



# CITY OF EL MIRAGE

## DEVELOPMENT APPLICATION FORM

### Official Use

Case No: PZ22-01-04 Date Received: 12/13/2022 Planning & Zoning Commission Meeting: 1/24/2023 City Council Meeting: 2/22/2023

### PURPOSE

Development Applications are reviewed by the Technical Advisory Committee (TAC) with the intent to provide the applicant specific information in preparation to meeting the City's technical standards and requirements for the proposed development project. Information provided by TAC is based on applicant submittals and should be considered actual and detailed in nature.

### ACTION REQUESTED (Check one)

- Conditional Use Permit
- General Plan Amendment: \_\_\_\_\_
- Major  Minor \_\_\_\_\_
- Planned Area Development (PAD)
- Planned Area Development Amendment
- Rezoning
- Site Plan Approval
- Site Plan Amendment
- Preliminary Plat
- Final Plat
- Other: Variance

### PROPERTY INFORMATION:

Property Address: El Mirage Address Unknown / Cross streets: 121st Ave & Cheryl Drive Acreage: 2.10 Gross AC  
 Assessor's Parcel Number: 501-45-018M

### APPLICANT / OWNER INFORMATION:

Applicant: <u>Norris Design (Ron Harris)</u>	Owner: <u>DAVE BLACK</u>
Address: <u>901 E. Madison Street</u>	Address: <u>10201, N 121st AV. ELMIRAGE</u>
City/ST/Zip: <u>Phoenix, AZ. 85034</u>	City/ST/Zip: _____
Phone: <u>602-254-9600</u>	Phone: <u>602-584-7600</u>
Email: <u>rharris@norris-design.com</u>	Email: <u>Dave@K&amp;Simplatex.com</u>
Signature: <u>[Signature]</u>	Signature: <u>[Signature]</u>
(Agreement to act as agent for owner)	(Authorization for agent to act for owner)

- Application Form
- Comprehensive Site Plan
- Deed and/or Title Report
- Drainage Report
- A.L.T.A. Survey
- Phase I Environment Site Assessment
- Preliminary Landscape Plans
- Filing Fee (see Fee Schedule starting on page 9)

**Conditional Use Permit – Narrative**  
**El Mirage, Arizona – Simple Box Storage**  
December 13, 2022

Project Reference: PZ21-10-27

Property APN: 501-45-018M

Ordinance Section- 154.157

Description of Property

The subject site is 2.10 acres which is located along 121<sup>st</sup> Avenue, south of Peoria Avenue and borders the Agua Fria wash corridor. The property is currently zoned for EI (Employment/Industry) and is impacted by the adjacent Agua Fria floodplain delineation, which consumes approximately 30% of the property's net developable area. Please refer to the attached Site Plan.

The property was previously utilized as open storage and housed a variety of old equipment and junk items, which have since been removed. Within the property context area there exists primarily light industrial uses with non-habitable structures, open storage lots and light manufacturing.

Description of Proposed Use

The proposed use will be an outdoor storage facility that houses mobile storage containers which are placed on site temporarily, then moved to and from customers for their relocating or shipping needs often involving multiple containers. Site improvements proposed include new surface treatment, opaque security fencing and secured access gates along 121<sup>st</sup> Avenue, and installation of improved landscaping along 121<sup>st</sup> Avenue. Additionally, a Fire department access lane will be provided through the property to allow for emergency access needs. The quantity and location of storage containers on the site may vary at any given time based on the customer needs with containers coming and going between varied storage time durations.

Conditional Use Permit Requested

This request is being provided to allow stacked storage containers as high as two containers within all on-site container storage and staging areas. All container storage will be on-site and will remain outside of any required site perimeter setbacks. This specific use type of outdoor storage is permitted in the Employment/Industrial zone.

Conditional Use Permit Rationale

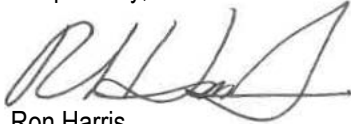
As noted on the site plan, approximately 30% the project site's developable area is covered by neighboring Floodplain. This is a FEMA delineation that is unique to this property and a development hardship that is not self-incurred. While the plan proposes circulation lane improvements for emergency site access within the Floodplain, the user is restricted from placing any storage container elements within this area by the City of El Mirage under code section 154.090, as well as, by the Maricopa County Flood Control District. As result of the reduced usable site area, the project seeks this request to have the ability to off-set the usable site surface area in times of need for additional temporary container storage by stacking of one additional container to maintain business demand.

Given the context of this site, this request will not provide any perceived nuisance or adverse impacts to neighboring properties. An elevation exhibit of the project frontage with newly proposed opaque fencing has been provided with this request which depicts a double stack container condition when located outside of the required front setback area. The total height of two containers stacked equals 17-feet above grade.

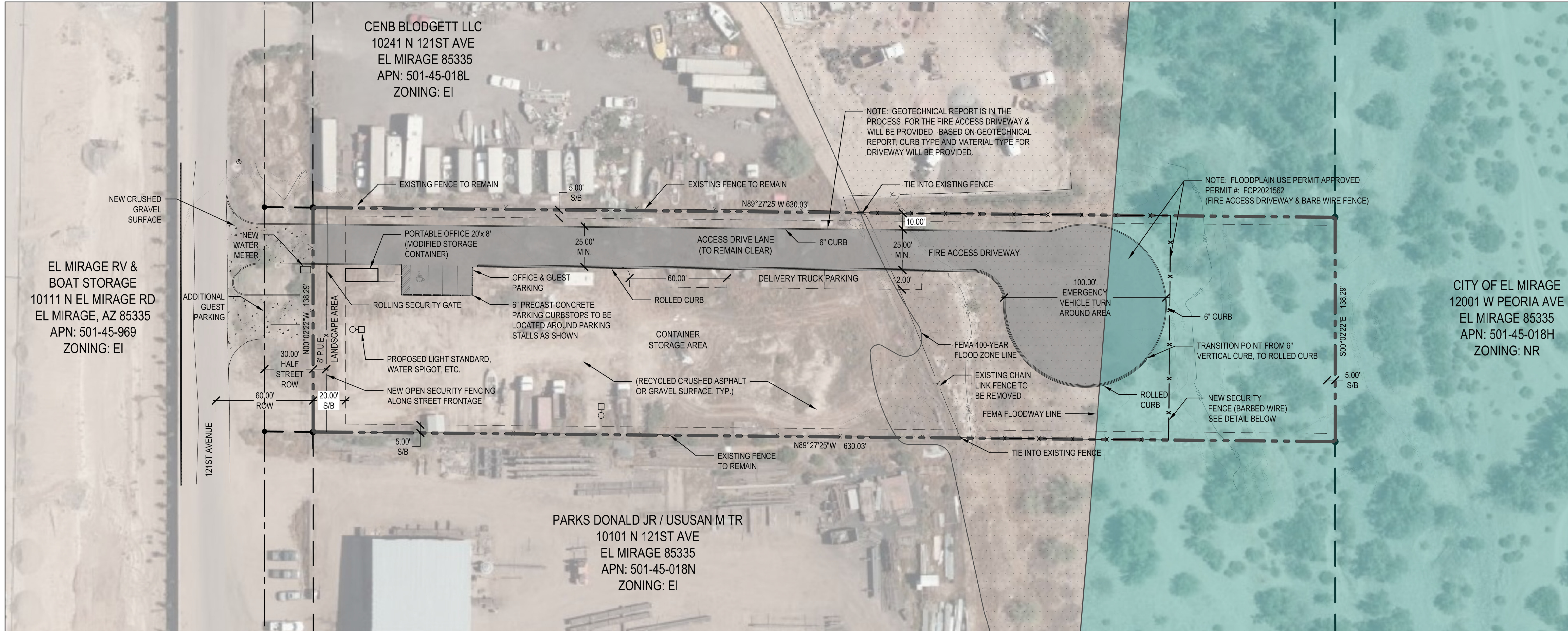
Conclusion

We respectfully request this Conditional Use Permit to be granted to allow the business owner the ability to provide a double stacked temporary storage configuration on-site, and believe this request will not impact the public health, safety, and welfare of the surrounding community.

Respectfully,



Ron Harris  
Senior Associate



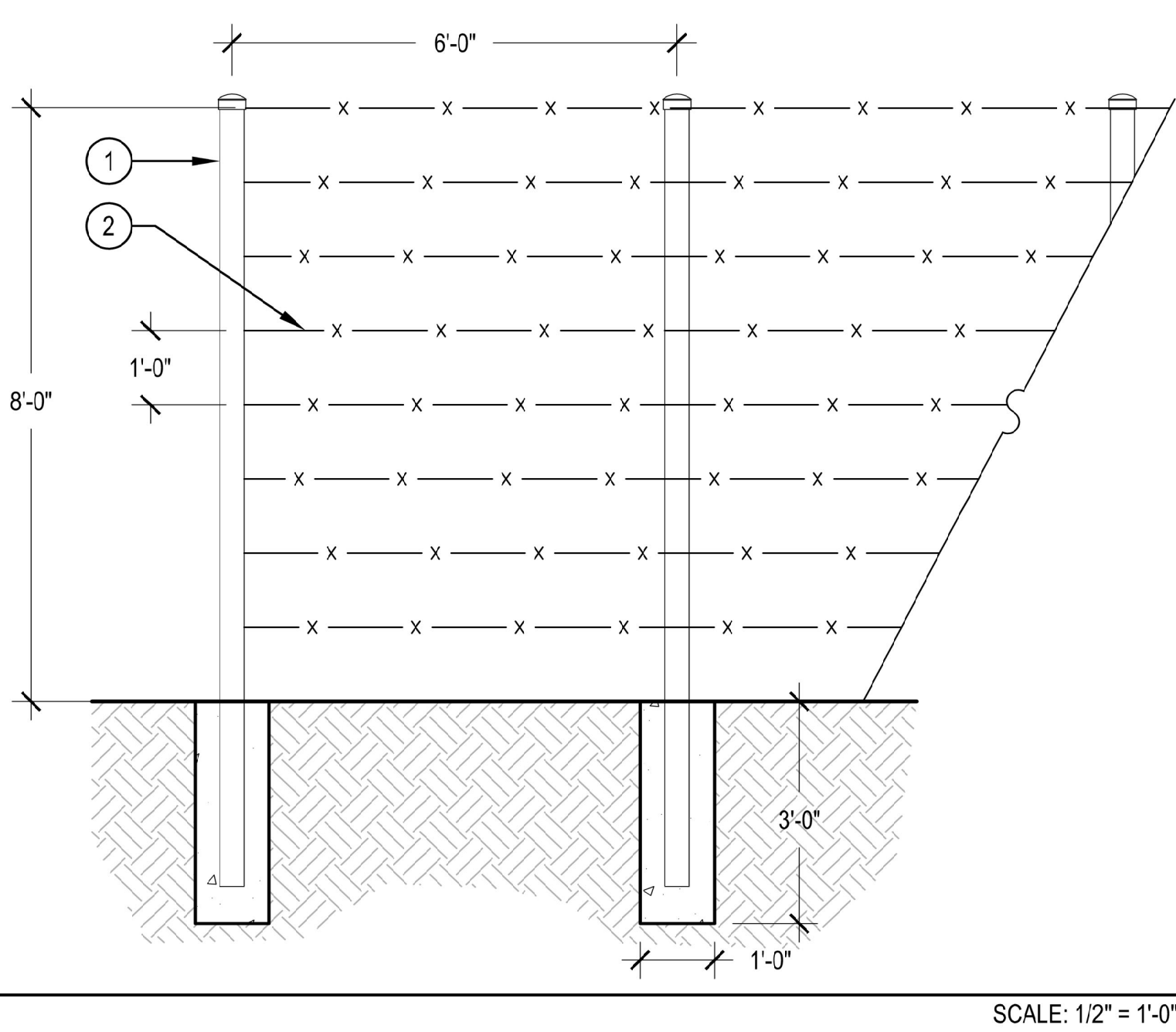
**GET SIMPLE BOX - EL MIRAGE**  
 SITE PLAN  
 EL MIRAGE, ARIZONA

OWNER:  
 GET SIMPLE  
 BOX STORAGE

- ① 4" O.D. POST AT ALL TERMINAL POST LOCATIONS
- ② BARBED WIRE AT 12" ON CENTER

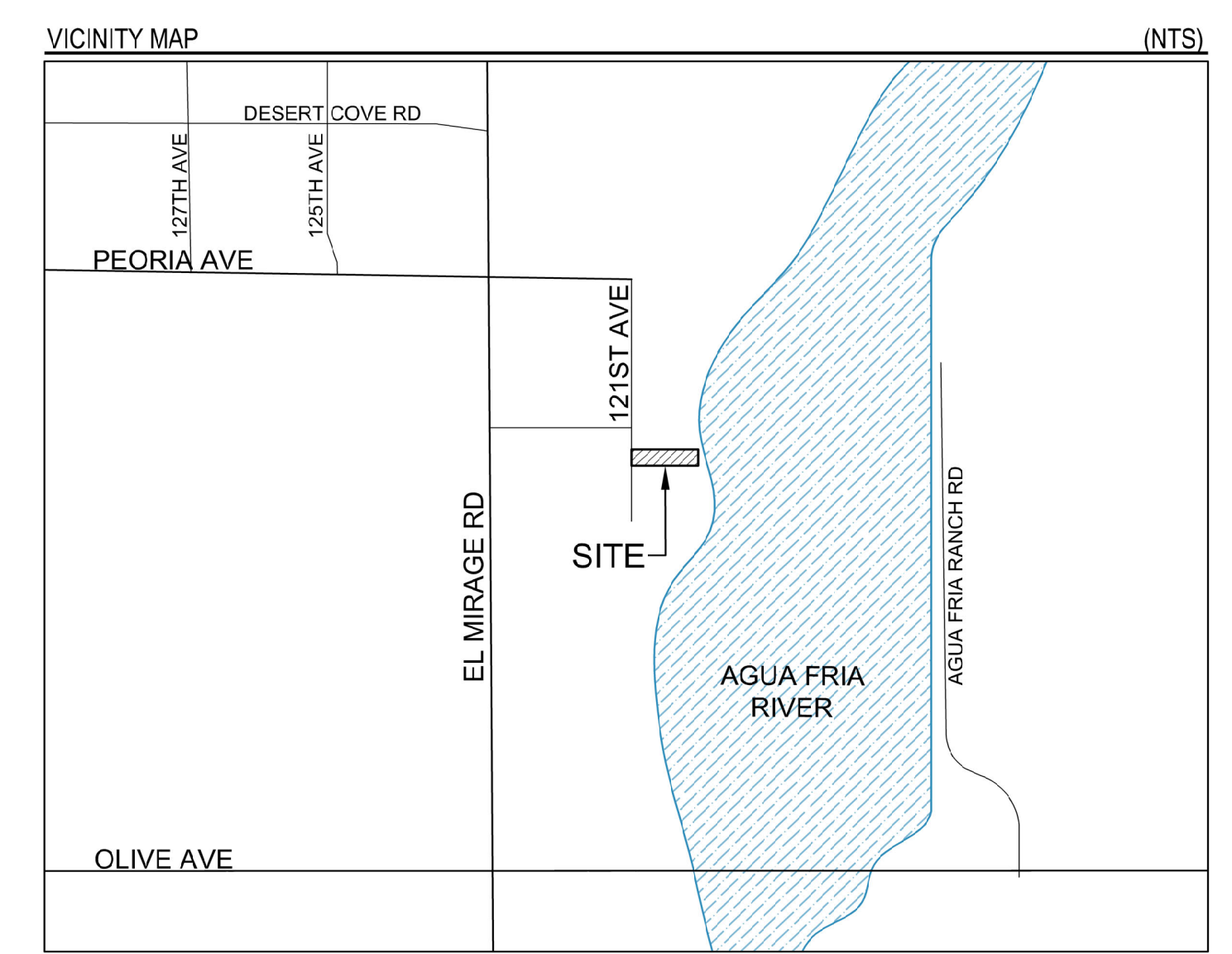
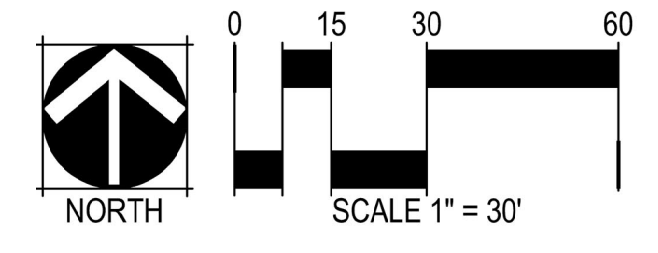
- NOTES:**
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.
  2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN AND CALCULATIONS.
  3. FOOTING DESIGN BY CONTRACTOR BASED ON RECOMMENDATIONS IN GEOTECHNICAL REPORT, TO MEET ALL APPLICABLE CODES.
  4. INSTALL FENCE AS SPECIFIED BY THE MANUFACTURER.

**8' BARBED WIRE SECURITY FENCE DETAIL (FLOODWAY)**



<b>PROJECT TEAM</b>	
<b>OWNER</b> ROSS BLACK/ DAVE BLACK GET SIMPLE BOX 15789 W GLENROSA AVE GOODYEAR, AZ 85395 360.510.0702 ROSS@GETSIMPLEBOX.COM	<b>DEVELOPER</b> ROSS BLACK/ DAVE BLACK GET SIMPLE BOX 15789 W GLENROSA AVE GOODYEAR, AZ 85395 360.510.0702 ROSS@GETSIMPLEBOX.COM
<b>APPLICANT/ LAND PLANNER</b> RON HARRIS/ DANIEL MARRUFO NORRIS DESIGN 901 E. MADISON ST. PHOENIX, AZ 85034 602.254.9600 RHARRIS@NORRIS-DESIGN.COM DMARRUFO@NORRIS-DESIGN.COM	<b>CIVIL ENGINEER</b> JOEL WATSON WATSON CIVIL ENGINEERING 480.330.0803 JOELWATSON@WATSONENGINEERING.COM

<b>PROJECT DESCRIPTION</b>	
THE PROPOSED SITE IS AN OUTDOOR STORAGE FACILITY THAT HOUSES TEMPORARY PODS AND STORAGE CONTAINERS THAT WILL BE PLACED ON SITE AND MOVED TO AND FROM CUSTOMERS AS THEY RENT UNITS. A DRIVEWAY IS LOCATED AT THE NORTH WEST CORNER OF THE PROJECT SITE AND IS MET WITH AN ENTRANCE GATE FOR SECURITY. A TEMPORARY OFFICE STRUCTURE WILL BE PLACED AT THE ENTRANCE OF THE GATE WITH PARKING STALLS FOR EMPLOYEES AND GUEST EAST OF THE OFFICE. ADDITIONAL GUEST PARKING STALLS WILL BE PLACED OUTSIDE OF THE SECURITY FENCE AND GATE. DELIVERY TRUCK PARKING WILL BE PROVIDED AS PARALLEL PARKING ALONG THE SOUTH EDGE OF THE DRIVEWAY. A FIRE ACCESS LANE WILL BE PROVIDED TO REACH THE END OF THE PROPERTY TOWARDS THE FLOODWAY FOR EMERGENCY ACCESS. THE PROPERTY FRONTAGE WILL BE CHAIN LINK FENCE WITH VINYL SLATS FOR PRIVACY/ SCREENING AND WILL HAVE BARBED WIRE ALONG THE TOP.	
<b>PROJECT DATA</b>	
APN: 501-45-018M TOTAL GROSS AREA: 2.10 AC TOTAL NET AREA: 2.00 AC TOTAL LOT COVERAGE: 0.01% TOTAL BUILDING SF: 160 SF	PARKING REQUIRED: 4 PARKING PROVIDED: 4 SPACES (INCLUDING 1 ADA SPACE) RELATED CASE: N/A EXISTING ZONING: EI PROPOSED ZONING: EI
<b>NOTES</b>	
1. ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BY THIS CHAPTER ARE FURNISHED.	
2. PARKING SPACES IN RIGHT OF WAY ONLY ALLOWED ON TEMPORARY BASIS. IF 121ST AVENUE IS CONSTRUCTED AND EXTENDED ALONG FRONTAGE OF THE SUBJECT PROPERTY IN THE FUTURE, THE PARKING AREA WILL BE REMOVED AND NOT REPLACED.	



NOT FOR  
 CONSTRUCTION

DATE:  
 02/14/22: SITE PLAN

SHEET TITLE:  
 SITE PLAN

SP-1

CHECKED BY:  
 DRAWN BY:  
 RH  
 RS, DM

SME STEEL CONTRACTORS LLC  
10211 N EL MIRAGE RD  
EL MIRAGE 85335  
APN: 501-45-971  
ZONING: EI

CITY OF EL MIRAGE  
10355 N 121ST AVE  
EL MIRAGE 85335  
APN: 501-45-016D  
ZONING: EI

CENB BLODGETT LLC  
10241 N 121ST AVE  
EL MIRAGE 85335  
APN: 501-45-018L  
ZONING: EI

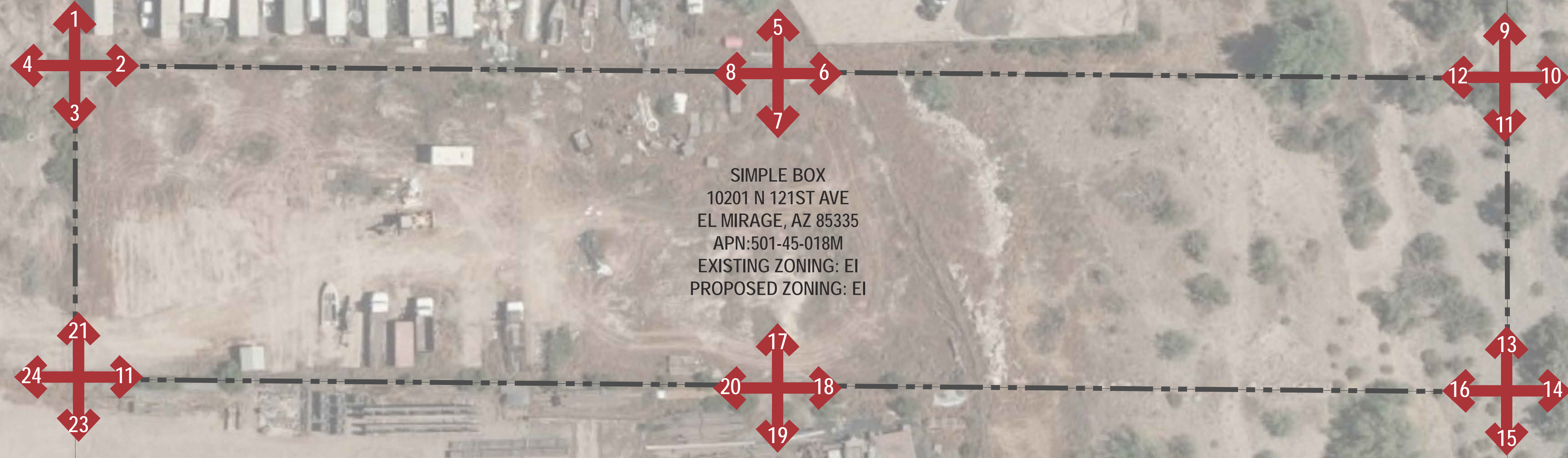
EL MIRAGE RV & BOAT STORAGE  
10111 N EL MIRAGE RD  
EL MIRAGE, AZ 85335  
APN: 501-45-969  
ZONING: EI

N. 121ST AVENUE

SIMPLE BOX  
10201 N 121ST AVE  
EL MIRAGE, AZ 85335  
APN: 501-45-018M  
EXISTING ZONING: EI  
PROPOSED ZONING: EI

CITY OF EL MIRAGE  
12001 W PEORIA AVE  
EL MIRAGE 85335  
APN: 501-45-018H  
ZONING: NR

PARKS DONALD JR / USUSAN M TR  
10101 N 121ST AVE  
EL MIRAGE 85335  
APN: 501-45-018N  
ZONING: EI



**SIMPLE BOX - EL MIRAGE | CONTEXT PLAN**

03/29/2021









EXAMPLE - CHAIN LINK FENCE WITH VINYL PRIVACY SLATS & BARBED WIRE



Plan is conceptual and subject to change.

