



CITY OF EL MIRAGE DEVELOPMENT APPLICATION FORM

Official Use

Case No: PZ23-02-05 Date Received: 2/28/2023 P&Z Meeting: 3/28/2023
 CC Meeting: 4/18/2023

PURPOSE

Development Applications are reviewed by the Technical Advisory Committee (TAC) with the intent to provide the applicant specific information in preparation to meeting the City's technical standards and requirements for the proposed development project. Information provided by TAC is based on applicant submittals and should be considered actual and detailed in nature.

ACTION REQUESTED (Check one)

- | | |
|--|---|
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Site Plan Approval |
| <input type="checkbox"/> General Plan Amendment: <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input checked="" type="checkbox"/> Site Plan Amendment |
| <input type="checkbox"/> Planned Area Development (PAD) | <input type="checkbox"/> Preliminary Plat |
| <input type="checkbox"/> Planned Area Development Amendment | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other: _____ |

PROPERTY INFORMATION:

Name of Project: RALLY'S Acreage: 1.08
 Property Address/Location: 12239 W THUNDERBIRD ROAD
 Assessor's Parcel Number: 501-36-2836

APPLICANT / OWNER INFORMATION:

| | |
|--|--|
| Applicant: <u>GREG HITCHENS</u> | Owner: <u>KGR GROUP LLC</u> |
| Address: <u>3126 N. LOS ALAMOS</u> | Address: <u>27442 N. 22ND LANE</u> |
| City/ST/Zip: <u>MESA ARIZONA 85213</u> | City/ST/Zip: <u>PHOENIX, ARIZONA 85085</u> |
| Phone: <u>602-615-0204</u> | Phone: <u>602-206-8292</u> |
| Email: <u>greg@hitcharch.com</u> | Email: <u>keith@thekgrgroup.com</u> |
| Signature: <u>Gregory F. Hitchens</u> | Signature: <u>Gregory F. Hitchens</u> |
| (Agreement to act as agent for owner) | (Authorization for agent to act for owner) |

- | | |
|--|---|
| <input checked="" type="checkbox"/> Application Form | <input type="checkbox"/> Phase I Environment Site Assessment |
| <input checked="" type="checkbox"/> Comprehensive Site Plan | <input checked="" type="checkbox"/> Preliminary Sewer Report |
| <input checked="" type="checkbox"/> Exterior Elevation | <input checked="" type="checkbox"/> Preliminary Water Report |
| <input checked="" type="checkbox"/> Deed and/or Title Report | <input checked="" type="checkbox"/> Traffic Impact Study |
| <input checked="" type="checkbox"/> Drainage Report | <input checked="" type="checkbox"/> Preliminary Landscape Plans |
| <input type="checkbox"/> A.L.T.A. Survey | <input type="checkbox"/> Filing Fee (see Fee Schedule) |

**HITCHENS ASSOCIATES
ARCHITECTS**

3126 N. Los Alamos
Mesa, Arizona 85213
(602) 615-0204

February 28, 2023

City of El Mirage
55 N. Center St.
Mesa, Arizona

Re: New Rally’s Restaurant
12239 W. Thunderbird Road
Updated Project Narrative

This project is located at the southeast corner of Thunderbird Road and El Mirage Road. The request is for a Site Plan Amendment to accommodate a new Rally’s quick service restaurant. This project was previously approved by the El Mirage City Council as Case No. PZ22-01-01 on April 19, 2022. Essentially the project is still the same as it was under the prior approval. Listed below are the changes that are being proposed to the project necessitating the need for the Site Plan Amendment process.

- The building has been moved closer to the intersection.
- The escape lane adjacent to the drive thru lane has been eliminated.
- The trash enclosure has been relocated closer to the building.
- The size of the outdoor patio has been reduced.
- The building square footage has increased to accommodate a second restroom and a larger walk-in cooler.

As a result of these changes, the following exhibits have been updated and are included as part of the submittal package for the Site Plan Amendment request.

- 1) Application Form
- 2) Site Plan
- 3) Preliminary Landscape Plan
- 4) Building Elevations
- 5) Drainage Report
- 6) Traffic Impact Statement
- 7) Preliminary Water Report
- 8) Preliminary Sewer Report
- 9) Color elevations

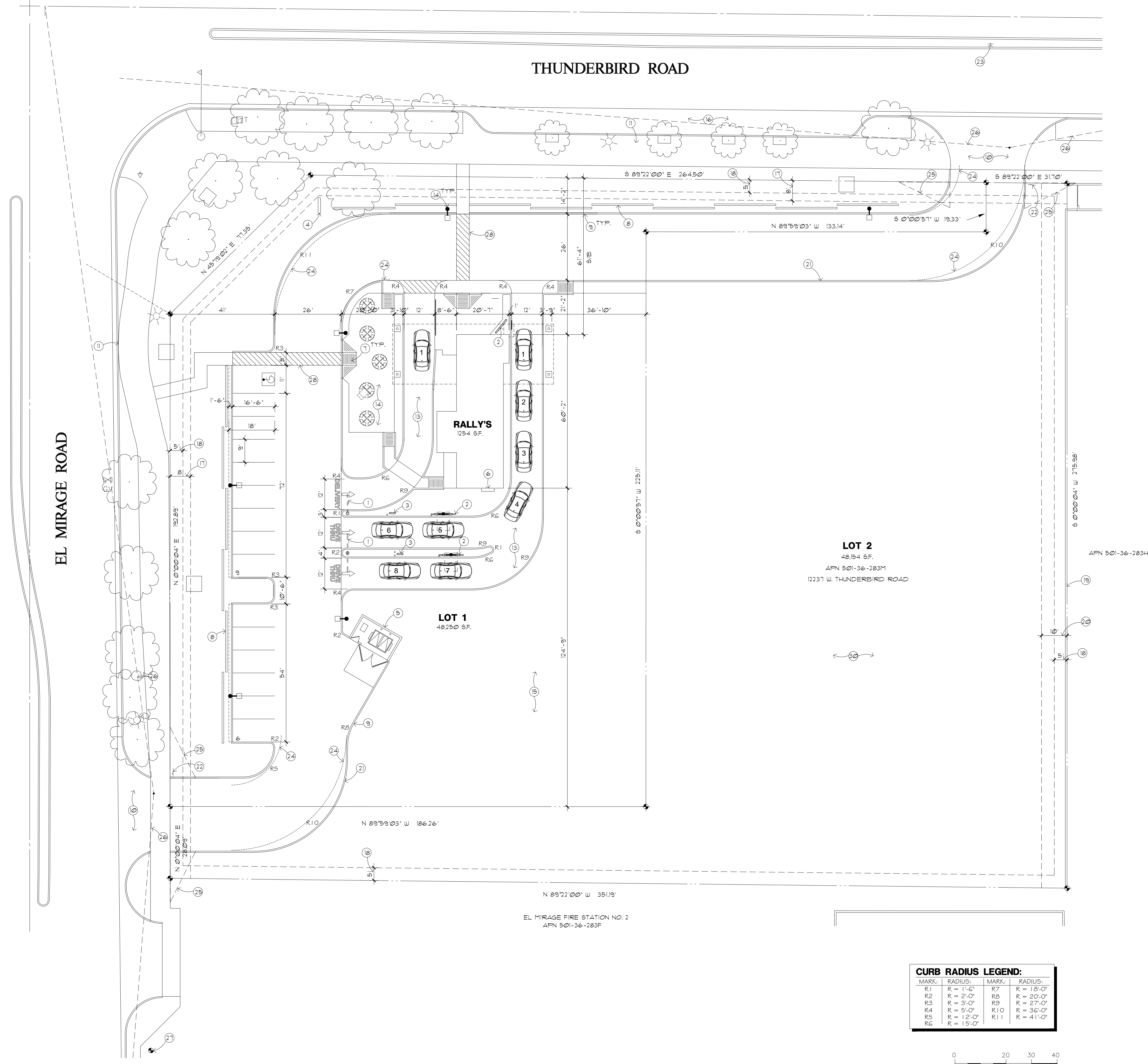
Upon further review of the project, the owner felt the need to give the building a better appearance to the neighborhood by orienting it closer to the intersection. This was accomplished by eliminating the angled parking and drive aisle in front of the building. By reducing the size of the outdoor patio, the building was also able to move to the west as well. The third drive lane to the rear of the building which served as an escape lane was determined to be no longer necessary at this location. As a result of interior floor plan changes, the access point to the building moved from the east side to the west side and thus the trash enclosure was relocated closer to this door so employees wouldn't have as far to travel when taking out the trash.

The building owner determined these revisions were necessary as they will improve overall Rally's project. Through the reduction of unneeded paving and the introduction of additional landscaping more open space has been created. This vacant infill property will now be better utilized than previously envisioned. These new enhancements to the project will allow it to become an even better addition to the neighborhood.

Sincerely,

Gregory L. Hitchens

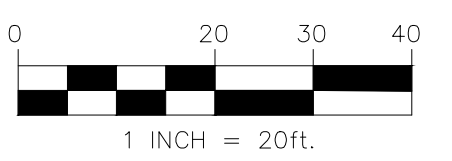
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SITE PLAN

CURB RADIUS LEGEND:

| MARK: | RADIUS: | MARK: | RADIUS: |
|-------|------------|-------|------------|
| R1 | R = 1'-6" | R7 | R = 18'-0" |
| R2 | R = 2'-0" | R8 | R = 20'-0" |
| R3 | R = 3'-0" | R9 | R = 27'-0" |
| R4 | R = 5'-0" | R10 | R = 36'-0" |
| R5 | R = 12'-0" | R11 | R = 41'-0" |
| R6 | R = 15'-0" | | |



SCALE: 1" = 20'-0"

PROJECT DATA

| | |
|--------------------|---|
| SITE ADDRESS: | 12239 W. THUNDERBIRD ROAD EL MIRAGE, ARIZONA |
| OWNER: | KGR GROUP, LLC 21422 N. 22ND LANE PHOENIX, AZ 85085 |
| SITE AREA: | LOT 1 47,150 SQ. FT. 1.082 ACRES |
| ZONING: | UC |
| EXISTING LAND USE: | VACANT |
| PROPOSED LAND USE: | RESTAURANT |
| BUILDING AREA: | RALLY'S BUILDING 1254 SQ. FT. CANOPY 1123 SQ. FT. |
| LOT COVERAGE: | 1-(2311/48,150) + 4.9% |
| BUILDING HEIGHT: | 20'-0" |
| SETBACKS: | FRONT 5' REQUIRED - 6'-4" PROVIDED SIDE STREET 5' REQUIRED - 8'-10" PROVIDED SIDE INTERIOR 5' REQUIRED - 36'-10" PROVIDED REAR 5' REQUIRED - 14'-9" PROVIDED |
| NUMBER OF STORIES: | 1 |
| REQUIRED PARKING: | OUTDOOR DINING 912/400 = 3 SPACES |
| PROVIDED PARKING: | 15 SPACES |
| PARCEL NUMBER: | 501-36-283G |

KEY NOTES

- | | |
|---|--|
| ① DRIVE THRU OVERHEAD CLEARANCE SIGN | ⑪ PROPOSED 8' PUFU |
| ② EXTERIOR MENU BOARD | ⑫ BUILDING SETBACK |
| ③ DRIVE THRU PRE-MENU BOARD | ⑬ NEW 6' HIGH CMU SCREEN WALL |
| ④ RALLY'S PYLON SIGN | ⑭ 10' LANDSCAPE BUFFER |
| ⑤ TRASH ENCLOSURE PER EM-113-1 AND EM-113-2 | ⑮ EXTRUDED CONCRETE CURB |
| ⑥ ELECTRICAL SERVICE ENTRANCE SECTION | ⑯ STOP SIGN |
| ⑦ ADA ACCESS RAMP | ⑰ ONE WAY SIGN |
| ⑧ 3'-0" HIGH CMU PARKING LOT SCREEN WALL | ⑱ FIRE TRUCK TURNING RADIUS - 19.5 FEET INSIDE RADIUS AND 45 FEET OUTSIDE RADIUS |
| ⑨ NEW CONCRETE CURB | ⑳ 10' X 20' VISIBILITY TRIANGLE |
| ⑩ EXISTING DRIVEWAY | ㉑ SIGHT DISTANCE TRIANGLE PER EM 158 |
| ⑪ EXISTING CURB, GUTTER AND SIDEWALK | ㉒ EXISTING FIRE HYDRANT |
| ⑫ PARKING LOT LIGHT | ㉓ 5' CROSS WALK |
| ⑬ CONCRETE DRIVE THROUGH LANE | ㉔ ONLINE ORDER DELIVERY LANE |
| ⑭ 900 SQ. FT. OUTDOOR DINING PATIO | ㉕ 1/2" SCREENED DG PER LANDSCAPE PLAN |
| ⑮ LANDSCAPE/RETENTION AREA | ㉖ CLASS II BICYCLE PARKING, 2 CLASSIC U RACKS |
| ⑯ EXISTING PARKING | |

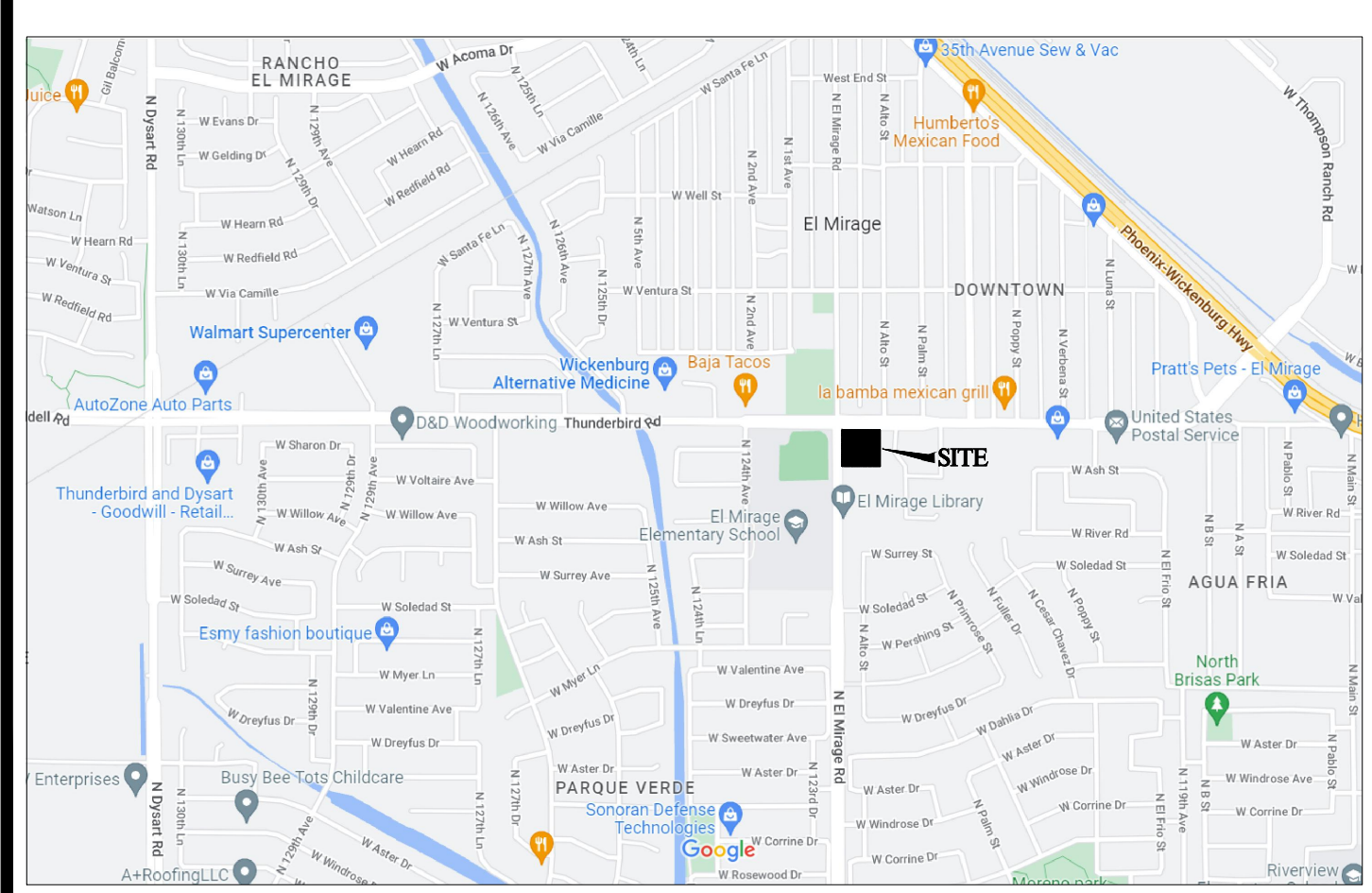
GENERAL NOTES

- A. ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDINGS, INCLUDING ADDITIONS THEREO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL SPACES AS REQUIRED BY THIS CHAPTER ARE FINISHED.
- B. THE SITE IS IN THE LUKE AIR FORCE BASE 65 TO 70 LDN ZONE AND IS SUBJECT TO ARS 28-2481 REGULATIONS.
- C. ALL AREAS NOT BEING USED FOR PARKING, STORAGE OR PLAYGROUND SHALL BE LANDSCAPED FOR DUST AND WEE GROUND COVERING.

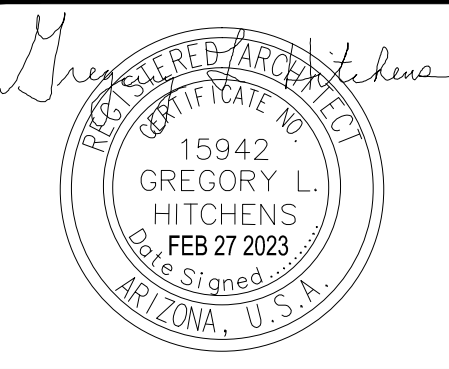
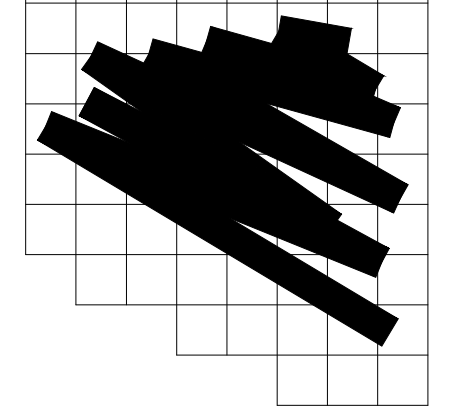
LEGEND

- | | |
|---------------------------------|-------------------------------|
| EXISTING ELECTRICAL TRANSFORMER | EXISTING TREE TO REMAIN |
| EXISTING STREET LIGHT | EXISTING TRAFFIC SIGNAL LIGHT |
| EXISTING FIRE HYDRANT | DINING TABLE |
| EXISTING PARKING LOT LIGHT | |

VICINITY MAP



HITCHENS ASSOCIATES ARCHITECTS
 3126 N. LOS ALAMOS MESA, ARIZONA 85213
 TELEPHONE: 602-615-0204



REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
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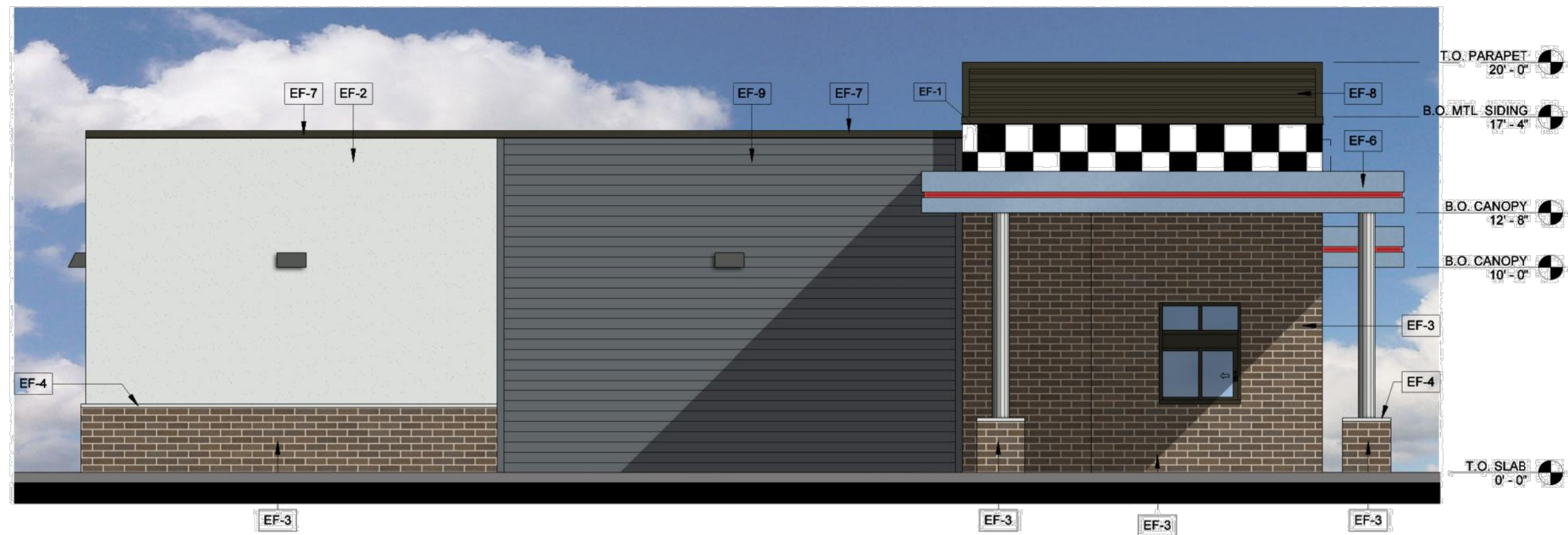


12239 W. THUNDERBIRD ROAD
EL MIRAGE, ARIZONA

PROJECT NO: 22210
DRAWN BY: GLH
DATE: 2-27-2023

SITE PLAN A0.0

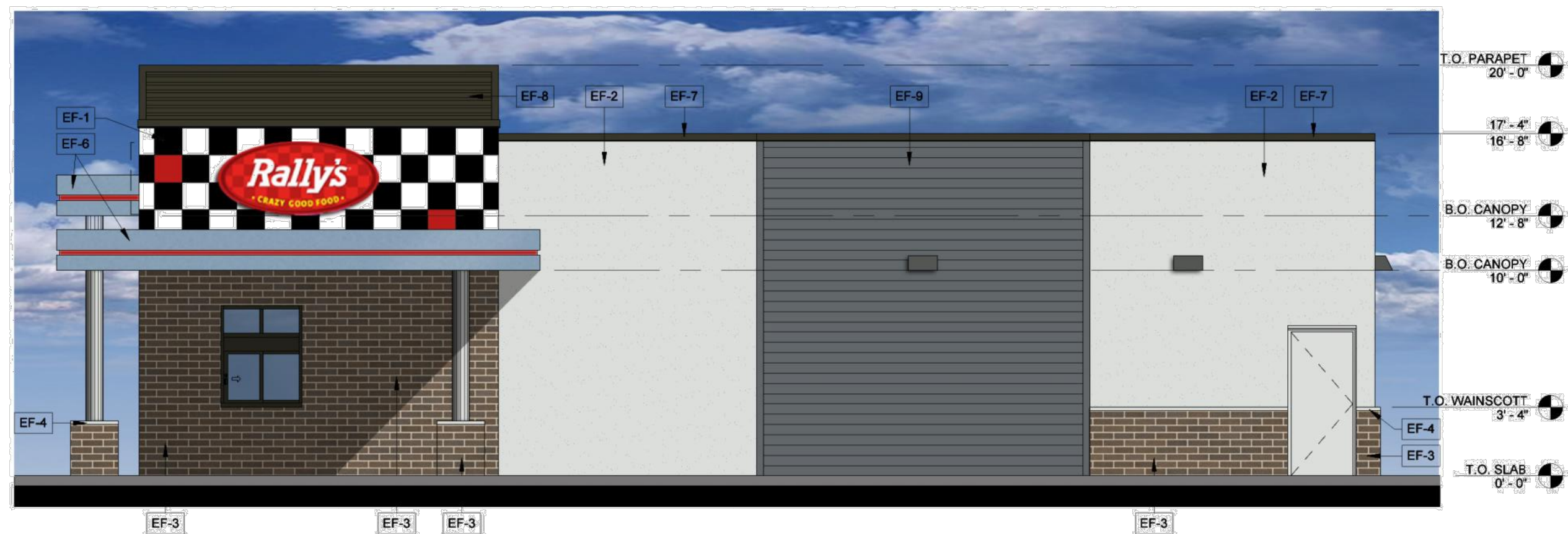
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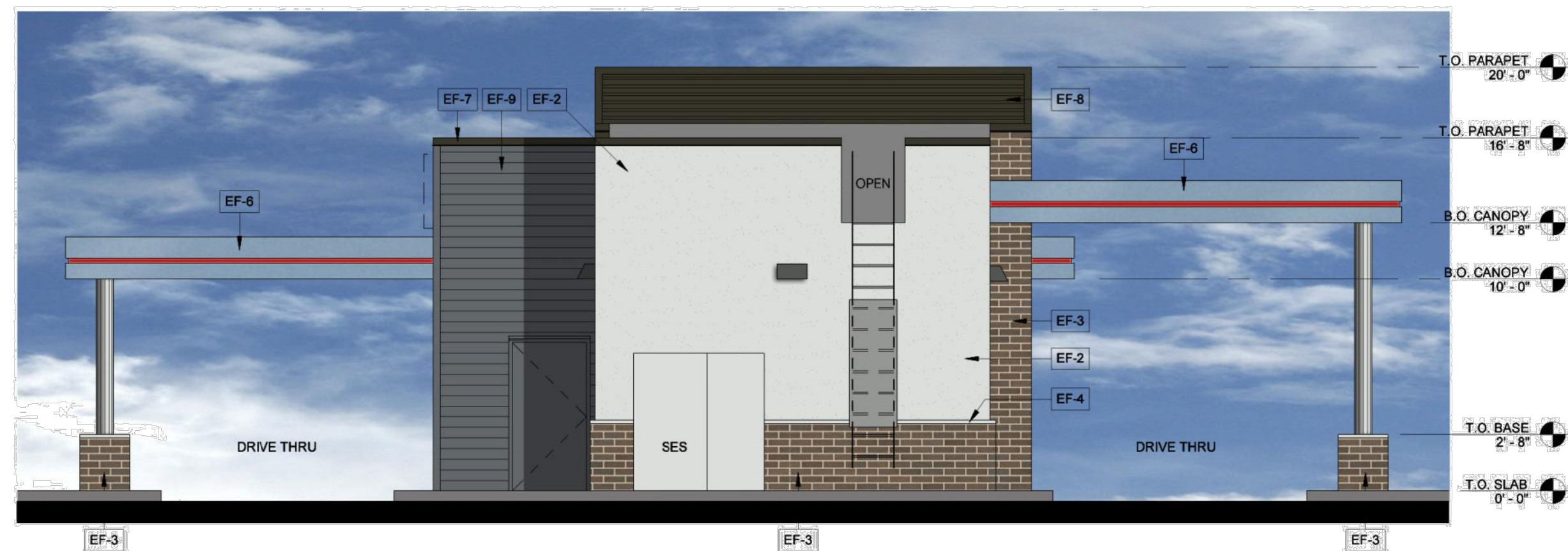
PRELIMINARY EAST ELEVATION 3/16"=1'-0" **B**



PRELIMINARY NORTH ELEVATION 3/16"=1'-0" **A**



PRELIMINARY WEST ELEVATION 3/16"=1'-0" **D**

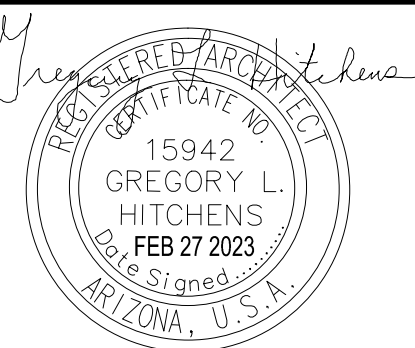
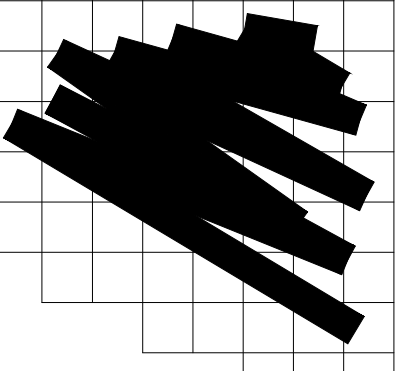


PRELIMINARY SOUTH ELEVATION 3/16"=1'-0" **C**

| TAG | MATERIAL | DESCRIPTION |
|------|-------------------------|--|
| EF-1 | TILE | 16" X 16" DEUTSCHE STEIZUG AMERICA - CUSTOM BLACK GLOSS, WHITE GLOSS & CONTRAST RED GLOSS EPOXY GROUT; LATICRETE NO. 44 BRIGHT WHITE; MAPEI NO.00 WHITE WITH DUPONT CLEAR SEALER |
| EF-2 | E.I.F.S. | DRYVIT COLOR: SW 7070 - SITE WHITE / TEXTURE: SAND |
| EF-3 | THIN BRICK | 4X12 THIN BRICK BY BELDON BRICK - FIELD GRAY VELOUR |
| EF-4 | CONCRETE TRIM | PAINTED CONCRETE WALL CAP & ARCHITECTURAL TRIM COLOR: SW 7070 - SITE WHITE |
| EF-5 | | NOT USED |
| EF-6 | MIRROR FINISH STAINLESS | STAINLESS STEEL FASCIA FURNISHED BY OWNER, INSTALLED BY G.C. |
| EF-7 | METAL FLASHING | PAINTED: SW 7070 - SITE WHITE |
| EF-8 | METAL SIDING | MASTERLINE 16 BY MBCI; BURNISHED SLATE |
| EF-9 | HORIZONTAL WOOD SIDING | HARDIEPLANK LAP SIDING BY JAMESHARDIE: NIGHT GRAY PAINTED: SW 7075 - WEB GRAY |

PRELIMINARY EXTERIOR FINISH SCHEDULE **1**

HITCHENS ASSOCIATES ARCHITECTS
 3126 N. LOS ALAMOS MESA, ARIZONA 85213
 TELEPHONE: 602-615-0204



REVISIONS

| NO. | DESCRIPTION |
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12239 W. THUNDERBIRD ROAD
EL MIRAGE, ARIZONA

PROJECT NO: 22210
DRAWN BY: GLH
DATE: 2-27-2023

**ELEVATIONS
A2**



PROVIDING VALUE FIRST

Rally's Restaurant El Mirage Road and Thunderbird Road Traffic Impact Statement

El Mirage, Arizona

February 2023

PREPARED FOR:

Chris Houser, P.E., Houser Engineering Group LLC

PREPARED BY:

Y2K Engineering, LLC.

Project No. 23-013

Contact: Rae Stephani PE, PTOE, RSP₁; rstephani@y2keng.com



A handwritten signature in blue ink that reads 'Rae Stephani'.



1921 S. Alma School Rd, Ste 204, Mesa, AZ 85210



480.696.1701



info@y2keng.com

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EXECUTIVE SUMMARY

This traffic impact statement discusses traffic impacts to the surrounding street system for Rally's Fast-Food Restaurant in El Mirage, Arizona that will allow safe operations along W Thunderbird Road and N El Mirage Road.

The criteria for this study are based on the City of El Mirage Design & Development Standards Manual (DDSM). Based on the Institute of Transportation Engineers (ITE) Trip Generation publication (11th Edition), the anticipated trip generation of the proposed development is less than 500 vehicle trips during the a.m. or p.m. peak hours. Based on the City of El Mirage DDSM, the site may require a Category I Traffic Impact Study based on the City Engineers discretion.

LOCATION & DESCRIPTION

Rally's Fast-Food Restaurant is a 1,254 square foot Fast-Food Restaurant that will be located in El Mirage, Arizona on the southeast corner of N El Mirage Road and W Thunderbird Road. More specifically the parcel is located in the Northwest Quarter of Section 13, Township 3 North, Range 1 West of the Gila and Salt River Meridian, Maricopa County, Arizona (**Figure 1**).

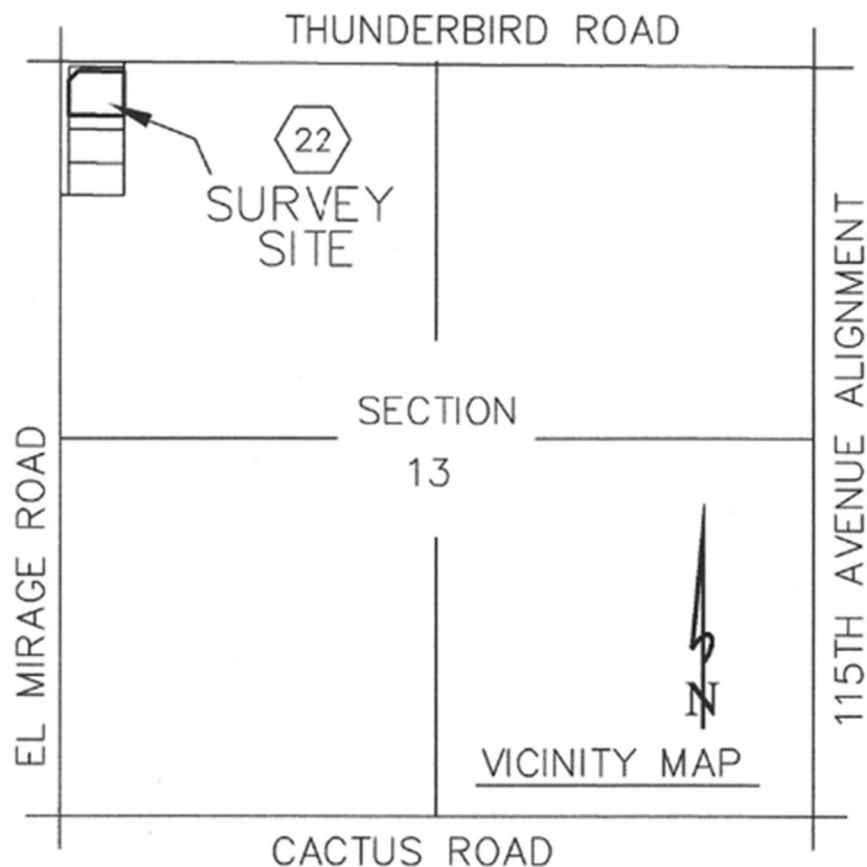


Figure 1: Vicinity Map

ROADWAY NETWORK & SITE ACCESS

The site is currently undeveloped and vacant, with multi-family housing to the east and a fire department station to the south. The surrounding area generally consists of single-family housing, multi-family housing, and a K-12 school.

EXISTING ROADWAY NETWORK

The existing roadway network and site access near the site includes N El Mirage Road to the west, and W Thunderbird Road to the north.

N El Mirage Road located on the west side of the site is a north-south Major Arterial roadway, per the City of El Mirage. The street is a 5-lane roadway with 2 travel lanes and a bike lane in both directions, separated by a median/two-way left turn lane. The posted speed limit is 35 MPH and 25 MPH during school hours.

W Thunderbird Road located on the north side of the site is an east-west Major Arterial roadway, per the City of El Mirage. The street is a 5-lane roadway with 2 travel lanes and a bike lane in both directions and a two-way left turn lane. The posted speed limit is 30 MPH.

N El Mirage Road and W Thunderbird Road Intersection is a four-legged intersection controlled by a traffic signal in all four directions.

- Northbound Approach— The northbound approach consists of a left-turn lane, one (1) through lane, a bike lane, and a right-turn deceleration lane.
- Eastbound Approach— The eastbound approach consists of a left-turn lane, one (1) through lane, one (1) shared through/right turn lane, and a bike lane.
- Southbound Approach— The southbound approach consists of a left-turn lane, one (1) through lane, and a right-turn deceleration lane.
- Westbound Approach— The westbound approach consists of a dual left-turn lane, one (1) through lane, one (1) shared through/right turn lane, and a bike lane.

SITE ACCESS

The site layout for Rally's Fast-Food Restaurant is shown in **Figure 2**. The development will utilize two existing access drives: one on N El Mirage Road and the other on W Thunderbird Road. The access to N El Mirage Road is located approximately 265-foot edge-of-curb to edge-of-curb south of the intersection of El Mirage Road and Thunderbird Road, while the access to W Thunderbird Road is located approximately 325-foot edge-of-curb to edge-of-curb east of the intersection of El Mirage Road and Thunderbird Road.

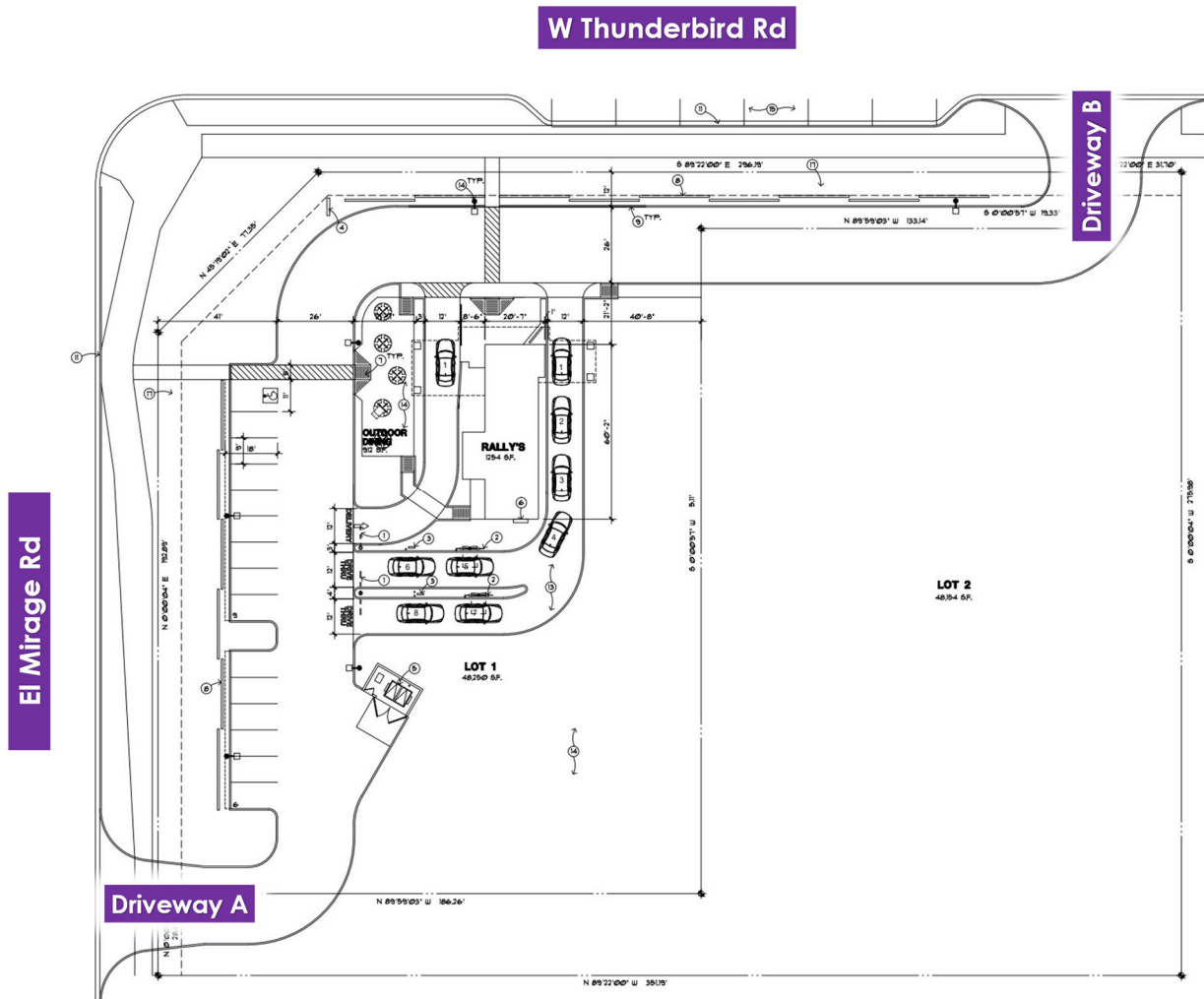


Figure 2: Site Plan

TRIP GENERATION

The potential trip generation for the proposed development was estimated utilizing the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition. The ITE Trip Generation Manual contains data collected by various transportation professionals for a wide range of different land uses. The data are summarized in the report and average rates and equations have been established that correlate the relationship between an independent variable that describes the development size and generated trips for each categorized land use. This statement provides information for daily and peak hour trips. **Table 1** summarizes the trip generation for the proposed site.

PASS-BY TRAFFIC

The proposed land use does not typically generate all new traffic on a roadway system. The ITE publication Trip Generation Handbook, 3rd Edition, 2017 defines pass by trips as intermediate stops on the way from an origin to a primary trip destination without a route diversion. Primary trips are trips where the primary purpose of the trip is to visit a specific location. Pass-by trips are trips where the secondary purpose of the trip is to visit the store, in conjunction with some other primary trip purpose (such as driving home from

work). Pass by trips originate from roadways directly fronting the generator. A 50% pass-by allowance was applied for this development.

Table 1: Rally's Fast Food Restaurant Trip Generation

| DESCRIPTION OF LAND USE | | | | | VEHICLE GENERATED TRIPS | | | | | | |
|---|-----------------------------|---------|-------|-----|-------------------------|--------------|-----------|--------------|-----------|-----------|-----------|
| | | | | | Daily Total | AM Peak Hour | | PM Peak Hour | | | |
| ID | Land Use | ITE LUC | Size | | Total | Enter | Exit | Total | Enter | Exit | Total |
| 1 | Fast Food with a Drive Thru | 934 | 1.254 | KSF | 586 | 29 | 27 | 56 | 21 | 20 | 41 |
| <i>Total Pass-by Trips</i> | | | | | 294 | 14 | 13 | 27 | 10 | 10 | 20 |
| "New" Trips Added to Street System | | | | | 292 | 15 | 14 | 29 | 11 | 10 | 21 |

As summarized in **Table 1**, the project is anticipated to add a total of 29 new trips (entering and exiting) during the AM peak hour and 21 trips during the PM peak hour.

TRIP DISTRIBUTION & ASSIGNMENT

The generated trips for the proposed development were distributed and assigned to the surrounding street system based on existing traffic patterns and volumes. The distribution and assignment percentages used in the analysis are depicted in **Figure 3**. Using the trip generation estimates and the site distribution assumptions, the hourly volumes were assigned to the study network as shown in **Figure 4**.

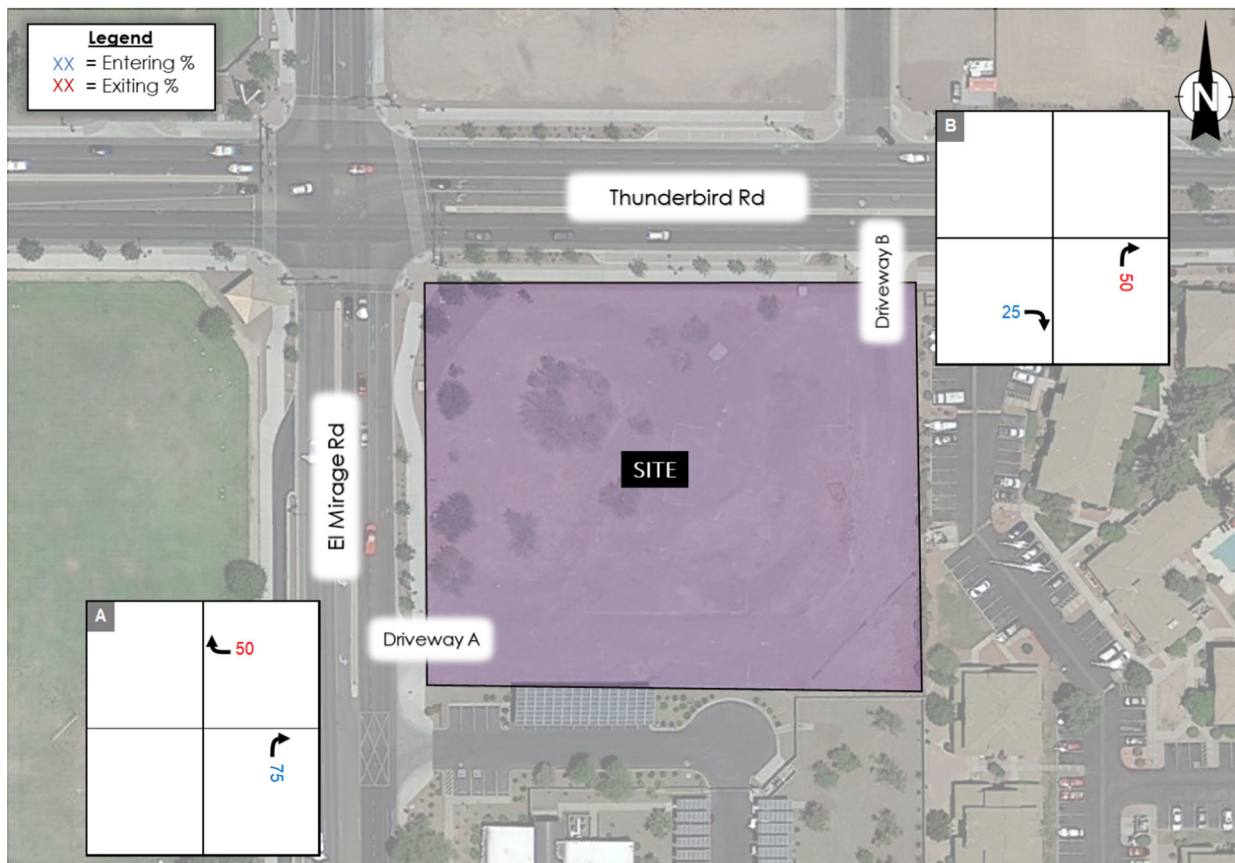


Figure 3: Trip Assignment

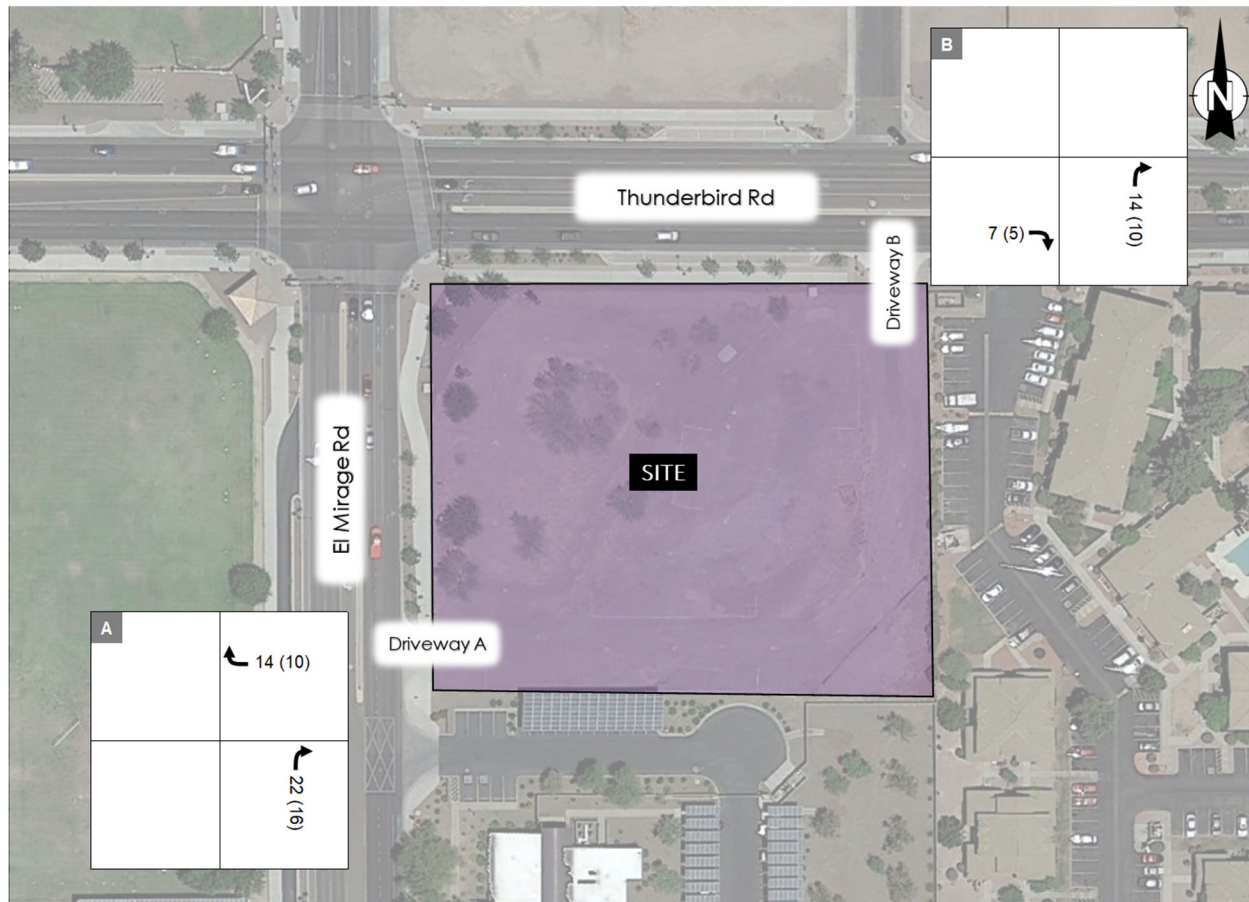


Figure 4: Trip Distribution

DRIVE-THROUGH QUEUE ANALYSIS

To determine the service rate for the fast-food restaurant drive-through, research was conducted within transportation professional journals in an attempt to identify information on typical fast-food restaurant vehicle queues. The following report captured significant data from similar restaurants: “Drive-Through Queue Generation”, Mike Spack, PE, PTOE, et al. 2018

The Spack Report included fourteen days of data collection at six fast-food restaurant locations in Minnesota in 2018. **Figure 5** presents a summary of historical data on fast-food restaurant queue data available from Spack Consulting.



Figure 5: Summary of Michael Spack Data on Fast Food Restaurant Drive-Through Data

The recommendation of the report shows that fast food restaurants with drive-through lanes should be able to occasionally accommodate a peak queue of fourteen vehicles without spilling onto a public roadway. This is a ‘peak’ recommendation and typical queues frequently average between five (5) and twelve (12) vehicles. In order for fast food restaurants with drive-through lanes to accommodate 12 vehicles the sites should provide approximately 300 feet of vehicle stacking space, which is calculated using twenty-five-foot spacing per vehicle. The vehicle stacking space begins at the food pickup window. The analysis from both reports is based on observed data and represents observations of the maximum queue at full-service fast-food locations.

According to a study by SeeLevel HX, average wait times in restaurant drive throughs was approximately 6.5 minutes in 2021¹. If a maximum of 29 vehicles are expected to enter the site in a peak hour, assuming a peak hour factor of 0.8 a maximum of 9 vehicles would arrive in a 15-minute window. With each vehicle waiting approximately 6.5 minutes (per the study), there would be an estimated five (5) cars in the drive through at the proposed site at once during the peak hour.

Figure 6 shows the capacity of the drive-through lanes. With both drive-through lanes and the delivery pick-up lane open to the pickup windows, 12 vehicles could be accommodated in approximately 305 feet of space, and 8 vehicles in just the drive-through lanes. Adequate queue storage is expected to be provided by the site.

¹<https://www.usatoday.com/story/money/food/2021/10/11/drive-thru-wait-times-increase-year-study-finds/6091395001/>

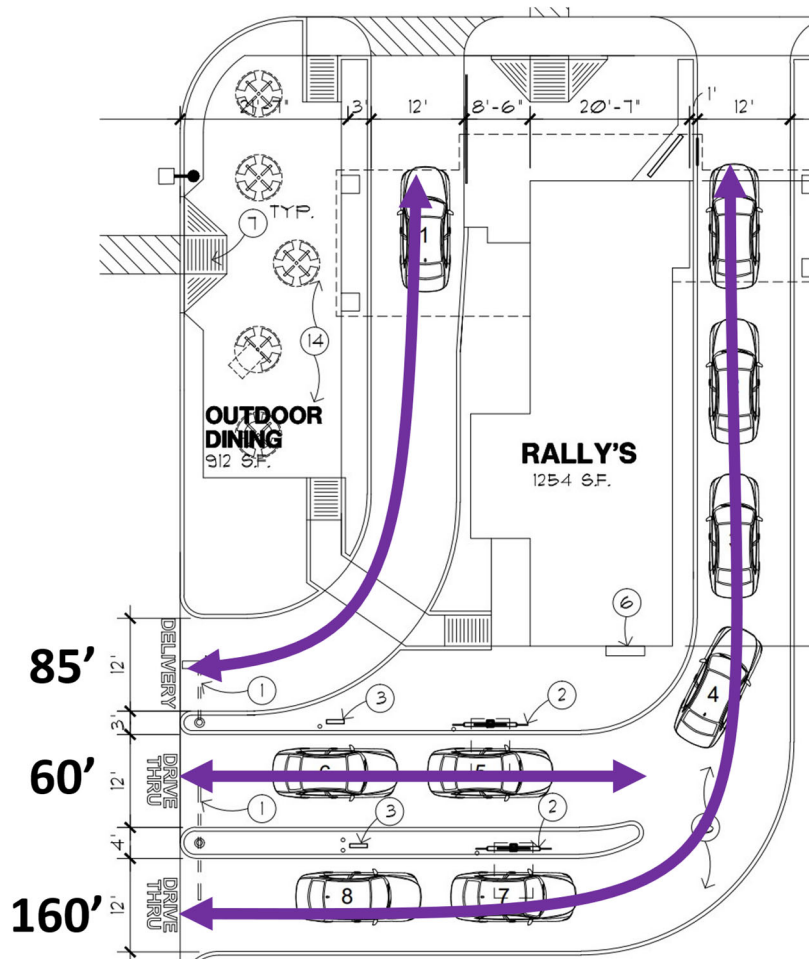


Figure 6: On-Site Space Available for Drive-Through Queue (2 Lanes at Pickup Windows and a Delivery Pick Up Lane)

EFFECT ON SURROUNDING AREA

Considering the existing roadway infrastructure and surrounding land use, the proposed development is not expected to negatively impact the surrounding roadway network.

SUMMARY

Rally's Fast-Food Restaurant is a proposed 1,254 square foot Fast-Food Restaurant that will be located in El Mirage, Arizona on the southeast corner of N El Mirage Road and W Thunderbird Road. The development is anticipated to generate 586 daily trips with 56 trips occurring during the AM peak hour and 41 trips occurring during the PM peak hour. The drive through lanes at the site are anticipated to accommodate the peak hour volumes anticipated in the drive through, with approximately 305 feet of storage space accommodating up to 12 vehicles. With the existing roadway infrastructure and surrounding land use, the proposed development is not expected to have a significant impact on the surrounding area.

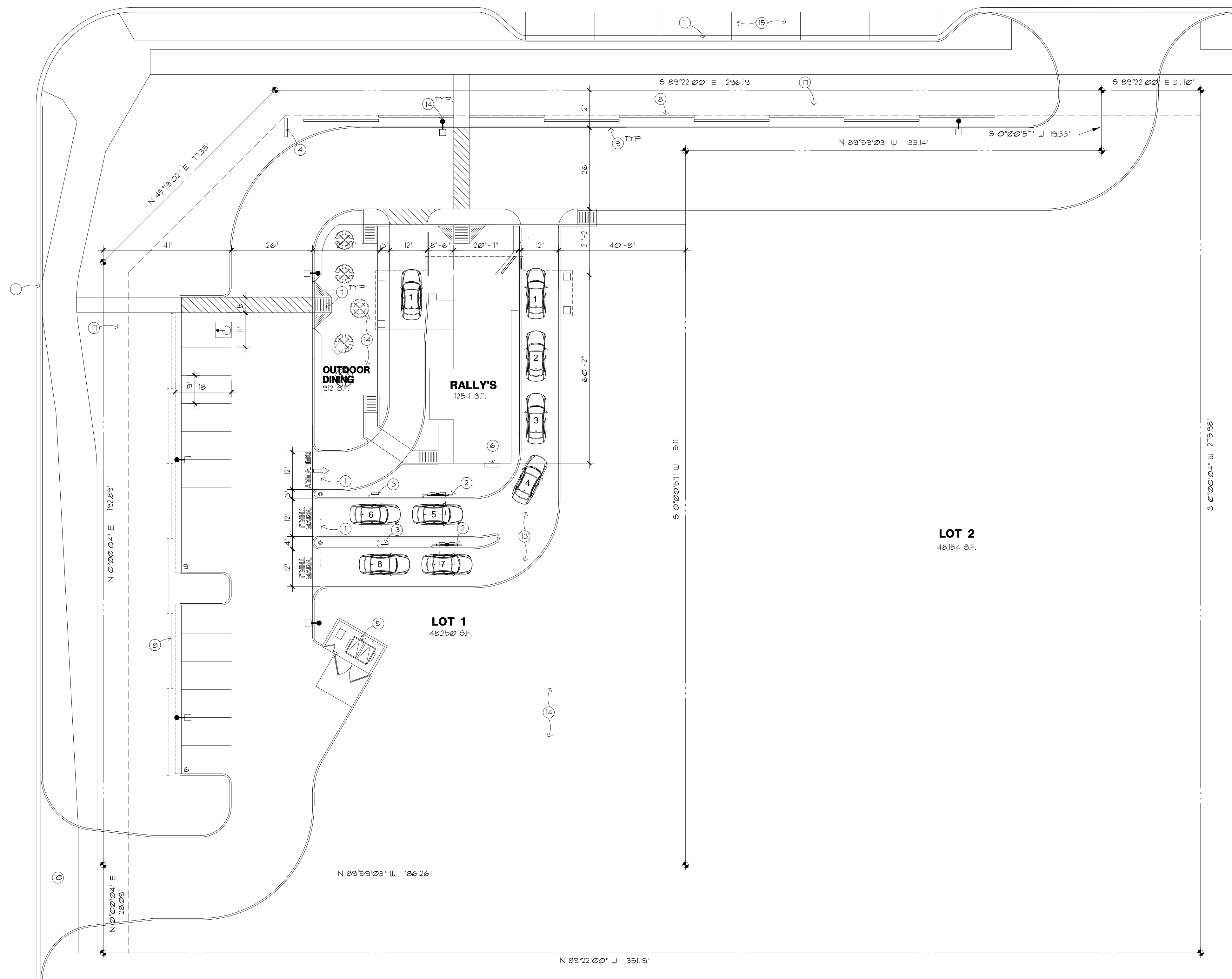
APPENDICES

APPENDIX A: SITE PLAN

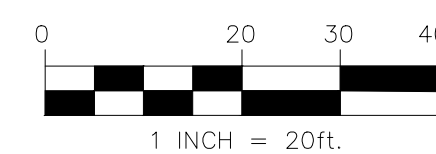
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EL MIRAGE ROAD

THUNDERBIRD ROAD



SITE PLAN A



SCALE: 1" = 20'-0"

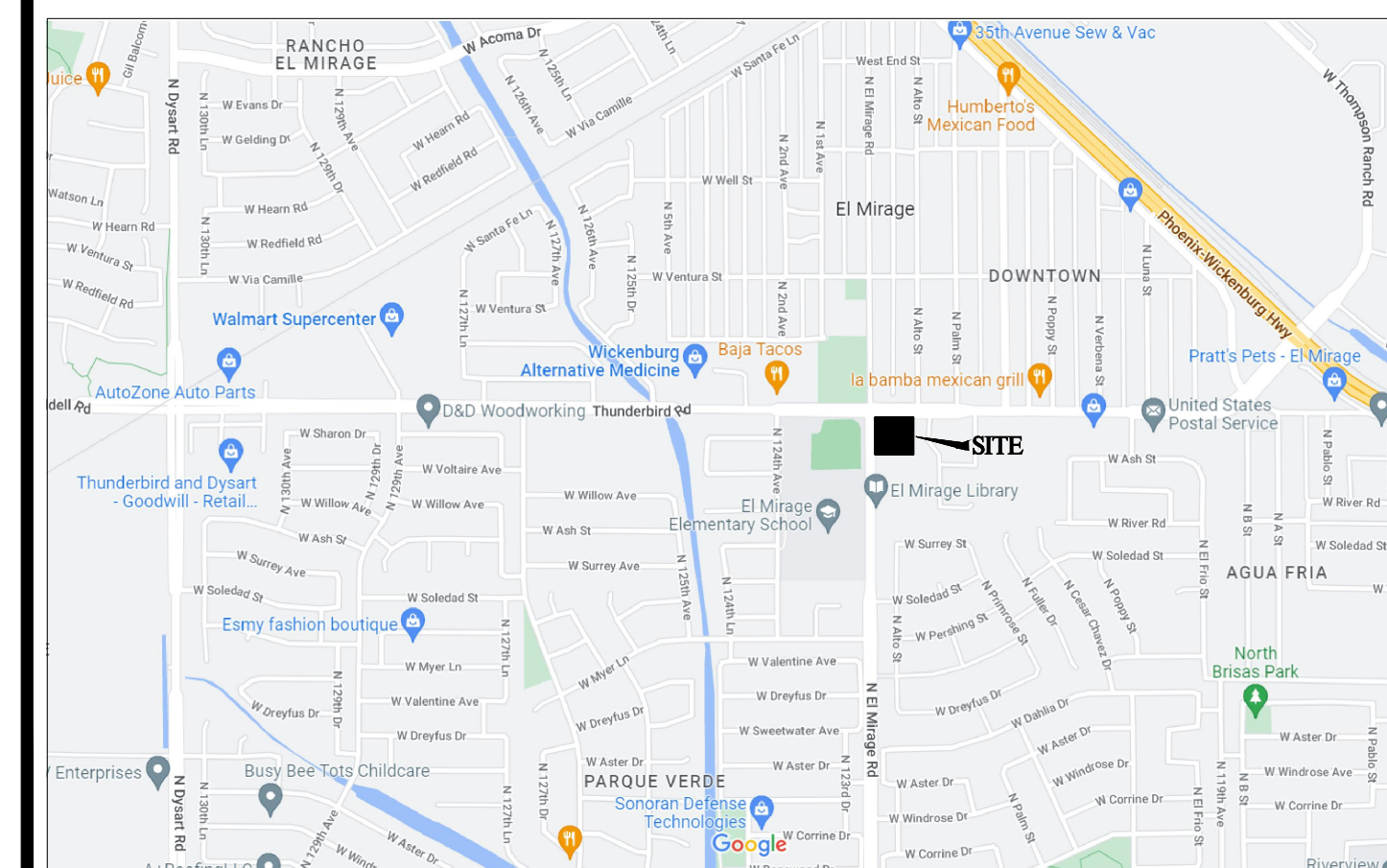
PROJECT DATA

| | |
|--------------------|---|
| PROJECT LOCATION: | 600 THUNDERBIRD RD. 4 EL MIRAGE RD. EL MIRAGE, ARIZONA |
| OWNER: | KGR GROUP, LLC 21422 N. 22ND LANE PHOENIX, AZ 85085 |
| SITE AREA: | 95,404 SQ. FT. 2.19 ACRES |
| ZONING: | UC |
| BUILDING AREA: | RALLY'S BUILDING 1254 SQ. FT. |
| LOT COVERAGE: | 1-(980/48,250) = 2.3% |
| BUILDING HEIGHT: | 20'-0" |
| NUMBER OF STORIES: | 1 |
| REQUIRED PARKING: | OUTDOOR DINING 912/400 = 3 SPACES |
| PROVIDED PARKING: | 15 SPACES |
| PARCEL NUMBER: | 501-36-283G |

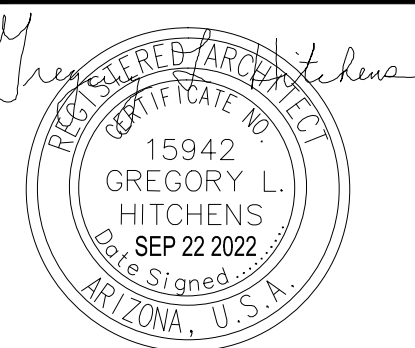
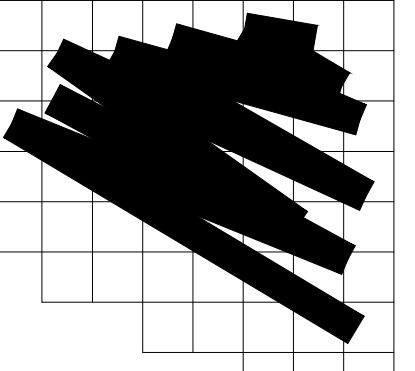
KEY NOTES

- ① DRIVE THRU CLEARANCE BAR
- ② EXTERIOR MENU BOARD
- ③ DRIVE THRU PRE-MENU BOARD
- ④ RALLY'S PYLON SIGN
- ⑤ TRASH BIN ENCLOSURE
- ⑥ S.E.S.
- ⑦ ACCESSIBLE RAMP
- ⑧ 3'-0" HIGH CMU SCREEN WALL
- ⑨ NEW CONCRETE CURB
- ⑩ EXISTING DRIVEWAY
- ⑪ EXISTING CURB, GUTTER AND SIDEWALK
- ⑫ PARKING LOT LIGHT
- ⑬ CONCRETE DRIVE THROUGH LANE
- ⑭ OUTDOOR DINING PATIO
- ⑮ LANDSCAPE/RETENTION AREA
- ⑯ EXISTING PARKING
- ⑰ PROPOSED 8' P.U.F.E

VICINITY MAP



HITCHENS ASSOCIATES ARCHITECTS
 3126 N. LOS ALAMOS
 MESA, ARIZONA 85213
 TELEPHONE: 602-615-0204



REVISIONS

| | | |
|---|---------|-----------------|
| ① | 9-23-22 | owner revisions |
| ② | 1-11-23 | owner revisions |

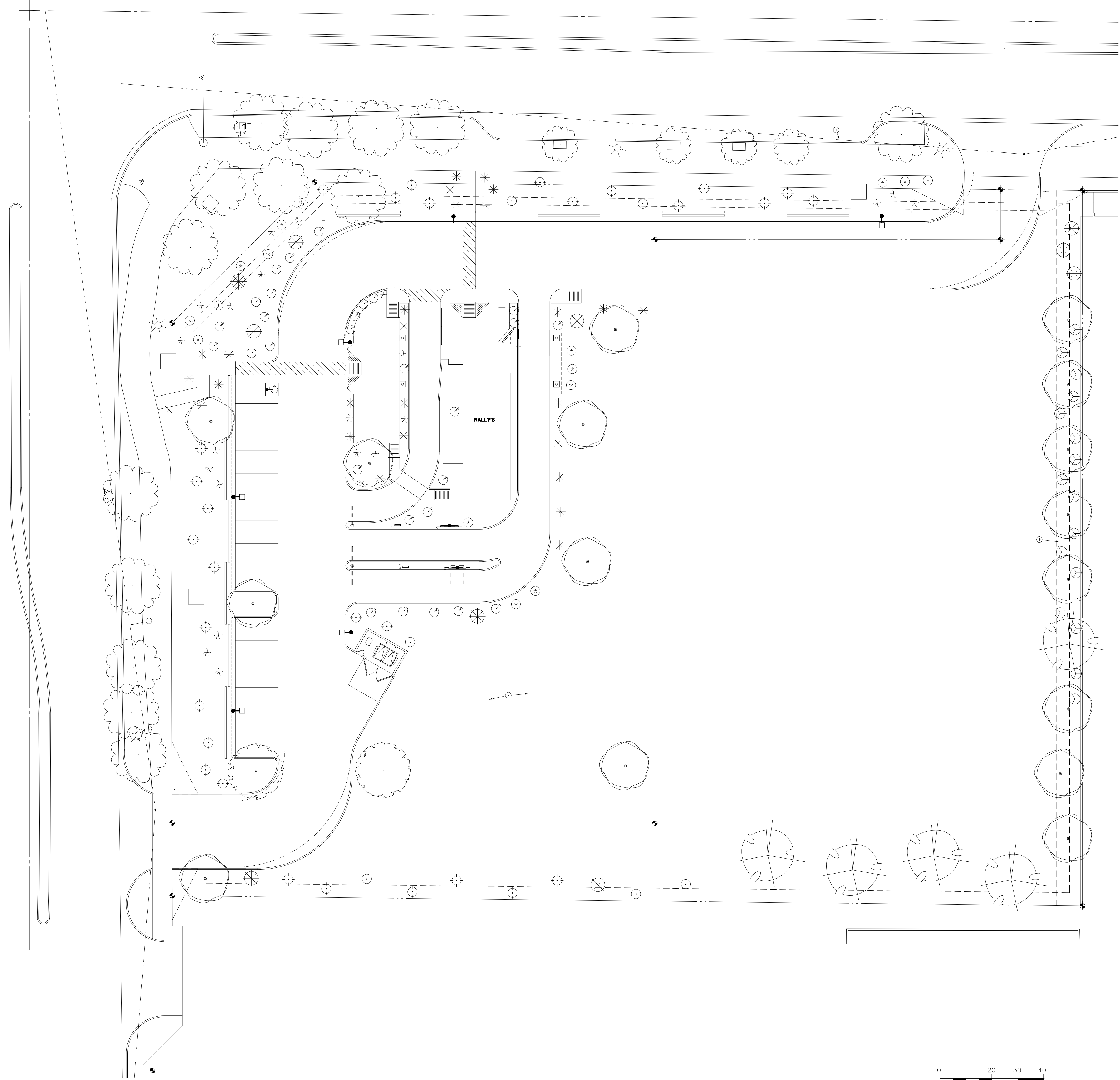


SEC THUNDERBIRD & EL MIRAGE
EL MIRAGE, ARIZONA

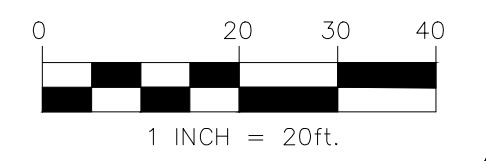
PROJECT NO: 22210
DRAWN BY: GLH
DATE: 9-22-2022

**SITE PLAN
A0.0**

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LANDSCAPE PLAN



SCALE: 1" = 20'-0"

PLANT LEGEND

| SYMBOL | COMMON NAME | BOTANICAL NAME | SIZE | QNT |
|--------------|---------------|-----------------------------|---------|-----|
| TREES | | | | |
| | EXISTING TREE | | | 18 |
| | CASCALOTE | <i>Caesalpinia cocalaco</i> | 24" BOX | 5 |
| | PISTACHE | <i>Pistache x Red Push</i> | 24" BOX | 2 |
| | EVERGREEN ELM | <i>Ulmus parvifolia</i> | 24" BOX | 16 |

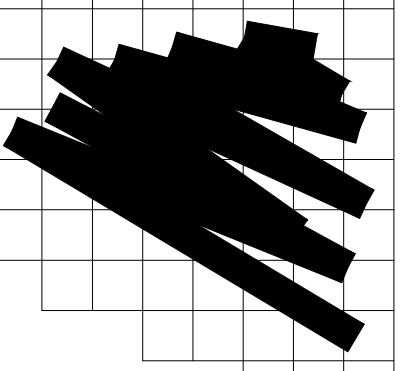
| ACCENTS & GRASSES | | | | |
|-------------------|-----------------|---------------------------|--------|-----|
| SYMBOL | COMMON NAME | BOTANICAL NAME | SIZE | QNT |
| | MEDICINAL ALOE | <i>Aloe vera</i> | 5 GAL. | 28 |
| | DESERT MILKWEED | <i>Asclepias subulata</i> | 5 GAL. | 21 |

| GROUND COVER AND SHRUBS | | | | |
|-------------------------|--------------------------|--|---------|-----|
| SYMBOL | COMMON NAME | BOTANICAL NAME | SIZE | QNT |
| | MEXICAN BIRD OF PARADISE | <i>Caesalpinia mexicana</i> | 15 GAL. | 10 |
| | OUTBACK SUNRISE EMU BUSH | <i>Eremophila glabra 'Mingensu Gold'</i> | 5 GAL. | 36 |
| | BLUE BELLS | <i>Eremophila hygrophana</i> | 5 GAL. | 28 |
| | NEW GOLD LANTANA | <i>Lantana x 'New Gold'</i> | 5 GAL. | 16 |
| | SPARKY TECOMA | <i>Tecoma x 'Sparky'</i> | 5 GAL. | 16 |

NOTES

- LINE OF SIGHT DISTANCE TRIANGLE. DENOTES AREA TO BE FREE OF OBSTRUCTIONS TO VISION BETWEEN 2.5 FEET AND 8 FEET ABOVE THE SIDEWALK.
- 1/2" SCREENED 2' DEPTH DECOMPOSED GRANITE TO MATCH EXISTING IN ROW.
- 10' LANDSCAPE BUFFER

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REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| | |
| | |
| | |



12239 W. THUNDERBIRD ROAD
EL MIRAGE, ARIZONA

PROJECT NO: 22210
DRAWN BY: GLH
DATE: 2-27-2023

LANDSCAPE PLAN
L-1