



CITY OF EL MIRAGE DEVELOPMENT APPLICATION FORM

Official Use			
Case No: <u>PZ23-03-06</u>	Date Received: <u>3/1/23</u>	PC Meeting: <u>3/28/2023</u>	CC Meeting: <u>4/18/2023</u>

PURPOSE

Development Applications are reviewed by the Technical Advisory Committee (TAC) with the intent to provide the applicant specific information in preparation to meeting the City's technical standards and requirements for the proposed development project. Information provided by TAC is based on applicant submittals and should be considered actual and detailed in nature.

ACTION REQUESTED (Check one)

- | | |
|--|--|
| <input checked="" type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Site Plan Approval |
| <input type="checkbox"/> General Plan Amendment: <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Site Plan Amendment |
| <input type="checkbox"/> Planned Area Development (PAD) | <input type="checkbox"/> Preliminary Plat |
| <input type="checkbox"/> Planned Area Development Amendment | <input type="checkbox"/> Final Plat |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Other: _____ |

PROPERTY INFORMATION:

Name of Project: Agua Fria Commerce Park Acreage: 35.91
 Property Address/Location: East of SEC Cactus St and Main St
 Assessor's Parcel Number: 501-45-369

APPLICANT / OWNER INFORMATION:

Applicant: <u>Withey Morris, PLC</u>	Owner: <u>120 El Mirage Partners/ASSOCIATES</u>
Address: <u>2525 E. Arizona Biltmore Cir, Suite A-212</u>	Address: <u>6320 E Calle Bruvira</u>
City/ST/Zip: <u>Phoenix, AZ 85016</u>	City/ST/Zip: <u>Paradise Valley, AZ 85253</u>
Phone: <u>602-230-0600</u>	Phone: <u>602-326-4346</u>
Email: <u>hayes@witheymorris.com</u>	Email: <u>JEFF @ J.PROPER: LM</u>
Signature: <u><i>W. Hayes</i></u>	Signature: <u><i>Jeff A. Proper G.P.</i></u>
(Agreement to act as agent for owner)	(Authorization for agent to act for owner)

- Application Form
- Comprehensive Site Plan
- Deed and/or Title Report
- Drainage Report
- A.L.T.A. Survey
- Phase I Environment Site Assessment
- Preliminary Landscape Plans
- Filing Fee (see Fee Schedule starting on page 9)

Cactus Road and Agua Fria River RV, Boat and Storage Campus



Conditional Use Permit Narrative
Submitted: March 1, 2023

Development Team

Applicant



Withey Morris, PLC
2525 E. Arizona Biltmore Circle Ste. A-212
Phoenix, AZ 85016
Contact: Adam Baugh
Email: adam@withey.com
Phone: (602) 230-0600

Developer



Sonoma Communities
4340 East Indian School Road, Suite 21-204
Phoenix, Arizona 85018
Contact: Jim Stockwell
Email: jstockwell@clydecap.com
Phone: (602) 777-0505

Landscape Architect



McGough/Adamson
535 East McKellips Road, Ste. 131
Mesa, AZ 85201
Contact: Nick Adamson, RLA
Email: nicka@MG-AZ.com
Phone: (602) 997-9093

Engineer



Terrascope Consulting
645 E. Missouri Avenue, Suite 420
Phoenix, Arizona 85012
Contact: Dave Soltysik
Email: dsoltysik@terrascope.us
Phone: (480) 454-8010

Flood and Hydrology Engineer



JE Fuller
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Tempe, AZ 85284
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Email: rob@jefuller.com
Phone: (480) 250-9842

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- EXHIBIT D – PARK DETAIL AND CONCEPTUAL HARDSCAPE DETAILS

Introduction

The Cactus Road and Agua Fria River RV, Boat, and Storage Campus offers a creative solution for a challenging development site that will create economic activity and generate significant sales tax revenue for the City of El Mirage. The proposed development will also generate employment during the construction phase. Given the City's limited land supply, the proposed development presents a unique opportunity for economic growth while providing a valuable service to residents in the surrounding area.

The Property is 35.91 gross acres located approximately 800 feet east of the intersection of Cactus Road and Main Street, as shown on the attached aerial map (**Exhibit A**). The Property is on the eastern boundary of El Mirage along the Agua Fria River. The site includes an approximately 5.2-acre drainage easement with a total non-buildable area of approximately 8 acres, leaving approximately 28 acres for development.

The property is bordered by the Agua Fria River to the east, vacant land owned by the Bureau of Land Management to the south, and fully developed subdivisions of residential land zoned Suburban Neighborhood (SN) to the west and north.

Request

This application requests a conditional use permit for a community park in an Employment/Industry zoning district.

Development Plan

The proposed development would provide an in-demand service to residents of the surrounding area, offering high-quality storage facilities for recreational vehicles, boats, and other personal belongings. With sales of recreational vehicles and watercraft continuing to boom, demand for storage is high. In 2021, recreational boating was the leading outdoor recreation sector in the United States following record sales in 2020. The RV industry is seeing similar trends with greater consumer demand for outdoor recreation.

The storage campus would include both covered and uncovered RV/Boat parking spaces, as well as additional storage units to provide safe and convenient storage of other personal belongings. This presents an excellent opportunity for nearby residents whose Homeowner Associations might prevent RV or boat storage at their own homes. The storage units will come in a variety of different dimensions, including 10' X 10', 10' X 15', 10' x 25', 10' X 30', and 16' X 45'. The development will feature state of the art security systems, including app based keyless entry. See **Exhibit B, Preliminary Site Plan**.

Additionally, a park is proposed on the southern end of the property, which will be constructed and maintained by the applicant and will provide a valuable amenity to neighbors in the surrounding community. The park will be accessed via a pedestrian pathway that connects to the Sundial IV neighborhood. See **Exhibit C, Preliminary Landscape Plan**. The park will be surrounded by a 6' tall view fence with a pedestrian access gate in the northwest corner. See **Exhibit D, Park Detail and Conceptual Hardscape Details**.

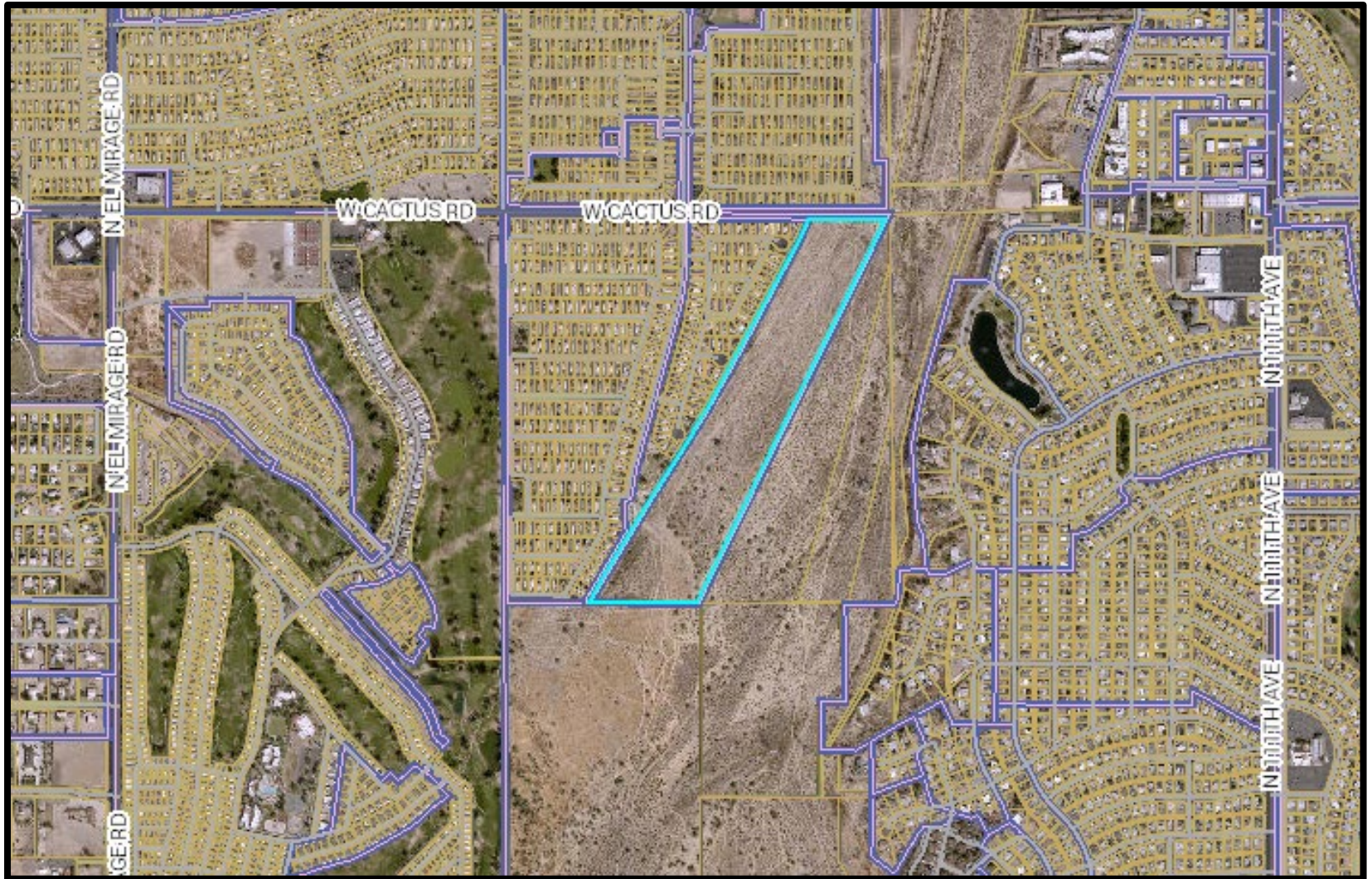
Engineering solutions have been studied to protect the Property from the Agua Fria River floodplain. The developer proposes to apply for a CLOMR-F after zoning is approved to protect the site from a possible lateral movement of the Agua Fria River in a major storm event and will raise the site slightly with fill. This will allow for safe and effective development of this otherwise challenged property.

Conclusion

The proposed development is a context appropriate, sales-tax revenue generating use for the Property, which is one of the few remaining undeveloped parcels in the City of El Mirage. The applicant has devised creative solutions to create utility for this challenging parcel, which will enable the City to maximize the value of its remaining resources. The requested conditional use permit will also allow the Applicant to provide an amenity for the community with a quality park.

EXHIBIT A

Aerial Map



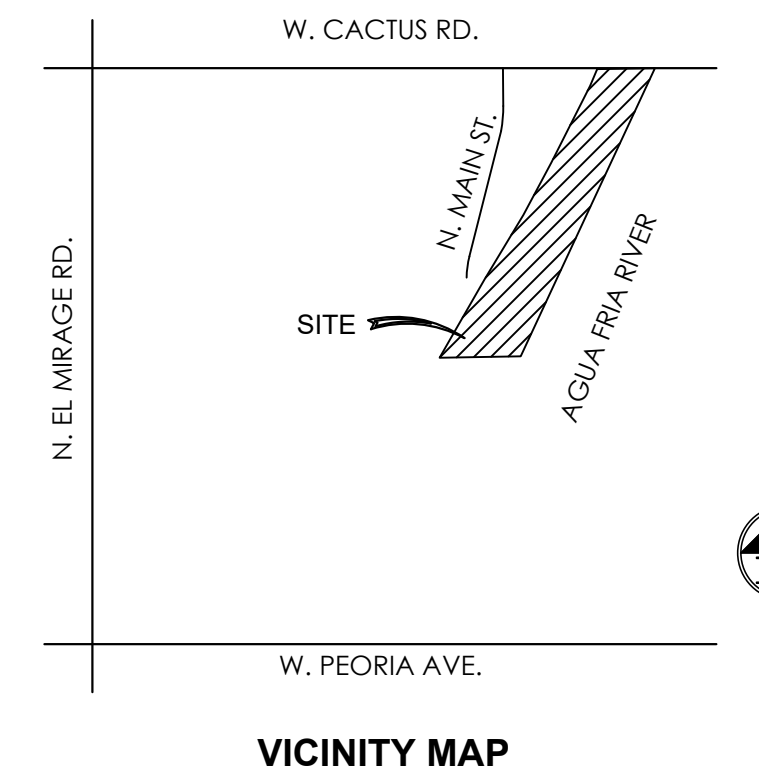
E of Cactus Rd and Main St, El Mirage



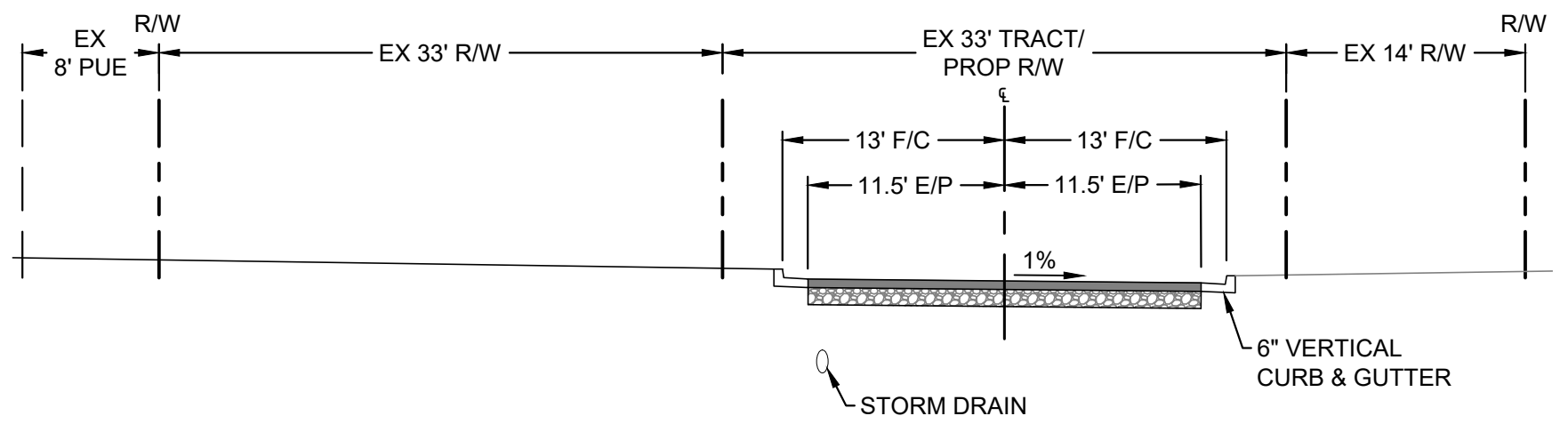
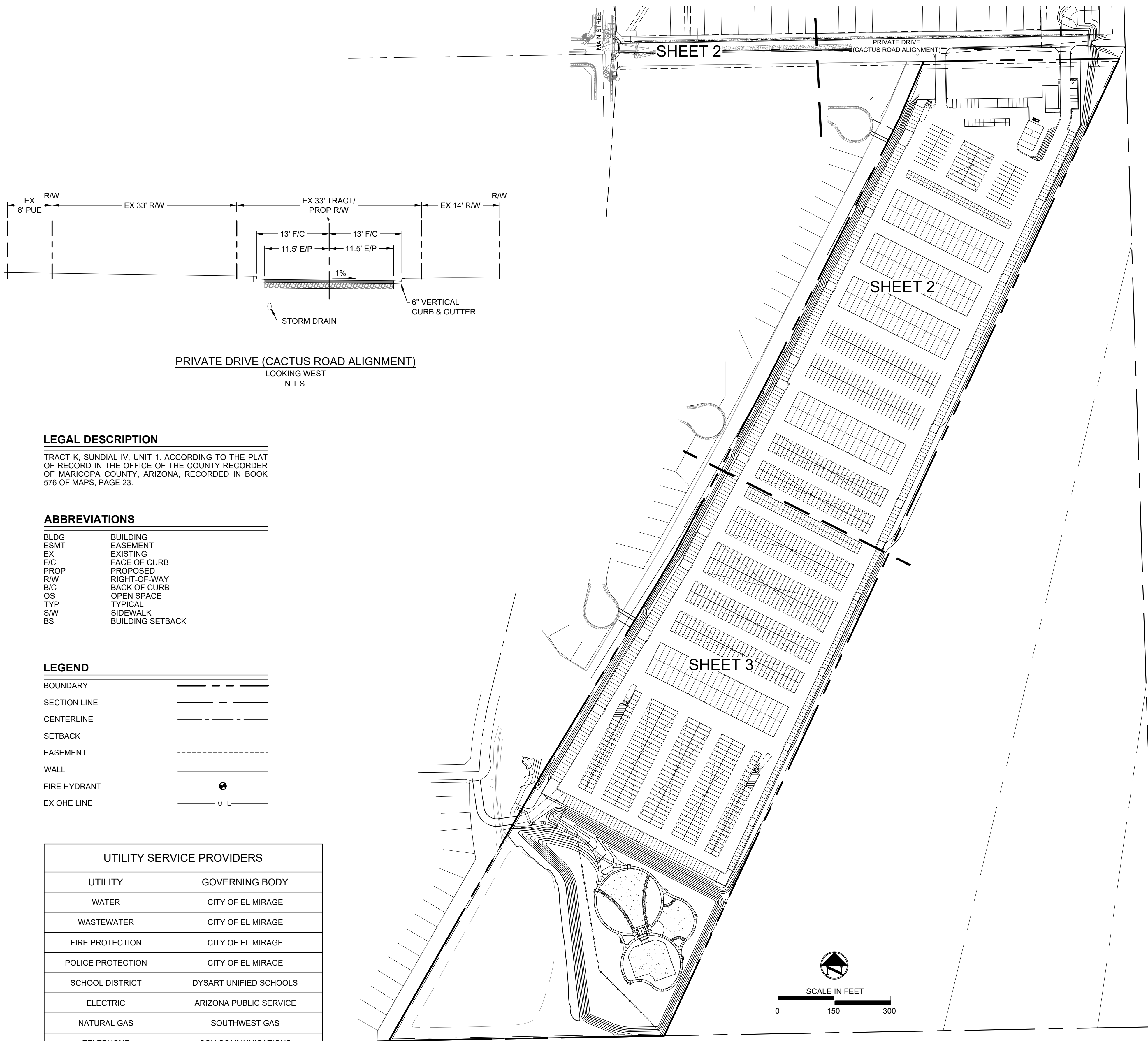
EXHIBIT B

SITE PLAN FOR CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

EAST OF SEC CACTUS ROAD & MAIN STREET
EL MIRAGE, ARIZONA
TRACT K OF THE SUNDIAL IV UNIT I REPLAT
A PORTION OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP



PRIVATE DRIVE (CACTUS ROAD ALIGNMENT)
LOOKING WEST
N.T.S.

LEGAL DESCRIPTION

TRACT K, SUNDIAL IV, UNIT 1, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 576 OF MAPS, PAGE 23.

ABBREVIATIONS

BLDG	BUILDING
ESMT	EASEMENT
EX	EXISTING
F/C	FACE OF CURB
PROP	PROPOSED
R/W	RIGHT-OF-WAY
B/C	BACK OF CURB
OS	OPEN SPACE
TYP	TYPICAL
SW	SIDEWALK
BS	BUILDING SETBACK

LEGEND

BOUNDARY	---
SECTION LINE	---
CENTERLINE	---
SETBACK	---
EASEMENT	---
WALL	---
FIRE HYDRANT	●
EX OHE LINE	—○—

UTILITY SERVICE PROVIDERS	
UTILITY	GOVERNING BODY
WATER	CITY OF EL MIRAGE
WASTEWATER	CITY OF EL MIRAGE
FIRE PROTECTION	CITY OF EL MIRAGE
POLICE PROTECTION	CITY OF EL MIRAGE
SCHOOL DISTRICT	DYSART UNIFIED SCHOOLS
ELECTRIC	ARIZONA PUBLIC SERVICE
NATURAL GAS	SOUTHWEST GAS
TELEPHONE	COX COMMUNICATIONS
REFUSE PROVIDERS	PARKS & SONS OF SUN CITY

SITE INFO

A.P.N.	501-45-369
SITE AREA (GROSS):	35.91 AC (1,564,337 SF)
SITE AREA (NET):	35.91 AC (1,564,337 SF)
EXISTING ZONING:	NR (NATURAL RESERVE)
PROPOSED ZONING:	E/I (EMPLOYMENT/INDUSTRIAL)
EXISTING LAND USE:	VACANT LAND
PROPOSED LAND USE:	RV/BOAT & SELF STORAGE
RV/BOAT PARKING /SURFACE STORAGE:	12' X 20' (CANOPY): 84 12' X 25' (CANOPY): 112 12' X 30' (CANOPY): 124 12' X 35' (CANOPY): 100 12' X 40' (CANOPY): 108 12' X 45' (CANOPY): 78 12' X 35' (OPEN): 144 16' X 45' (ENCLOSED): 208 958
STORAGE UNITS:	10' X 10': 86 10' X 15': 154 10' X 20': 110 10' X 25': 91 10' X 30': 154 595
TOTAL SITE STORAGE:	1,553

BUILDING TABLE

BUILDING / STRUCTURE:	AREA (S.F.)	HEIGHT
LEASING OFFICE:	2,170	18'
RV / BOAT WASH & DUMP:	3,150	18'
10' X 10' UNIT STORAGE BUILDINGS:	8,600	12.33'
10' X 15' UNIT STORAGE BUILDINGS:	23,100	12.33'
10' X 20' UNIT STORAGE BUILDINGS:	22,000	12.33'
10' X 25' UNIT STORAGE BUILDINGS:	22,750	12.33'
10' X 30' UNIT STORAGE BUILDINGS:	46,200	16.5'
16' X 45' RV/BOAT ENCLOSED SPACES:	149,760	
RV/BOAT CANOPIES:	294,840	18'
TOTAL BUILDINGS & CANOPIES:	572,570	
LOT COVERAGE:		37%

DEVELOPMENT STANDARDS - E/I ZONING

LOT OCCUPATION	REQUIRED	PROVIDED
MIN. LOT AREA	2,000 SF	> 2,000 SF
MIN. LOT WIDTH	50'	> 50'
MAX. LOT COVERAGE	90%	+/- 35%
MINIMUM SETBACKS		
FRONT (S) (NORTH)	20'	20'
SIDE (EAST & WEST)	5'	5'
REAR (SOUTH)	5'	5'
MAXIMUM BUILDING HEIGHT		
PRINCIPAL (HEIGHT/STORIES)	66'	18'
PERIMETER WALL HEIGHT	6' MIN. 10' MAX.	8'
PASSENGER VEHICLE PARKING (4 SPACES+ 1 PER EMPLOYEE)	5	8
PARKING STALL SIZE 9' X 18.5'	9' X 18.5'	9' X 18.5'

NOTES

- A PORTION OF THE SITE IS IN THE LUKE AIR FORCE BASE 65 TO 70 DNL ZONE AND IS SUBJECT TO ARS 28-8481 REGULATIONS.
- NEW BUILDINGS ARE SUBJECT TO ARS 28-8482 SOUND ATTENUATION STANDARDS IN BUILDING CODE.
- ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BUT THIS CHAPTER ARE FURNISHED.
- PERMITS FOR SIGNS OTHER THAN BUILDING NUMBER AND ADDRESS WILL BE REQUIRED.
- NOISE SHALL BE KEPT TO 55 DECIBELS AT THE PROPERTY LINES BETWEEN 10 PM AND 6 AM.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 1112 AND ANY OUTDOOR LIGHTING WILL BE PLACED SO AS TO REFLECT LIGHT AWAY FROM ANY ADJOINING RURAL OR RESIDENTIAL ZONING DISTRICT.
- ALL LIGHT POLES/STANDARDS WILL HAVE A MAXIMUM HEIGHT OF 18 FEET.
- HOURS OF OPERATION: 24 HOURS / 7 DAYS. 24 HOUR CUSTOMER ACCESS WITH SECURITY FENCING & REMOTE VIDEO MONITORING.
- 1 FULL TIME EMPLOYEE - ONSITE DURING NORMAL BUSINESS HOURS.
- WASH BAYS AND DUMP STATIONS AVAILABLE 24 HOURS.
- MULTIPLE WATER FILLING STATIONS.
- TIRE AIR FILLING STATION AVAILABLE.

CIVIL ENGINEER

TERRASCOPE CONSULTING, LLC
645 E. MISSOURI AVE., SUITE 420
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CONTACT: DAVE SOLTYSIK, P.E.
PHONE: (602) 297-8732
EMAIL: DSOLTYSIK@TERRASCOPE.US

DEVELOPER / APPLICANT

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4340 N. EAST INDIAN SCHOOL RD., SUITE 21-204
PHOENIX, ARIZONA 85018
CONTACT: JIM STOCKWELL, JR.
PHONE: 602-777-0505
EMAIL: JSTOCKWELL@CLYDECAP.COM

PROPERTY OWNER

120 EL MIRAGE PARTNERS
6320 E CALLE BRUVIRA
PARADISE VALLEY, ARIZONA 85253

LAND PLANNING & LANDSCAPE ARCHITECT

MCGOUGH ADAMSON
535 E. MCKELLIPS RD., SUITE 131
MESA, ARIZONA 85203
CONTACT: NICK ADAMSON
PHONE: 602-997-9093
EMAIL: NICKA@MG-AZ.COM

COORDINATE SYSTEM

ARIZONA STATE PLANE CENTRAL ZONE GRID COORDINATES FOR THE NORTHEAST CORNER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.
GDACS POINT # 03782.Z1
N = 944013.95
E = 581051.30
NAVD 88 ELEV. = 1100.00

BASIS OF BEARING

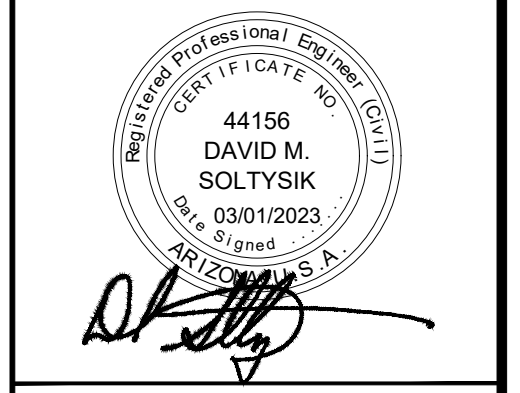
S 89°06'25" W - BEING THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE FINAL PLAT OF SUNDIAL IV UNIT I REPLAT, RECORDED IN BOOK 576, PAGE 23, MARICOPA COUNTY RECORDS.

FLOOD ZONE

FLOOD ZONE DESIGNATION "AE" PER F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C1685M PANEL 1685 OF 4425, DATED 09/18/2020.
ZONE "AE" IS A SPECIAL FLOOD HAZARD AREA WITH KNOWN BASE FLOOD ELEVATIONS.

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CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

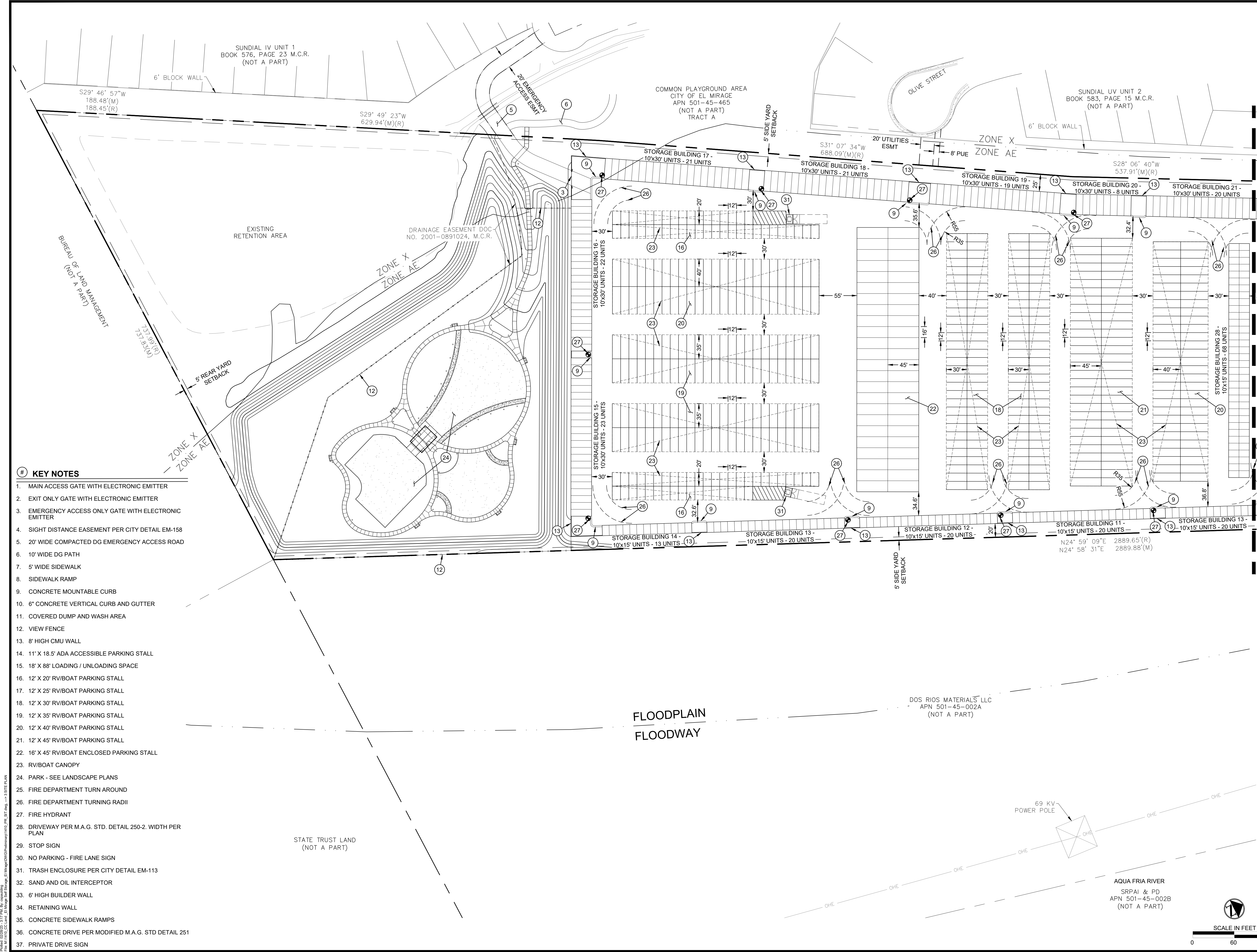
SITE PLAN

SONOMA COMMUNITIES



DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

CHECKED BY:	DMS
DRAWN BY:	CRS
TITLE:	COVER SHEET
SHEET No.	1 of 3
PROJECT No.	1410

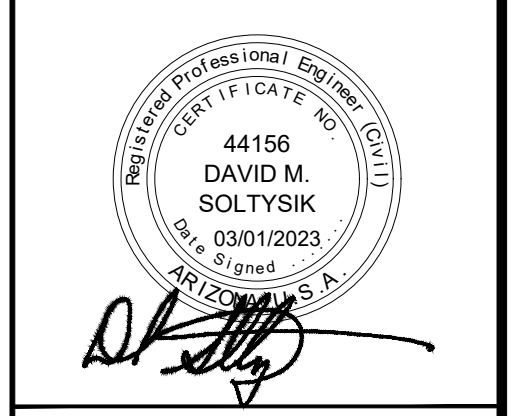


MATCHLINE SEE SHEET 2

- # KEY NOTES**
1. MAIN ACCESS GATE WITH ELECTRONIC EMITTER
 2. EXIT ONLY GATE WITH ELECTRONIC EMITTER
 3. EMERGENCY ACCESS ONLY GATE WITH ELECTRONIC EMITTER
 4. SIGHT DISTANCE EASEMENT PER CITY DETAIL EM-158
 5. 20' WIDE COMPACTED DG EMERGENCY ACCESS ROAD
 6. 10' WIDE DG PATH
 7. 5' WIDE SIDEWALK
 8. SIDEWALK RAMP
 9. CONCRETE MOUNTABLE CURB
 10. 6" CONCRETE VERTICAL CURB AND GUTTER
 11. COVERED DUMP AND WASH AREA
 12. VIEW FENCE
 13. 8' HIGH CMU WALL
 14. 11' X 18.5' ADA ACCESSIBLE PARKING STALL
 15. 18' X 88' LOADING / UNLOADING SPACE
 16. 12' X 20' RV/BOAT PARKING STALL
 17. 12' X 25' RV/BOAT PARKING STALL
 18. 12' X 30' RV/BOAT PARKING STALL
 19. 12' X 35' RV/BOAT PARKING STALL
 20. 12' X 40' RV/BOAT PARKING STALL
 21. 12' X 45' RV/BOAT PARKING STALL
 22. 16' X 45' RV/BOAT ENCLOSED PARKING STALL
 23. RV/BOAT CANOPY
 24. PARK - SEE LANDSCAPE PLANS
 25. FIRE DEPARTMENT TURN AROUND
 26. FIRE DEPARTMENT TURNING RADII
 27. FIRE HYDRANT
 28. DRIVEWAY PER M.A.G. STD. DETAIL 250-2. WIDTH PER PLAN
 29. STOP SIGN
 30. NO PARKING - FIRE LANE SIGN
 31. TRASH ENCLOSURE PER CITY DETAIL EM-113
 32. SAND AND OIL INTERCEPTOR
 33. 6' HIGH BUILDER WALL
 34. RETAINING WALL
 35. CONCRETE SIDEWALK RAMPS
 36. CONCRETE DRIVE PER MODIFIED M.A.G. STD DETAIL 251
 37. PRIVATE DRIVE SIGN

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CACTUS & AGUA
 FRIA RV, BOAT &
 STORAGE
 CAMPUS

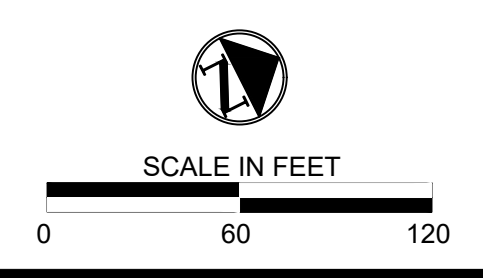
SITE PLAN

SONOMA
 COMMUNITIES



DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

CHECKED BY:	DMS
DRAWN BY:	CRS
TITLE:	SITE PLAN
SHEET No.	3 of 3
PROJECT No.	1410

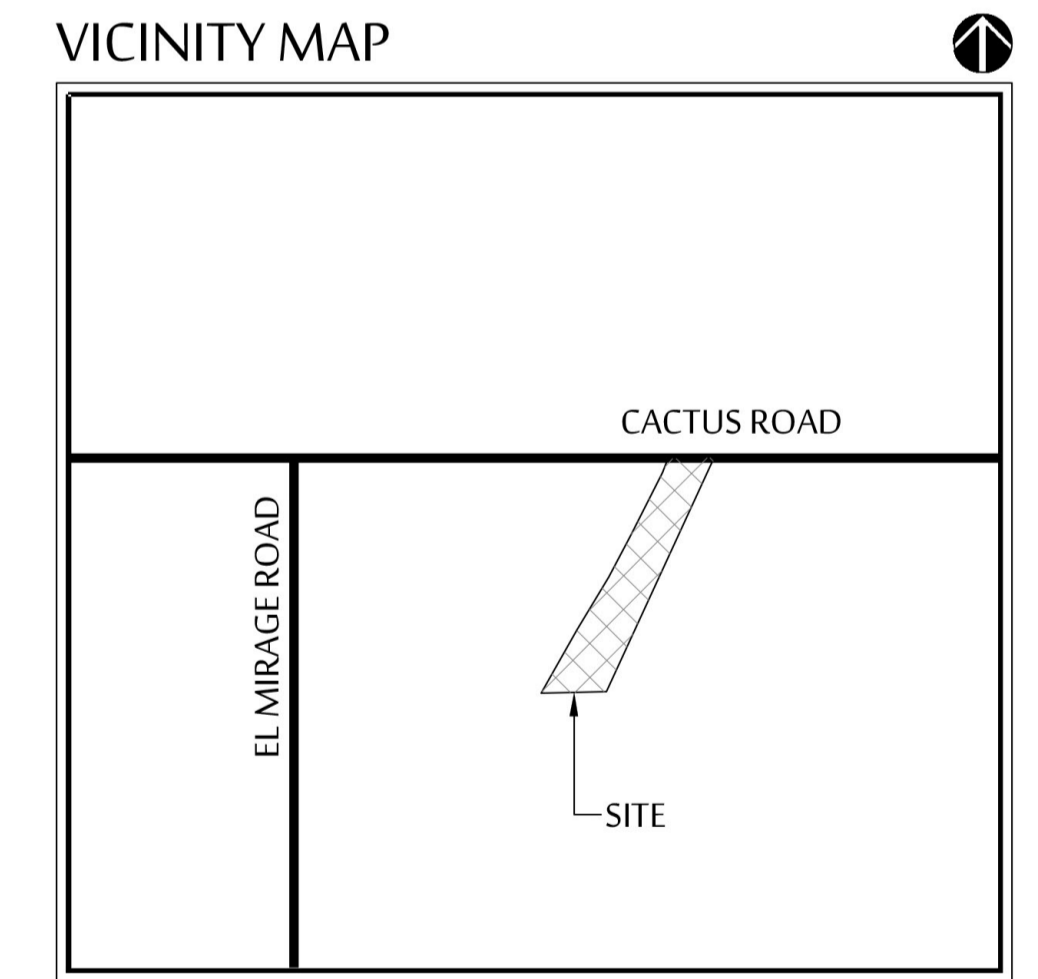


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 File: M:\1410_CCL\1410_Mirage\1410_Mirage.dwg -> 3 SITE PLAN

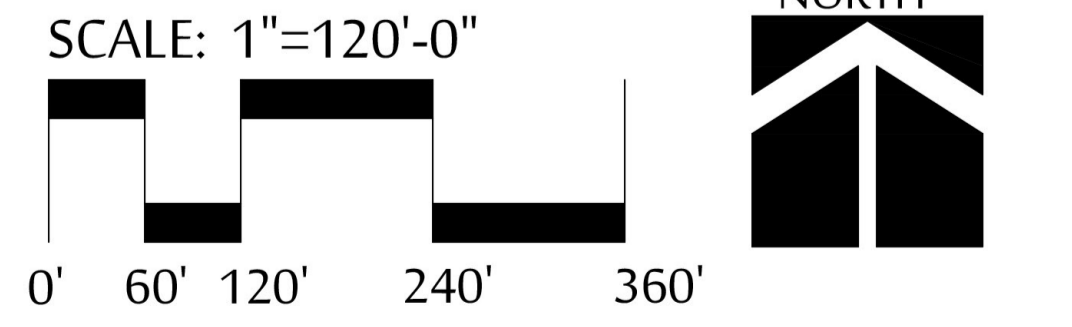
EXHIBIT C



PLANT LEGEND	
SYMBOL	BOTANICAL NAME - COMMON NAME
TREES (24" BOX)	
	FRAXINUS VELUTINA - ARIZONA ASH
	OLNEYA TESOTA - IRONWOOD
	PISTACIA CHINENSIS - CHINESE PISTACHE
	PROSOPIS X PHOENIX - PHOENIX THORNLESS MESQUITE
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK
SHRUBS (5 GAL.)	
	BOUGAINVILLEA HYBRID - BUSH BOUGAINVILLEA 'FLAME'
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CALLIANDRA CALIFORNICA - NATIVE FAIRY DUSTER
	EREMOPHILA GLABRA SPP. CARNOSA 'WINTER BLAZE' - WINTER BLAZE EMU
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM x 'HEAVENLY CLOUD' - HEAVENLY CLOUD SAGE
	RUPELLIA PENINSULARIS - BAJA RUELLIA
	JUSTICIA CALIFORNICA - CHUPAROSA
	SENNA OLIOPHYLLA - OUTBACK CASSIA
	TECOMA STANS HYBRID - 'SPARKLETTE'
ACCENTS (5 GAL.)	
	AGAVE AMERICANA
	ALOE BARBADENSIS - ALOE VERA
	DASYLIRION WHEELERI - DESERT SPOON
	HESPERALOE PARVIFLORA 'PERPA' - BRAKE LIGHTS RED YUCCA
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' - REGAL MIST MUHLY
	BOUTELOUA GRACILIS - BLONDE AMBITION
	YUCCA RUPICOLA - TWISTLEAF YUCCA
GROUND COVERS (5 GAL.)	
	EREMOPHILA GLABRA 'MINGENEW GOLD' - OUTBACK SUNRISE EMU
	LANTANA HYBRID - 'NEW GOLD'
	LANTANA MONTEVIDENSIS - PURPLE TRAILING
	WEDELIA TRILOBATA - YELLOW DOT
	DECOMPOSED GRANITE - 3/4" SCREENED. COLOR TO BE 'MOUNTAIN VISTA BROWN' BY KILLAUEA CRUSHERS. D.G. TO BE INSTALLED AT 2" DEPTH MIN.
	MID-IRON BERMUDA TURF



- NOTES:**
1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
 2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
 3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
 4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED ESMT.
 5. FULL IRRIGATION PLANS TO BE PROVIDED WITH IMPROVEMENTS SET.
 6. LANDSCAPING AND IRRIGATION MUST FOLLOW CITY DETAIL EM-101-4, FULL NOTES TO BE PROVIDED WITH IMPROVEMENTS SET.
 7. THE MAINTENANCE FOR ALL LANDSCAPING AND IRRIGATION SHOWN ON THE PLANS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL LANDSCAPE PLAN

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
 FEBRUARY 10, 2023

EXHIBIT D



RV STORAGE - LOOKING EAST FROM ADJACENT CUL-DE-SAC



PRELIMINARY LANDSCAPE PLAN



PARK ENLARGEMENT

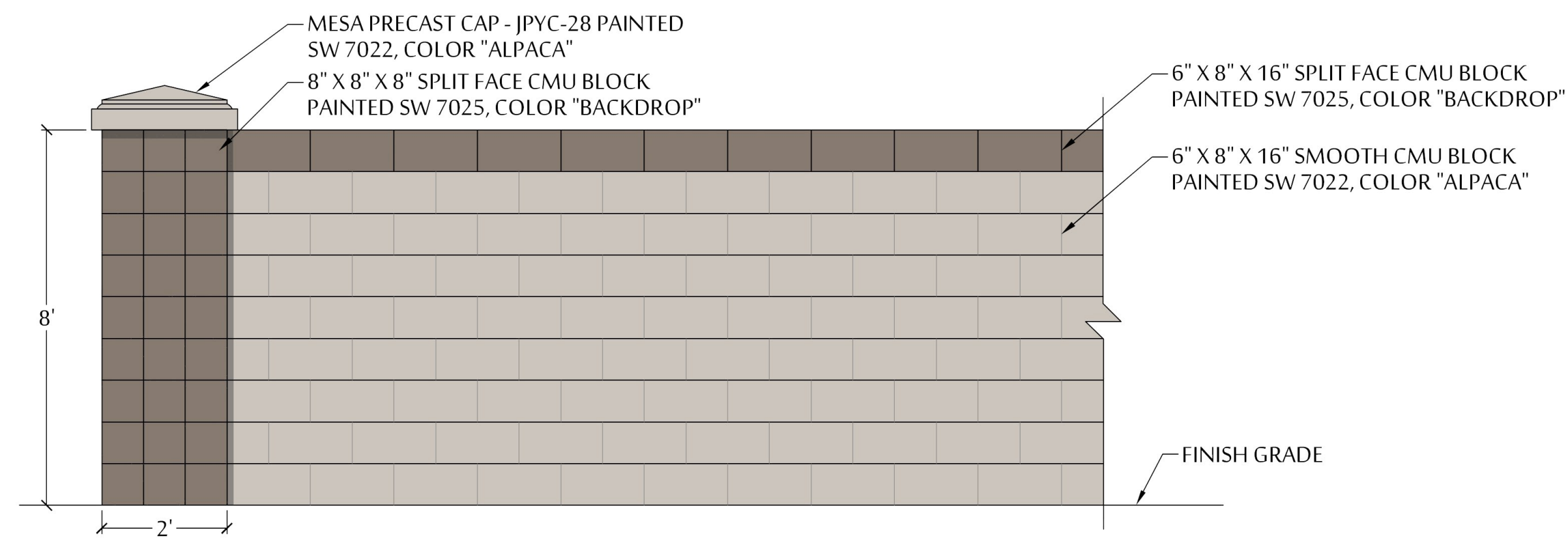
CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS STORAGE ELEVATIONS & PARK ENLARGEMENT

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ

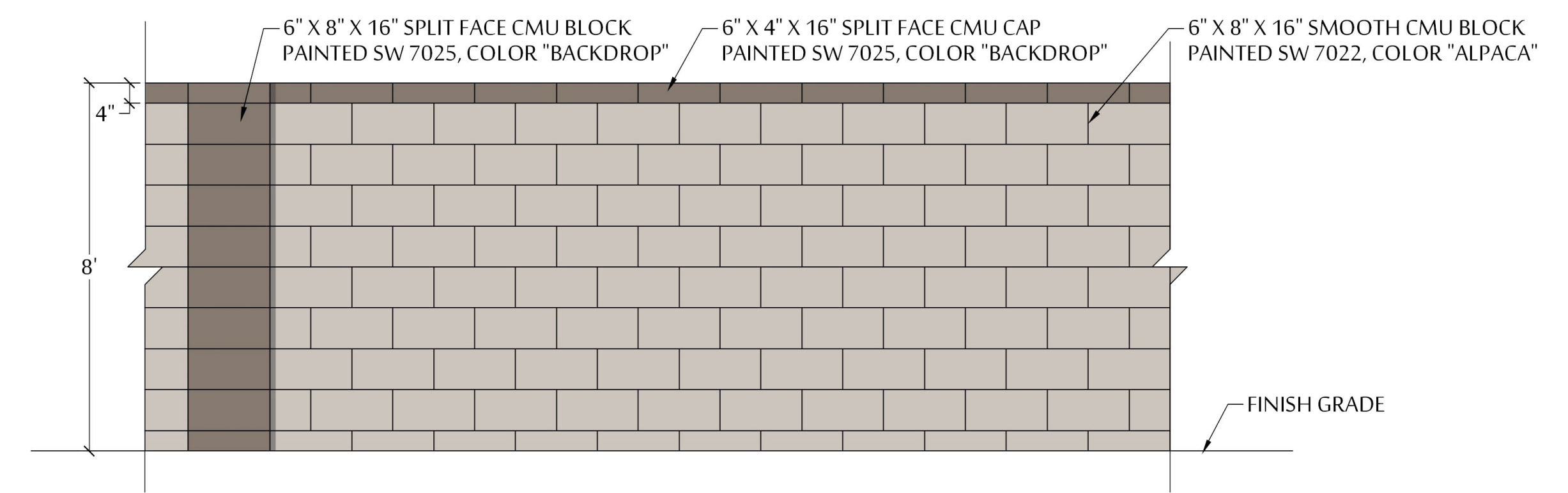
FEBRUARY 10, 2023

SHEET L3

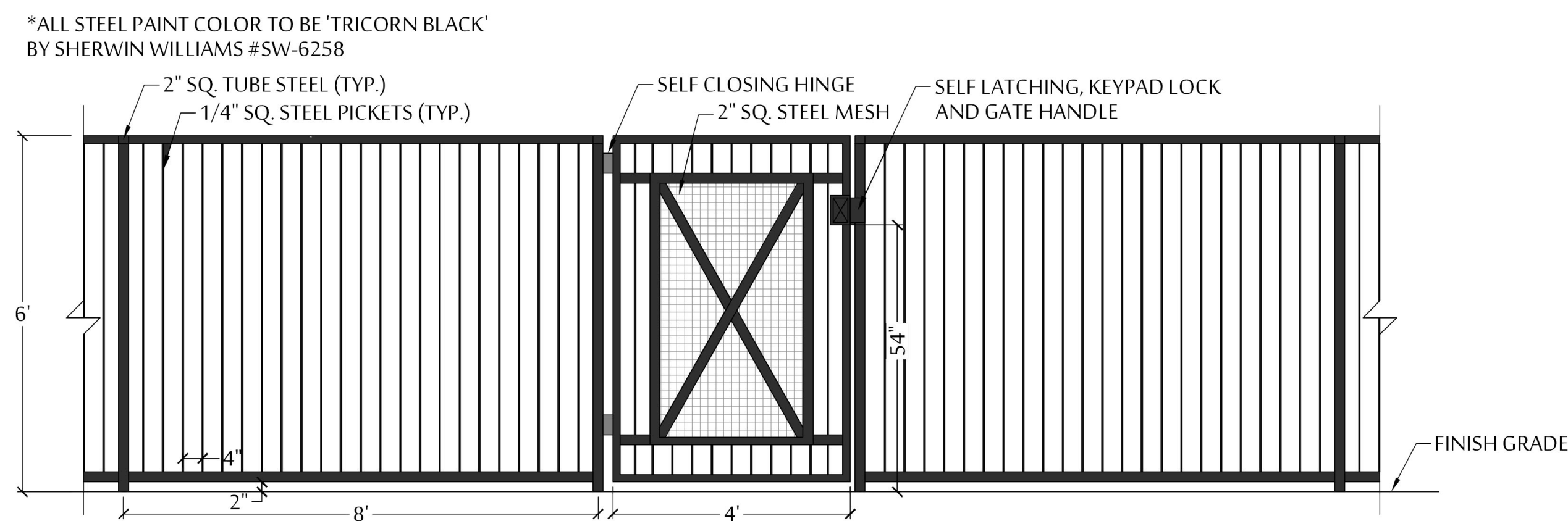




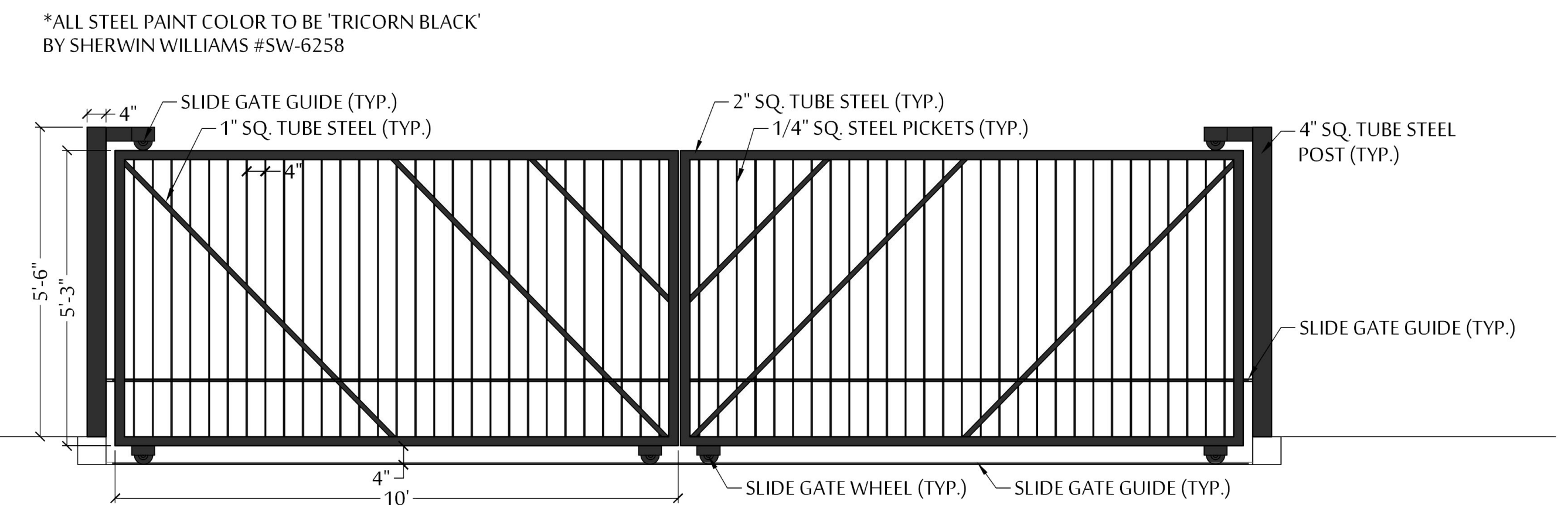
A 8' HT. PRIMARY THEME WALL & COLUMN



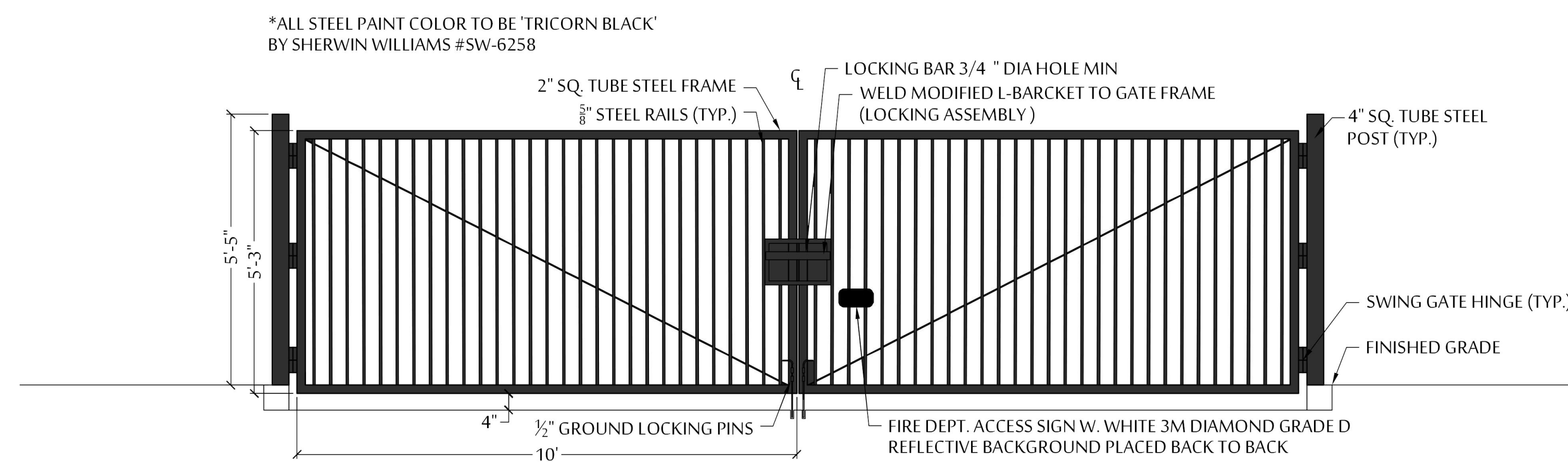
B 8' HT. SECONDARY THEME WALL



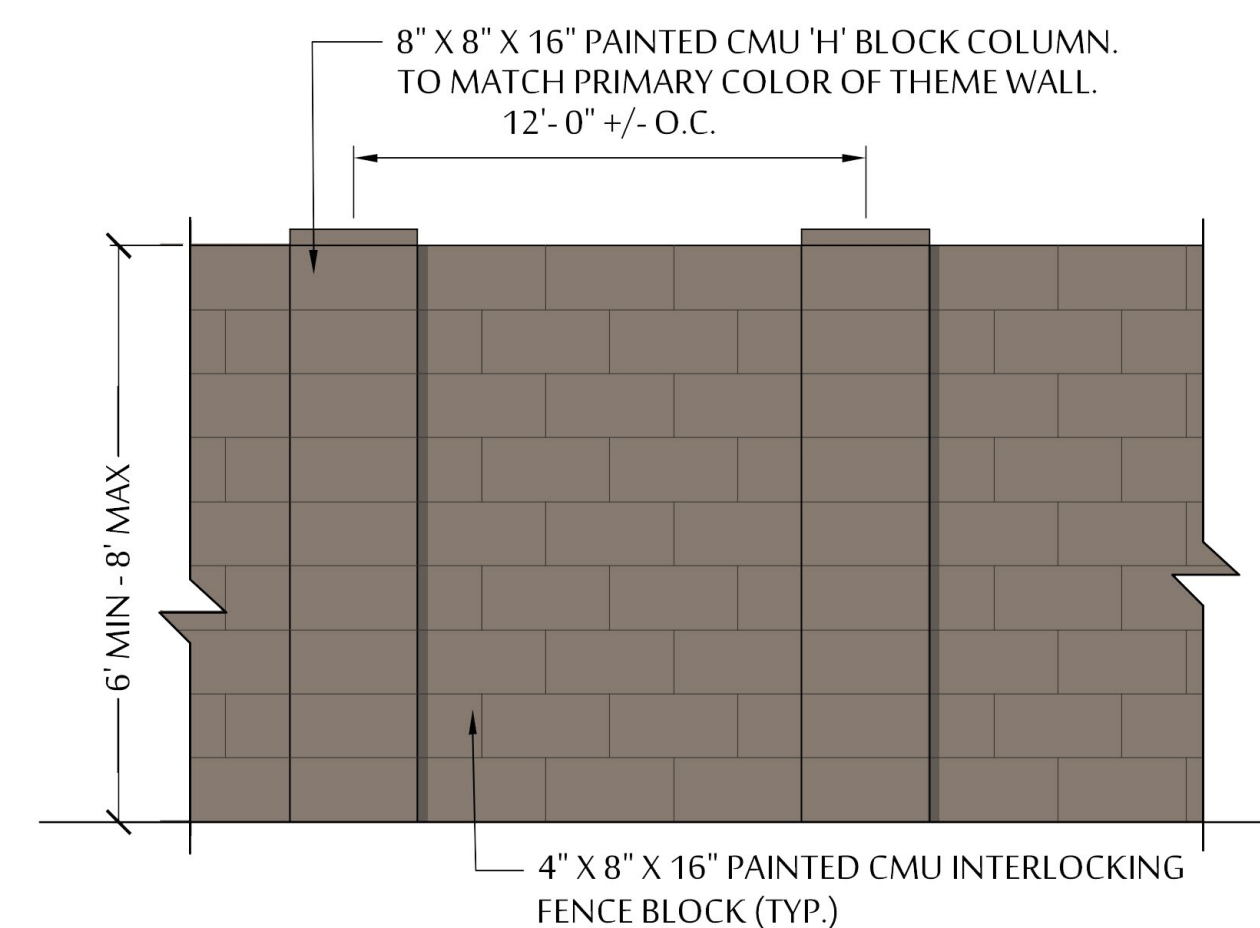
C 6' HT. PEDESTRIAN GATE AT FULL VIEW FENCE



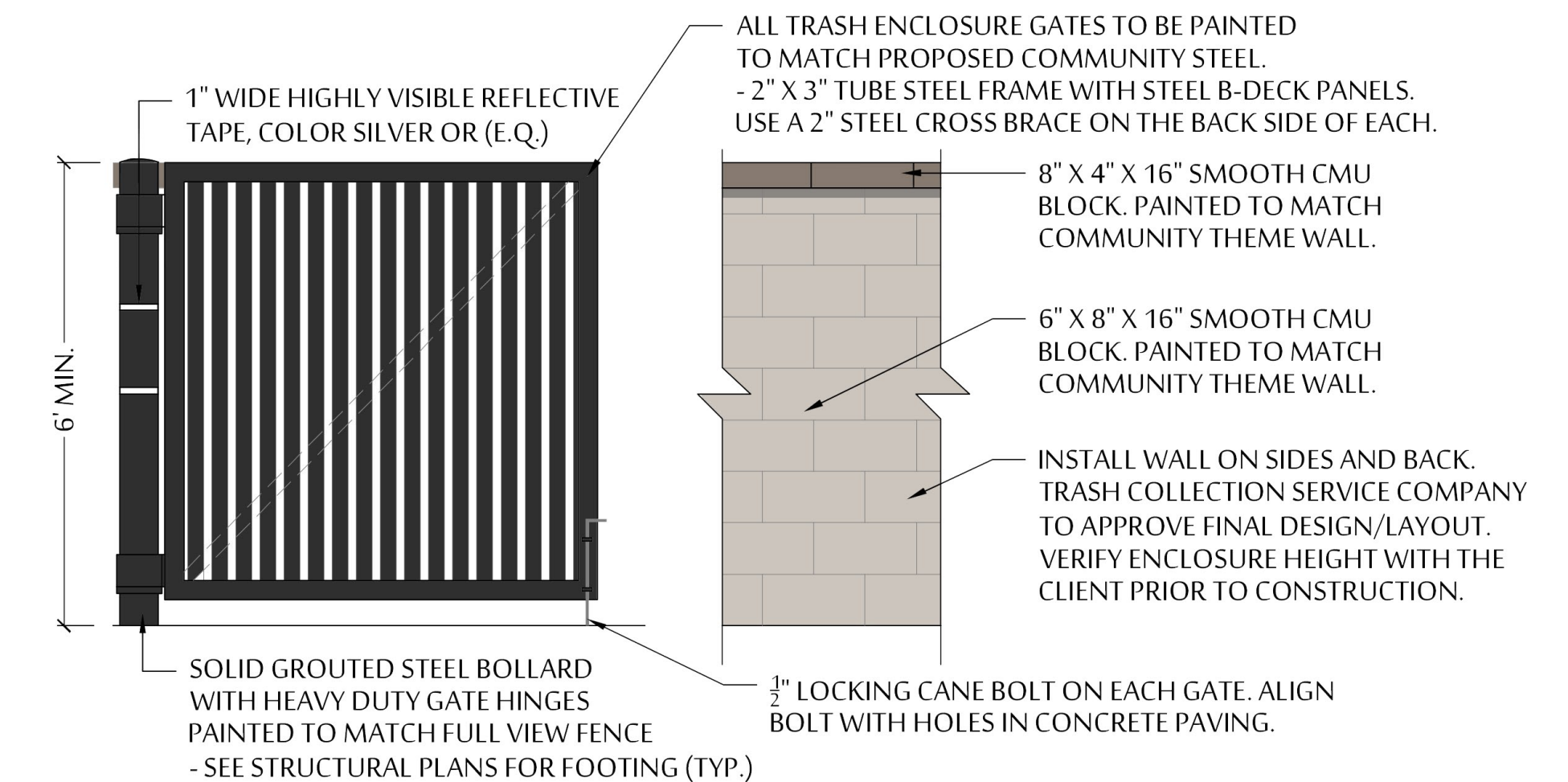
D VEHICULAR SLIDE GATE



E VEHICULAR EMERGENCY EXIT CRASH GATE



F 6' - 8' HT. BUILDER WALL



G TRASH ENCLOSURE PER DTL - EM-113



CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

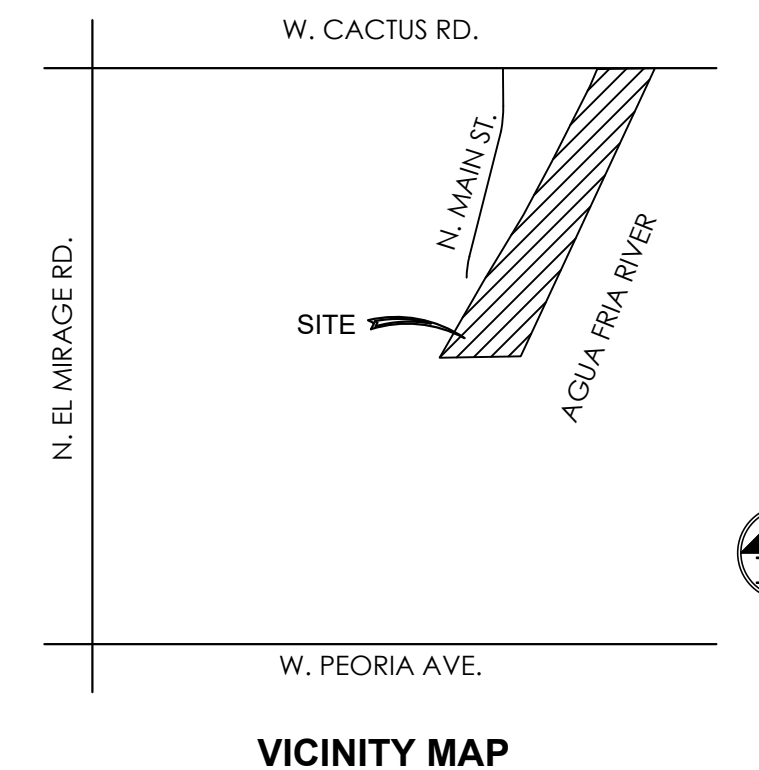
CONCEPTUAL HARDSCAPE DETAILS

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
FEBRUARY 10, 2023

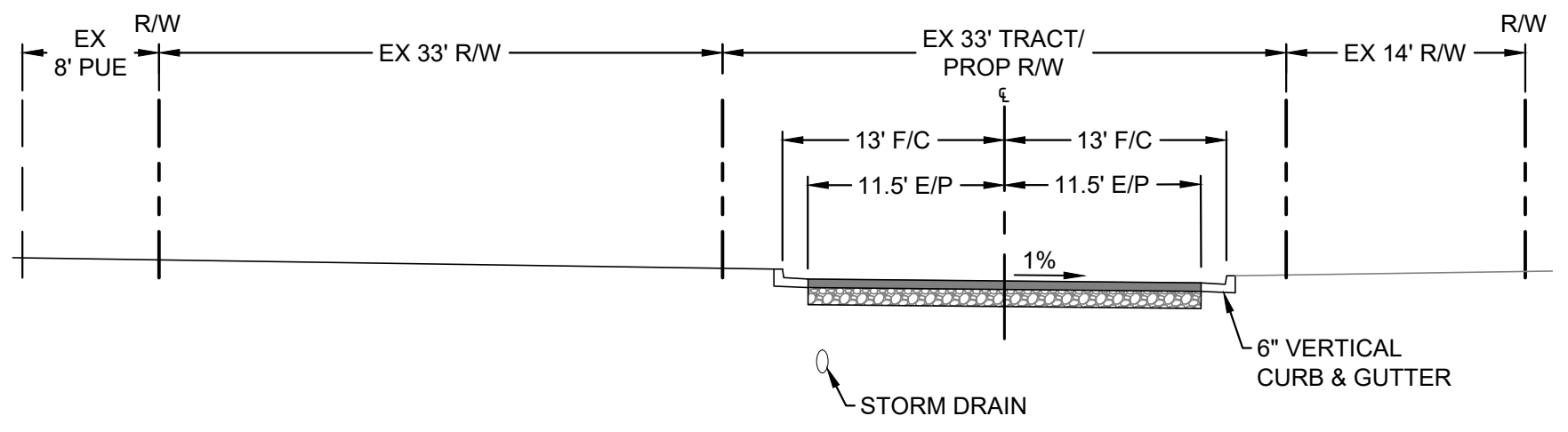
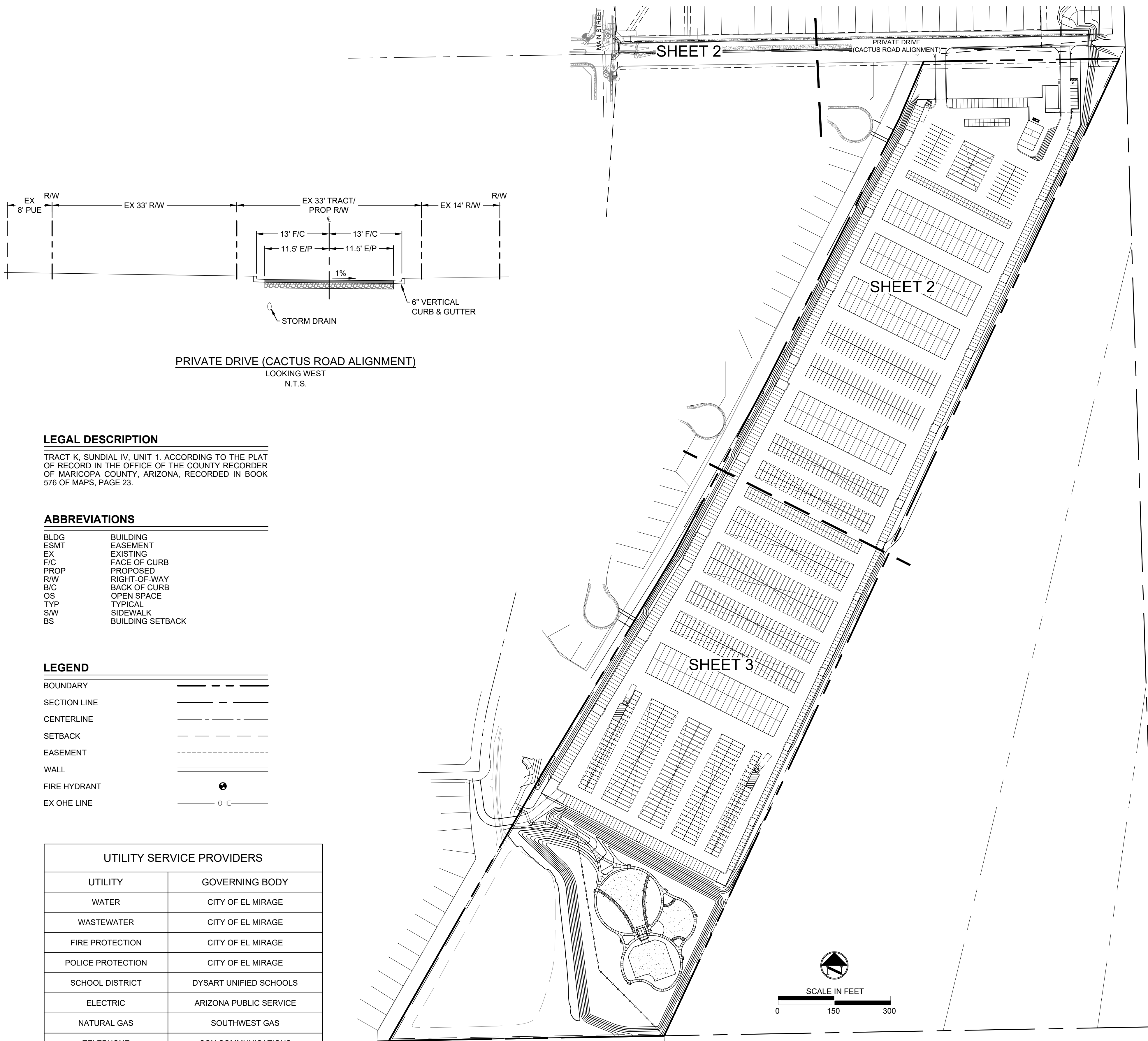
SHEET L4

SITE PLAN FOR CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

EAST OF SEC CACTUS ROAD & MAIN STREET
EL MIRAGE, ARIZONA
TRACT K OF THE SUNDIAL IV UNIT I REPLAT
A PORTION OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP



PRIVATE DRIVE (CACTUS ROAD ALIGNMENT)
LOOKING WEST
N.T.S.

SITE INFO

A.P.N.	501-45-369
SITE AREA (GROSS):	35.91 AC (1,564,337 SF)
SITE AREA (NET):	35.91 AC (1,564,337 SF)
EXISTING ZONING:	NR (NATURAL RESERVE)
PROPOSED ZONING:	E/I (EMPLOYMENT/INDUSTRIAL)
EXISTING LAND USE:	VACANT LAND
PROPOSED LAND USE:	RV/BOAT & SELF STORAGE
RV/BOAT PARKING /SURFACE STORAGE:	12' X 20' (CANOPY): 84 12' X 25' (CANOPY): 112 12' X 30' (CANOPY): 124 12' X 35' (CANOPY): 100 12' X 40' (CANOPY): 108 12' X 45' (CANOPY): 78 12' X 35' (OPEN): 144 16' X 45' (ENCLOSED): 208 958
STORAGE UNITS:	10' X 10': 86 10' X 15': 154 10' X 20': 110 10' X 25': 91 10' X 30': 154 595
TOTAL SITE STORAGE:	1,553

BUILDING TABLE

BUILDING / STRUCTURE:	AREA (S.F.)	HEIGHT
LEASING OFFICE:	2,170	18'
RV / BOAT WASH & DUMP:	3,150	18'
10' X 10' UNIT STORAGE BUILDINGS:	8,600	12.33'
10' X 15' UNIT STORAGE BUILDINGS:	23,100	12.33'
10' X 20' UNIT STORAGE BUILDINGS:	22,000	12.33'
10' X 25' UNIT STORAGE BUILDINGS:	22,750	12.33'
10' X 30' UNIT STORAGE BUILDINGS:	46,200	16.5'
16' X 45' RV/BOAT ENCLOSED SPACES:	149,760	
RV/BOAT CANOPIES:	294,840	18'
TOTAL BUILDINGS & CANOPIES:	572,570	
LOT COVERAGE:	37%	

DEVELOPMENT STANDARDS - E/I ZONING

LOT OCCUPATION	REQUIRED	PROVIDED
MIN. LOT AREA	2,000 SF	> 2,000 SF
MIN. LOT WIDTH	50'	> 50'
MAX. LOT COVERAGE	90%	+/- 35%
MINIMUM SETBACKS		
FRONT (S/NORTH)	20'	20'
SIDE (EAST & WEST)	5'	5'
REAR (SOUTH)	5'	5'
MAXIMUM BUILDING HEIGHT		
PRINCIPAL (HEIGHT/STORIES)	66'	18'
PERIMETER WALL HEIGHT	6' MIN. 10' MAX.	8'
PASSENGER VEHICLE PARKING (4 SPACES+ 1 PER EMPLOYEE)	5	8
PARKING STALL SIZE 9' X 18.5'	9' X 18.5'	9' X 18.5'

NOTES

- A PORTION OF THE SITE IS IN THE LUKE AIR FORCE BASE 65 TO 70 DNL ZONE AND IS SUBJECT TO ARS 28-8481 REGULATIONS.
- NEW BUILDINGS ARE SUBJECT TO ARS 28-8482 SOUND ATTENUATION STANDARDS IN BUILDING CODE.
- ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BUT THIS CHAPTER ARE FURNISHED.
- PERMITS FOR SIGNS OTHER THAN BUILDING NUMBER AND ADDRESS WILL BE REQUIRED.
- NOISE SHALL BE KEPT TO 55 DECIBELS AT THE PROPERTY LINES BETWEEN 10 PM AND 6 AM.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 1112 AND ANY OUTDOOR LIGHTING WILL BE PLACED SO AS TO REFLECT LIGHT AWAY FROM ANY ADJOINING RURAL OR RESIDENTIAL ZONING DISTRICT.
- ALL LIGHT POLES/STANDARDS WILL HAVE A MAXIMUM HEIGHT OF 18 FEET.
- HOURS OF OPERATION: 24 HOURS / 7 DAYS. 24 HOUR CUSTOMER ACCESS WITH SECURITY FENCING & REMOTE VIDEO MONITORING.
- 1 FULL TIME EMPLOYEE - ONSITE DURING NORMAL BUSINESS HOURS.
- WASH BAYS AND DUMP STATIONS AVAILABLE 24 HOURS.
- MULTIPLE WATER FILLING STATIONS.
- TIRE AIR FILLING STATION AVAILABLE.

CIVIL ENGINEER

TERRASCOPE CONSULTING, LLC
645 E. MISSOURI AVE., SUITE 420
PHOENIX, ARIZONA 85012
CONTACT: DAVE SOLTYSIK, P.E.
PHONE: (602) 297-8732
EMAIL: DSOLTYSIK@TERRASCOPE.US

DEVELOPER / APPLICANT

CC LAND ACQUISITIONS EM1, LLC
4340 N. EAST INDIAN SCHOOL RD., SUITE 21-204
PHOENIX, ARIZONA 85018
CONTACT: JIM STOCKWELL, JR.
PHONE: 602-777-0505
EMAIL: JSTOCKWELL@CLYDECAP.COM

PROPERTY OWNER

120 EL MIRAGE PARTNERS
6320 E CALLE BRUVIRA
PARADISE VALLEY, ARIZONA 85253

LAND PLANNING & LANDSCAPE ARCHITECT

MCGOUGH ADAMSON
535 E. MCKELLIPS RD., SUITE 131
MESA, ARIZONA 85203
CONTACT: NICK ADAMSON
PHONE: 602-997-9093
EMAIL: NICKA@MG-AZ.COM

COORDINATE SYSTEM

ARIZONA STATE PLANE CENTRAL ZONE GRID
COORDINATES FOR THE NORTHEAST CORNER OF
SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA
GDACS POINT # 03782.Z1
N = 944013.95
E = 581051.30
NAVD 88 ELEV. = 1100.00

BASIS OF BEARING

S 89°06'25" W - BEING THE NORTH LINE OF THE
NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3
NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE FINAL
PLAT OF SUNDIAL IV UNIT I REPLAT, RECORDED IN BOOK
576, PAGE 23, MARICOPA COUNTY RECORDS.

FLOOD ZONE

FLOOD ZONE DESIGNATION "AE" PER F.E.M.A. FLOOD
INSURANCE RATE MAP, MAP NUMBER 04013C1685M
PANEL 1685 OF 4425, DATED 09/18/2020.
ZONE "AE" IS A SPECIAL FLOOD HAZARD AREA WITH
KNOWN BASE FLOOD ELEVATIONS.

LEGAL DESCRIPTION

TRACT K, SUNDIAL IV, UNIT 1, ACCORDING TO THE PLAT
OF RECORD IN THE OFFICE OF THE COUNTY RECORDER
OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK
576 OF MAPS, PAGE 23.

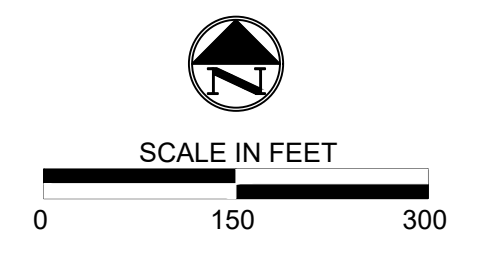
ABBREVIATIONS

BLDG	BUILDING
ESMT	EASEMENT
EX	EXISTING
F/C	FACE OF CURB
PROP	PROPOSED
R/W	RIGHT-OF-WAY
B/C	BACK OF CURB
OS	OPEN SPACE
TYP	TYPICAL
SW	SIDEWALK
BS	BUILDING SETBACK

LEGEND

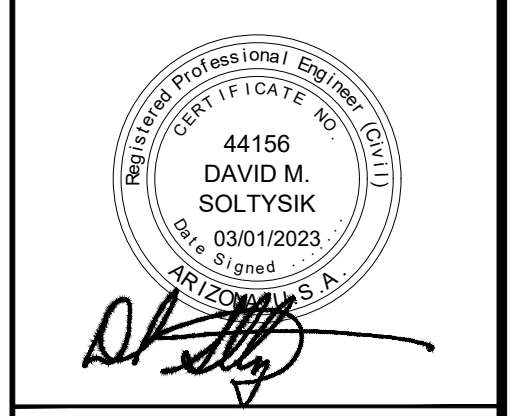
BOUNDARY	---
SECTION LINE	---
CENTERLINE	---
SETBACK	---
EASEMENT	---
WALL	---
FIRE HYDRANT	●
EX OHE LINE	—○—

UTILITY SERVICE PROVIDERS	
UTILITY	GOVERNING BODY
WATER	CITY OF EL MIRAGE
WASTEWATER	CITY OF EL MIRAGE
FIRE PROTECTION	CITY OF EL MIRAGE
POLICE PROTECTION	CITY OF EL MIRAGE
SCHOOL DISTRICT	DYSART UNIFIED SCHOOLS
ELECTRIC	ARIZONA PUBLIC SERVICE
NATURAL GAS	SOUTHWEST GAS
TELEPHONE	COX COMMUNICATIONS
REFUSE PROVIDERS	PARKS & SONS OF SUN CITY



consulting
Terrascope
civil engineering • surveying • urban planning

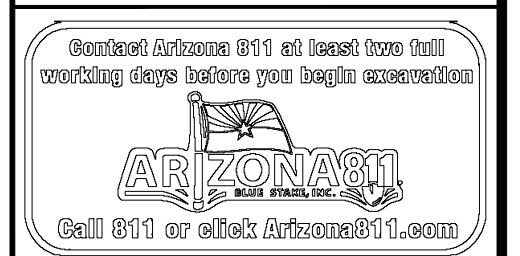
645 East Missouri Ave., Suite 420, Phoenix, Arizona 85012
P: 602.297.8732 • info@terrascope.us • terrascopeconsulting.com



CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

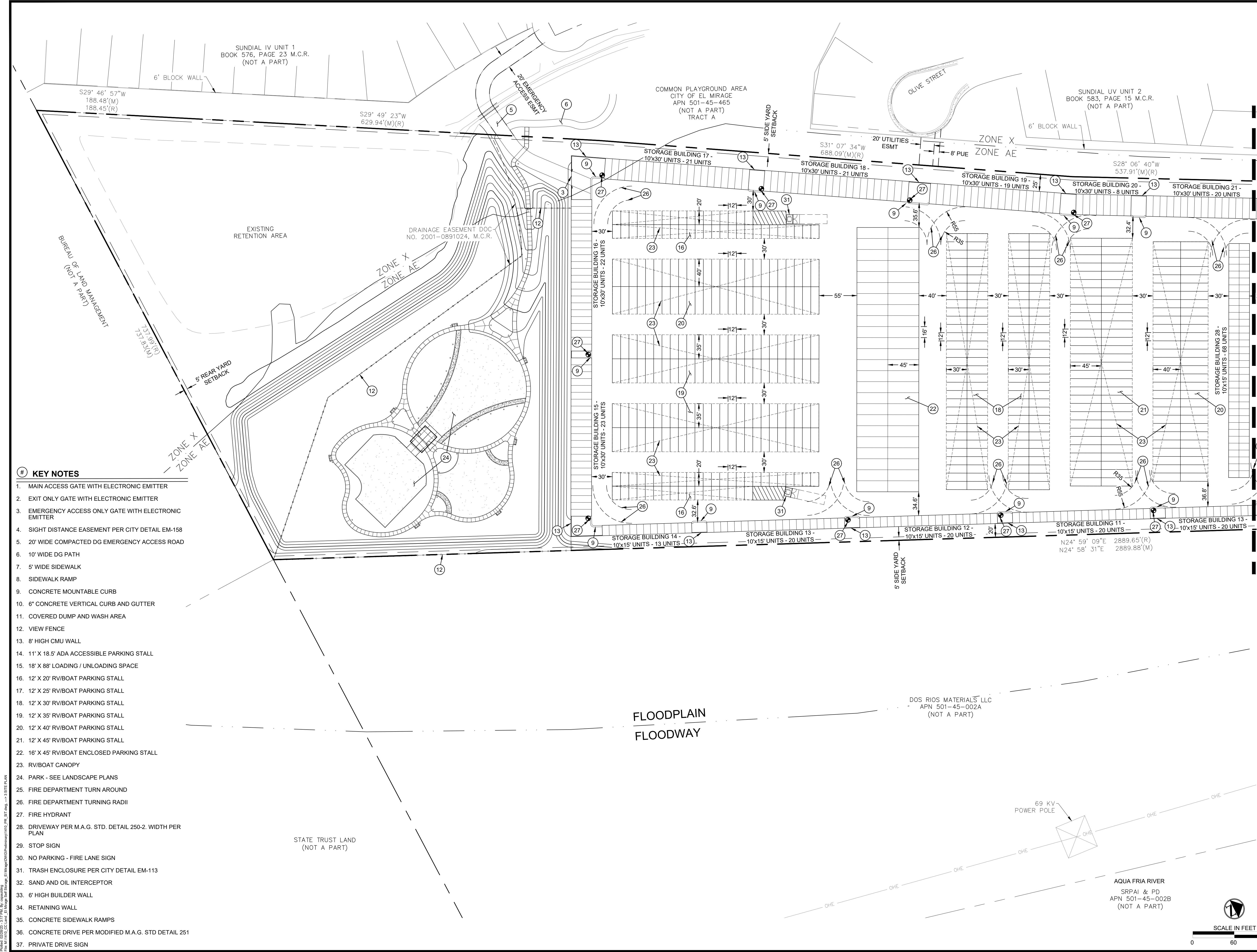
SITE PLAN

SONOMA COMMUNITIES



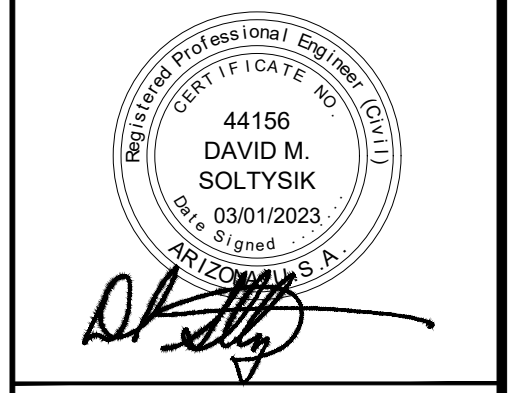
DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

CHECKED BY:	DMS
DRAWN BY:	CRS
TITLE:	COVER SHEET
SHEET No.	1 of 3
PROJECT No.	1410



- # KEY NOTES**
1. MAIN ACCESS GATE WITH ELECTRONIC EMITTER
 2. EXIT ONLY GATE WITH ELECTRONIC EMITTER
 3. EMERGENCY ACCESS ONLY GATE WITH ELECTRONIC EMITTER
 4. SIGHT DISTANCE EASEMENT PER CITY DETAIL EM-158
 5. 20' WIDE COMPACTED DG EMERGENCY ACCESS ROAD
 6. 10' WIDE DG PATH
 7. 5' WIDE SIDEWALK
 8. SIDEWALK RAMP
 9. CONCRETE MOUNTABLE CURB
 10. 6" CONCRETE VERTICAL CURB AND GUTTER
 11. COVERED DUMP AND WASH AREA
 12. VIEW FENCE
 13. 8' HIGH CMU WALL
 14. 11' X 18.5' ADA ACCESSIBLE PARKING STALL
 15. 18' X 88' LOADING / UNLOADING SPACE
 16. 12' X 20' RV/BOAT PARKING STALL
 17. 12' X 25' RV/BOAT PARKING STALL
 18. 12' X 30' RV/BOAT PARKING STALL
 19. 12' X 35' RV/BOAT PARKING STALL
 20. 12' X 40' RV/BOAT PARKING STALL
 21. 12' X 45' RV/BOAT PARKING STALL
 22. 16' X 45' RV/BOAT ENCLOSED PARKING STALL
 23. RV/BOAT CANOPY
 24. PARK - SEE LANDSCAPE PLANS
 25. FIRE DEPARTMENT TURN AROUND
 26. FIRE DEPARTMENT TURNING RADII
 27. FIRE HYDRANT
 28. DRIVEWAY PER M.A.G. STD. DETAIL 250-2. WIDTH PER PLAN
 29. STOP SIGN
 30. NO PARKING - FIRE LANE SIGN
 31. TRASH ENCLOSURE PER CITY DETAIL EM-113
 32. SAND AND OIL INTERCEPTOR
 33. 6' HIGH BUILDER WALL
 34. RETAINING WALL
 35. CONCRETE SIDEWALK RAMPS
 36. CONCRETE DRIVE PER MODIFIED M.A.G. STD DETAIL 251
 37. PRIVATE DRIVE SIGN

MATCHLINE SEE SHEET 2



CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

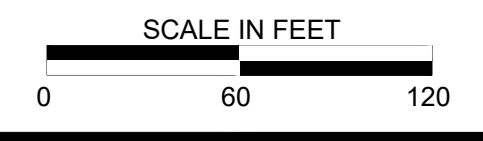
SITE PLAN

SONOMA COMMUNITIES

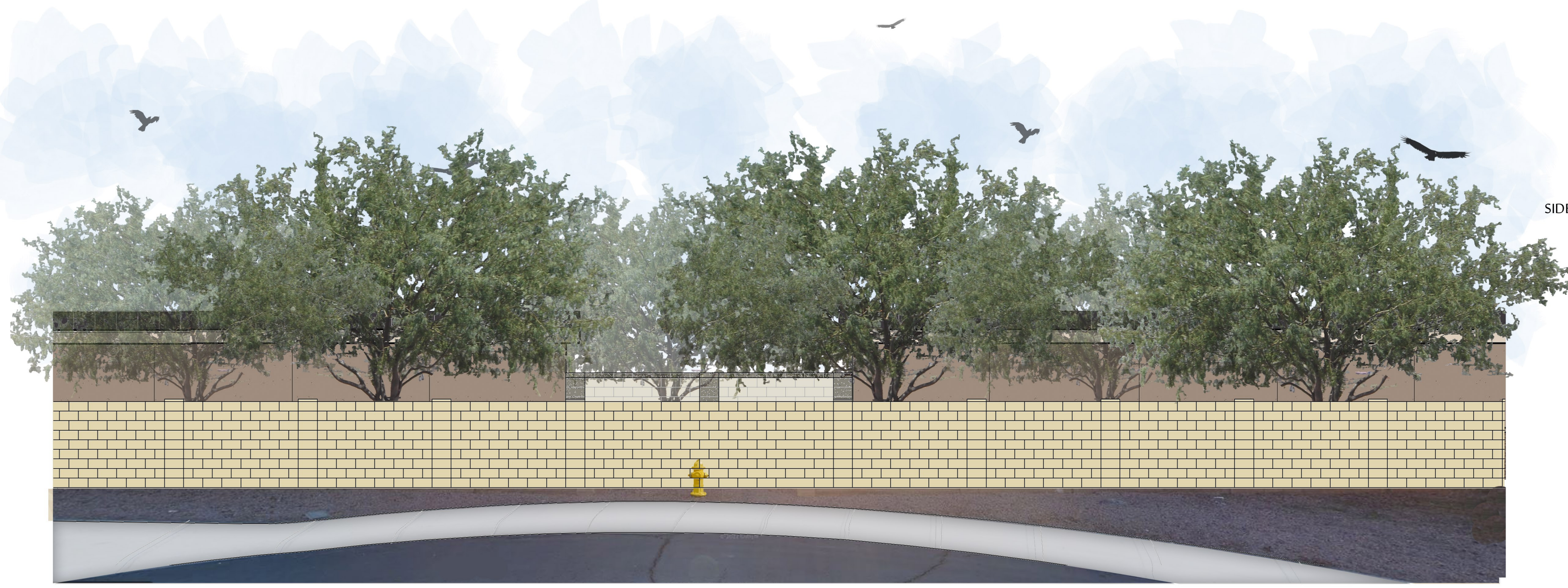


DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

CHECKED BY:	DMS
DRAWN BY:	CRS
TITLE:	SITE PLAN
SHEET No.	3 of 3
PROJECT No.	1410



Printed: 02/20/23, 3:17 PM By: csp@terrascope.com
 File: M:\1410_CD_Land_U_Mirage_CD_SitePlan_01_Mirage_CD_SitePlan_01.dwg → 3 SITE PLAN



RV STORAGE - LOOKING EAST FROM ADJACENT CUL-DE-SAC



PRELIMINARY LANDSCAPE PLAN



PARK ENLARGEMENT

CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

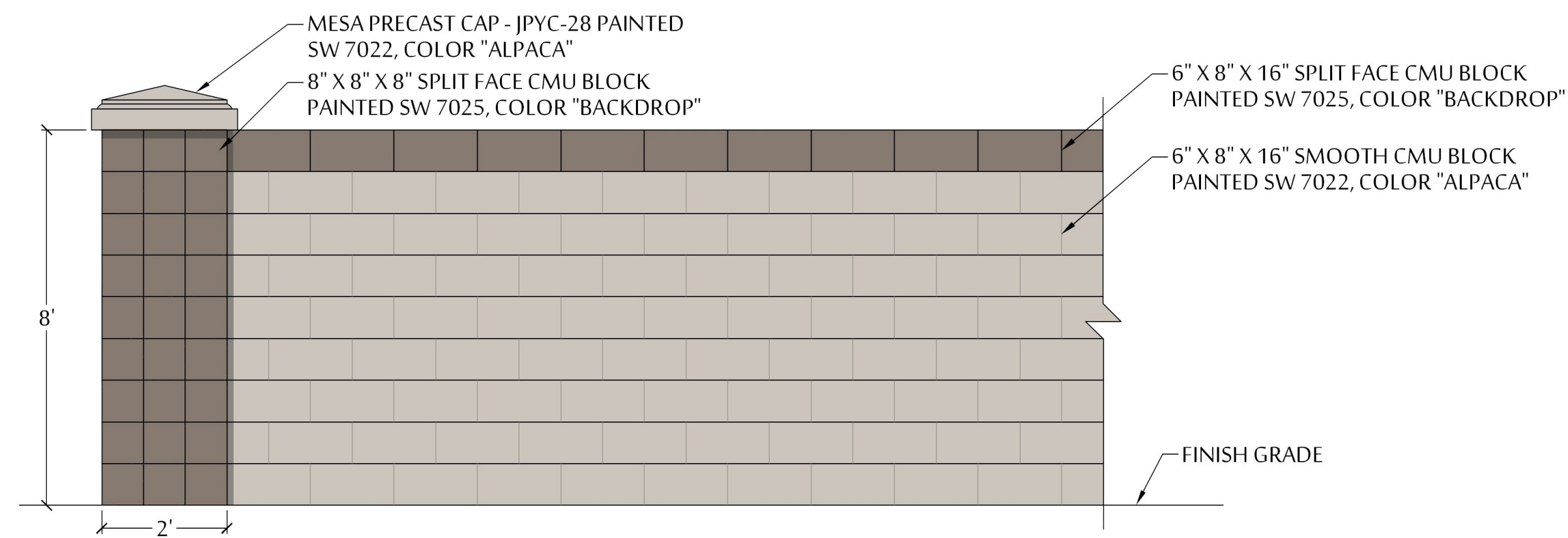
STORAGE ELEVATIONS & PARK ENLARGEMENT

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ

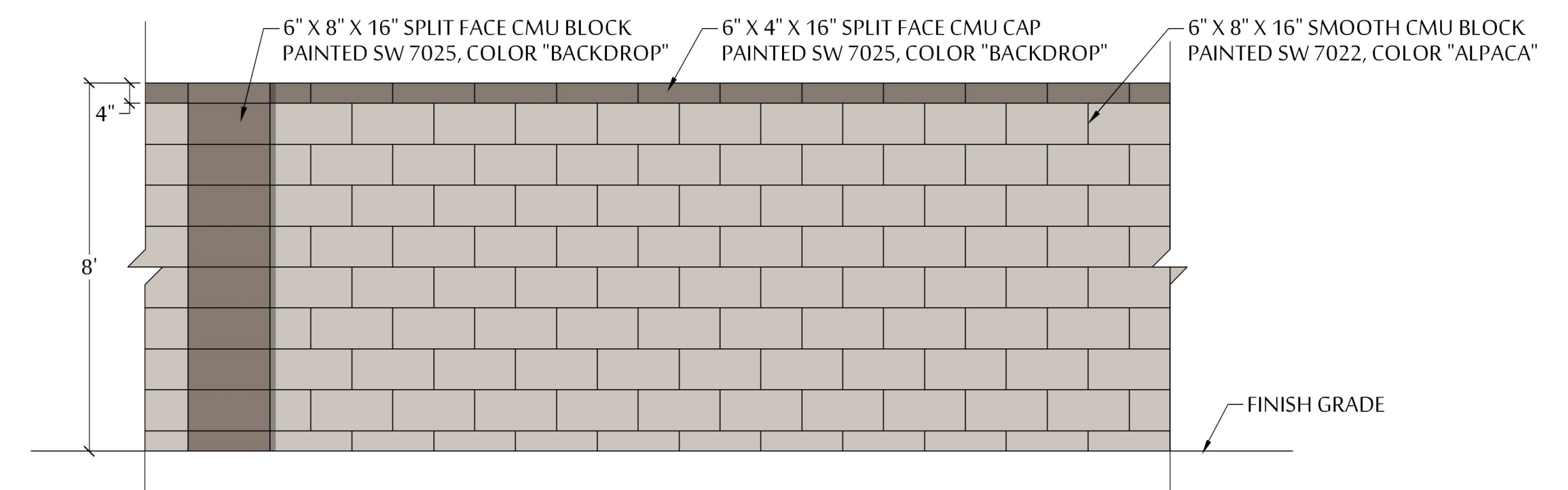
FEBRUARY 10, 2023

SHEET L3

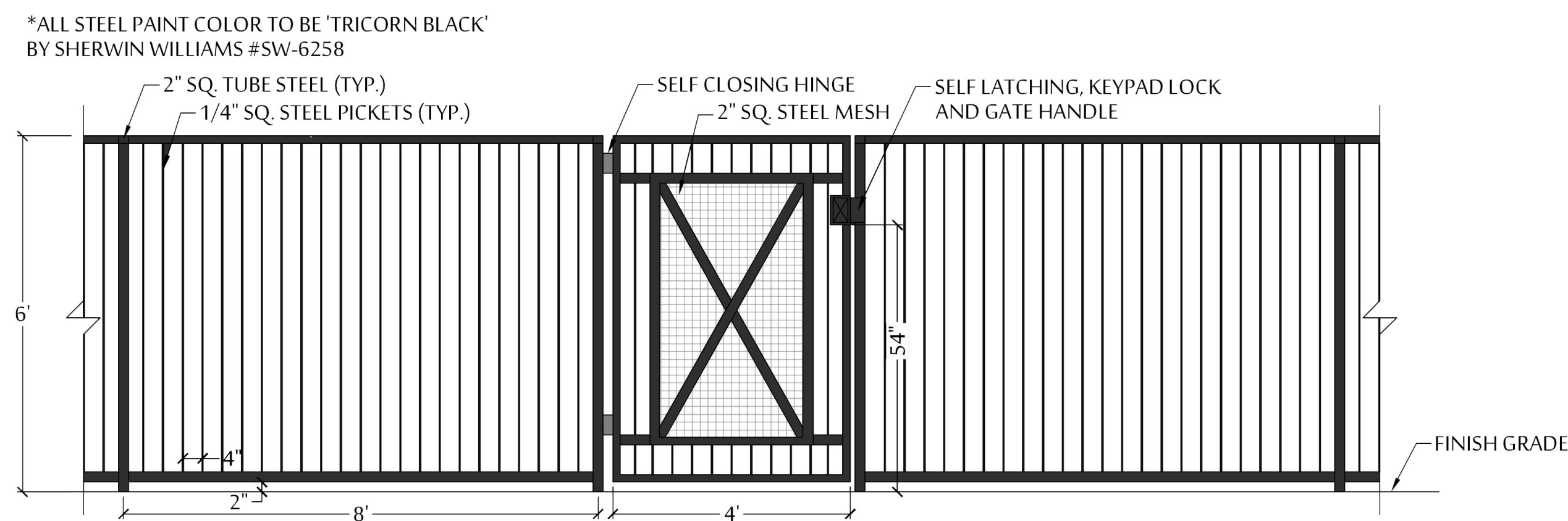




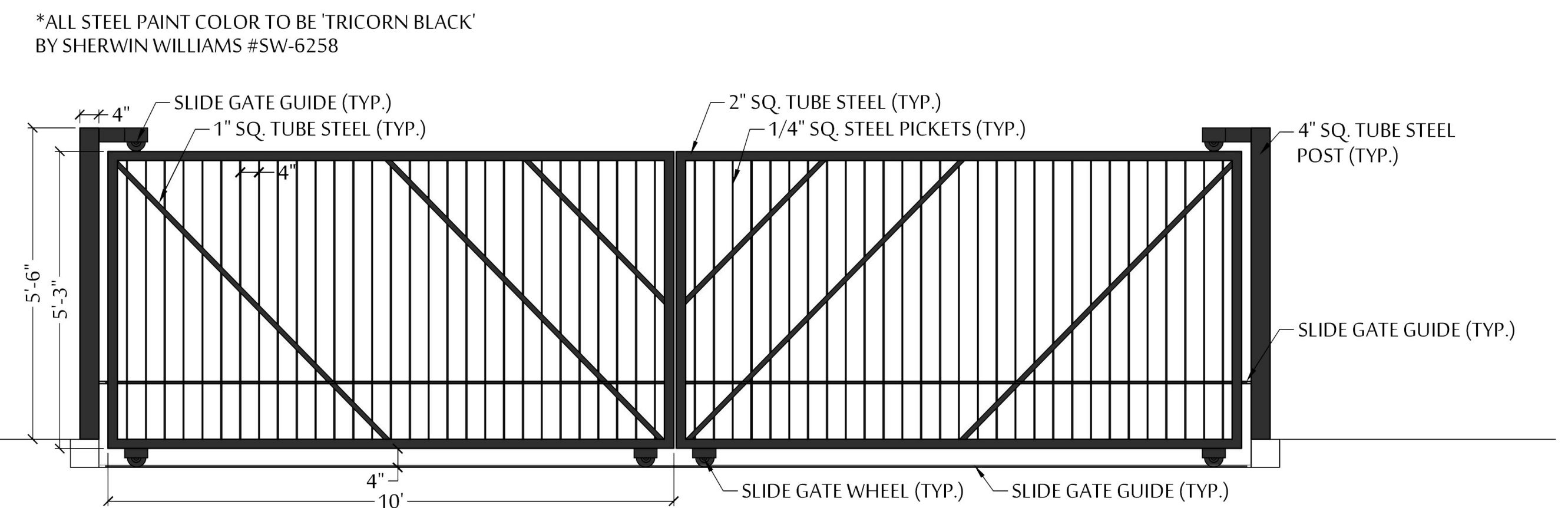
A 8' HT. PRIMARY THEME WALL & COLUMN



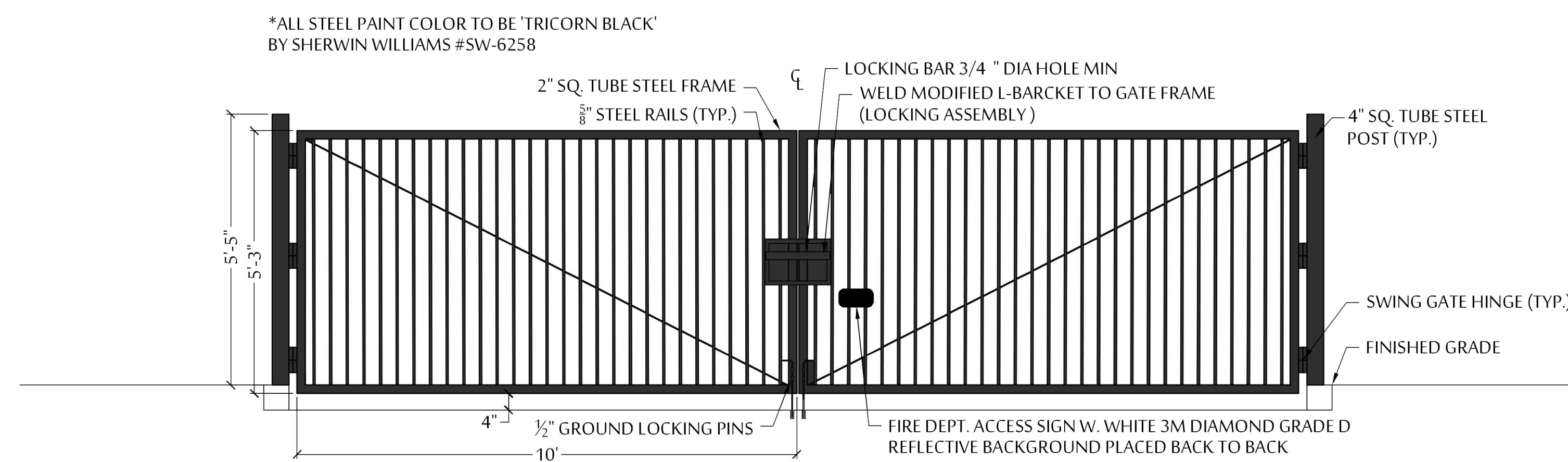
B 8' HT. SECONDARY THEME WALL



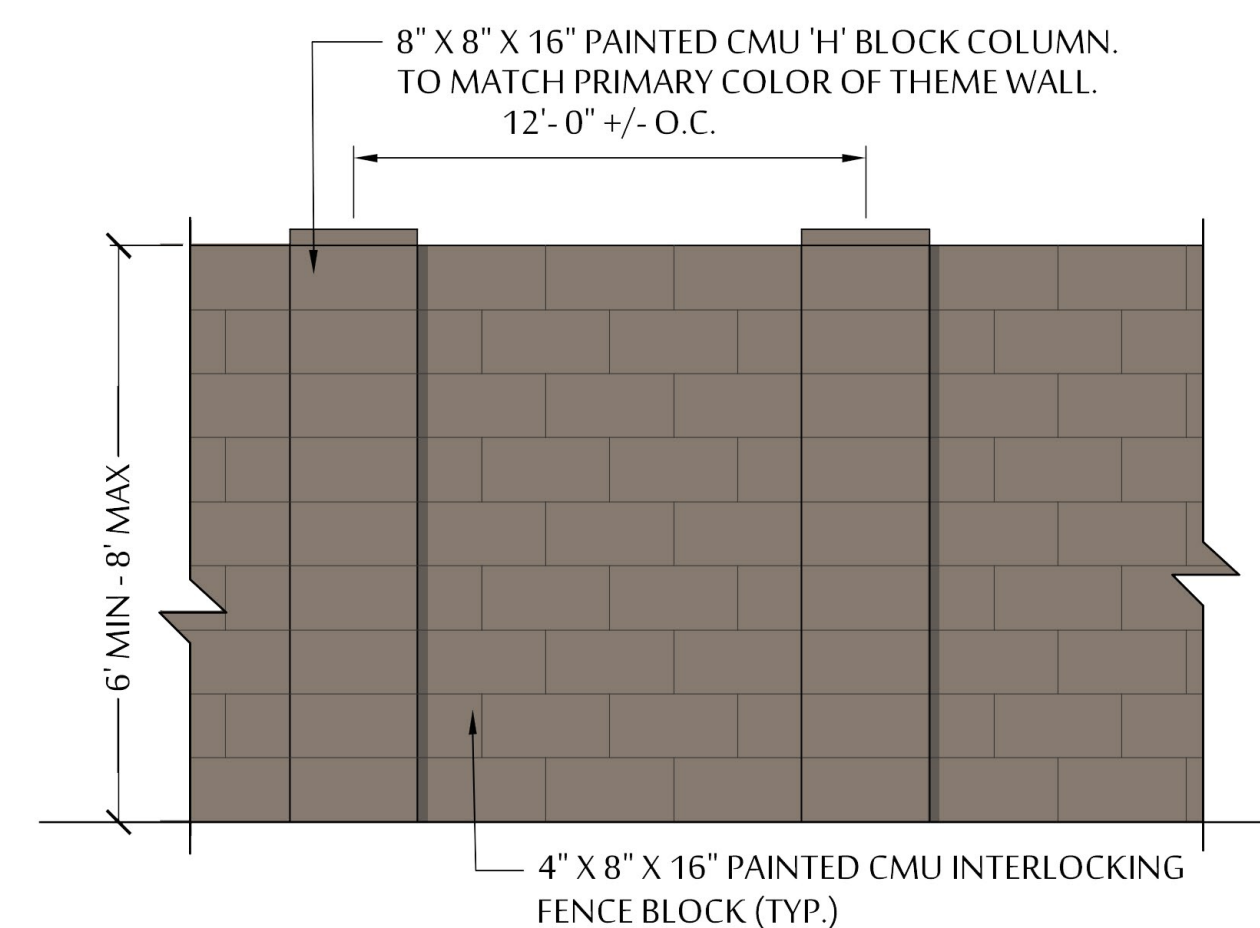
C 6' HT. PEDESTRIAN GATE AT FULL VIEW FENCE



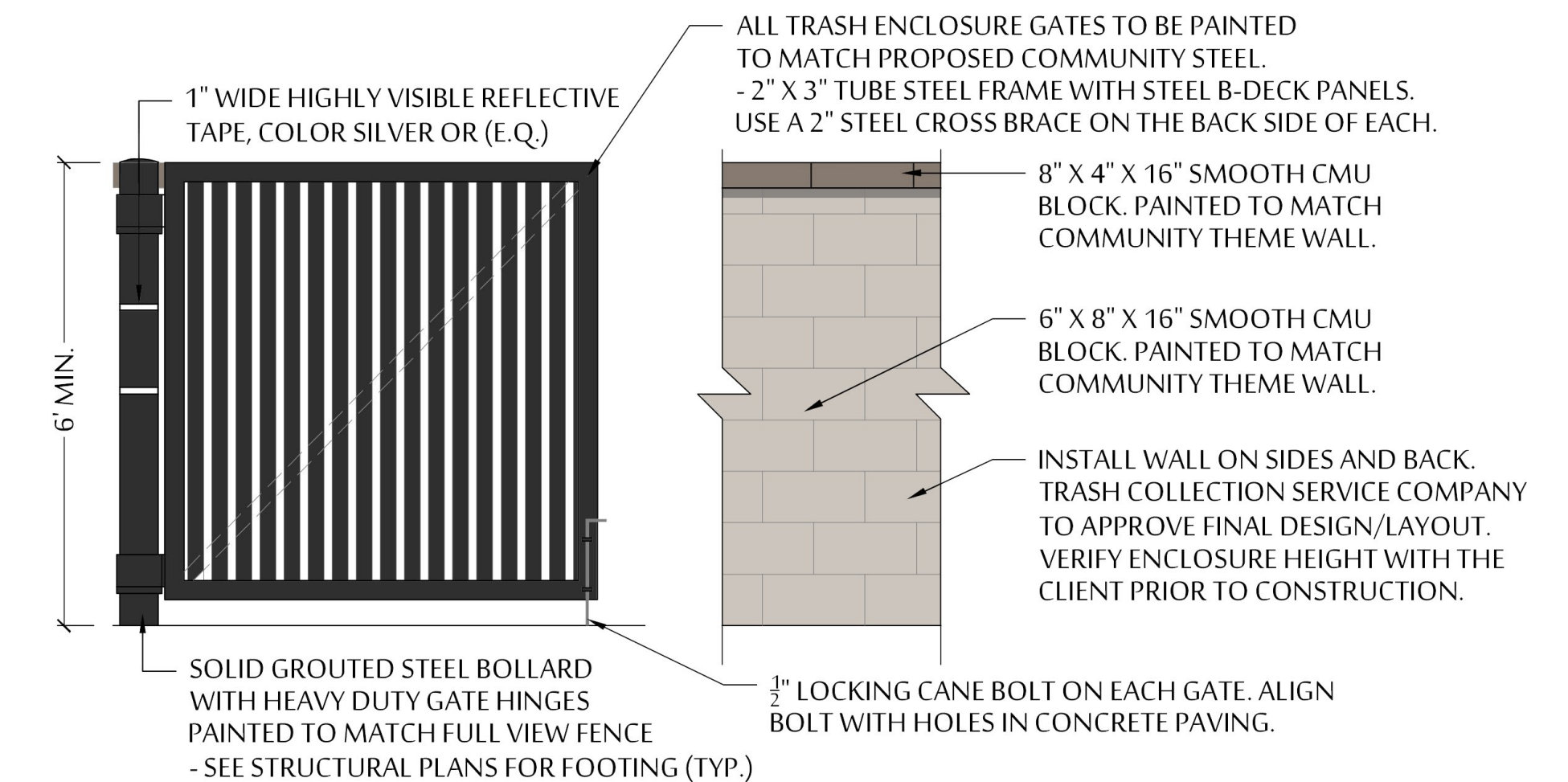
D VEHICULAR SLIDE GATE



E VEHICULAR EMERGENCY EXIT CRASH GATE



F 6' - 8' HT. BUILDER WALL



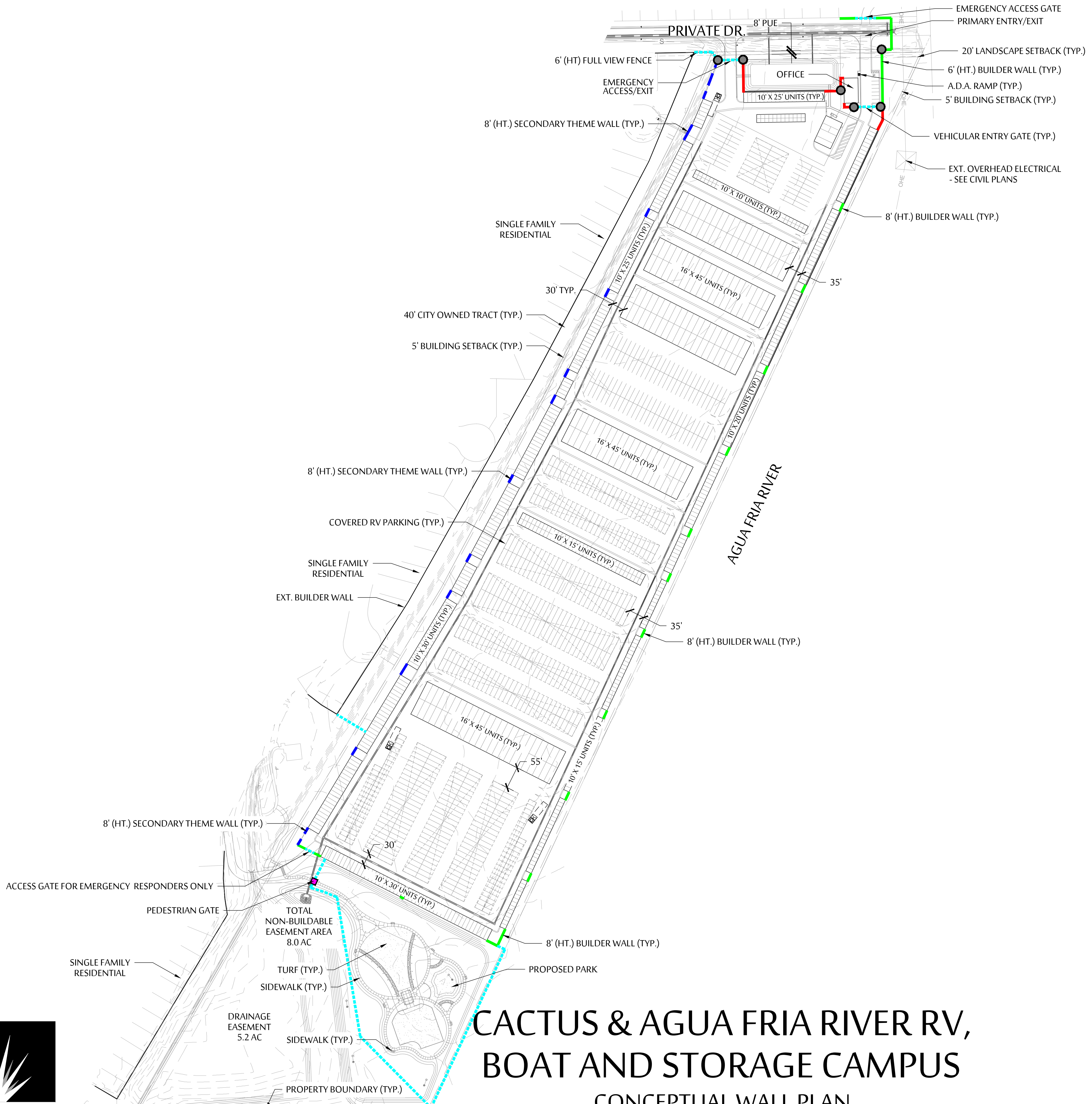
G TRASH ENCLOSURE PER DTL - EM-113



CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL HARDSCAPE DETAILS

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
FEBRUARY 10, 2023



WALL PLAN LEGEND

	8' HT. PRIMARY THEME WALL. (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'A' ON SHEET 3.
	8' HT. SECONDARY THEME WALL. (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'B' ON SHEET 3.
	6' HT. FULL VIEW FENCE - SEE DETAIL 'C' ON SHEET 3.
	6' (MIN) - 8' (MAX) HT. BUILDER WALL (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'F' ON SHEET 3.
	ALL EXISTING & FUTURE BUILDER WALL PAINT COLOR TO MATCH PROJECT THEME WALL COLORS PROJECT THEME COLUMNS - SEE DETAIL 'A' ON SHEET 3.
	PEDESTRIAN GATE - SEE DETAIL 'C' ON SHEET 3.

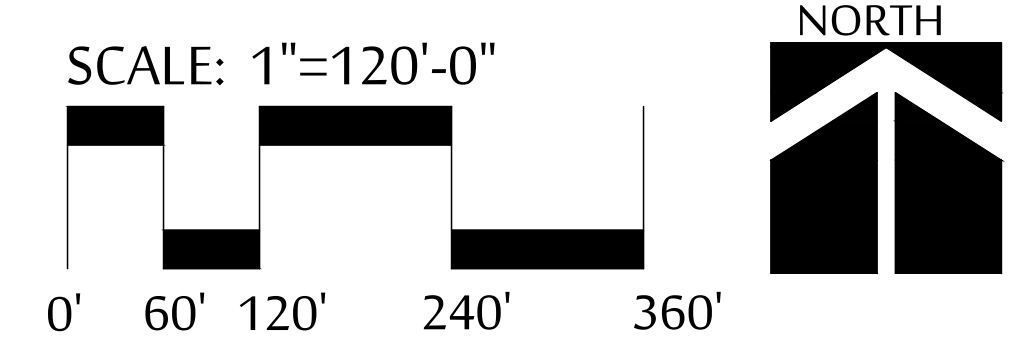
SEE DETAIL 'D' ON SHEET 3 FOR VEHICULAR ENTRANCE GATE DETAIL

CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL WALL PLAN

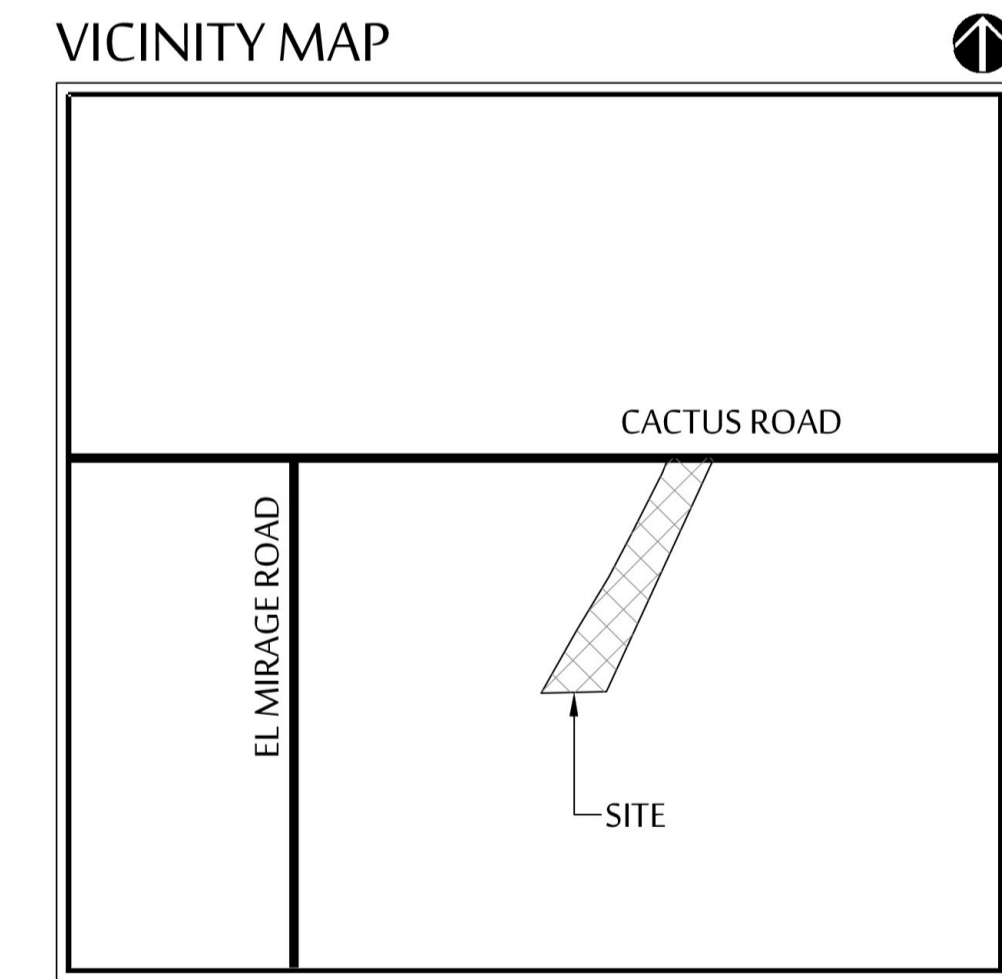
EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
FEBRUARY 10, 2023

SHEET L2



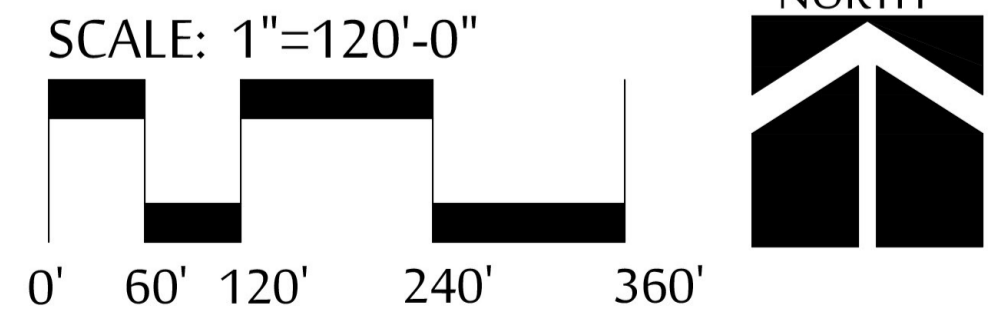


SCALE: 1" = 20'-0"



PLANT LEGEND	
SYMBOL	BOTANICAL NAME - COMMON NAME
TREES (24" BOX)	
	FRAXINUS VELUTINA - ARIZONA ASH
	OLNEYA TESOTA - IRONWOOD
	PISTACIA CHINENSIS - CHINESE PISTACHE
	PROSOPIS X PHOENIX - PHOENIX THORNLESS MESQUITE
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK
SHRUBS (5 GAL.)	
	BOUGAINVILLEA HYBRID - BUSH BOUGAINVILLEA 'FLAME'
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CALLIANDRA CALIFORNICA - NATIVE FAIRY DUSTER
	EREMOPHILA GLABRA SPP. CARNOSA 'WINTER BLAZE' - WINTER BLAZE EMU
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM x 'HEAVENLY CLOUD' - HEAVENLY CLOUD SAGE
	RUPELLIA PENINSULARIS - BAJA RUELLIA
	JUSTICIA CALIFORNICA - CHUPAROSA
	SENNA OLIOPHYLLA - OUTBACK CASSIA
	TECOMA STANS HYBRID - 'SPARKLETTE'
ACCENTS (5 GAL.)	
	AGAVE AMERICANA
	ALOE BARBADENSIS - ALOE VERA
	DASYLIRION WHEELERI - DESERT SPOON
	HESPERALOE PARVIFLORA 'PERPA' - BRAKE LIGHTS RED YUCCA
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' - REGAL MIST MUHLY
	BOUTELOUA GRACILIS - BLONDE AMBITION
	YUCCA RUPICOLA - TWISTLEAF YUCCA
GROUND COVERS (5 GAL.)	
	EREMOPHILA GLABRA 'MINGENEW GOLD' - OUTBACK SUNRISE EMU
	LANTANA HYBRID - 'NEW GOLD'
	LANTANA MONTEVIDENSIS - PURPLE TRAILING
	WEDELIA TRILOBATA - YELLOW DOT
	DECOMPOSED GRANITE - 3/4" SCREENED. COLOR TO BE 'MOUNTAIN VISTA BROWN' BY KILLAUEA CRUSHERS. D.G. TO BE INSTALLED AT 2" DEPTH MIN.
	MID-IRON BERMUDA TURF

- NOTES:**
1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
 2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
 3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
 4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED ESMT.
 5. FULL IRRIGATION PLANS TO BE PROVIDED WITH IMPROVEMENTS SET.
 6. LANDSCAPING AND IRRIGATION MUST FOLLOW CITY DETAIL EM-101-4, FULL NOTES TO BE PROVIDED WITH IMPROVEMENTS SET.
 7. THE MAINTENANCE FOR ALL LANDSCAPING AND IRRIGATION SHOWN ON THE PLANS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



SHEET L1

CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL LANDSCAPE PLAN

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
 FEBRUARY 10, 2023

