

SITE PLAN AMENDMENT

PHX82 Project Narrative

El Mirage, Arizona

Application Request

This narrative is provided to satisfy the City of El Mirage Site Plan Application Submittal Guidelines for Technical Advisory Committee (TAC) Review. A Comprehensive Site Plan, Exterior Elevations, Preliminary Landscape Plans, a Drainage Report, Preliminary Sewer and Water Reports, and a Traffic Impact Study, are included with this submittal.

Property Location and Description

PHX82 will be located within a 150.5-acre site owned by the Microsoft Corporation at the southeast corner of West Olive Avenue and North Dysart Road in the City of El Mirage, Arizona. The site is currently zoned Employment/Industrial (EI) and is occupied by the first operational data center at the campus, PHX80. The second data center on campus, PHX81, is in the final stages of permitting. PHX82 will be located immediately south of the PHX81 data center in a similar orientation and footprint. PHX86, permitted by others, will be located in the southeast portion of the site.

Like PHX80 and PHX81, PHX82 is an approximately 245,000-square-foot single-story data center. The proposed data center building will be industrial in nature, consisting of slab-on-grade construction, with premium grade metal exterior walls, exterior electrical and mechanical equipment, and be connected to the existing onsite substation operated by Arizona Public Service (APS). The proposed building will be serviced by EPCOR for water and sewer service. A proposed 480,000-gallon holding tank and pump house will provide 2,000 gpm of water to the site for 4 hours in a fire flow event. Utility services will be accessed by extending the existing private utility mains within the site, which connect to the existing utility main lines in the public right-of-way, to service PHX82. No offsite construction is proposed for the PHX82 Project.

A total of 228 parking spaces are provided on campus, including 57 stalls dedicated to PHX80 (52 standard, 4 ADA, and 1 security); 53 stalls dedicated to PHX81 (47 standard, 4 ADA, and 2 security); 59 stalls dedicated to PHX86 (55 standard, 3 ADA, and 1 security), and 59 stalls dedicated to PHX82 (54 standard, 4 ADA, and 1 security). These stalls will accommodate at least 1 space per employee during major shifts, based on peak employee shift headcounts for data center operations.

A Traffic Impact Study is provided to detail traffic generated by site operations.

Historical Data

The project site was previously used for agriculture production beginning in the 1950s, prior to the construction of PHX80. Please see the Phase I Environmental Site Assessment provided for PHX80 for additional information on the history of the site.

Operational Aspects of Use

SITE PLAN AMENDMENT

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El Mirage, Arizona

Like PHX80 and PHX81, PHX82 will support the storage and operation of computer servers within a series of five data server halls (COLOs) and an administrative office area used by personnel. The electrical and mechanical equipment surrounding the building are necessary to control the optimum environment for the data server equipment within the facility. The facility will be secured 24 hours per day, 365 days per year with a staffed security gate at the primary site access.

Proposed Building/Structure Heights

PHX82 will consist of five approximately 46,170 square-foot COLOs and approximately a 13,826 square-foot administration area. The building will consist of approximately 241,866 square feet of business occupancy space and an additional 2,810 square feet of storage occupancy space located at the east end of the building. The single-story building will be approximately 27 feet in height, with a finished floor elevation of 1,091 feet.

Proposed Phasing

The project will be constructed in two phases. The first phase will consist of civil grading, excavation, and existing onsite utility extensions to the PHX82 building site, including water, sewer, clear water discharge, telecommunication, electrical, and drainage infrastructure construction. The second phase of construction will consist of the PHX82 building package, including foundations and vertical construction for full build-out of the Admin area and five COLOs, with requests for phased construction of each COLO in succession with independent Certificates of Occupancy driven by customer demand.

Additional Information

PHX82 will be equipped with twenty-one, diesel-fueled emergency generators, which are permitted by the Maricopa County Air Quality Department (MCAQD) and will be operated in accordance with applicable, MCAQD, State of Arizona, and federal requirements. The generators are designed for emergency backup power only. Each COLO generator will include an approximately 10,000-gallon capacity diesel storage tank and the administration area generator will include an approximately 3,000-gallon capacity diesel storage tank.

Generator sound levels may exceed the City of El Mirage guideline of 55 decibels (dB) during operation. To maintain compliance with City code, all generator testing will be conducted outside the restricted code hours, between the hours of 6 am and 10 pm. Generator operations will be limited to periodic, short-duration testing, conducted during the daytime shift, with only a single generator tested per month, or in the event of infrequent utility outages. Evaluation of utility service in the area indicates historically reliable service. Additionally, the closest residential neighborhood is approximately one mile from the Project site. Given this distance and the limited duration and time of day that the generators will be in operation, noise from the emergency backup generators is not expected to be characterized in

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a manner that would “disturb the peace or quiet of a neighborhood, family or person,” consistent with City of El Mirage Zoning Ordinance § 154.107. Based on the analysis of potential sound levels during normal operations of the first campus building, operations at the facility will comply with the City of El Mirage guideline of 55 decibels (dB).

Additional Permits and Approvals

Additional permits and approvals that are anticipated for the proposed project include the following:

Permit/Approval	Status
City of El Mirage Engineering, Building, and Fire Permits	Plans and associated documents are planned for submission to the City beginning in June 2024
Arizona Pollutant Discharge Elimination System (AZPDES) – Construction Stormwater Permitting (Section 402 of the Clean Water Act)	Notice of Intent for coverage under the Arizona Construction General Permit (CGP) will be submitted in June 2024
MCAQD Dust Control Permit (DCP)	The DCP permit application will be submitted at least 14 days prior to construction
MCAQD Non-Title V Permit	Permit P0009547 has been approved for PHX82 emergency backup generators
Maricopa County Environmental Services Department (MCESD) Approval to Construct (for applicable water and sewer lines)	Plans will be submitted to EPCOR and MCESD for PHX82 water and sewer utility onsite pipeline extensions after adjudication of the first round of City comments.
MCESD Approval of Construction	To be obtained at the completion of onsite water and sewer pipeline extension construction and testing.



March 28, 2024

Jose A. Macias
El Mirage Senior Planner
Development Services - Planning & Zoning
P: 623.876.2996 | E: jmacias@elmirageaz.gov

Re: Site Plan Application SPA24-02-01 PHX 82 Undergrounding Exemption Request

Dear Mr. Macias,

The Microsoft Corporation (Microsoft) respectfully requests relief from Zoning Code §152.030, which requires the undergrounding of all existing overhead utility lines, including but not limited to telephone, cable television, and electric power, *except electrical lines exceeding 13 kV capacity*, either within a proposed development or redevelopment project or within public rights-of-way or easements adjacent to the project, prior to issuance of a certificate of occupancy.

Microsoft requests relief from the undergrounding requirement based upon Zoning Code Chapter §152.030 (E), which provides relief from the undergrounding requirements, at the discretion of City Council under the following conditions:

(3) Exemption may be considered when high-voltage powerlines, above 13 kV or similar, would remain on the poles after the undergrounding of the lower voltage lines.

The PHX80 campus is currently fed by an existing overhead 69 kV Arizona Power Service (APS) transmission line along Olive Avenue, which enters the PHX80 APS Substation near the northeast corner of the PHX80 campus. The existing overhead 69 kV transmission line falls within the greater than 13 kV exemption to the Zoning Code §152.030 undergrounding requirement.

Accordingly, Microsoft requests that the exemption be granted for the PHX80 campus within the purpose, intent, and objective of the code. Public safety measures will be implemented by APS and Microsoft during the continued use of the existing lines.

Sincerely,
Avery Africa
Land Development – Sr Program Manager
P: 360.643.0623 | E: averyafrica@microsoft.com

MICROSOFT CORPORATION PHX82 DATA CENTER 12901 W. OLIVE AVENUE El Mirage, AZ 85335

PROJECT NO: D3127046
PACKAGE: SPA - Site Plan Amendment
ISSUE FOR: Permit
PACKAGE DATE: February 16th, 2024

**PHX82
DATA CENTER**
12901 W. OLIVE AVENUE
EL MIRAGE, AZ 85335

Project Team

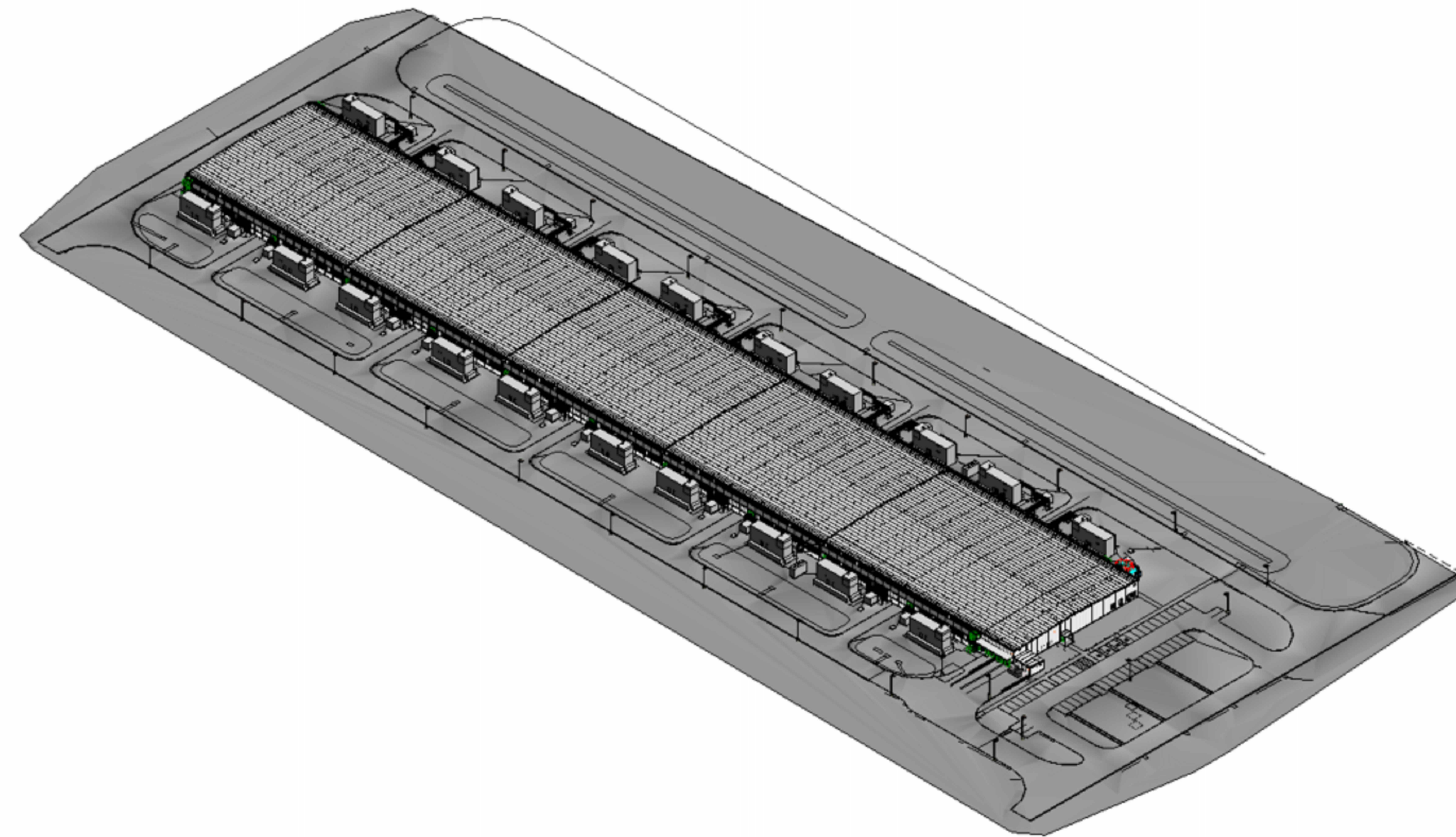
Architecture / Engineering / Security
Jacobs
2020 SW Fourth Avenue
3rd Floor
Portland, OR 97201
(503) 224-6040



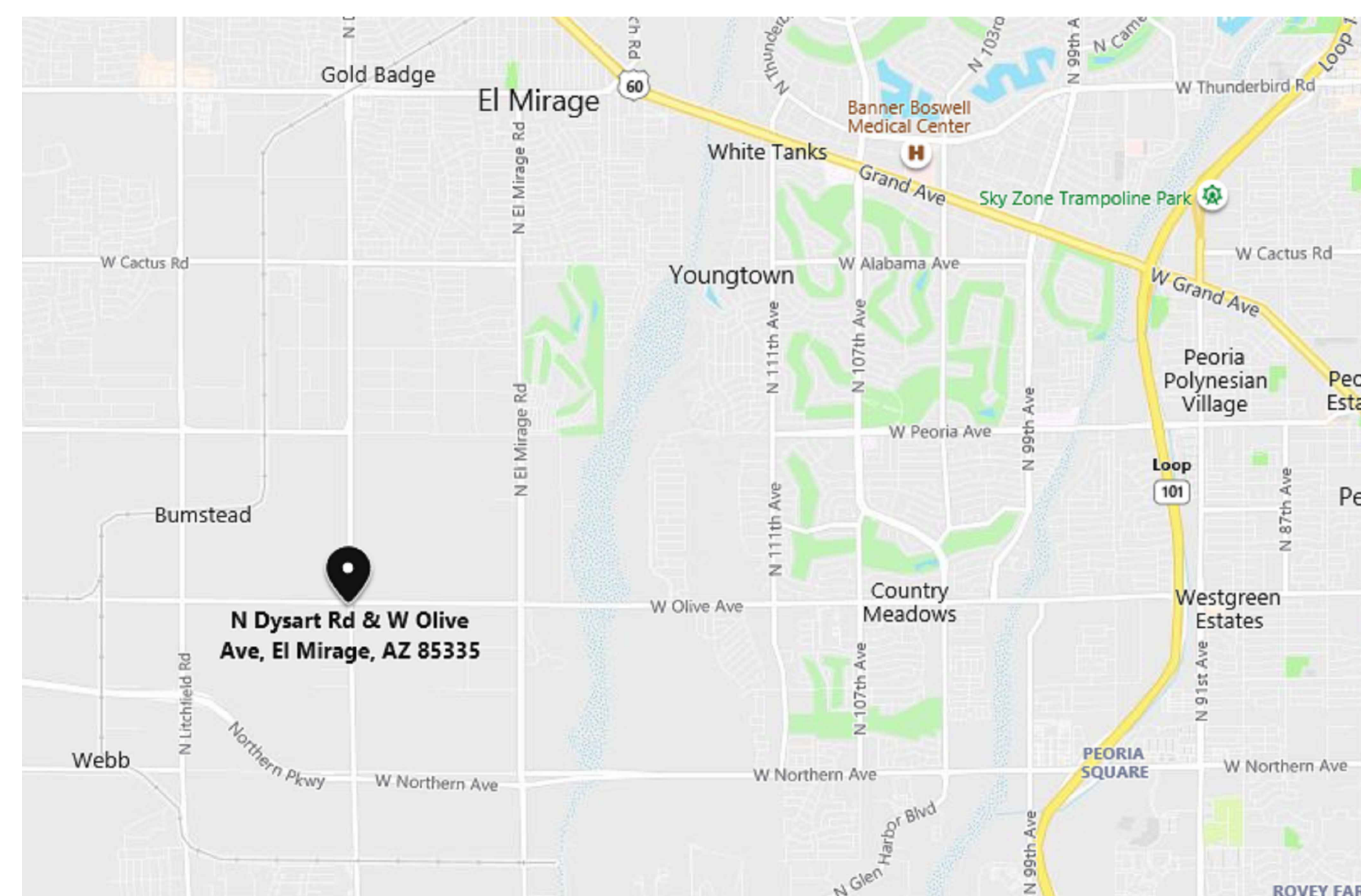
Civil
Navix Engineering
11235 SE 6th Street
Suite 150
Bellevue, WA 98004
(425) 453-9501



Landscape
GREEY | PICKETT
7144 E. Stetson Drive
Suite 205
Scottsdale, AZ 85250
(480) 609-0009



DRAWING	DRAWING TITLE	REV.	DATE
General			
PHX82-G-G-SPA	GENERAL COVER & INDEX SHEET	2	02/16/2024
Civil			
C-C-000	CONTEXT PLAN EXHIBIT	2	02/16/2024
C-C-001	SITE PLAN EXHIBIT 1	2	02/16/2024
C-C-002	SITE PLAN EXHIBIT 2	0	07/27/2023
Landscape			
L-A-00-0	LANDSCAPING COVER	1	07/27/2023
L-B-01-0	PLANTING PLAN	1	07/27/2023
L-C-02-0	PLANTING DETAILS	0	05/02/2023
Architectural			
PHX82-CBEA	OVERALL - FLOOR PLAN	0	05/02/2023
PHX82-CBEB	OVERALL - ELEVATIONS	0	05/02/2023
PHX82-CBEB-1	COLO 1 - BW	0	05/02/2023
PHX82-CBEB-2	COLO 2 - BW	0	05/02/2023
PHX82-CBEB-3	COLO 3 - BW	0	05/02/2023
PHX82-CBEB-4	COLO 4 - BW	0	05/02/2023
PHX82-CBEB-5	COLO 5 - BW	0	05/02/2023
PHX82-CBEB-A	ADMIN - BW	0	05/02/2023
PHX82-CBEC	OVERALL - ELEVATIONS	0	05/02/2023
PHX82-CBEC-1	COLO 1 - COLOR	0	05/02/2023
PHX82-CBEC-2	COLO 2 - COLOR	0	05/02/2023
PHX82-CBEC-3	COLO 3 - COLOR	0	05/02/2023
PHX82-CBEC-4	COLO 4 - COLOR	0	05/02/2023
PHX82-CBEC-5	COLO 5 - COLOR	0	05/02/2023
PHX82-CBEC-A	ADMIN - COLOR	0	05/02/2023



VICINITY MAP



SITE MAP

Design Team	
Design	C. WIGGINT
Drawn	B. GILES
Checked	D3127046
Jacobs Project No.	
M.S. Project No.	P-20000

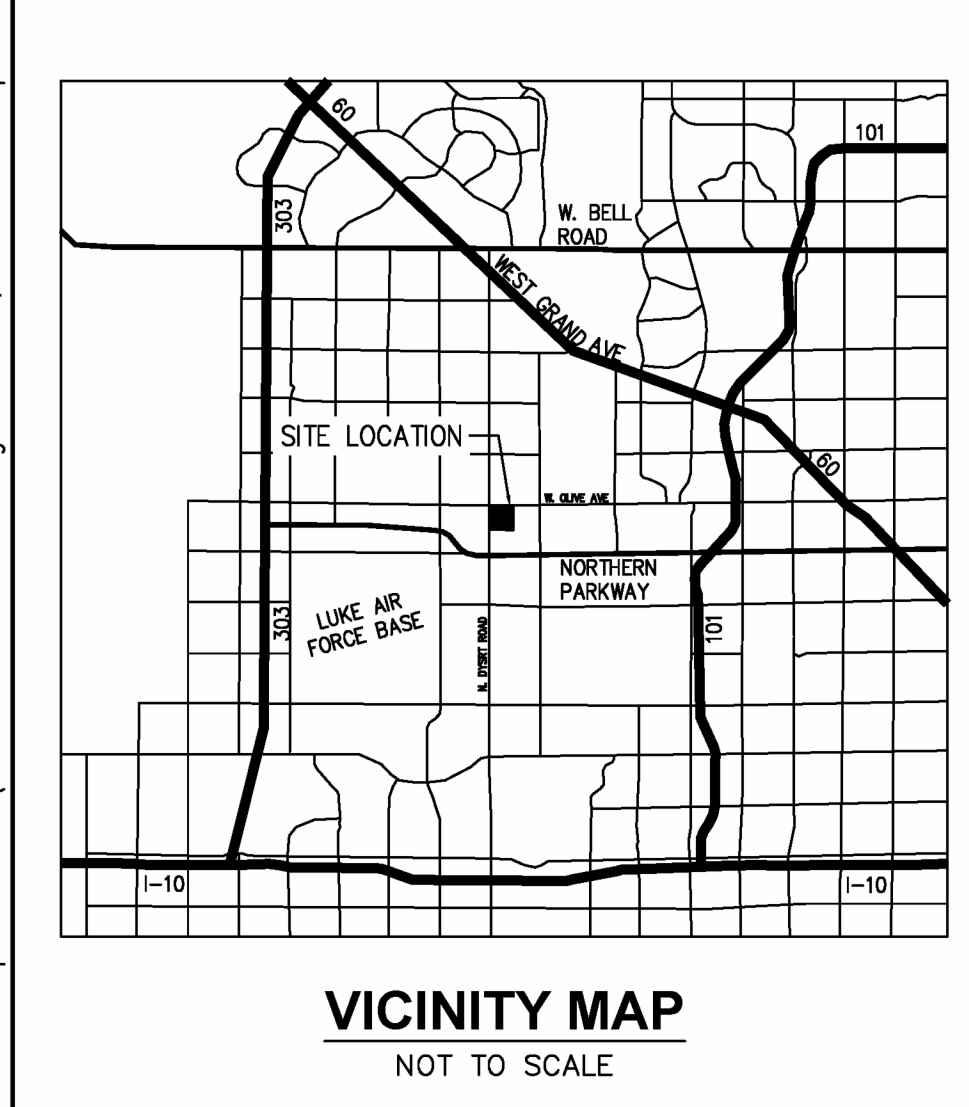
Approvals	
CUSTOMER	Adem McKnight
OPERATIONS	Samantha Biscotti
Microsoft Mechanical Engineer	Carla Stearns
Microsoft Cable Engineer	Salvino On
Microsoft Electrical Engineer	Adem McKnight
Engineering Manager	Vince Aragon
Security Manager	Hope Martin & Gen-Am Quindlen
CSA	
PROJECT MANAGEMENT	
Project Planner	Blake Giles
Project Manager	Corey Murtman
Senior Project Manager	
Development Manager	
Quality Control Reviewer	
Quality Control FF&E	

Revisions		
No.	Date	Description
0	05/02/2023	SPA - ISSUED FOR PERMIT
1	07/27/2023	SPA - ISSUED FOR PERMIT
2	02/16/2024	SPA - ISSUED FOR PERMIT

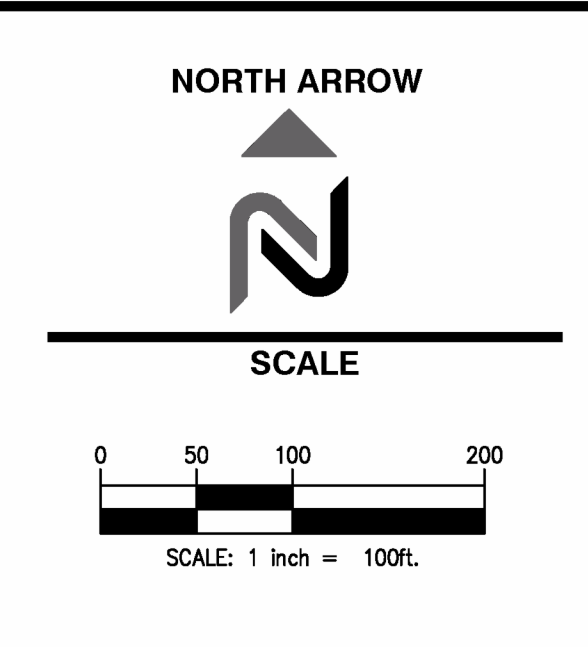
Key Plan	
CONFIDENTIAL - DO NOT DISCLOSE. This document is exempt from public disclosure under the Public Disclosure Act and Uniform Trade Secrets Act.	

GENERAL COVER & INDEX SHEET

PHX82-G-G-SPA



REV	ISSUED FOR:	DATE
0	SITE DEVELOPMENT PLAN	08/02/2023
1	SITE DEVELOPMENT PLAN	07/27/2023
2	SITE DEVELOPMENT PLAN	02/16/2024



PROJECT NAME
PHX82

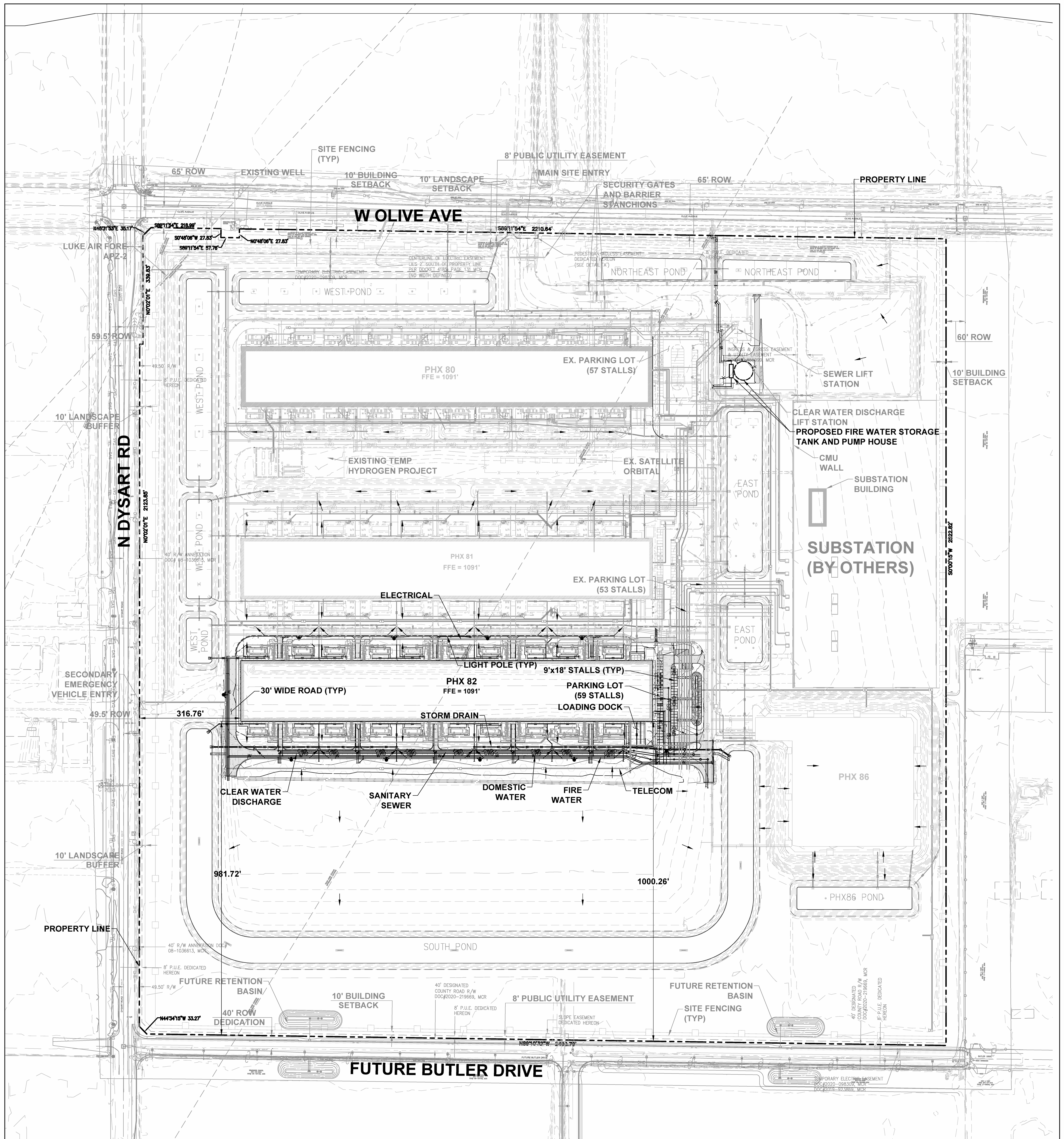
CLIENT/OWNER
MICROSOFT CORPORATION
PROJECT ADDRESS
EL MIRAGE, AZ
LAT/LONG
33°33'55.5"N 112°20'28.5"W

STAMP
CONFIDENTIAL

DATE
02/16/2024

SHEET NAME
CONTEXT PLAN EXHIBIT
SHEET NUMBER
C-C-001

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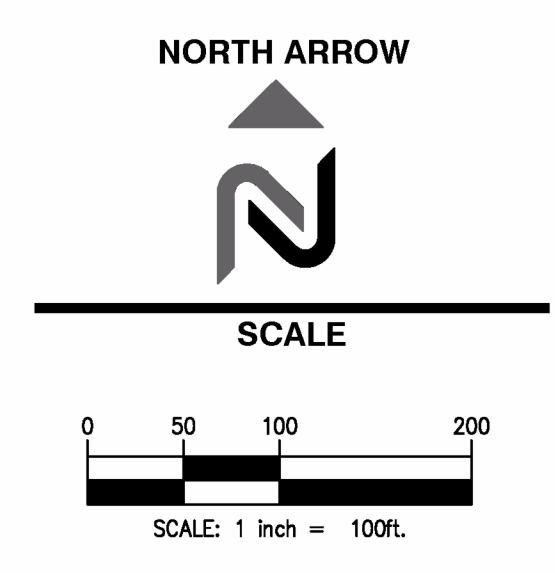


SITE PLAN NOTE:
 ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BY THIS CHAPTER ARE FURNISHED.

SITE DATA TABLE	
PROPERTY AREA	150.52 ACRES
EXISTING BUILDING AREA	524,930 SQ-FT
PROPOSED BUILDING AREA	244,892 SQ-FT
TOTAL BUILDING AREA	769,822 SQ-FT
EXISTING SITE IMPERVIOUS COVERAGE	2,377,416 SQ-FT (53.20 ACRES)
PROPOSED SITE IMPERVIOUS COVERAGE	444,441 SQ-FT (10.20 ACRES)
TOTAL SITE IMPERVIOUS COVERAGE	2,761,857 SQ-FT (63.40 ACRES)
EXISTING ZONING	EMPLOYMENT / INDUSTRY
EXISTING USE	WAREHOUSE / DATA CENTER
PROPOSED USE	WAREHOUSE / DATA CENTER
FEMA FLOOD ZONE	X
EXISTING PARKING	169 STALLS
PROPOSED PARKING	59 STALLS
TOTAL PARKING	228 STALLS
PROVIDED LOT COVERAGE PERCENTAGE	35.30%

SITE POND TABLE		
POND	REQUIRED VOLUME (CUBIC FEET)	PROVIDED VOLUME (CUBIC FEET)
WEST POND	290,735 CF	520,947 CF
EAST POND	298,355 CF	260,010 CF
NORTHEAST POND	71,503 CF	100,800 CF
SOUTH POND	234,919 CF	783,100 CF
PHX86 POND	87,759 CF	72,000 CF

REVISIONS		
REV	ISSUED FOR:	DATE
0	SITE DEVELOPMENT PLAN	08/01/2023
1	SITE DEVELOPMENT PLAN	07/27/2023
2	SITE DEVELOPMENT PLAN	02/16/2024



PROJECT NAME
PHX82

CLIENT/OWNER
MICROSOFT CORPORATION
 PROJECT ADDRESS
 EL MIRAGE, AZ
 LAT/LONG
 33°33'55.5"N 112°20'28.5"W



STAMP
CONFIDENTIAL

02/16/2024

SHEET NAME
SITE PLAN EXHIBIT
 SHEET NUMBER
C-C-001

WEST POND

PHX 80
FFE = 1091'

EX. PARKING LOT
(57 STALLS)

EXISTING TEMP
HYDROGEN PROJECT

EX. SATELLITE
ORBITAL

PHX 81
FFE = 1091'

EX. PARKING LOT
(53 STALLS)

ELECTRICAL

LIGHT POLE (TYP)

9'x18' STALLS (TYP)

30' WIDE ROAD (TYP)

PHX 82
FFE = 1091'

PARKING LOT
(59 STALLS)

LOADING DOCK

STORM DRAIN

CLEAR WATER
DISCHARGE

SANITARY
SEWER

DOMESTIC
WATER

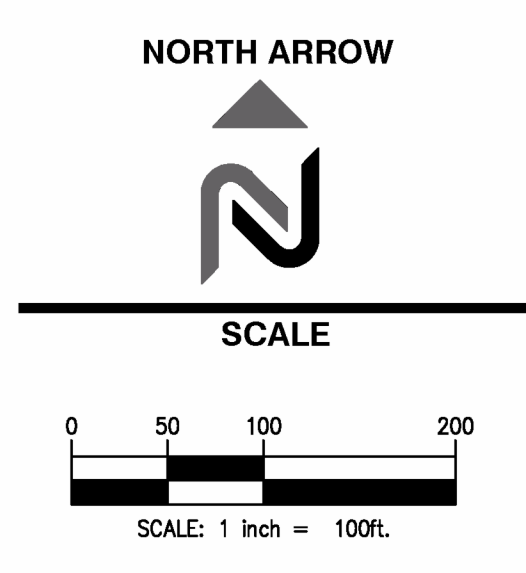
FIRE
WATER

TELECOM

SOUTH POND

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REV	ISSUED FOR:	DATE
0	SITE DEVELOPMENT PLAN	06/02/2023
1	SITE DEVELOPMENT PLAN	07/27/2023



PROJECT NAME
PHX82

CLIENT/OWNER
MICROSOFT CORPORATION

PROJECT ADDRESS
EL MIRAGE, AZ

LAT/LONG
33°33'55.5"N 112°20'28.5"W



STAMP
CONFIDENTIAL

07/27/2023

SHEET NAME
SITE PLAN EXHIBIT

SHEET NUMBER
C-C-002

PHX82 DATA CENTER

EL MIRAGE, AZ CONCEPTUAL LANDSCAPE PLAN

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE DESIGN INTENT.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY: NAVIX ENGINEERING. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDENT ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
 - BLUE STAKE (ARIZONA) 1-800-782-5348
 - UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATION, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND OR FEDERAL LAW OR REGULATION PERTAINING TO THE PROJECT.
- CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER ADJACENT, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED. AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS THE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT. SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE OF LIGHTS, CACTUS, SHRUBS & FIRE HYDRANTS. 7'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 5'-0" FROM CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALLS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUIDES AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL TO MEET CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACK FILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 5'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED "SALVAGE" SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GRADED CROWN CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50" BY 50" BY 50" TYPICAL MUCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INERT GENERAL NOTES:

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE FOR PLANTING LEGEND FOR CURB AND SIDE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

DECOMPOSED GRANITE

- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP. AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

GRADING IRRIGATION NOTES:

- SEE PLANTING SHEETS

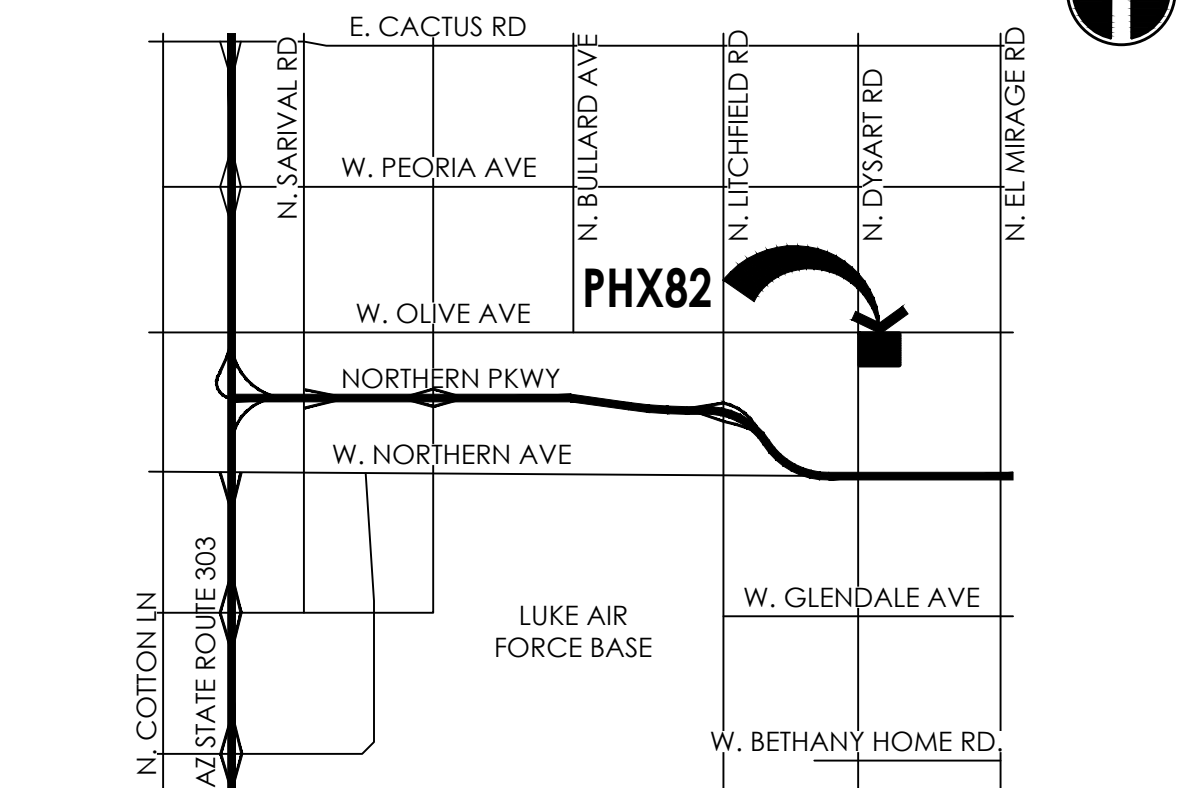
IRRIGATION GENERAL NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, IDENTIFYING POINT OF CONNECTION, METER LOCATION AND SIZE, BACK FLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS. INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINT OF CONNECTIONS. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE EFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20" OF COVER.
- ALL ELECTRICAL CONNECTIONS SHALL BE AT THE REMOTE CONTROL VALVE BOXES.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TIGHTENER FOR METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES. CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
- INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA OUTSIDE OF ROW AND PUE, ADJACENT TO SIDEWALK OR CURB AND OPEN TO WHATEVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED
 - TWO KEYS FOR EACH OF THE CONTROLLERS.
 - TWO COUPLERS WITH MATCHING HOSE BIBBS AND SHUT-OFF VALVE.
 - TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC; SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNTIED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2) INCHES OF FEA GRAVEL. AFTER INITIAL TESTING, ALL BACK FLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACK FLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACK FLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DURABLE MARKING.

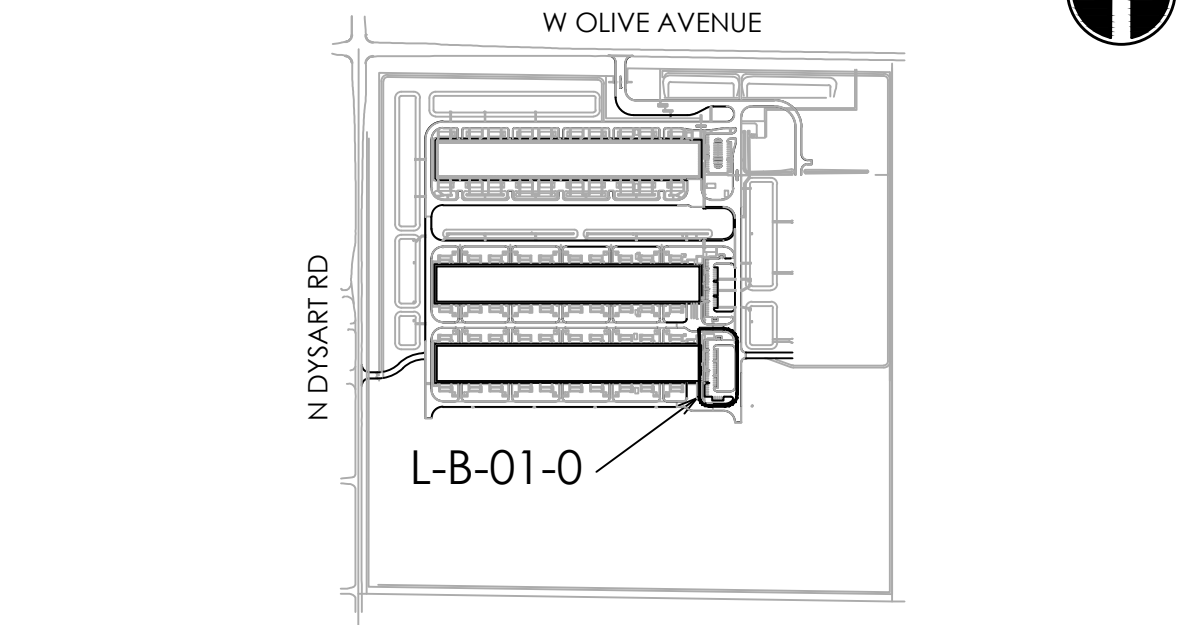
GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - FINISH GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - TURF AND ANNUAL AREAS (6" DEPTH).
 - PLANT BACK FILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CAULCHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULGING GROUND PLANE.
- NOT FOR CONSTRUCTION. FOR REFERENCE ONLY, ON LANDSCAPE DRAWINGS.

VICINITY MAP:



SITE MAP:



HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY NAVIX ENGINEERING FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROL.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY NAVIX ENGINEERING; SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 2500 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOELED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.
- CONTRACTOR SHALL CONSTRUCT A SAMPLE WALL W/ ALL MATERIALS COLORS AND FINISHES AS NOTED IN THE WALL DETAILS. SAMPLE WALL SHALL BE REVIEW AND APPROVED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT PRIOR TO PROJECT WIDE INSTALLATION.
- ALL DIMENSIONS ARE DRAWN TO CENTER LINE OF WALL, CONCRETE HEDDER, SIDEWALK, ETC, UNLESS NOTED OTHERWISE. DIMENSIONS TAKEN FROM CIVIL CURBS ARE TAKEN FROM THE BACK OF CURB.

CITY OF EL MIRAGE GENERAL INFORMATION:

- NO PERSON, CORPORATION, CONTRACTOR, OR UTILITY SHALL WORK WITHIN THE RIGHT-OF-WAY, ROAD, STREET, OR EASEMENTS GRANTED FOR PUBLIC USE OR ALLEYS WITHOUT SECURING AN ENGINEERING CONSTRUCTION PERMIT FROM THE ENGINEERING DIVISION.
- FLOOD CONTROL STRUCTURES, HAULING MATERIAL IN EXCESS OF 500 CUBIC YARDS, OILING, GRAVELING OR ANY SURFACING OF ANY STREET OR ALLEY, WATER SYSTEM, SANITARY SEWER SYSTEM, STORM DRAIN SYSTEM, TRENCHING, GAS OR ANY OTHER TYPES OF PIPE LINES, DRYWELLS, PAVING, CURB, GUTTER, SIDEWALKS, DRIVEWAYS, FLOOD IRRIGATION, LANDSCAPE/IRRIGATION, TRAFFIC SIGNALS, STRIPING AND SIGNAGE, BANK STABILIZATION AND CHANNELIZATION, STREET LIGHTS, WELL ABANDONMENT, UTILITY LINES SUCH AS ELECTRIC, TELEPHONES, TELEVISION, COMMUNICATIONS AND OTHER SIMILAR FACILITIES.
- CONSTRUCTION WORK HOURS WITHIN THE CITY OF EL MIRAGE SHALL COMPLY WITH THE FOLLOWING:
 - FRIDAY, NIGHTTIME AND WEEKEND WORK REQUIRES PERMISSION IN WRITING FROM THE CITY ENGINEER OR THEIR DESIGNEE.

CONSTRUCTION TYPE	MAY 1 - SEPTEMBER 30	OCTOBER 1 - APRIL 30
A ALL CONSTRUCTION WORK- MONDAY THROUGH SATURDAY	6:00 A.M. TO 7:00 P.M.	7:00 A.M. TO 7:00 P.M.
B ALL CONSTRUCTION WORK- SUNDAY	8:00 A.M. TO 7:00 P.M.	8:00 A.M. TO 7:00 P.M.

- NO INTERFERENCE WITH TRAFFIC FLOW ON PUBLIC STREETS OR ALLEYS SHALL BE PERMITTED DURING THE HOURS OF 6:00 A.M. TO 8:30 A.M. OR FROM 4:00 P.M. TO 7:00 P.M. UNLESS PRIOR AUTHORIZATION IS OBTAINED IN WRITING BY THE CITY OF EL MIRAGE CITY ENGINEER OR THEIR DESIGNEE.
- PRIOR TO ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS, THE CONTRACTOR/DEVELOPER MUST PROVIDE THE CITY OF EL MIRAGE WITH THE SPECIFIC INFORMATION NOTED IN SECTION 1 OF THE CITY'S DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM) AND PAYMENT OF FEES PER THE CITY'S LATEST FEE SCHEDULE, ANY PERSON, CORPORATION, CONTRACTOR, OR UTILITY COMPANY WORKING IN THE RIGHT-OF-WAY, ROAD, STREET, OR EASEMENTS GRANTED FOR PUBLIC USE OR ALLEYS WITHOUT SECURING A PERMIT IS SUBJECT TO A FINE IN ACCORDANCE WITH THE CITY CODE.
- TRAFFIC CONTROL SHALL CONFORM TO THE LATEST EDITIONS OF THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL, MUTCD, AND THE CITY OF EL MIRAGE DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM). BARRICADES MUST BE CONTINUALLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF ANY PART OF THE TRAFFIC CONTROL PLAN FALLS WITHIN 300' OF A SIGNALIZED INTERSECTION, AN OFF-DUTY OFFICER WILL BE REQUIRED FOR TRAFFIC CONTROL. A TRAFFIC CONTROL PLAN (TCP) SHALL BE SUBMITTED TO THE ENGINEERING DIVISION A MINIMUM OF FIVE (5) BUSINESS DAYS (48-HOURS) PRIOR TO CONSTRUCTION UNLESS A FULL CLOSURE IS REQUESTED IN WHICH 2 WEEKS NOTICE IS REQUIRED. AN ACCEPTED TCP WILL BE STAMPED AND A COPY RETURNED TO THE CONTRACTOR AND/OR TRAFFIC CONTROL COMPANY. A COPY OF THE ACCEPTED PLAN MUST REMAIN ON THE JOB SITE AT ALL TIMES.
- THE PLANS SHALL COMPLY WITH THE AMERICANS WITH DISABILITY ACT'S ACCESSIBILITY GUIDELINES, AS PUBLISHED IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010.
- REFER TO SECTION N AND CHAPTERS 7-3 AND 7-4 OF THE DDSM FOR A LIST OF THE REQUIRED CLOSE OUT ITEMS. ANY QUESTIONS SHOULD BE DIRECTED TO THE ENGINEERING INSPECTOR.

CITY OF EL MIRAGE GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION. THE LATEST EDITION OF THE CITY OF EL MIRAGE DESIGN AND DEVELOPMENT STANDARDS MANUAL (DDSM), GENERAL NOTES AND STANDARD DETAILS WILL CONTINUE TO APPLY WHERE SUCH DETAILS WERE NOT ADOPTED OR INCLUDED BY MAG. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE ENGINEERING DIVISION. IF ACCEPTED, ALTERNATE DETAILS WILL BE SHOWN AS PART OF THE APPROVED PLANS/DETAIL SHEETS.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE AND APPROVAL BY THE CITY ENGINEER IS FOR GENERAL LAYOUT IN RIGHT-OF-WAY ONLY. THIS APPROVAL OF CONSTRUCTION PLANS IS VALID FOR A PERIOD OF NINE (9) MONTHS. ENGINEERING CONSTRUCTION PERMITS SHALL BE OBTAINED WITHIN THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR APPROVAL. WORK SHALL ALSO BE CONTINUOUSLY PURSUED IN ORDER TO MAINTAIN A VALID PLAN APPROVAL AND PERMIT. APPROVAL IS ONLY FOR WORK WITHIN THE JURISDICTION OF THE CITY OF EL MIRAGE.
- THE CITY ENGINEER DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- ENGINEERING CONSTRUCTION PERMITS FOR ANY WORK WITHIN THE RIGHT-OF-WAY AND EASEMENTS, AND ANY GRADING AND DRAINAGE, WHETHER ON-SITE OR OFF-SITE, ARE REQUIRED PRIOR TO COMMENCING WORK. THE BUILDING PERMIT SHALL NOT BE CONSTRUED IN ANY WAY AS PERMISSION TO COMMENCE WORK COVERED BY AN ENGINEERING CONSTRUCTION PERMIT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO UNDERSTAND THE WORK COVERED BY VARIOUS PERMITS.
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION WORK BY TELEPHONE AT 623-876-2975. ANY WORK CONCEALED WITHOUT INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE.
- AN APPROVED SET OF PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR'S/DEVELOPER'S REPRESENTATIVE (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) SHALL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR PROVIDING EMERGENCY TELEPHONE NUMBERS TO THE CITY OF EL MIRAGE AT THE TIME OF ISSUANCE OF ENGINEERING CONSTRUCTION PERMITS AND AVAILABLE 24-HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND MAKE EMERGENCY REPAIRS ON BEHALF OF THE CONTRACTOR/DEVELOPER, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- ALL UNDERGROUND TANKS REQUIRE A PERMIT FROM THE FIRE DEPARTMENT PRIOR TO REMOVAL.
- THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE ENGINEERING DIVISION. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL LABORATORY TESTS SHALL BE DETERMINED BY THE ENGINEERING DIVISION. ALL TEST RESULTS SHALL BE REPORTED DIRECTLY (IN WRITING) TO THE ENGINEERING DIVISION. FOR EACH PHASE OF CONSTRUCTION, TEST RESULTS (IN WRITING) MUST BE RECEIVED FROM THE TESTING LABORATORY, PRIOR TO THE START OF THE NEXT PHASE OF CONSTRUCTION. ROCK CORRECTIONS ARE REQUIRED FOR EACH IN-PLACE DENSITY TEST. NUCLEAR/SAND CONE CORRELATIONS ARE REQUIRED WITH ONE (1) SAND CONE TEST FOR EVERY TEN (10) NUCLEAR DENSITY TESTS TAKEN ON-SITE. SEE CITY OF EL MIRAGE TESTING GUIDELINES FOR MORE INFORMATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO SCHEDULE WATER AND SEWER TESTING WITH THE CITY INSPECTOR PER THE CITY'S DESIGN & DEVELOPMENT STANDARDS MANUAL (DDSM). NO TESTING SHALL BE ACCEPTED BY THE INSPECTOR UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- THE EXCAVATING CONTRACTOR MUST GIVE A LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM THE OWNER GRANTING PERMISSION TO BEGIN CONSTRUCTION.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT, AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE ENGINEERING DIVISION DOES NOT ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING WHICH HAS BEEN DISTURBED IN ANY WAY, NOR DOES THE DESIGN ENGINEER ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING THAT HAS BEEN IN PLACE FOR A PERIOD OF TWENTY-FOUR (24) HOURS OR MORE WITHOUT THE COMMENCEMENT OF THE CONSTRUCTION FOR WHICH IT WAS SET.
- THE CONTRACTOR SHALL CONTACT THE BUILDING SAFETY DIVISION AT (623) 251-3503 TO START THE PROCESS FOR OBTAINING A FIRE HYDRANT METER, ONCE APPROVED, THE CONTRACTOR WILL CONTACT THE CUSTOMER SERVICE DEPARTMENT AT (623) 933-1228 TO SCHEDULE THE INSTALLATION OR RELOCATION OF THE HYDRANT METER. CONTRACTORS SHALL NOT RELOCATE HYDRANT METERS THEMSELVES. THE CONTRACTOR MUST PROVIDE THEIR OWN SUPPORT, BACKFLOW PREVENTER AND CERTIFIED TESTER WITH A CITY WITNESS. A COPY OF THE CERTIFICATION MUST BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS. GRAVEL TRACK-OUT PADS SHALL MEET CURRENT MARICOPA COUNTY STANDARDS. THE CONTRACTOR/DEVELOPER SHALL IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALS, INTERCEPTION DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- ANY AND ALL OBSTRUCTIONS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS SHALL BE REMOVED BEFORE ANY CONSTRUCTION IS COMMENCED.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION (NOT), AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN ANY NECESSARY 401 AND 404 PERMITS. A COPY OF THE PERMIT SHALL BE SUBMITTED TO THE CITY PRIOR TO APPROVAL OF THE GRADING AND DRAINAGE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES WHICH HAVE JURISDICTION AT THE CONTRACTOR'S/DEVELOPER'S EXPENSE. THE CONTRACTOR/DEVELOPER SHALL MEET THE REQUIREMENTS OF THESE PERMITS AS SET FORTH THEREIN.
- AS A REMINDER, MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT HAS ASKED THE CITY TO INFORM ALL CONTRACTORS/DEVELOPERS WORKING IN THE CITY OF EL MIRAGE OF THE FOLLOWING: PER THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS ON EARTH MOVING EQUIPMENT PERMITS, NO PERSON SHALL CAUSE OR PERMIT THE USE OF ANY POWER OR MECHANICAL EQUIPMENT FOR COMMERCIAL PURPOSES TO CLEAR, EXCAVATE OR LEVEL LAND, INCLUDING BUT NOT LIMITED TO BLASTING, DEMOLITION, ROAD AND STREET CONSTRUCTION, SWIMMING POOL EXCAVATING, TRENCHING, VEGETATION REMOVAL, OR ENGAGE IN ANY OTHER EARTH MOVING ACTIVITIES WITHOUT FIRST OBTAINING A PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. THE PROPERTY OWNER, LESSEE, DEVELOPER OR PRIME CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE PERMIT.
- ALSO AS A REMINDER, IF THE ABOVE REFERENCED DEVELOPMENT HAS WORK THAT NEEDS TO BE DONE IN THE MARICOPA COUNTY RIGHTS-OF-WAY, PLEASE OBTAIN ALL PERMITS FROM THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION. THE PERMITS ISSUED BY THE CITY OF EL MIRAGE DO NOT COVER THE MARICOPA COUNTY RIGHTS-OF-WAY.
- CONSTRUCTION VEHICLE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AS REQUIRED BY THE CITY OF EL MIRAGE FIRE DEPARTMENT.
- ANY EXISTING LANDSCAPING AND/OR IRRIGATION SYSTEM DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR. THE CONTRACTOR SHALL CALL AND COORDINATE THIS WORK WITH THE CITY OF EL MIRAGE OPERATIONS SUPERINTENDENT AT (480) 372-1131.
- THE CONTRACTOR/DEVELOPER IS SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO MEETING ALL REQUIREMENTS OF OSHA AND ADOPT. THE CITY OF EL MIRAGE ENGINEERING INSPECTOR IS NOT AUTHORIZED TO ADVISE OR DIRECT THE CONTRACTOR/DEVELOPER REGARDING MATTERS OF JOB SITE SAFETY. SHOULD THE CONTRACTOR/DEVELOPER ACT ON SUCH ADVICE OR DIRECTION, IT IS AT THE RISK OF THE CONTRACTOR/DEVELOPER.

SHEET INDEX:

COVER SHEET	SHEET #	PAGE #
PLANTING PLAN	L-A-00-0	01
	L-B-01-0	02

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CITY OF EL MIRAGE ENGINEER

DATE

REGISTERED LAND SURVEYOR/ ENGINEER

DATE

CONSULTANT TEAM

LANDSCAPE ARCHITECT:

GREY | PICKETT
7144 E. STETSON DRIVE
SUITE 205
SCOTTSDALE, AZ 85250
PHONE: (480) 609-0009
FAX: (480) 609-0068
CONTACT: RICHARD GEHRKE

CITY OF EL MIRAGE GENERAL LANDSCAPE AND IRRIGATION NOTES:

- ALL LANDSCAPE AND IRRIGATION INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY OR OTHER CITY MAINTAINED AREAS SHALL BE INSTALLED PER THE APPROVED PLANS AND CITY'S SPECIFICATIONS. ALL LANDSCAPING APPROVED AS A PART OF THE SITE PLAN PROCESS SHALL BE INSTALLED PER THE APPROVED PLANS. ANY DEVIATIONS TO THE APPROVED PLANS REQUIRE CITY APPROVAL. PERMITS ARE REQUIRED FOR ELECTRICAL CONNECTIONS, INCLUDING ELECTRIC METER INSTALLATION, BACKFLOW PREVENTERS, AND WORK WITHIN THE CITY RIGHT-OF-WAY OR CITY DEDICATED PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL LANDSCAPE PROJECTS REQUIRING CITY MAINTENANCE OR WITHIN THE CITY RIGHT-OF-WAY SHALL BE INSPECTED FOR THE FOLLOWING:
 - PLANT LOCATIONS: THESE LOCATIONS SHALL BE STAKED IN ACCORDANCE WITH IDENTIFICATION AS TO TREES OR SHRUBS; OR HOLES FOR THE PLANT MATERIALS MAY BE DUG WITH IDENTIFICATION OF PLANT TYPE. USE OF THIS METHOD DOES NOT RELIEVE THE CONTRACTOR OF ANY PLANT RELOCATION AS MADE BY THE CITY.
 - FINAL ACCEPTANCE: INSPECTIONS SHALL BE MADE AT THE POINT THE IRRIGATION SYSTEM IS INSTALLED. INSPECTIONS OF THE PIPE DITCH, AUTOMATIC VALVE INSTALLATION AND EMITTER/SPRAY INSTALLATIONS WILL BE MADE.
 - SUBSTANTIAL COMPLETION: AN INSPECTION AT COMPLETION OF THE LAYOUT AND IRRIGATION INSTALLATION WILL BE MADE. ANY DEFICIENCIES IN THE INSTALLATION WILL BE NOTED AND CORRECTED BY THE CONTRACTOR DURING THE MAINTENANCE PERIOD.
 - FINAL ACCEPTANCE: A FINAL INSPECTION IS REQUIRED PRIOR TO CITY ACCEPTANCE OF THE LANDSCAPE AND IRRIGATION IMPROVEMENTS.

THE ABOVE INSPECTIONS REQUIRE A MINIMUM OF 48-HOURS PRIOR NOTIFICATION TO THE CITY. CALL THE EL MIRAGE DEVELOPMENT SERVICES DEPARTMENT AT (623) 876-2977 AND LEAVE A MESSAGE INCLUDING THE SUBMISSION LOCATION AND TYPE OF INSPECTION TO ARRANGE FOR THESE INSPECTIONS. SEPARATE INSPECTIONS ARE REQUIRED FOR THE ELECTRICAL CONNECTIONS. PLEASE CALL THE BUILDING SAFETY DIVISION AT (623) 975-2979 A MINIMUM OF 24-HOURS PRIOR TO ARRANGE FOR THESE INSPECTIONS.

LANDSCAPE AND IRRIGATION, WHICH IS INSTALLED ON PRIVATE PROPERTY IN CONJUNCTION WITH A CITY APPROVED SITE PLAN, WILL BE INSPECTED BY THE DEVELOPMENT SERVICES DEPARTMENT FOR CONFORMANCE TO THE APPROVED SITE PLAN PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

ALL LANDSCAPING AND IRRIGATION SHOWN ON THESE PLANS, INCLUDING WITHIN THE RIGHT OF WAY ALONG THE PROJECT FRONTAGE, WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA) UNLESS OTHERWISE NOTED. IF NO HOA EXISTS, THE PROPERTY OWNER SHALL BE RESPONSIBLE.

ALL CITY MAINTAINED PROJECTS REQUIRE A 90-DAY MAINTENANCE PERIOD TO BEGIN AT THE DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE CITY.

ALL RIGHTS OF WAY AND CITY MAINTAINED AREAS REQUIRE SEPARATE WATER METER CONNECTIONS. RIGHT-OF-WAY AREAS DESIGNATED FOR MAINTENANCE BY THE ADJACENT PROPERTY OWNERS FOR COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY DEVELOPMENTS SHALL HAVE THE RIGHT-OF-WAY IRRIGATION ISOLATED OR SEPARATED FROM THE ON-SITE IRRIGATION SYSTEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, COST AND REQUIRED PERMIT FEES FOR THE WATER METER(S) DESIGNATED TO SERVE THE IRRIGATION SYSTEM.

ALL PLANTINGS AT MATURITY SHALL MAINTAIN A MINIMUM 6'-0" CLEARANCE AROUND ALL FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.

PLANTINGS SHALL NOT INTERFERE WITH ANY TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 30" WITHIN ANY SIGHT TRIANGLE TRIANGLES.

INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM INCLUDING ADDITION OF GROUND PLANT MATERIALS SHALL NOT IMPEDE THE FLOW OF DESIGNED DRAINAGE FACILITIES NOR DECREASE THE DESIGN VOLUME OF ANY DETENTION/RETENTION BASIN.

THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UNDERGROUND UTILITIES DURING THE LANDSCAPE AND IRRIGATION INSTALLATION.

ALL TREES SHALL MAINTAIN A MINIMUM OF 6'-0" CLEARANCE FROM ANY CITY WATER OR SEWER LINE AND A MINIMUM OF 5'-0" CLEARANCE FROM ANY CITY SIDEWALK AND CURB. ALL PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE FROM ANY SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.

A SWALE A MINIMUM OF 6" IN DEPTH SHALL BE PROVIDED IN ALL LANDSCAPE AREAS WITHIN THE CITY RIGHT-OF-WAY TO PROMOTE WATER HARVESTING.

ALL PLANTING AREAS (EXCEPT TURF AREAS) TO BE MAINTAINED BY THE CITY SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE BY THE CITY ENGINEER PRIOR TO AND AFTER THE PLACEMENT OF THE DECOMPOSED GRANITE, RIVER ROCK, ETC. APPLICATION DOCUMENTATION WILL BE REQUIRED PRIOR TO ACCEPTANCE OF THE LANDSCAPING BY THE CITY.

AS-BUILT DRAWINGS OF THE LANDSCAPE AND IRRIGATION SYSTEM ARE REQUIRED PRIOR TO ACCEPTANCE BY THE CITY AND FOR PROJECTS WITHIN THE CITY RIGHT-OF-WAY OR CITY OWNED PROPERTY. THE AS

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COMMENT NO.	REVIEWER	SHEET/REPORT	COMMENT	RESPONSE TO COMMENT
1	Jose Macias	APPLICATION FORM	No comment	No response required.
2	Jose Macias	ZONING	No comment	No response required.
3	Jose Macias	PROJECT NARRATIVE	Please provide updated the number of total employees for the whole site.	A total of 228 parking spaces are provided on campus, including 57 stalls dedicated to PHX80 (52 standard, 4 ADA, and 1 security); 53 stalls dedicated to PHX81 (47 standard, 4 ADA, and 2 security); 59 stalls dedicated to PHX86 (55 standard, 3 ADA, and 1 security), and 59 stalls dedicated to PHX82 (54 standard, 4 ADA, and 1 security). These stalls will accommodate at least 1 space per employee during major shifts, based on peak employee shift headcounts for data center operations.
4	Jose Macias	SITE PLAN	Parking fixed for PHX82 and PHX86	A total of 228 parking spaces are provided on campus, including 57 stalls dedicated to PHX80 (52 standard, 4 ADA, and 1 security); 53 stalls dedicated to PHX81 (47 standard, 4 ADA, and 2 security); 59 stalls dedicated to PHX86 (55 standard, 3 ADA, and 1 security), and 59 stalls dedicated to PHX82 (54 standard, 4 ADA, and 1 security). These stalls will accommodate at least 1 space per employee during major shifts, based on peak employee shift headcounts for data center operations.
5	Jose Macias	ARS 28-8481 MILITARY LAND USE COMPATIBILITY	The site is located within the Luke AFB 1988 JLUS 65 DNL, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and inside the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461 and is subject to land use compatibility with the State Statute. The application was forwarded to Luke AFB for review, once the letter is made available, we'll send it over.	Acknowledged
6	Jose Macias	PRELIMINARY LANDSCAPE	No comment	No response required.
7	Jose Macias	SIGNAGE	No comments.	No response required.
8	Jose Macias	MISCELLANEOUS	Noise: 55 decibels at the property lines between 10 PM to 6 AM.	Acknowledged
9	Jose Macias	MISCELLANEOUS	Any plans to add solar to the facility?	No
1	Bryce Christo	PROJECT NARRATIVE	None	No response required.
2	Bryce Christo	SITE PLAN	Show the property boundary with dimensions	Property boundary with dimensions now provided.
3	Bryce Christo	SITE PLAN	Provide a larger scale version that focuses the proposed PHX82 improvements	Larger scale site plan focusing on PHX82 improvements now provided as second sheet C-C-002 under site plan exhibit.
4	Bryce Christo	LANDSCAPE PLANS	The City Notes are not the latest version. An AutoCAD version can be provided upon request.	City notes have been updated on cover sheet.
5	Bryce Christo	LANDSCAPE PLANS	Irrigation Plans will be required during the Construction Plan submittal	Acknowledged
6	Bryce Christo	TRAFFIC IMPACT STUDY	The TIS is labeled as "Draft". A Final version will be required during the Construction Plan submittal.	Acknowledged

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7	Bryce Christo	TRAFFIC IMPACT STUDY	The traffic counts are almost 2 years old and do not match the counts recently collected by the City. This may be due to the construction of Northern Parkway in 2021 and the recent completion of that project. A copy of the City counts is attached. A TIA, prepared by others for the adjacent Copperwing Master Plan, will also be forwarded to you upon approval by the developer.	The revised Traffic Impact Study incorporates City and Copperwing Master Plan traffic counts and data.
8a	Bryce Christo	TRAFFIC IMPACT STUDY	The Northern Parkway improvements along the southern boundary of the City have been completed.	The revised Traffic Impact Study has been updated accordingly.
8b	Bryce Christo	TRAFFIC IMPACT STUDY	The unpaved portion of Butler Drive between Dysart Road and the 127th Avenue alignment will be paved in June 2023. The configuration will have one lane in each direction and a TWLTL.	The revised Traffic Impact Study has been updated accordingly.
8c	Bryce Christo	TRAFFIC IMPACT STUDY	Olive Avenue is anticipated to be a 4 lane roadway (2 lanes – median – 2 lanes) by 2025.	The revised Traffic Impact Study has been updated accordingly.
9	Bryce Christo	TRAFFIC IMPACT STUDY	Figure 3 is labeled as “Existing 2023 Peak Hour Volumes”. These are estimated volumes since current counts were not performed	The revised Traffic Impact Study has been updated accordingly.
10	Bryce Christo	TRAFFIC IMPACT STUDY	Section 2.3 - The crash data shall be updated to the latest available information. Note any trends and/or recommendations based on the data.	Crash analysis and report text have been updated with latest information provided.
11	Bryce Christo	TRAFFIC IMPACT STUDY	Section 3.1 - Also include a breakdown of the trip generation information for PHX80, PHX81 and PHX86 and show the total volume.	The table has been updated to breakdown trips.
12	Bryce Christo	TRAFFIC IMPACT STUDY	Figure 9 – It is noted on Figure 9 that “all intersections, approaches and turning movements operate at an acceptable LOS D or better for the 2023 Existing conditions during both AM and PM peak hours”. This is inaccurate as SB rights and lefts in the AM at Litchfield/Olive and NB rights and lefts at Access A/Olive in the AM and PM operate at LOS E.	The revised Traffic Impact Study has been updated accordingly.
13	Bryce Christo	TRAFFIC IMPACT STUDY	Section 3.4 – Calculate the required right turn and left turn storage lanes on Olive Avenue for Access A per Section 3D of the City’s Auxiliary Lane Criteria. The City’s current Dysart Road Improvement Plans (scheduled to start construction in June 2023) show the EB right turn lane as having a 150-foot of storage and a 90-foot taper and the WB left turn lane as having 160-feet of storage and a 100-foot taper. Are these adequate for the latest traffic volumes?	Storage lanes lengths have been reviewed and are in alignment with city criteria and queuing analysis.
14	Bryce Christo	MISCELLANEOUS	A Certificate of Occupancy cannot be provided for the PHX82 building until the offsite CWD line and related appurtenances are operational.	Acknowledged
15	Bryce Christo	MISCELLANEOUS	PHX82 will have to connect to EPCOR’s water and sewer mains	Acknowledged
16	Bryce Christo	MISCELLANEOUS	Any extensions or modifications to the onsite or offsite water and sewer systems may require an Approval to Construct (ATC) from the Maricopa County Environmental services Department (MCESD). Copies of the Approvals of Construction (AOC) shall be submitted to the City prior to Certificate of Occupancy.	Acknowledged
17	Bryce Christo	MISCELLANEOUS	It is understood that the site may have future phases with unknown time frames on the upgrades. Each new phase will require a separate review by the City.	Acknowledged
18	Bryce Christo	MISCELLANEOUS	A Geotechnical Report will be required to provide on-site pavement sections and percolation rates.	Acknowledged
19	Bryce Christo	MISCELLANEOUS	A Stormwater Pollution Prevention Plan (SWPPP) will be required per the City’s SWPPP Guidelines document	Acknowledged

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20	Bryce Christo	MISCELLANEOUS	A Haul Permit will be required if 500 cubic yards or more of material will be brought into or out of the site. This will require separate application, an exhibit showing the haul route and insurance from the company performing the haul. The fee is \$300.	Acknowledged