

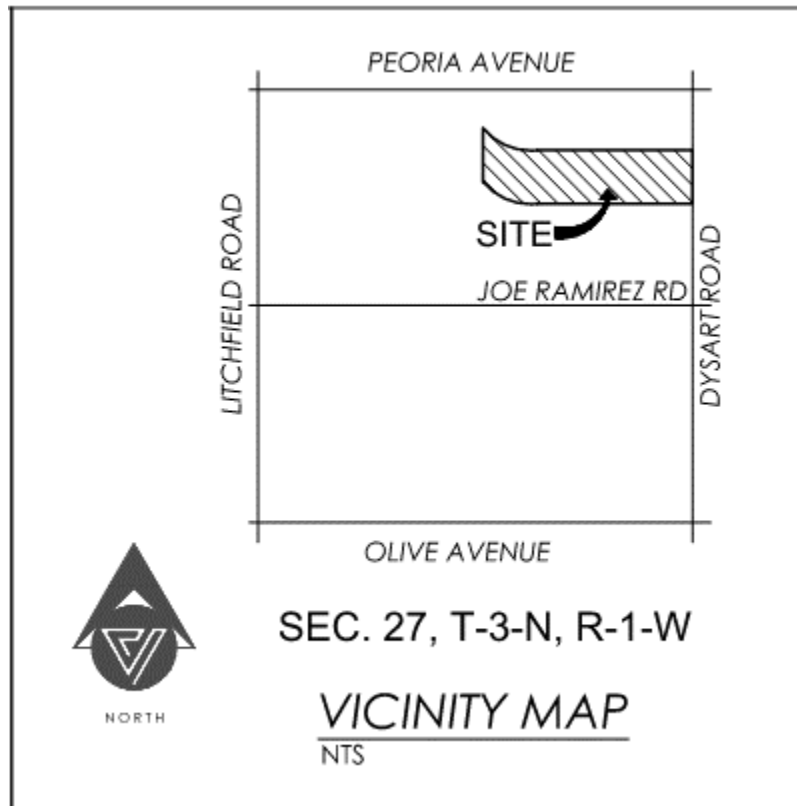
UPDATED PROJECT NARRATIVE

FOR

DESERT TRUSS WEST

LOCATED AT THE SSW CORNER OF PEORIA AVENUE AND DYSART ROADS,
CITY OF EL MIRAGE, ARIZONA

APN # 509-18-974



Prepared by:



8502 E. Via de Ventura, Suite 101
Scottsdale, AZ 85258

Date: March 16, 2022
Revised July 25th, 2022
Revised May 5th, 20223

Job No. 21027

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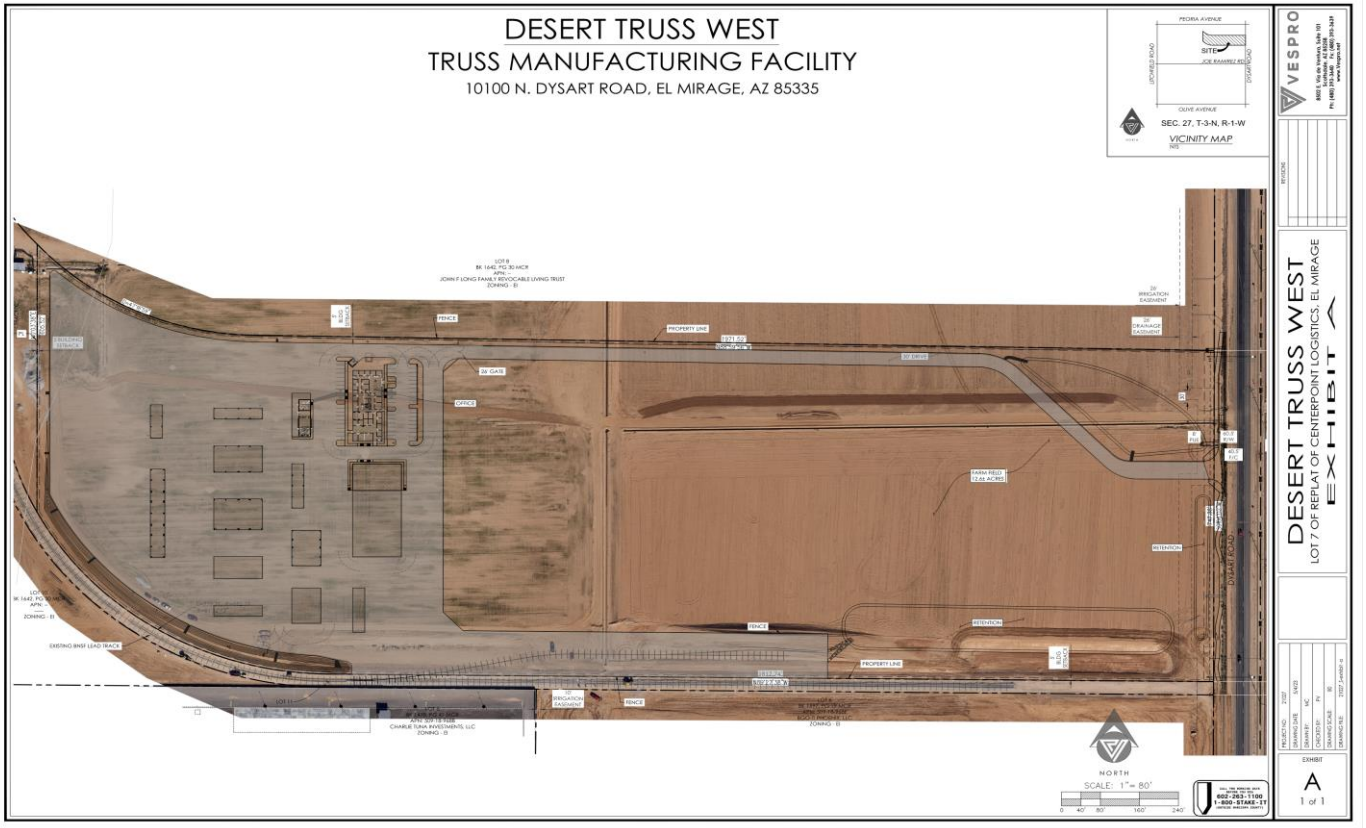


Exhibit A

1 Project Introduction

On behalf of Cariari Holdings, INC (Owner / Developer), VESPRO (Applicant) respectfully submits for consideration this Pre-Application request of site plan amendment approval. The property includes one parcel (APN 509-18-974) totaling 41.185 acres located on the west side of Dysart Road approximately one-quarter mile south of Peoria Avenue. Refer to Exhibit A for the location of this property. The current zoning is PAD, the City's 2020 General Plan designates this parcel as a future land use of Commerce/Industrial Park (CI). The project will consist of 3 enclosed buildings and 11 covered equipment pads. This request seeks the City's support to allow minor revisions to the currently approved site plan. This project was previously approved by El Mirage City council on October 4th, 2022 (PZ22-03-12). The revised site plan is essentially the same as it was under the prior approval only shifted further to the west. The proposed revisions include total building square footage increase by 6,590sf (0.3% of overall), building layouts revised and shifted further west, retention areas

have been modified to accommodate revised buildings layout, employee parking increased by 5 spaces and the farming/future expansion area has been increased from approximately 12.6 acres to approximately 18.8 acres.

These revisions are necessary to modernize the truss fabrication facility and to fully build out the back portion of this site, leaving all future expansion towards the Dysart roadway frontage. In doing so, the owner expects to be able to streamline the production line and fully utilize the developed portion of this site better than previously envisioned.

Facility hours are still expected to be 6:00am to 4:00pm Monday through Friday with a staff of approximately 30 employees. Facility will not generate any noise exceeding 55 decibels, measured at the property line, between 10pm and 6am.

2 Existing Land Use

The property is currently in agricultural production. There is a 30' wide BNSF property along the south property line that is currently constructing a rail spur and has utilized the southern portion of this property for drainage control including temporary retention basins and earthen berming, project "Copperwing Spur Extension Ph II".

3 Flood Zone Determination

The majority of the property is classified as Zone X: areas with a 1% annual chance flood with average depths less than one foot. There is a very small, less than 10,000sf, area in the nw corner of the site that is classified as Zone A. A flood plain use permit will be applied for to grade and add curbing and paving in this area.

4 General Plan Designation

The El Mirage General Plan 2020 has designated this subject property Commerce/Industry Park (CI), which extends west to the BNSF railroad (135th ave alignment), east to the Agua Fria River, south to Northern Ave, and north to Peoria Avenue.

5 Existing Zoning

The existing zoning is Planned Area Development. The proposed zoning is either Commerce/Industrial (CI) or Planned Area Development (PAD).

6 Relationship to Surrounding Properties

North: The property immediately north is currently zoned PAD and is currently being used for agricultural production.

East: The property immediately east of Dysart Road is currently zoned PAD and is being used for agricultural production

South: The property immediately south is 30' wide owned by BNSF and is currently under construction of a railroad spur. Further south are 2 parcels currently under construction of manufacturing facilities.

West: The area immediately west is BNSF rail and further west is being agricultural use located in the City of Surprise.

7 Access/Circulation

Primary access to the Subject Property is only available from Dysart Road, which has been designated as a major arterial with a 110' ROW. Dysart Road improvement plans are currently under review by the City of El Mirage. It is anticipated that the currently planned improvements will be sufficient for this development with the exception of the addition of turn/decel lane and a larger driveway to provide better truck access to the site. The proposed design plans indicate that Dysart Road, as a major arterial, will have 4 lanes of traffic, 2 bike lanes, a 14' raised median, and 6' detached sidewalks. The current west half ROW is 60.5' thereby not requiring additional dedication. As identified in the

Traffic Statement, a deceleration lane and turn lane will be required for southbound approaching the proposed driveway, the site traffic from the proposed facility does not warrant any improvements to Dysart Road. The city will require a detached 8ft meandering sidewalk, streetlights, ITS conduit and landscaping/irrigation along the Dysart Road frontage. All on-site circulation will be private.

8 Development Plan

This property will be developed in one phase, at this time. Site improvements will be subject to the requirements of the City of El Mirage and respect the adopted Design and Development Standards for Commercial projects. The enclosed Site Plan is a placeholder for this design review presentation.

Based on location and access to the BNSF rail spur, on-site development will initially be at the rear of the property with eastern half of the property to remain in agricultural production until facility is ready for expansion.

The entire perimeter of the Property has incorporated an appropriate setback for the installation of a nearly contiguous landscape buffer. Along the north property line is a planter area between the drive and the property line that will be 10' in width.

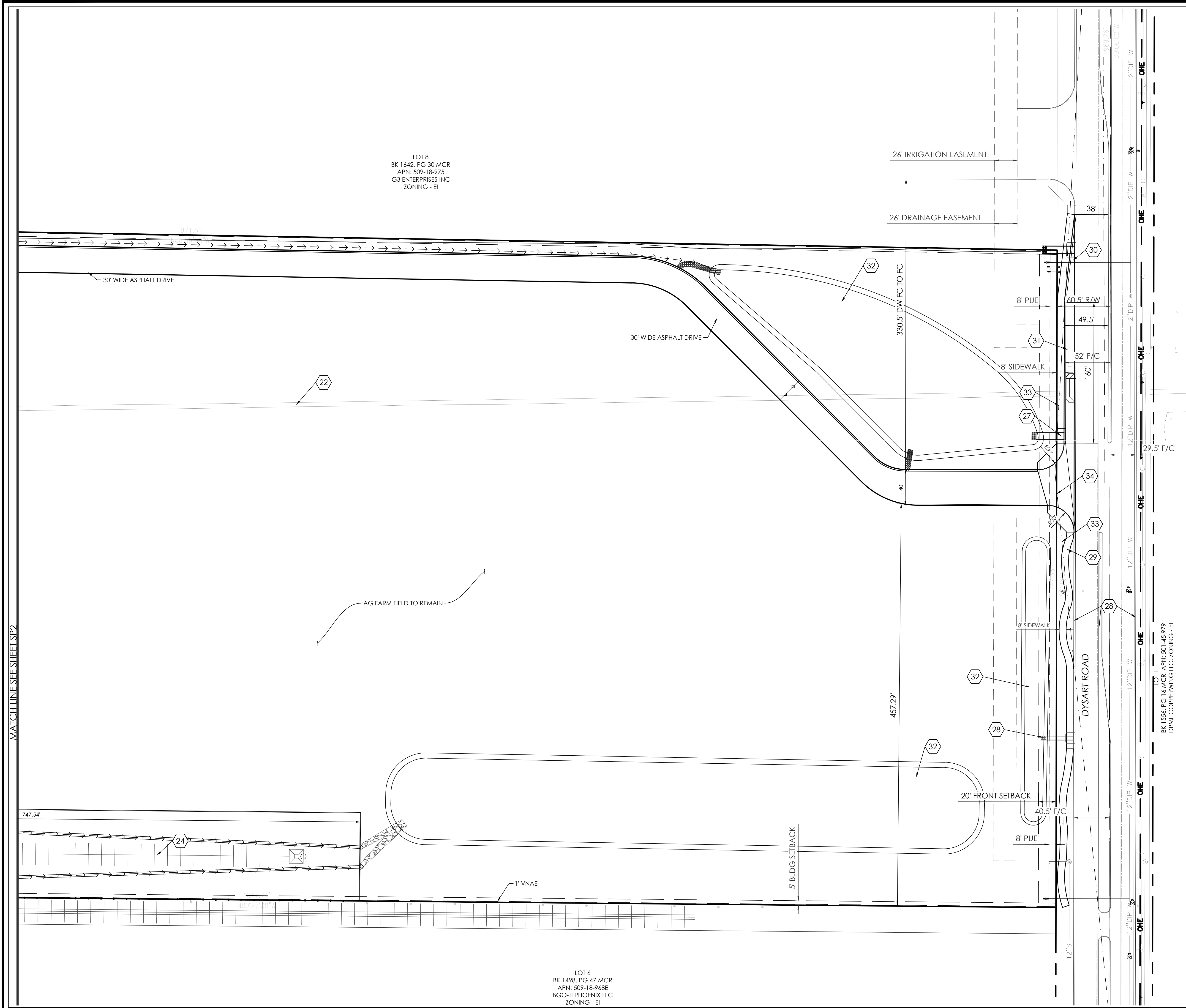
9 Utility and Services (Sewer, Water, Police, Fire, etc.)

The use of water and wastewater generated for this site will be de minimis. Wastewater will be limited to a toilet and sink located in the office and a couple of toilets and sinks in the maintenance building. EPCOR is currently extending a 12" sewer line in Dysart Road to the southeast property corner. The site will utilize an existing 12" water line in Dysart Road for domestic water supply and fire protection. Electric power will be provided by APS. Police and fire services will be provided by El Mirage.

10 Storm Water Drainage and Retention

As identified in the Drainage Report, the site will provide the storm water retention for the 100-year 2 hour storm and the stormwater will be dissipated within 36 hours via a dry wells as needed.

MATCH LINE SEE SHEET SP2



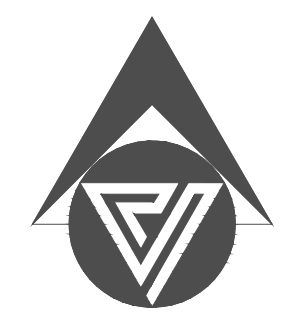
LOT 8
BK 1642, PG 30 MCR
APN: 509-18-975
G3 ENTERPRISES INC
ZONING - EI

LOT 6
BK 1498, PG 47 MCR
APN: 509-18-968E
BGO-TI PHOENIX LLC
ZONING - EI

LOT 7
BK 1556, PG 16 MCR, APN: 501-45-979
DPMAL COPPERWING LLC, ZONING - EI

SITE PLAN NOTES

22. EXISTING IRRIGATION DITCH TO BE REMOVED
23. EXISTING IRRIGATION DITCH TO BE PIPED UNDERGROUND
24. PROPOSED RAIL LEAD TRACK
25. EXISTING IRRIGATION DITCH TO REMAIN
26. 9'X18' STANDARD PARKING SPACES PER COEM STD DTL EM-157
27. PROPOSED ROADWAY SCUPPER
28. ROADWAY IMPROVEMENTS PER DYSART ROAD IMPROVEMENTS
29. PROPOSED 8' WIDE DETACHED PUBLIC SIDEWALK
30. PROPOSED DECEL LANE
31. PROPOSED 11.5' WIDE BY 160' LONG TURN LANE.
32. PROPOSED RETENTION BASIN.
33. SITE VISIBILITY TRIANGLE PER COEM DTL EM-158
34. PROPOSED DRIVEWAY PER COEM DTL EM-251-1

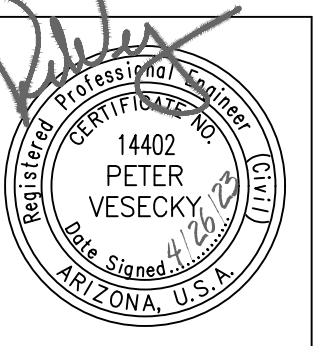


NORTH
SCALE: 1" = 50'

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(OUTSIDE MARICOPA COUNTY)

NO.	REVISIONS

DESERT TRUSS WEST
LOT 7 OF REPLAT OF CENTERPOINT LOGISTICS, EL MIRAGE
SITE PLAN



PROJECT NO:	21027
DRAWING DATE:	4/26/23
DRAWN BY:	MI
CHECKED BY:	PV
DRAWING SCALE:	50
DRAWING FILE:	21027_SP01

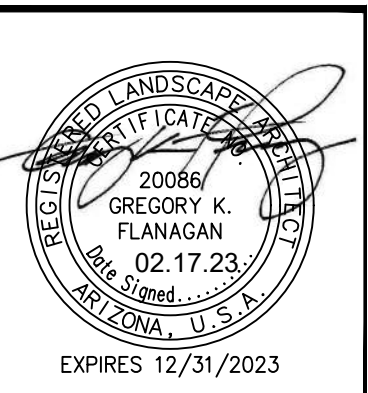
SITE
SP3
3 of 3
PLAN

VESPRO
8602 E. Via de Ventura, Suite 101
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Ph: (480) 393-3640 Fax: (480) 393-3639
www.Vespro.net



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 LANDSCAPE ARCHITECTURE
 PLANNING
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 602 . 812 . 8683



revisions:

date: 02.17.2023

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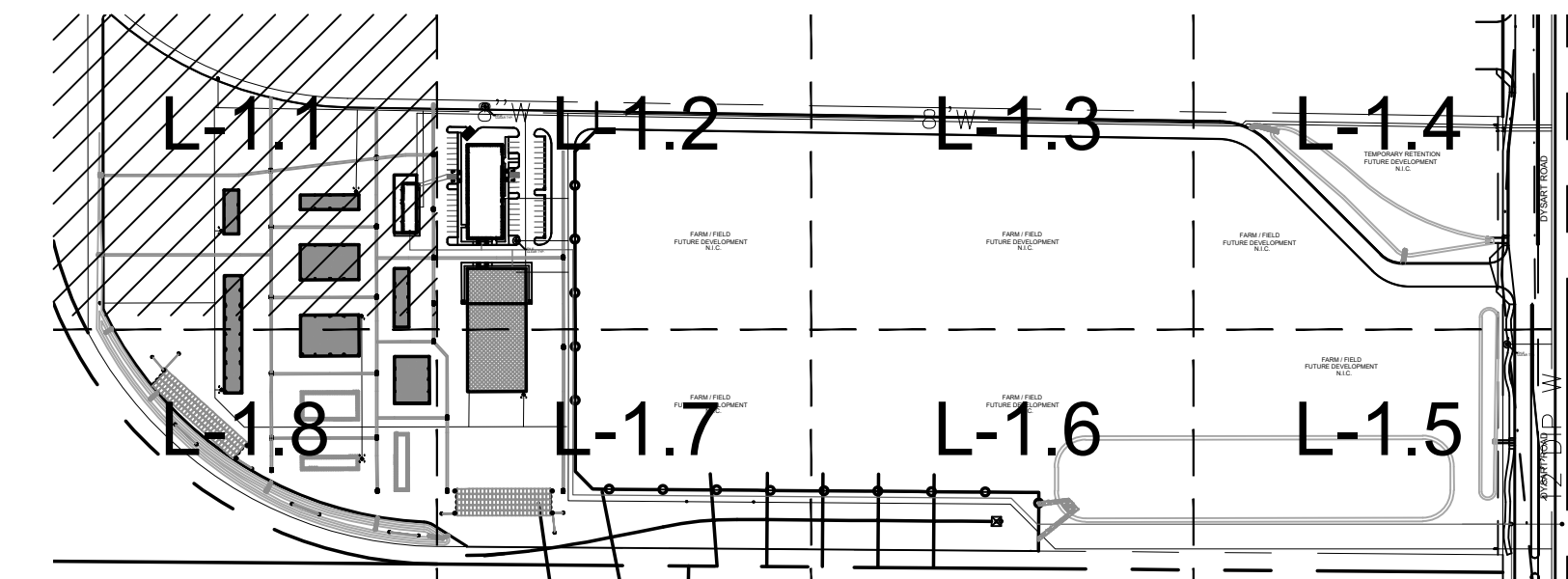
sheet no. L-1.1

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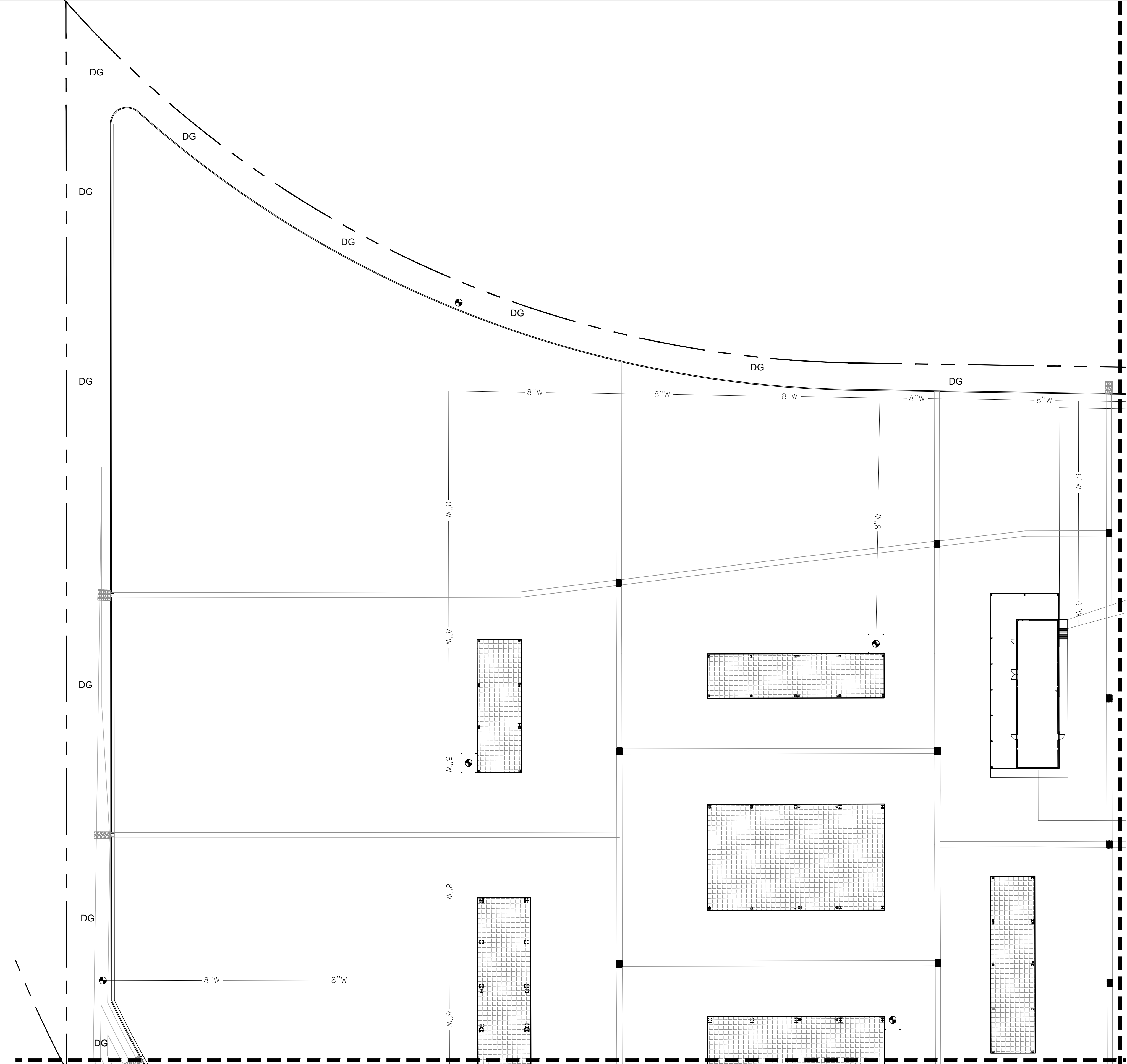
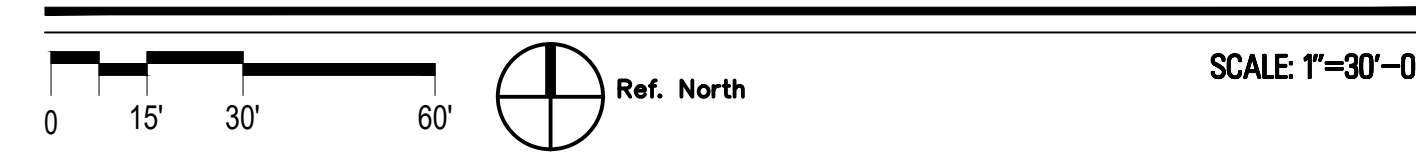
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MATCHLINE SHEET L-1.8

PLANTING PLAN



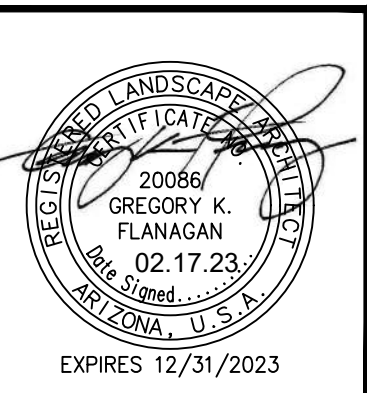
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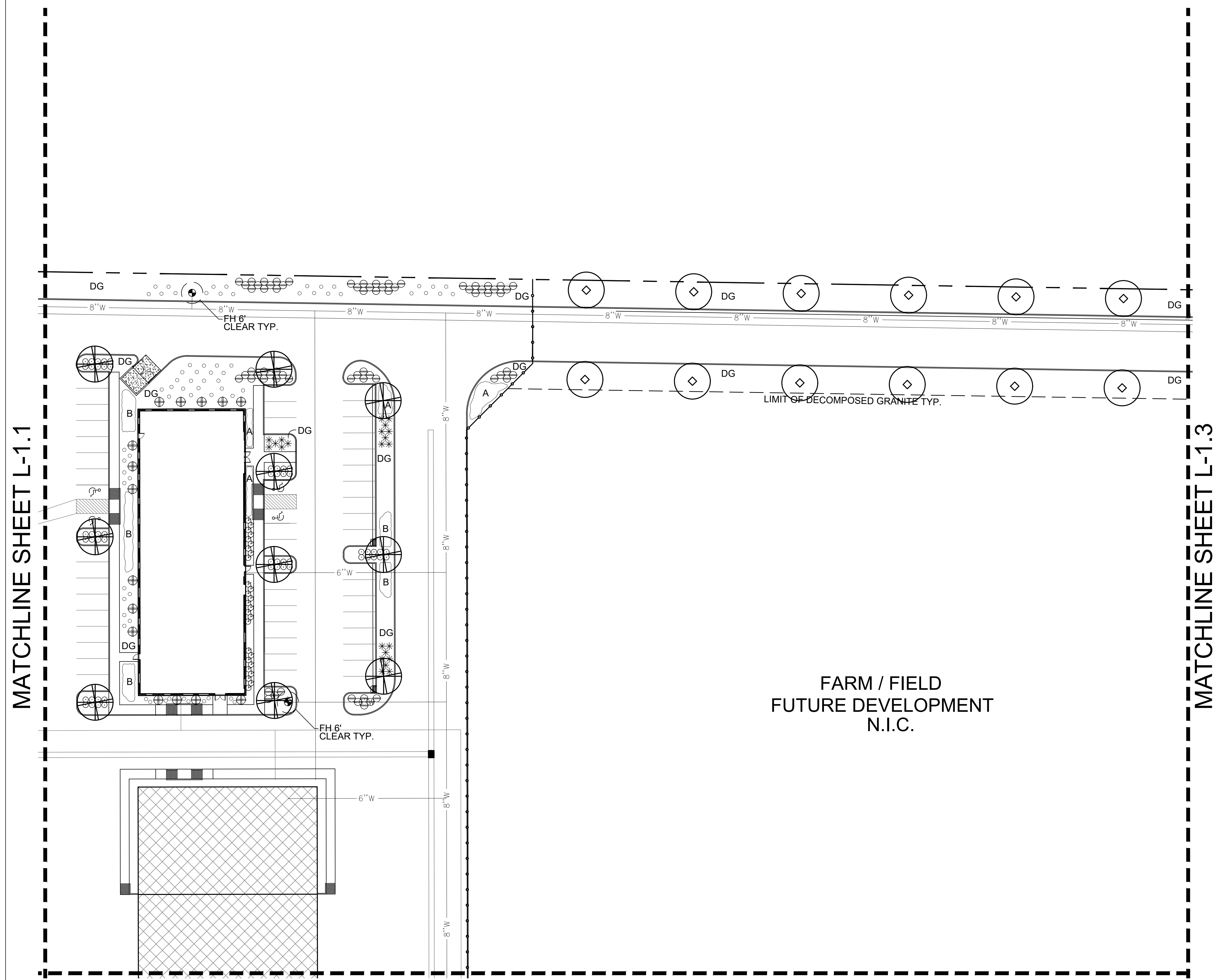
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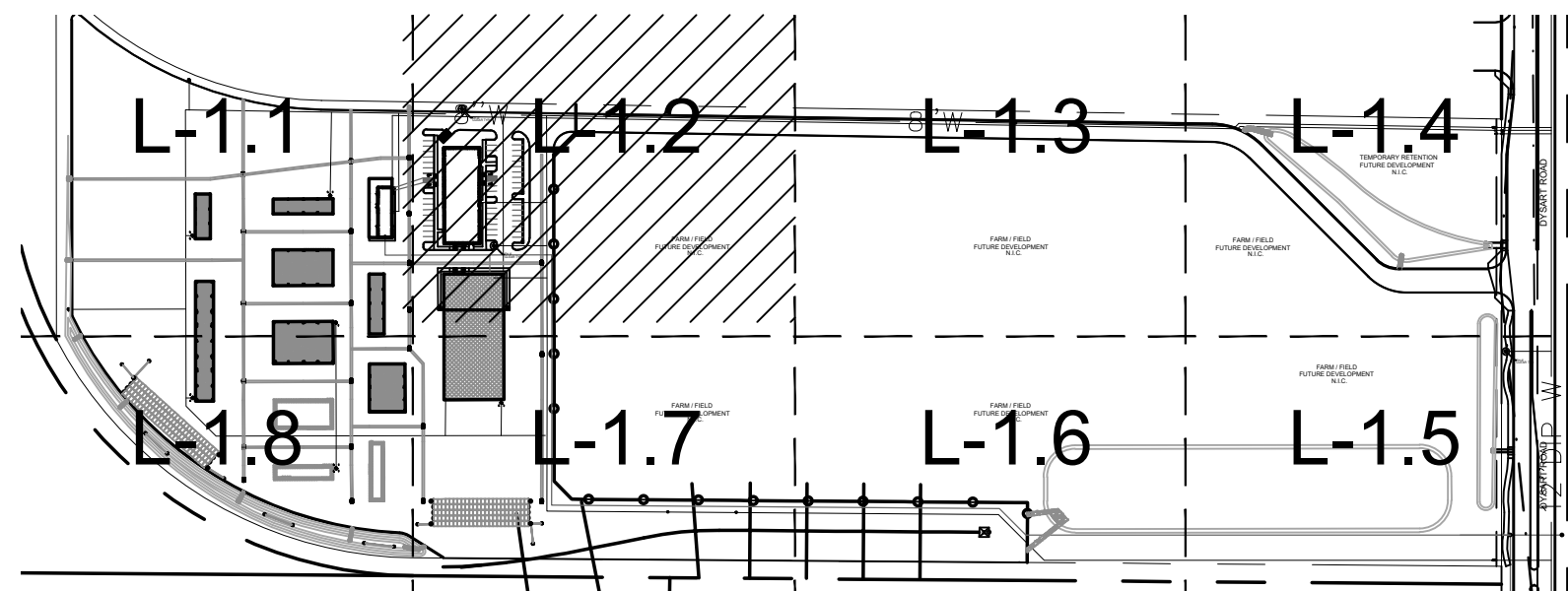
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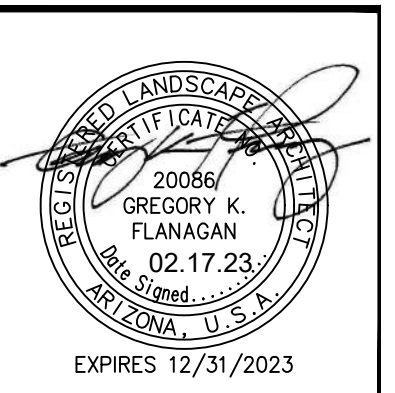


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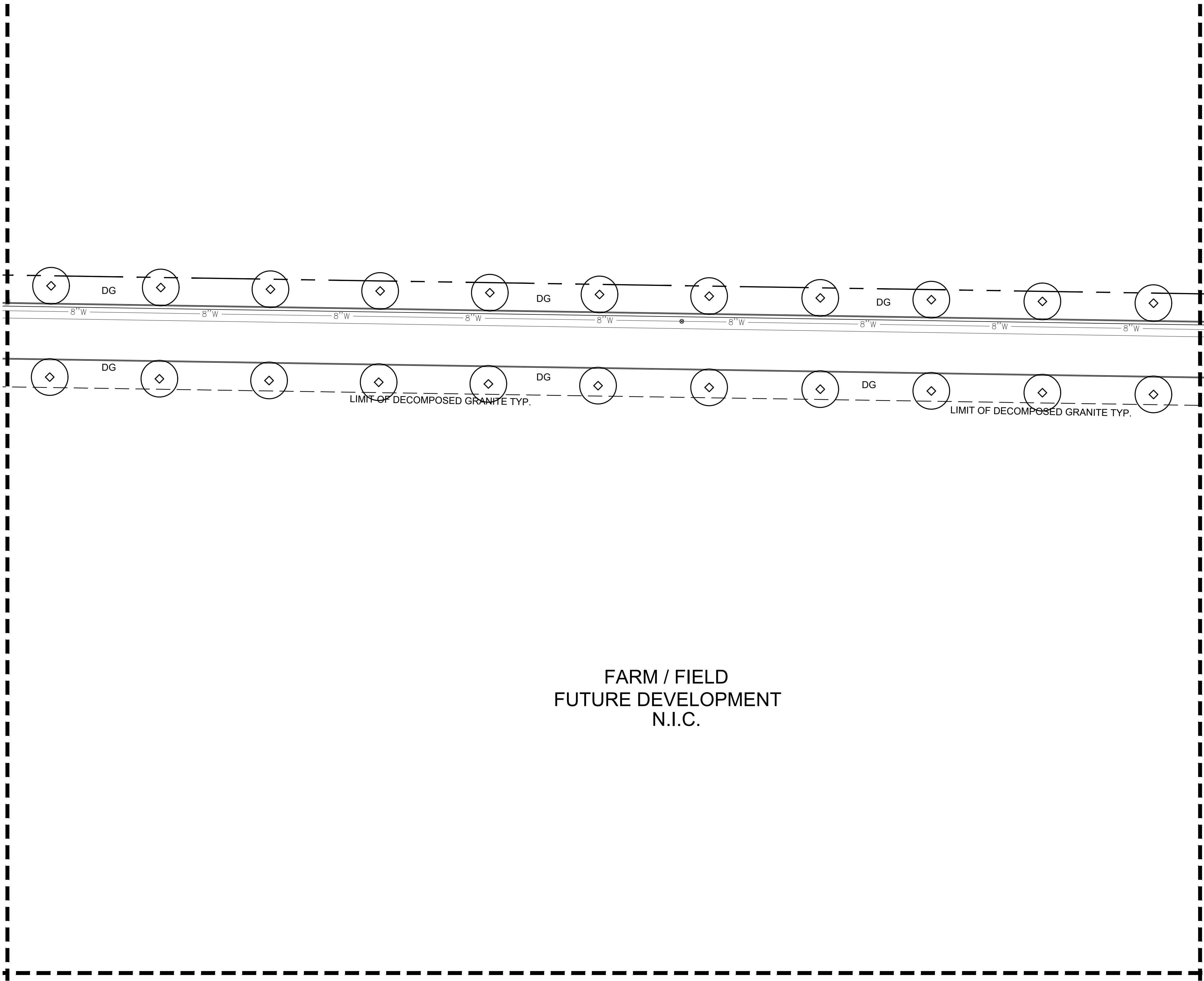
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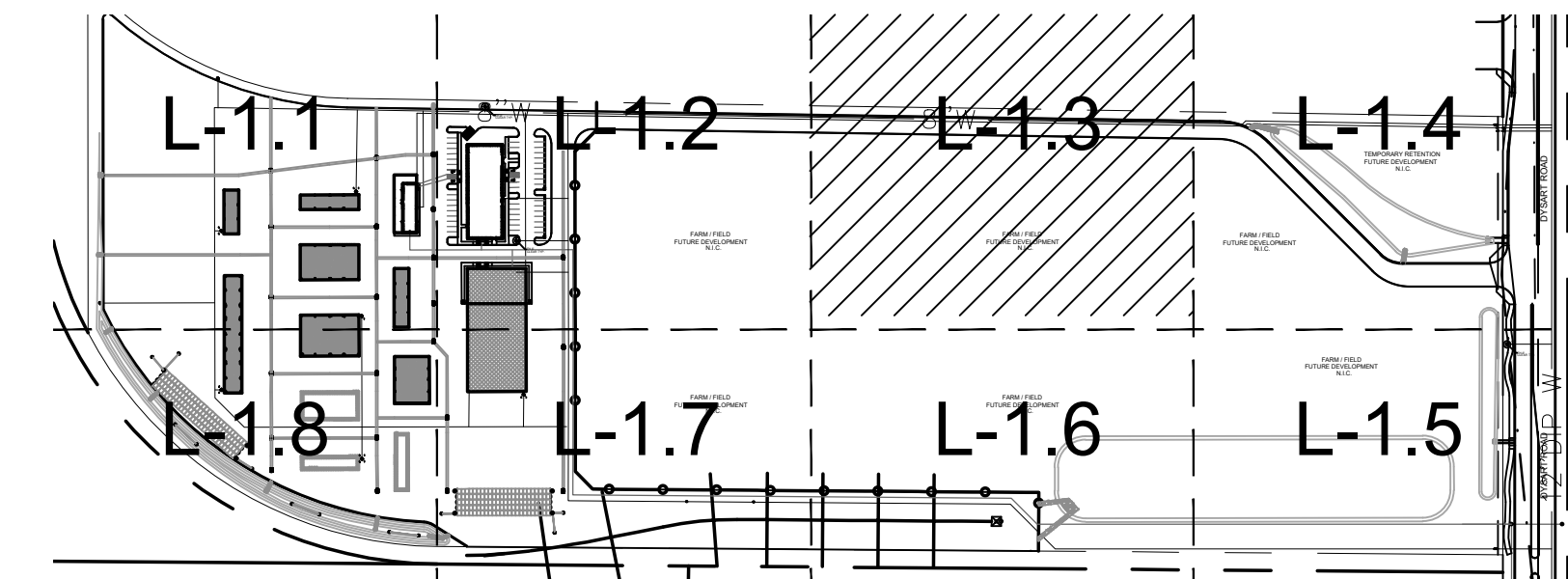
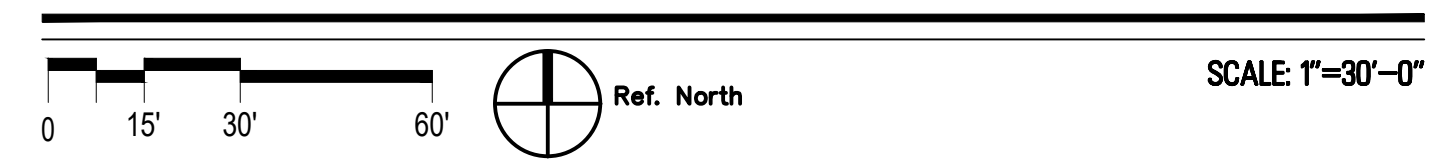
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MATCHLINE SHEET L-1.6

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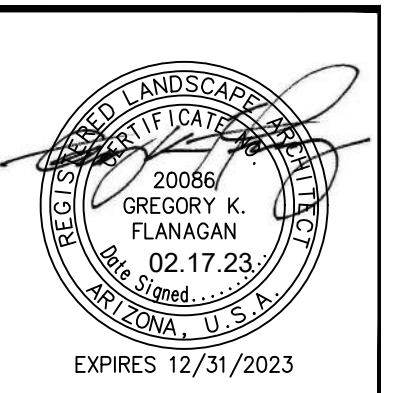


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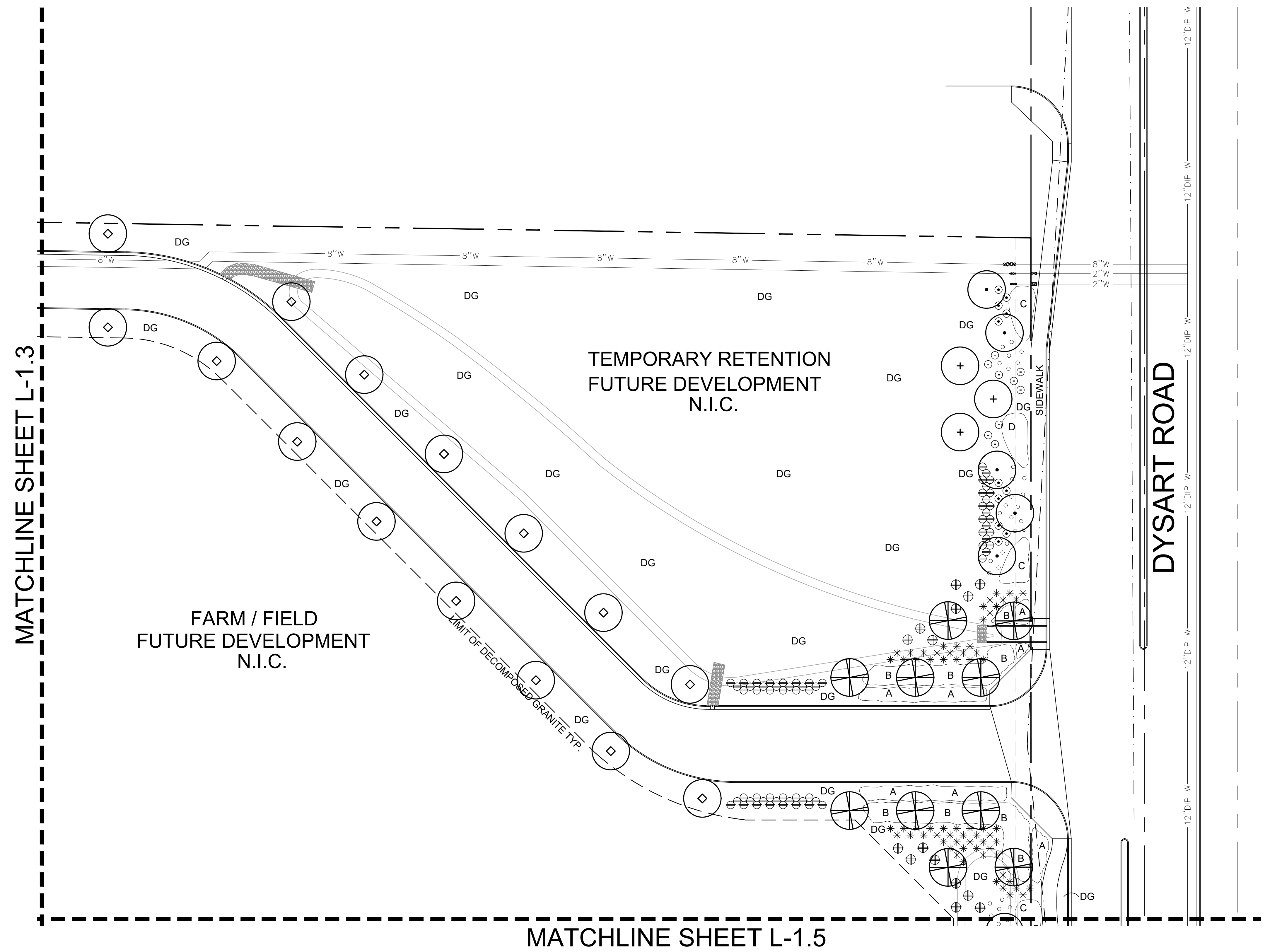
revisions:	
date:	02.17.2023
contents:	PLANTING PLAN
sheet no.	L-1.4

MASTER PLANT LIST

TREES	SIZE/ COMMENTS/ QUANTITY
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GENERAL NOTES

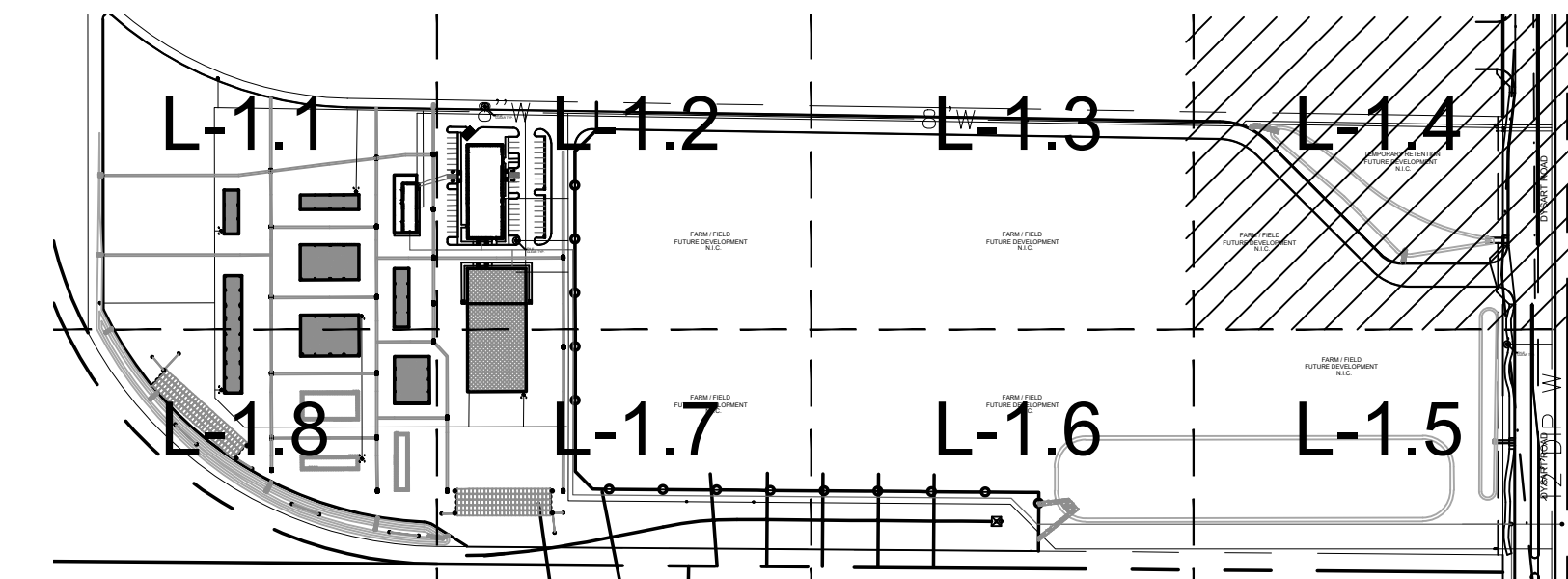
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MATCHLINE SHEET L-1.3

MATCHLINE SHEET L-1.5

PLANTING PLAN



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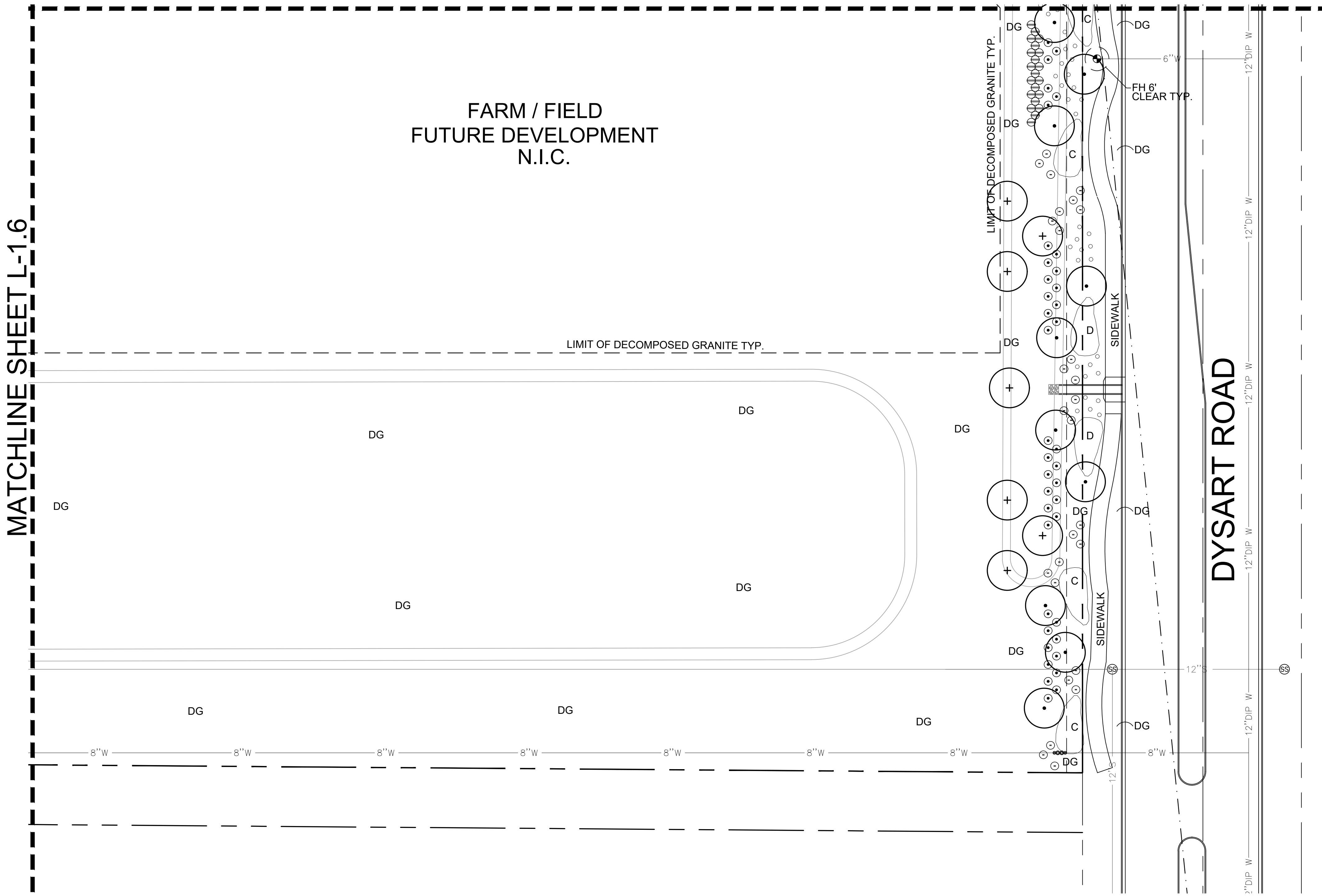
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MATCHLINE SHEET L-1.4

FARM / FIELD FUTURE DEVELOPMENT N.I.C.



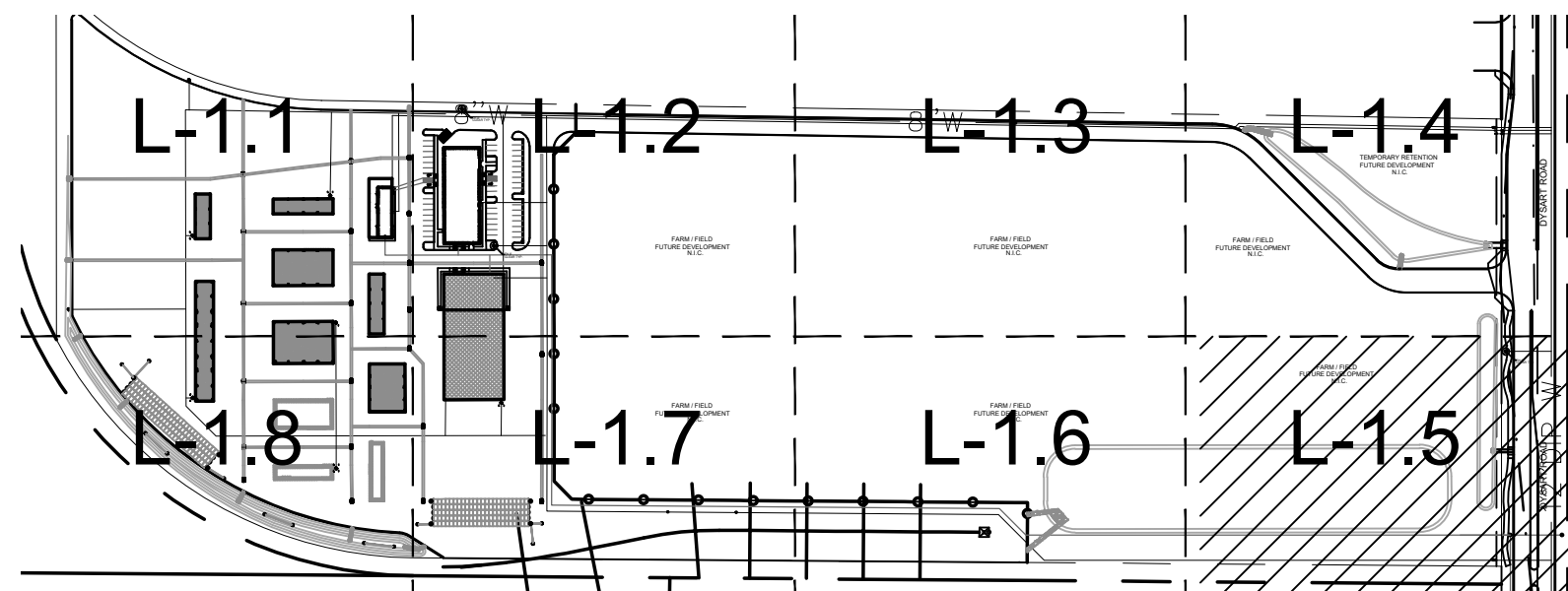
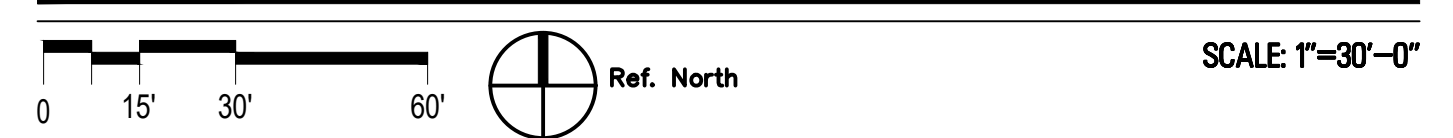
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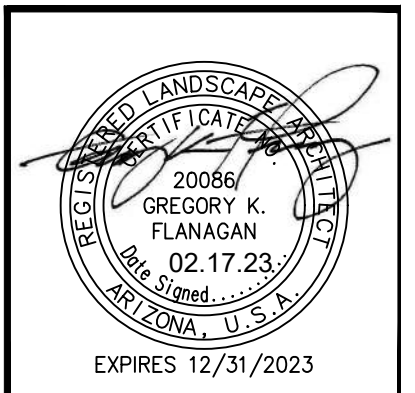
MATCHLINE SHEET L-1.6

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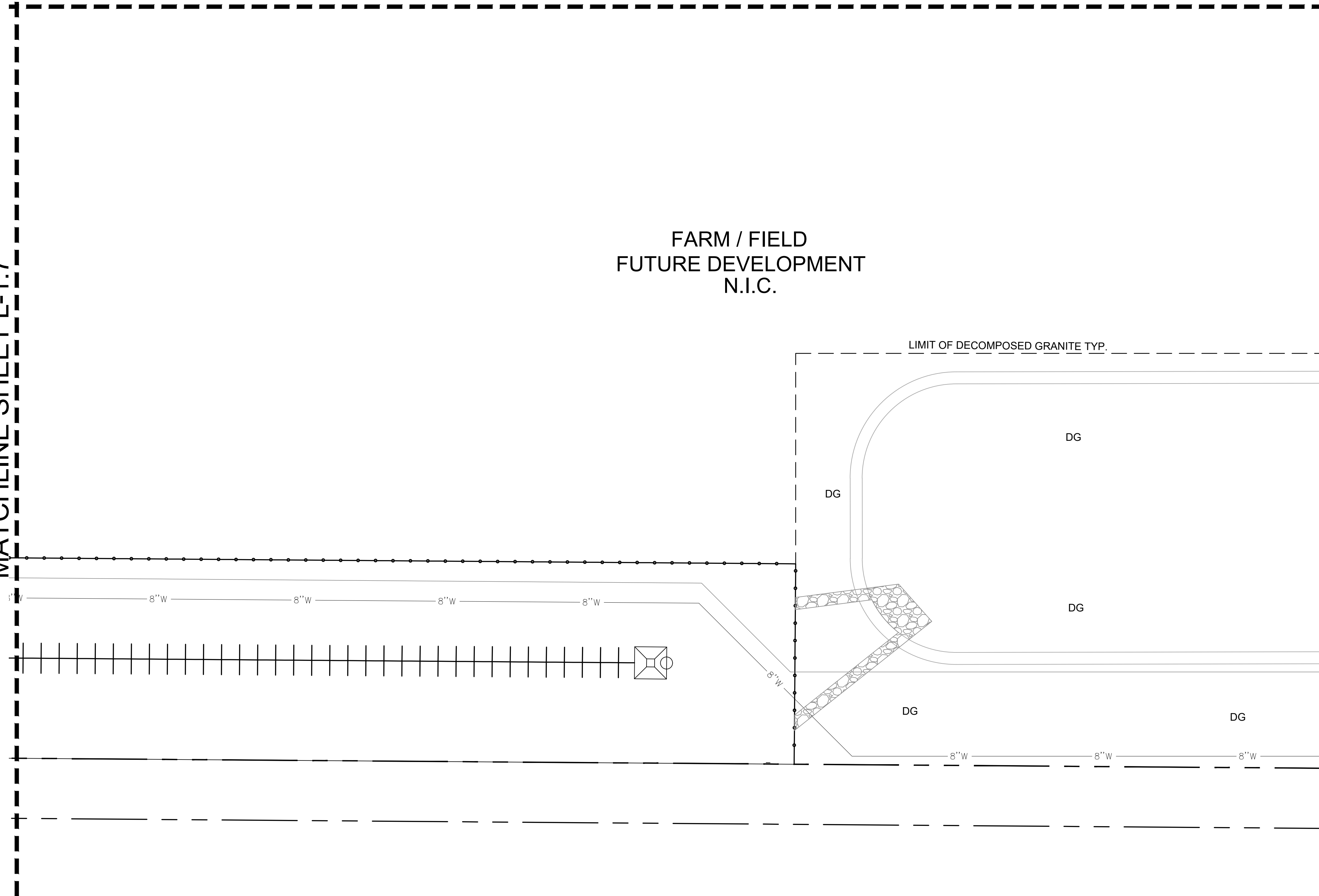
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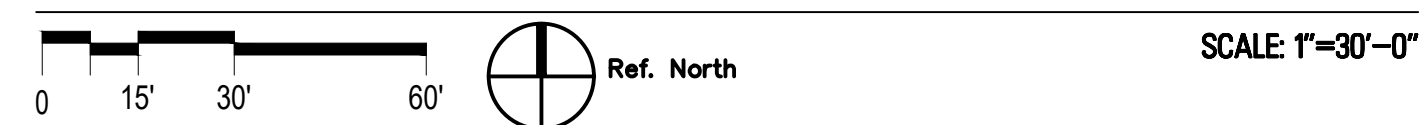
FARM / FIELD
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MATCHLINE SHEET L-1.7

MATCHLINE SHEET L-1.5



PLANTING PLAN

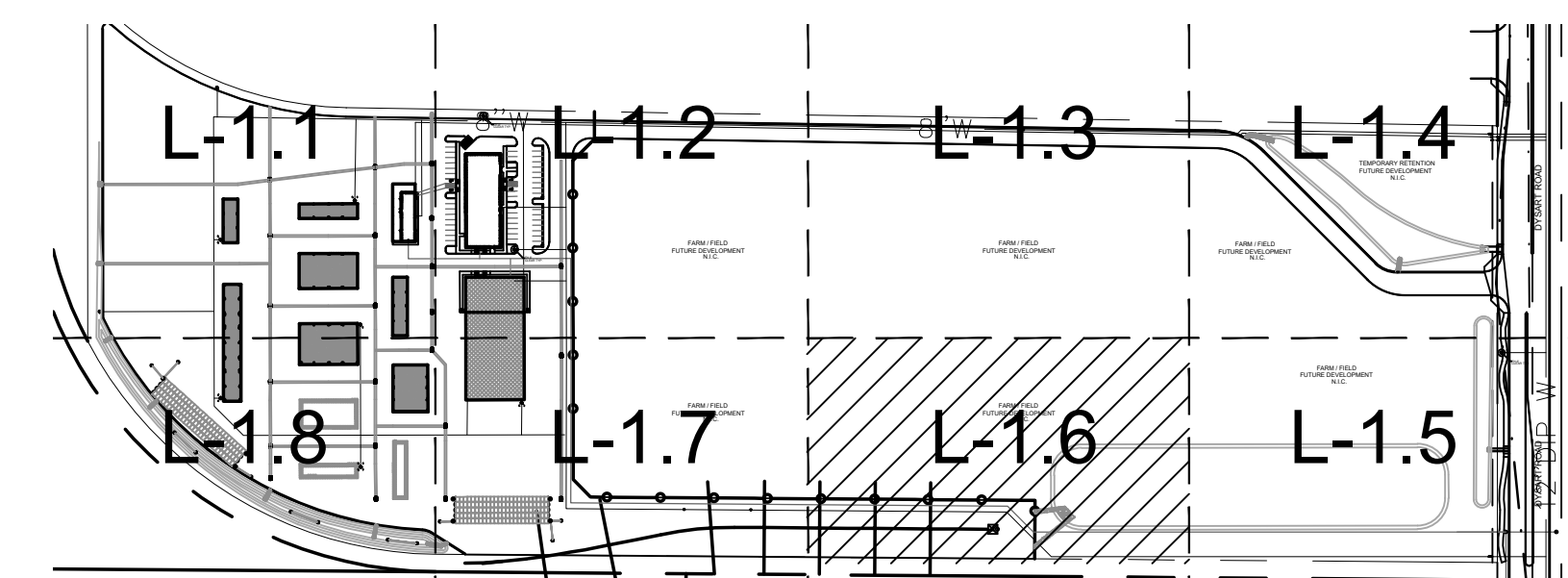


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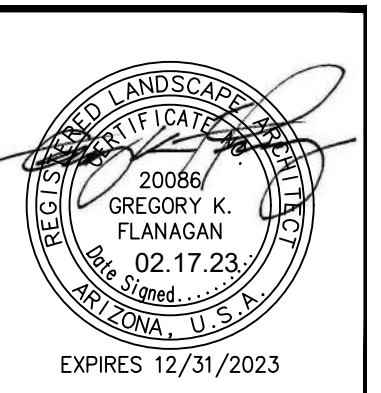
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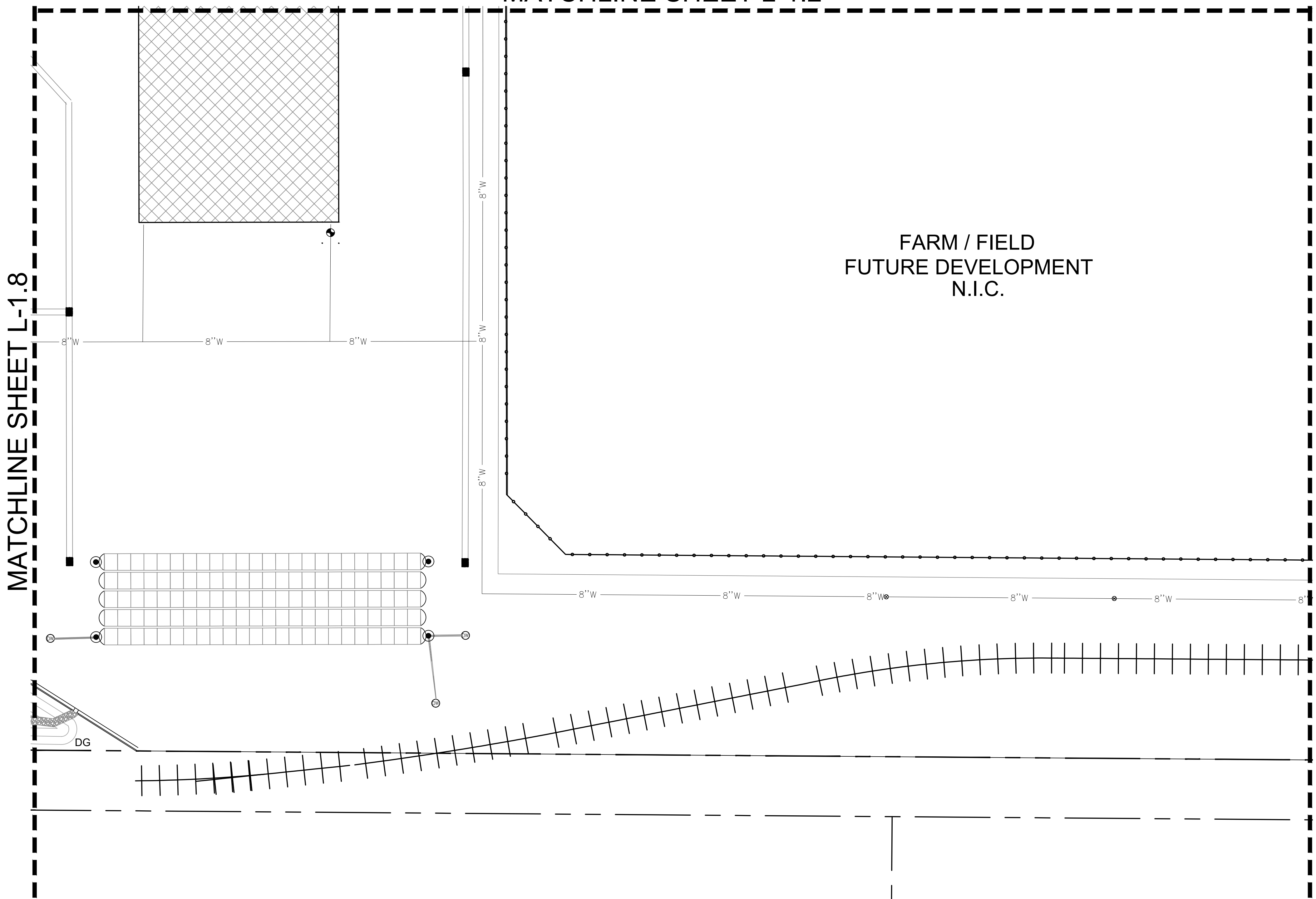


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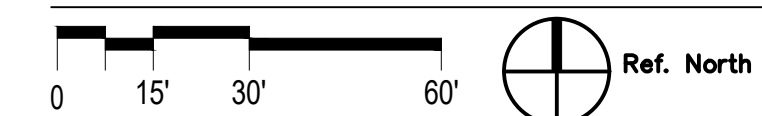
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FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.

MATCHLINE SHEET L-1.6



PLANTING PLAN



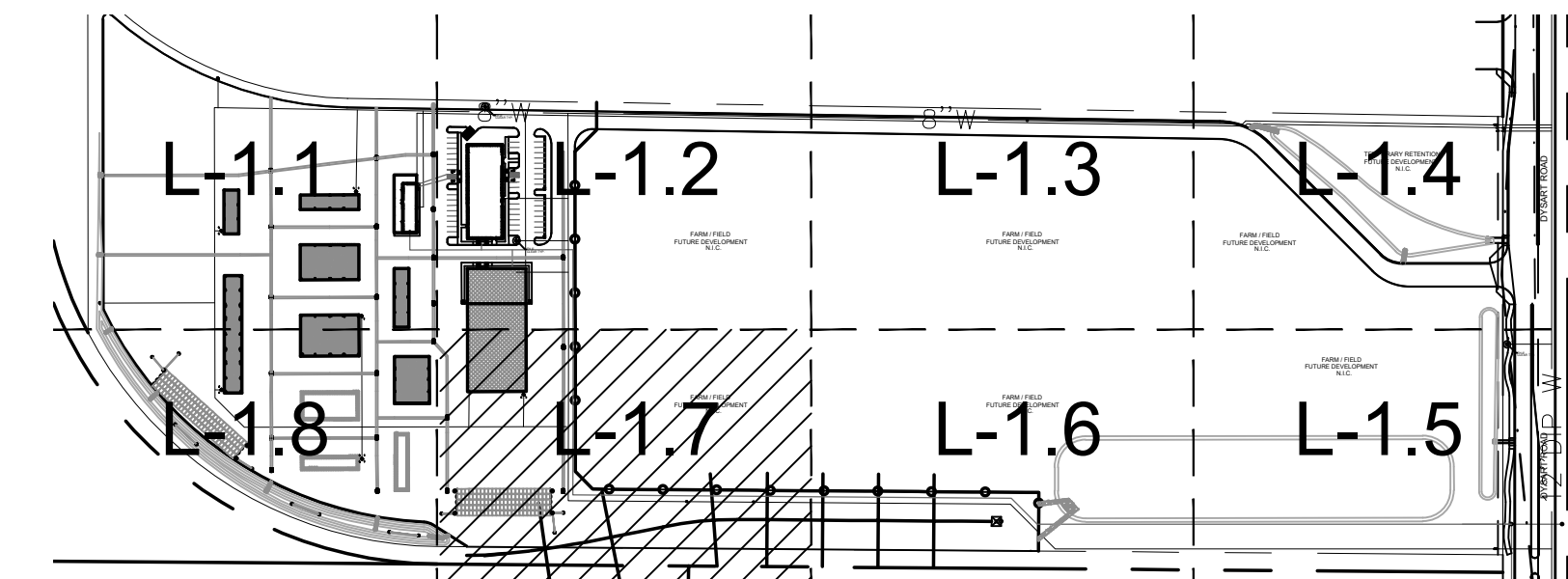
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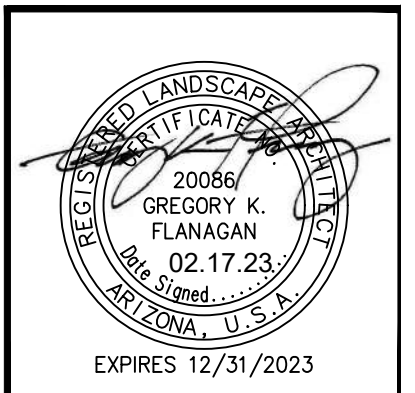
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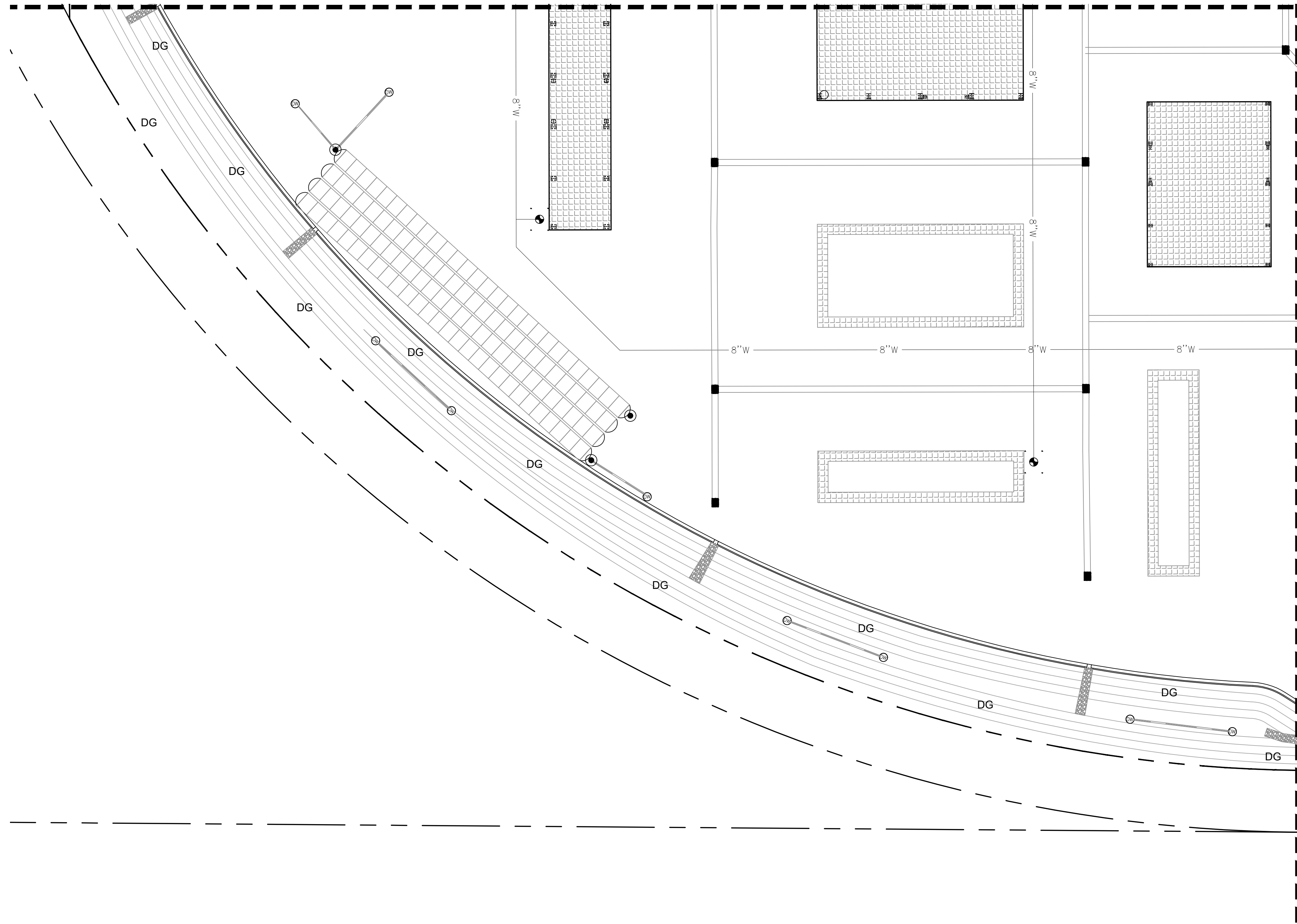
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MATCHLINE SHEET L-1.1



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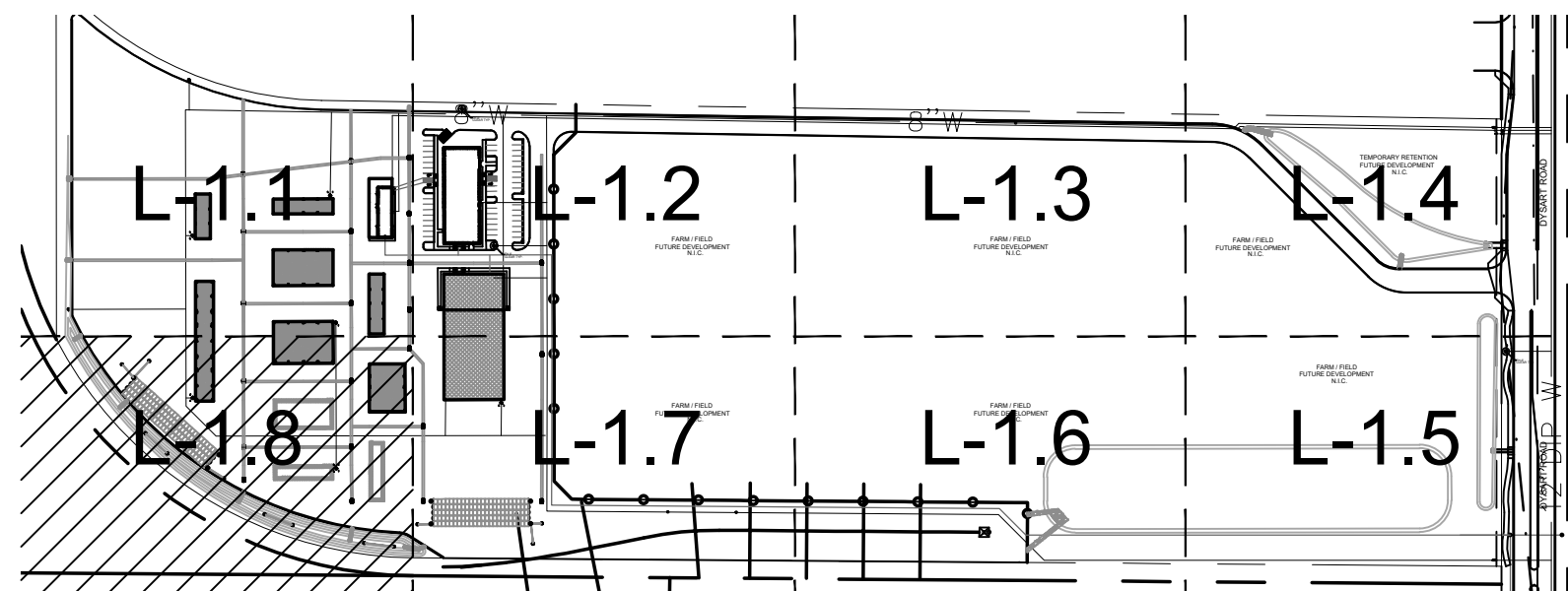
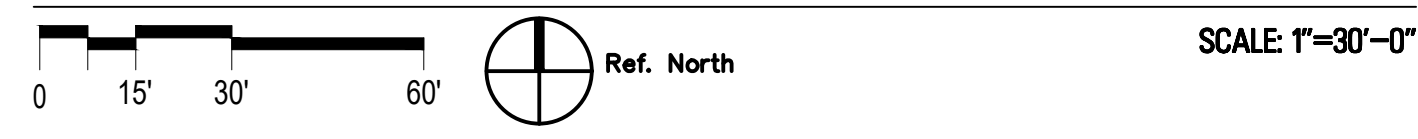
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- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- ADJUST NEW LANDSCAPE TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN GOOD, HEALTHY CONDITION DURING CONSTRUCTION.
- ANY EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN IS TO BE REMOVED BY CONTRACTOR.

PLANTING PLAN



Call at least two full working days before you begin excavation.

ARIZONA 811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

DESERT TRUSS WEST
10100 N. DYSART RD.
EL MIRAGE, ARIZONA 85335

G.K. FLANAGAN ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE PLANNING

4828 N. 44th STREET PHOENIX, AZ 85018
802 . 812 . 8681 fax
802 . 812 . 8683

revisions:

date: 02.17.2023

contents: PLANTING PLAN

sheet no. L-1.8

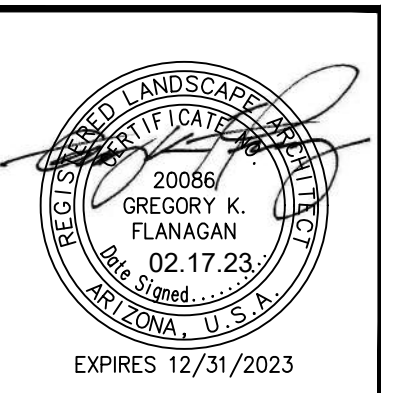


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revisions:	
date:	02.17.2023
contents:	IRRIGATION PLAN
sheet no.	L-2.1

IRRIGATION LEGEND

- 1.5" WATER METER
- 1.5" FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTER
- PVC MAINLINE (SCH 40)
- GATE VALVE
- HUNTER ICV-100, 1" ELECTRIC VALVE WITH: 1" Y-FILTER AND 3/4" SENNINGER PRESSURE REGULATOR FOR DRIP WITH HUNTER ICD DECODERS.
- PVC TREE LATERAL (CLASS 200) WITH: BOWSMITH ML-210 SERIES MULTI-OUTLET EMITTER, 1 PER TREE AS SHOWN ON PLAN, OPENINGS PER TREE: 15 GAL 3 EA / 24" BOX 3 EA / 36" BOX 3 EA / 48" BOX 5 EA
- PVC SHRUB LATERAL (CLASS 200) WITH: BOWSMITH SL-210 SERIES SINGLE OUTLET EMITTER, WITH DRIP DISTRIBUTION TUBING (5' MAX), PEPCO OR EQUAL 1 GAL 1 EA / 5 GAL 1 EA
- PVC SLEEVES (SCH 40) (SIZE AS REQUIRED)
- END CAP (FLUSH TYPE)
- HUNTER ACC2 DECODER, 2 WIRE CONTROLLER A2C-75D-SS, METAL WALL MOUNTED USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- STATION # VALVE SIZE

IRRIGATION GENERAL NOTES

- PLAN IS DIAGRAMMATIC. VERIFY EXISTING CONDITIONS IN FIELD. REPORT TO LANDSCAPE ARCHITECT IF CONFLICT ARISES. ALL IRRIGATION MATERIAL TO BE PLACED IN PLANTING AREAS. BLUE STAKE PRIOR TO DIGGING.
- IRRIGATION & ELECTRICAL SLEEVES TO BE SCH 40 PVC OR BETTER. SIZE AND PROVIDE AS REQUIRED.
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- SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 60 PSI. CONTRACTOR TO FIELD VERIFY PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIAL AND NOTIFY CONSULTANT OF ANY DIFFERENCES. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATION TO THE SYSTEM.
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- GENERAL CONTRACTOR RESPONSIBLE FOR 120 VOLT SERVICE AT IRRIGATION CONTROLLER LOCATION. LANDSCAPE CONTRACTOR RESPONSIBLE FOR CONNECTION TO CONTROLLER.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR THE SLEEVING INSTALLATION WITH INSTALLATION OF CONCRETE FLATWORK AND ASPHALT PAVING.
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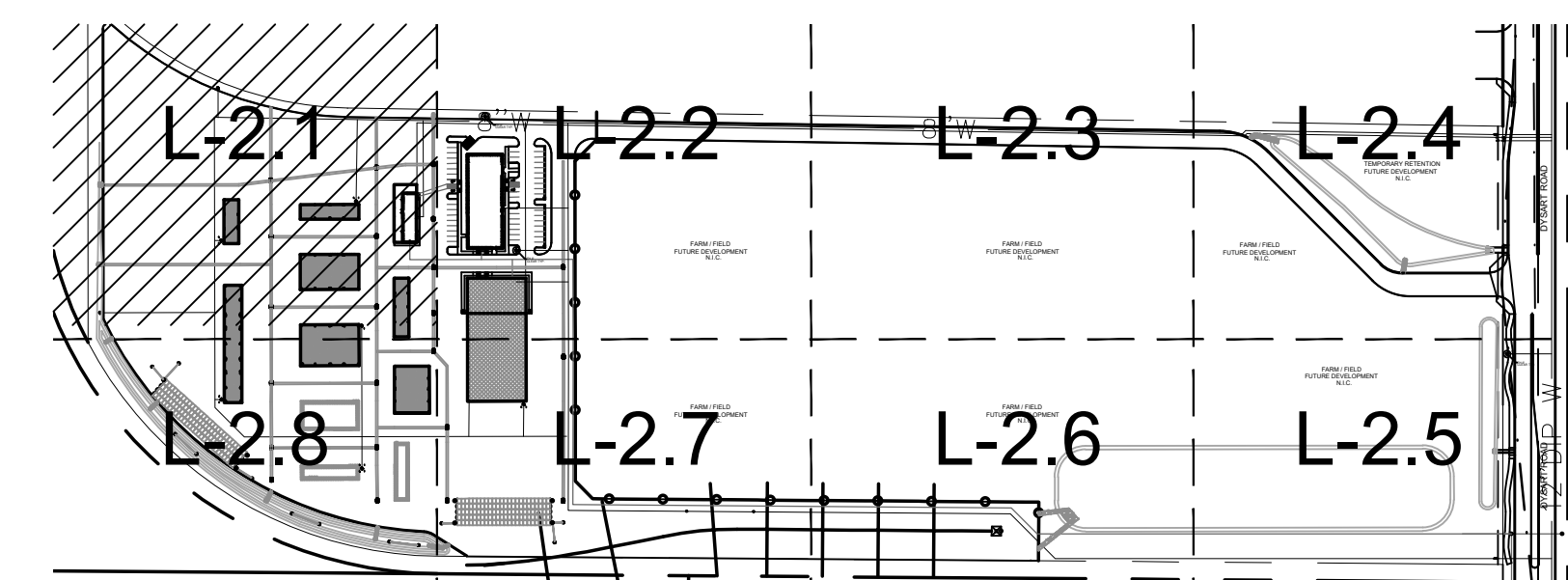
PIPE SCHEDULE

PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
1 1/4"	3 1/4"
1 1/2"	3 3/4"

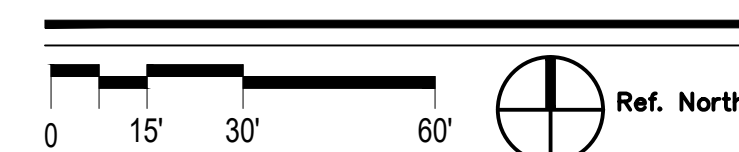
NOTE:
MAINLINE SHOWN IN PAVEMENT FOR GRAPHIC CLARITY.
ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.



MATCHLINE SHEET L-2.2

MATCHLINE SHEET L-2.8

IRRIGATION PLAN



SCALE: 1"=30'-0"

Call at least two full working days before you begin excavation.



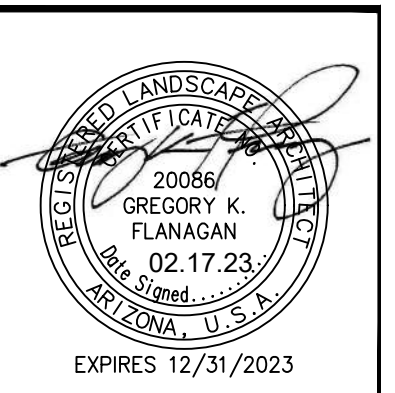
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revisions:	
date:	02.17.2023
contents:	IRRIGATION PLAN
sheet no.	L-2.2

IRRIGATION LEGEND

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- 1.5" FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTER
- PVC MAINLINE (SCH 40)
- GATE VALVE
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- END CAP (FLUSH TYPE)
- HUNTER ACC2 DECODER, 2 WIRE CONTROLLER A2C-75D-SS, METAL WALL MOUNTED
- USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- STATION #
- VALVE SIZE

IRRIGATION GENERAL NOTES

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PIPE SCHEDULE

PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
1 1/4"	3 1/4"
1 1/2"	3 3/4"

NOTE:
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ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

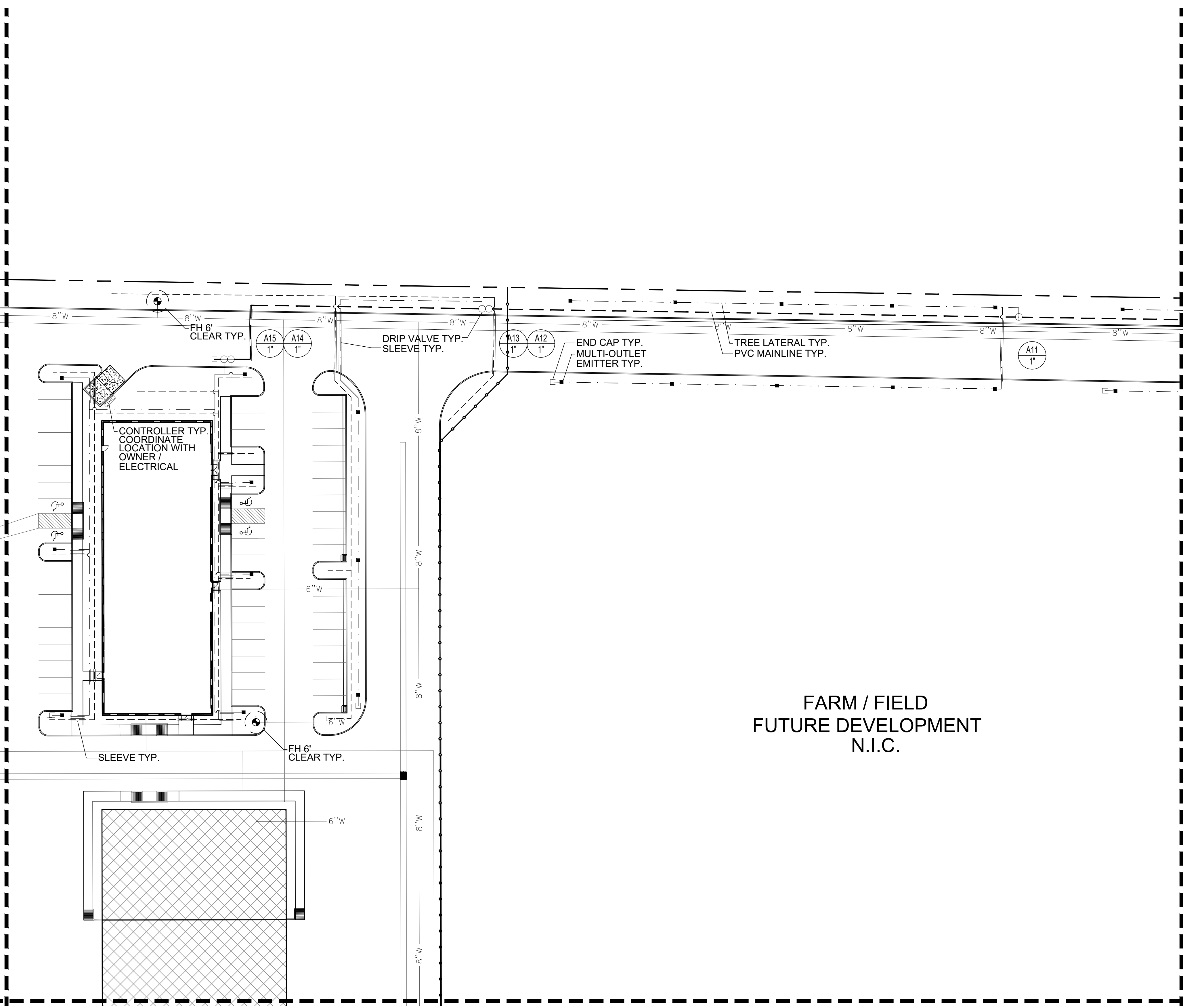
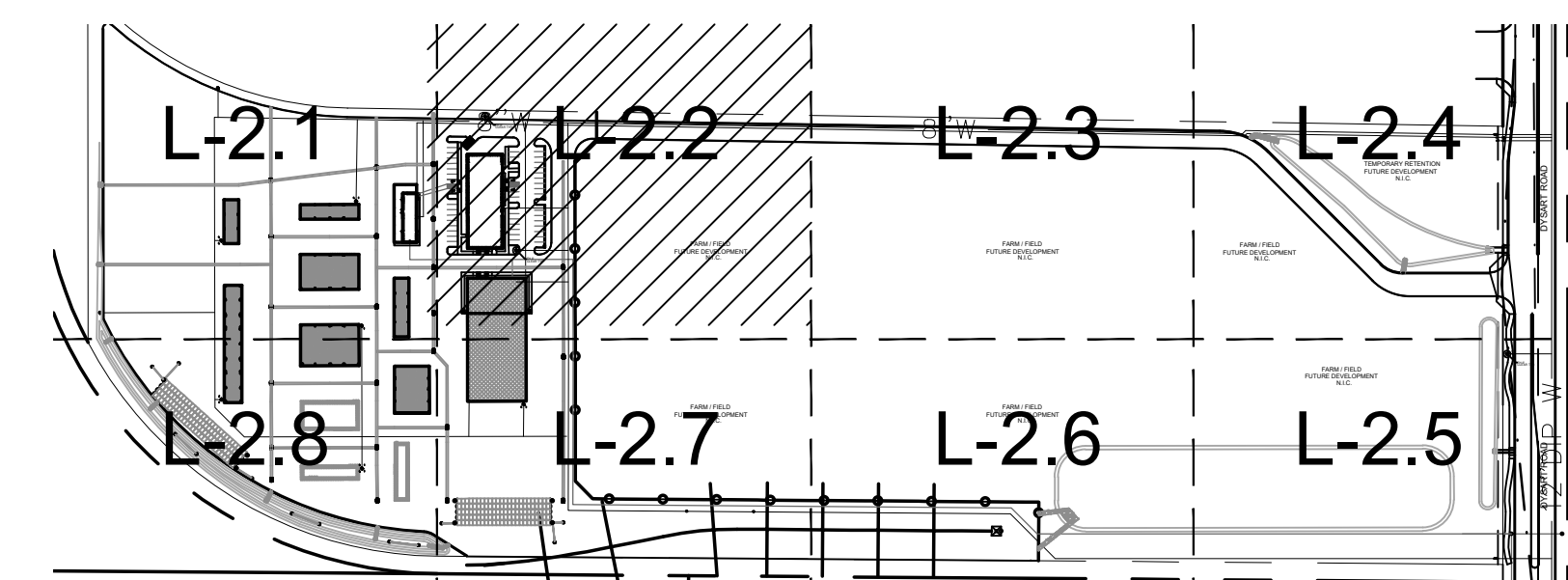
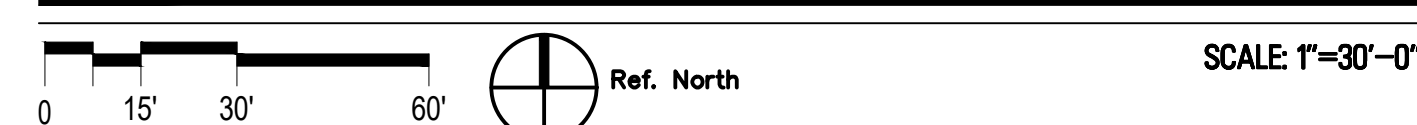
MATCHLINE SHEET L-2.1

MATCHLINE SHEET L-2.3

MATCHLINE SHEET L-2.7

FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.

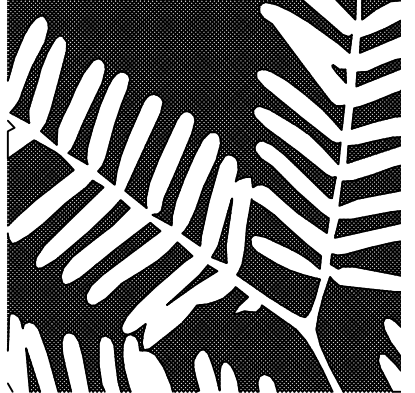
IRRIGATION PLAN



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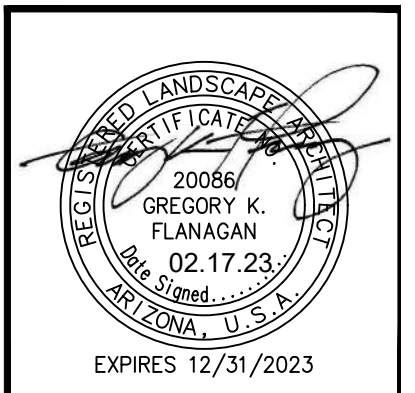


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revisions:	
date:	02.17.2023
contents:	IRRIGATION PLAN
sheet no.	L-2.3

IRRIGATION LEGEND

- 1.5" WATER METER
- 1.5" FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTER
- PVC MAINLINE (SCH 40)
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- STATION #
- VALVE SIZE

IRRIGATION GENERAL NOTES

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PIPE SCHEDULE

PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
1 1/4"	3 1/4"
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NOTE:
MAINLINE SHOWN IN PAVEMENT FOR GRAPHIC CLARITY.
ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

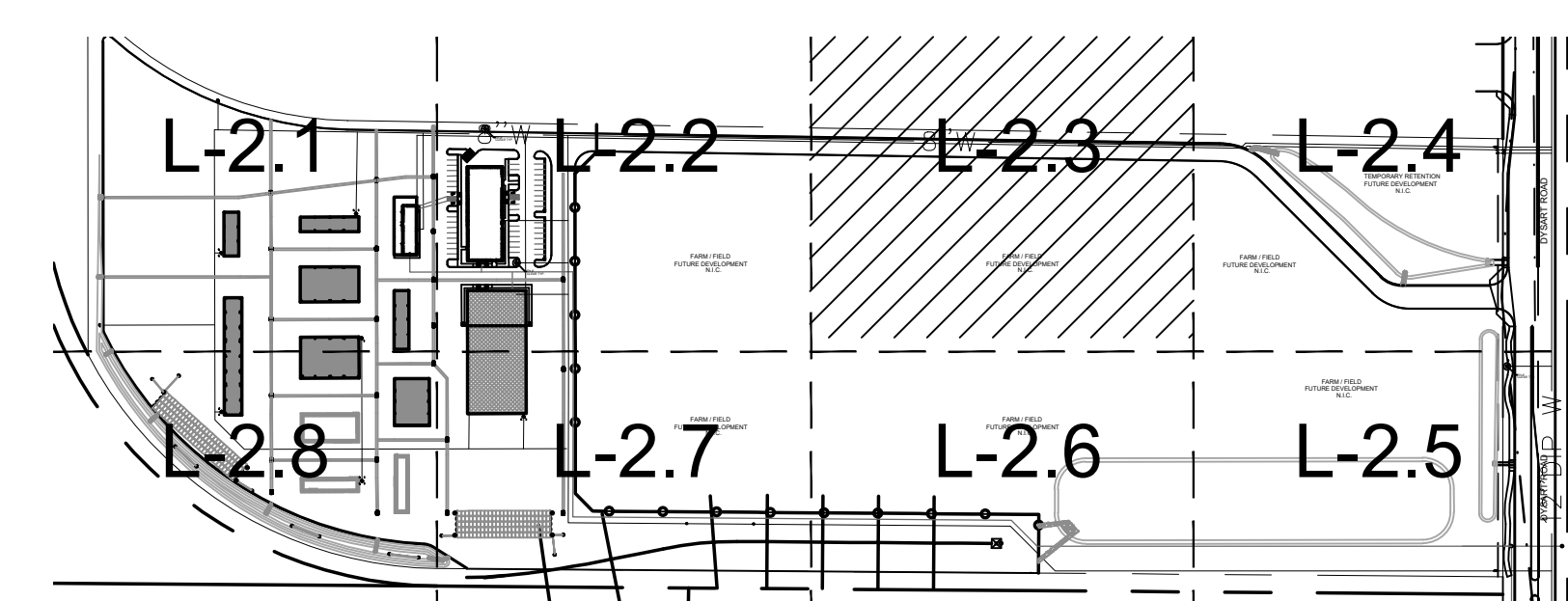
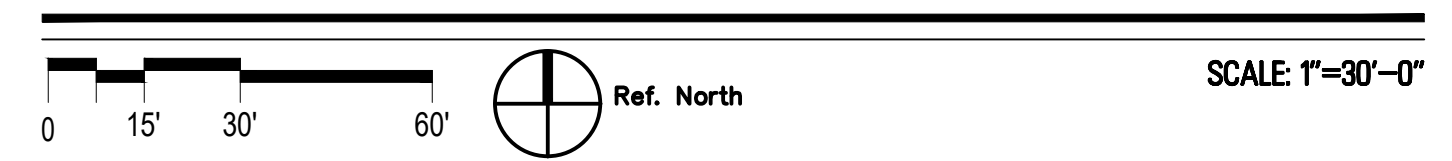
FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.

MATCHLINE SHEET L-2.2

MATCHLINE SHEET L-2.4

MATCHLINE SHEET L-2.6

IRRIGATION PLAN



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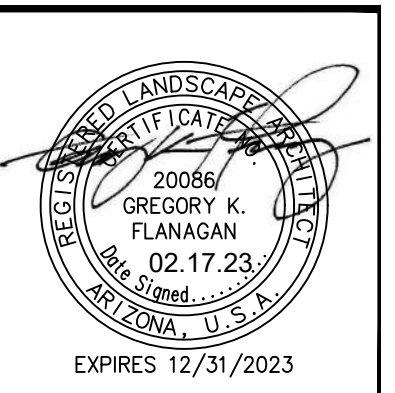


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revisions:

date: 02.17.2023

contents: IRRIGATION PLAN

sheet no. L-2.4

IRRIGATION LEGEND

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- USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- STATION # VALVE SIZE

IRRIGATION GENERAL NOTES

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PIPE SCHEDULE

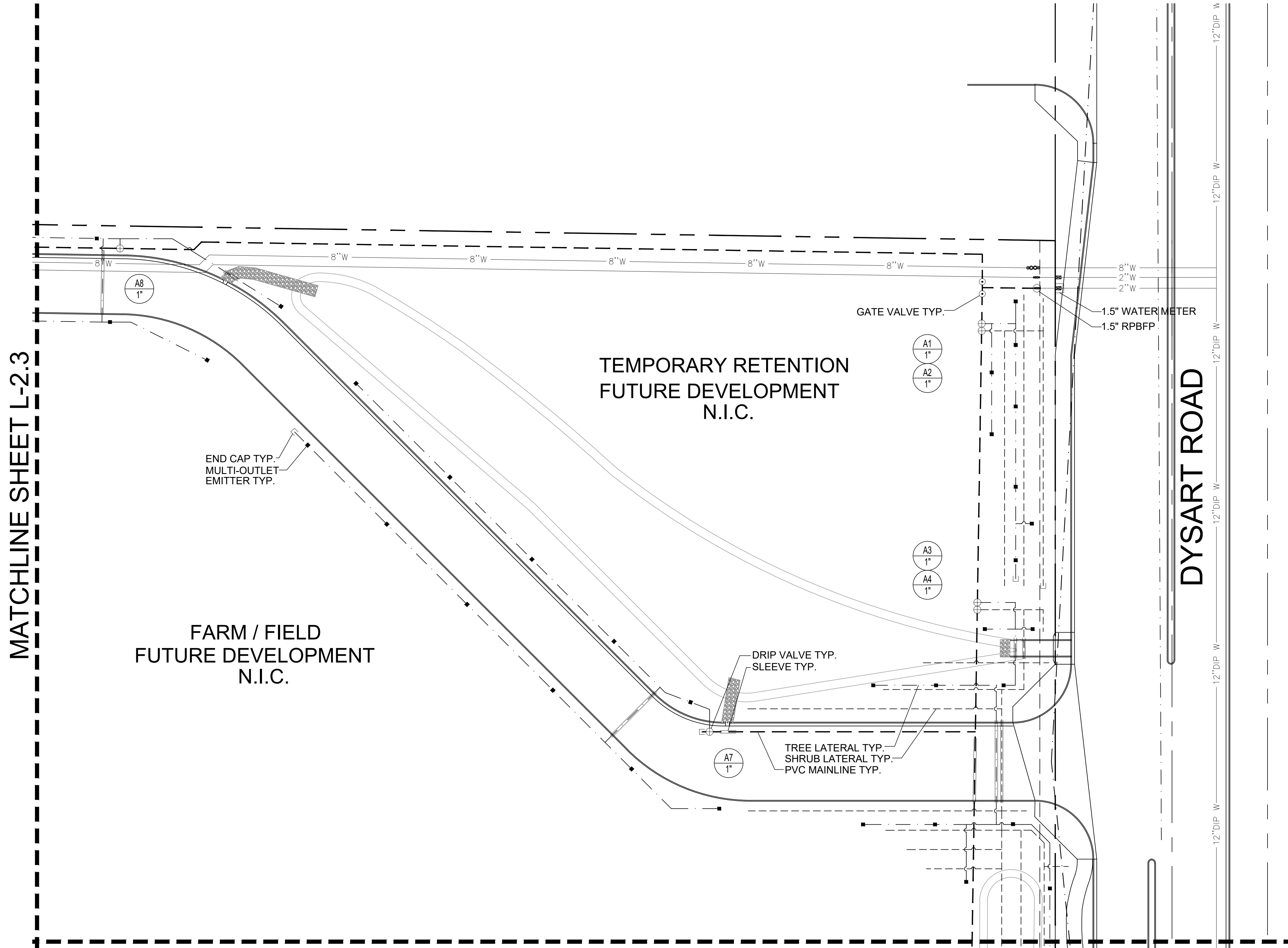
PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
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SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
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1"	2 1/2"
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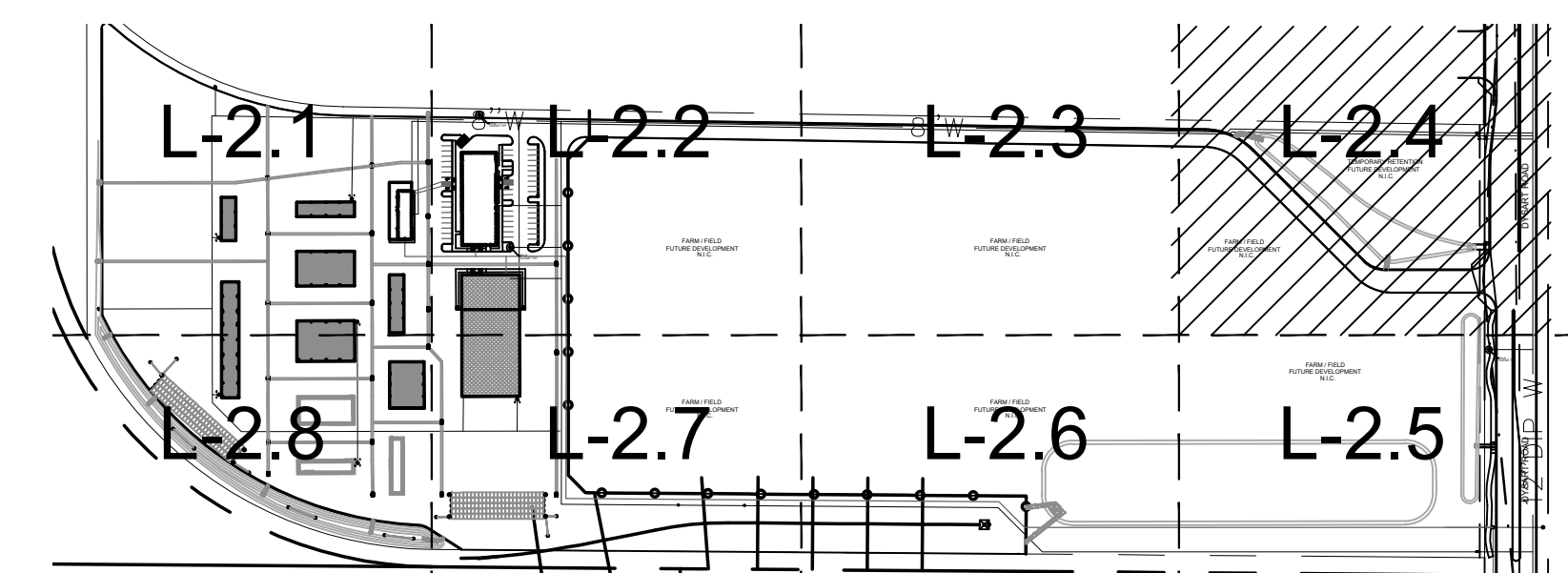
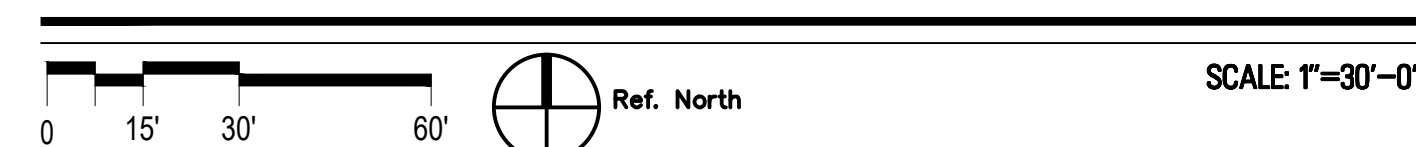
NOTE:
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ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

MATCHLINE SHEET L-2.3



MATCHLINE SHEET L-2.5

IRRIGATION PLAN



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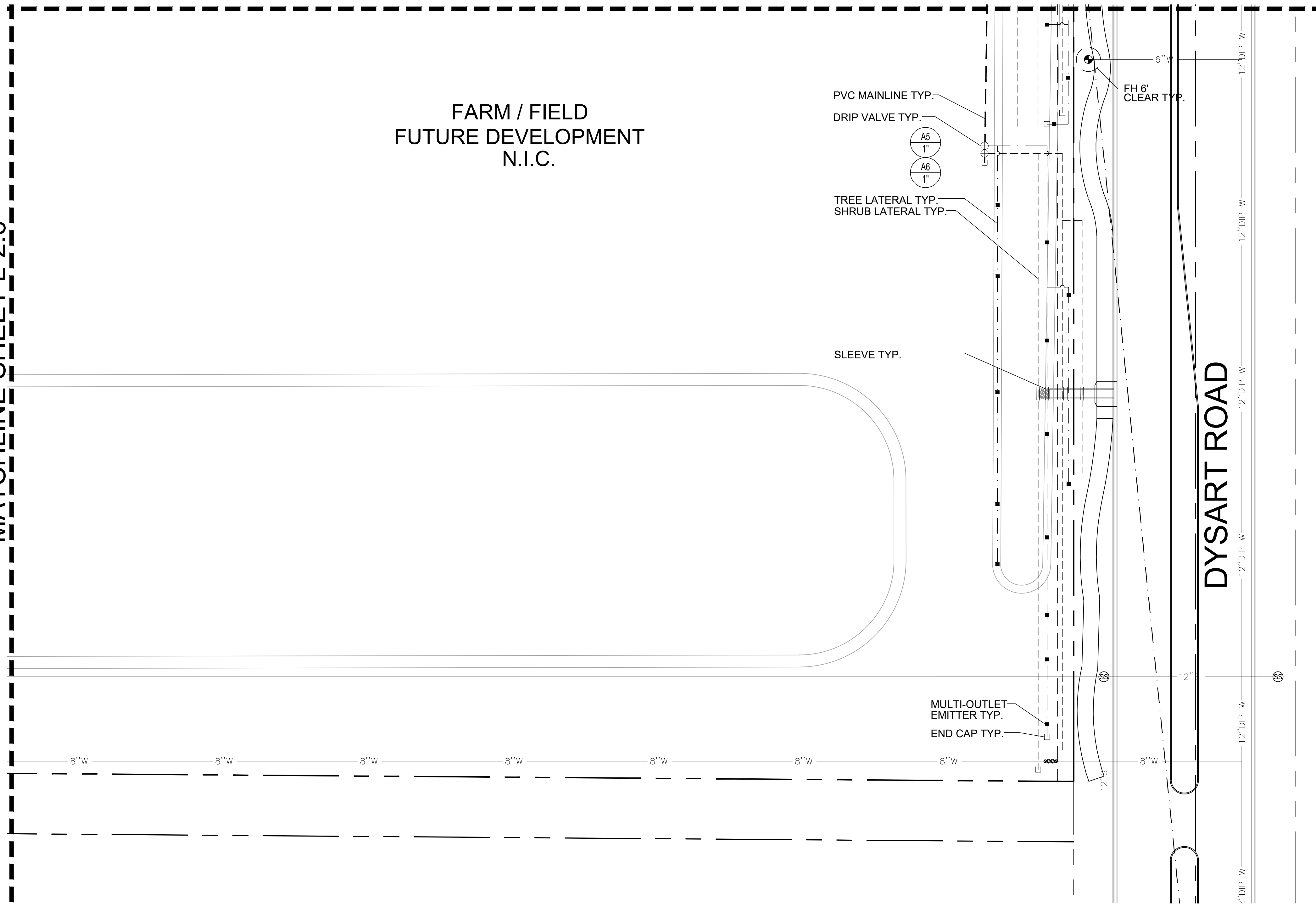
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MATCHLINE SHEET L-2.6

MATCHLINE SHEET L-2.4

FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.



IRRIGATION LEGEND

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- GATE VALVE
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IRRIGATION GENERAL NOTES

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PIPE SCHEDULE

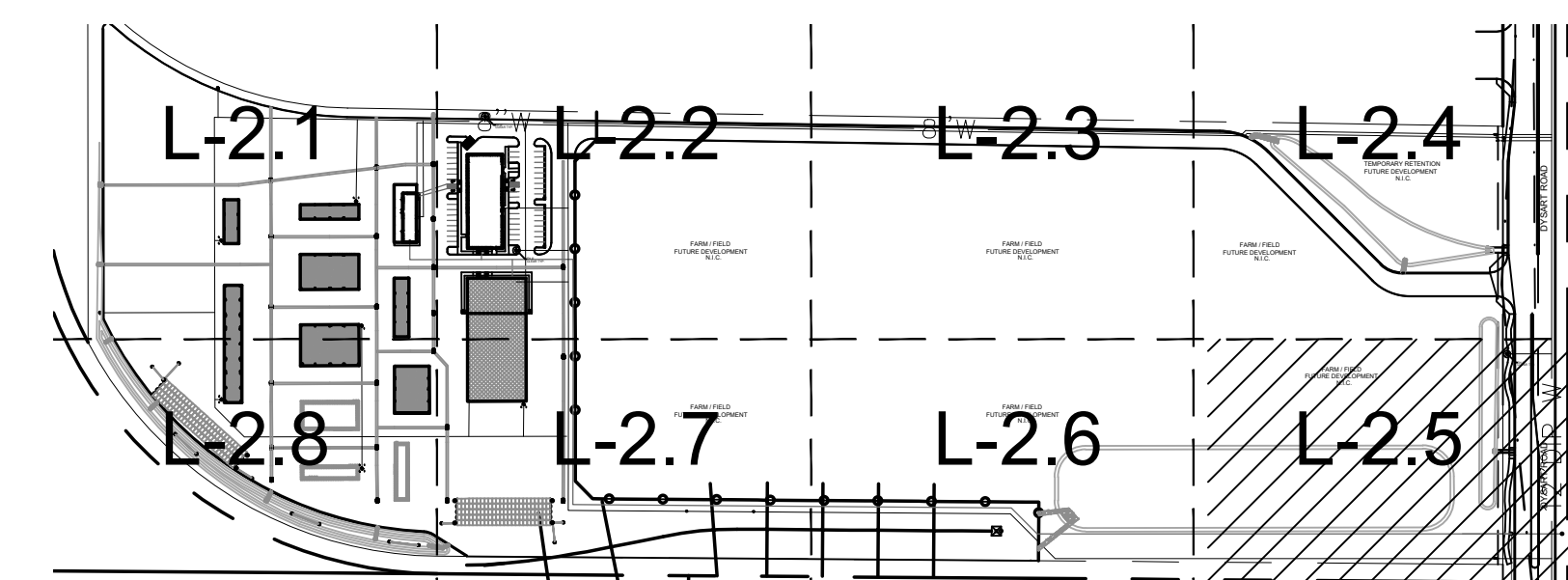
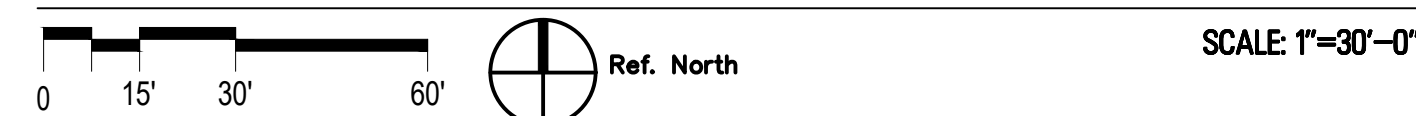
PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
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1 1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
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1 1/2"	3 3/4"

NOTE:
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ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

IRRIGATION PLAN

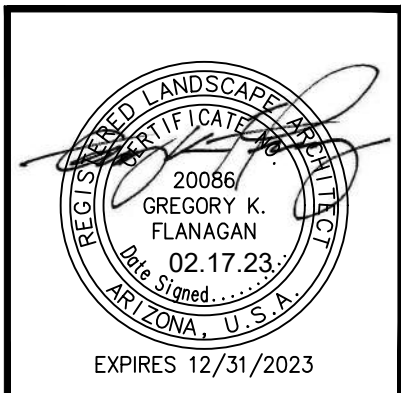


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4626 N. 44th STREET PHOENIX, AZ 85018
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602 . 812 . 8683 fax



revisions:

date: 02.17.2023

contents: IRRIGATION PLAN

sheet no. L-2.5

Call at least two full working days before you begin excavation.

ARIZONA 811
Arizona Blue Stake, Inc.

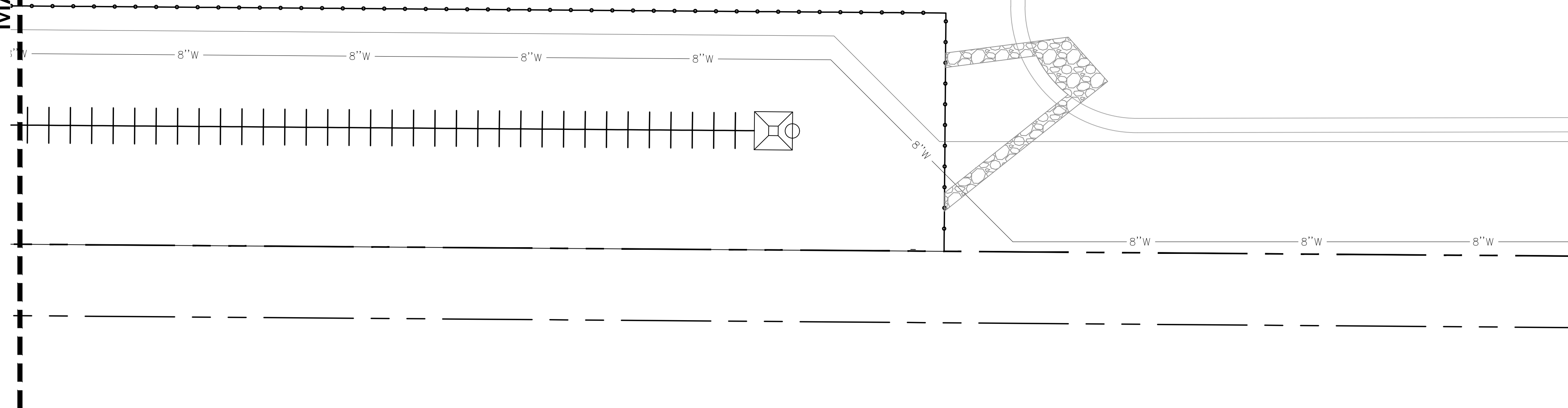
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

MATCHLINE SHEET L-2.3

FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.

MATCHLINE SHEET L-2.7

MATCHLINE SHEET L-2.5



IRRIGATION LEGEND

- 1.5" WATER METER
- 1.5" FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTER
- PVC MAINLINE (SCH 40)
- GATE VALVE
- HUNTER ICV-100, 1" ELECTRIC VALVE WITH: 1" Y-FILTER AND 3/4" SENNINGER PRESSURE REGULATOR FOR DRIP WITH HUNTER ICD DECODERS.
- PVC TREE LATERAL (CLASS 200) WITH: BOWSMITH ML-210 SERIES MULTI-OUTLET EMITTER, 1 PER TREE AS SHOWN ON PLAN, OPENINGS PER TREE: 15 GAL 3 EA / 24" BOX 3 EA / 36" BOX 3 EA / 48" BOX 5 EA
- PVC SHRUB LATERAL (CLASS 200) WITH: BOWSMITH SL-210 SERIES SINGLE OUTLET EMITTER, WITH DRIP DISTRIBUTION TUBING (5' MAX), PEPCO OR EQUAL 1 GAL 1 EA / 5 GAL 1 EA
- ==== PVC SLEEVES (SCH 40) (SIZE AS REQUIRED)
- END CAP (FLUSH TYPE)
- ⊞ HUNTER ACC2 DECODER, 2 WIRE CONTROLLER A2C-75D-SS, METAL WALL MOUNTED USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- ⊞ STATION # VALVE SIZE

IRRIGATION GENERAL NOTES

1. PLAN IS DIAGRAMMATIC. VERIFY EXISTING CONDITIONS IN FIELD. REPORT TO LANDSCAPE ARCHITECT IF CONFLICT ARISES. ALL IRRIGATION MATERIAL TO BE PLACED IN PLANTING AREAS. BLUE STAKE PRIOR TO DIGGING.
2. IRRIGATION & ELECTRICAL SLEEVES TO BE SCH 40 PVC OR BETTER. SIZE AND PROVIDE AS REQUIRED.
3. COORDINATE PROGRAMS SO OVERLAP OF STATIONS DOES NOT CAUSE SIGNIFICANT PRESSURE LOSS.
4. SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 60 PSI. CONTRACTOR TO FIELD VERIFY PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIAL AND NOTIFY CONSULTANT OF ANY DIFFERENCES. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATION TO THE SYSTEM.
5. REFER TO SPECIFICATIONS AND DETAILS FOR INSTALLATION PROCEDURES.
6. GENERAL CONTRACTOR RESPONSIBLE FOR 120 VOLT SERVICE AT IRRIGATION CONTROLLER LOCATION. LANDSCAPE CONTRACTOR RESPONSIBLE FOR CONNECTION TO CONTROLLER.
7. LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR THE SLEEVING INSTALLATION WITH INSTALLATION OF CONCRETE FLATWORK AND ASPHALT PAVING.
8. LANDSCAPE CONTRACTOR RESPONSIBLE TO PROTECT EXISTING IMPROVEMENTS. LANDSCAPE CONTRACTOR RESPONSIBLE TO MINIMIZE PLACEMENT OF IRRIGATION MATERIALS IN RETENTION AREAS.

PIPE SCHEDULE

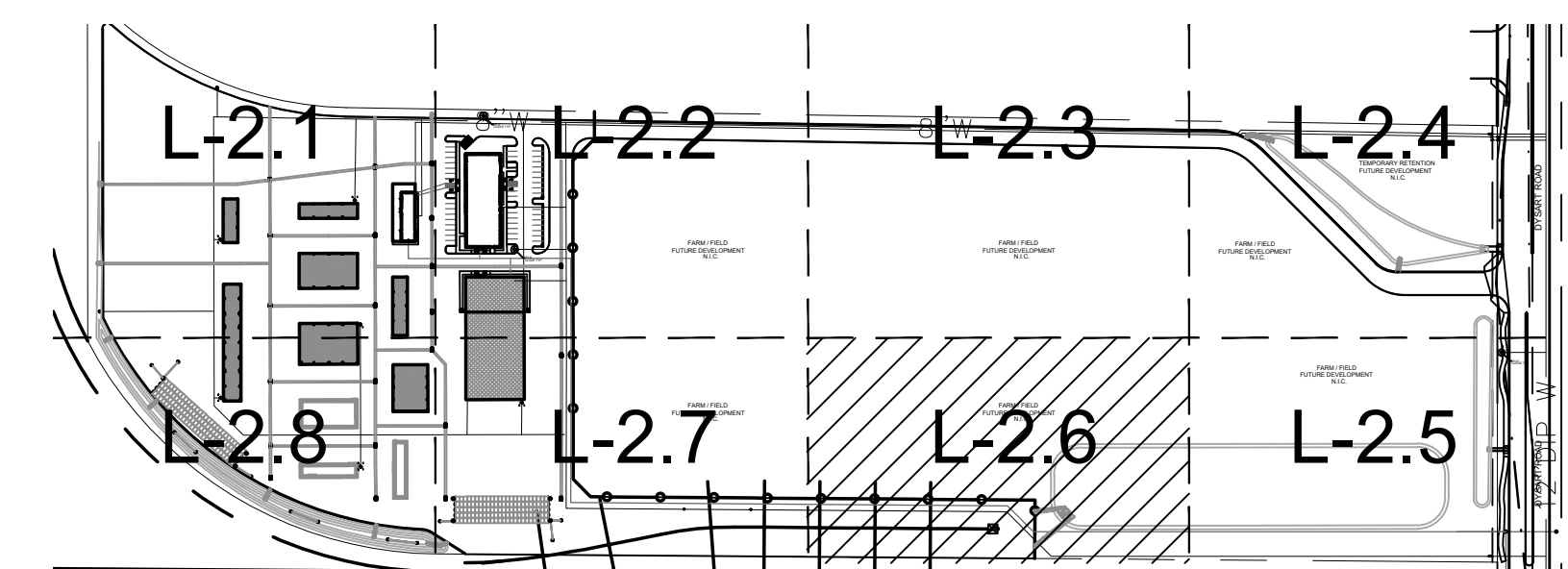
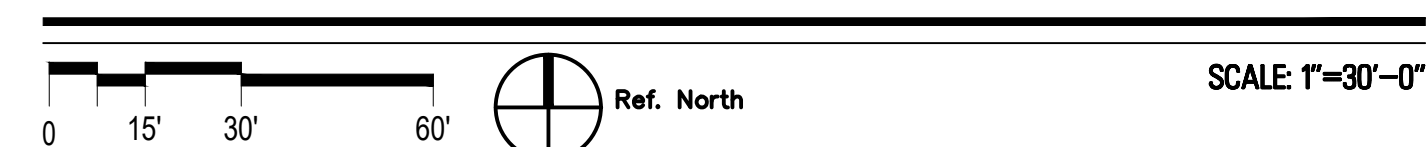
PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
1 1/4"	3 1/4"
1 1/2"	3 3/4"

NOTE:
MAINLINE SHOWN IN PAVEMENT FOR GRAPHIC CLARITY.
ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

IRRIGATION PLAN

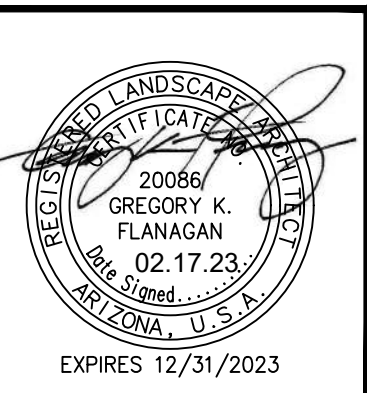


DESERT TRUSS WEST

10100 N. DYSART RD.
EL MIRAGE, ARIZONA 85335

G.K. FLANAGAN ASSOCIATES, INC
LANDSCAPE ARCHITECTURE
PLANNING

4626 N. 44th STREET PHOENIX, AZ 85018
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revisions:

date: 02.17.2023

contents: IRRIGATION PLAN

sheet no. L-2.6

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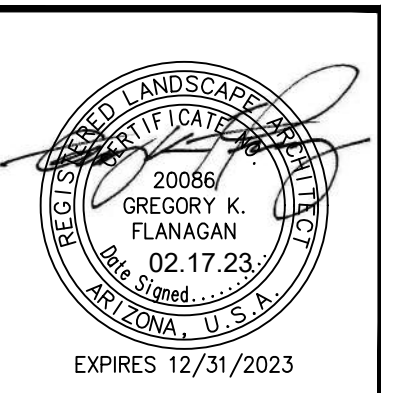


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ASSOCIATES, INC
LANDSCAPE ARCHITECTURE
PLANNING

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602 . 812 . 8681 fax
602 . 812 . 8683 fax



revisions:

date: 02.17.2023

contents: IRRIGATION PLAN

sheet no. L-2.7

IRRIGATION LEGEND

- 1.5" WATER METER
- 1.5" FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTER
- PVC MAINLINE (SCH 40)
- GATE VALVE
- HUNTER ICV-100, 1" ELECTRIC VALVE WITH: 1" Y-FILTER AND 3/4" SENNINGER PRESSURE REGULATOR FOR DRIP WITH HUNTER ICD DECODERS.
- PVC TREE LATERAL (CLASS 200) WITH: BOWSMITH ML-210 SERIES MULTI-OUTLET EMITTER, 1 PER TREE AS SHOWN ON PLAN, OPENINGS PER TREE: 15 GAL 3 EA / 24" BOX 3 EA / 36" BOX 3 EA / 48" BOX 5 EA
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- PVC SLEEVES (SCH 40) (SIZE AS REQUIRED)
- END CAP (FLUSH TYPE)
- HUNTER ACC2 DECODER, 2 WIRE CONTROLLER A2C-75D-SS, METAL WALL MOUNTED USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- STATION # VALVE SIZE

IRRIGATION GENERAL NOTES

1. PLAN IS DIAGRAMMATIC. VERIFY EXISTING CONDITIONS IN FIELD. REPORT TO LANDSCAPE ARCHITECT IF CONFLICT ARISES. ALL IRRIGATION MATERIAL TO BE PLACED IN PLANTING AREAS. BLUE STAKE PRIOR TO DIGGING.
2. IRRIGATION & ELECTRICAL SLEEVES TO BE SCH 40 PVC OR BETTER. SIZE AND PROVIDE AS REQUIRED.
3. COORDINATE PROGRAMS SO OVERLAP OF STATIONS DOES NOT CAUSE SIGNIFICANT PRESSURE LOSS.
4. SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 60 PSI. CONTRACTOR TO FIELD VERIFY PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIAL AND NOTIFY CONSULTANT OF ANY DIFFERENCES. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATION TO THE SYSTEM.
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PIPE SCHEDULE

PIPE SIZE	GAL/MIN
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

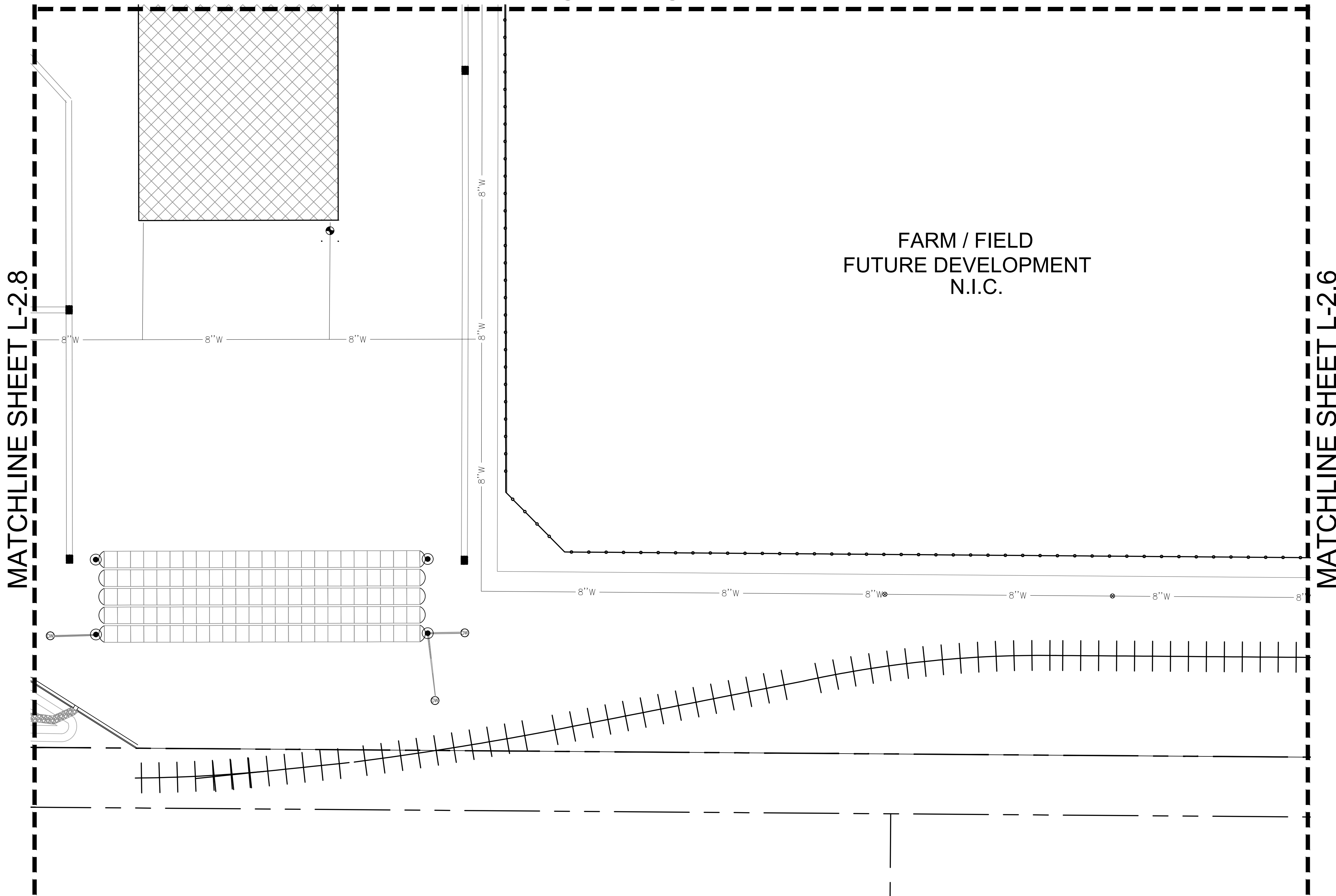
SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1 1/4"
3/4"	2"
1"	2 1/2"
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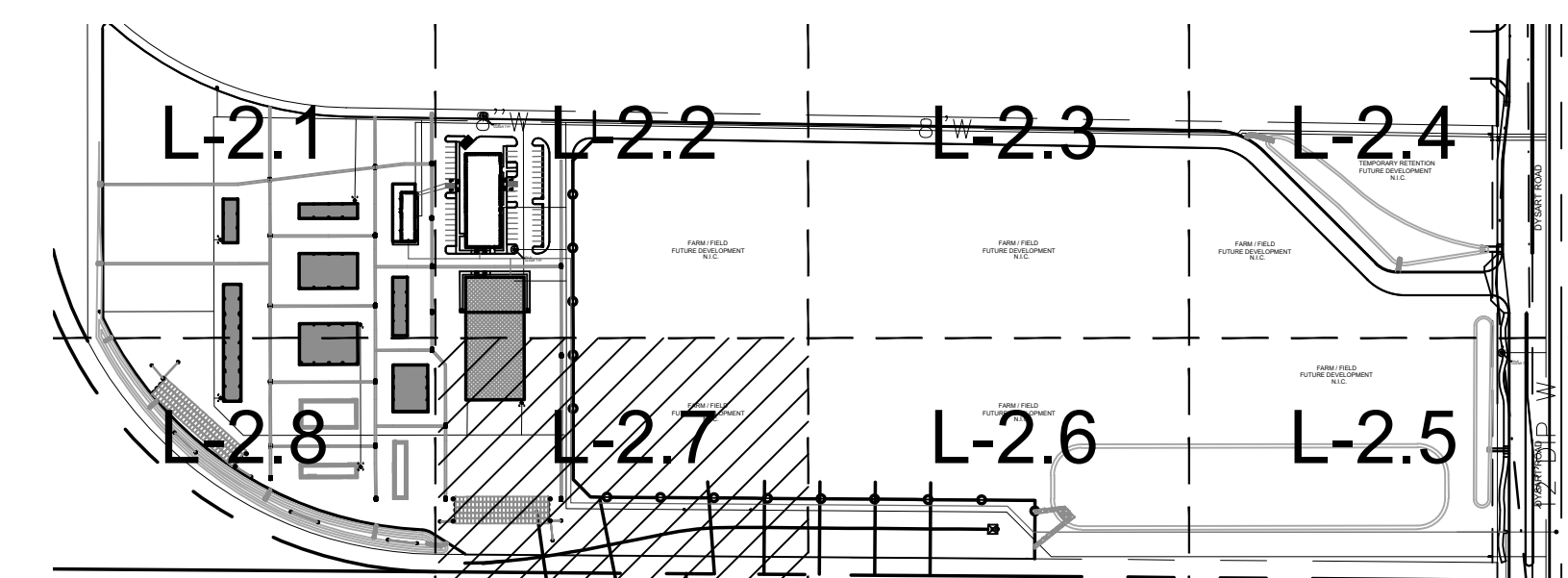
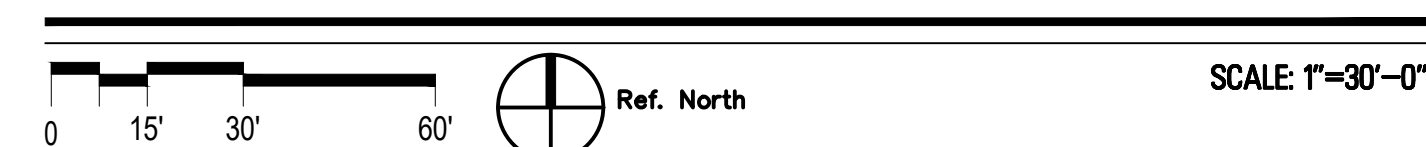
NOTE:
MAINLINE SHOWN IN PAVEMENT FOR GRAPHIC CLARITY.
ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

MATCHLINE SHEET L-2.2

FARM / FIELD
FUTURE DEVELOPMENT
N.I.C.



IRRIGATION PLAN



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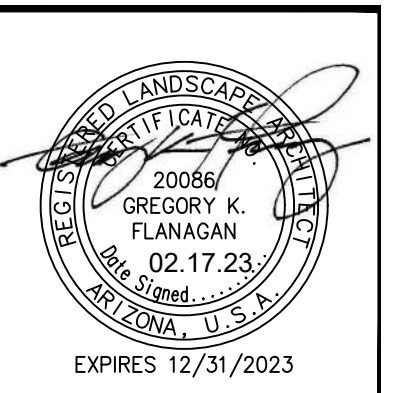


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revisions:	
date:	02.17.2023
contents:	IRRIGATION PLAN
sheet no.	L-2.8

IRRIGATION LEGEND

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USE HUNTER ID2 #12UF, TWO WIRE, TWISTED CABLE PAIR COPPER WIRE WITH DBRY CONNECTORS
- STATION #
- VALVE SIZE

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PIPE SCHEDULE

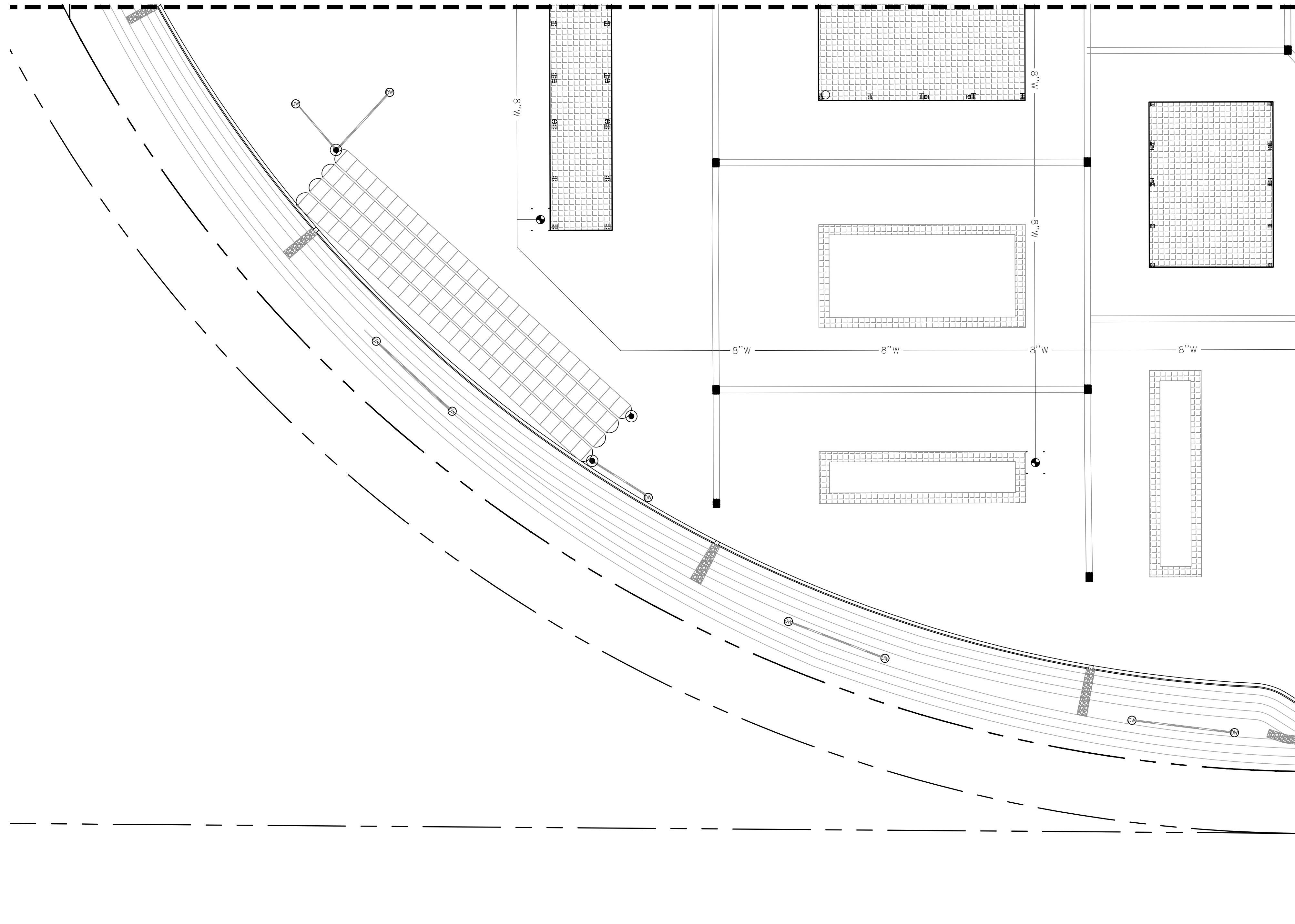
PIPE SIZE	GAL/MIN
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SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
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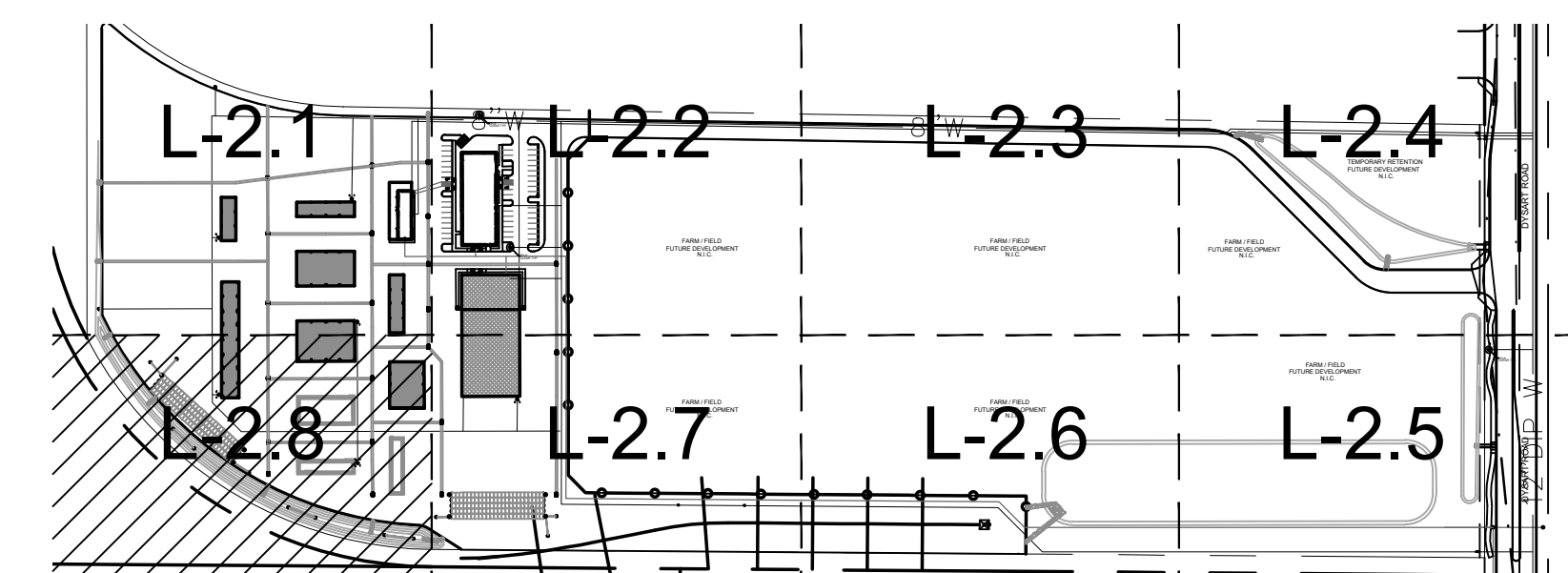
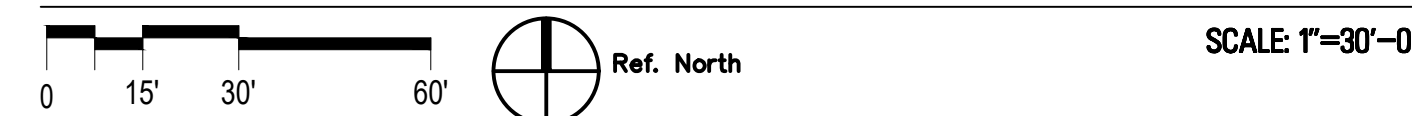
NOTE:
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ACTUAL LOCATION TO BE IN THE LANDSCAPE AREA.
SLEEVE AS REQUIRED.

MATCHLINE SHEET L-2.1



MATCHLINE SHEET L-2.7

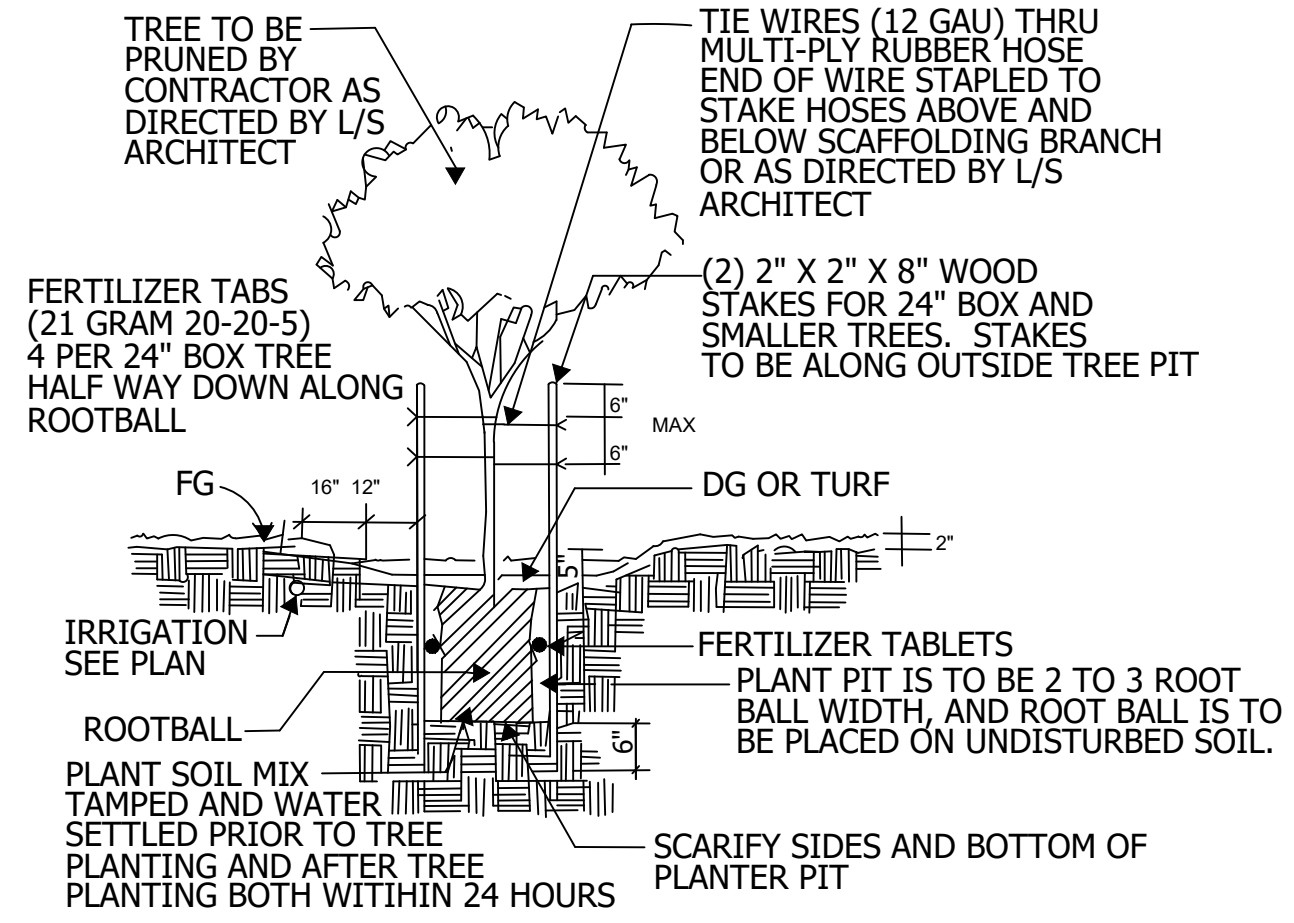
IRRIGATION PLAN



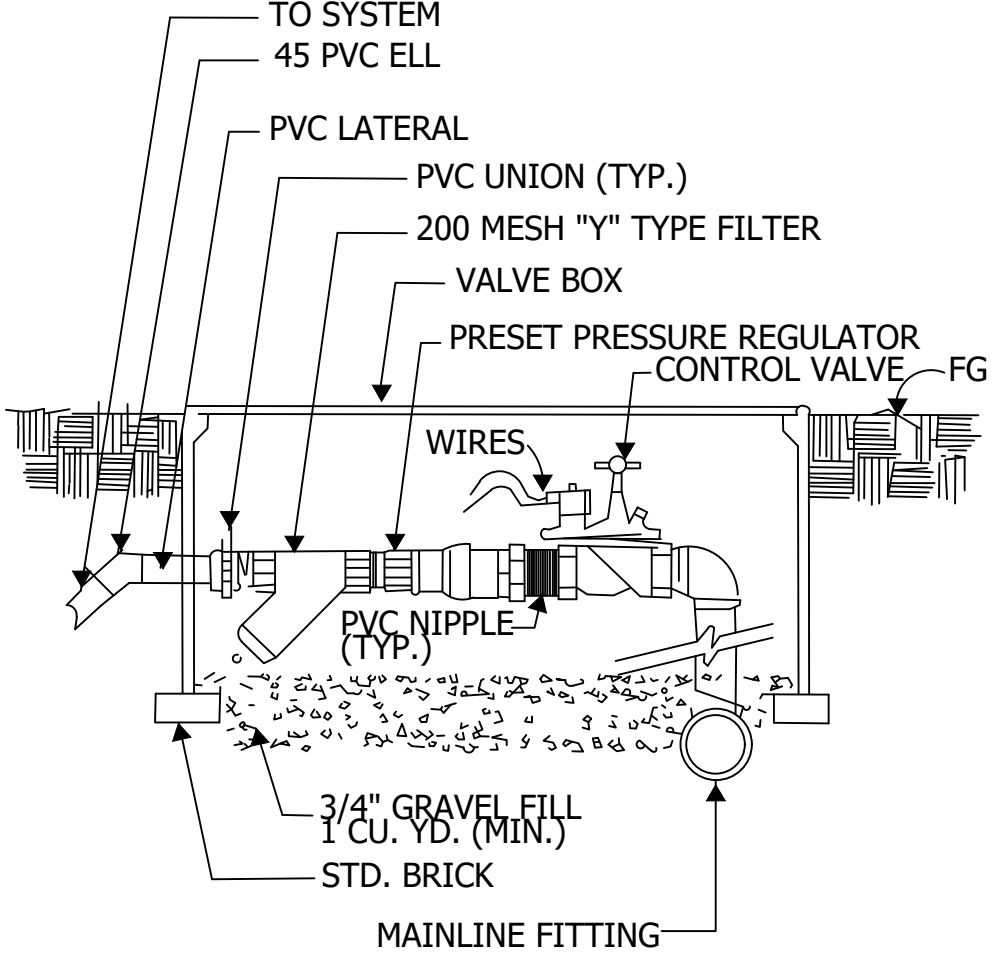
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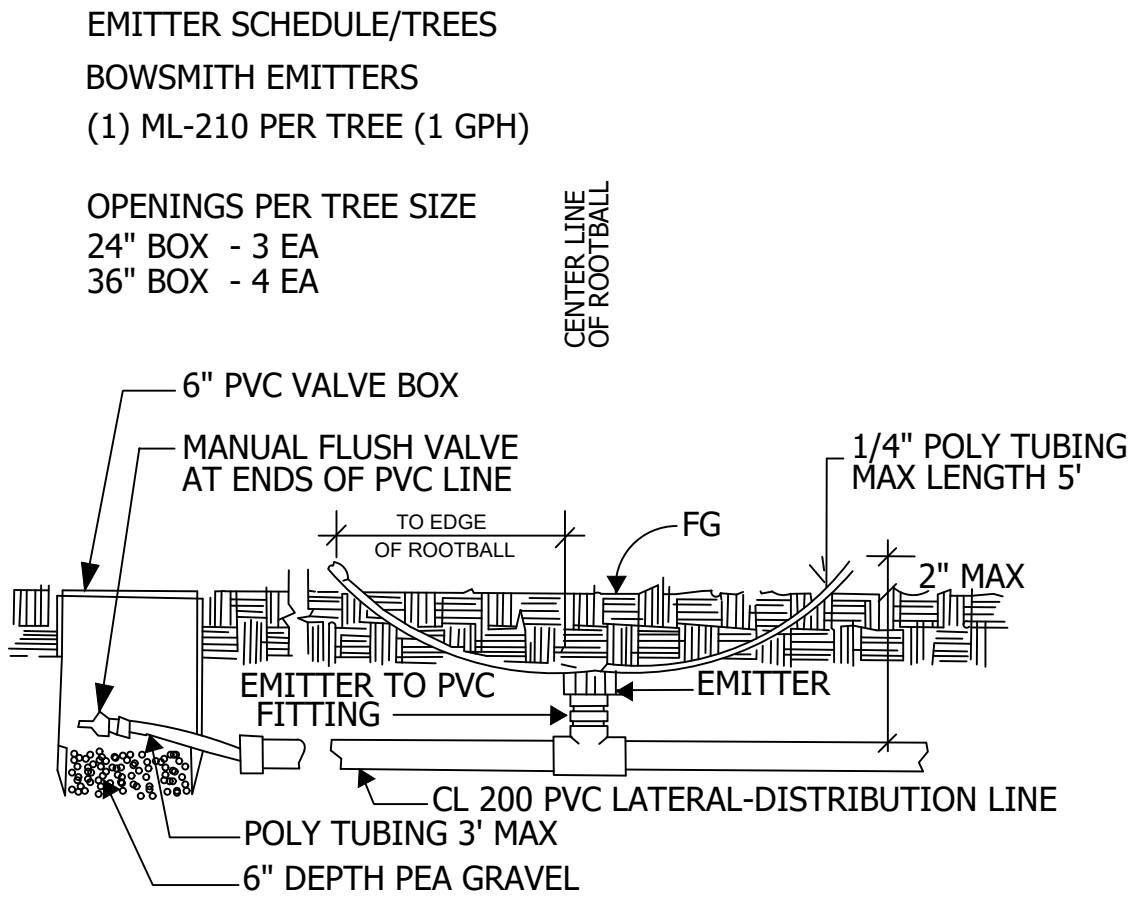
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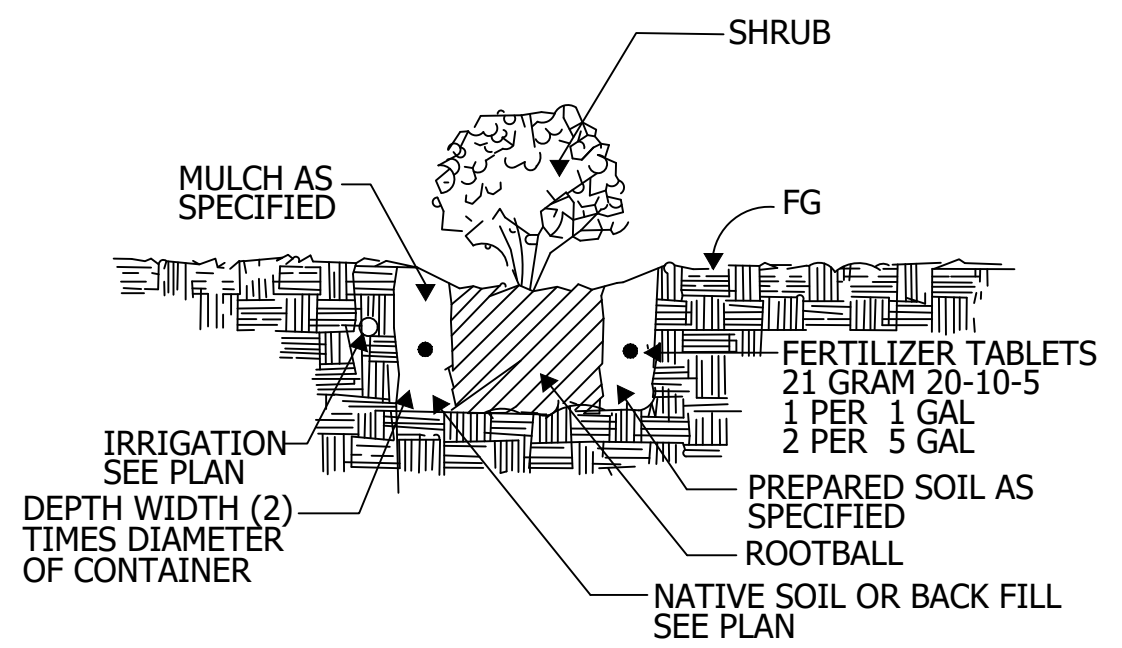
TREE PLANTING DETAIL
N.T.S.



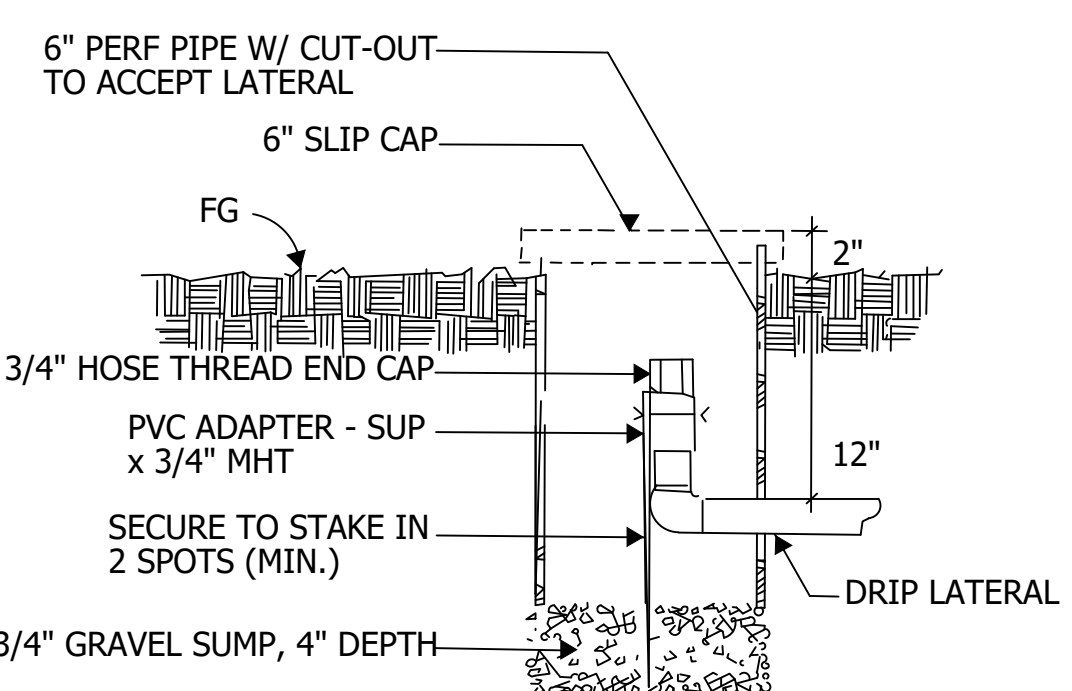
DRIP CONTROL VALVE
N.T.S.



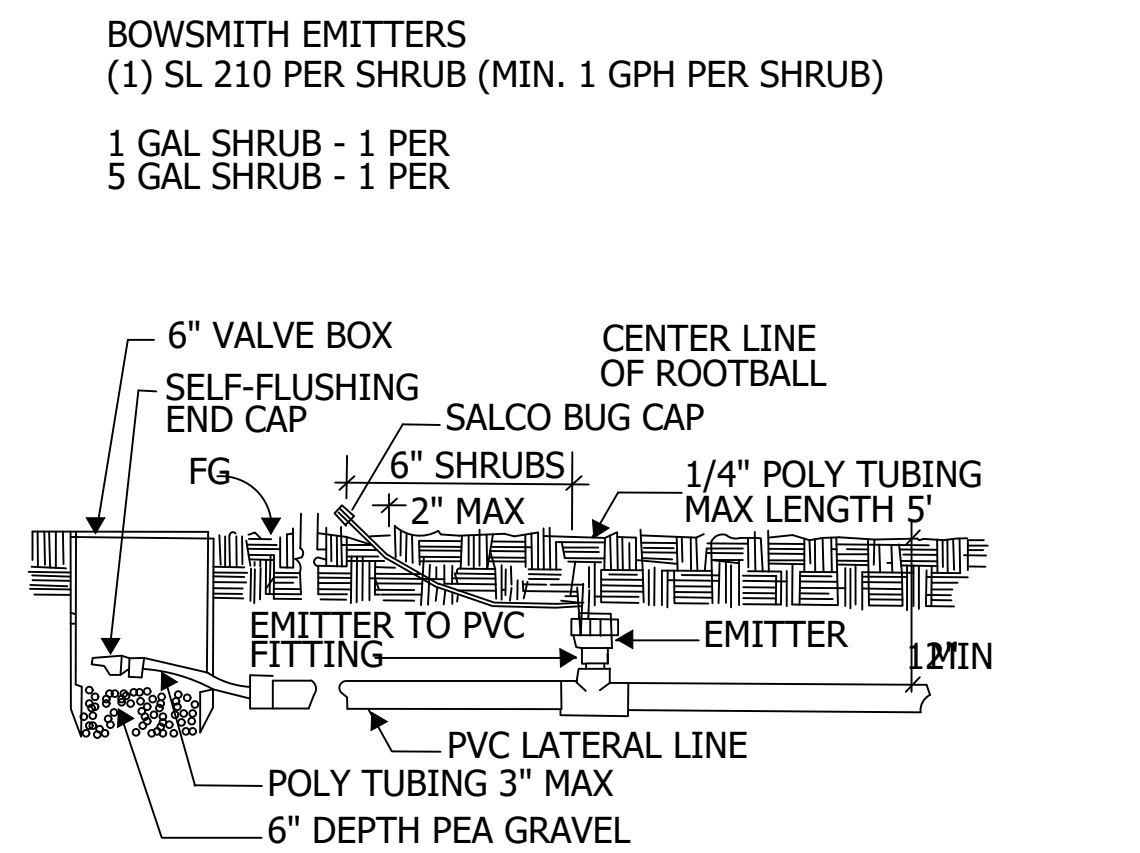
MULTIPLE OUTLET EMITTER (PVC) TREES
N.T.S.



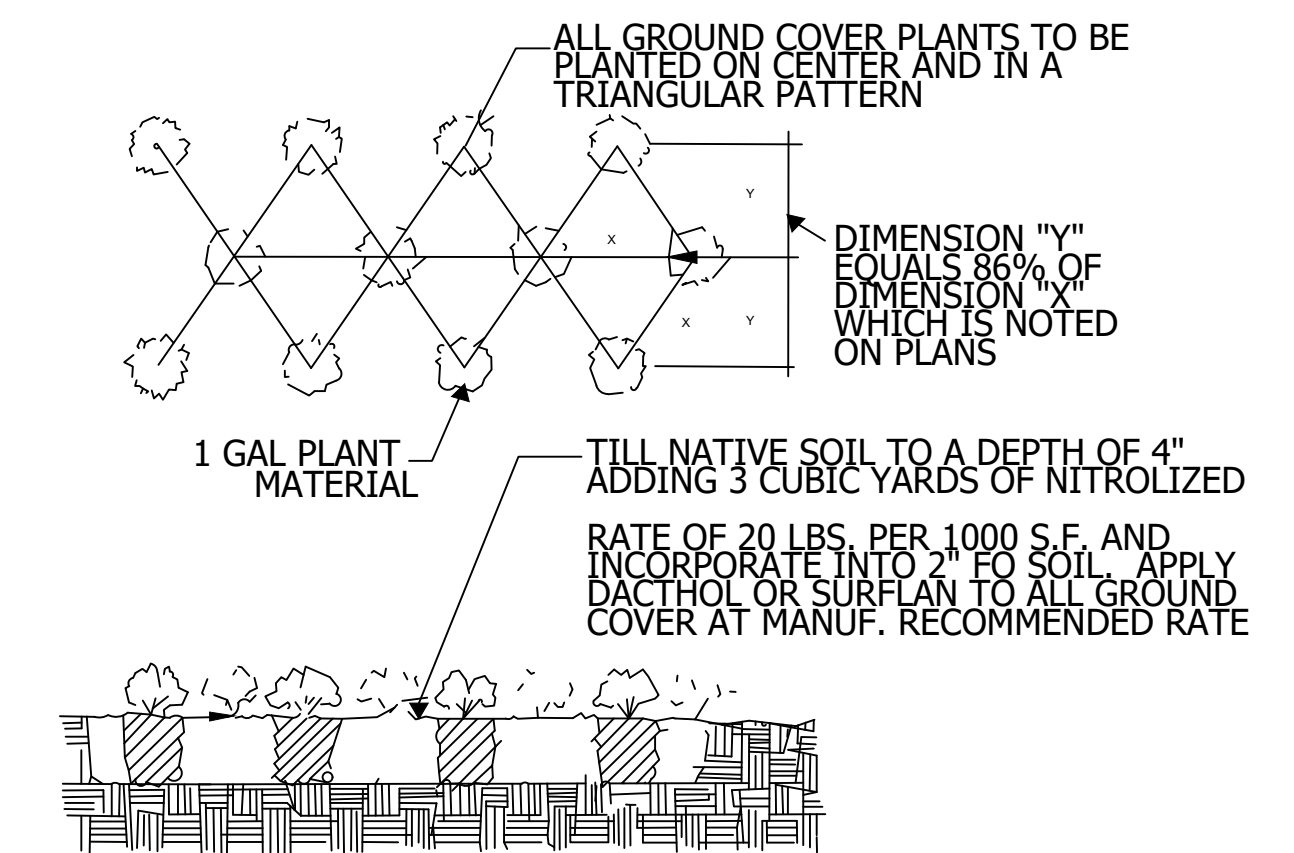
SHRUB PLANTING DETAIL
N.T.S.



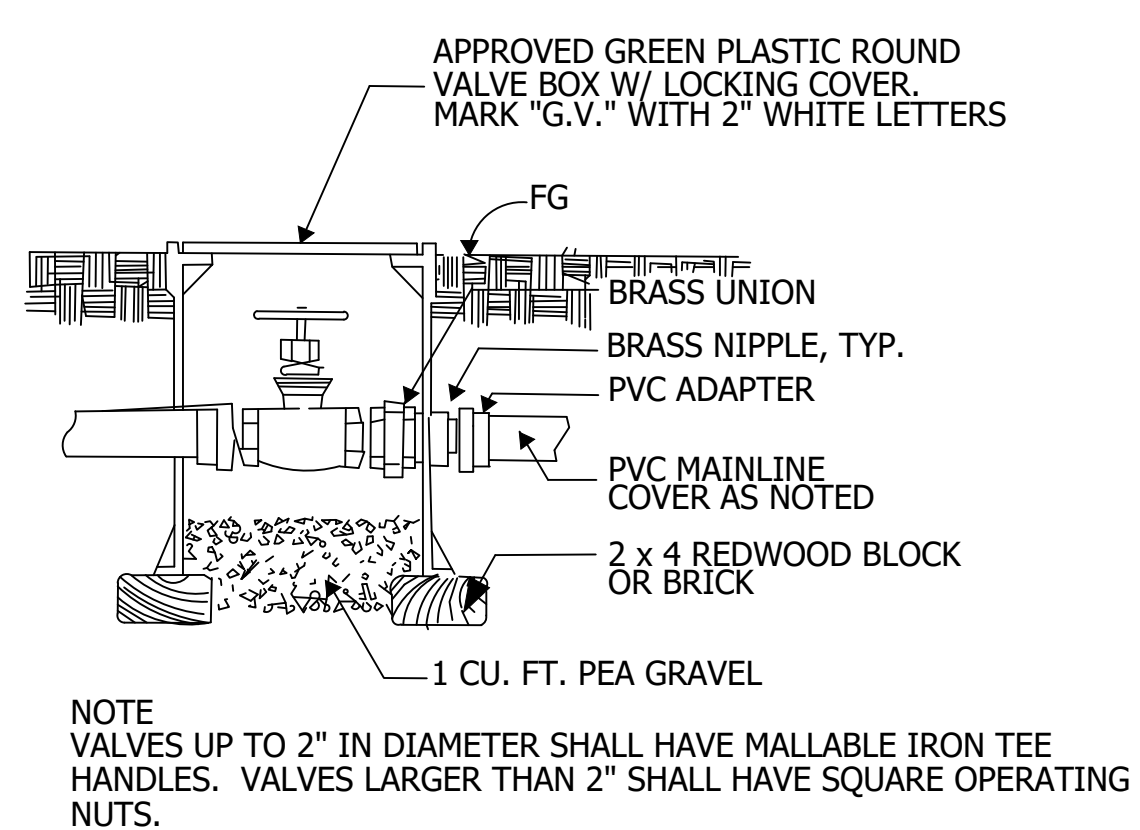
END CAP
N.T.S.



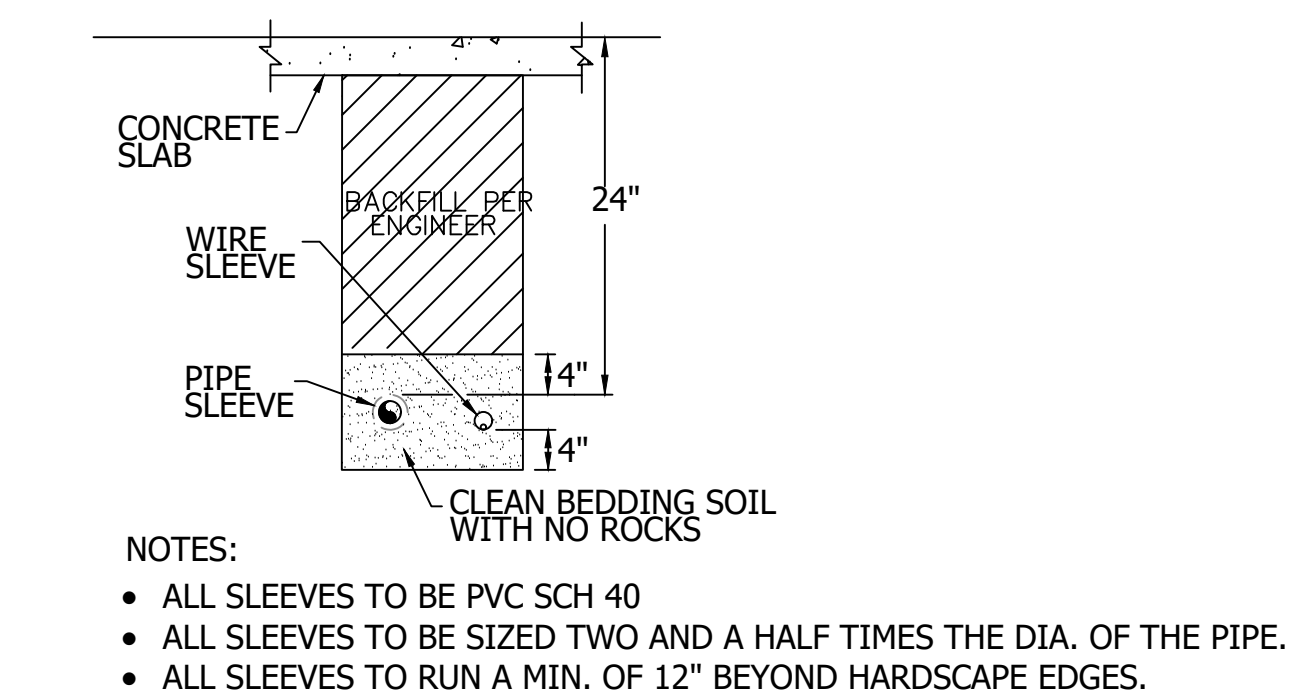
SINGLE OUTLET EMITTER (PVC) SHRUBS
N.T.S.



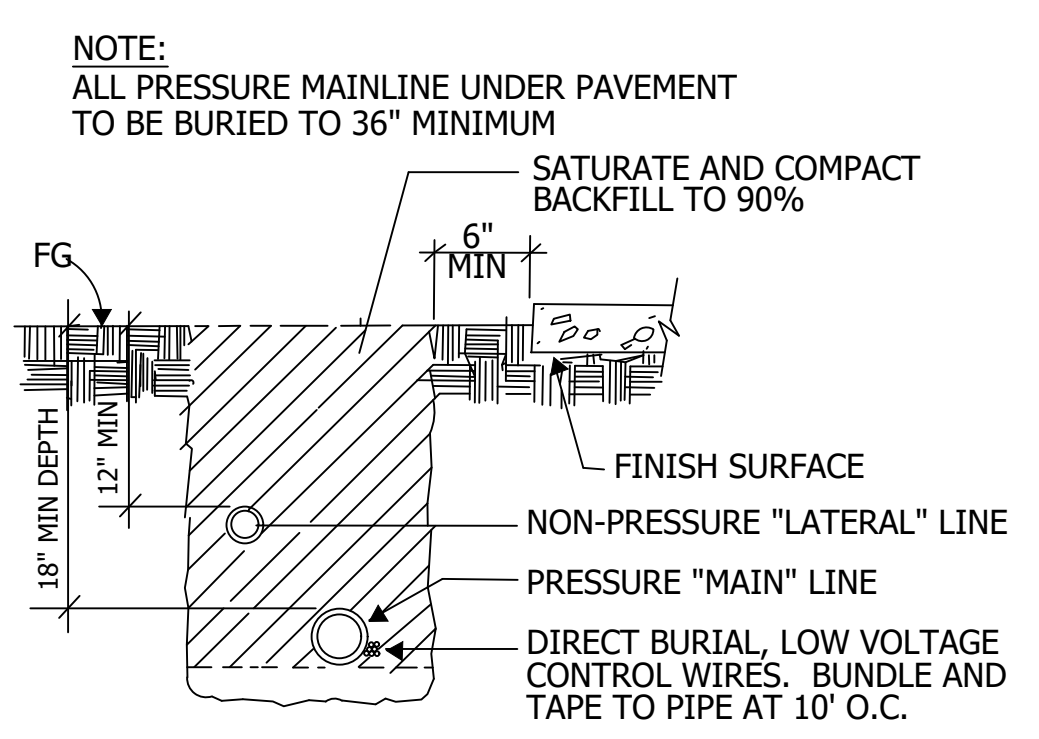
GROUND COVER IN MASS PLANTING AREAS
N.T.S.



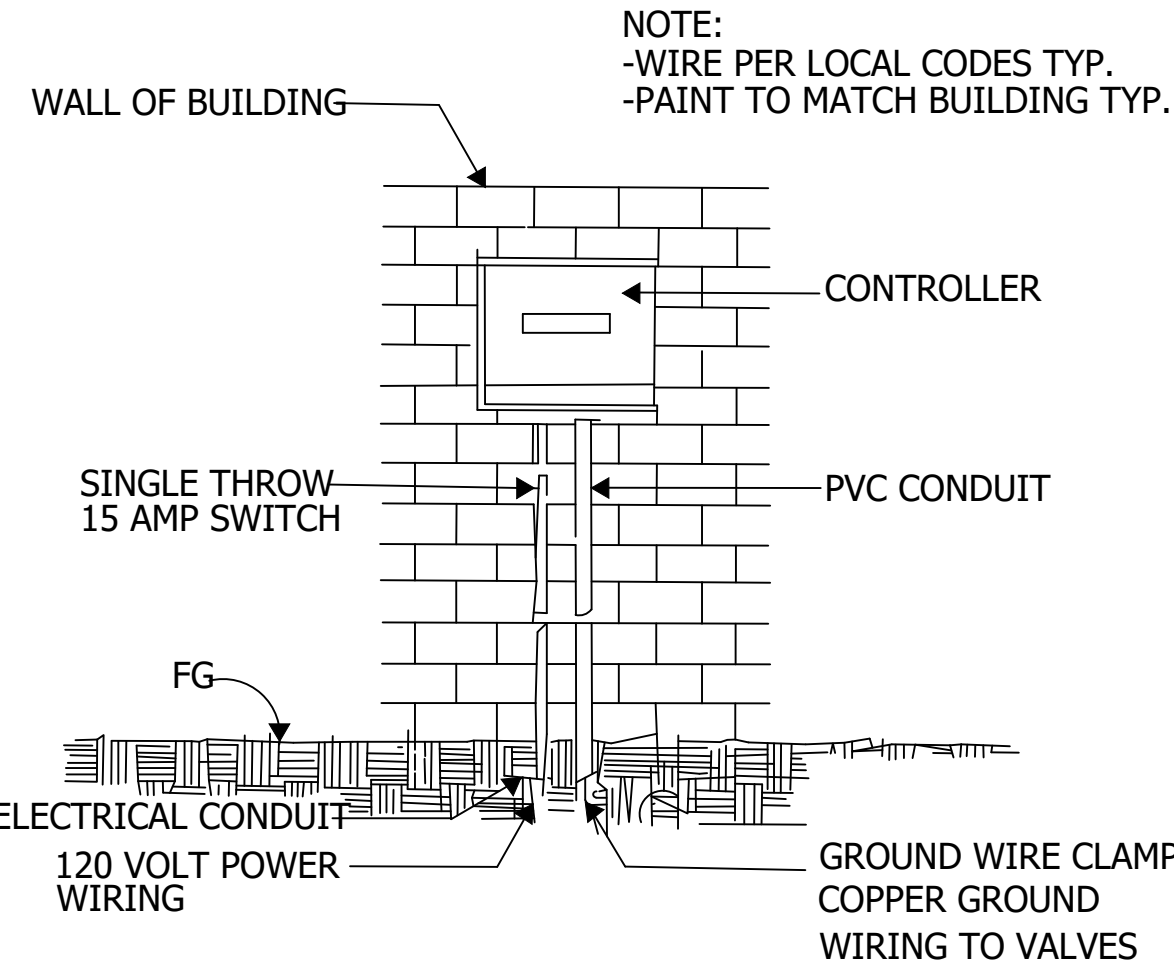
GATE VALVE
N.T.S.



IRRIGATION SLEEVE DETAIL
N.T.S.



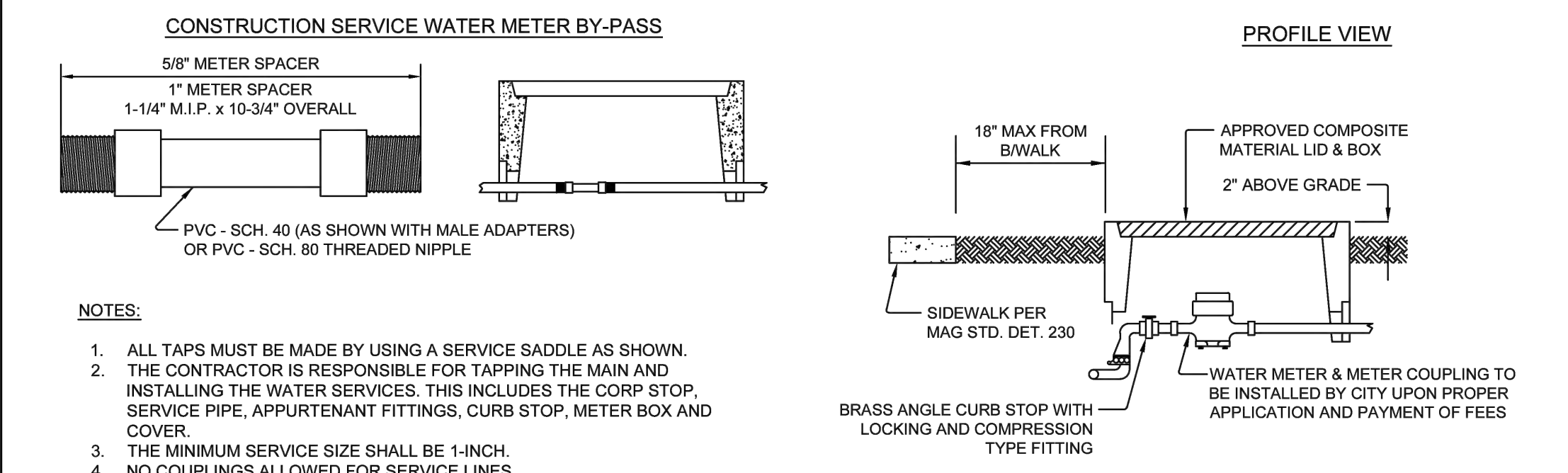
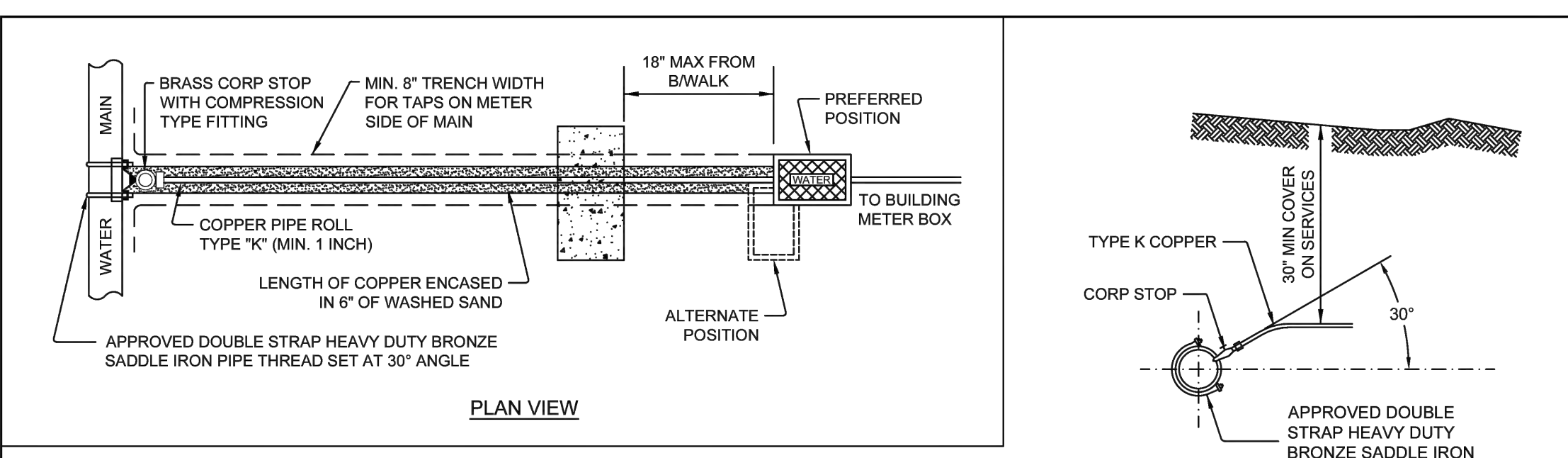
TRENCHING
N.T.S.



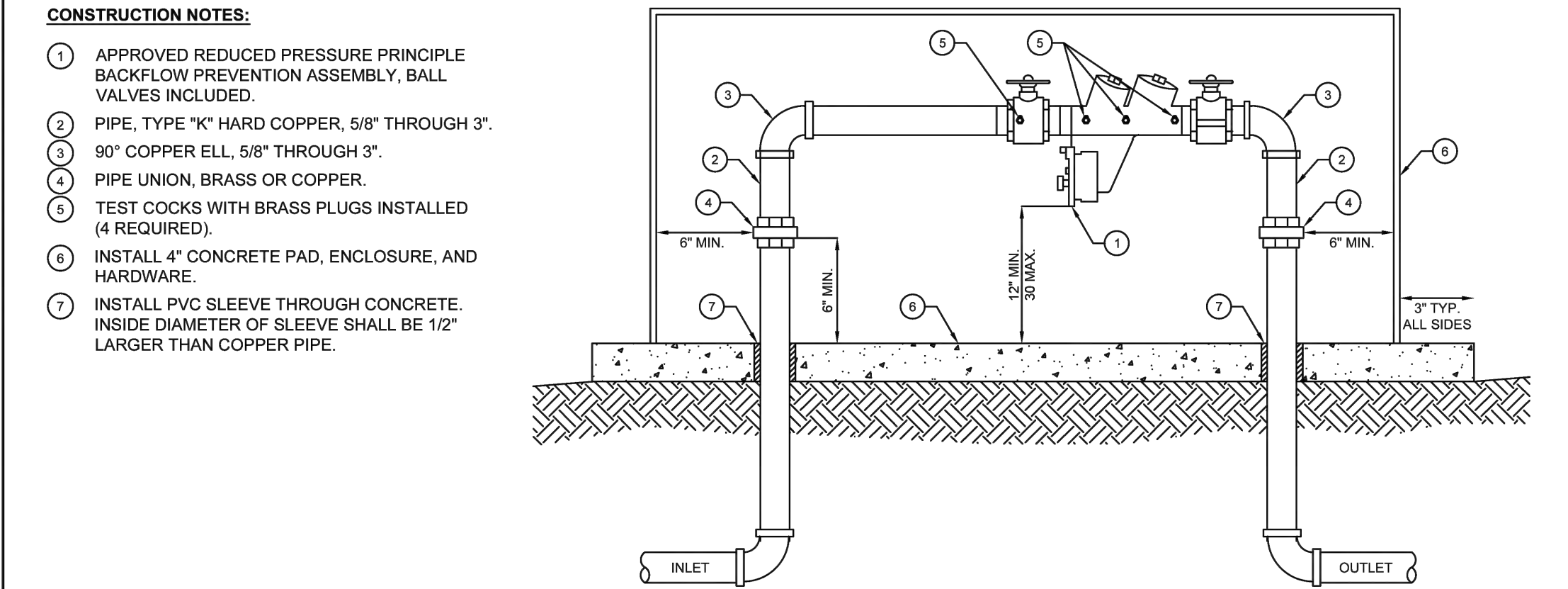
WALL MOUNT CONTROLLER
N.T.S.

EMITTER SCHEDULE/TREES
BOWSMITH EMITTERS
(1) ML-210 PER TREE (1 GPH)
OPENINGS PER TREE SIZE
24\"/>

BOWSMITH EMITTERS
(1) SL 210 PER SHRUB (MIN. 1 GPH PER SHRUB)
1 GAL SHRUB - 1 PER
5 GAL SHRUB - 1 PER



WATER SERVICE CONNECTION 2\"/>



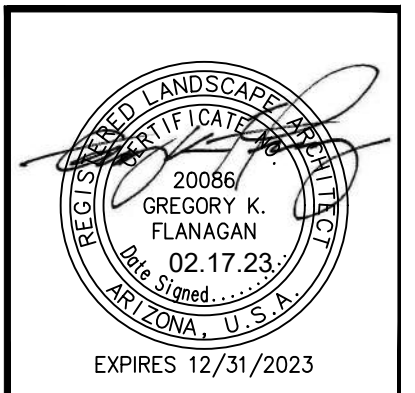
CONSTRUCTION NOTES:
1. APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, BALL VALVES INCLUDED.
2. PIPE, TYPE \"K\" HARD COPPER, 5/8\"/>

REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLIES 3\"/>



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EL MIRAGE, ARIZONA 85336

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802 . 812 . 8603 fax



revisions:
date: 02.17.2023
contents: LANDSCAPE DETAILS
sheet no. L-3.0



GENERAL INFORMATION:

- NO PERSON, CORPORATION, CONTRACTOR, OR UTILITY SHALL WORK WITHIN THE RIGHT-OF-WAY, ROAD, STREET, OR EASEMENTS GRANTED FOR PUBLIC USE OR ALLEYS WITHOUT SECURING AN ENGINEERING CONSTRUCTION PERMIT FROM THE ENGINEERING DIVISION.
- ENGINEERING CONSTRUCTION PERMITS ARE REQUIRED FOR GRADING, DRAINAGE, EROSION CONTROL, FLOOD CONTROL, STRUCTURES, HAULING MATERIAL, IN EXCESS OF 500 CUBIC YARDS, OILING, GRAVELING OR ANY SURFACING OF ANY STREET OR ALLEY, WATER SYSTEM, SEWER SYSTEM, STORM DRAIN SYSTEM, TRENCHING, GAS OR ANY OTHER TYPES OF PIPE LINES, DRYWELLS, PAVING, CURB, GUTTER, SIDEWALKS, DRIVEWAYS, FLOOD IRRIGATION, LANDSCAPE/IRRIGATION, TRAFFIC SIGNALS, STRIPING AND SIGNAGE, BANK STABILIZATION AND CHANNELIZATION, STREET LIGHTS, WELL ABANDONMENT, UTILITY LINES SUCH AS ELECTRIC, TELEPHONES, TELEVISION, COMMUNICATIONS AND OTHER SIMILAR FACILITIES.
- CONSTRUCTION WORK HOURS WITHIN THE CITY OF EL MIRAGE SHALL COMPLY WITH THE FOLLOWING:

	CONSTRUCTION TYPE	MAY 1 - SEPTEMBER 30	OCTOBER 1 - APRIL 30
A	ALL CONSTRUCTION WORK - MONDAY THROUGH SATURDAY	6:00 A.M. TO 7:00 P.M.	7:00 A.M. TO 7:00 P.M.
B	ALL CONSTRUCTION WORK - SUNDAY	8:00 A.M. TO 7:00 P.M.	8:00 A.M. TO 7:00 P.M.

- FRIDAY, NIGHTTIME AND WEEKEND WORK REQUIRES PERMISSION IN WRITING FROM THE CITY ENGINEER OR THEIR DESIGNEE.
- NO INTERFERENCE WITH TRAFFIC FLOW ON ARTERIAL STREETS SHALL BE PERMITTED DURING THE HOURS OF 6:00 A.M. TO 8:30 A.M. OR FROM 4:00 P.M. TO 7:00 P.M. UNLESS PRIOR AUTHORIZATION IS OBTAINED IN WRITING BY THE CITY OF EL MIRAGE CITY ENGINEER OR THEIR DESIGNEE.
 - PRIOR TO ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS, THE CONTRACTOR/DEVELOPER MUST PROVIDE THE CITY OF EL MIRAGE WITH THE SPECIFIC INFORMATION NOTED IN SECTION I. OF THE CITY'S DESIGN & DEVELOPMENT STANDARDS MANUAL (DDSM) AND PAYMENT OF FEES PER THE CITY'S LATEST FEE SCHEDULE. ANY PERSON, CORPORATION, CONTRACTOR, OR UTILITY COMPANY WORKING IN THE RIGHT-OF-WAY, ROAD, STREET, OR EASEMENTS GRANTED FOR PUBLIC USE OR ALLEYS WITHOUT SECURING A PERMIT IS SUBJECT TO A FINE IN ACCORDANCE WITH THE CITY CODE.
 - TRAFFIC CONTROL SHALL CONFORM TO THE LATEST EDITIONS OF THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL, MUTCD, AND THE CITY OF EL MIRAGE DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM). THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN PER THE PHOENIX TRAFFIC BARRICADE MANUAL. BARRICADES MUST BE CONTINUALLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF ANY PART OF THE TRAFFIC CONTROL PLAN FALLS WITHIN 300' OF A SIGNALIZED INTERSECTION, AN OFF-DUTY OFFICER WILL BE REQUIRED FOR TRAFFIC CONTROL. A TRAFFIC CONTROL PLAN (TCP) SHALL BE SUBMITTED TO THE ENGINEERING DIVISION A MINIMUM OF TWO WORKING DAYS (48-HOURS) PRIOR TO CONSTRUCTION. AN ACCEPTED TCP WILL BE STAMPED AND A COPY RETURNED TO THE CONTRACTOR. A COPY OF THE ACCEPTED PLAN MUST REMAIN ON THE JOB SITE AT ALL TIMES.
 - REFER TO SECTION N AND CHAPTERS 7-3 AND 7-4 OF THE DDSM FOR A LIST OF THE REQUIRED CLOSE OUT ITEMS. ANY QUESTIONS SHOULD BE DIRECTED TO THE ENGINEERING INSPECTOR.



ADOPTED BY COUNCIL:
DECEMBER 1, 2020

GENERAL INFORMATION

REVISION DATE: 01/2021
STANDARD DETAIL NO.
EM-101-1

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS, UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (MAG), CITY OF EL MIRAGE DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM), GENERAL NOTES AND STANDARD DETAILS WILL CONTINUE TO APPLY WHERE SUCH DETAILS WERE NOT ADOPTED OR INCLUDED BY MAG. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE ENGINEERING DIVISION IF ACCEPTED. ALTERNATE DETAILS WILL BE SHOWN AS PART OF THE APPROVED PLANS/DETAIL SHEETS.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- APPROVAL BY THE CITY ENGINEER MEANS FOR GENERAL LAYOUT IN RIGHT-OF-WAY ONLY. THIS APPROVAL OF CONSTRUCTION PLANS IS VALID FOR A PERIOD OF NINE (9) MONTHS. CONSTRUCTION PERMITS SHALL BE OBTAINED WITHIN THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR APPROVAL. WORK SHALL ALSO BE CONTINUOUSLY PURSUED IN ORDER TO MAINTAIN A VALID PLAN APPROVAL AND PERMIT. APPROVAL IS ONLY FOR WORK WITHIN THE JURISDICTION OF THE CITY OF EL MIRAGE.
- THE CITY ENGINEER DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- ENGINEERING CONSTRUCTION PERMITS FOR ANY WORK WITHIN THE RIGHT-OF-WAY AND EASEMENTS, AND ANY GRADING AND DRAINAGE, WHETHER ON-SITE OR OFF-SITE, ARE REQUIRED PRIOR TO COMMENCING WORK. THE BUILDING PERMIT SHALL NOT BE CONSTRUED IN ANY WAY AS PERMISSION TO COMMENCE WORK COVERED BY AN ENGINEERING CONSTRUCTION PERMIT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO UNDERSTAND THE WORK COVERED BY VARIOUS PERMITS.
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION WORK BY TELEPHONE AT 623-876-2975. ANY WORK CONCEALED WITHOUT INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE.
- AN APPROVED SET OF PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR'S/DEVELOPER'S REPRESENTATIVE (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) SHALL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE CITY OF EL MIRAGE AT TIME OF ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS AND HAVE PERSONNEL AVAILABLE 24-HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND MAKE EMERGENCY REPAIRS ON BEHALF OF THE CONTRACTOR/DEVELOPER, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- ALL UNDERGROUND TANKS REQUIRE A PERMIT FROM THE FIRE DEPARTMENT PRIOR TO REMOVAL.
- THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE ENGINEERING DIVISION. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL MATERIALS TESTING AND SAMPLING SHALL BE DETERMINED BY THE ENGINEERING DIVISION. ALL TEST RESULTS SHALL BE REPORTED DIRECTLY (IN WRITING) TO THE ENGINEERING DIVISION. FOR EACH PHASE OF CONSTRUCTION, TEST RESULTS (IN WRITING) MUST BE RECEIVED FROM THE TESTING LABORATORY, PRIOR TO THE START OF THE NEXT PHASE OF CONSTRUCTION. ROCK CORRECTIONS ARE REQUIRED FOR EACH IN-PLACE DENSITY TEST. NUCLEAR SAND CONE CORRELATIONS ARE REQUIRED WITH ONE (1) SAND CONE TEST FOR EVERY TEN (10) NUCLEAR DENSITY TESTS TAKEN ON-SITE. SEE CITY OF EL MIRAGE MATERIALS TESTING GUIDELINES FOR MORE INFORMATION.
- THE EXCAVATING CONTRACTOR MUST GIVE A LOCATION FORM FOR WASTING EXCESS EXCAVATION AND A LETTER FROM THE OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATION OF CONSTRUCTION BUILDING PAD ELEVATIONS PRIOR TO CITY ACCEPTANCE OF PROJECT.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES.
- THE ENGINEERING DIVISION DOES NOT ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING WHICH HAS BEEN DISTURBED IN ANY WAY, NOR DOES THE ENGINEER ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING THAT HAS BEEN IN PLACE FOR A PERIOD OF TWENTY-FOUR (24) HOURS OR MORE WITHOUT THE COMMENCEMENT OF THE CONSTRUCTION FOR WHICH IT WAS SET.
- THE CONTRACTOR SHALL CONTACT BLUE STAKE AT (602) 263-1100 PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CURRENT BLUE STAKE MARKINGS THROUGHOUT CONSTRUCTION.



ADOPTED BY COUNCIL:
DECEMBER 1, 2020

GENERAL NOTES

REVISION DATE: 01/2021
STANDARD DETAIL NO.
EM-101-2
SHEET 1 OF 2

LANDSCAPE AND IRRIGATION NOTES:

- ALL LANDSCAPE AND IRRIGATION INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY OR OTHER CITY MAINTAINED AREAS SHALL BE INSTALLED PER THE APPROVED PLANS AND CITY SPECIFICATIONS. ALL LANDSCAPING APPROVED AS A PART OF THE SITE PLAN PROCESS SHALL BE INSTALLED PER THE APPROVED PLANS. ANY DEVIATIONS TO THE APPROVED PLANS REQUIRE CITY APPROVAL.
- PERMITS ARE REQUIRED FOR ELECTRICAL CONNECTIONS, INCLUDING ELECTRIC METER INSTALLATION, BACKFLOW PREVENTERS, AND WORK WITHIN THE CITY RIGHT-OF-WAY OR CITY DEDICATED PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL LANDSCAPE PROJECTS REQUIRING CITY MAINTENANCE OR WITHIN THE CITY RIGHT-OF-WAY SHALL BE INSPECTED FOR THE FOLLOWING:
 - PLANT LOCATIONS: THESE LOCATIONS SHALL BE STAKED IN THE FIELD WITH IDENTIFICATION AS TO TREES OR SHRUBS, OR HOLES FOR THE PLANT MATERIALS MAY BE DUG WITH IDENTIFICATION OF PLANT TYPE. USE OF THIS METHOD DOES NOT RELIEVE THE CONTRACTOR OF ANY PLANT RELOCATIONS MADE BY THE CITY.
 - IRRIGATION INSTALLATION: INSPECTIONS SHALL BE MADE AT THE POINT THE IRRIGATION SYSTEM IS INSTALLED. INSPECTIONS OF THE PIPE DEPTH, AUTOMATIC VALVE INSTALLATION AND EMITTER/SPRAY INSTALLATIONS WILL BE MADE.
 - SUBSTANTIAL COMPLETION: AN INSPECTION AT COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION WILL BE MADE. ANY DEFICIENCIES IN THE INSTALLATION WILL BE NOTED AND CORRECTED BY THE CONTRACTOR DURING THE MAINTENANCE PERIOD.
 - FINAL ACCEPTANCE: A FINAL INSPECTION IS REQUIRED PRIOR TO CITY ACCEPTANCE OF THE LANDSCAPE AND IRRIGATION IMPROVEMENTS.
- SEPARATE INSPECTIONS ARE REQUIRED FOR THE BACKFLOW PREVENTER AND ELECTRICAL CONNECTIONS. PLEASE CALL THE BUILDING SAFETY DIVISION AT (623) 876-2979 A MINIMUM OF 24-HOURS PRIOR TO ARRANGE FOR THESE INSPECTIONS.
- LANDSCAPE AND IRRIGATION, WHICH IS INSTALLED ON PRIVATE PROPERTY IN CONJUNCTION WITH A CITY APPROVED SITE PLAN, WILL BE INSPECTED BY THE COMMUNITY DEVELOPMENT DEPARTMENT FOR CONFORMANCE TO THE APPROVED SITE PLAN PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE LANDSCAPE AND IRRIGATION FOR THIS PROJECT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA) PER THE APPROVED PLANS. IF NO HOA EXISTS, THE PROPERTY OWNER SHALL BE RESPONSIBLE.
- ALL CITY MAINTAINED PROJECTS REQUIRE A 90-DAY MAINTENANCE PERIOD TO BEGIN AT THE DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE CITY.
- RIGHT-OF-WAY AND CITY MAINTAINED AREAS REQUIRE SEPARATE WATER METER CONNECTIONS. RIGHT-OF-WAY AREAS DESIGNATED FOR MAINTENANCE BY THE ADJACENT PROPERTY OWNERS FOR COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY DEVELOPMENTS SHALL HAVE THE RIGHT-OF-WAY IRRIGATION ISOLATED OR SEPARATED FROM THE ON-SITE IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, COST AND REQUIRED PERMIT FEES FOR THE WATER METER(S) DESIGNATED TO SERVE THE IRRIGATION SYSTEM.
- ALL PLANTINGS AT MATURITY SHALL MAINTAIN A MINIMUM 6'-0" CLEARANCE AROUND ALL FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.
- PLANTINGS SHALL NOT INTERFERE WITH ANY TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 30" WITHIN ANY SIGHT DISTANCE TRIANGLES.
- INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM INCLUDING ADDITION OF GROUND PLANT MATERIALS SHALL NOT IMPEDE THE FLOW OF DESIGNED DRAINAGE FACILITIES NOR DECREASE THE DESIGN VOLUME OF ANY DETENTION/RETENTION BASINS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UNDERGROUND UTILITIES DURING THE LANDSCAPE AND IRRIGATION INSTALLATION.
- ALL TREES SHALL MAINTAIN A MINIMUM OF 6'-0" CLEARANCE FROM ANY CITY WATER OR SEWER LINE AND A MINIMUM OF 5'-0" CLEARANCE FROM ANY CITY SIDEWALK AND CURB. ALL PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE FROM ANY SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.
- A SWALE A MINIMUM OF 6" IN DEPTH SHALL BE PROVIDED IN ALL LANDSCAPE AREAS WITHIN THE CITY RIGHT-OF-WAY TO PROMOTE WATER HARVESTING.
- ALL PLANTING AREAS (EXCEPT TURF AREAS) TO BE MAINTAINED BY THE CITY SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE BY A LICENSED APPLICATOR PRIOR TO AND AFTER THE PLACEMENT OF THE DECOMPOSED GRANITE, RIVER ROCK, ETC. APPLICATION DOCUMENTATION WILL BE REQUIRED PRIOR TO ACCEPTANCE OF THE LANDSCAPING BY THE CITY.
- AS-BUILT DRAWINGS OF THE LANDSCAPE AND IRRIGATION SYSTEM ARE REQUIRED PRIOR TO ACCEPTANCE BY THE CITY AND FOR PROJECTS WITHIN THE CITY RIGHT-OF-WAY OR CITY OWNED PROPERTY. THE AS-BUILT DRAWINGS SHALL SHOW THE LOCATIONS OF ALL PLANTINGS AND THE DIMENSIONS TO FIXED POINTS OF ALL IRRIGATION EQUIPMENT, PIPING, ETC. THE AS-BUILT DRAWINGS MUST BE SUBMITTED ON A CD THAT CONTAINS PDFS OF ALL PLAN SHEETS.



ADOPTED BY COUNCIL:
DECEMBER 1, 2020

LANDSCAPE AND IRRIGATION NOTES

REVISION DATE: 01/2021
STANDARD DETAIL NO.
EM-101-4

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL CONTACT THE BUILDING SAFETY DIVISION AT (623) 251-3503 TO START THE PROCESS FOR OBTAINING A FIRE HYDRANT METER. ONCE APPROVED, THE CONTRACTOR WILL CONTACT THE CUSTOMER SERVICE DEPARTMENT AT (623) 933-1228 TO SCHEDULE THE INSTALLATION OR RELOCATION OF THE HYDRANT METER. CONTRACTORS SHALL NOT RELOCATE HYDRANT METERS THEMSELVES. THE CONTRACTOR MUST PROVIDE THEIR OWN SUPPORT, BACKFLOW PREVENTER AND CERTIFIED TESTER WITH A CITY WITNESS. A COPY OF THE CERTIFICATION MUST BE PROVIDED TO THE CITY INSPECTOR PRIOR TO USE.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS. GRAVEL TRACK-OUT PADS SHALL MEET CURRENT MARICOPA COUNTY STANDARDS. THE CONTRACTOR/DEVELOPER SHALL IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- ANY AND ALL OBSTRUCTIONS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS SHALL BE REMOVED BEFORE ANY CONSTRUCTION IS COMMENCED.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION (NOT), AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN ANY NECESSARY 401 AND 404 PERMITS. A COPY OF THE PERMIT SHALL BE SUBMITTED TO THE CITY PRIOR TO APPROVAL OF THE GRADING AND DRAINAGE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES WHICH HAVE JURISDICTION AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE. THE CONTRACTOR/DEVELOPER SHALL MEET THE REQUIREMENTS OF THESE PERMITS AS SET FORTH THEREIN.
- AS A REMINDER, MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT HAS ASKED THE CITY TO INFORM ALL CONTRACTORS/DEVELOPERS WORKING IN THE CITY OF EL MIRAGE OF THE FOLLOWING:
PER THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS ON EARTH MOVING EQUIPMENT PERMITS, NO PERSON SHALL CAUSE OR PERMIT THE USE OF ANY POWER OR MECHANICAL EQUIPMENT FOR COMMERCIAL PURPOSES TO CLEAR, EXCAVATE OR LEVEL LAND, INCLUDING BUT NOT LIMITED TO BLASTING, DEMOLITION, ROAD AND STREET CONSTRUCTION, SWIMMING POOL EXCAVATING, TRENCHING, VEGETATION REMOVAL, OR ENGAGE IN ANY OTHER EARTH MOVING ACTIVITIES WITHOUT FIRST OBTAINING A PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. THE PROPERTY OWNER, LESSEE, DEVELOPER OR PRIME CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE PERMIT.
ALSO AS A REMINDER, IF THE ABOVE REFERENCED DEVELOPMENT HAS WORK THAT NEEDS TO BE DONE IN THE MARICOPA COUNTY RIGHTS-OF-WAY, PLEASE OBTAIN ALL PERMITS FROM THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION. THE OFF-SITE PERMITS ISSUED BY THE CITY OF EL MIRAGE DO NOT COVER THE MARICOPA COUNTY RIGHTS-OF-WAY.
- FIRE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AS REQUIRED BY THE CITY OF EL MIRAGE FIRE DEPARTMENT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO SCHEDULE WATER AND SEWER TESTING WITH THE CITY INSPECTOR PER THE CITY'S DESIGN & DEVELOPMENT STANDARDS MANUAL (DDSM). NO TESTING SHALL BE ACCEPTED BY THE INSPECTOR UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- ANY EXISTING LANDSCAPING AND/OR IRRIGATION SYSTEM DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR. THE CONTRACTOR SHALL CALL AND COORDINATE THIS WORK WITH THE CITY OF EL MIRAGE OPERATIONS SUPERINTENDENT AT (623) 935-6405.
- THE CONTRACTOR/DEVELOPER IS SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO MEETING ALL REQUIREMENTS OF OSHA AND ADOSH. THE CITY OF EL MIRAGE ENGINEERING INSPECTOR IS NOT AUTHORIZED TO ADVISE OR DIRECT THE CONTRACTOR/DEVELOPER REGARDING MATTERS OF JOB SITE SAFETY. SHOULD THE CONTRACTOR/DEVELOPER ACT ON SUCH ADVICE OR DIRECTION, IT IS AT THE RISK OF THE CONTRACTOR/DEVELOPER.



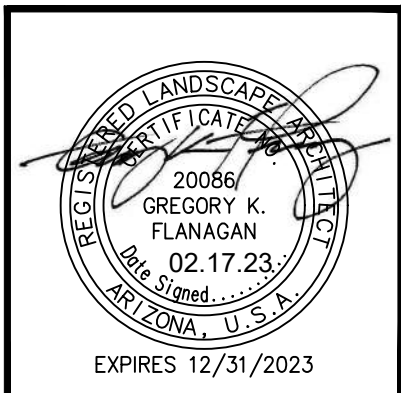
ADOPTED BY COUNCIL:
DECEMBER 1, 2020

GENERAL NOTES

REVISION DATE: 01/2021
STANDARD DETAIL NO.
EM-101-2
SHEET 2 OF 2

DESERT TRUSS WEST
10100 N. DYSART RD.
EL MIRAGE, ARIZONA 85336

G.K. FLANAGAN ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE PLANNING
4626 N. 44TH STREET PHOENIX, AZ 85018
TEL: 602.812.8601
602.812.8603 FAX

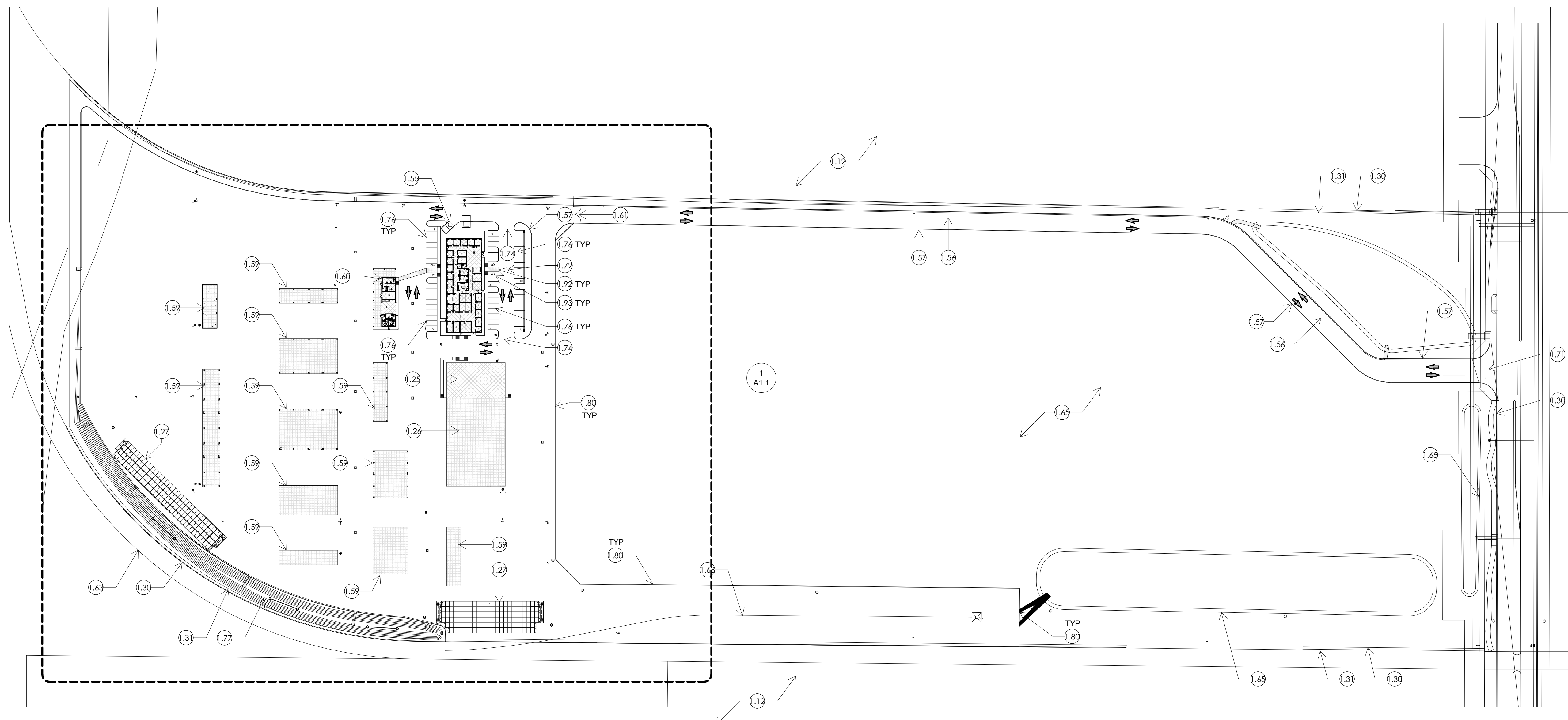


revisions: _____
date: **02.17.2023**
contents: **EL MIRAGE NOTES**
sheet no. _____

CITY OF EL MIRAGE NOTES

L-3.1

NOT TO SCALE



1 ARCHITECTURAL SITE PLAN
1" = 100'-0"

- KEYNOTES**
- 1.12 ADJACENT PROPERTY - N.I.C. TYP.
 - 1.25 PREFABRICATED METAL WAREHOUSE BLDG UNDER SEPARATE SUBMITTAL.
 - 1.26 COVERED STORAGE AREA UNDER SEPARATE SUBMITTAL.
 - 1.27 BELOW GRADE RETENSION TANKS PER CIVIL TYP.
 - 1.30 PROPERTY LINE - RE: CIVIL TYP.
 - 1.31 BUILDING SETBACK - RE: CIVIL TYP.
 - 1.55 TRASH ENCLOSURE - RE: CIVIL DOCS TYP.
 - 1.56 30'-0" ACCESS DRIVE PER APPROVED SITE PLAN - RE: CIVIL DOCS TYP.
 - 1.57 CONCRETE CURB AS INDICATED / DETAILED TYP. - RE: CIVIL.
 - 1.59 PREFABRICATED STEEL STRUCTURE UNDER SEPARATE PERMIT.
 - 1.60 BUILT STRUCTURE UNDER SEPARATE SUBMITTAL.
 - 1.61 SECURE ENTRY GATE (MANUAL) - RE: CIVIL DOCS TYP.
 - 1.63 RAILROAD SPUR - RE: CIVIL DOCS TYP.
 - 1.65 OPEN SITE AREA - RE: CIVIL TYP.
 - 1.71 SITE ENTRY - RE: CIVIL DOCS TYP.
 - 1.72 PAVED DRIVING SURFACE - RE: CIVIL DOCS TYP.
 - 1.74 OFFICE PARKING ENTRY/EXIT.
 - 1.76 LOT STRIPING PER OWNER - RE: CIVIL DOCS TYP.
 - 1.77 (PROJECT SPECIFIC NOTE)
 - 1.80 INTERIOR SITE FENCING - RE: CIVIL DOCS TYP.
 - 1.92 ACCESSIBLE ISLE STRIPING AS DETAILED TYP.
 - 1.93 ACCESSIBLE PARKING SPACE AS DETAILED TYP.

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335
DESERT TRUSS

A1.0

Project No. 21-010.00 Date 05.11.2023

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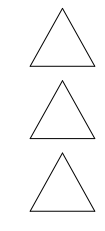
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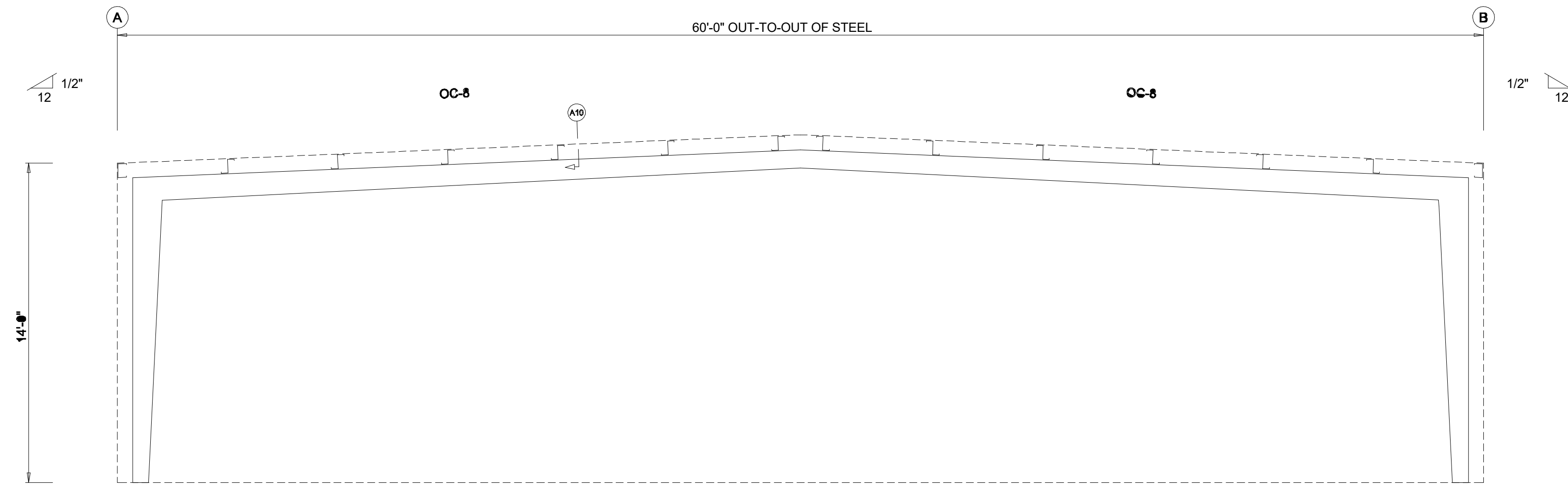
Rob Burkhart Assoc. A.I.A.

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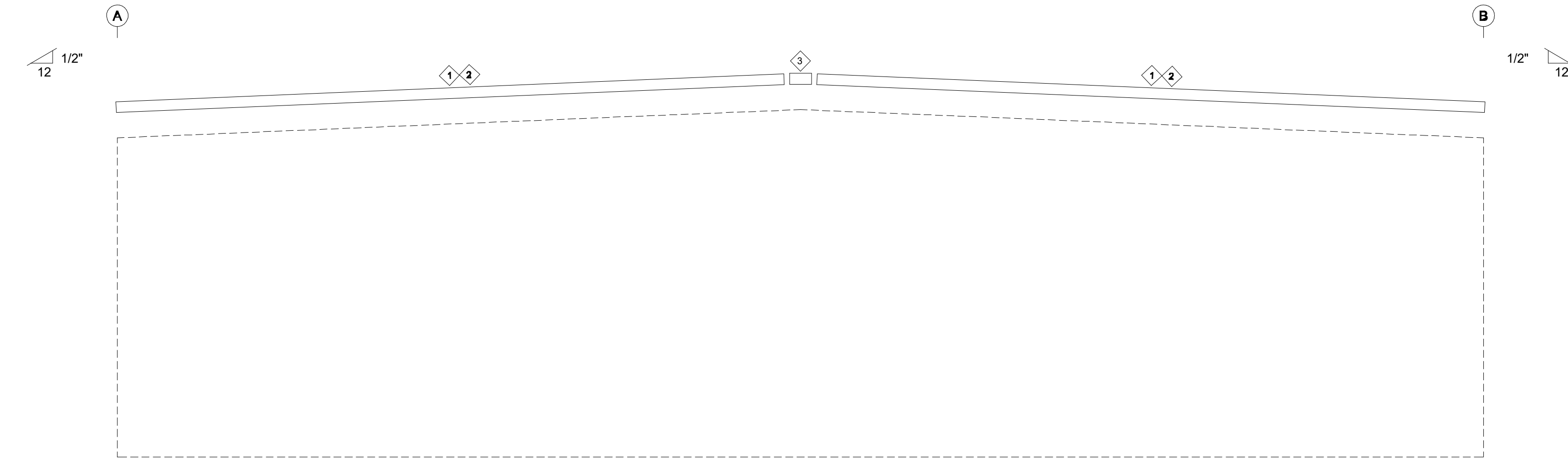
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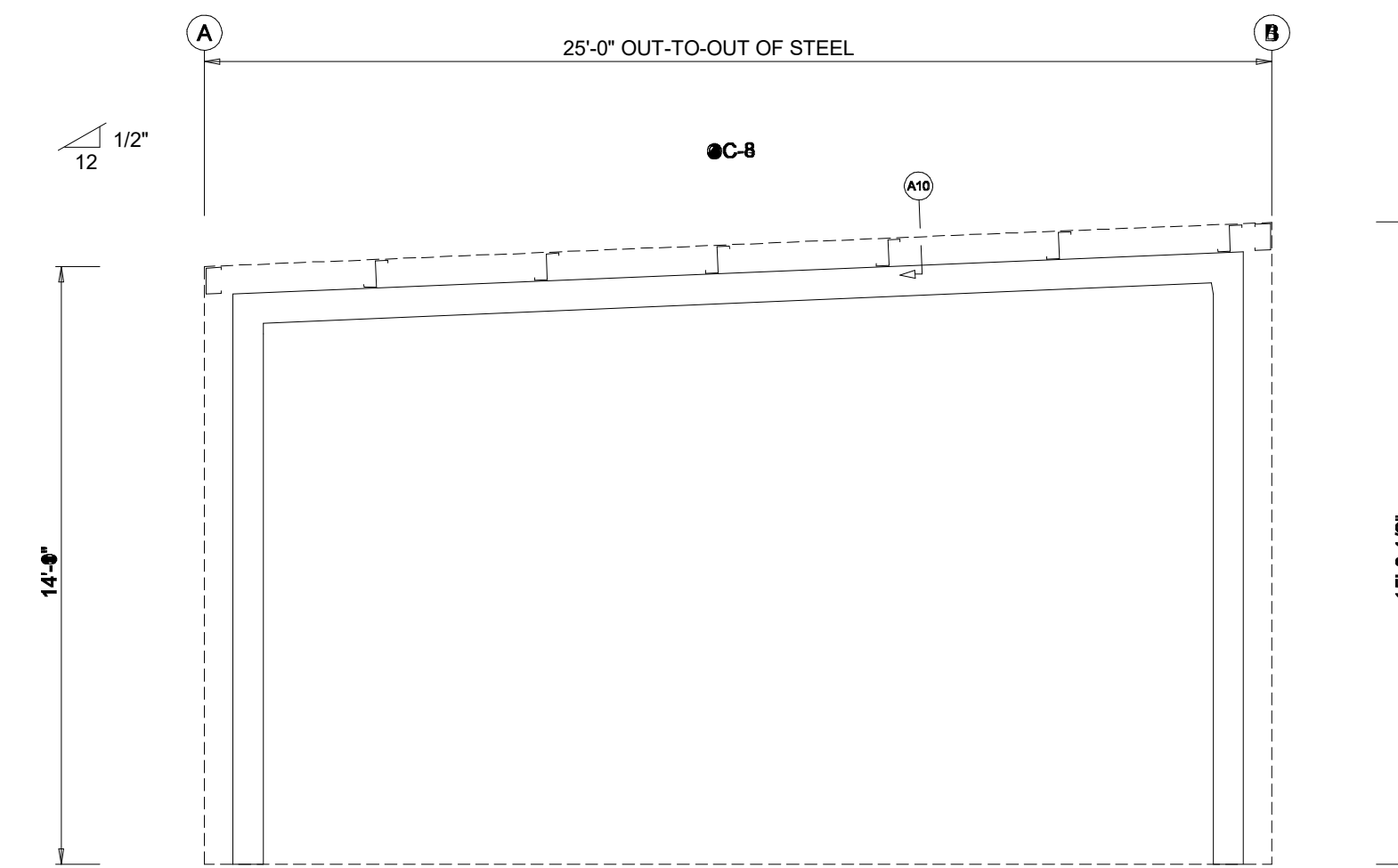


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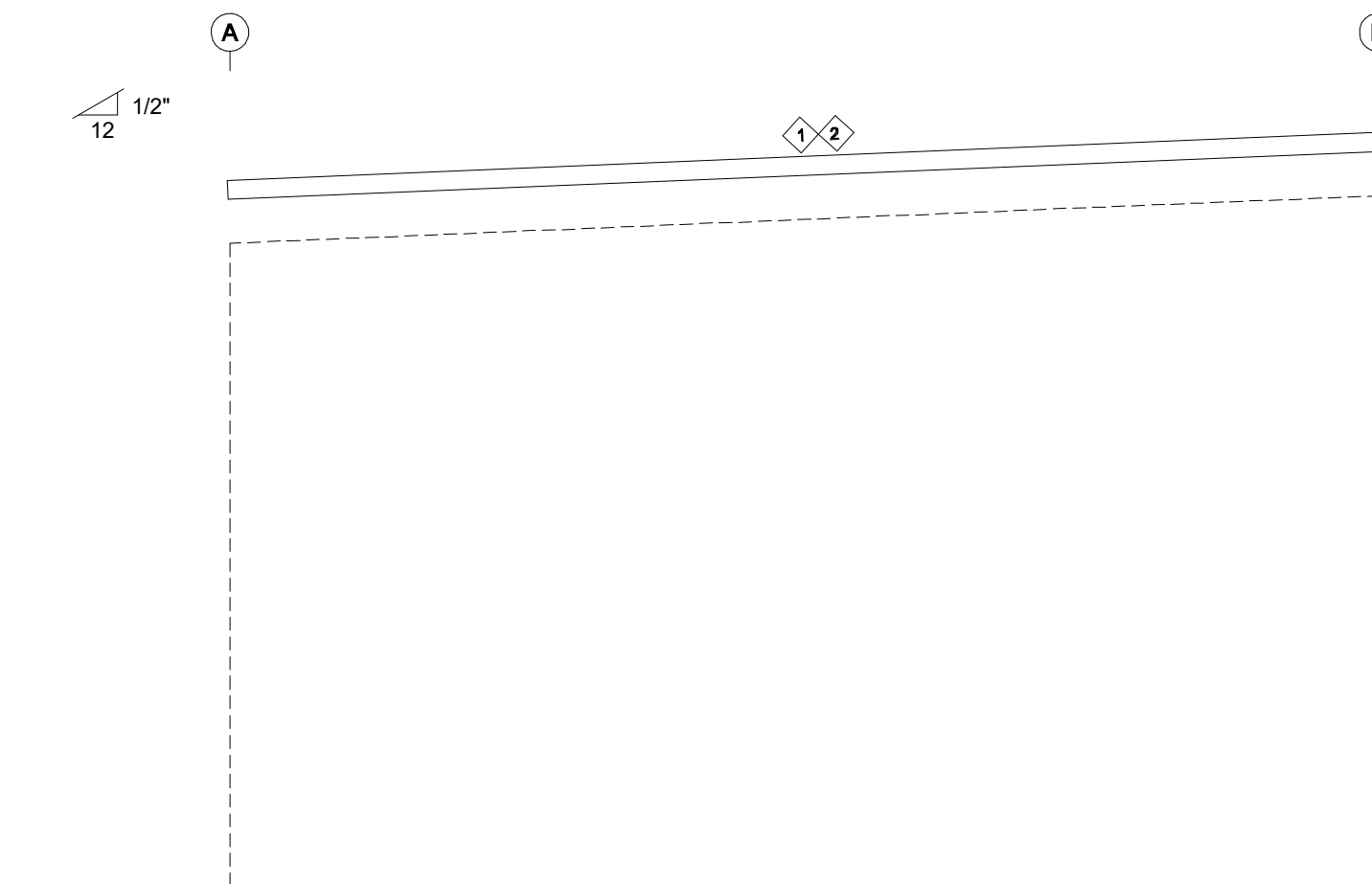


LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

② BLADE
1/4" = 1'-0"



LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

① PLATES
1/4" = 1'-0"

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335
DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

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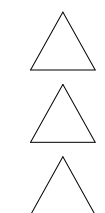
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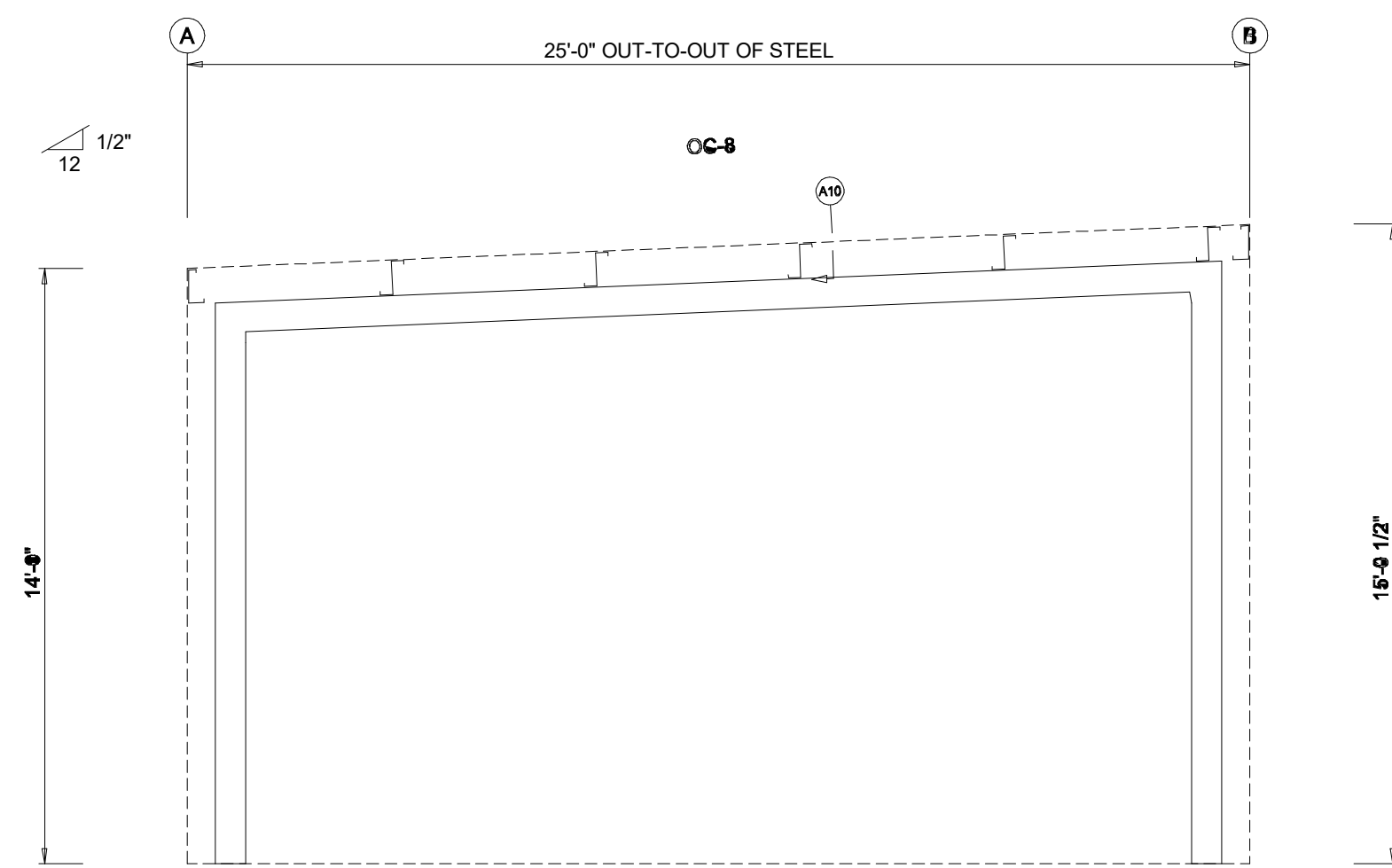
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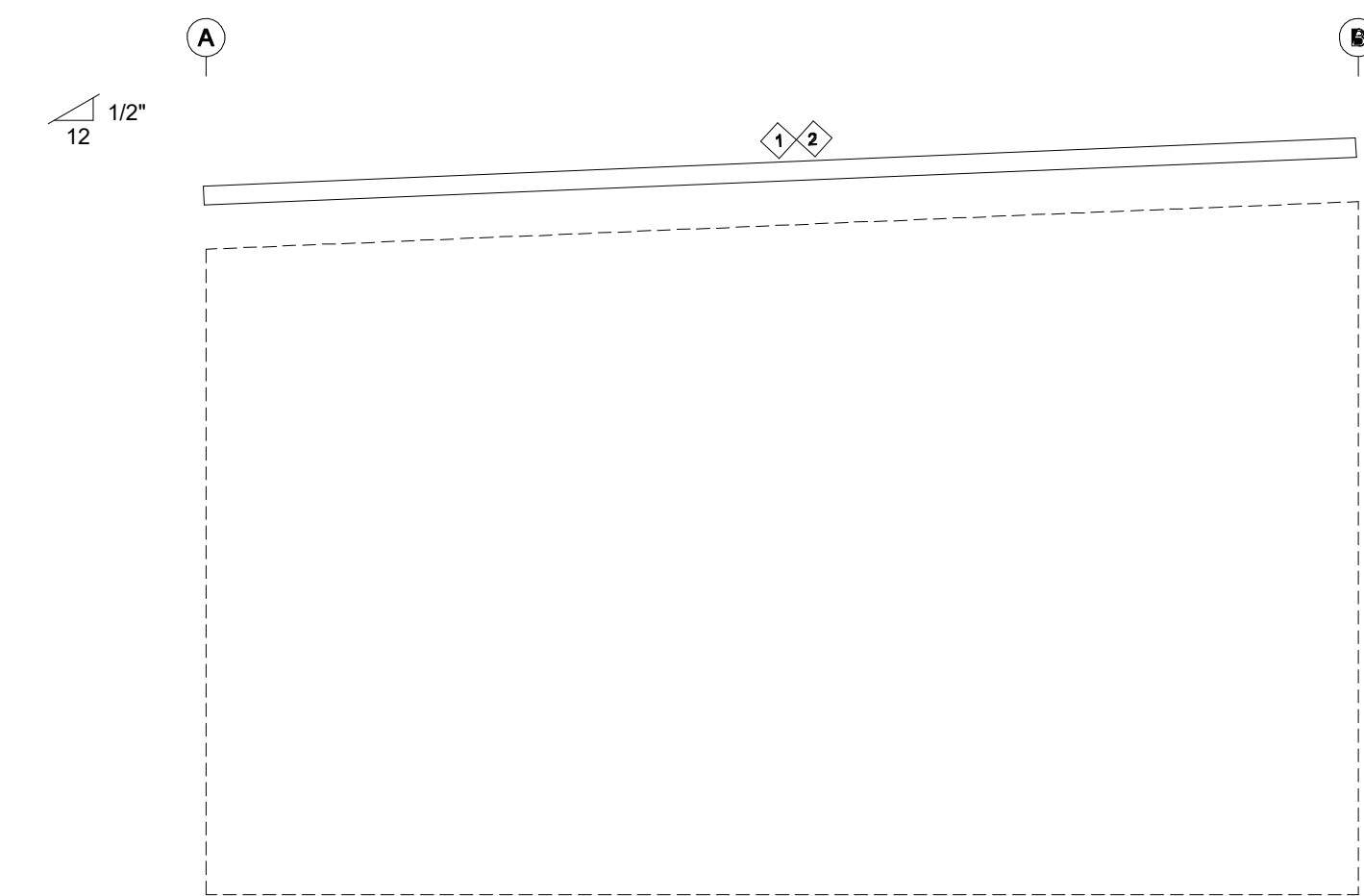
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REVISIONS



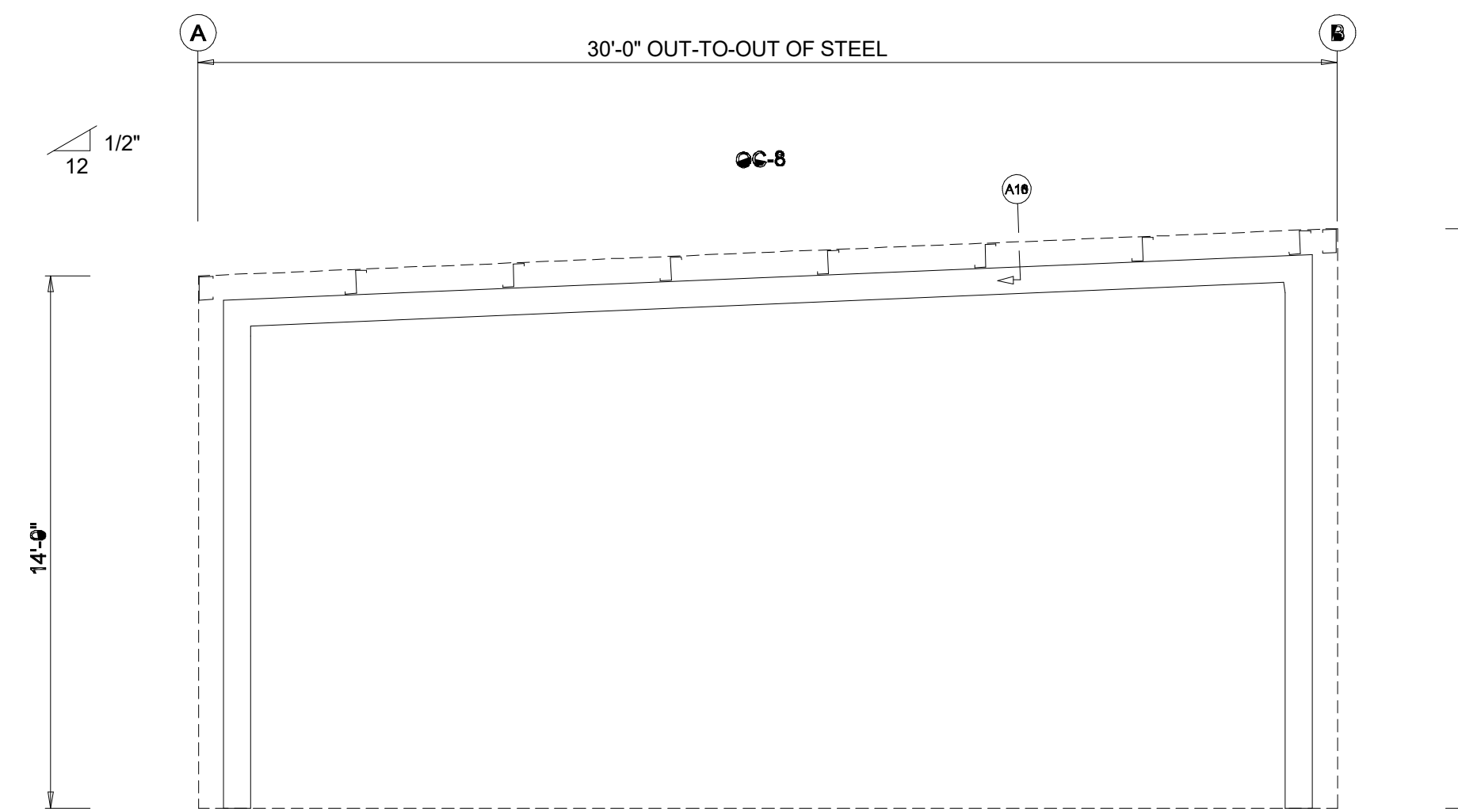


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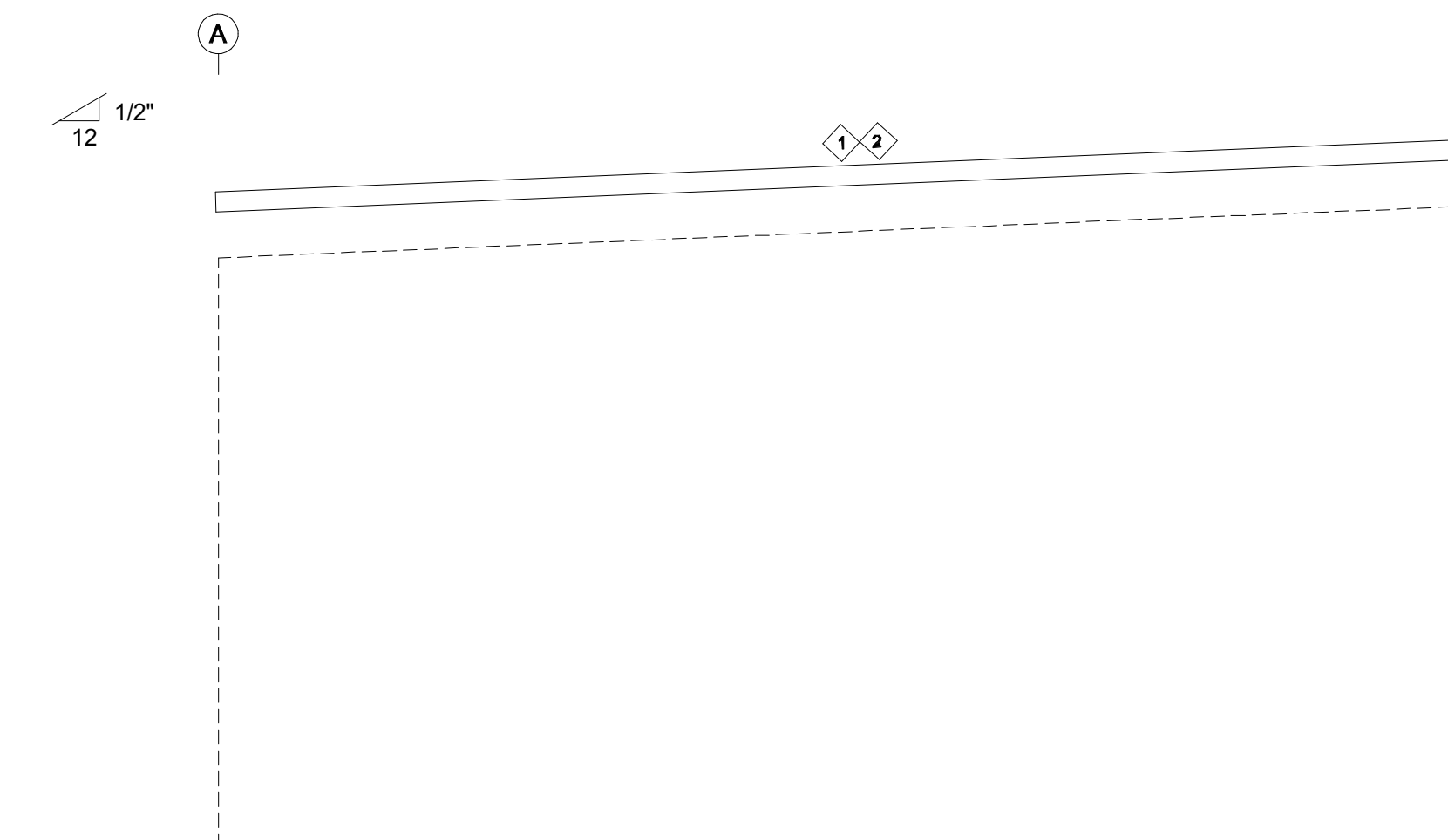


LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

② GABLE
1/4" = 1'-0"



LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

① FLOORS
1/4" = 1'-0"

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335
DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

Rob Burkhart Assoc. A.I.A.

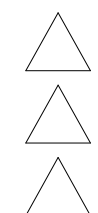
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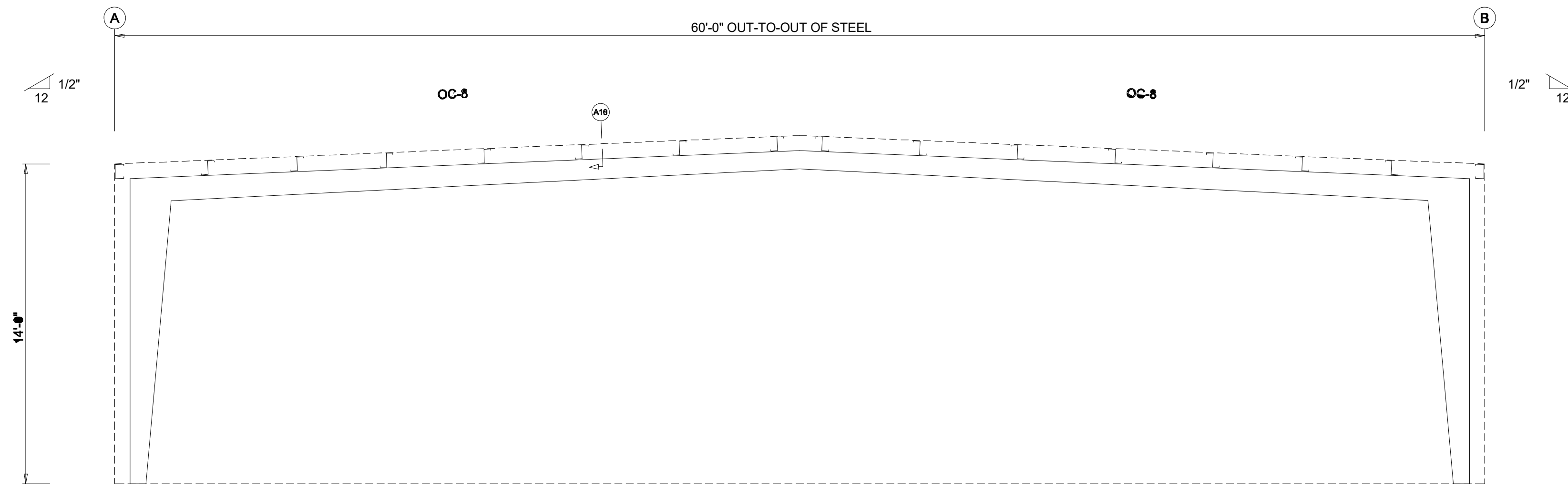
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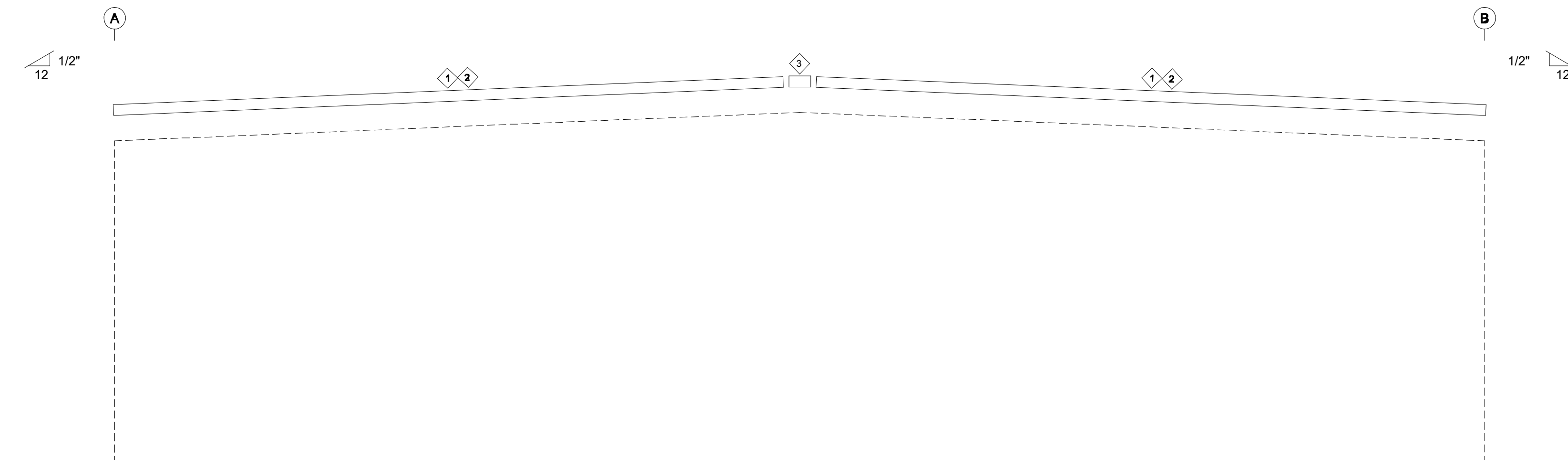
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REVISIONS





LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

① GANTRY
1/4" = 1'-0"

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335

DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

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Rob Burkhart Assoc. A.I.A.

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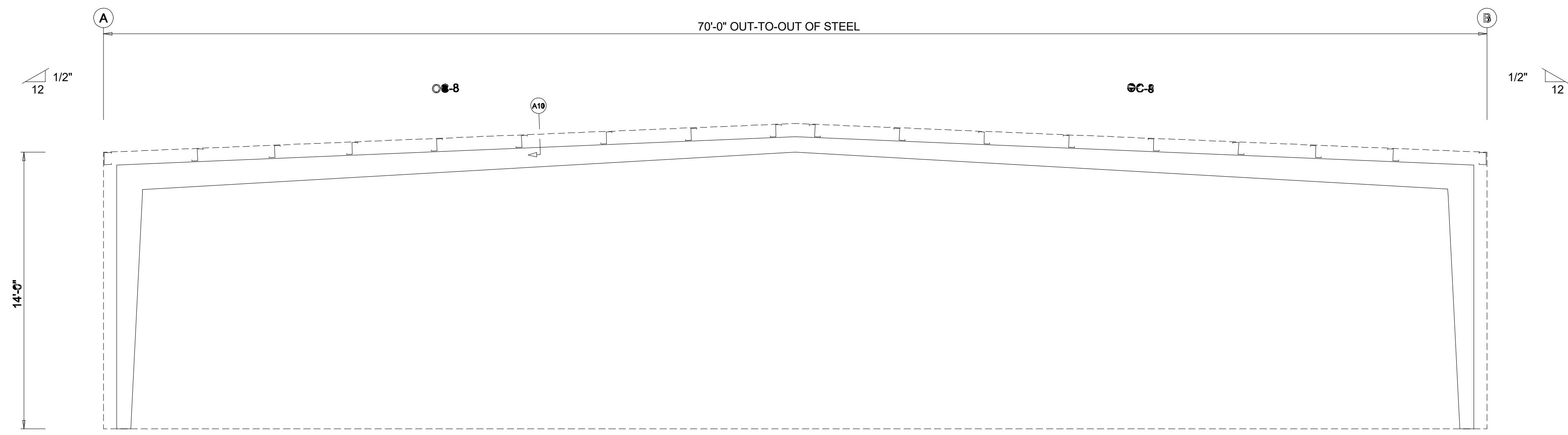
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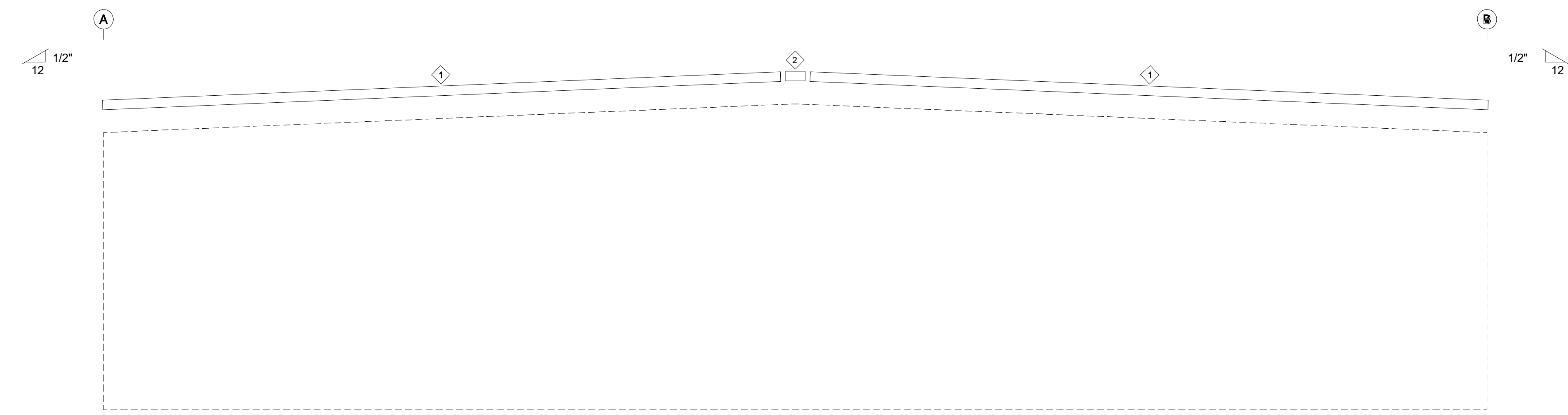
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REVISIONS





LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

① GANTRY
1/4" = 1'-0"

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10100 N Dysart Road, El Mirage, Arizona 85335

DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

Rob Burkhart Assoc. A.I.A.

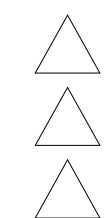
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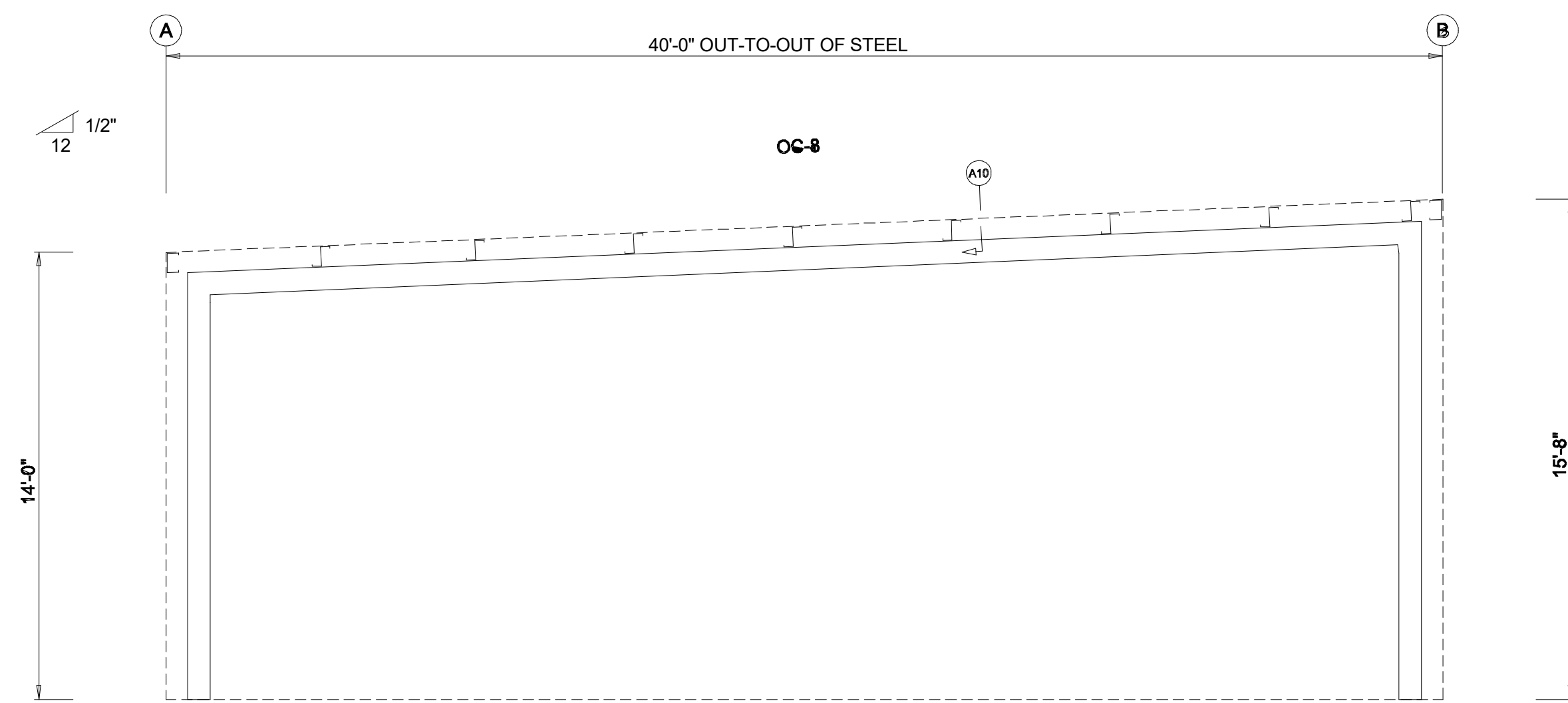
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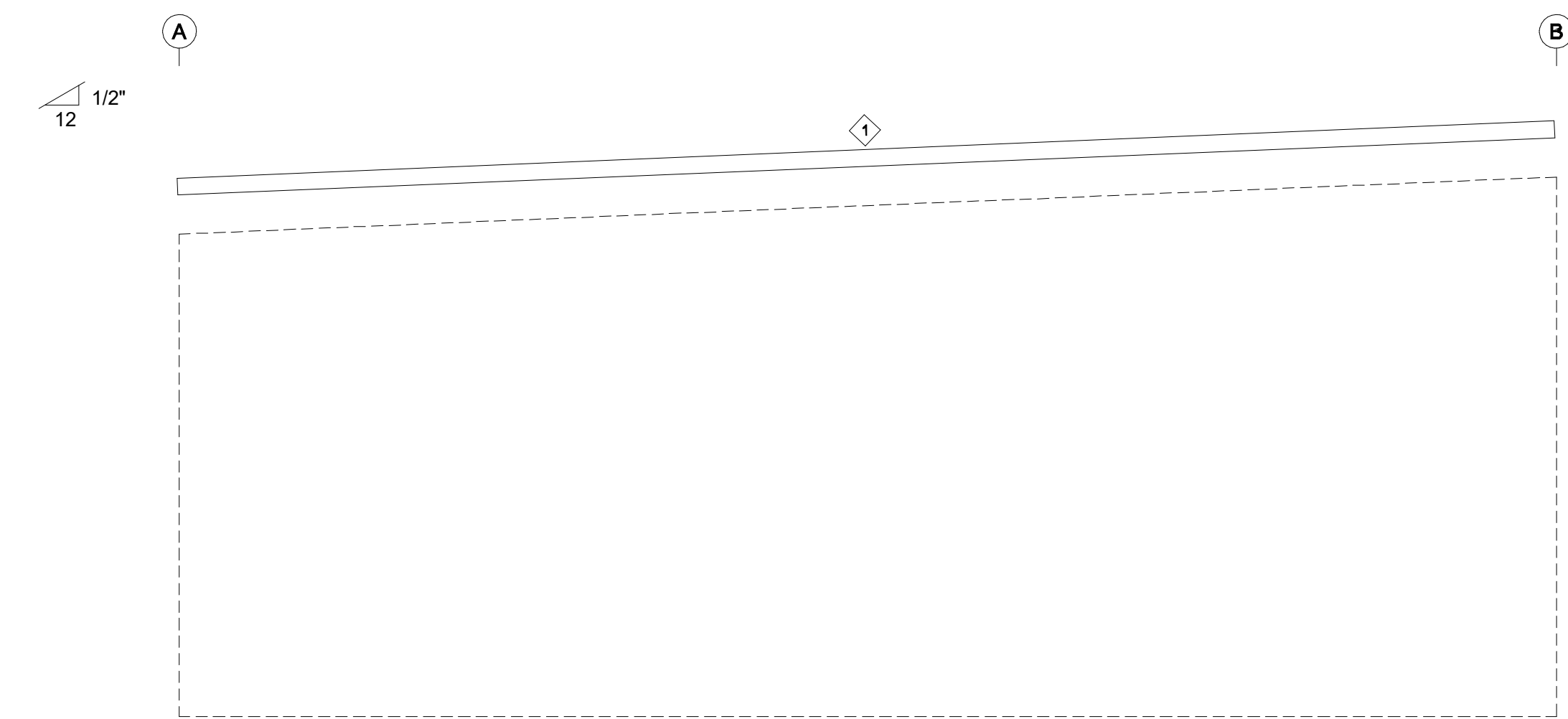
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REVISIONS



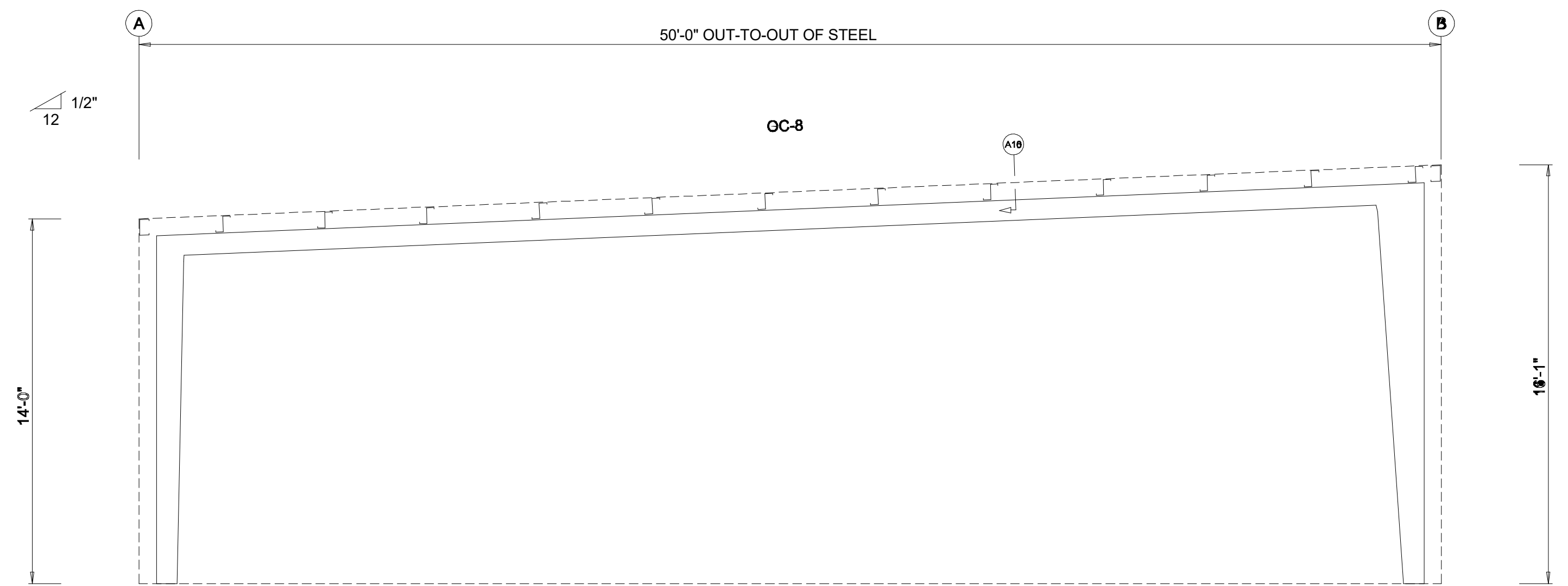


LEFT ENDWALL FRAMING: FRAME LINE 1

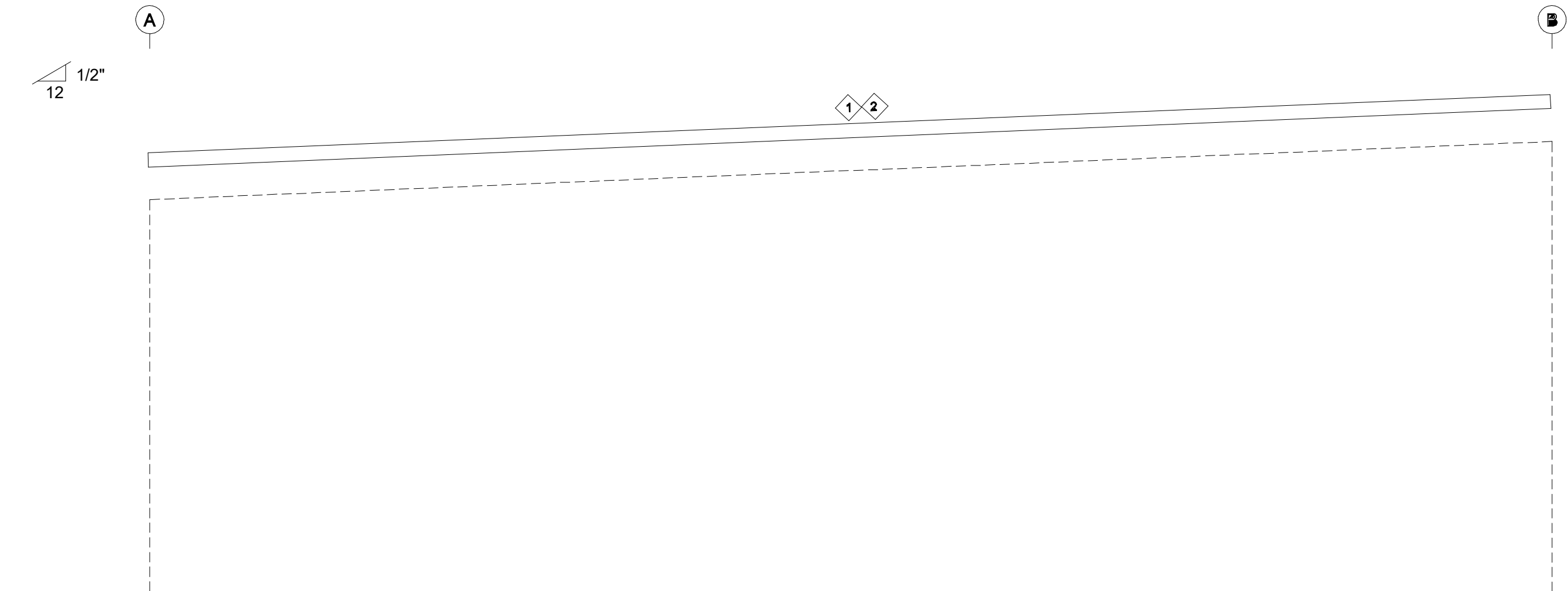


LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

② SAW
1/4" = 1'-0"



LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

① GANTRY
1/4" = 1'-0"

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335

DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

Rob Burkhart Assoc. A.I.A.

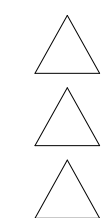
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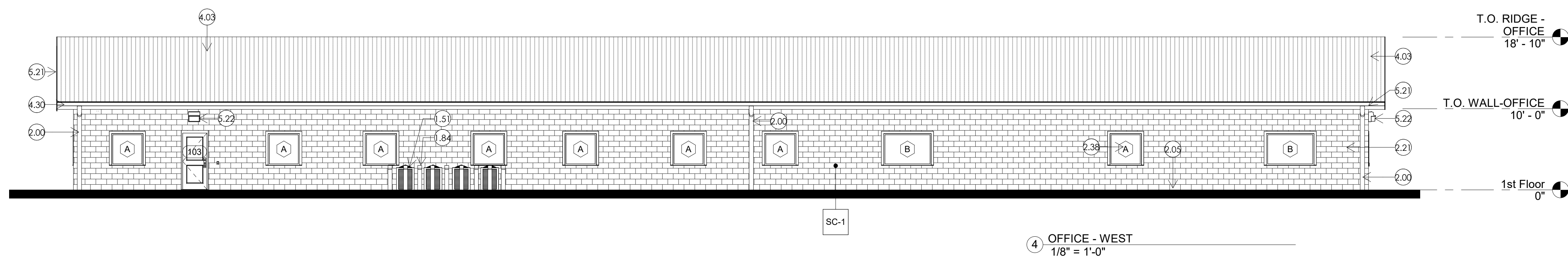
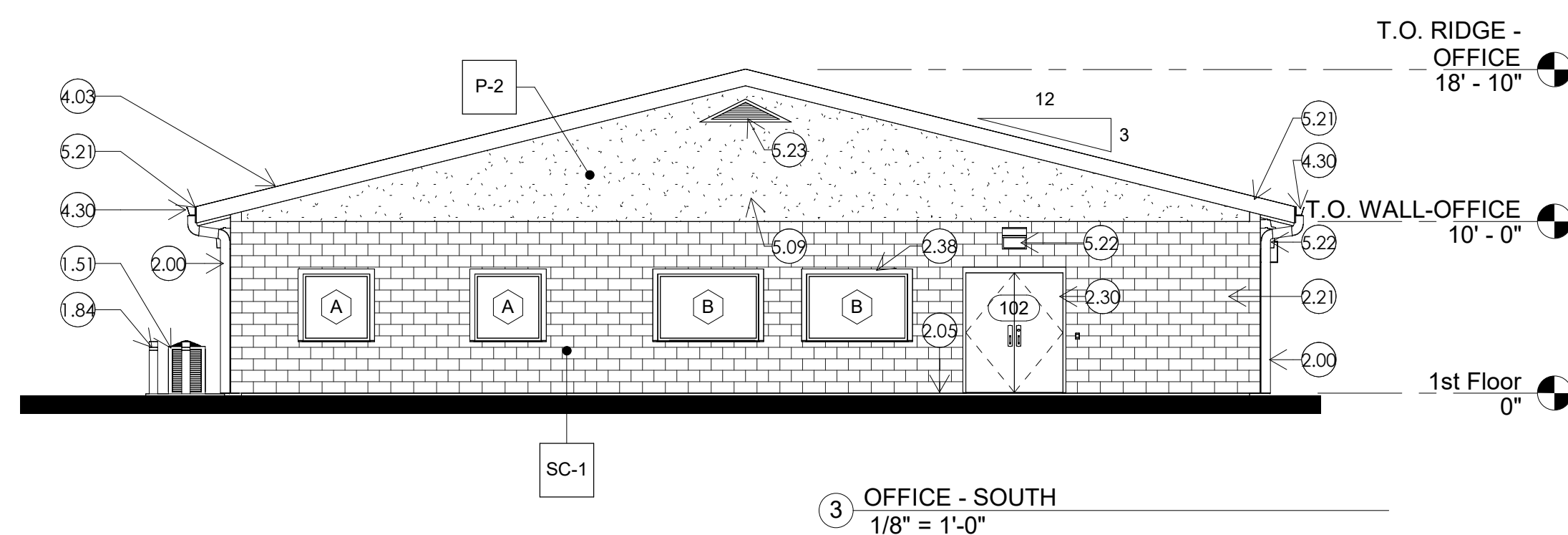
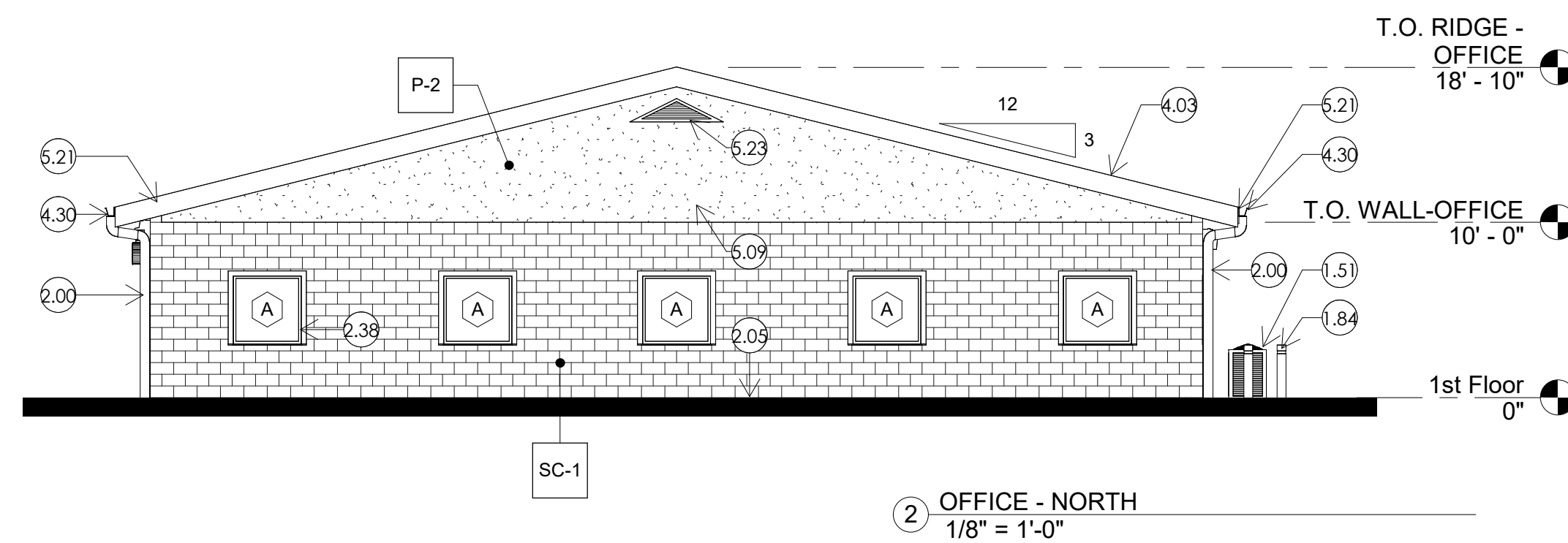
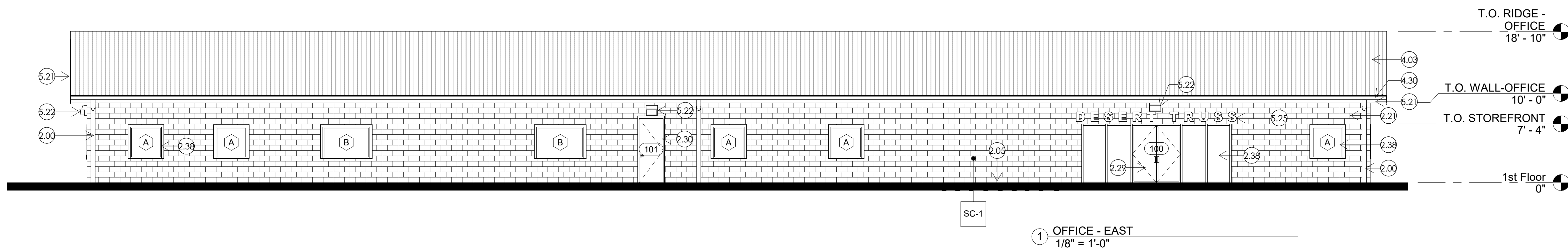
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REVISIONS





- KEY NOTES**
- 1.51 A/C CONDENSER BY OTHERS TYP.
 - 1.84 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW - RE: STRUCT. DOCS. FOR FOUNDATION TYP.
 - 2.00 RWL (RAIN WATER LEADER) TO GRADE AS DETAILED - RE: SITE PLAN / CIVIL TYP.
 - 2.05 CONCRETE SLAB ON GRADE - RE: STRUCTURAL TYP.
 - 2.21 WALL - CMU AS SCHEDULED / DETAILED - RE: STRUCT. DOCS. TYP.
 - 2.29 ADA ACCESS, STOREFRONT ENTRY DOOR AS DETAILED / SCHEDULED.
 - 2.30 DOOR AS SCHEDULED / DETAILED TYP.
 - 2.38 STOREFRONT / CURTAIN WALL AS SCHEDULED / DETAILED TYP.
 - 4.03 STANDING SEEM METAL ROOF AS SPECIFIED / DETAILED - SLOPE AS INDICATED TYP.
 - 4.30 CONT. G.S.M. GUTTER TO RWL AS INDICATED - RE: SITE PLAN / CIVIL TYP.
 - 5.09 STUCCO FINISH AS SPECIFIED / DETAILED TYP.
 - 5.21 FASCIA AS DETAILED.
 - 5.22 WALL PACK LIGHT FIXTURE, RATED FOR EXTERIOR USE - RE: ELEC. DOCS TYP.
 - 5.23 ATTIC GABLE VENT.
 - 5.25 METAL PAN CHANNEL HALO ILLUMINATED SIGNAGE UNDER SEPARATE PERMIT.

- SC-1 SEALED CONCRETE**
Armor SX5000 WB Penetrating Silane Siloxane Concrete Sealer and Masonry Water Repellent.
- B-1 WALL BASE**
ROPPE 6" vinyl wall base with 5/8" covered base
Color: 123 Charcoal
- P-1 PAINT FINISH - WALLS / CEILINGS**
Sherwin Williams
Color: SW 9541 - White Snow
Finish: Eggshell
- P-2 PAINT FINISH - EXTERIOR DOORS / FRAMES**
Sherwin Williams
Color: SW 7638 - Jogging Path
Finish: Mat
- CG-1 ACOUSTICAL LAY-IN CEILING AND TILE**
USG
2x2: Donn Brand AXIAXCE 15/16" Acoustical Suspension System
2x4: Donn Brand CE Acoustical Suspension System
- TP-1 TOILET PARTITIONS**
Bradley
Powder Coated Steel Partitions
Color: Dusk Gray 0177
- SS-1 STAINLESS STEEL**
Brushed stainless steel end cap finish
- PL-1 PLASTIC LAMINATE**
Wilsonart
Commercial Collection
Color: Almond Leather 2932

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335
DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

Rob Burkhart Assoc. A.I.A.

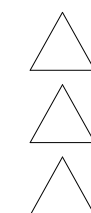
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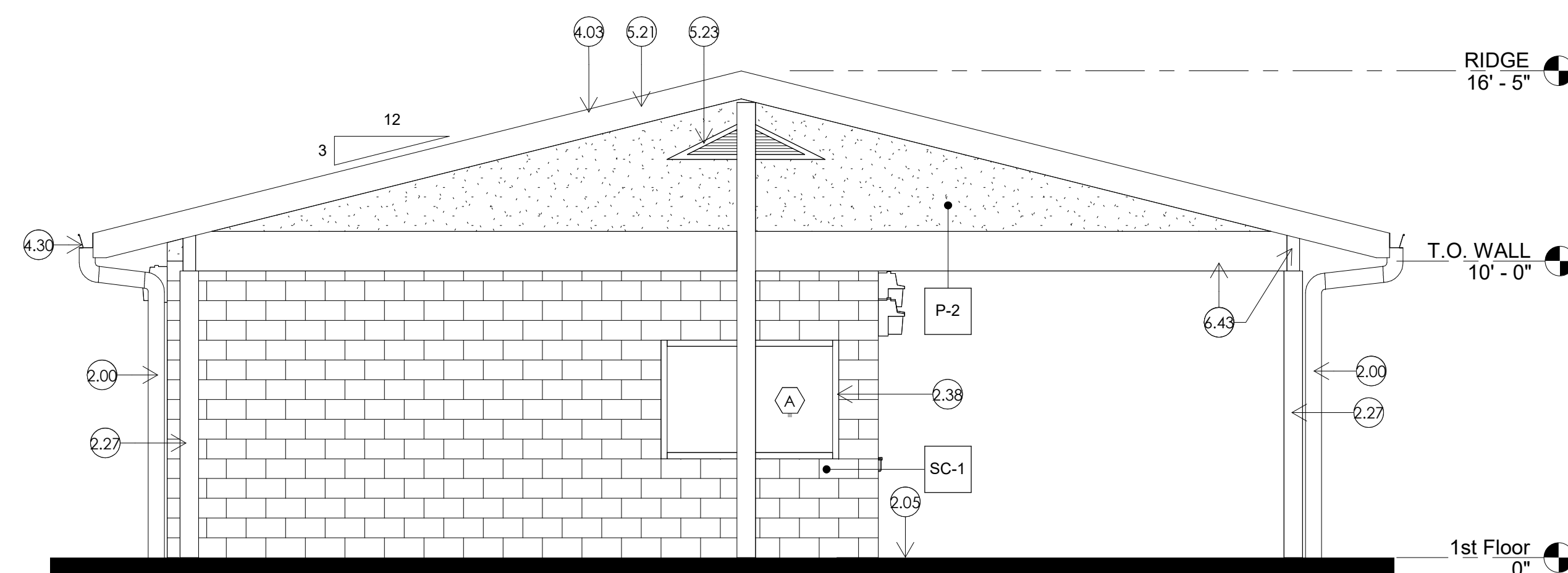
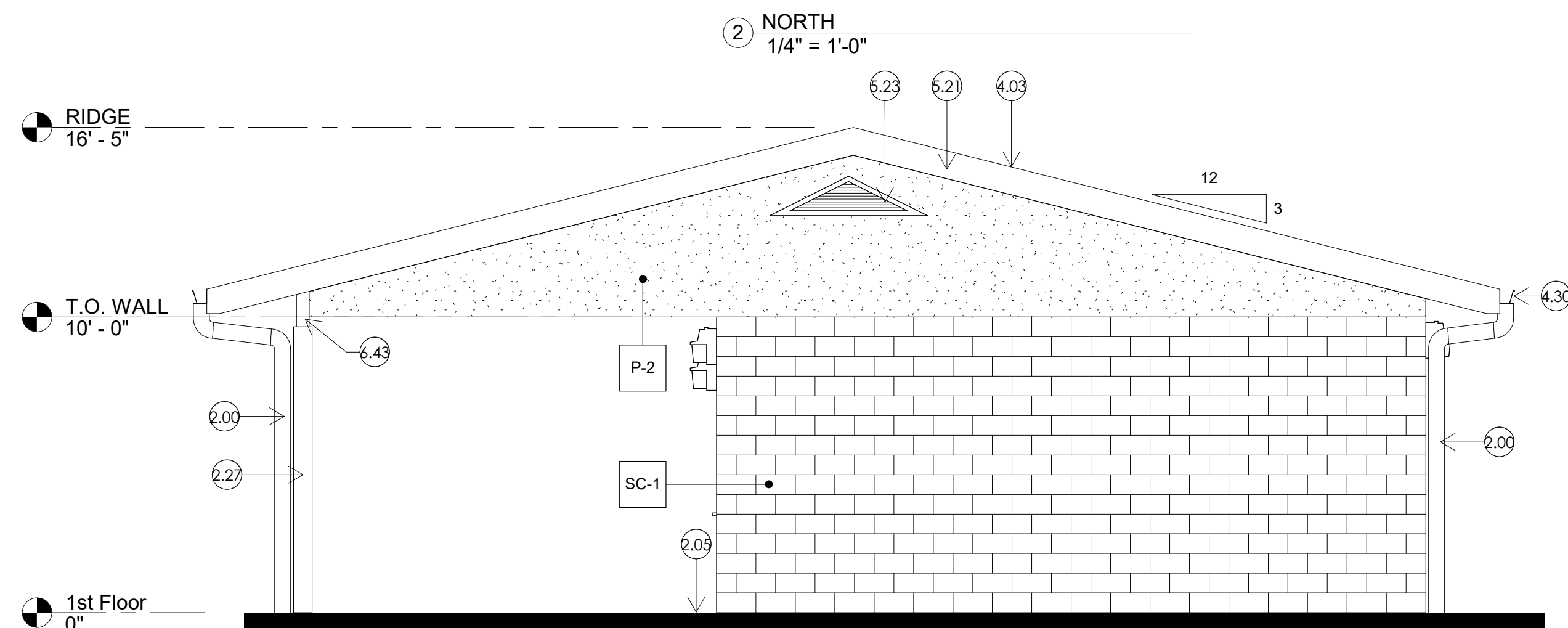
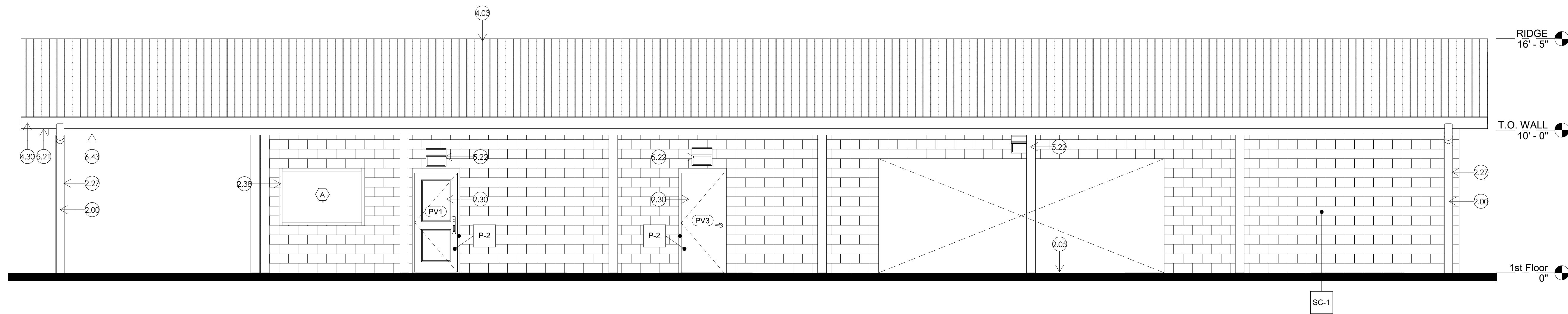
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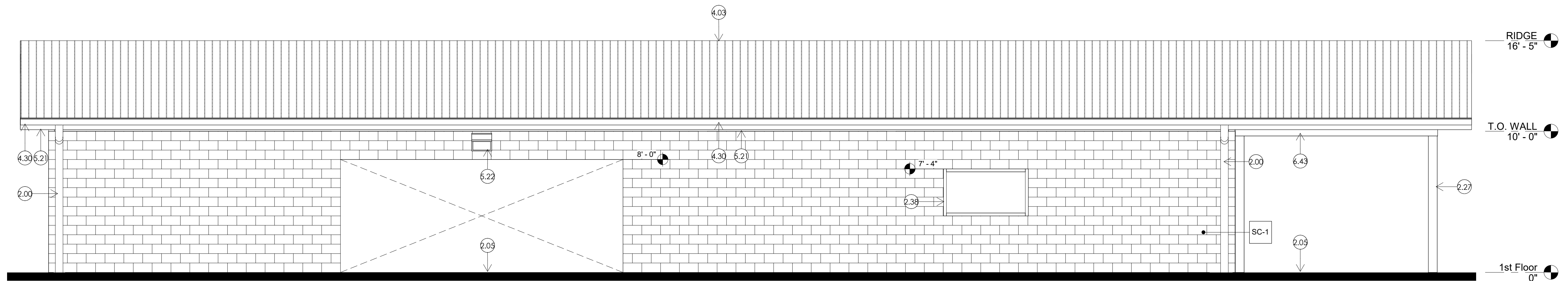
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REVISIONS





4 WEST
1/4" = 1'-0"



1 EAST
1/4" = 1'-0"

3 SOUTH
1/4" = 1'-0"

- KEYNOTES**
- 2.00 RWL (RAIN WATER LEADER) TO GRADE AS DETAILED - RE: SITE PLAN / CIVIL TYP.
 - 2.05 CONCRETE SLAB ON GRADE - RE: STRUCTURAL TYP.
 - 2.27 HEAVY TIMBER COLUMN PER STRUCTURAL TYP.
 - 2.30 DOOR AS SCHEDULED / DETAILED TYP.
 - 2.38 STOREFRONT / CURTAIN WALL AS SCHEDULED / DETAILED TYP.
 - 4.03 STANDING SEEM METAL ROOF AS SPECIFIED / DETAILED - SLOPE AS INDICATED TYP.
 - 4.30 CONT. G.S.M. GUTTER TO RWL AS INDICATED - RE: SITE PLAN / CIVIL TYP.
 - 5.21 ROLL FORMED METAL FASCIA.
 - 5.22 WALL SCOSCE LIGHT FIXTURE, RATED FOR EXTERIOR USE.
 - 5.23 ATTIC GABLE VENT.
 - 6.43 BEAM AS SCHEDULED - RE: STRUCT. DOCS. TYP.

DESERT TRUSS EL MIRAGE

10100 N Dysart Road, El Mirage, Arizona 85335

DESERT TRUSS

Project No. 21-010.00 Date 05.11.2023

DESIGN REVIEW

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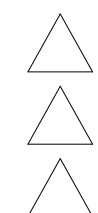
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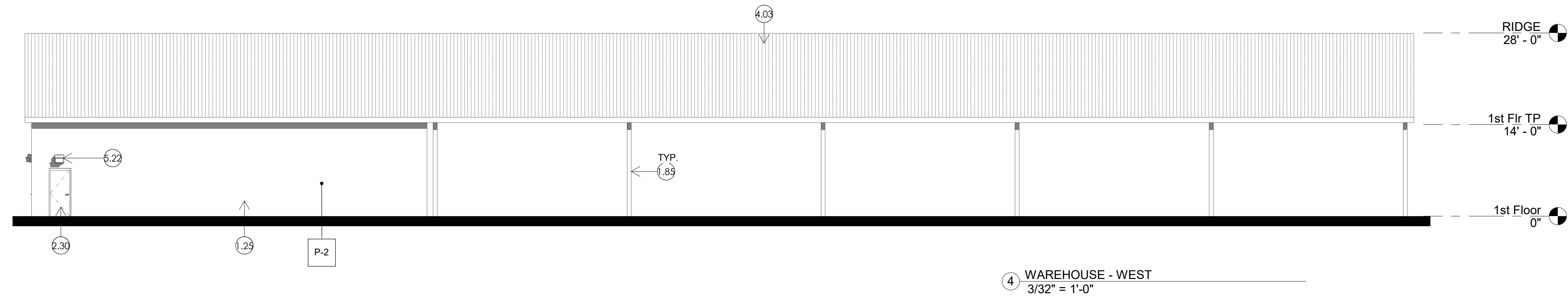
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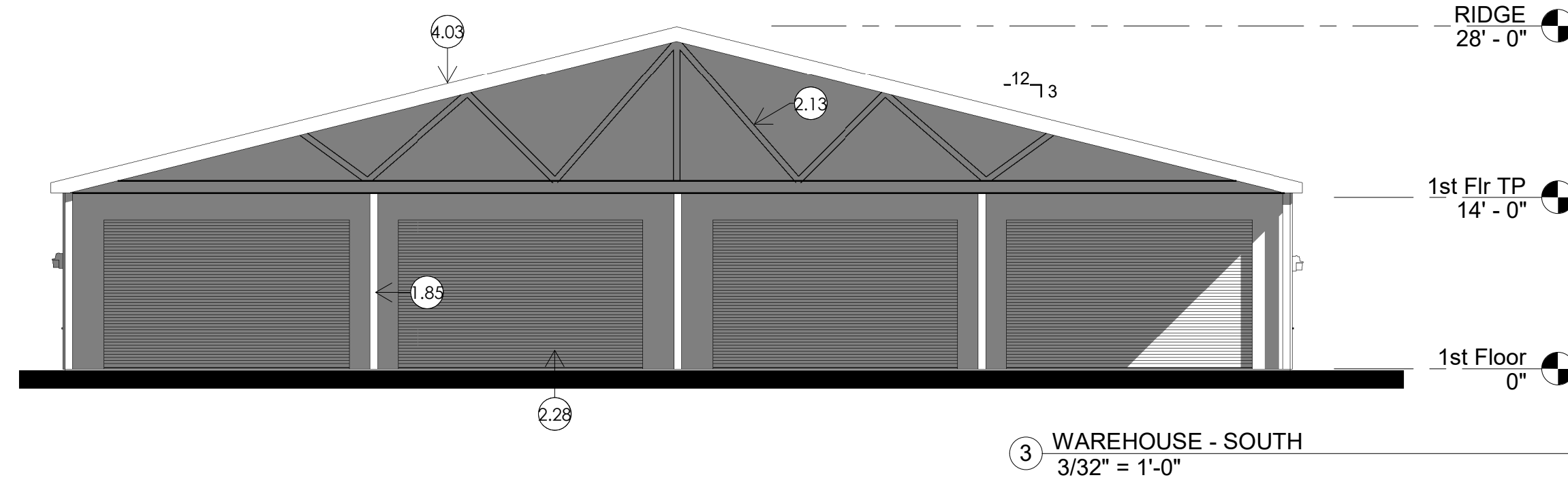
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REVISIONS

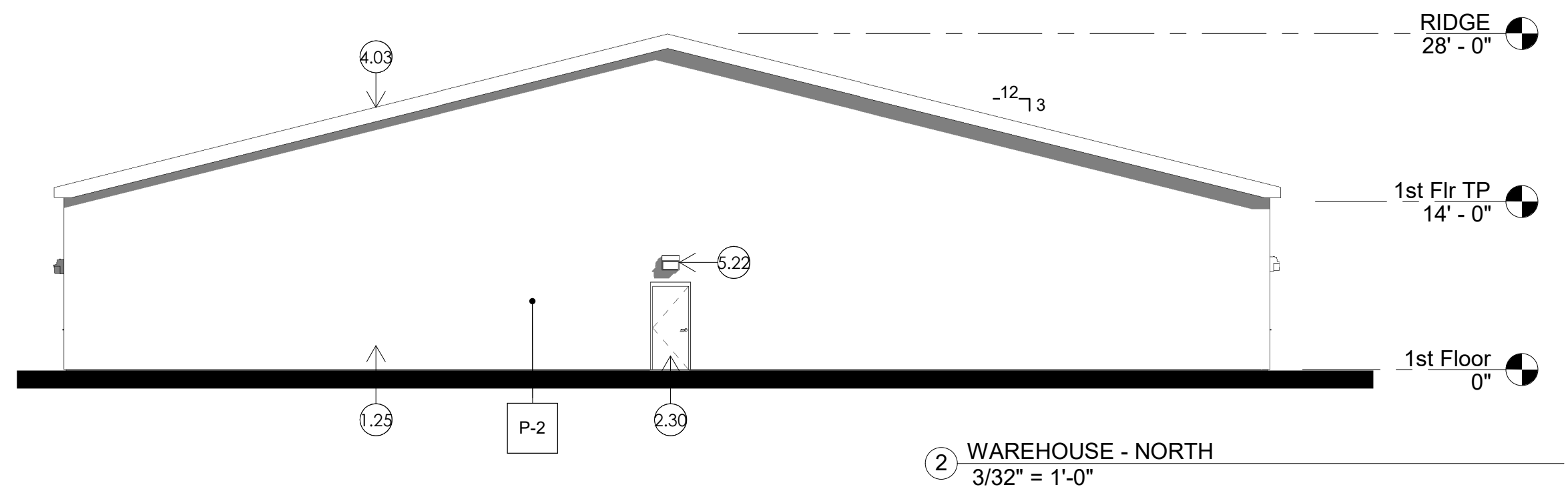




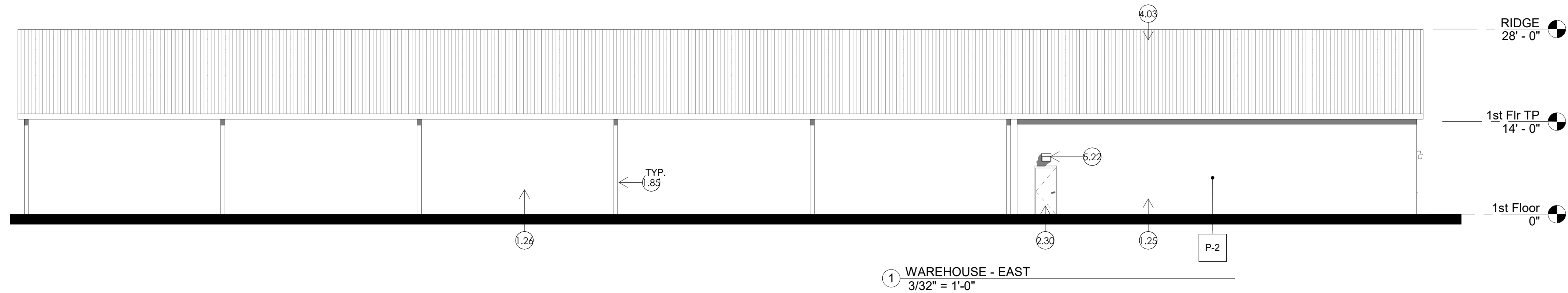
4 WAREHOUSE - WEST
3/32" = 1'-0"



3 WAREHOUSE - SOUTH
3/32" = 1'-0"



2 WAREHOUSE - NORTH
3/32" = 1'-0"



1 WAREHOUSE - EAST
3/32" = 1'-0"

SC-1 SEALED CONCRETE
Armor SX5000 WB Penetrating Silane Siloxane Concrete Sealer and Masonry Water Repellent.

B-1 WALL BASE
ROPPE 6" vinyl wall base with 5/8" covered base
Color: 123 Charcoal

P-1 PAINT FINISH - WALLS / CEILINGS
Sherwin Williams
Color: SW 9541 - White Snow
Finish: Eggshell

P-2 PAINT FINISH - EXTERIOR DOORS / FRAMES
Sherwin Williams
Color: SW 7638 - Jogging Path
Finish: Mat

CG-1 ACOUSTICAL LAY-IN CEILING AND TILE
USG
2x2: Donn Brand AX/AXCE 15/16" Acoustical Suspension System
2x4: Donn Brand CE Acoustical Suspension System

TP-1 TOILET PARTITIONS
Bradley
Powder Coated Steel Partitions
Color: Dusk Gray 0177

SS-1 STAINLESS STEEL
Brushed stainless steel end cap finish

PL-1 PLASTIC LAMINATE
Wilsonart
Commercial Collection
Color: Almond Leather 2932

KEYNOTES

- 1.25 PREFABRICATED METAL WAREHOUSE BLDG UNDER SEPARATE SUBMITTAL.
- 1.26 COVERED STORAGE AREA UNDER SEPARATE SUBMITTAL.
- 1.85 SUPPORT COLUMN PER MFG.
- 2.13 WOOD TRUSS PER MFG.
- 2.28 OVERHEAD BAY DOOR PER OWNER TYP.
- 2.30 DOOR AS SCHEDULED / DETAILED TYP.
- 4.03 STANDING SEEM METAL ROOF AS SPECIFIED / DETAILED - SLOPE AS INDICATED TYP.
- 5.22 WALL PACK LIGHT FIXTURE, RATED FOR EXTERIOR USE - RE: ELEC. DOCS TYP.

DESERT TRUSS EL MIRAGE

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DESERT TRUSS

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Scale: AS NOTED

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REVISIONS

