



CITY OF EL MIRAGE DEVELOPMENT APPLICATION FORM

Official Use

Case No: PZ22-12-33 Date Received: 12/12/2022 PC Meeting: 1/24/2023 CC Meeting: 2/22/2023

PURPOSE

Development Applications are reviewed by the Technical Advisory Committee (TAC) with the intent to provide the applicant specific information in preparation to meeting the City's technical standards and requirements for the proposed development project. Information provided by TAC is based on applicant submittals and should be considered actual and detailed in nature.

ACTION REQUESTED (Check one)

- | | |
|--|--|
| <input type="checkbox"/> Conditional Use Permit | <input checked="" type="checkbox"/> Site Plan Approval |
| <input type="checkbox"/> General Plan Amendment: <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Site Plan Amendment |
| <input type="checkbox"/> Planned Area Development (PAD) | <input type="checkbox"/> Preliminary Plat |
| <input type="checkbox"/> Planned Area Development Amendment | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other: _____ |

PROPERTY INFORMATION:

Name of Project: Agua Fria Commerce Park Acreage: 35.91
 Property Address/Location: East of SEC Cactus St and Main St
 Assessor's Parcel Number: 501-45-369

APPLICANT / OWNER INFORMATION:

Applicant: <u>Withey Morris, PLC</u>	Owner: <u>120 El Mirage Partners/ASSOCIATES</u>
Address: <u>2525 E. Arizona Biltmore Cir, Suite A-212</u>	Address: <u>6320 E Calle Bruvira</u>
City/ST/Zip: <u>Phoenix, AZ 85016</u>	City/ST/Zip: <u>Paradise Valley, AZ 85253</u>
Phone: <u>602-230-0600</u>	Phone: <u>602-326-4346</u>
Email: <u>hayes@witheymorris.com</u>	Email: <u>JEFF @ J.PAPER.COM</u>
Signature: <u>[Signature]</u>	Signature: <u>[Signature]</u>
(Agreement to act as agent for owner)	(Authorization for agent to act for owner)

- Application Form
- Comprehensive Site Plan
- Deed and/or Title Report
- Drainage Report
- A.L.T.A. Survey
- Phase I Environment Site Assessment
- Preliminary Landscape Plans
- Filing Fee (see Fee Schedule starting on page 9)

MEMORANDUM

TO: Alex Hayes, Withey Morris, PLC
FROM: Jose A. Macias, Senior Planner
 Development Services Department, Planning & Zoning
RE: PZ22-09-26 Agua Fria Commerce Site Plan Approval
DATE: January 24, 2023

Mr. Hayes,

Please see the comments from the El Mirage Technical Advisory Committee (TAC) for the Conditional Use Permit request.

BUILDING & SAFETY

1. No comments from Building Safety on the Rezone or the site plan.

ECONOMIC DEVELOPMENT

2. Aqua Fria Site Plan- Economic Development supports this project. The project will provide rental taxes and the location is ideal for this type of operation.

ENGINEERING

3. See attached memorandum.

FIRE DEPARTMENT

Here are the fire department comments:

4. Access from Cactus Road. – 26ft wide minimum that is rated for fire department access. **Provided**
5. Since Cactus is going to be over 150ft long, we will require a fire department turnaround. **Provided**
6. All gates need to have electronic emitter. **Provided**
7. Emergency access area will also need to have a surface that is rated, and electronic gates. **Compact DG & gates provided**
8. The International Fire Code requires the information below about the private access road. **Compact DG & gates provided**

Table d103.4 requirements for dead-end fire apparatus access roads

Length	Width	Turnaround Required
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot “Y” or 96-foot diameter cul-de-sac.
501-750	26	120-foot Hammerhead, 60-foot “Y” or 96-foot diameter cul-de-sac.
Over 750		Special approvals required

With the distance being over 500ft, the fire department will require either a hammerhead, “Y”, or cul-de-sac at the end of the road to provide apparatus turnaround. This private road needs to meet the imposed load of fire apparatus weighing up to 75,000 pounds. The road width shall be a minimum of 26 feet wide exclusive of shoulders. Grade cannot be steeper than 10 percent. I looked at the road after our meeting, the owner will need to make sure that the entire length of the road maintains 26 feet in width. An automatic gate with emitters needs to be installed at the entrance. I suggest that we set the gate back around 100 feet to help aid any traffic issues. **Provided 26' wide roadway ending with a 120' hammerhead for turnaround**

9. Fire department will also need access to the river bottom. We will need accommodations from the owner for apparatus to be able to drive down. That will require grating and security gate. **Provided 20' wide Compacted DG with security gate**

PLANNING & ZONING

10. Provide mature landscaping along the 40' strip parcel owned by the City and also additional landscaping along the south side of Cactus Rd alignment. Irrigation and landscaping to be maintained by the developer. **Landscaping will not be provided along the 40' strip parcel owned by the City. Cactus Road Alignment landscaping included.**
11. Coordinate with the HOA if they really want the dog park or any other feature at the south end of the development. **Dog Park removed.**
12. Fire Department to provide “No Parking” and “Turnaround” requirements for the private road. **No Parking signs added. Turnaround requirements met by including turn around at end of private road.**
13. Access agreement from the City to utilize City property/ROW for the two entrances to the development. **Understood. Access agreements to be obtained.**
14. FINAL PLAT: A final plat will be required to record any easements and or any dedication of land prior to issuing the Certificate of Occupancy. Separate fees will apply. **Noted.**
15. Permits for signage other than building number and address will be required. **Noted.**

POLICE DEPARTMENT

16. No comment from the Police Department.

PUBLIC WORKS

17. Our Brisas Lift Station is located on the Northeast corner of Cactus & Main. We'll need to have unobstructed access to this site with our large vacuum equipment to perform inspections, weekly cleaning, and emergency repairs. **Provided 20' wide driveway for access**

ARS 28-8481 LAND USE COMPATIBILITY

18. The site is located within the Luke Air Force Base Noise Contours Zone and is subject to ARS 28-8481 land use compatibility regulations. See attached email and letter from Luke Air Force Base.

MEMORANDUM

TO: Jose Macias, Planner/GIS
FROM: Bryce Christo, P.E., Assistant City Engineer
SUBJECT: Agua Fria River RV, Boat & Storage – Development Application Review
DATE: 01-17-23

Below are the Engineering Division’s comments for the above referenced submittal prepared in December 2022. **These items will have to be addressed prior to the Planning and Zoning Meeting.**

1. None.

The below items will have to be addressed during the Construction Plan Submittal.

Narrative

1. Will this project be constructed in one phase or multiple phases as is noted in the Water Report? If so, a Phasing Plan per Chapter 1, Section F of the City’s Design & Development Standards Manual (DDSM) will be required with the Development Application.

This project will be one phase. Water report has been revised.

Site Plan/Civil Plans

1. Cover Sheet
 - a. Development Standards
 - i. The Provided Wall Height is noted as 8 feet tall but the Wall Plans and Details show 6 feet. Which is correct? **Wall height to be 8' as shown on revised plans**
 - ii. The Required Parking for an office is 1 space per 300 square feet which is 8 spaces for this site. **Provided 8 spaces**
 - iii. The Provided 8 parking spaces requires at least one space to be an ADA van accessible space. **Provided 8 spaces - one of which is ADA accessible**
 - iv. Parking stalls shall be a minimum of 9’ x 18’. **Stalls are 9'x18'**
 - b. Coordinate System – The GDACS Point should be 30782-Z1.
 - c. Notes Section – What does Section 1112 in Note 6 refer to?
2. The driveways shall be per MAG or City details. Stop signs are recommended at each driveway. Verify all driveways have a minimum throat of 50 feet. Parking spaces are not allowed within this 50 feet. **Stop signs added where applicable. 50 min. met.**
3. Verify that the primary entrance can accommodate a MH/B design vehicles. Verify that the emergency access driveways can accommodate a WB-67 design vehicle. **Verified.**
4. Add the Site Distance Easement per City Detail EM-158 to all driveways and applicable legs of the Cactus Road and Main Street intersection. **Added**

5. Any fire access road shall be designed to handle 75,000 lbs. A Geotechnical Report will be required for this project and it should provide a recommended design section for this access road and all other pavement sections including offsite roadways. The minimum inside radius of the access road is 19.5 feet and the outside radius is 45 feet. Noted. Geotech Report will be provided during CD's.
6. The extension of Cactus Road will be a private roadway and the following shall apply:
 - a. The roadway shall consist of two lanes, each 13 feet wide measured from centerline to face of curb. Roadway is 26' from face to face
 - b. The sidewalk can be removed. Removed
 - c. The roadway shall be shifted to be completely within the 33 foot private parcel (APN 501-36-006J). Roadway has shifted to the center of 33' parcel
 - d. An automatic gate with emitters shall be installed approximately 100 feet east of the Main Street eastern curb line. Gate not added as it is a safety concern as no turn around could be provided prior to the gate. This would force traffic to back up into traffic at the intersection of Cactus Road and Main Street.
 - e. A similar, second gate needs to be installed at the eastern end of the road to allow access to the river bottom. The gate and a wall must extend the full 80 feet of the tracts. A wall shall also be extended along the north side of the tract, from the proposed gate to the end of the existing Arizona Brisas wall. Wall and gate provided
 - f. A turnaround is required at the eastern end of the road per City Detail EM-114. Hammerhead Provided
 - g. "No Parking – Fire Lane" signs are required along both sides of the roadway. Signs added every 200'
Spacing and sign details shall be determined by the Fire Department.
7. Show any proposed exterior signage.
8. A trash enclosure per City Detail EM-113 is required. 3 trash enclosures added
9. Signing and striping improvements to Cactus Road and Main Street shall be installed per the recommendations provided in the Traffic Impact Statement. Signing and Striping to be provided during CD's
10. Provide dimensions of the north-south onsite drive aisles. Provided
11. No noise shall be generated at the site that exceeds 55 decibels, measured at any property line, between 10 pm and 6 am. Noted.
12. Plans shall include applicable City Notes. Call out MAG, City, etc. details to be used. Use the City's Design & Development Standards Manual (DDSM) as a guide for the final design.

Preliminary Grading & Drainage Plans

13. Cover Sheet
 - a. Section A – The HWE is 1106. Provided
 - b. Section B – Any retaining walls will have to be reviewed by the Building Safety Division. Understood
 - c. Section C - There shall be at least two feet of level ground adjacent from any wall or vertical obstruction to the top of the side slope grading. Provided
 - d. Section D – The Wall Plan shows a wall adjacent to the storage building but no wall is shown in this detail . Please verify. There will be no wall at the back of the building
 - e. Cactus Road – This will be a private road so it will not be referred to as Cactus Road. References changed to Cactus Road alignment
14. Side slopes adjacent to public rights-of-way or within PUEs shall have a side slope of 6:1 or flatter. When a basin is adjacent to walls, fences, hedges, etc. (i.e., no or limited pedestrian type access in that area) the side slopes may have slopes up to 4:1 if adjacent to public right-of-way or easement and 3:1 if adjacent to private property. North basin removed
15. Verify the slope does not exceed 2% in any direction within ADA parking spaces. Slope is 2% or less
16. The finished floor elevation of the proposed buildings shall be a minimum of 12 inches above the base flood elevation (BFE) and high-water level of any adjacent retention basin and 14 inches above the ultimate outfall of the site. Several of the proposed buildings appear to be less than 12 inches above the BFEs. Please verify. All FFEs are a minimum of 12" above BFEs. BFEs at buildings were calc'd prior to setting FFEs

17. The HWL of Basin A1 appears to be below the BFE.
18. Retention basins shall accommodate drainage from the property and the adjacent right of way of the private street. *Basin accommodates all onsite drainage. Cactus Road alignment is routed through storm pipe and roadway to maintain existing drainage condition.*
19. The proposed retention basins shall not be located within any building setbacks, easements, or fire lanes. The proposed retention basins shall not be located within 4 feet of any building. The northernmost basin appears to be within the front yard setback and within 4 feet of Storage Building 1. *Basin has been removed*
20. Label the basin overflow elevations and ultimate outfall on the plans.
21. The existing drainage within the Cactus Road alignment will need to be rerouted or placed within a storm drain. A design will be necessary for these alterations. *This will be routed through a 60" pipe that daylight at the end of our roadway*
22. The plans show the floodplain encroaching into the existing Sundial IV properties but the FIRM Maps do not show this. Please verify. *Floodplain does not encroach here. This has been fixed.*
23. Runoff generated from washing vehicles and equipment shall conform to “Arizona department of Environmental Quality – NOI supplement for Type 3.03 General Aquifer Protection Permit for Vehicles and Equipment Washes” (A.A.C. R18-9-D303). *Noted. Oil/Water separator added to plans.*

Preliminary Utility Plans

24. The Utility Plans shall show all utilities and utility easements including electric, gas, phone and cable. *Noted, will include on CD's*
25. All onsite utilities will be private. *Noted, will include on CD's*
26. Water meters shall be located within the City’s right of way and backflow preventers shall be located on private property but not within a PUE. *Noted.*
27. The fire lines will require backflow preventers at both connections. *Provided at both connections*
28. All utilities shall maintain a minimum of 6 feet of clearance from all fire hydrants and fire suppression devices per City Detail EM-361. *Note. Provided.*
29. Water valves are required along the fire line, approximately every 500 feet, and at *Valves provided @ 500' min.*
30. Hydrants shall be installed per City Details EM-360, 361 and 362. Bollards, if necessary, shall adhere to City Detail EM-364. *Note. Provided. Further detail to be provided with CD's*
31. Hydrants shall be spaced every 300 feet around the proposed buildings. Final hydrant location/spacing will be reviewed and approved by the Fire Department. *Hydrants provided @ 300' min.*
32. Any hydrants within the project site shall be private and painted red per City Detail EM-360. All hydrants require markers per MAG Detail 122.
33. The developer is required to perform their own flow test. The City’s Fire Department (623-583-7968) shall be contacted as a witness. Also notify the Public Works Department (623-876-4251) one week prior to the test.
34. The new building will require a backwater valve per City Detail EM-442.
35. The manhole that the force main terminates at will have to receive an epoxy coating. *No longer applies*
36. Show the horizontal and vertical clearances between utilities on the plans. Verify that the clearances adhere to MAG Detail 404 and City Detail EM-402. *Noted, will include on CD's*
37. The wash bays will require a sand and oil interceptor for the proper handling of liquid wastes. See Section 6-3 of the DDSM. *Added, final location and detail will be addressed during CD phase.*
38. The easement that runs to Olive Street shall be 30 feet wide since it holds both water and sewer. The spacing between utilities shall be 10 feet and the spacing between the utilities and the edge of the easement shall be 10 feet. Verify the proposed easement that run to both Olive Street and Shaw Butte Drive are located on City property. *This no longer holds sewer*
39. Typically, 69kV power lines reside within wide easements with “No Build” zones around the towers. Is there no easement associated with the power lines that run to the east of the site?
40. Each proposed driveway shall have at least one streetlight.

41. Show the locations of any exterior lighting. A Photometric Plan will be required that shows the following:
 - a. Any light or combination of lights which cause light on a public street, other than lights specifically intended for that purpose, shall not exceed one foot candle as measured from the center line of the street.
 - b. 0.0 foot-candles from the site shall reach any adjacent residential property.
42. Per City Code Section 155.057, all overhead utility lines, 13kV and under, shall be placed underground. This includes all electrical, communication, cable, etc. facilities along the northern boundary of the site. This may require the undergrounding beyond the site boundary to the next convenient power pole or junction element.

Preliminary Landscape Plans

43. Add City Landscaping and Irrigation Notes (City Detail EM-101-4) to the plan set.
44. Add the Site Distance Easement per City Detail EM-158 to all driveways.
45. Show the sizes of the plantings at the time of planting and at maturity.
46. Decomposed granite is required on all non-paved areas both on site and along the private roadway
47. All plantings at maturity shall maintain a minimum of 6 feet of clearance from all fire hydrants and fire suppression devices per City Detail EM-361.
48. Show the existing 8 foot Public Utility Easement (PUE) along the north property line. No walls or trees shall be placed within any PUE.
49. Trees shall not be placed within 6 feet of any public utility.
50. Add a note to the plans that the maintenance for all landscaping and irrigation shown on the plans will be the responsibility of the property owner.
51. Irrigation plans will be required.
52. Preliminary Wall Plan - What is the spacing between the Builder Wall that runs along the south side of the property and Storage Building 15.
53. Storage Elevations & Park Enlargement – The views of the RV Storage from the cul-de-sac and easement show parked vehicles behind the trees but should these be buildings instead? Also, would you be able to see the buildings due to the height of the wall and elevation difference between Sundial IV and the RV Storage property?
54. Preliminary Hardscape Details – The wall details all show a height of 6 feet but the Site Plans call out 8 foot tall walls. Please verify.

Exterior Elevations

55. No elevation for the office was provided.

ALTA Survey

56. The description of Flood Zone AE is incorrect.

Preliminary Drainage Report

57. Section 1.2 – The proposed roadway will be a private roadway, not a local roadway. Updated
58. Section 1.3 – It is noted that the existing Sundial basin “...will be modified to allow stormwater storage from the adjacent neighborhood as well as any stormwater from the proposed site.” Is the existing basin sized to handle additional flows? Provide the Tributary Area Map and calculations of the original design as well as the as-built volume of the basin.
59. Section 3.0 - This report refers to 100-year, 2 hour rainfalls of both 2.51 and 2.23 inches. The City of El Mirage uses a 100-year, 1 hour rainfall of 2.4 inches. Update the calculations accordingly. Updated to utilize the 1 hour 2.4 inches.

60. Section 3.2 – The Drainage Area shall include the private drive.
61. Section 5.0
 - a. Reference 1 – The date of Map 04013C1685L is September 18, 2020. Added
 - b. Reference 2 – Use the 2023 Revision. Updated
 - c. References 3 & 4 – Use the 2018 Revisions.
62. Weighted C Calculations - Use the City Runoff Coefficients per City Code Section 155.054(B)(6)(a). Concrete = 0.95, roofs/asphalt = 0.85, grass = 0.15 and desert/rock lawn = 0.70. Updated Calc's to reflect these C values
63. Street calculations for the private street shall verify that:
 - a. 10 year flows can be carried within the curbs
 - b. 100 year flows can be carried within the right of way
64. A Final Drainage Report will be required. The report shall discuss offsite drainage and provide a Tributary Area Map(s) that breaks down the contributing flow to each basin and/or stormwater structure.

Preliminary Water Report

65. Section 3.1
 - a. Hydrants shall be spaced every 300 feet. Hydrant minimum spacing is 300'. Updated to reflect
 - b. Where did the water demands come from? They seem to match the sewer demands.
66. Several sections of this report may be for a different project. Please verify.
 - a. Section 3.1 – The first sentence of the first paragraph refers to a MDD = 6.1 gallons per minute. The second paragraph does not seem to apply.
 - b. Section 4.2 – This section refers to multiple phases.
67. Section 5.0 refers to the WaterCAD model. Was one prepared? Section 4.0 says the system will be modeled during the final design. This section also refers to the 2012 IFC while the rest of the report references the 2018 IFC.
68. A Final Report will be required which includes all of the modeling and adheres to the standards of the City's Water and Wastewater System Design Criteria (attached).

Preliminary Sewer Report

69. Section 3.1, 4.0 & 5.0 – The 2023 DDSM shall be used. Updated
70. A Final Report will be required which includes all of the modeling and adheres to the standards of the City's Water and Wastewater System Design Criteria (attached).

Traffic Impact Analysis (TIA)

71. Conclusion – Paragraph 2 states that all of the turn lanes at the Cactus/El Mirage intersection are over 100 feet in length but the WB left is approximately 80 feet. Any concerns with that length?

Title Report

72. No comments.

Phase I Environmental Assessment

73. No comments.

Miscellaneous

74. A Final Plat per Chapter 1, Section B-2 of the City's Design & Development Standard Manual (DDSM) will be required prior to Certificate of Occupancy.

- a. The roadway shall be placed within an easement that authorizes use by emergency and public service vehicles.
 - b. It is requested, if possible, that the developer dedicate the north-south portion of APN 501-36-006J to the City.
75. A Geotechnical Report will be required to provide asphalt/concrete pavement sections. Verify the proposed pavement sections can handle 75,000 lbs. for any fire access lane.
 76. A Haul Permit will be required if 500 cubic yards or more of material will be brought into or out of the site. This will require a separate application, an exhibit showing the haul route and insurance from the company performing the haul. The fee is \$300.
 77. An Approval to Construct (ATC) will be required from MCESD for the water and sewer line extensions. A copy shall be provided to the City prior to the release of any Engineering permit.
 78. A Dust Control Permit from the County will be required prior to the release of any Engineering permit.
 79. A Stormwater Pollution Prevention Plan (SWPPP) will be required per the City's SWPPP Guidelines document. A Notice of Intent (NOI) from ADEQ will be required prior to release of any Engineering permit.
 80. Any cutting of the pavement in Cactus Road will require Pavement Cut Fees per the most current Fee Schedule.

The above comments are meant to be general in nature and are not considered to be all inclusive. Additional comments will arise during the formal permit submittal.

WATER SYSTEM DESIGN CRITERIA	
DESCRIPTION	CRITERIA
AVERAGE DAY DEMAND - SINGLE FAMILY RESIDENTIAL	
Gallons per capita per day (gpcd) ⁽¹⁾	117
Density (people per dwelling unit) ⁽²⁾	3.35
AVERAGE DAY DEMAND - MULTI-FAMILY/COMMERCIAL/INDUSTRIAL	
Land Use Category ⁽³⁾	Varies
PEAKING FACTORS	
Maximum Day / Average Day	1.7
Peak Hour / Maximum Day	1.7
Peak Hour / Average Day	2.9
VELOCITY CRITERIA	
Maximum Day Condition	Max Velocity < 5 fps
Peak Hour Condition	Max Velocity ≤ 7 fps
Max Day Plus Fire Flow Condition	Max Velocity < 10 fps
HEAD LOSS CRITERIA	
Maximum Day Condition	2 to 7 feet per 1,000 feet of pipe
Peak Hour Condition	< 10 feet per 1,000 feet of pipe
PRESSURE CRITERIA	
Max Day Plus Fire Flow Condition	Min Residual Pressure of 20 psi
Peak Hour Condition	Min System Pressure of 40 psi
FIRE DEMAND CRITERIA	
Single Family Residential	1,500 gpm at 2 hours
All Other Land Uses	3,500 gpm for 4 hours

NOTES:

(1) Average per capita water use per 2012 *Water and Wastewater Master Plan* provided by Wilson Engineers

(2) Persons per household per US Census Bureau (2020)

(3) Use latest version of City of Phoenix *Design Standards Manual for Water and Wastewater Systems*.

Other values may be used with prior approval from the Engineering Division

WASTEWATER SYSTEM DESIGN CRITERIA	
DESCRIPTION	CRITERIA
AVERAGE DAY DEMAND - SINGLE FAMILY RESIDENTIAL	
Gallons per capita per day (gpcd) ⁽¹⁾	58.5
Density (people per dwelling unit) ⁽²⁾	3.35
AVERAGE DAY DEMAND - MULTI-FAMILY/COMMERCIAL/INDUSTRIAL	
Land Use Category ⁽³⁾	Varies
PEAKING FACTORS	
Dry Weather Peaking Factors (Applied to Average Flows)	Per AAC R18-9-E301.D (see next page)
Wet Weather Peaking Factors (Applied to Peak Flows)	1.17
VELOCITY CRITERIA	
Gravity Mains	2 fps ≤ Velocity ≤ 8 fps
Force Mains	3 fps ≤ Velocity ≤ 7 fps
FLOW DEPTH CRITERIA (d/D) FOR DRY WEATHER PEAK HOUR FLOWS	
d/D for new sewer with diameter less than 10 inches	0.50
d/D for new sewer with diameter 12 inches and above	0.75 (AAC R18-9-E301.D.e.iii)
FLOW DEPTH CRITERIA (d/D) FOR WET WEATHER PEAK HOUR FLOWS	
d/D for designing new sewer pipe	< 0.90
d/D for evaluating existing pipe in developed areas	< 1.00
HEAD LOSS CRITERIA	
Gravity pipe	Manning's n=0.013
Pressure pipe	Hazen Williams' C=120
MANHOLES	
When smaller pipe joins larger pipe	Match Crowns
Invert drop through manhole	0.20 feet

NOTES:

(1) Average per capita water use per 2012 *Water and Wastewater Master Plan* provided by Wilson Engineers

(2) Persons per household per US Census Bureau (2020)

(3) Use latest version of City of Phoenix *Design Standards Manual for Water and Wastewater Systems*. Other values may be used with prior approval from the Engineering Division

AAC R18-9-E301.D

Upstream Population	Dry Weather Peaking Factor
100	3.62
200	3.14
300	2.90
400	2.74
500	2.64
600	2.56
700	2.50
800	2.46
900	2.42
1,000	2.38
1,001 to 10,000	$PF = (6.330 \times p^{-0.231}) + 1.094$
10,001 to 100,000	$PF = (6.177 \times p^{-0.233}) + 1.128$
More than 100,000	$PF = (4.500 \times p^{-0.174}) + 0.945$
PF = Dry Weather Peaking Factor p = Upstream Population	

From: [JAMES, MARK C GS-13 USAF AETC 56 FW/CVE](#)
To: [Jose Macias](#)
Cc: [56 FW/CIT Community Initiative](#)
Subject: [EXTERNAL] RE: Development Application, Site Plan
Date: Friday, January 6, 2023 6:55:00 AM
Attachments: [image007.jpg](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[PZ22-04-01_Major General Plan Amendment.pdf](#)

Hi Jose,

My apologies on this delay in response. After reviewing the Site Plan, the letter attached accurately states our current position that the development of a RV, Boat and Storage Campus will not negatively impact the flying operations at Luke AFB. As always, we recommend a strong notification program to inform future land occupants and developers about Luke AFB operations.

Respectfully,

Mark

Mark James

Deputy Director, Community Initiatives Team
56th Fighter Wing
Luke AFB AZ 85309
Office: 623-856-6175
DSN: 896-6175

From: Jose Macias <jmacias@elmirageaz.gov>
Sent: Thursday, December 15, 2022 5:58 PM
To: 56 FW/CIT Community Initiative <56FW.CIT.CommunityInitiative@us.af.mil>
Cc: JAMES, MARK C CIV USAF AETC 56 FW/CVE <mark.james.14@us.af.mil>
Subject: [URL Verdict: Neutral][Non-DoD Source] Development Application, Site Plan

We sent the General Plan and Rezoning application for your review in the past, now the site plan is ready for your review. Deadline is Tuesday January 3rd.

Regards,

Jose A. Macias
Senior Planner | GIS
Development Services - Planning & Zoning | GIS Division

10000 N. El Mirage Road, El Mirage, AZ 85335
P: 623.876.2996 | F: 623.876.4605 | E: jmacias@elmirageaz.gov



El Mirage City Hall Hours: Mon – Thurs 7:00 am to 5:30 pm & Closed Fridays.
“The permitting review process is currently experiencing longer than expected review times during the months of November through January due to the workload volume and Holidays.”



**DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND**

1 June 2022

Mr. Christopher P. Toale
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Mr. Jose Macias
Senior Planner
El Mirage Development Services Division
10000 N. El Mirage Road
El Mirage, AZ 85335

Re: PZ22-04-01; Major General Plan Amendment

Dear Mr. Macias

Thank you for the opportunity to provide comments on the Major General Plan Amendment, Agua Fria Commerce Park. The amendment proposes a change to the property's land use category from Agua Fria (AF) to Commerce/Industry Park (CI). This amendment will allow for development of a RV, Boat and Storage Campus on the 36 acres. The land area is located east of the southeast corner of Cactus Rd and Main St in El Mirage, AZ. The subject property is located partially inside to 1/4 mile outside the Luke AFB 1988 JLUS 65 DNL "high noise or accident potential zone" as identified by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described in the narrative, this Major General Plan Amendment and future development of a RV, Boat and Storage Campus will not negatively impact the flying operations at Luke AFB. As always, we recommend a strong notification program to inform future land occupants and developers about Luke AFB operations.

If you have any questions, please contact my Community Planner, Mr. Mark James at (623) 856-9981.

Sincerely

CHRISTOPHER P. TOALE

cc:

Colonel Luke B. Casper, Vice Commander, 56th Fighter Wing
Ms. Timothy A. Forero, GS-13, General Law Attorney, 56th Fighter Wing

Cactus Road and Agua Fria River RV, Boat and Storage Campus



Rezone and Site Plan Narrative
Submitted: August 31, 2022
Resubmittal: December 12, 2022
Resubmittal: March 1, 2023

Development Team

Applicant



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Introduction

The Cactus Road and Agua Fria River RV, Boat, and Storage Campus offers a creative solution for a challenging development site that will create economic activity and generate significant sales tax revenue for the City of El Mirage. The proposed development will also generate employment during the construction phase. Given the City's limited land supply, the proposed development presents a unique opportunity for economic growth while providing a valuable service to residents in the surrounding area.

The Property is 35.91 gross acres located approximately 800 feet east of the intersection of Cactus Road and Main Street, as shown on the attached aerial map (**Exhibit A**). The Property is on the eastern boundary of El Mirage along the Agua Fria River. The site includes an approximately 5.2-acre drainage easement with a total non-buildable area of approximately 8 acres, leaving approximately 28 acres for development.

The property is bordered by the Agua Fria River to the east, vacant land owned by the Bureau of Land Management to the south, and fully developed subdivisions of residential land zoned Suburban Neighborhood (SN) to the west and north.

Request

This application requests to rezone the Property *from* Natural Reserve (NR) *to* Employment/Industry (EI).

See **Exhibit B, Existing Zoning Map and Exhibit C, Proposed Zoning Map**.

Development Plan

The proposed development would provide an in-demand service to residents of the surrounding area, offering high-quality storage facilities for recreational vehicles, boats, and other personal belongings. With sales of recreational vehicles and watercraft continuing to boom, demand for storage is high. In 2021, recreational boating was the leading outdoor recreation sector in the United States following record sales in 2020. The RV industry is seeing similar trends with greater consumer demand for outdoor recreation.

The storage campus would include both covered and uncovered RV/Boat parking spaces, as well as additional storage units to provide safe and convenient storage of other personal belongings. This presents an excellent opportunity for nearby residents whose Homeowner Associations might prevent RV or boat storage at their own homes. The storage units will come in a variety of different dimensions, including 10' X 10', 10' X 15', 10' x 25', 10' X 30', and 16' X 45'. The development will feature state of the art security systems, including app based keyless entry. See **Exhibit D, Preliminary Site Plan**.

Despite El Mirage's limited developable land, the Property is a remnant parcel that has remained vacant due to a number of development challenges and constraints, such as its lack of existing street access and its location within the Agua Fria River floodplain. The applicant proposes creative solutions and engineering to overcome these challenges and deliver a valuable product to El Mirage that will generate substantial sales tax revenue for the City. Moreover, the proposed development will be a productive use

of the Property, which in its current vacant state has attracted trash and vagrants to the detriment of the surrounding neighborhoods. Upon several visits to the site by the development team, multiple homeless camps were encountered. The proposed development will improve the Property's condition and the safety and wellbeing of neighboring residents.

The proposed development has been designed with attention paid to its location adjacent the Sundial IV neighborhood. An enhanced landscape buffer of 25' is provided along the western perimeter of the Property. This combined with the approximately 40' wide parcel currently owned by the City of El Mirage between the subject site and the Sundial IV neighborhood provides a significant buffer. Landscaping has been strategically designed to provide screening and maintain visual aesthetics for adjacent neighbors. See **Exhibit E, Line of Sight**. Additionally, a park is proposed on the southern end of the property, which will be constructed and maintained by the applicant and will provide a valuable amenity to neighbors in the surrounding community. The park will be accessed via a pedestrian pathway that connects to the Sundial IV neighborhood. See **Exhibit F, Preliminary Landscape Plan**. The presence of security measures, including cameras and on-site staff, will reduce the amount crime that has been prevalent in this area.

Access to the site will be provided by extending Cactus Road eastward to the northeast corner of the Property with one through lane in each direction. Two access points are proposed on Cactus Road. The main access is proposed on the south side of Cactus Road approximately 1,240 feet east of Main Street. This driveway will provide full access as the primary access point for the site and will include a keyless entry option. A secondary access is proposed 820 feet east of Main Street and will serve as an emergency vehicle/exit only access point. A second proposed gated emergency vehicle only access point will connect to the cul-de-sac on the south end of Main Street. The Traffic Impact Statement included with this submittal shows the proposed development will have minimal impact on the surrounding roadway system and traffic patterns.

Engineering solutions have been studied to protect the Property from the Agua Fria River floodplain. The developer proposes to apply for a CLOMR-F after zoning is approved to protect the site from a possible lateral movement of the Agua Fria River in a major storm event and will raise the site slightly with fill. This will allow for safe and effective development of this otherwise challenged property.

The proposed use is also appropriate for this site given its location within the 65LDN noise contour of Luke Air Force Base as well as the presence of major power lines on the Property's eastern boundary, which limit the viability of residential development. The proposed use is a low-intensity, economically productive use for the Property and will provide great value to the City of El Mirage.

General Plan Conformance

The General Plan Land Use Map designation for the Property is Industrial, which supports the zoning requested in this application. The proposed development meets many of the goals and policies outlined in the El Mirage General Plan, including the following:

Goal: Manage the use of land so growth, development, and redevelopment occur in an orderly and balanced manner that considers social, economic, natural, and imposed constraints.

Policy: Support development proposals that require minimal expansion of City infrastructure and

resources.

- The proposed development will maximize the utility of El Mirage's limited developable land in an efficient and low-impact manner. Extension of Cactus Road east to the site will increase connectivity within El Mirage and the Property will require minimal expansion of utilities. It is anticipated the site will only require electricity as the developer proposes an on-site septic tank and vault for the small office to be located on the Property.

Goal: Use high-quality community design to create vibrant and active places.

Policy: Support development proposals that provide enhanced connectivity to public spaces, commercial uses, schools, and adjacent neighborhoods.

- The proposed development will connect this currently inaccessible parcel to the surrounding community, providing a high-quality commercial use that will generate economic activity with little to no negative impact to the surrounding neighbors.

Goal: Encourage employment areas with innovative site design elements that contribute to the public realm.

Policy: Outdoor service areas, load bays, and outdoor storage areas should not be readily visible from public areas and rights of ways.

- The Property is located along the Agua Fria River corridor and the border of El Mirage, providing a perfect location for RV and boat storage that can be conveniently accessed but is not readily visible from rights of way. The proposed development will also include appropriate screening on its western boundary adjacent to the neighborhood.

Goal: Encourage redevelopment along Grand Avenue and the Agua Fria River

Policy: Support efforts by property owners and relevant public agencies to enhance and beautify the existing Agua Fria River Channel.

- The Property presents a unique opportunity for development along the Agua Fria River. The proposed use would provide a quality, low impact development that would maximize the value of El Mirage's remaining land. The proposed development would be designed to be context appropriate and aesthetically pleasing.

Goal: Foster the relationship between the City and Luke Air Force Base to protect ongoing mission-critical training, while accommodating community growth and development potential.

Policy: Future land uses should be compatible with the noise contours permitted use list as stated in A.R.S. § 28-8481.

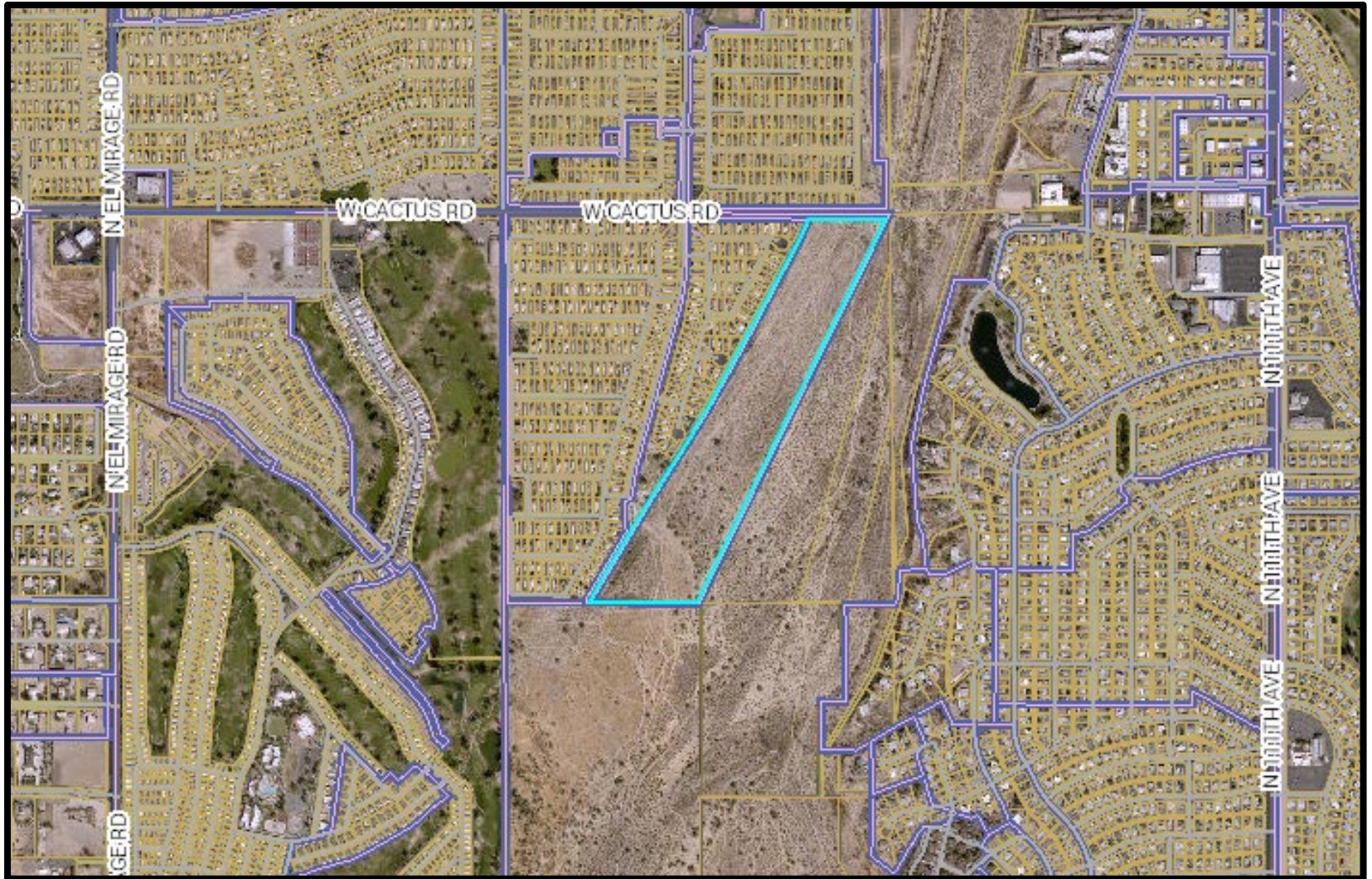
- Considering the Property's proximity to Luke Air Force Base, it is ideally suited for the proposed non-residential, low-impact use.

Conclusion

The proposed development is a context appropriate, sales-tax revenue generating use for the Property, which is one of the few remaining undeveloped parcels in the City of El Mirage. The applicant has devised creative solutions to create utility for this challenging parcel, which will enable the City to maximize the value of its remaining resources. With the requested land use entitlements, Cactus Road and Agua Fria River RV, Boat, and Storage Campus will offer a low-impact, valuable service to El Mirage and its residents.

EXHIBIT A

Aerial Map

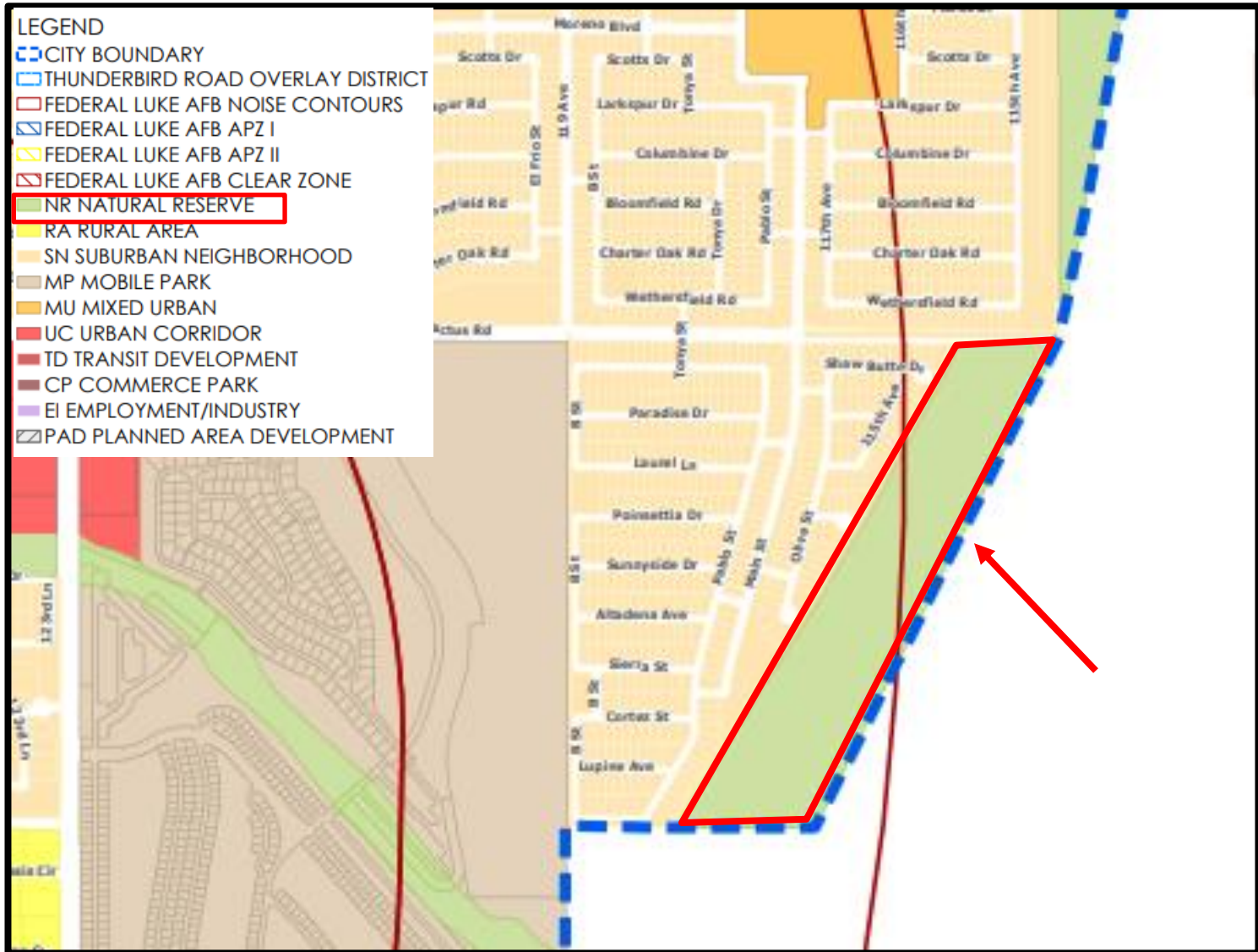


E of Cactus Rd and Main St, El Mirage



EXHIBIT B

Existing Zoning Map



E of Cactus Rd and Main St, El Mirage

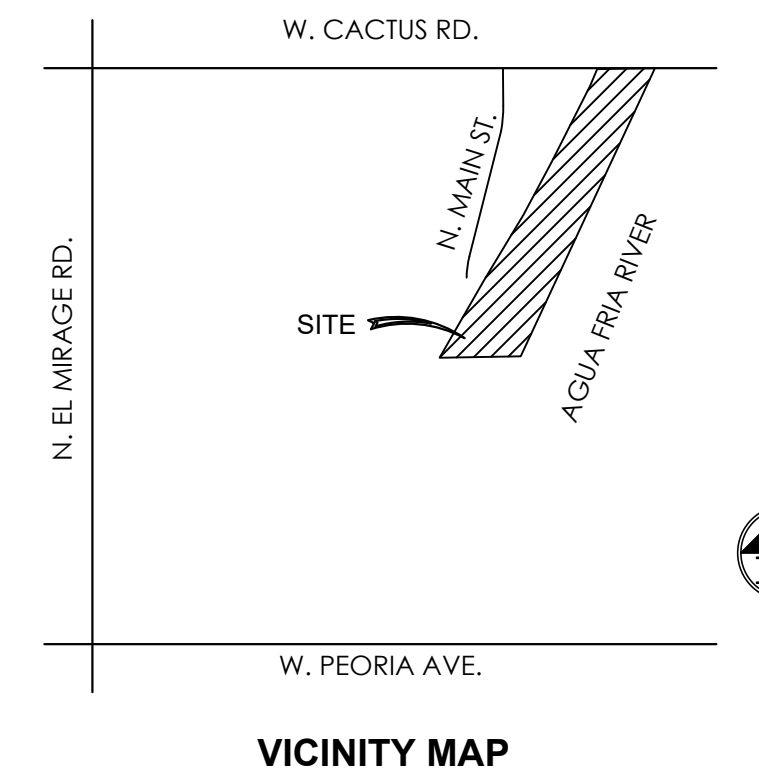


EXHIBIT C

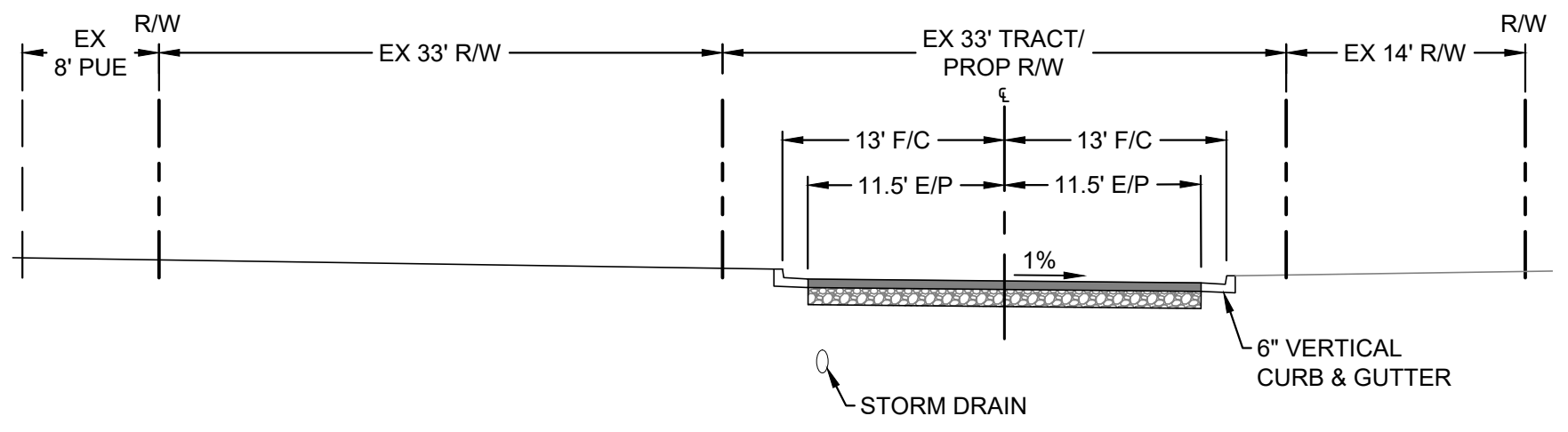
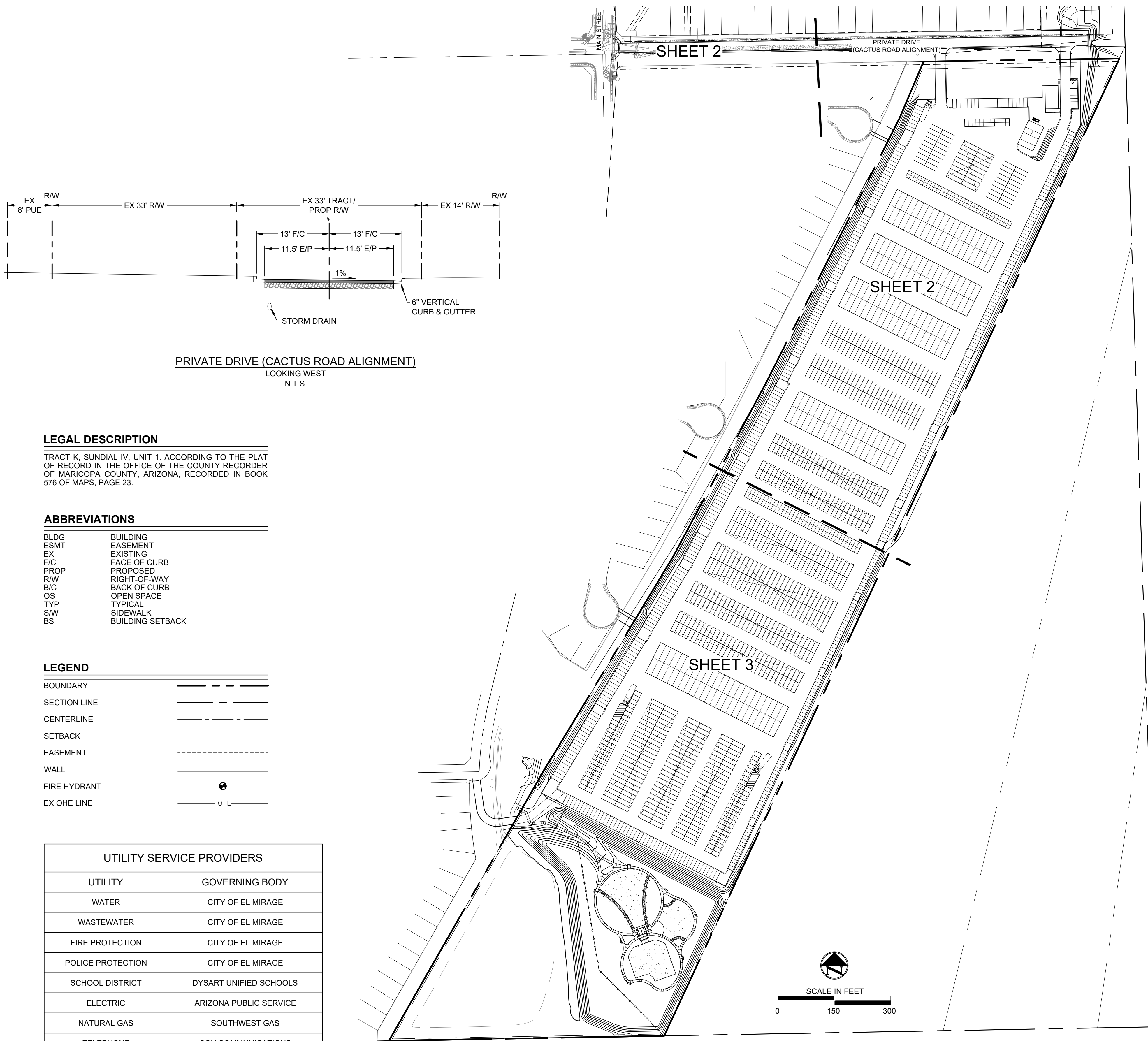
EXHIBIT D

SITE PLAN FOR CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

EAST OF SEC CACTUS ROAD & MAIN STREET
EL MIRAGE, ARIZONA
TRACT K OF THE SUNDIAL IV UNIT I REPLAT
A PORTION OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP



PRIVATE DRIVE (CACTUS ROAD ALIGNMENT)
LOOKING WEST
N.T.S.

SITE INFO

A.P.N.	501-45-369																		
SITE AREA (GROSS):	35.91 AC (1,564,337 SF)																		
SITE AREA (NET):	35.91 AC (1,564,337 SF)																		
EXISTING ZONING:	NR (NATURAL RESERVE)																		
PROPOSED ZONING:	E/I (EMPLOYMENT/INDUSTRIAL)																		
EXISTING LAND USE:	VACANT LAND																		
PROPOSED LAND USE:	RV/BOAT & SELF STORAGE																		
RV/BOAT PARKING /SURFACE STORAGE:	<table border="1"> <tr><td>12' X 20' (CANOPY):</td><td>84</td></tr> <tr><td>12' X 25' (CANOPY):</td><td>112</td></tr> <tr><td>12' X 30' (CANOPY):</td><td>124</td></tr> <tr><td>12' X 35' (CANOPY):</td><td>100</td></tr> <tr><td>12' X 40' (CANOPY):</td><td>108</td></tr> <tr><td>12' X 45' (CANOPY):</td><td>78</td></tr> <tr><td>12' X 35' (OPEN):</td><td>144</td></tr> <tr><td>16' X 45' (ENCLOSED):</td><td>208</td></tr> <tr><td></td><td>958</td></tr> </table>	12' X 20' (CANOPY):	84	12' X 25' (CANOPY):	112	12' X 30' (CANOPY):	124	12' X 35' (CANOPY):	100	12' X 40' (CANOPY):	108	12' X 45' (CANOPY):	78	12' X 35' (OPEN):	144	16' X 45' (ENCLOSED):	208		958
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12' X 35' (OPEN):	144																		
16' X 45' (ENCLOSED):	208																		
	958																		
STORAGE UNITS:	<table border="1"> <tr><td>10' X 10':</td><td>86</td></tr> <tr><td>10' X 15':</td><td>154</td></tr> <tr><td>10' X 20':</td><td>110</td></tr> <tr><td>10' X 25':</td><td>91</td></tr> <tr><td>10' X 30':</td><td>154</td></tr> <tr><td></td><td>595</td></tr> </table>	10' X 10':	86	10' X 15':	154	10' X 20':	110	10' X 25':	91	10' X 30':	154		595						
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10' X 20':	110																		
10' X 25':	91																		
10' X 30':	154																		
	595																		
TOTAL SITE STORAGE:	1,553																		

BUILDING TABLE

BUILDING / STRUCTURE:	AREA (S.F.)	HEIGHT
LEASING OFFICE:	2,170	18'
RV / BOAT WASH & DUMP:	3,150	18'
10' X 10' UNIT STORAGE BUILDINGS:	8,600	12.33'
10' X 15' UNIT STORAGE BUILDINGS:	23,100	12.33'
10' X 20' UNIT STORAGE BUILDINGS:	22,000	12.33'
10' X 25' UNIT STORAGE BUILDINGS:	22,750	12.33'
10' X 30' UNIT STORAGE BUILDINGS:	46,200	16.5'
16' X 45' RV/BOAT ENCLOSED SPACES:	149,760	
RV/BOAT CANOPIES:	294,840	18'
TOTAL BUILDINGS & CANOPIES:	572,570	
LOT COVERAGE:	37%	

DEVELOPMENT STANDARDS - E/I ZONING

LOT OCCUPATION	REQUIRED	PROVIDED
MIN. LOT AREA	2,000 SF	> 2,000 SF
MIN. LOT WIDTH	50'	> 50'
MAX. LOT COVERAGE	90%	+/- 35%
MINIMUM SETBACKS		
FRONT (S/NORTH)	20'	20'
SIDE (EAST & WEST)	5'	5'
REAR (SOUTH)	5'	5'
MAXIMUM BUILDING HEIGHT		
PRINCIPAL (HEIGHT/STORIES)	66'	18'
PERIMETER WALL HEIGHT	6' MIN. 10' MAX.	8'
PASSENGER VEHICLE PARKING (4 SPACES+ 1 PER EMPLOYEE)	5	8
PARKING STALL SIZE 9' X 18.5'	9' X 18.5'	9' X 18.5'

NOTES

- A PORTION OF THE SITE IS IN THE LUKE AIR FORCE BASE 65 TO 70 DNL ZONE AND IS SUBJECT TO ARS 28-8481 REGULATIONS.
- NEW BUILDINGS ARE SUBJECT TO ARS 28-8482 SOUND ATTENUATION STANDARDS IN BUILDING CODE.
- ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BUT THIS CHAPTER ARE FURNISHED.
- PERMITS FOR SIGNS OTHER THAN BUILDING NUMBER AND ADDRESS WILL BE REQUIRED.
- NOISE SHALL BE KEPT TO 55 DECIBELS AT THE PROPERTY LINES BETWEEN 10 PM AND 6 AM.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 1112 AND ANY OUTDOOR LIGHTING WILL BE PLACED SO AS TO REFLECT LIGHT AWAY FROM ANY ADJOINING RURAL OR RESIDENTIAL ZONING DISTRICT.
- ALL LIGHT POLES/STANDARDS WILL HAVE A MAXIMUM HEIGHT OF 18 FEET.
- HOURS OF OPERATION: 24 HOURS / 7 DAYS. 24 HOUR CUSTOMER ACCESS WITH SECURITY FENCING & REMOTE VIDEO MONITORING.
- 1 FULL TIME EMPLOYEE - ONSITE DURING NORMAL BUSINESS HOURS.
- WASH BAYS AND DUMP STATIONS AVAILABLE 24 HOURS.
- MULTIPLE WATER FILLING STATIONS.
- TIRE AIR FILLING STATION AVAILABLE.

CIVIL ENGINEER

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PHOENIX, ARIZONA 85012
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PHONE: (602) 297-8732
EMAIL: DSOLTYSIK@TERRASCOPE.US

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EMAIL: JSTOCKWELL@CLYDECAP.COM

PROPERTY OWNER

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LAND PLANNING & LANDSCAPE ARCHITECT

MCGOUGH ADAMSON
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MESA, ARIZONA 85203
CONTACT: NICK ADAMSON
PHONE: 602-997-9093
EMAIL: NICKA@MG-AZ.COM

COORDINATE SYSTEM

ARIZONA STATE PLANE CENTRAL ZONE GRID
COORDINATES FOR THE NORTHEAST CORNER OF
SECTION 24, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA
GDACS POINT # 03782.Z1
N = 944013.95
E = 581051.30
NAVD 88 ELEV. = 1100.00

BASIS OF BEARING

S 89°06'25" W - BEING THE NORTH LINE OF THE
NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 3
NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE FINAL
PLAT OF SUNDIAL IV UNIT I REPLAT, RECORDED IN BOOK
576, PAGE 23, MARICOPA COUNTY RECORDS.

FLOOD ZONE

FLOOD ZONE DESIGNATION "AE" PER F.E.M.A. FLOOD
INSURANCE RATE MAP, MAP NUMBER 04013C1685M
PANEL 1685 OF 4425, DATED 09/18/2020.
ZONE "AE" IS A SPECIAL FLOOD HAZARD AREA WITH
KNOWN BASE FLOOD ELEVATIONS.

LEGAL DESCRIPTION

TRACT K, SUNDIAL IV, UNIT 1, ACCORDING TO THE PLAT
OF RECORD IN THE OFFICE OF THE COUNTY RECORDER
OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK
576 OF MAPS, PAGE 23.

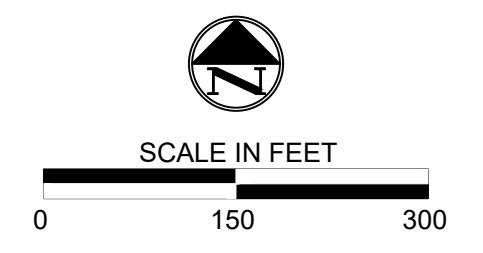
ABBREVIATIONS

BLDG	BUILDING
ESMT	EASEMENT
EX	EXISTING
F/C	FACE OF CURB
PROP	PROPOSED
R/W	RIGHT-OF-WAY
B/C	BACK OF CURB
OS	OPEN SPACE
TYP	TYPICAL
SW	SIDEWALK
BS	BUILDING SETBACK

LEGEND

BOUNDARY	---
SECTION LINE	---
CENTERLINE	---
SETBACK	---
EASEMENT	---
WALL	---
FIRE HYDRANT	●
EX OHE LINE	—○—

UTILITY SERVICE PROVIDERS	
UTILITY	GOVERNING BODY
WATER	CITY OF EL MIRAGE
WASTEWATER	CITY OF EL MIRAGE
FIRE PROTECTION	CITY OF EL MIRAGE
POLICE PROTECTION	CITY OF EL MIRAGE
SCHOOL DISTRICT	DYSART UNIFIED SCHOOLS
ELECTRIC	ARIZONA PUBLIC SERVICE
NATURAL GAS	SOUTHWEST GAS
TELEPHONE	COX COMMUNICATIONS
REFUSE PROVIDERS	PARKS & SONS OF SUN CITY



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CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

SITE PLAN

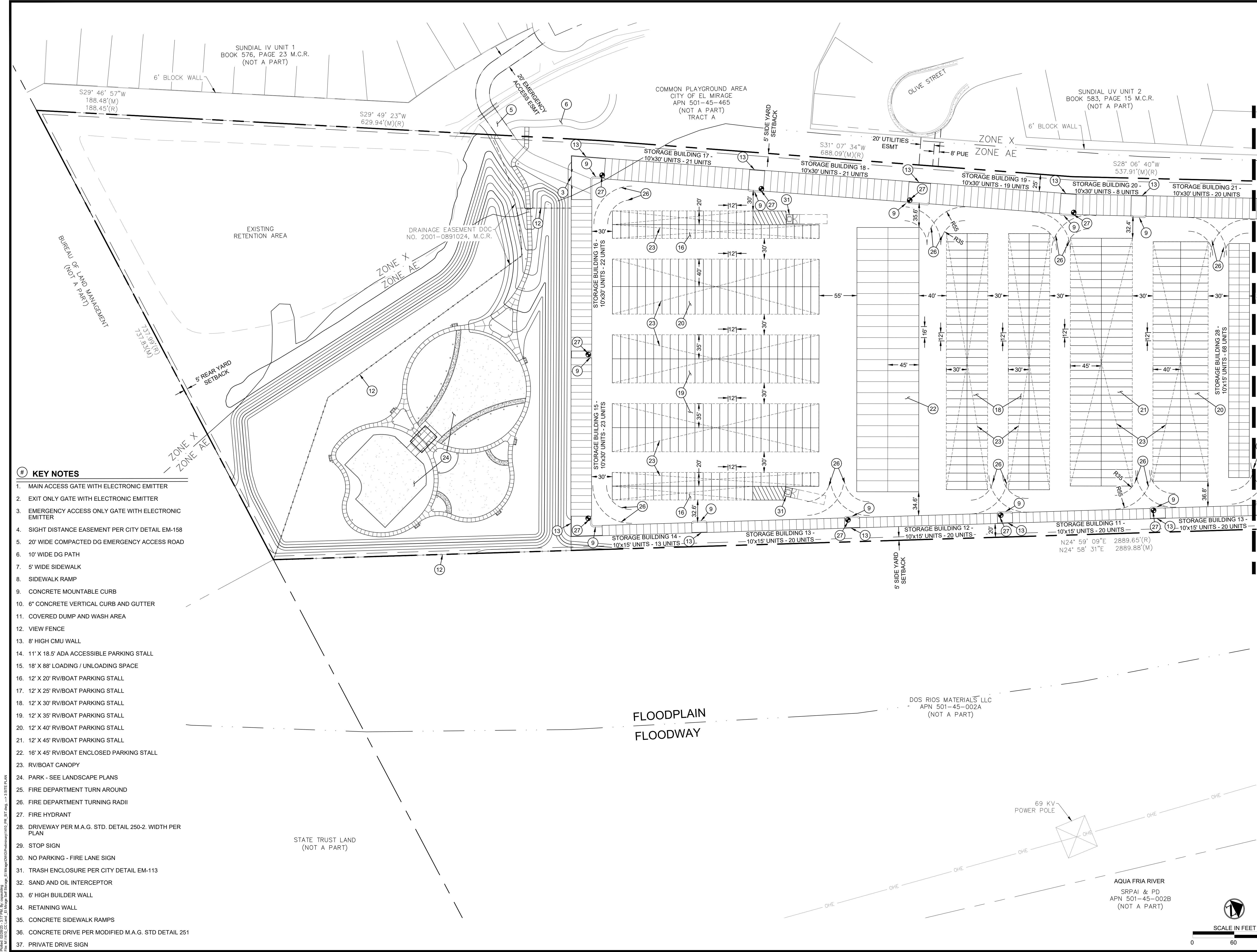
SONOMA COMMUNITIES

Arizona 811 call center (not working days before you begin excavation)
ARIZONA 811
Call 811 or click Arizona811.com

DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

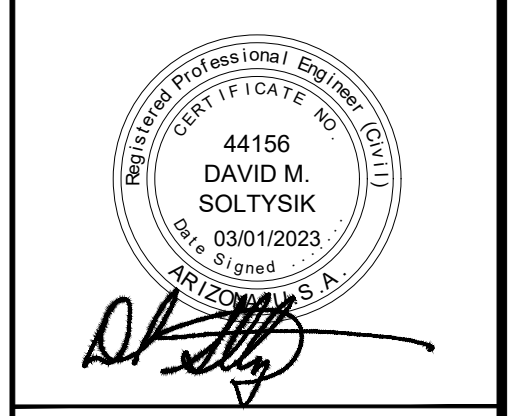
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SHEET No.	1 of 3
PROJECT No.	1410

Printed: 02/20/23 - 3:17 PM By: cshapiro
File: M1410_CO_Land_U_Mirage_EI_Mirage_04013C1685M_P1_B1.dwg - 1 COVER SHEET



- # KEY NOTES**
1. MAIN ACCESS GATE WITH ELECTRONIC EMITTER
 2. EXIT ONLY GATE WITH ELECTRONIC EMITTER
 3. EMERGENCY ACCESS ONLY GATE WITH ELECTRONIC EMITTER
 4. SIGHT DISTANCE EASEMENT PER CITY DETAIL EM-158
 5. 20' WIDE COMPACTED DG EMERGENCY ACCESS ROAD
 6. 10' WIDE DG PATH
 7. 5' WIDE SIDEWALK
 8. SIDEWALK RAMP
 9. CONCRETE MOUNTABLE CURB
 10. 6" CONCRETE VERTICAL CURB AND GUTTER
 11. COVERED DUMP AND WASH AREA
 12. VIEW FENCE
 13. 8' HIGH CMU WALL
 14. 11' X 18.5' ADA ACCESSIBLE PARKING STALL
 15. 18' X 88' LOADING / UNLOADING SPACE
 16. 12' X 20' RV/BOAT PARKING STALL
 17. 12' X 25' RV/BOAT PARKING STALL
 18. 12' X 30' RV/BOAT PARKING STALL
 19. 12' X 35' RV/BOAT PARKING STALL
 20. 12' X 40' RV/BOAT PARKING STALL
 21. 12' X 45' RV/BOAT PARKING STALL
 22. 16' X 45' RV/BOAT ENCLOSED PARKING STALL
 23. RV/BOAT CANOPY
 24. PARK - SEE LANDSCAPE PLANS
 25. FIRE DEPARTMENT TURN AROUND
 26. FIRE DEPARTMENT TURNING RADII
 27. FIRE HYDRANT
 28. DRIVEWAY PER M.A.G. STD. DETAIL 250-2. WIDTH PER PLAN
 29. STOP SIGN
 30. NO PARKING - FIRE LANE SIGN
 31. TRASH ENCLOSURE PER CITY DETAIL EM-113
 32. SAND AND OIL INTERCEPTOR
 33. 6' HIGH BUILDER WALL
 34. RETAINING WALL
 35. CONCRETE SIDEWALK RAMPS
 36. CONCRETE DRIVE PER MODIFIED M.A.G. STD DETAIL 251
 37. PRIVATE DRIVE SIGN

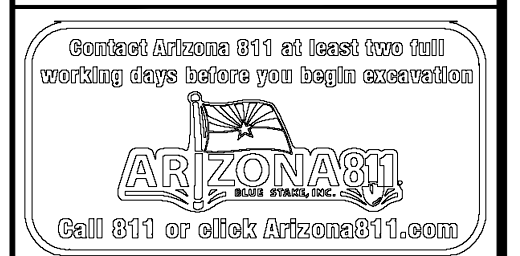
MATCHLINE SEE SHEET 2



CACTUS & AGUA FRIA RV, BOAT & STORAGE CAMPUS

SITE PLAN

SONOMA COMMUNITIES



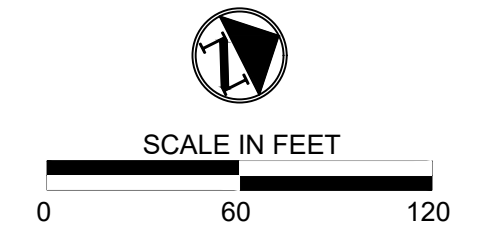
DATE	DESCRIPTION
08/19/2022	1ST SUBMITTAL
12/08/2022	2ND SUBMITTAL
03/01/2023	3RD SUBMITTAL

CHECKED BY: DMS
 DRAWN BY: CRS

TITLE:
SITE PLAN

SHEET No.
 3 of 3

PROJECT No.
 1410



Printed: 02/20/23, 3:17 PM By: csp@terrascope.com
 File: M:\1410_CD_Land_U_Mirage_Cat Storage_EI_Mirage\DWG\SitePlan_P1_SIT.dwg -> 3 SITE PLAN

EXHIBIT E



RV STORAGE - LOOKING EAST FROM ADJACENT CUL-DE-SAC



PRELIMINARY LANDSCAPE PLAN



PARK ENLARGEMENT

CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS STORAGE ELEVATIONS & PARK ENLARGEMENT

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ

FEBRUARY 10, 2023

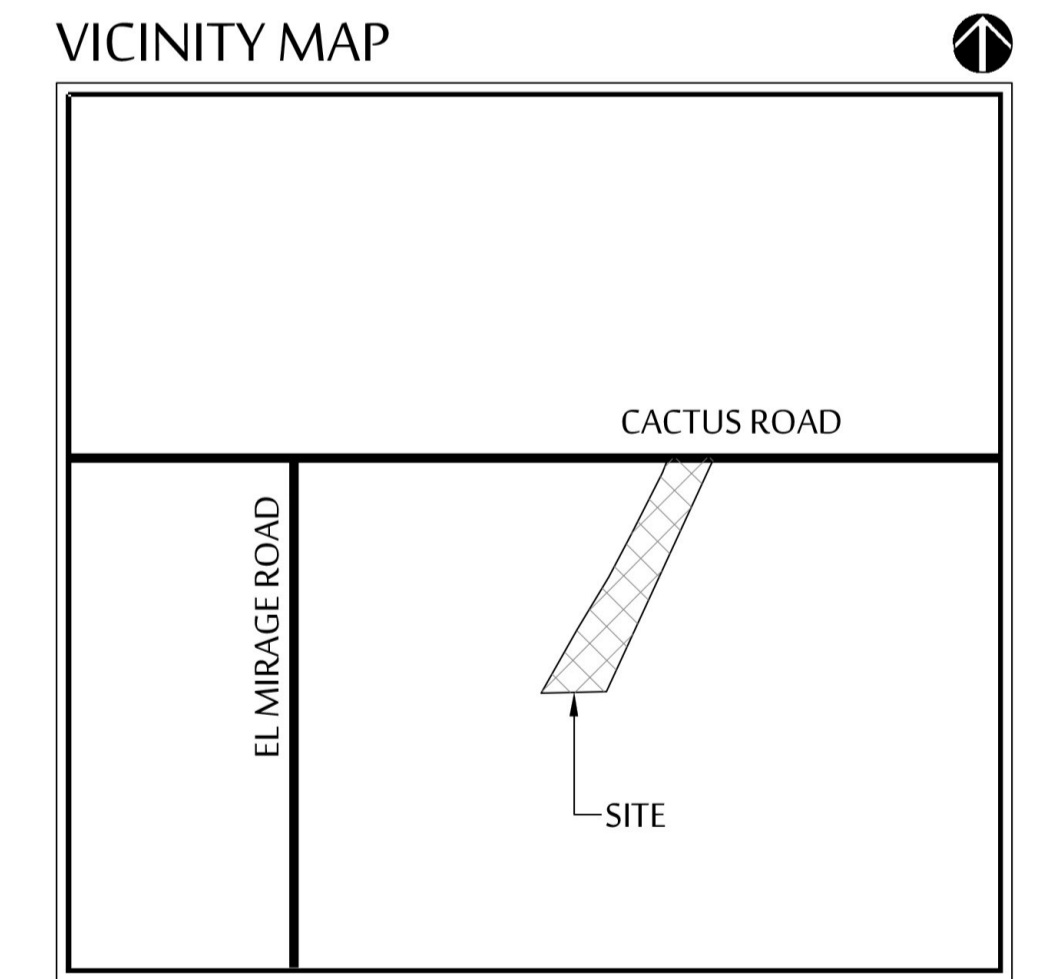
SHEET L3



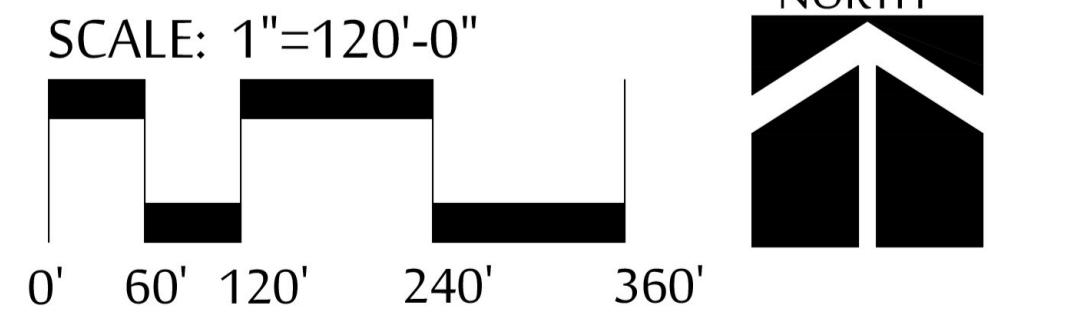
EXHIBIT F



PLANT LEGEND	
SYMBOL	BOTANICAL NAME - COMMON NAME
TREES (24" BOX)	
	FRAXINUS VELUTINA - ARIZONA ASH
	OLNEYA TESOTA - IRONWOOD
	PISTACIA CHINENSIS - CHINESE PISTACHE
	PROSOPIS X PHOENIX - PHOENIX THORNLESS MESQUITE
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK
SHRUBS (5 GAL.)	
	BOUGAINVILLEA HYBRID - BUSH BOUGAINVILLEA 'FLAME'
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CALLIANDRA CALIFORNICA - NATIVE FAIRY DUSTER
	EREMOPHILA GLABRA SSP. CARNOSA 'WINTER BLAZE' - WINTER BLAZE EMU
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM x 'HEAVENLY CLOUD' - HEAVENLY CLOUD SAGE
	RUPELLIA PENINSULARIS - BAJA RUELLIA
	JUSTICIA CALIFORNICA - CHUPAROSA
	SENNA OLIOPHYLLA - OUTBACK CASSIA
	TECOMA STANS HYBRID - 'SPARKLETTE'
ACCENTS (5 GAL.)	
	AGAVE AMERICANA
	ALOE BARBADENSIS - ALOE VERA
	DASYLIRION WHEELERI - DESERT SPOON
	HESPERALOE PARVIFLORA 'PERPA' - BRAKE LIGHTS RED YUCCA
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' - REGAL MIST MUHLY
	BOUTELOUA GRACILIS - BLONDE AMBITION
	YUCCA RUPICOLA - TWISTLEAF YUCCA
GROUND COVERS (5 GAL.)	
	EREMOPHILA GLABRA 'MINGENEW GOLD' - OUTBACK SUNRISE EMU
	LANTANA HYBRID - 'NEW GOLD'
	LANTANA MONTEVIDENSIS - PURPLE TRAILING
	WEDELIA TRILOBATA - YELLOW DOT
	DECOMPOSED GRANITE - 3/4" SCREENED. COLOR TO BE 'MOUNTAIN VISTA BROWN' BY KILLAUEA CRUSHERS. D.G. TO BE INSTALLED AT 2" DEPTH MIN.
	MID-IRON BERMUDA TURF



- NOTES:**
1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
 2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
 3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
 4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED ESMT.
 5. FULL IRRIGATION PLANS TO BE PROVIDED WITH IMPROVEMENTS SET.
 6. LANDSCAPING AND IRRIGATION MUST FOLLOW CITY DETAIL EM-101-4, FULL NOTES TO BE PROVIDED WITH IMPROVEMENTS SET.
 7. THE MAINTENANCE FOR ALL LANDSCAPING AND IRRIGATION SHOWN ON THE PLANS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL LANDSCAPE PLAN

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
 FEBRUARY 10, 2023



RV STORAGE - LOOKING EAST FROM ADJACENT CUL-DE-SAC



PRELIMINARY LANDSCAPE PLAN



PARK ENLARGEMENT

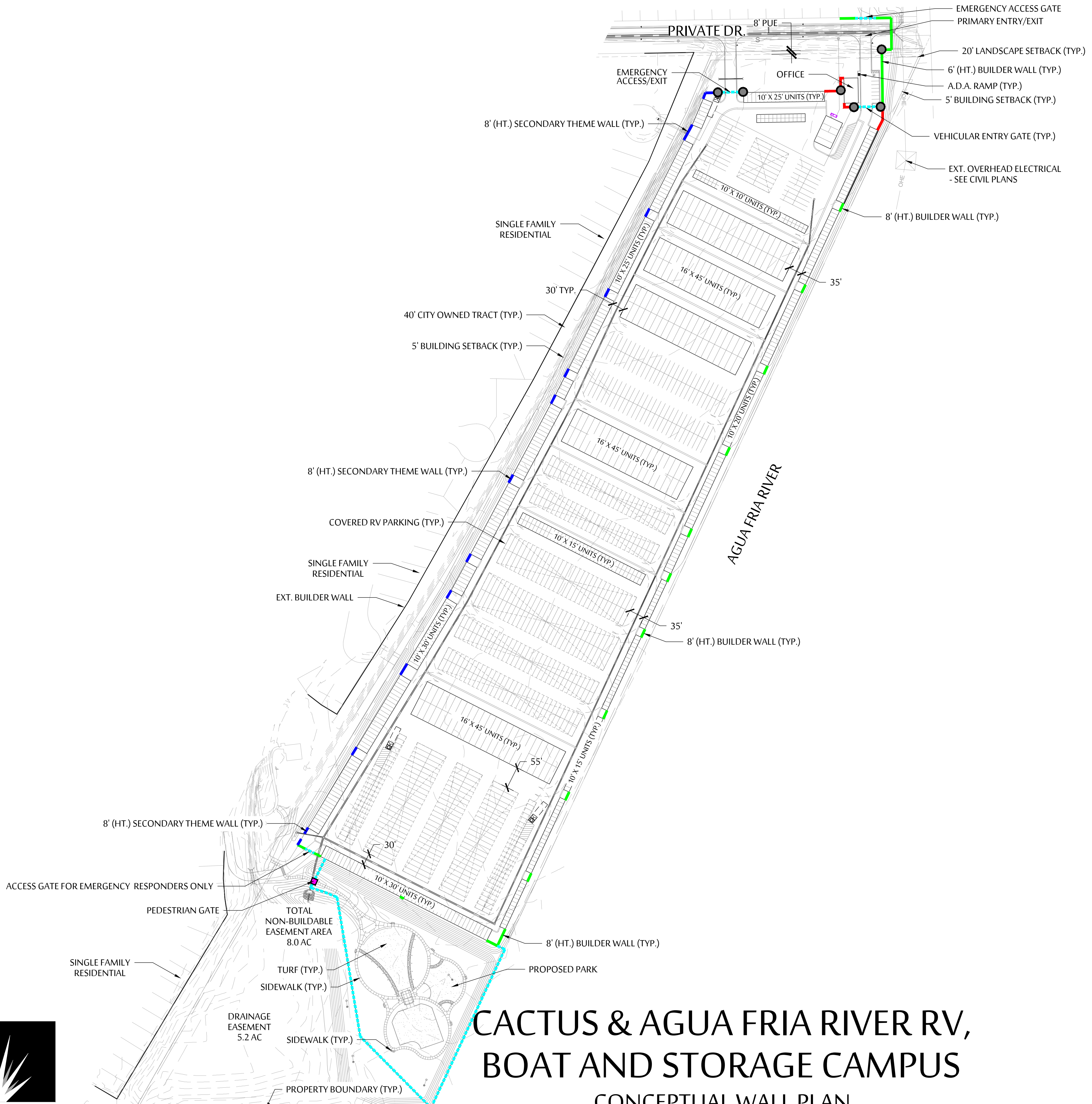
CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS STORAGE ELEVATIONS & PARK ENLARGEMENT

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ

FEBRUARY 10, 2023

SHEET L3





WALL PLAN LEGEND

	8' HT. PRIMARY THEME WALL. (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'A' ON SHEET 3.
	8' HT. SECONDARY THEME WALL. (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'B' ON SHEET 3.
	6' HT. FULL VIEW FENCE - SEE DETAIL 'C' ON SHEET 3.
	6' (MIN) - 8' (MAX) HT. BUILDER WALL (8' HT. UNLESS OTHERWISE NOTED ON PLANS). - SEE DETAIL 'F' ON SHEET 3.
	ALL EXISTING & FUTURE BUILDER WALL PAINT COLOR TO MATCH PROJECT THEME WALL COLORS PROJECT THEME COLUMNS - SEE DETAIL 'A' ON SHEET 3.
	PEDESTRIAN GATE - SEE DETAIL 'C' ON SHEET 3.

SEE DETAIL 'D' ON SHEET 3 FOR VEHICULAR ENTRANCE GATE DETAIL

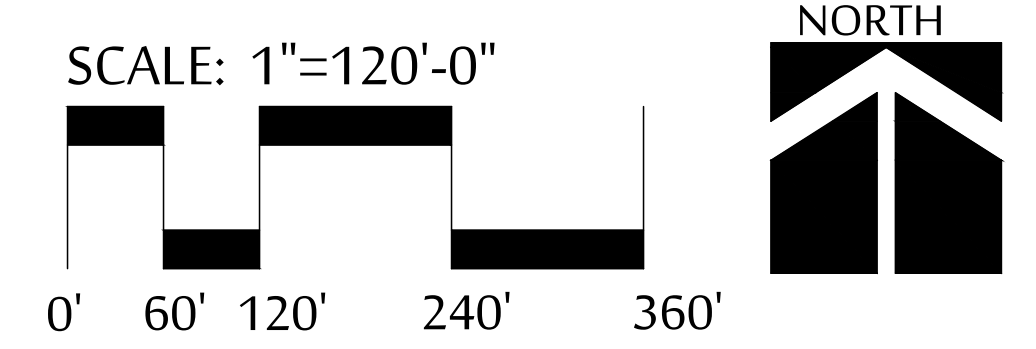
CACTUS & AGUA FRIA RIVER RV, BOAT AND STORAGE CAMPUS

CONCEPTUAL WALL PLAN

EAST OF SEC OF CACTUS ROAD & MAIN STREET - EL MIRAGE, AZ
FEBRUARY 10, 2023



SHEET L2



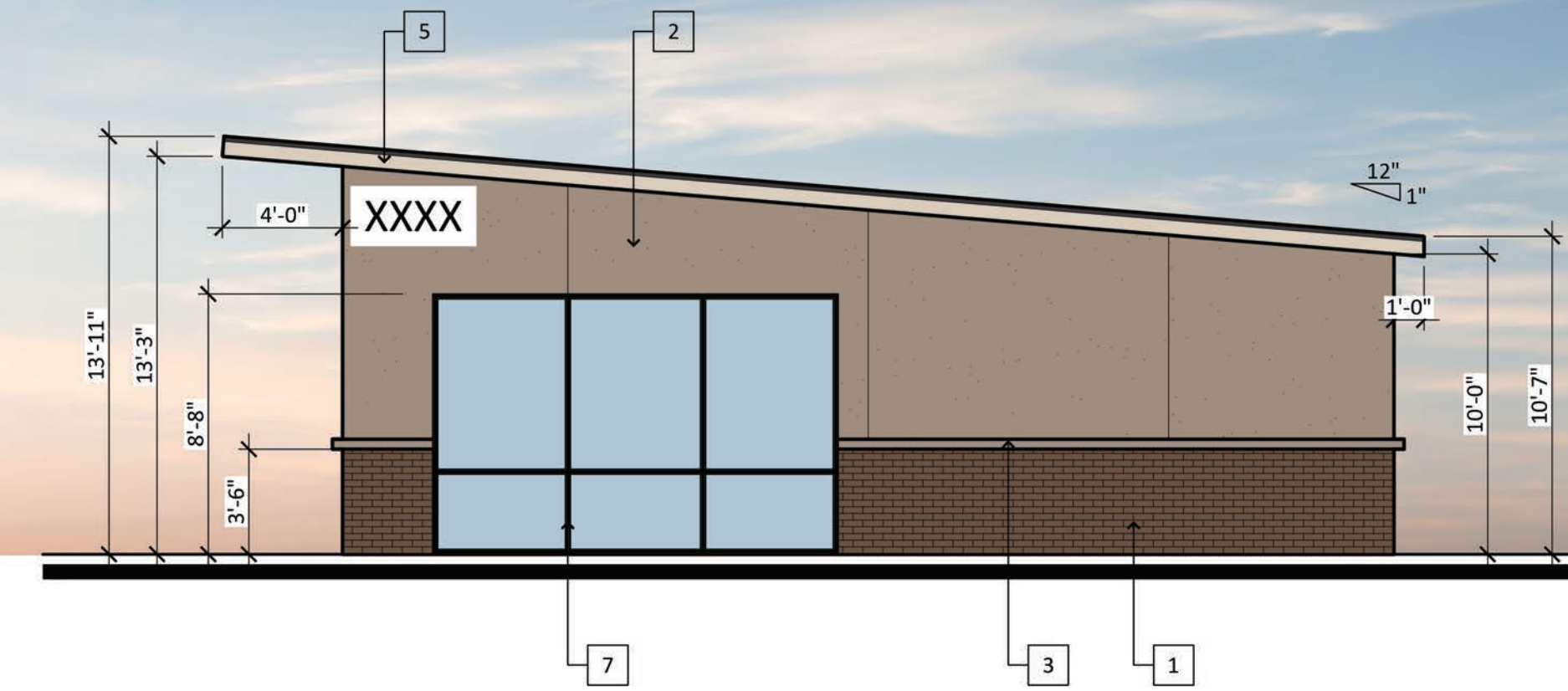
MATERIALS & COLORS

- | | |
|---|--|
| <p>1 STONE VENEER:
MFG: ENDICOTT THIN BRICK & TILE, LLC.
STYLE: VELOUR THIN BRICK
COLOR: DARK SAND STONE</p> <p>2 PAINTED STUCCO:
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: SW7502 "DRY DOCK"</p> <p>3 HORIZONTAL WALL BAND:
FINISH: PAINTED STUCCO
COLOR: SW7502 "DRY DOCK"</p> <p>4 ROOL UP METAL DOORS:
MFG: JANUS
COLOR: LIGHT STONE</p> | <p>5 PAINTED STUCCO:
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: SW7517 "RIVER EDGE"</p> <p>6 METAL ROOF:
MFG: MCELROY METAL
STYLE: MAXIMA STANDING SEAM
COLOR: "DARK BRONZE"</p> <p>7 STOREFRONT:
MFG:
COLOR: BRONZE ANODIZED FINISH</p> <p>8 H.M. DOORS:
MFG: SHERWIN WILLIAMS
COLOR: SW7505 "DRY DOCK"</p> |
|---|--|



FRONT OFFICE ELEVATION

SCALE: 3/16" = 1'-0"



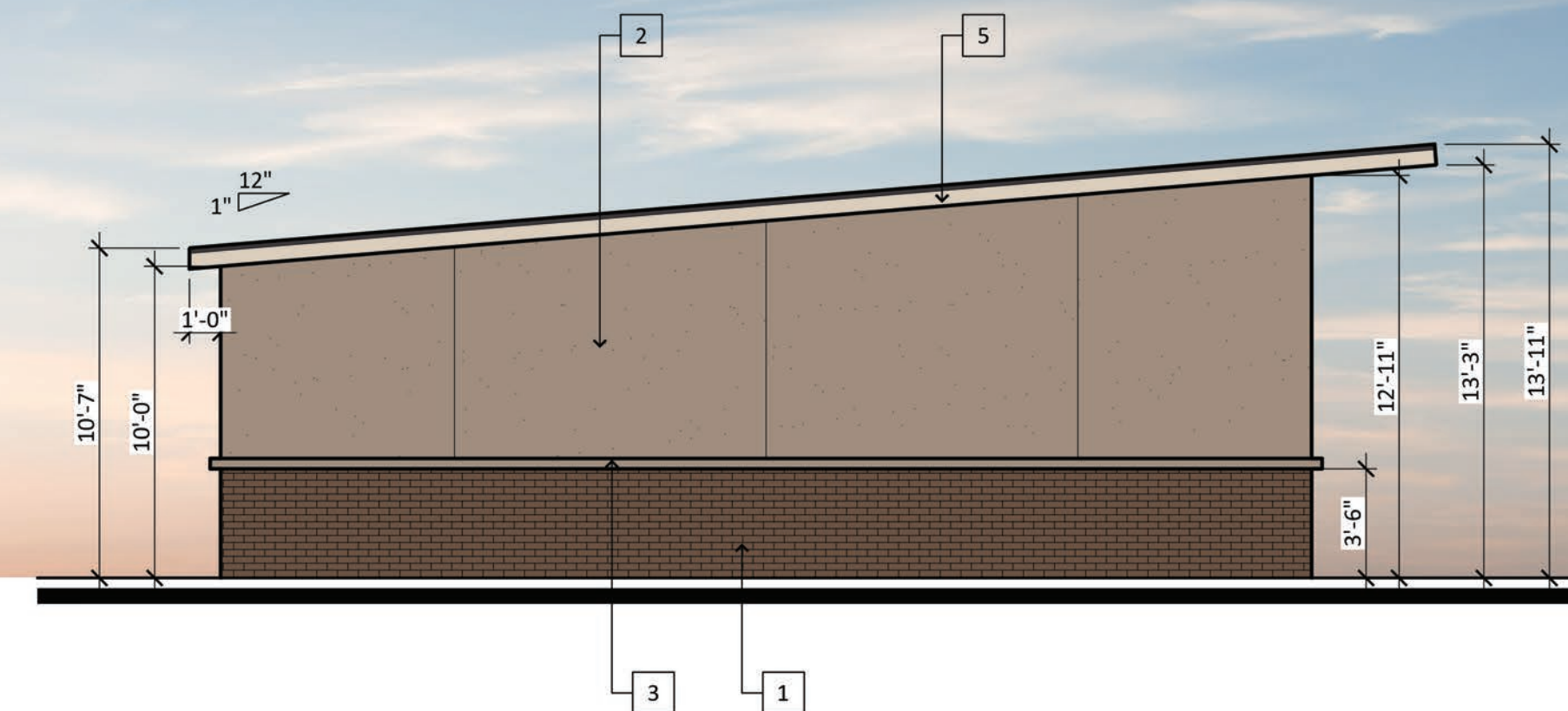
FRONT/SIDE OFFICE ELEVATION

SCALE: 3/16" = 1'-0"



BACK OFFICE ELEVATION

SCALE: 3/16" = 1'-0"



BACK/SIDE OFFICE ELEVATION

SCALE: 3/16" = 1'-0"