

Memorandum

To: El Mirage Planning Department

From: Ryan Alvarez – Project Manager–Kimley-Horn

Date: February 7, 2024

Subject: Walmart Fuel Station El Mirage, AZ - #4336  
12900 W Thunderbird Rd, El Mirage AZ 85335

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The proposed project is at the existing Walmart located at 12900 W Thunderbird Rd. The proposed project includes the construction of a new fuel station with ten fueling dispensers and a 1,556 square-foot convenience store within the existing parking lot of a Walmart Supercenter. The convenience store has a building height of 16 feet and the canopy stands at 17.67 feet. Any proposed utilities will be underground, including the fuel tanks. The project site is located on the Southwest side of the Walmart Supercenter parking lot. The proposed conditions comply with city standards and codes. The project is going to be in an Urban Corridor zone and considered a permitted use per commercial code. Existing parking will be adjusted but will remain sufficient for the entire site.

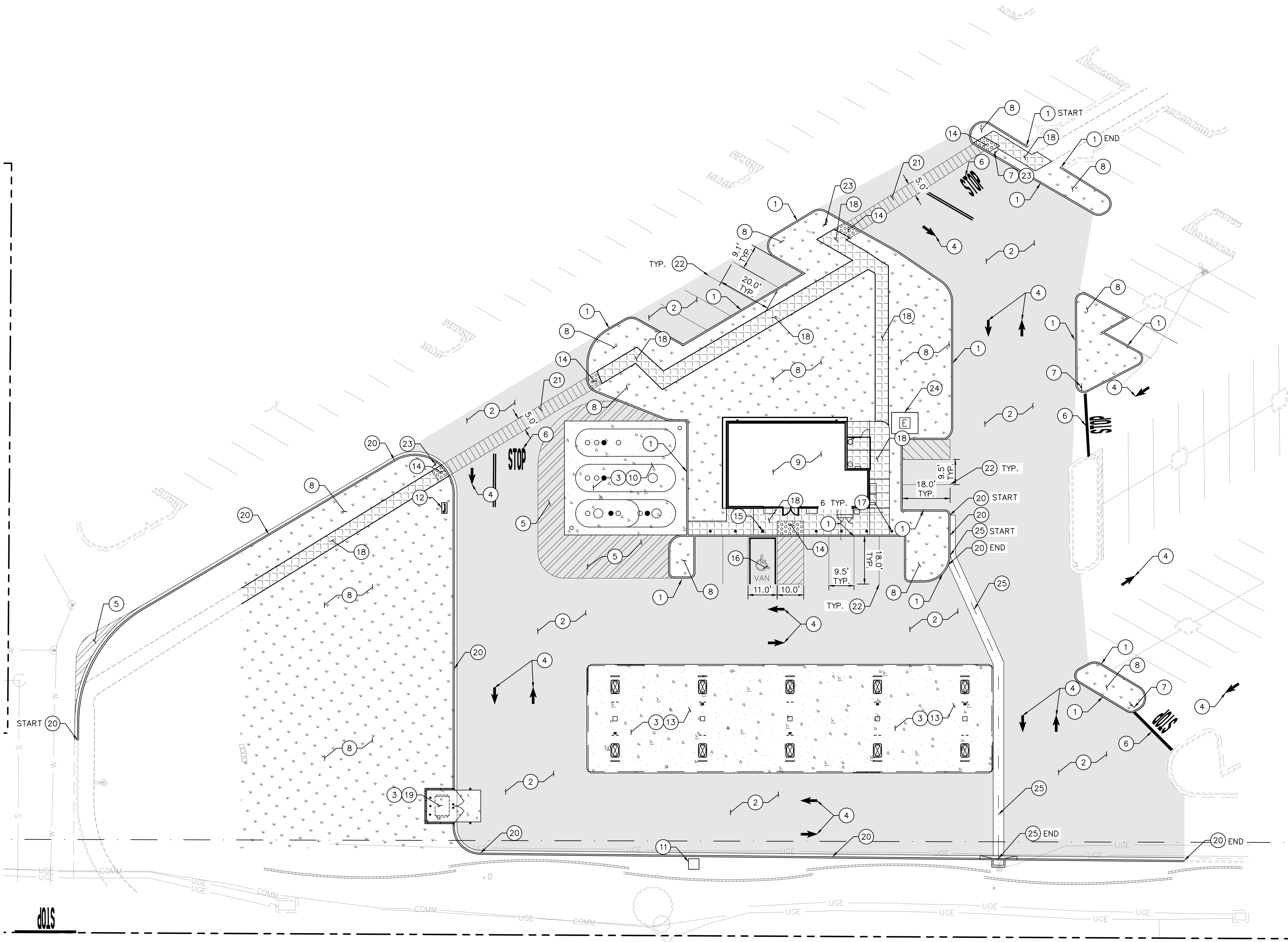
The owner of the property is WalMart Stores Inc. at 708 SW St. Mail Stop 0505, Bentonville AR 72716. The primary contact and consultant of the project is Ryan Alvarez at Kimley-Horn and Associates on 1100 W Town and Country Rd Suite 700, Orange CA 92868.

Should you have any further questions please contact me via email at [ryan.alvarez@kimley-horn.com](mailto:ryan.alvarez@kimley-horn.com) or via phone at 714-786-6322.

Sincerely,



Ryan Alvarez



**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- HEAVY DUTY ASPHALT PAVEMENT PER 75,000 LB LOADING
- LANDSCAPING
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- TRUNCATED DOMES

**CONSTRUCTION NOTES**

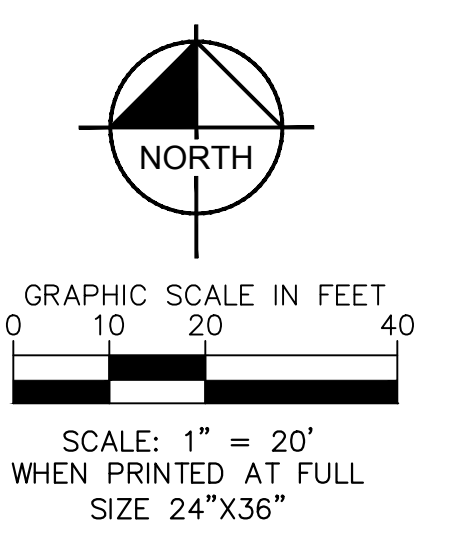
- 1 PROPOSED CONCRETE CURB.
- 2 PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- 3 PROPOSED CONCRETE PAVEMENT.
- 4 STRIPE DIRECTIONAL ARROW PAVEMENT MARKING.
- 5 STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 36" O.C.
- 6 STRIPE STOP BAR PAVEMENT MARKING.
- 7 PROPOSED STOP SIGN ON POST.
- 8 PROPOSED LANDSCAPING.
- 9 PROPOSED 1440 SF CONVENIENCE STORE.
- 10 PROPOSED UNDERGROUND GAS TANKS. ONE 20,000 GAL UNL, ONE 20,000 GAL SPLIT (12,000 UNL/8,000 PRM), AND ONE 10,000 GAL DSL.
- 11 PROPOSED AIR AND WATER STATION.
- 12 PROPOSED VAPOR RECOVERY LOCATION/PAD.
- 13 PROPOSED CANOPY.
- 14 PROPOSED TRUNCATED DOMES.
- 15 PROPOSED VAN ACCESSIBLE PARKING SIGN ON POST AND BOLLARD.
- 16 PROPOSED VAN ACCESSIBLE PARKING.
- 17 PROPOSED BOLLARDS.
- 18 PROPOSED CONCRETE SIDEWALK.
- 19 PROPOSED TRASH ENCLOSURE PER CITY OF EL MIRAGE STANDARD DETAIL EM-113.
- 20 PROPOSED CURB AND GUTTER.
- 21 PROPOSED ACCESSIBLE PATH OF TRAVEL STRIPING.
- 22 PROPOSED REGULAR PARKING.
- 23 PROPOSED PEDESTRIAN CROSSING SIGN ON POST.
- 24 PROPOSED TRANSFORMER PAD.
- 25 PROPOSED VALLEY GUTTER.

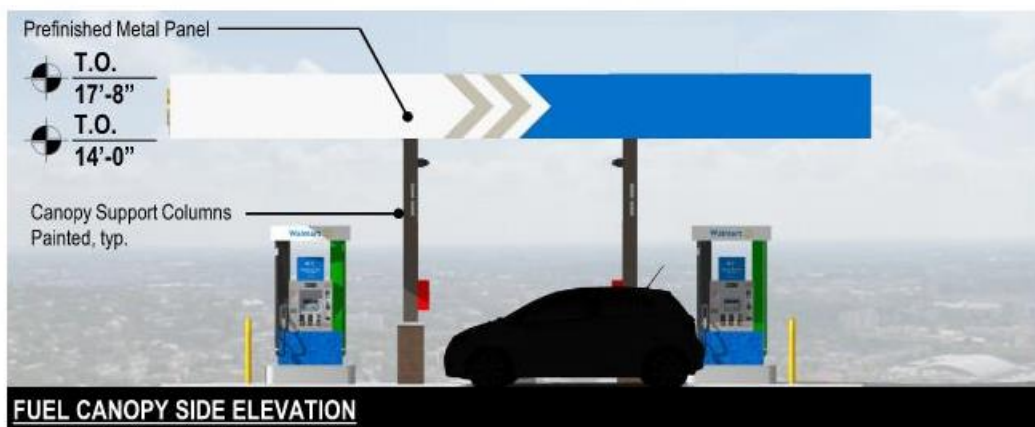
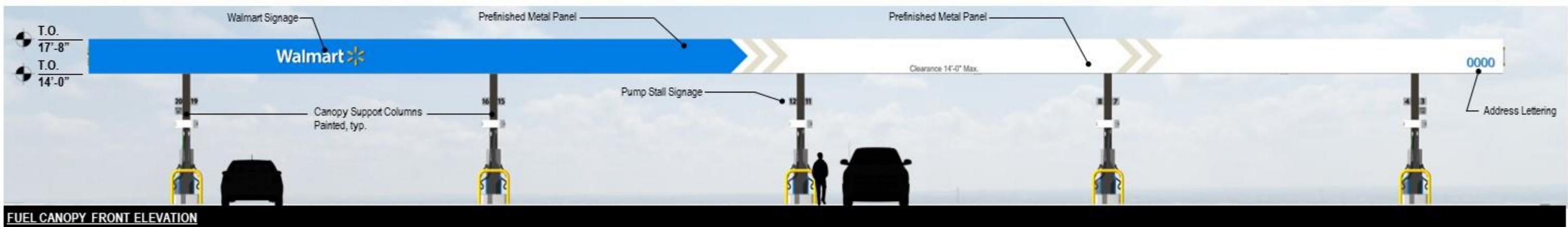
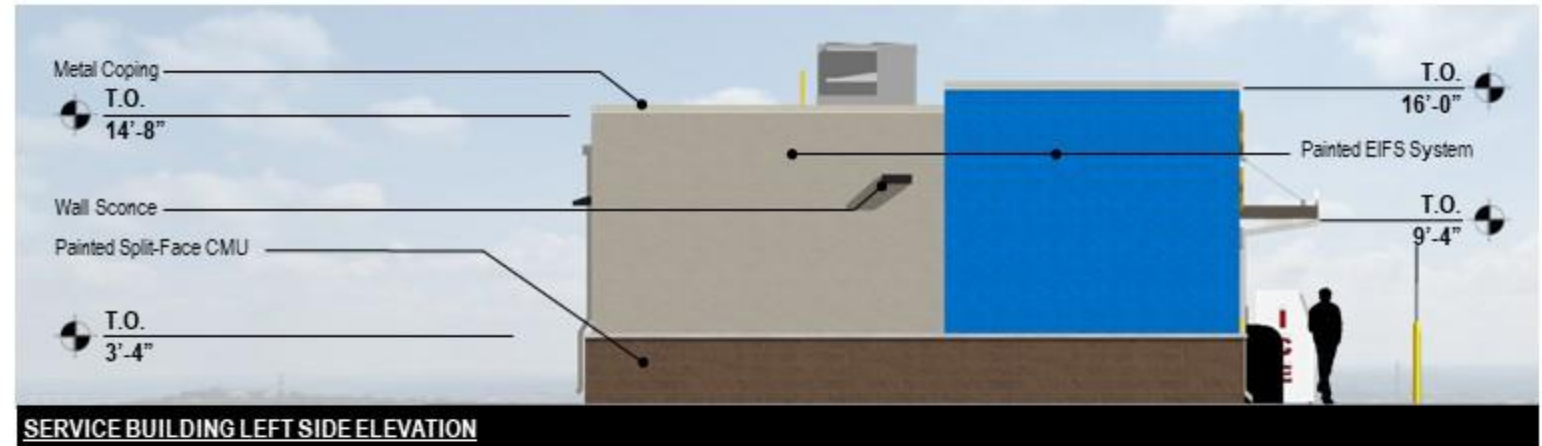
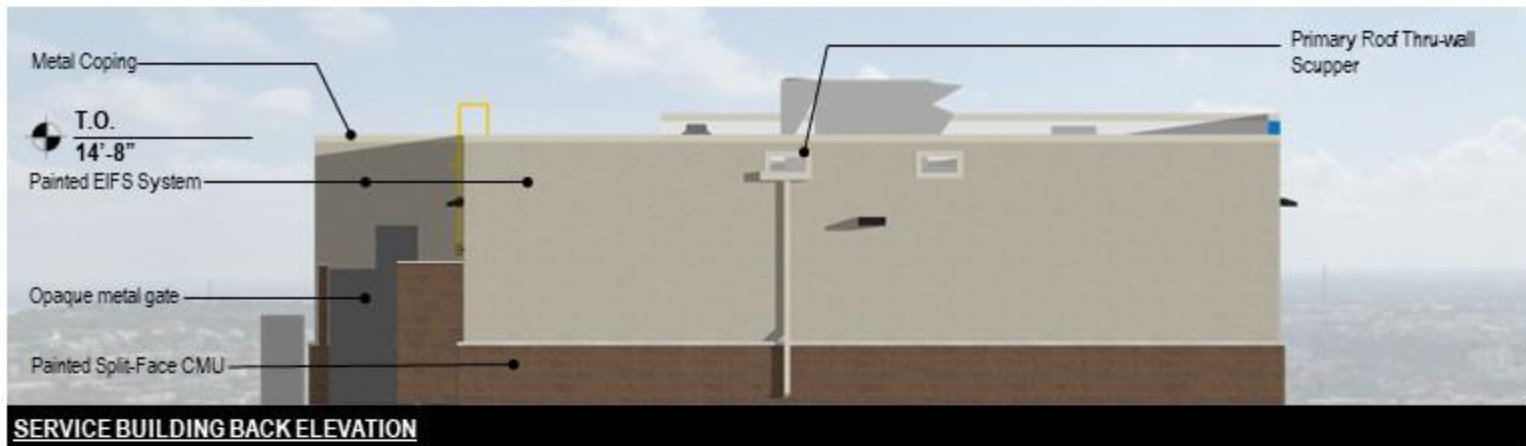
SITE DATA		
	EXISTING CONDITIONS	PROPOSED CONDITIONS
TOTAL BUILDING AREA/LOT COVERAGE	196,021 SF	197,461 SF
NUMBER OF STALLS REQUIRED	785	785
NUMBER OF STALLS PROVIDED	995	886
CITY REQUIRED PARKING RATIO	4.00 / 1000 SF	4.00 / 1000 SF
PROPOSED PARKING RATIO	-	4.50 / 1000 SF
IMPERVIOUS AREA	770,716 SF	770,716 SF
PERVIOUS AREA	300,256 SF	312,682 SF
ZONING	UC -- URBAN CORRIDOR	
LAND USE	RETAIL COMMERCIAL	

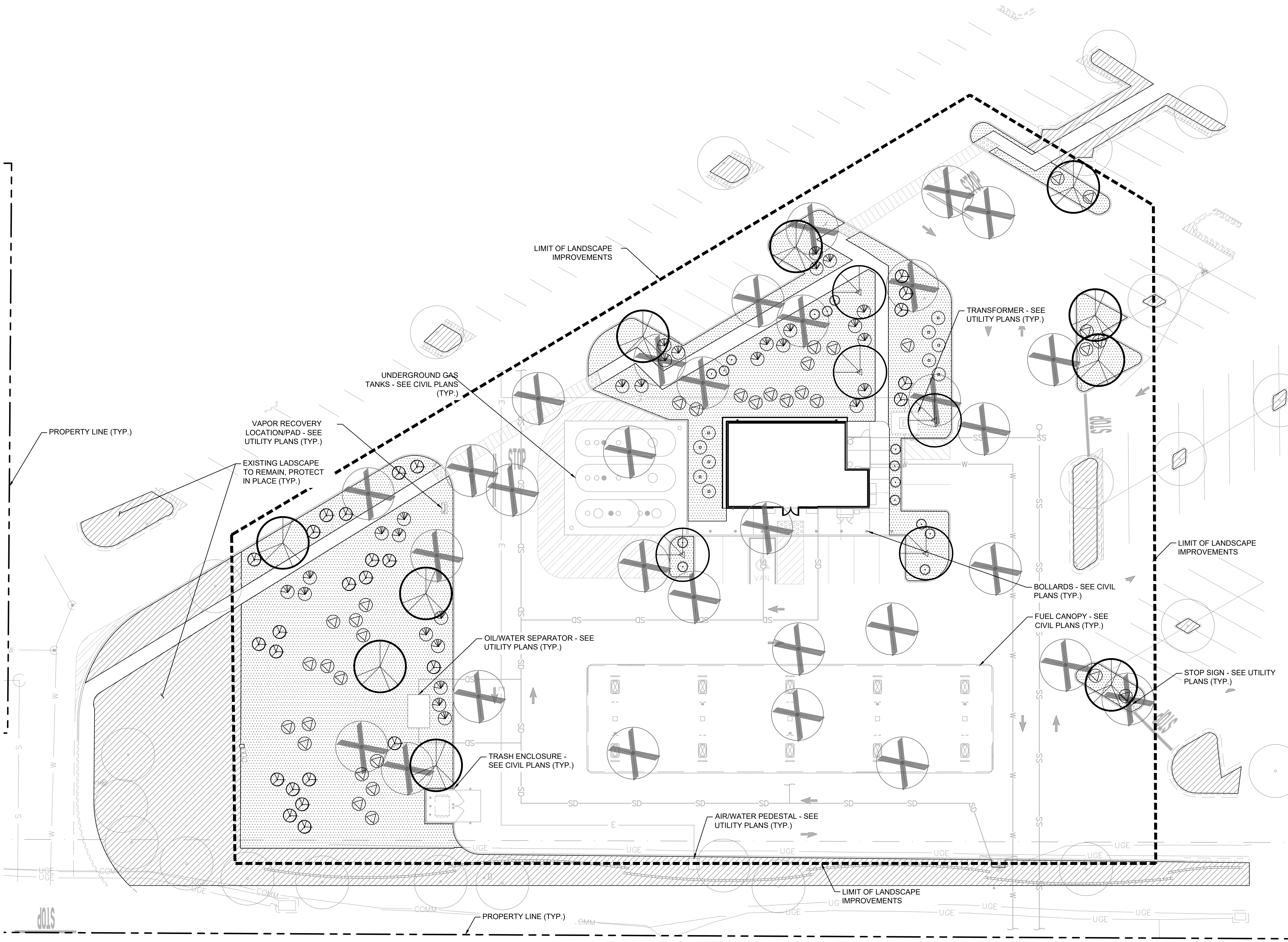
\*ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERE TO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BY THIS CHAPTER ARE FURNISHED.

NOTE: WALMART WILL TERMINATE THE AGREEMENT WITH THE CITY REGARDING EXISTING BUS PARKING SPACES LOCATED ON SITE.

**WALMART FUEL STATION - STORE #4336**  
**12950 W THUNDERBIRD RD, EL MIRAGE AZ 85335**  
**DESIGN CIVIL SITE PLAN**







**LANDSCAPE NOTES:**

THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF EL MIRAGE MUNICIPAL CODE.

**IRRIGATION NOTES:**

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF EL MIRAGE MUNICIPAL CODE.

**CONCEPT PLANT LEGEND:**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
<b>TREES</b>				
	5	CHILOPSIS LINEARIS / DESERT WILLOW	24" BOX	LOW
	31	EXISTING TREE TO BE REMOVED	-	-
	24	EXISTING TREE TO REMAIN / PROTECT IN PLACE	-	-
	10	PROSOPIS VELUTINA / VELVET MESQUITE	24" BOX	LOW
<b>SHRUBS</b>				
	10	CALLIANDRA CALIFORNICA / RED BAJA FAIRY DUSTER	5 GAL.	LOW
	34	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	LOW
	15	JUSTICIA CALIFORNICA / CHIPAROSA	5 GAL.	VERY LOW
	29	LEUCOPHYLLUM LANGMANIAE / LANGMAN'S SAGE	5 GAL.	LOW
	26	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL.	LOW
<b>GROUND COVERS</b>				
	11,457 SF	EXISTING LANDSCAPE TO REMAIN	-	-
<b>INERTS</b>				
	18,184 SF	2" DEPTH DECOMPOSED GRANITE TO MATCH EXISTING	-	-

CITY OF EL MIRAGE LANDSCAPE PROVIDED		
STANDARD	REQUIRED	PROVIDED
A MINIMUM OF ONE (1) TREE SHALL BE PROVIDED FOR EVERY FIVE (5) PARKING SPACES	14 PROPOSED PARKING SPACES = 2 PARKING LOT TREES	8 PARKING LOT TREES

THUNDERBIRD RD

**WALMART FUEL STATION - STORE #4336**  
**12950 W THUNDERBIRD RD, EL MIRAGE AZ 85335**  
**PRELIMINARY LANDSCAPE PLAN**

