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## **MEMORANDUM**

**TO:** Brad Lauth, Centerpoint  
**FROM:** Jose A. Macias, Senior Planner  
Development Services Department, Planning & Zoning  
**RE:** PZ22-10-29 CarMax Site Plan  
**DATE:** January 13, 2023

Mr. Lauth,

Please see the comments from the El Mirage Technical Advisory Committee (TAC) for the Site Plan Approval.

### **BUILDING & SAFETY**

1. No comments from Building Safety.

### **ECONOMIC DEVELOPMENT**

2. CarMax Site Plan- Economic Development strongly supports this project. The City will benefit by the labor requirements and sales taxes from on-going car auctions. In addition, CarMax is a Fortune 174 company with national name recognition. Having the CarMax brand in the City opens opportunities for other Fortune 500 companies.

### **ENGINEERING**

3. See the attached memorandum.

### **FIRE DEPARTMENT**

4. Fire departments only concern is the main entrance. Please to make sure that the fire apparatus has the proper turn radius. All gates need to have Knox boxes and emitters.

### **PLANNING & ZONING**

5. 13500 W Olive Avenue, El Mirage, Arizona 85335 assigned address will become official with the submittal of the Building Safety and Engineering permits.
6. The following accessory uses shall require a conditional use permit approval, private fueling station and auction use. A separate zoning application shall be filed for review and City approval, see zoning case number PZ22-12-32. Both applications will be reviewed by staff and presented to the Commission and City Council concurrently.
7. The site is located within the Luke AFB 1988 JLUS 65 DNL, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and inside the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461 and is subject to land use compatibility with the State Statute. See attached review comment letter from Luke AFB.

8. The preliminary landscape plan shall be reviewed and approved by the Zoning Administrator or designee as part of the development site plan review and may be approved with stipulated changes or additions. The preliminary landscape plan will be included in the site plan staff report and presented to the Planning and Zoning Commission and City Council where additional stipulations may be imposed.
9. Trees along the north property line adjacent to the 40-foot channel easement are not required.
10. All required trees shall be a minimum of 15 gallons in size and at least 50% of those trees must be 24-inch box or larger size. All shrubs shall be a minimum of five gallons in size. All 15-gallon trees must be a minimum of eight feet in height, four feet in spread, and one and one-quarter inches trunk caliper at the ground level. All 24-inch box and larger trees shall be a minimum of ten feet in height, four feet in spread and two and a half inches trunk caliper at the ground level.
11. The final landscape plan shall be in conformance with the approved preliminary plan and any stipulated changes or additions and shall be approved by the Zoning Administrator or designee prior to the issuance of a building permit.
12. All changes in landscape plans before, during, or after preliminary or final landscape plan approval and/or landscape installation shall be approved by the Zoning Administrator or his or her designee.
13. Prior to the city accepting for maintenance any reverse street frontage landscaping or other street rights-of-way landscaping the following conditions shall have to be satisfied:
  - a. The landscaping shall be inspected and approved by the city for compliance with the approved landscape plan.
  - b. The subsequent completion of a 60-day maintenance period wherein the developer shall be responsible for all watering, weeding, and replacement of all dead or dying plant materials.
  - c. A final inspection called by the developer or his or her representative at the completion of a 120-day maintenance period resulting in final approval and acceptance by the city, except for the subdivision which shall be determined when final plans are approved.
  - d. As-built drawings of the landscape and irrigation system are required prior to acceptance by the city and for projects within the city right-of-way or city-owned property. The as-built drawings shall be four mil., non-wash off photo mylar or digitized record in accordance with city CAD guidelines showing the locations of all plantings and irrigation equipment.
14. The proposed signs package is in-compliance with the City's sign regulations.
15. A separate sign permit for signs other than for the address and building numbers will be required, this includes monument, pole, wall signs and other sign types permitted.
16. A final plat will be required to record the lot combination, easements and/or dedication of land prior to issuing the Certificate of Occupancy. Separate fees will apply.

POLICE DEPARTMENT

17. With the uptick in catalytic converter thefts, will there be a robust security/camera system to monitor the inventory?

PUBLIC WORKS

18. No comments regarding the development application. The water and wastewater will be provided by EPCOR. However, in the interim water will be provided by COEM via the 12" main in Dysart Rd.

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## MEMORANDUM

TO: Jose Macias, Planner/GIS  
FROM: Bryce Christo, P.E., Assistant City Engineer  
SUBJECT: CarMax Auction & Production Center – Development Application Review  
DATE: 01-11-23

Below are the Engineering Division’s comments for the above referenced submittal prepared in December 2022. **These items will have to be addressed prior to the Planning and Zoning Meeting.**

1. None

**The below items will have to be addressed during the Construction Plan Submittal.**

### Narrative

1. Introduction – Should 32.62 acres be 47.94 acres?
2. Project Description – It is noted that APS may be relocating the high voltage lines along the project frontage and, if so, the developer would want a Development Agreement with the City to allow the deferment of offsite improvements until such time that the power lines/poles have been removed. The developer must provide the City with documentation from APS that those lines/poles will be removed prior to the preparation of the Development Agreement. If the deferment is approved by City Council, interim offsite improvements may be required.
3. Water and Sewer - All on site utilities will be private and designed according to City of El Mirage Standards therefore the City needs to review the water and sewer reports.

### Civil Plans

#### Cover Sheet (Sheet 1)

4. Zoning Summary/Zoning – The Zoning for this property is EI/PAD.
5. Parking Requirements – Provide a breakdown on how the Parking Required was calculated using Table P of Section 154.104 of the City Code.

#### Site Plan (Sheets 2 and 3)

6. The rear yard is located along the north property line of the site. Update the setbacks along the north property to “rear setback”.
7. The half right of way along Dysart Road is 70.5’ and reduces to 60.5’ to the north.
8. The City will construct the five lane (2-M-2) roadway section for Dysart Road (arterial road) and both the right of way and 8-foot wide PUEs along the subject property have already been dedicated per the Copperwing Final Plat. The project is responsible for an

eight-foot-wide (detached and meandering where possible) sidewalk, streetlights, ITS conduit and landscaping/irrigation along the Dysart Road frontage with the initial phase of construction.

9. Olive Avenue (arterial road), in the ultimate condition, is a five lane (2-M-2) roadway section with a typical 5.5' – 11' – 11.5' – 14' – 11.5' – 11' – 5.5' configuration. The CarMax project is responsible for completing the north half of the roadway and full median, an 8-foot wide Public Utility Easement (PUE), an eight-foot-wide (detached and meandering where possible) sidewalk, streetlights, signing/stripping and landscaping/irrigation along the Olive Avenue frontage. The project will also be responsible for any deceleration lanes and associated right of way widening. The pavement section shall be 6" AC on 12" ABC on 12" of overexcavated and moisture conditioned subgrade.
10. Per Section 152.158 of the City Code, *"where medians are required, the owner of the property first developing shall install the full median, including curbing, street lighting, and landscaping. The developer required to install a full median may request the city to enter into an agreement providing for reimbursement of that portion of the costs which would have been the responsibility of subsequent developers. Reimbursement shall be made on the basis of front footage as determined by the Public Works Director at the rate of half the front foot current cost less the reimbursement transaction fee established by Council resolution which shall be retained by the city to cover administrative costs."* Since this may be the first project proposed along this section, the median shall be installed with these improvements unless the available roadway will not support the installation. If the median cannot be constructed, the owner will be required to enter into a Development Agreement with the City to pay for half of the median to be constructed by the future owner for the property across Olive Avenue.
11. The project is required to dedicate 80 feet of right way along Olive Avenue for 500 feet west of the Dysart Road centerline and 80 feet of right way along Dysart Road for 500 feet north of the Olive Avenue centerline.
12. The PUE is shown as 10 feet wide on Sheet 3. This PUE is only required to be 8 feet wide.
13. Show the separation, measured from nearest face of curb to nearest face of curb, between the proposed driveways, roadway intersections and any existing driveways across Olive Avenue. Driveway spacing shall adhere to City Code Sections 154.103 (C) and (D) and City Detail EM-259. The east driveway shall align with the driveway across Olive Avenue or be separated by a minimum of 260 feet, measured from nearest face of curb to nearest face curb or edge of pavement.
14. The driveways shall be per MAG or City details. Stop signs are recommended at each driveway by the City and the TIA.
15. If a driveway is either designated for truck entry or prohibits use by trucks, please provide the necessary signage. Verify that any driveway to be used by a truck can accommodate a WB-67 vehicle without encroaching into the adjacent lane.
16. It shall be noted that this site is only allowed two driveways on Olive Avenue and two driveways on Dysart Road. The 9 acre future expansion area will not be allowed to have a driveway on Olive Avenue.
17. There is an existing 30-foot wide Access Easement that runs along the west property line to allow for emergency access to the Cives property to the north.
18. Show the sight distance requirements at each proposed driveway per City Detail EM-158.
19. 6-inch MAG type curbing is required around all driveways and parking lots. The curbing shall be no closer than 3 feet to any property line.

20. All parking spaces shall be striped with a minimum 4-inch painted line.
21. What type of material will be used for the ADA pedestrian path that leads from the parking lot to the Production Center?
22. The drive aisles at the security gates at the emergency entrances shall be a minimum of 20 feet wide and the fire lanes shall be a minimum of 26 feet wide. The fire lanes shall be designed to handle 75,000 lbs. A Geotechnical Report will be required for this project and it should provide a recommended design section for these lanes and all other pavement sections including offsite roadways.
23. An emergency vehicle turnaround per City Detail EM-114 is required at the fire lane dead end shown on Sheet 3.
24. Offsite Improvements – Olive Avenue
  - a. Label the storage and taper lengths of the deceleration lane for the west driveway.
  - b. The left turn lane at the east driveway and at the intersection of Olive/Dysart shall have a minimum storage of 160 feet.
  - c. The deceleration lane into the east driveway is incorrectly labeled as a left turn lane.
  - d. Left turn lanes shall be 10 feet wide and right turn lanes shall be 11.5 feet wide.
  - e. If the proposed sidewalk encroaches into the property, additional right of way shall be dedicated to the City.
  - f. The minimum longitudinal slope shall be 0.25% for Olive Avenue.
  - g. The cross slope of Olive Avenue shall be between 1% and 3% with 2% preferred.
  - h. As noted in the TIA, interim striping will be required to connect the ultimate cross section of Olive Avenue to the existing cross sections east and west of the project site.
25. Offsite Improvements – Dysart Road
  - a. Four (4) 1.25" interconnect conduits per City Detail EM-170 shall be run from a new No. 9 vault at the northwest corner of Olive/Dysart to a new No. 7 pull box with extension at the northern limit of the property. Install a No. 7 pull box with extension approximately every 500 feet along this run.
26. Plans shall include applicable City Notes. Call out MAG, City, etc. details to be used. Use the City's 2023 Design & Development Standards Manual (DDSM) as a guide for the final design.

#### Utility Plans (Sheets 4 & 5)

27. The water and sanitary sewer service area for the Copperwing Logistics Center is in the process of being transferred to EPCOR therefore any offsite water (up to the backflow preventer) and sewer design (mains and services within the right of way) shall adhere the requirements of and be reviewed and approved by EPCOR. All on site utilities will be private and shall be designed according to City of El Mirage Standards.
28. The City of El Mirage will also be responsible for fire protection and the design of that system will be reviewed and approved by the City.
29. Domestic and landscape services each require a separate tap, meter and backflow preventer. Meters shall be within the right of way and backflow preventers shall be on private property but not within the PUE. Fire service lines require a separate tap and backflow preventer.
30. Water valves are required along the fire line, approximately every 500 feet, and at locations so that the maximum number of hydrants to be out of service is two.
31. Hydrants shall be spaced at a maximum of 300 feet. The plans show spacing ranging between approximately 650 to 900 feet. Final hydrant locations will be reviewed by the Fire Department.

32. Any hydrants within the project site will be private and painted Safety Red per City Detail EM-360. All hydrants, public or private, require markers per MAG Detail 122.
33. Hydrant service lines over 100 feet in length shall be 8 inches in diameter.
34. The encased water main that will be run beneath the drainage channel shall have a minimum of 4 feet of cover below the bottom of the channel.
35. A backwater valve per City Detail EM-442 is required for each sanitary sewer service.
36. It is not recommended to install utility lines within the driveway.
37. Show utility horizontal and vertical clearance information per MAG Detail 404 and City Detail EM-402.
38. All aboveground utilities shall maintain a minimum of 6 feet of clearance from all fire hydrants and fire suppression devices per City Detail EM-361.
39. Each proposed driveway shall have at least one streetlight.
40. Per City Code Section 155.057, all overhead utility lines, 13kV and under, shall be placed underground. This includes all electrical, communication, cable, etc. facilities along Dysart Road and Olive Avenue and within the project boundaries. This may require the undergrounding beyond the site boundary to the next convenient power pole or junction element.

#### Grading & Drainage Plans (Sheets 6 & 7)

41. Side slopes adjacent to the public right of way, areas where pedestrian access is permitted and within Public Utility Easements (PUE) shall be 6:1 or flatter. There shall be at least two feet of level ground between any wall or vertical obstruction and the top of any side slope grading.
42. The finished floor elevations are required to be a minimum of 12 inches above the 100-year high-water level of any adjacent retention basin and 14 inches above the ultimate outfall of the site. Show the location and elevation of the ultimate outfall for this site.
43. Show the building setbacks on the plans. The 100 year water elevation of the proposed retention basins and drainage channel shall be located a minimum of 4 feet away from any structures and shall not be located within any building setbacks, easements, or fire lanes. The basins along the south property line and the drainage channel may be encroaching into the setback lines. The Car Wash appears to be within 4 feet of Basin 3.
44. The site is responsible for retaining that drainage from the site and the adjacent half right of way of both Olive Avenue and Dysart Road. Catch basins, scuppers, etc. will be required along Olive Avenue to direct the flow to the onsite basins. The spreader basin will have to be sized to hold the applicable offsite runoff and any onsite tributary areas that contribute to the proposed channel (i.e., the expansion area, the channel itself, etc.)
45. Several of the volumes provided and required do not match the values shown in the Drainage Report. Please revise accordingly.
46. Any wall where the difference in ground elevation between the two sides is greater than 1 foot shall be a retaining wall and may require structural calculations.

#### Section & Detail Sheets (Sheets 8 to 13)

47. Dysart Road Sections
  - a. The existing pavement shall be removed and replaced to the monument line.
  - b. The 14 foot median shall be centered at the monument line.
  - c. The pavement section is 6" AC over 12" ABC over 12" of overexcavated and moisture conditioned subgrade.
  - d. Show the lanes on Section A-A.
  - e. The vertical curb is noted as "both sides" but this project is only required to construct the north half of Olive Avenue.

- f. Bike lanes are only required to be 5.5 feet wide.
  - g. Median curb shall be single curb per MAG Detail 222, Type A.
  - h. Left turn lanes shall be 10 feet wide to maintain a minimum median width of 4 feet.
  - i. The southern right of way on Section D-D is 70 feet.
  - j. The “existing” sections of Section E-E shall be labeled “future by others”.
48. Turn Block Wall Opening Detail – Calculations for all block wall openings shall be provided in the Drainage Report.
49. Landscape Island Detail – Gutters are only required when the curb carries flow.
50. Curb Opening Detail - Calculations for all curb openings shall be provided in the Drainage Report.
51. Detail 29 & 33 – The minimum pavement sections need to be determined by a Geotechnical Report.

#### Truck Routes (Sheets 14 & 15)

52. What type of vehicle was used in the path shown on Sheet 15?

#### Context/Conceptual Site Plan

53. No comments.

#### Preliminary Landscape Plans

54. Add City Landscaping and Irrigation Notes (City Detail EM-101-4) to the plan set.
55. Add the Site Distance Easement per City Detail EM-158 to the intersection of Olive/Dysart.
56. DG is required on all non-paved areas both on site and within the right of way adjacent to the project site.
57. All plantings at maturity shall maintain a minimum of 6 feet of clearance from all fire hydrants and fire suppression devices per City Detail EM-361.
58. No walls or trees shall be placed within any Public Utility Easement (PUE).
59. Trees shall not be placed within 5 feet of any City curb or sidewalk or within 6 feet of any public utility.
60. Add a note to the plans that the maintenance for all landscaping and irrigation shown on the plans will be the responsibility of the property owner.
61. Irrigation plans will be required.
62. The median shall be landscaped and irrigated. The City can provide examples of other median landscaping upon request.

#### Photometric Plan

63. No comments.

#### Exterior Elevations

64. No elevations were submitted for the Auction Building.

#### ALTA Survey

65. No comments.

#### Sign Schedule

66. Any monuments signs shall be located outside the sight distance requirements and sight distance triangles.

### Preliminary Drainage Statement

67. Section 5.0 – The City requires the 100-year storm event to be based on a rainfall of 2.4 inches.
68. Drainage Map
  - a. Use the City Runoff Coefficients per City Code Section 155.054(B)(6)(a). Concrete = 0.95, roofs/asphalt = 0.85, grass = 0.15 and desert/rock lawn = 0.70.
  - b. Several of the volumes provided and required do not match the values shown on the Grading & Drainage Plans. Please revise accordingly.
69. Provide calculations for the retention basins. Provide High Water Level (HWL) and bottom elevations, volumes required and provided, basin overflow elevations and the low outfall of the lot.
70. Calculations for the curb openings, wall opening, catch basins, scuppers, etc. will be required. This includes pipe capacity, inlet capacity and scupper openings as applicable.
71. Drywell calculations are required. The Grading & Drainage Plans show an “assumed percolation rate per COEM” of 0.80 in/hr. The City Code references a 0.80 cfs design rate but that is not recommended for this site. The City recommends using 0.10 cfs for design.
72. Street calculations for an arterial street (Olive Avenue) shall verify that:
  - c. 10 year flows can be carried within the curb and maintain a 12 foot dry lane in each direction.
  - d. 100 year flows can be carried within the right of way with a maximum depth of 6 inches over the crown.
73. A Final Drainage Report will be required. The report shall discuss offsite drainage and provide a Tributary Area Map(s) that breaks down the contributing flow to each basin and stormwater structure.

### Preliminary Water & Sewer Reports

74. These reports were not provided. The water and sanitary sewer service area for the project site is in the process of being transferred to EPCOR therefore any offsite water (up to the backflow preventer) and sewer design (mains and services within the right of way) shall adhere the requirements of and be reviewed and approved by EPCOR. All on site utilities will be private and designed according to City of El Mirage Standards. Please provide final reports with the construction documents.

### Traffic Impact Analysis (TIA)

75. Executive Summary/Principal Findings – Site Access Bulletpoint 2 – Is the last sentence supposed to be for the 3<sup>rd</sup> bulletpoint?
76. The TIA states that midday peak hour volumes were collected instead of AM peak hour volumes so a multiplier, based on other intersections, was used. A copy of the traffic counts at this intersection from an adjacent project has been attached. The Traffic Engineer can determine whether or not the estimated volumes are reflective of this intersection or if they should be updated.

### Title Report

77. No comments.

### Phase I Environmental Assessment

78. Section 5.1 – The project will be part of EPCOR’s water and sewer service areas.

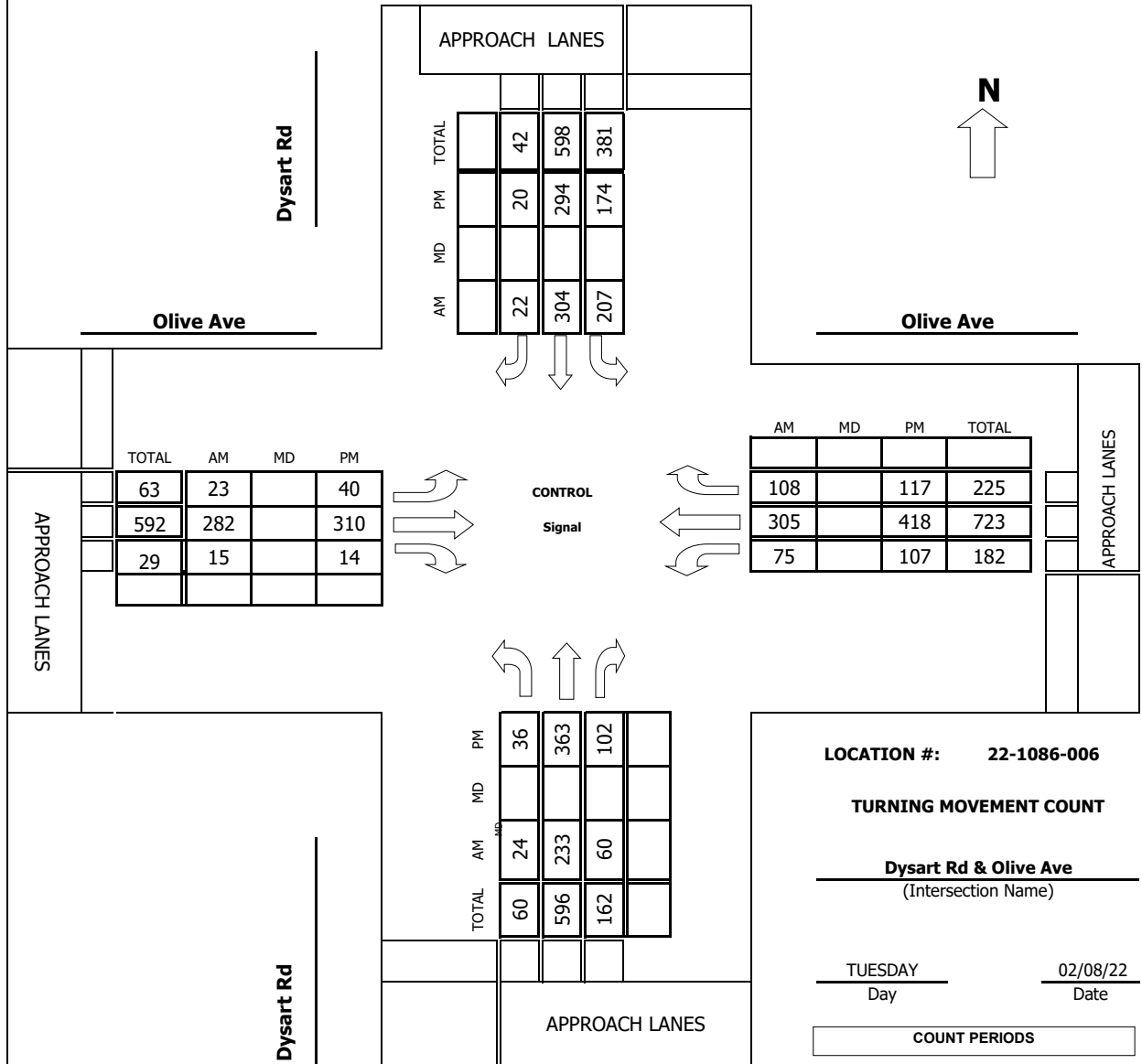
Miscellaneous

79. A Final Plat per Chapter 1, Section B-2 of the City's Design & Development Standard Manual (DDSM) will be required prior to Certificate of Occupancy. The Plat shall show:
  - a. All right of way and easement dedications including PUEs, Drainage Easements, VNAEs, etc.
  - b. Any subdivision or consolidation of parcels.
  - c. A 1-foot Vehicular Non-Access Easement is required along Dysart Road and Olive Avenue except at legitimate driveways.
80. A Geotechnical Report will be required to provide asphalt/concrete pavement sections. Verify the proposed pavement sections can handle 75,000 lbs. for any fire access lane or more if the trucks entering and existing the site will be heavier.
81. A Haul Permit will be required if 500 cubic yards or more of material will be brought into or out of the site. This will require a separate application, an exhibit showing the haul route and insurance from the company performing the haul. The fee is \$300.
82. An Approval to Construction (ATC) will be required from MCESD for the water and sewer line extensions. A copy shall be provided to the City prior to the release of any Engineering permit.
83. A Dust Control Permit from the County will be required prior to the release of any Engineering permit.
84. A Stormwater Pollution Prevention Plan (SWPPP) will be required per the City's SWPPP Guidelines document. A Notice of Intent (NOI) from ADEQ will be required prior to release of any Engineering permit.
85. The City will not release any permits until EPCOR provides the City with their approval of the water and sewer plans and reports. The applicant is responsible for submitting plans to EPCOR for review and approval.
86. Any modifications to the farmer's irrigation system would be an agreement between the developer and the property owner but the modifications may be reviewed by the City.

The above comments are meant to be general in nature and are not considered to be all inclusive. Additional comments will arise during the formal permit submittal.

**Project #:** 22-1086-006

**TMC SUMMARY OF Dysart Rd & Olive Ave**



**LOCATION #:** 22-1086-006

**TURNING MOVEMENT COUNT**

**Dysart Rd & Olive Ave**  
 (Intersection Name)

TUESDAY                      02/08/22  
 Day                                      Date

COUNT PERIODS	
<b>AM</b>	600AM - 900AM
<b>NOON</b>	-
<b>PM</b>	330PM - 630PM

AM PEAK HOUR                      630 AM  
 NOON PEAK HOUR                      \_\_\_\_\_  
 PM PEAK HOUR                      330 PM

## Intersection Turning Movement Prepared by:



**FIELD DATA SERVICES OF ARIZONA, INC.**  
520.316.6745



N-S STREET: **Dysart Rd**      DATE: **02/08/22**      LOCATION: **El Mirage**  
 E-W STREET: **Olive Ave**      DAY: **TUESDAY**      PROJECT# **22-1086-006**

LANES:	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			TOTAL
	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	
	1	1	1	1	1	1	1	1	0	1	1	1	
6:00 AM	7	45	11	29	59	12	4	51	0	11	70	30	329
6:15 AM	7	46	10	39	66	10	3	77	3	20	112	35	428
6:30 AM	5	60	20	48	55	3	7	68	6	21	78	36	407
6:45 AM	7	50	22	55	80	9	9	64	4	19	78	18	415
7:00 AM	6	53	7	44	81	4	3	74	3	18	81	18	392
7:15 AM	6	70	11	60	88	6	4	76	2	17	68	36	444
7:30 AM	6	62	17	38	58	4	2	66	2	16	55	31	357
7:45 AM	2	62	17	41	66	4	7	53	5	21	69	26	373
8:00 AM	6	35	10	38	62	7	4	54	2	20	50	23	311
8:15 AM	4	57	15	27	79	5	4	45	2	27	57	21	343
8:30 AM	12	67	17	26	38	12	6	64	1	17	62	20	342
8:45 AM	7	47	24	37	50	1	3	51	3	15	65	21	324
9:00 AM													
9:15 AM													
9:30 AM													
9:45 AM													
10:00 AM													
10:15 AM													
10:30 AM													
10:45 AM													
11:00 AM													
11:15 AM													
11:30 AM													
11:45 AM													

TOTAL	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
Volumes	75	654	181	482	782	77	56	743	33	222	845	315	4465
Approach %	8.24	71.87	19.89	35.94	58.31	5.74	6.73	89.30	3.97	16.06	61.14	22.79	
App/Depart	910	/	1025	1341	/	1037	832	/	1406	1382	/	997	

AM Peak Hr Begins at: 630 AM

**PEAK**

Volumes	24	233	60	207	304	22	23	282	15	75	305	108	1658
Approach %	7.57	73.50	18.93	38.84	57.04	4.13	7.19	88.13	4.69	15.37	62.50	22.13	

**PEAK HR.**

FACTOR:	0.911	0.865	0.976	0.904	0.934
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CONTROL: **Signal**  
 COMMENT 1:  
 GPS: **33.565615, -112.341739**

# Intersection Turning Movement



**FIELD DATA SERVICES OF ARIZONA, INC.**  
520.316.6745



N-S STREET: **Dysart Rd**      DATE: **02/08/22**      LOCATION: **El Mirage**  
 E-W STREET: **Olive Ave**      DAY: **TUESDAY**      PROJECT#: **22-1086-006**

	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			
LANES:	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
	1	1	1	1	1	1	1	1	0	1	1	1	
1:00 PM													
1:15 PM													
1:30 PM													
1:45 PM													
2:00 PM													
2:15 PM													
2:30 PM													
2:45 PM													
3:00 PM													
3:15 PM													
3:30 PM	7	111	27	38	69	2	11	75	4	24	94	26	488
3:45 PM	11	89	32	70	85	9	9	88	1	23	105	31	553
4:00 PM	9	87	21	35	74	6	15	70	7	26	103	32	485
4:15 PM	9	76	22	31	66	3	5	77	2	34	116	28	469
4:30 PM	9	83	27	43	65	5	7	57	0	29	119	29	473
4:45 PM	6	73	41	45	84	3	10	76	3	28	115	28	512
5:00 PM	10	79	17	43	69	2	7	63	0	23	130	36	479
5:15 PM	8	78	22	37	64	3	8	66	2	22	107	30	447
5:30 PM	19	82	25	20	54	2	5	39	1	21	113	38	419
5:45 PM	4	73	11	39	53	1	4	46	10	20	98	26	385
6:00 PM	7	63	23	19	47	3	1	49	3	20	69	24	328
6:15 PM	2	66	7	24	61	8	7	35	0	13	83	15	321
6:30 PM													
6:45 PM													

TOTAL	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
Volumes	101	960	275	444	791	47	89	741	33	283	1252	343	5359
Approach %	7.56	71.86	20.58	34.63	61.70	3.67	10.31	85.86	3.82	15.07	66.67	18.26	
App/Depart	1336	/	1392	1282	/	1107	863	/	1460	1878	/	1400	

PM Peak Hr Begins at: 330 PM

**PEAK**

Volumes	36	363	102	174	294	20	40	310	14	107	418	117	1995
Approach %	7.19	72.46	20.36	35.66	60.25	4.10	10.99	85.16	3.85	16.67	65.11	18.22	

**PEAK HR.**

FACTOR:	0.864	0.744	0.929	0.902	0.902
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CONTROL: **Signal**  
 COMMENT 1: **0**  
 GPS: **33.565615, -112.341739**

**Prepared by: Field Data Services of Arizona/Veracity Traffic Group (520) 316-6745**

Volumes for: Tuesday, February 08, 2022

City: El Mirage

Project #: 22-1086-011

Location: Dysart Rd south of Peoria Ave

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	9	12			12:00	72	72		
00:15	12	8			12:15	77	86		
00:30	11	11			12:30	79	85		
00:45	4	36	1	32	12:45	83	311	103	346
01:00	11	9			13:00	80	71		
01:15	5	9			13:15	109	113		
01:30	7	15			13:30	98	90		
01:45	6	29	3	36	13:45	107	394	100	374
02:00	12	3			14:00	119	113		
02:15	7	7			14:15	114	117		
02:30	8	8			14:30	103	145		
02:45	11	38	18	36	14:45	92	428	100	475
03:00	6	23			15:00	118	131		
03:15	4	15			15:15	106	129		
03:30	14	17			15:30	131	111		
03:45	11	35	24	79	15:45	136	491	105	476
04:00	23	27			16:00	145	150		
04:15	14	39			16:15	131	112		
04:30	34	54			16:30	104	106		
04:45	37	108	48	168	16:45	127	507	112	480
05:00	25	53			17:00	127	125		
05:15	40	71			17:15	127	104		
05:30	48	74			17:30	120	101		
05:45	71	184	70	268	17:45	119	493	78	408
06:00	50	84			18:00	107	89		
06:15	58	94			18:15	98	64		
06:30	90	116			18:30	92	96		
06:45	102	300	108	402	18:45	86	383	66	315
07:00	67	146			19:00	57	48		
07:15	71	137			19:15	55	54		
07:30	101	153			19:30	61	58		
07:45	102	341	104	540	19:45	51	224	49	209
08:00	77	108			20:00	45	42		
08:15	76	105			20:15	60	34		
08:30	84	115			20:30	60	40		
08:45	85	322	74	402	20:45	37	202	25	141
09:00	81	93			21:00	42	35		
09:15	62	69			21:15	39	32		
09:30	95	87			21:30	39	29		
09:45	68	306	75	324	21:45	28	148	21	117
10:00	70	98			22:00	31	17		
10:15	69	71			22:15	28	12		
10:30	77	79			22:30	22	14		
10:45	70	286	74	322	22:45	21	102	10	53
11:00	69	79			23:00	14	20		
11:15	93	75			23:15	19	9		
11:30	90	83			23:30	19	20		
11:45	72	324	75	312	23:45	13	65	18	67

**Total Vol.** 2309 2921 **5230** 6057 3748 3461 **7209**

GPS Coordinates: 33.579360, -112.341800

	Daily Totals				Combined	
	NB	SB	EB	WB		
	6057	6382			<b>12439</b>	
	<b>AM</b>		<b>PM</b>			
<b>Split %</b>	44.1%	55.9%	<b>42.0%</b>	52.0%	48.0%	<b>58.0%</b>
<b>Peak Hour</b>	07:30	06:45	<b>06:45</b>	15:30	14:30	<b>15:30</b>
<b>Volume</b>	356	544	<b>885</b>	543	505	<b>1021</b>
<b>P.H.F.</b>	0.87	0.89	<b>0.87</b>	0.94	0.87	<b>0.87</b>