south bank of Heath Creek, a named tributary;

THENCE along the south bank thereof, the following:

S 83°59'13" E, 134.01 feet to a 1/2" iron rod found;

N 57°54'02" E, 129.54 feet to a 1/2" iron rod found;

N 01°21'31" E, 230.76 feet to a 1/2" iron rod found;

N 59°21'43" E, 227.77 feet to a 1/2" iron rod found;

N 53°15'51" E, 204.76 feet to a 1/2" iron rod found;

N 66°57'17" E, 300.46 feet to a 60d nail found in a utility pole;

S 87°24'07" E, 222.51 feet to a 1/2" iron rod found;

And N 50°56'34" E, 149.28 feet to a point on the west line of Summit Parks Phase 3, an addition recorded in Instrument No. 202300042424 OPRDCT;

THENCE S 19°41'33" W, 528.29 feet along the west line of said addition to a 1/2" iron rod found;

THENCE S 00°11'40" W, 414.94 feet continuing along the west line thereof to a 1/2" iron rod found for the northeast corner of a tract conveyed to Howard D. Chaney, et al, recorded in Volume 70105, Page 1304 DRDCT;

THENCE S 89°07'25" W, 178.28 feet along the north line of said Chaney tract to a 1/2" iron rod found;

**EXHIBIT "A"**  
**PROPERTY DESCRIPTION**

THENCE N 86°30'27" W, 175.51 feet continuing along the north line thereof to a 1/2" iron rod found for the northeast corner of a tract described in deed to Commie Lancaster, recorded in Volume 78015, Page 318 DRDCT;

THENCE S 89°02'06" W, 272.70 feet along the north line thereof to a 1/2" iron rod found;

THENCE S 00°52'49" E, 556.98 feet along the west line of said Lancaster tract, passing the southwest corner thereof and the northwest corner of a tract conveyed to KKBK Properties LLC, recorded in Instrument No. 201400299277 OPRDCT, and continuing along the west line thereof to a 1/2" iron rod found on the north line of Morning Star Estates;

THENCE S 88°46'25" W, 89.67 feet along the north line thereof to a 1/2" iron rod found;

THENCE S 89°03'57" W, 325.18 feet continuing along the north line thereof to the POINT OF BEGINNING with the subject tract containing 865,970 square feet or 19.880 acres of land.

**Tract 2 – 19.880± Acres**

BEING a tract of land situated in the Z. Heath Survey, Abstract No. 562, City of DeSoto, Dallas County, Texas, being all of a tract owned by Mary Helen Cahill, and described in Volume 70105, Page 1304, Deed Records, Dallas County, Texas (DRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the west line of Summit Parks Phase 3, an addition recorded in Instrument No. 202300042424, Official Public Records, Dallas County, Texas (OPRDCT), for the upper southeast corner of a tract conveyed to Equity Trust Company Custodian FBO Jason Ross IRA, by deed recorded in Instrument No. 201600006042 OPRDCT;

THENCE S 00°05'38" W, 544.50 feet along the west line of Summit Parks Phase 3 to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the northeast corner of a tract conveyed to Metro Investments, recorded in Volume 73177, Page 1205 DRDCT;

THENCE S 89°09'04" W, 345.47 feet along the north line thereof to a 1/2" iron rod found for the northeast corner of Morning Star Estates, an addition recorded in Volume 84194, Page 2145 DRDCT, and for the southeast corner of a tract conveyed to KKBK Properties LLC, recorded in Instrument No. 201400299277 OPRDCT;

THENCE N 00°43'52" W, along the east line of said KKBK Properties tract, passing at 279.10 feet a 1/2" iron rod found for the northeast corner thereof, being the southeast corner of a tract conveyed to Commie Lancaster, recorded in Volume 78015, Page 318 DRDCT, and continuing along the east line thereof a total distance of 557.63 feet to a 1/2" iron rod found on a southerly line of said Equity Trust tract;

**EXHIBIT "A"**  
**PROPERTY DESCRIPTION**

THENCE S 86°30'27" E, 175.51 feet along the south line thereof to a 1/2" iron rod found;

THENCE N 89°07'25" E, 178.28 feet continuing along the south line thereof to the POINT OF BEGINNING with the subject tract containing 191,359 square feet or 4.393 acres of land.





# EXHIBIT "D" ELEVATIONS PLAN

**COLOR - LEGEND**

1. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 2. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 3. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 4. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 5. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 6. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 7. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 8. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 9. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.  
 10. EXTERIOR WALLS TO BE PAINTED WITH COLOR AND FINISH TO BE DETERMINED BY THE ARCHITECT.

**EXTERIOR MATERIAL - LEGEND**

**EXTERIOR WALL**

**ROOFS**

1. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 2. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 3. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 4. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 5. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
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 9. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 10. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.

**ELEVATION - NOTES**

1. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 2. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 3. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 4. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
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 8. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 9. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.  
 10. EXTERIOR WALLS TO BE FINISHED WITH MATERIAL TO BE DETERMINED BY THE ARCHITECT.

**SYMBOL LEGEND - ELEVATIONS**

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

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○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

○ 1/8" = 1'-0"      ○ 1/4" = 1'-0"      ○ 1/2" = 1'-0"      ○ 3/4" = 1'-0"      ○ 1" = 1'-0"

<p><b>1 of 12</b></p> <p>SHEET NUMBER</p> <p>PROJECT TITLE</p> <p>DATE</p>	<p><b>AVILLA DOGWOOD CANYON</b></p> <p>DESOTO, TX</p>	<p><b>NEXmetro</b></p> <p>CONSTRUCTION MANAGEMENT</p>	<p><b>VISION + ARCHITECTURE STUDIO</b></p> <p>10000 NORTH CENTRAL EXPWY.              SUITE 1045              DALLAS, TEXAS 75231              469.677.0079</p> <p>© 2024 by Vision + Architecture Studio, LLC              1801 W. Park Blvd., Suite 1045, Dallas, TX 75231</p>
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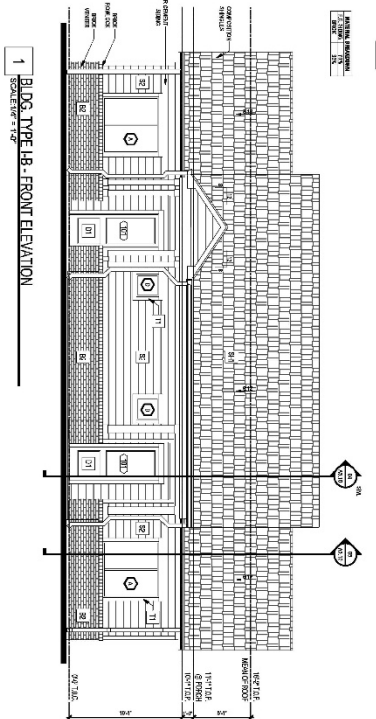
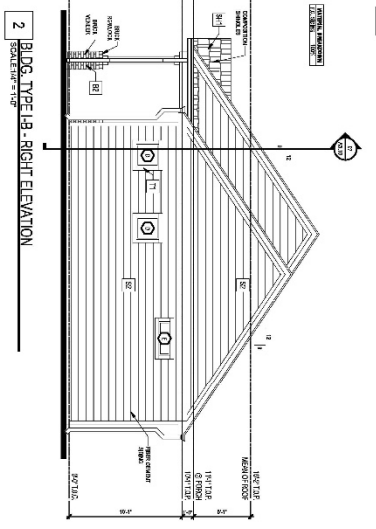
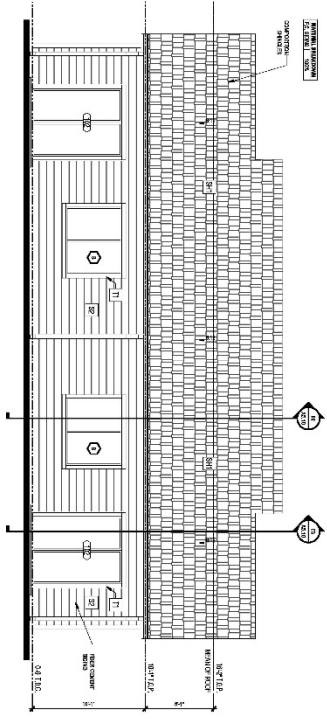
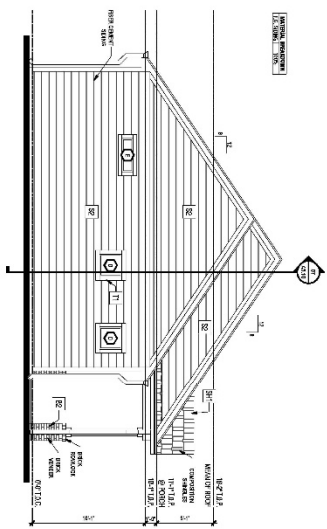
# EXHIBIT "D" ELEVATIONS PLAN

COLOR - LEGEND	
	1. WHITE
	2. LIGHT GRAY
	3. MEDIUM GRAY
	4. DARK GRAY
	5. BLACK

EXTERIOR MATERIAL - LEGEND	
	1. BRICK
	2. STONE
	3. CONCRETE
	4. METAL
	5. WOOD

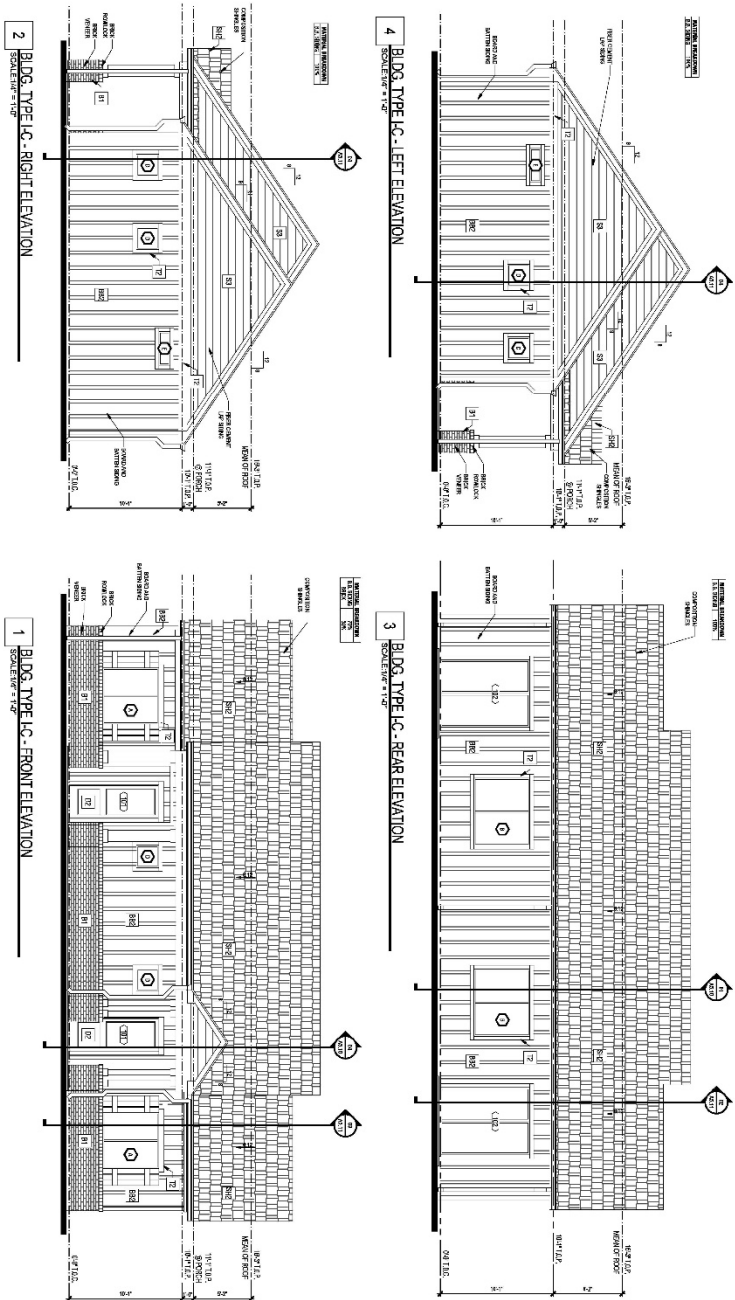
ELEVATION - NOTES	
1.	ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
3.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE COLOR LEGEND.
4.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
5.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE COLOR LEGEND.
6.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
7.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE COLOR LEGEND.
8.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
9.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE COLOR LEGEND.
10.	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.

SYMBOL LEGEND - ELEVATIONS	
	1. WINDOW
	2. DOOR
	3. WALL SECTION
	4. ROOF SECTION
	5. FLOOR SECTION
	6. CEILING SECTION
	7. FINISH LINE
	8. MATERIAL LINE
	9. CENTERLINE
	10. DIMENSION LINE



<b>AVILLA DOGWOOD CANYON</b> DESOTO, TX		10000 NORTH CENTRAL EXPWY. SUITE 1045 DALLAS, TEXAS 75231 469.677.0079 <small>© 2020 by VISION+ ARCHITECTURE STUDIO, L.L.C.          ALL RIGHTS RESERVED.</small>
	PROJECT TITLE: _____ SHEET NUMBER: <b>3 of 12</b> DATE: _____ DRAWN BY: _____ CHECKED BY: _____	

# EXHIBIT "D" ELEVATIONS PLAN



COLOR - LEGEND	
1	WHITE
2	BLACK
3	RED
4	GREEN
5	BLUE
6	BROWN
7	GRAY
8	PINK
9	PURPLE
10	YELLOW
11	CYAN
12	MAGENTA
13	TEAL
14	ORANGE
15	SLATE
16	CHARCOAL
17	NAVY
18	CRIMSON
19	INDIGO
20	VIOLET
21	EMERALD
22	SAPPHIRE
23	AMETHYST
24	TOPAZ
25	DIAMOND
26	GEMSTONE
27	PEARL
28	OPAL
29	JADE
30	ONYX
31	AGATE
32	AMBER
33	GOLD
34	SILVER
35	BRASS
36	COPPER
37	ZINC
38	ALUMINUM
39	STEEL
40	CONCRETE
41	ASPHALT
42	PAVEMENT
43	GRASS
44	LANDSCAPE
45	SKY
46	WATER
47	SEA
48	OCEAN
49	LAKE
50	RIVER
51	STREAM
52	CREEK
53	BROOK
54	RIDGE
55	VALLEY
56	HILL
57	MOUNTAIN
58	CLIFF
59	CANYON
60	CAVE
61	CAVERN
62	CHURCH
63	TEMPLE
64	SYNAGOGUE
65	MOSQUE
66	SHRINE
67	MONASTERY
68	CONVENT
69	PARISH
70	DIocese
71	ARCHDIOCESE
72	EPISCOPAL
73	ORTHODOX
74	ANGELICAN
75	EVANGELICAL
76	METHODIST
77	BAPTIST
78	PRESBYTERIAN
79	REFORMED
80	UNITARIAN
81	QUAKER
82	SEVENTH DAY ADVENTIST
83	JEWELRY
84	WATCH
85	WATCHDOG
86	WATCHMAN
87	WATCHTOWER
88	WATCHTOWER SOCIETY
89	WATCHTOWER BIBLE SOCIETY
90	WATCHTOWER PUBLICATIONS
91	WATCHTOWER MAGAZINE
92	WATCHTOWER NEWS
93	WATCHTOWER ONLINE
94	WATCHTOWER APP
95	WATCHTOWER WEBSITE
96	WATCHTOWER SOCIAL MEDIA
97	WATCHTOWER YOUTUBE
98	WATCHTOWER FACEBOOK
99	WATCHTOWER TWITTER
100	WATCHTOWER INSTAGRAM

EXTERIOR MATERIAL - LEGEND	
1	BRICK
2	STONE
3	WOOD
4	ROOFING
5	GLASS
6	METAL
7	PLASTER
8	CONCRETE
9	ASPHALT
10	PAVEMENT
11	GRASS
12	LANDSCAPE
13	SKY
14	WATER
15	SEA
16	OCEAN
17	LAKE
18	RIVER
19	STREAM
20	CREEK
21	BROOK
22	RIDGE
23	VALLEY
24	HILL
25	MOUNTAIN
26	CLIFF
27	CANYON
28	CAVE
29	CAVERN
30	CHURCH
31	TEMPLE
32	SYNAGOGUE
33	MOSQUE
34	SHRINE
35	MONASTERY
36	CONVENT
37	PARISH
38	DIocese
39	ARCHDIOCESE
40	EPISCOPAL
41	ORTHODOX
42	ANGELICAN
43	EVANGELICAL
44	METHODIST
45	BAPTIST
46	PRESBYTERIAN
47	REFORMED
48	UNITARIAN
49	QUAKER
50	SEVENTH DAY ADVENTIST

ELEVATION - NOTES	
1	ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
2	ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
3	ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
4	ALL ROOFING IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ROOFING MANUFACTURER'S INSTRUCTIONS.
5	ALL GLASS IS TO BE 1/2" THICK UNLESS OTHERWISE SPECIFIED.
6	ALL METAL IS TO BE GALVANNEAL UNLESS OTHERWISE SPECIFIED.
7	ALL PLASTER IS TO BE 5/8" THICK UNLESS OTHERWISE SPECIFIED.
8	ALL CONCRETE IS TO BE 3000 PSI UNLESS OTHERWISE SPECIFIED.
9	ALL ASPHALT IS TO BE 50 MIL THICK UNLESS OTHERWISE SPECIFIED.
10	ALL PAVEMENT IS TO BE 4" THICK UNLESS OTHERWISE SPECIFIED.
11	ALL GRASS IS TO BE MAINTAINED AT ALL TIMES.
12	ALL LANDSCAPE IS TO BE MAINTAINED AT ALL TIMES.
13	ALL SKY IS TO BE CLEAR UNLESS OTHERWISE SPECIFIED.
14	ALL WATER IS TO BE CLEAR UNLESS OTHERWISE SPECIFIED.
15	ALL SEA IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
16	ALL OCEAN IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
17	ALL LAKE IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
18	ALL RIVER IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
19	ALL STREAM IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
20	ALL CREEK IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
21	ALL BROOK IS TO BE CALM UNLESS OTHERWISE SPECIFIED.
22	ALL RIDGE IS TO BE MAINTAINED AT ALL TIMES.
23	ALL VALLEY IS TO BE MAINTAINED AT ALL TIMES.
24	ALL HILL IS TO BE MAINTAINED AT ALL TIMES.
25	ALL MOUNTAIN IS TO BE MAINTAINED AT ALL TIMES.
26	ALL CLIFF IS TO BE MAINTAINED AT ALL TIMES.
27	ALL CANYON IS TO BE MAINTAINED AT ALL TIMES.
28	ALL CAVE IS TO BE MAINTAINED AT ALL TIMES.
29	ALL CAVERN IS TO BE MAINTAINED AT ALL TIMES.
30	ALL CHURCH IS TO BE MAINTAINED AT ALL TIMES.
31	ALL TEMPLE IS TO BE MAINTAINED AT ALL TIMES.
32	ALL SYNAGOGUE IS TO BE MAINTAINED AT ALL TIMES.
33	ALL MOSQUE IS TO BE MAINTAINED AT ALL TIMES.
34	ALL SHRINE IS TO BE MAINTAINED AT ALL TIMES.
35	ALL MONASTERY IS TO BE MAINTAINED AT ALL TIMES.
36	ALL CONVENT IS TO BE MAINTAINED AT ALL TIMES.
37	ALL PARISH IS TO BE MAINTAINED AT ALL TIMES.
38	ALL DIocese IS TO BE MAINTAINED AT ALL TIMES.
39	ALL ARCHDIOCESE IS TO BE MAINTAINED AT ALL TIMES.
40	ALL EPISCOPAL IS TO BE MAINTAINED AT ALL TIMES.
41	ALL ORTHODOX IS TO BE MAINTAINED AT ALL TIMES.
42	ALL ANGELICAN IS TO BE MAINTAINED AT ALL TIMES.
43	ALL EVANGELICAL IS TO BE MAINTAINED AT ALL TIMES.
44	ALL METHODIST IS TO BE MAINTAINED AT ALL TIMES.
45	ALL BAPTIST IS TO BE MAINTAINED AT ALL TIMES.
46	ALL PRESBYTERIAN IS TO BE MAINTAINED AT ALL TIMES.
47	ALL REFORMED IS TO BE MAINTAINED AT ALL TIMES.
48	ALL UNITARIAN IS TO BE MAINTAINED AT ALL TIMES.
49	ALL QUAKER IS TO BE MAINTAINED AT ALL TIMES.
50	ALL SEVENTH DAY ADVENTIST IS TO BE MAINTAINED AT ALL TIMES.

SYMBOL LEGEND - ELEVATIONS	
	ELEVATION
	WINDOW
	DOOR
	ROOF
	GLASS
	METAL
	PLASTER
	CONCRETE
	ASPHALT
	PAVEMENT
	GRASS
	LANDSCAPE
	SKY
	WATER
	SEA
	OCEAN
	LAKE
	RIVER
	STREAM
	CREEK
	BROOK
	RIDGE
	VALLEY
	HILL
	MOUNTAIN
	CLIFF
	CANYON
	CAVE
	CAVERN
	CHURCH
	TEMPLE
	SYNAGOGUE
	MOSQUE
	SHRINE
	MONASTERY
	CONVENT
	PARISH
	DIocese
	ARCHDIOCESE
	EPISCOPAL
	ORTHODOX
	ANGELICAN
	EVANGELICAL
	METHODIST
	BAPTIST
	PRESBYTERIAN
	REFORMED
	UNITARIAN
	QUAKER
	SEVENTH DAY ADVENTIST

<b>4 of 12</b> SHEET NUMBER SUBJECT TITLE DRAWING NO. 11-11-11-11-11	<b>AVILLA DOGWOOD CANYON</b> DESOTO, TX	<b>NEXmetrio</b> CORPORATION OF TEXAS	<b>VISION+ ARCHITECTURE STUDIO</b> 10000 NORTH CENTRAL EXPWY. SUITE 1045 DALLAS, TEXAS 75231 469.677.0079 © 2019 by Vision+ Architecture Studio, L.L.C. All Rights Reserved
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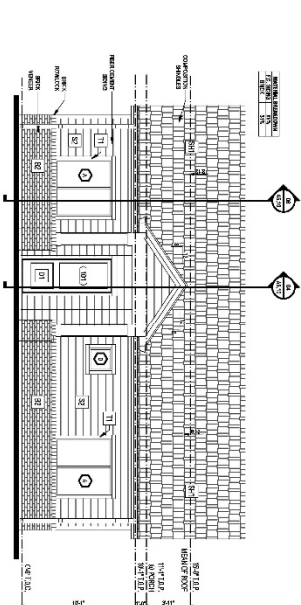
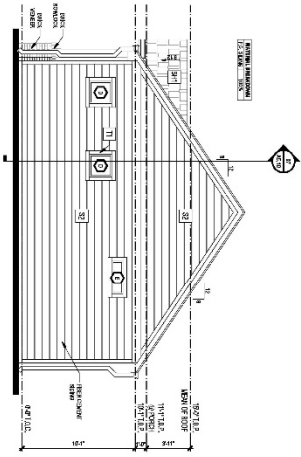
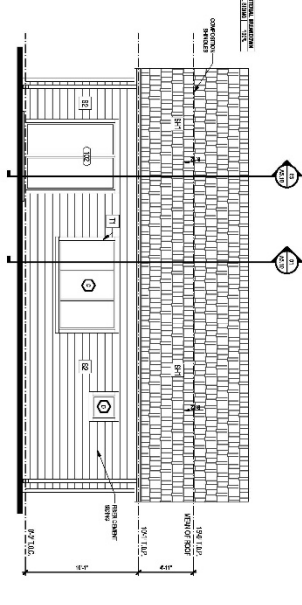
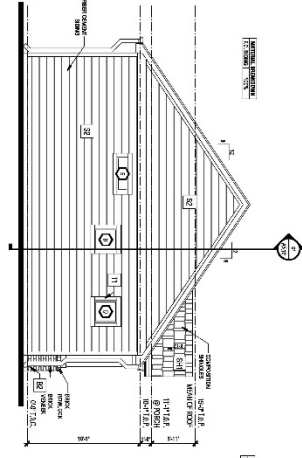
# EXHIBIT "D" ELEVATIONS PLAN

COLOR - LEGEND	
	1. LIGHT GRAY
	2. DARK GRAY
	3. BROWN
	4. RED
	5. GREEN
	6. BLUE
	7. YELLOW
	8. PURPLE
	9. PINK
	10. WHITE

EXTERIOR MATERIAL - LEGEND	
	1. BRICK
	2. STONE
	3. CONCRETE
	4. METAL
	5. WOOD
	6. GLASS
	7. CERAMIC TILE
	8. ASPHALT
	9. RUBBER
	10. PLASTER

ELEVATION - NOTES	
1.	ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
2.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
3.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE COLOR LEGEND.
4.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
5.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE COLOR LEGEND.
6.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
7.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE COLOR LEGEND.
8.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
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14.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.
15.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE COLOR LEGEND.

SYMBOL LEGEND - ELEVATIONS	
	1. WINDOW
	2. DOOR
	3. ROOF
	4. GROUND
	5. PLANT
	6. FENCE
	7. DRIVE
	8. SIDEWALK
	9. PORCH
	10. PATIO
	11. DECK
	12. BALCONY
	13. TERRACE
	14. STAIR
	15. RAMP



<b>AVILLA DOGWOOD CANYON</b> DESOTO, TX		10000 NORTH CENTRAL EXPY., SUITE 1045 DALLAS, TEXAS 75231 469.677.0079 © 2018 by Vision+ Architecture Studio, L.P. All Rights Reserved
	PROJECT NO. 18-001 SHEET NUMBER: 6 of 12 DATE: 08/15/2018	



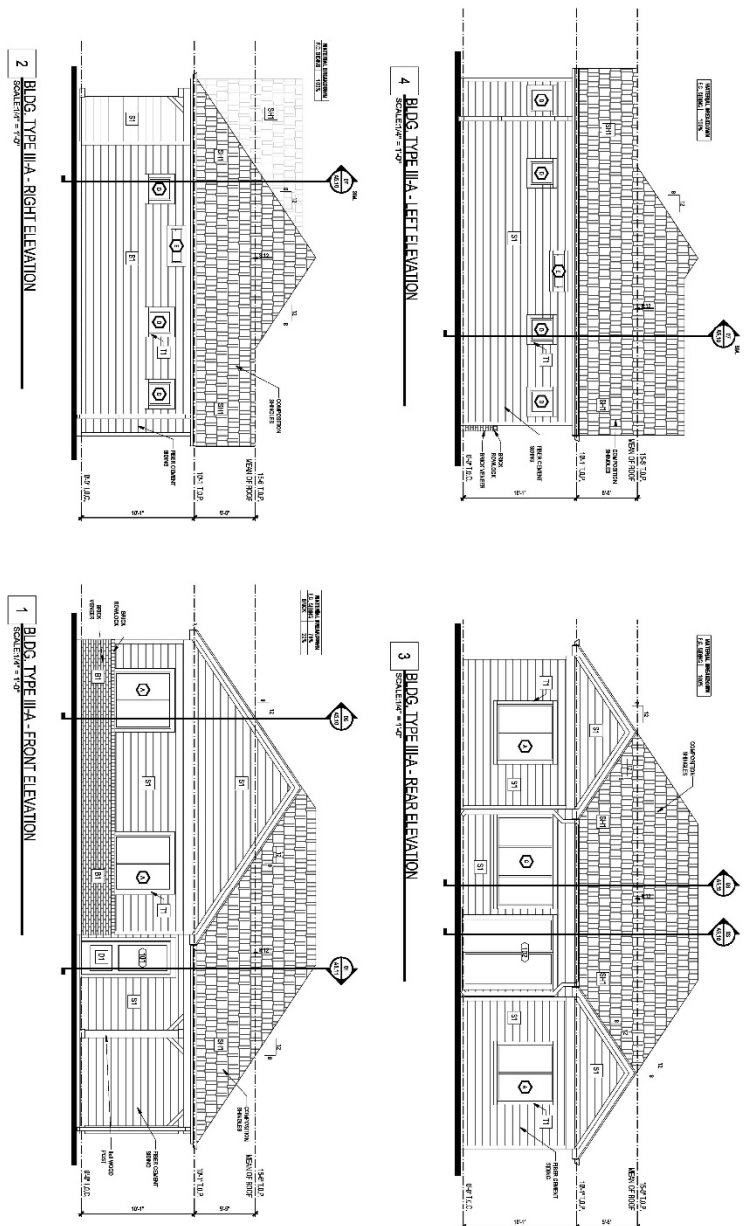
# EXHIBIT "D" ELEVATIONS PLAN

COLOR - LEGEND	
	1. TRIM: WHITE
	2. EXTERIOR WALL: LIGHT GRAY
	3. ROOF: DARK GRAY
	4. FLOOR: LIGHT GRAY
	5. CEILING: WHITE
	6. WINDOW: WHITE
	7. DOOR: WHITE
	8. PORCH FLOOR: LIGHT GRAY
	9. PORCH FLOOR: DARK GRAY
	10. PORCH FLOOR: BROWN
	11. PORCH FLOOR: RED
	12. PORCH FLOOR: GREEN
	13. PORCH FLOOR: BLUE
	14. PORCH FLOOR: PURPLE
	15. PORCH FLOOR: PINK
	16. PORCH FLOOR: YELLOW
	17. PORCH FLOOR: CYAN
	18. PORCH FLOOR: MAGENTA
	19. PORCH FLOOR: BLACK
	20. PORCH FLOOR: GREY

EXTERIOR MATERIAL - LEGEND	
	1. BRICK
	2. STUCCO
	3. SIDING
	4. SHINGLES
	5. SLATE
	6. MARBLE
	7. GRANITE
	8. QUARTZ
	9. CONCRETE
	10. ASPHALT
	11. SANDSTONE
	12. LIMESTONE
	13. GNEISS
	14. SLATE
	15. MARBLE
	16. GRANITE
	17. QUARTZ
	18. CONCRETE
	19. ASPHALT
	20. SANDSTONE
	21. LIMESTONE
	22. GNEISS
	23. SLATE
	24. MARBLE
	25. GRANITE
	26. QUARTZ
	27. CONCRETE
	28. ASPHALT
	29. SANDSTONE
	30. LIMESTONE
	31. GNEISS
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	34. GRANITE
	35. QUARTZ
	36. CONCRETE
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	96. MARBLE
	97. GRANITE
	98. QUARTZ
	99. CONCRETE
	100. ASPHALT

ELEVATION - NOTES	
1.	ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES (F'-0").
2.	ALL FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
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100.	ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.

SYMBOL LEGEND - ELEVATIONS	
	1. WINDOW
	2. DOOR
	3. PORCH
	4. ROOF
	5. GROUND
	6. FINISH
	7. MATERIAL
	8. DIMENSION
	9. ELEVATION
	10. SECTION
	11. REFERENCE
	12. FINISH
	13. MATERIAL
	14. DIMENSION
	15. ELEVATION
	16. SECTION
	17. REFERENCE
	18. FINISH
	19. MATERIAL
	20. DIMENSION
	21. ELEVATION
	22. SECTION
	23. REFERENCE
	24. FINISH
	25. MATERIAL
	26. DIMENSION
	27. ELEVATION
	28. SECTION
	29. REFERENCE
	30. FINISH
	31. MATERIAL
	32. DIMENSION
	33. ELEVATION
	34. SECTION
	35. REFERENCE
	36. FINISH
	37. MATERIAL
	38. DIMENSION
	39. ELEVATION
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	42. FINISH
	43. MATERIAL
	44. DIMENSION
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	46. SECTION
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	57. ELEVATION
	58. SECTION
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	62. DIMENSION
	63. ELEVATION
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	66. FINISH
	67. MATERIAL
	68. DIMENSION
	69. ELEVATION
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	72. FINISH
	73. MATERIAL
	74. DIMENSION
	75. ELEVATION
	76. SECTION
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	92. DIMENSION
	93. ELEVATION
	94. SECTION
	95. REFERENCE
	96. FINISH
	97. MATERIAL
	98. DIMENSION
	99. ELEVATION
	100. SECTION



<p><b>VISION+ ARCHITECTURE STUDIO</b></p> <p>10000 NORTH CENTRAL EXPWY. SUITE 1045 DALLAS, TEXAS 75231 469.677.0079</p>	<p><b>AVILLA DOGWOOD CANYON</b></p> <p>DESOTO, TX</p>	<p><b>NEXmetro</b></p> <p>CONSTRUCTION PROJECT</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> <p>PROJECT NO. 10000 NORTH CENTRAL EXPWY. SUITE 1045 DALLAS, TEXAS 75231</p> <p>DATE: 08/20/2024</p> <p>SHEET NUMBER: 8 of 12</p> <p>DRAWN BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>DATE: 08/20/2024</p>	NO.	DATE	REVISION									
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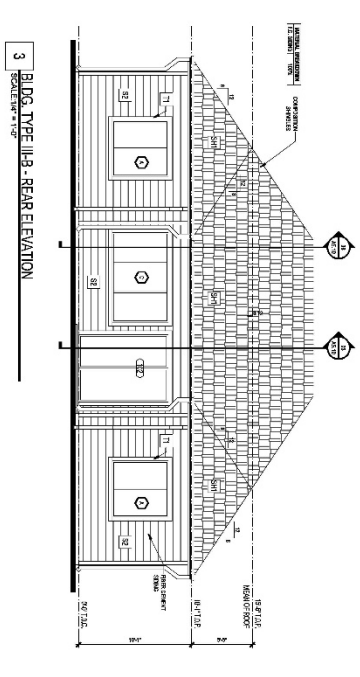
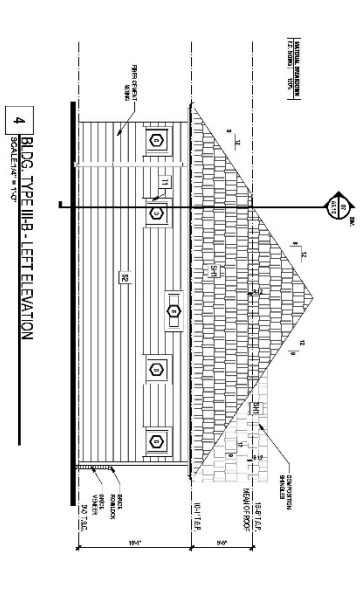
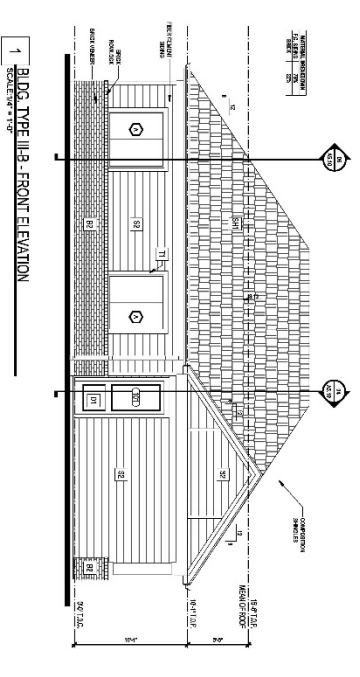
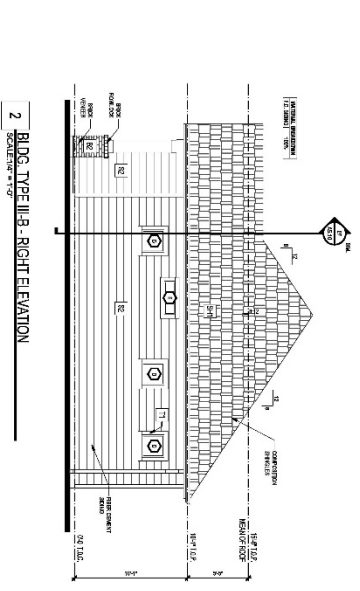
# EXHIBIT "D" ELEVATIONS PLAN

COLOR - LEGEND	
	1. LIGHT GRAY - EXTERIOR WALL
	2. DARK GRAY - EXTERIOR WALL
	3. WHITE - EXTERIOR WALL
	4. LIGHT BLUE - EXTERIOR WALL
	5. DARK BLUE - EXTERIOR WALL
	6. LIGHT GREEN - EXTERIOR WALL
	7. DARK GREEN - EXTERIOR WALL
	8. LIGHT BROWN - EXTERIOR WALL
	9. DARK BROWN - EXTERIOR WALL
	10. LIGHT TAN - EXTERIOR WALL
	11. DARK TAN - EXTERIOR WALL
	12. LIGHT PURPLE - EXTERIOR WALL
	13. DARK PURPLE - EXTERIOR WALL
	14. LIGHT PINK - EXTERIOR WALL
	15. DARK PINK - EXTERIOR WALL
	16. LIGHT RED - EXTERIOR WALL
	17. DARK RED - EXTERIOR WALL
	18. LIGHT ORANGE - EXTERIOR WALL
	19. DARK ORANGE - EXTERIOR WALL
	20. LIGHT YELLOW - EXTERIOR WALL
	21. DARK YELLOW - EXTERIOR WALL
	22. LIGHT BLUE-GRAY - EXTERIOR WALL
	23. DARK BLUE-GRAY - EXTERIOR WALL
	24. LIGHT GREEN-GRAY - EXTERIOR WALL
	25. DARK GREEN-GRAY - EXTERIOR WALL
	26. LIGHT BROWN-GRAY - EXTERIOR WALL
	27. DARK BROWN-GRAY - EXTERIOR WALL
	28. LIGHT TAN-GRAY - EXTERIOR WALL
	29. DARK TAN-GRAY - EXTERIOR WALL
	30. LIGHT PURPLE-GRAY - EXTERIOR WALL
	31. DARK PURPLE-GRAY - EXTERIOR WALL
	32. LIGHT PINK-GRAY - EXTERIOR WALL
	33. DARK PINK-GRAY - EXTERIOR WALL
	34. LIGHT RED-GRAY - EXTERIOR WALL
	35. DARK RED-GRAY - EXTERIOR WALL
	36. LIGHT ORANGE-GRAY - EXTERIOR WALL
	37. DARK ORANGE-GRAY - EXTERIOR WALL
	38. LIGHT YELLOW-GRAY - EXTERIOR WALL
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	97. DARK GREEN-GRAY - EXTERIOR WALL
	98. LIGHT BROWN-GRAY - EXTERIOR WALL
	99. DARK BROWN-GRAY - EXTERIOR WALL
	100. LIGHT TAN-GRAY - EXTERIOR WALL

EXTERIOR MATERIAL - LEGEND	
	1. BRICK
	2. STONE
	3. TILE
	4. METAL PANELS
	5. WOOD SHAKES
	6. PLASTER
	7. CONCRETE
	8. GLASS
	9. VINYL
	10. ALUMINUM
	11. COPPER
	12. ZINC
	13. BRASS
	14. STEEL
	15. IRON
	16. CEMENT
	17. SAND
	18. GRAVEL
	19. ASPHALT
	20. RUBBER
	21. GLASS BLOCK
	22. TRANSPARENT GLASS
	23. OPAQUE GLASS
	24. GLASS CURTAIN WALL
	25. GLASS DOOR
	26. GLASS WINDOW
	27. GLASS SKYLIGHT
	28. GLASS ROOF
	29. GLASS FLOOR
	30. GLASS WALL
	31. GLASS PARTITION
	32. GLASS ENCLOSURE
	33. GLASS ELEVATOR
	34. GLASS STAIR
	35. GLASS RAMP
	36. GLASS BALCONY
	37. GLASS TERRACE
	38. GLASS PORCH
	39. GLASS PATIO
	40. GLASS DECK
	41. GLASS PORCH SCREEN
	42. GLASS PATIO SCREEN
	43. GLASS DECK SCREEN
	44. GLASS PORCH ENCLOSURE
	45. GLASS PATIO ENCLOSURE
	46. GLASS DECK ENCLOSURE
	47. GLASS PORCH ENCLOSURE SCREEN
	48. GLASS PATIO ENCLOSURE SCREEN
	49. GLASS DECK ENCLOSURE SCREEN
	50. GLASS PORCH ENCLOSURE SCREEN

ELEVATION - NOTES	
1.	ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.
2.	ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE ELEVATIONS UNLESS OTHERWISE NOTED.
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SYMBOL LEGEND - ELEVATIONS	
	1. WINDOW
	2. DOOR
	3. SKYLIGHT
	4. ROOF
	5. GROUND
	6. FINISH LINE
	7. CENTER LINE
	8. DIMENSION LINE
	9. SECTION CUT
	10. ELEVATION MARKER
	11. FINISH LINE
	12. CENTER LINE
	13. DIMENSION LINE
	14. SECTION CUT
	15. ELEVATION MARKER
	16. FINISH LINE
	17. CENTER LINE
	18. DIMENSION LINE
	19. SECTION CUT
	20. ELEVATION MARKER
	21. FINISH LINE
	22. CENTER LINE
	23. DIMENSION LINE
	24. SECTION CUT
	25. ELEVATION MARKER
	26. FINISH LINE
	27. CENTER LINE
	28. DIMENSION LINE
	29. SECTION CUT
	30. ELEVATION MARKER
	31. FINISH LINE
	32. CENTER LINE
	33. DIMENSION LINE
	34. SECTION CUT
	35. ELEVATION MARKER
	36. FINISH LINE
	37. CENTER LINE
	38. DIMENSION LINE
	39. SECTION CUT
	40. ELEVATION MARKER
	41. FINISH LINE
	42. CENTER LINE
	43. DIMENSION LINE
	44. SECTION CUT
	45. ELEVATION MARKER
	46. FINISH LINE
	47. CENTER LINE
	48. DIMENSION LINE
	49. SECTION CUT
	50. ELEVATION MARKER



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		<p>PROJECT NO. 1500000001</p> <p>SHEET NUMBER 9 of 12</p> <p>DATE: 08/20/2015</p> <p>SCALE: 1/4" = 1'-0"</p>

# EXHIBIT "D" ELEVATIONS PLAN

**COLOR - LEGEND**

1. WHITE UNPAINTED GYP. BOARD  
2. EXTERIOR PAINT  
3. INTERIOR PAINT  
4. UNPAINTED WOOD  
5. UNPAINTED METAL  
6. UNPAINTED BRICK  
7. UNPAINTED CONCRETE  
8. UNPAINTED STONE  
9. UNPAINTED TERRAZZO  
10. UNPAINTED MARBLE  
11. UNPAINTED GRANITE  
12. UNPAINTED SLATE  
13. UNPAINTED CEMENT  
14. UNPAINTED PLASTER  
15. UNPAINTED GIPSUM  
16. UNPAINTED STUCCO  
17. UNPAINTED PUTTY  
18. UNPAINTED PAINT  
19. UNPAINTED STAIN  
20. UNPAINTED VARNISH  
21. UNPAINTED POLISH  
22. UNPAINTED WAX  
23. UNPAINTED OIL  
24. UNPAINTED RESIN  
25. UNPAINTED GLASS  
26. UNPAINTED CERAMIC  
27. UNPAINTED TILE  
28. UNPAINTED FLOORING  
29. UNPAINTED CARPET  
30. UNPAINTED RUG

**EXTERIOR MATERIAL - LEGEND**

1. BRICK  
2. STONE  
3. TERRAZZO  
4. MARBLE  
5. GRANITE  
6. SLATE  
7. CEMENT  
8. PLASTER  
9. GIPSUM  
10. STUCCO  
11. PUTTY  
12. PAINT  
13. STAIN  
14. VARNISH  
15. POLISH  
16. WAX  
17. OIL  
18. RESIN  
19. GLASS  
20. CERAMIC  
21. TILE  
22. FLOORING  
23. CARPET  
24. RUG

**ELEVATION - NOTES**

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
2. FINISHES ARE TO BE AS SHOWN ON THE COLOR AND EXTERIOR MATERIAL LEGENDS.  
3. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE EXTERIOR MATERIAL LEGEND.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.  
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.  
8. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.  
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL ADJACENT PROPERTIES.  
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.  
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL ADJACENT PROPERTIES.  
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.

**SYMBOL LEGEND - ELEVATIONS**

1. WINDOW  
2. DOOR  
3. ROOF  
4. GUTTER  
5. AIR CONDITIONING  
6. LIGHTING  
7. VENTILATION  
8. EXHAUST  
9. DOWNSPOUT  
10. RAINWATER HARVESTING  
11. SECURITY  
12. LANDSCAPE  
13. SIGNAGE  
14. FENCE  
15. DRIVEWAY  
16. PORCH  
17. PATIO  
18. DECK  
19. STAIRS  
20. ELEVATOR  
21. ESCAPE ROUTE  
22. FIRE ESCAPE  
23. FIRE ALARM  
24. FIRE EXTINGUISHER  
25. FIRE HYDRANT  
26. FIRE TOWER  
27. FIRE TRUCK  
28. FIRE PUMP  
29. FIRE WATER TANK  
30. FIRE WATER TOWER

**1 BLDG. TYPE III-C - FRONT ELEVATION**

**2 BLDG. TYPE III-C - RIGHT ELEVATION**

**3 BLDG. TYPE III-C - REAR ELEVATION**

**4 BLDG. TYPE III-C - LEFT ELEVATION**

<p><b>AVILLA DOGWOOD CANYON</b> DESO TO, TX</p>	<p><b>VISION+ ARCHITECTURE STUDIO</b></p> <p>10000 NORTH CENTRAL EXPWY. SUITE 1045 DALLAS, TEXAS 75231 469.677.0079</p> <p>© 2023 by Vision+ Architecture Studio All Rights Reserved</p>	<p><b>NEXmetrio</b> CONCEPTS OF DESIGN GROUP</p> <p>PROJECT: AVILLA DATE: 08/2023 SHEET NUMBER: 10 of 12 SHEET TITLE: AVILLA EXHIBIT D</p>
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# EXHIBIT "D" ELEVATIONS PLAN

**COLOR - LEGEND**

1. ALL UNLESS NOTED TO THE CONTRARY, MATERIALS SHALL BE AS SHOWN.  
 2. FINISHES TO BE USED SHALL BE AS SHOWN.  
 3. FINISHES TO BE USED SHALL BE AS SHOWN.  
 4. FINISHES TO BE USED SHALL BE AS SHOWN.  
 5. FINISHES TO BE USED SHALL BE AS SHOWN.

1. ALL UNLESS NOTED TO THE CONTRARY, MATERIALS SHALL BE AS SHOWN.	2. FINISHES TO BE USED SHALL BE AS SHOWN.
3. FINISHES TO BE USED SHALL BE AS SHOWN.	4. FINISHES TO BE USED SHALL BE AS SHOWN.
5. FINISHES TO BE USED SHALL BE AS SHOWN.	6. FINISHES TO BE USED SHALL BE AS SHOWN.

**EXTERIOR MATERIAL - LEGEND**

**EXTERIOR WALL**

1. ALL UNLESS NOTED TO THE CONTRARY, MATERIALS SHALL BE AS SHOWN.  
 2. FINISHES TO BE USED SHALL BE AS SHOWN.  
 3. FINISHES TO BE USED SHALL BE AS SHOWN.  
 4. FINISHES TO BE USED SHALL BE AS SHOWN.

**ROOFS**

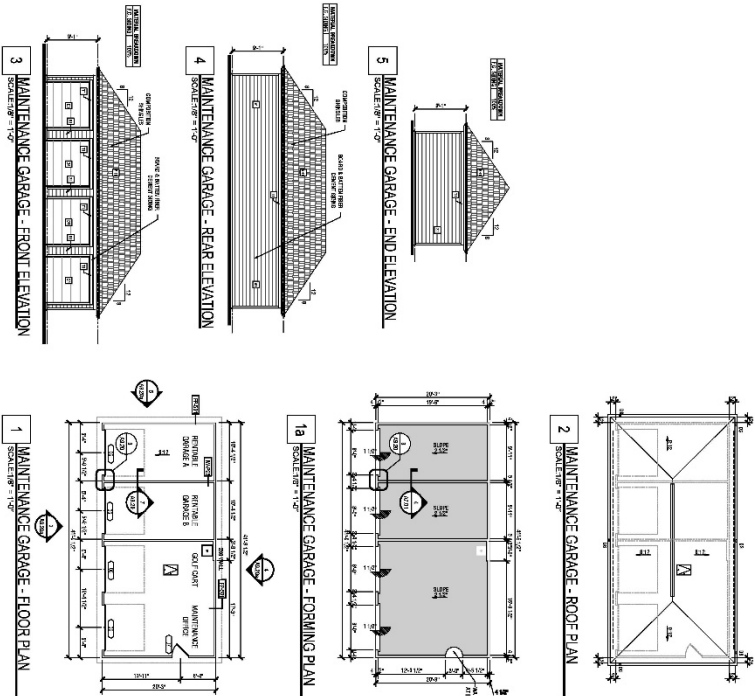
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**ELEVATION - NOTES**

1. ALL UNLESS NOTED TO THE CONTRARY, MATERIALS SHALL BE AS SHOWN.  
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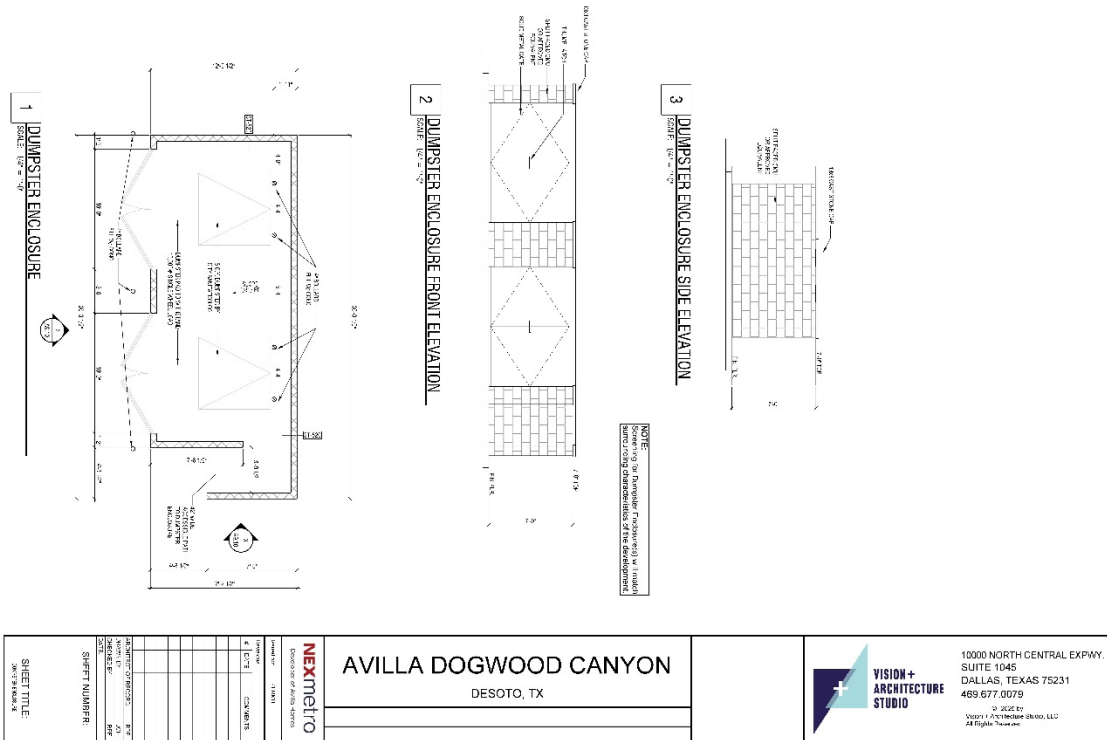
**SYMBOL LEGEND - ELEVATIONS**

1. ALL UNLESS NOTED TO THE CONTRARY, MATERIALS SHALL BE AS SHOWN.	2. FINISHES TO BE USED SHALL BE AS SHOWN.
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# EXHIBIT "D" ELEVATIONS PLAN



## City Council Meeting

H. 1.

**Meeting Date:** 05/05/2026

**Submitted For:** Joe Costa, Police Chief

**Phone:**

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### COUNCIL ACTION

#### AGENDA ITEM:

Consider approving a resolution authorizing the submission of a grant application on behalf of the DeSoto Police Department to the Motor Vehicle Crime Prevention Authority Task Force grant to secure funding for various initiatives designed to prevent and reduce catalytic converter theft and other motor vehicle-related crimes in the amount of \$327,054

#### BACKGROUND:

The DeSoto Police Department seeks to secure grant funding through the Motor Vehicle Crime Prevention Authority (MVCPA) to support multiple projects throughout the city aimed at preventing and reducing motor vehicle-related offenses. The MVCPA Task Force grant requires the City to adopt a resolution authorizing the submission of the grant application.

If awarded, the grant will fund several initiatives, including the installation of Flock Safety cameras at key intersections citywide, the acquisition of a UAS patrol vehicle, and the addition of a dedicated operator for the Department's Drone as First Responder (DFR) program. These initiatives are expected to significantly enhance the Department's ability to deter, respond, and investigate motor vehicle crimes while minimizing the financial impact on the City, as the grant requires only a 20% cash match.

#### FINDINGS:

The Flock Safety system has proven to be an effective and reliable tool, significantly enhancing investigative capabilities and improving patrol response when known suspects are identified within the area. The addition of a UAS patrol vehicle will provide a full-time, self-sustaining platform, enabling faster response and deployment times while increasing real-time situational awareness for law enforcement personnel. These technologies align with the City's ongoing commitment to public safety, proactive policing strategies, and the reduction of motor vehicle-related crimes.

#### FINANCIAL IMPACT:

The Motor Vehicle Crime Prevention Authority is a reimbursement grant program that requires a 20% cash match of \$65,411 for a total of \$392,465.

#### RECOMMENDATION:

Staff recommends that the City Council approve the Resolution for the submission of a grant application on behalf of the DeSoto Police Department to the Motor Vehicle Crime Prevention Authority Task Force grant to secure funding for various initiatives designed to prevent and reduce catalytic converter theft and other motor vehicle-related crimes in the amount of \$327,054.

#### MANAGEMENT REVIEW

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**Attachments**

Resolution

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RESOLUTION

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS, APPROVING THE SUBMISSION OF A GRANT APPLICATION ON BEHALF OF THE DESOTO POLICE DEPARTMENT TO THE MOTOR VEHICLE CRIME PREVENTION AUTHORITY FOR THE TASK FORCE GRANT, FOR THE DESOTO MOTOR VEHICLE CRIME REDUCTION INITIATIVE (MVCRI); AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the DeSoto Police Department has determined that it is in the best interest of the citizens of the City of DeSoto to apply for and receive funding from the Motor Vehicle Crime Prevention Authority in the amount of \$327,054 with a 20% cash match; and

**WHEREAS**, pursuant to the provisions of Texas Transportation Code, Chapter 1006, and Texas Administrative Code, Title 43, Part 3, Chapter 57, eligible entities may apply for grants from the Motor Vehicle Crime Prevention Authority to provide financial support for law enforcement agencies to combat motor vehicle theft and burglary offenses; and

**WHEREAS**, the City of DeSoto agrees that, in the event of loss or misuse of grant funds, the City will return all such funds in full to the Motor Vehicle Crime Prevention Authority; and

**WHEREAS**, the City Manager shall be designated as the Authorized Official to apply for, accept, decline, modify, or cancel the grant application, and to execute all necessary documents related to the Motor Vehicle Crime Prevention Authority Grant Program; and

**WHEREAS**, the Financial Officer shall be designated as the City's Managing Director of Finance is designated as the Financial Officer, with authority to submit all required financial and programmatic reports and to make necessary grant adjustments on behalf of the City.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS:**

**SECTION 1.** The City Council hereby approves the submission of the grant application on behalf of the DeSoto Police Department and authorizes the City Manager to execute all documents related to the Motor Vehicle Crime Prevention Authority Task Force Grant.

**SECTION 2.** This Resolution shall take effect immediately upon its passage in accordance with law.

**DULY RESOLVED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF DESOTO, TEXAS ON THE 5th DAY OF MAY, 2026.**

**APPROVED:**

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Rachel L. Proctor, Mayor  
**CITY OF DESOTO, TEXAS**

**ATTEST:**

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Sofine Lewis-Aubrey, City Secretary