



CITY OF EL MIRAGE DEVELOPMENT APPLICATION FORM

Official Use

Case No: PZ23-01-01 Date Received: 7/11/2023 P&Z Meeting: _____
 CC Meeting: _____

PURPOSE

Development Applications are reviewed by the Technical Advisory Committee (TAC) with the intent to provide the applicant specific information in preparation to meeting the City's technical standards and requirements for the proposed development project. Information provided by TAC is based on applicant submittals and should be considered actual and detailed in nature.

ACTION REQUESTED (Check one)

- | | |
|--|---|
| <input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> General Plan Amendment: ___ Major ___ Minor
<input type="checkbox"/> Planned Area Development (PAD)
<input type="checkbox"/> Planned Area Development Amendment
<input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Site Plan Approval
<input type="checkbox"/> Site Plan Amendment
<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Final Plat
<input type="checkbox"/> Other: _____ |
|--|---|

PROPERTY INFORMATION:

Name of Project: SUNBELT RENTALS Acreage: 9.68
 Property Address/Location: 12398 W. BUTLER DR
 Assessor's Parcel Number: 501-46-001T

APPLICANT / OWNER INFORMATION:

Applicant: <u>THREADED STUDIOS</u>	Owner: <u>SUNBELT RENTALS</u>
Address: <u>3310 N. HAYDEN RD #123-308</u>	Address: <u>2341 DEERFIELD DR</u>
City/ST/Zip: <u>SCOTTSDALE AZ 85251</u>	City/ST/Zip: <u>FORT MILL SC 29715</u>
Phone: <u>602.241.7270</u>	Phone: <u>480.213.1206</u>
Email: <u>JOHN@THREADEDSTUDIOS.COM</u>	Email: <u>DOUG.HAYWAS@SUNBELTRENTALS.COM</u>
Signature: <u>[Signature]</u> (Agreement to act as agent for owner)	Signature: <u>Douglas Hayunga</u> (Authorization for agent to act for owner)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Application Form
<input checked="" type="checkbox"/> Comprehensive Site Plan
<input checked="" type="checkbox"/> Exterior Elevation
<input checked="" type="checkbox"/> Deed and/or Title Report
<input checked="" type="checkbox"/> Drainage Report
<input checked="" type="checkbox"/> A.L.T.A. Survey | <input checked="" type="checkbox"/> Phase I Environment Site Assessment
<input checked="" type="checkbox"/> Preliminary Sewer Report
<input checked="" type="checkbox"/> Preliminary Water Report
<input checked="" type="checkbox"/> Traffic Impact Study
<input checked="" type="checkbox"/> Preliminary Landscape Plans
<input checked="" type="checkbox"/> Filing Fee (see Fee Schedule) |
|---|---|

NARRATIVE



RE: SUNBELT EL MIRAGE PREAPPLICATION NARRATIVE

This project consists of a new 12,000 s.f. single story building which will be utilized for leasing and maintenance of equipment related to a commercial equipment rental business. The south portion of the site contains public parking, asphalt drives and landscape areas. The northern portion of the site will be used as a storage yard to house equipment, not out for rental. This site will be completely screened by an 8' solid masonry wall with solid automatic access gates.

A new exit only drive apron is proposed along El Mirage Rd and will align with the existing drive across the street. Existing drive apron locations on W Butler Dr will remain.

A handwritten signature in black ink, appearing to read "John Meissner". The signature is stylized and cursive.

John Meissner NCARB
602-214-7270

CONTACTS

OWNER	ARCHITECT
SUN BELT RENTALS 2341 DEERFIELD DR FORT MILL, SC 29715 T (480) 213-1206 CONTACT: DOUGLAS HAYUNGS EMAIL: doug.hayungs@sunbeltrentals.com	THREADED STUDIOS, PLLC 3370 N. HAYDEN RD STE 123-303 SCOTTSDALE, AZ 85251 T (602) 214-7270 CONTACT: JOHN MEISSNER AIA, NCARB EMAIL: john@threadedstudios.com

PROJECT NARRATIVE

THIS PROJECT CONSISTS OF A NEW 12,000 S.F. SINGLE STORY BUILDING FOR THE USE OF LEASING AND MAINTENANCE FOR AN EQUIPMENT RENTAL BUSINESS. THE SOUTH PORTION OF THE SITE CONTAINS PUBLIC PARKING, ASPHALT DRIVES AND LANDSCAPE AREAS. THE NORTHERN PORTION OF THE SITE WILL BE USED AS A STORAGE YARD TO HOUSE EQUIPMENT NOT OUT FOR RENTAL. THIS AREA WILL BE COMPLETELY SCREENED BY A 8' SOLID MASONRY WALL WITH SOLID AUTOMATIC ACCESS GATES.

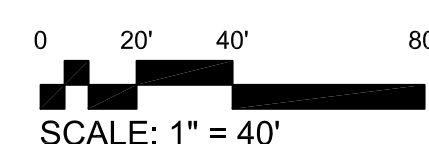
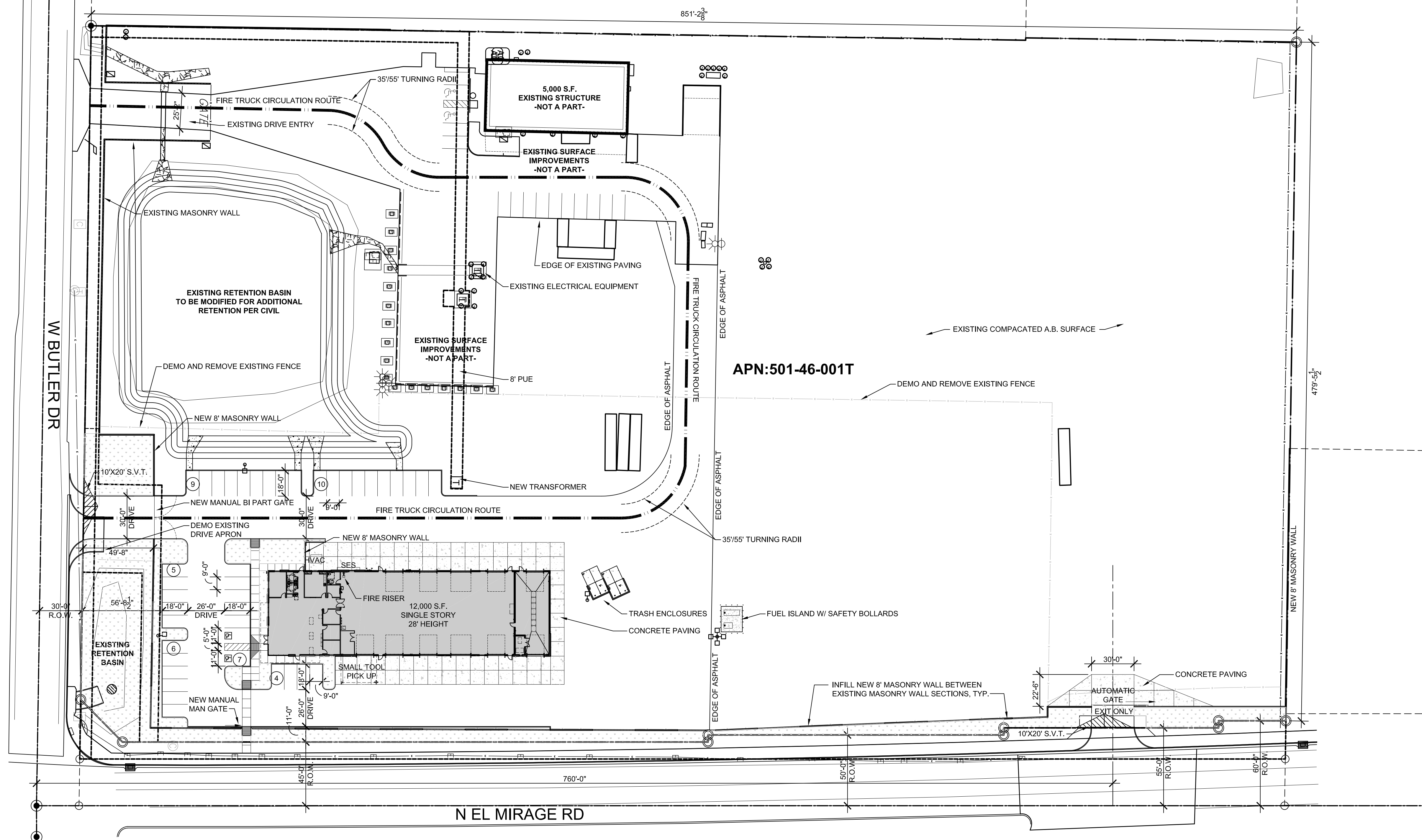
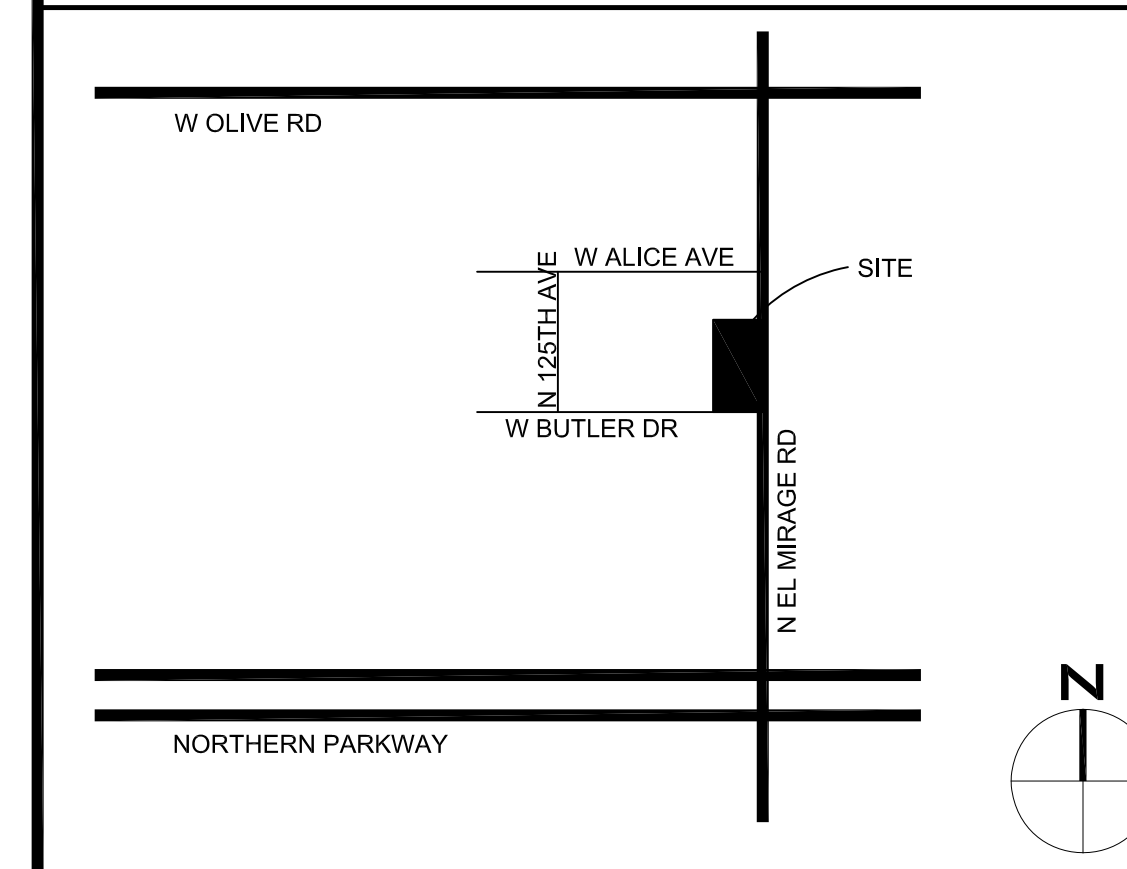
SITE DATA

APN :	501-46-001T
ZONING :	CP/EI I-2 OVERLAY
GROSS SITE AREA :	480,230 SF (11.02 Ac)
NET SITE AREA :	421,727 SF (9.68 Ac)
PROPOSED BUILDING AREA :	12,000 SF
EXISTING BUILDING COVERAGE :	1.18%
PROPOSED BUILDING COVERAGE :	4.03%
LANDSCAPE AREA :	19,764 SF
LANDSCAPE COVERAGE :	4.68%
REQUIRED PARKING :	GENERAL RETAIL = 1/300 12,000 X 0.9 SF / 300 = 36 STALLS
PROVIDED PARKING :	41 STALLS (2 ADA VAN ACCESSIBLE)

BUILDING DATA

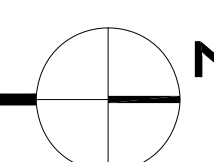
GROSS BUILDING AREA :	12,000 SF
MAX BUILDING HEIGHT :	28'
CONSTRUCTION TYPE :	V-B
FIRE SPRINKLER SYSTEM :	AFES
OCCUPANCY :	B, F-1
OCCUPANT LOAD:	
OFFICE/RENTAL LOBBY	3,000 SF @ 1/100 = 30 OCCUPANTS
SERVICE SHOP / WASHOUT	9,000 SF @ 1/100 = 90 OCCUPANTS
TOTAL	120 TOTAL OCCUPANTS

VICINITY MAP



SITE PLAN

SCALE: 1" = 40'



SUNBELT RENTALS EL MIRAGE

12398 W. BUTLER DR
EL MIRAGE, AZ



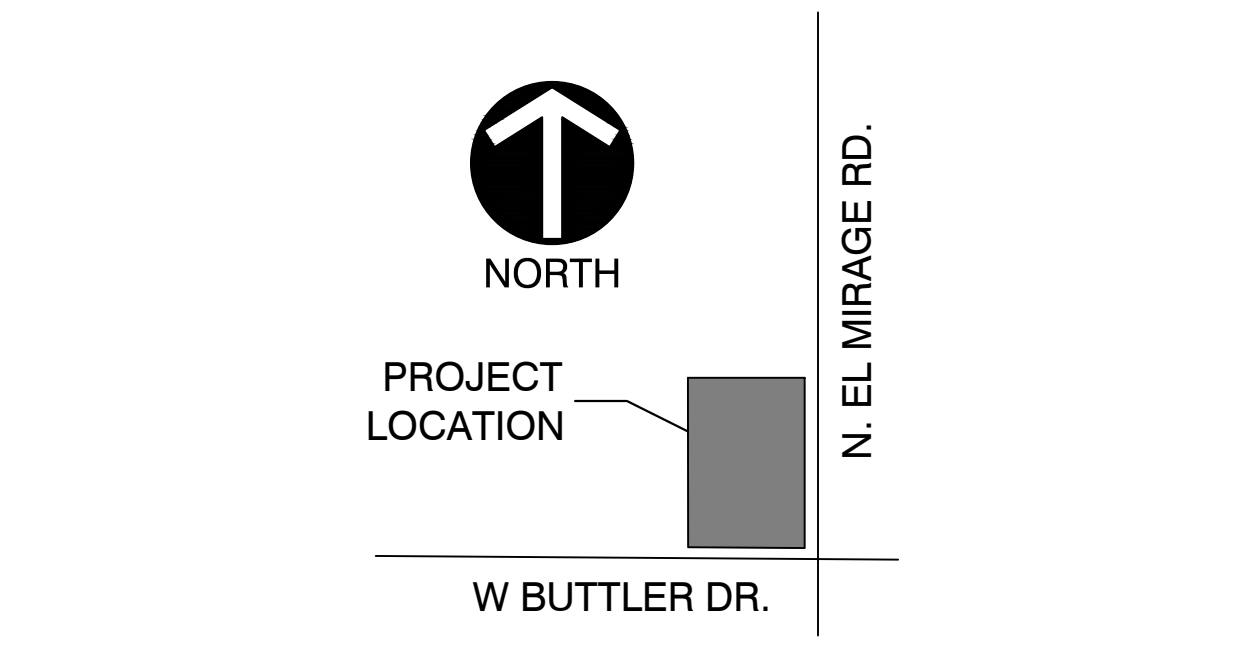
ARCHITECTURE AND PLANNING
3370 N HAYDEN RD SUITE 123-303
SCOTTSDALE, AZ 85251
www.Threadedstudios.com
06/19/23

SITE DEVELOPMENT PLAN

SUNBELT RENTALS EL MIRAGE FACILITY

12398 W. BUTLER DR EL MIRAGE, AZ A PORTION OF NORTHEAST QUARTER OF SECTION 35
T. 3 N R. 1 W OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

SUBMITTAL & REVISION RECORD		
NO	DATE	DESCRIPTION



SITE DATA TABLE

ADDRESS:
12398 W. BUTLER DR
EL MIRAGE, AZ

APN:
501-46-001T

TOTAL LAND AREA:
11.02480,230 SF

ZONING:
CP/EI 1-2 OVERLAY

LEGAL DESCRIPTION:
PT S2 NE4 SEC 35 DAF COM E4 COR SD SEC TH N 30F TH W 33F TPOB TH W 517.99F TH N 660F TH W 1.68F TH N 191.17F TH E 506.46F TH S 851.34F TPOB P/F 00-0720659 EX TH POR S2 NE4 SEC 35 DAF COM E4 COR SD SEC TH N 30F TH W 33F POB TH N 151.33F TH W 27F TH S 47.55F TH E 5F TH S 151.09F TH E 5F TH S 208.88F TH E 5F TH S 413.44F TH S 45D 22M W 42.09F TH E 42F POB P/F 16-0351877

FEMA FLOOD PLAIN DESIGNATION:
ZONE X PER FIRM 04013C1690M EFFECTIVE 09/18/2020

SURROUNDING PROPERTY LAND USE:
NORTH: 500-10-877: PAD - PLANNED AREA DEVELOPMENT
EAST: 500-10-878: PAD - PLANNED AREA DEVELOPMENT
500-04-019S: I1- LIGHT INDUSTRIAL PARK
500-04-013: MF-24 - MULTI-FAMILY RESIDENTIAL
SOUTH: 500-04-020: I1- LIGHT INDUSTRIAL PARK
WEST: 500-09-434: I1- LIGHT INDUSTRIAL PARK

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PARKING:
-GENERAL RETAIL PARKING REQUIRED: (1/300)
12,000 X 0.9 SF /300 = 36 STALLS
-PARKING PROVIDED:
STANDARD = 39 STALLS
ADA COMPLIANT = 2 VAN ACCESSIBLE STALLS

BENCHMARK

EAST 1/4 OF SECTION35, TOWNSHIP 3 NORTH, RANGE 1 WEST FOUND BRASS CAP IN HANDHOLE AT THE INTERSECTION OF BUTLER DRIVE AND EL MIRAGE ROAD.
ASAM #1
ELEVATION = 1091.40 (NAVD88) DATUM

BASIS OF BEARINGS

S00°24'50"E ALONG THE MONUMENT LINE OF EL MIRAGE ROAD AS MEASURED BETWEEN MONUMENTS NUMBERED 1 AND 5 SHOWN HEREON AND DESCRIBED UNDER MONUMENT NOTES.

EARTH WORK

CUT 2,575 CY
FILL 2,409 CY
NET 166 CY CUT

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	INV	INVERT
BC	BACK OF CURB	LF	LINEAL FEET
BCR	BEGIN CURB RETURN	MH	MANHOLE
BCHH	BRASS CAP HAND HOLE	OHP	OVERHEAD ELECTRIC
BDRY	BOUNDARY	P	PAVEMENT
BM	BENCHMARK	PC	POINT OF CURVATURE
CEN	CENTER	PCC	POINT OF COMPOUND CURVE
CL	CENTER LINE	PI	POINT OF INTERSECTION
E	ELECTRIC	POC	POINT ON CURVE
ECR	END CURB RETURN	PP	POWER POLE
EG	EXIST GROUND/GRADE	PRC	POINT OF REVERSE CURVE
EL	ELEVATION	PROP	PROPOSED
EP	EDGE OF PAVEMENT	PT	POINT OF TANGENCY
ESMT	EASEMENT	PUE	PUBLIC UTILITY EASEMENT
EXIST	EXISTING	PVC	POLYVINYL CHLORIDE
FC	FACE OF CURB	R	RIM ELEVATION
FF	FINISH FLOOR	INLET/CATCH BASIN	
FG	FINISH GRADE	RIGHT-OF-WAY	
FHF	FIRE HYDRANT FLANGE	S	SANITARY SEWER
FL	FLOW LINE	SD	STORM DRAIN
G	GUTTER	STA	STATION
GB	GRADE BREAK	SW	SIDEWALK
GV	GAS VALVE	TC	TOP OF CURB
HP	HIGH POINT	TRANS	TRANSITION
IEE	INGRESS EGRESS ESMT.	VG	VALLEY GUTTER
SWE	SIDEWALK EASEMENT	W	WATER

OFFSITE QUANTITIES		
ITEM	QUANTITY	UNIT
DRIVEWAY INSTALL	1	EA
PAVEMENT	1,875	SY
DRIVEWAY REMOVAL	1	EA
CURB AND GUTTER MAG STD DTL 220	1,210	LF
SIDEWALK	1,400	SF

UTILITY CONFLICT NOTICES		
COMPANY	CONTACT	DATE SUBMITTED

LEGEND

- 28' INSIDE, 48' OUTSIDE FIRE TRUCK TURNING RADIUS
- 33'x33' SVT
- PROPERTY BOUNDARY LINE
- CENTER LINE/MONUMENT LINE
- EDGE OF PAVEMENT
- CURB & GUTTER
- INDICATES DRIVEWAY
- EXISTING FENCE
- NEW VIEW WALL PER 6/D2
- EXISTING CHAINLINK FENCE
- NEW 6' SOLID MASONRY WALL PER 4/D2
- NEW 8' SOLID MASONRY WALL PER 7/D2
- ELECTRIC UTILITY
- SEWER UTILITY
- WATER UTILITY
- FIRE WATER SUPPLY
- OVERHEAD UTILITY
- LANDSCAPE SETBACK
- PARKING WATER RETENTION
- GRADE BREAKS
- PAVEMENT

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
040051	2210	L	10/16/2013	X	NA

ENGINEER'S FINISHED FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISH FLOORS ARE FREE FROM INUNDATION FOR ALL STORMS UP TO AND INCLUDING, BUT NOT OVER, THE 100-YEAR STATISTICAL FLOOD EVENT, IF CONSTRUCTED ACCORDING TO THESE APPROVED PLANS. THIS CERTIFICATION DOES NOT INCLUDE ANY GROUND WATER INUNDATION.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION R4-30-301 OF THE RULES OF THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE REVIEW OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY MARICOPA COUNTY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

DRAINAGE STATEMENT

THIS PROJECT IS A PROPOSED 12,000 SF SINGLE STORY BUILDING ON AN EXISTING SUNBELT RENTALS SITE. THE FINISHED FLOOR ELEVATION FOR NEW CONSTRUCTION SHALL BE A MINIMUM OF 14" (1.17 FEET) ABOVE THE LOT OUTFALL, AND SHALL NOT BE SUBJECT TO FLOODING DURING THE 100 YEAR PEAK STORM EVENT. THE EXTREME OUTFALL ELEVATION IS AT THE SOUTHWEST CORNER OF THE SITE AT AN ELEVATION OF 1,180.50'

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

APPROVALS

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF PERMITS. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THE COMPLIANCE APPROVAL SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF LAW OR ORDINANCES.

EL MIRAGE CITY ENGINEER _____ DATE _____

VICINITY MAP

N.T.S.
SECTION 35
TOWNSHIP 3N, RANGE 1W

ENGINEER
ALTA SOUTHWEST
501 S 48TH ST STE 110
TEMPE, AZ 85281
CONTACT: DAVID POUNDERS, PE
PHONE: (480) 323-5314
DAVID.POUNDERS@ALTAARIZONA.COM

ARCHITECT
THREADED STUDIOS, PLLC
3370 N. HAYOEN RD STE 123-303
SCOTTSDALE, AZ, 85251
CONTACT: JOHN MEISSNER AIA, NCARB
PHONE: (602) 214-7270
JOHN@THREADEDSTUDIOS.COM

OWNER
SUNBELT RENTALS
12398 W. BUTLER DR
EL MIRAGE, AZ
CONTACT: DOUGLAS HAYUNGS
PHONE: (480) 213-1206
DOUG.HAYUNGS@SUNBELTRENALS.COM

INDEX OF SHEETS

SHT NO.	DWG NO.	DRAWING TITLES
0	CO	COVER SHEET
1	C100	GENERAL NOTES
2	C101	SITE PLAN
3	C102	GRADING & DRAINAGE PLAN
4	C103	CROSS SECTIONS
5	C104	FIRE PLAN
6	C105	UTILITY PLAN
7	C106	PAVING PLAN
8	C107	SWPPP PLAN
9	C108	SWPPP PLAN DETAILS

PREPARED BY:

1800 W BROADWAY RD SUITE 5 TEMPE, AZ 85282
(480) 656-1517 | ALTASOUTHWEST.COM

SUNBELT RENTALS
EL MIRAGE FACILITY EXPANSION
12398 W. BUTLER DR
EL MIRAGE, AZ
APN: 501-46-001T

DRAWN BY:	TLL	CHECKED BY:	DAP	APPROVED BY:	DAP
DATE:	APRIL 2023	DWG SCALE:	1"=XXX'	PROJECT NO.:	230185-C

COVER SHEET

DRAWING NO: **CO**

SHEET 0 OF 9



CITY OF EL MIRAGE GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION. THE LATEST EDITION OF THE CITY OF EL MIRAGE DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM), GENERAL NOTES AND STANDARD DETAILS WILL CONTINUE TO APPLY WHERE SUCH DETAILS WERE NOT ADOPTED OR INCLUDED BY MAG. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE ENGINEERING DIVISION. IF ACCEPTED, ALTERNATE DETAILS WILL BE SHOWN AS PART OF THE APPROVED PLANS/DETAIL SHEETS.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- APPROVAL BY THE CITY ENGINEER IS FOR GENERAL LAYOUT IN RIGHT-OF-WAY ONLY. THIS APPROVAL OF CONSTRUCTION PLANS IS VALID FOR A PERIOD OF NINE (9) MONTHS. ENGINEERING CONSTRUCTION PERMITS SHALL BE OBTAINED WITHIN THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR APPROVAL. WORK SHALL ALSO BE CONTINUOUSLY PURSUED IN ORDER TO MAINTAIN A VALID PLAN APPROVAL AND PERMIT. APPROVAL IS ONLY FOR WORK WITHIN THE JURISDICTION OF THE CITY OF EL MIRAGE.
- THE CITY ENGINEER DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- ENGINEERING CONSTRUCTION PERMITS FOR ANY WORK WITHIN THE RIGHT-OF-WAY AND EASEMENTS, AND ANY GRADING AND DRAINAGE, WHETHER ON-SITE OR OFF-SITE, ARE REQUIRED PRIOR TO COMMENCING WORK. THE BUILDING PERMIT SHALL NOT BE CONSTRUCTED IN ANY WAY AS PERMISSION TO COMMENCE WORK COVERED BY AN ENGINEERING CONSTRUCTION PERMIT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO UNDERSTAND THE WORK COVERED BY VARIOUS PERMITS.
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION WORK BY TELEPHONE AT 623-876-2975. ANY WORK CONCEALED WITHOUT INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE.
- AN APPROVED SET OF PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR'S/DEVELOPER'S REPRESENTATIVE (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) SHALL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR PROVIDING EMERGENCY TELEPHONE NUMBERS TO THE CITY OF EL MIRAGE AT TIME OF ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS AND HAVE PERSONNEL AVAILABLE 24-HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND MAKE EMERGENCY REPAIRS ON BEHALF OF THE CONTRACTOR/DEVELOPER, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- ALL UNDERGROUND TANKS REQUIRE A PERMIT FROM THE FIRE DEPARTMENT PRIOR TO REMOVAL.
- THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE ENGINEERING DIVISION. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL MATERIALS TESTING AND SAMPLING SHALL BE DETERMINED BY THE ENGINEERING DIVISION. ALL TEST RESULTS SHALL BE REPORTED DIRECTLY (IN WRITING) TO THE ENGINEERING DIVISION. FOR EACH PHASE OF CONSTRUCTION, TEST RESULTS (IN WRITING) MUST BE RECEIVED FROM THE TESTING LABORATORY, PRIOR TO THE START OF THE NEXT PHASE OF CONSTRUCTION. ROCK CORRECTIONS ARE REQUIRED FOR EACH IN-PLACE DENSITY TEST. NUCLEAR/SAND CONE CORRELATIONS ARE REQUIRED WITH ONE (1) SAND CONE TEST FOR EVERY TEN (10) NUCLEAR DENSITY TESTS TAKEN ON-SITE. SEE CITY OF EL MIRAGE MATERIALS TESTING GUIDELINES FOR MORE INFORMATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO SCHEDULE WATER AND SEWER TESTING WITH THE CITY INSPECTOR PER THE CITY'S DESIGN & DEVELOPMENT STANDARDS MANUAL (DDSM). NO TESTING SHALL BE ACCEPTED BY THE INSPECTOR UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- THE EXCAVATING CONTRACTOR MUST GIVE A LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM THE OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT, AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE ENGINEERING DIVISION DOES NOT ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING WHICH HAS BEEN DISTURBED IN ANY WAY, NOR DOES THE DESIGN ENGINEER ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING THAT HAS BEEN IN PLACE FOR A PERIOD OF TWENTY-FOUR (24) HOURS OR MORE WITHOUT THE COMMENCEMENT OF THE CONSTRUCTION FOR WHICH IT WAS SET.
- THE CONTRACTOR SHALL CONTACT BLUE STAKE AT (602) 263-1100 PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CURRENT BLUE STAKE MARKINGS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING LANDSCAPING, LANDSCAPING IRRIGATION LINES, PROPERTY MONUMENTS, FENCING OR SURFACE FEATURES PRIOR TO CONSTRUCTION. ANYTHING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONTACT THE BUILDING SAFETY DIVISION AT (623) 251-3503 TO START THE PROCESS FOR OBTAINING A FIRE HYDRANT METER. ONCE APPROVED, THE CONTRACTOR WILL CONTACT THE CUSTOMER SERVICE DEPARTMENT AT (623) 933-1228 TO SCHEDULE THE INSTALLATION OR RELOCATION OF THE HYDRANT METER. CONTRACTORS SHALL NOT RELOCATE HYDRANT METERS THEMSELVES. THE CONTRACTOR MUST PROVIDE THEIR OWN SUPPORT, BACKFLOW PREVENTER AND CERTIFIED TESTER WITH A CITY WITNESS. A COPY OF THE CERTIFICATION MUST BE PROVIDED TO THE CITY INSPECTOR PRIOR TO USE.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS. GRAVEL TRACK-OUT PADS SHALL MEET CURRENT MARICOPA COUNTY STANDARDS. THE CONTRACTOR/DEVELOPER SHALL IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- ANY AND ALL OBSTRUCTIONS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS SHALL BE REMOVED BEFORE ANY CONSTRUCTION IS COMMENCED.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION (NOT), AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN ANY NECESSARY 401 AND 404 PERMITS. A COPY OF THE PERMIT SHALL BE SUBMITTED TO THE CITY PRIOR TO APPROVAL OF THE GRADING AND DRAINAGE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES WHICH HAVE JURISDICTION AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE. THE CONTRACTOR/DEVELOPER SHALL MEET THE REQUIREMENTS OF THESE PERMITS AS SET FORTH THEREIN.
- AS A REMINDER, MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT HAS ASKED THE CITY TO INFORM ALL CONTRACTORS/DEVELOPERS WORKING IN THE CITY OF EL MIRAGE OF THE FOLLOWING: PER THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS ON EARTH MOVING EQUIPMENT PERMITS, NO PERSON SHALL CAUSE OR PERMIT THE USE OF ANY POWER OR MECHANICAL EQUIPMENT FOR COMMERCIAL PURPOSES TO CLEAR, EXCAVATE OR LEVEL LAND, INCLUDING BUT NOT LIMITED TO BLASTING, DEMOLITION, ROAD AND STREET CONSTRUCTION, SWIMMING POOL EXCAVATING, TRENCHING, VEGETATION REMOVAL, OR ENGAGE IN ANY OTHER EARTH MOVING ACTIVITIES WITHOUT FIRST OBTAINING A PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. THE PROPERTY OWNER, LESSEE, DEVELOPER OR PRIME CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE PERMIT. ALSO AS A REMINDER, IF THE ABOVE REFERENCED DEVELOPMENT HAS WORK THAT NEEDS TO BE DONE IN THE MARICOPA COUNTY RIGHTS-OF-WAY, PLEASE OBTAIN ALL PERMITS FROM THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION. THE PERMITS ISSUED BY THE CITY OF EL MIRAGE DO NOT COVER THE MARICOPA COUNTY RIGHTS-OF-WAY.
- EMERGENCY VEHICLE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AS REQUIRED BY THE CITY OF EL MIRAGE FIRE DEPARTMENT.
- ANY EXISTING LANDSCAPING AND/OR IRRIGATION SYSTEM DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR. THE CONTRACTOR SHALL CALL AND COORDINATE THIS WORK WITH THE CITY OF EL MIRAGE OPERATIONS SUPERINTENDENT AT (480) 372-1131.
- THE CONTRACTOR/DEVELOPER IS SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO MEETING ALL REQUIREMENTS OF OSHA AND ADOSH. THE CITY OF EL MIRAGE ENGINEERING INSPECTOR IS NOT AUTHORIZED TO ADVISE OR DIRECT THE CONTRACTOR/DEVELOPER REGARDING MATTERS OF JOB SITE SAFETY. SHOULD THE CONTRACTOR/DEVELOPER ACT ON SUCH ADVICE OR DIRECTION, IT IS AT THE RISK OF THE CONTRACTOR/DEVELOPER.

CITY OF EL MIRAGE GRADING AND DRAINAGE NOTES

- THE GRADING AND DRAINAGE PLANS MUST BE APPROVED BY THE CITY ENGINEER. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED AT (623) 876-2975, 48 HOURS BEFORE ANY ON-SITE CONSTRUCTION BEGINS. AN APPROVED GRADING AND DRAINAGE PLAN MUST BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLANS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- AN ENGINEERING CONSTRUCTION PERMIT IS REQUIRED PRIOR TO ANY ON-SITE GRADING, INCLUDING CUSTOM HOMES. PRIOR TO THE RELEASE OF THE PERMIT, THE CONTRACTOR MUST OBTAIN A DUST CONTROL PERMIT FROM THE MARICOPA COUNTY AIR QUALITY DIVISION AND PROVIDE A COPY TO THE CITY.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES: A. CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN, INCLUDING BUT NOT LIMITED TO, RETENTION AREAS AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, CHANNELS, WALLS, CURBING, ASPHALT PAVEMENT, BANK PROTECTION AND CHANNELIZATION, AND BUILDING FLOOR ELEVATIONS. B. CONTRACTOR SHALL PROVIDE MINIMUM SLOPE TO THE BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS AS SHOWN ON THE PLANS. RETENTION BASIN SIDE SLOPES SHALL NOT EXCEED 3:1 ON PRIVATE PROPERTY AND 6:1 ADJACENT TO PUBLIC RIGHT-OF-WAY UNLESS NOTED OTHERWISE ON PLANS.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT HOMES OR OTHER IMPROVEMENTS WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- ACCESS BARRIERS/TRASH RACKS ARE REQUIRED ON THE EXPOSED ENDS OF ALL STORM DRAINS EIGHTEEN (18) INCHES IN DIAMETER OR GREATER.
- DRYWELLS MUST BE DRILLED A MINIMUM OF TEN (10) FEET INTO PERMEABLE POROUS STRATA AND PERCOLATION TESTS WILL BE REQUIRED. THE CITY ENGINEERING INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WALL PIPES ARE PLACED WITHIN ANY DRYWELL. PERCOLATION TESTS MUST BE CONDUCTED BY AN INDEPENDENT LABORATORY AND RESULTS PROVIDED TO THE ENGINEERING DIVISION. ALL DRYWELLS MUST BE REGISTERED WITH ADEQ. COPIES OF DRILLING LOGS AND ADEQ REGISTRATION INFORMATION MUST BE PROVIDED TO THE CITY.
- ALL FINISH FLOOR ELEVATIONS SHOWN ARE A MINIMUM OF 14-INCHES ABOVE THE POINT OF OUTFALL AND ONE (1) FOOT ABOVE THE 100-YEAR BASE FLOOD ELEVATION AS SHOWN ON THE APPROVED PLAN.
- A FEMA ELEVATION CERTIFICATE FOR ALL NEW AND SUBSTANTIALLY IMPROVED CONSTRUCTION IN THE FLOODPLAIN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR ALL BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED.
- STAKING PAD AND/OR FINISH FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER. NO MINIMUM FINISH FLOOR ELEVATION WILL BE RAISED OR LOWERED WITHOUT APPROVAL OF THE CITY ENGINEER. IN NON-CRITICAL AREAS, THE DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATION OF CONSTRUCTED BUILDING PAD ELEVATIONS PRIOR TO REQUEST FOR FINAL INSPECTION. IN CRITICAL DRAINAGE AREAS, OR IN THE 100-YEAR FLOODPLAIN, SUBSTITUTE BUILDING FLOOR ELEVATION IN ABOVE NOTE, OR FEMA ELEVATION CERTIFICATE.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTH OF ALL EXISTING UTILITY LINES WITHIN PROPOSED RETENTION AND DRAINAGE FACILITY AREAS. IF THE DRAINAGE FACILITIES CANNOT BE CONSTRUCTED PER PLAN AS A RESULT OF CONFLICT WITH UNDERGROUND UTILITIES, THE CONTRACTOR SHOULD CONTACT THE ENGINEERING DIVISION AND THE DESIGN ENGINEER AND REQUEST MODIFICATION OF THE DRAINAGE FACILITY DESIGN.
- ALL BANK PROTECTION AND CHANNELIZATION MUST BE COMPLETED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- A SEPARATE HAUL PERMIT SHALL BE REQUIRED WHENEVER HAULING IN EXCESS OF 500 CUBIC YARDS OF MATERIAL IN OR OUT OF A SITE. A HAUL ROUTE MUST BE SUBMITTED AND APPROVED BY THE ENGINEERING DIVISION. ADDITIONAL REQUIREMENTS AS SET FORTH BY THE ENGINEERING DIVISION SHALL BE MET.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION (NOT), AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- ONCE AN EXISTING SHOULDER IS DISTURBED BY THE GRADING OPERATION OR ANY OTHER PHASE OF CONSTRUCTION, THE SHOULDER SHALL BE BARRICADED. SUCH BARRICADING SHALL REMAIN IN PLACE UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- AN APPROVED METALLIC LOCATOR TAPE AND TRACING WIRE SHALL BE INSTALLED ON ALL PUBLIC STORM DRAIN PIPES (LINEAR OR NON-LINEAR). THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING A CONNECTIVITY TEST FOR THE TRACER WIRE WITH THE CITY INSPECTOR PRESENT.
- THE CITY OF EL MIRAGE REQUIRES ALL WALLS TO BE APPROVED AND PERMITTED BY THE BUILDING SAFETY DIVISION (623-251-3503).

CITY OF EL MIRAGE PAVING NOTES

- EXACT POINT OF PAVEMENT MATCHING, TERMINATION AND/OR OVERLAY, IF NECESSARY, SHALL BE DETERMINED IN THE FIELD BY THE ENGINEERING INSPECTOR. CRACK SEAL IS REQUIRED BETWEEN OLD AND NEW ASPHALTIC CONCRETE AND BETWEEN ASPHALT AND CONCRETE (I.E. ALONG CURB, VALLEY GUTTER, ETC.).
- ALL FRAMES, COVERS, VALVE BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION. THE CONCRETE COLLAR SHALL BE ADJUSTED LEVEL WITH EXISTING BITUMINOUS PAVEMENT. THE EDGE OF THE CONCRETE COLLAR SHALL BE CRACK SEALED.
- ALL CONTRACTORS/DEVELOPERS SHALL COMPLY WITH MAG STANDARD DETAIL 211 FOR TRENCH PLATING.
- PAVING SHALL NOT START UNTIL ALL APPROPRIATE TESTING HAS BEEN COMPLETED AND ACCEPTED (PRESSURE TESTING OF UTILITIES, DENSITY TESTING, VIDEO OF SANITARY SEWER LINE, ETC.). SERVICE STUBS TO ALL PLATTED LOTS SHALL BE EXTENDED, AND ALL CONFLICTING UTILITY CONSTRUCTION COMPLETED PRIOR TO START OF PAVING.
- TREES AND SHRUBBERY IN THE RIGHT-OF-WAY WHICH CONFLICT WITH THE IMPROVEMENTS PROPOSED HEREIN, ARE NOT TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL OF THE CITY OF EL MIRAGE. THE PERMITEE SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY.
- IN ALL AREAS WHERE NEW CONSTRUCTION OF CURB, GUTTER, SIDEWALKS, AND DRIVEWAYS IS REQUIRED, AND THE ENGINEER DETERMINES THE EXISTING GRADE TO CONSIST OF SOILS WITH SWELLING CHARACTERISTICS, THE MOISTURE CONTENT SHALL BE BROUGHT AS CLOSE AS POSSIBLE TO OPTIMUM REQUIRED FOR COMPACTION BY THE ADDITION OF WATER, BLENDING OF DRY SUITABLE MATERIAL OR BY DRYING OF EXISTING MATERIAL. THE MATERIAL SHALL THEN BE COMPACTED TO A RELATIVE DENSITY OF 75 PERCENT MINIMUM TO 85 PERCENT MAXIMUM WITH 80 PERCENT AS IDEAL.
- CONSTRUCTION LOADS: DURING CONSTRUCTION OPERATIONS, HEAVY EQUIPMENT MAY CROSS EXISTING OR PROPOSED PIPE. IN THIS CASE, AN EARTH FILL SHOULD BE CONSTRUCTED TO AT LEAST THREE (3) FEET ABOVE PIPE. THE FILL MUST BE SUFFICIENT TO PREVENT THE LATERAL DISPLACEMENT OF THE PIPE.
- UNLESS OTHERWISE SPECIFIED, THE CITY OF EL MIRAGE REQUIRES THAT ALL ASPHALTIC CONCRETE MIX DESIGNS (C-3/4" & D-1/2" HIGH VOLUME), CONCRETE MIX DESIGNS, AGGREGATE BASE COURSE SUPPLIERS, SLURRY SEAL AND MICRO-SURFACING SUPPLIERS MEET THE CURRENT CITY OF PHOENIX APPROVED MIX DESIGNS AND SUPPLIERS SUBMITTALS SHALL BE PROVIDED TO THE CITY FOR EACH OF THESE ITEMS PRIOR TO CONSTRUCTION.
- ALL STREET IMPROVEMENTS FOR CUSTOM HOMES MUST BE COMPLETED IN ACCORDANCE WITH THE CITY OF EL MIRAGE POLICY ON UNPAVED STREETS PROVIDED IN SECTION J OF THE CITY'S DESIGN & DEVELOPMENT STANDARDS MANUAL (DDSM). ALL PRIVATE ACCESS MUST BE CONSTRUCTED WITH AN ACCEPTABLE DUST PALLIATIVE.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS. GRAVEL TRACK-OUT PADS SHALL MEET CURRENT MARICOPA COUNTY STANDARDS. THE CONTRACTOR/DEVELOPER SHALL IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS.
- IF ANY EXISTING BARRICADES, TRAFFIC SIGNS OR STREET NAME SIGNS NEED TO BE REMOVED DURING CONSTRUCTION, NOTIFY THE CITY OF EL MIRAGE OPERATIONS SUPERINTENDENT AT (480) 372-1131. A MINIMUM OF 48-HOURS NOTICE IS NEEDED FOR REMOVALS. IF SIGNS AND BARRICADES BELONG TO ANOTHER AGENCY, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO NOTIFY THEM.
- NO WATER SUPPLY HOSE OR RAMPS SHALL BE PLACED ACROSS OR IN THE ARTERIAL OR COLLECTOR STREETS. APPROVAL IN WRITING FROM THE CITY ENGINEER OR HIS DESIGNEE IS REQUIRED FOR PLACEMENT OF THE SUPPLY HOSE OR RAMPS IN LOCAL STREETS. APPLICATIONS SHALL INCLUDE SUBMITTALS OF THE MANUFACTURER'S SPECIFICATIONS, MATERIALS USED, DIMENSIONS OF THE RAMP, PROPOSED LOCATION, PROPOSED BARRICADING AND SIGNAGE.
- ALL FIRE HYDRANTS SHALL HAVE A TWO-WAY BLUE REFLECTOR INSTALLED PER MAG STANDARD DETAIL 122.

ENGINEER NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATION AND VERIFICATION OF ALL UTILITIES (BOTH SHOWN ON THE PLANS & THOSE NOT SHOWN ON THE PLANS) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE CONSTRUCTION PHASE OF THE PROJECT. IN ACCORDANCE WITH AAC R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO THE NATIONAL SANITATION FOUNDATION STANDARDS 60 & 61.

NOTE: ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES AND BASE HIS BID ON HIS ESTIMATE. THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLING DRYWELL(S) SHOULD THE RETENTION BASINS FAIL TO DRAIN WITHIN 36 HOURS.

DRY WELL NOTES

- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRY WELLS SHOWN ON THE GRADING AND DRAINAGE PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.), FOR INFORMATION ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 771-4686.
- DRYWELLS MUST BE DRILLED A MINIMUM 10' INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE GRADING AND DRAINAGE INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRY WELLS.
- THE OWNER/ DEVELOPER IS RESPONSIBLE FOR INSTALLING DRY WELL(S) SHOULD THE RETENTION BASINS FAIL TO DRAIN WITHIN 36 HOURS.

SUBMITTAL & REVISION RECORD		
NO	DATE	DESCRIPTION
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INDEX OF SHEETS		
SHT NO.	DWG NO.	DRAWING TITLES
0	CO	COVER SHEET
1	C100	GENERAL NOTES
2	C101	SITE PLAN
3	C102	GRADING & DRAINAGE PLAN
4	C103	CROSS SECTIONS
5	C104	FIRE PLAN
6	C105	UTILITY PLAN
7	C106	PAVING PLAN
8	C107	SWPPP PLAN
9	C108	SWPPP PLAN DETAILS

PREPARED BY:



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(480) 656-1517 | ALTASOUTHWEST.COM

SUNBELT RENTALS
EL MIRAGE FACILITY EXPANSION
12398 W. BUTLER DR
EL MIRAGE, AZ
APN: 501-46-001T

DRAWN BY:	TLL	CHECKED BY:	DAP	APPROVED BY:	DAP
DATE:	APRIL 2023	DWG SCALE:	1"=XXX'	PROJECT NO.:	230185-C

GENERAL NOTES

DRAWING NO.: **C100**
SHEET 1 OF 9





SITE PLAN


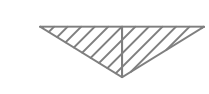

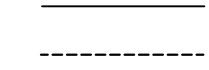






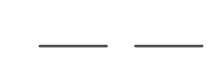



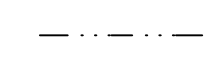


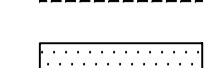
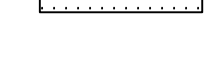

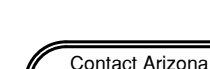
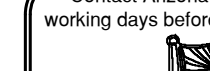
SUNBELT RENTALS EL MIRAGE FACILITY

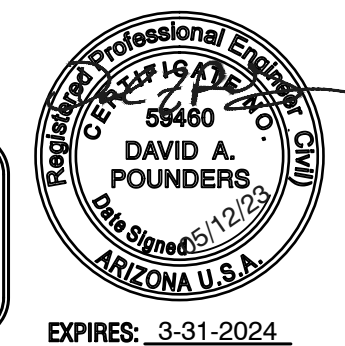
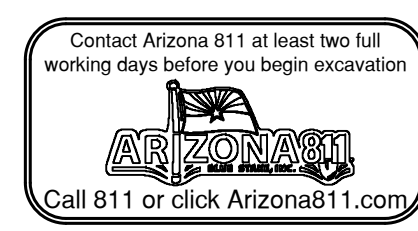
12398 W. BUTLER DR EL MIRAGE, AZ

SUBMITTAL & REVISION RECORD		
NO	DATE	DESCRIPTION

PARCEL LINE TABLE		
LINE	LENGTH	BEARING
L1	1.68'	N89°31'30"W
L2	47.52'	S00°24'50"E
L3	5.00'	N89°35'10"E
L4	5.00'	N89°35'10"E
L5	5.00'	N89°35'10"E
L6	42.09'	S45°01'37"W
L7	22.00'	N89°29'41"E

LEGEND

-  35' INSIDE, 55' OUTSIDE FIRE TRUCK TURNING RADIUS
-  SITE VISIBILITY TRIANGLE
-  PROPERTY BOUNDARY LINE
-  CENTER LINE OR MONUMENT LINE
-  EDGE OF PAVEMENT
-  CURB & GUTTER
-  INDICATES DRIVEWAY
-  EXISTING FENCE
-  NEW VIEW WALL PER 6/D2
-  EXISTING CHAINLINK FENCE
-  NEW 6' SOLID MASONRY WALL PER 4/D2
-  NEW 8' SOLID MASONRY WALL PER 7/D2
-  ELECTRIC UTILITY
-  SEWER UTILITY
-  WATER UTILITY
-  FIRE WATER SUPPLY
-  OVERHEAD UTILITY
-  LANDSCAPE SETBACK
-  PARKING WATER RETENTION
-  VALLEY GUTTER
-  GRADE BREAKS
-  PAVEMENT



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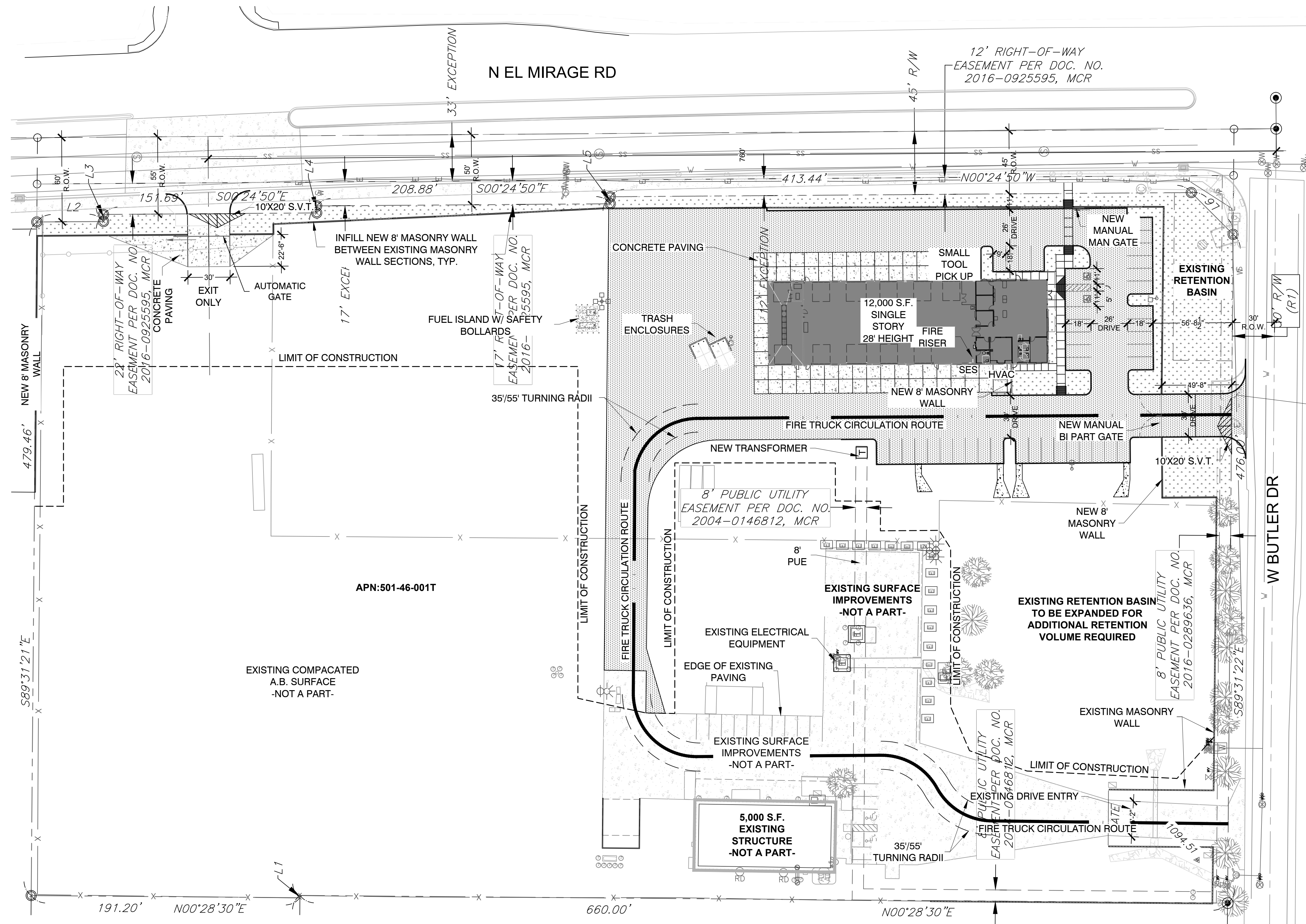
SUNBELT RENTALS
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DRAWN BY: TLL CHECKED BY: DAP APPROVED BY: DAP
DATE: APRIL 2023 DWG SCALE: 1"=XXX' PROJECT NO: 230185-C

SITE PLAN

C101

SHEET 2 OF 9



APN:501-46-001T

EXISTING COMPACTED A.B. SURFACE -NOT A PART-

5,000 S.F. EXISTING STRUCTURE -NOT A PART-

8' PUE

EXISTING SURFACE IMPROVEMENTS -NOT A PART-

EXISTING RETENTION BASIN TO BE EXPANDED FOR ADDITIONAL RETENTION VOLUME REQUIRED

8' PUBLIC UTILITY EASEMENT PER DOC. NO. 2016-0289636, MCR

8' PUBLIC UTILITY EASEMENT PER DOC. NO. 2004-0146812, MCR

23' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

17' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

12' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

INFILL NEW 8' MASONRY WALL BETWEEN EXISTING MASONRY WALL SECTIONS, TYP.

CONCRETE PAVING

12,000 S.F. SINGLE STORY 28' HEIGHT

EXISTING RETENTION BASIN

DEMO EXISTING DRIVE APRON

191.20'

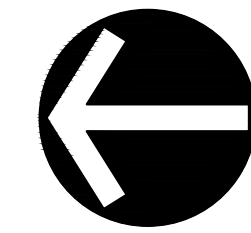
N00°28'30"E

660.00'

N00°28'30"E

W BUTLER DR

N EL MIRAGE RD



NORTH

GRADING & DRAINAGE PLAN

SUNBELT RENTALS EL MIRAGE FACILITY

12398 W. BUTLER DR EL MIRAGE, AZ

LEGEND

- 35' INSIDE, 55' OUTSIDE FIRE TRUCK TURNING RADIUS
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- LANDSCAPE SETBACK
- PARKING WATER RETENTION
- VALLEY GUTTER
- GRADE BREAKS
- PAVEMENT

SUBMITTAL & REVISION RECORD	
NO.	DATE

EX. ON-SITE RETENTION BASIN					
ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	
1,091.25'	10,318.4	N/A	N/A	0.00	
1,091.5'	18,792.31	0.25'	3638.84	3638.84	
1,091.75'	20,724.16	0.5'	4939.56	8578.40	
1,092'	21,712.99	0.75'	5304.64	13883.04	
1,092.25'	22,680.52	1'	5549.19	19432.23	
1,092.5'	23,658.49	1.25'	5792.38	25224.61 Vp	
1' FREEBOARD	1,093.5'	27,849.73	2.25'	6813.46	50901.08

EX. OFF-SITE RETENTION BASIN					
ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	
1,090.25'	268.21	N/A	N/A	0.00	
1,090.5'	708.47	0.25'	122.09	122.09	
1,090.75'	1,289.27	0.25'	249.72	371.80 Vp	
1,091'	1,976.50	0.25'	408.22	780.03	
1,091.25'	2,696.32	0.25'	584.10	1364.13	
1,091.5'	3,346.73	0.25'	755.38	2119.51	
1' FREEBOARD	1,091.75'	4,014.27	0.25'	920.13	3039.63

PROPOSED ON-SITE RETENTION BASIN					
ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	
1,089'	20,447.66	N/A	N/A	0.00	
1,090'	22,882.65	1'	21665.16	21665.16	
1,091'	25,591.53	1'	24237.09	45902.24	
1,092'	28,410.09	1'	27000.81	72903.05	
1,093'	31,329.20	1'	29869.65	102772.70 Vp	
1' FREEBOARD	1,094'	37,469.01	1'	34399.11	137,171.81

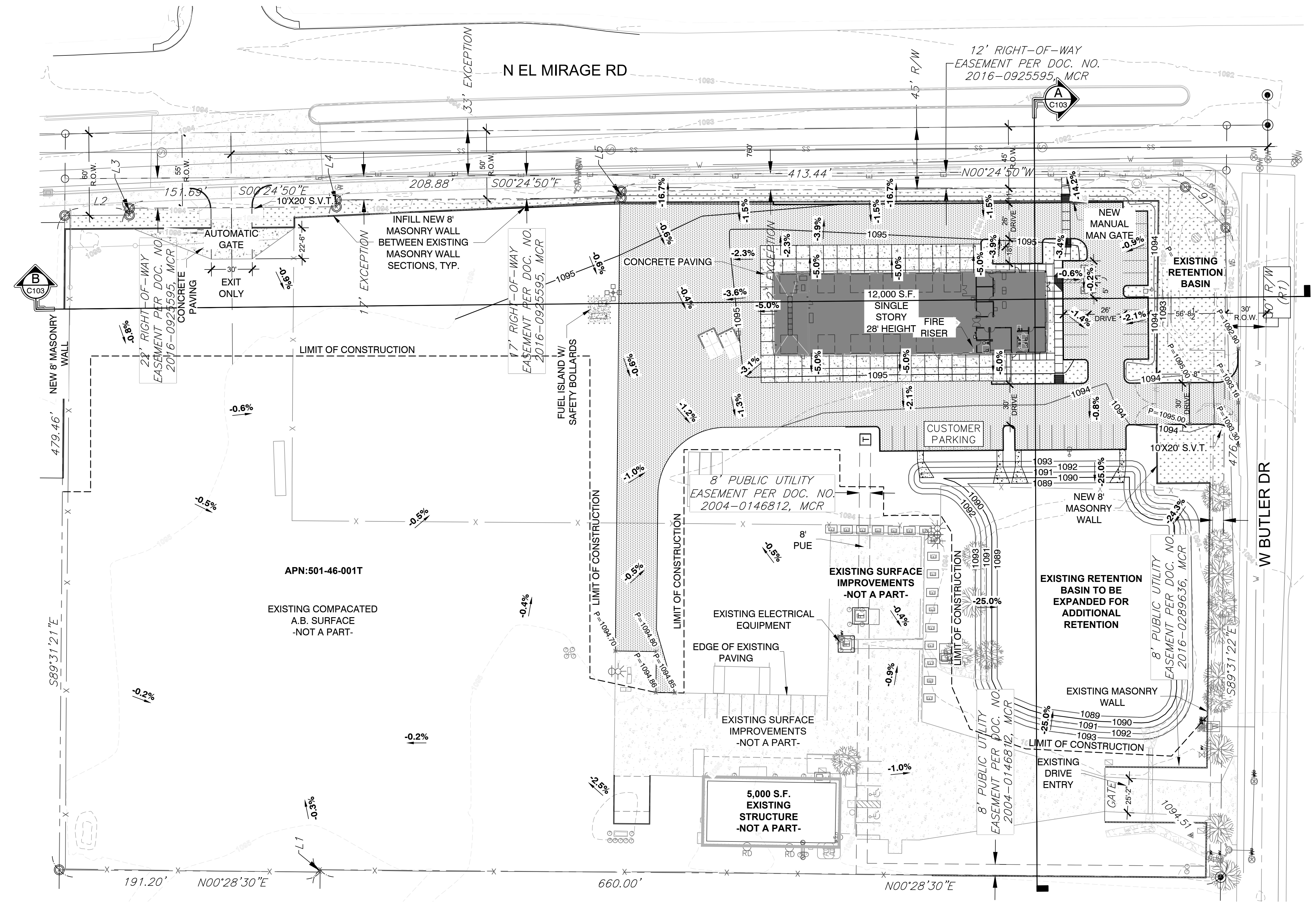
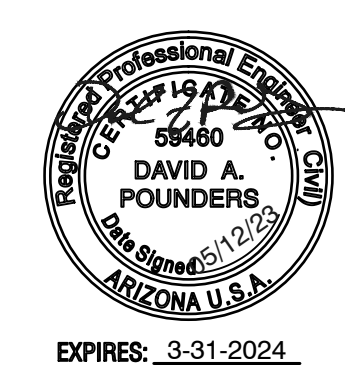
INDEX OF SHEETS		
SHT NO.	DWG NO.	DRAWING TITLES
0	CO	COVER SHEET
1	C100	GENERAL NOTES
2	C101	SITE PLAN
3	C102	GRADING & DRAINAGE PLAN
4	C103	CROSS SECTIONS
5	C104	FIRE PLAN
6	C105	UTILITY PLAN
7	C106	PAVING PLAN
8	C107	SWPPP PLAN
9	C108	SWPPP PLAN DETAILS

PREPARED BY:
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SUNBELT RENTALS
EL MIRAGE FACILITY EXPANSION
 12398 W. BUTLER DR
 EL MIRAGE, AZ
 APN: 501-46-001T

DRAWN BY: TLL CHECKED BY: DAP APPROVED BY: DAP
 DATE: APRIL 2023 DWG SCALE: 1"=XXX' PROJECT NO: 230185-C

GRADING & DRAINAGE PLAN **C102**
 SHEET 3 OF 9



191.20' N00°28'30"E 660.00' N00°28'30"E

APN:501-46-001T

EXISTING COMPACTED A.B. SURFACE -NOT A PART-

5,000 S.F. EXISTING STRUCTURE -NOT A PART-

8' PUBLIC UTILITY EASEMENT PER DOC. NO. 2004-0146812, MCR

8' PUBLIC UTILITY EASEMENT PER DOC. NO. 2016-0288636, MCR

8' PUBLIC UTILITY EASEMENT PER DOC. NO. 2004-0146812, MCR

23' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

17' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

12' RIGHT-OF-WAY EASEMENT PER DOC. NO. 2016-0925595, MCR

INFILL NEW 8' MASONRY WALL BETWEEN EXISTING MASONRY WALL SECTIONS, TYP.

NEW MANUAL MAN GATE

12,000 S.F. SINGLE STORY 28' HEIGHT FIRE RISER

EXISTING RETENTION BASIN

EXISTING RETENTION BASIN TO BE EXPANDED FOR ADDITIONAL RETENTION

EXISTING ELECTRICAL EQUIPMENT

EXISTING SURFACE IMPROVEMENTS -NOT A PART-

EXISTING MASONRY WALL

EXISTING DRIVE ENTRY

AUTOMATIC GATE

EXIT ONLY

CONCRETE PAVING

CUSTOMER PARKING

EXISTING RETENTION BASIN

W BUTLER DR

NEW 8' MASONRY WALL

NEW 8' MASONRY WALL

NEW 8' MASONRY WALL

NEW 8' MASONRY WALL

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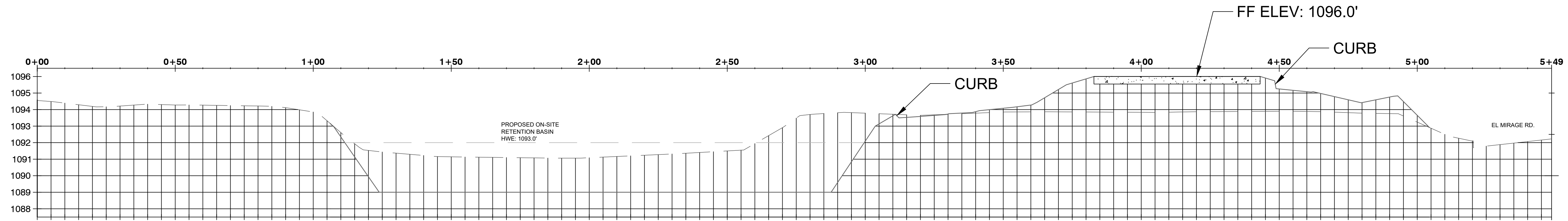
NEW 8' MASONRY WALL

NEW 8' MASONRY WALL

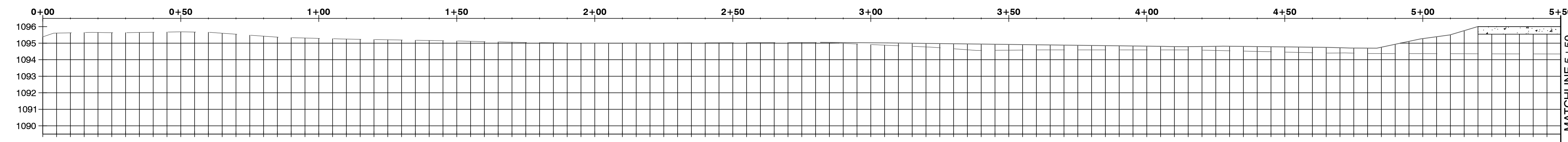
NEW 8' MASONRY WALL

NEW 8' MASONRY WALL

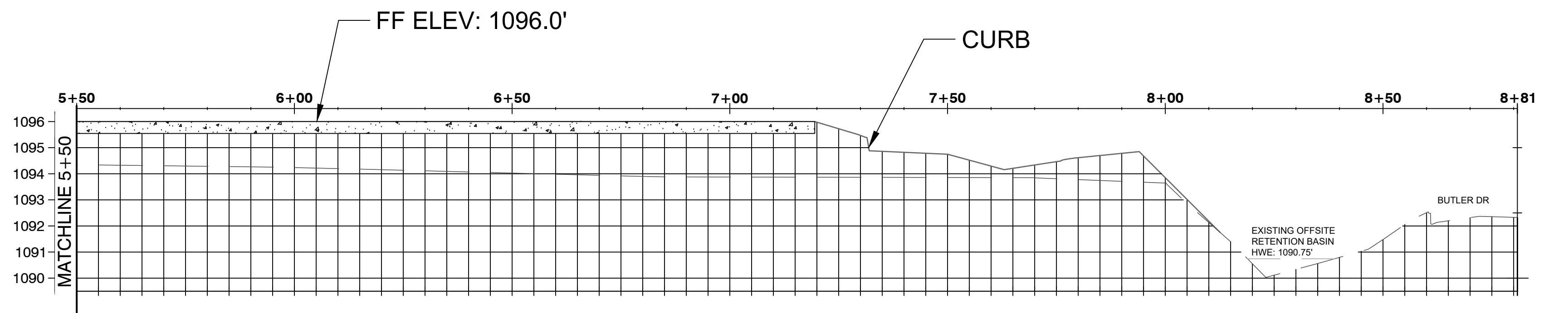
SUBMITTAL & REVISION RECORD		
NO.	DATE	DESCRIPTION



1 SITE IMPROVEMENT PLAN
C103 SCALE: 1" = 20'



2A SITE IMPROVEMENT PLAN
C103 SCALE: 1" = 20'

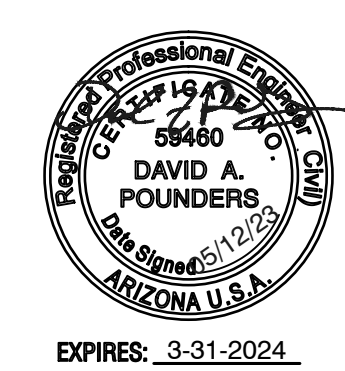


2B SITE IMPROVEMENT PLAN
C103 SCALE: 1" = 20'

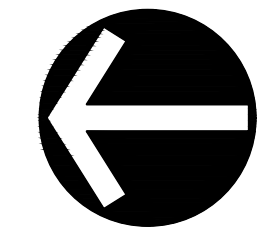
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SUNBELT RENTALS
EL MIRAGE FACILITY EXPANSION
 12398 W. BUTLER DR
 EL MIRAGE, AZ
 APN: 501-46-001T



DRAWN BY:	TLL	CHECKED BY:	DAP	APPROVED BY:	DAP
DATE:	APRIL 2023	DWG SCALE:	1"=XXX	PROJECT NO.:	230185-C
CROSS SECTIONS					C103
SHEET 4 OF 9					DRAWING NO.:



NORTH

FIRE LANE PLAN

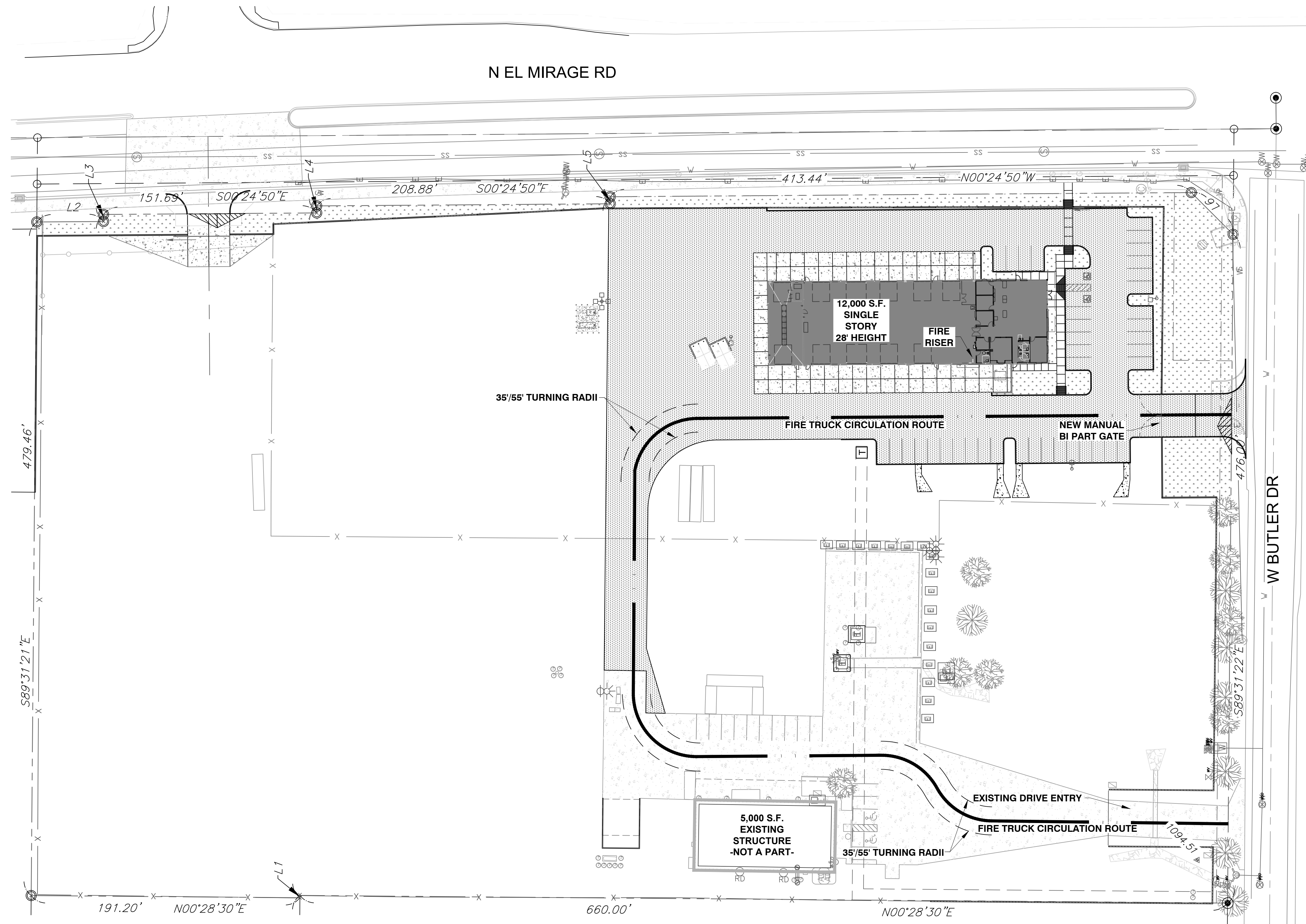
SUNBELT RENTALS EL MIRAGE FACILITY

12398 W. BUTLER DR EL MIRAGE, AZ

LEGEND

- 35' INSIDE, 55' OUTSIDE FIRE TRUCK TURNING RADIUS
- SITE VISIBILITY TRIANGLE
- PROPERTY BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- EDGE OF PAVEMENT
- CURB & GUTTER
- INDICATES DRIVEWAY
- EXISTING FENCE
- NEW VIEW WALL PER 6/D2
- EXISTING CHAINLINK FENCE
- NEW 6' SOLID MASONRY WALL PER 4/D2
- NEW 8' SOLID MASONRY WALL PER 7/D2
- ELECTRIC UTILITY
- SEWER UTILITY
- WATER UTILITY
- FIRE WATER SUPPLY
- OVERHEAD UTILITY
- LANDSCAPE SETBACK
- PARKING WATER RETENTION
- VALLEY GUTTER
- GRADE BREAKS
- PAVEMENT

SUBMITTAL & REVISION RECORD		
NO	DATE	DESCRIPTION



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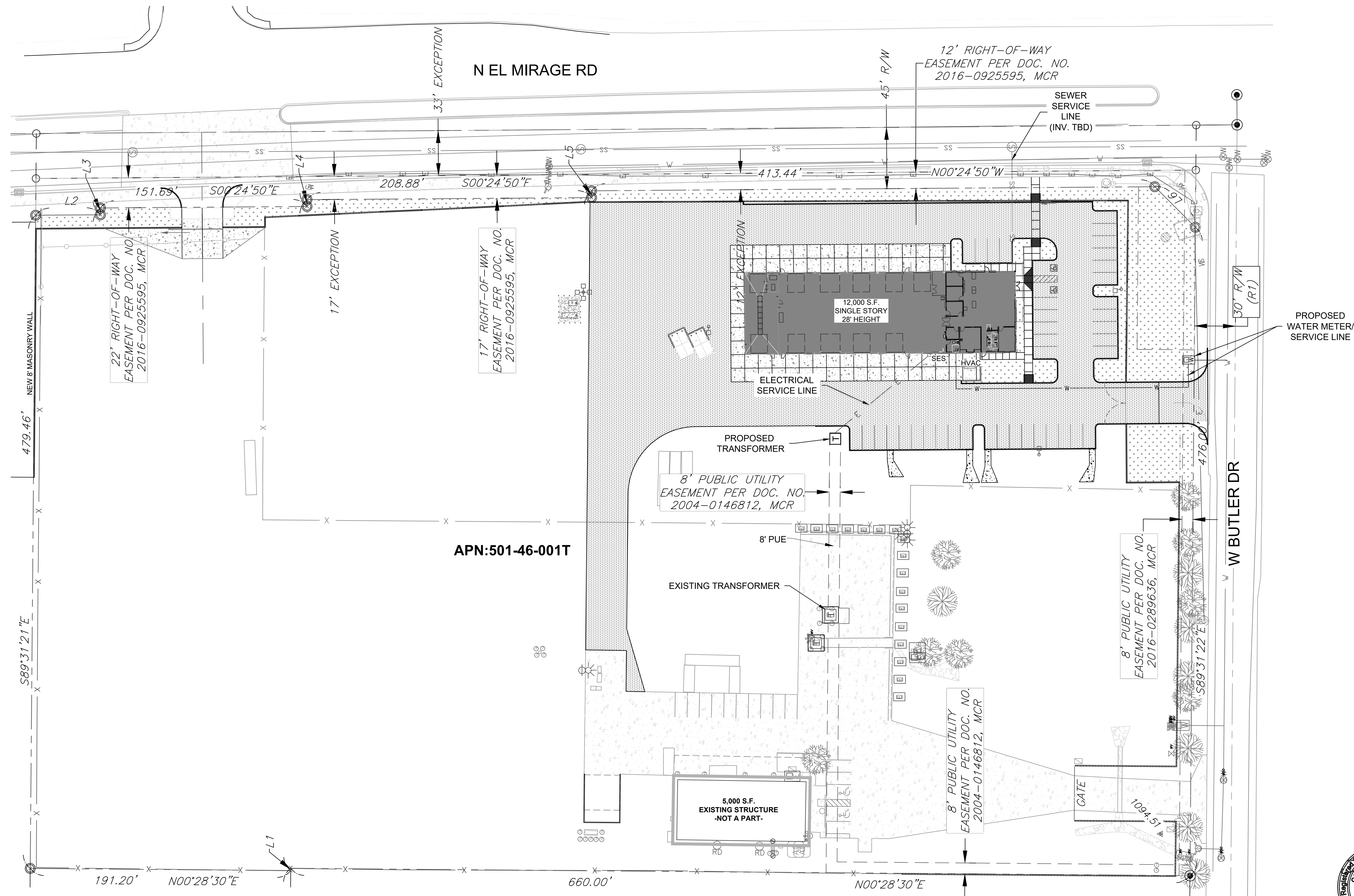


DRAWN BY: TLL	CHECKED BY: DAP	APPROVED BY: DAP
DATE: APRIL 2023	DWG SCALE: 1"=XXX'	PROJECT NO: 230185-C
FIRE PLAN		C104
		SHEET 5 OF 9



UTILITY PLAN
SUNBELT RENTALS EL MIRAGE FACILITY
 12398 W. BUTLER DR EL MIRAGE, AZ

SUBMITTAL & REVISION RECORD		
NO	DATE	DESCRIPTION



INDEX OF SHEETS		
SHT NO.	DWG NO.	DRAWING TITLES
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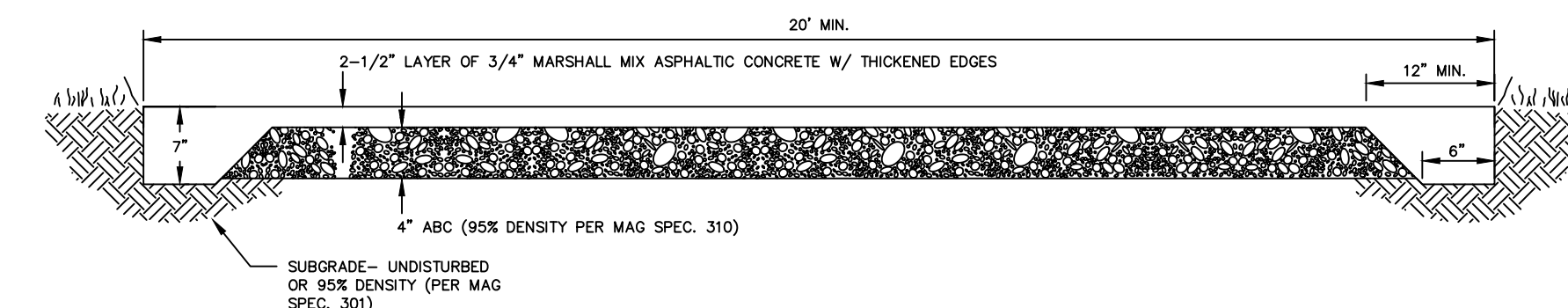


DRAWN BY:	TLL	CHECKED BY:	DAP	APPROVED BY:	DAP
DATE:	APRIL 2023	DWG SCALE:	1"=XXX'	PROJECT NO.:	230185-C
UTILITY PLAN					C105
SHEET 6 OF 9					



PAVING PLAN
SUNBELT RENTALS EL MIRAGE FACILITY
 12398 W. BUTLER DR EL MIRAGE, AZ

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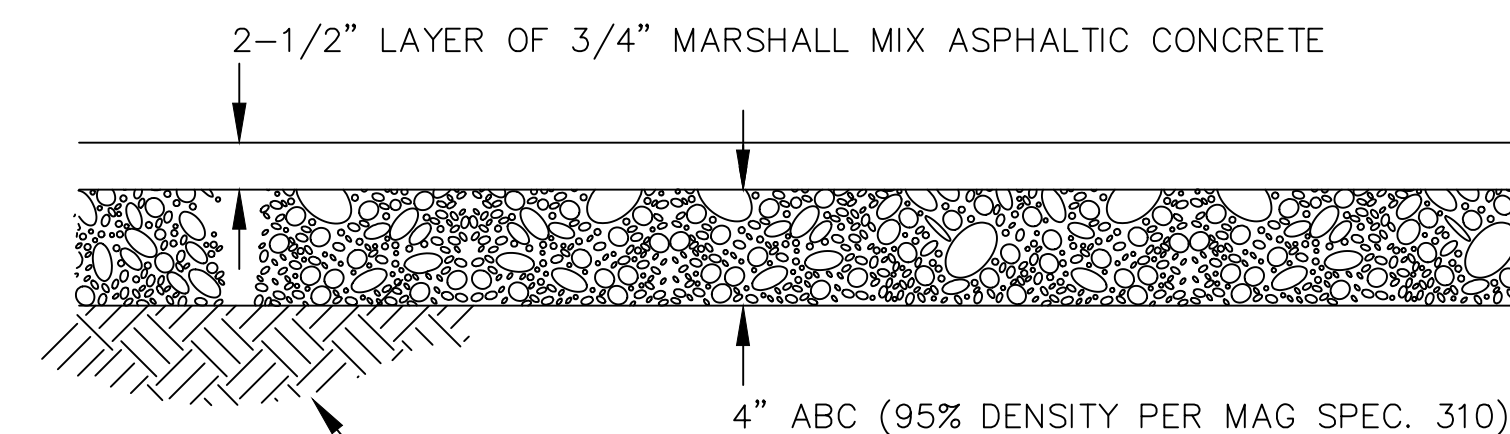


**FIRE DEPARTMENT
PERMANENT ACCESS ROADWAY**

2

NOTES:

- 1 THE MAXIMUM GRADIENT OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 8% (8' IN 100').
- 2 WHERE BUILDINGS ARE LESS THAN 30' IN HEIGHT, A 20' UNOBSTRUCTED WIDTH SHALL BE MAINTAINED ON EITHER SIDE OF THE ACCESS ROADWAY.
- 3 WHERE BUILDINGS ARE MORE THAN 30' IN HEIGHT, A 26' UNOBSTRUCTED WIDTH SHALL BE MAINTAINED ON EITHER SIDE OF THE ACCESS ROADWAY.

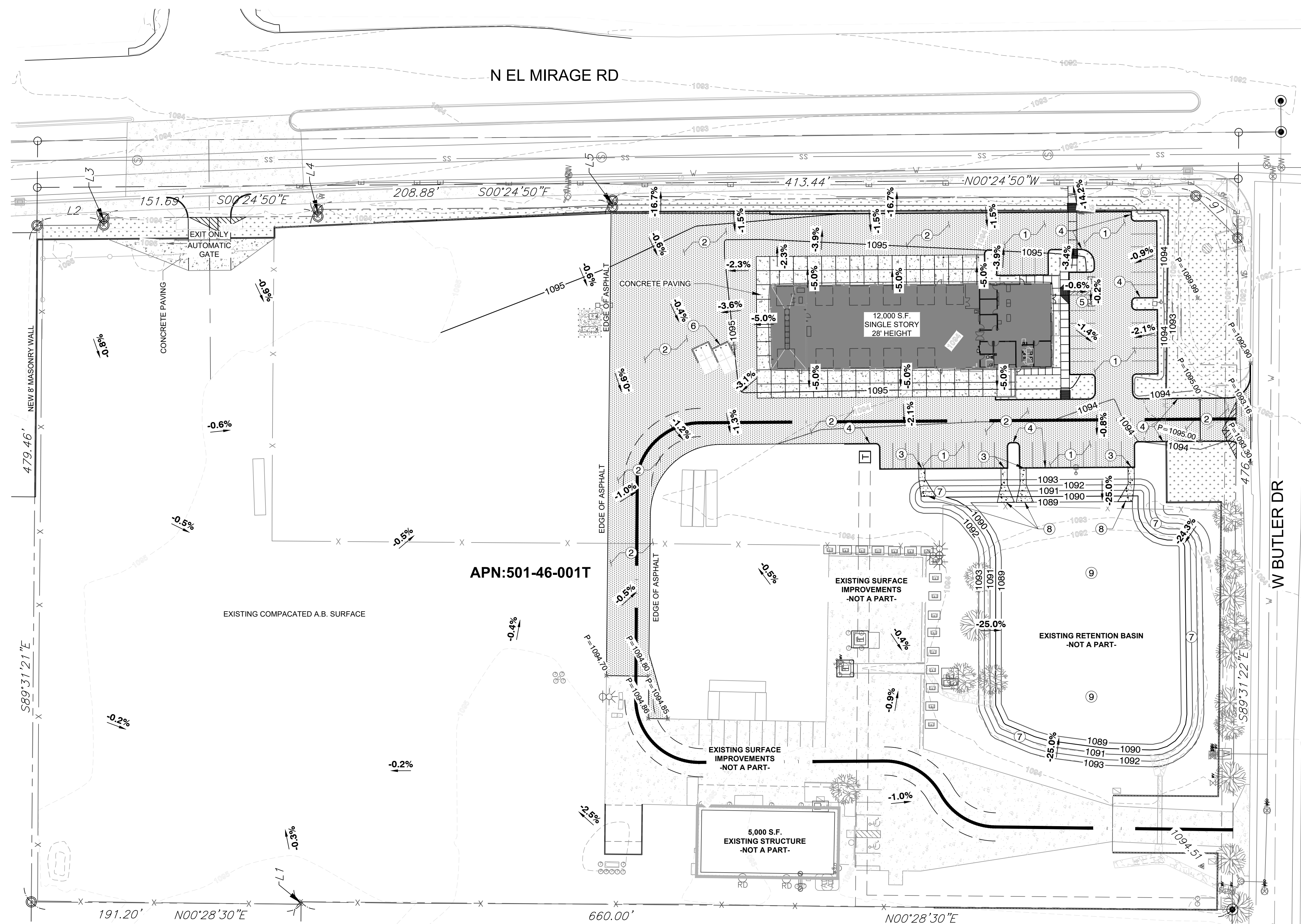


1

**SUBGRADE- UNDISTURBED
OR 95% DENSITY (PER MAG
SPEC. 301)**

KEYNOTES:

1. INSTALL 2.5" A.C. ON 4" A.B.C. ON 12" COMPACTED SUBGRADE, MOISTURE CONDITIONED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D698 AND IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
2. INSTALL 2.5" A.C. ON 4" A.B.C. ON 12" COMPACTED SUBGRADE, MOISTURE CONDITIONED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D698 AND IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
3. CONSTRUCT CURB OPENING FOR STORM WATER TO ENTER BASIN.
4. CONSTRUCT 6" SINGLE EXTRUDED CURB
5. ADA PARKING SPACES - 2% MAX SLOPE IN ANY DIRECTION.
6. TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
7. GRADE RETENTION BASIN AS SHOWN ON PLANS, MAX 4:1 SIDE SLOPES.
8. INSTALL 4"-8" GROUTED RIPRAP AS SHOWN ON PLANS.
9. INSTALL SINGLE CHAMBER DRYWELL MAXWELL IV.



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DATE: APRIL 2023	DWG SCALE: 1"=XXX'	PROJECT NO: 230185-C
PAVING PLAN		C106
SHEET 7 OF 9		DRAWING NO: 230185-C



EXPIRES: 3-31-2024

CITY OF EL MIRAGE SWPPP NOTES

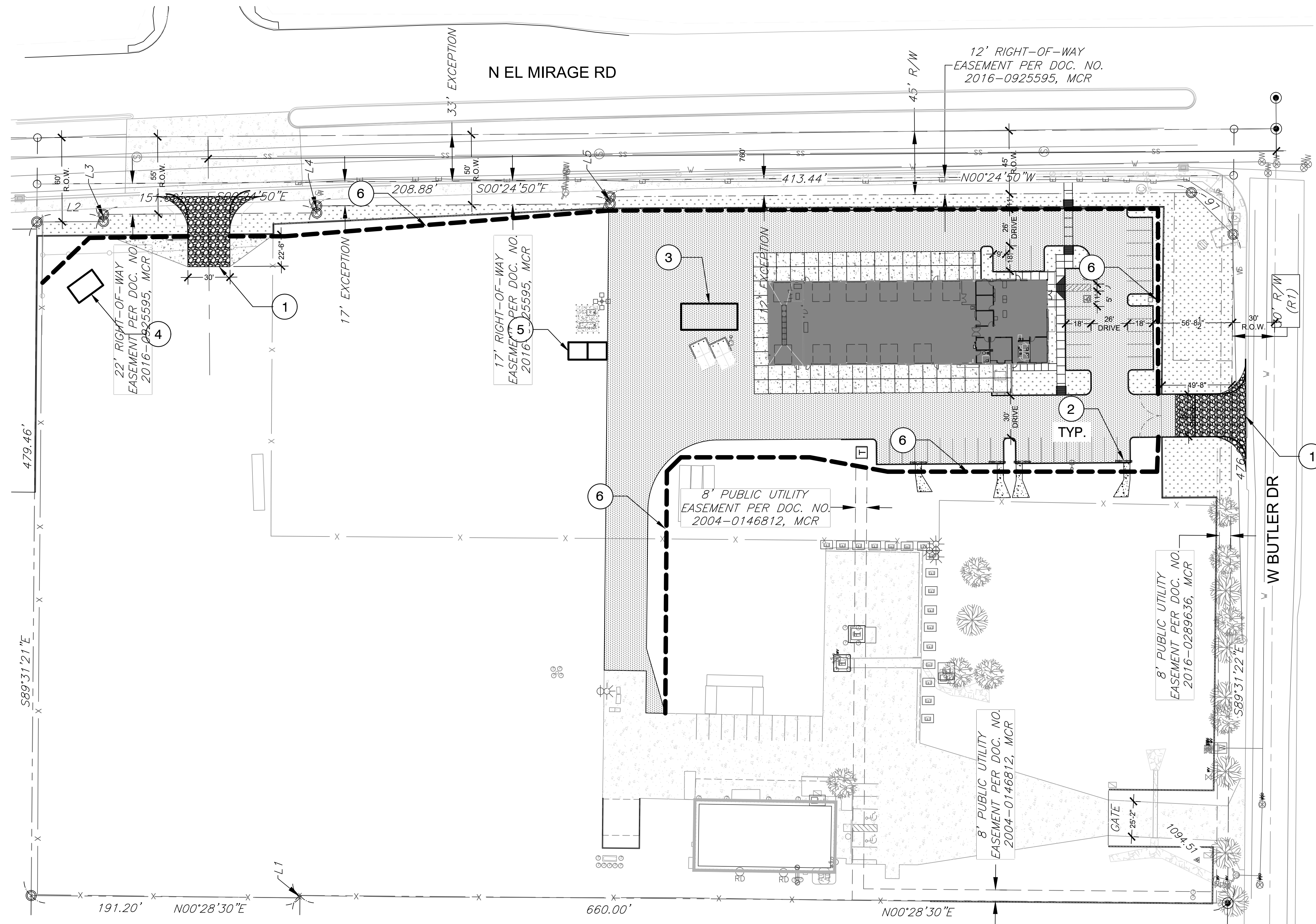
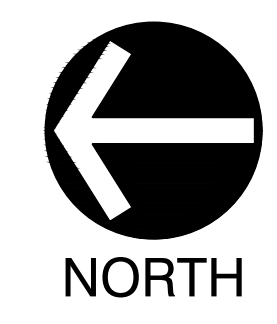
1. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW AT ALL TIMES. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
2. THE CITY OF EL MIRAGE ENGINEERING INSPECTOR, SHALL BE NOTIFIED 48-HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, TELEPHONE (623) 876-2975.
3. THE NOTICE OF INTENT (NOI) SHALL BE COMPLETED AND SUBMITTED TO THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). A COPY OF THE NOI SHALL BE SUBMITTED TO THE CITY PRIOR TO ENGINEERING PERMIT APPROVAL.
4. THE SWPPP AND RELATED RECORDS MUST BE MADE AVAILABLE UPON REQUEST TO ADEQ AND THE CITY OF EL MIRAGE.
5. THE PRIME CONTRACTOR OR OWNER SHALL OBTAIN A DUST CONTROL PERMIT FROM THE MARICOPA COUNTY AIR QUALITY DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST (AND AS INCORPORATED IN THIS SWPPP).
6. THE PRIME CONTRACTOR OR OWNER SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS AND WITHIN 24-HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH (1/2 INCH). THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE ENGINEERING INSPECTOR FOR REVIEW AND APPROVAL AND SHALL BE MAINTAINED ON SITE BY THE OPERATOR. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED AS DETERMINED BY THE CITY ENGINEER OR HIS DESIGNEE.
7. THE PRIME CONTRACTOR OR OWNER SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.

8. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO ADEQ AND THE CITY.
9. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE, ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. ADDITIONALLY, THEY MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
10. THE CONTRACTOR TO WHOM THE "AT-RISK"/FINAL GRADING AND DRAINAGE PERMIT WILL BE ISSUED MUST HAVE THE APPROVED SWPPP ISSUED IN THEIR NAME.
11. THE OWNER (OPERATOR)/CONTRACTOR OF THE SITE MUST ALSO MAINTAIN RECORDS WITH THE FOLLOWING INFORMATION:
 - 11.1. THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR IN A PARTICULAR AREA;
 - 11.2. THE DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA, TEMPORARILY OR PERMANENTLY; AND
 - 11.3. THE DATES WHEN AN AREA IS STABILIZED, TEMPORARILY OR PERMANENTLY; AND
 - 11.4. THE DATES WHEN ANY MAINTENANCE/REPLACEMENT OR REMOVAL OF REQUIRED BMPs HAS OCCURRED.
12. CONSTRUCTION SITES ARE DYNAMIC IN NATURE. THE SITE OPERATOR IS REQUIRED TO MAINTAIN FULL COMPLIANCE WITH THE GENERAL CONSTRUCTION PERMIT, AS ISSUED BY ADEQ, TO MAINTAIN AN EFFECTIVE SWPPP. AS SUCH, THIS PLAN MUST BE UPDATED TO ACCURATELY REFLECT SITE FEATURES AND OPERATIONS. THE PLAN MUST ALSO BE AMENDED IF IT IS DETERMINED BY THE CITY ENGINEER AS NOT EFFECTIVE AT MINIMIZING POLLUTANT DISCHARGES FROM THE SITE.
13. ONCE THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS MET THE FINAL STABILIZATION REQUIREMENTS OF THE PERMIT, THE AUTHORIZED SITE REPRESENTATIVE MAY FILE A NOTICE OF TERMINATION (NOT) WITH ADEQ, WITH A COPY SUBMITTED TO THE CITY OF EL MIRAGE ENGINEERING DIVISION, TO TERMINATE COVERAGE UNDER THE PERMIT.

SUBMITTAL & REVISION RECORD	
NO.	DESCRIPTION

- SEQUENCE OF ACTIVITIES:**
- A. CLEARING AND GRADING SITE
 - B. SUB-GRADE PREPARATION
 - C. UNDERGROUND UTILITY INSTALL. MAY BE DONE SIMULTANEOUSLY WITH A & B.
 - D. PAVING OF DRIVEWAY AND INSTALLATION OF LANDSCAPING.

- CONSTRUCTION NOTES:**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON C2.
 2. STORM DRAIN INLET PROTECTION PER DETAIL ON C2
 3. TEMPORARY TRASH CONTAINER LOCATION (40 YD)
 4. CONCRETE WASH OUT VESSEL LOCATION.
 5. INSTALL CHEMICAL MANAGEMENT STATION SEE DETAIL ON SHEET C2.
 6. INSTALL SILT FENCE AROUND PROPERTY PER DETAIL ON SHEET C2.



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PREPARED BY:

ALTA SOUTHWEST
SURVEY · ENGINEERING · GEOTECH

1800 W BROADWAY RD SUITE 5 TEMPE, AZ 85282
(480) 656-1517 | ALTASOUTHWEST.COM

SUNBELT RENTALS
EL MIRAGE FACILITY EXPANSION
12398 W. BUTLER DR
EL MIRAGE, AZ
APN: 501-46-001T



DRAWN BY: TLL	CHECKED BY: DAP	APPROVED BY: DAP
DATE: APRIL 2023	DWG SCALE: 1"=XXX'	PROJECT NO: 230185-C
SWPPP PLAN		C107
		SHEET 8 OF 9

SUBMITTAL & REVISION RECORD		
NO.	DATE	DESCRIPTION

GH-1 Chemical Management Photos



Secondary drum containment platform.
Courtesy of Interstate Products, Inc.



Secondary drum containment covered storage.
Courtesy of Interstate Products, Inc.

GH-2 Solid Waste Management Photos



Separate out different wastes from each other for recycling.



Place signage on the dumpster to prevent improper disposal of hazardous wastes.

GH-4 Designated Washdown Areas Photos

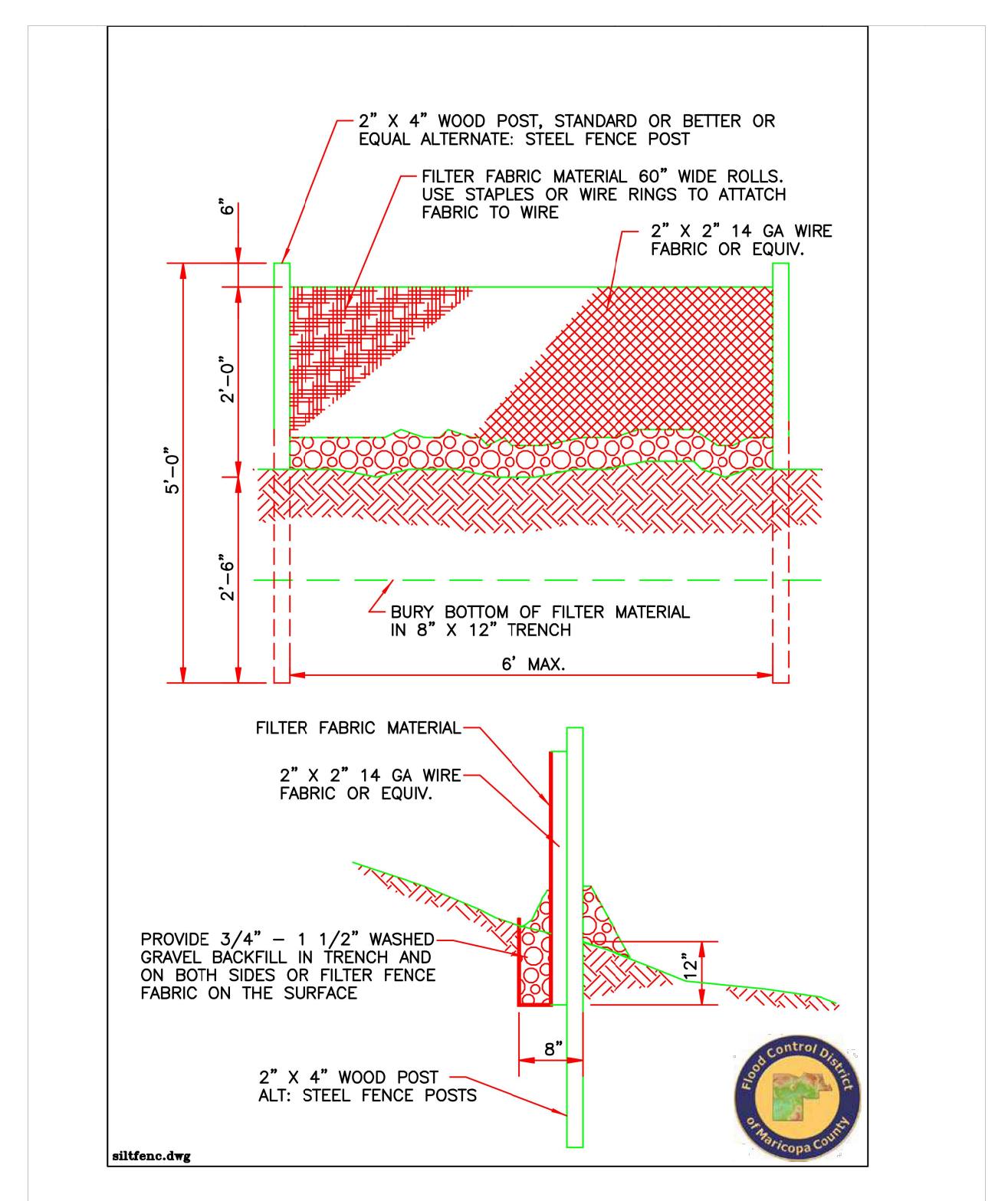


Concrete washout container.
Courtesy of Concrete Washout Systems, Inc.

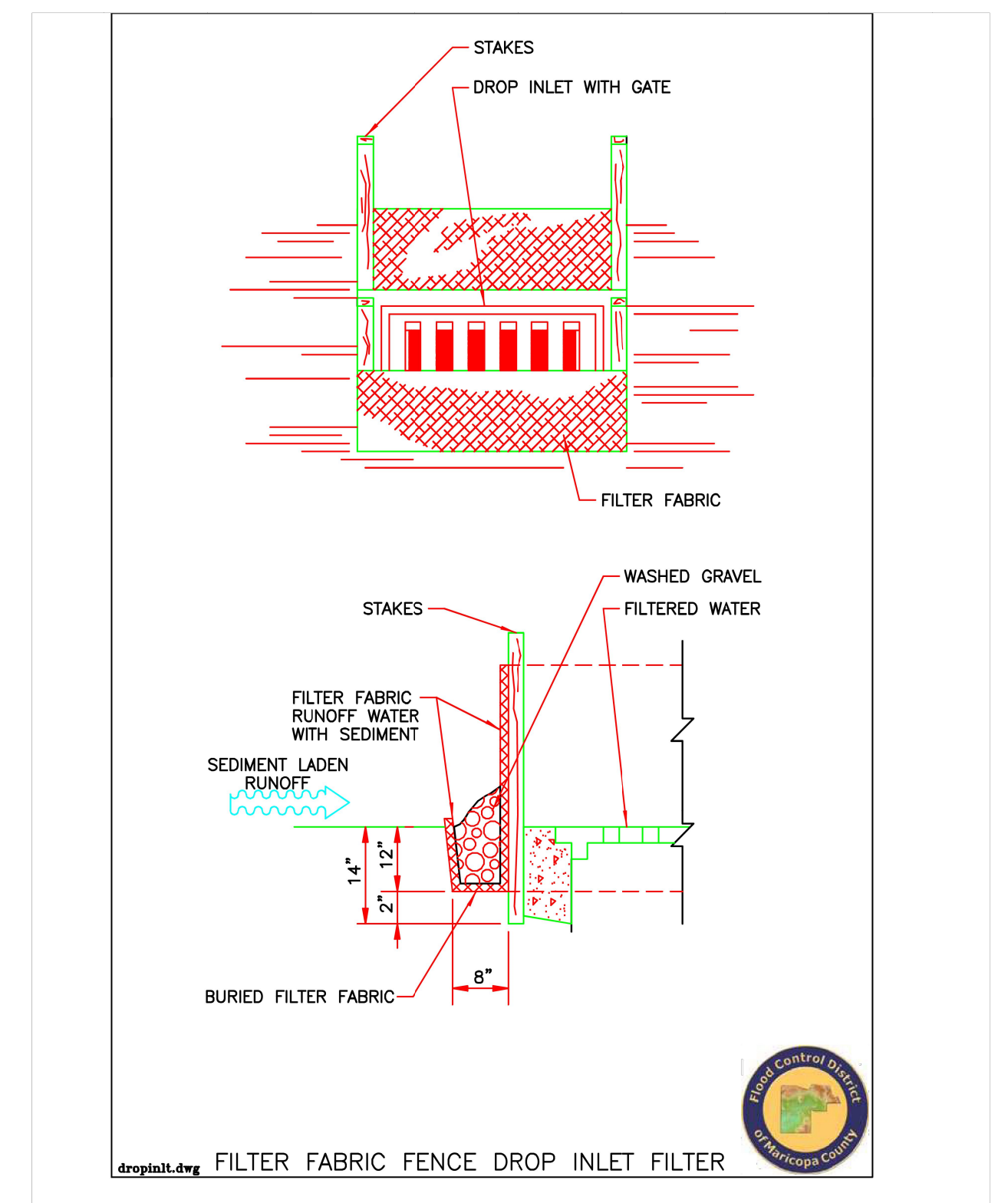


Concrete washout area.
Courtesy of Douglas County

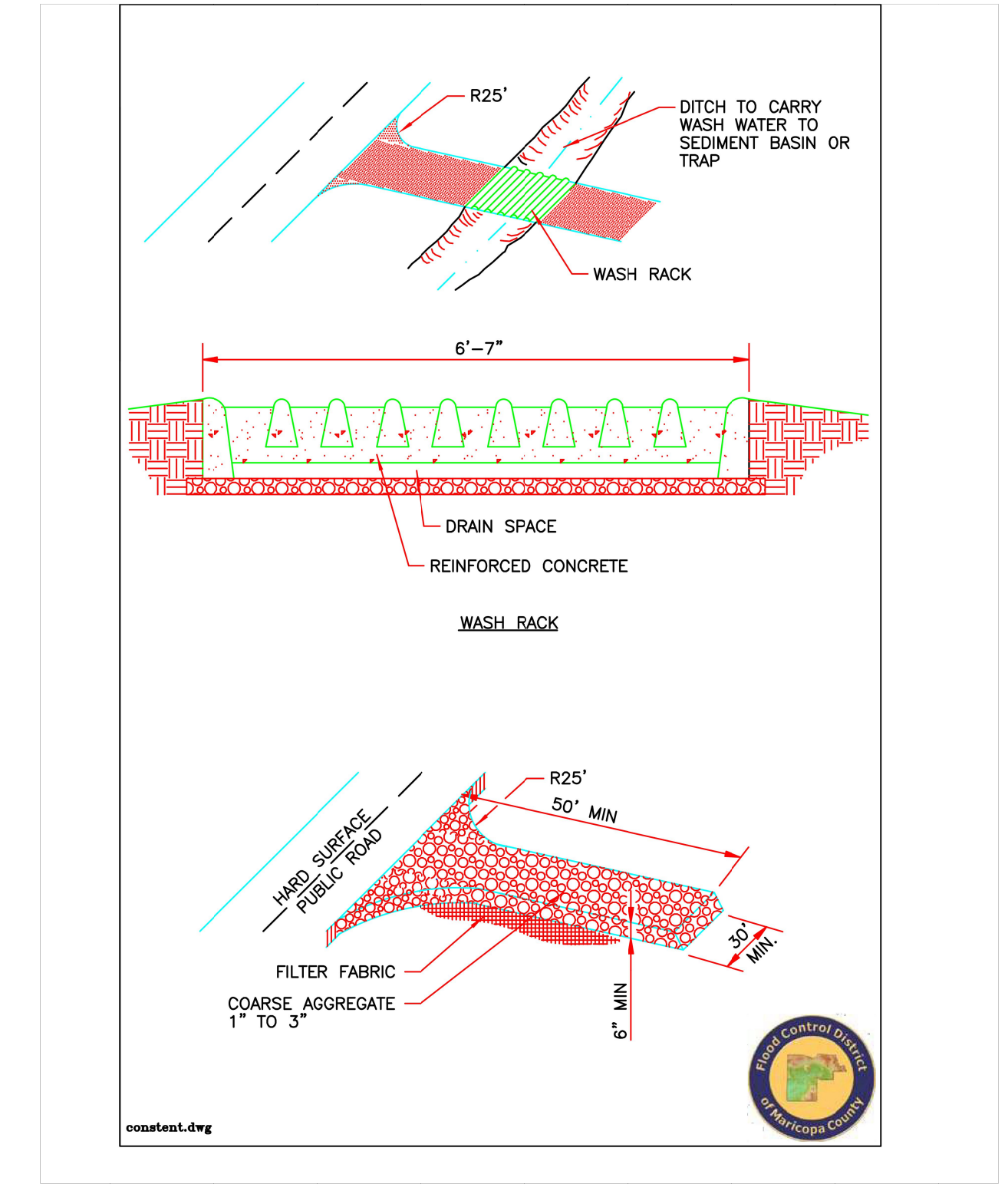
SPC-5 Silt Fence Drawing



SPC-7 Storm Drain Drop Inlet Protection Drawing



EC-5 Stabilized Construction Entrance Drawing



INDEX OF SHEETS		
SHT NO.	DWG NO.	DRAWING TITLES
0	CO	COVER SHEET
1	C100	GENERAL NOTES
2	C101	SITE PLAN
3	C102	GRADING & DRAINAGE PLAN
4	C103	CROSS SECTIONS
5	C104	FIRE PLAN
6	C105	UTILITY PLAN
7	C106	PAVING PLAN
8	C107	SWPPP PLAN
9	C108	SWPPP PLAN DETAILS

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SWPPP PLAN DETAILS

DRAWING NO. **C108**
SHEET 9 OF 9

SUNBELT RENTALS

project consultants

owner:

SUNBELT RENTALS
12398 WEST BUTLER DRIVE
EL MIRAGE, AZ 85335
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440 NORTH MAIN STREET, SUITE 202
FLORENCE, ARIZONA 85132
PROJECT CONTACT: TYLER LARUE
PHONE: 480.290.0088
EMAIL: tyler.larue@altaarizona.com

architecture:

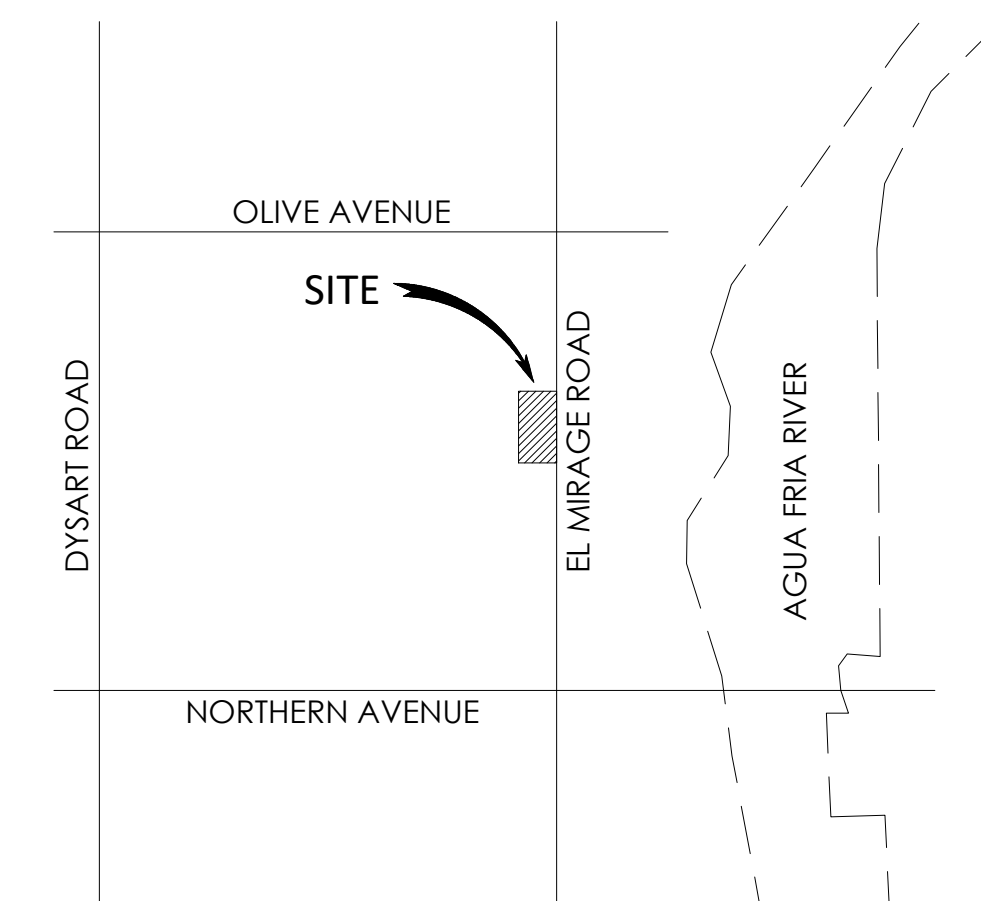
THREADED STUDIOS, PLLC
3370 NORTH HAYDEN ROAD, #123-303
SCOTTSDALE, AZ 85251
PROJECT CONTACT: JOHN MEISSNER
PHONE: 602.214.7270
EMAIL: john@threadedstudios.com

landscape architecture:

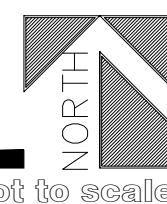
DESIGN ETHIC, LLC
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SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net

sheet index

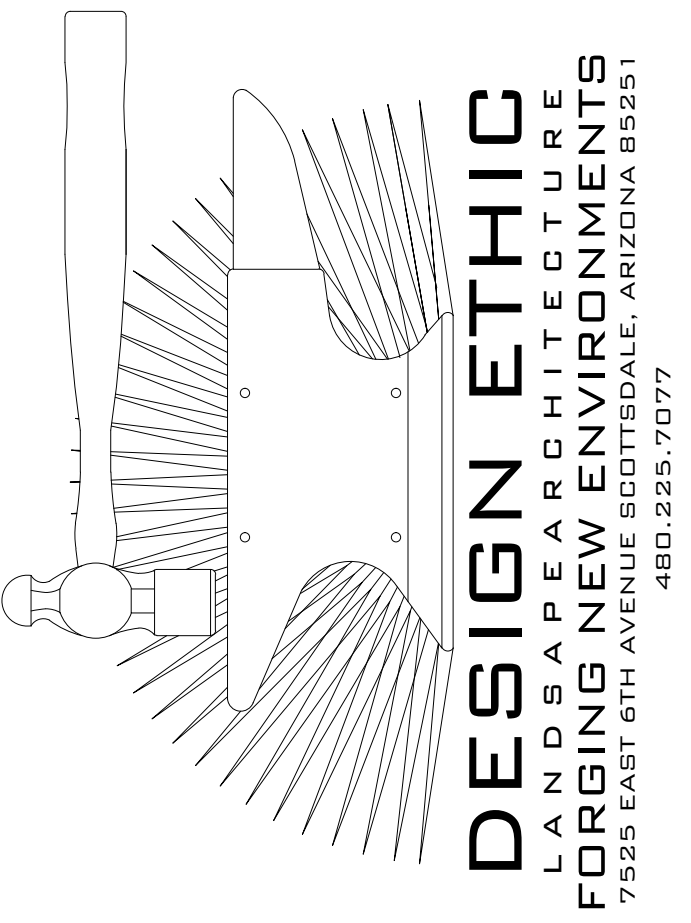
SHEET	TITLE
L0.01	COVER SHEET & NOTES
L2.01-L2.03	PLANTING PLAN



vicinity map



not to scale



DESIGN ETHIC
LANDSCAPE ARCHITECTURE
FORGING NEW ENVIRONMENTS
7525 EAST 6TH AVENUE SCOTTSDALE, ARIZONA 85251
480.225.7077



SUNBELT RENTALS
12398 WEST BUTLER DRIVE
EL MIRAGE, AZ

COVER SHEET & NOTES

PROJECT:

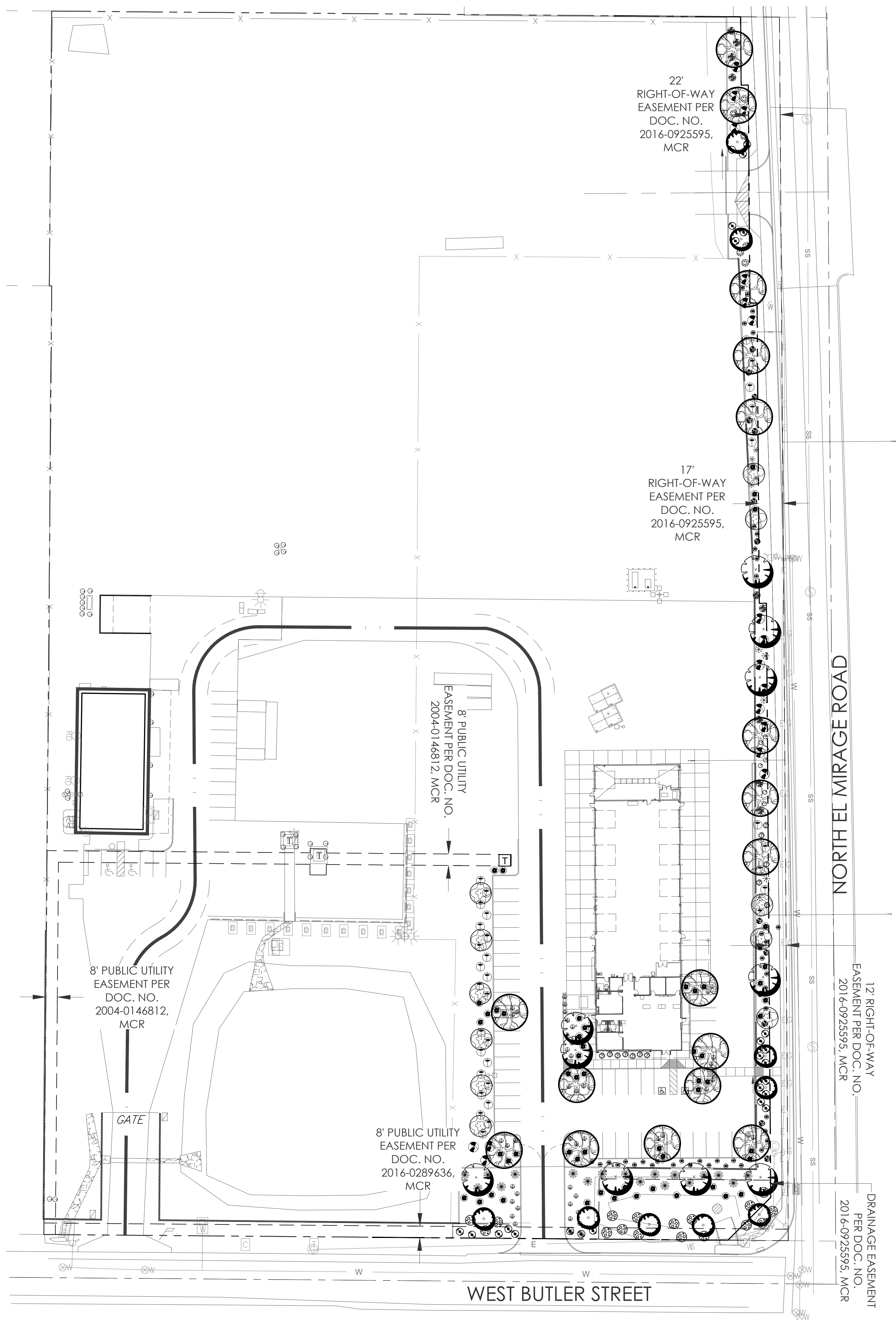
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JOB NO: 23-038
DATE: 06.14.2023
DRAWN BY: B. PAUL
SUBMITTED: -
REVISED:

SHEET

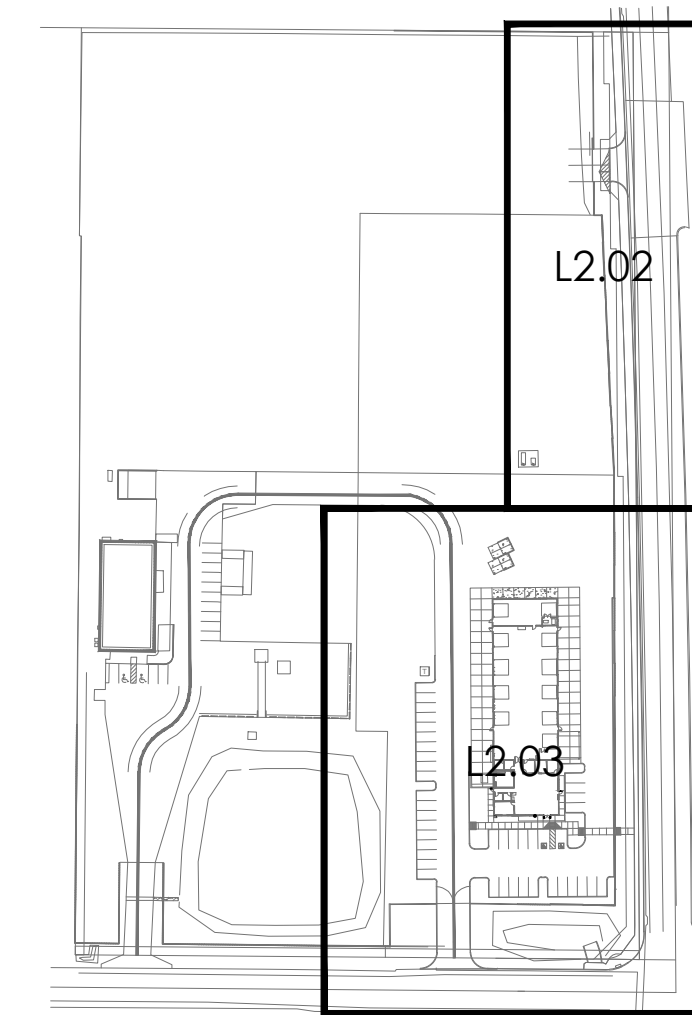
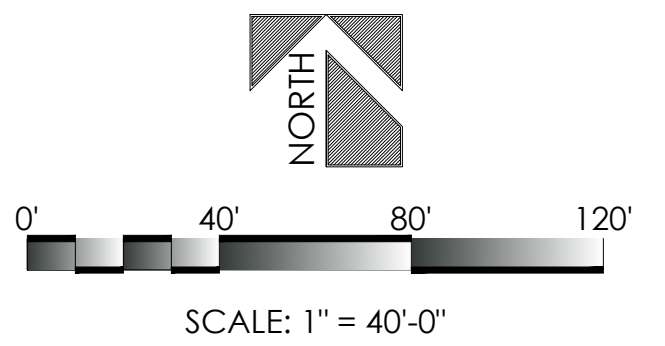
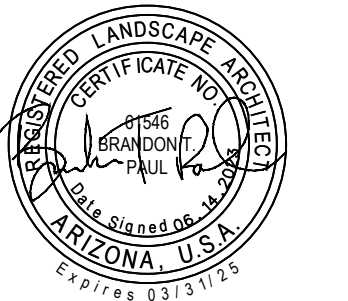
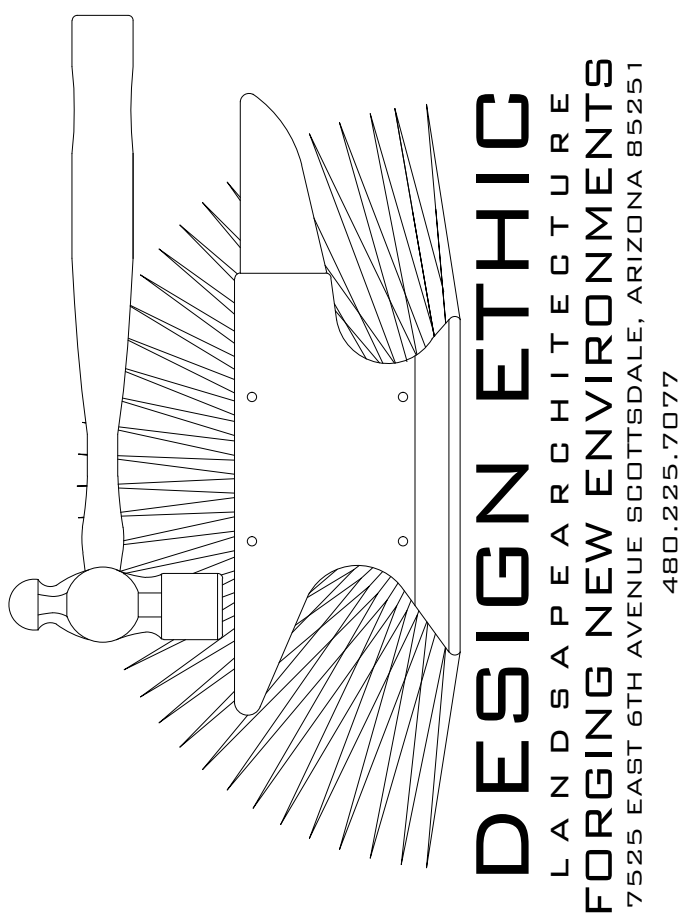
L0.01

1 of 4



plant legend

	botanical name common name	emitters	size	qty	comments
trees					
	ACACIA CRASPEDOCARPA LEATHER LEAF ACACIA	(5 @ 1.0 GPH)	15 GAL.	QTY	4.0H., 1.0W., 0.5CAL. STAKE IN PLACE
	ACACIA FARNESIANA SWEET ACACIA	(5 @ 1.0 GPH)	15 GAL.	QTY	4.0H., 1.0W., 0.5CAL. STAKE IN PLACE
	PITHECELLOBIUM FLEXICAULE TEXAS EBONY	(5 @ 1.0 GPH)	15 GAL.	QTY	4.0H., 1.0W., 0.5CAL. STAKE IN PLACE
	PROSOPIS ALBA 'COOPERI' COOPER'S MESQUITE 'THORNLESS'	(5 @ 1.0 GPH)	15 GAL.	QTY	4.0H., 1.0W., 0.5CAL. STAKE IN PLACE
shrubs					
	JUSTICIA CALIFORNICA CHUPAROSA	(1 @ 1.0 GPH)	5 GAL.	QTY	
	LARREA TRIDENTATA CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	QTY	
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD	(1 @ 1.0 GPH)	5 GAL.	QTY	
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' RIO BRAVO TEXAS RANGER	(1 @ 1.0 GPH)	5 GAL.	QTY	
	RUELLIA BRITTONIANA MEXICAN PETUNIA	(1 @ 1.0 GPH)	5 GAL.	QTY	
	SIMMONDSIA CHINENSIS JOJOBA	(1 @ 1.0 GPH)	5 GAL.	QTY	
accents					
	AGAVE AMERICANA CENTURY PLANT	(1 @ 1.0 GPH)	5 GAL.	18	
	DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	6	
	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA	(1 @ 1.0 GPH)	5 GAL.	45	
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	4	
	OPUNTIA SANTA-RITA PURPLE PRICKLY PEAR		5 GAL.	14	
	OPUNTIA VERSICOLOR STAGHORN CHOLLA		5 GAL.	5	
	OPUNTIA FICUS INDICA INDIAN FIG PRICKLY PEAR		5 GAL.	9	
groundcover					
	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	5 GAL.	17	
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	(1 @ 1.0 GPH)	5 GAL.	24	
inerts					
	1" SCREENED DECOMPOSED GRANITE ROCK PROS RUSTY NICKEL		1" SCREENED		2" MINIMUM IN ALL PLANTERS



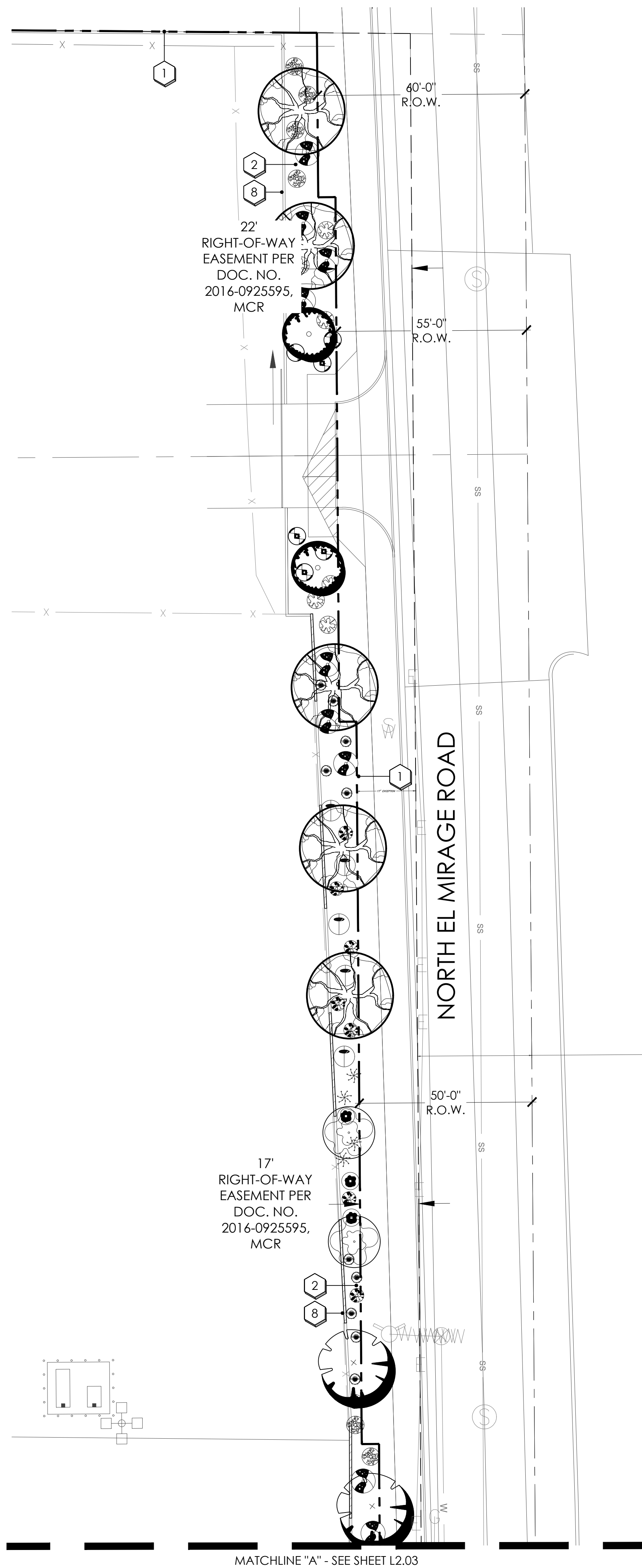
key map



SUNBELT RENTALS
12398 WEST BUTLER DRIVE
EL MIRAGE, AZ
OVERALL PLANTING PLAN

PROJECT:
JOB NO: 23-038
DATE: 06.14.2023
DRAWN BY: B. PAUL
SUBMITTED:
REVISED:

SHEET
L2.01
2 of 4

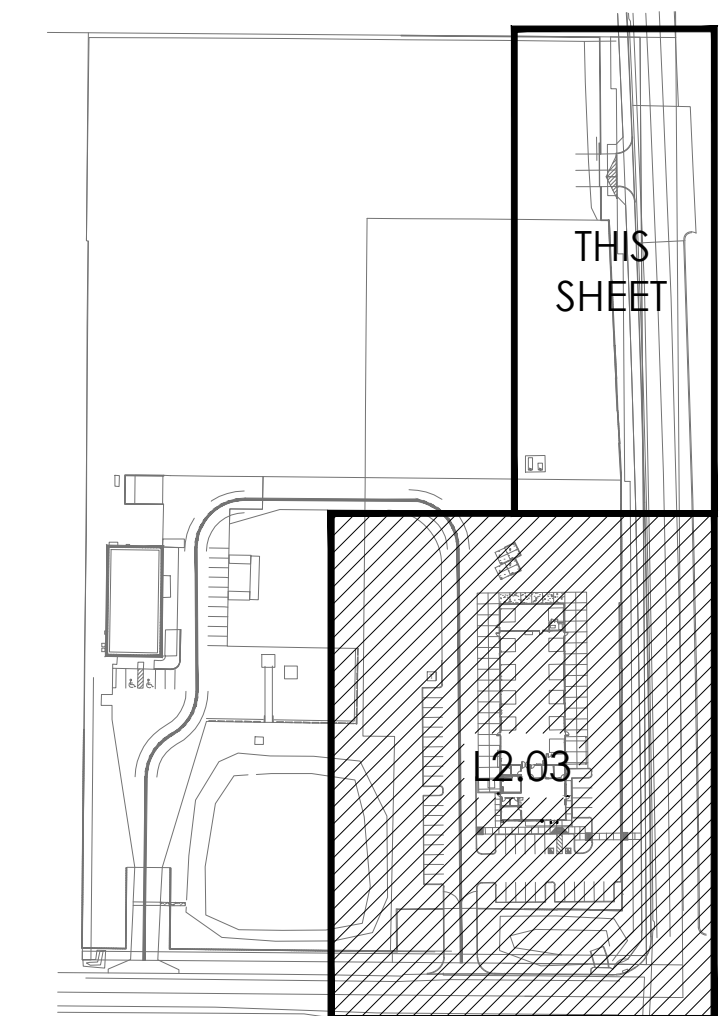
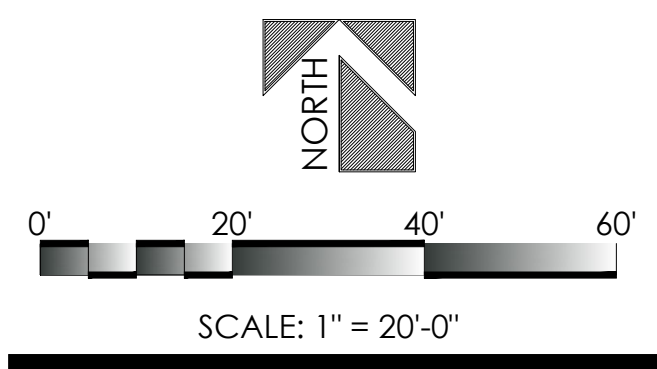
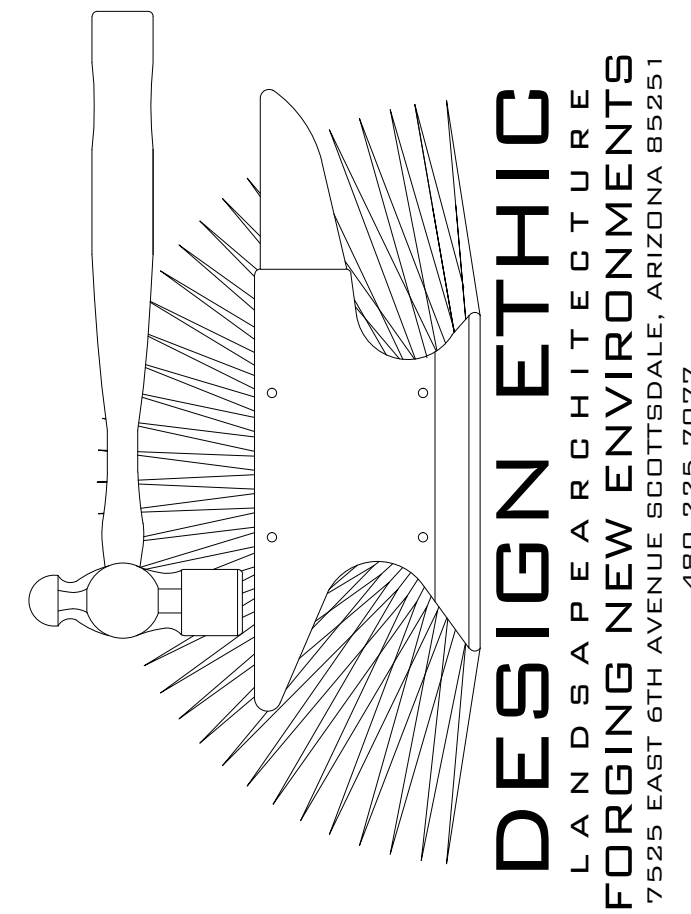


planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 5 (VERIFY WIDTH) SIDEWALK.
- 6 FIRE HYDRANT -3'-0" CLEAR OF ALL PLANT MATERIAL
- 7 SITE LIGHTING. SEE ARCH. PLANS.
- 8 (VERIFY HEIGHT) SCREEN WALL. SEE ARCH. PLANS.
- 9 CURB. SEE CIVIL ENG. PLANS.
- 10 TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN.
- 11 P.U.E. SEE CIVIL ENG. PLANS.
- 12 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 13 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
- 14 RIP RAP. SEE CIVIL ENG. PLANS.
- 15 LANDSCAPE WATER METER.
- 16 CONCRETE HEADER. SEE SHEET L. DETAIL.
- 17 EXISTING POWER POLE.
- 18 OVER HEAD ELECTRIC LINE(O.H.E.) .
- 19 FIRE LINE BACKFLOW PREVENTOR - SCREEN MAINTAIN 3' ACCESS & CLEARANCE PER MAG STANDARD DETAIL 362.
- 24 PUBLIC WATER LINE. PER CITY OF PHOENIX WATER SERVICES DESIGN MANUAL PLANTS WITHIN 10'-0" OF WATER LINE MUST BE FROM APPROVED LIST. TREES REQUIRE A ROOT BARRIER AND MAY NOT BE PLANTED WITHIN 6'-0" OF ANY WATER LINE.
- 25 33' x 33' SITE VISIBILITY TRIANGLE. PER CITY OF PHOENIX ORDINANCE 31-13: NO FENCE, WALL OR HEDGE HIGHER THAN 3'-0" NOR ANY OBSTRUCTION TO VISION OTHER THAN A POST OR COLUMN OR TREE NOT EXCEEDING 1'-0" IN DIAMETER BETWEEN A HEIGHT OF 3'-0" & 10'-0" INSIDE THE TRIANGULAR AREA FORMED BY THE LOT LINES FORMING THE 33' X 33' TRIANGLE
- 26 PROPOSED TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.

plant legend

	botanical name	common name	emitters
trees	ACACIA CRASPEDOCARPA	LEATHER LEAF ACACIA	(5 @ 1.0 GPH)
	ACACIA FARNESIANA	SWEET ACACIA	(5 @ 1.0 GPH)
	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY	(5 @ 1.0 GPH)
	PROSOPIS ALBA 'COOPERII'	COOPER'S MESQUITE	(5 @ 1.0 GPH)
	PROSOPIS ALBA 'THORNLESS'	THORNLESS MESQUITE	(5 @ 1.0 GPH)
shrubs	JUSTICIA CALIFORNICA	CHUPAROSA	(1 @ 1.0 GPH)
	LARREA TRIDENTATA	CREOSOTE	(1 @ 1.0 GPH)
	LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD	(1 @ 1.0 GPH)
	LEUCOPHYLLUM LANGMANIAE	'RIO BRAVO'	(1 @ 1.0 GPH)
	LEUCOPHYLLUM LANGMANIAE	'RIO BRAVO TEXAS RANGER'	(1 @ 1.0 GPH)
	RUELLIA BRITTONIANA	MEXICAN PETUNIA	(1 @ 1.0 GPH)
	SIMMONDSIA CHINENSIS	JOJOBA	(1 @ 1.0 GPH)
	ACCENTS	AGAVE AMERICANA	CENTURY PLANT
DASYLIRION WHEELERI	DESERT SPOON	(1 @ 1.0 GPH)	
HESPERALOE PARVIFLORA	'YELLOW'	YELLOW YUCCA	(1 @ 1.0 GPH)
HESPERALOE FUNIFERA	GIANT HESPERALOE	(1 @ 1.0 GPH)	
OPUNTIA SANTA-RITA	PURPLE PRICKLY PEAR	(1 @ 1.0 GPH)	
OPUNTIA VERSICOLOR	STAGHORN CHOLLA	(1 @ 1.0 GPH)	
OPUNTIA FICUS INDICA	INDIAN FIG	PRICKLY PEAR	(1 @ 1.0 GPH)
groundcover	ACACIA REDOLENS	DESERT CARPET	(1 @ 1.0 GPH)
	EREMOPHILA GLABRA	'MINGENW GOLD'	(1 @ 1.0 GPH)
inerts	1" SCREENED DECOMPOSED GRANITE	ROCK PROS RUSTY NICKEL	



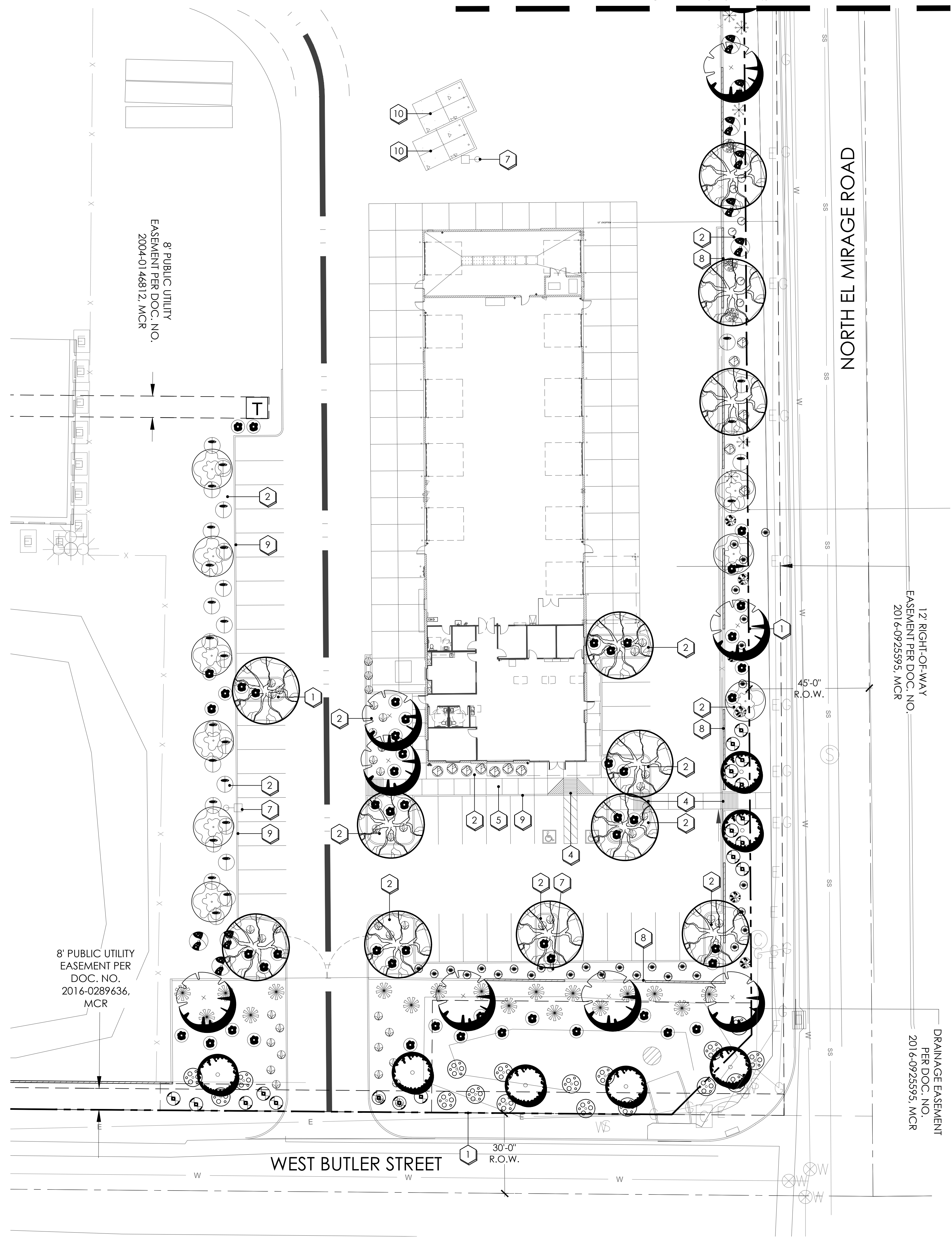
key map



SUNBELT RENTALS
12398 WEST BUTLER DRIVE
EL MIRAGE, AZ
PLANTING PLAN

PROJECT:
JOB NO: 23-038
DATE: 06.14.2023
DRAWN BY: B. PAUL
SUBMITTED: -
REVISED:

SHEET
L2.02
3 of 4

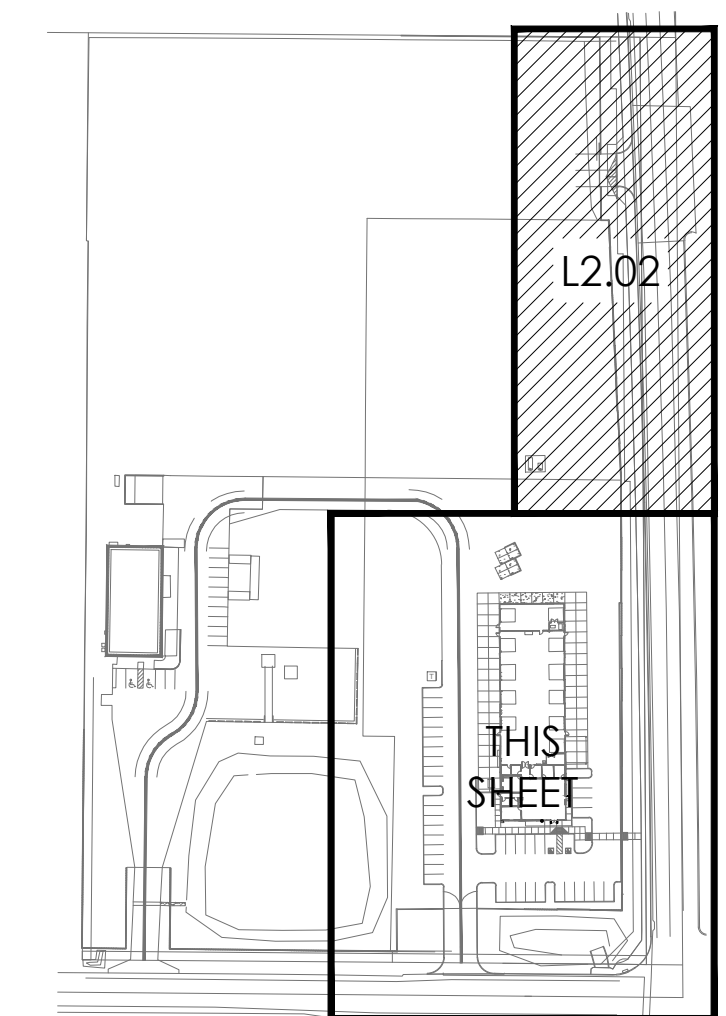
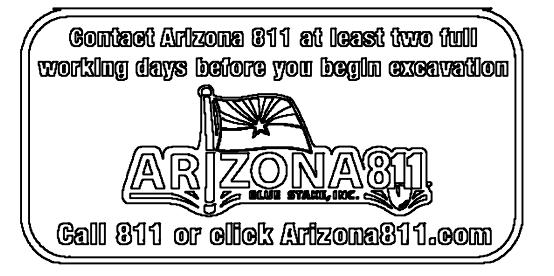
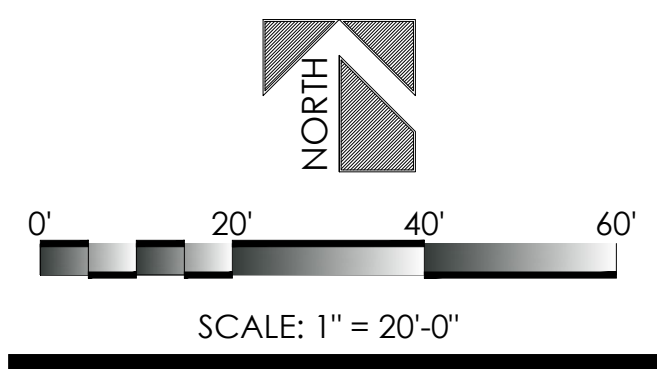
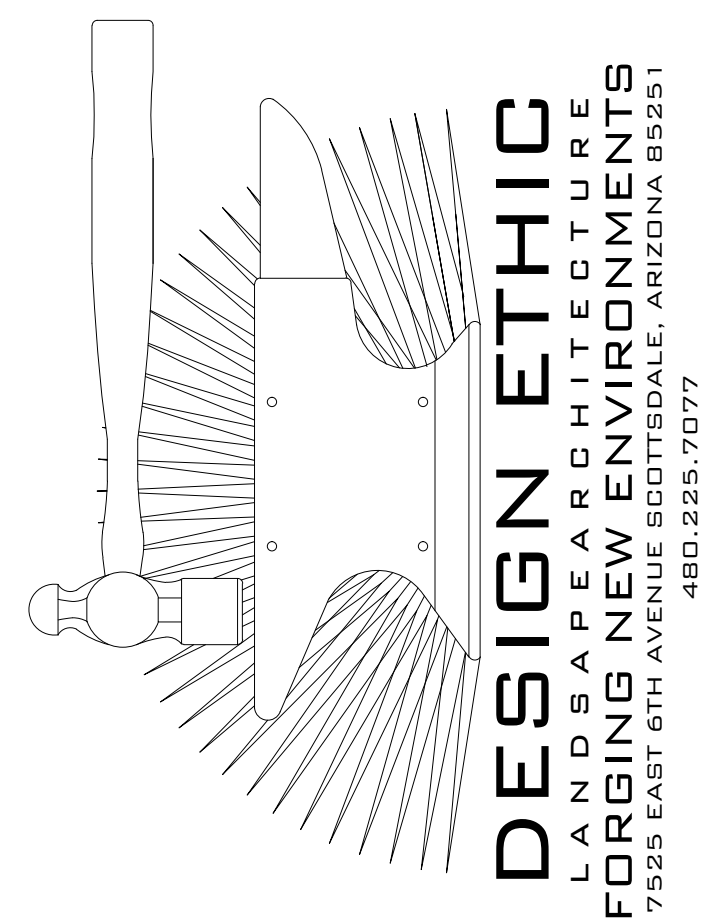


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plant legend

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	PROSOPIS ALBA 'COOPERI'	COOPER'S MESQUITE 'THORNLESS'	(5 @ 1.0 GPH)	
shrubs	JUSTICIA CALIFORNICA	CHUPAROSA	(1 @ 1.0 GPH)	
	LARREA TRIDENTATA	CREOSOTE	(1 @ 1.0 GPH)	
	LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD	(1 @ 1.0 GPH)	
	LEUCOPHYLLUM LANGMANIAE	'RIO BRAVO'	(1 @ 1.0 GPH)	
	RUELLIA BRITTONIANA	MEXICAN PETUNIA	(1 @ 1.0 GPH)	
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OPUNTIA SANTA-RITA		PURPLE PRICKLY PEAR		
OPUNTIA VERSICOLOR		STAGHORN CHOLLA		
OPUNTIA FICUS INDICA		INDIAN FIG PRICKLY PEAR		
groundcover	ACACIA REDOLENS	DESERT CARPET	(1 @ 1.0 GPH)	
	EREMOPHILA GLABRA	'MINGENW GOLD'	(1 @ 1.0 GPH)	
	OUTBACK SUNRISE EMU			
inerts	1" SCREENED DECOMPOSED GRANITE, ROCK PROS RUSTY NICKEL			



key map



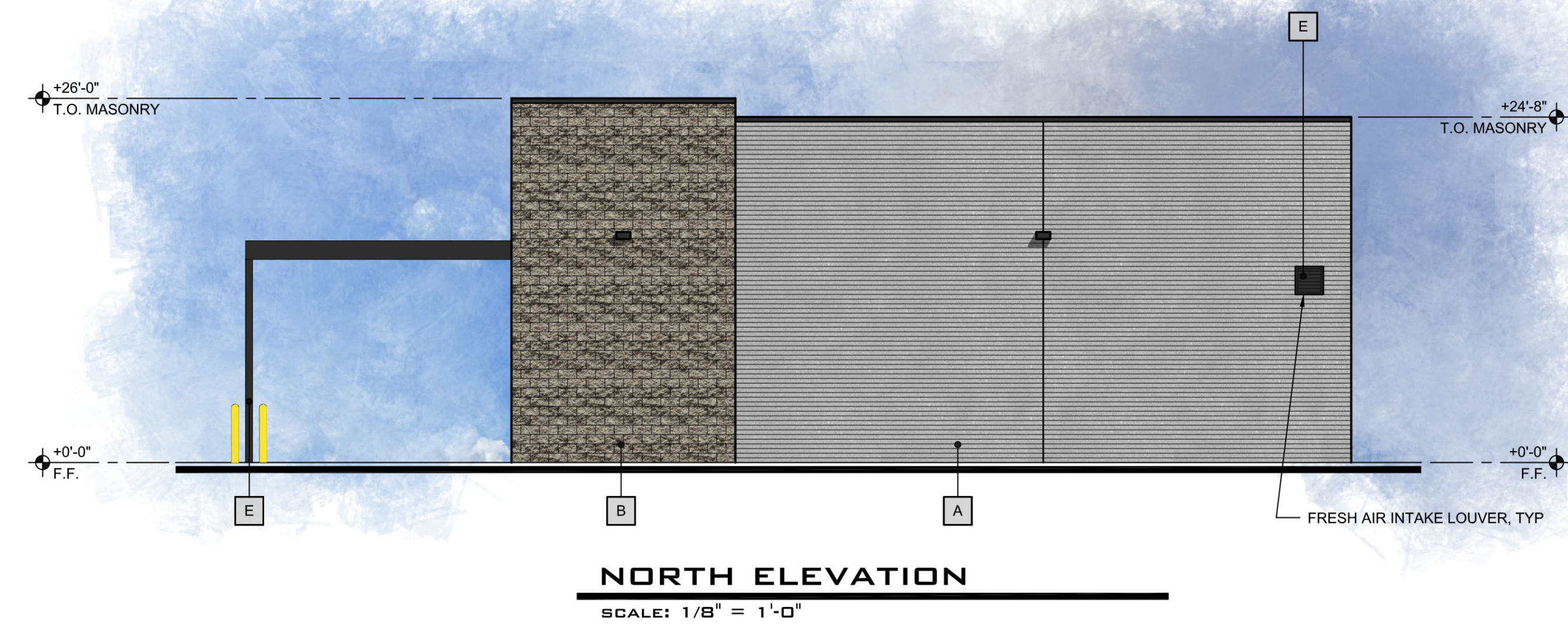
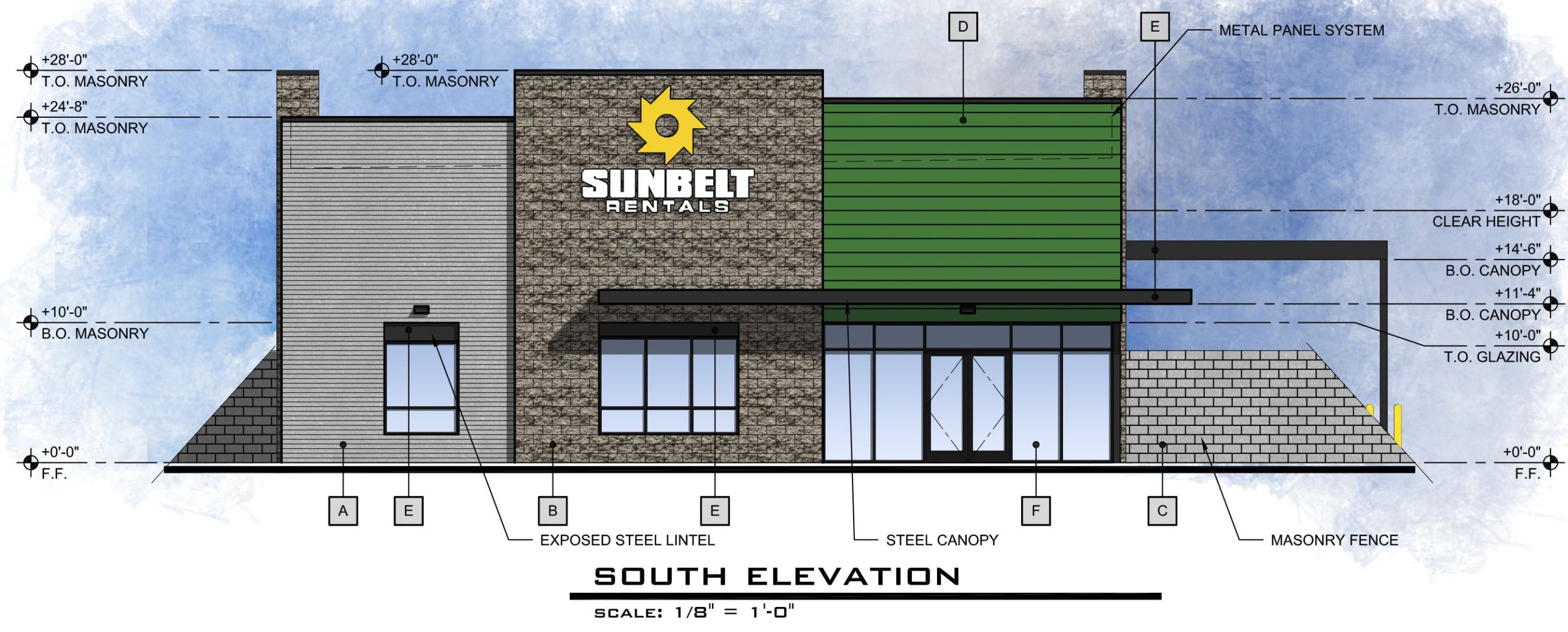
SUNBELT RENTALS
 12398 WEST BUTLER DRIVE
 EL MIRAGE, AZ
 PLANTING PLAN

PROJECT:

SHEET TITLE:

JOB NO: 23-038
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 DRAWN BY: B. PAUL
 SUBMITTED: -
 REVISED:

SHEET
L2.03
 4 of 4



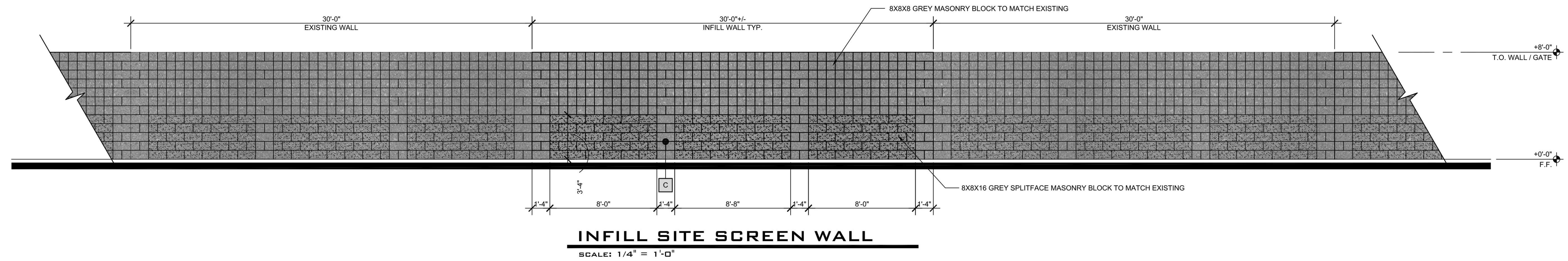
SUNBELT RENTALS EL MIRAGE

12398 WEST BUTLER RD
EL MIRAGE, AZ

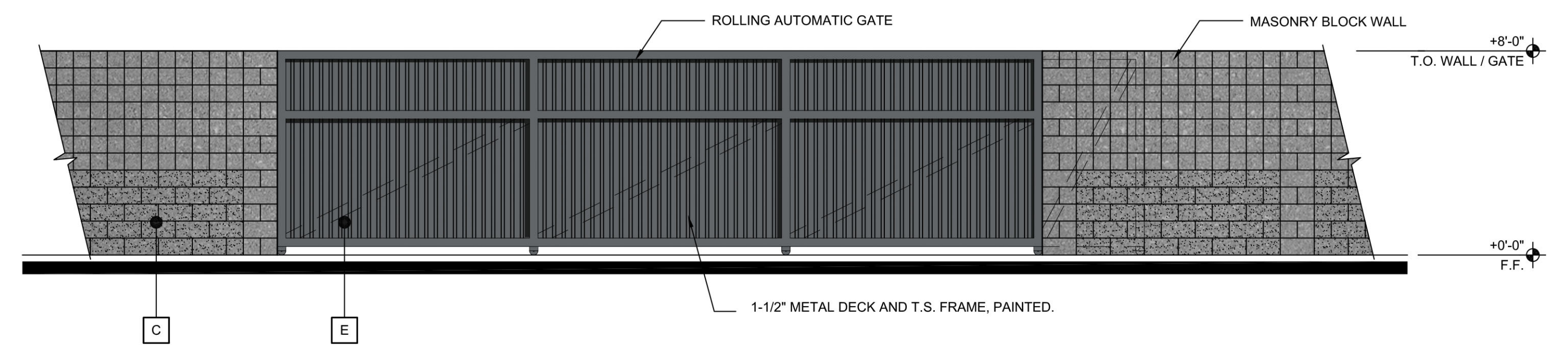
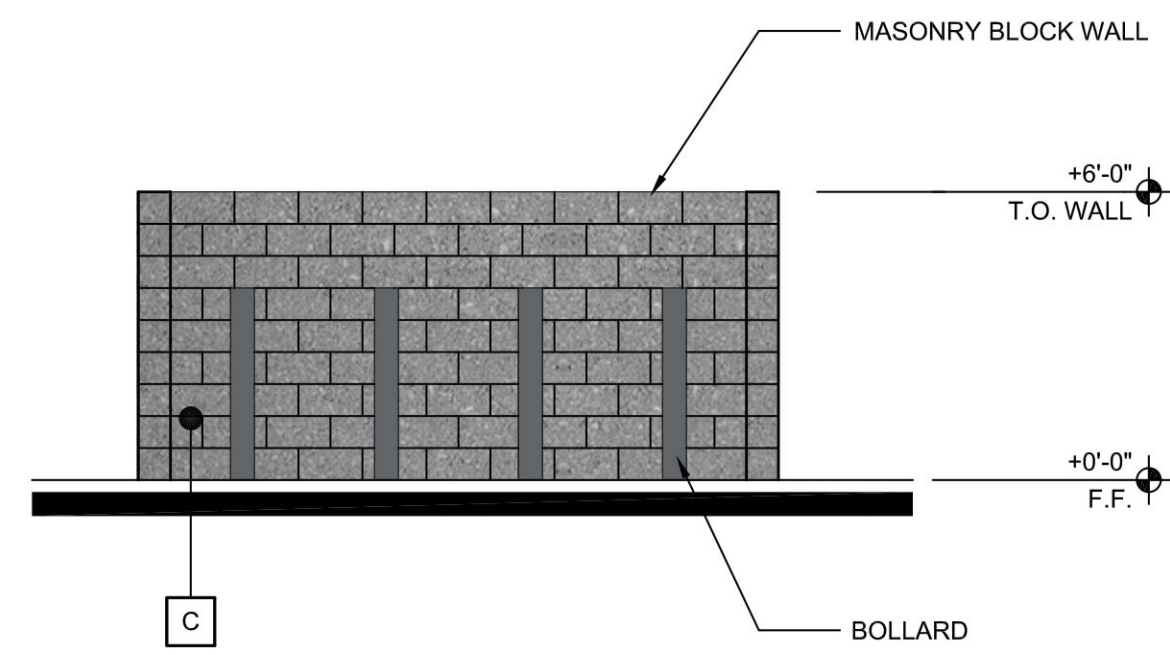


EXPIRES 06.30.2022





NOTE: NO GATES ARE PROPOSED, SCREENING IS PROVIDED BY THE STORAGE YARD ENCLOSURE GATES



SUNBELT RENTALS MESA
6617 S. MOUNTAIN RD
MESA, AZ





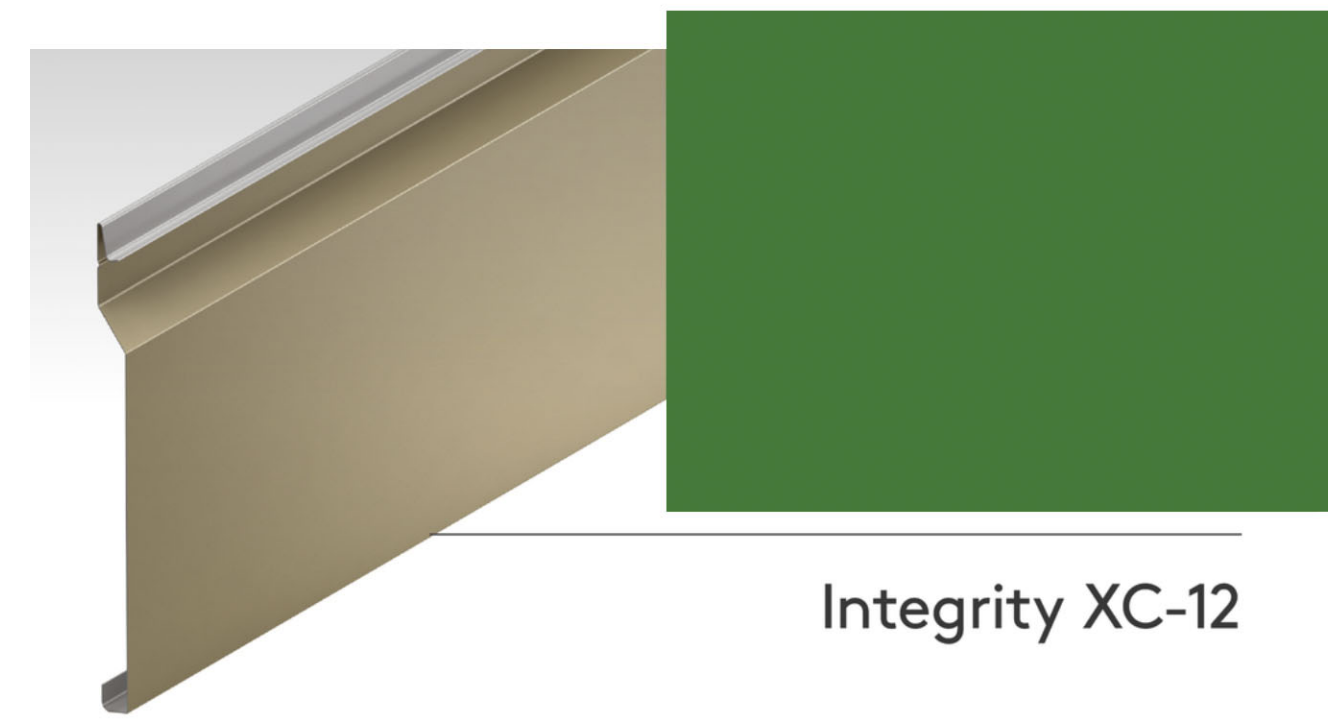
A. 8X4X16 MASONRY BLOCK
NATURAL GREY FINISH



B. 8X8X16 MASONRY BLOCK
ECHELON MASONRY
"PALO VERDE"
SPLIT FACE FINISH



C. 8X8X16 MASONRY BLOCK
FENCE WALL, NATURAL GREY FINISH



D. METAL PANEL SYSTEM
KINGSPAN INTEGRITY XC-12
CUSTOM COLOR TO MATCH
PANTONE PMS-356 "GREEN"



E. PAINT
DUNN EDWARDS
DE 6357 "BLACK TIE"



E. ALUMINUM STOREFRONT
BLACK ANODIZED ALUMINUM
1" INSULATED GLAZING
U=0.4 SHGC =0.25



G. SECTIONAL OVERHEAD DOOR
OVERHEAD DOOR CO.
FACTORY FINISH "WHITE"
TEMPERED VISION PANELS

MATERIAL SCHEDULE

SCALE: N.T.S.

SUNBELT RENTALS EL MIRAGE

12398 WEST BUTLER RD
EL MIRAGE, AZ



EXPIRES 06.30.2022



ARCHITECTURE AND PLANNING
3370 N HAYDEN RD SUITE 123-303
SCOTTSDALE, AZ 85251
www.Threadedstudios.com

11/28/22